



RECEIVED

MAY 02 2024

COA# 24-27

Bldg. Permit # _____

CITY OF FORT PIERCE
PLANNING & ZONING

Certificate of Appropriateness Application

Building & Site Information

Address of the Site: 515 N 14th St. Ft. Pierce Fla. 34950

Parcel ID #: _____

Type of Designation: Contributing Non-contributing Site within the Ft. Pierce City Historic District
 Individually Designated Site, City Commission Resolution No. _____

Property Owner/ Applicant Information

Property Owner(s)
Name(s): Letitia Knowles

Mailing Address: 8714 Law Duncan Terr. FSL Fl. 34953

Phone Number(s): 772.940.6771 Email: Knowlesletitia@gmail.com

Applicant

Name(s): _____

Mailing Address: _____

Phone Number(s): _____ Email: _____

Representative

Name(s): Darweshi Roberts

Mailing Address: Darweshi@drobertsdc.com

Phone Number(s): 772.205.5410 Email: _____

Property Owner(s) Acknowledgements:- This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Historic Preservation staff for purposes of consideration of this Application and/or presentation to the Historic Preservation Board.

I / We, Letitia Knowles as Owner(s) of the subject property do hereby authorize the filing of this application on my/our behalf.

[Signature]
Signature of Owner

12.29.23
Date

Description of Requested Work

Please indicate the type of work requested:

- Fence Shed Door(s) Roof
- Window(s) Signage Shutter(s) Porch

- Rehabilitation New Construction Demolition Relocation

Site Improvements (describe) _____

Other (describe) _____

Please provide a detailed description of the proposed work to be performed: Complete Rehab

Have other alterations been made to the site within the last 12 months? No Yes, _____

Will the proposed work require a Zoning Variance? No Yes, Code Section(s): _____

Application Requirements

- \$10.00 Application fee
- Site Plan with dimensions.
- Architectural Drawings:
 - Drawings should show all current and proposed floor plans and elevations, fences, walls, and any other landscape features.
 - Drawings should indicate materials to be used.
- Photos - One (1) color photograph of the main façade of the site and photographs of any areas affected by the proposed project.
- Material(s) specifications and/or sample(s)
- Color samples.
- Demolition - Plans for what will be taking the demolished structure's place should be submitted.



**Saint Lucie County Property
Appraiser**

Michelle Franklin CFA



20 ft

2023-12-16A

[Click here for Legal Disclaimer](#)

Property Identification

Site Address: 515 N 14TH ST
Sec/Town/Range: 09/35S/40E
Parcel ID: 2409-503-0008-000-1
Jurisdiction: Fort Pierce

Use Type: 0100
Account #: 21332
Map ID: 24/09N
Zoning: Medium Den

Ownership

Letitia Knowles
874 SW Duncan TER
Port St Lucie, FL 34953

Legal Description

GOLDSMITH'S S/D BLK 1 LOT 7 AND E 7.5 FT OF VAC ALLEY ADJ ON W

Current Values

Just/Market Value:	\$36,100
Assessed Value:	\$36,100
Exemptions:	\$0
Taxable Value:	\$36,100

Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Taxes for this parcel: [SLC Tax Collector's Office](#)
Download TRIM for this parcel: [Download PDF](#)



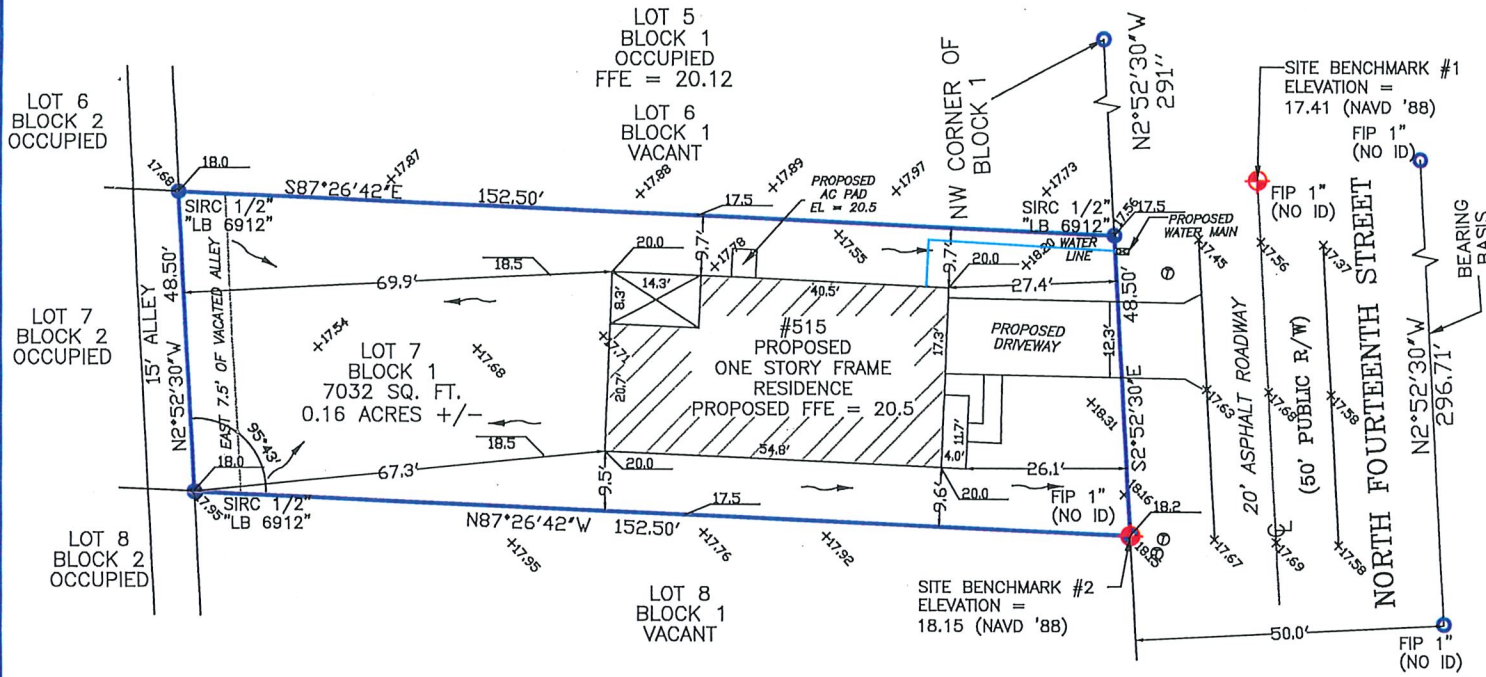
Total Areas

Finished/Under Air (SF):	936
Gross Sketched Area (SF):	960
Land Size (acres):	0.17
Land Size (SF):	7,396

Building Design Wind Speed

Occupancy Category	I	II	III
Speed	140	160	160

Sources/links:



SURVEYOR'S LEGEND

M = MEASURED
 AC = AIR CONDITIONING
 BK = BLOCK
 BM = BENCHMARK
 C = CURVE
 CATV = CABLE TV RISER
 CB = GATOR BASIN
 CL = CENTERLINE
 CONC = CONCRETE
 COP = CONCRETE POWER POLE
 D = DEED
 OF = OBTAINED
 ELEV = ELEVATION
 F = FIELD
 FCM = FOUND CONCRETE MONUMENT
 FDN = FOUND DRILL HOLE
 FFE = FINISHED FLOOR ELEVATION
 FIP = FOUND IRON PIPE
 FIR = FOUND IRON ROD
 FIRC = FOUND IRON ROD AND CAP
 FJ = FOUND JAIL
 FND = FOUND NAIL AND DISC
 FNO = FOUND
 FPK = FOUND PK NAIL
 FPKD = FOUND PK NAIL AND DISC
 FRSP = FOUND RAILROAD SPIKE
 HYD = FIRE HYDRANT
 ID = IDENTIFICATION
 IB = LICENSED BUSINESS
 LS = LICENSED SURVEYOR

SYMBOLS

○ = FIRE HYDRANT
 ○ = WATER METER
 ○ = GAS SERVICE
 ○ = LIGHT POLE
 ○ = WELL
 ○ = BENCHMARK
 ○ = SANITARY MANHOLE
 ○ = CATCH BASIN
 ○ = POWER POLE
 ○ = CABLE TV SERVICE
 ○ = ELECTRIC SERVICE
 ○ = TELEPHONE SERVICE
 ○ = DRAINAGE MANHOLE
 ○ = SANITARY SERVICE

LINETYPES

— = BOUNDARY LINE
 — = STRUCTURE LINE
 — = CENTERLINE
 — = EASEMENT LINE
 — = FENCE LINE
 — = OLD LOT LINE

NOTABLE CONDITIONS:
 PROPERTY APPEARS TO BE SERVICED BY PUBLIC UTILITIES.

