



**DESIGN REVIEW**

**Property Information**

Property address or Location 4150 & 4200 Gator Trace Rd  
 Parcel ID #(s) 2435-311-0001-000/4 & 2435-243-0001-000/6  
 Project description New construction of 67 Unit Townhomes in Gator Trace Golf & Country Club

**GATOR TRACE ON THE GREENS, LLC**

**Property Owner(s)**

17305 S DIXIE HWY.

Street Address

PALMETTO BAY FL 33157

City

State

Zip

(954)907-2082

Phone Number

ekrem@eu-intl.com

Email Address

**Rasim Cinar**

**Applicant/Representative, Title, Company**

279 Lake Monterey Circle

Street Address

Boynton Beach FL 33426

City

State

Zip

(561)713-9700

Phone Number

rasimcncr@gmail.com

Email Address

*Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.*

Property Owner(s) Signature(s)

**APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS**

CALL 772.467.3737 OR E-MAIL [PLANNING\\_DL@CITYOFFORTPIERCE.COM](mailto:PLANNING_DL@CITYOFFORTPIERCE.COM)

For more information, please refer to the website:

<https://www.cityoffortpiece.com/971/Application-Submittal-for-Technical-Rev>

## **Design Review Application Checklist** **(City Code of Ordinances 125-314)**

### **Submittal for Administrative Approval**

- a. A survey (1" = 30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of section 123-66, location of bordering streets and, if applicable, wetlands and beaches.
- b. A site analysis study to include a discussion of specimen trees and other natural vegetation, access, significant topography, wetlands, buffers, setbacks, views, orientation, the surrounding built environment, and other site features that may influence design elements.
- c. A draft written narrative describing the design intent of the project, its goals, and objectives and how it reflects the site analysis study results.
- d. Context photographs of neighboring uses and architectural styles.
- e. Photographs and/or drawings of architectural buildings or objects that serve as a precedent for the proposed building design. Models should be taken from local exemplary buildings, either existing or demolished. Documentation of such buildings is available in the city's planning department.
- f. Photographs of all existing structures located on the property. If existing structures on the property are more than fifty (50) years of age, documentation of these structures with data from the Florida Master Site File form is also required.
- g. Conceptual site plan (to scale) showing proposed location of all buildings, structures, parking areas, signs and landscaping.
- h. Landscape plan, at the same scale as the site plan. The planning director or designee may request enlarged plans of detailed planting areas. Planting schedule with sizes of proposed plantings must be included.
- i. Accurate color rendering of proposed signs showing dimensions, type of lettering, materials and actual color samples that demonstrates cohesiveness with the project design.
- j. Exterior elevations showing architectural character, external architectural features, and streetscape of the proposed development, including materials, colors, shadow lines and landscaping. The street elevation shall encompass the entire proposed project and generally identify the major elements of the adjacent two (2) properties on either side of the site. If the adjacent properties are vacant or underutilized, a diagram shall be provided that identifies the mass and form that is allowable under current zoning. If the street elevation must be drawn at such a scale as to render architectural details of the building unreadable, drawings of individual buildings at a larger scale should be provided as well.
- k. Design review concurrent with conceptual development plan procedure according to subsection 125-313 is also available.

### **Submittal for Board Approval**

- a. A written narrative describing how the project conforms to administrative approval and design review guidelines of this section.
- b. A final site plan meeting the requirements of section 125-313.
- c. A final site lighting plan that meets the requirements of subsection 125-313(d)(8).
- d. A final landscape plan that meets the requirements of articles II and III of chapter 123.
- e. Final floor plans and elevation drawings (1/8" = 1'-0" minimum scale), as detailed under administrative approval, showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- f. A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.



**DEVELOPMENT REVIEW**

**Property Information**

Property address or Location 4150 & 4200 Gator Trace Rd  
 Parcel ID #(s) 2435-311-0001-000/4 & 2435-243-0001-000/6  
 Project description New construction of 67 Unit Townhomes in Gator Trace Golf & Country Club

**Application Type**

- Site Plan       Conditional Use w/New Construction       Conceptual Development Plan  
 Minor Amendment       Major Amendment

**Site Information**

*Non-Residential:* Proposed Sq. Ft.: N/A      Site Acreage: N/A  
*Residential:* Proposed Units: 67      Proposed Sq. Ft.: 83,200      Site Acreage: 6.94

GATOR TRACE ON THE GREENS, LLC

**Property Owner(s)**

17305 S DIXIE HWY.

Street Address

PALMETTO BAY FL 33157

City                      State      Zip

(954)907-2082

Phone Number

ekrem@eu-intl.com

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Rasim Cinar

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Property Owner(s) Signature(s)

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General Information

- **Incomplete application packets will not be accepted.**
- In-take meetings are required for application submittals.
- Site plan approval is valid for one (1) year following City Commission approval. To maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date.
- Fee Schedule - <https://www.cityoffortpierce.com/DocumentCenter/View/2620/Fee-Schedule->
- Public Notice Fees - <https://www.cityoffortpierce.com/DocumentCenter/View/8818/Public-Notice-Fees->



**Site Plan submittal requirements:**

**Submit one (1) original & three (3) hard copies and one (1) CD or Flash Drive of the following. Additional copies will be required of subsequent submittals.**

- Complete application
- Warranty Deed
- SLC Property Record Card
- Detailed project description
- General location map (see Section 125-313)
- Survey (see Section 125-313)
- Site Plan (see Section 125-313)
- Landscaping Plan (see Section 123-37)
- Conceptual Drainage Plan (see Section 125-313)
- Environmental Impact Report
- Beach/Dune System protection plan, if applicable (see Section 125-313)
- Lighting Plan (see Section 125-313)
- Design Review submittals (see Design Review application)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)



**TOWNHOUSE DEVELOPMENT  
FT. PIERCE, FL**

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## **Design and Development Review Project Narrative**

June 5, 2024

Mr. Kevin Freeman  
Planning Department  
City of Fort Pierce  
Planning Director  
100 N. U.S. Highway 1, Fort Pierce, FL 34950  
(772) 567-8000

Re: Gator Trace on the Greens Townhomes  
Parcel IDs # 2435-311-0001-000/4 & 2435-243-0001-000/6)

Dear Mr. Freeman:

We, the developers of Gator Trace on the Greens Townhouse project, are proposing to build (13) buildings, (67) units innovative townhouse community on totaling 6.94 acres PD zoned, wooded land in the Gator Trace Golf & Country Club, Fort Pierce, Florida.

To fulfill the innovative design category, we provided coastal architecture design and colors along with amenities such as dog park, bicycle rack, toddler playground, and outdoor fitness area with benches and walkways along with landscaping that exceeds the minimum code requirements.

The layout of the site consists of two entrances off Gator Trace Road with a looped road throughout the development.

There are two proposed dry detention ponds on each side of the property that will be used for stormwater storage but also act as green open space for the neighborhood.

There is an existing 0.63-acre wetland plus 0.56 wetland buffer in the middle eastern portion of the property that we are planning to use for residential purpose that will require a credit purchase from SFWMD for Wetland Mitigation.

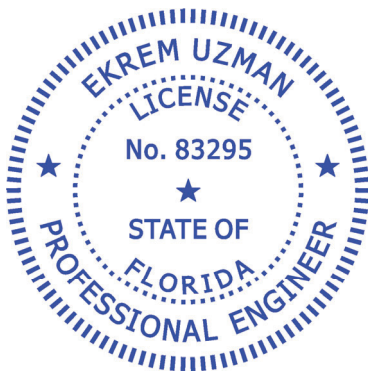
Also, the traffic impact of the proposed development has been evaluated and the result shows that, the proposed development will be in compliance with the City of Fort Pierce Land Development Code.

Please review attached

- St Lucie County Property Cards
- Warranty Deed
- Survey
- Tree Survey
- Wetland Delineation
- Environmental Assessment
- Plot
- Site Plan,
- Fire Truck Plans,
- Civil Plans,
- Storm Drain Calculations
- Traffic Impact Study,
- Landscaping Plans,
- Photometric Plans,
- Architectural Plans,
- 3-D Renderings
- Color chart of the project and
- Photographs of the property

and let us know if you have any further questions regarding this application.

Ekrem Uzman, PE, MSCE, CGC  
Gator Trace on the Greens, LLC  
(305) 363-6666  
ekrem@eu-intl.com





PROPERTY ID	
ZONING	PD
FOLIO	2435-311-0001-000/4 & 2435-243-0001-000/6
OWNER	GATOR TRACE ON THE GREENS, LLC
MAILING ADDRESS	17305 S DIXIE HWY, PALMETTO BAY, FL 33157
LEGAL DESCRIPTION	SEE ATACHED
FLOOD ZONE / BFE	X / +19.00'

SCOPE OF WORK	
NEW (67) UNITS TOWNHOUSE DEVELOPMENT	

DESIGN CRITERIA	DESIGN CODES AND STANDARD
V=160 MPH	FBC 2023 8TH EDITION
EXPOSURE-C	ASCE 7-16
CAT-II	NEC 2023
CLOSED STRUCTURE	
K=0.85	
MRH=25'-0"	
TYPE V-8, R-3	

BUILDING DATA	
ID	UNIT
BUILDING #1	7 - UNITS
BUILDING #2	4 - UNITS
BUILDING #3	5 - UNITS
BUILDING #4	6 - UNITS
BUILDING #5	8 - UNITS
BUILDING #6	4 - UNITS
BUILDING #7	4 - UNITS
BUILDING #8	5 - UNITS
BUILDING #9	5 - UNITS
BUILDING #10	5 - UNITS
BUILDING #11	5 - UNITS
BUILDING #12	5 - UNITS
BUILDING #13	4 - UNITS
TOTAL	67 - UNITS

SITE DATA	
ZONING	PD
CURRENT / PROP.USAGE	TOWNHOUSE DEVELOPMENT
DWELLING ALLOWANCE	12-UNITS / ACRE (INNOVATIVE)
DWELLING ALLOWED ON THIS LOT	6.94 AC x 12 = 83.28 UNITS
DWELLING PROVIDED	67 UNITS

LOT COVERAGE DATA		
NAME	AREA	% OF LOT
LOT SIZE	302,306 SF	100.00 %
BUILDING FOOTPRINTS	83,200 SF	27.52 %
PAVER DRIVEWAYS	35,689 SF	11.81 %
ASPHALT, GUTTER, SIDEWALK ETC	69,851 SF	23.11 %
TOTAL IMPERVIOUS ABOVE	188,740 SF	62.43 %
REMAINING PERVIOUS	113,566 SF	37.57 %

PARKING DATA			
NAME	REQUIRED	20' LOT	25' LOT
SIDE-BY-SIDE PARKING	(2) PER UNIT	(2) PER UNIT	(2) PER UNIT
GARAGE PARKING	0	(1) PER UNIT	(2) PER UNIT
TOTAL PARKING PER UNIT	(2) PER UNIT	(3) PER UNIT	(4) PER UNIT
MAIL PARKING (9'-6"x18" + HANDICAP)	0	(3) SPACES	(4) PER UNIT
POST OFFICE PARKING (9'-6"x18")	0	(1) SPACES	



FORT PIERCE  
FL 34982



REV.	BY	DATE
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NO PART OF THESE PLANS OR DESIGNS MAY BE COPIED OR REPRODUCED IN ANY FORM WHATSOEVER WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ENGINEER OF RECORD.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. EKREM UZMAN, PE ASSUMES NO LIABILITY FOR THE UNAUTHORIZED USE OF THESE PLANS, DRAWINGS AND SPECIFICATIONS OR FOR ANY VARIATION FROM ORIGINAL SPECIFICATIONS.

THE CONTRACTOR SHALL COMPARE ALL DRAWINGS AND VERIFY THE FIGURES, CONDITIONS AND DIMENSIONS ON THE JOB SITE. DISCREPANCIES SHALL BE REPORTED TO EKREM UZMAN, PE BEFORE ANY COMMENCEMENT OF THE WORK IN THE AREA IN QUESTION.

EU INTERNATIONAL, LLC  
EKREM UZMAN, PE, MSCE, CGC  
CONSULTING ENGINEER - CA32900  
GENERAL CONTRACTOR - CGC1526228  
1900 GLADYS RD, SUITE 500  
BOCA RATON, FL 33431  
O: (561) 969-3333  
C: (561) 907-2082  
ekrem@eu-int.com

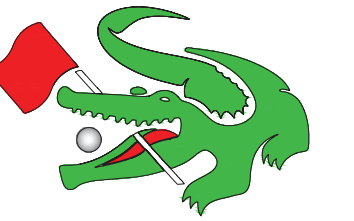


SHEET

SP100

SITE PLAN

1"=40'



\* POINT OF REACH  
(LESS THAN 150')

● FIRE HYDRANT

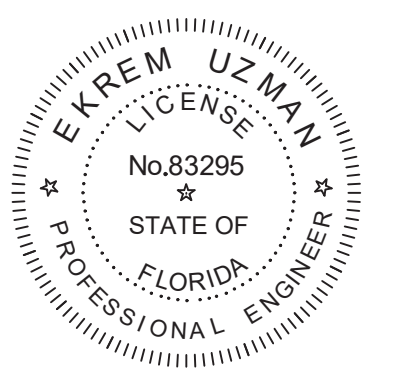
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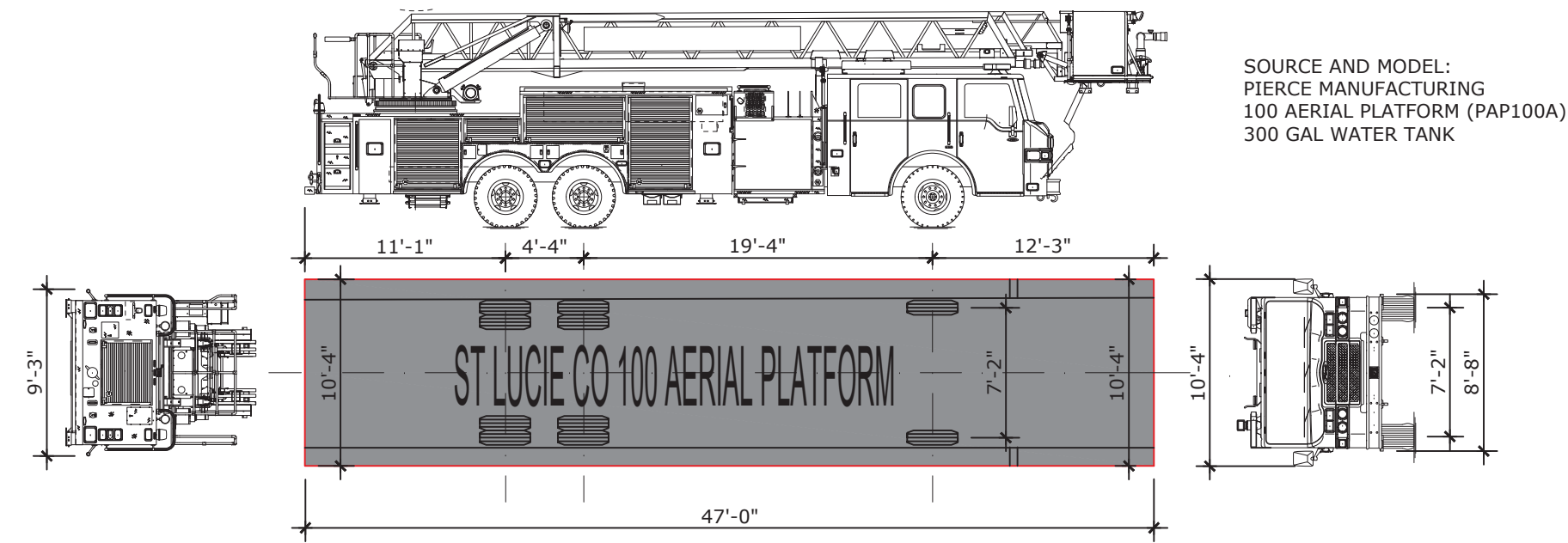
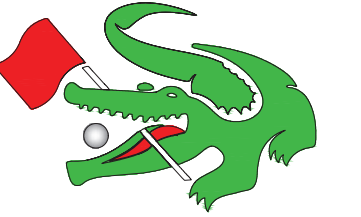
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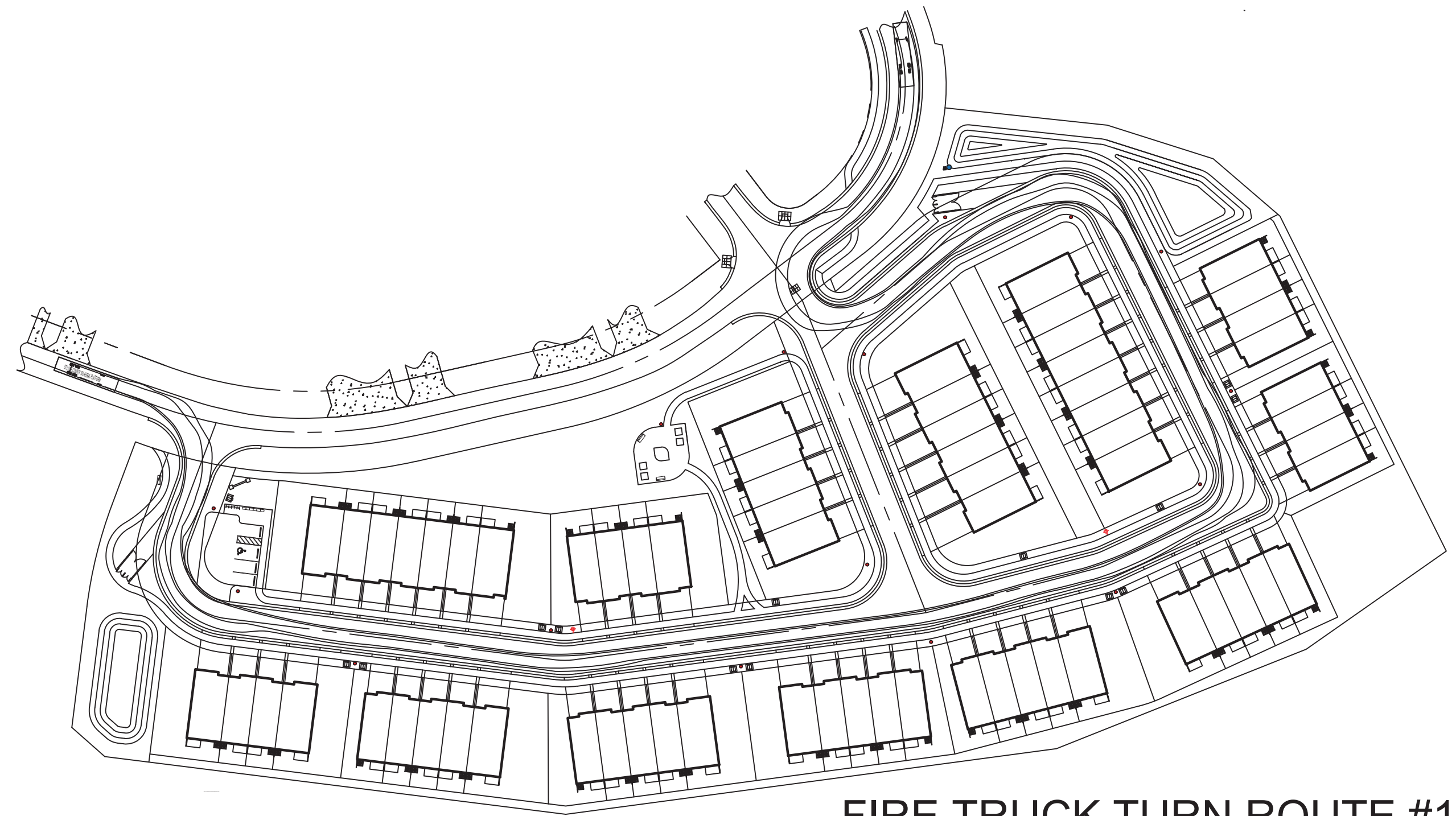
**EU INTERNATIONAL, LLC**  
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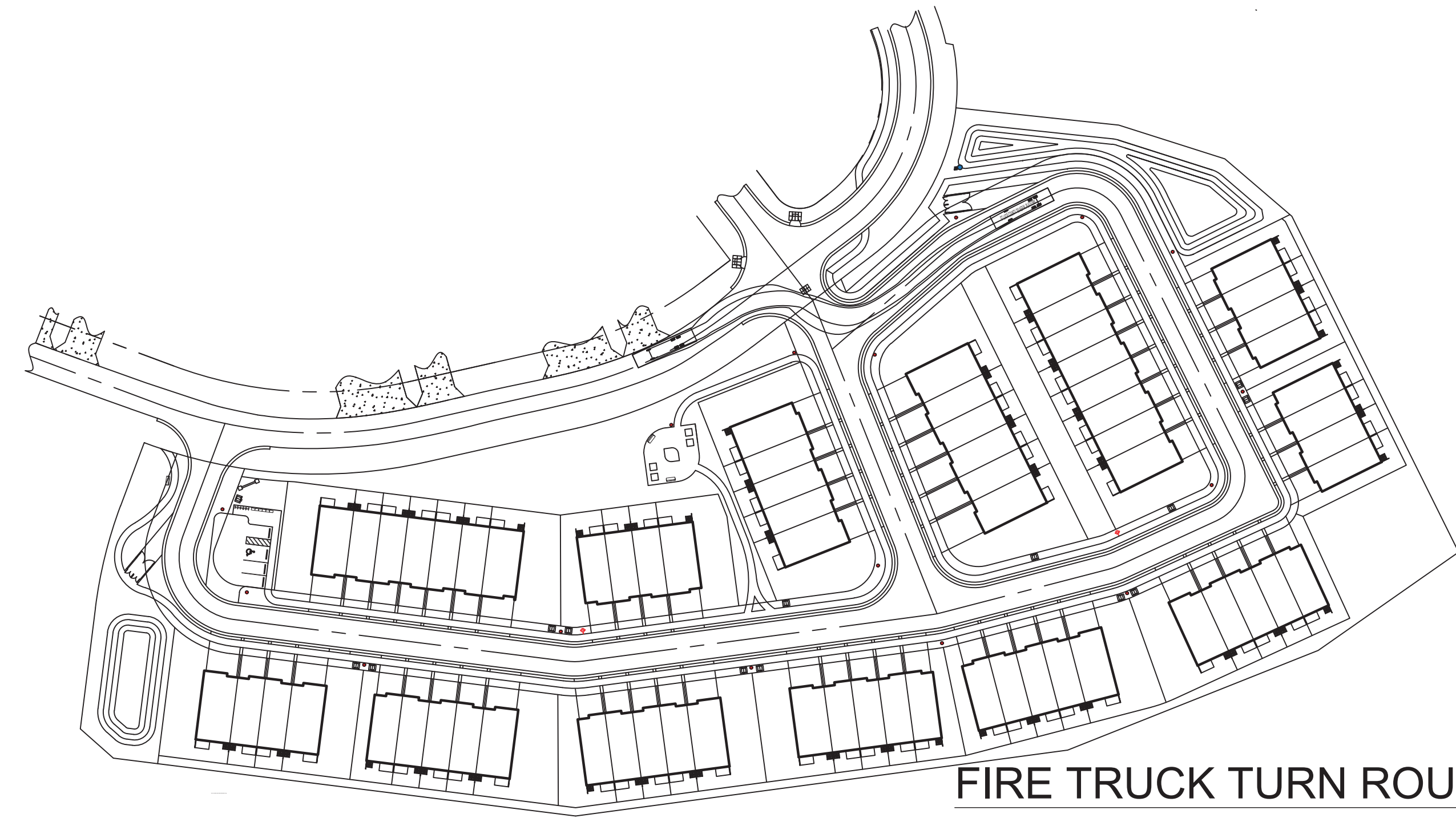


SOURCE AND MODEL:  
PIERCE MANUFACTURING  
100 AERIAL PLATFORM (PAP100A)  
300 GAL WATER TANK

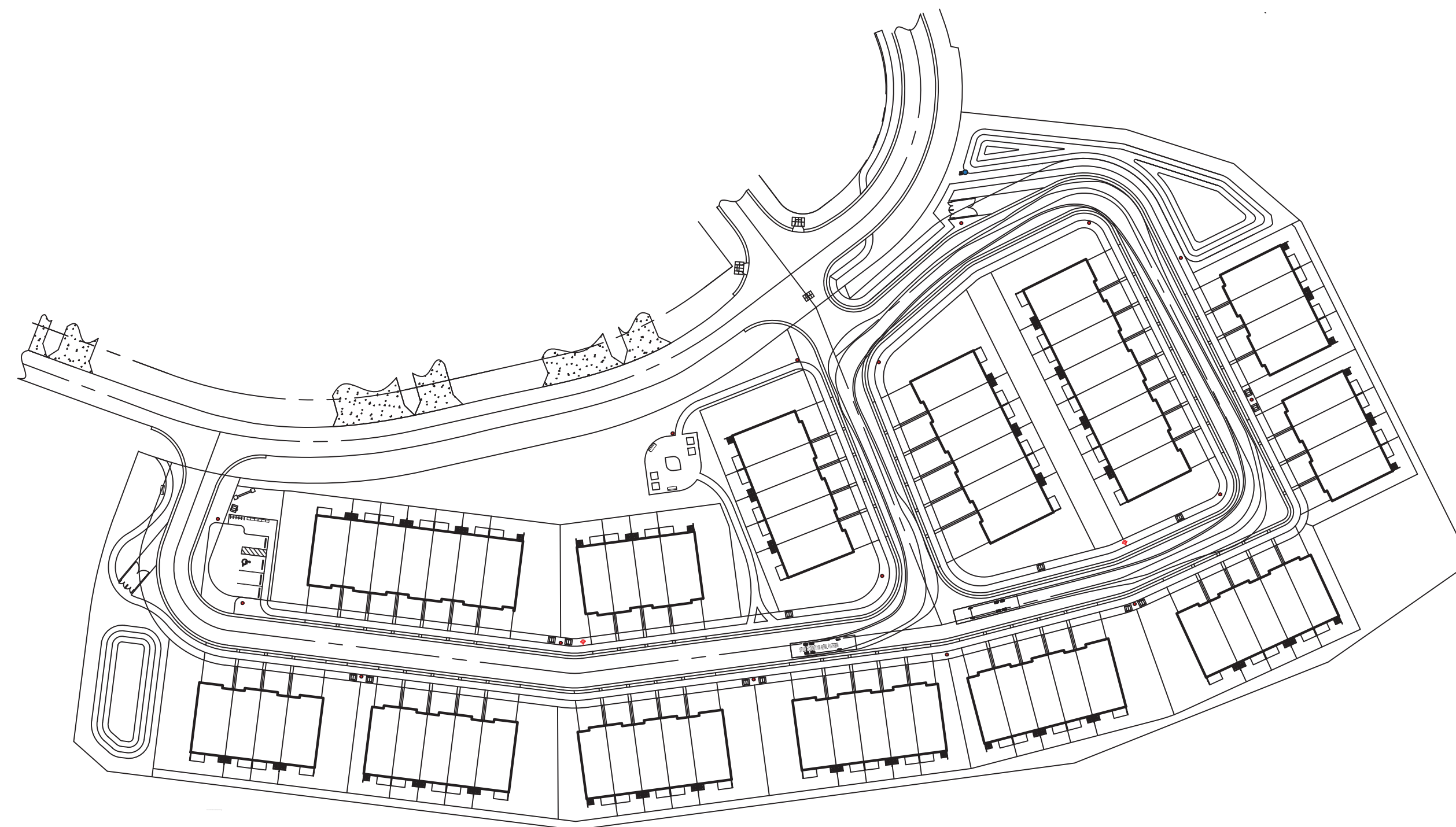
**FIRE TRUCK SPECS**  
NTS



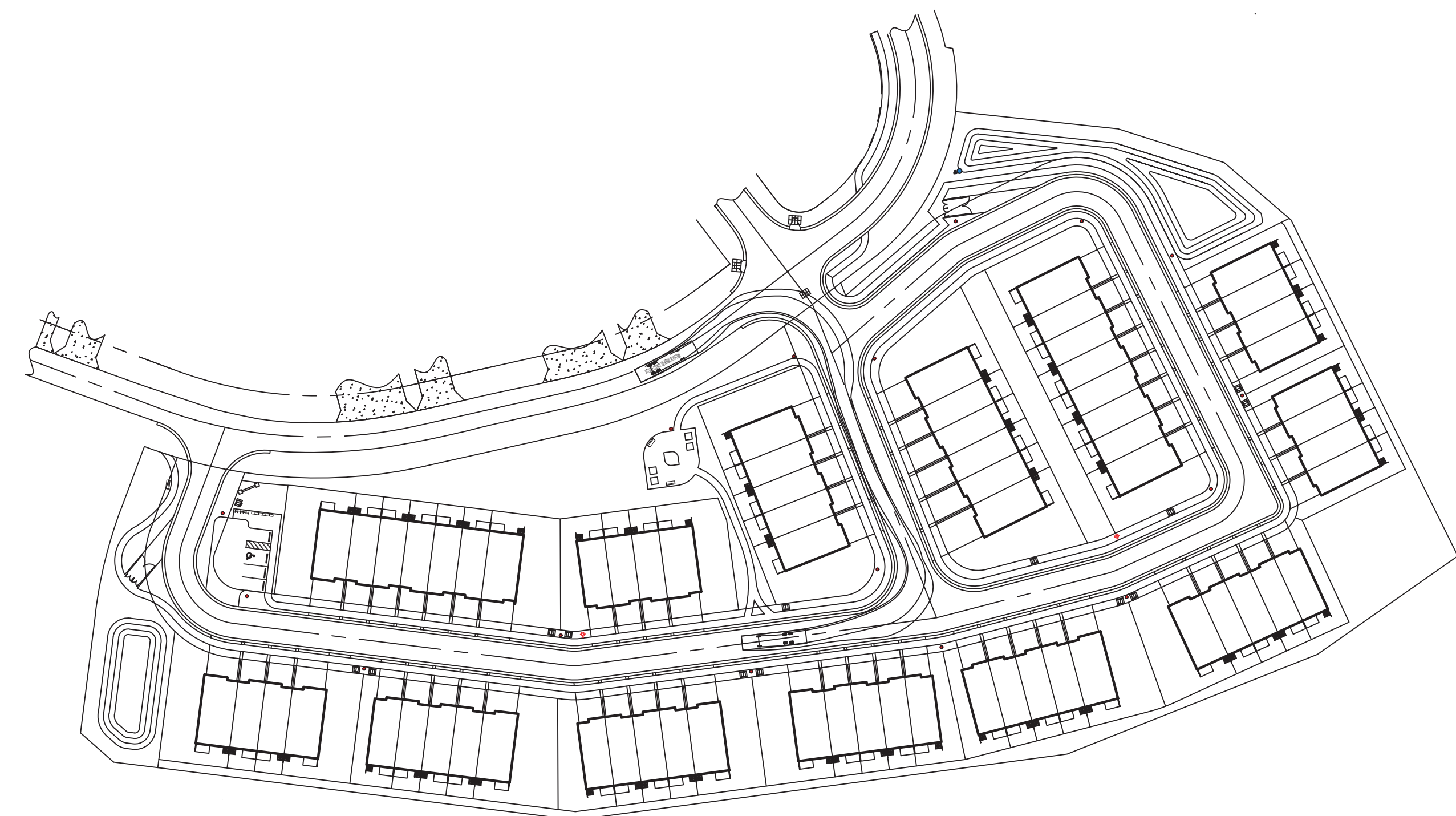
**FIRE TRUCK TURN ROUTE #1**  
1/80"=1'-0"



**FIRE TRUCK TURN ROUTE #2**  
1/80"=1'-0"



**FIRE TRUCK TURN ROUTE #3**  
1/80"=1'-0"



**FIRE TRUCK TURN ROUTE #4**  
1/80"=1'-0"

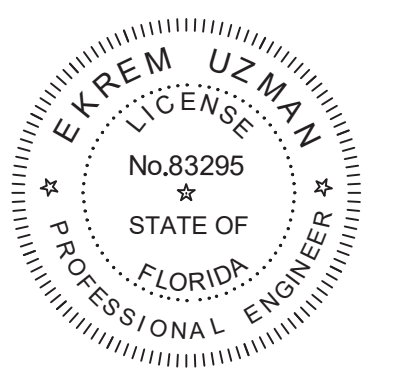
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1500 GLADYS RD, SUITE 500  
BOCA RATON, FL 33431  
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C: (561) 967-2082  
ekrem@eu-intl.com







Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine applicability of the layout to existing or future field conditions. This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions utilizing current industry standard lamp ratings in accordance with Illuminating Engineering Society approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps and other variable field conditions.

