

FORT PIERCE REDEVELOPMENT AGENCY

BOARD AGENDA

FPRA Regular Meeting - Tuesday, September 10, 2024 - 5:05 p.m.

City Hall - City Commission Chambers, 100 North U.S. #1, Fort Pierce, Florida

1. **CALL TO ORDER**

2. **PLEDGE OF ALLEGIANCE**

3. **ROLL CALL**

4. **APPROVAL OF MINUTES**

- a. Approval of minutes from the August 13, 2024 meeting.

5. **ADDITIONS OR DELETIONS TO AGENDA AND APPROVAL OF AGENDA**

6. **COMMENTS FROM THE PUBLIC**

Any person who wishes to comment on any subject on this agenda may be heard at this time. Please limit your comments to three (3) minutes or less, as directed by the Chairperson, as this section of the Agenda is limited to fifteen minutes. The FPRA Board will not be able to take any official actions under Comments from the Public. Speakers will address the Chairperson, Commissioners, and the Public with respect. Inappropriate language will not be tolerated.

7. **CONSENT AGENDA**

- a. Approval of expenditure in the amount of \$431,586.33 with the annual services paving contractor, The Paving Lady, (Bid No. 2023-044) to complete the proposed improvements to the JC Penney parking lot along North Indian River Drive between Orange Avenue and Avenue A.

- b. Approval of the Grant Agreement for Commercial Facade improvement for 207 Orange Avenue - Jetset Events LLC in an amount not to exceed \$25,000.00.
- c. Approval of First Amendment to Lease Agreement with the Boys and Girls Clubs of St. Lucie County for the Human Development and Resource Center Gymnasium

8. **NEW BUSINESS**

- 0. Approval of the FY2025 FPRA Operating Budget
 - a. FPRA Resolution 24-04 appointing an Acting FPRA Director.

9. **STAFF COMMENTS**

- a. FPRA Programs and Activities Summary

10. **BOARD COMMENTS**

11. **ADJOURNMENT**

Pursuant to Section 286.0105, Florida Statutes, the City hereby advises you that if you or another person decide to appeal and decision made by the Fort Pierce Redevelopment Agency with respect to any matter considered at its meeting or hearing, that you or said person will need a record of the proceedings, and that for such person, affected persons may need to insure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. This notice does not constitute consent by the Agency for the introduction or admission into evidence of otherwise inadmissible or irrelevant evidence, nor does it authorize challenges or appeals not otherwise allowed by law.

In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this meeting should contact the City Clerk's Office at (772) 467-3065 at least 48 hours prior to the meeting.

FPRA Regular Meeting - 5:05 p.m.

4. a.

Meeting Date: September 10, 2024

Re:

SUBJECT:

Approval of minutes from the August 13, 2024 meeting.

Attachments

2024.08.13

DRAFT

MINUTES OF A REGULAR MEETING OF THE FORT PIERCE REDEVELOPMENT AGENCY, HELD IN THE CITY HALL COMMISSION CHAMBERS, 100 NORTH U.S. #1, FORT PIERCE, FLORIDA, AT 5:05 P.M. ON TUESDAY, AUGUST 13, 2024.

1. CALL TO ORDER

Chairwoman Hudson called the meeting to order at 5:05 p.m.

2. PLEDGE OF ALLEGIANCE

3. ROLL CALL

Present: Chairperson Linda Hudson; Commissioner Michael Broderick; Commissioner Jeremiah Johnson; Commissioner Curtis Johnson, Jr.

Absent: Commissioner Arnold Gaines

Staff Present: City Clerk Linda Cox
City Attorney Sara Hedges
CRA Administrator Shyanne Harnage

Commissioner Gaines arrived at 5:07 p.m.

4. APPROVAL OF MINUTES

- a. Approval of the minutes of the July 09, 2024 FPRA Regular Meeting.

Motion was made by Commissioner Jeremiah Johnson, seconded by Commissioner Michael Broderick to approve minutes.

AYE: Chairperson Linda Hudson, Commissioner Michael Broderick, Commissioner Jeremiah Johnson, Commissioner Curtis Johnson, Jr.

Passed

5. ADDITIONS OR DELETIONS TO AGENDA AND APPROVAL OF AGENDA

City Clerk, Linda Cox, announced that item 7a was being pulled at staff's request.

Motion was made by Commissioner Curtis Johnson, Jr., seconded by Commissioner Jeremiah Johnson to set agenda as amended.

AYE: Chairperson Linda Hudson, Commissioner Arnold Gaines, Commissioner Michael Broderick, Commissioner Jeremiah Johnson, Commissioner Curtis Johnson, Jr.

Passed

6. COMMENTS FROM THE PUBLIC

Any person who wishes to comment on any subject on this agenda may be heard at this time. Please limit your comments to three (3) minutes or less, as directed by the Chairperson, as this section of the Agenda is limited to fifteen minutes. The FPRA Board will not be able to take any official actions under Comments from the Public. Speakers will address the Chairperson, Commissioners, and the Public with respect. Inappropriate language will not be tolerated.

Josh Revord, St. Lucie County Port Director

7. CONSENT AGENDA

- a. Approval of the Grant Agreement for Commercial Facade improvement for 207 Orange Avenue - Jetset Events LLC in an amount not to exceed \$25,000.00.
- b. Approval of Interlocal Agreement Between Fort Pierce Redevelopment Agency and St. Lucie County to Facilitate Inlet and Waterway Projects Within the FPRA
- c. Approval of a PAD Mural Program Artist Service Agreement with Jason Tetlak for the mural at 717 Orange Avenue in the amount of \$8,000.
- d. Approval of a PAD Mural Program Property Owner Agreement with Steve Tarr, 717 Orange Avenue.
- e. Approval of Subordination and Standstill Agreement Oaks at Moore's Creek

Commissioner Curtis Johnson pulled item 7e.

Motion was made by Commissioner Curtis Johnson, Jr., seconded by Commissioner Jeremiah Johnson to approve Consent Agenda items 7b, c and d.

AYE: Chairperson Linda Hudson, Commissioner Arnold Gaines, Commissioner Michael Broderick, Commissioner Jeremiah Johnson, Commissioner Curtis Johnson, Jr.

Passed

As to item 7e, Commissioner C. Johnson indicated that he as spoken with the developers of Oaks and Moores Creek and wants to assure the public that the project is progressing. He encouraged other commissioners to meet with the developer if requested.

Motion was made by Commissioner Curtis Johnson, Jr., seconded by Commissioner Michael Broderick approve item 7e.

AYE: Chairperson Linda Hudson, Commissioner Arnold Gaines, Commissioner Michael Broderick, Commissioner Jeremiah Johnson, Commissioner Curtis Johnson, Jr.

Passed

8. NEW BUSINESS

- a. Freebee Update

Shyanne Harnage, CRA Administrator and Sara Delgado, Redevelopment Specialist, introduced Chris Walker of Freebee to provide an update with current ridership levels and ridership locations and hot spots. Mr. Walker indicated that the implementation of age restrictions and refining service zones will provide a better service experience for users. The board liked the recommendations and also suggested that we investigate the addition of vehicles to accommodate the impending visitor season for future consideration to further enhance rider experience.

- b. Discussion and direction regarding the Second Amendment to the Amended and Restated Agreement for Development of King's Landing.

Sara Hedges, City Attorney indicated that there was no new information regarding the amended agreement that was discussed at great length by the City Commission the day prior and approved at that meeting.

Motion was made by Commissioner Michael Broderick, seconded by Commissioner Jeremiah Johnson to approve the Second Amendment to the Amended and Restated Agreement.

AYE: Chairperson Linda Hudson, Commissioner Michael Broderick, Commissioner Jeremiah Johnson

NAY: Commissioner Arnold Gaines, Commissioner Curtis Johnson, Jr.

Passed

9. STAFF COMMENTS

- a. FPRA Programs & Activities Summary

No comments other than what is contained in the attached report.

10. BOARD COMMENTS

Commissioner Broderick indicated that the Sunrise Theatre had a successful, profitable event.

Commissioner C. Johnson thanked staff for the work done on the Kings Landing project. He is supportive of Fort Pierce moving forward, but was frustrated with parts of the process.

11. ADJOURNMENT

Meeting adjourned at 5:37 p.m.

ATTEST:

CITY CLERK

CHAIRPERSON

FPRA Regular Meeting - 5:05 p.m.

7. a.

Meeting Date: September 10, 2024

Re: JC Penney Parking Lot Improvements, Ref. Bid No. 2023-044

Submitted For: Selena Griffett, Project Engineer, Engineering

SUBJECT:

Approval of expenditure in the amount of \$431,586.33 with the annual services paving contractor, The Paving Lady, (Bid No. 2023-044) to complete the proposed improvements to the JC Penney parking lot along North Indian River Drive between Orange Avenue and Avenue A.

SUMMARY:

The JC Penney parking lot is in need of reconstruction to improve the surface and meet current parking and ADA requirements. The City has completed a design to improve the lot and to install curb and two (2) new dumpster enclosures to improve the aesthetic and usefulness of this vital downtown parking area.

Staff requested a quote for the work from our annual street resurfacing contractor, The Paving Lady. They provided a quote in the amount of \$431,586.33.

During the September 5, 2023, City Commission Meeting, Bid No. 2023-044 for the Annual Street Resurfacing Contract was awarded to The Paving Lady for a term of three years, with an option for two additional one-year periods.

RECOMMENDATION:

Staff recommends the quote be approved.

ALTERNATIVES:

Deny and advertise for bids.

RESPONSIBLE STAFF:

Selena Griffett, PE

COORDINATED WITH:

Public Works
Parking Committee

Fiscal Impact

Budgeted Y/N: Y

Fiscal Year: 2024

Account: 1049400-563200

Amount: \$431,586.33

OTHER INFORMATION:

Project funding shall be encumbered by FPRA funds, Account No. 1049400-563200.

Attachments

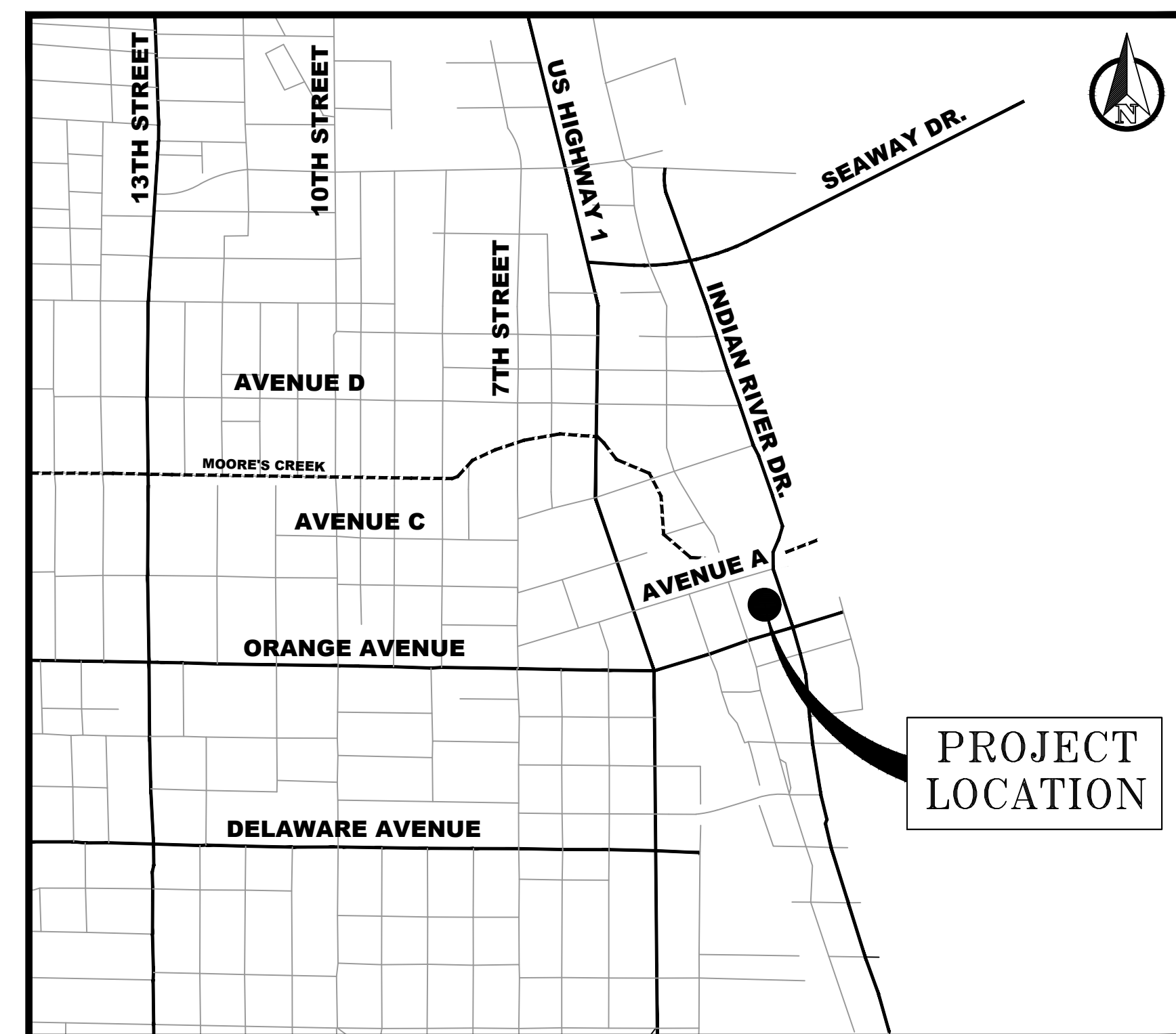
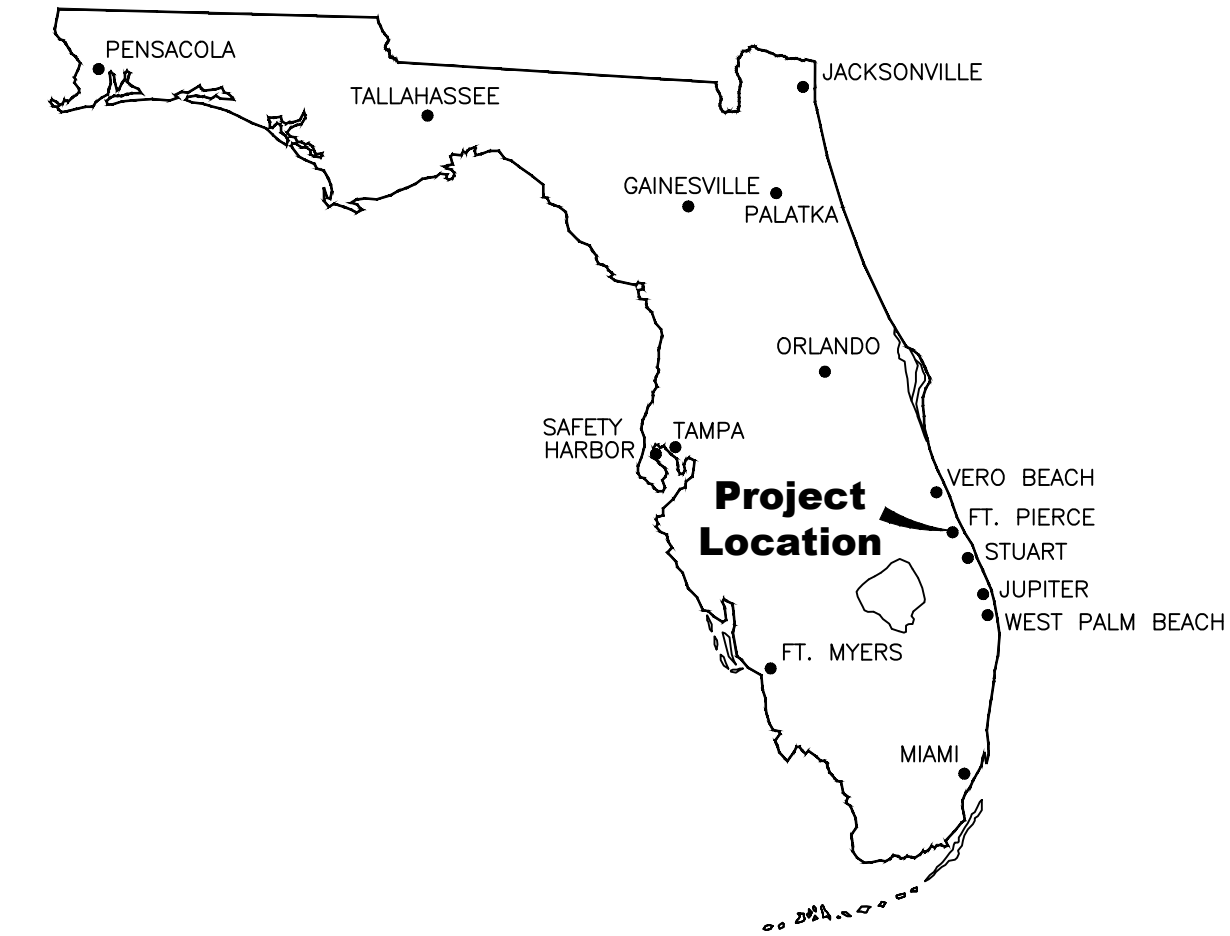
JC Penney Parking Lot plans

Paving Lady Quote

CITY OF FORT PIERCE

JC PENNEY PARKING LOT IMPROVEMENTS

DEPARTMENT OF ENGINEERING



PROJECT LOCATION MAP
SECTION 10, TOWNSHIP 35 SOUTH, RANGE 40 EAST

INDEX OF SHEETS

- 1 OF 5 COVER
- 2 OF 5 STORMWATER POLLUTION PREVENTION PLAN
- 3 OF 5 SITE DEVELOPMENT PLAN
- 4 OF 5 SITE DETAILS
- 5 OF 5 GENERAL SPECIFICATIONS

**JC PENNEY PARKING LOT IMPROVEMENTS
COVER SHEET**

No.	DATE	BY	REVISIONS



CITY OF FORT PIERCE
DEPARTMENT OF ENGINEERING
100 NORTH U.S. 1 P.O. BOX 1480
FORT PIERCE FLORIDA, 34954

DATE: MAY 6, 2024
SURVEY BY:
DESIGNED BY: S. GRIFFETT
SCALE: N.T.S.
DRAWN BY: D.SUMNER
APPROVED BY: J. ANDREWS

SHEET No.
1 OF 5

SOD

1. THE SOD SHALL BE CERTIFIED TO MEET FLORIDA STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND. ALL SODDED AREAS SHALL BE GRASSED AS SPECIFIED ON PLANS AND SURVIVAL GUARANTEED FOR NINETY DAYS FROM DATE OF REPLACEMENT. SURVIVAL OF ALL RELOCATED TREES SHALL BE GUARANTEED FOR 1 YEAR AFTER TRANSPLANTING.
2. SODDING SHALL CONSIST OF SITE PREPARATION, FURNISHING AND PLACING SOD, STAPLES AND FERTILIZER AND IRRIGATING AT THE RATES AND MANNER DESCRIBED IN THIS SPECIFICATION FOR THE DESIGNATED AREAS.
3. UNLESS NOTED OTHERWISE ON LANDSCAPE PLANS, SOD SHALL BE ARGENTINE BAHIA GRASS AND SHALL BE 12-INCH BY 12-INCH SQUARES OR OTHER COMMERCIALY AVAILABLE RECTANGLES. THE SOD SHALL BE SUFFICIENTLY THICK (MINIMUM THICKNESS OF 2 INCHES) TO PROVIDE A DENSE STAND OF LIVE GRASS. THE SOD SHALL HAVE BEEN GROWN ON MINERAL SOIL. SOD SHALL BE LIVE, FRESH AND UNINJURED AT THE TIME OF PLANTING AND SHALL BE PROTECTED FROM DRYING OUT BY SHADING AND WATERING FROM THE TIME IT IS DUG UNTIL PLANTING.
4. FERTILIZER SHALL BE EITHER IN THE LIQUID OR DRY FORM. FERTILIZER SHALL BE UNIFORM IN COMPOSITION, FREE-FLOWING AND SUITABLE FOR APPLICATION WITH STANDARD EQUIPMENT. THE FERTILIZER SHALL CONFORM TO THE FLORIDA FERTILIZER LAWS IN EFFECT ON THE DATE OF IT BEING PLACED AND SHALL BE DELIVERED IN BAGS, BOTTLES, DRUMS, OR OTHER CONVENIENT CONTAINERS, EACH FULLY LABELED AND BEARING THE NAME, TRADEMARK, ANALYSIS, AND WARRANTY OF THE PRODUCT. FERTILIZER SHALL HAVE AN AVAILABLE PLANT FOOD ANALYSIS OF 16-0-10 OR EQUIVALENT PLANT FOOD VALUE AND SHALL BE MIXED WITH THE TOP 3 TO 4 INCHES OF SOIL. FERTILIZER SHALL BE APPLIED AT THE RATE OF 1 POUND PER 1,000 SQ. FT. NOT TO EXCEED 24 LBS. PER YEAR. ALL FERTILIZERS MUST BE AT LEAST 50% SLOW RELEASE NITROGEN AND CONTAIN NO PHOSPHORUS UNLESS THE SITE HAS BEEN TESTED AND VERIFIED AS PHOSPHORUS DEFICIENT BY THE UF/IFAS EXTENSION OFFICE. ALL FERTILIZER APPLICATION SHALL BE IN ACCORDANCE WITH CITY OF FORT PIERCE ORDINANCES.

SOIL EROSION PLAN

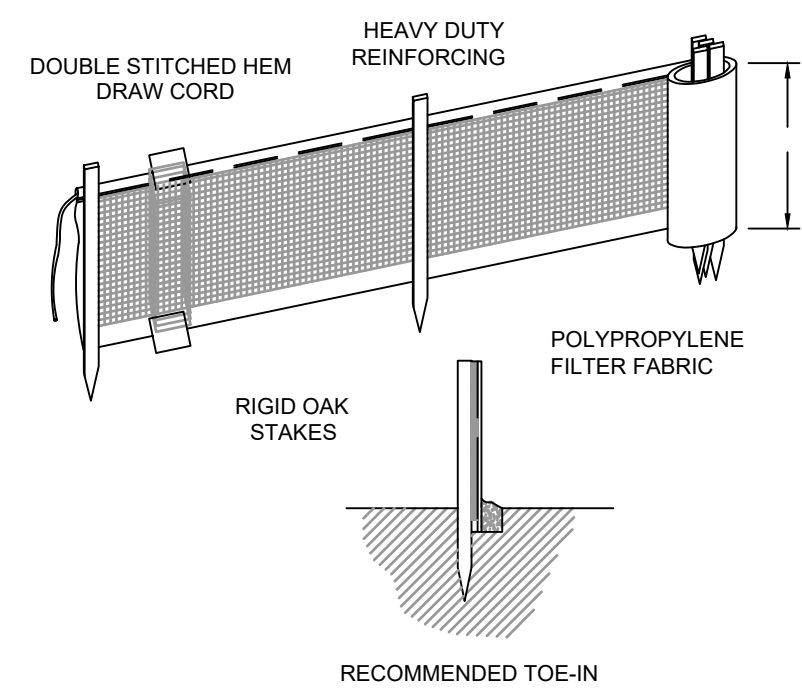
1. NO POLLUTION OR EROSION CAUSED BY THIS PROJECT WILL BE ALLOWED IN THE STORMWATER DRAINAGE SYSTEM. THE CONTRACTOR SHALL INSTALL ANY DEVICES NECESSARY TO PREVENT POLLUTION OR EROSION. THE COST OF POLLUTION AND EROSION CONTROL SHALL BE INCIDENTAL TO THE COST OF THE CONSTRUCTION.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT A SITE SPECIFIC SOIL EROSION CONTROL PLAN. IN GENERAL, THE SOIL EROSION CONTROL PLAN SHALL REQUIRE THAT ALL ON-SITE SOILS WILL REMAIN ON-SITE AND WILL NOT ERODE INTO THE ADJACENT ROADSIDE SWALES, ADJACENT PROPERTIES OR RETENTION DITCHES. ALL EXISTING SWALES SHALL REMAIN SODDED DURING CONSTRUCTION. THE CONTRACTOR SHALL SCURRY ONLY AS NECESSARY TO CONSTRUCT THE PROJECT. THE CONTRACTOR SHALL SCURRY AREAS TO PLACE VARIOUS PIPE WORK. AFTER PLACEMENT OF THE PIPE, THESE TRENCHES SHALL BE BACKFILLED AND COMPACTED TO 98% MODIFIED PROCTOR AASHTO T-180. PRIOR TO DISCHARGE FROM THE SITE, SILTATION BARRIERS SHALL BE UTILIZED AS PER THE MOST RECENT FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL. THE DRAINAGE WHICH OUTFALLS TO THE RETENTION AREAS SHALL BE STABILIZED AND SODDED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION. ANY DEWATERING OR PUMPING OF WATER INTO THE ROADSIDE SWALES OR RETENTION SWALES SHALL BE STAKED WITH SILTATION FENCES AS PER THE MOST RECENT FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL TO AVOID FILLING (FRESH AREAS). UPON COMPLETION OF THE SITE WORK, ALL AREAS SHALL BE SODDED TO AVOID EROSION. CONTRACTOR IS REQUIRED TO COMPLY WITH ALL STATE WATER QUALITY CRITERIA. SPECIFICALLY, NO OFF-SITE DISCHARGES WILL BE ALLOWED WHICH EXCEED THE STATE TURBIDITY CRITERIA.

WATER QUALITY NOTES

1. ALL ACTIVITIES SHALL BE IMPLEMENTED AS SET FORTH IN THE PLANS, SPECIFICATIONS AND PERFORMANCE CRITERIA AS APPROVED BY LOCAL SURFACE WATER PERMIT. ANY DEVIATION FROM THE PERMITTED ACTIVITY AND THE CONDITIONS FOR UNDERTAKING THAT ACTIVITY SHALL BE CONSIDERED A VIOLATION OF THE PERMIT. PRIOR TO ANY WORK COVERED BY A PERMIT FROM SOUTH FLORIDA WATER MANAGEMENT DISTRICT (SFWMD), A NOTICE OF CONSTRUCTION COMMENCEMENT (FORM 6969) MUST BE SUBMITTED TO THE PERMITTEE OR AUTHORIZED AGENT. IT.
2. PRIOR TO AND DURING CONSTRUCTION, THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES (BEST MANAGEMENT PRACTICES) REQUIRED TO RETAIN SEDIMENT ON-SITE AND TO PREVENT VIOLATIONS OF STATE WATER QUALITY STANDARDS. ALL PRACTICES MUST BE IN ACCORDANCE WITH THE GUIDELINES AND SPECIFICATIONS IN CHAPTER 6 OF THE FLORIDA LAND DEVELOPMENT MANUAL, A GUIDE TO SOUND LAND AND WATER MANAGEMENT (FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATIONS 1988), WHICH ARE HEREBY INCORPORATED BY REFERENCE, UNLESS A PROJECT'S SPECIFIC EROSION AND SEDIMENT CONTROL PLAN IS APPROVED AS PART OF THE SFWMD PERMIT, IN WHICH CASE THE PRACTICES MUST BE IN ACCORDANCE WITH THE PLAN. IF SITE SPECIFIC ADDITIONAL MEASURES DURING ANY PHASE OF CONSTRUCTION OR OPERATION TO PREVENT EROSION OR CONTROL SEDIMENT, BEYOND THOSE SPECIFIED IN THE EROSION AND SEDIMENT CONTROL PLAN, THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL BEST MANAGEMENT PRACTICES AS NECESSARY, IN ACCORDANCE WITH THE SPECIFICATIONS IN CHAPTER 6 OF THE FLORIDA LAND DEVELOPMENT MANUAL, A GUIDE TO SOUND LAND AND WATER MANAGEMENT (FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATION 1988). THE CONTRACTOR SHALL CORRECT ANY EROSION OR SHOALING THAT CAUSES ADVERSE IMPACTS TO THE WATER RESOURCES AT NO ADDITIONAL COST TO OWNER.
3. STABILIZATION MEASURES SHALL BE INITIATED FOR EROSION AND SEDIMENT CONTROL ON DISTURBED AREAS AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN SEVEN (7) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.

CLEAN-UP

1. THE CONTRACTOR SHALL MAINTAIN THE JOB SITE IN A NEAT CONDITION AT ALL TIMES AND SHALL RESTORE / REPAIR ALL DRIVEWAYS, SIDEWALKS, UTILITIES, LANDSCAPING, IRRIGATION SYSTEMS, ETC., AFFECTED BY CONSTRUCTION ACTIVITIES.
2. THE CONTRACTOR SHALL REMOVE ALL EXCESS MATERIALS, DEBRIS, EQUIPMENT, ETC., FROM THE JOBSITE DAILY.
3. FOR FURTHER SITE MAINTENANCE REQUIREMENTS THE CONTRACTOR IS REFERRED TO THE "AGREEMENT BETWEEN OWNER AND CONTRACTOR".
4. UNLESS OTHERWISE SPECIFIED OR NOTED, ALL DISTURBED AREAS TO BE RESTORED BY CONTRACTOR TO PRE-CONSTRUCTION CONDITION OR BETTER PRIOR TO ACCEPTANCE BY THE OWNER OR LOCAL APPROVING AUTHORITY.

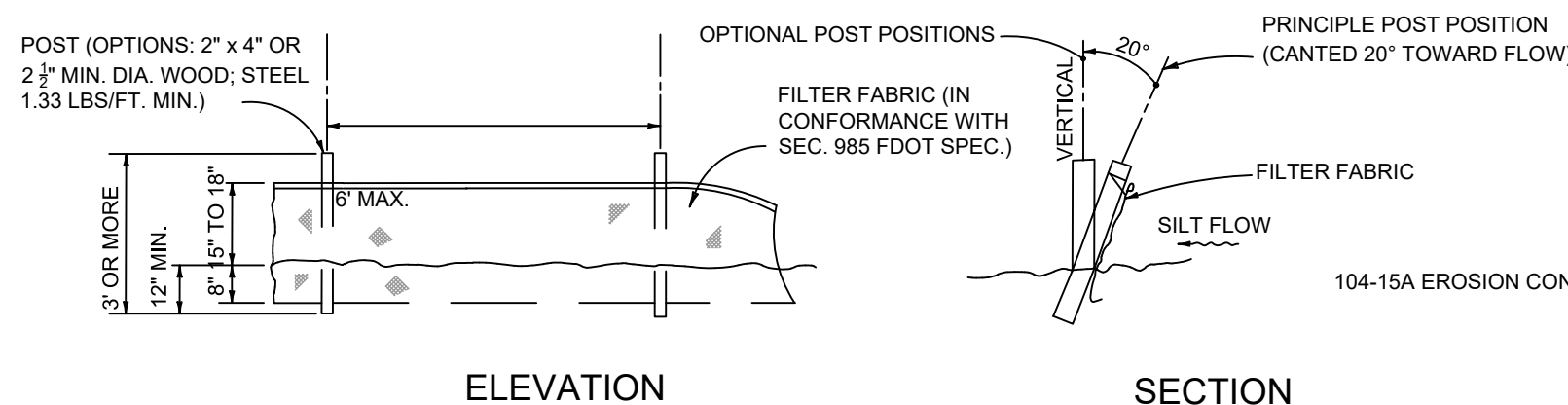


NOTES:

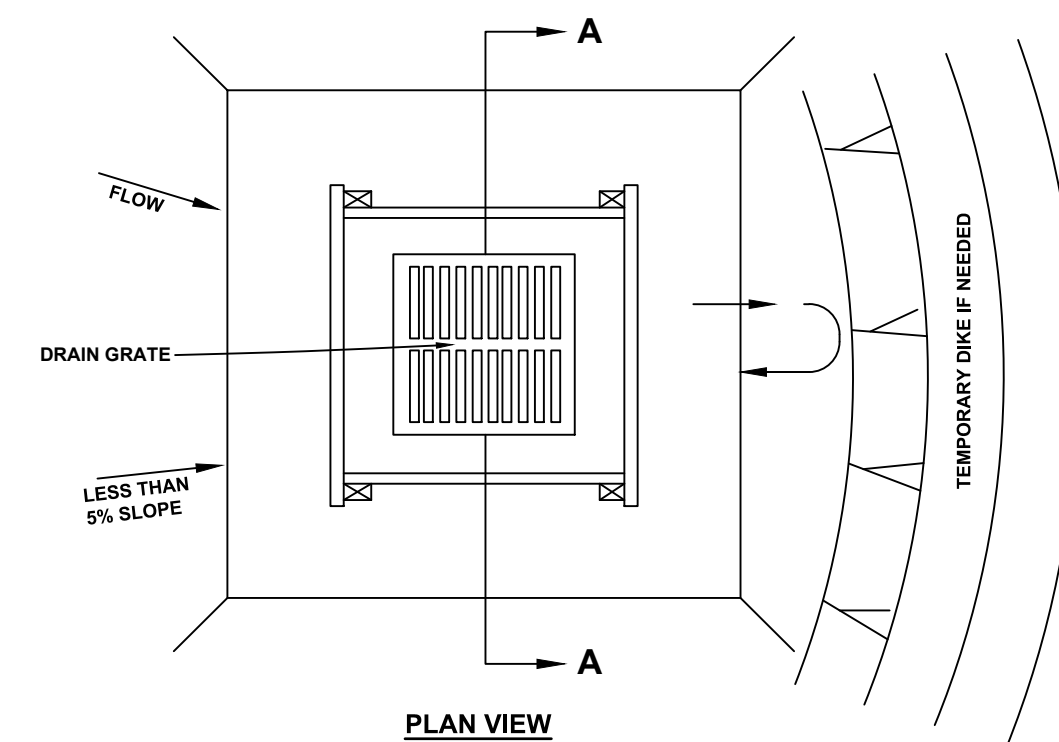
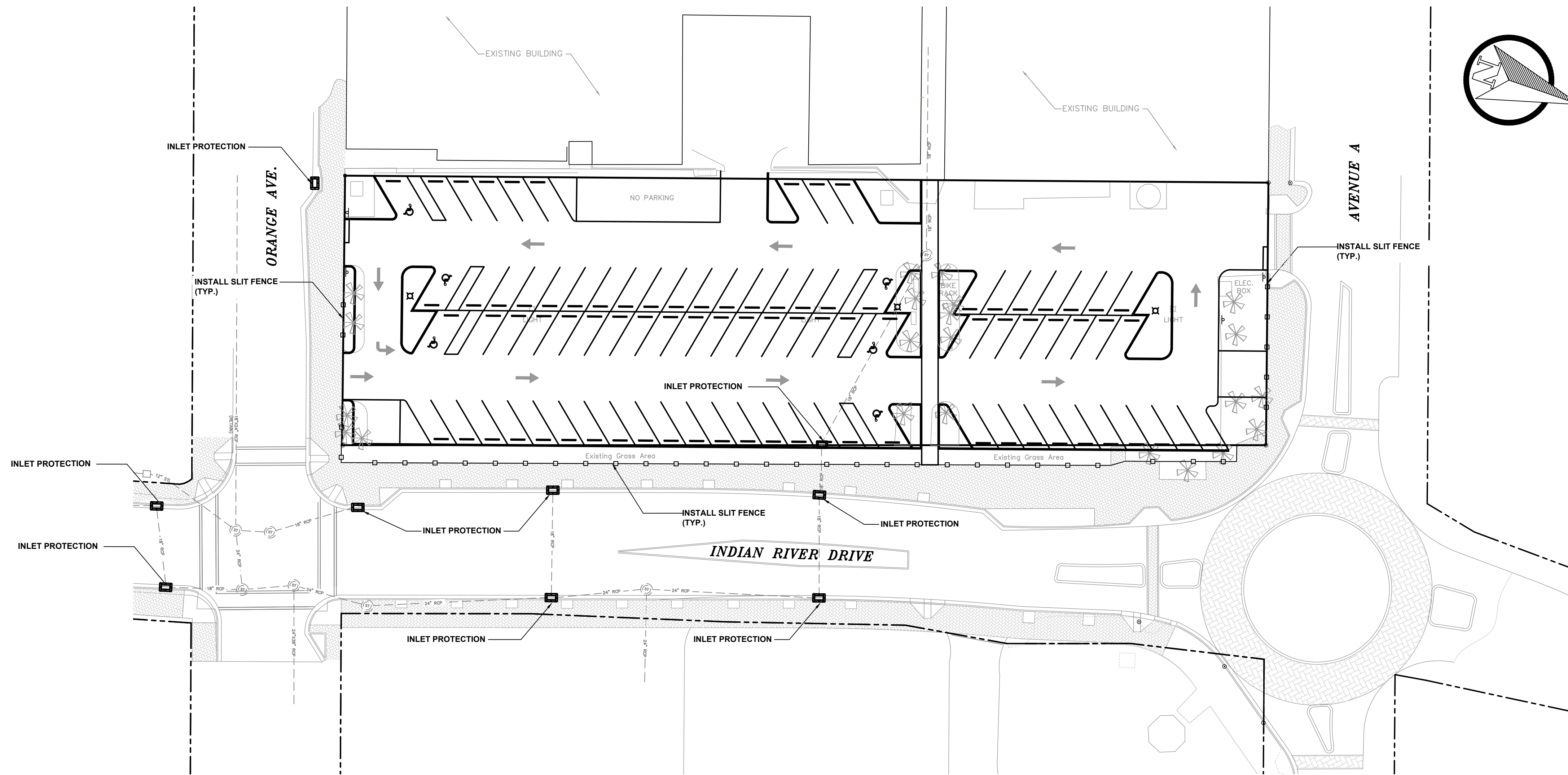
1. SILT FENCE SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION AND SHALL NOT BE REMOVED UNTIL CONSTRUCTION IS COMPLETE.
2. THE CONTRACTOR SHALL INSPECT AND REPAIR THE SILT FENCE AFTER EACH RAIN EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
3. REMOVED SEDIMENT SHALL BE DEPOSITED IN AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFFSITE AND CAN BE PERMANENTLY STABILIZED.
4. THE SILT FENCE SHALL BE PLACED ON SLOPE CONTOUR TO MAXIMIZE ITS PONDING EFFICIENCY.