NOTES:
 ALL BEARINGS AND DISTANCES SHOWN ARE RECORD AND MEASURED, UNLESS OTHERWISE SHOWN.
 P.U.P.D.E. = PUBLIC UTILITY AND PRIVATE DRAINAGE EASEMENT.
 P.D.E. = PRIVATE DRAINAGE EASEMENT.
 P.U.E. = PUBLIC UTILITY EASEMENT.
 BEARINGS ARE BASED UPON THE MEASURED BEARING FOR THE EASTERLY RIGHT OF WAY LINE OF NORTH 14TH STREET.
 ALL ELEVATIONS SHOWN ARE BASED UPON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD'88).

PROPERTY ADDRESS:
 515 NORTH 14TH STREET, FORT PIERCE, FL 34950

FLOOD INFORMATION:
 PANEL NUMBER: 12111C0179K
 FIRM DATE: FEBRUARY 19, 2020
 FLOOD ZONE: X
 BASE FLOOD ELEVATION: NA
 COMMUNITY NAME: FORT PIERCE, CITY OF
 COMMUNITY NUMBER: 120286

LEGAL DESCRIPTION:
 LOT 7, BLOCK 1, GOLDSMITH SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE(S) 49, AND THE EAST 7.5 FEET OF VACATED ALLEY ADJACENT ON THE WEST, PER ORDINANCE NO. J-206 RECORDED IN BOOK 1036, PAGE 1522, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

SURVEYOR'S NOTES

- UNDERGROUND UTILITIES, BUILDING FOUNDATIONS, AND OTHER UNDERGROUND FIXED IMPROVEMENTS WERE NOT LOCATED, UNLESS OTHERWISE INDICATED. TO THE EXTENT THAT THIS TYPE OF INFORMATION IS SHOWN, IT IS SHOWN SOLELY ON THE BASIS OF SURFACE INDICATIONS OBSERVED BY THE SURVEYOR AND MAY NOT BE COMPLETE.
- JURISDICTIONAL WETLANDS AND ENDANGERED OR THREATENED SPECIES HABITAT, IF ANY, THAT MAY EXIST ON OR AROUND THE SURVEY SITE WERE NOT DETERMINED OR LOCATED.
- THE SURVEY DATE IS THE FIELD DATE SHOWN IN THE TITLE BLOCK, NOT THE SIGNATURE DATE.
- THIS SURVEY MAP OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ELECTRONIC OR ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- FENCES SHOWN ON SURVEY ARE FOR ILLUSTRATIVE PURPOSES ONLY. FENCE TIES SHOWN ARE RELATIVE TO THE CENTER OF SAID FENCE. THE SURVEYOR WILL NOT BE RESPONSIBLE FOR DAMAGES RESULTING FROM THE REMOVAL AND/OR CHANGES TO ANY FENCES UNLESS THE SURVEY WAS PROVIDED SPECIFICALLY FOR FENCE LOCATION PURPOSES.
- PROPERTY LINES AND OR IMPROVEMENTS SHOWN WERE PHYSICALLY LOCATED BY FIELD SURVEY.
- MONUMENTS FOUND OR SET ARE SHOWN, CALCULATED LINES AND INFORMATION IS NOTED BY (C).
- COMPUTATIONS OF LINES AND OR DATA NOT FOUND ARE SHOWN AS (C).
- THIS SURVEY MEETS AND/OR EXCEEDS THE ACCURACY REQUIREMENTS PER FLORIDA ADMINISTRATIVE CODE, CHAPTER 65-17.
- PRIOR TO SURVEY INFORMATION OBTAINED WAS LEGAL DESCRIPTION FROM CLIENT OR FROM PUBLICLY PUBLISHED COUNTY TAX COLLECTOR SITE, RECORDED PLATS AND OR SECTION CORNER RECORDS IF APPLICABLE.
- IF ONLY A DIGITAL SURVEY COPY IS REQUIRED A SURVEY REPORT WILL BE PLACED IN FILE. THE DIGITAL SURVEY IS NOT FULL AND COMPLETE WITHOUT THE SURVEY REPORT FILE.

NORTH ARROW & GRAPHIC SCALE

0' 1" = 30' 30'

JOB NUMBER - 2301-125
LATEST FIELDWORK DATE - 2.5.23
DRAWN BY - N.V.
REVISION - 3.23.22 SITE PLAN

CERTIFIED TO:
 LETTIA KNOWLES

SURVEYOR'S CERTIFICATE

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OR ELECTRONIC SEAL OF THE FLORIDA LICENSED SURVEYOR BELOW. THE SURVEYOR HEREBY CERTIFIES THAT THE ELECTRONIC SIGNATURE AND SEAL HEREON MEETS PROCEDURES SET FORTH IN CHAPTER 65-17.062 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.022, FLORIDA STATUTES. THE SURVEYOR HEREBY CERTIFIES THAT THIS SURVEY MEETS THE STANDARDS OF PRACTICE FOR SURVEYS, SET FORTH BY THE FLORIDA BOARD OF SURVEYORS AND MAPPERS IN CHAPTER 65-17.081 AND 65-17.082 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

Digitally signed by Bill Hyatt
 Date: 2023.03.23 16:19:22 -0400

BILL H. HYATT
 SURVEYOR AND MAPPER LS#4636

REVISION -

REVISION -

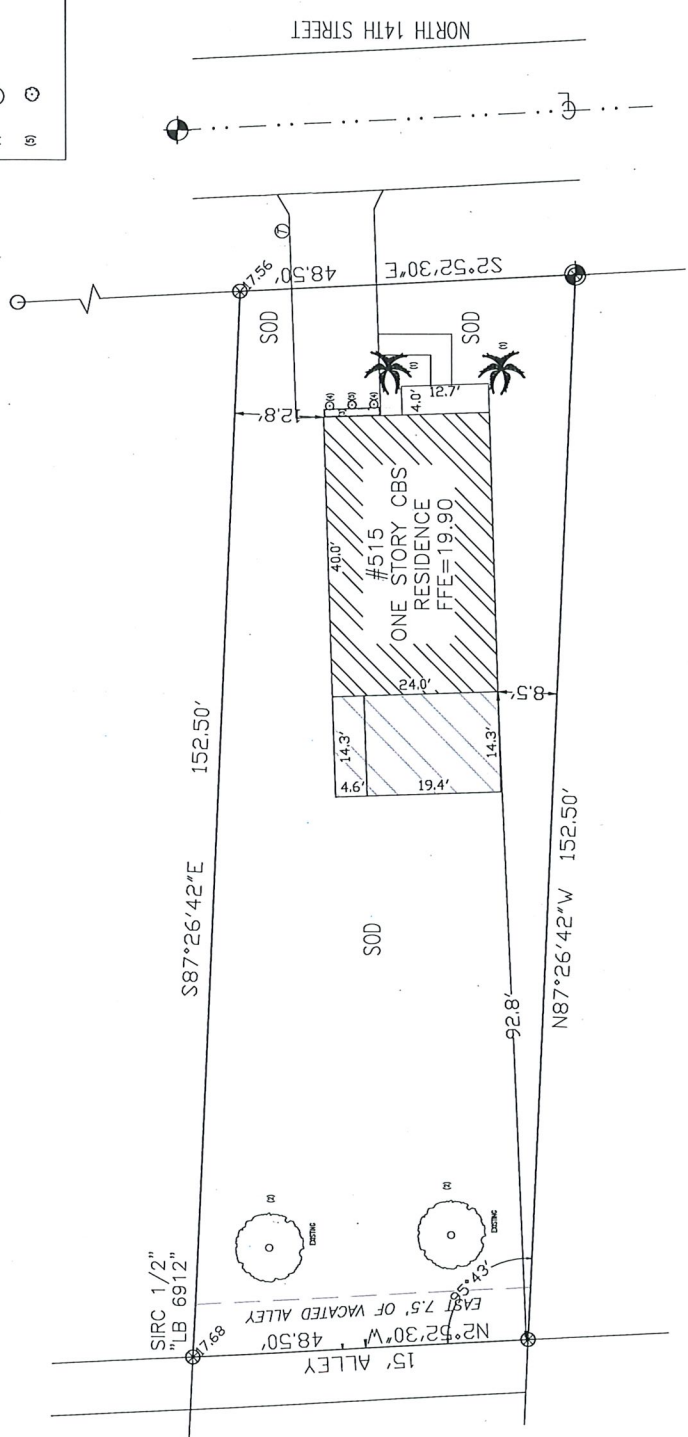
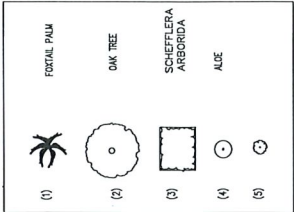
REVISION -

