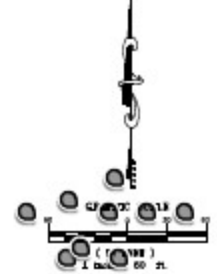




LOCATION AND FIRE HYDRANT MAP



LEGEND

- PROJECT BOUNDARY
- EXISTING CONCRETE
- EXIST. TOP OF BANK
- EXIST. TOP OF SLOPE
- PROP. TOP OF BANK
- PROP. TOP OF SLOPE
- DITCH FLOW WINDOW
- PAVEMENT
- GRAVE
- WALKWAY
- PROP. DRIVEWAY
- PROP. OFFSITE FLOW PATH
- PROP. ASPHALT

SITE DATA TABLE

**EXISTING/PROPOSED:**  
 4370 ALBERT RD  
 FORT PIERCE, FL 34981  
 PHONE: 772-451-1133

**DESIGNED:**  
 CULPEPPER & TERPENING, INC.  
 2800 SOUTH 25th STREET  
 FORT PIERCE, FL 34981  
 PHONE: 772-454-5537  
 FAX: 772-454-5957  
 WWW.CTENG.COM

**SUBMITTED:**  
 RITTY LINDSEY  
 2700 SW JACK JAMES DR  
 JUPITER, FL 33409  
 PHONE: 561-517-0008  
 FAX: 561-517-1371  
 WWW.COTLARARCH.COM

**LABORATORY ARCHITECT:**  
 COTLAR & HERRING  
 1004 COMMERCIAL LANE  
 JUPITER, FL 33409  
 PHONE: 561-517-0008  
 FAX: 561-517-1371  
 WWW.COTLARARCH.COM

**1) PROJECT NAME:**  
 CENTRAL ASPHALT PLANT

**2) LOCATION:**  
 THE PROJECT SITE IS LOCATED EAST OF ALBERT RD AT 4370 ALBERT RD BETWEEN BARRY ROAD AND PROPERTY OR

**3) PROJECT DESCRIPTION:**  
 20,000 SQ. FT. LEASED INDUSTRIAL SITE WITH EXISTING PAVING PLANT WITH A PHASE OF DRY DETENTION POND AND IMPROVEMENTS TO EXISTING

**4) SECTION/SECTION:**  
 SECTION 10, TOWNSHIP 30 SOUTH, RANGE 40 EAST

**5) PARCEL ID NUMBER:**  
 2000.000.000.000

**6) ZONING:**  
 H (HEAVY INDUSTRIAL)

**7) SITE AREA:**  
 12.79 ACRES

**8) ZONING:**  
 H (HEAVY INDUSTRIAL)

**9) LAND USE:**  
 HEAVY INDUSTRIAL

**10) SITE DEMONSTRATION:**  
 N/A

**11) DEVELOPMENT SCHEDULE - PHASE 1:**  
 START: FALL 2024  
 COMPLETE: WINTER 2025

**12) FLOODING:**  
 THE PROJECT SITE IS LOCATED IN FLOOD ZONE 3 (AREA WITH REGULAR FLOOD RISK), ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD POLARIS RATE MAP NUMBER 220702010R 01P (2020)

**13) SITE COVERAGE:**  
 EXISTING SITE FACILITIES (AREA)

USE	AREA	SQ. FEET	% OF SITE	IMP.
ROADS (ALL TYPES)	0.00	0.00	0.0	0.00
ROADWAY/PARKING	0.45	13,800	3.8	100
OTHER IMPROVEMENTS	0.00	0.00	0.0	0.00
TOTAL IMPROVEMENTS	0.45	13,800	3.8	100
OPEN SPACE/LANDSCAPE/FUTURE USE	12.34	339,300	96.2	100
LANDS IN RESTORATION (DRI)	0.00	0.00	0.0	0.00
TOTAL SITE AREA	12.79	353,100	100	100

**PROPOSED SITE ADDITIONAL LAND USE ADDITION CALC:**

USE	AREA	SQ. FEET	% OF SITE	IMP.
ROADS (ALL TYPES)	0.00	0.00	0.0	0.00
ROADWAY/PARKING	0.00	0.00	0.0	0.00
OTHER IMPROVEMENTS	0.00	0.00	0.0	0.00
TOTAL IMPROVEMENTS	0.00	0.00	0.0	0.00
OPEN SPACE/LANDSCAPE/FUTURE USE	1.87	51,900	14.4	100
LANDS IN RESTORATION (DRI)	0.00	0.00	0.0	0.00
TOTAL SITE AREA	1.87	51,900	14.4	100