SILT FENCE DETAIL

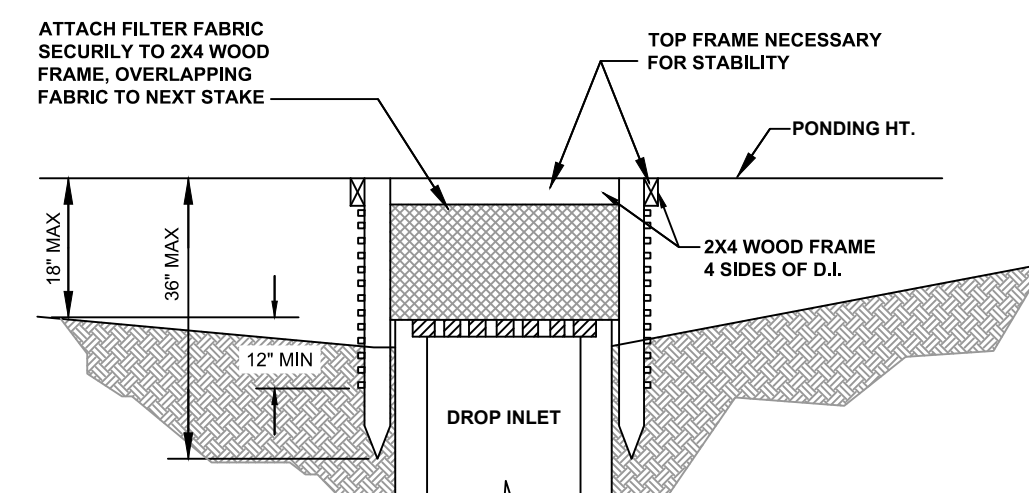
N.T.S.



104-15A EROSION CONTROL MEASURES.



PLAN VIEW



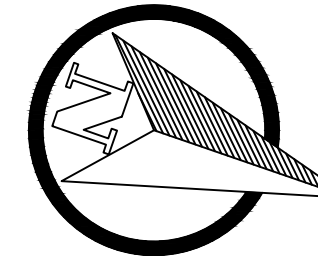
SECTION A-A

NOTES:

1. DROP INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL NEARLY LEVEL DRAINAGE AREAS (LESS THAN 5%).
2. USE 2X4 WOOD OR EQUIVALENT METAL STAKES (3FT. MIN. LENGTH).
3. INSTALL 2X4 WOOD TOP FRAME TO INSURE STABILITY.
4. THE TOP OF THE FRAME (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BYPASSING THE INLET. A TEMPORARY DIKE MAY BE NECESSARY ON THE DOWNSLOPE SIDE OF THE STRUCTURE.

SILT FENCE DROP INLET SEDIMENT BARRIER

N.T.S.



**JC PENNEY PARKING LOT IMPROVEMENTS
STORMWATER POLLUTION PREVENTION PLAN**

No.	DATE	BY	REVISIONS



CITY OF FORT PIERCE
DEPARTMENT OF ENGINEERING
100 NORTH U.S. 1 P.O. BOX 1480
FORT PIERCE FLORIDA, 34954

DATE:
MAY 6, 2024

SURVEY BY:

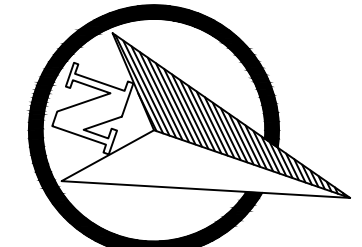
DESIGNED BY:
S. GRIFFETT

SCALE:
1" = 30'

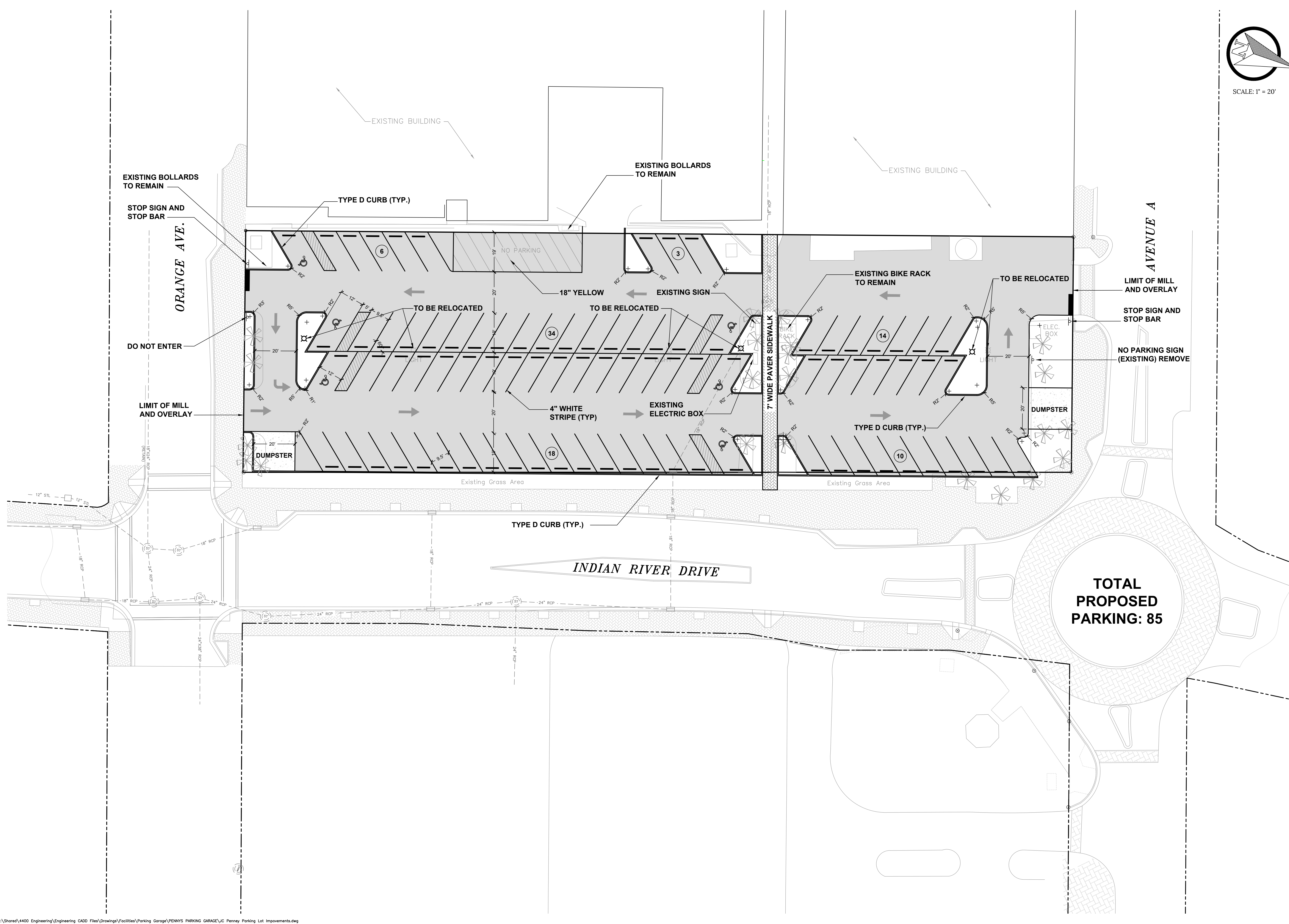
DRAWN BY:
D. SUMNER

APPROVED BY:
J. ANDREWS

SHEET No.
2 OF 5



SCALE: 1" = 20'



JC PENNEY PARKING LOT IMPROVEMENTS
SITE DEVELOPMENT PLAN

No.	DATE	BY	REVISIONS



CITY OF FORT PIERCE
DEPARTMENT OF ENGINEERING
100 NORTH U.S. 1 P.O. BOX 1480
FORT PIERCE FLORIDA, 34954

DATE:
MAY 6, 2024

SURVEY BY:

DESIGNED BY:
S. GRIFFETT

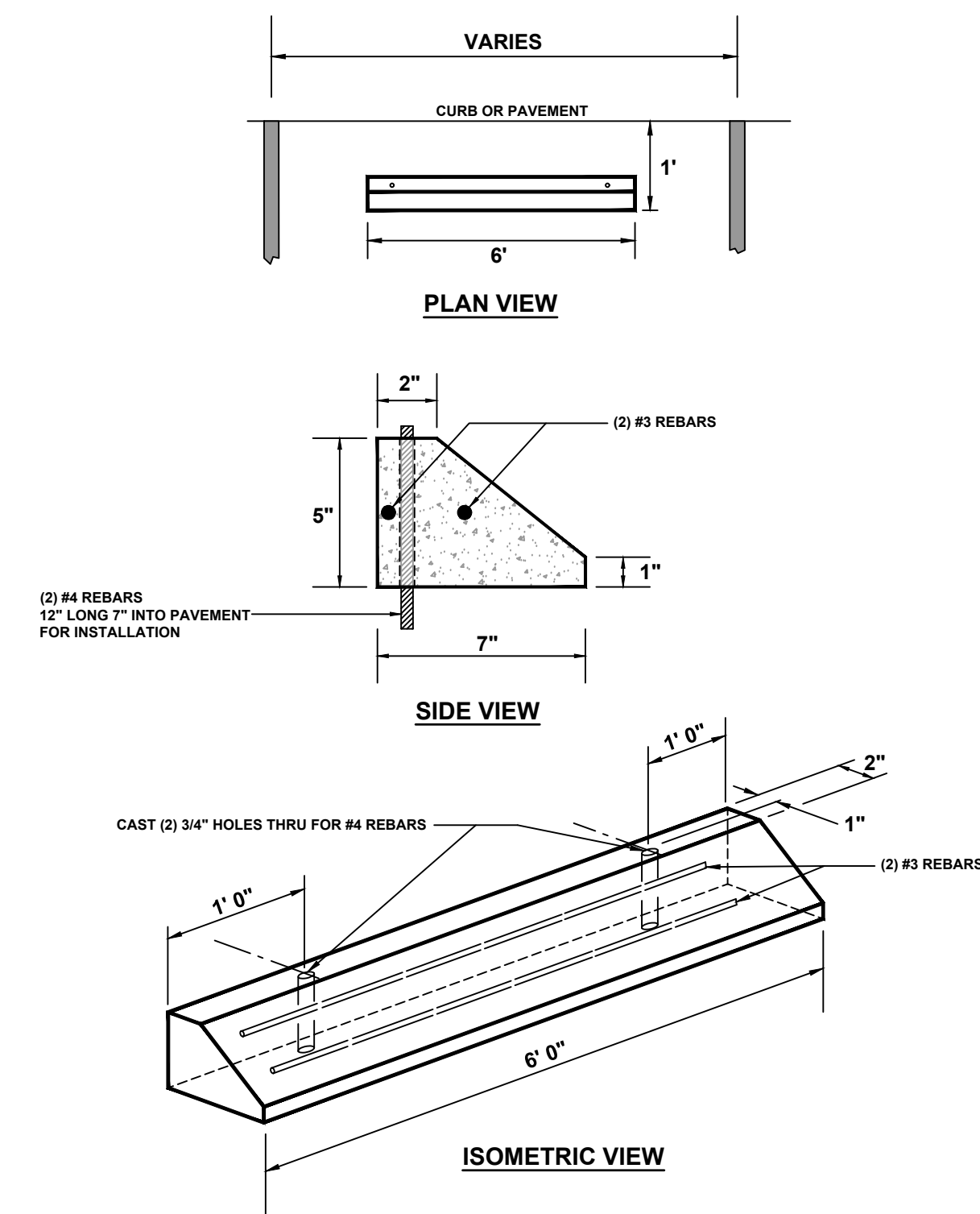
SCALE:
1" = 20'

DRAWN BY:
D. SUMNER

APPROVED BY:
J. ANDREWS

SHEET No.
3 OF 5

**TOTAL
PROPOSED
PARKING: 85**

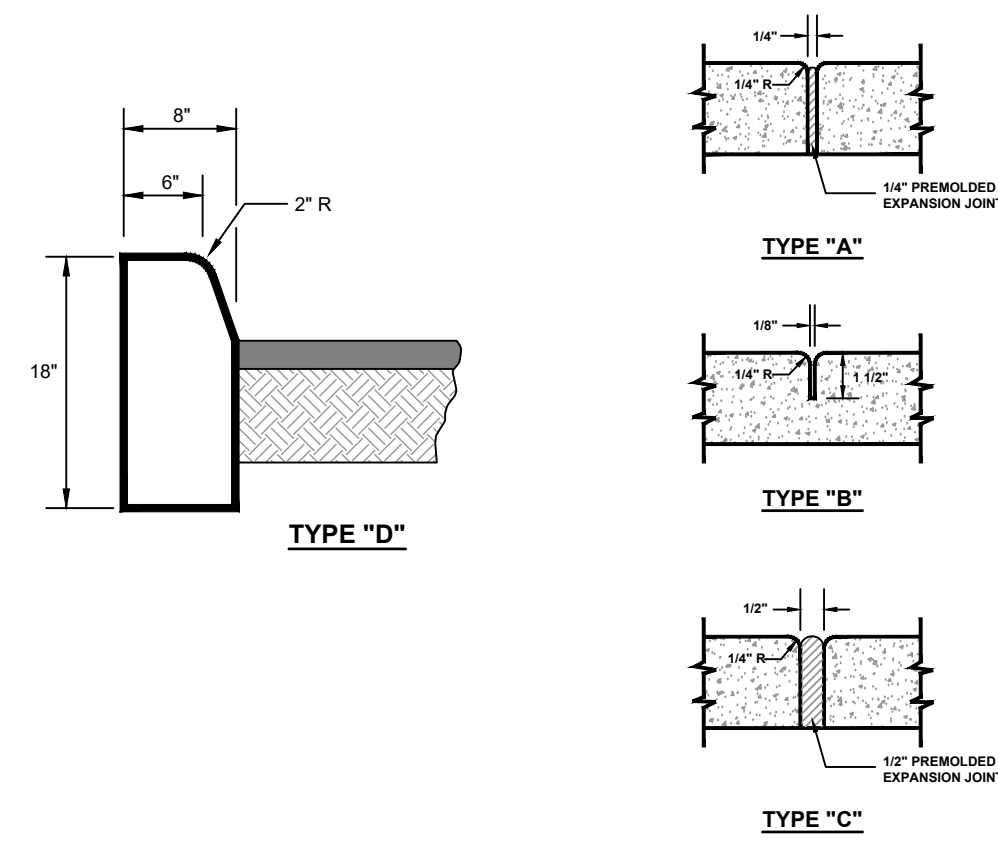


- GENERAL CONSTRUCTION NOTES**
- CLASS I CONCRETE (3000 P.S.I.)
 - CONCRETE STRENGTH TO BE 3000 P.S.I. AT 28 DAYS.

CONCRETE BUMPER DETAIL

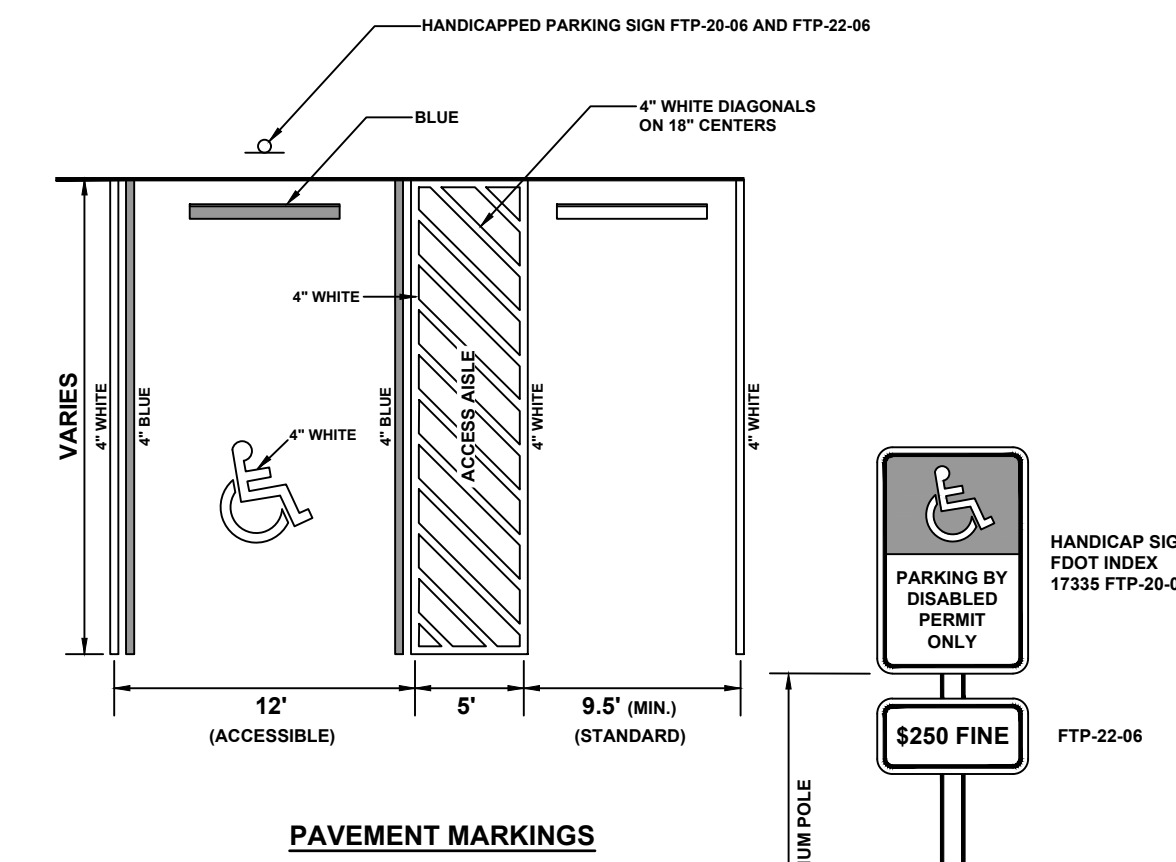
GENERAL CONSTRUCTION NOTES

- FOR CURB, GUTTER, CURB AND GUTTER AND TRAFFIC SEPARATORS PROVIDE 1/8" - 1/4" CONTRACTION JOINTS AT 10' CENTERS (MAX.). CONTRACTION JOINTS ADJACENT TO CONCRETE PAVEMENT ON TANGENTS AND FLAT CURVES ARE TO MATCH THE PAVEMENT JOINTS, WITH INTERMEDIATE JOINTS NOT TO EXCEED 10' CENTERS.
- ENDS OF CURBS TYPE B AND D SHALL TRANSITION FROM FULL TO ZERO HEIGHTS IN 3 FEET.
- CONCRETE SHALL BE 3000 P.S.I. WITH FIBERMESH



TYPE "D" CURB DETAIL

- NOTE:**
- FOR USE ADJACENT TO CONCRETE OR FLEXIBLE PAVEMENT, CONCRETE SHOWN, EXPANSION JOINT, PREFORMED JOINT FILLER AND JOINT SEAL ARE REQUIRED ON CONCRETE PAVEMENT ONLY.

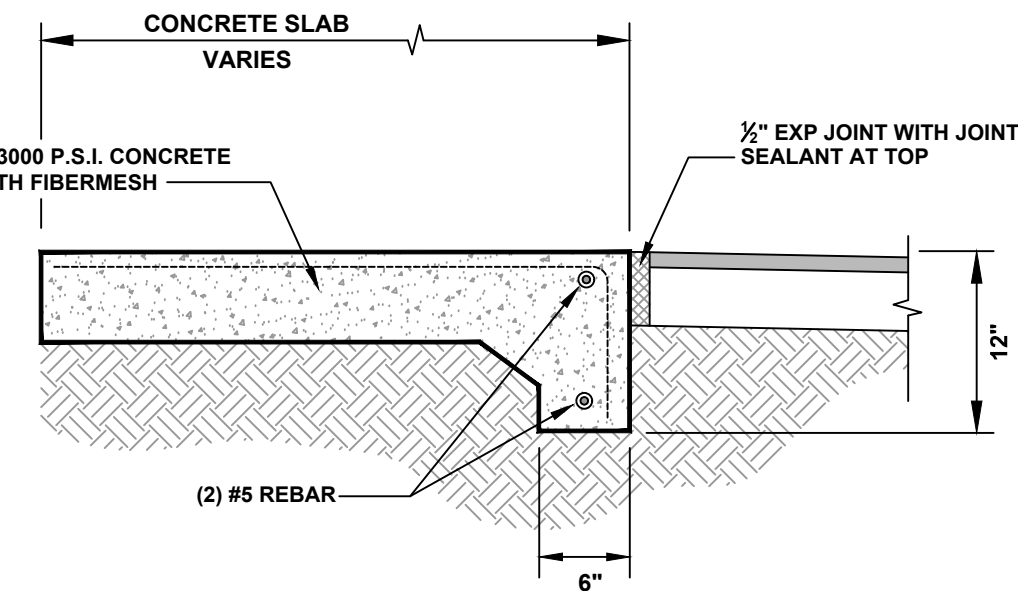


GENERAL NOTES

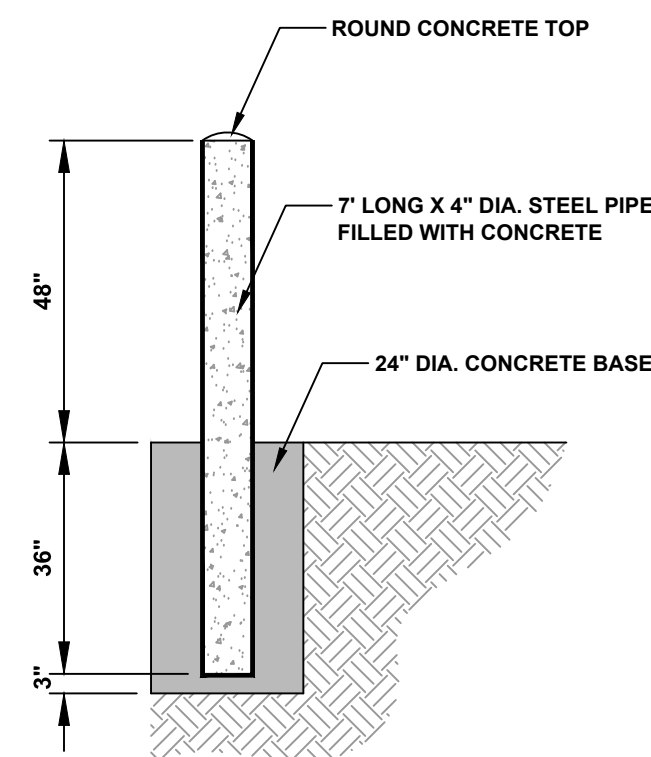
- SIGN TO BE LOCATED BEHIND THE 1' OVERHANG.
- TOP PORTION OF THE FTP-20-06 SHALL HAVE A REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER. BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPACQUE LEGEND AND BORDER.
- HEIGHT SHALL BE 7 FEET MEASURED FROM THE GROUND OR SIDEWALK TO THE BOTTOM OF "PERMIT ONLY" SIGN OF 6 FEET TO THE BOTTOM OF "250 FINE" SIGN.

HANDICAPPED PARKING SIGN

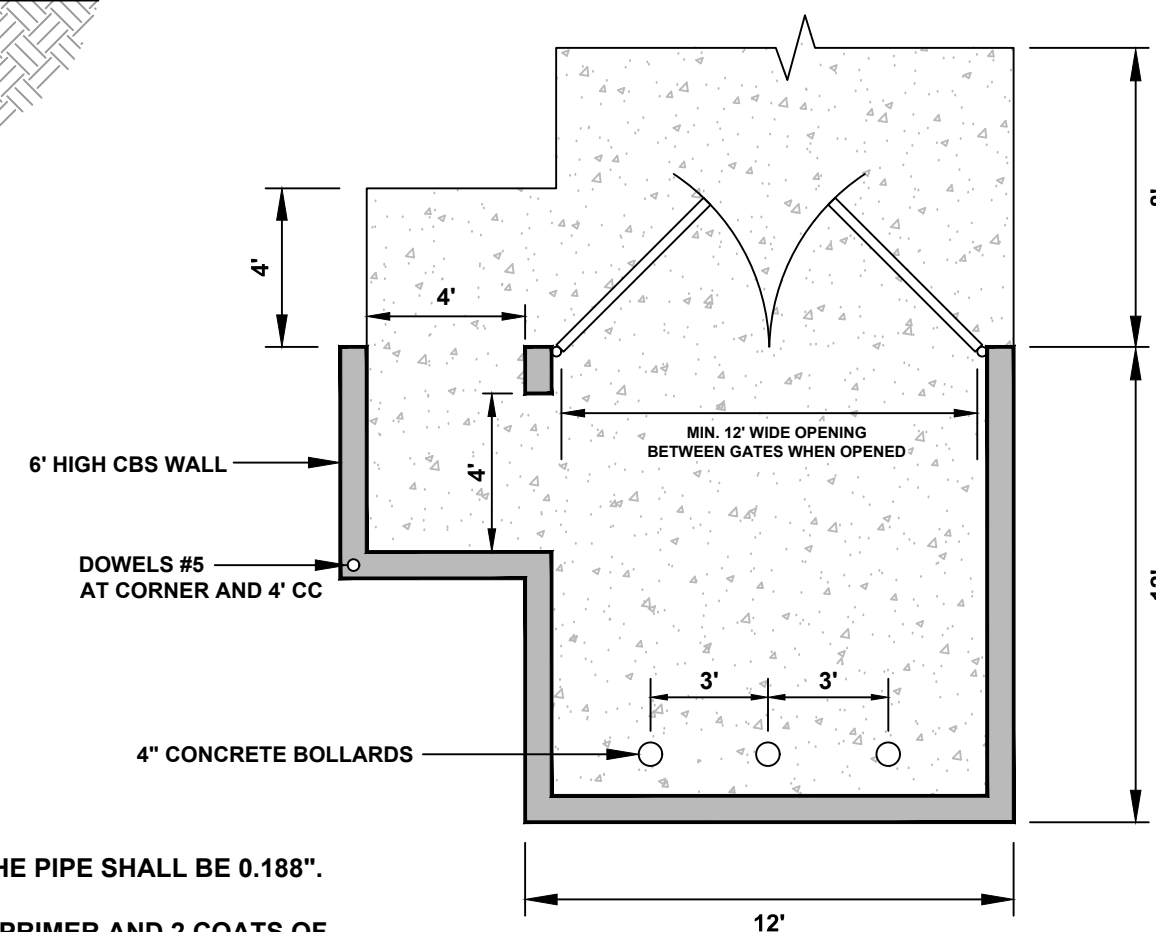
HANDICAPPED AND STANDARD PARKING DETAIL



FOOTER FOUNDATION



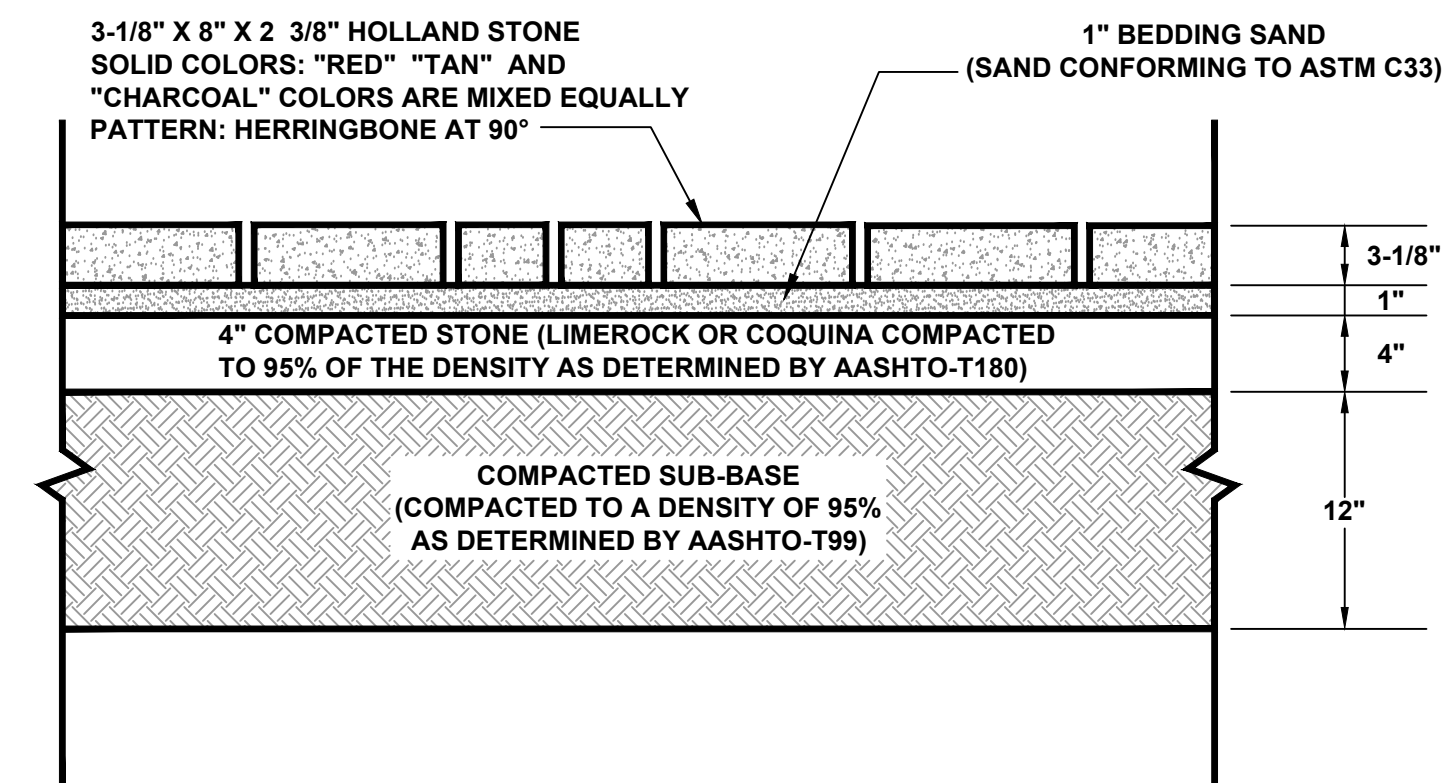
BOLLARD



GENERAL CONSTRUCTION NOTES

- THE MINIMUM WALL THICKNESS OF THE PIPE SHALL BE 0.188".
- ALL POSTS SHALL HAVE 2 COATS OF PRIMER AND 2 COATS OF YELLOW TOP COAT, UNLESS OTHERWISE NOTED.
- THE PRIMER COAT SHALL MEET THE REQUIREMENTS OF FDOT 971-5.
- ALL CONCRETE SHALL BE FDOT CLASS 1.

DUMPSTER ENCLOSURE DETAIL



PAVER SIDEWALK DETAIL

**JC PENNEY PARKING LOT IMPROVEMENTS
SITE DETAILS**

No.	DATE	BY	REVISIONS



CITY OF FORT PIERCE
DEPARTMENT OF ENGINEERING
100 NORTH U.S. 1 P.O. BOX 1480
FORT PIERCE FLORIDA, 34954

DATE:	MAY 6, 2024
SURVEY BY:	
DESIGNED BY:	S. GRIFFETT
SCALE:	N.T.S.
DRAWN BY:	D. SUMNER
APPROVED BY:	J. ANDREWS

SHEET No.
4 OF 5

GENERAL NOTES

1. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGE OR DEVIATIONS FROM THE DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE ENGINEER.
2. THE CONTRACTOR SHALL CONTACT ALL CONCERNED UTILITIES AT LEAST FORTY-EIGHT (48) HOURS IN ADVANCE OF CONSTRUCTION OPERATIONS.
3. THE LOCATION AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE AND ARE BASED ON THE BEST AVAILABLE INFORMATION. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITIES BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED BY THE ENGINEER AND THE OWNER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
4. THE CONTRACTOR SHALL PROVIDE A QUALIFIED SUPERINTENDENT TO REMAIN ON THE JOB SITE AT ALL TIMES WHEN WORK IS BEING PERFORMED. THE SUPERINTENDENT SHALL BE PRESENT AT THE PRE- CONSTRUCTION MEETING. THE CONTRACTOR SHALL NOTIFY THE LOCAL UTILITY COMPANY BY LETTER PRIOR TO THE PRE-CONSTRUCTION MEETING APPOINTING THE SUPERINTENDENT FOR THIS PROJECT INCLUDING A FORMAL RESUME SHOWING QUALIFICATIONS.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE COMPLETE FAMILIARITY WITH THE PROJECT SITE AND COMPONENTS WHICH INCLUDE SUBSURFACE CONDITIONS OF SOIL AND GROUNDWATER TABLE. BY SUBMITTAL OF A BID FOR THIS PROJECT, THE CONTRACTOR ACKNOWLEDGES THEIR COMPLETE UNDERSTANDING AND RESPONSIBILITIES WITH RESPECT TO THE CONSTRUCTION ACTIVITIES REQUIRED UNDER THE SCOPE OF THIS PROJECT.
6. THE CONTRACTOR SHALL PROVIDE ONE (1) REPRODUCIBLE MYLAR COPY, AND ONE (1) DIGITAL FORMAT OF A CERTIFIED AS-BUILT SURVEY. DRAWINGS SHALL BEAR THE ORIGINAL SIGNATURE AND EMBOSSED SEAL OF THE SURVEYOR AND SHALL BE SUBMITTED AFTER THE COMPLETION OF CONSTRUCTION, BUT PRIOR TO FINAL APPROVAL. THE AS-BUILT SURVEY SHALL BE PREPARED IN PLAN AND PROFILE FORMAT BY A LICENSED PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA AND SHALL COMPLY WITH APPLICABLE PROVISIONS OF THE FLORIDA ADMINISTRATIVE CODE AND CHAPTER 472 OF THE FLORIDA STATUTES. THE DRAWINGS SHALL BE AT A SCALE COMPARABLE TO THE DESIGN DRAWINGS PREPARED BY THE ENGINEER. THE HORIZONTAL AND VERTICAL LOCATION OF THE ROADWAYS, DRAINAGE FACILITIES AND ALL APPURTENANCES SHALL BE ACCURATELY DEPICTED TO SCALE AND SHALL BE IDENTIFIED AND TO READILY IDENTIFIABLE PERMANENT OR SEMI-PERMANENT REFERENCE POINTS EXISTING AFTER THE COMPLETION OF CONSTRUCTION. LOCATIONS SHALL BE DETERMINED FOR ALL DRAINAGE FACILITIES AT CHANGES IN HORIZONTAL AND VERTICAL DIRECTION, AND AT A MINIMUM INTERVAL NOT EXCEEDING ONE HUNDRED FEET (100').
7. ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS LATEST EDITION AND THE CITY OF FORT PIERCE CONSTRUCTION STANDARDS.
8. ANY MONUMENT WITHIN THE LIMITS OF CONSTRUCTION IS TO BE PROTECTED. IF IN DANGER OF DAMAGE, THE CONTRACTOR SHOULD NOTIFY:
THE NATIONAL GEODETIC GULF COAST ADVISOR
ATTN: DENIS RIORDAN, PSM, NOAA
JACKSON MS 39213
EMAIL: DENIS.RIORDAN@NOAA.GOV
MOBILE: (240) 678-2107
9. BENCH MARK DATA IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
10. CONTRACTOR TO UTILIZE "APPROVED FOR CONSTRUCTION" PLANS ONLY.
11. CONTRACTOR SHALL PROVIDE MAINTENANCE OF TRAFFIC IN ACCORDANCE WITH FDOT STANDARD PLANS INDEX NO. 102-600.
12. ANY ROYAL PALM TREES IMPACTED BY THE CONSTRUCTION SHALL BE RELOCATED PER THE DIRECTION OF THE CITY OF FORT PIERCE ENGINEERING DEPARTMENT. COSTS ASSOCIATED WITH THE RELOCATION, INCLUDING IRRIGATION PROVISIONS SHALL BE INCLUDED IN THE GENERAL CONDITIONS LUMP SUM BID ITEM.
13. DETECTABLE WARNING SURFACES SHALL BE COMPRISED OF TRUNCATED DOME CONCRETE PAVING BRICKS (4"x8"x2-3/8"), BRICK RED IN COLOR, AND CONSTRUCTED ON A CONCRETE SUB-SLAB.
14. CONCRETE UTILIZED IN CURB AND GUTTER, SIDEWALK, AND URBAN FLARED TURN-OUT CONSTRUCTION SHALL CONSIST OF 3,000 PSI FIBER REINFORCED MIX.

1. ALL UNSUITABLE MATERIALS, SUCH AS MUCK, ORGANIC MATERIAL AND OTHER DELETERIOUS MATERIAL AS CLASSIFIED BY AASHTO M 145, FOUND SHALL BE REMOVED DOWN TO ROCK OR SUITABLE MATERIAL, AND REPLACED WITH THE SPECIFIED FILL MATERIAL IN MAXIMUM 12 INCH LIFTS COMPACTED TO NOT LESS THAN 100% MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE IN ACCORDANCE WITH AASHTO T-99. THICKNESS OF LAYERS MAY BE INCREASED, PROVIDED THAT THE EQUIPMENT AND METHODS USED ARE PROVEN BY FIELD DENSITY TESTING AND CAPABLE OF COMPACTING THICK LAYERS TO SPECIFIED DENSITIES.
2. ALL AREAS SHALL BE CLEARED AND GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST OF THE COMPLETE REMOVAL AND DISPOSAL OF ALL TREES, BRUSH, STUMPS, GRASS, WEEDS, RUBBISH AND ALL OTHER OBSTRUCTIONS RESTING ON, OR PROTRUDING THROUGH THE SURFACE OF THE EXISTING GROUND TO A DEPTH OF ONE (1) FOOT.

SITE PREPARATION AND GRADING

PREPARATION OF THE SITE FOR CONSTRUCTION WILL REQUIRE GRUBBING AND STRIPPING OF VEGETATION AND ROOT SYSTEMS THROUGHOUT AREAS TO BE COVERED BY NEW CONSTRUCTION. TRUNKS AND ROOT BALLS FOR TREES SHOULD BE REMOVED. SITE PREPARATION AT FORMER LOCATIONS OF LARGER SHRUBS AND TREES MAY REQUIRE EXCAVATION TO GREATER DEPTHS.

AFTER COMPLETION OF THE GENERAL SITE PLAN PREPARATION, WHEN EXCAVATIONS FOR THE CONSTRUCTION OF FOUNDATIONS ARE MADE THROUGH THE COMPACTED NATURAL GROUND, FILL OR BACKFILL, THE BOTTOMS OF THE EXCAVATIONS ARE TO BE TAMPED SO AS TO DENSIFY SOILS LOOSENED DURING OR AFTER THE EXCAVATION PROCESS, OR WASHED OR SLOUGHED INTO THE EXCAVATION PRIOR TO THE PLACEMENT OF FORMS. A PLATE TAMPER CAN BE USED FOR THIS FINAL DENSIFICATION IMMEDIATELY PRIOR TO THE PLACEMENT OF REINFORCING STEEL, WITH PREVIOUSLY DESCRIBED DENSITY REQUIREMENTS TO BE MAINTAINED BELOW THE FOUNDATION LEVEL.