REVISION -

REVISION -

REVISION -

KNOW IT NOW, INC.
 PROFESSIONAL SURVEYING AND MAPPING
 LICENSED BUSINESS #6912
 5220 US-1, #100, VERO BEACH, FL 32967
 PHONE - (888) 396-7770
 WWW.KINSURVEYORS.COM



LANDSCAPE PLAN
SCALE: 1/4" = 1'-0"

Joseph
Digitally signed
by Joseph
Simmons III
Date: 2024.03.01
15:04:12 -05'00'



SHEET NO
L1

DATE:	FR	REVISIONS:
DRAWN BY:	JS	
CHECK BY:		
SCALE:	AS SHOWN	

DREAM DESIGN

KNOWLES RESIDENCE
816 N 14TH STREET
FORT PIERCE, FL 34950

JOSEPH SIMMONS III, P.E.
FL P.E. LIC. NO. 52101
1015 GARDENWAY DR
ORLANDO, FL 32818
407-451-1830
JCSIMMONS3@GMAIL.COM

ENGINEERING NOTES: EXAMINING METERS OR EXCEEDS 2020 FLORIDA BUILDING CODE 7TH EDITION
MICH PLUMBING ENERGY ACCESSIBLE LIFE SAFETY FIRE CODE AND IBC 2017
CONSTRUCTION 1609MM WIND SPEED 2 BUILDING WIND EXPOSURE CATEGORY C AND WIND IMPORTANCE
I, JOSEPH SIMMONS III, REGISTERED PROFESSIONAL ENGINEER AND CURRENTLY LICENSED IN THE STATE OF FLORIDA
HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND
I AM A MEMBER OF THE PROFESSION OF ENGINEERS IN THE STATE OF FLORIDA.

THIS PLAN HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY JOSEPH SIMMONS III ON THE DATE/TIME STAMP SHOWN USING A DIGITAL SIGNATURE
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES



FRONT ELEVATION

SCALE: NOT TO SCALE

Digitally signed by
Joseph Simmo
 Joseph Simmons III
 Date: 2024.03.01 15:03:29 -05'00'
 ns III



SHEET NO
R1

DATE:	FR
DRAWN BY:	REVISIONS:
SCALE:	AS SHOWN
OK BY:	JS

DREAM DESIGN

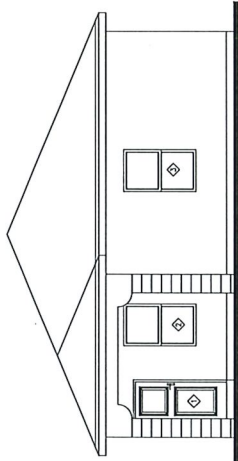
ENGINEER OF RECORD
 JOSEPH SIMMONS, III, P.E.
 P.E. LIC. NO. 12519
 7619 GARDENWAY DR
 GAITHERSBURG, MD 20878
 410-454-1830
 JOESIMMONS3@GMAIL.COM

KNOWLES RESIDENCE
 515 N 14TH STREET
 FORT PIERCE, FL 34950

NOTHING NOTES ENGINEERING MEETS OR EXCEEDS 2020 FLORIDA BUILDING CODE 7TH EDITION
 MECHANICAL ENERGY ACCESSIBLE LIFE SAFETY FINE CODE AND IBC 2017
 CONSTRUCTION TYPICAL WALL BULK WIND EXPOSURE CATEGORY C AND WIND IMPORTANCE
 MEETS OR EXCEEDS RESTRICTIONS AND CURRENT COUNTY BUILDING CODES

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY JOSEPH SIMMONS, III. ON THE DATE THE STAMP SHOWS A DIGITAL SIGNATURE
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PROPOSED RENOVATION/ADDITION FOR KNOWLES FAMILY
 515 N 14TH STREET
 FORT PIERCE, FL 34950



FRONT ELEVATION
 SCALE: NOT TO SCALE



ACTUAL BUILDING
 SCALE: NOT TO SCALE

NOTE: THE BUILDING LOCATED IN A HISTORICAL AREA DOES NOT OFFER MUCH TO GO BY FOR THE NEW RENOVATION THERE IS NO ARCHITECTURAL STYLE OR DETAILS TO REPLICATE

PROJECT DESCRIPTION
 PROJECT SUMMARY

A- THE PROJECT CONSIST 3 BEDROOMS, 2 BATHS WITH AN EXPANSION TO THE NORTH AND ROOF NEW PLUMBING, NEW A/C, NEW ELECTRICAL.

B- THE EXISTING WAS JUST 4 WALLS WITH OPENING DOORS AND WINDOWS. THERE IS NO ARCHIVE TO COMPARE OR TO RESTORE THE EXISTING.

SUBSTRUCTURE

A- FOUNDATION: 3,000 PS CAST IN PLACE CONCRETE.

B- FOOTING: SPREAD FOOTING BASE ON ENGINEER RECOMMENDATION.

C- SLAB ON GRADE 4 INCHES THICK SLAB CONCRETE ON GRADE ON COMPACTED FILL COMPLYING WITH REQUIREMENTS OF FLORIDA 2020 BUILDING CODE.

ENGINEERING NOTES: ENGINEERING MEETS OR EXCEEDS 2020 FLORIDA BUILDING CODE 7TH EDITION CONSTRUCTION 1604MM WAS SPECT 2 BUILDING WIND EXPOSURE CATEGORY C AND WIND IMPORTANCE HIGH. KLUB EXTERIOR ACCESSIBLE TYPE SAFETY THE CODE AND 2017 THE CODE AND 2017 MEETS OR EXCEEDS RESISTANCE AND CURRENT COUNTY BUILDING CODES.

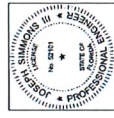
KNOWLES RESIDENCE
 515 N 14TH STREET
 FORT PIERCE, FL 34950

ENGINEER OF RECORD
 JOSEPH SIMMONS III, P.E.
 FL P.E. NO. 29101
 7619 GRANADERY DR
 ORLANDO, FL 32818
 407-434-1999
 JOSEPH@SIMMONS3.EQUAL.COM

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY JOSEPH SIMMONS III, ON THE DATE/TIME MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

DREAM DESIGN

DATE:	DRAWN BY:	REVISIONS:
DATE:	FR:	
SCALE:	OR BY:	JS
AS SHOWN		



SHEET NO
A1

#	SHEET	DESCRIPTION
A1	COVER SHEET	
R1	RENDERING SHEET	
E1	EXISTING/DEMOLITION PLAN	
L1	LANDSCAPE PLAN	
A2	FLOOR PLAN AND DETAIL	
A3	ELEVATION PLAN	
A4	FOUNDATION PLAN	
A5	A/C PLAN	
A6	PLUMBING PLAN	
A7	ELECTRICAL PLAN	
A8	FRAMING PLAN	
A9	DETAILS PLAN	
A10	SAFETY LOAD PLAN	

Legal Description:
 GOLDSMITH'S S/O BLK1 LOT7 AND
 E7.5FT OF VAC ALLEY ADJ ON W
 Sec/Town/Range:09/35S/40E
 Parcel ID: 2409-503-0008-000-1
 ID: 24/09N Jurisdiction: Fort Pierce
 Building Authority:
 City of Fort Pierce
 Building Department
 300 Orange Ave
 Fort Pierce, FL 34950
 Phone: 772-465-3718