NOTES:

No.	1	PHOTOMETRIC STUDY	11/15/22
		Revision/Issue	Date

**LIGHTING DYNAMICS, INC.**  
 7835 West Commercial Blvd.  
 Tamarac, FL 33351  
 (954) 944-0286  
[www.lightingdynamics.com](http://www.lightingdynamics.com)

Project Name and Address  
**GATOR TRACE ON THE GREENS LIGHTING STUDY - SITE**  
 FORT PIERCE, FL  
 FILE P:\PROJECTS\2022\OCT  
 CLIENT CLIENT

Project Gator Trace on the Greens Sheet  
 Date 11/15/2022 **P100**  
 Scale 3/16" = 1' DRAWN BY GA



**GATOR TRACE ON THE GREENS TOWNHOUSE**

**LIGHTING FIXTURE SCHEDULE**

TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	VOLT	LAMP TYPE	DIM TYPE	WATTS	MOUNTING	NOTES
SA	LED SITE HEAD	STREETWORKS	UTLD-PA1-100-740-U-SL3-FINISH	UNV	LED	0-10V	96W	POLE	NOTE 1, 2
SB	LED SITE HEAD	STREETWORKS	UTLD-PA1-100-740-U-SWQ-FINISH	UNV	LED	0-10V	96W	POLE	NOTE 1, 2
SC	LED SITE HEAD	STREETWORKS	UTLD-PA1-100-740-U-T4W-FINISH	UNV	LED	0-10V	96W	POLE	NOTE 1, 3
SD	LED SITE HEAD	STREETWORKS	UTLD-PA1-100-740-U-SL3-FINISH	UNV	LED	0-10V	96W	POLE	NOTE 1, 3
SW	LED WALL PACK	MCGRAW-EDISON	GWC-SA2D-740-U-SL4-FINISH	UNV	LED	0-10V	129W	WALL	NOTE 1

**FIXTURE SCHEDULE NOTES**

NOTE 1: ADVISE FINISH

NOTE 2: FIXTURE MOUNTED ON 16' ALUMINUM VALMONT POLE # R-150840606T4-PX-COOPER-FINISH - 2' OF FIXTURE HEAD TO ACHIEVE 18' MOUNTING

NOTE 3: FIXTURE MOUNTED ON 10' ALUMINUM VALMONT POLE # R-090830504T4-PX-COOPER-FINISH - 2' OF FIXTURE HEAD TO ACHIEVE 12' MOUNTING

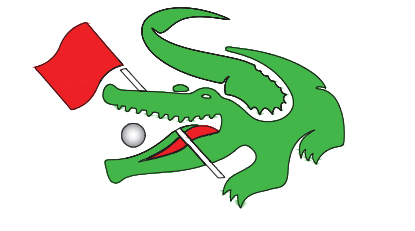
FOR QUESTIONS PERTAINING TO THIS FIXTURE SCHEDULE PLEASE CONTACT RYAN HUFF @ LIGHTING DYNAMICS-772-285-7169; RHUFF@LIGHTINGDYNAMICS.COM

**Photometrics Calculation Software Generated Luminaire Schedule**

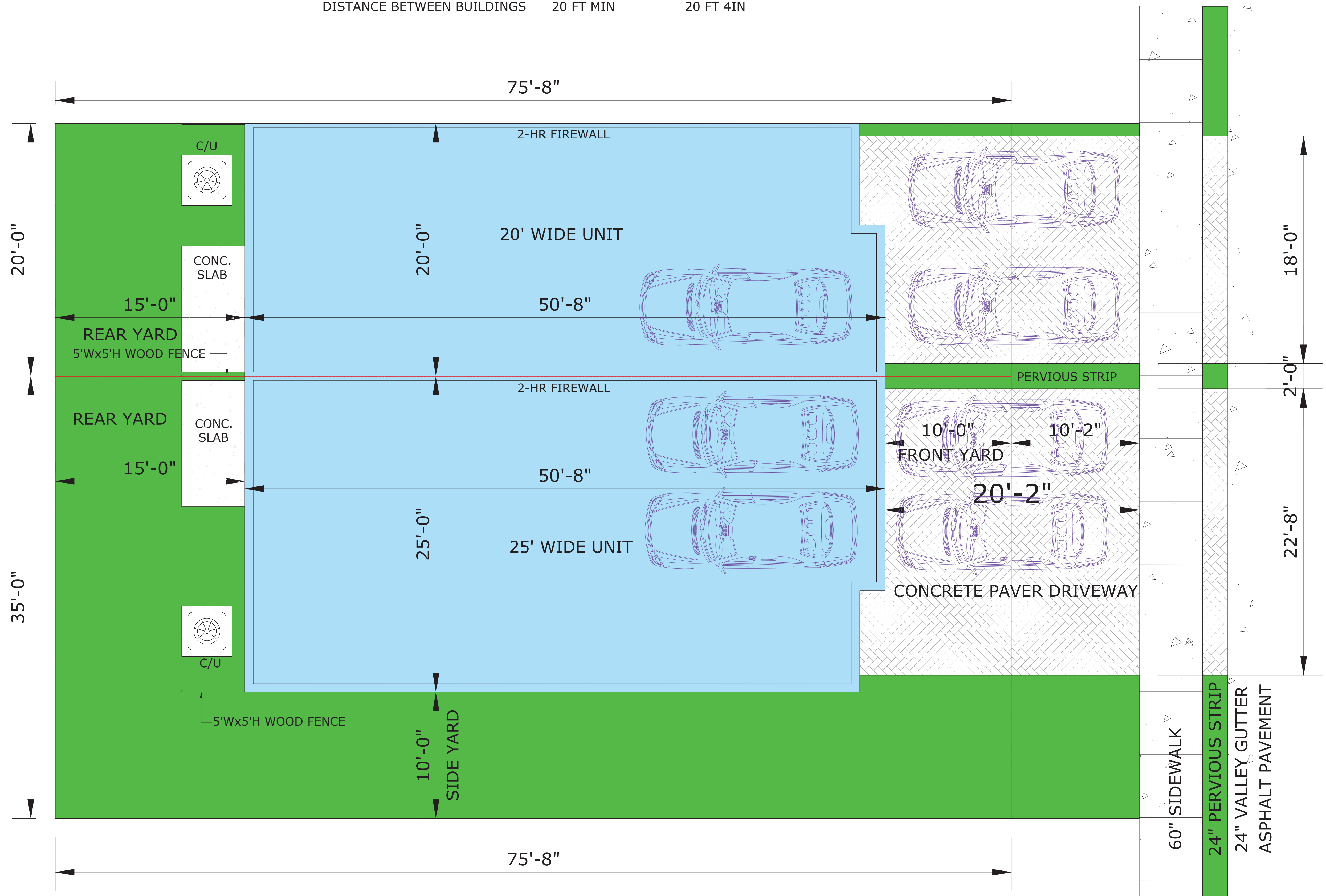
Symbol	Qty	Label	Arrangement	Lum. Lumens	Arr. Lum. Lumens	LLF	Lum. Watts	Arr. Watts
SA	14	SA	Single	10015	10015	0.900	96	96
SB	1	SB	Single	10688	10688	0.900	96	96
SC	2	SC	Single	10274	10274	0.900	96	96
SD	1	SD	Single	10015	10015	0.900	96	96
SW	1	SW	Single	15387	15387	0.900	129	129

**Calculation Summary**

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
DOG PARK	Illuminance	Fc	4.26	10.2	1.2	3.55	8.50
FITNESS PAD	Illuminance	Fc	3.80	8.2	1.0	3.80	8.20
PARKING	Illuminance	Fc	1.47	4.0	0.5	2.94	8.00
PLAYGROUND	Illuminance	Fc	2.31	6.3	0.7	3.30	9.00
PROPERTY LINE	Illuminance	Fc	0.05	0.4	0.0	N.A.	N.A.
SITE	Illuminance	Fc	1.74	4.8	0.5	3.48	9.60



PLAT DATA		
	REQUIRED	MIN PROVIDED
MINIMUM LOT AREA	1,500 SF	1,513 SF
INDIVIDUAL LOT WIDTH	16 FT MIN - 24 FT MAX	20 FT
FRONT YARD	10 FT MIN	10 FT
REAR YARD	15 FT MIN	15 FT
PERIPHERY SIDE YARD	10 FT MIN	10 FT
DISTANCE BETWEEN BUILDINGS	20 FT MIN	20 FT 4IN



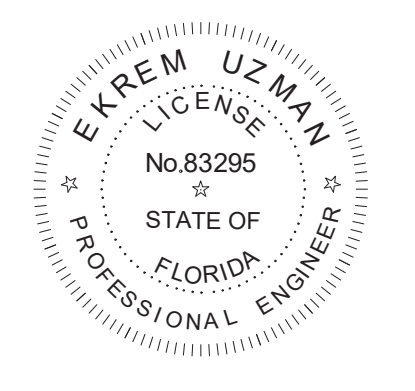
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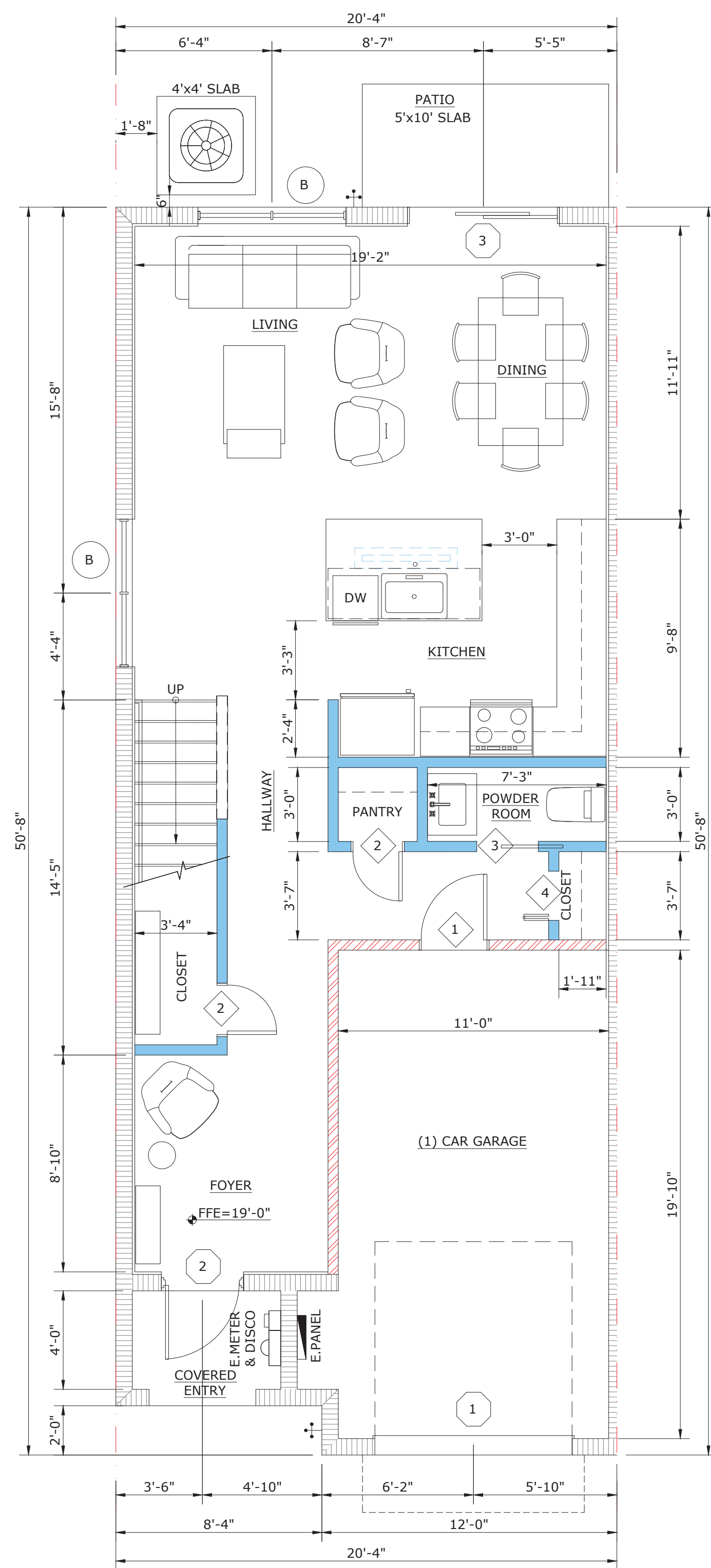
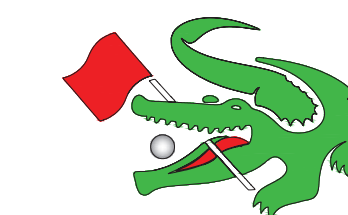
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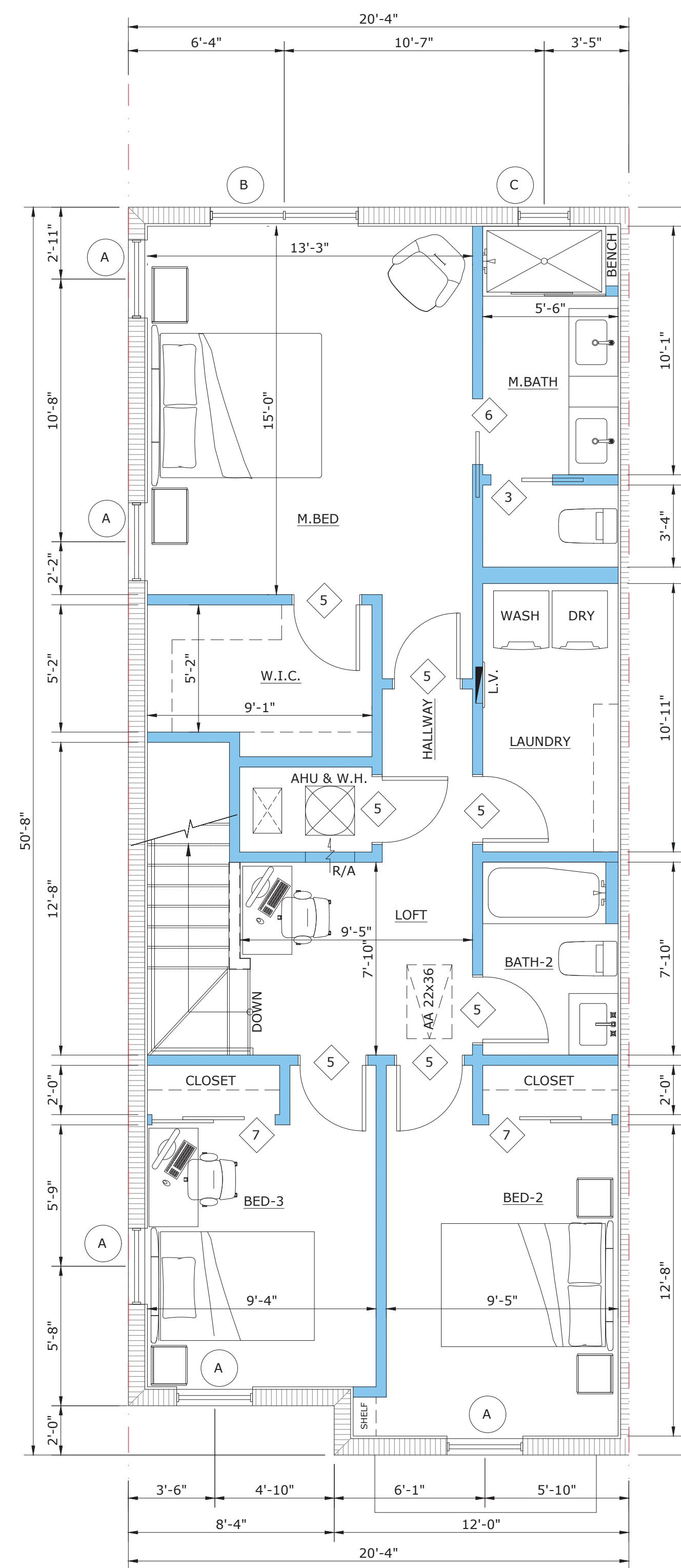
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 1900 GLADES RD, SUITE 500  
 BOCA RATON, FL 33431  
 O: (561) 990-3333  
 C: (561) 997-2882  
 ekrem@eu-intl.com





**20' WIDE UNIT FIRST FLOOR PLAN  
UNIT-A | GARAGE RIGHT**

1/4"=1'-0"



**20' WIDE UNIT SECOND FLOOR PLAN  
UNIT-A | GARAGE RIGHT**

1/4"=1'-0"

AREA CALCULATION UNIT-A (GARAGE LEFT AND GARAGE RIGHT)	
SPACE	AREA
FIRST FLOOR UNDER A/C	723 SQF
SECOND FLOOR UNDER A/C	952 SQF
TOTAL UNDER A/C	1,675 SQF
GARAGE (NO A/C)	242 SQF
COVERED ENTRY (NO A/C)	31 SQF
<b>UNIT TOTAL</b>	<b>1,948 SQF</b>

WALL LEGEND	
	2-HR RATED CMU UNIT SEPARATION (U-905)
	EXTERIOR CMU BEARING WALL
	1-HR FIRE RATED INTERIOR PARTITION WALL
	NON RATED INTERIOR PARTITION WALL

INTERIOR DOOR SCHEDULE				
MARK	WIDTH	HEIGHT	MATERIAL	TYPE
1	2'-8"	6'-8"	WOOD	20-MIN SWING
2	2'-0"	6'-8"	WOOD	SWING
3	2'-6"	6'-8"	WOOD	POCKET
4	2'-0"	6'-8"	WOOD	BI-FOLD
5	2'-8"	6'-8"	WOOD	SWING
6	2'-8"	6'-8"	WOOD	POCKET
7	5'-0"	6'-8"	WOOD	SLIDING

WINDOW SCHEDULE							
MARK	WIDTH	HEIGHT	MATERIAL	TYPE	IMPACT RATED MATERIAL ONLY		
					ROUGH OPENING	DESIGN WIND PR.	APPROVAL
A	3'-1"	5'-3"	ALUM.	SING.HUNG EGRESS	38"x65"		
B	6'-0"	5'-0"	ALUM.	HORIZ.SL. EGRESS	74"x62"		
C	2'-1"	1'-4"	ALUM.	FIXED	26"x18"		

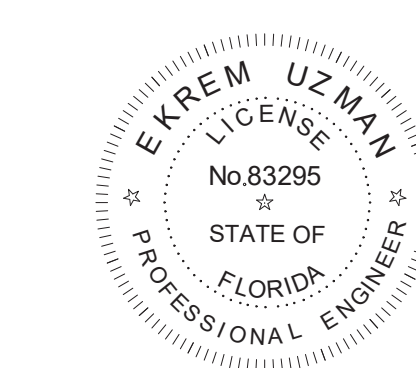
EXTERIOR DOOR SCHEDULE							
MARK	WIDTH	HEIGHT	MATERIAL	TYPE	IMPACT RATED MATERIAL ONLY		
					ROUGH OPENING	DESIGN WIND PR.	APPROVAL
1	8'-0"	7'-0"	STEEL	GARAGE	96"x84"		
2	3'-0"	6'-8"	WOOD	SWING	38"x81"		
3	6'-0"	6'-8"	ALUM.	SLIDING	74"x81"		

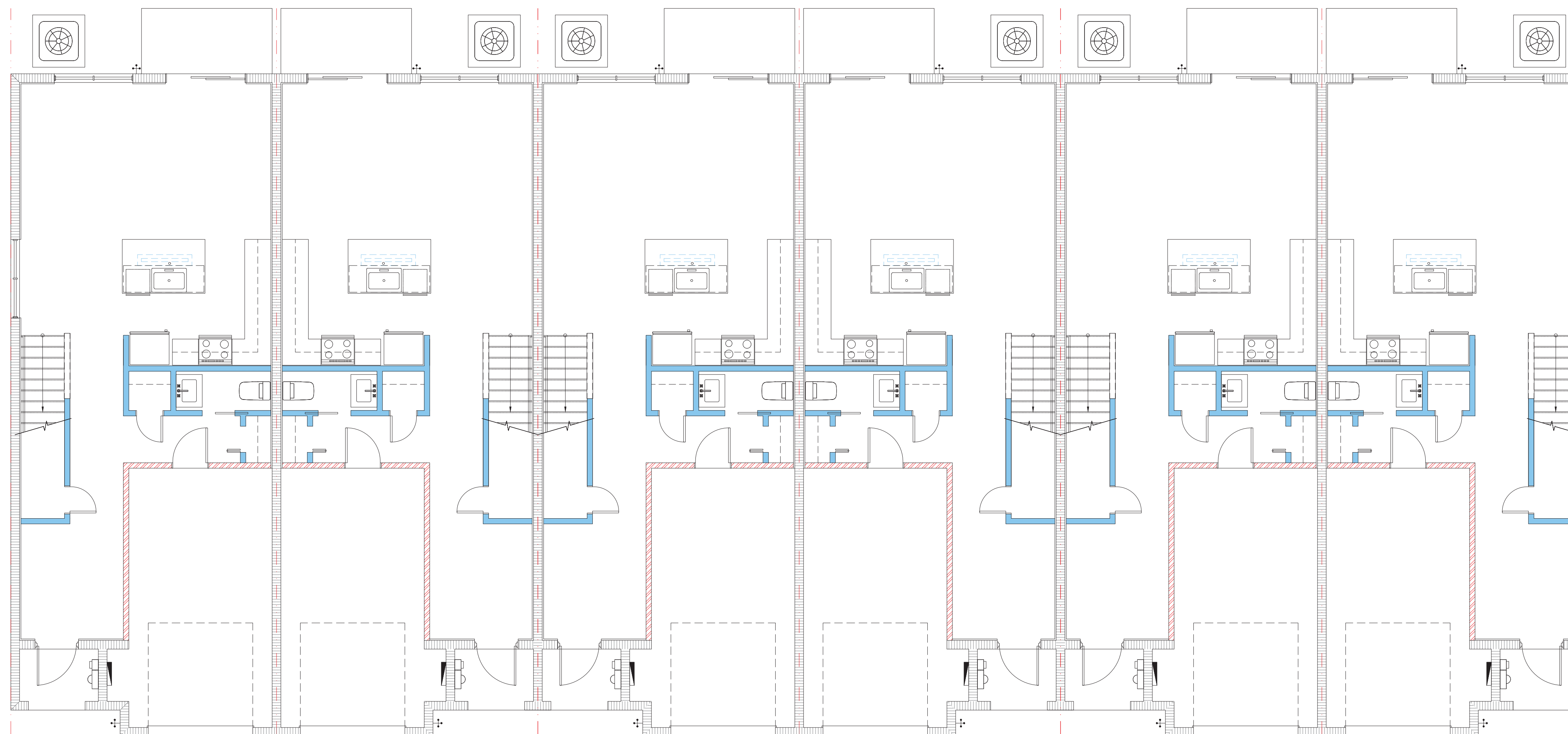
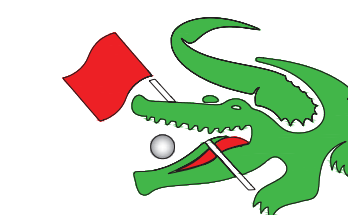
**WINDOW AND DOOR NOTE:**  
IT IS THE RESPONSIBILITY OF THE WINDOW AND DOOR SUPPLIER TO COORDINATE ALL REQUIRED OPENINGS WITH THE G.C. PRIOR TO ANY WORK. THE WINDOW SUPPLIER IS RESPONSIBLE FOR CODE COMPLIANCE OF HIS /HER PRODUCTS. ALL PRODUCTS SHALL HAVE WHITE COLOR FINISH.

REV.	BY	DATE
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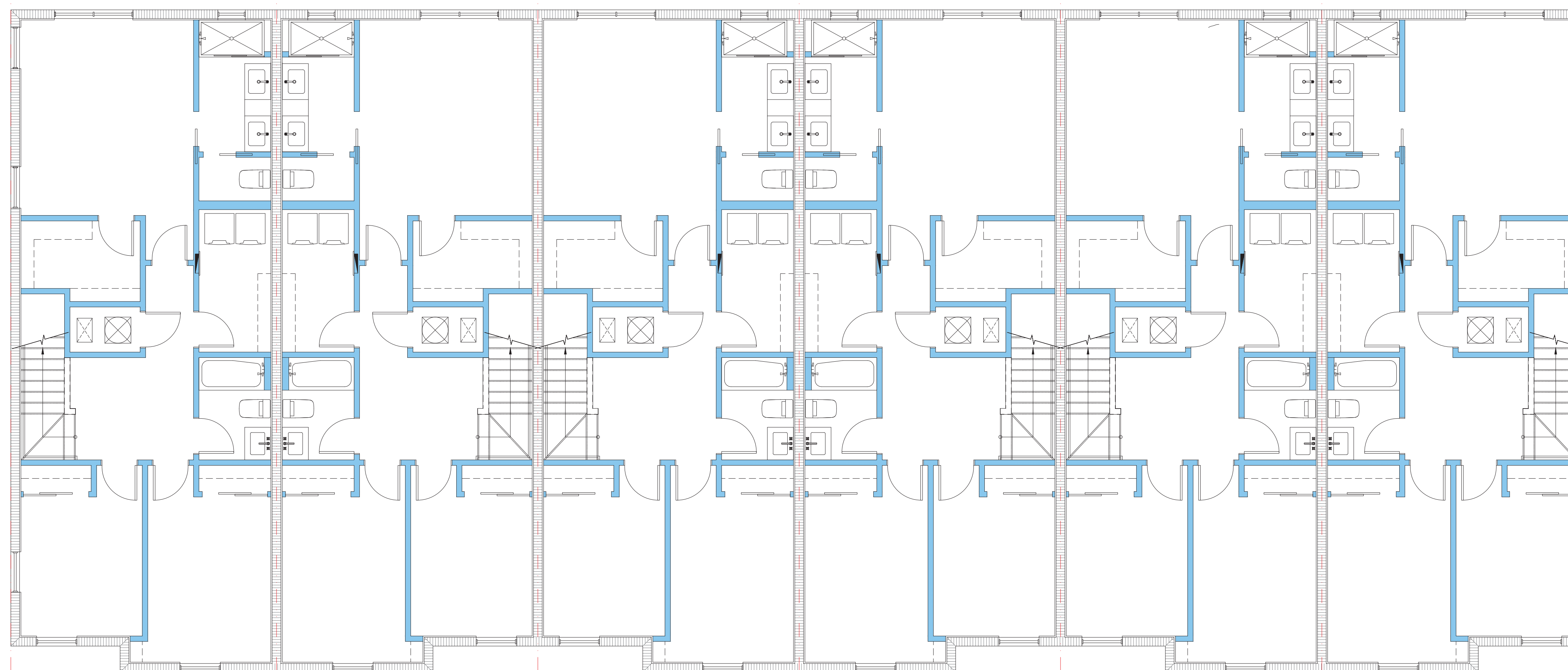
**EU INTERNATIONAL, LLC**  
EKREM UZMAN, PE, MSCE, CGC  
CONSULTING ENGINEER - CA22900  
GENERAL CONTRACTOR - CGC1526228  
1900 GLADES RD, SUITE 500  
BOCA RATON, FL 33431  
O: (561) 990-3333  
C: (561) 907-2082  
ekrem@eu-intl.com





**FIRST FL PLAN**

3/16"=1'-0"



**SECOND FL PLAN**

3/16"=1'-0"

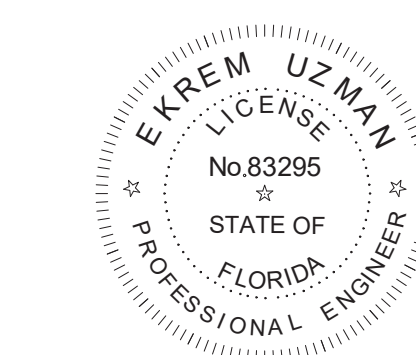
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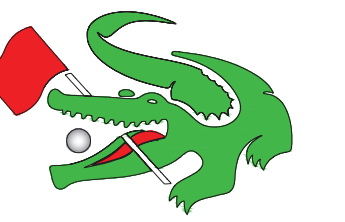
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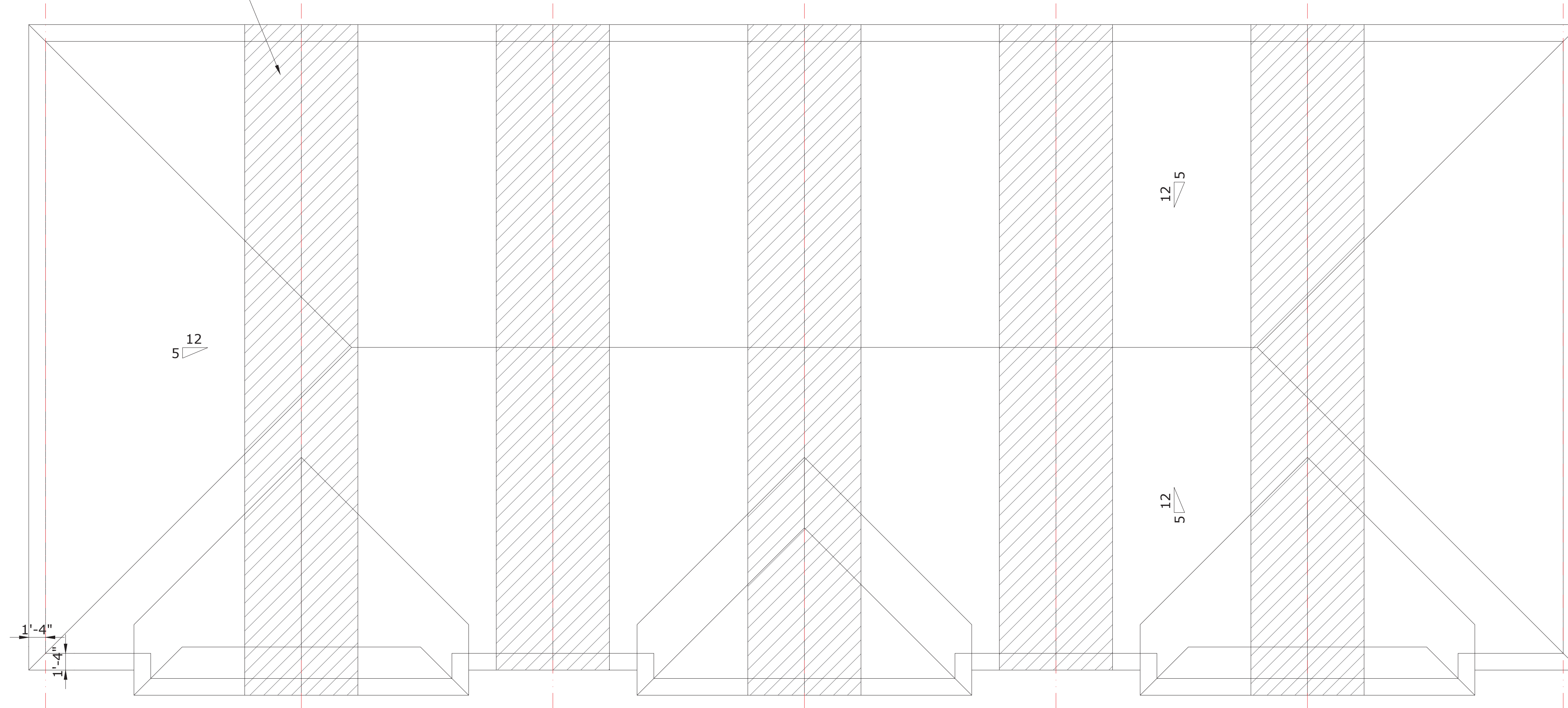
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5/8" FIRE RETARDANT ROOF SHEATHING, 4'-6" EXTENDED TO EACH SIDE FROM CENTERLINE OF 2-HR UNIT SEPARATION WALL



6 UNIT BUILDING

REV.	BY	DATE
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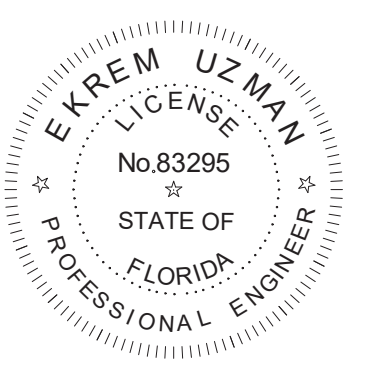
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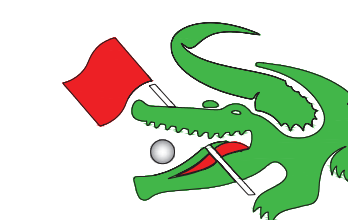
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**ROOF PLAN**

3/16"=1'-0"