SOIL EROSION PLAN

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT A SPECIFIC SOIL EROSION PLAN. IN GENERAL, THE SOIL EROSION PLAN SHALL REQUIRE THAT ALL ON-SITE SOILS REMAIN ON-SITE AND WILL NOT ERODE ONTO THE ADJACENT PUBLIC ROADWAY OR ADJACENT PROPERTIES. PRIOR TO DISCHARGE FROM THE SITE, SILTATION BARRIERS AND HAY BALES SHALL BE UTILIZED AS PER FLORIDA DEPARTMENT OF TRANSPORTATION INDEX 102.

UPON COMPLETION OF THE SITE WORK, ALL AREAS SHALL BE SODDED TO AVOID EROSION. CONTRACTOR IS REQUIRED TO COMPLY WITH ALL STATE WATER QUALITY CRITERIA. SPECIFICALLY, NO OFF-SITE DISCHARGES WILL BE ALLOWED WHICH EXCEED THE STATE TURBIDITY CRITERIA. CARE MUST BE EXERCISED PRIOR TO, DURING AND AFTER CONSTRUCTION TO PREVENT EROSION.

WATER QUALITY

1. PRIOR TO AND DURING CONSTRUCTION, THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES (BEST MANAGEMENT PRACTICES) REQUIRED TO RETAIN SEDIMENT ON-SITE AND TO PREVENT VIOLATIONS OF STATE WATER QUALITY STANDARDS. ALL PRACTICES MUST BE IN ACCORDANCE WITH THE GUIDELINES AND SPECIFICATIONS IN CHAPTER 6 OF THE FLORIDA LAND DEVELOPMENT MANUAL "A GUIDE TO SOUND LAND AND WATER MANAGEMENT (FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATIONS 1988)", WHICH ARE HEREBY INCORPORATED BY REFERENCE, UNLESS A PROJECT SPECIFIC EROSION AND SEDIMENT CONTROL PLAN IS APPROVED. IF SITE SPECIFIC CONDITIONS REQUIRE ADDITIONAL MEASURES DURING ANY PHASE OF CONSTRUCTION OR OPERATION TO PREVENT EROSION OR CONTROL SEDIMENT, BEYOND THOSE SPECIFIED IN THE EROSION AND SEDIMENT CONTROL PLAN, THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL BEST MANAGEMENT PRACTICES AS NECESSARY, IN ACCORDANCE WITH THE SPECIFICATIONS IN CHAPTER 6 OF THE FLORIDA LAND DEVELOPMENT MANUAL "A GUIDE TO SOUND LAND AND WATER MANAGEMENT (FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATION 1988)". THE CONTRACTOR SHALL CORRECT ANY EROSION OR SHOALING THAT CAUSES ADVERSE IMPACTS TO THE WATER RESOURCES.
2. STABILIZATION MEASURES SHALL BE INITIATED FOR EROSION AND SEDIMENT CONTROL ON DISTURBED AREAS AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN SEVEN (7) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.



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JC PENNEY PARKING LOT IMPROVEMENTS
GENERAL SPECIFICATIONS

No.	DATE	BY	REVISIONS



CITY OF FORT PIERCE
DEPARTMENT OF ENGINEERING
100 NORTH U.S. 1 P.O. BOX 1480
FORT PIERCE, FLORIDA, 34954

DATE: MAY 6, 2024
SURVEY BY:
DESIGNED BY: S. GRIFFETT
SCALE: N.T.S.
DRAWN BY: D. SUMNER
APPROVED BY: J. ANDREWS

SHEET No.
5 OF 5



1000 W. Industrial Ave. Boynton Beach, FL 33426 561-572-2600

To: City Of Fort Pierce	Contact:
Address: Fort Pierce, FL	Phone:
	Fax:
Project Name: JC Penny Parking Lot	Bid Number: 24 - 0977
Project Location: Fort Pierce, FL	Bid Date: 8/5/2024

- **This proposal includes a total of 1 paving mobilization/s.**
- **Any additional paving mobilization will be priced \$5,500.00 each.**
- **Any additional Type S or SP overages will be priced \$165.00 Miami/WPB And \$180 Fort Pierce per Ton.**
- **Demo, Prep, Brick Pavers Protection and MOT excluded.**
- **All asphalt mixtures included in this proposal include recycled asphalt(R.A.P), unless explicitly described.**
- **Field measurements will prevail.**

Item #	Item Description	Estimated Quantity	Unit	Unit Price	Total Price
01	Mobilization/Bonds/Permits	1.00	EACH	\$64,833.33	\$64,833.33
02	Record Of Drawings	1.00	EACH	\$11,500.00	\$11,500.00
03	M.O.T	1.00	EACH	\$18,000.00	\$18,000.00
04	Erosion Control	1.00	EACH	\$6,600.00	\$6,600.00
05	1.5" Asphalt Milling	5,200.00	SY	\$2.60	\$13,520.00
06	Type SP-9.5 Asphalt	480.00	TON	\$152.00	\$72,960.00
07	Pavers, Architectural ,Sidewalk	200.00	SY	\$91.13	\$18,226.00
08	Remove and Replace Type D Curb	1,135.00	LF	\$44.55	\$50,564.25
09	Concrete Bumper Guards (Carstops)	57.00	EACH	\$85.00	\$4,845.00
10	Performance Turf, Sodding - Bahia (Argentine)	215.00	SY	\$8.25	\$1,773.75
11	Irrigation System	1.00	EACH	\$3,037.50	\$3,037.50
12	Single Column Ground Sign Assembly , F&I, Ground Mount Less Than 12SF	8.00	EACH	\$5,500.00	\$44,000.00
13	Thermo Plastic Markings White Solid 4"	1,900.00	LF	\$1.12	\$2,128.00
14	Thermo Plastic Markings Yellow Solid 18"	300.00	LF	\$8.26	\$2,478.00
15	Thermo Plastic Markings White Stop Bar 24"	35.00	LF	\$9.44	\$330.40
16	Thermo Plastic Markings Blue (ADA Parking)	300.00	LF	\$9.44	\$2,832.00
17	Thermo Plastic Markings Pavement Arrow	10.00	EACH	\$324.50	\$3,245.00
18	Thermo Plastic Markings ADA Parking Symbol	8.00	EACH	\$135.70	\$1,085.60
19	FPUA Lighting/Utility Coordination	1.00	EACH	\$8,850.00	\$8,850.00
20	Install Dumpster Enclosure	2.00	EACH	\$50,388.75	\$100,777.50

Total Bid Price: \$431,586.33

Notes:

- **Due to the volatility of asphalt material costs in the current market, we cannot guarantee the future cost of materials for when this work is performed. This proposal reflects Ranger Construction FOB pricing as of 8/01/2024. Any change in material costs from this date will be charged as a change order and all required backup will be provided.**

Payment Terms:

Net 30

ACCEPTED:

The above prices, specifications and conditions are satisfactory and hereby accepted.

Buyer: _____

Signature: _____

Date of Acceptance: _____

CONFIRMED:

Your Company Name

Authorized Signature: _____

Estimator: Tony Dixson
tdixson@pavinglady.com

FPRA Regular Meeting - 5:05 p.m.

7. b.

Meeting Date: September 10, 2024

Re: Approval of the Grant Agreement for Commercial Façade Improvement for 207 Orange Ave

Submitted For: Shyanne Harnage, CRA Administrator, City Manager

SUBJECT:

Approval of the Grant Agreement for Commercial Façade improvement for 207 Orange Avenue - Jetset Events LLC in an amount not to exceed \$25,000.00.

SUMMARY:

As part of its mission to alleviate slum and blight, and to encourage redevelopment within the FPRA district by enhancing visual aesthetics, the FPRA established the Commercial Façade Grant Program. This program offers financial assistance in the form of a reimbursable, matching grant (50%) of up to \$25,000 to property or business owners for eligible expenses associated with improving the external appearance of their businesses, thereby encouraging further investment in their operations.

Jetset Events, LLC, the applicant, is seeking funding to significantly improve the facade of their property by adding outdoor window boxes and hurricane shutters to the upper windows, installing security cameras, and renovating the entranceway, which includes replacing exterior flooring, removing facade tile, replacing windows, and installing ADA-compliant front doors. The applicant expects the total investment for the eligible facade improvements to exceed \$72,000.

Applications were evaluated by staff based on the following criteria:

- Visual impact/ Blight Elimination – The project's ability to enhance the visual appeal of the FPRA and significantly eliminate the blight of the building.
- Total Project Investment –The higher the ratio of private investment to public grant dollar investment, the higher the score.
- Design & Creativity – The innovation and visual appeal of the facade design, compatibility with the neighborhood's architectural style, and the sustainability and longevity of the proposed improvements.
- Community Impact/Public Benefit – The funded projects not only improve the appearance of commercial properties but also generate meaningful positive impacts for the community and the general public.

The CRA Advisory Committee reviewed the application and recommended award.

Staff is now seeking approval of the Grant Agreement for the Commercial Façade project at 207 Orange Avenue, submitted by Jetset Events, LLC.

RECOMMENDATION:

Staff recommends approval.

ALTERNATIVES:

Staff will proceed as directed by FPRA Board.

RESPONSIBLE STAFF:

Miriam Garcia, Redevelopment Specialist
Shyanne Harnange, CRA Administrator

COORDINATED WITH:

Sara Hedges, City Attorney

Fiscal Impact

Budgeted Y/N: Y
Fiscal Year: 2024
Account: 104-9400-554-4020
Amount: 25,000

OTHER INFORMATION:

The FPRA Board approved funding for the Commercial Facade grant program for FY 2024 in July 2023.

Attachments

RLS Memo
Agreement & Applications
Comm. Facade Program Overview
Evaluation Criteria
Comm. Facade Presentation



TO: MIRIAM GARCIA, REDEVELOPMENT SPECIALIST
FROM: ANDREA H. DUENAS, ASSISTANT CITY ATTORNEY **AHD**
THROUGH: SARA HEDGES, CITY ATTORNEY *SH*
RE: REVIEW GRANT AGREEMENT FOR COMMERCIAL FAÇADE IMPROVEMENT FOR 207
ORANGE AVENUE - JETSET EVENTS, LLC
CAO RLS FILE: 24-325
(PRIOR VERSIONS OF AGREEMENT APPROVED AT RLS 24-285)
DATE: AUGUST 26, 2024

This Request for Legal Services (RLS) seeks review of a Grant Agreement between the FPRA and the owner of 207 Orange Avenue (Jetset Events, LLC) for Commercial Façade Improvement. This Office approved two prior versions of this Agreement pursuant to RLS 24-285.

This third request seeks approval of the Agreement without Paragraph 15 (which mandated that the Grant Recipient not change the use of the Property for five years). You provided the following information which this Office is relying upon:

Upon the recommendation of the CRA Advisory Committee and the CRA Administrator, and at the request of the applicant, we have decided to remove the 'Change of Use' paragraph (15) from this agreement and all future agreements. As this is a Commercial Façade Grant, the specific use of the building should not impact the agreement. The ultimate goal of the FPRA and the intent of this program is to enhance the exterior appearance of the buildings and eliminate blight.

I reviewed the Agreement, accepted the changes you made (correcting project description and deleting Paragraph 15). I uploaded a clean copy of the Agreement in WORD format to AgendaQuick.

This Agreement is approved as to form and correctness.

** Please note that you must attach *both* of the Recipient's Applications to the Agreement when it is presented to the FPRA and circulated for signatures.

** Please use this Agreement as your Template for future Commercial Façade Grant Agreements

/ahd

**GRANT AGREEMENT FOR
COMMERCIAL FAÇADE IMPROVEMENT**

THIS AGREEMENT (“Agreement”) made and entered into this ____ day of _____ 2024, (“Effective Date”) between the Fort Pierce Redevelopment Agency, a community redevelopment agency established pursuant to Florida Statutes Chapter 163 (the “FPRA”), and JETSET EVENTS, LLC, a Florida Limited Liability Company, (“Recipient”), (collectively, “Parties”).

WITNESSETH:

WHEREAS, as part of its mission to alleviate slum and blight and, in order to encourage redevelopment of the FPRA district by enhancing its visual aesthetics, the FPRA, a Dependent Special District of the City of Fort Pierce, Florida, established the Commercial Façade Grant Program; and

WHEREAS, the Commercial Façade Grant Program currently offers financial assistance to commercial property and business owners looking to improve the façades of commercial buildings within the FPRA community redevelopment area; and

WHEREAS, Recipient is the owner of property located at 207 Orange Avenue, Fort Pierce, FL (Parcel ID: 2410-507-0002-000-5) (the “Property”); and

WHEREAS, Recipient submitted a Commercial Façade Grant Program application, and a revised application, to the FPRA requesting a grant for the façade renovation of the Property; and

WHEREAS, the purpose of the intended renovations are to substantially improve the façade of the Property by adding outdoor window boxes and hurricane shutters to the upper windows; installing security cameras; and renovating the entranceway including replacing exterior flooring, removing tile, replacing the windows and replacing the front doors with ADA compliant entrances; and

WHEREAS, the Property is located within the FPRA district boundaries and the renovation of the Property coincides with the FPRA plan; and

WHEREAS, the FPRA Board desires to approve a reimbursable Commercial Façade Grant award in an amount up to one half of the approved cost of eligible improvements, not to exceed \$25,000 to Recipient for the façade renovation of the Property; and

WHEREAS, the Recipient desires to participate in the Commercial Façade Grant Program pursuant to the terms and provisions of this Agreement; and

WHEREAS, the Recipient has represented to the FPRA that it will complete the project set forth in its completed Commercial Façade Grant application package submitted to the FPRA (“Project”), and that the Project, located at 207 Orange Avenue, will further the intent of the Commercial Façade Grant Program by significantly enhancing the appearance of a building within the FPRA district.

NOW, THEREFORE, the Parties do hereby agree to the following:

1. **Grant of Funds.** The FPRA shall pay to the Recipient, on a reimbursement basis, an amount up to fifty percent (50%) of eligible project costs, not to exceed Twenty-Five Thousand Dollars (\$25,000.00) (“Grant”) for the Recipient’s completion of the Project. Provided the Recipient is in compliance with the terms and conditions of this Agreement, the FPRA shall make such payment within sixty (60) days after the Recipient’s request for payment of the Grant funds and submission of invoices and any other information necessary to substantiate Recipient’s compliance with this Agreement. Nothing herein shall be construed to grant the FPRA any ownership interests in the Project, and the FPRA shall have no liability whatsoever related to the Project.

2. **Compliance.** The Recipient shall complete the Project and comply with all the terms and conditions of this Agreement, including but not limited to (i) complying with the Project Development Plan, which is attached hereto as Appendix A, and (ii) complying with the Recipient's completed Commercial Façade Grant Application package submitted on July 2, 2024, and revised on July 28, 2024 (collectively "Application"), that was reviewed by City staff and approved by the FPRA Board, and which is set forth in Appendix B.
3. **Appendices.** All appendices referenced in this Agreement are attached to this Agreement and made a part hereof by reference.
4. **Project Deadlines/Term.** The Recipient must receive the building permits within six months of the Effective Date and shall complete the Project within twelve months after the issuance of the building permits. This eighteen-month period shall be considered the Agreement Term (the "Term"). The FPRA shall have a right to terminate this Agreement in the event the Recipient fails to meet the Project Deadlines. During this period the Recipient shall provide evidence of building permit approval to the FPRA within six months of the Effective Date. For projects not requiring a building permit, within six months of the Effective Date, the Recipient shall notify the FPRA of when it will start the Project within the aforementioned period.
5. **Extension.** The FPRA, in its sole and absolute discretion, may authorize an extension of the Project Deadlines to allow the Recipient to complete its obligations set forth in this Agreement in a timely manner if the Recipient is in compliance with this Agreement and the Recipient is taking reasonable steps to complete its obligations set forth in this Agreement. Any authorization to extend the Project Deadlines shall be in writing and approved by the FPRA Board.
6. **Compliance with Laws.** The Recipient shall comply at all times with all federal, state, and local statutes, rules, regulations and ordinances, the federal and state constitutions, and the orders and decrees of lawful authorities having jurisdiction over the matter at issue (collectively, "Laws"), including but not limited to Florida laws regarding public records.
7. **Publicity.** Publications, press releases, media productions, etc., produced by the Recipient regarding the project shall include the following statement: *Sponsored in part by the Fort Pierce Redevelopment Agency's Commercial Façade Grant Program* from the Effective Date to six months after the date the project is completed.
8. **Progress Reports.** Upon request by the FPRA, Recipient agrees to submit written progress/status reports, including, but not limited to such reports which provide a list of activities and expenditures for the project.
9. **Records, Reports and Inspection.**
 - A. The Recipient shall maintain financial books, records, and accounting information related to this Agreement. These books, records, and information shall comply with generally accepted accounting principles. Nothing herein shall be construed to allow destruction of records that may be required to be retained longer by the statutes of the State of Florida.
 - B. The Recipient shall, at any reasonable time requested by the FPRA and as often as the FPRA may deem necessary, make available to the FPRA for examination all of its books, records and information with respect to all matters covered by this Agreement and shall permit the FPRA or its designated authorized representatives to audit and inspect all such books, records and

information, including but not limited to invoices, materials, payrolls, records of personnel, conditions of employment and other data relating to all matters covered by this Agreement.

- C. The FPRA shall have the right, at any reasonable time during the Term, to inspect the Project site and to determine that the Property use is consistent with the uses described in the Project Development Plan, in accordance with this Agreement.

10. Default and Termination.

- A. The FPRA may terminate this Agreement in the event of failure by the Recipient to observe or perform any term or condition of this Agreement if such failure continues for ten (10) days after written notice thereof from the FPRA to the Recipient in accordance with Paragraph 13 of this Agreement.
- B. The FPRA's liability and obligations to the Recipient or any person having a claim pursuant to this Agreement or to the completion of the Project provided by the herein described Grant funds shall be limited solely to the amount and terms and conditions of this Agreement.
- C. If this Agreement is terminated by the FPRA, the FPRA shall have no obligation to pay any of the Grant funds to the Recipient.

11. Indemnification. The Recipient shall defend at its expense, pay on behalf of, hold harmless and indemnify the FPRA, its officers, employees, agents, elected and appointed officials and volunteers (collectively, "Indemnified Parties") from and against any and all claims, demands, liens, liabilities, penalties, fines, fees, judgments, losses and damages (collectively, "Claims"), whether or not a lawsuit is filed, including but not limited to Claims for damage to property or bodily or personal injuries, including death at any time resulting therefrom, sustained by any persons or entities; and costs, expenses and attorneys' and experts' fees at trial and on appeal, which Claims are alleged or claimed to have arisen out of or in connection with, in whole or in part, directly or indirectly:

- A. The performance of this Agreement (including changes and amendments thereto) and any work performed on the Project by the Recipient, its employees, agents, representatives, contractors, subcontractors, or volunteers; or
- B. The failure of the Recipient, its employees, agents, representatives, contractors, subcontractors, or volunteers to comply and conform with any applicable Laws; or
- C. Any negligent act or omission of the Recipient, its employees, agents, representatives, contractors, subcontractors, or volunteers, whether or not such negligence is claimed to be either solely that of the Recipient, its employees, agents, representatives, contractors, subcontractors or volunteers or to be in conjunction with the claimed negligence of others, including that of any of the Indemnified Parties; or
- D. Any reckless or intentional wrongful act or omission of the Recipient, its employees, agents, representatives, contractors, subcontractors, or volunteers.

The provisions of this paragraph are independent of, and will not be limited by, any insurance required to be obtained by the Recipient pursuant to this Agreement or otherwise obtained by the Recipient and shall survive the expiration or earlier termination of this Agreement with respect to any Claims or liability arising in connection with any event occurring prior to such expiration or termination.

12. **Insurance.** The Recipient shall maintain insurance coverage in the form and amount deemed adequate by the FPRA for all risks inherent in the functions and aspects of its operation, including but not limited to, risks of fire, casualty, automobile coverage as required by law, workers' compensation insurance as required by law, employers' liability insurance, and general liability insurance for personal injury, property damage and contractual liability under this Agreement.
13. **Notices.** Unless and to the extent otherwise provided in this Agreement, all notices, demands, requests for approvals or other communications which are required to be given by either party to the other shall be in writing and shall be deemed given and delivered on the date delivered in person to the authorized representative of the notice recipient provided below, or upon the expiration of five (5) business days following the date mailed by registered or certified mail, postage prepaid, return receipt requested to the authorized representative of the notice recipient at the address provided below, or upon the date delivered by overnight courier (signature required) to the authorized representative of the notice recipient at the address provided below.

Fort Pierce Redevelopment Agency:

City of Fort Pierce
Attn: Fort Pierce Redevelopment Agency
100 North US Highway 1
Fort Pierce, FL 34950

Copy:

City of Fort Pierce
Attn: City Attorney
100 North US Highway 1
Fort Pierce, FL 34950

Recipient:

Jetset Events, LLC
207 Orange Avenue Suite K
Fort Pierce, FL 34950

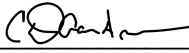
14. **Assignment.** The Recipient shall not assign this Agreement without the prior written consent of the FPRA. Any assignment of this Agreement contrary to this paragraph shall be void and shall confer no rights upon the assignee. The Recipient shall notify the FPRA thirty (30) days prior to any conveyance or sale, granting or transferring any real property underlying the Project or portion thereof, to any heirs, successors, assigns or grantees, including, without limitation, the conveyance of any security interest in said real property.
15. **Due Authority.** Each party to this Agreement represents and warrants to the other party that: (i) it is a duly organized, qualified and existing entity under the laws of the State of Florida; and (ii) all appropriate action has been taken so as to duly authorize the persons executing this Agreement to so execute the same and fully bind the parties on whose behalf he or she is executing.
16. **Headings.** The paragraph headings are inserted herein for convenience and reference only, and in no way define, limit, or otherwise describe the scope or intent of any provisions hereof.
17. **No Third-Party Beneficiaries.** Notwithstanding anything to the contrary contained in this Agreement, persons, or entities not a party to this Agreement may not claim any benefit hereunder or as third-party beneficiaries hereto.
18. **Entire Agreement and Modification.** This Agreement constitutes the entire agreement between the Parties pertaining to the subject matters covered herein and there are no oral representations, arrangements, or understandings between or among the Parties relating to the subject matters of this Agreement. No change to this Agreement will be valid unless made by a written amendment executed by the Parties.


19. **Waiver.** No provision of this Agreement will be deemed waived by the FPRA unless expressly waived in writing by the FPRA. No waiver shall be implied by delay or any other act or omission of the FPRA. No waiver by the FPRA of any provision of this Agreement shall be deemed a waiver of such provision with respect to any subsequent matter relating to such provision, and the FPRA's consent respecting any action by the Recipient shall not constitute waiver of the requirement for obtaining the FPRA's consent respecting any subsequent actions.
20. **Severability.** Should any paragraph or portion of any paragraph of this Agreement be rendered void, invalid, or unenforceable by any court of law, for any reason, such a determination shall not render void, invalid, or unenforceable any other section or any part of any section of this Agreement.
21. **FPRA Consent and Action.** For purposes of this Agreement, any required written permission, consent, acceptance, approval, or agreement by the FPRA means the approval of the FPRA Board or their authorized designee, unless otherwise set forth in this Agreement or unless otherwise required by the City Charter or applicable Laws.
22. **Survival.** All obligations and rights of any party arising during or attributable to the period prior to expiration or earlier termination of this Agreement, including but not limited to those obligations and rights related to indemnification, shall survive such expiration or earlier termination.
23. **Governing Law and Venue.** This Agreement and the rights of the Parties shall be governed by and construed or enforced in accordance with the laws of the State of Florida. Venue for any action arising out of this Agreement is in the courts of St. Lucie County, Florida. Any action shall be tried as a non-jury case.

(REMAINDER OF THIS PAGE INTENTIONALLY LEFT BLANK)

IN WITNESS WHEREOF, the Parties have caused this Agreement to be executed by their duly-authorized representatives, as of the date first above written.

OWNER/RECIPIENT WITNESSES:

Sign: 
Print: Chris Gardner
Date: August 29, 2024

Sign: 
Print: Tamera Ownby
Date: August 29, 2024

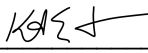
CITY WITNESSES:

Sign: _____
Print: _____
Date: _____

Sign: _____
Print: _____
Date: _____

OWNER/RECIPIENT:

JETSET EVENTS, LLC by

Sign: 
Print: Kris Einstein
Title: President/Owner
Date: August 29, 2024

ACCEPTED FOR THE FORT PIERCE REDEVELOPMENT AGENCY:

Sign: _____
Print: Linda Hudson
As its: Chair
Date: _____

APPROVED AS TO FORM & CORRECTNESS:

Sara Hedges, Esq.
City Attorney

APPENDIX "A"

PROJECT DEVELOPMENT PLAN

207 ORANGE AVENUE FORT PIERCE, FL 34950

Project Description

This Commercial Façade Grant is awarded to Jetset Events, LLC, for the renovation of property located at 207 Orange Avenue. This grant will provide funds to assist the Recipient improve the property by adding outdoor window boxes and hurricane shutters to the upper windows; installing security cameras; and renovating the entranceway including replacing exterior flooring, removing tile, replacing the windows and replacing the front doors with ADA compliant entrances.

The Recipient will provide to the FPRA a Final Report documenting all construction costs incurred in association with the improvements included in the Application (Appendix "B") prior to receiving reimbursement payment(s). Recipient must include:

- A. Completed W-9, as required by law, for the Recipient of the grant funds.
- B. Copies of all required closed permits.
- C. Copies of all invoices
- D. Proof of payment (Cancelled checks or bank statements)
- E. Photographs of the work undertaken
- F. Releases of liens (if applicable)
- G. Occupancy certificates (if applicable)

Maximum FPRA Grant Award : Fifty percent (50%) of eligible costs, not to exceed Twenty-Five Thousand Dollars (\$25,000.00).

Project Timelines

1. The Recipient must receive the building permits within six months of the Effective Date. During this time period, the Recipient shall provide evidence of the building permit approval to the FPRA.
2. The Recipient shall complete the Project within twelve months after the issuance of the building permits.
3. For projects not requiring a building permit, within six months of the Effective Date, the Recipient shall notify the FPRA of when it will start the Project within the aforementioned period.
4. The Recipient must provide written progress updates upon request by the FPRA.
5. Requests for payment to the FPRA, shall include the Final Report documentation itemized above.
6. Completion and/or occupancy and full operation of the services described in this Agreement shall be achieved by March 10, 2026.

These reports/request can be sent electronic or by postal mail:

Fort Pierce Redevelopment Agency

100 N US Hwy 1

Fort Pierce, FL 34950

fpfa@cityoffortpierce.com

APPENDIX "B"

APPLICATION PACKETS

207 ORANGE AVENUE FORT PIERCE, FL 34950

1. Revised/Updated Application Packet (July 28, 2024)
2. Original Application Packet (July 2, 2024)

Print

2024 COMMERCIAL FACADE GRANT PROGRAM APPLICATION - Submission #22568

Date Submitted: 7/2/2024

APPLICATION FORM

There is no guarantee that funding will be available for every application submitted, including those that meet the required criteria. The application period will remain open until all of the allocated funds are depleted. Submitted applications will be evaluated every 30 days.

To review full grant program overview, visit: [Commercial Facade Cover Page \(cityoffortpierce.com\)](https://cityoffortpierce.com)

Property Details:

Parcel ID Number:*

2410-507-0002-000-5

If you do not have your parcel ID, visit <https://www.paslc.org/property-search/> to obtain.

Grant Property Address:*

207 Orange Avenue

Property Owner's Name:*

Jetet Events LLC

Building's New Use(s) (if applicable):

Building's Existing Use(s):*

Mixed Use

Lease Term (if applicable):

Applicant Information:

Applicant Name:*

Kris Einstein

Applicant Title (Business Owner, Property Owner, Business Partner, etc):*

Owner

Email Address:*

kris@entertainair.com

Phone Number: *

3863029510

Business Information:

Legal Business Name:

Jetset Events, LLC

Business Type (Restaurant, Retail, Office, etc):

Owns the Mixed Use building which is applying for this grant

Employer Identification Number / Tax ID:

81-4638668

Number of Years in Business:

8

Number of Years at Current Address:

8

If not currently open for business at this location, when do you expect to open?

Project Details:

Grant amount requested?

\$25,000

Note: This grant offers financial assistance in the form of a reimbursable grant, matching 50% up to \$25,000.

What is the total project investment?

\$56,540

The costs must be verified by licensed contractors.

Estimated timeframe for the completion of the project:

12 months, hopefully a lot sooner, but depends upon approval from Historical Board, weather and shipping of supplies

The project must be started within six (6) months from the date of the FPRA Board approval and completed within 12 months of the building permit issuance. Failure to do so, without an approved deviation by the FPRA, will result in termination of the grant.

General Description of Proposed Improvements:*

- | | |
|--|---|
| <input type="checkbox"/> Awnings/Canopies | <input checked="" type="checkbox"/> Building Facade |
| <input checked="" type="checkbox"/> Signs | <input checked="" type="checkbox"/> Windows/Doors |
| <input checked="" type="checkbox"/> Walls | <input type="checkbox"/> Parking lot repaving, resealing, and/or restriping |
| <input checked="" type="checkbox"/> Fencing | <input type="checkbox"/> Patio deck |
| <input checked="" type="checkbox"/> Landscaping/Irrigation | <input type="checkbox"/> Roofing |
| <input type="checkbox"/> Mural/Art Installation | <input checked="" type="checkbox"/> Security cameras/system |
| <input checked="" type="checkbox"/> Exterior Painting | <input type="checkbox"/> Other (explain in narrative below) |

Narrative describing the project, improvements to be made, and why this funding is necessary:*

See Attached

Narrative detailing approach to fully fund this project. Note: This is a dollar-for-dollar matching grant.*

Personally funded

Design & Creativity

Our Building was used in the picture on the cover of the Grant's Overview paperwork, so that says something. :) On serious note - we have done a lot of research on our building (back to the days before it housed Western Union & Montgomery Wards Sales Order Office) & are keeping it as original as possible while bringing the front entrances up to ADA compliance & current building codes. We also are using design elements found on other buildings to keep it cohesive with neighboring downtown buildings. Some improvements, like properly draining the courtyard & bigger/more gutters, will help prevent/fix flooding during heavy rains (we are downhill of other properties). Repairing the fence wall, replacing the fence & repairing gate, along with new landscaping in the courtyard will not only be more attractive (vs blight), but then our tenants & their clients can enjoy it more so. Plus it will be safer ie help keep the homeless (& others) from coming in to sleep there at night. By doing the repairs and improvements, the building will become more energy efficient since the front is the plate glass & the windows & doors are from 30+ years ago, providing no insulation and are not safe, nor up to code. All of the projects will help with the longevity of the building - our building is in relatively great shape because of the care we put into it & properly maintain it. We are constantly updating it and only use quality materials. These projects will help with the building's overall longevity.

Provide a narrative of how your project will accomplish the following:

- Innovative and visually appealing facade design
- Compatibility with neighborhood's architectural style
- Sustainability and longevity of proposed improvements

Community Impact/Public Benefit

Lower Level Commercial spaces' entrances will be ADA complaint. Courtyard will not be blighted/eye sore. Tenants will have more space to "entertain" their clients. Not a lot of salons in downtown, if any, (our current clients) have outdoor spaces they can use for clients. The building will look "fresh" while maintaining it's historic character, only adding beauty to the downtown.

Narrative describing how the funded project will generate meaningful positive impacts for the community and the general public.

Narrative describing how this project will address the priorities of the FPRA as outlined in the Redevelopment Plan. This narrative shall identify community benefits resulting from the project.*

- 1) Our building is shown on page 37-39 of the FPRA's Redevelopment Plan.
- 2) Historic Preservation (pg 90) - our building is on the local historic registry & is one of the "structures that exemplify Fort Pierce's historical significance." This grant will allow us to continue to preserve the building so it will be around for many, many more years to come, plus, with it having ADA compliant entrances, more people will be able to enjoy the building & more potential clients for our current & future tenants.

From Questions on pg 103:

#9's answer - 5. Improve community aesthetics (e.g. landscaping, façade, architecture, etc.)

Below are excerpts from the FPRA Plan that our project incorporates/addresses.

GOAL The Fort Pierce Redevelopment Agency shall celebrate and support historic preservation and cultural heritage activities within the Redevelopment Area.

GOAL The Fort Pierce Redevelopment Agency shall support the City's efforts to address stormwater issues and localized flooding within the Community Redevelopment Area.

GOAL The Fort Pierce Redevelopment Agency shall Improve public safety and perception of safety within the Redevelopment Area.

Although often overlooked in redevelopment discussions, signage continues to play an important role within our communities.

To view the FPRA Plan, visit: <https://cityoffortpierce.com/DocumentCenter/View/9381/2020-Updated-FPRA-Plan>

Required Documentation:

Color photograph of the existing condition of the FRONT of building (1 of 2):*

Current Photos - front and side.pdf

Color photograph of the existing condition of the FRONT of building (2 of 2):*

Current Photo - Back and Roof.pdf

Project plans and renderings and any other relevant materials that convey the physical improvements proposed to be made:*

Conceptual Pics.pdf

Design and construction plans for the proposed improvements.*

Timeline and projects.pdf

Provide examples of project colors, design, materials and specifications.*

Examples of materials1.pdf

Proof of ability to fully fund the project.*

Funding.pdf

Attach a letter describing why this property should be selected to receive a grant. Please include how this project meets the goals and objectives of the FPRA Plan.*

Letter.pdf

Cost Estimates*

Estimates.pdf

A minimum of one (1) cost estimate from a licensed contractor issued within the previous 90 days of this application submission. Estimates should be broken out in detail, especially if any non-eligible improvements are being completed, as this allows FPRA to compare based on only grant eligible improvements being performed.

Signature

Electronic Signature*

K einstein

Certification Statements for Commercial Facade Application Submission

1. I certify that the information provided in this application is true and accurate to the best of my knowledge, and no false or misleading statements have been made to secure approval of this application.
2. I certify that I have reviewed the Commercial Facade Program Overview.
3. By typing my name in the box above, I am signing this document electronically. I agree that my electronic signature has the same validity and legal effect as my handwritten signature.

Current
photo



© 2023 Google



BRODERICK

BEAUTY BAR

207

BEAUTY BAR

209

BEAUTY BAR



Conceptual Option #1
(Preferred option)



1 "Big" window per storefront
w/ Transoms above windows (+ Doors)

Project #2

Conceptual Option #2



Taller + thinner windows / no Transoms
above windows

Conceptual w/ option #1 for windows
on lower storefronts.