Joseph
 by Joseph
 Simmo
 ns III
 Digitally signed
 Date: 2024.03.01
 15:00:35 -05'00'



GOOGLE SITE PLAN
 SCALE: NOT TO SCALE

THIS DRAWING HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY JOSEPH SIMMONS III ON THE DATE/TIME STAMP SHOWN USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



SHEET NO
E1

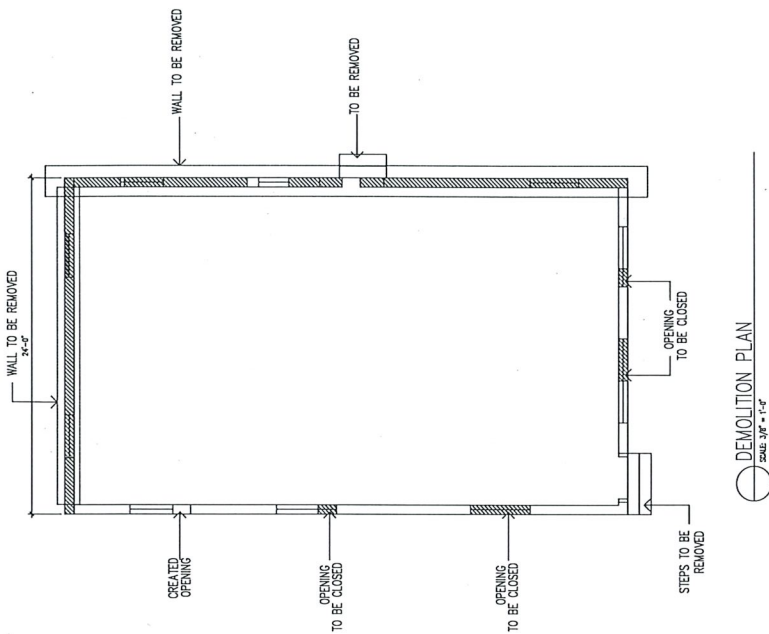
DATE	DATE
BY	BY
CHK'D	CHK'D
SCALE	AS SHOWN

JOSEPH SIMMONS III, P.E.
 FL. P.E. NO. 65171
 7619 GRAMMEY DR
 ORLANDO, FL 32818
 407-454-1830
 JOSEPH.SIMMONS3@GMAIL.COM

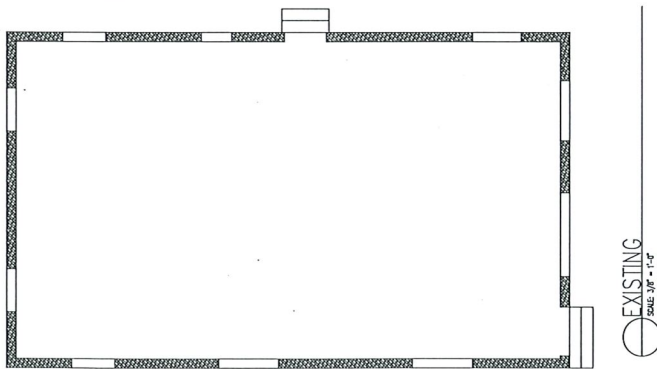
KNOWLES RESIDENCE
 515 N 14TH STREET
 FORT PIERCE, FL 34950

ENGINEERING NOTES: EXHAUSTING MEETS OR EXCEEDS 2020 FLORIDA BUILDING CODE 7TH EDITION MEETS OR EXCEEDS RESISTANCE AND CURRENT COUNTY BUILDING CODES. MECHANICAL ENERGY ACCESSIBLE LIFE SAFETY FIRE CODE AND NEG 2017 CATIONICION 10MMH AND RED 2 BLACK WIND PROOFING CATEGORY C AND WIND IMPORTANCE

DREAM DESIGN



DEMOLITION PLAN
SCALE: 3/8" = 1'-0"



EXISTING
SCALE: 3/8" = 1'-0"

Digitally signed by
 Joseph Simmons III
 Date: 2024.03.01 15:03:52 -05'00'



SHEET NO
A3

Joseph
Digitally signed
by Joseph
Simmons III
Date: 2024.03.01
15:05:02-05'00'

DREAM DESIGN

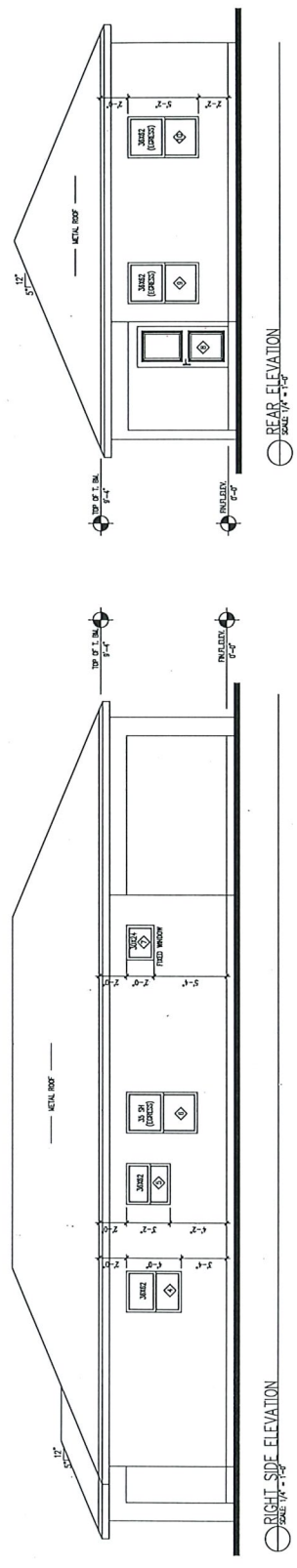
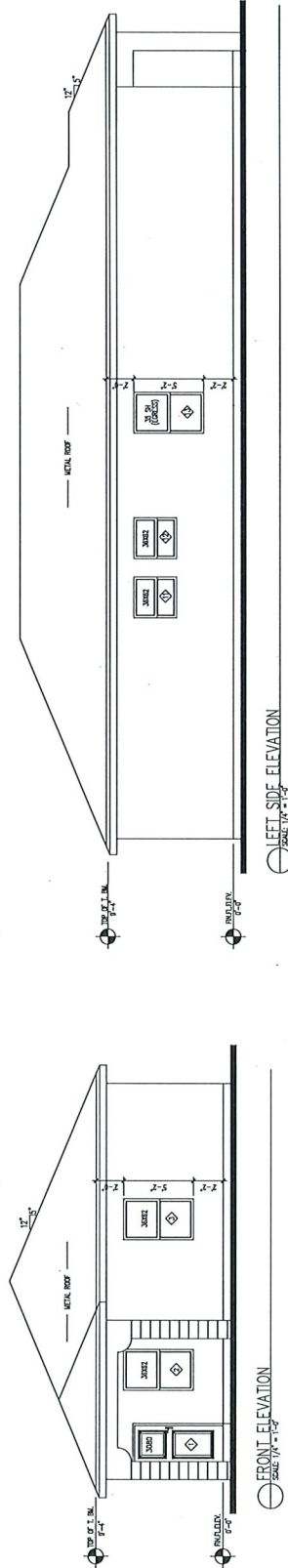
DATE	DEPARTMENT	REVISIONS
AS SHOWN	FR	
OWNER	US	