**TOTAL SITE:**

USE	AREA	SQ. FEET	% OF SITE	IMP.
ROADS (ALL TYPES)	0.00	0.00	0.0	0.00
ROADWAY/PARKING	0.45	13,800	3.8	100
OTHER IMPROVEMENTS	0.00	0.00	0.0	0.00
TOTAL IMPROVEMENTS	0.45	13,800	3.8	100
OPEN SPACE/LANDSCAPE/FUTURE USE	6.67	186,400	52.4	100
LANDS IN RESTORATION (DRI)	1.87	51,900	14.4	100
TOTAL SITE AREA	9.00	252,100	70.6	100

**NOTES:**  
 1) ALL AREAS ARE APPROXIMATE AND SUBJECT TO CHANGE AS PART OF FINAL CONSTRUCTION PLANS  
 2) EXISTING SITE FACILITIES (AREA) REPRESENT EXISTING SITE COVER TO BE A PROPOSED SITE ADDITION  
 3) PAR COVERAGE BASED ON TOTAL 1/4 ACROSS 1/4 CROSS LOT AREA

**14) PARKING REQUIREMENTS:**

REQUIREMENTS	REQUIRED	PROVIDED	PROVIDED/REQUIRED
MINIMUM REQUIRED	8	2	0.25
MAXIMUM ALLOWED	NA	NA	NA

**15) BUILDING HEIGHT:**  
 MAXIMUM BUILDING HEIGHT: 30' PROPOSED EQUIPMENT HEIGHT: 30'

**16) BUILDING SETBACKS FROM ADJACENT STREETS:**

SETBACK	REQUIRED	PROVIDED
FRONT (AS MEASURED FROM SELVITZ ROAD)	25 FT	NA
SIDE	10 FT	NA
REAR (AS MEASURED FROM EAST PROPERTY LINE)	25 FT	NA

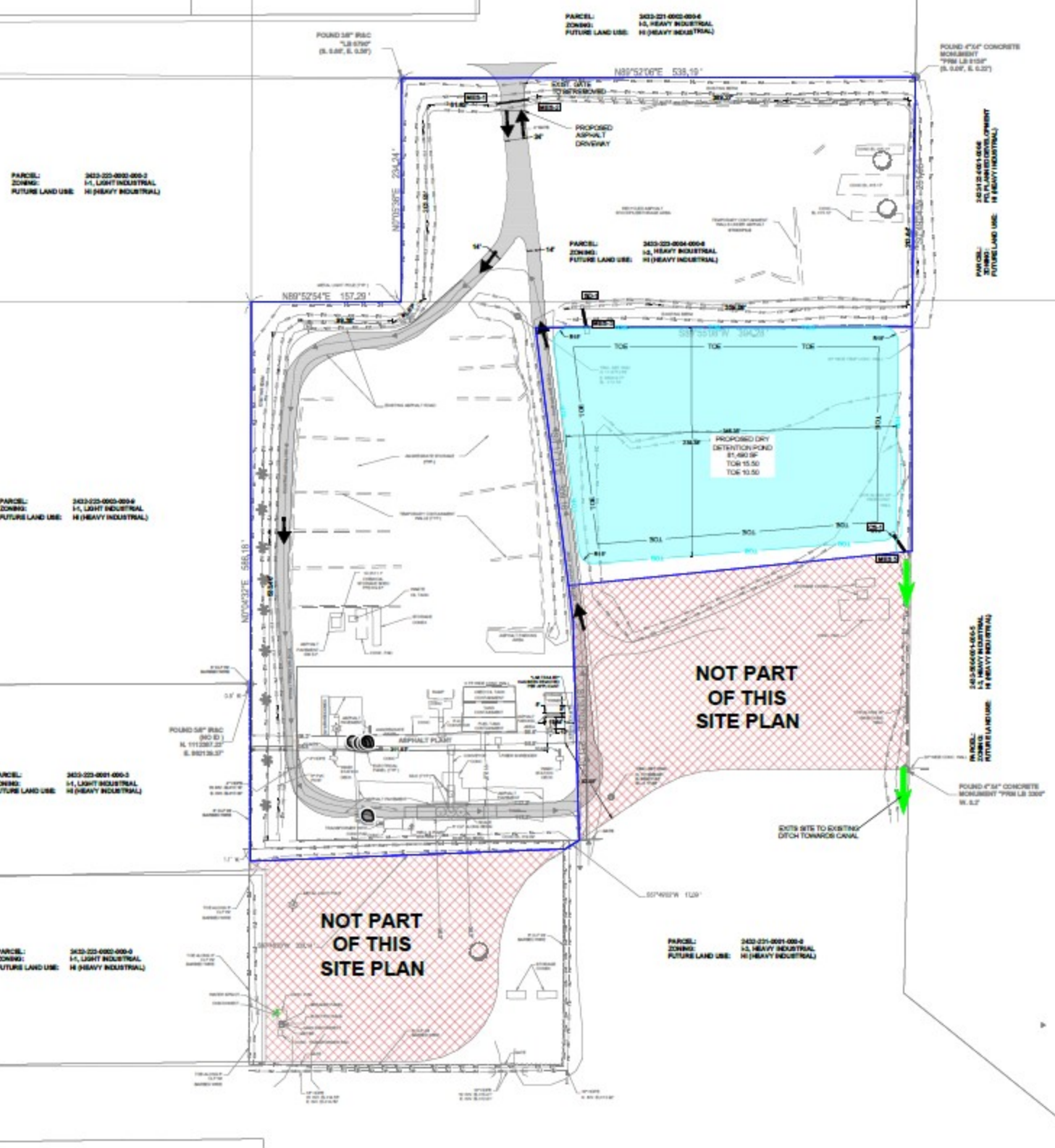
**17) UTILITY SERVICES:**  
 WATER SERVICE (UTILITY): FWSA ELECTRIC SERVICE: FWSA  
 SEWER SERVICE (UTILITY): FWSA TELECOM SERVICE (BACKBONE): AT&T  
 GAS SERVICE (UTILITY): NA GAS SERVICE (PRIMARY): COMCAST  
 ALL UTILITY SERVICES SHALL BE PLACED UNDERGROUND

