



THE SUNRISE CITY
FORT PIERCE
PLANNING DEPARTMENT
Florida

TO: Linda Cox, Active City Manager

THROUGH: Kevin Freeman, Planning Director

FROM: Kerry C. Driver, Planner

RE: **Asphalt Plant Site Plan
4060 Selvitz Road**

BOARD DATE: September 16, 2024

STAFF REPORT

Owner: Wanda Johnson
4060 Selvitz Rd.
Fort Pierce, FL 34981

Applicant: ETM Solutions, LLC
Robert Baer, Manager
4060 Selvitz Rd.
Fort Pierce, FL 34981

Applicant's Request: Approval of Asphalt Plant Site Plan

Location(s): 4060 Selvitz Road

Parcel ID: 2432-223-0004-000-6

Future Land Use: Heavy Industrial (HI)

Current Zoning: Heavy Industrial (I-3)

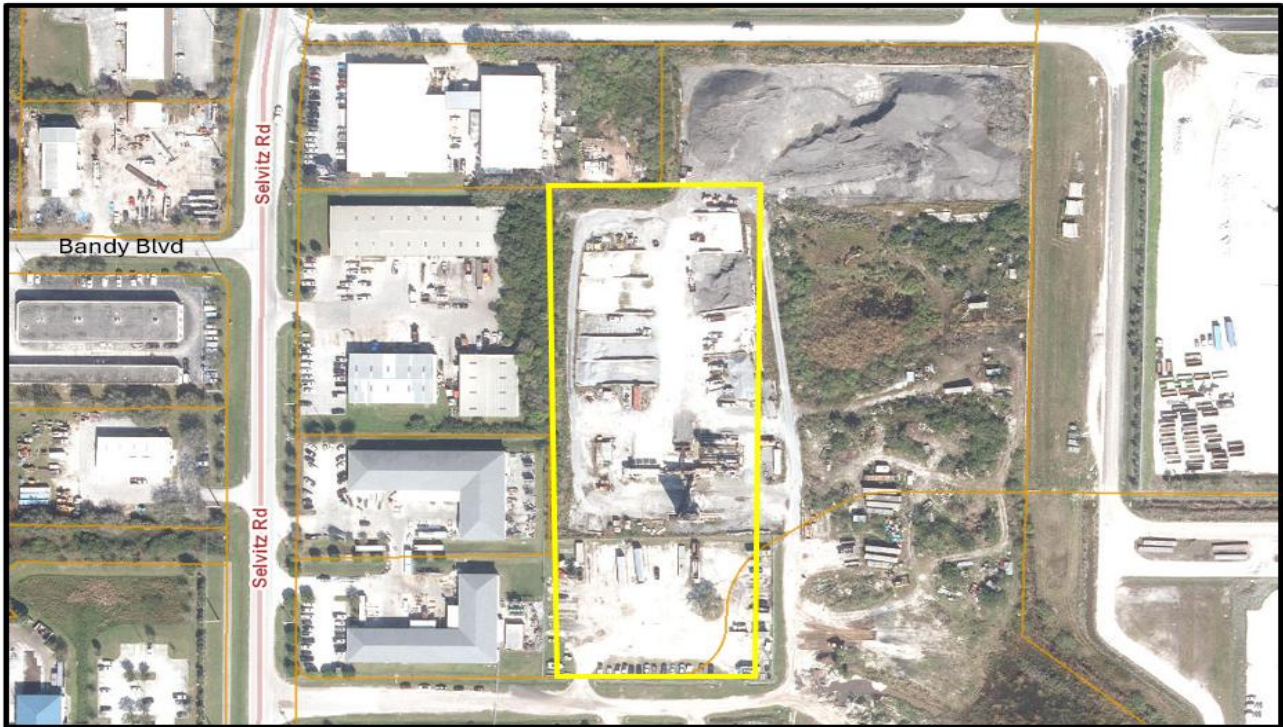
Surrounding FLU:

| North | East | South | West |
|-------|------|-------|------|
| HI | HI | HI | HI |

Surrounding Zoning:

| North | East | South | West |
|-------|------|-------|------|
| I-3 | PD | I-3 | I-3 |

Utilities: FPUA



SITE AREA= 12.79 +/- Acres
PLANT AREA = 7.48 +/- Acres

Staff Analysis:

Request

Request for review of an application for a Site Plan (Development Review and Design Review) to construct a 325,937-asphalt site plan on 7.48 acreage of land.