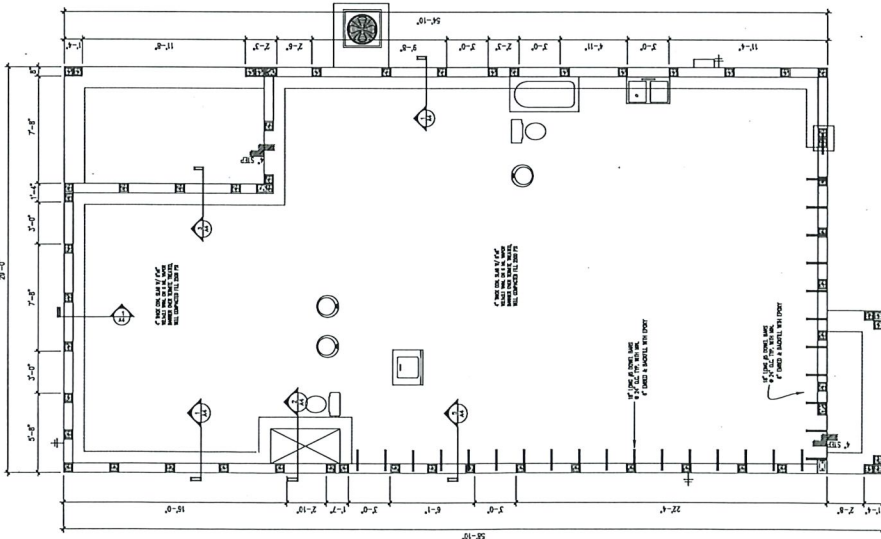
ENGINEER OF RECORD
 JOSEPH SIMMONS III, P.E.
 7819 GRAVENEY DR
 ORLANDO, FL 32818
 407-454-1896
 JOESIMMONS3@GMAIL.COM

ENGINEERING NOTES: ENGINEERING MEETS OR EXCEEDS 2020 FLORIDA BUILDING CODE 7TH EDITION
 MECH PLUMB & ELEC ACCORDING TO THE SAFETY FIRE CODE AND HED 2017
 CONSTRUCTION FORMS AND EXHIBIT CARRY OVER AND W/ IMPORTANCE
 MEETS OR EXCEEDS RESISTANCE AND CURRENT COUNTY BUILDING CODES

KNOWLES RESIDENCE
 518 N HIGH STREET
 FORT PIERCE, FL 34940

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY JOSEPH SIMMONS III. ON THE DATE/TIME STAMP SHOWN USING A DIGITAL SIGNATURE
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FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

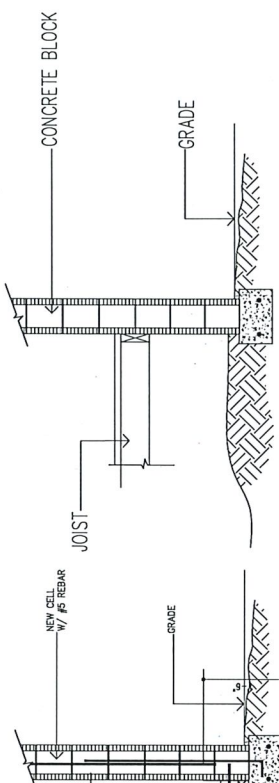
- GENERAL FOUNDATION NOTES:**
1. ALL CONCRETE SLABS SHALL HAVE A COMPREHENSIVE STRENGTH OF NOT LESS THAN 2500 PSI @ 28 DAYS. SLABS SHALL BE REINFORCED WITH FIBER TREATED FILL.
 2. CONCRETE FOOTING SHALL HAVE A COMPREHENSIVE STRENGTH OF NOT LESS THAN 2500 PSI @ 28 DAYS. REINFORCE FOOTINGS WITH #5 REBARS AS INDICATED. ALL BARS SHALL BE DEFORMED, AND SHALL CONFORM TO ASTM SPECIFICATION. BARS SHALL BE CLEAN AND FREE FROM RUST AND SCALE. SPACES SHALL OVERLAP AT LEAST 25" - ALL REBAR TO GRADE 40.
 3. FOR CONCRETE BLOCK WALLS PROVIDE CONCRETE FILLED CELLS WITH 1 #5 BAR VERTICALLY CONTINUOUS FROM FOOTING TO THE BEAM AT ALL CORNERS AND WHERE OTHERWISE NOTED AS PER THE FOUNDATION PLAN.
 4. EXTEND THE SLAB 1-1/2" AT DOOR OPENINGS.
 5. EXTEND THE SLAB 1-1/2" AND RECESS 3/4" FOR SLIDING GLASS DOOR TRACKS.

NOTE:
NEW CELL TO BE ADDED W/ # 5 REBAR TO EXISTING WALL

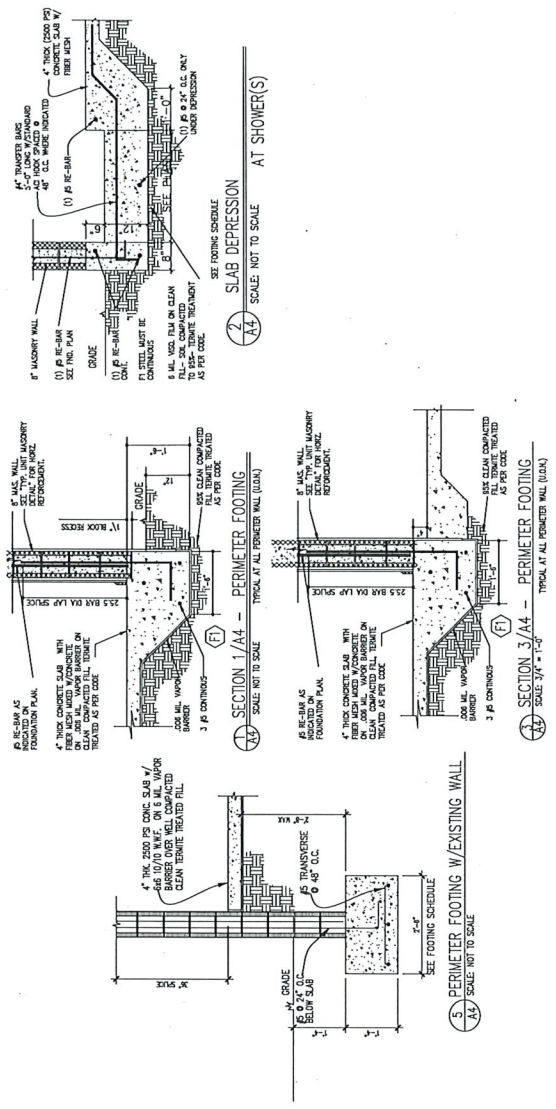
Digitally signed by
Joseph Simmo III
ns III
Date: 2024.03.01
15:05:46-05'00'

COLLUMN SCHEDULE		FOOTING SCHEDULE	
TYPE	SIZE	TYPE	SIZE
1	12" x 12" COL	1	12" x 12" x 12" CONC ON BEAM
2	12" x 12" COL	2	12" x 12" x 12" CONC ON BEAM
3	12" x 12" COL	3	12" x 12" x 12" CONC ON BEAM
4	12" x 12" COL	4	12" x 12" x 12" CONC ON BEAM
5	12" x 12" COL	5	12" x 12" x 12" CONC ON BEAM
6	12" x 12" COL	6	12" x 12" x 12" CONC ON BEAM
7	12" x 12" COL	7	12" x 12" x 12" CONC ON BEAM
8	12" x 12" COL	8	12" x 12" x 12" CONC ON BEAM
9	12" x 12" COL	9	12" x 12" x 12" CONC ON BEAM
10	12" x 12" COL	10	12" x 12" x 12" CONC ON BEAM
11	12" x 12" COL	11	12" x 12" x 12" CONC ON BEAM
12	12" x 12" COL	12	12" x 12" x 12" CONC ON BEAM
13	12" x 12" COL	13	12" x 12" x 12" CONC ON BEAM
14	12" x 12" COL	14	12" x 12" x 12" CONC ON BEAM
15	12" x 12" COL	15	12" x 12" x 12" CONC ON BEAM
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17	12" x 12" COL	17	12" x 12" x 12" CONC ON BEAM
18	12" x 12" COL	18	12" x 12" x 12" CONC ON BEAM
19	12" x 12" COL	19	12" x 12" x 12" CONC ON BEAM
20	12" x 12" COL	20	12" x 12" x 12" CONC ON BEAM

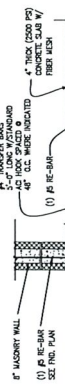
4 REINFORCED FOUNDATION/SLAB
SCALE: NOT TO SCALE



6 EXISTING FOUNDATION
SCALE: NOT TO SCALE



2 SLAB DEPRESSION AT SHOWER(S)
SCALE: NOT TO SCALE



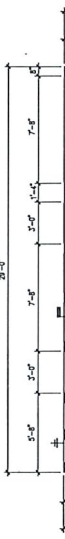
3/A4 PERIMETER FOOTING
SCALE: NOT TO SCALE