**18) RETAINMENT WALLS:**  
 RETAINMENT WALLS SHALL BE THROUGH THE USE OF PAPER COLLECTION RECEPTILES AS PERMITTED AND APPROVED BY THE CITY OF FORT PIERCE

**19) SITE LIGHTING:**  
 SITE LIGHTING IN THE PARKING AND TRAILER ACCESS AREAS WILL BE PROVIDED THROUGH THE PLACEMENT OF SEVERAL RECESSED-ROOF POLES IN THE PARKING LOT AREAS. NO LIGHT WILL BE DIRECTED OFF-SITE. SEE SITE LIGHTING PLAN BY OTHERS.

**20) SITE DRAINAGE REQUIREMENTS:**  
 THE SUBJECT SITE SHALL BE SERVED THROUGH A MAJOR COLLECTION SYSTEM, FLOWING INTO A PROPOSED LAKE AND CANAL TO NEARBY CANAL # 9 VIA A CONTROL STRUCTURE.

SELVITZ ROAD



PARCEL: 2000-000-000-2  
 ZONING: H (HEAVY INDUSTRIAL)  
 FUTURE LAND USE: H (HEAVY INDUSTRIAL)

PARCEL: 2000-000-000-4  
 ZONING: H (HEAVY INDUSTRIAL)  
 FUTURE LAND USE: H (HEAVY INDUSTRIAL)

PARCEL: 2000-000-000-3  
 ZONING: H (HEAVY INDUSTRIAL)  
 FUTURE LAND USE: H (HEAVY INDUSTRIAL)

PARCEL: 2000-000-000-0  
 ZONING: H (HEAVY INDUSTRIAL)  
 FUTURE LAND USE: H (HEAVY INDUSTRIAL)

PARCEL: 2000-000-000-4  
 ZONING: H (HEAVY INDUSTRIAL)  
 FUTURE LAND USE: H (HEAVY INDUSTRIAL)

PARCEL: 2000-000-000-4  
 ZONING: H (HEAVY INDUSTRIAL)  
 FUTURE LAND USE: H (HEAVY INDUSTRIAL)

PARCEL: 2000-000-000-4  
 ZONING: H (HEAVY INDUSTRIAL)  
 FUTURE LAND USE: H (HEAVY INDUSTRIAL)

PARCEL: 2000-000-000-4  
 ZONING: H (HEAVY INDUSTRIAL)  
 FUTURE LAND USE: H (HEAVY INDUSTRIAL)

NOT PART OF THIS SITE PLAN

NOT PART OF THIS SITE PLAN

NOTES:  
 1) ALL ELEVATIONS AND BENCHMARKS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM (N.A.V.D.) OF 1988.

DATE	BY	CHKD	APP'D
07/24			
07/24			

**CULPEPPER & TERPENING INC**  
 2800 SOUTH 25th STREET • FORT PIERCE, FLORIDA 34981  
 PHONE 772-454-5537 • FAX 772-454-5957 • WWW.CT-ENG.COM  
 STATE OF FLORIDA BOARD OF PROFESSIONAL ENGINEERS AUTHORIZATION NO. 4288

REVISIONS

NO.	DATE	DESCRIPTION
1	07/24	ISSUE FOR PERMIT
2	07/24	REVISED PER CITY COMMENTS

**CENTRAL ASPHALT PLANT**  
**MASTER SITE PLAN**  
 DATE: 07/24  
 SCALE: N/A  
 SHEET: 23-176