Conceptual w/ option #2 for storefront windows



Conceptual Rear

Project 3+4





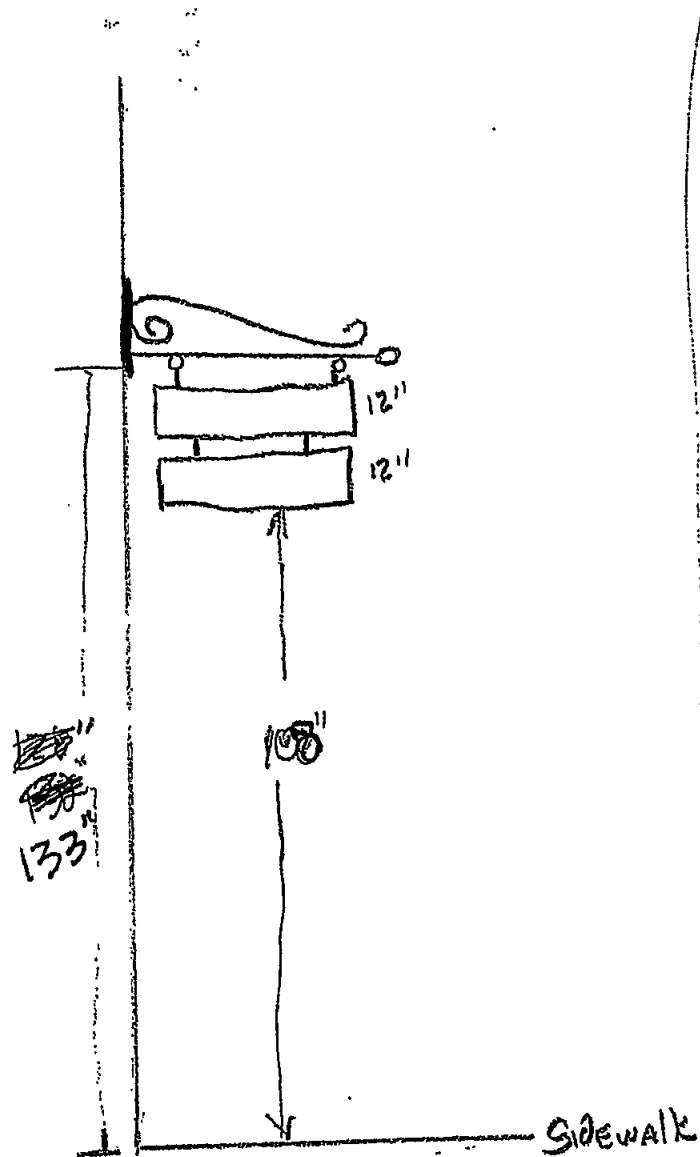
Option 2
Back Deck

Conceptual Rear Facade

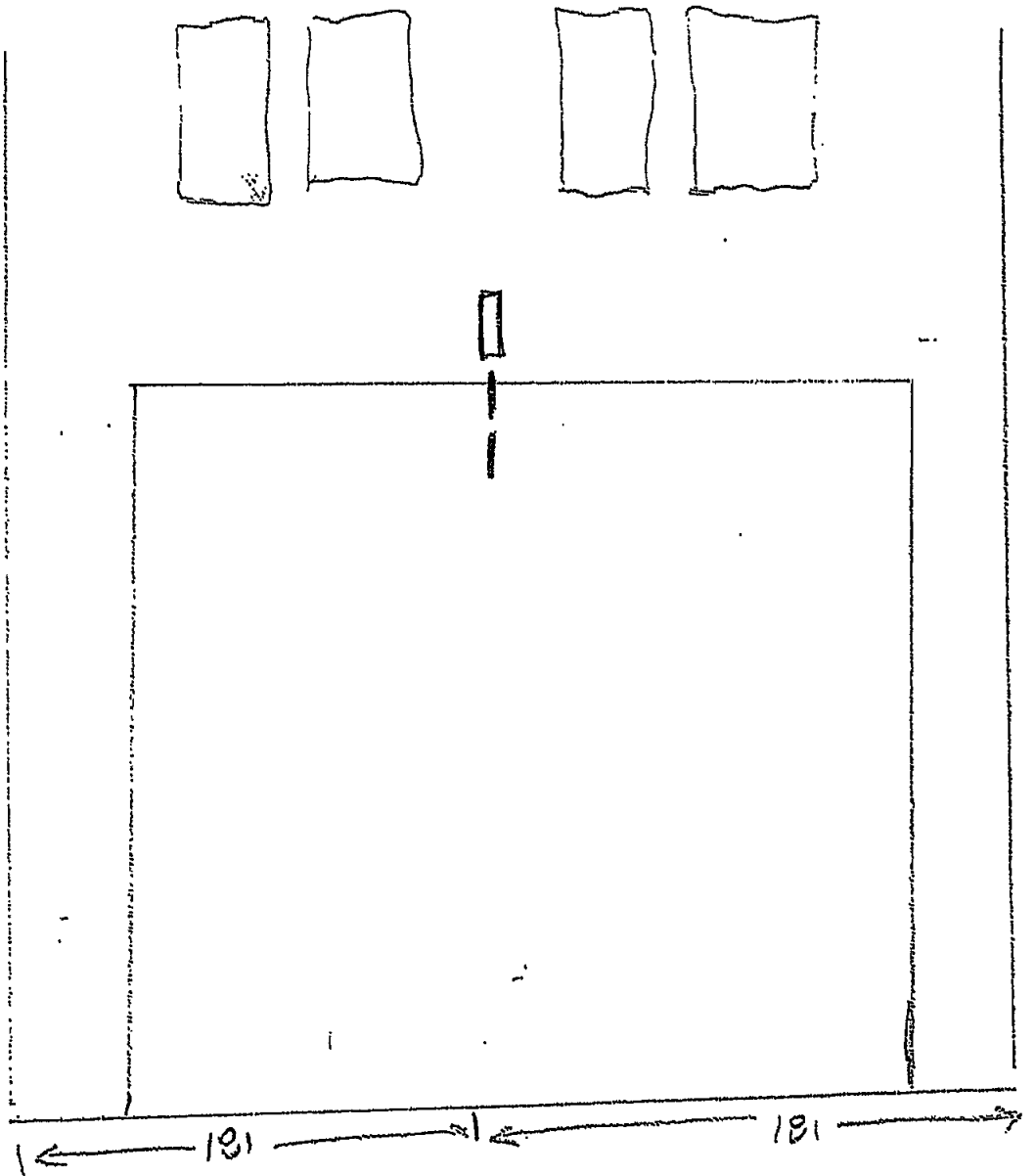
Project 4, 5 And Alt 7



SIDEVIEW



FRONT VIEW



Mounted at building centerline 128" to base
with 2 12" sign below bottom height
103"

Current
photo

old
telephone cables

Replace

Replace



Current



Current



Cables + Lines
are Complete
Cluster

Remove
Obsolete
tel lines
& reorg
xfinity
lines

Upper
ones
are FWA
& lower
ones are
Cable
& the
obsolete
Bell South
tel lines

Current



Current



* Repaint
Gate +
Replace
Frame

Current

Replace Frame

Stay

Next to Stay
& Be Repainted





Current

Replace Fence

Current



Repair
Fence

Current



Fix
wall

Current

Fix wall + paint



Current



Re-
Paint
pole
up to
height
of
fence



"New
Addition"
is
Where
Building
"Drops"
Down



photo taken
from Rear of Building

Front
< orange Ave >

Back of Bldg

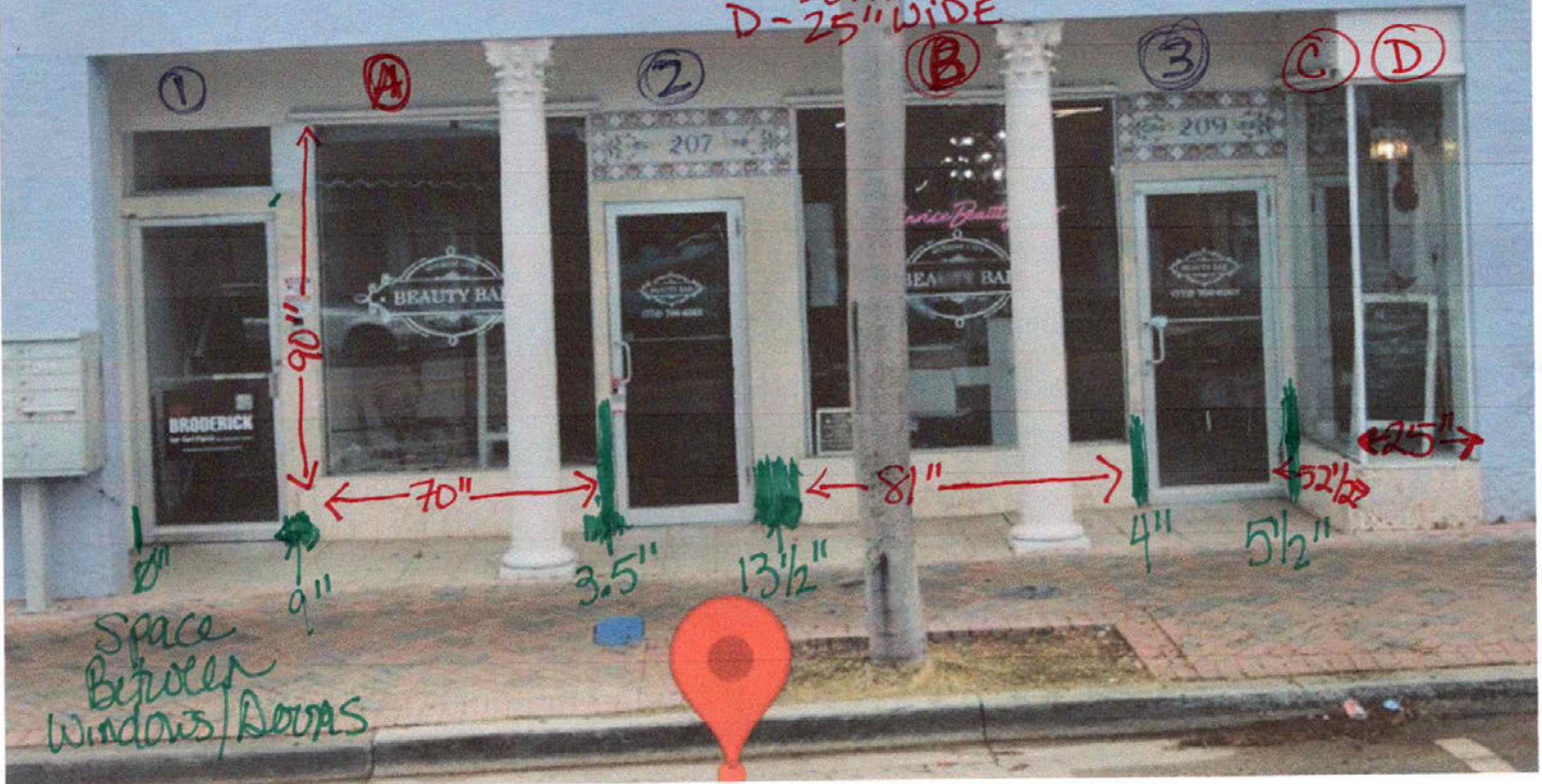


Current photo

Door #1 = 36" wide
#2 = 34" wide
#3 = 33 3/4" wide

Plate Glass

#A = 70" wide
B = 81" wide
C = 52 1/2" wide
D = 25" wide
} 90" high



Space Between Windows/Doors

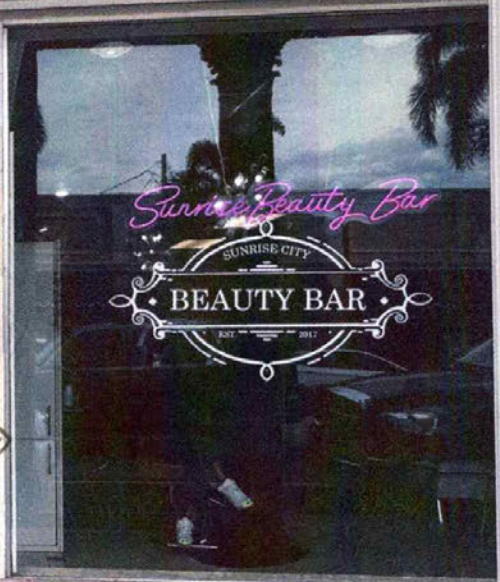
* Have to Reduce window sizes to allow enough room for wider doors + line up properly with interior space.

Door #1
~36" wide

Door #2
(middle)
~34" wide

Door #3
33 3/4" wide

Building had transoms from @ least 1980



←9"→

3.5" wide

←3 1/2"→

←4"→
Between window + door

←70"→

←81"→

←36"→

←34"→

←33 3/4"→

Door #1 Does not 'fully' open due to hinge, so not ~~have~~ 36"

Current photo

* Remove All Facade Tile around Doors + below Windows

Door #2 (middle)
Remove tile
↓ expose orig Transom

81"

52 1/2"

25"

207



90"

13 1/2"

16"

4" between window + 3rd door

16"

34"

3.5" Between Window + Door

Replace All Ground tiles

Current photo



Current photo

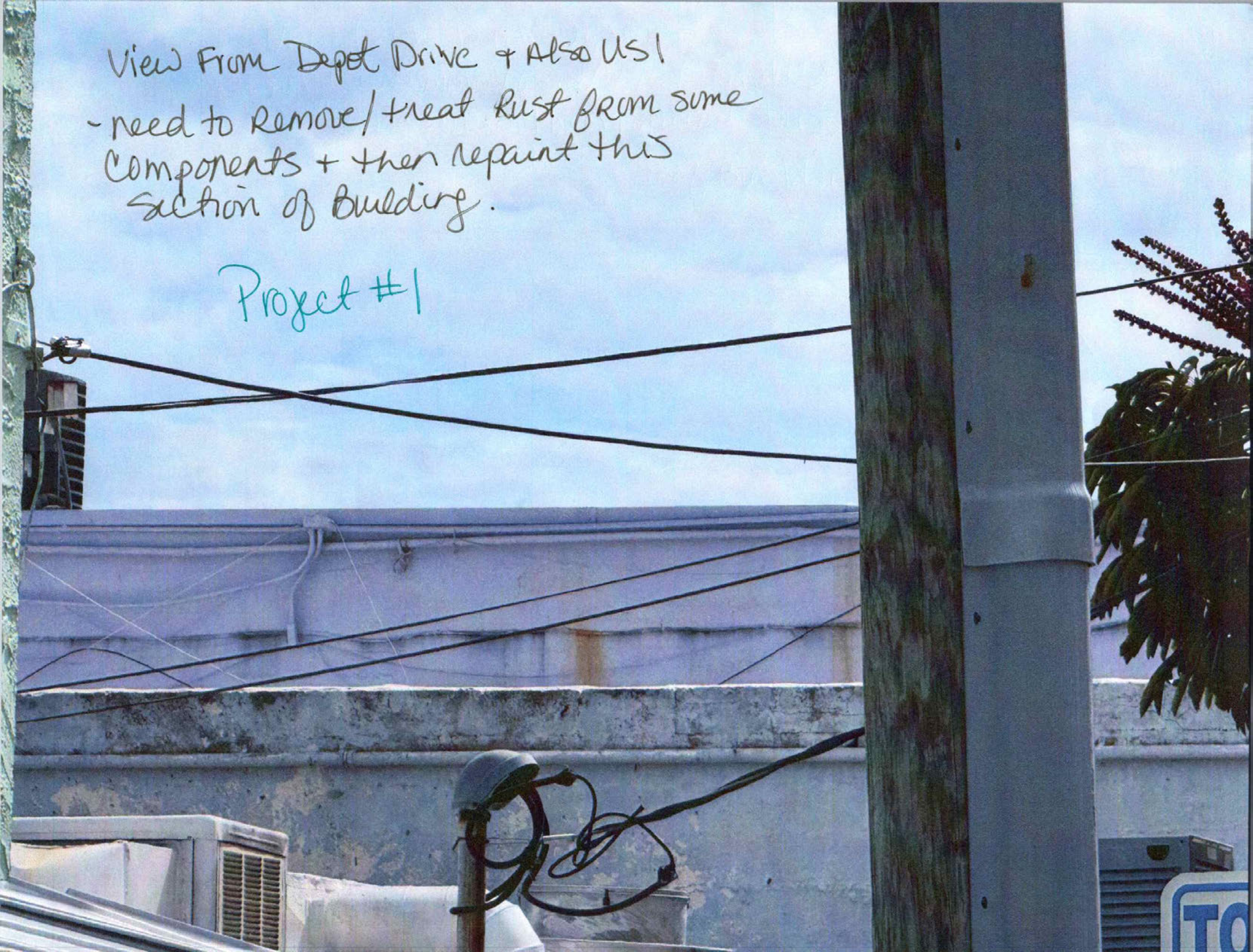


Current photo



View From Depot Drive + Also US1
- need to Remove/treat Rust from some
Components + then repaint this
Section of Building.

Project #1



ESTIMATE

DATE

June 27, 2024

ESTIMATE NO

24-8071

Campbell Construction

2200 Campbell Cove Trail

DeLeon Springs, FL 32130

386-527-9727

mbc.construction@gmail.com

License Number: CBC1252939

ESTIMATE TO:

Jetset Events

207 Orange Ave, Suite A

Fort Pierce, FL 34950

386-302-9510

trips@entertainair.com

SALESPERSON

MC

JOB

Krissy E

PAYMENT TERMS

Payment Schedule to be given once Projects and Schedule are Identified with 25% due at time of signing contract.

DUE DATE

Net 15 Upon Acceptance

QUANTITY**DESCRIPTION****UNIT PRICE****LINE TOTAL**

Project - Front Facade (Lower Level)

1	3 Exterior Doors, 3 Locks, Windows, Transoms, Replace Tile on Ground (in alcove), Stucco Repair, Paint, Sign Bracket & Installation (does not include Tenants' signs) - includes removal of old doors, tiles, windows, fixtures; prep work required for new products to be installed & installation of new products.	36,140	\$36,140.00
---	--	--------	-------------

Project - Front Facade (Upper Level)

4	Window Boxes (including installation)	500	\$2,000.00
---	---------------------------------------	-----	------------

Project - Fence

1	Fixing of the ground wall, new fencing and framing for the gate. Includes removal of current fencing, installation of new fencing; painting of concrete and gate	9,600	\$9,600.00
---	--	-------	------------

PG 1

Quantity	Description	Unit Price	Line Total
Project - Back Facade			
1	Lower Level: 1 Exterior Door, 1 Window & 1 Window Box; Upper Level: 1 Exterior Door, 1 Window, New Light Fixtures, Decking, Railing & Gutters. Upper & Lower: 2 Locks, Concrete & Stucco Repair, Paint. Includes removal of old products (including old cables), prep work required for new products to be installed & installation of new products.	28,135	\$28,135.00
Project - Courtyard			
1	Landscaping - New Pavers, artificial grass, shrubbery/plants/flowers (including Italian Cypress to match), drainage	4,000	\$4,000.00
Project - Painting Small Section of Side Facade			
1	Touch up paint on the upper side of the building (facing west). Includes fixing issue that is causing rust to drip down the side of building.	1,300	\$1,300.00
Misc Fees			
1	Architect Fees	4,600	\$4,600.00

This estimate is valid for 15 days.
Per Client's request, permit fees are not included.

Subtotal	\$85,775.00
Total	\$85,775.00

pg 2

ESTIMATE

Native Roofing Solutions LLC
 P.O Box 1513,
 CCC1334800
 Fort Pierce , FL 34954
 (772) 801-5492

License Number: CCC1334800
www.NativeRoofingSolutions.com

Sales Representative
 Stacy Moran
 (772) 971-8255
 stacy@nativeroofingsolutions.com



Chris Gardner
 Job #1144 - Gardner- Orange Ave
 207 Orange Ave
 Fort Pierce, FL 34950

Estimate #	7211
Date	7/1/2024

Item	Description	Price
Modified Flat Roof	-Tear off a single layer of existing flat roof system down to the plywood/decking. -Remove and replace up to 5 sheets of plywood if needed. -Note: All additional plywood if needed will be billed out at \$105.00 per sheet installed. -Re-nail the entire plywood roof deck to meet the code using 8D ringshank nails. -Install Polyglass self-adhered base sheet to code. -Install 26 Ga. eave drip to code using 1-1/4" ringshank nails. -Install polyglass "White" granulated Modified bitumen torch applied to code. -A 3 yr workmanship warranty will be forwarded upon receipt of final payment.	\$18,000.00
Modified 1.4" Pitched Roof	-Tear off a single layer of existing flat roof system down to the decking. -Remove and replace up to 5 sheets of plywood if needed. -Note: All additional plywood if needed will be billed out at \$105.00 per sheet installed. -Re-nail the entire plywood roof deck to meet the code using 8D ringshank nails. -Install Polyglass self-adhered base sheet to code. -Install ISO board as needed to create a pitch towards all sides of roof system to eliminate water ponding. -Install self adhered base sheet using screws and plates to mechanically attached to base sheet to ISO board. -Install white torch applied modified bitumen roof system for water tightness of flat deck to code. -A 3 yr workmanship warranty will be forwarded upon receipt of final payment.	\$12,000.00

Redfast

Item	Description	Price
Job Notes	<p>Doors/Windows will be covered with Plywood at location of dump trailer or dumpster for protection.</p> <p>Patio areas as well as shrubs and plants will be protected as best possible.</p> <p>This Estimate does not include the following: - Electric disconnects on any roof top appliances. - Painting - Gutter Re- use - Gutter Replacement</p> <p>This Estimate includes: - Any caps for parapet walls - New vents and lead stacks - Eliminating pipes on roof top that are not in use. - All Necessary permitting - Clean up and disposal of all job related debris - Manufacturer and workmanship warranties</p> <p>This Quote is valid for 5 days from estimate date.</p>	\$0.00
Donation		\$0.00

Sub Total	\$30,000.00
Total	\$30,000.00

Signature: _____

SPECIAL INSTRUCTIONS

- Terms Shall be as stated:
1. 35% Due Upon Signing of Contract
 2. 40% Due Upon Dry In
 3. 25% Due Upon Completion

- We accept the following payment methods:
- Cash
 - Check
 - ACH
 - 3rd party financing
 - Credit cards (an additional fee of 4%)
 - Venmo, Zelle, Apple Pay

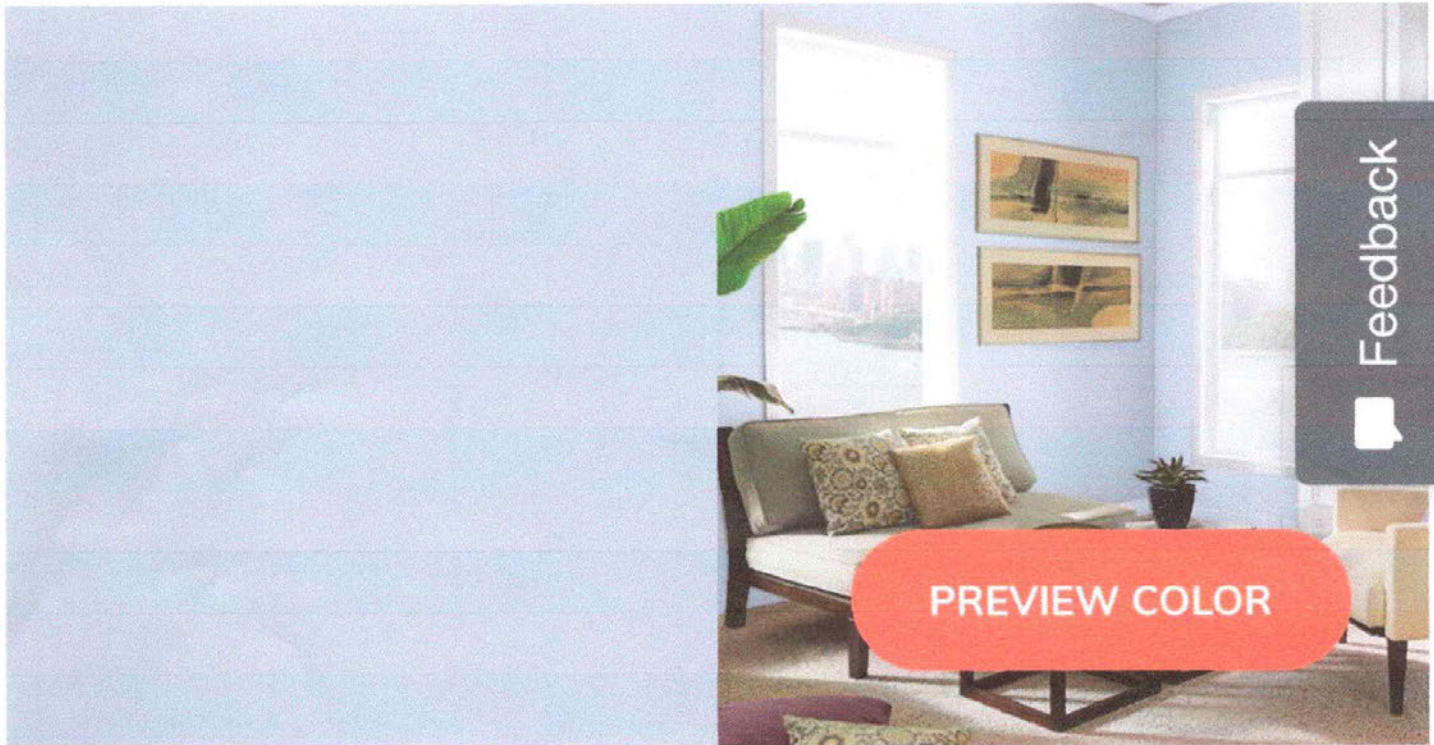


Main Paint color
of Building

Violet Vision

S540-2

See all Purple Paint Colors [>](#)



LRV: 51 R: 183 G: 189 B: 209



Ft Pierce 10PM

34947



Ft Pierce 10PM

34947

Shop All Services

DIY

Log In

Main Paint color for Blg

Home / Paint / Paint Colors

Internet # 205264276 Model # 705005 Store SKU # 926797

BEHR PREMIUM PLUS

5 gal. #S540-2 Violet Vision Satin Enamel Low Odor Interior Paint & Primer

★★★★★ (11123) Questions & Answers (435)

Live Chat
Feedback



Share Print

See This in My Room

Dimensions

Container Size 5 Gallon

*Paint
Main color*

Details

Approximate Coverage (sq. ft.)	2000	Base Material	Acrylic
Color Family	Purple / Lavender	Color/Finish	Violet Vision
Dry to Touch (min.)	60	Hexadecimal Value	B7BDD2
HSL Value	226.7:23.1:77.1	Minimum Temperature for Use (F)	35
Number of coats recommended	2	Paint & Primer in One	Yes
Paint Key Features	Low Temperature, Paint & Primer in One	Paint Type	Exterior Paint
Paint/Stain Clean Up	Soap & Water	Protection Type	Mildew Resistant
Returnable	Non-Returnable	RGB Value	183:189:210
Sheen	Satin	Surface Material Use	Brick, Drywall, Masonry, Plaster, Stucco, Vinyl, Wood
Time before recoating (hours)	2	Tint Base	Base 1
Transparency	Solid		

Cameo White

MQ3-32

*Trim Color Paint
+ Front Facade
Alcove*

See all White Paint Colors [>](#)



LRV: 81 R: 235 G: 232 B: 226

Trim color + Front Facade Alcove

Internet # 329086212 Model # 815005 Store SKU # 1011127493

Home / Paint / Paint Colors

New

BEHR PREMIUM PLUS

5 gal. #MQ3-32 Cameo White Hi-Gloss Enamel Interior/Exterior Paint & Primer

★★★★★ (73) Questions & Answers (9)

Live Chat Feedback



Share Print

\$179⁰⁰

Pay \$154.00 after \$25 OFF your total qualifying purchase upon opening a new card. Apply for a Home Depot Consumer Card

- Durable finish, resists dirt & grime
- Hi-Gloss sheen best for kitchens, bathrooms, cabinets & trim

Dimensions

Container Size

5 Gallon

*Cameo White
Trim & Accent
Paint*

Details

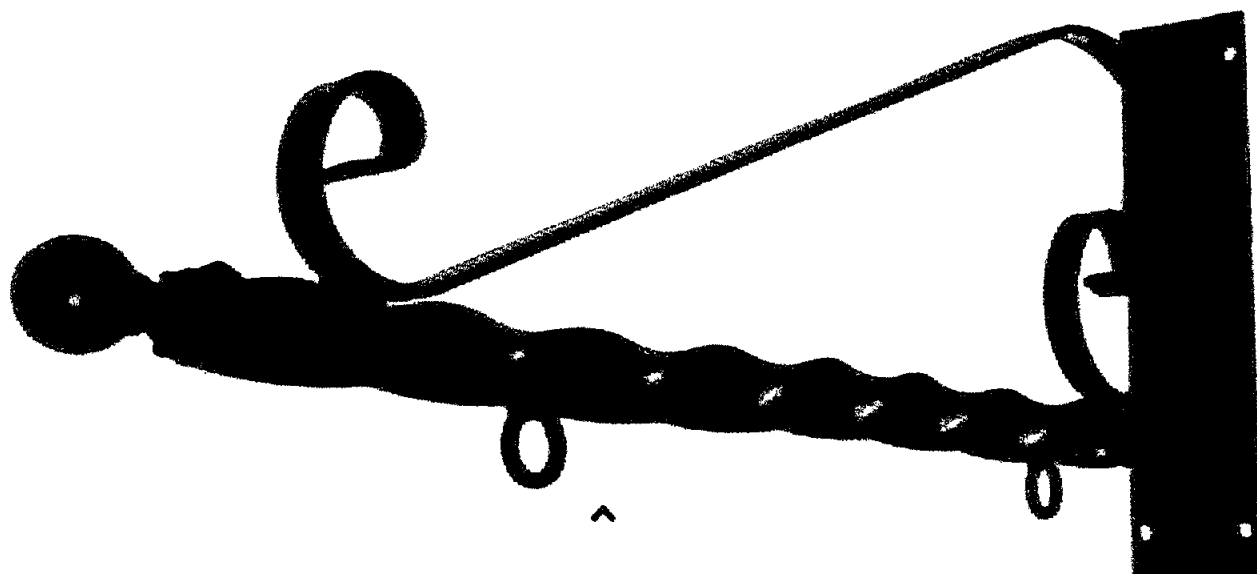
Approximate Coverage (sq. ft.)	2000	Base Material	Acrylic
Color Family	White	Color/Finish	Cameo White
Dry to Touch (min.)	60	Hexadecimal Value	EBE8E2
HSL Value	40.0:18.4:90.4	Minimum Temperature for Use (F)	35
Number of coats recommended	2	Paint & Primer in One	Yes
Paint Key Features	Low Temperature, Paint & Primer in One	Paint Type	Exterior Paint
Paint/Stain Clean Up	Soap & Water	Protection Type	Mildew Resistant
Returnable	Non-Returnable	RGB Value	235:232:226
Sheen	Satin	Surface Material Use	Brick, Drywall, Masonry, Plaster, Stucco, Vinyl, Wood
Time before recoating (hours)	2	Tint Base	Base 1
Transparency	Solid		

Sold by **streetsignusa** (<http://myworld.ebay.com/streetsignusa>) (3517

(<http://feedback.ebay.com/ws/eBayISAPI.dll?ViewFeedback&userid=streetsignusa>)

+ Show additional actions

 Delivered



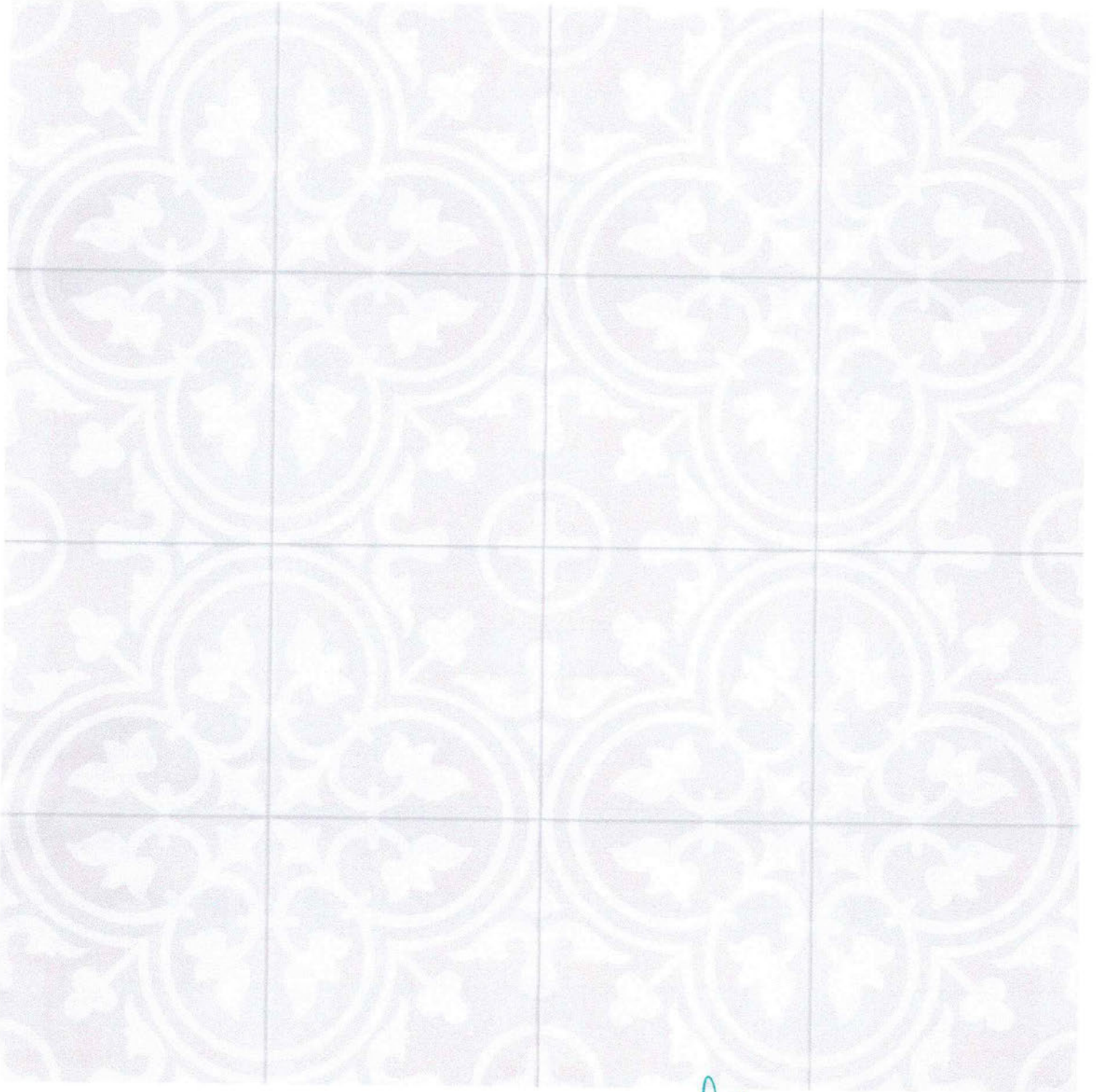
36" DELUXE HEAVY DUTY SCROLL SIGN BRACKET Antique Vintage Style Home Or Business
(<http://www.ebay.com/itm/162279315774>)

Item price USD 109.99
Quantity 1
Item number 162279315774
Shipping service Standard Shipping

Contact seller (<http://contact.ebay.com/ws/eBayISAPI.dll?FindAnswers&frm=3998&id=162279315774&redirect=0&requested=streetsignusa>)

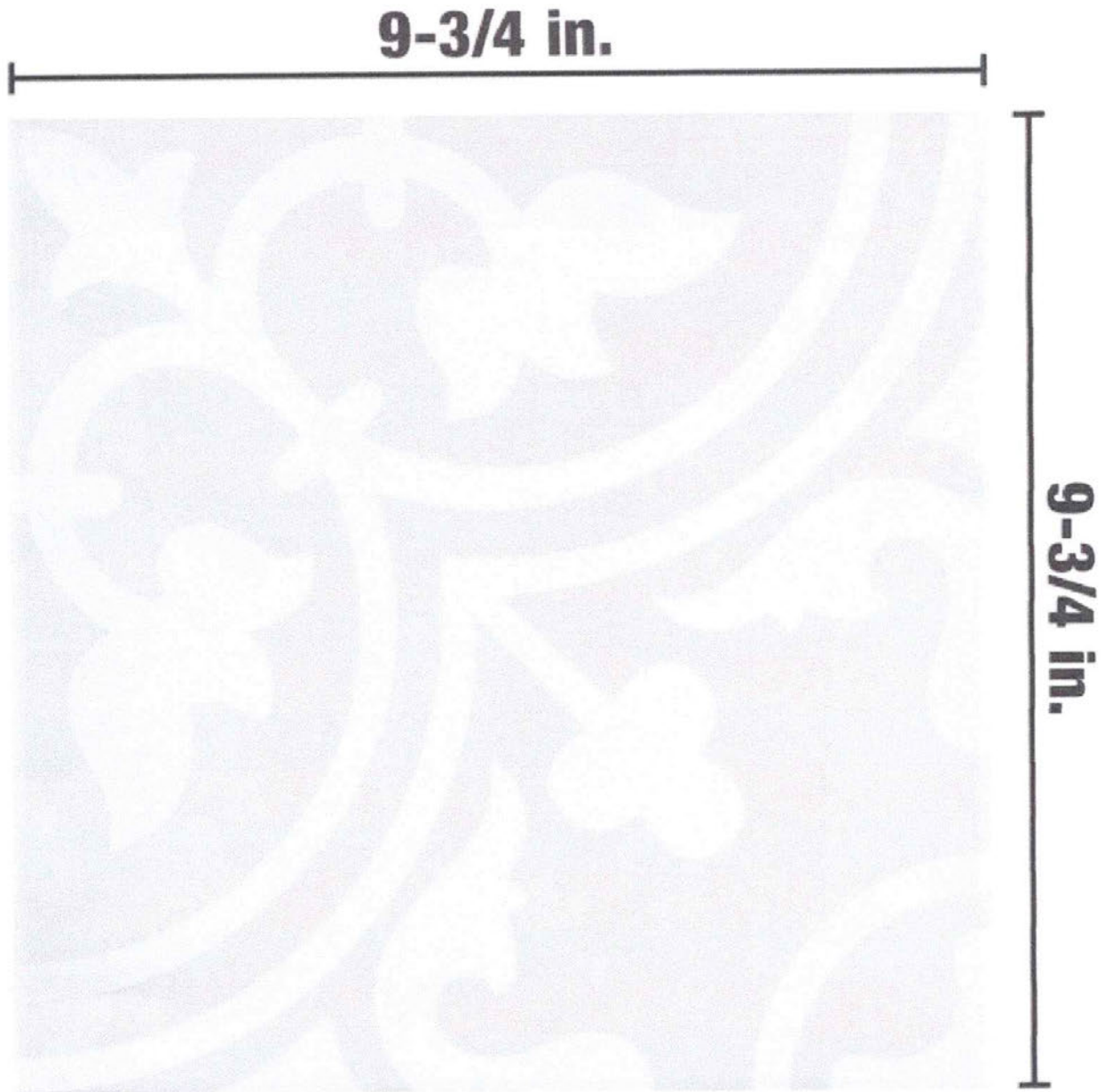
Sign Bracket to install
on front of Building, it will
hold 2 signs that are ~ 12" each.
See next page for approximate
placement.

Tile for ground/floor of Alcove entry
in front



Front facade
tile

Weights & Dimensions



Front Facade

60

Other Dimensions

Individual Tile

9.75" W X 9.75" L

Overall Product Weight

43.68 lb.

Additional Documents

[Owner Manual \(pdf\)](#)

[Specifications \(pdf\)](#)

[Warranty Information \(pdf\)](#)

[Installation & Assembly \(pdf\)](#)

Features

Tile Type	Singular Tile
Material	Porcelain
Floor Use	Yes
Square Feet Included	Yes
Sold In Carton	Yes
Water Absorption Rating	Impervious: absorbs 0.05% or less
Water Performance Level	Waterproof
Submersible	No
Outdoor Installation	Withstands Sun & Rain
Shade Variation	V1 Uniform Appearance
Tile Design	Patterned
Overall Shape	Square
Pattern Repeat Frequency	1
Glazed	Yes
Gloss Level	Matte
Textured	No
Edge Type	Pressed
Edge Style	Straight Edge
Product Care	Tile specific cleaner
MOHS - Surface Hardness	6
Imported	Yes
DCOF Rating	Above 0.42 (Slip Resistant)
Durability	Freeze Resistant
Pieces per Carton	16
Color	Gray
Recommended Grout Joint Size	1/8 inches

Specifications

PEI Rating	4 - Heavy traffic
------------	-------------------

Assembly

Mounting / Installation Location	Backsplash; Bathroom; Shower; Kitchen; Fireplace Surround; Countertop; Outdoor; Patio
Can Be Dry Cut	No

Warranty

Commercial Warranty	No
Product Warranty	Yes
Warranty Length	30 Days
Warranty Details	Manufacturing defects only - No claims will be accepted for tile already installed

Front facade

Yes



Ft Pierce 10PM 34947

What can we help you find today?