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CONSULTING ENGINEER - CA32900  
GENERAL CONTRACTOR - CC01526228  
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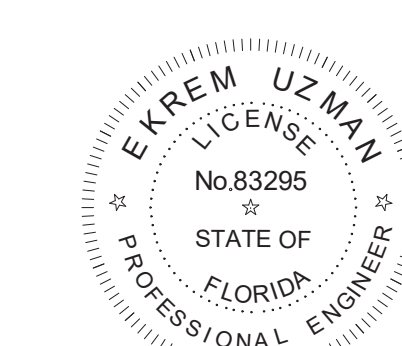
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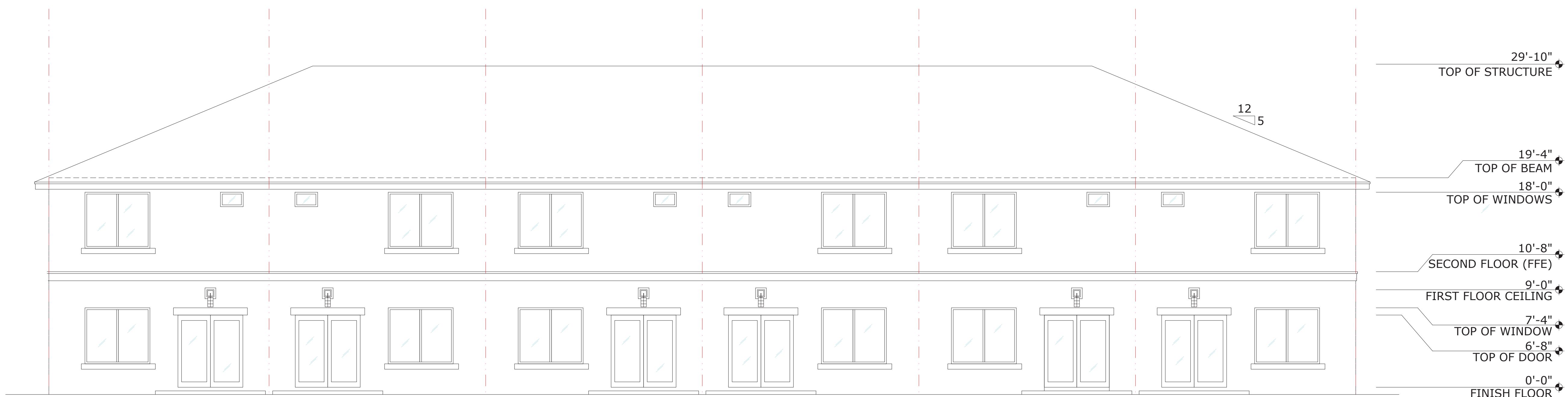
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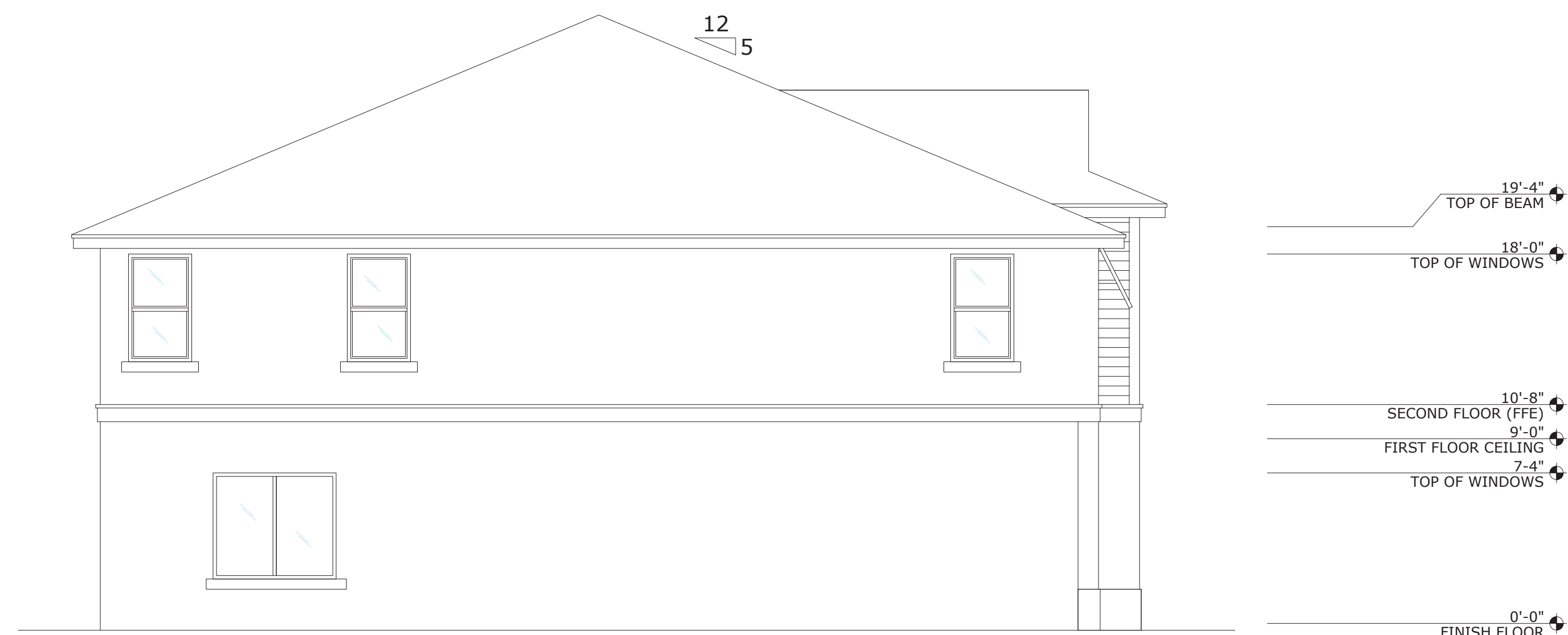
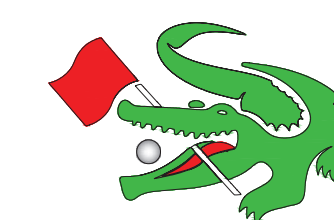
**FRONT ELEVATION**

3/16"=1'-0"



**REAR ELEVATION**

3/16"=1'-0"



**LEFT ELEVATION**

3/16"=1'-0"



**RIGHT ELEVATION**

3/16"=1'-0"

6 UNIT BUILDING

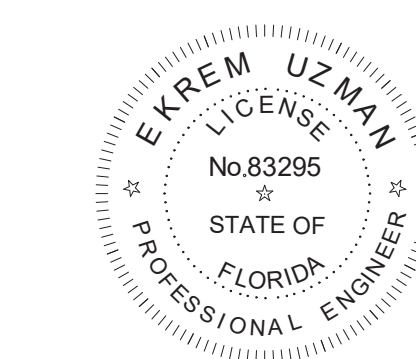
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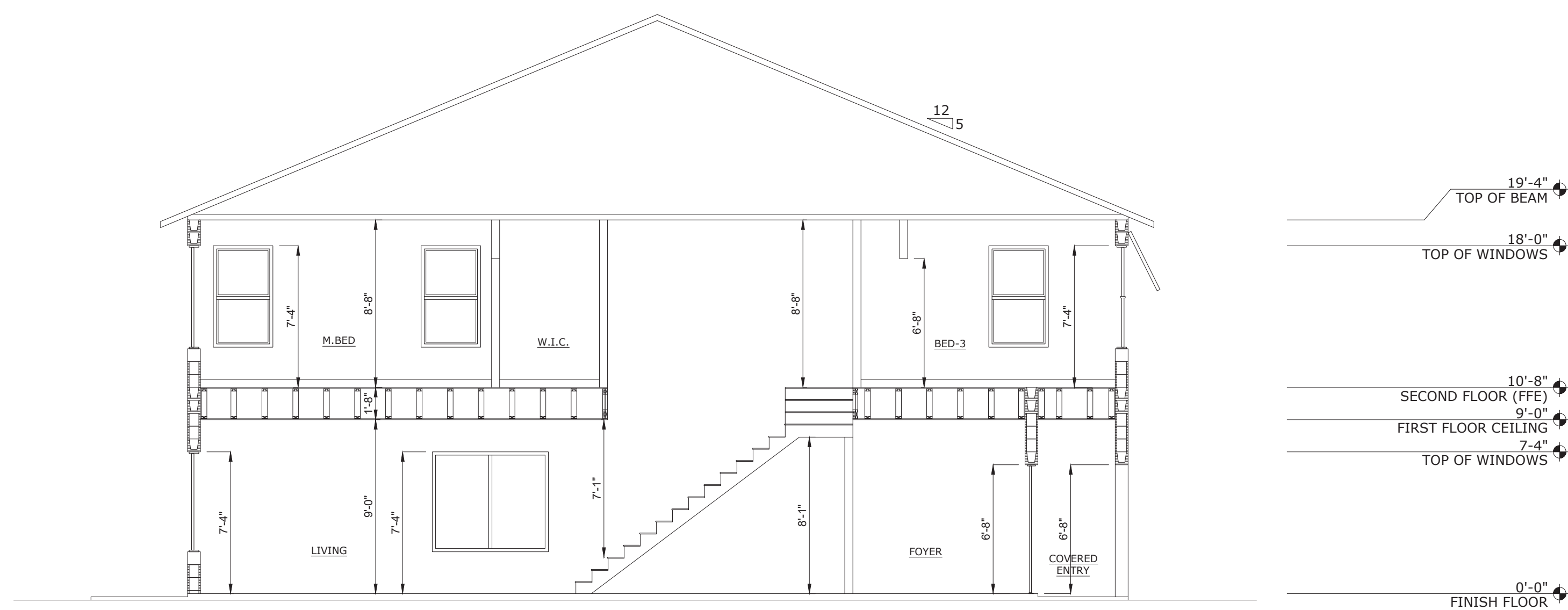
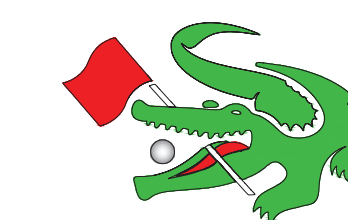
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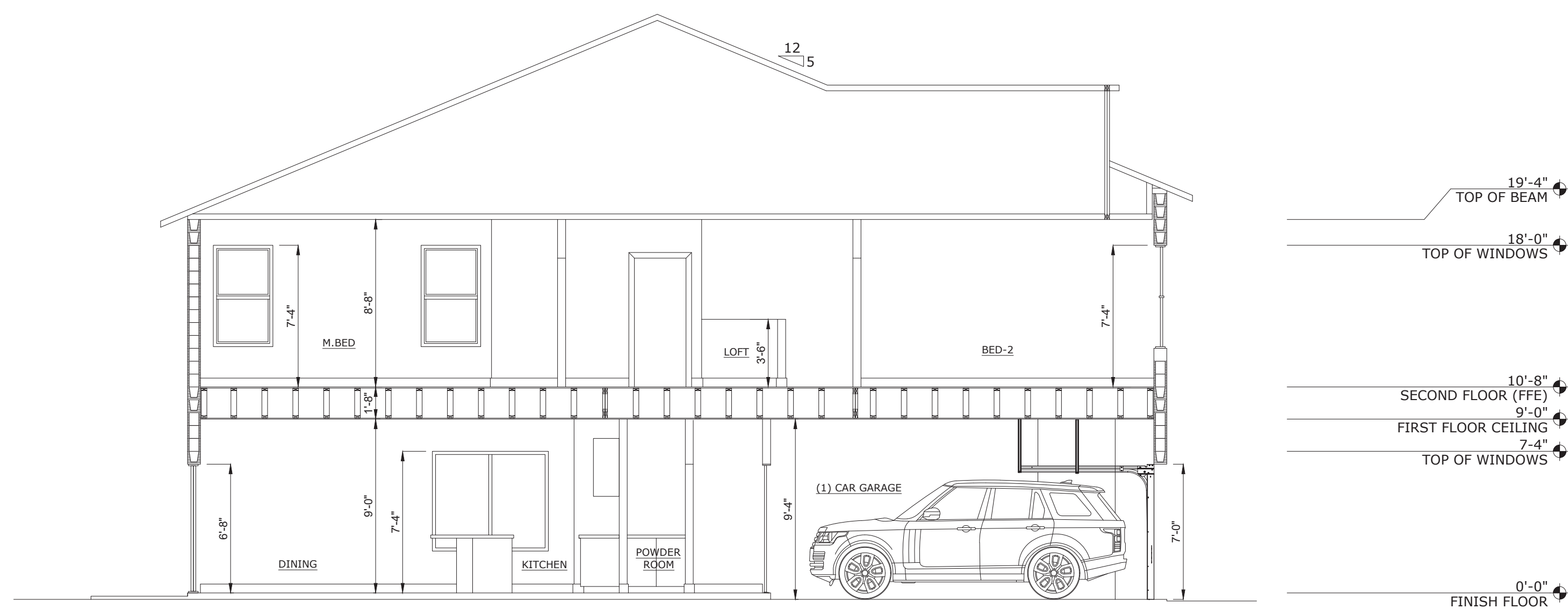
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**BUILDING SECTION A-A**  
3/16"=1'-0"



**BUILDING SECTION B-B**  
3/16"=1'-0"

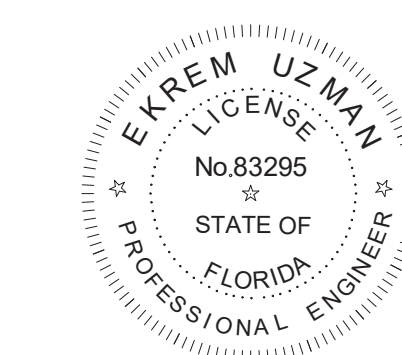
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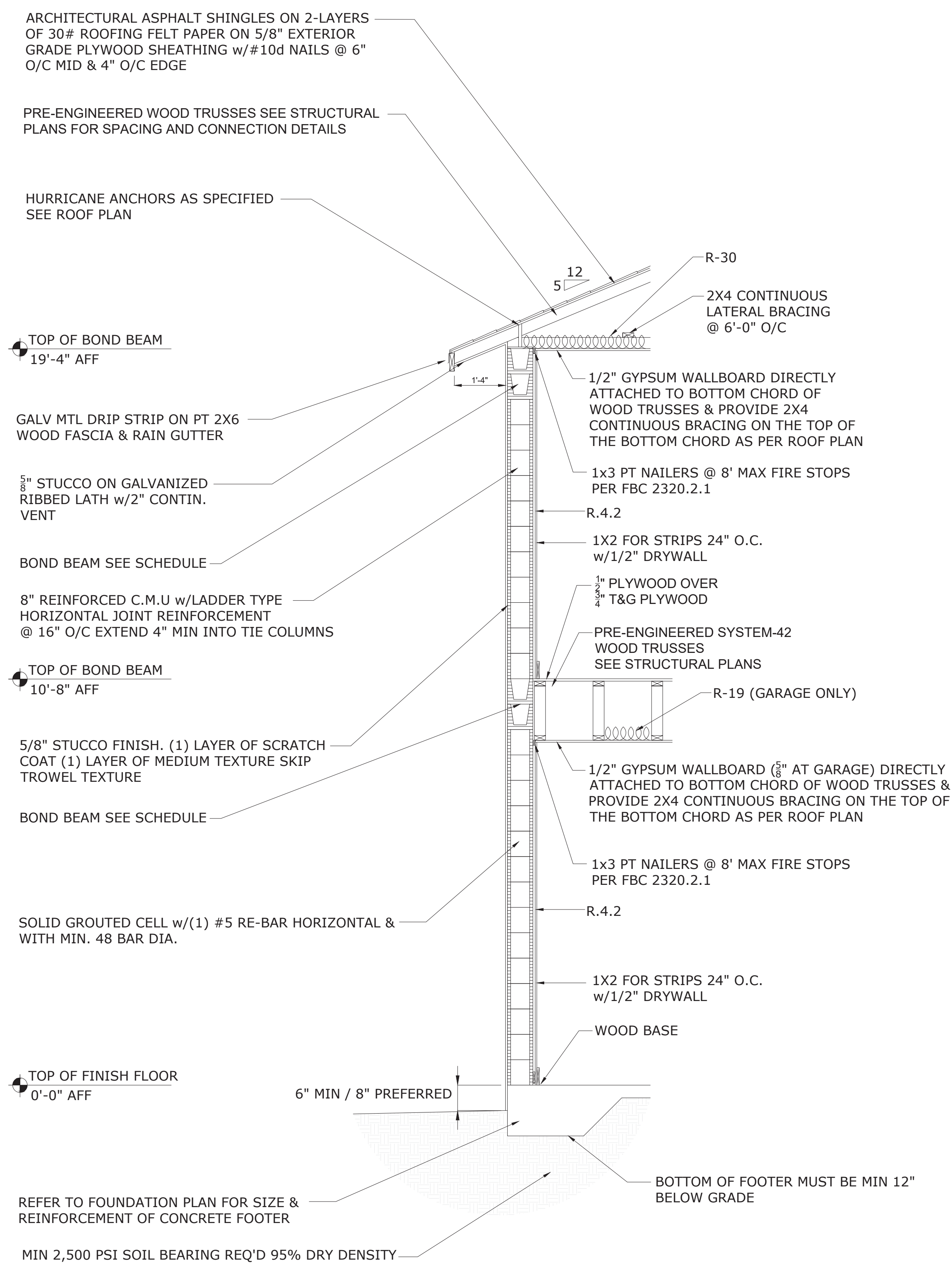
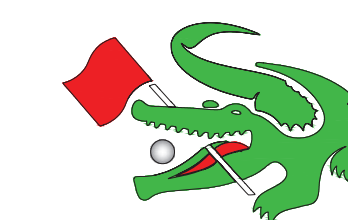
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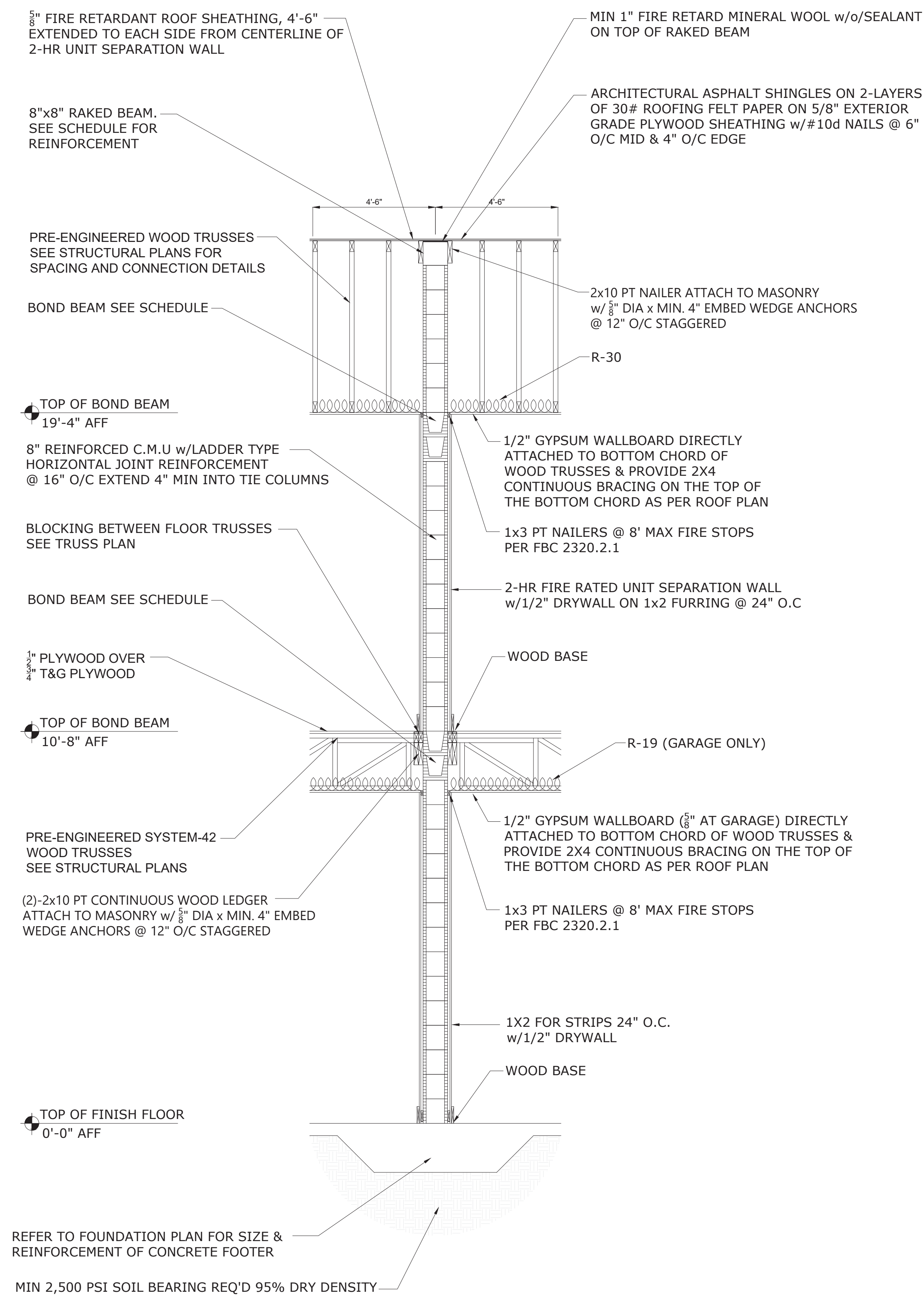
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**TYPICAL SECTION AT EXTERIOR BEARING WALL**

3/8"=1'-0"



**TYPICAL SECTION AT UNIT SEPARATION WALL**

3/8"=1'-0"

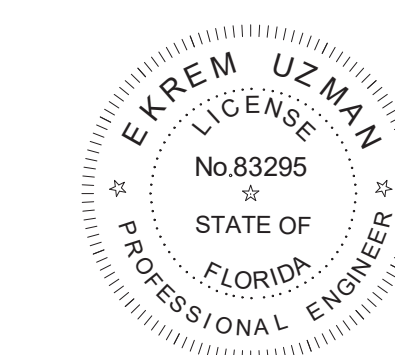
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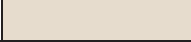

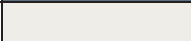











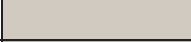

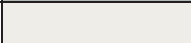




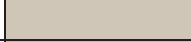

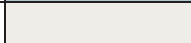

## GATOR TRACE ON THE GREENS TOWNHOMES, FT PIERCE, FL



### COLOR GUIDE


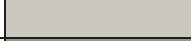



COLOR COMBO-1			
BUILDING #	1,6,7		
ROOF	GAF	GRAY TONE ARCH. SHINGLE	
W/D, AWNING, SHUTTER		WHITE	
MAIN BODY	SW6238	DIVINE WHITE	
SIDING STUCCO	SW6208	DISTANCE	
TRIMS	SW7005	PURE WHITE	
DRIVEWAY	STABIL	GRAND BAHAMA PAVERS	

COLOR COMBO-4			
BUILDING #	4		
ROOF	GAF	GRAY TONE ARCH. SHINGLE	
W/D, AWNING, SHUTTER		WHITE	
MAIN BODY	SW0055	LIGHT FRENCH GRAY	
SIDING STUCCO	SW6247	KRYPTON	
TRIMS	SW7005	PURE WHITE	
DRIVEWAY	STABIL	GRAND BAHAMA PAVERS	

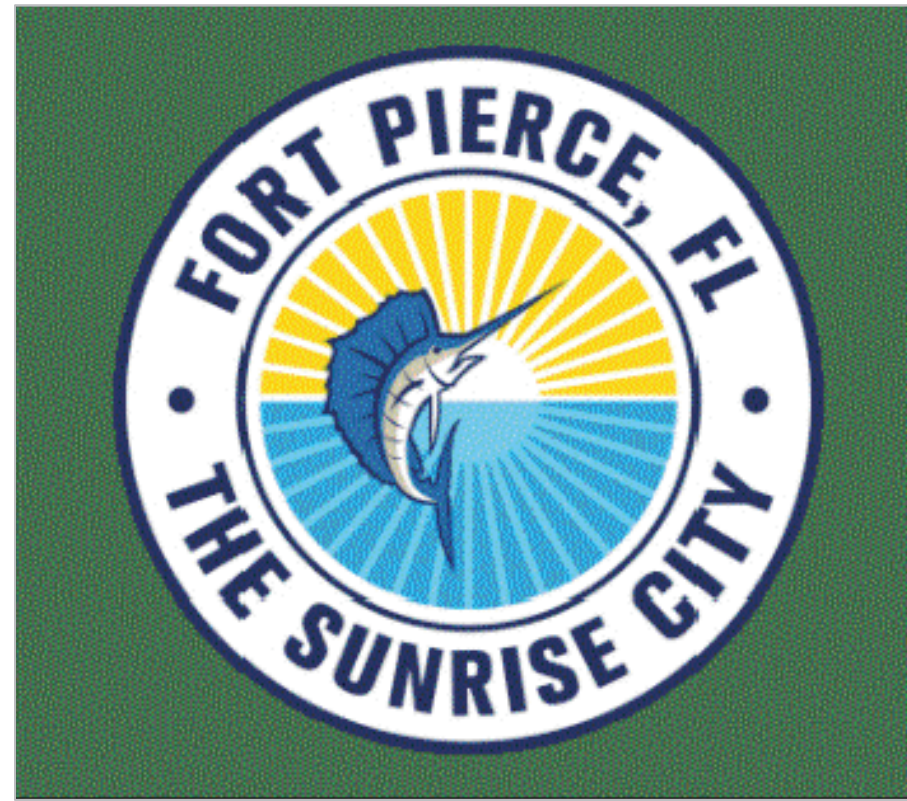
COLOR COMBO-2			
BUILDING #	2		
ROOF	GAF	GRAY TONE ARCH. SHINGLE	
W/D, AWNING, SHUTTER		WHITE	
MAIN BODY	SW7029	AGREEABLE GRAY	
SIDING STUCCO	SW7621	SILVERMIST	
TRIMS	SW7005	PURE WHITE	
DRIVEWAY	STABIL	GRAND BAHAMA PAVERS	

COLOR COMBO-5			
BUILDING #	5,10,11		
ROOF	GAF	GRAY TONE ARCH. SHINGLE	
W/D, AWNING, SHUTTER		WHITE	
MAIN BODY	SW7036	ACEESIBE BEIGE	
SIDING STUCCO	SW9055	BILLOWY BREEZE	
TRIMS	SW7005	PURE WHITE	
DRIVEWAY	STABIL	GRAND BAHAMA PAVERS	

COLOR COMBO-3			
BUILDING #	3,12,13		
ROOF	GAF	GRAY TONE ARCH. SHINGLE	
W/D, AWNING, SHUTTER		WHITE	
MAIN BODY	SW7016	MINDFUL GRAY	
SIDING STUCCO	SW6204	SEASALT	
TRIMS	SW7005	PURE WHITE	
DRIVEWAY	STABIL	GRAND BAHAMA PAVERS	

COLOR COMBO-6			
BUILDING #	8,9		
ROOF	GAF	GRAY TONE ARCH. SHINGLE	
W/D, AWNING, SHUTTER		WHITE	
MAIN BODY	SW7015	RESPONSE GRAY	
SIDING STUCCO	SW9130	EVERGREEN FOG	
TRIMS	SW7005	PURE WHITE	
DRIVEWAY	STABIL	GRAND BAHAMA PAVERS	

*As closely as possible approximate actual paint colors  
Paint Manufacturer: Sherwin-Williams*



# GATOR TRACE ON THE GREENS TOWNHOMES

## GATOR TRACE ON THE GREENS, LLC

SDP - SITE DEVELOPMENT PLAN

GATOR TRACE FORT PIERCE, FL 34982

SECTION 35, TOWNSHIP 35 SOUTH, RANGE 40 EAST, OF ST. LUCIE COUNTY, FLORIDA



ATLANTIC  
ENGINEERING  
SERVICES,  
INC.

IMTIAZ AHMED, PE  
PE#46102  
2826 WATERS EDGE CIRCLE  
GREENACRES, FLORIDA 33413  
PHONE - (561) 358-4140  
FAX - (561) 966-9242  
CERTIFICATE OF  
AUTHORIZATION NO.: 9390

CLIENT:  
GATOR TRACE ON  
THE GREENS, LLC  
17305 S DIXIE HWY.  
PALMETTO BAY, FL 33157

GATOR TRACE  
ON THE GREENS  
TOWNHOMES  
GATOR TRACE  
FORT PIERCE  
FL 34982



VICINITY MAP  
NTS

**LEGAL DESCRIPTION**

(PARCEL 3-A(5))  
A PARCEL OF LAND LYING IN SECTION 35, TOWNSHIP 35 SOUTH, RANGE 40 EAST, OF ST. LUCIE COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCE AT THE SOUTHWEST CORNER OF SECTION 35, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA; THENCE RUN NORTH 00°22'08" EAST ALONG THE WEST LINE OF SAID SECTION 35 AND THE WEST LINE OF GATOR TRACE BOULEVARD, A 100.00 FOOT WIDE RIGHT-OF-WAY, A DISTANCE OF 2668.95 FEET TO A CONCRETE MONUMENT AT THE WEST ONE QUARTER OF SAID SECTION 35; THENCE NORTH 00°28'00" EAST ALONG THE WEST LINE OF SECTION 35, A DISTANCE OF 55.75 FEET TO A POINT, SAID POINT LYING 2614.63 FEET SOUTH OF THE NORTHWEST CORNER OF SECTION 35, AS MEASURED ALONG THE WEST RIGHT-OF-WAY LINE OF SECTION 35 (SAID NORTHWEST CORNER OF SECTION 35 BEING A CONCRETE MONUMENT); THENCE RUN SOUTH 89°32'00" EAST, A DISTANCE OF 700.82 FEET; THENCE NORTH 42°22'55" EAST, A DISTANCE OF 105.02 FEET; THENCE SOUTH 55°57'42" EAST, A DISTANCE OF 72.12 FEET; THENCE SOUTH 69°25'57" EAST, A DISTANCE OF 251.46 FEET; THENCE SOUTH 66°30'15" EAST, A DISTANCE OF 53.96 FEET; THENCE NORTH 80°30'44" EAST, A DISTANCE OF 142.70 FEET; THENCE NORTH 74°20'45" EAST, A DISTANCE OF 139.43 FEET; THENCE NORTH 82°54'19" EAST, A DISTANCE OF 228.55 FEET TO A POINT ON THE SOUTH LINE OF A PLAT ENTITLED GARDEN VILLAS OF GATOR TRACE UNIT I, AS RECORDED IN PLAT BOOK 27, PAGE 20 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, SAID POINT BEING A NON-RADIAL INTERSECTION WITH A CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 155.00 FEET AND A CENTRAL ANGLE OF 46°42'43", A RADIAL TO SAID POINT BEARS SOUTH 83°55'21" EAST; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 126.37 FEET, TO A POINT OF TANGENCY; THENCE SOUTH 52°47'22" WEST, DISTANCE OF 35.94 AND THE POINT OF BEGINNING.  
FROM THE POINT OF BEGINNING: THENCE RUN SOUTH 37°12'38" EAST, A DISTANCE OF 78.22 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 170.00 FEET AND A CENTRAL ANGLE OF 18°53'07"; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 56.03 FEET TO A POINT OF TANGENCY; THENCE SOUTH 18°19'31" EAST, A DISTANCE OF 125.87 FEET; THENCE SOUTH 71°40'29" WEST, A DISTANCE OF 16.90 FEET; THENCE SOUTH 07°32'48" EAST, A DISTANCE OF 112.74 FEET; THENCE SOUTH 82°27'08" WEST, A DISTANCE OF 303.52 FEET; THENCE NORTH 82°47'15" WEST, A DISTANCE OF 340.09 FEET; THENCE NORTH 48°26'19" WEST, A DISTANCE OF 32.23 FEET; THENCE NORTH 07°13'00" EAST, A DISTANCE OF 89.06 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTHEAST, HAVING A RADIUS OF 330.00 FEET AND A CENTRAL ANGLE OF 13°20'50"; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 76.87 FEET TO A POINT OF TANGENCY; THENCE NORTH 20°33'50" EAST, A DISTANCE OF 49.32 FEET; THENCE SOUTH 69°26'11" EAST, A DISTANCE OF 0.58 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTH HAVING A RADIUS OF 360.00 FEET AND A CENTRAL ANGLE OF 33°08'13"; THENCE EASTERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 208.21 FEET TO A POINT OF TANGENCY; THENCE NORTH 77°25'36" EAST, A DISTANCE OF 113.50 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 330.00 FEET AND A CENTRAL ANGLE OF 24°38'14"; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 141.90 FEET TO A POINT OF TANGENCY; THENCE NORTH 52°47'22" EAST, A DISTANCE OF 75.31 FEET, RETURNING TO THE POINT OF BEGINNING.

TOGETHER WITH THE FOLLOWING DESCRIBED PARCEL:

(PARCEL 3-A(6))  
A PARCEL OF LAND LYING IN SECTION 35, TOWNSHIP 35 SOUTH, RANGE 40 EAST, OF ST. LUCIE COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

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FROM THE POINT OF BEGINNING; THENCE RUN SOUTH 83°51'49" EAST, A DISTANCE OF 119.48 FEET; THENCE SOUTH 72°16'51" EAST, A DISTANCE OF 81.32 FEET; THENCE SOUTH 49°18'00" EAST, A DISTANCE OF 64.44 FEET; THENCE SOUTH 26°19'10" EAST, A DISTANCE OF 273.83 FEET; THENCE SOUTH 55°03'54" WEST, A DISTANCE OF 125.19 FEET; THENCE SOUTH 68°21'36" WEST, A DISTANCE OF 196.78 FEET; THENCE SOUTH 82°27'08" WEST, A DISTANCE OF 58.88 FEET; THENCE NORTH 07°32'48" WEST, A DISTANCE OF 112.74 FEET; THENCE NORTH 71°40'29" EAST, A DISTANCE OF 16.90 FEET; THENCE NORTH 18°19'31" WEST, A DISTANCE OF 125.87 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 170.00 FEET AND A CENTRAL ANGLE OF 18°53'07"; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 56.03 FEET TO A POINT OF TANGENCY; THENCE NORTH 37°12'38" WEST, A DISTANCE OF 78.22 FEET; THENCE NORTH 52°47'22" EAST, A DISTANCE OF 35.94 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTHWEST AND HAVING A RADIUS OF 155.00 FEET AND A CENTRAL ANGLE OF 46°42'43"; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 126.37 FEET, RETURNING TO THE POINT OF BEGINNING.



LOCATION MAP

**SHEET INDEX:**

- C-1 COVER
- C-2 SITE PLAN
- C-3 AERIAL VIEW
- C-4 PAVING, GRADING & DRAINAGE PLAN
- C-5 WATER & SEWER PLAN
- C-5A SEWER PROFILE
- C-6 GENERAL UTILITIES NOTES & DETAILS
- C-7 WATER DETAILS
- C-8 SEWER DETAILS
- C-9 DRAINAGE DETAILS - 1
- C-10 DRAINAGE DETAILS - 2
- C-11 SECTIONS
- C-12 FIRE HYDRANT, TRAFFIC SIGN & PAVEMENT PLAN
- C-13 EROSION CONTROL & SPP PLAN - PHASE 1
- C-14 EROSION CONTROL & SPP PLAN - PHASE 2
- C-15 EROSION CONTROL & SPP DETAILS

NOTE: ALL CONSTRUCTION WILL COMPLY WITH SECTIONS 119, 123, AND 125 OF THE CITY OF FORT PIERCE CODE OF ORDINANCES.