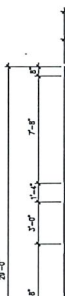
1/A4 PERIMETER FOOTING
SCALE: NOT TO SCALE



2 SLAB DEPRESSION AT SHOWER(S)
SCALE: NOT TO SCALE



3/A4 PERIMETER FOOTING
SCALE: NOT TO SCALE



1/A4 PERIMETER FOOTING
SCALE: NOT TO SCALE



2 SLAB DEPRESSION AT SHOWER(S)
SCALE: NOT TO SCALE



3/A4 PERIMETER FOOTING
SCALE: NOT TO SCALE



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SCALE: NOT TO SCALE

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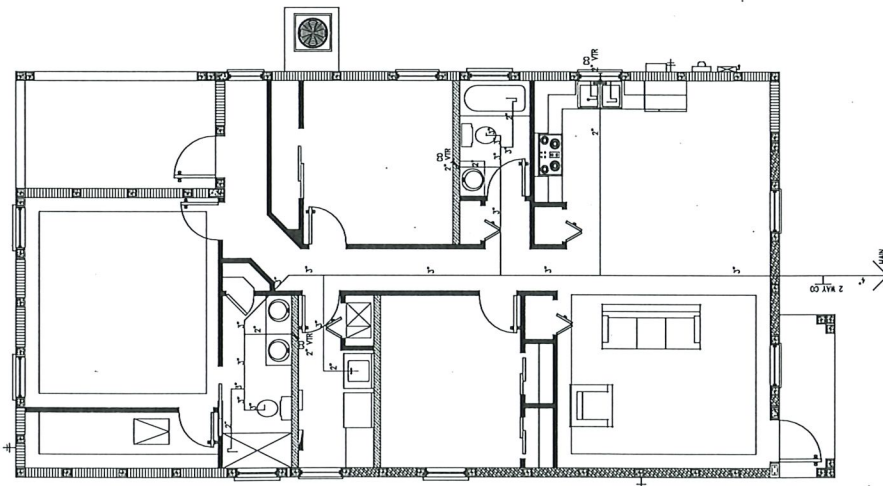
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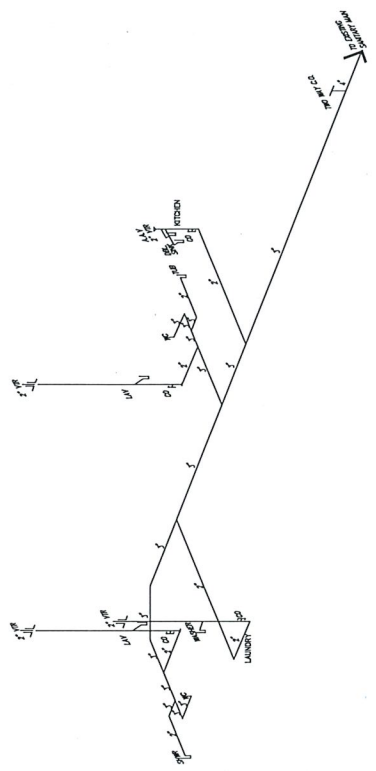
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1/A4 PERIMETER FOOTING
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2 SLAB DEPRESSION AT SHOWER(S)
SCALE: NOT TO SCALE



PLUMBING PLAN
SCALE 1/4" = 1'-0"



GENERAL NOTES - PLUMBING

- CONTROL VALVES REQUIRED AT TUBS AND SHOWERS
- PLUMBING CONTRACTOR SHALL SUBMIT "AS BUILT" RISER DIAGRAM TO THE BUILDING DEPARTMENT AS REQUIRED
- ALL CLEANOUTS SHALL BE INSTALLED AS PER CODE
- ANTI-SOILD VALVE REQUIRED AT SHOWERS. (20 DEGREE MAX)

FIXTURE COUNT

FIXTURE	NO.	ID
BIDET	0	
TOILET	0	
WASH SINK	0	
KITCHEN SINK	0	
BATH SINK	0	
TUB	0	
TOTAL		

Digitally signed by Joseph Simmons III
 Date: 2024.03.01 15:06:45 -05'00'



SHEET NO
A6

DATE	DRAWN BY	REVISIONS
AS SHOWN	JS	
SCALE	CHK BY	
	FR	

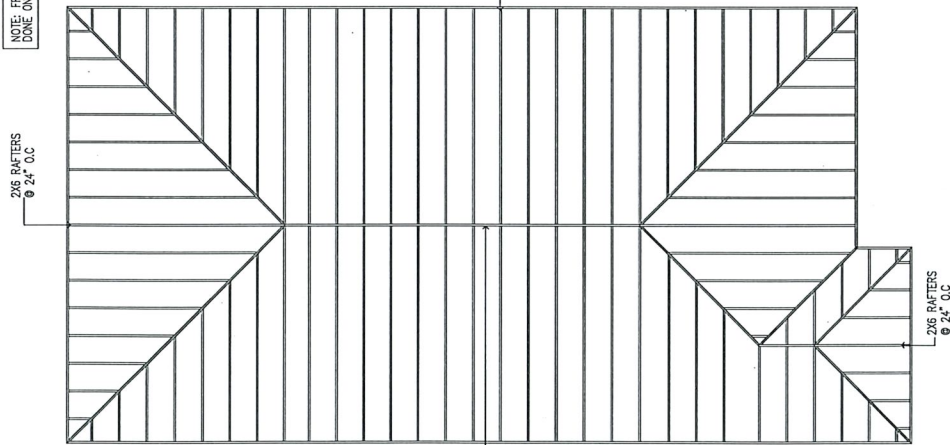
DREAM DESIGN

ENGINEERING NOTES ENGINEERING MEETS OR EXCEEDS 2020 FLORIDA BUILDING CODE 7TH EDITION
 FROM PLUMBING ENERGY ACCESSIBILITY LIFE SAFETY FIRE CODE AND IBC 2017
 CONSTRUCTION METHOD SHALL BE AS PER BUILDING DEPARTMENT AND WIND IMPORTANCE
 MEETS OR EXCEEDS RESISTANCE AND CURRENT COUNTY BUILDING CODES
 REGISTERED PROFESSIONAL ENGINEER
 JOSEPH SIMMONS III, P.E.
 7619 GRAMMEY DR
 FT. P. E. LD. NO. 15179
 407-454-1830
 JOESIMMONS3@GMAIL.COM

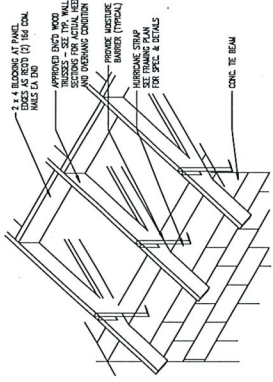
KNOWLES RESIDENCE
 515 N 14TH STREET
 FORT PIERCE, FL 34939

THIS DRAWING HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY JOSEPH SIMMONS III. ON THE DATE THE SIGNATURE STAMP SHOWS USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

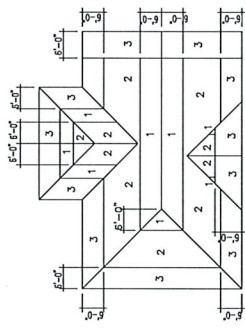
NOTE: FRAMING WILL BE DONE ON SITE



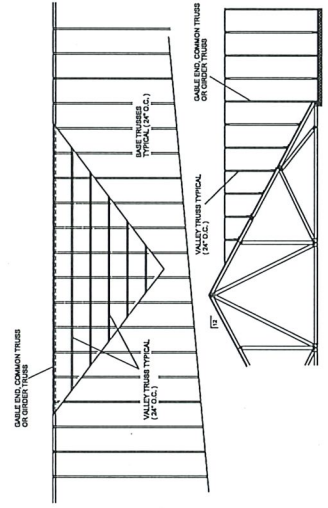
FRAMING PLAN
SCALE: 1/4" = 1'-0"