Ft Pierce 10PM 34947

Shop All Services DIY Me

.. / Exterior Doors / Front Doors / Steel Doors / Steel Doors With Glass

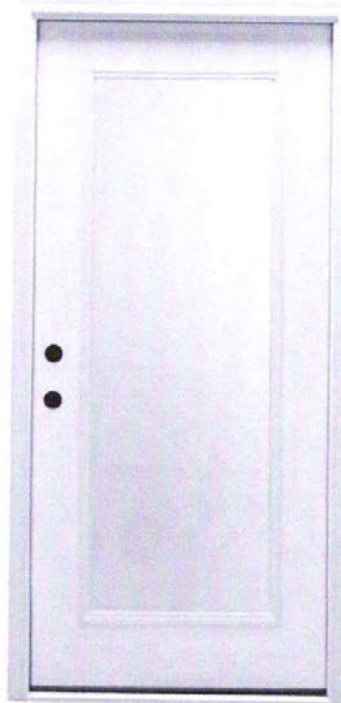
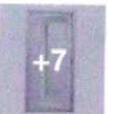
Internet # 206450101 Model # Z00078

AMI Door

16 in. x 80 in. Right-Hand Inswing Full Lite Clear Classic Primed Steel Prehung Front Door

★★★★★ (94) Questions & Answers (71)

♡ 500



Share Print

*Front facade
door option
Full glass*

Door Height (in.)	81.75 in	Door Thickness (in.)	1.75 in
Door Width (in.)	37.438 in	Jamb Size (in.)	4-9/16"
Nominal Door Height (in.)	80 in	Nominal Door Thickness (in.)	2 in
Nominal Door Width (in.)	36 in	Rough Opening Height (in.)	81.625 in
Rough Opening Width (in.)	39.9375 in		

*Front facade
Door
option*

Doors will be "Similar" to Sunrise City Cafe.
(But single door on our building)



Mayne Rectangle 36-in W x 10.8-in H White Resin Traditional Outdoor Window Box

Item #139611 | Model #5822-W

Shop Mayne ★ 14 ♡



+3



*Front facade
& Back facade*



Color/Finish Family
Manufacturer Color/Finish

White
White

Series Name
Type



Container Size
Depth (Inches)
Diameter (Inches)
Height (Inches)

Large (25-65 quarts)
11
7.4
10.8

Potting Capacity (Cu.
Weight (lbs.)
Width (Inches)



Attached Saucer
BPA-Free
Commercial/Residential
Drainage Holes
Hanging
Hardware Included
Lowe's Exclusive
Material
Number of Tiers
Package Quantity

No
Yes
Residential
Yes
No
Yes
No
Resin
0
1

Planter Volume (Quart
Safer for Vegetables
Self Watering
Shape
Stand Included
Style
Team Name
Team/League
Use Location

Warranty

Warranty

15-year limited

*Front facade
& Back "*



Mayne Rectangle 36-in W x 10.8-in H Brown Resin...
 Mayne Rectangle 60-in W x 10.8-in H White Resin...
 Mayne Rectangle 72-in W x 10.2-in H White PVC Vinyl...
 Mayne Rectangle 36-in W x 10.8-in H Gray Resin...
 Mayne Rectangle 60-in W x 10.8-in H Black Resin...
 xallen + roth Rectangle 8.5-in W x 8.62-in H Blue Resin...

14

10

4

14

10

26

Overview

With its inset panels and classic design, the Fairfield collection is a timeless choice that will never go out of style. We use 100% high-grade polyethylene resin in the manufacturing process, making these Fairfield window boxes sturdy, and provides the roots and potting mix with adequate insulation from surrounding weather conditions. These polyethylene window

- Durable window boxes: we use 100% high-grade polyethylene resin in the manufacturing process - making our products durable, lightweight and highly shock resistant
- Four season use: these 3ft window boxes are resistant to high impact, chemicals and extreme weather conditions - this product stands true to its four-season use tag with very little winter preparation
- Long lasting quality: the resin used to create our products contains built-in UV inhibitors that reduce the damaging effects of the sun - this ensures that your product doesn't fade, preserves its color and increases its overall lifespan
- Innovative design: double-wall design makes these Fairfield window boxes sturdy, and provides the roots and potting mix with adequate insulation from surrounding weather conditions
- Self-watering factor: In a self-watering window box, the planting container sits directly inside the water reservoir - the water is then pulled into the potting mix through capillary action, keeping your plants watered and happy
- The Mayne advantage: Mayne offers a 15-year residential warranty or a 5-year commercial warranty on this window box - our products are proudly designed in Canada and are made in the USA
- Weight: 13.5lbs; outside dimensions: 36in L x 11in W x 10.8in H; inside dimensions: 32.4in L x 7.4in W x 8in D; capacity: approximately 3 gallons (11.35 liters) water reservoir capacity and 6.5 gallons (24.6 liters) soil capacity

*Front facade
& Back "*

Specifications



Front facade
& Back "

Specifications



Color/Finish Family
Manufacturer Color/Finish

White
White

Series Name
Type



Container Size
Depth (Inches)
Diameter of Base (Inches)
Diameter of Top (Inches)

Medium (8-25 quarts)
8
0
0

Height (Inches)
Potting Capacity (Cu.
Weight (lbs.)
Width (Inches)



Attached Saucer
BPA-Free
Commercial/Residential
Drainage Holes
Hanging
Hardware Included
Lowe's Exclusive
Material

No
Yes
Commercial/Residential
Yes
No
Yes
No
Resin

Number of Tiers
Package Quantity
Planter Volume (Quart
Self Watering
Shape
Stand Included
Style
Use Location

Certifications

CA Residents: Prop 65 Warning(s)

No

*Front facade
+ Back "*

... / Exterior Doors / Front Doors / Steel Doors / Steel Doors With Glass

Interie: # 20431/424 Model # THDJW184500144

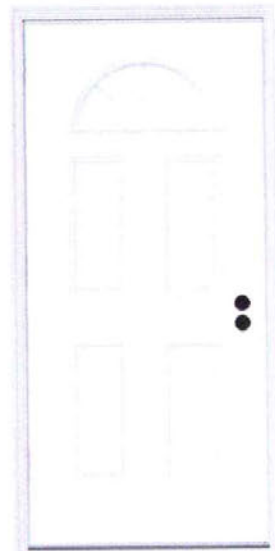
11

JELD-WEN (Brand Rating: 3.8/5)

36 in. x 80 in. Fan Lite White Painted Steel Prehung Right-Hand Outswing Front Door w/Brickmould

3 Questions & Answers (9)

Feedback



Rear Facade Door (Lower)

Share Print

\$1158⁰⁰

\$65.00 /mo** suggested payments with 18 months** financing Apply Now

Buy One, Get One \$50 Off

Main Item: \$50 Off Shop This Offer

- Made of durable rust-resistant galvanized steel
Prehung steel door includes frame for easier installation
Actual unit size is 37-7/16 in. x 80-7/8 in.
View More Details

Color/Finish: Brilliant White



Common Door Size (WxH) in.: 36 x 80

Product Information

Internet # 206450101

Model # Z000783R

Additional Resources

[Shop All MMI Door](#)

From the Manufacturer

- [Energy Guide](#)
- [Specification](#)
- [Instructions / Assembly](#)
- [Warranty](#)
- [Installation Guide](#)
- [Use and Care Manual](#)
- [Measurement Guide](#)
- [Return Policy](#)

Specifications

Dimensions

Door Height (in.)	81.75 in	Door Thickness (in.)	1.75 in
Door Width (in.)	37.5 in	Jamb Size (in.)	4-9/16"
Nominal Door Height (in.)	80 in	Nominal Door Thickness (in.)	2 in
Nominal Door Width (in.)	36 in	Rough Opening Height (in.)	82.25 in

*Rear facade
DOOR
(Lower)*



Ft Pierce 10PM

34947

What can we help you find today?



Ft Pierce 10PM

34947

Shop All Services

DIY

Me

... / Lumber & Composites / Fencing & Gates / Vinyl Fencing / Vinyl Fence Panels

Internet # 203008804 Model # 128004

Veranda

Glendale 4 ft. H x 8 ft. W White Vinyl Spaced Picket Fence Panel with Pointed Pickets

★★★★★ (166) Questions & Answers (159)

Fence Courtyard ❤️ 858

Live Chat
Feedback



Share Print

\$104³⁵ /box

Pay **\$79.35** after **\$25 OFF** your total qualifying purchase upon opening a new card. [Apply for a Home Depot Consumer Card](#)

- Spaced picket panel made of durable, low-maintenance vinyl
- Kit includes everything needed to assemble one panel section
- White spaced picket design adds traditional charm to your home
- [View More Details](#)

Nominal panel height (ft.): 4 ft

3 ft **4 ft**

Pickup at Ft Pierce

Delivering to 34947

Ship to Store
 Jul 8 - Jul 9
 142 available
FREE

Delivery
 Tuesday, Jul 9
 142 available
FREE

Get Expert Fence Installation

A local pro will take care of the job for you

Request a free consultation

[What to Expect](#)

- 1 +

Add to Cart

raynor

Pay in 4 interest-free payments of \$26.09
with [PayPal](#). [Learn more](#)

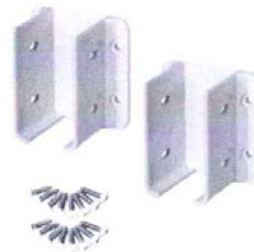
Fence Courtyard



Free & Easy Returns In Store or Online

Return this item within **90 days** of purchase. [Read Return Policy](#)

Feedback Live Chat



Shop the Veranda Glendale 4 ft. H x 8 ft. H Pointed Picket Fence Bundle

Total Price for 5 items

\$ **295**⁴⁹

[View Bundle](#)

Product Details

Specifications

Dimensions

Actual panel height (in.)	44 in
Actual panel thickness (in.)	1.5 in
Actual panel width (in.)	91.875 in
Nominal panel height (ft.)	4 ft
Nominal panel width (ft.)	8 ft

Details

Color Family	White
Color/Finish	White
Contact Type Allowed	Above Ground
Features	UV Protected
Fencing Installation Type	No Dig
Fencing Product Type	Vinyl Fence Panels

Includes

Material

Nominal panel thickness (in.)

Number of pickets for panels

Number of rails for panels

Panel Assembly

Panel Design

Panel Top Shape

Picket Top Style

Product Weight (lb.)

Returnable

Rails

Vinyl

1.5 in

13

2

Unassembled Panel

Spaced Picket

Flat

Pointed

20 lb

90-Day

Warranty / Certifications

Manufacturer Warranty

Limited Lifetime

[How can we improve our product information? Provide feedback.](#)

Questions & Answers

159 Questions

Customer Reviews

4.3 out of 5  (166)

Fence Certified



... / [Lumber & Composites](#) / [Decking](#) / [Deck Boards](#) / [Composite D](#) Internet # 310569119 Model # RH010616E2G01 Store SKU # 1004642367

\$41⁵⁷

Product Details

Specifications

Questions & Answers

Customer Reviews

Rocky Harbor Grooved Edge Grey Composite Deck Board

(341) Questions & Answers (591)



*Balcony Decking
Rear
Facade*

Share Print

- Rocky Harbor adds sandy undertones to rustic slate grey
- Simple installation; no specialty tools necessary
- High-performance shell is fade, stain, scratch and mold resistant
- [View More Details](#)

Color/Finish: Rocky Harbor- Grooved



Nominal Product Length (ft.): 16 ft

12 ft 16 ft 20 ft

Need a closer look?

Order Sample for \$6.99

[Order Sample](#)

Unavailable at Ft Pierce

Delivering to 34947

Pickup Nearby

Tomorrow
In stock 37.2 mi away
FREE

Delivery

Tomorrow
136 available

[Delivery Details](#)

Get it as soon as tomorrow. Schedule your delivery in checkout.

- 1 +

[Add to Cart](#)

Frequently Bought Together

CURRENT ITEM

Select

Best Seller



Select



Select



Select



Select



Select



Dimensions

Actual Product Length (ft.)	16 ft	Actual Product Thickness (in.)	0.94 in
Actual Product Width (in.)	5.5 in	Approximate Weight (lb)	31
Nominal Product Length (ft.)	16 ft	Nominal Product Thickness (in.)	1
Nominal Product Width (in.)	5.5 in		

Details

Color Family	Gray	Color/Finish	Rocky Harbor- Groov
Edge Type	Grooved	Fastener recommendation	Trex Hideaway Hidde Fasteners
Features	Hidden Fasteners Compatibility, UV Protected	Material	Composite
Total Linear Feet Covered	16		

Decking
Balcony Rear
Facade

\$106⁰⁰

Product Details

Specifications

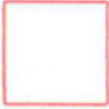
Questions & Answers

Customer Reviews

Traditional 8 ft. x 36 in. (Actual Size: 92 x 33 1/4" in.) White PolyComposite Vinyl Rail Kit without Brackets

(868) Questions & Answers (643)

*Railing
Balcony*



Rear Facade

Pay \$81.00 after \$25 OFF your total qualifying purchase upon opening a new card. [Apply for a Home Depot Consumer Card.](#)

- Railing actual size: 92 in. L x 33-1/4 in. H
- Outdoor railing resists warping and mold unlike other composites
- Railing kit requires assembly
- [View More Details](#)

Product Height x Width (in.) 33 in x 92 in

33 in x 92 in 36 in x 72 in

Pickup at Ft Pierce

Delivering to 34947

Ship to Store

Jul 8 - Jul 11
17,210 available
FREE

Delivery

Jul 5 - Jul 8
17,210 available

- 1 +

Free & Easy Returns In Store or Online

Return this item within 90 days of purchase. [Read Return Policy](#)

Share Print

\$106⁰⁰

ADD 0 ITEMS TO
Cart

Product Details

Specifications

Dimensions: H 33.25 in, W 92 in, D 4.063 in

Dimensions

Picket Spacing (in.)	1.375	Product Depth (in.)	4.063 in
Product Height (in.)	33.25 in	Product Width (in.)	92 in

Details

Baluster Rails per Panel	18	Color Family	White
Features	No Additional Features	Includes	No Additional Items Included
Interior/Exterior	Exterior	Material	Vinyl
Post Rails per Panel	2	Product Weight (lb.)	26.56 lb
Railing Type	Railing Kit	Returnable	90-Day
Stair Part Type	Preassembled Railing	Structural/ornamental	Structural

Railing Balcony Rear facade



360 Checking

Available balance

\$172,477.78

Account Info

Current balance

\$172,477.78

Account number

~~XXXXXXXXXX~~

Routing number

~~XXXXXXXXXX~~

Primary account holder

Kris A Einstein

Primary debit card number

N/A

Secondary account holder

Christopher D Gardner

Secondary debit card number

Ownership type

Joint

Account type

360 Checking

Interest

Current APY ⓘ

0.10%

[View Current Terms & Conditions](#)

Attach a letter describing why this property should be selected to receive a grant. Please include how this project meets the goals and objectives of the FPRA Plan.*

Why we should be selected:

Our Building was used in the picture on the cover of the Grant's Overview paperwork, so that says something. :) On serious note - we have done a lot of research on our building (back to the days before it housed Western Union & Montgomery Ward's Sales Order Office) & are keeping it as original as possible while bringing the front entrances up to ADA compliance & current building codes. We also are using design elements found on other buildings to keep it cohesive with neighboring downtown buildings. Some improvements, like properly draining the courtyard & bigger/more gutters, will help prevent/fix flooding during heavy rains (we are downhill of other properties). Repairing the fence wall, replacing the fence & repairing gate, along with new landscaping in the courtyard will not only be more attractive (vs blight), but then our tenants &/or their clients can enjoy it more so. Plus, it will be safer ie help keep the homeless (& others) from coming in to sleep there at night. By doing the repairs and improvements, the building will become more energy efficient since the front is the plate glass & the windows & doors are from 30+ years ago, providing no insulation and are not safe, nor up to code. All of the projects will help with the longevity of the building - our building is in relatively great shape because of the care we put into it & properly maintain it. We are constantly updating it and only use quality materials. These projects will help with the building's overall longevity.

Lower Level Commercial spaces' entrances will be ADA complaint. Courtyard will not be blighted/eye sore. Tenants will have more space to "entertain" their clients. Not a lot of downtown salons (our current clients), if any, have outdoor spaces they can use for clients. The building will look "fresh" while maintaining its historic character, only adding beauty to the downtown.

How this project meets the goals & Objectives of the FPRA Plan

1) Our building is shown on page 37-39 of the FPRA's Redevelopment Plan.

2) Historic Preservation (pg 90) - our building is on the local historic registry & is one of the "structures that exemplify Fort Pierce's historical significance." This grant will allow us to continue to preserve the building so it will be around for many, many more years to come, plus, with it having ADA compliant entrances, more people will be able to enjoy the building & more potential clients for our current & future tenants.

From Questions on pg 103:

#9's answer - 5. Improve community aesthetics (e.g. landscaping, façade, architecture, etc.)

Below are excerpts from the FPRA Plan that our project incorporates/addresses.

GOAL The Fort Pierce Redevelopment Agency shall celebrate and support historic preservation and cultural heritage activities within the Redevelopment Area.

GOAL The Fort Pierce Redevelopment Agency shall support the City's efforts to address stormwater issues and localized flooding within the Community Redevelopment Area.

GOAL The Fort Pierce Redevelopment Agency shall Improve public safety and perception of safety within the Redevelopment Area.

Although often overlooked in redevelopment discussions, signage continues to play an important role within our communities.

207-209 Orange Avenue

(Updated July 28, 2024)

Desired Improvements:

The estimates for the desired improvements to our FRONT façade & roof total over \$120,000.00, but are for multiple projects. Since the Grant is maxed to matching \$25,000, we were not exactly sure how this works/best way to approach this. We decided to list all the projects and their estimated costs to complete, then together, we can figure out the best way to complete these projects.

We would like to complete Projects 1-3 under this Grant in the allotted time, which total over \$70k, not including architectural fees. (& use Project #4 & #5 as an alternate, if that is allowed).

We are including the costs for the Roof Replacement (Project #4) & Roll Down Hurricane Screen or Shutter (Project #5), but we would rather focus on Projects 1-3, which we can complete a lot faster (especially being in hurricane season). Ie, we would not look to replace the roof until after hurricane season, most likely not until January 2025 due to our schedule. However, if for some reason Projects 1-3 (or aspects of them) are not approved, and we somehow fall under the total cost of \$50k, we would like Project # 4 & 5 to be considered. This will allow us to maximize the grant, which in turn will allow us to make the biggest impact.

Note: We did look into applying for the separate Paint & Sign Grants, but the Paint Grant states, "*Properties that have previously been awarded financial assistance from the FPR.A within the five years are not eligible for this program.*" (I believe the word "last" is missing.) We were not sure if this is the same for the Sign Grant. For now, we are keeping everything under the Façade Grant, but would be happy to separate our touchup painting & signage if applying for those grants would not hurt our Façade Grant Application.

Essentially, we just do not want to over commit ourselves with all 5 projects since this is a Historic Building and there are a lot of moving parts, approvals needed plus we have to coordinate with our tenants – we want to ensure we can complete the projects within the required timeframe. We also want to be fiscally responsible as well. With this being a reimbursable grant, we prefer to not to commit ourselves to spending \$100k *before* being reimbursed \$25k. While we intend to complete all the projects (& then some), we rather not tie one or two of the projects into this grant which will allow us to spend less (min \$50k) before being reimbursed the \$25k. This would also allow us to start making other necessary required improvements.

For example, we intend to make some NECESSARY improvements to the back façade and courtyard of our building starting in August 2024, which are NOT covered by this grant, and are estimated to cost an additional ~\$17k. This would include fixing the cement wall around the property (which cracked/separated on one side), replacing the wood fencing on top of the cement wall, new frame for gate, fix the drainage issue, replace 1 window, replace 3 doors & 2 locks, replace/add light fixtures by the doors, landscaping and add new security cameras. (I am including pictures of the current condition and the renderings, which were included in our original application, so you can see what our plans are. **Note:** We tabled adding the upper decking/balcony for now because we are looking into bringing our interior rear steps up to code, which could interfere with the deck).

In closing, we are excited that this grant is available because as many of you know, ADA accessibility is very important to us. We have been wanting to redo the front of our building to make it ADA compliant for a few years now, but it is an expensive capital investment where we most likely will not see a ROI until we sell the building & just could not justify the cost when we had many other necessary improvements needing to be completed. At the end of the day, these historical buildings are expensive to maintain, let alone bring up to code, and there is only so much money you can put towards these improvements when overall rental income is a little on the lower side. THANK YOU for providing this grant!! This grant will allow us to keep improving our building while maintaining affordable rents = Win-Win for patrons, tenants, our building and its future!

P.S. It was very flattering to see our building in the picture for the Façade Grant Overview! Hopefully we can continue to be an inspiration! 😊

Thank you, again!

Project #1:

Touch Up Painting: Estimated Cost: \$1,300.00

- The upper part of building that faces US 1, needs to be repainted – fix issue causing rust & repaint.

Project #2:

Front Façade (*Part 1*) – Estimated Cost ~\$12,867.90 (*does not include architect fees*)

Upper Level

- Add Flower Boxes to all 4 Windows
- Add 1 Sign Bracket (in center of building & below window boxes) for up to 2 store fronts advertise. This is not in the conceptual picture (it was hard to incorporate it with the palm tree). We did include a picture of the bracket with sketches.
- Add Hurricane Colonial Shutters on the windows
 - The outer 2 windows would have shutter on both sides & the 2 windows in the center of the building would have a slightly larger shutter on just the outside of each window, which would be a bifold, that when opened would extend across the entire window.
 - Our windows were manufactured in the 2nd quarter of 2008 (over 18 years ago). Not a very high DP for today's standards & have "ANSI Specific instruction testing and certification of safety glazing products, 2004 edition."

Lower Level

- Add security cameras, replace 1 ring video doorbell & add 1 new ring video doorbell for tenant's main door.
 - We have been having a lot of issues downtown, we would like to add 2 cameras facing in front of our building on orange avenue & 2 facing inside alcove, this would cover all blind spots we currently have.
 - We do not mind installing 2 more facing down orange avenue, away from our building to give even more coverage (we would need to increase camera cost). The police know we have a ring camera and come to us whenever there is an issue asking to see out footage since there is no good camera coverage currently in this section.

Project #3:

Front Façade (*Part 2*) – Estimated Cost: ~\$56,136.95 (*does not include architect fees*)

Lower Level

Make the 3 entrances ADA Compliant

- Replace Tile on the Ground in Alcove
- Remove all tile on store fronts, including tiles with addresses above the doors
 - The tiles with the address are not original. Originally, all 3 doors had transoms above them, which were covered up during one of the renovations. The transom above door #3 was removed many years ago to install an AC Unit in its place.
- Replace Doors with ones that are ADA Compliant
 - Doors with either be full glass or ½ - ¾ glass fronts to allow for a mail slot (since we are having issues with mailboxes being broken into & vandalized).
 - If space allows, we will add decorative molding below the glass.
 - For reference –if we do ½ - ¾ glass doors, they will be "similar style" to the doors on the building directly across the street, ie Sunrise City Café (except ours will be single) – *Picture for reference is included in packet.*
- Have transoms above all 3 doors (which were in the earliest pictures that we have of the building)
 - Add the street address #s back on the transoms

- This is how they were in the early pictures of the building, except # 209, which its # was added to the trim below the transom/above the door, due to the transom being removed to install the AC unit.
- Replace the Plate Glass – Updated from our original application - We were able to find a company that has windows that are the same size we currently have, that meet the building code & looks like we can rework the front where we can keep the same size glass and add ADA doors. If for some reason we cannot & we have to reduce the window size (to allow for wider doors & to line up properly with interior spaces), then we would go with our alternate option.
 - *Alternate Option:* Reduce overall size of windows somewhat and add a transom above. We will keep the windows as large as possible.
- Add decorative molding below windows
- Stucco/Paint/finish the alcove the same color as the columns and building trim (which is Cameo White).

Project #4:

New Roof: Estimated Cost: \$28,000.00

- This is for brand new roof, not roof repair.
- The roof was last replaced in 2004 after a hurricane ripped it off (it is 20 years old & has issues – maybe due to the urgency of replacing it). Currently, there are a lot of soft spots and when the “new additions” were added to the building on the back (I believe 1st addition was ~1953 & other section ~1963), they are lower than the main building and during extremely heavy rains, water sometimes leaks into the building where the “old” & “new” additions meet. (Several roofers have tried to identify the issue, but with all the layers/patchwork over the years, including prior to us purchasing the building in late 2017, they really can’t. The only way to resolve it is when a new roof is installed, they can fix the slopes & properly seal everything during the process).

Project #5:

Front Façade (Part 3) – Estimated Cost: ~\$13,611.47 - \$15,340.60

Lower Level – Install Roll Down Hurricane Screen or Shutters over Alcove

- *While we were talking with the hurricane shutter company, they recommended installing a roll down screen or shutter for the alcove area. We are still investigating this but wanted to include it as an alternative option. We are looking into the pros & cons of the screens vs shutters. The shutters are a lot more durable and cannot be cut, but we have design challenges with our center columns and the display glass to the far right where shutters might not be possible.*
- Add roll down hurricane screen or shutters to protect the Plate Glass Windows. We plan to redo the lower front façade (Project #3), but are considering putting this in 1st to help protect our windows asap since we most likely will not be able to start on the front Façade remodel until the end of the hurricane season, weather depending. The current plate glass windows are from the 1980s & will most likely not survive a strong storm. Yes, we are putting in impact windows in the remodel, but the roll down screen or shutters would give an extra layer of protection from the storms immediately (& future) PLUS prevention/deterrence from general damage/vandalism.
 - During block parties, we will be able to lower it to prevent people from coming in & sitting on our ledges/leaning against the glass, prevent glass breakage, leaving drinks behind (which they do now).
 - Deter overall damage/theft of break-ins
 - There have been several plate glass windows & doors broken downtown during events & robberies.
 - Prevent the home challenged from hanging out underneath the alcove at night.
 - There have been issues with defecation in alcoves & entry ways.
 - We do not plan to lower them every night, but we would have that option when there is a potential issue.
- Design:
 - The top would be mounted ~ 14”-16” above the alcove. That way, when the screen or shutter is rolled up, it will be flush with the bottom of the building.

- The metal for the casing along the top and the tracks down the side would be painted the same color as the building to blend in.
- We would have to remove the mailbox on the left of the building (which we own) & we really are not using it due to the break-ins.
 - The General Postmaster said even if they re-keyed it/put in new cylinders, that would not fix the issue since the Master Key would open new locks.
- The track running down both sides of the building would stick off the building ~ 4" (which is a lot shallower than the mailbox).
 - This is so when the wind blows & the screen "gives" a little, it will not blow into the display glass on the far right & both would need to clear the columns at the top.
- The screen or shutter that rolls down would be white.

Proposed Timeline once Approved by FPRA:

We understand that the Project needs to be started within 6 months of the FPRA Board's approval and completed within 12 months of Building Permit Issuance. Below is the preliminary timeline for Project #1-5.

Project #1 - Touch Up Painting: – Start within 30 days of receiving FPRA's Notice of Approval since no Historical approval (COA) is needed (paint color is not changing.)

Project #2 – Front Façade PART 1 (Upper & Lower Level) – Lower Level – (Security Cameras) we can start right away since there are no permits or Historical Board approval required. The Upper Level will require at a minimum Historical Approval (COA) for the Shutters, Window Boxes & Signage:

- Architect's design & drawings to be completed in ~ 30 days from FPRA Approval Notice on those items that require them (this is based on our Architect's current workload)
- Once the Architect's drawings are complete, we will immediately submit them to Maria Lewicka in the Planning Department for Historical review & approval.
 - We already had a "preliminary" talk with Maria about our ideas and plan to send her our conceptual drawings and desired changes the same time we submit the FPRA Façade Grant Application so we can keep moving forward & limit any possible delays in that aspect.
 - If Maria cannot do an administrative approval & we need to go in front of the Historic Preservation Board for approval – that could take 30-45 days to be added as an Agenda Item.
- Once we are approved, whether administratively or via the Historic Board, then the plans will be immediately submitted to the Building Department for review.
 - If the Historic Board requires any changes, then that could add more time to allow the Architect to update drawings and then be added back to the Historical Board as an Agenda Item.
- Once the Building Plans are approved, then we plan to start right away.
 - We will have to wait until the plans are approved to coordinate with the Contractor & Subs to see when they can schedule our work, plus current delivery time for shutters & window boxes once approved by FPRA.

Project #3 - Front Façade PART 2 (Lower Level) – ADA Compliance

- This will require Historical Approval (COA).
- We plan to follow essentially the same timeline as Project #2 for the Upper Façade as far as approvals.
- We will have to wait until the plans are approved by Historical & then Building Dept to coordinate with the Contractor & Subs to see when they can schedule our work, plus current delivery time for windows & supplies once all is approved.
- We will also have to coordinate with our tenants.
- But we plan to complete the projects well within the 12 months of the Building Permit Issuance. (unless any force majeure or act of God occurs, which could affect the timeline).

Timeline for alternate Project #4 & 5

Project #4 - New Roof

- Roofing company would submit for Building Permits ~November 2024, so we can begin work in January 2025.

Project #5 – Front Façade PART 3 (Lower Level)

Roll Down Hurricane Screen or Shutters for Alcove

- This would require Historical Approval (COA). We plan to send renderings to Maria at the same time we submit this updated FPRRA narrative to see if this would need to go in front of the Historical Board or if she can administratively approve it.
 - We are considering having this installed right away, but if it proves to be too difficult or takes too long for approval, then we will most likely table it/remove it from the Grant to allow us to focus on and allocate funds to other projects.



207 1/2

207

209



Conceptual Front (preferred)
w/ storefront windows staying the same size
as they currently are



• Mailbox removed

• Darker purple "frame" is Roll Down Shutter/shade
encasement + track

• Signage not shown b/c palm tree in way.

Conceptual Front (Backup)

w/ storefront windows slightly smaller than they are
currently + Transoms above windows





Conceptual - Preferred
with storefront windows
staying the same size as
they currently are.



Conceptual - Backup
w/ storefront windows slightly smaller than they
are currently + transoms above windows

ESTIMATE

DATE

July 23, 2024

ESTIMATE NO

24-8071(A)

Campbell Construction

2200 Campbell Cove Trail
DeLeon Springs, FL 32130

386-527-9727

mbc.construction@gmail.com

License Number: CBC1252939

ESTIMATE TO:

Jetset Events
207 Orange Ave, Suite A
Fort Pierce, FL 34950
386-302-9510
trips@entertainair.com

SALESPERSON	JOB	PAYMENT TERMS	DUE DATE
MC	Krissy E	Payment Schedule to be given once Projects and Schedule are Identified with 25% due at time of signing contract.	Net 15 Upon Acceptance

QUANTITY	DESCRIPTION	UNIT PRICE	LINE TOTAL
Project - Front Facade (Lower Level)			
1	New Windows & Doors for lower level, to remain the same size (see quote) <i>- See estimate by weights'</i>	42,491.95	\$42,491.95
1	3 Locks, Replace Tile on Ground (in alcove), Stucco Repair, Paint, Sign Bracket & Installation (does not include Tenants' signs) - includes removal of old doors, tiles, windows, fixtures; prep work required for new products to be installed & installation of new Products.	15,145.00	\$15,145.00
1	4 Security Cameras (Ring) with solar panels and 2 Video Doorbells (Ring) including installation <i>- See Amazon for Breakdown</i>	2,138.00	\$2,138.00
Project - Front Facade (Upper Level)			
4	Window Boxes (including installation)	500	\$2,000.00

ps 1 of 2

Project - Painting Small Section of Side Facade

1	Touch up paint on the upper side of the building (facing west). Includes fixing issue that is causing rust to drip down the side of building.	1,300	\$1,300.00
---	---	-------	------------

(Optional) Installation of Hurricane Roller Shutter - Nautilus System

1	Normal Installation (barring any additional/unforeseen work required)	2,500	\$2,500.00
---	---	-------	------------

Misc Fees

1	Architect Fees	6,600	\$6,600.00
---	----------------	-------	------------

This estimate is valid for 15 days.
Per Client's request, permit fees are not included.

Subtotal	\$72,174.95
Total	\$72,174.95

pg 202



Corporate Office & Showroom
7816 S Dixie Highway
West Palm Beach, FL 33405
Office 561-588-7353 Fax 561-588-7354
www.wrightswindow.com License # CBC1262617

PROPOSAL

Customer Information

Chris Gardner 207 Orange Ave. Fort Pierce FL 34950	(386) 337-5576 supplier@entertainair.com	Date: 07/18/2024 Product Specialist: Pete La Spina (201) 961-3752 pete@wrightswindow.com
---	---	--

Put simply, our installation teams are trained to install all our products 'The Wright Way'. We use premium products and installation techniques to ensure maximum protection



- ✔ We will **cover the floors** with heavy duty drop cloths, cardboard and paper
- ✔ **Cover furniture** with plastic
- ✔ Take **special care** to your landscape
- ✔ Take special care to **avoid damage** to alarm systems, tiles and sills
- ✔ Use the **highest quality** installation products
- ✔ Use only the **highest quality** adhesive, waterproofing and caulking materials to avoid drying, cracking, deterioration and discoloration

- Section 1: Custom Proposal**
- Section 2: Payment & Warranty**
- Section 3: Next Steps**
- Notes:**

****ALL DOOR WILL HAVE CLOSERS AND PANIC HARDWARE

This space intentionally left blank

Section 1: Custom Proposal



PERMITTING COSTS INCLUDED ✓

PREMIUM INSTALLATION MATERIALS ✓

WARRANTY INCLUDED ✓

Selected Package	Tinted Mid Rise (4-7 Floor Bldg)
Total Windows	7
Total Doors & Sidelites	3

Scope of Work

1 Entry



Type	French Doors - 1 Panel	Brand	Tinted Commercial 9000
Quantity	1	Size	38 x 80
Glass Type	Laminated	Glass Finish	Gray Tint
Frame Type	Aluminum Kynar Blend 2604	Screens	Not Included
Frame Finish	White Finish	Hardware	Upgrade (Handle Below)UPGRADE - Ladder Pulls

2 Entry



Type	French Doors - 1 Panel	Brand	Tinted Commercial 9000
Quantity	1	Size	38 x 80
Glass Type	Laminated	Glass Finish	Gray Tint
Frame Type	Aluminum Kynar Blend 2604	Screens	Not Included
Frame Finish	White Finish	Hardware	Upgrade (Handle Below)UPGRADE - Ladder Pulls

1 Entry



Type	French Doors - 1 Panel	Brand	Tinted Commercial 9000
Quantity	1	Size	38 x 80
Glass Type	Laminated	Glass Finish	Gray Tint
Frame Type	Aluminum Kynar Blend 2604	Screens	Not Included
Frame Finish	White Finish	Hardware	Upgrade (Handle Below)UPGRADE - Ladder Pulls

This space intentionally left blank

4 Entry



Type
Quantity
Glass Type
Frame Type

Frame Finish

Windows - Storefront
 1
 Laminated
 Aluminum Kynar Blend 2604
 White Finish

Brand
Size
Glass Finish
Screens

Tinted Commercial 8000
 36 x 24
 Gray Tint
 Not Included

Notes
 Above door

5 Entry



Type
Quantity
Glass Type
Frame Type

Frame Finish

Windows - Storefront
 1
 Laminated
 Aluminum Kynar Blend 2604
 White Finish

Brand
Size
Glass Finish
Screens

Tinted Commercial 8000
 36 x 24
 Gray Tint
 Not Included

Notes
 Above door

6 Entry



Type
Quantity
Glass Type
Frame Type

Frame Finish

Windows - Storefront
 1
 Laminated
 Aluminum Kynar Blend 2604
 White Finish

Brand
Size
Glass Finish
Screens

Tinted Commercial 8000
 36 x 24
 Gray Tint
 Not Included

Notes
 Above door

7 Entry



Type
Quantity
Glass Type
Frame Type

Frame Finish

Windows - Storefront
 1
 Laminated
 Aluminum Kynar Blend 2604
 White Finish

Brand
Size
Glass Finish
Screens

Tinted Commercial 8000
 71 x 89
 Gray Tint
 Not Included

8 Entry



Type
Quantity
Glass Type
Frame Type

Frame Finish

Windows - Storefront
 1
 Laminated
 Aluminum Kynar Blend 2604
 White Finish

Brand
Size
Glass Finish
Screens

Tinted Commercial 8000
 87 x 88
 Gray Tint
 Not Included

This space intentionally left blank

9 Entry



Type
Quantity
Glass Type
Frame Type

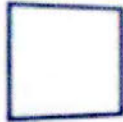
Windows - Storefront
 1
 Laminated
 Aluminum Kynar Blend 2604
 White Finish

Brand
Size
Glass Finish
Screens

Tinted Commercial 8000
 52 x 89
 Gray Tint
 Not Included

Frame Finish

10 Entry



Type
Quantity
Glass Type
Frame Type

Windows - Storefront
 1
 Laminated
 Aluminum Kynar Blend 2604
 White Finish

Brand
Size
Glass Finish
Screens

Tinted Commercial 8000
 26 x 89
 Gray Tint
 Not Included

Frame Finish

Additional Labor & Material

Engineering - Site Specific Engineering / Project / Per 15 Openings (1)

Standard Mulls [89" 2x4] - (2)

Notes

Notes:

This space intentionally left blank

Section 2: Payment & Warranty

OPTION 1: Cash

Payment Method	E-Check
MSRP	\$53,645.05
Corporate Discount	-\$11,153.10
Project Total:	\$42,491.95
Deposit Terms	50% Deposit

OPTION 2: Finance

Estimated Monthly Payment	\$0.00
---------------------------	--------

CERTIFICATE



1. **Wrights Product Warranty** supercedes, and matches or exceeds manufacturer warranties for the repair and/or replacement of covered products and parts in the event of manufacturer defect*
2. **Wrights Installation Warranty** covers the quality of the installation & workmanship failures*
3. Claims are submitted to Wrights and serviced by certified technicians*
4. Fully transferrable upon sale of home*

PRODUCT & INSTALLATION WARRANTY

Claim Procedure

Any claim for defect under this limited Warranty must be submitted promptly, after discovery to WRIGHTS within the warranty period specified, to service@wrightwindow.com. To help us serve you better, all claims must include proof of purchase (original contract), product identification, the address where the product is installed, and a description of the problem.

This limited Lifetime Warranty covers only those manufacturing, material or installation defects as specified and does not apply to, cover or include defects or damages attributable to or caused by: improper application or use, failure to adhere to Wrights recommended cleaning and other product care and maintenance instructions, improper maintenance or cleaning, normal weathering, corrosion or otherwise abnormal environments, condensation. WRIGHTS reserves the right to inspect all defects in the field. Wrights may use in-house service technicians, subcontractors, or manufacturer service teams when necessary to complete service. For Warranty questions, to request a copy of this warranty or for additional care and maintenance information, visit wrightsimpactwindowanddoor.com.



NO REPRESENTATIVE OF WRIGHTS HAS THE AUTHORITY TO CHANGE OR MODIFY THIS WARRANTY IN ANY RESPECT, EITHER ORALLY OR IN WRITING

This space intentionally left blank

Section 3: Next Steps

Please feel free to contact me or my manager to request changes or for a final agreement.