The purpose of the Project is to operate and maintain an asphalt plant to produce hot mix asphalt pavement. The current asphalt plant is certified by the Florida Department of Transportation (FDOT) and has been recognized by the State of Florida for producing high quality asphalt for FDOT state highway projects. The asphalt plant is approved as one of the FDOT's Production Facilities. The asphalt plant is capable of producing asphalt for state, county and municipal/local road and airport projects in the region. It is also capable of producing asphalt for private projects. The operator will meet or exceed all City of Fort Pierce requirements (i.e., dust control, noise requirements, etc.) and any other criteria, ordinances and regulations, when operating the asphalt plant.

Future Land Use & Zoning

The Heavy Industrial (HI) future land use designation is intended for parcels suitable for industrial development and to promote the City's position as a major employment center. The uses allowed under this designation include intensive manufacturing and processing facilities; storage and distribution facilities; warehousing; general and intensive commercial uses; large business parks; office, retail, and service uses that provide support to employees; and compatible public, quasi-public, and special uses. This

land use designation allows a maximum FAR of 2.0

The subject site has a zoning district classification of Heavy Industrial (I-3) district which is to provide for heavy industrial and related uses with limited objectionable external effects in areas that are suitable for such operations due to the desirability of site characteristics, adequacy of utilities, appropriateness of transportation facilities and other factors, Acceptable manufacturing, warehousing heavy commercial and similar uses are encouraged.

Design Review

The Asphalt Plant will have several stainless-steel asphalt mixing containers with connected conveyors. The conveyors transport the completed mix to awaiting trucks containers, allowing for a seamless process without truck drivers exiting their vehicles.



Parking

Due to the nature of the site operations, parking spaces will be provided for the operation manager as the truck drivers will be driving on and off the property.

Landscaping

The submitted landscape plan proposes over 100 native trees (buttonwood and sabal palmetto), approximately 500 shrubs and less-than 300 groundcovers. Based on the proposed landscape plan, the submissions satisfy Code's requirements.

Traffic Impact Statement

The Selvitz Road area is equally chartered by conventional vehicles and heavy-duty vehicles. This project requires heavy-duty vehicles as the asphalt trucks will be entering and exiting the property during work hours (6a-6p). The submitted Traffic Analysis indicates that the peak traffic hours are the between 7:15-8:15a; anticipating 28 heavy-duty vehicles and between the hours of 3:15-4:15p; anticipating 13 heavy-duty vehicles.

Lighting

The proposed site plan includes 2-foot candles to be installed and maintained on the site.

Technical Review Committee

All affected departments have reviewed the proposed Site Plan with regards to the requirements of the City Code. Findings from the review by corresponding departments and the associated responses by the applicant are provided with the staff's supporting documents.

Staff Recommendation:

The proposed Site Plan (Development and Design Review) adhere to the requirements of the City Land Development Code and guidelines of the City's Comprehensive Plan and does not appear to adversely affect the public health, safety, convenience, and general welfare. Therefore, Staff recommends **APPROVAL** of the requested applications with the following conditions:

1. Prior to issuance of final certificate of occupancy, a Landscape Maintenance Agreement shall be approved and shall acknowledge the following:
 - a. All approved landscaping shall be installed, irrigated, and maintained in perpetuity in accordance with section 123-7 of the City Code of Ordinances, in order that it continues to present a healthy, neat, and orderly appearance free of refuse and debris, in conformity with the following requirements:
 - i. Vegetation required by this article shall be replaced with equivalent or better vegetation if it is not living. All trees for which credit is awarded and which subsequently die shall be replaced by the same or greater number of living trees according to the standards established in this article
 - ii. Maintenance shall include sufficient weeding, watering, fertilizing, pruning, mowing, edging, mulching and other horticultural practices to ensure that the landscaping continues to maintain a healthy, neat, and orderly appearance
2. A painted stop bar and defined driveway/width at the property line is required to be installed prior to issuance of final certificate of occupancy