TO THE BEST OF MY KNOWLEDGE, THE PLANS AND SPECIFICATIONS SUBMITTED HERewith COMPLY WITH EXISTING INTERPRETATIONS AND PROVISIONS OF THE APPLICABLE BUILDING CODES.

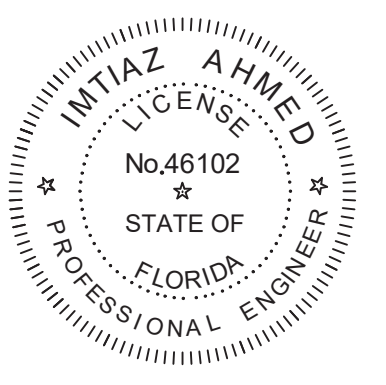
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REVISIONS	DATE

SHEET:

**C-1**

COVER SHEET



**ATLANTIC  
ENGINEERING  
SERVICES,  
INC.**

IMTIAZ AHMED, PE  
PE#46102  
2826 WATERS EDGE CIRCLE  
GREENACRES, FLORIDA 33413  
PHONE - (561) 358-4140  
FAX - (561) 966-9242  
CERTIFICATE OF  
AUTHORIZATION NO.: 9390

**CLIENT:**  
GATOR TRACE ON  
THE GREENS, LLC  
17305 S DIXIE HWY.  
PALMETTO BAY, FL 33157

**GATOR TRACE  
ON THE GREENS  
TOWNHOMES**

GATOR TRACE  
FORT PIERCE, FL 34982

**APPLICANT:**  
GATOR TRACE ON THE GREENS, LLC  
17305 S DIXIE HWY. PALMETTO BAY, FL 33157

**OWNER / DEVELOPER:**  
GATOR TRACE ON THE GREENS, LLC  
17305 S DIXIE HWY. PALMETTO BAY, FL 33157

**ENGINEER:**  
ATLANTIC ENGINEERING SERVICES, INC.  
IMTIAZ AHMED, PE  
2826 WATERS EDGE CIRCLE  
GREENACRES, FLORIDA 33413  
PHONE - (561) 358-4140  
FAX - (561) 966-9242

**ENVIRONMENTAL:**  
ENGINEERING DESIGN & CONSTRUCTION, INC. ENVIRONMENTAL  
10250 SW VILLAGE PARKWAY  
PORT SAINT LUCIE, FLORIDA 34987  
OFFICE: (772) 223 5200

**GEOTECHNICAL:**  
ANDERSEN ANDRE CONSULTING ENGINEERS, INC.  
834 SW SWAN AVENUE  
PORT ST. LUCIE, FL 34983  
PHONE: (772) 807 9191

**LANDSCAPING ARCHITECT:**  
SABINE MARCKS  
LANDSCAPE DESIGN ASSOCIATES  
LANDSCAPE ARCHITECTURE, LAND PLANNING  
PHONE: (772) 971-6060

**SURVEYOR:**  
ENGINEERING DESIGN & CONSTRUCTION, INC. SURVEYORS  
10250 SW VILLAGE PARKWAY  
PORT SAINT LUCIE, FLORIDA 34987  
OFFICE: 772.462.2455

**TRAFFIC ENGINEERING:**  
ATLANTIC ENGINEERING SERVICES, INC.  
IMTIAZ AHMED, PE  
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PROPERTY INFO	
ZONING	PD
FOLIO	2435-311-0001-000/4 & 2435-243-0001-000/6
LEGAL DESCRIPTION	SEE ATACHED
FLOOD ZONE / BFE	X / +19.00'

SITE DATA		
ZONING	PD	
CURRENT / PROP.USAGE	TOWNHOUSE DEVELOPMENT	
DWELLING ALLOWANCE	12-UNITS / ACRE (INNOVATIVE)	
DWELLING ALLOWED ON THIS LOT	6.94 AC x 12 = 83.28 UNITS	
DWELLING PROVIDED	67 UNITS	
LOT COVERAGE DATA		
NAME	AREA	% OF LOT
LOT SIZE	302,306 SF	100.00 %
BUILDING FOOTPRINTS	83,200 SF	27.52 %
PAVER DRIVEWAYS	35,689 SF	11.81 %
ASPHALT, GUTTER, SIDEWALK ETC	69,851 SF	23.11 %
TOTAL IMPERVIOUS ABOVE	188,740 SF	62.43 %
REMAINING PERVIOUS	113,566 SF	37.57 %

PARKING DATA		
NAME	REQUIRED	PROVIDED
SIDE-BY-SIDE PARKING (18x25 MIN)	(2) PER UNIT	(2) PER UNIT
GARAGE PARKING	0	(1)20'UNIT&(2)25'UNIT
TOTAL RESIDENT PARKING SPACES	(2) PER UNIT	(3)20'UNIT&(4)25'UNIT
VISITOR PARKING SPACES (9.5' WIDE)	0	(3) SPACES
POST OFFICE PARKING (9.5' WIDE)	0	(1) SPACES

UTILITY SERVICE:	
WATER SERVICE:	FORT PIERCE UTILITIES AUTHORITY
SEWAGE SERVICE:	FORT PIERCE UTILITIES AUTHORITY
ELECTRIC SERVICE:	FORT PIERCE UTILITIES AUTHORITY
CABLE SERVICE	FORT PIERCE UTILITIES AUTHORITY

SOLID WASTE COLLECTION	
TRASH & SOLID WASTE	(2) 6 YD DUMPSTER - CITY OF FORT PIERCE

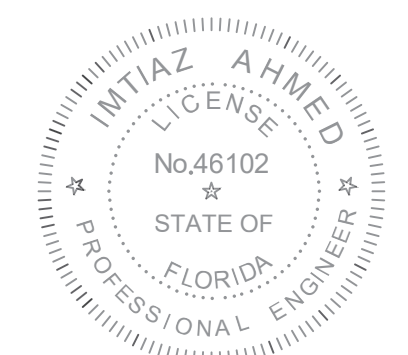
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REVISIONS                      DATE

SHEET:

**C-2**

SITE DATA





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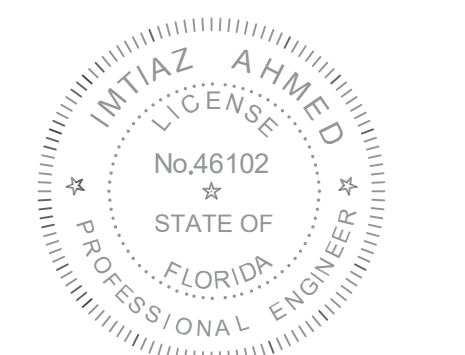
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SHEET:

**C-3**

AERIAL VIEW



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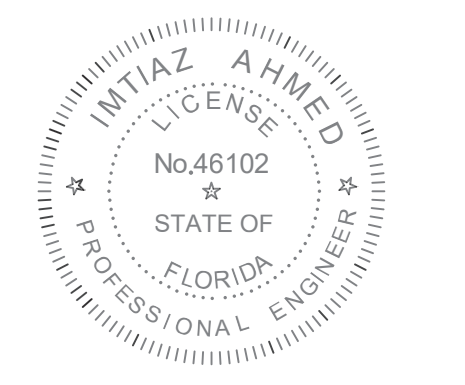
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SHEET:

**C-4**

PAVING, GRADING &  
DRAINAGE PLAN



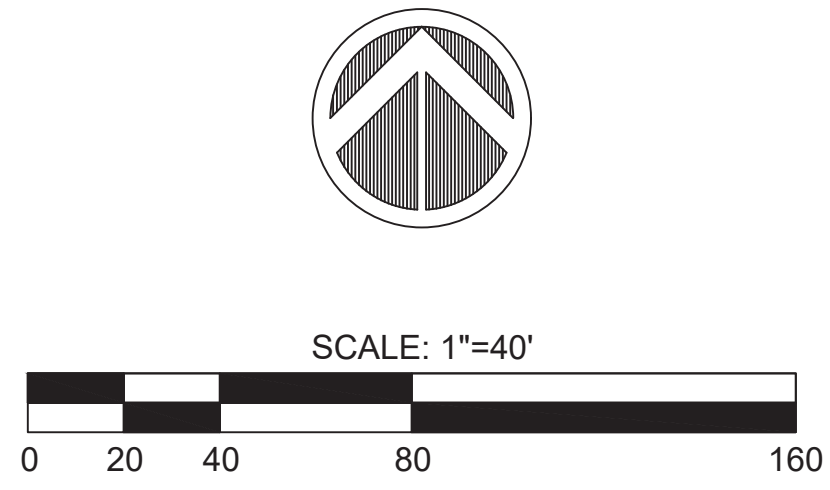
ELEVATIONS SHOWN HEREON ARE  
REFERENCED TO THE NATIONAL GEODETIC  
VERTICAL DATUM OF 1988. (NAVD 88)

**Sunshine811**  
Call 811 or www.sunshine811.com two full  
business days before digging to have utilities  
located and marked.  
*Check positive response codes before you dig!*

- GRADING NOTES:**
- GRADE PERIMETER OF PROPERTY WITH EARTH BERM  
TO PROVIDE MIN ELEV. OF **18.85 NAVD**.
  - GRADE PERVIOUS AREA TO PROVIDE POSITIVE  
DRAINAGE WITH MIN. SLOPE OF **0.5% SLOPE**

**STORM WATER MANAGEMENT DESIGN  
SUMMARY TABLE (1988 NAVD)**

	DESIGN ELEVATION
CONTROL ELEVATION	13.5' NAVD
MIN. ROAD CROWN	17.50' NAVD
MIN. FINISH FLOOR	20.50' NAVD
MIN. PERIMETER BERN	18.85' NAVD



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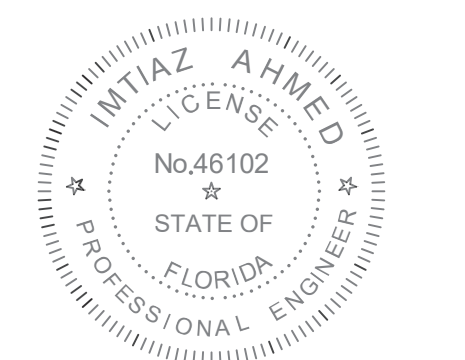
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SHEET:

**C-5**

WATER & SEWER PLAN



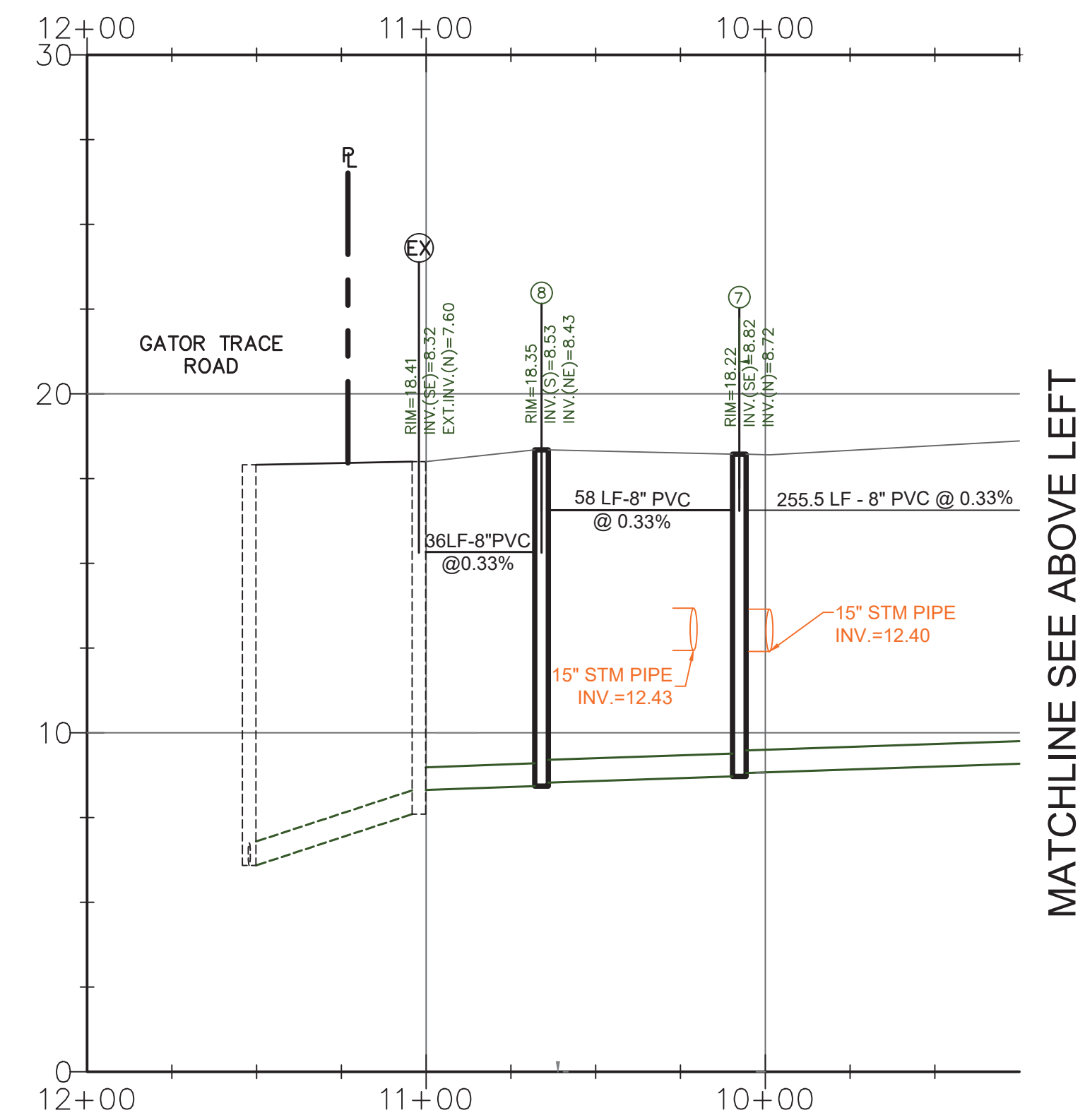
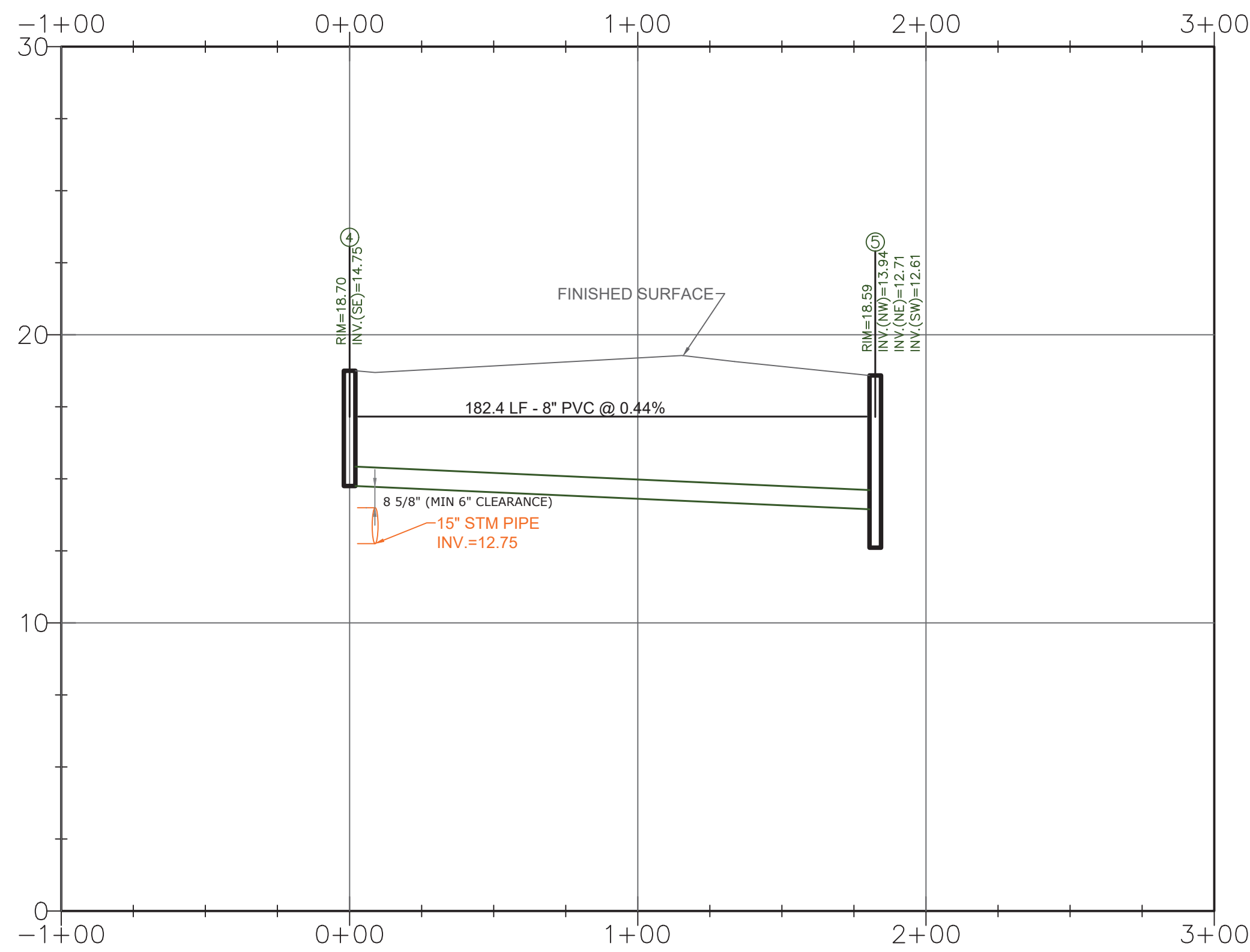
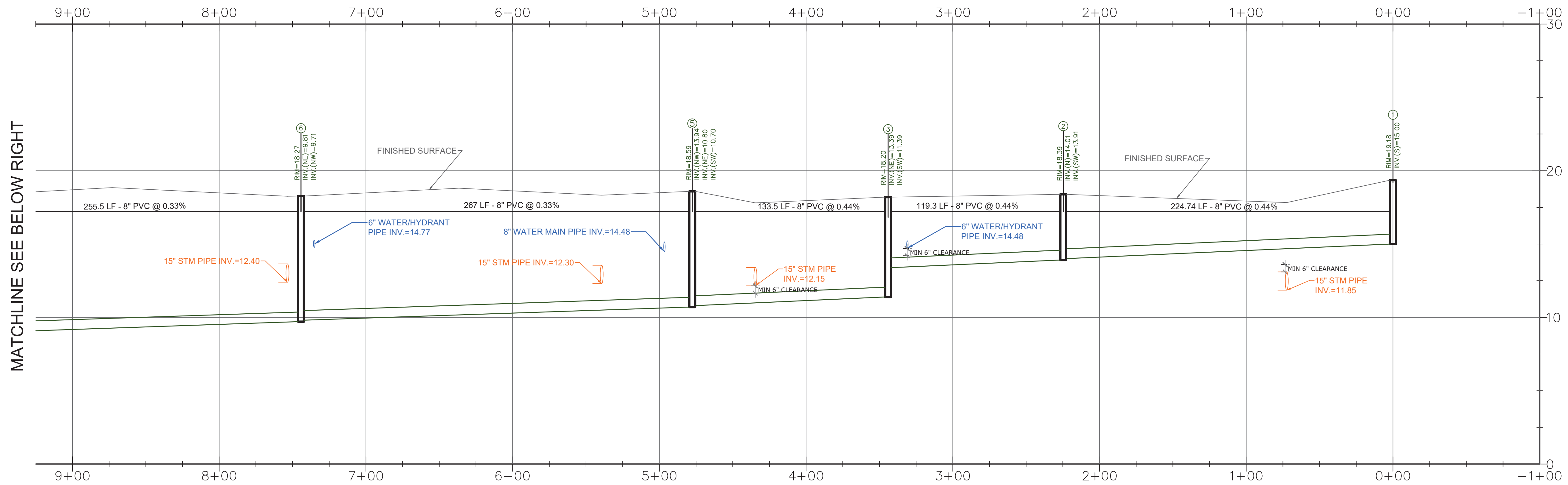
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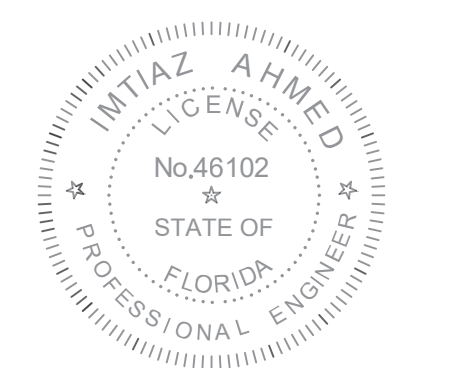


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REVISIONS	DATE

**SHEET:**  
**C-5A**  
SEWER PROFILES



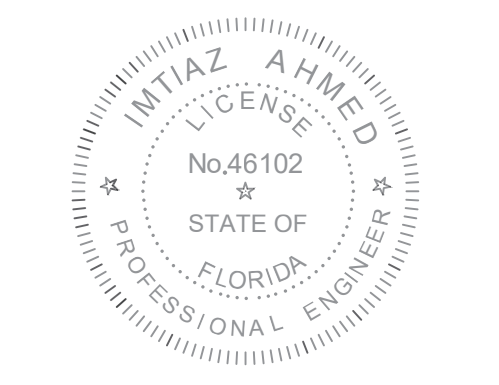
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SHEET:

**C-6**

GENERAL UTILITIES NOTES  
& DETAILS



**FORT PIERCE UTILITIES AUTHORITY  
WATER DISTRIBUTION NOTES**

1. ALL CONSTRUCTION MATERIAL, INSTALLATION AND TESTING SHALL CONFORM TO THE STANDARD SPECIFICATIONS OF THE FORT PIERCE UTILITIES AUTHORITY.
2. WATER MAINS WHERE SPECIFIED AS POLYVINYL CHLORIDE (PVC) SHALL CONFORM TO AWWA C-300 OR C-305, PRESSURE CLASS 150, OR 110. WATER MAINS WHERE SPECIFIED AS POLYETHYLENE (PE) SHALL CONFORM TO AWWA C-301 OR C-304, STANDARD CODE DESIGNATION PACKAGE, PIPE CLASS 200, DIMENSION RATIO (DR) 17 FOR DIRECT BURY, (DR) 11 FOR UNIDIRECTIONAL BURNING, AND (DR) 8 FOR 2 INCH AND SMALLER DIAMETERS.
3. WATER MAIN, WHERE SPECIFIED AS DUCTILE IRON PIPE, SHALL CONFORM TO ANSI/AWWA C115/A21.51 AND SHALL BE PRESSURE CLASS 250 (MINIMUM).
4. POLYVINYL CHLORIDE WATER MAIN SHALL BE BLUE IN COLOR OR WHITE IN COLOR WITH BLUE STRIPES. THE USE OF IDENTIFICATION TAPE ATTACHED TO THE TOP OF THE PIPE MAY BE USED IN LIEU OF MARKING ON THE PIPE. ALSO DIP PIPE SHALL REQUIRE THE USE OF IDENTIFICATION TAPE AND TRINK WIRE.
5. FITTINGS SHALL BE DUCTILE IRON CONFORMING TO ANSI/AWWA C110/A21.10, CLASS 250 MIN., CEMENT LINED AND FACTORY COATED.
6. GATE VALVES SHALL BE MILLER RESISTENT SEAT, KENNEDY K&H-SEAL, AMERICAN OR APPROVED EQUAL. VALVES SHALL CONFORM TO AWWA C-508.
7. WATER LINES SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH FPUA DESIGN AND CONSTRUCTION STANDARDS. THE CONTRACTOR SHALL SUBMIT CERTIFIED DENSITY TESTS AS REQUIRED BY FPUA ENGINEERING AND THE CITY ENGINEERING DEPARTMENT. IN CASES WHERE PAVED AREAS FALL WITHIN THE JURISDICTION OF LOCAL OR STATE AGENCIES, THE COMPACTOR REQUIREMENTS SHALL NOT BE LESS THAN THE MINIMUM REQUIRED BY THE APPROPRIATE RESPONSIBLE AGENCY.
8. NO FIELD CHANGES OR DEVIATIONS FROM THE DESIGN SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE FPUA ENGINEER AND CITY/COUNTY/FOOT ENGINEER.
9. THE CONTRACTOR SHALL NOTIFY FPUA ENGINEERING AND CITY/COUNTY/FOOT ENGINEERING 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
10. A PRE-CONSTRUCTION CONFERENCE BETWEEN THE ENGINEER, THE CONTRACTOR, FPUA AND CITY/ COUNTY/FOOT ENGINEER SHALL BE MANDATORY PRIOR TO COMMENCEMENT OF CONSTRUCTION.
11. TRAFFIC CONTROL, BARRIERS, ETC., SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS AND APPROVED BY THE CITY ENGINEER.
12. MINIMUM COVER SHALL BE 36 INCHES EXCEPT AS APPROVED BY THE UTILITIES ENGINEER AND CITY/ COUNTY/FOOT ENGINEER. PIPES WITH COVER LESS THAN 30 INCHES SHALL BE CONSTRUCTED OF DUCTILE IRON OR IN PVC CASING.
13. DISTURBED AREAS SHALL BE RESTORED IN CONFORMANCE WITH THE APPLICABLE GOVERNING AGENCY REQUIREMENTS.
14. EXISTING UTILITIES AND DRAINAGE SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION AND PROTECTED BY THE CONTRACTOR.
15. WATER MAINS SHALL BE TESTED AND DISINFECTED IN ACCORDANCE WITH THE APPLICABLE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND AWWA C-651 FOR DISINFECTION.