Proposal Valid For

30 Days

Product Specialist

Pete La Spina

Direct Phone Number

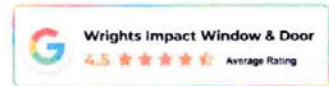
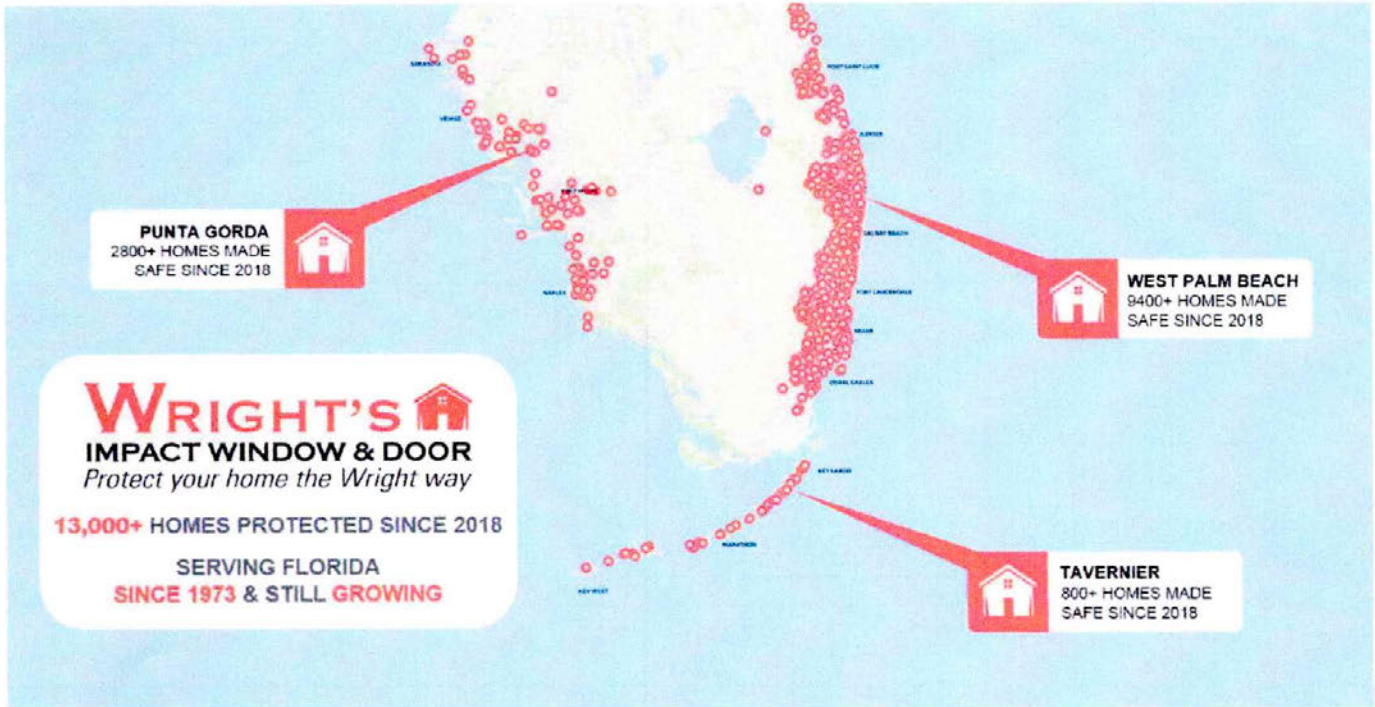
(201) 961-3752

Email

pete@wrightswindow.com

Office Phone Number

(561) 588-7353



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Amazon Security Cameras + Ring Doorbells

Checkout (23 items)

1 Shipping address

kris

Change

[Add delivery instructions](#)

FREE pickup available nearby

List + 0.4 mi ([See details](#))

[Change to pickup](#)

2 Payment method

Paying with

Change

[Billing address](#)

^ Add a gift card or promotion code or voucher

Enter code

Apply

Place your order

By placing your order, you agree to Amazon's [privacy notice](#) and [conditions of use](#).

You also agree to all of the terms linked below each Amazon device found in your Shipment details.

Order Summary

Items (23):	\$1,579.77
Shipping & handling:	\$0.00
Buy more, save 4%:	-\$2.40
Total before tax:	\$1,577.37
Estimated tax to be collected:	\$110.44

Order total: \$1,687.81

3 Review items and shipping

Choose Amazon Day Delivery to get **6% back** on eligible items in this order using your Prime Visa.

Arriving Jul 26, 2024 If you order in the next 15 minutes and 31 seconds ([Details](#))
Items shipped from Amazon.com



Ring Stick Up Cam Pro, Battery | Two-Way Talk with Audio+, 3D Motion Detection with Bird's Eye Zones, and 1080p HDR Video & Color Night Vision (2023 release), White

\$179.99

& **FREE Returns**

Qty: 4

Sold by: Amazon.com Services, Inc

[Add gift options](#)

By placing your order, you agree to all of the terms found [here](#).

Searching



Ring Wedge Kit Video Doorbell 3, Video Doorbell 3 Plus, Video Doorbell 4, Battery Doorbell Plus, Battery Doorbell Pro

\$19.99

& **FREE Returns**

Qty: 2

Sold by: Amazon.com Services, Inc

[Add gift options](#)

By placing your order, you agree to all of the terms found [here](#).

Choose your Prime delivery option:

Tomorrow, Jul 25 and Friday, Jul 26
FREE Delivery

Friday, Jul 26
FREE Delivery in fewer trips to your address

Thursday, Aug 1
FREE Amazon Day Delivery
Fewer boxes, fewer trips.
[Change delivery day](#)
Get **6% back** on eligible items using your **Prime Visa**. [Details](#)

Qualifying offers:

- Buy more, save 4%

How are shipping costs calculated?

Prime shipping benefits have been applied to your order.

\$1,687.81!
Materials
+ \$500
Installation

S Searching



Ring Wall Mount for Solar Panels and Cams - White

\$19.99

& **FREE Returns**

Qty: 4

Sold by: Amazon.com Services, Inc

Add gift options

By placing your order, you agree to all of the terms found [here](#).

S Searching



Ring Charging Station for Quick Release Battery Packs

\$29.99

& **FREE Returns**

Qty: 1

Sold by: Amazon.com Services, Inc

Add gift options

Item arrives in packaging that shows what's inside. To hide it, choose Ship in Amazon packaging.

Ship in Amazon packaging

By placing your order, you agree to all of the terms found [here](#).

S Searching



Ring No-Drill Mount for Ring Video Doorbell 3, Video Doorbell 3 Plus, Video Doorbell 4, Battery Doorbell Plus, Battery Doorbell Pro

\$19.99

& **FREE Returns**

Qty: 2

Sold by: Amazon.com Services, Inc

Add gift options

By placing your order, you agree to all of the terms found [here](#).

S Searching



Ring 10 ft USB-C Extension Cable for USB-C Solar Panels and Cameras - White | Compatible with Solar Panel, Small Solar Panel, Stick Up Cam Pro, Spotlight Cam Plus, Spotlight Cam Pro.

\$19.99

& **FREE Returns**

Qty: 4

Sold by: Amazon.com Services, Inc

 Add gift options

By placing your order, you agree to all of the terms found [here](#).

 Searching




Ring Rechargeable Quick Release Battery Pack

\$34.99

& **FREE Returns**

Qty: 2

Sold by: Amazon.com Services, Inc

 Add gift options

By placing your order, you agree to all of the terms found [here](#).

 Searching




All-new Ring Battery Doorbell Pro | Two-Way Talk with Audio+, 3D Motion Detection, and 1536p HD+ Head-to-Toe Video (2024 release)

\$229.99

& **FREE Returns**

Qty: 2

Sold by: Amazon.com Services, Inc

 Add gift options

By placing your order, you agree to all of the terms found [here](#).

Pay in 5 monthly payments of **\$46.00** per item

 Searching



Solar Panel Charger for Ring Doorbell Compatible with Ring Video Doorbell 2 (not for 2nd), Doorbell 3, Video Doorbell 3+, Doorbell 4 Plus, Eufy Doorbell 2K Camera Solar Panel Cable Cord


\$29.99

& **FREE Returns**

Qty: 2

Sold by: YQCCA

See [order summary for discounts applied](#)

 Add gift options

Item arrives in packaging that shows what's inside. To hide it, choose [Ship in Amazon packaging](#).

[Ship in Amazon packaging](#)

5 Searching

Order total: \$1,687.81

Place your order

By placing your order, you agree to Amazon's [privacy notice](#) and [conditions of use](#).

You also agree to all of the terms linked below each Amazon device found in your Shipment details.

*Why has sales tax been applied? [See tax and seller information.](#)

Need help? Check our [Help pages](#) or [contact us](#)

For an item sold by Amazon.com: When you click the "Place your order" button, we'll send you an email message acknowledging receipt of your order. Your contract to purchase an item will not be complete until we send you an email notifying you that the item has been shipped.

[Important information about sales tax you may owe in your state](#)

You may return new, unopened merchandise in original condition within 30 days of delivery. Exceptions and restrictions apply. See Amazon.com's [Returns Policy](#).

Need to add more items to your order? Continue shopping on the [Amazon.com homepage](#).

STORM SMART®

CGC1519801

Proposal #27409

Kris Einstein

207 Orange Ave

Fort Pierce, FL 34950

07/25/2024

Roll down
Screen
Hurricane \$15,340.60
+ Colonial
Hurricane
Shutters \$7,229.00
incl installation





Proposal Date: 07/25/2024

License # CGC1519801

Homeowner Information:

Kris Einstein
trips@entertainair.com
386-302-9510

Sales Representative Information:

Rick Berchiolli
rberchiolli@stormsmart.com
239-689-7583

Jobsite Address:

207 Orange Ave
Fort Pierce, FL 34950

Project Total: \$23,247.00, Deposit: \$11,623.50
(including fees)

Additional Notes / Summary:

4 Other

Florida state sales tax and county surtax is included in the price of items considered personal property.

Approximate Delivery for just shutters and screens: 10-12 weeks, Approximate Delivery for just windows and doors: 20-22 weeks

Approximate Delivery for Bahama shutters, colonial shutters, and Panels: 8-10 weeks, Approximate Delivery for combination projects: 12-22 weeks

Quote is honored for 30 days.

pg 2 of 6

Product Summary

Opening Number	Line Item Name	Product Type Name	Buck Width (inches)	Buck Height (inches)	Manual or Motorized System	Price after all discounts
1	1 Entry	Rolldown Screen	311	120	Motorized	\$15,340.60
2	2 Upstairs Front Middle	Colonial Shutters	84	63		\$3,601.36
3	3 Upstairs Front Left	Colonial Shutters	36	63		\$1,813.97
4	4 Upstairs Front Right	Colonial Shutters	36	63		\$1,813.97

Hurricane
Shutters for
Windows on
~~the~~ upper level
of front facade

$\$22,569.90$ total
 Roll down Screen - $\$15,340.60$ USA
 Colonial Shutters - $\$7,229.30$

 $22,569.90$ USA

pg 3 of 6.



1 Entry

1 x \$15,340.60

Options

Description:	Rolldown Screen
Opening Number:	1
Hood Location:	As high as possible
Buck Width (inches):	311
Buck Height (inches):	120
Mount Location:	Outside
Buildout Required:	Yes
Build In or Out:	Build Out
Build Out Side:	Left and Right Sides
Left Clearance Out:	2 Inches
Right Clearance Out:	2 Inches
Screen Type:	Storm Catcher
Manual or Motorized System:	Motorized
Remote or Switched Motor:	Remote Motor
Motor Override:	Yes
Motor System:	Standard
Mitering Required:	No
Wind Brace Needed:	Yes
Sales Order Notes:	Customer will relocate Mailbox on left side of opening
Screen Color:	White
Luff Tape Color:	White
Track Color:	White
Bottom Bar Color:	White
Rolldown Hood Color:	White



Colonial Shutters

2 Upstairs Front Middle

1 x \$3,601.36

Options

Description:	Colonial Shutters
Opening Number:	2
Install Floor:	2nd
Install Tier:	Special Equipment
Buck Width (inches):	84
Buck Height (inches):	63
Colonial Shutter Type:	Bifold
Colonial Color:	White



Colonial Shutters

3 Upstairs Front Left

1 x \$1,813.97

Options

Description:	Colonial Shutters
Opening Number:	3
Install Floor:	2nd
Install Tier:	Special Equipment
Buck Width (inches):	36
Buck Height (inches):	63
Colonial Shutter Type:	Single Panel
Colonial Color:	White

pg 4006



Colonial Shutters

4 Upstairs Front Right

1 x \$1,813.97

Options

Description:	Colonial Shutters
Opening Number:	4
Install Floor:	2nd
Install Tier:	Special Equipment
Buck Width (inches):	36
Buck Height (inches):	63
Colonial Shutter Type:	Single Panel
Colonial Color:	White

pg 5006

Additional Project Details

Permit & Engineering Fees:

Permit & Engineering Fees

1 x \$677.10

Package Price:	\$23,247.00
Deposit:	-\$11,623.50
Balance:	\$11,623.50

pg 60/6

Roll Down Shutter - Nautilus

Open Everyday From 9:00 AM - 6:00PM

Toll-Free (800) 772-9096 | Local / WhatsApp (561) 210-5944



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Product	Price	Quantity	Subtotal
<p>Roll Shutters Roll Shutter Type: Nautilus End Retention (Compact Box Housing) Color Choice: White Opening Type: Other Opening Width (in Inches): 311 Opening Height (in Inches): 120 FSF: 259.1666666667 Operation: Motorized (R/C w/Remote) (\$290.00) Track Anchor Holes (1/4 Inch): Punch Holes 6" On Center Hardware (Color Matching): Include When your order is ready would you like to: Have it Shipped Roll Shutter Type - Nautilus End Retention (Compact Box Housing): Qty: 1, Price: \$9,835.38 Basic Price - FSF: Qty: 1, Price: \$259.17 Total: \$10,384.55</p>	\$10,384.55	1	\$10,384.55

Coupon c [Apply coupon](#) [Update cart](#)

Alternate Project #5

Cart totals

Subtotal	\$10,384.55
Tax	\$726.92
Total	\$11,111.47

[Proceed to checkout](#)

+ Installation
~ \$2,500 estimated
+ Architectural Drawings



360 Checking

Available balance



Account Info

Current balance

Account number



Routing number



Primary account holder

Kris A Einstein

Primary debit card number

N/A

Secondary account holder

Christopher D Gardner

Secondary debit card number

Ownership type

Joint

Account type

360 Checking

Interest

Current APY ⓘ

0.10%

[View Current Terms & Conditions](#)

*Funding
We have other bank accounts if you
need to see more avoid funds.
I am just very uncomfortable
providing some financial info
since this will become public.*



COMMERCIAL FACADE GRANT PROGRAM



COMMERCIAL FAÇADE GRANT

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COMMERCIAL FAÇADE GRANT

PROGRAM OVERVIEW

1. OVERVIEW

The intent of the Commercial Façade Grant Program is to support the revitalization of the commercial corridors in the Fort Pierce Redevelopment Agency (FPRA) district by stimulating private investment in improvements that enhance the appearance of buildings and properties and eliminate blight and non-conforming design standards. This program is designed to encourage redevelopment of the FPRA by enhancing its visual aesthetics which will lead to increased property values, tenant occupancy, economic development, and job creation. This program will complement other revitalization efforts to ensure the maximum leverage of resources and support local businesses.

It is the intent of this program to encourage improvements to private properties that go well beyond what is required under the City of Fort Pierce Land Development Code to enhance the form, function, and design quality of this redevelopment district.

The FPRA reserves the right to approve or deny any Commercial Façade Grant Program application and to deny payment at any time if, in its sole and absolute discretion, it determines that the business will not advance the goals and objectives established for redevelopment of the FPRA District.

2. FUNDING

The Commercial Façade Grant Program offers financial assistance in the form of a reimbursable, matching (50%) grant up to \$25,000 to the property or business owner for eligible expenses associated with improving the external appearance of their business and to encourage businesses to invest in their operations. Grants cannot be awarded retroactively for work that has already been completed.

Grant funding examples:

<u>Eligible Project Cost</u>	<u>FPRA Contribution</u>	<u>Applicant Contribution</u>
\$50,000	\$25,000	\$25,000
\$30,000	\$15,000	\$15,000
\$15,000	\$7,500	\$7,500
\$5,000	\$2,500	\$2,500

3. APPLICANT ELIGIBILITY

The Commercial Façade Grant program is available to fund eligible exterior improvements on commercial, industrial, and mixed-use properties.

- To be eligible the building must be located within the FPRA District and be a commercial building. (Commercial building means a portion of a building that is not a private residence, where a business is located, and that is frequented by the public.)
- Residential and governmental facilities do not qualify for this program.
- If the Applicant (Applicant is defined as the entity that is completing the application) is not the building and property owner, the building and property owner must agree in writing to allow and support the application as part of the application process (per Property Owner Affidavit).

COMMERCIAL FAÇADE GRANT

- Project must have proper City permits and FPRA approval prior to beginning work. Any application where work has started prior to receiving permits and approvals will be rejected.
- A project timeline must be provided with the application. The Project must be started within six (6) months from the date of FPRA Board approval and completed within 12 months of building permit issuance. Failure to do so, without an approved deviation by the FPRA, will result in termination of the grant.
- Businesses must meet City of Fort Pierce Business Tax Receipt requirements.

4. APPLICATION PROCESS

1. Ensure that your property is located within the FPRA District.
2. Review program guidelines and eligibility requirements.
3. Complete the Grant Application Form and attach all required documents.
<https://choosefortpierce.com/FormCenter/Economic-Development-Incentive-Program-18/2024-COMMERCIAL-FACADE-GRANT-PROGRAM-APP-142> <https://choosefortpierce.com/969/FPRA-Incentive-Program> Incomplete applications will be returned to the applicant and will NOT be evaluated until all requirements are met.
4. A staff member will contact you within five (5) business days of receiving your Grant Application Form to determine your eligibility.
5. An evaluation committee will evaluate your application based on the provided evaluation criteria. If an application receives less than 60% of the possible points it will not be eligible for funding.
6. Community Redevelopment Agency Advisory Committee (CRAAC) will review rankings and make recommendations to the FPRA Board. FPRA Board will make final determination and execute the grant agreement.
7. Applicants will receive written notification of approval or denial of funding.
8. There is no guarantee that funding will be available for every application submitted, including those that meet the required criteria. All applications will be evaluated, and the properties with a score of 60% or more will be recommended for award.

5. DOCUMENTS REQUIRED

The following documentation must be attached to your application.

Grant Application

- Two (2) different color photographs of the exterior of the property in its current condition.
- Project concept, rendering or any other relevant materials that convey the physical improvements proposed to be made.
- Copy of signed lease (including written permission from the property owner to make changes outlined in the project, see Property Owner Affidavit).
- Two (2) cost estimates from licensed contractors for the eligible improvements. Estimates should be itemized, especially if any non-eligible improvements may be included. Non-itemized estimates will result in an incomplete application and will not be considered for funding.
- Proof of funds to fully fund the project. Examples: bank statements, investment account statements, balance certificates issued by financial institutions, and letters from financial institutions confirming the availability of funds.
- Project timeline

COMMERCIAL FAÇADE GRANT

6. ELIGIBLE IMPROVEMENTS:

Eligible improvements are restricted to work done on the exterior of the building and associated elements that are visible from the corridor. A corridor can be a public road or public thoroughfare for pedestrian traffic. All work must be performed to applicable codes.

Examples of eligible improvements are listed below; however, this list is not exhaustive:

- Façade - includes work performed on the exterior storefront of a building such as cleaning masonry (high pressure water or steam - sandblasting is prohibited on masonry structures), re-pointing (filling in or repair to joints), woodwork, and other repairs (that are not maintenance related) or rebuilding historic storefronts. As used in this document a storefront is defined as the front side of a store or store building facing a transit corridor.
- Awnings/Canopies - including the removal of old awnings and canopies and the design, production, and installation of new awnings and canopies.
- Removing and disposing of old façade coverings - (i.e. vinyl and aluminum cladding, window boards).
- Siding/Stucco
- Repairs or replacement of windows & doors
- Outdated security features - removing rollup metal security doors and metal window grates.
- Removing excessive window signage - reduce window signage to allow 95% window transparency.
- Decorative walls, fencing, and landscaping – includes work that removes and replaces or adds appropriate fencing and landscaping to hide incompatible uses or negative site elements such as storage yards, outdoor fabrication, work area, or dumpsters. (no chain-link)
- Original building elements - restoring original decorative building elements.
- Construction of pedestrian and bicycle amenities such as benches, shelters, bike racks and bike lockers.
- ADA improvements
- Parking lot improvements/Surface parking
- Roof repairs / Roof replacement
- Patio/Decks
- Exterior Lighting
- Permanent Landscaping
- Security Cameras/Camera Systems
- Signs - including removing the old and the design, production, and installation of new signs or renovation of existing.
- Art Installations – Art installations or works of art created by artists exhibiting the highest quality of skill and aesthetic principles and includes all forms of visual art, specifically murals.

COMMERCIAL FAÇADE GRANT

7. INELIGIBLE IMPROVEMENTS

The following items are not eligible for the grant:

- New construction developments are not eligible for this program.
- Residential properties
- Home based businesses
- Online businesses
- Interior improvements (even if visible from exterior).
- Exterior improvements visible less than 24 hours per day.
- Features designed to be installed temporarily including seasonal planting or other seasonal landscaping.
- Features that do not meet the applicable provisions of the City of Fort Pierce Land Development Code.
- Activities that are primarily for maintenance, for example: painting, asphalt sealing, temporary landscape maintenance, power washing, and other maintenance-type activities are not eligible for reimbursement. This list is not exhaustive. If painting, power-washing, brick repair, landscaping or similar cosmetic work is proposed to take place in conjunction with significant exterior enhancements, then those activities may be eligible for the incentive.
- Permit fees and taxes.
- Improvements made prior to grant approval.
- Refinancing existing debt.
- Sweat equity payments (i.e., reimbursement for applicant's own labor and performance of renovation work or new construction).
- Properties that have previously been awarded a Commercial Façade grant from the FPRA within the last five years are not eligible for this program.

COMMERCIAL FAÇADE GRANT

8. GENERAL PROVISIONS

The funding assistance provided under the Commercial Façade Grant Program is solely on a reimbursement basis. The FPRA has the exclusive authority to approve or deny program applications based on its determination as to the benefits to the FPRA produced by requested projects. The FPRA may impose any conditions of approval it deems suitable to protect the interests of the agency, including a duly executed contract.

By accepting the grant, the applicant agrees to comply with regular updates conducted by the FPRA Staff. These updates may be obtained via email or site visits. Reporting may include, but is not limited to, work schedules, reporting forms, and projected completion dates.

FPRA staff will conduct a site visit before grant payment is made in order to verify that the business is in operation. Staff may also conduct unannounced site visits periodically in order to ensure compliance with the terms of the grant agreement.

There is no guarantee that funding will be available for every application submitted, including those that meet the required criteria.

The FPRA is a public agency and is governed by the “Florida Public Records Law” under Florida State Statutes, Chapter 119. Any documents provided by the Applicant(s) may be subject to production by the FPRA upon receipt of a public records request, subject to any exemptions provided by Florida Law.

9. DISBURSEMENT OF FUNDS

The applicant shall incur all initial project costs and may receive reimbursement only after all improvements have been completed in accordance with the grant award. Grant funds will be disbursed upon receipt of a finding of project completion by the FPRA. The finding of project completion will be granted when the FPRA has received the following package:

- Written notification that the project is complete.
- Final report documenting all constructions costs incurred with the project.
- Completed W-9, as required by law, for the Recipient of the grant funds.
- Copies of all required closed permits.
- Copies of all invoices
- Proof of payment (cancelled checks or bank statements)
- Photographs of work undertaken
- Release of liens (if applicable)
- Occupancy certificates (if applicable)
- City of Fort Pierce Business Tax Receipt (if applicable)

NOTE: The Finance Department shall process the reimbursement to the applicant in accordance with the regular payment procedures of the City. No funds will be disbursed until all work is completed and all items set forth in paragraph 9 above have been submitted. The reimbursement process may take approximately 45-60 days after the FPRA receives the necessary documentation. This timeframe allows for the review and verification of the submitted documents to ensure compliance with the program's requirements. The FPRA strives to process reimbursements in a timely manner and appreciates the applicants' patience during the reimbursement period.

COMMERCIAL FAÇADE GRANT

10. EVALUATION CRITERIA

There is no guarantee that funding will be available for every application submitted, including those that meet the required criteria. All applications will be evaluated, and the properties with a score of 60% or more will be recommended for award.

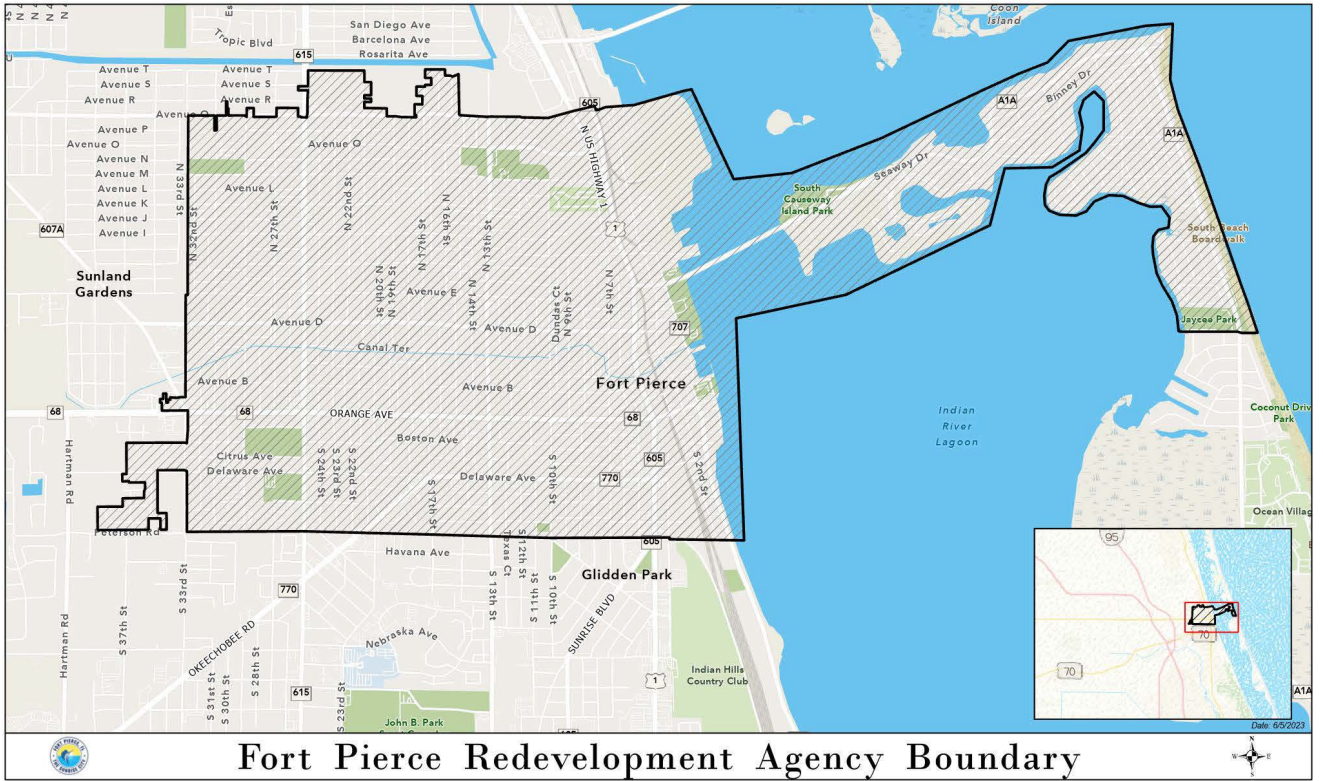
Evaluation Criteria	Max Points Possible 100
Visual Impact/Blight Elimination	Max 50
The project's ability to enhance the visual appeal of the FPRA and significantly eliminate the blight of the building. The elimination of blight will increase safety and security of the public enhancing its visual aesthetics which will lead to increased property values, tenant occupancy, economic development, and job creation.	50
Total Project Investment	Max 25
The higher the ratio of private investment vs. public grant dollar investment, the higher the scoring will be.	
Over \$100,000	
\$100,000 - \$50,000	
\$50,000-\$25,000	
\$25,000 - \$10,000	
Under \$10,000	5
Design and Creativity	Max 15
<ul style="list-style-type: none"> • Innovative and visually appealing facade design • Compatibility with neighborhood's architectural style • Sustainability and longevity of proposed improvements 	15
Community Impact/Public Benefit	Max 10
The funded projects not only improve the appearance of commercial properties but also generate meaningful positive impacts for the community and the general public.	10
Total Project Score	100

11. TIMELINE*

- a. The application period will remain open until all of the allocated funds are depleted. Submitted applications will be evaluated every 30 days.

COMMERCIAL FAÇADE GRANT

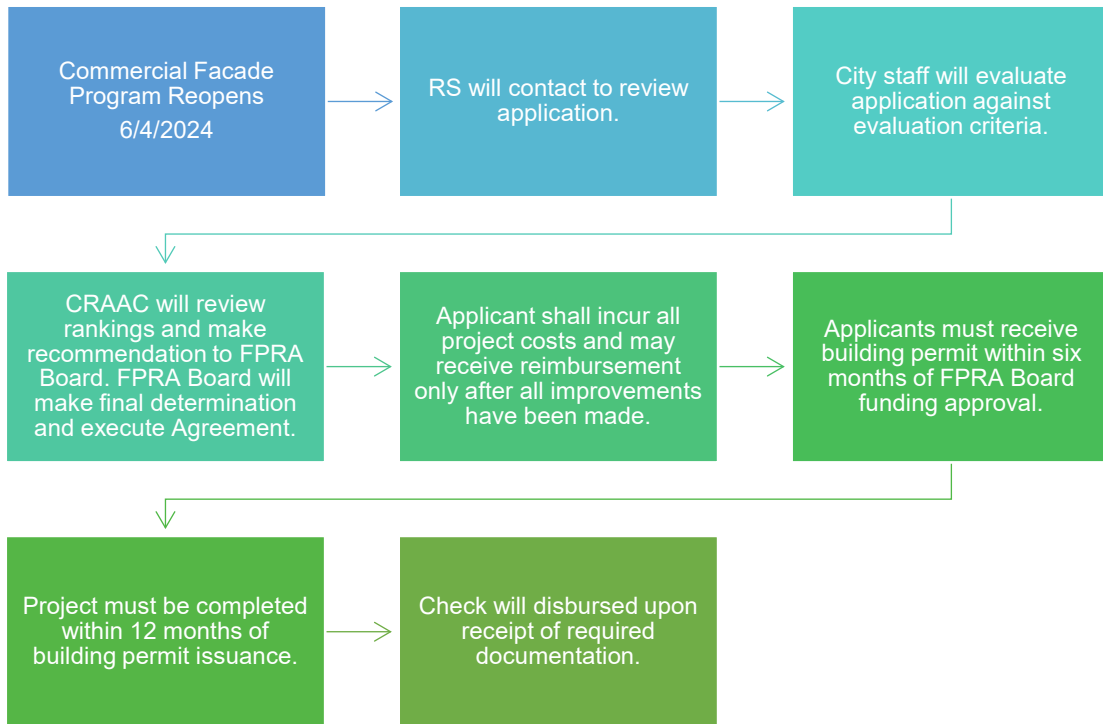
12. FPRA DISTRICT MAP



Fort Pierce Redevelopment Agency Boundary

COMMERCIAL FAÇADE GRANT

Commercial Façade Grant Process



EVALUATION CRITERIA

There is no guarantee that funding will be available for every application submitted, including those that meet the required criteria. All applications will be evaluated, and the properties with a score of 60% or more will be recommended for award.

Evaluation Criteria	Max Points Possible 100	
Visual Impact/Blight Elimination	Max 50	
<p>The project's ability to enhance the visual appeal of the FPRA and significantly eliminate the blight of the building. The elimination of blight will increase safety and security of the public enhancing its visual aesthetics which will lead to increased property values, tenant occupancy, economic development, and job creation.</p>	50	
Total Project Investment	Max 25	
<p>The higher the ratio of private investment vs. public grant dollar investment, the higher the scoring will be.</p>		
Over \$100,000		25
\$100,000 - \$50,000		20
\$50,000-\$25,000		15
\$25,000 - \$10,000		10
Under \$10,000	5	
Design and Creativity	Max 15	
<ul style="list-style-type: none"> • Innovative and visually appealing facade design • Compatibility with neighborhood's architectural style • Sustainability and longevity of proposed improvements 	15	
Community Impact/Public Benefit	Max 10	
<p>The funded projects not only improve the appearance of commercial properties but also generate meaningful positive impacts for the community and the general public.</p>	10	
Total Project Score	100	



Commercial Façade Grant Program



Overview



The intent of the Commercial Façade Grant Program is to significantly enhance the appearance of buildings and eliminate blight within the FPRA district.

The program offers financial assistance in the form of a reimbursable grant, matching 50% up to \$25,000.

FPRA Plan Goals

GOAL 7

The Fort Pierce Redevelopment Agency shall increase private sector investment and business development within the Community Redevelopment Area.

GOAL 9

The Fort Pierce Redevelopment Agency shall support small businesses, start-up businesses and support entrepreneurial activity within the Redevelopment Area.



New application process

- Commercial Façade Program is open and accepting applications year-round. No deadline for application submission.
- Applications are evaluated individually by staff on an ongoing basis. Award recommendations are reviewed by the CRAAC before the FPRA Board makes the final determination and executes the agreement.
- If an application receives less than 60% of the possible points, it will not be recommended for funding.

Evaluation Criteria

Staff evaluated the applications on the following evaluation criteria:

- **Visual impact/ Blight Elimination (50 points)** - The project's ability to enhance the visual appeal of the FPRA and significantly eliminate the blight of the building.
- **Total Project Investment (25 points)** -The higher the ratio of private investment vs. public grant dollar investment, the higher the score.
- **Design & Creativity(15 points)** - Innovative and visually appealing facade design; Compatibility with neighborhood's architectural style; Sustainability and longevity of proposed improvements
- **Community Impact/Public Benefit(10 points)** - The funded projects not only improve the appearance of commercial properties but also generate meaningful positive impacts for the community and the general public.

207 Orange
Avenue





207 Orange Ave Façade Improvements

- Renovating the entranceway
 - Replacing all floor tile
 - Removing tile on facade
 - Replacing windows
 - Replacing front doors with ADA compliant entrances
- Adding outdoor window boxes & hurricane shutters to upper windows
- Installing security cameras

Next Steps

FPRA Board will make final determination and execute agreement.

Applicants must receive building permit within six months of execution of grant agreement.

Applicant shall incur all project costs and may receive reimbursement only after all improvements have been made.

Project must be completed within 12 months of building permit issuance.

Check will be disbursed upon receipt of written notification, permits/CO, and copies of paid invoices.



Recommendation

STAFF AND THE CRA ADVISORY COMMITTEE RECOMMEND AWARD OF THE COMMERCIAL FAÇADE GRANT PROJECT AT 207 ORANGE AVE, SUBMITTED BY JETSET EVENTS, LLC.

FPRA Regular Meeting - 5:05 p.m.

7. c.

Meeting Date: September 10, 2024

Re: First Amendment to Lease Agreement for HDRC

Submitted For: Shyanne Harnage, CRA Administrator, City Manager

SUBJECT:

Approval of First Amendment to Lease Agreement with the Boys and Girls Clubs of St. Lucie County for the Human Development and Resource Center Gymnasium

SUMMARY:

The Fort Pierce Redevelopment Agency and Boys and Girls Clubs of St. Lucie County entered into a lease agreement for the Human Development and Resource Center Gymnasium on October 27, 2020. The proposed amendment aims to clarify the responsibilities outlined in paragraph 9, "Maintenance and Repair," of the lease agreement. Under the terms of this amendment:

- The tenant, Boys and Girls Clubs of St. Lucie County, is tasked with maintaining the gymnasium in first-class condition. This includes daily cleaning, janitorial services and necessary repairs.
- The landlord, Fort Pierce Redevelopment Agency, retains responsibility for the maintenance, repair and replacement of significant systems and structures within the property. This encompasses both interior and exterior elements, such as walls, ceilings, floors, roof, windows, doors, and affixed electrical and HVAC systems.

Recognizing the vital services provided by the Boys and Girls Clubs to the community, the agency is pleased to allocate this space for their operations.

Furthermore, this lease aligns with the Fort Pierce Redevelopment Agency's Redevelopment Plan objectives, particularly:

- Goal 14: The Fort Pierce Redevelopment Agency shall support the law enforcement and social service providers that are located within the Redevelopment Area and that serve residents of the Community Redevelopment Area.
 - 14.1. The Fort Pierce Redevelopment Agency shall coordinate with social service providers located in the Community Redevelopment Area (e.g. Boys and Girls Club of St. Lucie, Lincoln Park Head Start, Career Source, etc.) regarding events, activities and potential use of City facilities within the Community Redevelopment Area.

RECOMMENDATION:

Approve lease amendment as presented.

ALTERNATIVES:

Amend or deny lease amendment.

RESPONSIBLE STAFF:

Shyanne Harnage, CRA Administrator

COORDINATED WITH:

Sara Hedges, City Attorney

Linda Cox, Acting City Manager

Fiscal Impact

OTHER INFORMATION:

There is no fiscal impact associated with this lease amendment at this time. The proposed Fiscal Year 2025 FPRA Project-Based Budget includes \$100,000 for potential improvements to this facility.

Attachments

First Amendment to Lease Agreement

Executed Lease Agreement

RLS Memo

**FIRST AMENDMENT TO LEASE TO
AGREEMENT TO LEASE AND IMPROVE THE
HUMAN DEVELOPMENT AND
RESOURCE CENTER GYMNASIUM**

THIS FIRST AMENDMENT TO THE AGREEMENT TO LEASE AND IMPROVE THE HUMAN DEVELOPMENT AND RESOURCE CENTER GYMNASIUM (the "Agreement") is made and enter into as of this 27 day of August 2024 ("Effective Date"), by and between the Fort Pierce Redevelopment Agency, a dependent special district of the City of Fort Pierce, Florida, and joined by the City of Fort Pierce, Florida (herein collectively "Landlord") and the Boys & Girls Clubs of St. Lucie County, a non-profit Florida corporation ("Tenant").

WITNESSETH:

WHEREAS, the Landlord and Tenant entered into a Lease Agreement dated October 27, 2020 and recorded in Official Records Book 4503, Page 1970, for the Human Development and Resource Center Gymnasium located at the corner of 29th Street and Avenue D in the City of Fort Pierce (the "Premises"); and

WHEREAS, the parties desire to amend the Lease to clarify the responsibilities and duties of the parties as set forth herein.