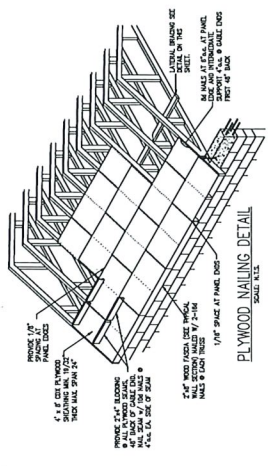
BLOCKING DETAIL
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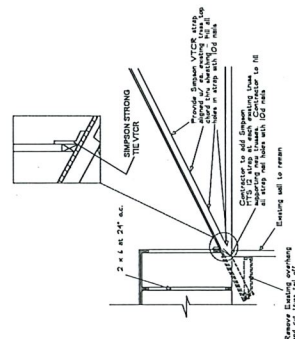
DIAPHRAGM BOUNDARIES
TYPICAL



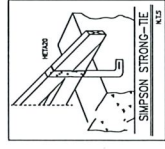
VALLEY FRAMING
SCALE: 1/4" = 1'-0"



PLYWOOD NAILING DETAIL
SCALE: 1/4" = 1'-0"



CONNECTION OF NEW FRAMING TO EXISTING TRUSSES



SIMPSON STRONG-TIE TIE PLATE
SCALE: 1/4" = 1'-0"

KWAKS RESIDENCE
515 N 14TH STREET
FORT PIERCE, FL 34950

EXAMINER OF RECORD
JOSEPH SIMMONS III, P.E.
759 SHAMROCK DR
FORT PIERCE, FL 34915
FL P.E. NO. 25101
LCSMANNCS3@GMAIL.COM
407-451-1899

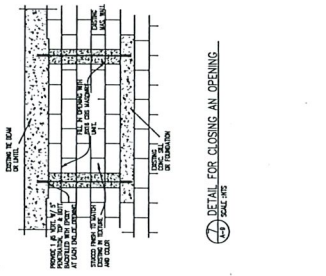
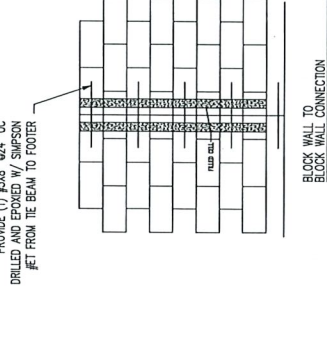
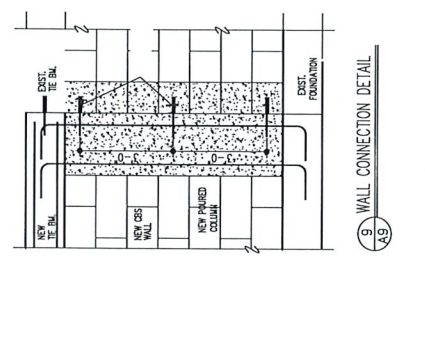
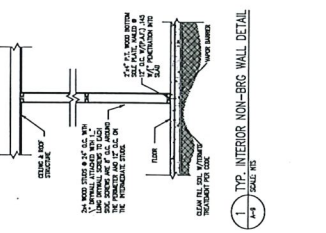
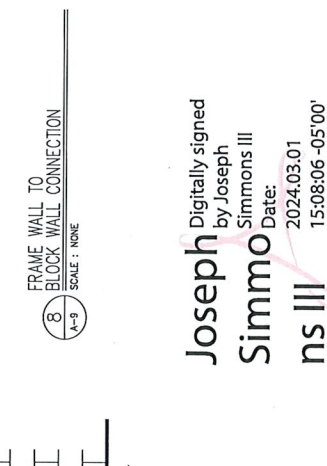
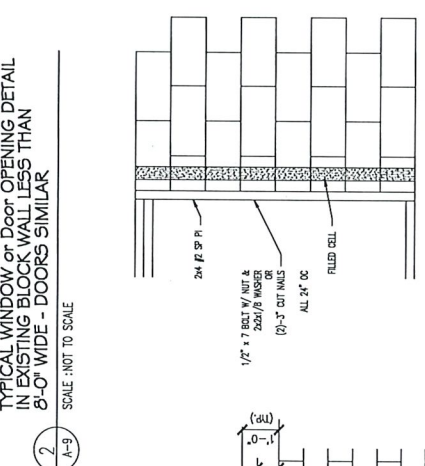
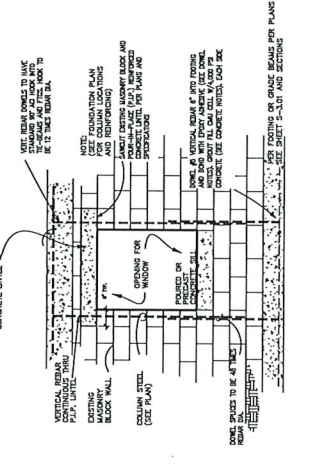
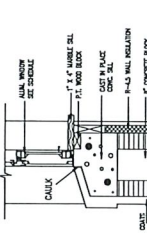
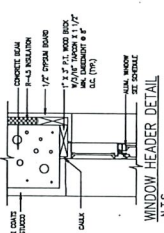
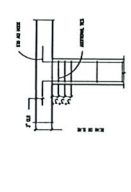
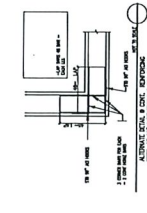
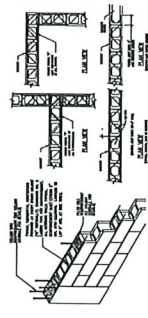
DATE	DRAWN BY	REVISIONS
	FR	
	CHK BY	
	AS SHOWN	JS

DREAM DESIGN



SHEET NO
A8

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ENGINEER'S NOTES: ENGINEER'S MEETS OR EXCEEDS 2020 FLORIDA BUILDING CODE 7TH EDITION
CONSTRUCTION METHODS AND DETAILS ARE BASED ON THE LATEST AVAILABLE RESEARCH AND
KNOWLEDGE. ENGINEER'S MEETS OR EXCEEDS RESISTANCE AND CURRENT COUNTY BUILDING CODES
AND APPLICABLE CODES AND REGULATIONS.
JOSEPH SIMMONS III P.E.
FL. P.E. NO. 52101
7919 GRAMMERY DR.
ORLANDO, FL 32818
407-454-1890
JOESIMMONS3@GMAIL.COM

KUMLES RESIDENCE
FORTH PIERCE, FL 34980
518' x 411' x 11' HFT

DATE	REVISIONS
DRAWN BY	REVISIONS
CHK BY	
AS SHOWN	JS



SHEET NO
A9

Joseph
Simmons III
Digitally signed
by Joseph
Simmons III
Date: 2024.03.01
15:08:06 -05'00'

THIS PRINTED COPY OF THIS DOCUMENT IS NOT CONSIDERED SEALED AND THE SIGNATURE MUST BE VERIFIED ON A DIGITAL SIGNATURE

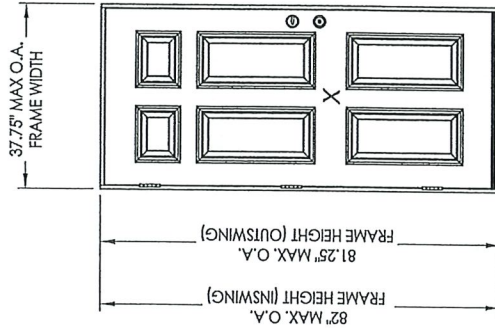
ThermaTru® Benchmark® Doors

WOOD EDGE OPAQUE FIBERGLASS SINGLE DOOR INSWING / OUTSWING "IMPACT"

GENERAL NOTES

1. This product evaluation drawing has been developed in compliance with the 7th Edition (2020) Florida Building Code (FBC) including the "High Velocity Hurricane Zone" (HVHZ).
2. Product anchors shall be as listed and spaced as shown on details. Anchor embedment to base material shall be beyond wall dressing or stucco.
3. When used in the "HVHZ" this product complies with Section 1626 of the FBC and does not require an impact resistant covering.
4. When used in areas outside of the "HVHZ", requiring wind borne debris protection, this product complies with FBC Sections 1609.1.2 & R301.2.1.2 and does not require an impact resistant covering. This product meets missile level "D" and includes Wind Zone 4 as defined in ASTM E 1996 and FBC Sections 1609.1.2.2 & R301.2.1.2.1.
5. For 2x stud framing construction, anchoring of these units shall be the same as that shown for 2x buck masonry construction.
6. Site conditions that deviate from the details of this drawing require further engineering analysis by a licensed engineer or registered architect.
7. Outswing configurations using sill numbers 17 & 18 meet the water infiltration requirements for the "HVHZ". All other configurations do not meet the water infiltration requirements for the "HVHZ" and shall be installed only in non-habitable areas or at habitable locations protected by an overhang or canopy such that the angle between the edge of canopy or overhang to sill is less than 45 degrees.