NO.	REVISION	DATE	BY	FOR

WATER DISTRIBUTION  
M-1  
M-2  
M-3  
M-4  
M-5  
M-6  
M-7  
M-8  
M-9  
M-10  
M-11  
M-12  
M-13

**FORT PIERCE UTILITIES AUTHORITY WASTEWATER CONSTRUCTION NOTES**

1. ALL CONSTRUCTION MATERIAL, INSTALLATION AND TESTING SHALL CONFORM TO THE STANDARD SPECIFICATIONS OF THE FORT PIERCE UTILITIES AUTHORITY.
2. GRAVITY SEWER MAIN SHALL BE POLYVINYL CHLORIDE (PVC) 20, 24, 30, 36, 42, 48, 54, 60, 66, 72, 78, 84, 90, 96, 102, 108, 114, 120, 126, 132, 138, 144, 150, 156, 162, 168, 174, 180, 186, 192, 198, 204, 210, 216, 222, 228, 234, 240, 246, 252, 258, 264, 270, 276, 282, 288, 294, 300, 306, 312, 318, 324, 330, 336, 342, 348, 354, 360, 366, 372, 378, 384, 390, 396, 402, 408, 414, 420, 426, 432, 438, 444, 450, 456, 462, 468, 474, 480, 486, 492, 498, 504, 510, 516, 522, 528, 534, 540, 546, 552, 558, 564, 570, 576, 582, 588, 594, 600, 606, 612, 618, 624, 630, 636, 642, 648, 654, 660, 666, 672, 678, 684, 690, 696, 702, 708, 714, 720, 726, 732, 738, 744, 750, 756, 762, 768, 774, 780, 786, 792, 798, 804, 810, 816, 822, 828, 834, 840, 846, 852, 858, 864, 870, 876, 882, 888, 894, 900, 906, 912, 918, 924, 930, 936, 942, 948, 954, 960, 966, 972, 978, 984, 990, 996, 1002, 1008, 1014, 1020, 1026, 1032, 1038, 1044, 1050, 1056, 1062, 1068, 1074, 1080, 1086, 1092, 1098, 1104, 1110, 1116, 1122, 1128, 1134, 1140, 1146, 1152, 1158, 1164, 1170, 1176, 1182, 1188, 1194, 1200, 1206, 1212, 1218, 1224, 1230, 1236, 1242, 1248, 1254, 1260, 1266, 1272, 1278, 1284, 1290, 1296, 1302, 1308, 1314, 1320, 1326, 1332, 1338, 1344, 1350, 1356, 1362, 1368, 1374, 1380, 1386, 1392, 1398, 1404, 1410, 1416, 1422, 1428, 1434, 1440, 1446, 1452, 1458, 1464, 1470, 1476, 1482, 1488, 1494, 1500, 1506, 1512, 1518, 1524, 1530, 1536, 1542, 1548, 1554, 1560, 1566, 1572, 1578, 1584, 1590, 1596, 1602, 1608, 1614, 1620, 1626, 1632, 1638, 1644, 1650, 1656, 1662, 1668, 1674, 1680, 1686, 1692, 1698, 1704, 1710, 1716, 1722, 1728, 1734, 1740, 1746, 1752, 1758, 1764, 1770, 1776, 1782, 1788, 1794, 1800, 1806, 1812, 1818, 1824, 1830, 1836, 1842, 1848, 1854, 1860, 1866, 1872, 1878, 1884, 1890, 1896, 1902, 1908, 1914, 1920, 1926, 1932, 1938, 1944, 1950, 1956, 1962, 1968, 1974, 1980, 1986, 1992, 1998, 2004, 2010, 2016, 2022, 2028, 2034, 2040, 2046, 2052, 2058, 2064, 2070, 2076, 2082, 2088, 2094, 2100, 2106, 2112, 2118, 2124, 2130, 2136, 2142, 2148, 2154, 2160, 2166, 2172, 2178, 2184, 2190, 2196, 2202, 2208, 2214, 2220, 2226, 2232, 2238, 2244, 2250, 2256, 2262, 2268, 2274, 2280, 2286, 2292, 2298, 2304, 2310, 2316, 2322, 2328, 2334, 2340, 2346, 2352, 2358, 2364, 2370, 2376, 2382, 2388, 2394, 2400, 2406, 2412, 2418, 2424, 2430, 2436, 2442, 2448, 2454, 2460, 2466, 2472, 2478, 2484, 2490, 2496, 2502, 2508, 2514, 2520, 2526, 2532, 2538, 2544, 2550, 2556, 2562, 2568, 2574, 2580, 2586, 2592, 2598, 2604, 2610, 2616, 2622, 2628, 2634, 2640, 2646, 2652, 2658, 2664, 2670, 2676, 2682, 2688, 2694, 2700, 2706, 2712, 2718, 2724, 2730, 2736, 2742, 2748, 2754, 2760, 2766, 2772, 2778, 2784, 2790, 2796, 2802, 2808, 2814, 2820, 2826, 2832, 2838, 2844, 2850, 2856, 2862, 2868, 2874, 2880, 2886, 2892, 2898, 2904, 2910, 2916, 2922, 2928, 2934, 2940, 2946, 2952, 2958, 2964, 2970, 2976, 2982, 2988, 2994, 3000, 3006, 3012, 3018, 3024, 3030, 3036, 3042, 3048, 3054, 3060, 3066, 3072, 3078, 3084, 3090, 3096, 3102, 3108, 3114, 3120, 3126, 3132, 3138, 3144, 3150, 3156, 3162, 3168, 3174, 3180, 3186, 3192, 3198, 3204, 3210, 3216, 3222, 3228, 3234, 3240, 3246, 3252, 3258, 3264, 3270, 3276, 3282, 3288, 3294, 3300, 3306, 3312, 3318, 3324, 3330, 3336, 3342, 3348, 3354, 3360, 3366, 3372, 3378, 3384, 3390, 3396, 3402, 3408, 3414, 3420, 3426, 3432, 3438, 3444, 3450, 3456, 3462, 3468, 3474, 3480, 3486, 3492, 3498, 3504, 3510, 3516, 3522, 3528, 3534, 3540, 3546, 3552, 3558, 3564, 3570, 3576, 3582, 3588, 3594, 3600, 3606, 3612, 3618, 3624, 3630, 3636, 3642, 3648, 3654, 3660, 3666, 3672, 3678, 3684, 3690, 3696, 3702, 3708, 3714, 3720, 3726, 3732, 3738, 3744, 3750, 3756, 3762, 3768, 3774, 3780, 3786, 3792, 3798, 3804, 3810, 3816, 3822, 3828, 3834, 3840, 3846, 3852, 3858, 3864, 3870, 3876, 3882, 3888, 3894, 3900, 3906, 3912, 3918, 3924, 3930, 3936, 3942, 3948, 3954, 3960, 3966, 3972, 3978, 3984, 3990, 3996, 4002, 4008, 4014, 4020, 4026, 4032, 4038, 4044, 4050, 4056, 4062, 4068, 4074, 4080, 4086, 4092, 4098, 4104, 4110, 4116, 4122, 4128, 4134, 4140, 4146, 4152, 4158, 4164, 4170, 4176, 4182, 4188, 4194, 4200, 4206, 4212, 4218, 4224, 4230, 4236, 4242, 4248, 4254, 4260, 4266, 4272, 4278, 4284, 4290, 4296, 4302, 4308, 4314, 4320, 4326, 4332, 4338, 4344, 4350, 4356, 4362, 4368, 4374, 4380, 4386, 4392, 4398, 4404, 4410, 4416, 4422, 4428, 4434, 4440, 4446, 4452, 4458, 4464, 4470, 4476, 4482, 4488, 4494, 4500, 4506, 4512, 4518, 4524, 4530, 4536, 4542, 4548, 4554, 4560, 4566, 4572, 4578, 4584, 4590, 4596, 4602, 4608, 4614, 4620, 4626, 4632, 4638, 4644, 4650, 4656, 4662, 4668, 4674, 4680, 4686, 4692, 4698, 4704, 4710, 4716, 4722, 4728, 4734, 4740, 4746, 4752, 4758, 4764, 4770, 4776, 4782, 4788, 4794, 4800, 4806, 4812, 4818, 4824, 4830, 4836, 4842, 4848, 4854, 4860, 4866, 4872, 4878, 4884, 4890, 4896, 4902, 4908, 4914, 4920, 4926, 4932, 4938, 4944, 4950, 4956, 4962, 4968, 4974, 4980, 4986, 4992, 4998, 5004, 5010, 5016, 5022, 5028, 5034, 5040, 5046, 5052, 5058, 5064, 5070, 5076, 5082, 5088, 5094, 5100, 5106, 5112, 5118, 5124, 5130, 5136, 5142, 5148, 5154, 5160, 5166, 5172, 5178, 5184, 5190, 5196, 5202, 5208, 5214, 5220, 5226, 5232, 5238, 5244, 5250, 5256, 5262, 5268, 5274, 5280, 5286, 5292, 5298, 5304, 5310, 5316, 5322, 5328, 5334, 5340, 5346, 5352, 5358, 5364, 5370, 5376, 5382, 5388, 5394, 5400, 5406, 5412, 5418, 5424, 5430, 5436, 5442, 5448, 5454, 5460, 5466, 5472, 5478, 5484, 5490, 5496, 5502, 5508, 5514, 5520, 5526, 5532, 5538, 5544, 5550, 5556, 5562, 5568, 5574, 5580, 5586, 5592, 5598, 5604, 5610, 5616, 5622, 5628, 5634, 5640, 5646, 5652, 5658, 5664, 5670, 5676, 5682, 5688, 5694, 5700, 5706, 5712, 5718, 5724, 5730, 5736, 5742, 5748, 5754, 5760, 5766, 5772, 5778, 5784, 5790, 5796, 5802, 5808, 5814, 5820, 5826, 5832, 5838, 5844, 5850, 5856, 5862, 5868, 5874, 5880, 5886, 5892, 5898, 5904, 5910, 5916, 5922, 5928, 5934, 5940, 5946, 5952, 5958, 5964, 5970, 5976, 5982, 5988, 5994, 6000, 6006, 6012, 6018, 6024, 6030, 6036, 6042, 6048, 6054, 6060, 6066, 6072, 6078, 6084, 6090, 6096, 6102, 6108, 6114, 6120, 6126, 6132, 6138, 6144, 6150, 6156, 6162, 6168, 6174, 6180, 6186, 6192, 6198, 6204, 6210, 6216, 6222, 6228, 6234, 6240, 6246, 6252, 6258, 6264, 6270, 6276, 6282, 6288, 6294, 6300, 6306, 6312, 6318, 6324, 6330, 6336, 6342, 6348, 6354, 6360, 6366, 6372, 6378, 6384, 6390, 6396, 6402, 6408, 6414, 6420, 6426, 6432, 6438, 6444, 6450, 6456, 6462, 6468, 6474, 6480, 6486, 6492, 6498, 6504, 6510, 6516, 6522, 6528, 6534, 6540, 6546, 6552, 6558, 6564, 6570, 6576, 6582, 6588, 6594, 6600, 6606, 6612, 6618, 6624, 6630, 6636, 6642, 6648, 6654, 6660, 6666, 6672, 6678, 6684, 6690, 6696, 6702, 6708, 6714, 6720, 6726, 6732, 6738, 6744, 6750, 6756, 6762, 6768, 6774, 6780, 6786, 6792, 6798, 6804, 6810, 6816, 6822, 6828, 6834, 6840, 6846, 6852, 6858, 6864, 6870, 6876, 6882, 6888, 6894, 6900, 6906, 6912, 6918, 6924, 6930, 6936, 6942, 6948, 6954, 6960, 6966, 6972, 6978, 6984, 6990, 6996, 7002, 7008, 7014, 7020, 7026, 7032, 7038, 7044, 7050, 7056, 7062, 7068, 7074, 7080, 7086, 7092, 7098, 7104, 7110, 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8112, 8118, 8124, 8130, 8136, 8142, 8148, 8154, 8160, 8166, 8172, 8178, 8184, 8190, 8196, 8202, 8208, 8214, 8220, 8226, 8232, 8238, 8244, 8250, 8256, 8262, 8268, 8274, 8280, 8286, 8292, 8298, 8304, 8310, 8316, 8322, 8328, 8334, 8340, 8346, 8352, 8358, 8364, 8370, 8376, 8382, 8388, 8394, 8400, 8406, 8412, 8418, 8424, 8430, 8436, 8442, 8448, 8454, 8460, 8466, 8472, 8478, 8484, 8490, 8496, 8502, 8508, 8514, 8520, 8526, 8532, 8538, 8544, 8550, 8556, 8562, 8568, 8574, 8580, 8586, 8592, 8598, 8604, 8610, 8616, 8622, 8628, 8634, 8640, 8646, 8652, 8658, 8664, 8670, 8676, 8682, 8688, 8694, 8700, 8706, 8712, 8718, 8724, 8730, 8736, 8742, 8748, 8754, 8760, 8766, 8772, 8778, 8784, 8790, 8796, 8802, 8808, 8814, 8820, 8826, 8832, 8838, 8844, 8850, 8856, 8862, 8868, 8874, 8880, 8886, 8892, 8898, 8904, 8910, 8916, 8922, 8928, 8934, 8940, 8946, 8952, 8958, 8964, 8970, 8976, 8982, 8988, 8994, 9000, 9006, 9012, 9018, 9024, 9030, 9036, 9042, 9048, 9054, 9060, 9066, 9072, 9078, 9084, 9090, 9096, 9102, 9108, 9114, 9120, 9126, 9132, 9138, 9144, 9150, 9156, 9162, 9168, 9174, 9180, 9186, 9192, 9198, 9204, 9210, 9216, 9222, 9228, 9234, 9240, 9246, 9252, 9258, 9264, 9270, 9276, 9282, 9288, 9294, 9300, 9306, 9312, 9318, 9324, 9330, 9336, 9342, 9348, 9354, 9360, 9366, 9372, 9378, 9384, 9390, 9396, 9402, 9408, 9414, 9420, 9426, 9432, 9438, 9444, 9450, 9456, 9462, 9468, 9474, 9480, 9486, 9492, 9498, 9504, 9510, 9516, 9522, 9528, 9534, 9540, 9546, 9552, 9558, 9564, 9570, 9576, 9582, 9588, 9594, 9600, 9606, 9612, 9618, 9624, 9630, 9636, 9642, 9648, 9654, 9660, 9666, 9672, 9678, 9684, 9690, 9696, 9702, 9708, 9714, 9720, 9726, 9732, 9738, 9744, 9750, 9756, 9762, 9768, 9774, 9780, 9786, 9792, 9798, 9804, 9810, 9816, 9822, 9828, 9834, 9840, 9846, 9852, 9858, 9864, 9870, 9876, 9882, 9888, 9894, 9900, 9906, 9912, 9918, 9924, 9930, 9936, 9942, 9948, 9954, 9960, 9966, 9972, 9978, 9984, 9990, 9996, 10002, 10008, 10014, 10020, 10026, 10032, 10038, 10044, 10050, 10056, 10062, 10068, 10074, 10080, 10086, 10092, 10098, 10104, 10110, 10116, 10122, 10128, 10134, 10140, 10146, 10152, 10158, 10164, 10170, 10176, 10182, 10188, 10194, 10200, 10206, 10212, 10218, 10224, 10230, 10236, 10242, 10248, 10254, 10260, 10266, 10272, 10278, 10284, 10290, 10296, 10302, 10308, 10314, 10320, 10326, 10332, 10338, 10344, 10350, 10356, 10362, 10368, 10374, 10380, 10386, 10392, 10398, 10404, 10410, 10416, 10422, 10428, 10434, 10440, 10446, 10452, 10458, 10464, 1047



**GENERAL POLICY**

WHERE COST JUSTIFIED AND OPERATIONALLY FEASIBLE, IT IS THE GENERAL POLICY OF THE F.P.U.A. TO PROVIDE WATER, ELECTRIC, SEWER AND GAS SERVICE FROM THE STREET SIDE OF A PIECE OF PROPERTY, DEPENDING ON FACTORS SUCH AS LOCATION OF EXISTING SUPPLY SOURCE FACILITIES, REAR OR SIDE LOT LINE SUPPLY MAY BE AUTHORIZED, BUT ONLY WITH PRIOR APPROVAL FROM THE F.P.U.A.

**NOTES:**

1. THE PREFERRED POINT OF CONNECTION TO THE F.P.U.A. SEWER LATERAL, AREA (1), SHALL BE LOCATED IN THE CORNER OF THE PROPERTY, SELECTED BY THE F.P.U.A. AS THE BEST LOCATION FOR THE LATERAL. EVERY EFFORT WILL BE MADE TO SELECT THE CORNER WHERE TWO LATERALS CAN BE CONNECTED IN A "Y" CONFIGURATION AS SHOWN.
2. IF PHYSICAL BARRIERS OR OTHER OBSTACLES PREVENT THE CONNECTION OF THE BUILDING SERVICE LINE TO THE F.P.U.A. SEWER LATERAL, WITHIN AREA (2), THE F.P.U.A. ENGINEERING DEPARTMENT MAY AUTHORIZE THE CONNECTION ALONG THE PORTION OF THE R/W LINE MARKED AREA (3).
3. HORIZONTAL SEPARATION OF WATER AND WASTEWATER SERVICES SHOULD BE A MINIMUM OF SIX FEET AND PREFERABLY TO FEET.
4. THE WASTEWATER LATERAL SHALL BE LOCATED WITHIN RIGHT-OF-WAY AND TERMINATE AT THE PROPERTY LINE.
5. THE F.P.U.A. SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF THE WASTEWATER LATERAL WITHIN THE EASEMENT OR RIGHT-OF-WAY, UP TO THE POINT OF CONNECTION.

**WASTEWATER SERVICE PLACEMENT  
(N.T.S.)**

<b>WASTEWATER SERVICE PLACEMENT</b>	<b>S-1</b>										
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>DATE</th> <th>REVISION</th> <th>BY</th> <th>APPD.</th> <th>INTD./EXTD./SPECIAL ASSIGNMENT</th> </tr> <tr> <td>2010</td> <td>1</td> <td>JAC</td> <td>JAC</td> <td>FT. PIERCE UTILITIES AUTHORITY</td> </tr> </table>	DATE	REVISION	BY	APPD.	INTD./EXTD./SPECIAL ASSIGNMENT	2010	1	JAC	JAC	FT. PIERCE UTILITIES AUTHORITY	
DATE	REVISION	BY	APPD.	INTD./EXTD./SPECIAL ASSIGNMENT							
2010	1	JAC	JAC	FT. PIERCE UTILITIES AUTHORITY							

**NOTES:**

- 1) BALL TYPE WASTEWATER LOCATOR BY 3M CORP. OR APPROVED EQUAL.
- 2) MINIMUM SLOPE OF 1/8" PER FOOT, USE GREATER SLOPE WHERE POSSIBLE.
- 3) SERVICE LATERAL SHALL TERMINATE WITH A CLEANOUT.
- 4) INSTALL CLEANOUT AT THE PROPERTY LINE. REFER TO DETAIL S-1 FOR SPECIFIC PROPERTY LAYOUT.

**SERVICE CONNECTION  
(N.T.S.)**

<b>SERVICE CONNECTION WASTEWATER</b>	<b>S-2</b>										
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>DATE</th> <th>REVISION</th> <th>BY</th> <th>APPD.</th> <th>INTD./EXTD./SPECIAL ASSIGNMENT</th> </tr> <tr> <td>2010</td> <td>1</td> <td>JAC</td> <td>JAC</td> <td>FT. PIERCE UTILITIES AUTHORITY</td> </tr> </table>	DATE	REVISION	BY	APPD.	INTD./EXTD./SPECIAL ASSIGNMENT	2010	1	JAC	JAC	FT. PIERCE UTILITIES AUTHORITY	
DATE	REVISION	BY	APPD.	INTD./EXTD./SPECIAL ASSIGNMENT							
2010	1	JAC	JAC	FT. PIERCE UTILITIES AUTHORITY							

**DOUBLE LATERAL SERVICE CONNECTION  
AT PROPERTY LINE**

**SINGLE SERVICE LATERAL CONNECTION**

**NOTES:**

- 1) BALL TYPE WASTEWATER LOCATOR INSTALLED ABOVE THIS POINT BALL BY 3M CORP. OR APPROVED EQUAL.
- 2) SERVICE LATERAL SHALL TERMINATE WITH A CLEANOUT.

**SERVICE CONNECTION  
(N.T.S.)**

<b>SERVICE CONNECTION WASTEWATER</b>	<b>S-3</b>										
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>DATE</th> <th>REVISION</th> <th>BY</th> <th>APPD.</th> <th>INTD./EXTD./SPECIAL ASSIGNMENT</th> </tr> <tr> <td>2010</td> <td>1</td> <td>JAC</td> <td>JAC</td> <td>FT. PIERCE UTILITIES AUTHORITY</td> </tr> </table>	DATE	REVISION	BY	APPD.	INTD./EXTD./SPECIAL ASSIGNMENT	2010	1	JAC	JAC	FT. PIERCE UTILITIES AUTHORITY	
DATE	REVISION	BY	APPD.	INTD./EXTD./SPECIAL ASSIGNMENT							
2010	1	JAC	JAC	FT. PIERCE UTILITIES AUTHORITY							

**RESIDENTIAL CLEANOUT DETAIL  
(N.T.S.)**

**NOTES:**

- 1) SEE DETAIL S-3 FOR DOUBLE SERVICE CONNECTION.

<b>TERMINAL CLEANOUT DETAIL RESIDENTIAL</b>	<b>S-4A</b>										
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>DATE</th> <th>REVISION</th> <th>BY</th> <th>APPD.</th> <th>INTD./EXTD./SPECIAL ASSIGNMENT</th> </tr> <tr> <td>2010</td> <td>1</td> <td>JAC</td> <td>JAC</td> <td>FT. PIERCE UTILITIES AUTHORITY</td> </tr> </table>	DATE	REVISION	BY	APPD.	INTD./EXTD./SPECIAL ASSIGNMENT	2010	1	JAC	JAC	FT. PIERCE UTILITIES AUTHORITY	
DATE	REVISION	BY	APPD.	INTD./EXTD./SPECIAL ASSIGNMENT							
2010	1	JAC	JAC	FT. PIERCE UTILITIES AUTHORITY							

**TYPICAL MANHOLE DIMENSIONS**

PIPE DIA.	"A"	"B"	"C"	BOT. SLAB	"T"
8"-24"	4'-0"	7"	78"	8"	
30"-36"	5'-0"	7"	88"	10"	
42"-48"	6'-0"	7"	100"	12"	

**NOTES:**

- 1) MANHOLE FRAME & COVER WITH THE WORDS "SANITARY SEWER" CAST IN THE COVER. U.S. FOUNDRY 170 OR APPROVED EQUAL.
- 2) ALL CONCRETE MANHOLES TO BE 4000 P.S.I. TO MEET OR EXCEED ASTM C478 ALL CEMENT TO BE TYPE I ACID RESISTANT. REINFORCING AREA OF 0.02 SQ. IN/FT FOR WALL SECTION MIN. TO MEET OR EXCEED ASTM A 185.
- 3) A MAXIMUM OF 2 LAYERS OF PRECAST CONCRETE RINGS, IF REQUIRED.
- 4) RAIN GUARDS SHALL BE INSTALLED IN MANHOLES THAT HAVE GRAVITY MAINS 12" OR LESS.

**STANDARD MANHOLE  
DEPTH 5'-0" AND GREATER  
(N.T.S.)**

<b>PRECAST MANHOLE DEPTH 5'-0" &amp; GREATER</b>	<b>S-7</b>										
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>DATE</th> <th>REVISION</th> <th>BY</th> <th>APPD.</th> <th>INTD./EXTD./SPECIAL ASSIGNMENT</th> </tr> <tr> <td>2010</td> <td>1</td> <td>JAC</td> <td>JAC</td> <td>FT. PIERCE UTILITIES AUTHORITY</td> </tr> </table>	DATE	REVISION	BY	APPD.	INTD./EXTD./SPECIAL ASSIGNMENT	2010	1	JAC	JAC	FT. PIERCE UTILITIES AUTHORITY	
DATE	REVISION	BY	APPD.	INTD./EXTD./SPECIAL ASSIGNMENT							
2010	1	JAC	JAC	FT. PIERCE UTILITIES AUTHORITY							

**TYPICAL MANHOLE DIMENSIONS**

PIPE DIA.	"A"	"B"	"C"	BOT. SLAB	"T"
8"-24"	4'-0"	8"	70"	8"	
30"-36"	5'-0"	8"	84"	10"	
42"-48"	6'-0"	8"	96"	12"	

**NOTES:**

- 1) MANHOLE FRAME & COVER WITH THE WORDS "SANITARY SEWER" CAST IN THE COVER. U.S. FOUNDRY 170 OR APPROVED EQUAL.
- 2) ALL CONCRETE MANHOLES TO BE 4000 P.S.I. TO MEET OR EXCEED ASTM C478 ALL CEMENT TO BE TYPE I ACID RESISTANT. REINFORCING AREA OF 0.02 SQ. IN/FT FOR WALL SECTION MIN. TO MEET OR EXCEED ASTM A 185.
- 3) A MAXIMUM OF 2 LAYERS OF PRECAST CONCRETE RINGS, IF REQUIRED.
- 4) RAIN GUARDS SHALL BE INSTALLED IN MANHOLES THAT HAVE GRAVITY MAINS 12" OR LESS.

**OUTSIDE DROP MANHOLE  
(N.T.S.)**

<b>PRECAST MANHOLE WITH OUTSIDE DROP</b>	<b>S-8</b>										
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>DATE</th> <th>REVISION</th> <th>BY</th> <th>APPD.</th> <th>INTD./EXTD./SPECIAL ASSIGNMENT</th> </tr> <tr> <td>2010</td> <td>1</td> <td>JAC</td> <td>JAC</td> <td>FT. PIERCE UTILITIES AUTHORITY</td> </tr> </table>	DATE	REVISION	BY	APPD.	INTD./EXTD./SPECIAL ASSIGNMENT	2010	1	JAC	JAC	FT. PIERCE UTILITIES AUTHORITY	
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**RAINGUARD DETAIL  
(N.T.S.)**

**NOTES:**

- 1) SEWER RAIN GUARDS SHALL BE INSTALLED ON ALL MANHOLES WHERE GRAVITY MAINS ARE 12" OR LESS AND IN AREAS DESIGNATED BY ENGINEER TO BE IN A FLOOD AREA.
- 2) SEWER RAIN GUARDS SHALL BE MANUFACTURED BY PARSON ENVIRONMENTAL PRODUCTS, INC., PART # PMI-235 (PARSON MANHOLE INSERTS) WITH DOUBLE VALVING, OR APPROVED EQUAL.
- 3) RAINGUARDS MUST BE "SNUG" FIT.

<b>RAINGUARD DETAIL</b>	<b>S-11</b>										
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>DATE</th> <th>REVISION</th> <th>BY</th> <th>APPD.</th> <th>INTD./EXTD./SPECIAL ASSIGNMENT</th> </tr> <tr> <td>2010</td> <td>1</td> <td>JAC</td> <td>JAC</td> <td>FT. PIERCE UTILITIES AUTHORITY</td> </tr> </table>	DATE	REVISION	BY	APPD.	INTD./EXTD./SPECIAL ASSIGNMENT	2010	1	JAC	JAC	FT. PIERCE UTILITIES AUTHORITY	
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2010	1	JAC	JAC	FT. PIERCE UTILITIES AUTHORITY							

**FLOW PATTERNS FOR INVERT CHANNELS**

**NOTES:**

- 1) INVERT CHANNELS TO BE CONSTRUCTED FOR SMOOTH FLOW WITH NO OBSTRUCTIONS.
- 2) SPILLWAYS SHALL BE CONSTRUCTED BETWEEN PIPES WITH DIFFERENT INVERT ELEVATIONS PROVIDING FOR SMOOTH FLOWS.

<b>FLOW PATTERNS FOR INVERT CHANNELS</b>	<b>S-12</b>										
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THE ARCHITECT OF RECORD AND THE GENERAL CONTRACTOR & SUB CONTRACTORS SHALL REVIEW THE PLANS ANY DISCREPANCY SHALL BE REPORTED TO ENGINEER OF RECORD PRIORITY OF CONSTRUCTION OR IMMEDIATELY.

REVISIONS      DATE

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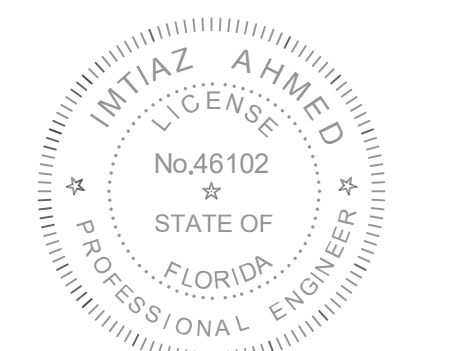
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SEWER DETAILS



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INC.**

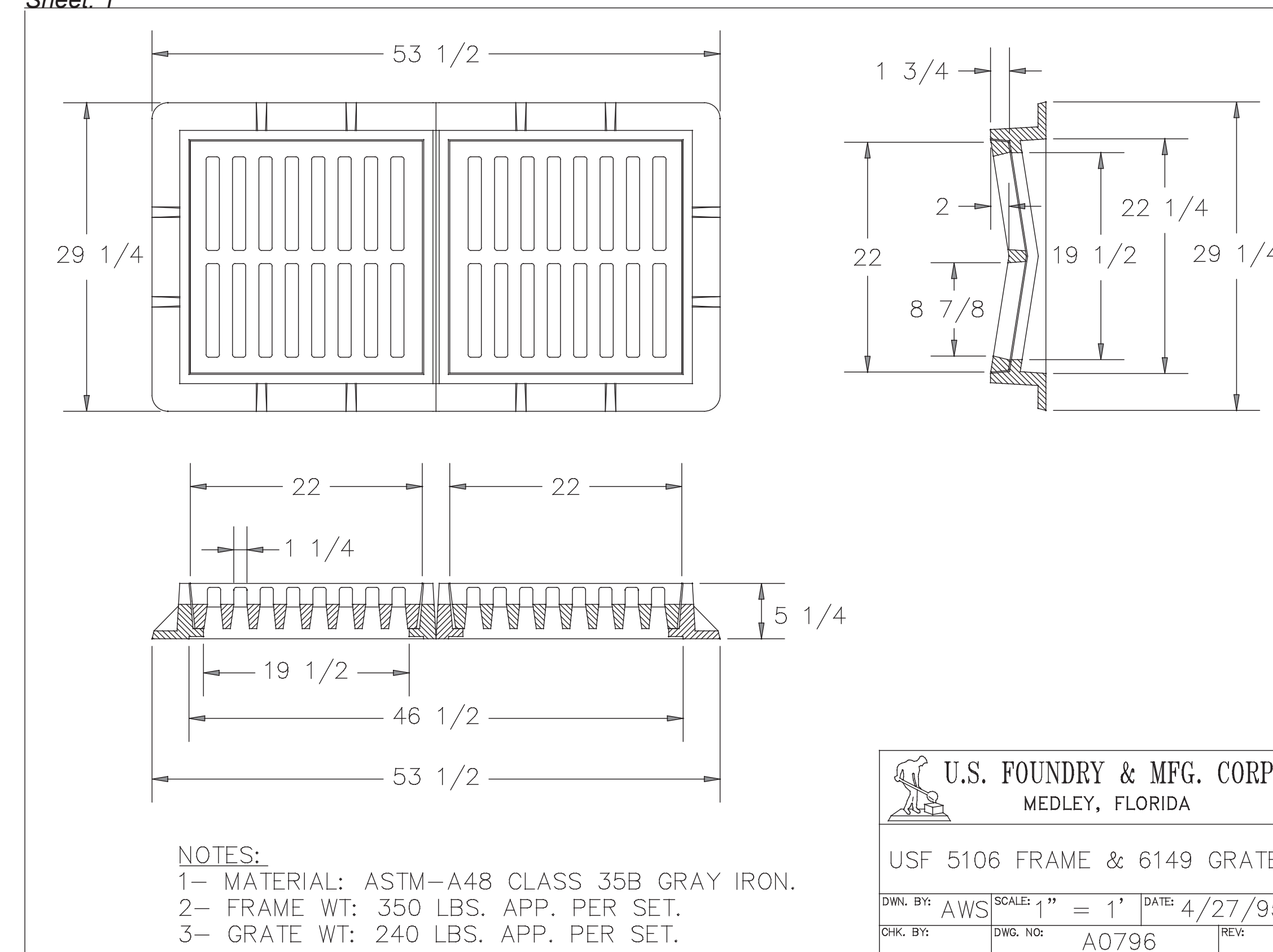
IMTIAZ AHMED, PE  
PE#46102  
2826 WATERS EDGE CIRCLE  
GREENACRES, FLORIDA 33413  
PHONE - (561) 358-4140  
FAX - (561) 966-9242  
CERTIFICATE OF  
AUTHORIZATION NO.: 9390

CLIENT:  
GATOR TRACE ON  
THE GREENS, LLC  
17305 S DIXIE HWY.  
PALMETTO BAY, FL 33157

**GATOR TRACE  
ON THE GREENS  
TOWNHOMES**

GATOR TRACE  
FORT PIERCE, FL 34982

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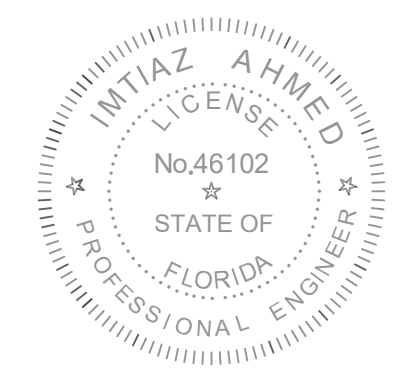
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**C-9**

DRAINAGE DETAILS 1



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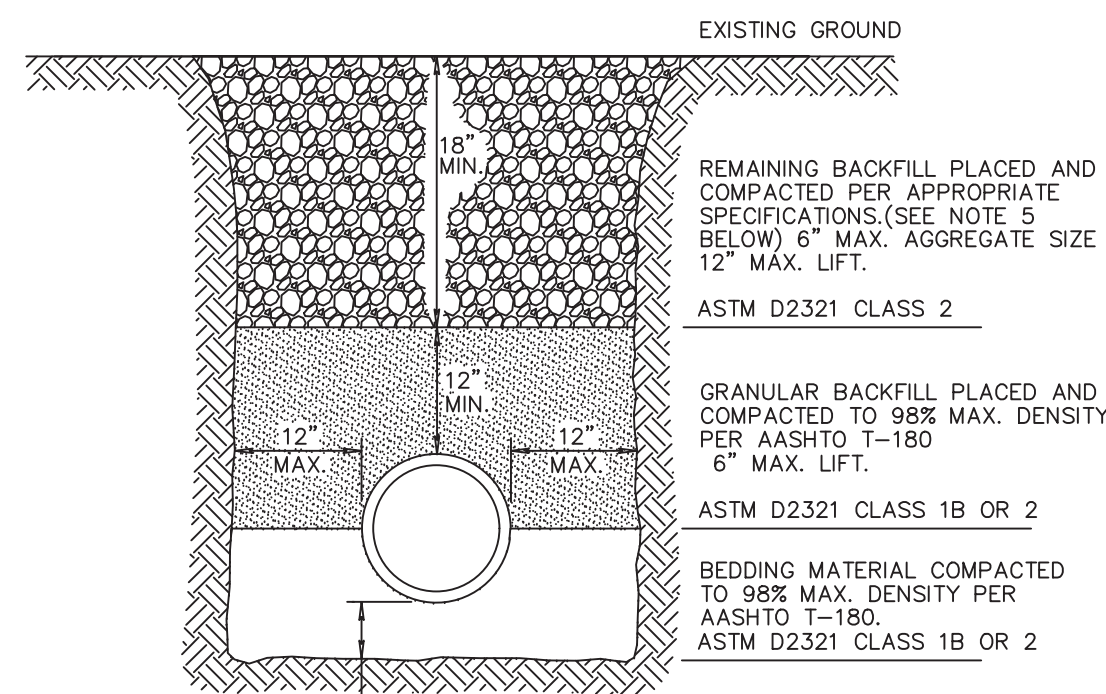
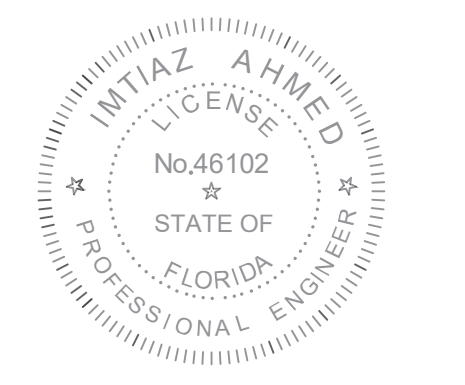
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REVISIONS	DATE

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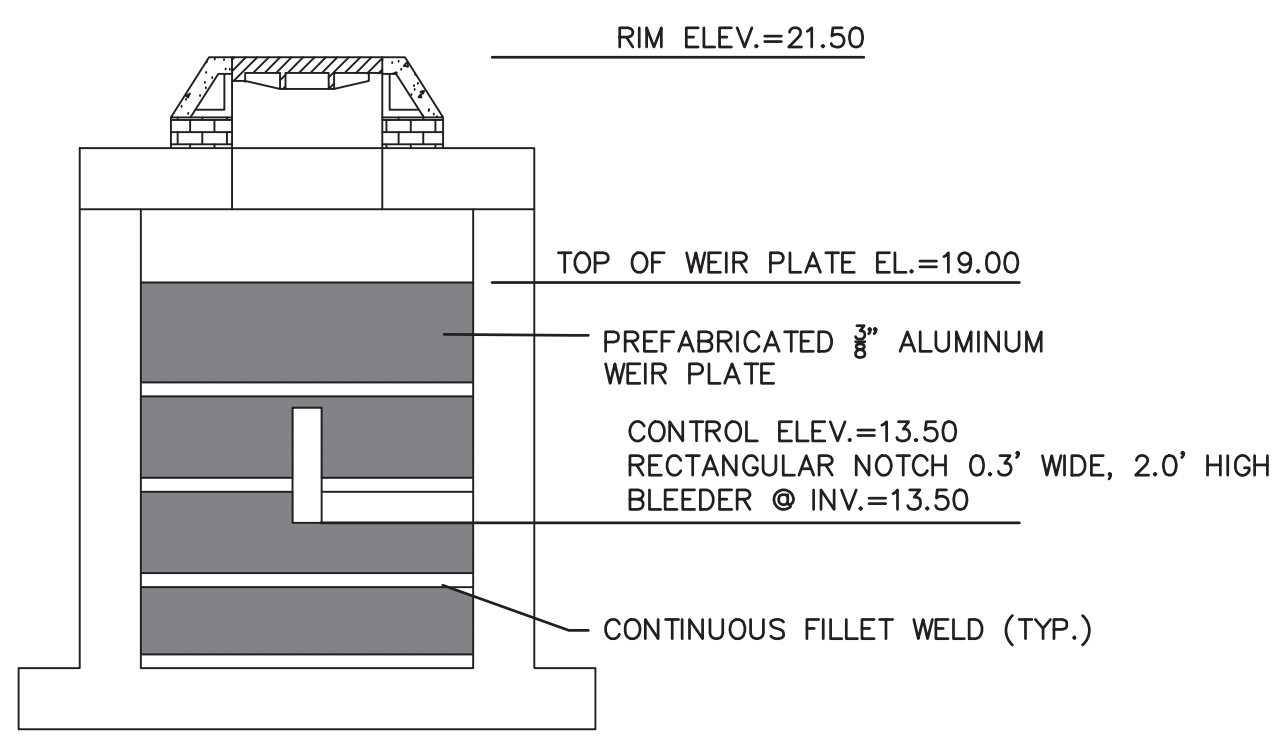
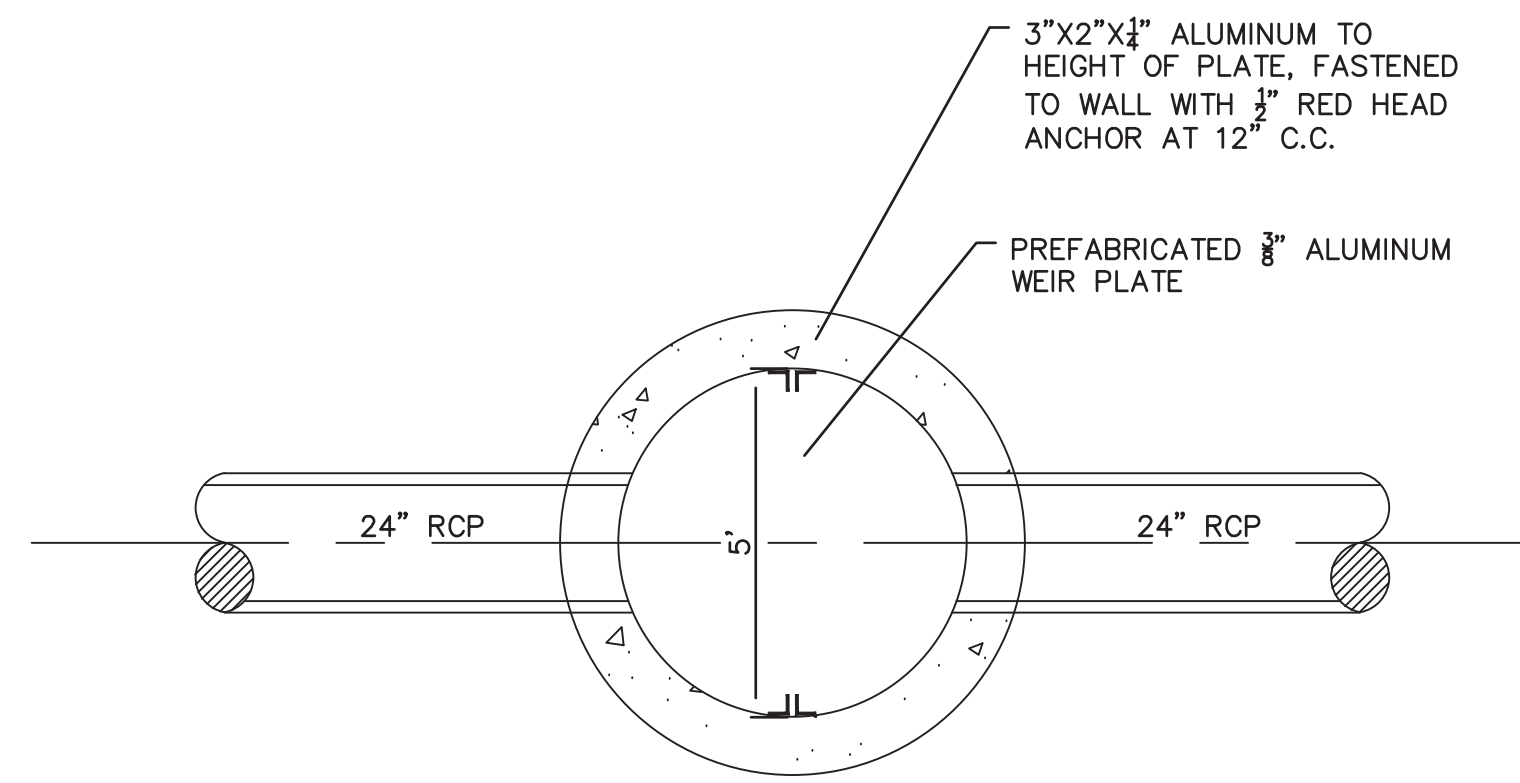
DRAINAGE DETAILS 2