NOW, THEREFORE, the undersigned parties to this Agreement do hereby amend the Agreement to Lease and Improve the Human Development and Resource Center Gymnasium as follows:

1. **Maintenance and Repair.** Paragraph 9, entitled "Maintenance and Repair," is hereby deleted and replaced with the below Paragraph 9 to clarify the responsibilities of the parties:

9. **MAINTENANCE AND REPAIR.** Tenant shall at all times maintain the gymnasium, and all appurtenances thereof, in a first-class condition and appearance, in compliance with all local, state, or federal statutes, codes, ordinances and rules. Tenant shall be responsible for the daily cleaning and upkeep of the Demised Premises consisting of janitorial services and repairs in order to ensure that the Demised Premises remain in proper condition and appearance. Landlord shall be responsible for maintenance, repair, and replacement of any and all systems and structures, both interior and exterior, including but not limited to interior and exterior walls, ceiling, floor, roof, windows, doors, electrical systems, HVAC systems, plumbing systems, and fixtures that are permanently affixed to the structure and are required for proper structural functionality.

2. **No Further Amendments.** Except as specifically modified and amended hereby, the Lease Agreement shall remain in full force and effect.

IN WITNESS WHEREOF, the parties hereto have caused these presents to be executed as of the day and year first above written.

(REMAINDER OF PAGE INTENTIONALLY LEFT BLANK)

WITNESSES:

By: [Signature]
Print Name: Joanna Marcelli
Address: 3915 Duval Ave
Port St. Lucie, FL 34947

By: [Signature]
Print Name: Linda Soto
Address: 6139 NW Gaton Drive
Port St. Lucie, FL 34986

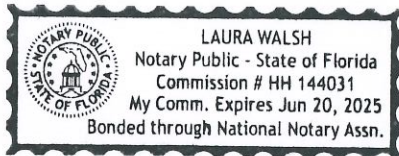
"Tenant"

Boys & Girls Clubs of St. Lucie County, a
non-profit Florida corporation

By: [Signature]
Print Name: Will Armstead
Title: CEO

STATE OF FLORIDA
COUNTY OF St. Lucie

The foregoing instrument was acknowledged before me this 27th day of August, 2024,
by Will Armstead as CEO of Boys + Girls Clubs of St. Lucie County, Inc.
AUDUBON DEVELOPMENT, INC., a Florida corporation. Said person did not take an oath and
(check one) is personally known to me, produced a driver's license issued by a state of the
United States within the last five (5) years as identification, to wit:



[Signature]
Notary Public, State of Florida
Print Name: Laura Walsh
Commission #: HH 144031
My Commission Expires: 6/20/25

(SIGNATURES CONTINUE ON FOLLOWING PAGES)

WITNESSES:

"Landlord"

CITY OF FORT PIERCE, FLORIDA, a
Florida municipal corporation

By: _____
Print Name: _____
Address: _____

By: _____
Linda Hudson, Mayor

By: _____
Print Name: _____
Address: _____

APPROVED AS TO FORM
AND CORRECTNESS:

By: _____
Sara Hedges, City Attorney

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was acknowledged before me this ___ day of _____, 2024, by LINDA HUDSON, as MAYOR, of CITY OF FORT PIERCE, a municipal corporation. Said that person did not take an oath and (check one) is personally known to me, produced a driver's license issued by a state of the United States within the last five (5) years as identification, to wit:

Notary Public, State of Florida
Print Name: _____
Commission #: _____
My Commission Expires: _____

(SIGNATURES CONTINUE ON FOLLOWING PAGE)

WITNESSES:

"Landlord"

FORT PIERCE REDEVELOPMENT
AGENCY, a community redevelopment
Agency established pursuant to Florida
Statutes Chapter 163

By: _____
Print Name: _____
Address: _____

By: _____
Linda Hudson, Chairwoman

By: _____
Print Name: _____
Address: _____

APPROVED AS TO FORM
AND CORRECTNESS:

By: _____
Sara Hedges, City Attorney

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was acknowledged before this _____ day of
_____, 2024 by _____ as _____
of FORT PIERCE DEVELOPMENT AGENCY, a community redevelopment agency established
pursuant to Florida Statutes Chapter 163. Said person did not take an oath and (check one) is
personally known to me, produced a driver's license issued by a state of the United
States within the last five (5) years as identification to wit:

Notary Public, State of Florida
Print Name: _____
Commission #: _____
My Commission Expires: _____



THE SUNRISE CITY
CITY CLERK'S OFFICE

FORT PIERCE

Florida

TO : Nicholas Mimms, FPRA Director

FROM : Linda W. Cox, City Clerk *LWC*

RE : FPRA – Boys & Girls Club Lease

DATE : November 10, 2020

Attached you will find the original above-referenced lease which was approved by the Fort Pierce Redevelopment Agency at the October 27, 2020 meeting. I have scanned into FileBound to be maintained as the record copy.

If you have any questions, please let me know.

**AGREEMENT TO LEASE AND IMPROVE THE
HUMAN DEVELOPMENT AND
RESOURCE CENTER GYMNASIUM**

THIS LEASE AGREEMENT entered into this 27th day of October 2020 by and between the **FORT PIERCE REDEVELOPMENT AGENCY (FPRA)**, a dependent special district of the **CITY OF FORT PIERCE, FLORIDA**, and joined by the **CITY OF FORT PIERCE, FLORIDA (CITY)**, a Florida municipal corporation, (hereafter collectively "LANDLORD") whose address is 100 North U.S. #1, Fort Pierce, Florida 34950; and the **BOYS & GIRLS CLUBS OF ST. LUCIE COUNTY, INC.**, a non-profit Florida corporation ("TENANT") whose business address is 3104 Avenue J, Fort Pierce, Florida 34947.

WITNESSETH:

WHEREAS, the LANDLORD, is the owner of an approximate 14,000 square foot gymnasium known as the Human Development & Resources Center Gymnasium, Phase 2, located at the corner of 29th Street and Avenue D in the City of Fort Pierce (the "Demised Premises") which is more fully depicted on Exhibit "A" attached hereto and incorporated herein by reference; and

WHEREAS, the TENANT has been selected by LANDLORD to lease, improve, and operate the Demised Premises for the purpose of promoting children's training and recreational programs which have a specific public benefit; and

WHEREAS, the TENANT is accepting this agreement to operate a youth training and recreational program based on accepted national standards set by its parent organization, keeping regular posted hours of operation acceptable to LANDLORD and performing a specific

public benefit, subject to the review and approval of the LANDLORD and the terms and conditions of this Lease; and

WHEREAS, the LANDLORD is desirous of leasing to TENANT the gymnasium facility in conjunction with, and subject to other entities and organizations including LANDLORD's operations on other portions of the property; and

WHEREAS, this Lease shall be subject to all existing zoning and building restrictions and regulations and provisions and clauses set forth herein.

NOW, THEREFORE, in consideration of the covenants herein contained, and other good and valuable consideration, the receipt and sufficiency of which is acknowledged, LANDLORD and TENANT do hereby agree as follows:

1. **TERM**. The Term of this Lease shall be for a period of ten (10) years, commencing on the Effective Date (as defined in Section 20(i) below), unless sooner terminated pursuant to the terms set forth herein. TENANT may opt to renew this Lease for two (2) additional five (5) year terms. TENANT shall inform LANDLORD in writing of its intent to exercise the renewal option at least ninety (90) days prior to the expiration of the existing term.

2. **DEMISED PREMISES**. The Demised Premises consists of an approximate fourteen thousand (14,000) square foot gymnasium facility, being a portion of Phase 2 of the Human Development Resources Center facility located at 3002 Avenue D, Fort Pierce, Florida, as depicted on Exhibit "A", attached hereto and incorporated herein by reference. LANDLORD shall further permit TENANT to use and occupy such additional areas, such as the parking lot, sidewalks, field and other common area of the overall facility as are needed and authorized for the reasonable use of the gymnasium. TENANT acknowledges that its use and occupancy of the gymnasium

building is part of an overall complex of buildings and facilities generally known as the “Human Development Resources Center”, and that other portions of the property are or may be occupied by other entities and organizations, including, but not limited to Indian River Community College and the City of Fort Pierce, as well as the Fort Pierce Redevelopment Agency. TENANT further acknowledges that its use and occupancy of the gymnasium shall at all times be subject to the concurrent use of the ground area and surrounding property as LANDLORD may deem necessary for all uses in connection with the operation of the entire existing or future project.

3. **LEASE PAYMENTS.** TENANT in consideration of this Lease, shall pay LANDLORD, without demand, at the offices of the Director of Finance, City Hall, 100 North U.S. 1, Fort Pierce, Florida 34950, or such other place as LANDLORD may from time to time designate in writing, rent in the amount of ONE DOLLAR (\$1.00) per year.

4. **TAXES.** If ad valorem taxes are applicable, TENANT agrees to pay its proportionate share as are billed and determined by LANDLORD or the taxing authority. TENANT further agrees that should any of its use of the property be subject to sales, use, excise, or rental taxes levied by any taxing authority, TENANT similarly agrees to pay such taxes and hold LANDLORD harmless from the same.

5. **HOURS OF OPERATION.** At all times during this Lease, TENANT shall be required to operate a first-class gymnasium facility with minimum hours of operation. The hours of operation shall be agreed to and established in writing between LANDLORD and TENANT prior to the commencement of this Lease. Thereafter, if a change is required to the hours of operation or the facility is to be closed, such change in operating hours shall require the written consent of LANDLORD.

6. **COMMON AREA.** The term "Common Area" shall mean that part of the entire Human Redevelopment Resources Center property of LANDLORD located at 3002 Avenue D, Fort Pierce, Florida, designated by LANDLORD from time to time for the common use of all occupants of the facility, including, but not limited to other areas of the facility besides the gymnasium, parking areas, walkways, open field areas, landscaping, loading areas, and walkways, all of which shall be subject to LANDLORD's sole management and control. TENANT and its employees, customers, subcontractors, licensees, invitees, and concessionaires shall have the nonexclusive right and license to use the Common Area as constituted from time to time, such use to be in connection with LANDLORD, and other tenants, owners, or occupants of the property, and all other persons permitted by LANDLORD to use the same and subject to such reasonable rules and regulations governing the use thereof as LANDLORD may from time to time prescribe, including the designation of specific areas within the property or in reasonable proximity thereto in which automobiles and vehicles owned or operated by TENANT, its employees, invitees, and licensees shall travel or be parked. LANDLORD shall operate, maintain, and repair the Common Area in such a manner as LANDLORD shall in its sole discretion determine and as subject to other owners, tenants, or occupants of the property; provided, however, that this shall not operate to impose on LANDLORD the duty to maintain or repair the Common Area.

7. **INSURANCE.** LANDLORD shall obtain and maintain all risk commercial property insurance on the exterior structure of the Demised Premises. TENANT shall insure the contents of such buildings or structures. TENANT agrees to be responsible for loss or damage to any structure on the Demised Premises to the extent such loss or damage is subject to a deductible provision in the LANDLORD's provided insurance.

TENANT shall purchase and maintain Workers' Compensation insurance on a form no more restrictive than that provided by the latest edition of the standard Workers' Compensation Policy, as filed for use in Florida by the National Council on Compensation Insurance (NCCI), without any restrictive endorsements other than any endorsements required by NCCI or the State of Florida. The policy must be endorsed to waive the insurer's right to subrogate against LANDLORD. The minimum amount of coverage (inclusive of any amount provided by an umbrella or excess policy) shall be:

Part One:	"Statutory"	
Part Two:	\$500,000	Each Accident
	\$500,000	Disease - Policy Limit
	\$500,000	Disease - Each Employee

TENANT shall purchase and maintain Commercial General Liability Insurance on a form no more restrictive than the latest edition of the standard occurrence Commercial General Liability Form (Form CG 00 01) as filed for use in the State of Florida by the Insurance Services Office (ISO), without any restrictive endorsements other than any endorsements specifically required by the ISO or the State of Florida.

In addition, LANDLORD shall be included as an "Additional Insured" on a form no more restrictive than ISO Form CG 20 11, Additional Insured-Managers or Lessors of Premises. The minimum limits (inclusive of amounts provided by an umbrella or excess policy) shall be: \$1,000,000 - General Aggregate; \$1,000,000 - Products/Completed Operations Aggregate; and \$1,000,000 - Each Occurrence.

TENANT shall further furnish LANDLORD with executed Certificates of Insurance showing that such insurance is in full force and effect within thirty (30) days of the execution of this Lease, which certificate shall provide a minimum of thirty (30) day notice to LANDLORD prior to the cancellation or termination of any insurance policy. Additionally, LANDLORD from time to time may require evidence of such insurance and TENANT shall agree to promptly supply the same.

The insurance provided by TENANT shall apply on a primary basis to and shall not require contribution from, any other insurance or self-insurance maintained by LANDLORD. Any insurance, or self-insurance, maintained by LANDLORD shall be in excess of, and shall not contribute with, the insurance provided by TENANT.

Except as otherwise specifically authorized in this Agreement, no deductible or self-insured retention for any required insurance provided by TENANT pursuant to this Agreement will be allowed. To the extent any required insurance is subject to any deductible or self-insured retention (whether with or without approval of LANDLORD), TENANT shall be responsible for paying on behalf of LANDLORD any such deductible or self-insured retention. LANDLORD, from time to time, may require evidence of all such insurance coverages and policies as provided above and TENANT shall agree to supply these policies or proof of insurance. LANDLORD shall further have the right to require TENANT to make reasonable increases to the minimum required limits of insurance specified herein during the term of this lease.

8. **USE OF PREMISES.** TENANT shall utilize the Demised Premises for all uses pertinent to and related to its Boys & Girls Club programs. TENANT specifically agrees not to conduct its operations in a manner that disturbs the quiet enjoyment of other tenants and occupants of the property and agrees to conduct its operations in compliance with all applicable

laws. TENANT further agrees to keep the Demised Premises in a clean and sanitary condition; to comply with all laws, ordinances, rules, regulations, environmental permits, and all other obligations imposed by applicable provisions of building, housing, health and environmental codes of any local, state, or federal law, regulation, or agency; to make no alterations or additions to the Demised Premises without the prior written consent of LANDLORD; to commit no waste of the Demised Premises; to remove all garbage and other debris which results from the operation of TENANT's operations and use of the premises in a clean and sanitary manner and to remove the garbage and debris in conformity with all laws and regulations; to keep all plumbing fixtures used by TENANT clean and sanitary; to use and operate in a reasonable manner all electrical, plumbing, heating, ventilating, air conditioning and other facilities and appliances; not to destroy, deface, damage, impair or remove any part of the Demised Premises, or property therein belonging to LANDLORD; to direct persons on the premises with TENANT's consent to conduct themselves in a manner that does not unreasonably disturb other tenants or occupants or constitute a breach of the peace; and to surrender the Demised Premises at the termination of this Lease in a good state and condition as reasonable use and wear will have permitted.

A copy of the posted hours of operation and a list of the programming curriculum shall be furnished to LANDLORD at the time of the execution of this Lease, and updated upon request. Additionally, TENANT specifically acknowledges that its use and occupancy of the Demised Premises is expressly subject to the following:

(a) Use by LANDLORD: Recognizing that the gymnasium facility was designed to function as an emergency shelter facility in the event of an emergency, whether natural or manmade, TENANT agrees to surrender occupancy and control of the facility to the LANDLORD

for such use in the event of an emergency declaration being issued by the CITY or other state or federal declaration, for the period of time that such a declaration shall continue to be in effect. TENANT agrees to cease all normal programming operations and cooperate with all emergency personnel in the conduct of their duties in connection with the use of the facility. TENANT shall not be compensated in any manner for the loss of the use of the facility for such period of surrender. LANDLORD further reserves to itself the right to use the Demised Premises exclusively or in conjunction with TENANT or any other person or entity at all reasonable times; provided, however, that such use shall not unreasonably interfere with TENANT'S own use of the facility for programmed or scheduled events; and

(b) Use by IRSC: TENANT further recognizes that it shares the Human Development Resources Center campus and common area with Indian River State College (IRSC), who operates educational programming in the Phase 1 building, adjacent to the gymnasium. TENANT recognizes that coordination will occasionally be required with IRSC with regard to exterior maintenance issues and the scheduling of the use of the shared common areas, such as the parking lots, future sports fields developed on the property, and other areas of the facility. TENANT agrees to cooperate with IRSC, or any party or entity that may occupy said property after IRSC ("succeeding parties"), in such joint use of the common areas, but TENANT will not be required to subjugate its interests to IRSC or succeeding parties within its Phase 2 gymnasium building.

9. **MAINTENANCE AND REPAIR.** TENANT shall at all times maintain the gymnasium facility, and all appurtenances thereof, in a first-class condition and appearance, in compliance with all local, state, or federal statutes, codes, ordinances and rules. TENANT shall keep and

maintain in good order and condition (which maintenance shall mean replacement if necessary), with the exception of ordinary wear and tear, interior walls, ceilings, interior portions of all doors, windows, glass, plumbing and sewage facilities, fixtures, heating, air-conditioning (including exterior mechanical equipment), interior electrical equipment serving the Demised Premises, floors, and all other parts of the Demised Premises. LANDLORD shall be responsible for the maintenance of the exterior of the Phase 2 gymnasium building, including the foundation, exterior walls, roof, generators, and backup water system which are required for the use of the facility as an emergency shelter.

10. **ALTERATIONS.** TENANT shall not make any alterations, additions, or improvements to the Demised Premises without the prior written consent of LANDLORD, except for the installation of unattached, movable trade fixtures which may be installed without defacing the Demised Premises. All alterations, additions, improvements and fixtures (other than movable trade fixtures) which may be made or installed upon the Demised Premises shall become the property of LANDLORD upon installation and shall remain upon and be surrendered with the Demised Premises at the termination of the Lease unless LANDLORD requests their removal, in which event TENANT shall remove the same and restore the Demised Premises to the original condition at TENANT's expense. Any linoleum, carpeting, or other floor covering which may be cemented or otherwise affixed to the floor of the Demised Premises shall be a permanent fixture and shall become the property of LANDLORD without credit or compensation to TENANT.

11. **UTILITIES.** LANDLORD agrees to pay the following utility services furnished to the Demised Premises: heat, water, electricity, and garbage. TENANT shall contract in its own

name and shall pay the charge before delinquency, for all other utility services rendered or furnished to the Demised Premises, including telephone, internet and the like, together with all taxes or other charges levied on such utilities. LANDLORD may, if it so elects, furnish one or more other utility services to TENANT with TENANT'S written approval, in the event such utilities or services are tied to and a part of LANDLORD's other facilities or common area. In such event, TENANT agrees to pay its pro rata share of such utilities or services as determined by LANDLORD from time to time.

12. **TITLE TO IMPROVEMENTS.** Title to any building, structure, or other improvements (other than movable trade fixtures) that shall be constructed, installed, or placed upon the Demised Premises shall vest in LANDLORD upon the termination of this Lease or any renewal or extension hereof, and TENANT acknowledges that it shall have no right to remove such fixed and permanent improvements and any fixed appliances, apparatus, or equipment related to the improvements, including all replacements, accessories and modifications thereof from the Demised Premises.

13. **DAMAGE AND OBLIGATION TO RESTORE.** TENANT shall give immediate written notice to LANDLORD of any damage caused to the Demised Premises by fire or other casualty. If the Demised Premises should be: (1) damaged by any uninsured casualty or; (2) be damaged to an extent in excess of fifty percent (50%) of the cost of replacement thereof, LANDLORD may elect either to terminate the Lease or to proceed to rebuild and repair the Demised Premises. Should LANDLORD elect to terminate the Lease, it shall give written notice of such election to TENANT within ninety (90) days after the occurrence of such casualty. Except as otherwise provided herein, in the event the Demised Premises should be damaged by fire or

other casualty insurable under standard fire and extended insurance coverage, LANDLORD shall proceed with reasonable diligence to rebuild and repair the Demised Premises. LANDLORD's obligation to rebuild and repair shall be limited to restoring the Demised Premises to substantially return to the condition in which same existed prior to the casualty, shall be limited to the extent of the insurance proceeds available to LANDLORD for such restoration and, further, shall exclude any obligation with regard to the personal property and trade fixtures of TENANT. In the event any portion of the gymnasium facility should be damaged to such an extent that LANDLORD, in its sole discretion, should elect to discontinue operation of the Human Development Resources Center, LANDLORD may cancel this lease by giving written notice to TENANT, and the lease shall terminate and become null and void.

14. **LIABILITY AND INDEMNIFICATION.** LANDLORD shall not be liable for any damage or injury, whether it be to the person or property, of TENANT, TENANT's employees, agents, guests, invitees, or otherwise, by reason of TENANT's occupancy of the Demised Premises or because of fire, flood, wind storm, acts of God, or for any other reason, except such damage or injury arising or occurring as a result of LANDLORD's positive acts, negligence, acts or omissions. This paragraph shall apply also to damage caused as previously stated or by frost, steam, excessive heat or cold, falling objects, broken glass, sewage, gas, odors, or noise, or the bursting or leaking of pipes or plumbing fixtures and shall apply equally whether any such damage results from the acts or omissions of other tenants, occupants or of any other person, whether such damage be caused by or result from any other thing or circumstances above mentioned, or any other thing or circumstances, whether of a like or wholly different nature.

15. TENANT hereby agrees to indemnify and hold harmless LANDLORD and its officers and employees from and against any and all liabilities, damages, losses and costs, including, but not limited to, reasonable attorney's fees and costs, by reason of damage to persons or property as a result of an accident upon the Demised Premises or events caused by the negligence, recklessness, or intentional misconduct of TENANT, its agents, its officers, or its employees, while TENANT is in possession thereof.

16. **ASSIGNMENT AND SUBLETTING.** The identity and financial standing of TENANT is a material consideration of LANDLORD in entering into the Lease. TENANT shall not voluntarily, involuntarily, or by operation of law assign, sell, mortgage, pledge, or in any manner transfer the Lease or any estate or interest therein or sublet the Demised Premises or any part thereof, or grant any license, concession, or other right to occupy any portion of the Demised Premises without the prior written consent of LANDLORD.

17. **DEFAULT AND REMEDIES.** The occurrence of any one or more of the following events shall constitute a material default and breach of the Lease by TENANT:

- (a) The vacating or abandonment of the Demised Premises by TENANT.
- (b) The failure by TENANT to observe or perform any of the covenants, conditions or provisions to be observed or performed by TENANT where such failure shall continue for a period of ten (10) days after written notice thereof from LANDLORD to TENANT; provided, however, that if the nature of TENANT's default is such that more than ten (10) days are reasonably required for its cure, TENANT shall not be deemed to be in default if TENANT commences such cure within said ten day period and thereafter diligently pursues such cure to completion.

In the event of any default or breach by TENANT, LANDLORD may at any time thereafter declare this Lease terminated, terminate TENANT's right to possession of the Demised Premises, and retake possession thereof.

Either party may also terminate this Lease by serving the other party with ninety (90) days written notice of intent to terminate with written notice sent to each party at the addresses listed below.

AS TO LANDLORD:

Fort Pierce City Hall
100 North US #1
Fort Pierce, FL 34950
Attention: City Manager
City Attorney
FPRA Director

AS TO TENANT:

Boys & Girls Clubs of St. Lucie County
HDRC F Facility
3104 Avenue J
Fort Pierce, FL 34947

18. **NOTICES.** All notices required to be served upon LANDLORD shall be served by registered or certified mail, return receipt requested, to: CITY OF FORT PIERCE, Attn: City Manager, with copies to the Office of the City Attorney and the FPRA Director, at the address designated in Section 17 above, or such other place as LANDLORD may designate in writing. All notices required to be served upon TENANT shall be served by hand delivery or registered or certified mail, return receipt requested to: BOYS & GIRLS CLUB OF ST. LUCIE COUNTY, at the address designated in Section 17 above, or such other place as TENANT may designate in writing. All such notices shall be deemed to have been duly given, delivered, or served if and when hand delivered or deposited in the U.S. Post Office, postage prepaid, whether evidence of delivery received is obtained or not obtained.

19. **ACCESS TO PROPERTY.** During the term of this Lease, and any renewal or extension thereof, TENANT shall permit LANDLORD and the agents and representatives of LANDLORD access to the Demised Premises at all reasonable times deemed necessary for the purpose of this Lease, and to assure compliance with all ordinances, statutes and rules and regulations of federal, state and local agencies having jurisdiction.

20. **GENERAL PROVISIONS.** The following general provisions shall be an integral part of this Lease:

(a) Nothing herein contained shall be deemed or construed by the parties hereto, nor by any third party, as creating a relationship of principal and agent or of partnership or of joint venture between the parties hereof. Neither this Lease, nor any of the terms and provisions contained herein, nor any acts of the parties hereto, shall be deemed to create any relationship between the parties hereto other than the relationship of LANDLORD and TENANT.

(b) Time is of the essence.

(c) The captions used herein are for convenience only and do not limit or amplify the provisions hereof.

(d) Whenever a period of time is prescribed for action to be taken by either party, said party shall not be liable or responsible for and there shall be excluded from the computation of any such period of time, any delays due to strikes, riots, acts of God, shortages of labor or materials, war, governmental laws, regulations or restrictions or any other causes of any kind whatsoever which are beyond the reasonable control of the parties.

(e) Each provision performable by TENANT shall be deemed both a covenant and a condition. The Lease contains all agreements of the parties with respect to any matter

mentioned herein. No prior agreement or understanding pertaining to any such matter shall be effective. The Lease may be modified in writing only, signed by the parties in interest at the time of modification.

(f) This Lease shall bind the parties, their personal representatives, successors and assigns.

(g) This Lease and the rights of the parties shall be governed by and construed or enforced in accordance with the laws of the State of Florida. Venue for any action arising out of this Lease is in the Courts of St. Lucie County, Florida. Any action shall be tried as a non-jury case.

(h) The terms "LANDLORD" and "TENANT", as used herein, denote both singular and plural and all genders. Where "TENANT" consists of more than one person, whether natural or artificial, all the persons constituting "TENANT" shall be jointly and severally liable for all obligations to be performed by TENANT herein.

(i) The Effective Date of the Lease shall be the date last executed by the parties without amendment or deletion to the Lease and its Exhibit(s).

21. **RADON GAS.** Pursuant to Fla. Stat. Sec. 404.056(8), Radon is a naturally occurring radioactive gas that when it has accumulated in a building in sufficient quantities, may present health risks to persons who are exposed to it over time. Levels of radon that exceed federal and state guidelines have been found in buildings in Florida. Additional information regarding radon and radon testing may be obtained from the St. Lucie County Public Health Unit.

22. **INSPECTION.** LANDLORD or its agents shall have the right to enter the Demised Premises at all reasonable hours for the purpose of inspecting or for any other purpose not inconsistent with the terms and provisions of this Lease.

23. **PARTIAL INVALIDITY.** In the event any term, provision, or condition of this Lease shall be adjudged, decreed, held or ruled to be invalid, such provision or a portion thereof shall be deemed severable, and it shall not invalidate or impair this Lease as a whole or any other provision of this Lease.

24. **NO WAIVER.** No waiver of any provision of this Lease shall be implied by any failure of either party to enforce any remedy upon the violation of such provision, even if such violation is continued or repeated subsequently. No express waiver shall affect any provision other than the one specified in such waiver, and then only for the time and in the manner specifically stated.

IN WITNESS WHEREOF, the parties hereto have signed, sealed, and delivered this Lease as of the day and year first above written.

WITNESS AS TO LANDLORD:

LANDLORD:

ATTEST:

**FORT PIERCE REDEVELOPMENT
AGENCY**

By:  Linda W. Cox

Linda Cox, City Clerk

By: Linda Hudson

Linda Hudson, Chairman

Date: 10/27/20


**APPROVED AS TO FORM
AND CORRECTNESS:**

By:


Peter Sweeney, City Attorney

TENANT:
BOYS & GIRLS CLUB OF
ST. LUCIE COUNTY

WITNESSES AS TO TENANT:



By:



William Armstead, Chief Executive Officer

Date:

10/26/2020

Date:

10/26/2020



THE SUNRISE CITY
FORT PIERCE
CITY ATTORNEY'S OFFICE
SHYANNE HARNAGE, CRA ADMINISTRATOR
Florida
SARA HEDGES, CITY ATTORNEY *SH*

TO:

FROM:

RE:

CAO RLS FILE:

DATE:

PERCY PEEK GYMNASIUM LEASE AMENDMENT

RLS 24-298

JULY 29, 2024

I have reviewed the above Request for Legal Services (RLS) related to the First Amendment to the Lease Agreement for the Percy Peek Gymnasium. From your background information, the attorney for the Boys and Girls Club originally drafted this amendment. You have made changes in a track changes format. I agree with the changes you have made. I have also made suggested changes in a track changes format. I have uploaded a Track Changes version and a Clean Copy version for your utilization. With your changes and my changes, the First Amendment is approved as to form and correctness.

If you have any questions, please do not hesitate to contact this Office via phone or e-mail.

Thank you.
SH/mm

FPRA Regular Meeting - 5:05 p.m.

8. 0.

Meeting Date: September 10, 2024

Re: FY25 FPRA Budget

SUBJECT:

Approval of the FY2025 FPRA Operating Budget

Attachments

FY 2025 FPRA Operating Budget

Proposed Budget for Fiscal Year 2024/25

Fund Title: Urban Redevelopment	Department: Urban Redevelopment
Fund/Division Number: 104-0000	Division: FPRA

	2021/22 Actual	2022/23 Actual	2023/24 Approved	2024/25 Proposed
<u>Taxes</u>				
311 10 Ad Valorem Taxes	\$ 7,923,864	\$ 9,391,986	\$ 11,899,370	\$ 13,237,537
Total Taxes	\$ 7,923,864	\$ 9,391,986	\$ 11,899,370	\$ 13,237,537
<u>Licenses and Permits</u>				
329 20 Lot Clearing Permits	\$ 1,372	\$ 3,869	\$ 500	\$ 2,500
Total Licenses and Permits	\$ 1,372	\$ 3,869	\$ 500	\$ 2,500
<u>Intergovernmental</u>				
343 91 Admin Charge - Liens	\$3,825	\$2,306	\$0	\$0
347 54 Marina Dockage	12,178	5,189	12,300	5,000
384 90 Other Grants	1,544	0	0	0
Total Intergovernmental	\$ 17,547	\$ 7,494	\$ 12,300	\$ 5,000
<u>Miscellaneous Revenue</u>				
361 10 Interest on Investments	\$ 377	\$ 3,953	\$ 500	\$ 500
362 14 Leases	333,286	374,415	300,000	350,000
363 10 Liens	0	32,362	1,000	1,000
369 31 Reimburse of Expenditures	508	2,245	500	500
369 45 Sale of Surplus Land	0	0	0	0
369 90 Other Misc. Revenues	0	0	500	500
Total Miscellaneous Revenues	\$ 334,170	\$ 412,974	\$ 302,500	\$ 352,500
<u>Transfers</u>				
Transfer from General Fund	\$ 0	\$ 0	\$ 0	\$ 0
Transfer from Construction Fund	0	0	0	0
Transfer from Restricted Fund	0	0	0	0
Total Transfers	\$ 0	\$ 0	\$ 0	\$ 0
Total Revenues	\$ 8,276,953	\$ 9,816,324	\$ 12,214,170	\$ 13,597,537
Fund Balance Appropriation	(553,782)	(2,333,348)	0	0
TOTAL RESOURCES	\$ 7,723,171	\$ 7,482,976	\$ 12,214,170	\$ 13,597,537

Proposed Budget for Fiscal Year 2024/25

Fund Title: Fort Pierce Redevelopment Agency	Department: City Manager
Fund/Division Number: 104-0000	Division: FPRA

	2021/22 Actual	2022/23 Actual	2023/24 Approved	2024/25 Proposed
<u>Budgeted Staffing Level</u>				
Total Budgeted Staffing Level	0	0	0	0

	2021/22 Actual	2022/23 Actual	2023/24 Approved	2024/25 Proposed
<u>Personnel Services</u>				
Total Personnel Services	\$ 0	\$ 0	\$ 0	\$ 0

	2021/22 Actual	2022/23 Actual	2023/24 Approved	2024/25 Proposed
<u>Operating Expense</u>				
3120 Legal Fees	\$ 0	\$ 0	\$ 0	\$ 0
3190 Consultant Fees	147,940	11,775	0	250,000
3200 Accounting & Auditing	8,000	8,000	9,000	9,540
3440 Demolition	21,730	0	0	0
3468 Marina Operation	5,247	0	6,000	0
3490 Contractual Fees	232,232	285,405	500,000	695,000
4020 Travel & Education	4,278	8,615	10,000	20,000
4110 Communications	0	0	0	0
4120 Freight and Postage	0	0	600	500
4310 Utilities	32,574	31,939	30,000	40,000
4410 Equipment Rental	3,693	0	0	0
4430 Land Lease	84,255	120,296	60,000	125,000
4510 Insurance	130,270	64,199	192,000	200,000
4620 Site Maintenance	86,630	98,533	125,000	125,000
4650 Vehicle Maintenance	0	0	0	0
4651 Vehicle Parts	0	0	0	0
4675 Software Maintenance	0	1,226	0	0
4720 Outside Printing	0	0	0	0
4810 Advertising	880	851	5,000	5,000

Proposed Budget for Fiscal Year 2024/25

Fund Title: Fort Pierce Redevelopment Agency	Department: City Manager
Fund/Division Number: 104-0000	Division: FPRA

	2021/22	2022/23	2023/24	2024/25
	Actual	Actual	Approved	Proposed
<u>Operating Expense, cont'd</u>				
4911 Loan Interest	0	0	0	0
4940 Bad Debts	0	0	0	0
4960 Administrative Fees	175,000	175,000	175,000	181,000
4980 Contingency	0	0	87,292	300,000
4985 Real Estate Taxes	36,753	37,064	45,000	45,000
4990 Miscellaneous Expenses	1,451	45	10,000	0
5110 Office Supplies	0	0	0	0
5120 EDP Supplies	0	0	0	0
5210 Gas and Oil	47	0	0	0
5410 Books, Pubs, Subscriptions & Mbrshp	2,045	2,670	2,500	5,000
Total Operating Expense	\$ 973,026	\$ 845,618	\$ 1,257,392	\$ 2,001,040
<u>Capital Outlay</u>				
6100 Land	\$ 0	\$ 0	\$ 0	\$ 0
6200 Buildings	0	46,327	1,150,000	390,583
6310 Roads & Bridges	0	145,752	1,750,000	350,000
6320 Other improvements	43,120	209,726	400,000	788,252
6410 Office Equip & Machinery	23,738	122,673	0	0
6440 Office Equip & Machinery/Vehicle	0	47,000	0	0
Total Capital Outlay	\$ 66,858	\$ 571,479	\$ 3,300,000	\$ 1,528,835
<u>Other Programs & Projects</u>				
8340 Other Grants & Aids	\$ 13,400	\$ 136,965	\$ 400,000	\$ 997,671
8347 Community Policing	250,875	350,060	525,000	1,015,000
8392 Youth Activities	20,000	26,000	0	100,000
Total Programs & Projects	\$ 284,275	\$ 513,026	\$ 925,000	\$ 2,112,671
<u>Transfers</u>				
90 01 General-Debt Service (2010B)	\$ 421,376	\$ 0	\$ 0	\$ 0
90 01 General-Debt Service/(2019A)	2,067,525	2,065,500	2,065,050	2,056,950
9118 Debt Service 2015A	1,619,200	1,621,440	1,622,400	1,622,080
9119 Debt Service 2015B	896,600	0	0	0
9120 Debt Service 2020B2-Land	247,251	150,264	0	0
9121 Debt Service 2021	0	829,200	836,000	836,600
9166 Sunrise Theatre	450,000	450,000	500,000	500,000
9167 General	581,945	168,484	1,262,315	2,000,000
9184 Special Revenue Fund	0	267,966	0	0
9189 Police Grants/FPRA	115,115	0	446,513	939,361
Total Transfers	\$ 6,399,012	\$ 5,552,854	\$ 6,732,278	\$ 7,954,991
TOTAL APPROPRIATIONS	\$ 7,723,171	\$ 7,482,976	\$ 12,214,670	\$ 13,597,537

FPRA Regular Meeting - 5:05 p.m.

8. a.

Meeting Date: September 10, 2024

Re:

SUBJECT:

FPRA Resolution 24-04 appointing an Acting FPRA Director.

SUMMARY:

RECOMMENDATION:

ALTERNATIVES:

RESPONSIBLE STAFF:

COORDINATED WITH:

FPRA Regular Meeting - 5:05 p.m.

9. a.

Meeting Date: September 10, 2024

Re: FPRA Programs and Activities Summary

Submitted For: Shyanne Harnage, CRA Administrator, City Manager

SUBJECT:

FPRA Programs and Activities Summary

Attachments

September FPRA Report



FORT PIERCE REDEVELOPMENT AGENCY

PROGRAMS & ACTIVITIES SUMMARY

September 2024

PROGRAMS & ACTIVITIES SUMMARY

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Inner and Outer Zone Maps

Freebee has launched its new inner and outer zones map; services primarily focus on transporting individuals to and from local businesses. This refined approach underscores our commitment to supporting the local economy by facilitating convenient and sustainable transportation options.

To ensure broad awareness and maximize the reach of Freebee, we will implement a public awareness campaign initiative:

Community Outreach Approach:

- **Partnerships:** Collaborate with local organizations and businesses to spread the word about Freebee. Partner organizations can include Lincoln Park Main Street, Fort Pierce Main Street, the Downtown Business Alliance (DBA) and businesses within the FPRA.
- **Social Media:** Leverage platforms such as Facebook and Instagram to disseminate information. We will use targeted ads and engaging posts to reach local communities.

Service Information:

- **Coverage Areas:** Clearly outline the geographic areas covered by Freebee and the operational hours. Inner Zone encompasses the commercial zone where Freebee rides can either start and/or end. Outer Zone refers to the area surrounding the inner zone where Freebee rides can travel through, rides must start or finish within the inner zone.
- **Accessibility Features:** Highlight any special features of the service, such as accessibility options for individuals with disabilities.
- **Age Restriction:** Freebee's services are exclusively available to individuals ages 18 and older.