TABLE OF CONTENTS	
SHEET #	DESCRIPTION
1	Typical Elevations, Design Pressures & General Notes
2	Door Panel Details
3	Elevations
4	Horizontal & Vertical Cross Sections (2X Buck)
5	Horizontal & Vertical Cross Sections (1X Buck)
6	Horizontal & Vertical Cross Sections (Direct to Masonry)
7	Vertical Cross Sections (Thresholds)
8	Buck & Frame Anchoring
9	Hardware Details
10	Components
11	Bill of Materials



CONFIGURATION	LOCK HARDWARE	DESIGN PRESSURE (PSF)		DESIGN PRESSURE (PSF)	
		POSITIVE	NEGATIVE	POSITIVE	NEGATIVE
X	Latch & Deadbolt	+67.0	-67.0	+67.0	-67.0

See Sheet 3 for Hardware Specifications

PRODUCT: THERMA-TRU FIBERGLASS DOOR

PART OR ASSEMBLY: TYPICAL ELEVATION, DESIGN PRESSURES & GENERAL NOTES

DATE: 4/28/15

SCALE: N.T.S.

DWG. BY: JJK

CHK. BY: LFS

DRAWING NO.: FL-13459.1

SHEET: 1 of 11

REVISIONS

NO	DATE	DESCRIPTION
2	7/14/20	UPDATE TO 7th ED (2020) FBC
1	7/17/19	UPDATE TO 6th ED (2017) FBC

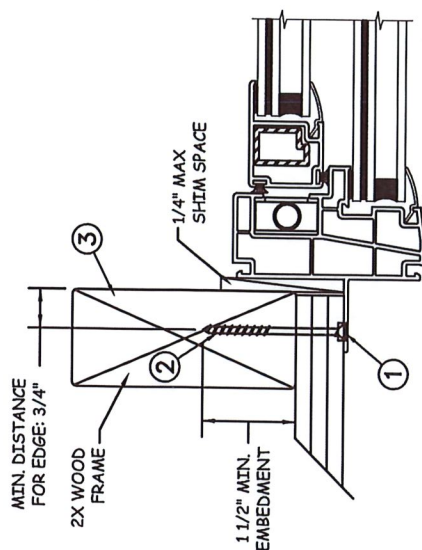
July 14, 2020

Documents Prepared by: Lyndon F. Schmidt
P.E. No. 43409

STATE OF FLORIDA
L. F. SCHMIDT
LICENSE
No. 43409

BUILDING CONSULTANTS, INC.
P.O. Box 230, Vero Beach, FL 33595
Phone No.: 813.659.9197
FBPE Registry No. 9813

NAIL FIN INSTALLATION



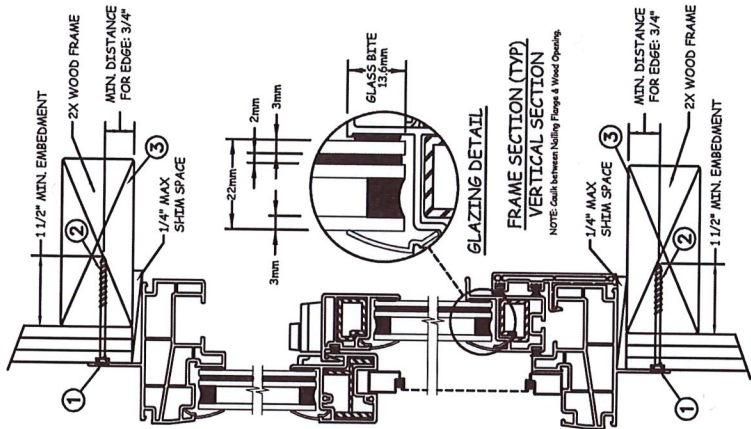
**JAMB SECTION (TYP)
HORIZONTAL SECTION**

NOTE: Caulk between Nailing Flange & Wood Opening.

PREMIUM ATLANTIC VINYL SH WINDOW

Max Frame	DP RATING	IMPACT
36 x 72	+65/-70	YES

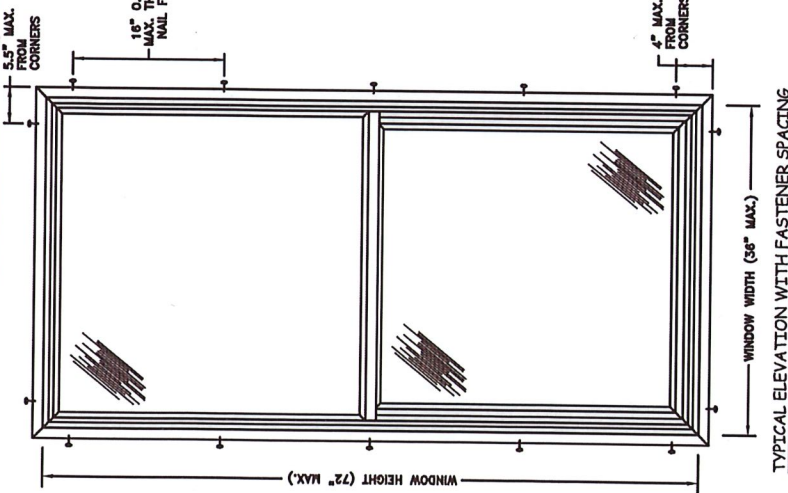
LARGE MISSILE IMPACT



General Notes:

- The product shown herein is designed, tested and manufactured to comply with the wind load criteria of the adopted International Building Code (IBC), the International Residential Code (IRC), the Florida Building Code (FBC) including HVHZ and the industry requirement for the stated conditions.
- All glazing shall conform to ASTM E1300.
- At minimum, glazing is 3mm annealed - 11mm airspace - 3mm annealed - 2mm PVB Interlayer by DuPont - 3mm annealed.
- Use structural or composite shims where required.

Digitally signed by Hermes F. Norero, P.E.
Reason: I am approving this document
Date: 2014.09.19 16:26:14 -04'00'



Installation Notes:

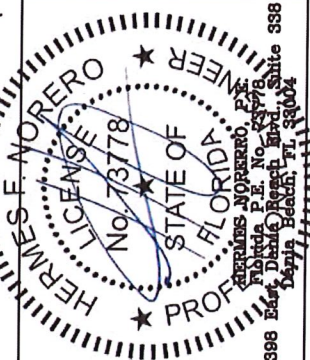
- Seal flange/frame to substrate.
- Use #10 PH or greater fastener through the nail fin with sufficient length to penetrate a minimum of 1 1/2" into the wood framing. For 2X wood frame substrate (min. S.G. = 0.42).
- Host structure (wood buck, masonry, steel) to be designed and anchored to properly transfer all loads to the structure. The host structure is the responsibility of the architect or engineer of record for the project of installation.

This schedule addresses only the fasteners required to anchor the window to achieve the rated design pressure up to the size limitations noted. It is not intended as a guide to the installation process and does not address he sealing consideration that may arise in different wall conditions. For the complete installation procedure, see the instructions packaged with the window or go to www.jeld-wen.com/resources/installation.

DISCLAIMER:

This drawing and its contents are confidential and are not to be reproduced or copied in whole or in part or used or disclosed to others except as authorized by JELD-WEN Inc.

PROJECT ENGINEER:	DATE:	08/13/2014
DRAWN BY:	SCALE:	NTS
CHECKED BY:	TITLE:	
APPROVED BY:		
PART/PROJECT No.:	D008729	
IDENTIFIER NO.:	NCTL210-3875-1-FBC	



JELD-WEN
3737 Lakeport Blvd
Klamath Falls, OR. 97601
Phone: (541) 882-3451

Premium Atlantic Vinyl Impact Single Hung Window

PLANT NAME AND LOCATION:

FBC

CAD DWG. No.:

REV: 00

SHEET

1 OF 3