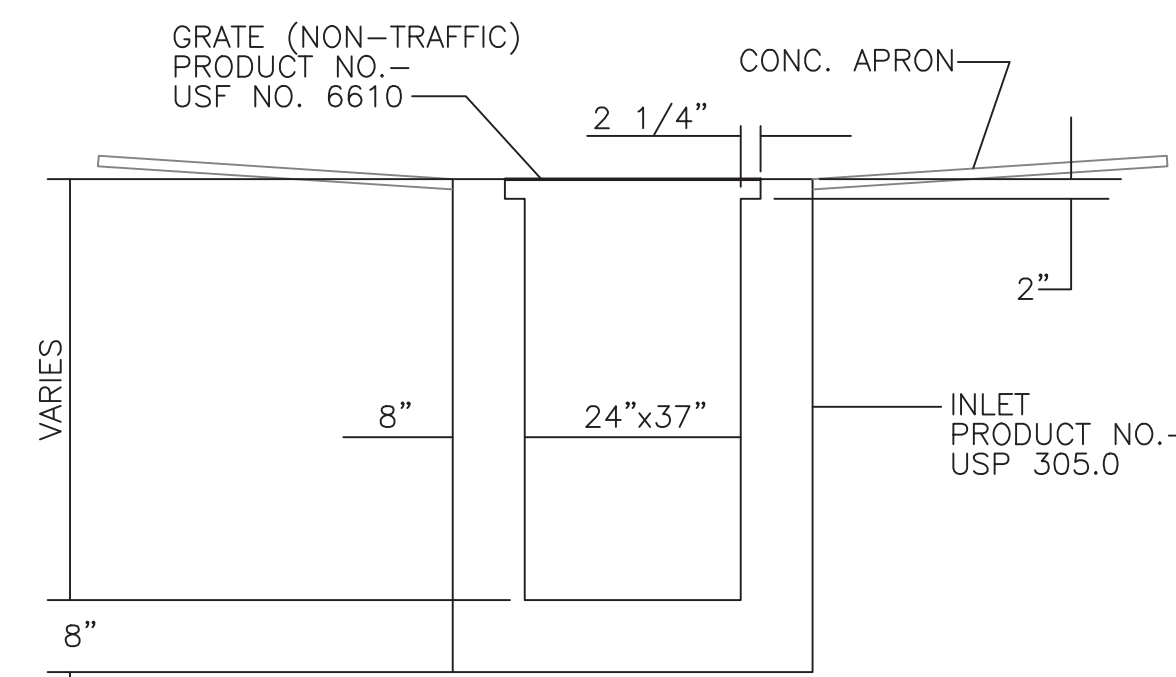
**NOTES:**

- UNSUITABLE IN-SITU MATERIALS SUCH AS MUCK, DEBRIS AND LARGE ROCKS SHALL BE REMOVED; BEDDING MATERIAL AND BACKFILL CONSISTING OF WASHED AND GRADED LIMEROCK 3/8" - 7/8" SIZING.
- THE PIPE SHALL BE FULLY SUPPORTED FOR ITS ENTIRE LENGTH WITH APPROPRIATE COMPACTION UNDER THE PIPE HAUNCHES.
- THE PIPE SHALL BE PLACED IN A DRY TRENCH.
- BACKFILL SHALL BE FREE OF UNSUITABLE MATERIAL SUCH AS LARGE ROCK, MUCK, AND DEBRIS.
- COMPACT BACKFILL TO 98% DENSITY UNDER PAVEMENT AND TO 95% DENSITY ELSEWHERE (AASHTO T-180)
- COMPACTION AND DENSITY TESTS SHALL BE COMPLETED DURING BACKFILL OPERATIONS, CONTRACTORS NOT FOLLOWING THIS PROCEDURE, FOR WHATEVER REASONS, SHALL BE REQUIRED TO RE-EXCAVATE THE AREA IN QUESTION, DOWN TO THE BEDDING MATERIAL, THEN BACKFILL FOLLOWING THE ABOVE PROCEDURES.

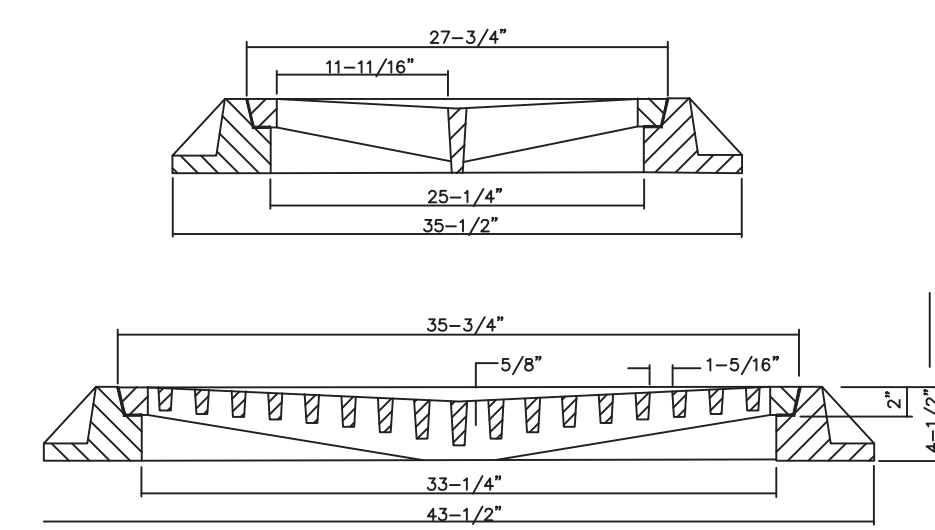
**TYPICAL TRENCH  
DETAIL**



TYPICAL TYPE C6 - CONTROL STRUCTURE



TYPICAL TYPE "C" DITCH BOTTOM INLET  
NTS



CONCAVE FRAME AND GRATE  
(U.S.F. NO. 4155 OR APPROVED EQUAL)

**ON-SITE PAVING AND DRAINAGE SPECIFICATIONS:**

- ALL ORGANIC OR DELETERIOUS MATERIAL SHALL BE REMOVED FROM WITHIN 5 FEET OF ANY EDGE OF PAVEMENT. ANY SUCH MATERIAL SHALL BE REPLACED BY APPROVED GRANULAR FILL WHICH SHALL BE PLACED AND IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING REPORT FOR THE SITE.
- STABILIZED SUBGRADE SHALL HAVE A LIMEROCK BEARING RATIO (LBR) OF 40 AND SHALL BE COMPACTED TO 98% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.
- LIMEROCK BASE COURSE SHALL CONFORM TO THE REQUIREMENTS OF SECTION 311 OF FLORIDA D.O.T. STANDARD SPECIFICATIONS. THE MINIMUM PERCENTAGE OF CARBONATES OF CALCIUM AND MAGNESIUM SHALL BE 70%, LIQUID LIMIT 35 PLASTICITY 8, MIN LBR 100 OR ACCEPTABLE FOOT PRODUCT APPROVAL.
- ASPHALTIC CONCRETE TYPE S-3 SHALL CONFORM TO THE REQUIREMENTS OF SECTION 331 OF FLORIDA D.O.T. STANDARD SPECIFICATIONS.
- PRIME COAT AND TACK COAT FOR BASE COURSES SHALL CONFORM TO THE REQUIREMENTS OF SECTIONS 300-1 THROUGH 300-7 OF FLORIDA D.O.T. STANDARD SPECIFICATIONS. PRIME COAT SHALL BE APPLIED AT A RATE OF 0.25 GALLONS PER SQUARE YARD AND TACK COAT AT A RATE OF 0.08 GALLONS PER SQUARE YARD UNLESS A VARIATION RATE IS APPROVED BY THE ENGINEER.
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS, EXCEPT DRAINAGE STRUCTURES.
- PRECAST CONCRETE MANHOLES AND CATCH BASINS SHALL MEET THE REQUIREMENTS OF A.S.T.M. SPECIFICATIONS C-479 AND 647.
- CONCRETE FOR PRECAST MANHOLES AND CATCH BASINS SHALL HAVE MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS.
- REINFORCING STEEL FOR MANHOLES AND CATCH BASINS SHALL CONFORM TO A.S.T.M. SPECIFICATIONS A-615 AND A-305, LATEST REVISION. GRADE 60 STEEL SHALL BE USED FOR TOP AND BOTTOM SLABS.
- ALL RE-BAR SPLICES IN CONCRETE STRUCTURES SHALL HAVE A MINIMUM LAP OF 24 BAR DIAMETERS.
- ALL JOINTS IN CONCRETE STRUCTURES SHALL BE FINISHED WATER TIGHT.
- ALL SPACES AROUND PIPING ENTERING OR LEAVING MANHOLES AND CATCH BASINS SHALL BE COMPLETELY FILLED WITH 2:1 WATERPROOF, NON-SHRINKING CEMENT MORTAR.
- REINFORCED CONCRETE PIPE (RCP) SHALL CONFORM TO THE REQUIREMENTS OF A.S.T.M. SPECIFICATION C-76, FOR CLASS III, WALL THICKNESS "B" REINFORCED CONCRETE PIPE, AND AS MODIFIED IN SECTION 941 OF FLORIDA D.O.T. STANDARD SPECIFICATION.
- CORRUGATED METAL PIPE SHALL CONFORM TO THE REQUIREMENTS OF SECTION 945 OF FLORIDA D.O.T. STANDARD SPECIFICATIONS.
- PVC DRAINAGE PIPE SHALL CONFORM TO THE REQUIREMENTS OF SECTION 945 OF FLORIDA D.O.T. STANDARD SPECIFICATIONS.
- HDPE PIPE SHALL BE ADS N-12 OR APPROVED EQUAL.
- ALL LABOR, MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE MINIMUM ENGINEERING AND CONSTRUCTION STANDARDS ADOPTED BY CITY OF PORT ST LUCIE PUBLIC WORKS AND THE PLANS AND CONSTRUCTION SPECIFICATIONS. WHERE CONFLICTS OR OMISSIONS EXIST, THE CITY OF PORT ST LUCIE PUBLIC WORKS STANDARDS SHALL DICTATE. SUBSTITUTIONS AND DEVIATIONS FROM PLANS AND SPECIFICATIONS SHALL BE PERMITTED ONLY WHEN WRITTEN APPROVAL HAS BEEN ISSUED BY THE ENGINEER.
- THE EXISTING ELEVATIONS SHOWN ON THE GRADING PLAN INDICATES THE ELEVATION AT THE POINT DEPICTED ONLY, AND SHOULD NOT BE INTERPRETED AS INDICATING THE ELEVATIONS OF ANY OTHER POINT. THESE EXISTING ELEVATIONS ARE IN NO WAY AN INDICATOR OF SURFACE OR SUBSURFACE SOIL CONDITIONS.
- BITUMINOUS COATING REQUIRED FOR ALL CORRUGATED METAL PIPE (CMP).

**EROSION CONTROL**

- STABILIZATION PRACTICES

WHERE CONSTRUCTION OF FILL STOCKPILES ADJACENT TO CONSTRUCTION ACTIVITIES CEASES FOR AT LEAST 7 DAYS, THE SIDES WILL BE STABILIZED BY SEEDING AND MULCHING IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 1991, SECTION 570. SEED AND MULCH SHALL BE APPLIED NO LATER THAN 7 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THE AREA.

- PERMANENT STABILIZATION

ALL LANDSCAPING, INCLUDING SODDING, SHALL BE INSTALLED ON THE PERIMETER LANDSCAPE BERMS IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN WITHIN 14 DAYS OF THE LAST CONSTRUCTION ACTIVITY IN THE LANDSCAPE BUFFER AREAS.

- OFF-SITE VEHICLE TRACKING

A STABILIZED CONSTRUCTION ENTRANCE CONSISTING OF MINIMUM 4" COMPACTED LIMEROCK BASE WILL BE CONSTRUCTED AS SOON AS CONSTRUCTION STARTS TO REDUCE THE AMOUNT OF VEHICLE TRACKING FROM THE SITE. THE PAVED STREET ADJACENT TO THE CONSTRUCTION ENTRANCE WILL BE SWEEPED ON A REGULAR BASIS TO REMOVE ANY ACCUMULATION OF DIRT OR ROCKS WHICH HAVE BEEN TRACKED FROM THE SITE. ALL DUMP TRUCKS BRINGING MATERIAL TO OR LEAVING THE SITE WILL BE COVERED WITH A TARPULIN.

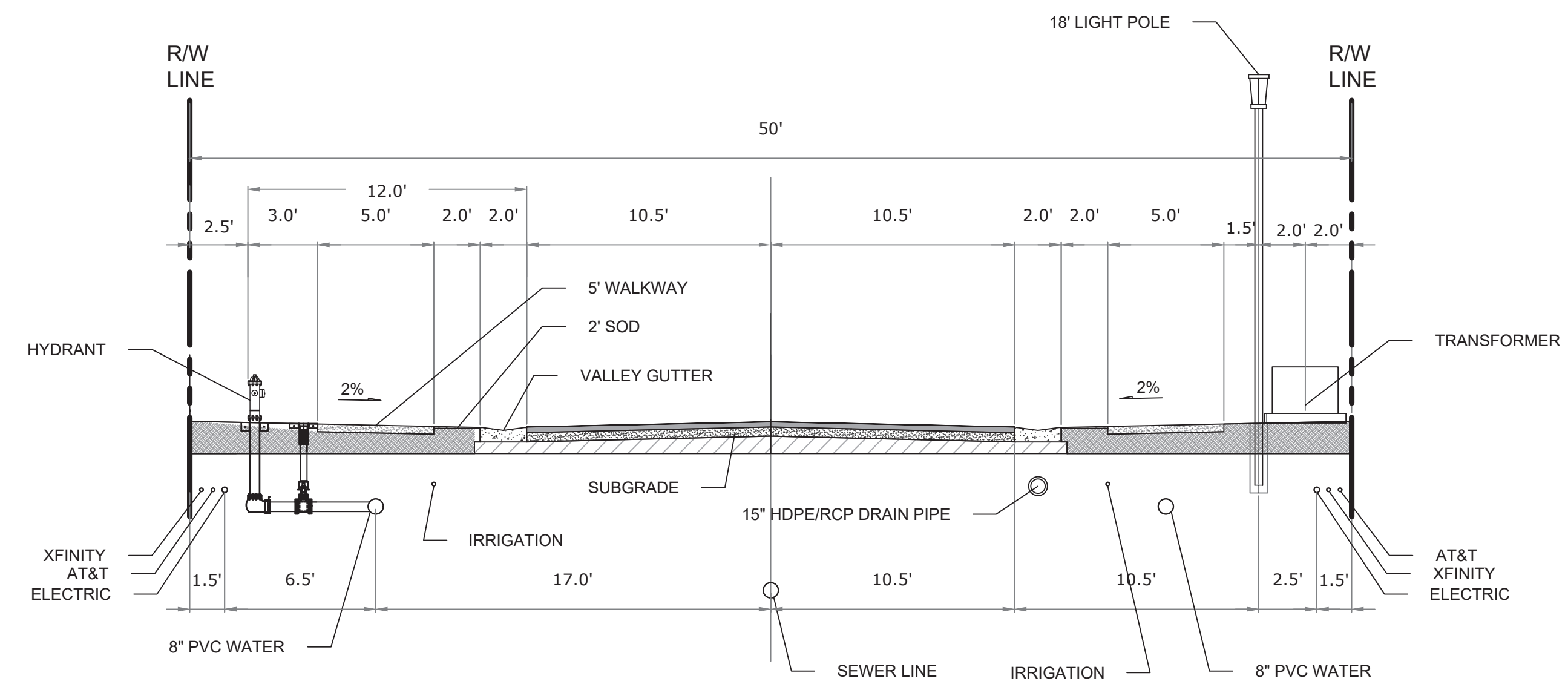
- EROSION AND SEDIMENT CONTROL, INSPECTION AND MAINTENANCE PRACTICES

- ALL CONTROL MEASURES WILL BE INSPECTED AT LEAST ONCE WEEKLY AND FOLLOWING ANY STORM EVENT GREATER THAN 1/2"
- REPAIRS WILL BE COMPLETED WITHIN 24 HOURS.
- THE PERIMETER SWALES WILL BE INSPECTED REGULARLY AND REGRADED AS NECESSARY TO REMOVE THE BUILT UP SEDIMENT.
- TEMPORARY SEED AND MULCH AREAS AND PERMANENT SOD AREAS WILL BE INSPECTED REGULARLY FOR BARE SPOTS AND TO ENSURE ADEQUATE GROWTH.
- TURBIDITY SCREENS SHALL BE INSPECTED REGULARLY, AND REPAIRED AS NECESSARY.
- FILTER FABRIC SHALL BE SECURED IN ALL CATCH BASINS UNTIL COMPLETION OF CONSTRUCTION.

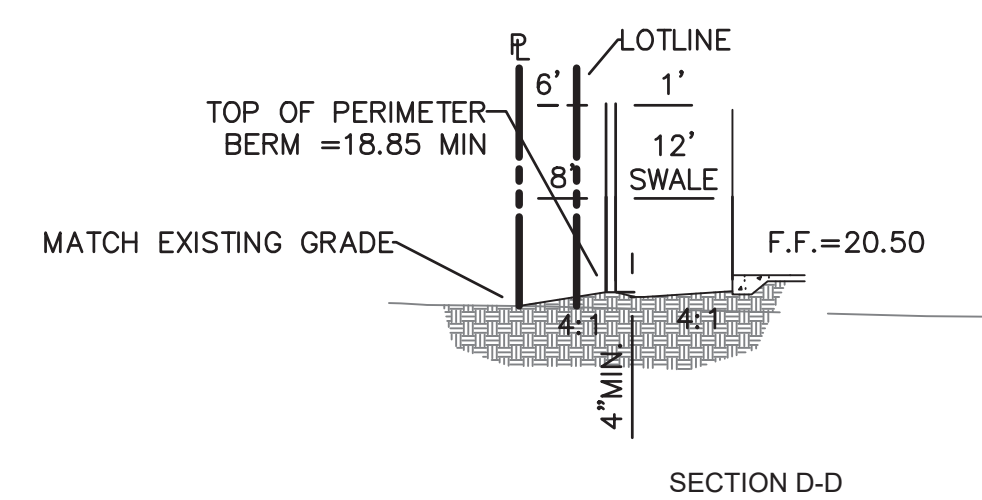
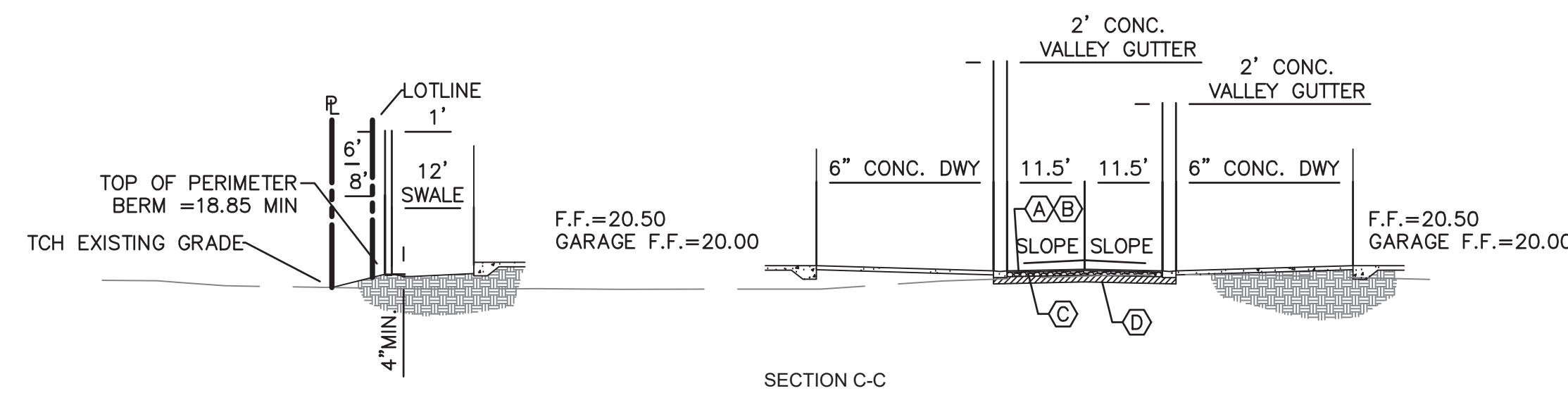
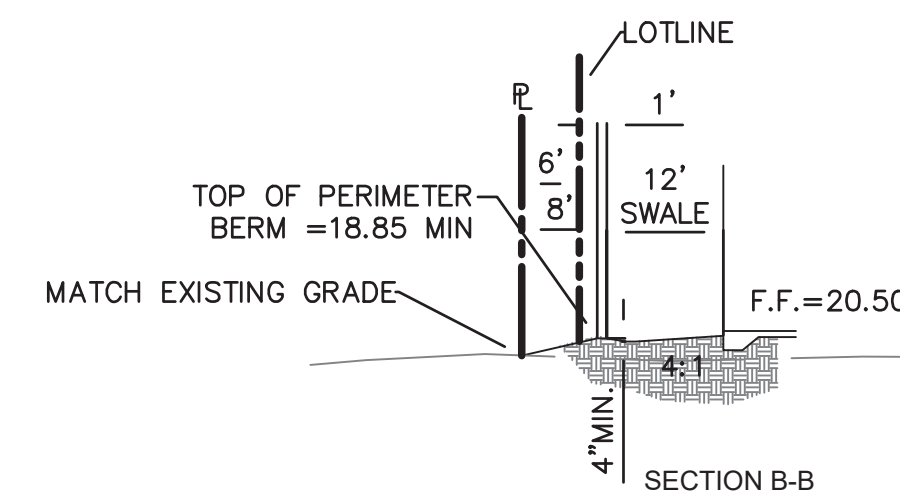
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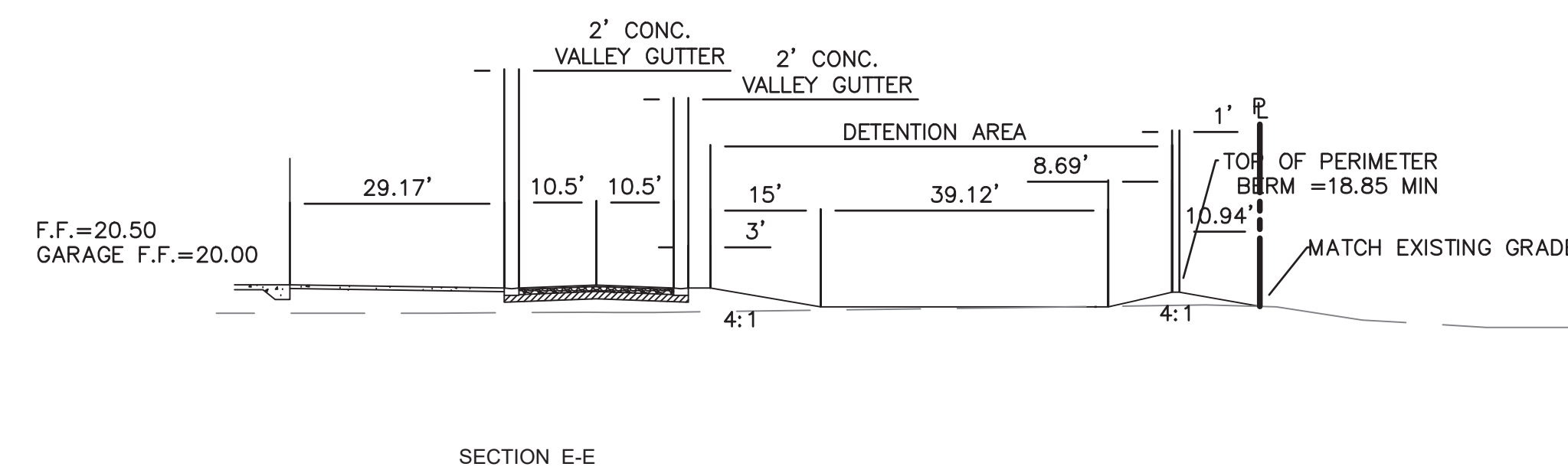


**TYPICAL 50' ROADWAY TRACT SECTION**



**PAVING SPECIFICATIONS**

- (A) 1-1/2" THICK ASPHALTIC CONCRETE, TYPE S-III - 2-3/4" LIFTS
- (B) PRIME AND TACK COAT
- (C) 8" LIMEROCK BASE COMPACTED IN (2) 4" LAYERS TO 98% MAX (DENSITY AASHTO T-180.)
- (D) 12" SUBGRADE COMPACTED TO 98% MAX. DENSITY AASHTO T-180 STABILIZED TO LBR 40 OR FBV 50 P.S.I.
- (E) FRICTION COURSE FC-9.5 OVER 1-1/2" IN TYPE SP STRUCTURAL COURSE (TRAFFIC LEVEL C) WITH TACK COAT.
- (F) OPTIONAL BASE GROUP 13 WITH PRIME COAT. COMPACTED TO 98% DRY DENSITY PER AASHTO T-180.
- (G) COMPACTED SUBGRADE SHALL BE COMPACTED TO 98% DRY DENSITY PER AASHTO T-180.



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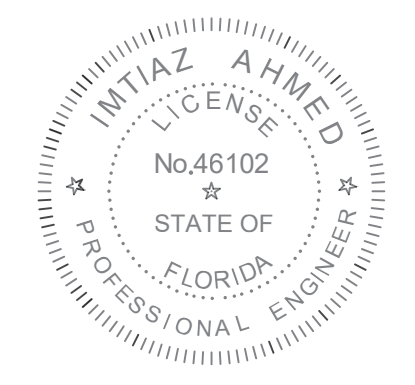
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FIRE HYDRANT, TRAFFIC  
SIGN & PAVEMENT