Freebee

FORT PIERCE Service Area

Pick-Up/Drop-Off anywhere within the identified **OUTER ZONE (Residential)** to/from **INNER ZONE (Commercial)**

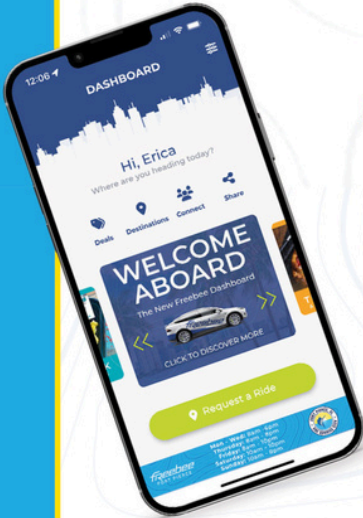
SERVICE AREA KEY:
- OUTER ZONE
- INNER ZONE

POINTS OF INTEREST:

1: Fort Pierce City Hall	6: Seven Gables House Visitor Center
2: Marina Square	7: South Beach Park
3: Sunrise Theatre	8: Jetty Park
4: A.E. Backus Museum	9: Jaycee Park
5: Manatee Center	10: Beth Ryder Intermodal Transit Facility

SERVICE HOURS:
Mon-Wed: 8am-6pm
Thursday: 8am-8pm
Friday: 8am-10pm
Saturday: 10am-10pm
Sunday: 10am-8pm

www.RideFreebee.com



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freebee
FORT PIERCE



SERVICE HOURS:

- Mon-Wed: 8am-6pm
- Thursday: 8am-8pm
- Friday: 8am-10pm
- Saturday: 10am-10pm
- Sunday: 10am-8pm

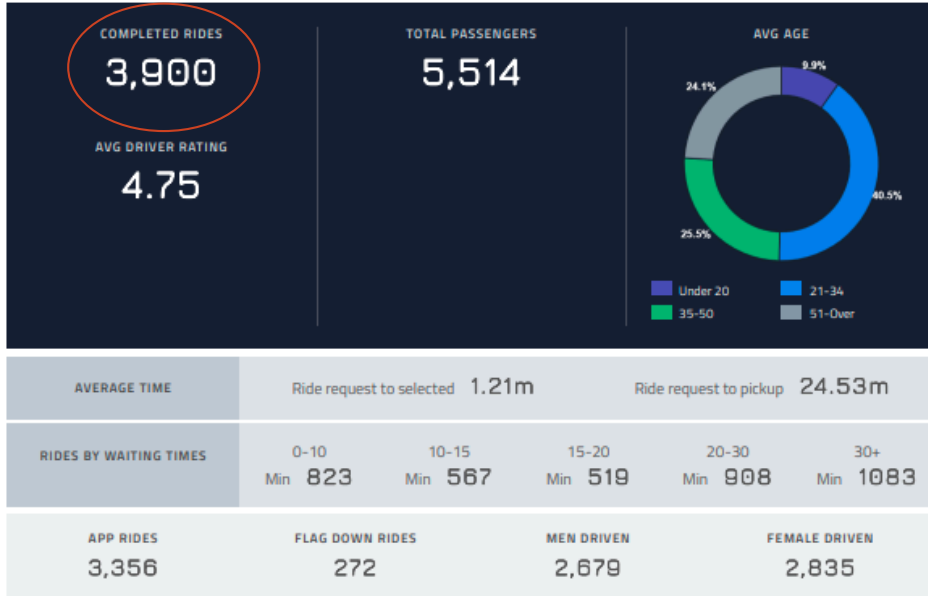
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- @ridefreebee
- info@ridefreebee.com
- support@ridefreebee.com

If you do not have a smart phone, or would like to request additional accessibility accommodations, please call 855-918-3733

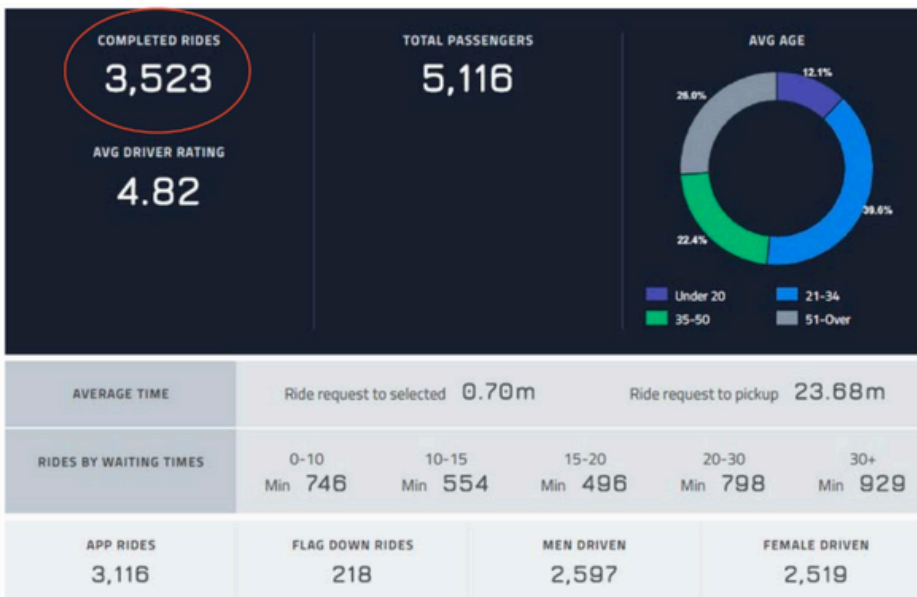


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Ridership Reports



August 2024



July 2024



PARKING INFRASTRUCTURE

Project Timeline

1200 Avenue D & Means Ct.

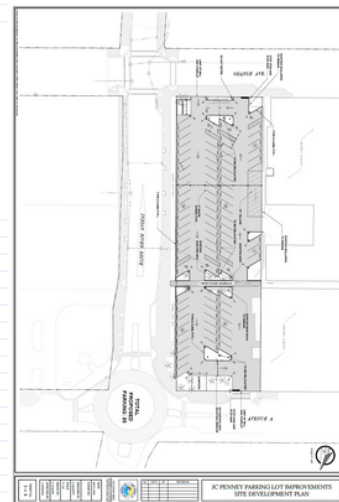
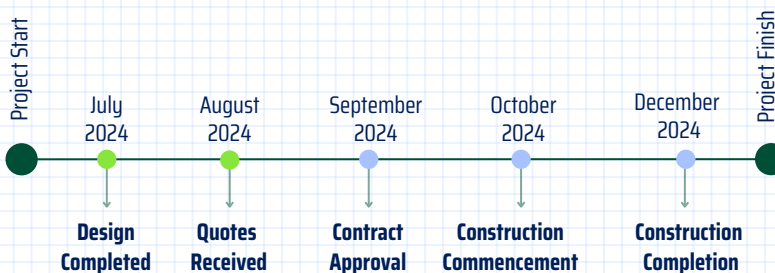
The construction contract was awarded to the low bidder, Close Construction Services, LLC at the June FPRA meeting. The contract is being reviewed by the City Attorney's office.



Project Timeline

JC Penney Parking Lot

JC Penney Parking Lot





SURPLUS PROPERTY

The FPRA has identified five properties for disposition as part of our ongoing commitment to revitalizing our neighborhoods and promoting community development. Appraisals have been completed and the appraised values are listed below. Prior to issuing competitive bids for these properties, we are taking the time to conduct a comprehensive review of our purchasing procedures to ensure a more streamlined and effective surplus property bid process in the near future.

01. 2403-711-0001-000-3
Dundas Ct - Appraised Value \$22,000

02. 2404-710-0017-000-8
N. 22nd Street - Appraised Value \$22,000

03. 2404-808-0021-000-9
1306 N. 16th Street - Appraised Value \$22,000

04. 2404-812-0009-000-2
2 Avenue I - Appraised Value \$20,000

05. 2404-506-0038-000-9
427 N. 16th Street - Appraised Value \$22,000

COMMERCIAL FACADE GRANT

The Commercial Façade Grant Program aims to support the revitalization of commercial corridors within the FPRA District by encouraging private investment in improvements that enhance building and property appearance, and eliminate blight and non-conforming design standards. This initiative is intended to stimulate redevelopment in the FPRA District, enhancing visual aesthetics and leading to increased property values, tenant occupancy, economic development, and job creation. This grant program offers financial assistance in the form of a reimbursable grant, matching 50% of costs up to \$25,000. To qualify, properties must be located within the FPRA District and be commercially zoned.



The property located at 207 Orange Avenue was recommended for award at the August CRA Advisory Committee meeting and will be presented at the FPRA meeting on September 10th for approval.

Applications Open • Apply today!

The Commercial Façade program is accepting applications offering further opportunities to property owners to participate and benefit from this revitalization initiative. The application period will remain open until all allocated funds are depleted. For eligibility requirements and to apply, please visit: [FPRA Grants | Fort Pierce, FL - Official Website \(cityoffortpierce.com\)](https://www.cityoffortpierce.com/fpra-grants).

PAINT PROGRAM

The FPRA Paint Program was established to encourage commercial and residential property owners to improve the exterior of their structures. The purpose of this program is to brighten and transform both residential and commercial properties situated within the FPRA District. The program offers financial support in the form of a reimbursable grant, providing up to \$1,000 per home or business to cover the expenses related to exterior paint and paint supplies.

The FPRA Paint Program is successfully achieving the goals by helping property owners to revitalize and renovate their commercial and residential properties within our district. This program sets in motion the catalytic effect of making neighborhoods more welcoming and enticing to visitors, residents, and potential homebuyers.

\$37,832.15
Disbursed

47
properties have been approved for reimbursement

\$12,167.85
Remaining in the budget

Of the approved properties, twenty-two are commercial establishments, highlighting the program's impact on enhancing the attractiveness of local businesses. Additionally, twenty-five residential properties have been approved, demonstrating the program's success in fostering pride and investment among homeowners.



205 N. 30TH STREET



The application period will remain open until all allocated funds are depleted. For eligibility requirements and to apply, please visit: [FPRA Grants | Fort Pierce, FL - Official Website \(cityoffortpiece.com\)](https://www.cityoffortpierces.com/grants).



COMMERCIAL SIGN PROGRAM

As part of the commitment to increase local business awareness, economic productivity, and the overall visual appeal of the Fort Pierce Redevelopment Agency (FPRA), the FPRA has launched the Commercial Sign Grant Program. This program encourages property owners to upgrade their signage, replacing old and outdated ones with modern and visually appealing signs. Upgrading signage is not only more aesthetically attractive for the residents and visitors in our community but also increases the brand exposure of businesses to improve the chances of new customer acquisition and repeat business.

The program provides financial assistance by offering a reimbursable grant of up to \$5,000 per property. This grant is being offered to existing businesses and can be used towards a new sign or to upgrade and replace old and outdated signs with modern and visually appealing signs.

The property must be located within the FPRA District to be eligible for this program. The funds will be distributed on a first-come, first-served basis until all funds are depleted.

The application period will remain open until all allocated funds are depleted. For eligibility requirements and to apply, please visit: [FPRA Grants | Fort Pierce, FL - Official Website \(cityoffortpierce.com\)](https://www.cityoffortpierce.com/fpra-grants).

\$36,156.50

Allocated to businesses
for sign upgrades

9

businesses have been
approved for reimbursement

As of today, the Commercial Sign Program continues to accept applications for participation, demonstrating ongoing interest and engagement from property owners within the FPRA District.



Old St. Anastasia

Exterior Restoration

On June 19, 2024, the contractor began the initial phases of the restoration process by moving equipment onto the property and starting work on the historic building.

The restoration crew has been diligently working on the removal of deteriorated areas from the building while salvaging as much of the historic materials as possible for reuse in the reconstruction phase. This careful approach ensures that the restoration maintains the authenticity and historical integrity of Old St. Anastasia.





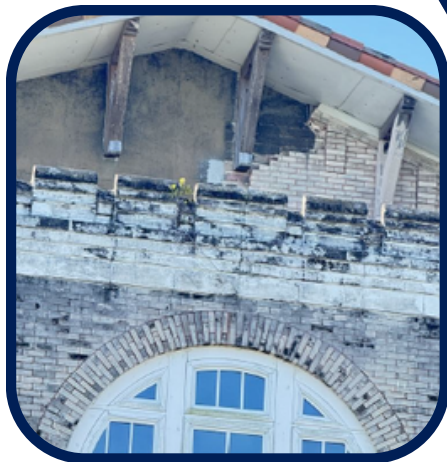
Old St. Anastasia

Exterior Restoration

BEFORE



**Change Order
Rebuild Fallen Bricks**



AFTER

AFTER

Paint Stripping



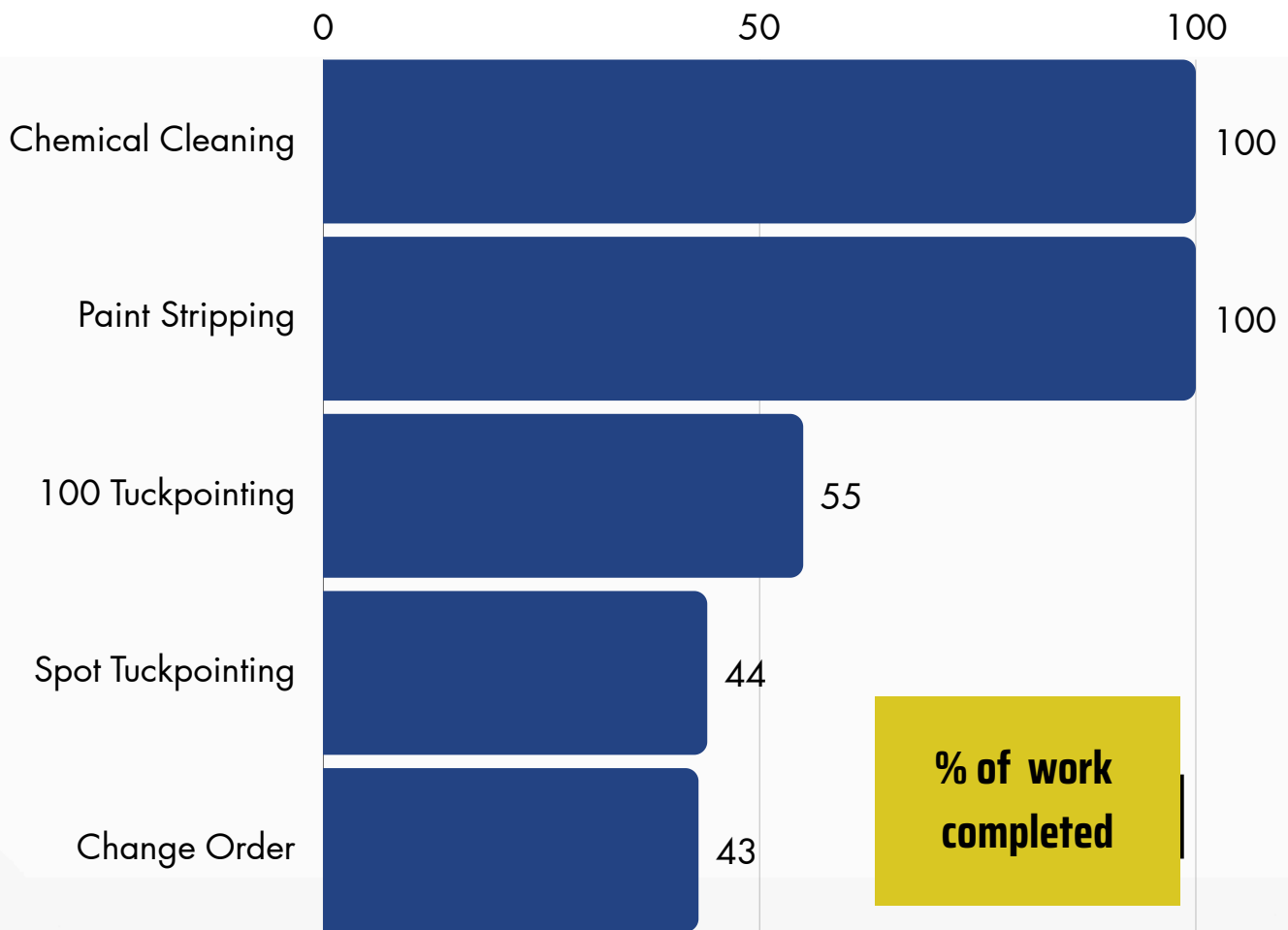
BEFORE

Chemical Cleaning



Old St. Anastasia

Exterior Restoration



- **Chemical Cleaning** - Specially formulated chemicals to remove dirt, stains, and biological growth from the building's exterior surfaces
- **100 Tuckpointing** - The process of removing old mortar from joints, replacing it with mortar that closely matches the color of the bricks
- **Spot Tuckpointing** - It involves addressing only the major open holes and settling cracks in an otherwise solid wall.
- **Paint Stripping** - Stripping of stone/cast concrete waterables at the front entrance, concrete window surrounds
- **Change Order** - Fallen brick has been rebuilt, Fire Escape has been removed

607 ORANGE AVE.

MURAL PROGRAM

We are delighted to announce a new mural project at 607 Orange Avenue (pictured above). We have been collaborating closely with the property owner, and the artist's design for this location is currently under review.

In addition, we are pleased to report that the artist is prepared to commence work on the wall at 717 Orange Avenue on the week of October 14, 2024. The design promises to bring a fresh perspective and vibrant energy to the area, contributing significantly to the Peacock Arts District. See rendering below.



These projects exemplify our ongoing commitment to expanding the PAD Mural Program and fostering artistic expression throughout our community. We look forward to presenting further updates as these initiatives progress.



OAKS AT MOORE'S CREEK



+ + + + +

The 15 new single-family homes will be located on Means Court, between Avenue B and Moore's Creek. Phase II will offer potential first-time home buyers four different residential models. The models are all 3 bedroom, 2 baths ranging from 1200 square feet to 1700 square feet. The homes will sell between \$289k-\$349k and will be sold to first-time homebuyers who are income eligible.

The construction of the housing unit at lot #6, 317 Means Court, continues to progress well, with an anticipated completion date in early November. In the past thirty days, the City passed the framing inspection, and the exterior stucco is currently being applied. Insulation installation is underway, with an inspection scheduled by month's end.

Over the next two weeks, the general contractor plans to hang drywall, followed by a screw inspection. Subsequently, they will begin taping, mudding, and applying texture.

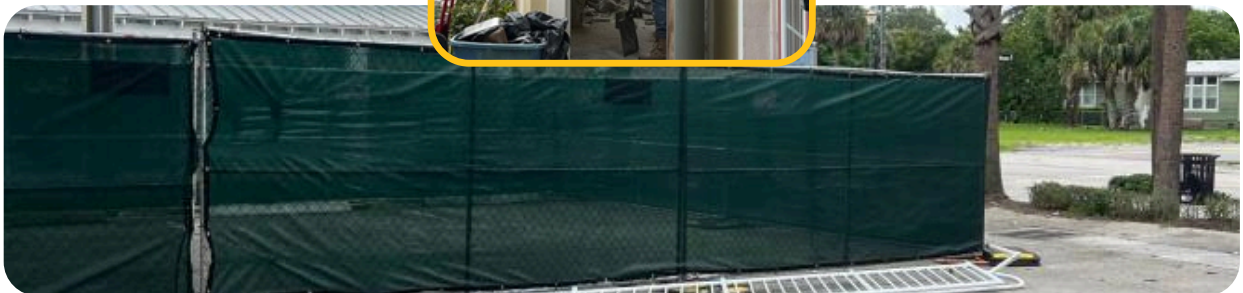
The FPRA Board approved the Subordination and Standstill Agreement during its meeting on August 13, 2024. The recorded document has been provided to the Florida Community Loan Fund and the developer. These parties are progressing towards closing the construction line of credit, expected by the end of August. Upon closing, the development team will commence vertical construction on the next unit, lot #11 at 314 Means Court, followed by lot #7 or lot #8.



HIGHWAYMEN MUSEUM

The City of Fort Pierce was awarded an African American Cultural and Historical Grant from the Department of State in the amount of \$483,662 for the renovation of the Jackie L. Caynon Building to create the City of Fort Pierce Florida Highwaymen Museum. The museum, honoring historic African American Highwaymen artists, will showcase works of art that originated in Fort Pierce.

On Monday, August 5, 2024, work crews initiated the demolition of the existing east staircase. As a safety measure, they temporarily blocked off the sidewalk for pedestrians. Additionally, a staging area was set up for the placement of the dumpsters and materials.





SUNRISE THEATRE

Lease and Operational Management of Sunrise Theatre

RFP 2024-043 was initiated to identify a qualified lease and operational management partner for the Sunrise Theatre. The aim was to bring in external expertise and resources to enhance the overall operation of the theatre, introduce fresh programming ideas, and improve the experience for our community.

The RFP was canceled on August 23, 2024 due to concerns regarding the process. After careful consideration, it was deemed more prudent to terminate the current solicitation and re-evaluate the strategy moving forward. This decision was made in accordance with the general conditions outlined in the solicitation documents. This cancellation will provide the City with the opportunity to conduct a comprehensive review of the RFP process and to refine the approach for securing a partner that aligns with the vision of the Sunrise Theatre and the goals of the City of Fort Pierce.

AVENUE D Model Block Project

Through a multi-agency partnership, the St. Lucie County Government, the City of Fort Pierce, and the Fort Pierce Redevelopment Agency (FPRA) are working together to bring a mixed-use development with affordable housing to the Lincoln Park District. The proposed site consists primarily of county-owned parcels located generally at Ave. D and 7th Street.

In April of 2023, the County, City, and FPRA entered into an interlocal agreement and issued a Request For Information (RFI) through the County's Procurement Department to obtain input from members of the real estate development community to gauge general interest toward the creation of a Request for Proposal (RFP).

The goal of this RFP is to solicit interested parties who are qualified and experienced to develop a "Model Block" for the Lincoln Park neighborhood. Services to be considered for this "Model Block" project include, but are not limited to, affordable housing, retail opportunities, commercial, retail, office opportunities, community resource, family success center, and onsite parking. The community resource/family success center is intended to include the St. Lucie County Community Services offices (Housing, Human Services and Veteran Services) as well as Women, Infants and Children (WIC) and Florida Community Health Center (OB-GYN/Pediatrics).

St. Lucie County received two proposals and will be convening the selection committee to review and score the proposals within the next several weeks.



INCUBATE NEIGHBORHOOD CENTER

The project, proposed by the Incubate Neighborhood Center, to transform the historically significant Means Court Center into a multi-service community resource hub that offers classes to help startup companies and entrepreneurs develop their businesses as well as homeownership, workforce development, and financial-lending programs. The multi-purpose facility will provide space for co-located nonprofits to offer social services in one central location on the first level, along with meeting spaces, classrooms, and media production facilities. The second level will be a business incubator.

Incubate Neighborhood has made significant improvement on the first floor of the Means Court Building.

Completed Improvements: ADA restrooms, walls have been painted, doors have been installed, and the floor has been placed in certain areas.

Remaining Tasks:

- Trim out bathrooms with toilets, sinks and bathroom accessories (mirrors, soap dispensers, toilet paper holders)
- Finish doors hardware. Cylinders have been ordered.
- Installation of a few light fixtures in the bathrooms and relocate the lights that had to be moved for the new bathrooms and the stairwell door walls that had to be removed.
- Install a patch of carpet
- Finish painting all areas with new walls and patches.
- A good final clean of the first floor.

Inspection and Permit Extension: To finalize this phase, INC is preparing to schedule an inspection with the Building Department. Successful approval from the inspection will allow INC to extend their permit for an additional 180 days, facilitating the continuation of the project.

Phase Two Planning: Staff is collaborating closely with INC to plan and prepare for the second phase of renovations. This phase will address improvements on the upper floors of the Means Court Building.



INCUBATE NEIGHBORHOOD CENTER

BEFORE



AFTER



1st Floor - ADA Restroom: The walls have been painted, doors have been installed, and the floor has been placed. Fixtures will be installed the week of September 9.

BEFORE



AFTER



1st Floor - Doors and frames are installed. Door cylinder/hardware has been ordered.



INCUBATE NEIGHBORHOOD CENTER

Door and wall has been installed for Lincoln Park Main Street.

BEFORE



AFTER



COMMUNITY POLICING NORTH 25TH STREET

DETAIL

During the month of August 2024, there were a total of 18 FPRA details worked for the North 25th area from Avenue O to Avenue M . There were 53 calls for service during the detail times. Disturbances accounted for more than half of the total calls the area.

During this time 3 case reports were completed.

- Baker Act
- Drug Possession
- Stand by

Table - Calls for service in 25th Street area

Call Type	Calls
DISTURBANCE	30
VEHICLE OR TRAFFIC STOP	8
CONDUCT INVESTIGATION	3
CLOSE PATROL	2
FOOT PATROL	2
ATTEMPT TO CONTACT	1
DOMESTIC TROUBLE	1
FIREWORKS COMPLAINT	1
SHOOTING ACTIVITY	1
SICK/INJURED PERSON	1
STAND BY	1
SUSPICIOUS VEHICLE	1
TRAFFIC ACCIDENT	1
Total	53

PATROL AREA

Detail Officers assigned to patrol North 25th Street from Avenue O to Avenue M are responsible for ensuring the safety and security of residents and businesses and primarily to address and mitigate the disturbances caused by excessive noise in the area.

HOURS OF PATROL

Wednesdays

11:00PM - 2:00AM

Fridays

9:00PM - 2:00AM

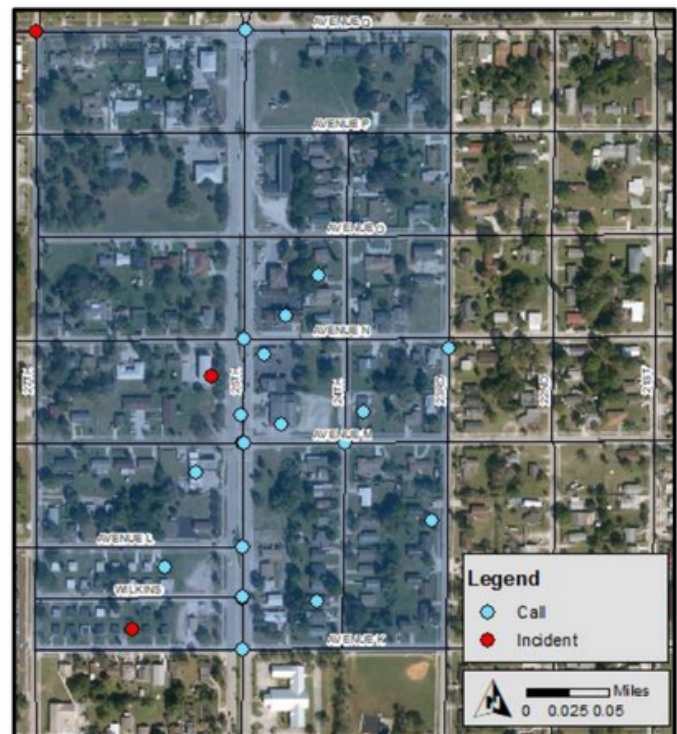
Saturdays

10:00PM - 2:00AM

Sundays

6:00PM - 11:00PM

Map - Calls for service in 25th Street area



COMMUNITY POLICING DOWNTOWN

DETAIL

During the month of August 2024, there were a total of 24 FPRA details working for the downtown area. There were 109 calls for service during the detail times. The top activities logged were patrols, traffic stops, and responding to suspicious persons.

During this time 7 case reports were completed.

- 2 Baker Acts
- Graffiti
- Larceny
- Property Found
- 2 Traffic Accidents

PATROL AREA

The Downtown area is east of US1, between Seaway Drive and Citrus Avenue with extra patrol of the Galleria (Orange / Avenue 2nd Street) and the alleyways between 113 and 121 N 2nd (Kraaz and Kraaz Building and FRLS building).

HOURS OF PATROL

Fridays

6:30PM - 2:30AM

Saturdays

8:00AM - 2:00PM

3:00PM - 9:00PM

9:00PM - 3:00AM

Sundays

8:00AM - 12:00PM

Table 1 - Calls for service in Downtown area

Call Type	Calls
FOOT PATROL	29
CLOSE PATROL	22
VEHICLE OR TRAFFIC STOP	15
SUSPICIOUS PERSON	12
DISTURBANCE	4
SUSPICIOUS VEHICLE	3
TRAFFIC ACCIDENT	3
TRAFFIC RELATED	3
UNWELCOME PERSON	3
ASSAULT	2
ANIMAL RELATED	1
ASSIST OTHER AGENCY	1
ASSIST TO MOTORIST	1
CONDUCT INVESTIGATION	1
FIGHT	1
FLAGDOWN	1
LARCENY	1
OBSTRUCTION IN ROAD	1
PHONE MESSAGE	1
PREMISE ALARM	1
SICK/INJURED PERSON	1
SUICIDE	1
TRESPASSING COMPLAINT	1

Map 1 - Calls for service in Downtown area



COMMUNITY POLICING

JETTY PARK

DETAIL

During the month of August 2024, there were a total of 14 FPRA details working for the Jetty Park area. There were 25 calls for service during the detail times.

During this time 1 case report was completed.

- Baker Act
- Fighting

Table - Calls for service in Jetty Park area

Call Type	Calls
FOOT PATROL	10
CITY ORDINANCE VIOLATION	2
DOMESTIC TROUBLE	2
FLAGDOWN	2
CLOSE PATROL	1
CONDUCT INVESTIGATION	1
DISTURBANCE	1
DRUNK PEDESTRIAN	1
FIGHT	1
SUSPICIOUS INCIDENT	1
SUSPICIOUS PERSON	1
UNWELCOME PERSON	1
VEHICLE OR TRAFFIC STOP	1
Total	25

PATROL AREA

Off-duty officers assigned to patrol Jetty Park and its surrounding areas are responsible for ensuring the safety and security of park visitors, the parking lots, Jetty boardwalk, beach area, and adjacent businesses.

HOURS OF PATROL

Fridays
7:00PM – 1:00AM
Saturdays
8:00PM – 2:00AM
Sundays
6:00PM – 12:00AM

Map - Calls for service in Jetty Park area





SCHOOL RESOURCE OFFICERS

When SRO Markeis Washington and SRO Jorge Goz were not at the school they were both assisting Road Patrol/Community engagement Unit and the Training Department as both SROs are Agency CPR Instructors.

SRO Markeis Washington Dan McCarty Middle School

Officer M. Washington joined Dan McCarty Middle School as the new SRO. SRO M. Washington, Dan McCarty and the community hosted Tunnel of hope where the students returning onto the campus are cheered on to have a wonderful and successful school year. Dan McCarty SRO M. Washington participated in the monthly code red/ fire drills as required by Department of Education.

Training attended by SRO's during July

Officer Markeis Washington and Officer Jorge Goz attended Department training. Both SROs Also attended back to school training hosted by the Saint Lucie County Sheriff's Office at the Fenn Center.

Additional

As part of SRO Goz Duties, he is also the Department Crossing Guard Instructor. On 8/7/2024 he conducted crossing guard training. During this training crossing guards learned new information provided by FDOT and had hands on training by conducting crossing guard drills at Virginia Ave and S 13th Street.

SRO Goz and SRO Washington Also attended to their respective schools back to school open house. During the open house both SROs got to speak with their students, parents and guardians.

SRO Jorge Goz C.A. Moore

SRO J. Goz returned to C.A Moore as the School Resource Officer. C.A Moore and SRO Goz hosted tunnel of hope for the new and returning students. The students were given words of encouragement and where cheered on to have a positive and bright 2024-2025 school year. Chester A Moore staff and Officer Goz participated in the monthly code red/ fire drills as required by Department of Education.

Department Events

In the month of August both SRO's participated in the yearly Department National Night Out. During this event the SRO's provided school material to include back packs, school books, pencils and other material to families, children and young adults.



SCHOOL RESOURCE OFFICERS

When SRO Markeis Washington and SRO Jorge Goz were not at the school they were both assisting Road Patrol/ Community engagement Unit and the Training Department as both SROs are Agency CPR Instructors.





WESTERN PENINSULA CHARRETTE

The Treasure Coast Regional Planning Council, in collaboration with the Fort Pierce Redevelopment Agency, will conduct a public workshop and design charrette to develop a community vision for the future redevelopment of the Fort Pierce Wastewater Treatment Plant and adjacent properties on South Hutchinson Island. The Public Workshop will take place on Saturday, October 5th from 10am to 3pm at the 500 Orange Event Space (500 Orange Avenue, Fort Pierce, FL). A host committee is currently being formed and will serve primarily as a logistics team and a public outreach conduit for the charrette.

FORT PIERCE



WESTERN PENINSULA CHARRETTE

PUBLIC WORKSHOP

SATURDAY OCTOBER 5TH

Join the Fort Pierce Redevelopment Agency and the Treasure Coast Regional Planning Council in a public discussion on the future of the Fort Pierce Wastewater Treatment Plant and adjacent properties. Lunch & refreshments will be provided.

- **OPENING PRESENTATION: 10:00 AM**
- **PUBLIC DESIGN SESSION: 11:00 AM - 1:00 PM**
LUNCH PROVIDED
- **CITIZENS PRESENTATIONS: 1:00 PM - 2:30 PM**
- **WRAP UP: 3:00 PM**

LOCATION 500 Orange Event Space
500 Orange Avenue
Fort Pierce, Florida 34950



FORT PIERCE
FLORIDA

Visit the project web page at:
<https://www.cityoffortpierces.com>



PLEASE PROVIDE YOUR INPUT

The Treasure Coast Regional Planning Council, in collaboration with the Fort Pierce Redevelopment Agency, will conduct a public workshop and design charrette to develop a community vision for the future redevelopment of the Fort Pierce Wastewater Treatment Plant and adjacent properties.



- **Saturday Public Workshop**
Saturday, October 5, 2024: 10:00 am – 3:00 pm
- **Charrette Studio Day #1**
Sunday, October 6, 2024 9:00 am – 9:00 pm
- **Charrette Studio Day #2**
Monday, October 7, 2024 9:00 am – 9:00 pm
- **Charrette Studio Day #3**
Tuesday, October 8, 2024 9:00 am – 9:00 pm
- **Charrette Studio Day #4**
Wednesday, October 9, 2024 9:00 am – 6:00 pm
- **Work-In-Progress Presentation**
Wednesday, October 30, 2024 6:00 pm – 8:00 pm
Location: City Commission Chambers

The Saturday Public Workshop and Charrette Design Studio (open to the public) will occur at 500 Orange Event Space

For more information, please contact:

Dana P. Little

Urban Design Director, Treasure Coast Regional Planning Council

772.221.4060, dlittle@tcrpc.org





DOWNTOWN MASTER PLAN

In March 2022, the Fort Pierce Redevelopment Agency approved S&ME’s proposal and initiated the Downtown Master Plan. The community was invited to participate in a series of interactive events in June 2022 as part of the Downtown Master Planning process. This interactive platform allowed community members to share insights by taking a brief survey; commenting on development, mobility, arts and culture, and green space on an interactive map; and prioritizing spending with a budget game. The final Downtown Master Plan was accepted by the FPRA Board in November 2022. The plan has created a sense of excitement among citizens and garnered significant interest from various community groups and HOAs. The success of the Downtown Master Plan has not only stimulated much-needed progress but also ignited a sense of pride and optimism in the community. By leveraging the power of the Downtown Master Plan, the FPRA can attract valuable resources to help create a vibrant community that all residents and visitors can enjoy.

WATERWAYS PROJECTS

The Fort Pierce Redevelopment Agency and St. Lucie County recently executed an Interlocal Agreement to facilitate inlet and waterways projects within the redevelopment area. The FPRA and St. Lucie County will realize mutual advantage and substantial economic benefit from the development of projects within the FPRA which will support and attract tourism, promote recreational and commercial fishing opportunities, enhance ecosystems, and protect and secure critical shorelines for our residents and visitors. Projects may include: beach and dune restoration, development of Harbour Pointe Regional Boat Ramp, and regional stormwater projects and improvements. The parties will enter into separate specific project agreements for each project under this Interlocal Agreement. Each specific project agreement shall include, but is not limited to, identification of the specific project description, funding, and responsibilities of the parties.





FISHERMAN'S WHARF

Fisherman's Wharf is located at the southern end of the Port and only a quarter mile from the former King Plant site, acts as a buffer between the working port area and historic Downtown Fort Pierce. It is currently underutilized and represents a significant opportunity to create a destination waterfront development in the Fort Pierce Redevelopment Area. The goal for the redevelopment is to create a unique place where people will visit and gather to shop, dine, work, and live. Retaining waterfront accessibility to all residents and visitors and enhancing the waterfront for public use is a top priority while also achieving redevelopment of the parcels that will add to the tax base and stimulate the economic activity in the redevelopment area. The FPRA ultimately executed a development agreement with the highest ranked proposer,

Pierce 1 Marina, to develop a \$26 Million mixed-use project including a state-of-the-art automated dry stack boat storage facility, restaurants, water taxi, marina, residential and retail. Throughout 2021 and 2022, both parties worked on their respective obligations per the agreement. The FPRA Board, City of Fort Pierce and Pierce 1 Marina have since executed several amendments to the agreement to extend the deadlines in the agreement for the City to cure title and survey objections raised by the developer. The City Commission and FPRA Board approved a fourth amendment to extend and toll the time periods in the agreement for 12 months.

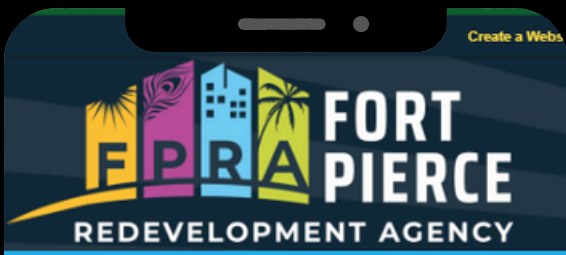


KING'S LANDING


The City of Fort Pierce is pleased to announce a significant milestone in the development of the much-anticipated King's Landing project in Downtown Fort Pierce. At the City Commission meeting on August 12, 2024 and FPRA Board Meeting on August 13, 2024, a second amendment to the Amended and Restated Agreement was approved, making an essential step forward in bringing this transformative vision to reality.

This milestone follows the successful negotiations between Audubon Development and Harbert Realty Services, who have reached an agreement on salient terms necessary to finalize a future joint venture agreement. The establishment of this joint venture is a crucial step toward the progression of the King's Landing project, which has been long awaited by our community. We expect that the combined expertise and resources will play a vital role in bringing this project to fruition.

The amendment modifies the development timeline to accommodate the formation of the joint venture and additional due diligence. It also ensures that monthly progress updates will be provided to the City Commission as transparency and accountability are of the utmost importance in this project. Additionally, the amendment includes a requirement for documentation pertaining to a franchise application to Marriott International by January 29, 2025. The development of a downtown hotel has always been a key component of this project, and we are firmly committed to making that happen. You can review the full amendment online at the following link: [23442 King's Landing - Second Amendment to Amended and Restated Agreement - 8.12.2024.pdf \(destinyhosted.com\)](https://www.destinyhosted.com/23442-King's-Landing-Second-Amendment-to-Amended-and-Restated-Agreement-8.12.2024.pdf)



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Fort Pierce Redevelopment Agency

Fort Pierce Redevelopment Agency