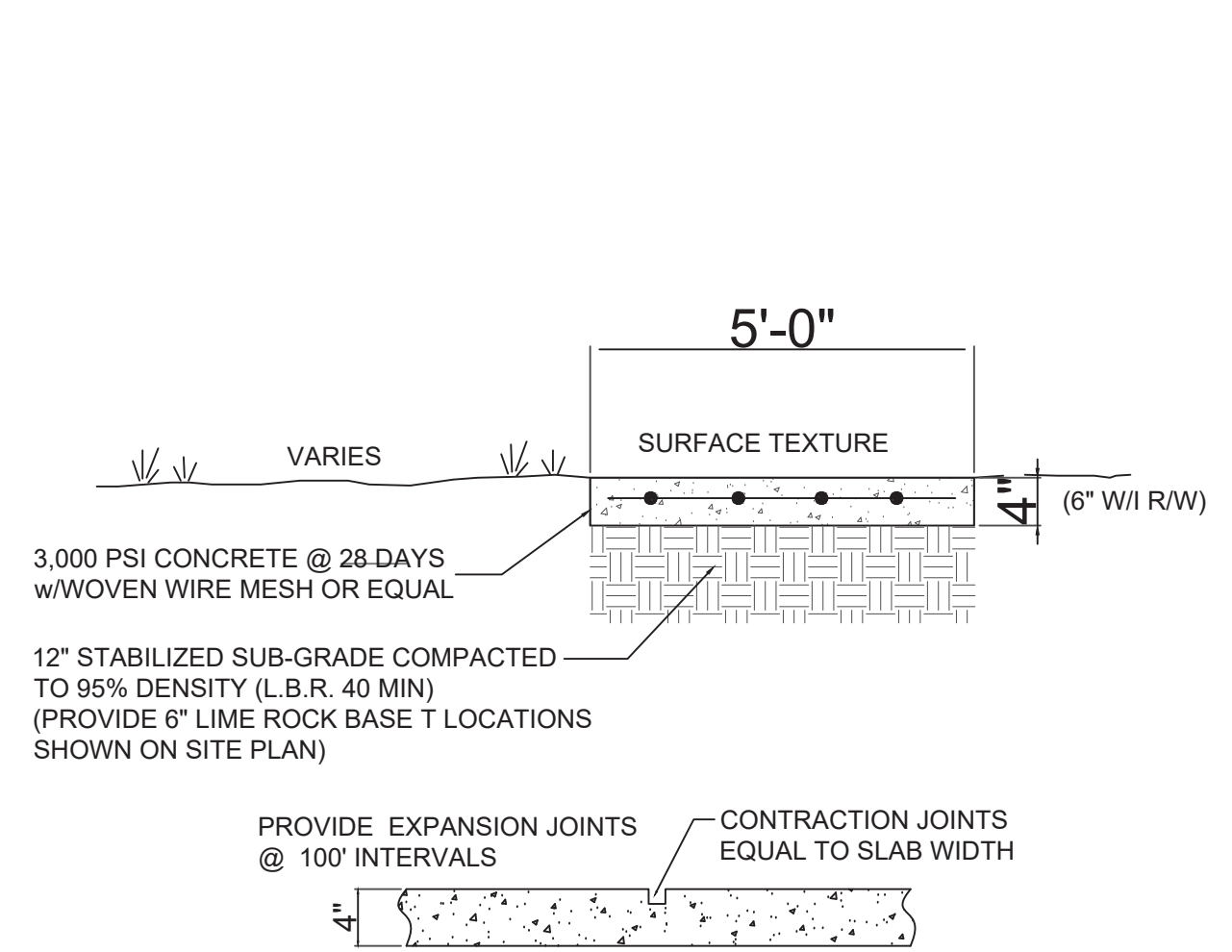
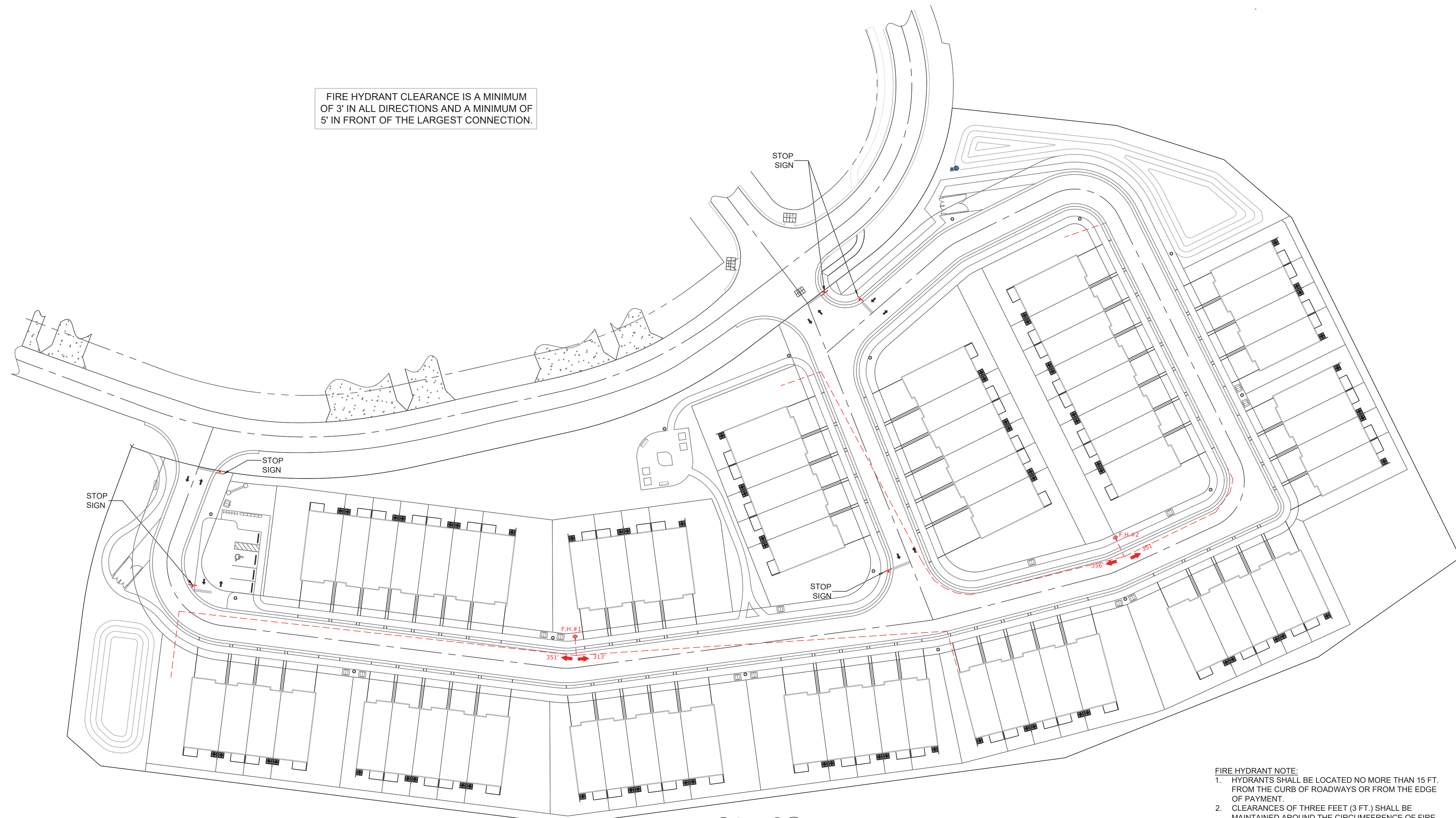
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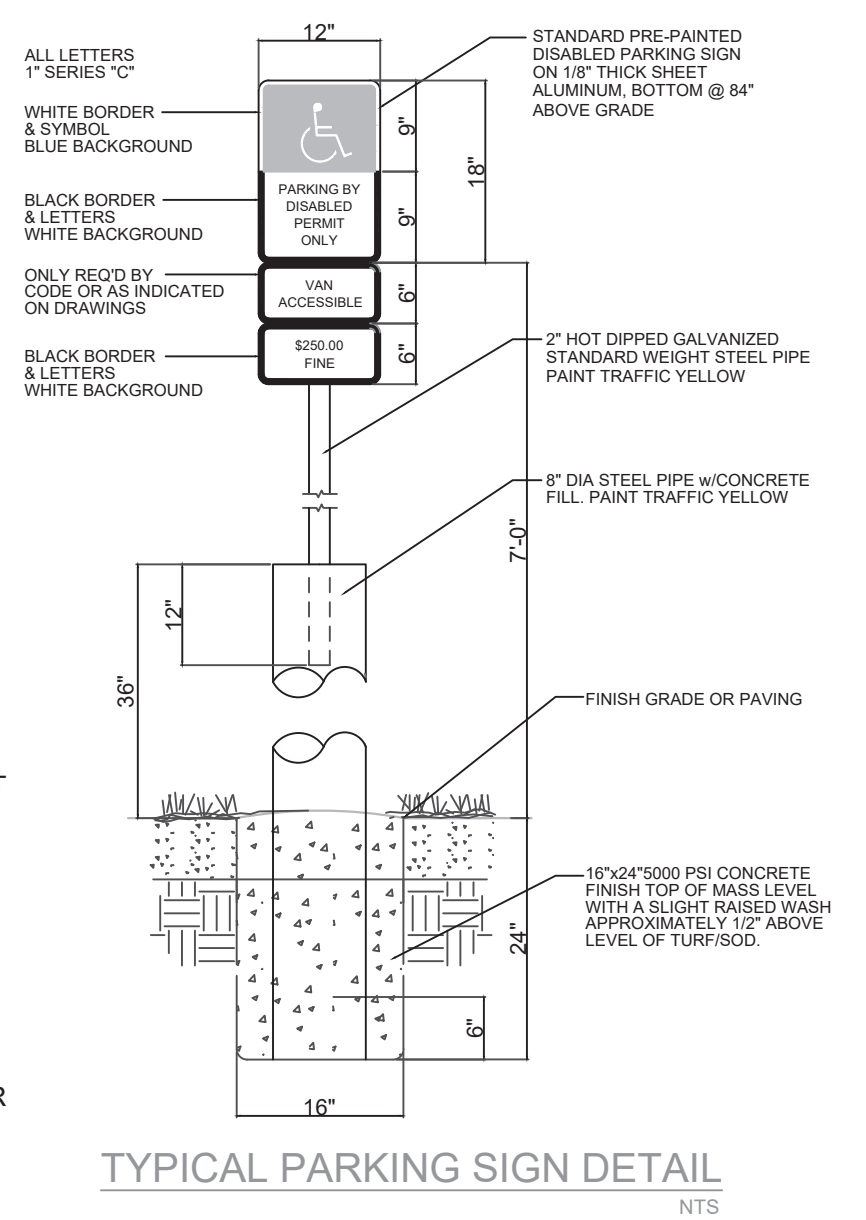
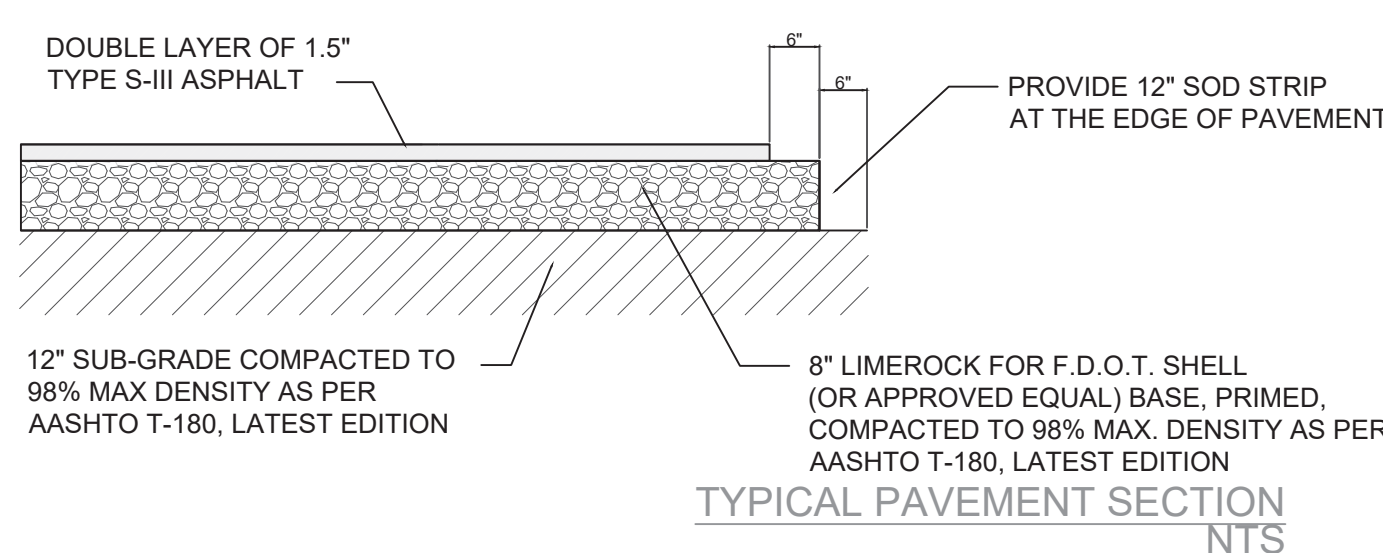
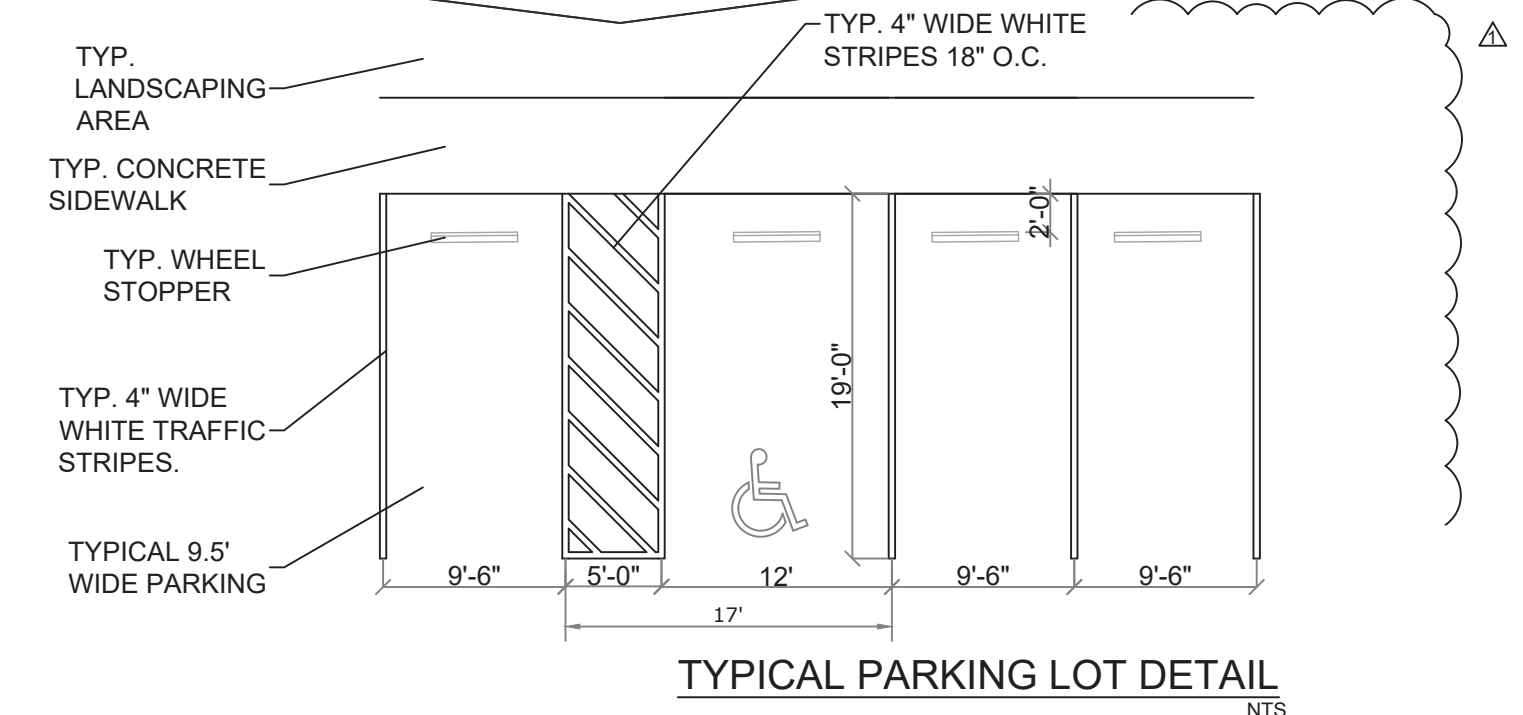
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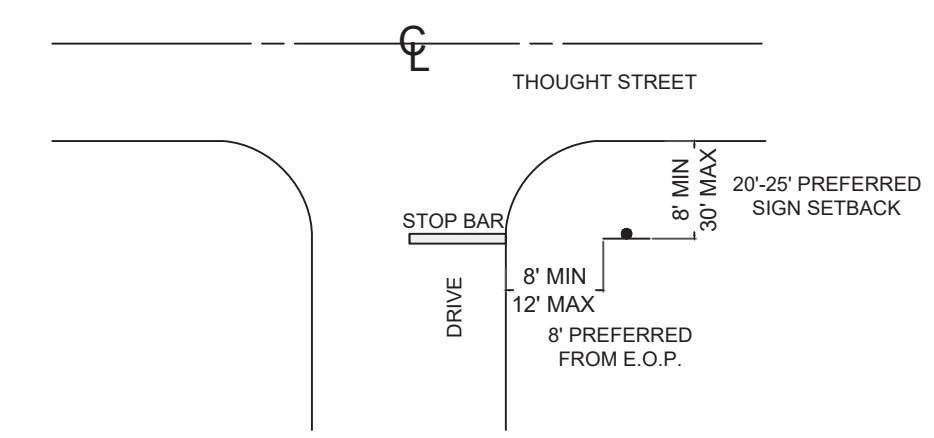
FIRE HYDRANT CLEARANCE IS A MINIMUM  
OF 3' IN ALL DIRECTIONS AND A MINIMUM OF  
5' IN FRONT OF THE LARGEST CONNECTION.



NOTES:  
1- SIDEWALK TO HAVE EXPANSION JOINTS AT A MAX SPACING OF 100' AND CONTRACTION JOINTS AT INTERVALS EQUAL TO THE WIDTH OF THE SLAB BUT NOT MORE THAN 10'-0". NO JOINTS SHALL BE CLOSER THAN 4'-0"  
2- 3,000 PSI CONCRETE SHALL BE USED FOR ALL ROADWAY AND DRAINAGE STRUCTURE.  
3- CONSTRUCTION SHALL COMPLY W/ADA ACT AT CURBS, GUTTERS, SIDEWALKS INTERSECTIONS AND ETC



- FIRE HYDRANT NOTE:**
- HYDRANTS SHALL BE LOCATED NO MORE THAN 15 FT. FROM THE CURB OF ROADWAYS OR FROM THE EDGE OF PAYMENT.
  - CLEARANCES OF THREE FEET (3 FT.) SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF FIRE HYDRANTS.
  - A CLEAR SPACE OF NOT LESS THAN FIVE FEET (5 FT.) SHALL BE PROVIDED IN FRONT OF EACH HYDRANT CONNECTION HAVING A DIAMETER GREATER THAN 2 1/2 INCHES.
  - THE CENTER OF HOSE OUTLET SHALL BE NOT LESS THAN 18 INCHES ABOVE FINAL GRADE.



NOTE: SIGN SHALL COMPLY W/MUTCD STANDARDS  
LOCATION OF SIGN AT OR NEAR STOP LINE IS PREFERRED.  
STANDARD SIZE IS 30". STEER MANE SIGN IS NORMALLY LOCATED ON THE OPPOSITE CORNER IN THE SAME MANNER AS THE STOP SIGN

CLEAR VISIBILITY AT EACH INTERSECTION IS IMPORTANT AND THE SETBACKS MAY BE VARIED BETWEEN THE MINIMUM AND THE MAXIMUM TO PROVIDE THE OPTIMUM LOCATION

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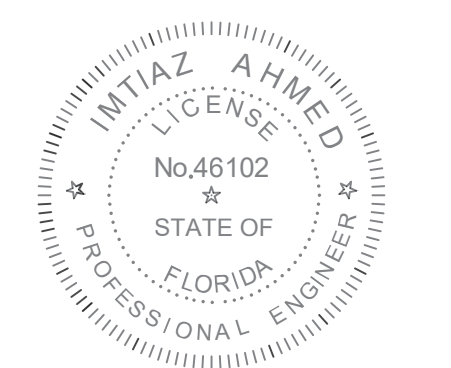
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FIRE HYDRANT, TRAFFIC SIGN & PAVEMENT PLAN

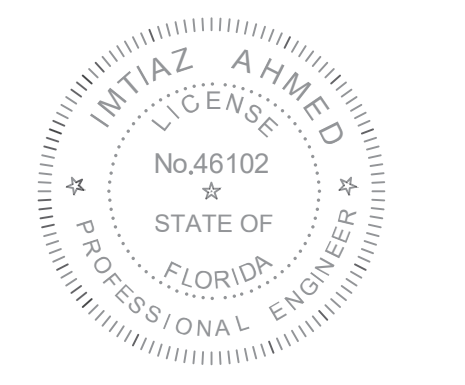


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EROSION CONTROL &  
STORMWATER POLLUTION  
PREVENTION PLAN - PHASE 1



**SEQUENCE OF CONSTRUCTION**

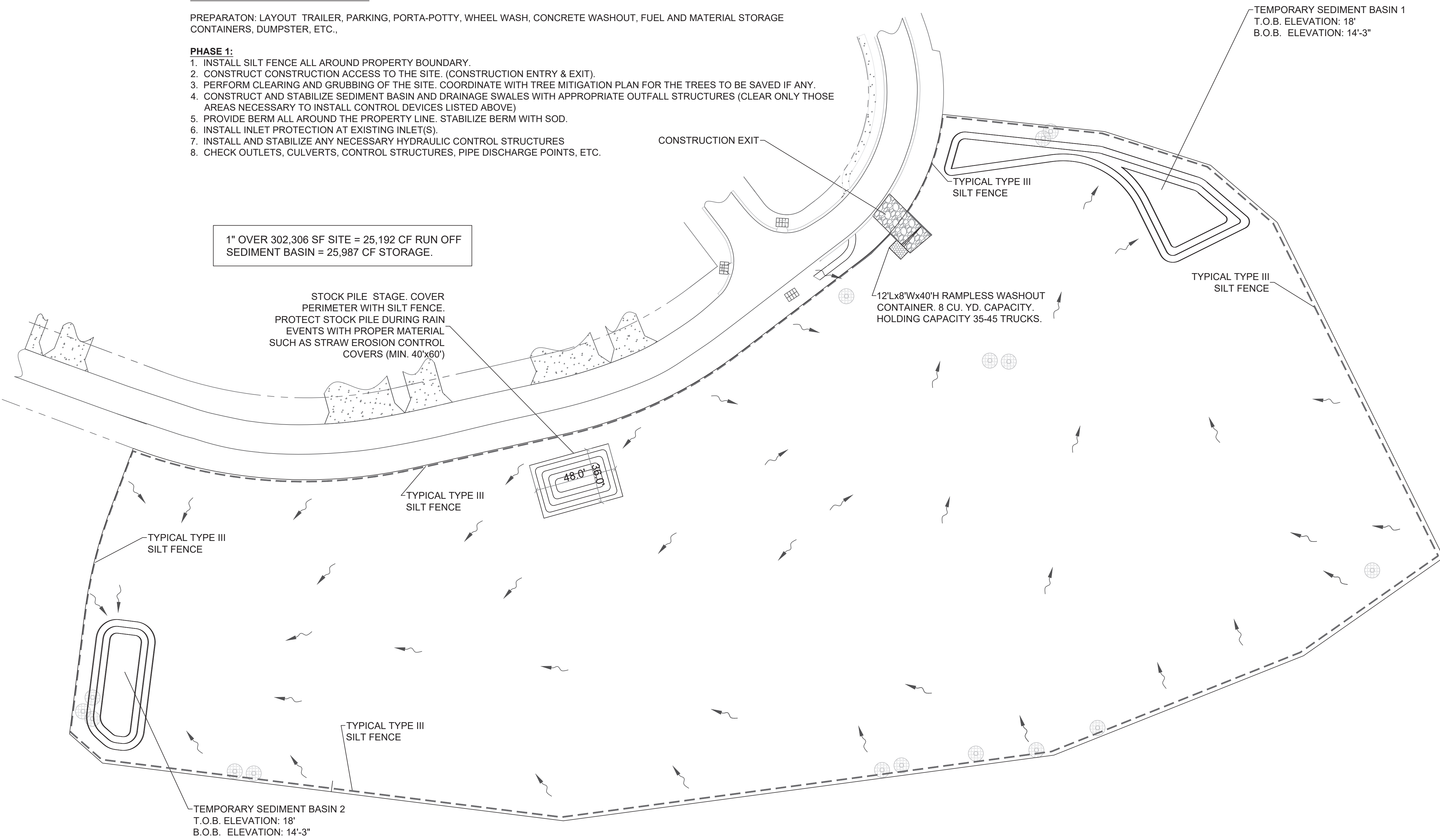
PREPARATION: LAYOUT TRAILER, PARKING, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL AND MATERIAL STORAGE CONTAINERS, DUMPSTER, ETC.,

**PHASE 1:**

1. INSTALL SILT FENCE ALL AROUND PROPERTY BOUNDARY.
2. CONSTRUCT CONSTRUCTION ACCESS TO THE SITE. (CONSTRUCTION ENTRY & EXIT).
3. PERFORM CLEARING AND GRUBBING OF THE SITE. COORDINATE WITH TREE MITIGATION PLAN FOR THE TREES TO BE SAVED IF ANY.
4. CONSTRUCT AND STABILIZE SEDIMENT BASIN AND DRAINAGE SWALES WITH APPROPRIATE OUTFALL STRUCTURES (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL CONTROL DEVICES LISTED ABOVE)
5. PROVIDE BERM ALL AROUND THE PROPERTY LINE. STABILIZE BERM WITH SOD.
6. INSTALL INLET PROTECTION AT EXISTING INLET(S).
7. INSTALL AND STABILIZE ANY NECESSARY HYDRAULIC CONTROL STRUCTURES
8. CHECK OUTLETS, CULVERTS, CONTROL STRUCTURES, PIPE DISCHARGE POINTS, ETC.

1" OVER 302,306 SF SITE = 25,192 CF RUN OFF  
SEDIMENT BASIN = 25,987 CF STORAGE.

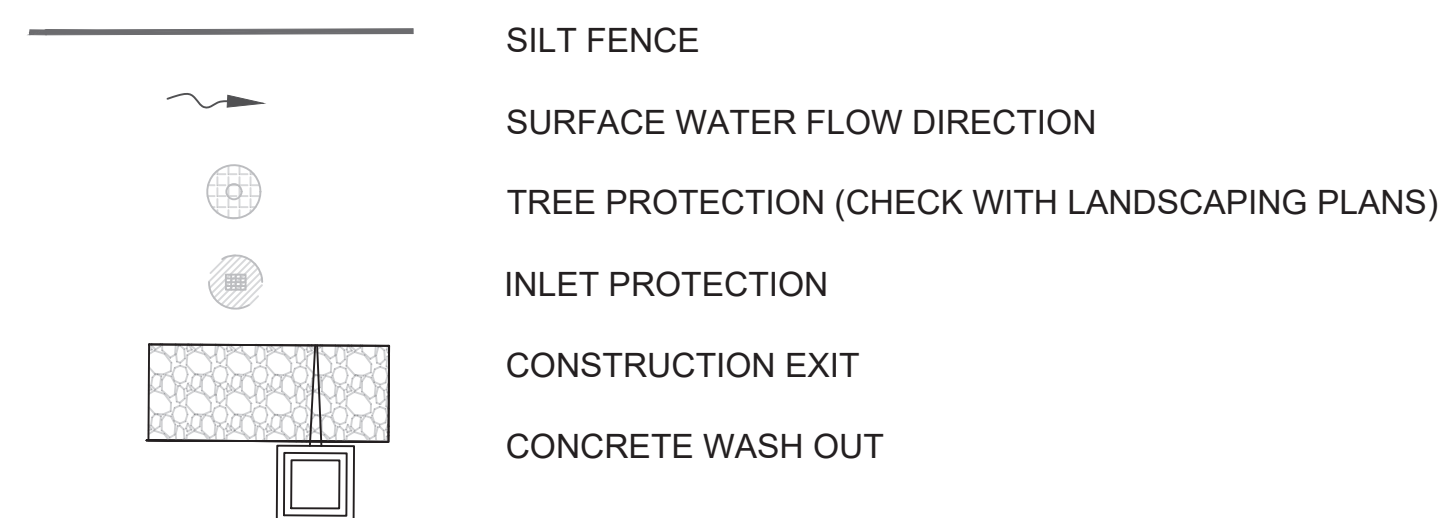
STOCK PILE STAGE. COVER PERIMETER WITH SILT FENCE. PROTECT STOCK PILE DURING RAIN EVENTS WITH PROPER MATERIAL SUCH AS STRAW EROSION CONTROL COVERS (MIN. 40'x60')



**EROSION CONTROL**

1. STABILIZATION PRACTICES  
WHERE CONSTRUCTION OF FILL STOCKPILES ADJACENT TO CONSTRUCTION ACTIVITIES CEASES FOR AT LEAST 21 DAYS, THE SIDES WILL BE STABILIZED BY SEEDING AND MULCHING IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 1991, SECTION 570. SEED AND MULCH SHALL BE APPLIED NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THE AREA.
2. PERMANENT STABILIZATION  
ALL LANDSCAPING, INCLUDING SODDING, SHALL BE INSTALLED ON THE PERIMETER LANDSCAPE BERMS IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN WITHIN 14 DAYS OF THE LAST CONSTRUCTION ACTIVITY IN THE LANDSCAPE BUFFER AREAS.
3. OFF-SITE VEHICLE TRACKING  
A STABILIZED CONSTRUCTION ENTRANCE CONSISTING OF MINIMUM 4" COMPACTED LIMEROCK BASE WILL BE CONSTRUCTED AS SOON AS CONSTRUCTION STARTS TO REDUCE THE AMOUNT OF VEHICLE TRACKING FROM THE SITE. THE PAVED STREET ADJACENT TO THE CONSTRUCTION ENTRANCE WILL BE SWEEPED ON A REGULAR BASIS TO REMOVE ANY ACCUMULATION OF DIRT OR ROCKS WHICH HAVE BEEN TRACKED FROM THE SITE. ALL DUMP TRUCKS BRINGING MATERIAL TO, OR LEAVING THE SITE WILL BE COVERED WITH A TARPULIN.
4. EROSION AND SEDIMENT CONTROL, INSPECTION AND MAINTENANCE PRACTICES
  - ALL CONTROL MEASURES WILL BE INSPECTED AT LEAST ONCE WEEKLY AND FOLLOWING ANY STORM EVENT GREATER THAN 1/2".
  - REPAIRS WILL BE COMPLETED WITHIN 24 HOURS.
  - THE PERIMETER SWALES WILL BE INSPECTED REGULARLY AND RE-GRADED AS NECESSARY TO REMOVE THE BUILT UP SEDIMENT.
  - TEMPORARY SEED AND MULCH AREAS AND PERMANENT SOD AREAS WILL BE INSPECTED REGULARLY FOR BARE SPOTS AND TO ENSURE ADEQUATE GROWTH.
  - TURBIDITY SCREENS SHALL BE INSPECTED REGULARLY, AND REPAIRED AS NECESSARY.
  - FILTER FABRIC SHALL BE SECURED IN ALL CATCH BASINS UNTIL COMPLETION OF CONSTRUCTION.

**EROSION CONTROL & STORMWATER POLLUTION PREVENTION LEGEND:**



**Sunshine811**  
Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.  
Check positive response codes before you dig!

ALL OVERHEAD &  
UNDERGROUND  
UTILITIES TO BE  
LOCATED AND MARKED

**SEQUENCE OF CONSTRUCTION**

**PHASE 2:**

1. START BRINGING CLEAN FILL MATERIAL AND PERFORM GRADING, AND DENSITY TESTING.
2. CONSTRUCT BUILDING FOUNDATIONS.
3. TEMPORARILY SEED WITH PURE LIVE SEED, THROUGHOUT CONSTRUCTION, DISTURBED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE OR AS REQUIRED BY GENERIC PERMIT.
4. INSTALL ALL NECESSARY PIPES SUCH AS, UTILITIES, STORMWATER PIPES,.
5. INSTALL ALL CURBS.
6. INSTALL INLET PROTECTION AT ALL STORM DRAIN INLETS AS EACH INLET IS INSTALLED.
7. PERMANENTLY STABILIZED FINAL GRADE AREAS SHALL BE VEGETATED
8. SITE SHALL BE PAVED AS SOON AS POSSIBLE.
9. CLEAN ALL THE CATCH BASINS, CONTROL STRUCTURES, CULVERTS, PIPES, ETC. PROVIDE WET VACUUM IF NECESSARY
10. CONTACT THE CONSULTANT TO PERFORM INSPECTION AND CERTIFICATION.
11. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER INSPECTION AND APPROVAL OF THE ENGINEER AND STABILIZE ANY AREA DISTURBED.

**ATLANTIC ENGINEERING SERVICES, INC.**

IMTIAZ AHMED, PE  
 PE#46102  
 2826 WATERS EDGE CIRCLE  
 GREENACRES, FLORIDA 33413  
 PHONE - (561) 358-4140  
 FAX - (561) 966-9242  
 CERTIFICATE OF AUTHORIZATION NO.: 9390

**CLIENT:**  
**GATOR TRACE ON THE GREENS, LLC**  
 17305 S DIXIE HWY.  
 PALMETTO BAY, FL 33157

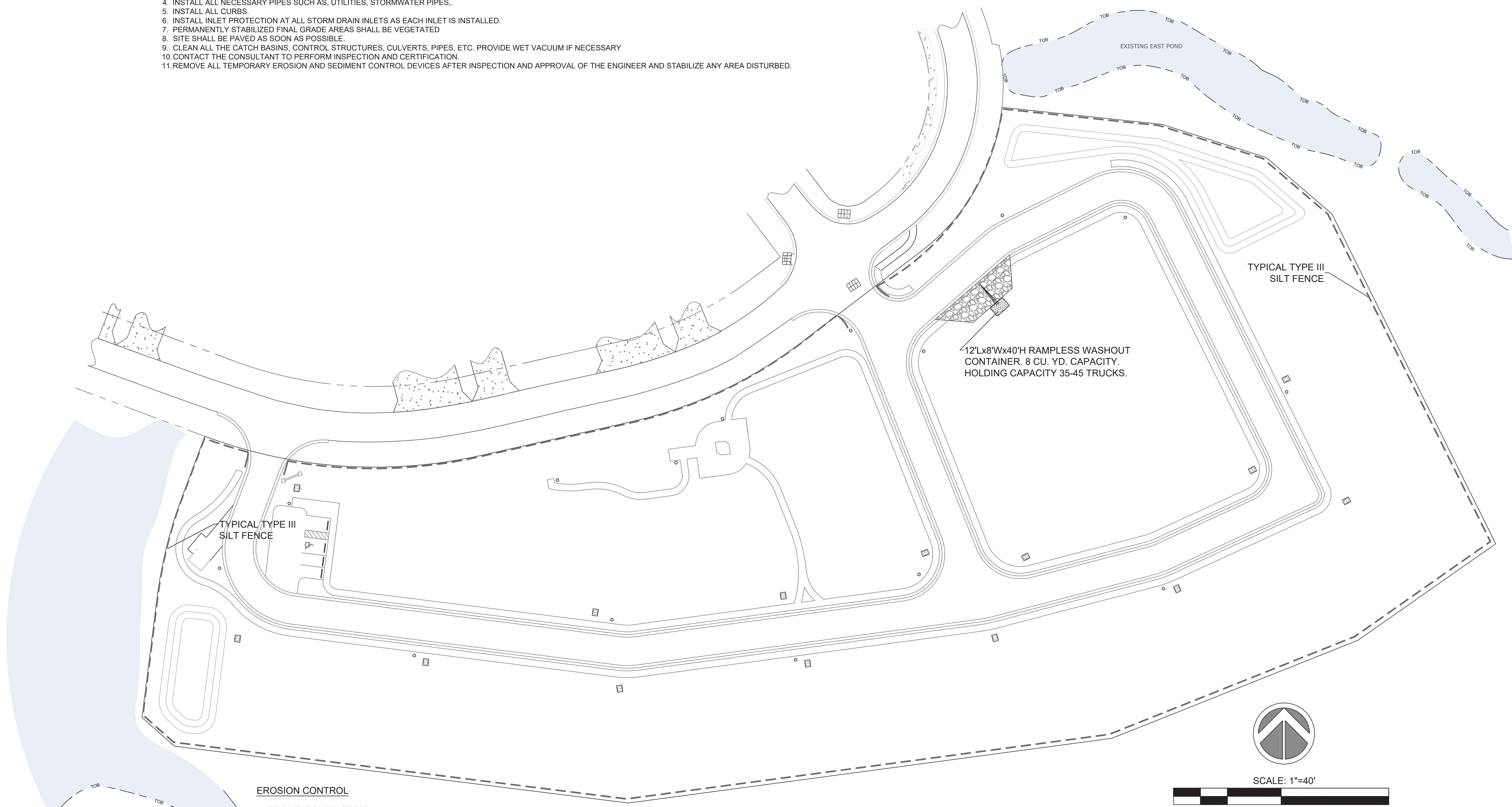
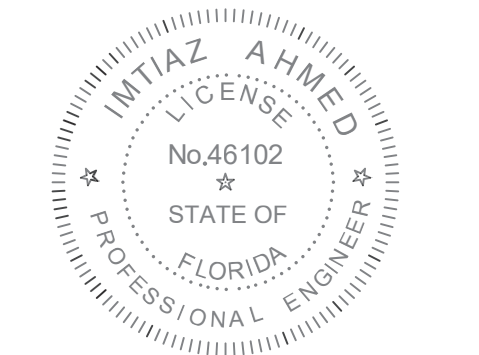
**GATOR TRACE ON THE GREENS TOWNHOMES**  
 GATOR TRACE  
 FORT PIERCE, FL 34982

TO THE BEST OF MY KNOWLEDGE, THE PLANS AND SPECIFICATIONS SUBMITTED HERewith COMPLY WITH EXISTING INTERPRETATIONS AND PROVISIONS OF THE APPLICABLE BUILDING CODES.

THE ARCHITECT OF RECORD AND THE GENERAL CONTRACTOR & SUB CONTRACTORS SHALL REVIEW THE PLANS ANY DISCREPANCY SHALL BE REPORTED TO ENGINEER OF RECORD PRIORITY OF CONSTRUCTION OR IMMEDIATELY.

REVISIONS	DATE

**SHEET:**  
**C-14**  
 EROSION CONTROL & STORMWATER POLLUTION PREVENTION PLAN - PHASE 2



**EROSION CONTROL**

**1. STABILIZATION PRACTICES**

WHERE CONSTRUCTION OF FILL STOCKPILES ADJACENT TO CONSTRUCTION ACTIVITIES CEASES FOR AT LEAST 21 DAYS, THE SIDES WILL BE STABILIZED BY SEEDING AND MULCHING IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 1991, SECTION 570. SEED AND MULCH SHALL BE APPLIED NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THE AREA.

**2. PERMANENT STABILIZATION**

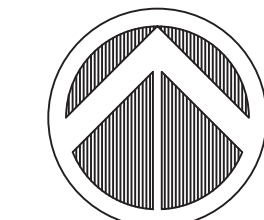
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**3. OFF-SITE VEHICLE TRACKING**

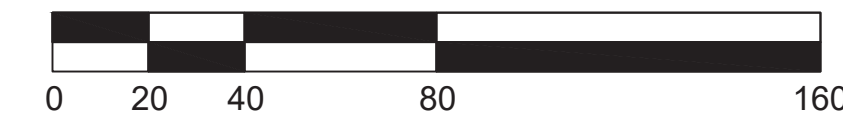
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**4. EROSION AND SEDIMENT CONTROL, INSPECTION AND MAINTENANCE PRACTICES**

- ALL CONTROL MEASURES WILL BE INSPECTED AT LEAST ONCE WEEKLY AND FOLLOWING ANY STORM EVENT GREATER THAN 1/2".
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SCALE: 1"=40'

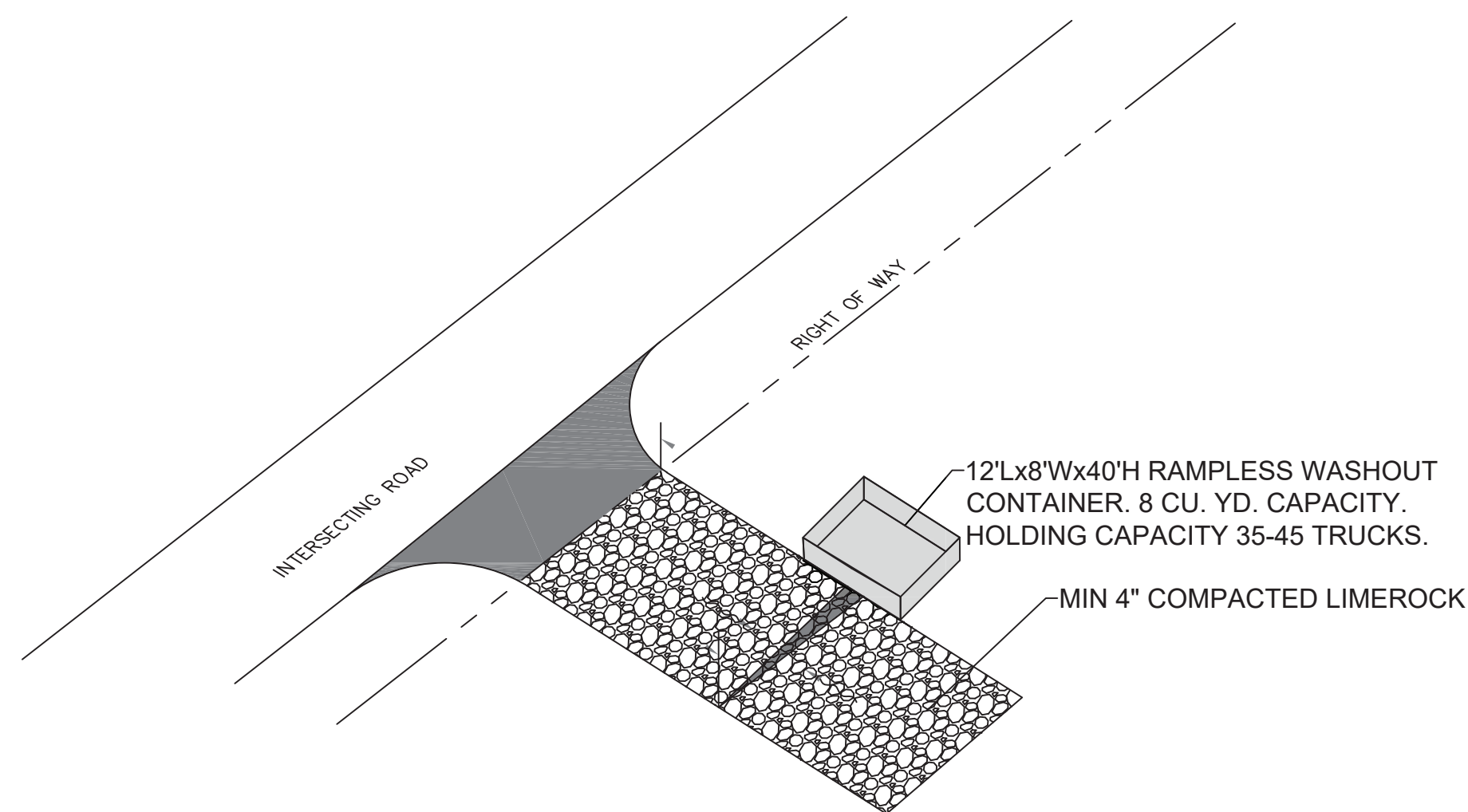


**EROSION CONTROL & STORMWATER POLLUTION PREVENTION LEGEND:**

- SILT FENCE
- SURFACE WATER FLOW DIRECTION
- TREE PROTECTION
- INLET PROTECTION
- CONSTRUCTION EXIT
- CONCRETE WASH OUT (12'Lx8'Wx40'H RAMPLESS WASHOUT CONTAINER. 8 CU. YD. CAPACITY. HOLDING CAPACITY 35-45 TRUCKS.)

**Sunshine 811**  
 Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.  
 Check positive response codes before you dig!

**ALL OVERHEAD & UNDERGROUND UTILITIES TO BE LOCATED AND MARKED**



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**CONSTRUCTION EXIT**  
N.T.S

STATE OF FLORIDA ENGINEER & ARCHITECT DESIGNER & REVIEWER MANUAL, LATEST EDITION, JULY 2013

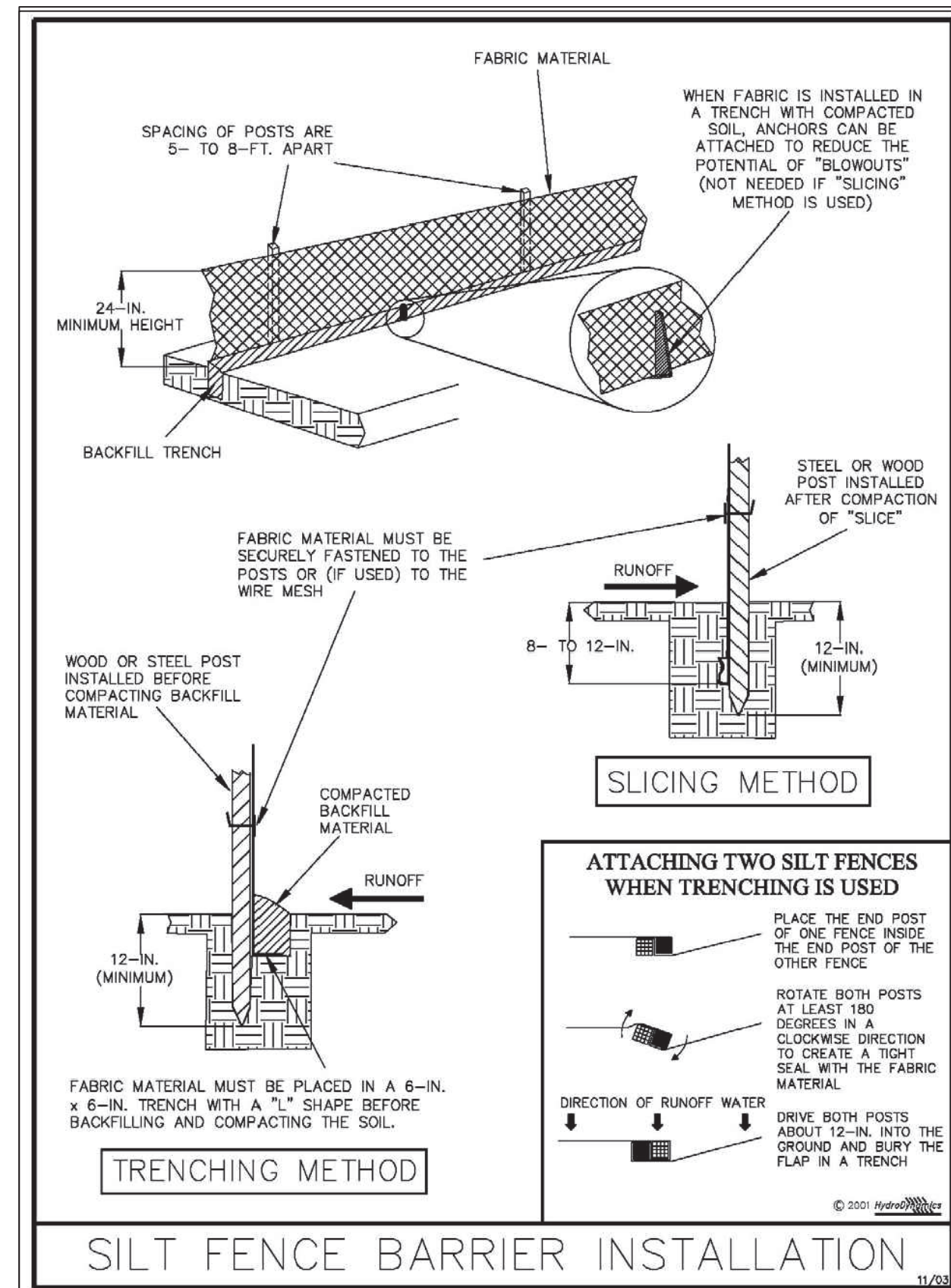
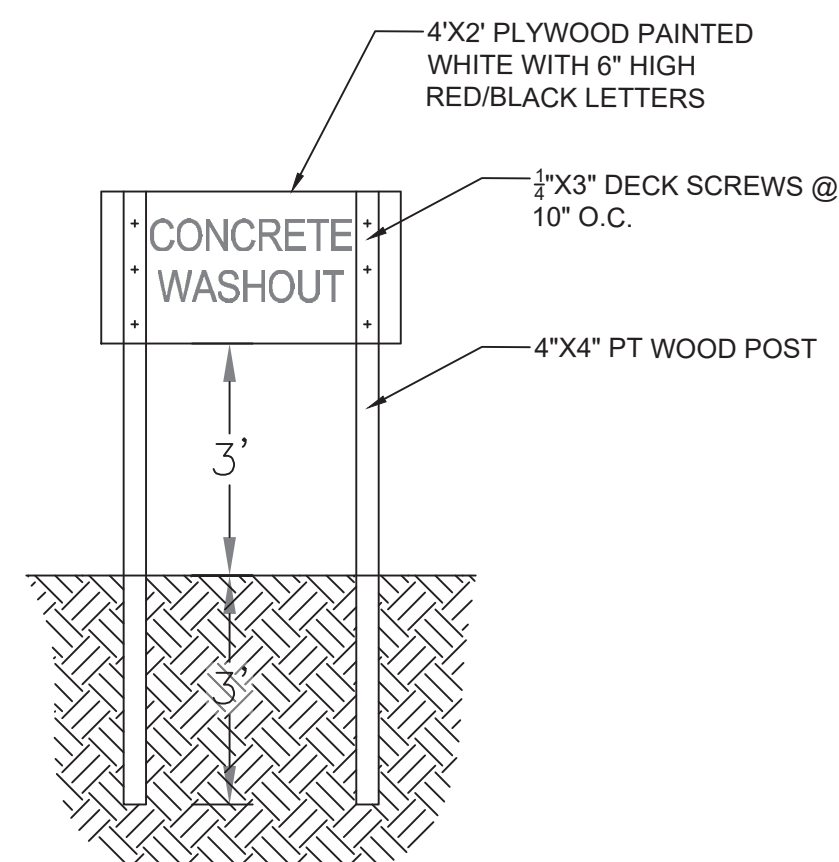


Illustration of a Silt Fence Barrier

Permission is given by HydroDynamics Incorporated to copy and reproduce this detail

Figure V-2: v-7



**CONCRETE WASHOUT SIGN**  
N.T.S

**EROSION CONTROL**

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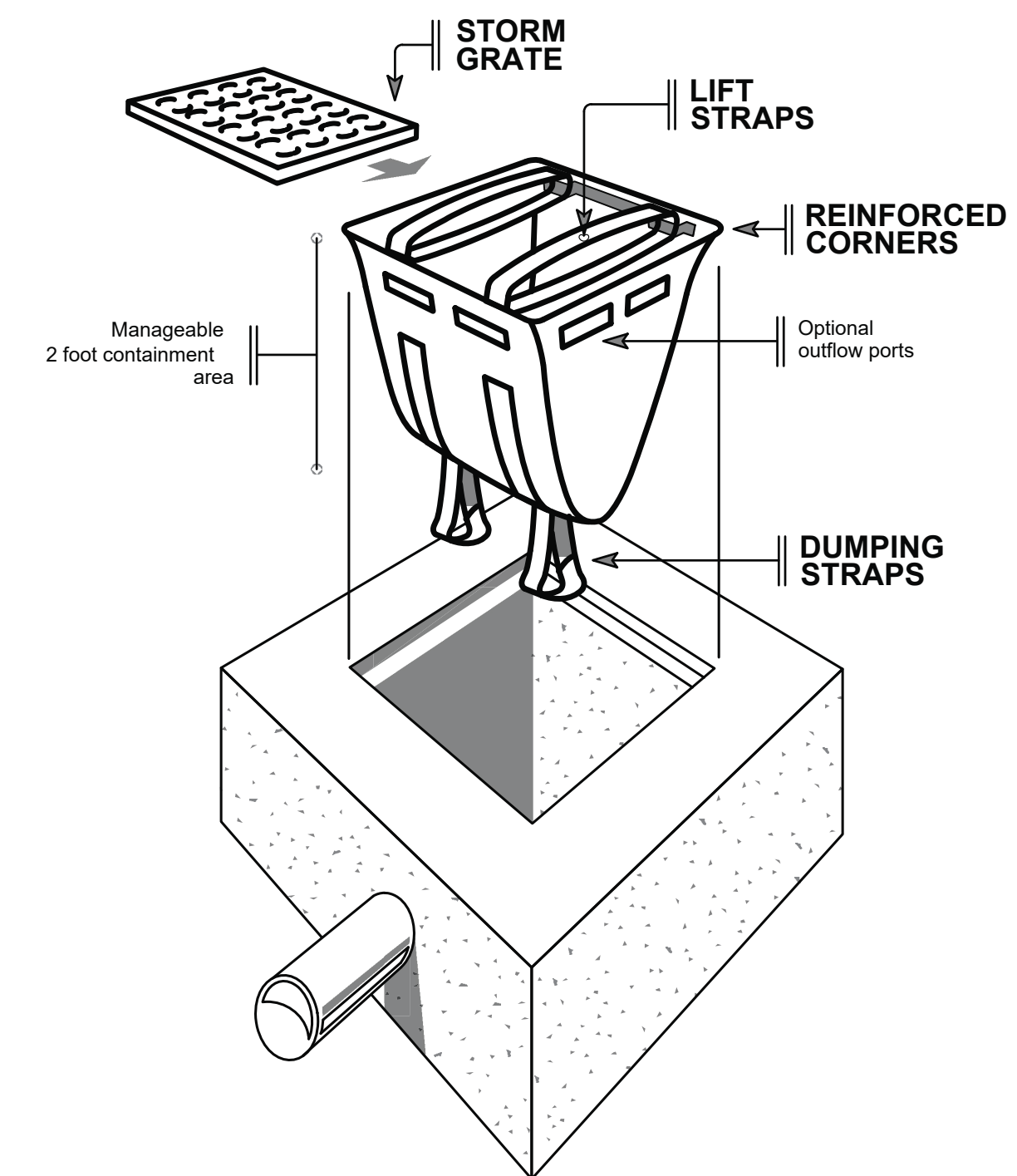
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- \* FILTER FABRIC SHALL BE SECURED IN ALL CATCH BASINS UNTIL COMPLETION OF CONSTRUCTION.

**DANDY SACK™**



**INLET INSERT SACK DETAIL**  
N.T.S

**ATLANTIC ENGINEERING SERVICES, INC.**

IMTIAZ AHMED, PE  
PE#46102  
2826 WATERS EDGE CIRCLE  
GREENACRES, FLORIDA 33413  
PHONE - (561) 358-4140  
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CLIENT:  
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17305 S DIXIE HWY.  
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**GATOR TRACE ON THE GREENS TOWNHOMES**

GATOR TRACE  
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TO THE BEST OF MY KNOWLEDGE, THE PLANS AND SPECIFICATIONS SUBMITTED HERewith COMPLY WITH EXISTING INTERPRETATIONS AND PROVISIONS OF THE APPLICABLE BUILDING CODES.

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REVISIONS	DATE

SHEET:

**C-15**

EROSION CONTROL & STORMWATER POLLUTION PREVENTION PLAN - DETAILS



## **DRAINAGE CALCULATIONS**

### **GATOR TRACE ON THE GREENS TOWNHOMES Fort Pierce, Florida**

**Prepared by:  
Atlantic Engineering Services, Inc.  
2826 Waters Edge Circle  
Greenacres, Florida 33413  
Ph: 561-358-4140  
Fax: 561-922-6765  
atlanticengserv@gmail.com**

---

**Imtiaz Ahmed, P.E.  
Florida License # 46102  
December 27, 2023**

This item has been digitally signed and sealed by Imtiaz Ahmed on the date adjacent to the seal.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies

**PRE SURFACE WATER MANAGEMENT CALCULATIONS**  
for  
**GATOR TRACE**

**1) PROPOSED LAND USE**

PROJECT PHASE	TOTAL AREA	BUILDING	ROADS,WALKS,DRIVES		IMPERVIOUS AREA	
	(ACRES)	(ACRES)	%	(ACRES)	%	(ACRES)
GATOR TRACE	6.94	0.00	0.0%	0.00	0.0%	0.00
TOTAL	6.94	0.00		0.00		0.00

**Site Summary**

Site Area..... 6.94 acres  
 Offsite road right-of-way... 0.00 acres  
 Net Area..... 6.94 acres

Building Area..... 0.00 acres  
 Parking/Roads Area..... 0.00 acres  
 Conservation easment..... 0.00 acres  
 Green Area..... 6.94 acres

**Pervious Area..... 2.56 acres**  
**Impervious Area..... 4.38 acres**

**Offsite road right-of-way**

Total area... 0.00  
 Roads/Walk: ..... 0.00  
 Pervious Area..... 0.00

**Detention Area**

0.00%  
 Dry detention..... 0.00 acres  
 Dry detention top of bank elevation..... NA navd  
 Dry detention at top of bank..... 0.00 acres

**2) FLOOD AND RAINFALL CRITERIA**

5 year, 1 hr..... 2.00 inches  
 5year, 1 day storm..... 5.00 inches  
 10 year, 1 day storm..... 6.00 inches  
 25 year, 1 day storm..... 8.00 inches  
 25 year, 3 day storm..... 9.51 inches  
 100 year, 1 day storm..... 10.00 inches  
 100 year, 3 day storm..... 12.23 inches

Average road elevation..... 18.00 navd  
 Minimum road crown..... 17.50 navd  
 100 yr flood elev..... 19.00 navd  
 Min finished floor elev..... 19.50 navd

**3) COMPUTE SOIL STORAGE**

Wet season water elev..... 13.50 navd      15.00 ngvd  
 Ave. groundwater elev..... 13.50 navd      15.00 ngvd  
 Ave. site elevation..... 19.00 navd  
 Depth to water table..... 5.50 ft.

Assuming 25% compaction, available ground storage is..... 4.40 inches  
 Storage available in pervious areas of the site is ..... 2.54 acre ft.  
 Converting to site wide moisture storage, S ..... 4.40 inches

**4) WATER QUALITY REQUIREMENTS**

a) Based on the first 1" of runoff

Site area.....	6.94	acres	
Base required detention.....	0.58	acre ft.	
Additional 50% of the presumptive water treatment volume.....			0.29 acre ft.
Total detention required.....			<b>0.87 acre ft.</b>

b) Based on 2.5 inches times percent impervious (3 year - 1 hour storm)

Site area.....	6.94	acres (Excluding building & lake areas)	
Impervious area.....	0.00	acres (Excluding building & lake areas)	
Percent impervious.....	0.00	%	
Base required detention.....	0.00	acre ft.	
Additional 50% of the presumptive water treatment volume.....			0.00 acres ft.
Total detention required.....			<b>0.00 acres ft.</b>

Therefore the required detention is..... **0.87 acre ft.**

Corresponding stage is between..... 16.00 and..... 16.50 navd

Interpolating gives a weir crest of..... **16.25 navd**

c) Compute Pretreatment volume based on 1/2" inch of runoff

Total site less lakes.....	6.94	acres
Required Pretreatment based on 1/2 inch.....	0.29	acre ft.

Corresponding stage is between..... 16.00 and..... 16.50 navd

Interpolating gives a required elev of..... **16.08 navd**

d) Compute the resulting required detention volume

Therefore pretreatment required in detention area.....	<b>0.87 ac.ft or</b>	<b>10.40 ac. inches</b>
<b>Provided in detention area at elevation 18.00 navd.....</b>	<b>0.00 ac.ft or</b>	<b>0.00 ac. inches</b>

**5) COMPUTE STAGE STORAGE**

Assumptions:

Lake areas store linearly from.....	13.50	to elevation..	9.00	then vertically
Dry detention areas store linearly from	0.00	to elevation..	0.00	then vertically
Roadways store linearly from.....	0.00	to elevation..	0.00	then vertically
Site green areas store linearly from.....	16.00	to elevation..	16.50	then vertically
Trench stores linearly from.....	0.00	to elevation..	0.00	then vertically

Storage (acre ft.)							
Stage	Lake	Dry det.	Trench	Roadways	Site	Total	Stage
10.00	0.00	0.00	0.00	0.00	0.00	0.00	10.00
10.50	0.00	0.00	0.00	0.00	0.00	0.00	10.50
11.00	0.00	0.00	0.00	0.00	0.00	0.00	11.00
11.50	0.00	0.00	0.00	0.00	0.00	0.00	11.50
12.00	0.00	0.00	0.00	0.00	0.00	0.00	12.00
12.50	0.00	0.00	0.00	0.00	0.00	0.00	12.50
13.00	0.00	0.00	0.00	0.00	0.00	0.00	13.00
13.50	0.00	0.00	0.00	0.00	0.00	0.00	13.50
14.00	0.00	0.00	0.00	0.00	0.00	0.00	14.00
14.50	0.00	0.00	0.00	0.00	0.00	0.00	14.50
15.00	0.00	0.00	0.00	0.00	0.00	0.00	15.00
15.50	0.00	0.00	0.00	0.00	0.00	0.00	15.50
16.00	0.00	0.00	0.00	0.00	0.00	0.00	16.00
16.50	0.00	0.00	0.00	0.00	1.73	1.73	16.50
17.00	0.00	0.00	0.00	0.00	5.20	5.20	17.00
17.50	0.00	0.00	0.00	0.00	8.67	8.67	17.50
18.00	0.00	0.00	0.00	0.00	12.14	12.14	18.00
18.50	0.00	0.00	0.00	0.00	15.60	15.60	18.50
19.00	0.00	0.00	0.00	0.00	19.07	19.07	19.00
19.50	0.00	0.00	0.00	0.00	22.54	22.54	19.50
20.00	0.00	0.00	0.00	0.00	26.01	26.01	20.00
20.50	0.00	0.00	0.00	0.00	29.48	29.48	20.50
21.00	0.00	0.00	0.00	0.00	32.94	32.94	21.00
21.50	0.00	0.00	0.00	0.00	36.41	36.41	21.50
22.00	0.00	0.00	0.00	0.00	39.88	39.88	22.00
22.50	0.00	0.00	0.00	0.00	43.35	43.35	22.50
23.00	0.00	0.00	0.00	0.00	46.81	46.81	23.00
23.50	0.00	0.00	0.00	0.00	50.28	50.28	23.50

**6) FLOOD STAGE CRITERIA**

100 Year 3 day Flood (zero discharge) **The Finish Floor is Adequate.**

$$Q=(P-(0.2xS))^2/(P+(0.8xS))$$

Storage required..... 4.73 ac. ft. at elev... 19.50 navd  
 Storage provided..... 22.54 ac. ft. at elev... 19.50 navd

100 year, 3 day storm ..... 12.23 in.  
 Runoff ..... 8.18 in.  
 Volume of runoff ..... 4.73 acre ft.

Corresponding stage is between..... 16.50 and..... 17.00 navd  
 Interpolating gives an elevation of..... **16.93 navd**

10 Year 1 day Flood (zero discharge) **The Stage is Below Average Road Crown Elevation.**

$$Q=(P-(0.2xS))^2/(P+(0.8xS))$$

Storage required..... 1.59 ac. ft. at elev... 18.00 navd  
 Storage provided..... 12.14 ac. ft. at elev... 18.00 navd

Corresponding stage is between..... 16.00 and..... 16.50 navd  
 Interpolating gives an elevation of..... **16.46 navd**

5 Year 1 day Flood (zero discharge) **The Stage is Below Minimum Road Crown Elevation.**

$$Q=(P-(0.2xS))^2/(P+(0.8xS))$$

Storage required..... 0.13 ac. ft. at elev... 17.50 navd  
 Storage provided..... 8.67 ac. ft. at elev... 17.50 navd

Corresponding stage is between..... 16.00 and..... 16.50 navd  
 Interpolating gives an elevation of..... **16.04 navd**

**7) STAGE DISCHARGE CALCULATIONS**

a) Allowable discharge..... csm  
 or Pre-Development Discharge..... **10.00** cfs

b) Determine the maximum stage discharge during 25 year, 3 day storm (zero discharge)

25 year, 3 day storm ..... 9.51 in.  
 Runoff ..... 5.72 in.  
 Volume of runoff ..... 3.30 acre ft.

Corresponding stage is between..... 16.50 and..... 17.00 navd  
 Interpolating gives an elevation of..... **16.73 navd**  
 Weir crest will be set at..... 19.00 navd

I HEREBY CERTIFY THAT THE ABOVE INFORMATION IS TRUE  
 AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

\_\_\_\_\_  
 IMTIAZ AHMED, P.E.  
 FLORIDA REGISTRATION NO. 46102

**POST SURFACE WATER MANAGEMENT CALCULATIONS**

for

**GATOR TRACE**

**1) PROPOSED LAND USE**

PROJECT PHASE	TOTAL AREA	BUILDING		ROADS,WALKS,DRIVES		IMPERVIOUS AREA	
	(ACRES)	(ACRES)	%	(ACRES)	%	(ACRES)	%
GATOR TRACE	6.94	1.91	27.5%	2.24	32.4%	4.15	59.9%
TOTAL	6.94	1.91		2.24		4.15	59.9%

**Site Summary**

Site Area..... 6.94 acres  
 Offsite road right-of-way... 0.00 acres  
 Net Area..... 6.94 acres

Building Area..... 1.91 acres  
 Parking/Roads Area..... 2.24 acres  
 Conservation easment..... 0.00 acres  
 Green Area..... 2.62 acres

**Pervious Area..... 2.56 acres**  
**Impervious Area..... 4.38 acres**

**Offsite road right-of-way**

Total area... 0.00  
 Roads/Walk: ..... 0.00  
 Pervious Area..... 0.00

**Detention Area**

2.34%  
 Dry detention..... 0.16 acres  
 Dry detention top of bank elevation..... 18.00 navd  
 Dry detention at top of bank..... 0.54 acres

**2) FLOOD AND RAINFALL CRITERIA**

5 year, 1 hr..... 2.00 inches  
 5year, 1 day storm..... 5.00 inches  
 10 year, 1 day storm..... 6.00 inches  
 25 year, 1 day storm..... 8.00 inches  
 25 year, 3 day storm..... 9.51 inches  
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Average road elevation..... 18.00 navd  
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 Min finished floor elev..... 20.50 navd

**3) COMPUTE SOIL STORAGE**

Wet season water elev..... 13.50 navd      15.00 ngvd  
 Ave. groundwater elev..... 13.50 navd      15.00 ngvd  
 Ave. site elevation..... 19.00 navd  
 Depth to water table..... 5.50 ft.

Assuming 25% compaction, available ground storage is..... 4.40 inches  
 Storage available in pervious areas of the site is ..... 1.02 acre ft.  
 Converting to site wide moisture storage, S ..... 1.76 inches

**4) WATER QUALITY REQUIREMENTS**

a) Based on the first 1" of runoff

Site area.....	6.94	acres	
Base required detention.....	0.58	acre ft.	
Additional 50% of the presumptive water treatment volume.....			0.29 acre ft.
Total detention required.....			<b>0.87 acre ft.</b>

b) Based on 2.5 inches times percent impervious (3 year - 1 hour storm)

Site area.....	5.03	acres (Excluding building & lake areas)	
Impervious area.....	2.24	acres (Excluding building & lake areas)	
Percent impervious.....	44.66	%	
Base required detention.....	0.65	acre ft.	
Additional 50% of the presumptive water treatment volume.....			0.32 acres ft.
Total detention required.....			<b>0.97 acres ft.</b>

Therefore the required detention is..... **0.97 acre ft.**

Corresponding stage is between..... 17.50 and..... 18.00 navd

Interpolating gives a weir crest of..... **17.63 navd**

c) Compute Pretreatment volume based on 1/2" inch of runoff

Total site less lakes.....	6.94	acres
Required Pretreatment based on 1/2 inch.....	0.29	acre ft.

Corresponding stage is between..... 16.00 and..... 16.50 navd

Interpolating gives a required elev of..... **16.20 navd**

d) Compute the resulting required detention volume

Therefore pretreatment required in detention area.....	<b>0.97 ac.ft or</b>	<b>11.62 ac. inches</b>
<b>Provided in detention area at elevation 18.00 navd.....</b>	<b>1.05 ac.ft or</b>	<b>12.62 ac. inches</b>

**5) COMPUTE STAGE STORAGE**

Assumptions:

Lake areas store linearly from.....	13.50	to elevation..	9.00	then vertically
Dry detention areas store linearly from	15.00	to elevation..	18.00	then vertically
Roadways store linearly from.....	17.50	to elevation..	19.00	then vertically
Site green areas store linearly from.....	17.50	to elevation..	19.00	then vertically
Trench stores linearly from.....	0.00	to elevation..	0.00	then vertically

Storage (acre ft.)							
Stage	Lake	Dry det.	Trench	Roadways	Site	Total	Stage
10.00	0.00	0.00	0.00	0.00	0.00	0.00	10.00
10.50	0.00	0.00	0.00	0.00	0.00	0.00	10.50
11.00	0.00	0.00	0.00	0.00	0.00	0.00	11.00
11.50	0.00	0.00	0.00	0.00	0.00	0.00	11.50
12.00	0.00	0.00	0.00	0.00	0.00	0.00	12.00
12.50	0.00	0.00	0.00	0.00	0.00	0.00	12.50
13.00	0.00	0.00	0.00	0.00	0.00	0.00	13.00
13.50	0.00	0.00	0.00	0.00	0.00	0.00	13.50
14.00	0.00	0.00	0.00	0.00	0.00	0.00	14.00
14.50	0.00	0.00	0.00	0.00	0.00	0.00	14.50
15.00	0.00	0.00	0.00	0.00	0.00	0.00	15.00
15.50	0.00	0.10	0.00	0.00	0.00	0.10	15.50
16.00	0.00	0.23	0.00	0.00	0.00	0.23	16.00
16.50	0.00	0.38	0.00	0.00	0.00	0.38	16.50
17.00	0.00	0.58	0.00	0.00	0.00	0.58	17.00
17.50	0.00	0.80	0.00	0.00	0.00	0.80	17.50
18.00	0.00	1.05	0.00	0.19	0.22	1.46	18.00
18.50	0.00	1.32	0.00	0.75	0.87	2.94	18.50
19.00	0.00	1.59	0.00	1.68	1.96	5.24	19.00
19.50	0.00	1.86	0.00	2.81	3.27	7.94	19.50
20.00	0.00	2.13	0.00	3.93	4.58	10.64	20.00
20.50	0.00	2.40	0.00	5.05	5.89	13.34	20.50
21.00	0.00	2.67	0.00	6.17	7.20	16.04	21.00
21.50	0.00	2.94	0.00	7.29	8.51	18.74	21.50
22.00	0.00	3.21	0.00	8.42	9.82	21.44	22.00
22.50	0.00	3.48	0.00	9.54	11.13	24.14	22.50
23.00	0.00	3.75	0.00	10.66	12.44	26.85	23.00
23.50	0.00	4.02	0.00	11.78	13.75	29.55	23.50

**6) FLOOD STAGE CRITERIA**

100 Year 3 day Flood (zero discharge) **The Finish Floor is Adequate.**

$$Q = (P - (0.2xS))^2 / (P + (0.8xS))$$

Storage required..... 5.98 ac. ft. at elev... 20.50 navd

Storage provided..... 13.34 ac. ft. at elev... 20.50 navd

100 year, 3 day storm ..... 12.23 in.

Runoff ..... 10.34 in.

Volume of runoff ..... 5.98 acre ft.

Corresponding stage is between..... 19.00 and..... 19.50 navd

Interpolating gives an elevation of..... **19.14 navd**

10 Year 1 day Flood (zero discharge) **The Stage is Below Average Road Crown Elevation.**

$$Q=(P-(0.2xS))^2/(P+(0.8xS))$$

Storage required..... 2.49 ac. ft. at elev... 18.00 navd  
 Storage provided..... 1.46 ac. ft. at elev... 18.00 navd

Corresponding stage is between..... 18.00 and..... 18.50 navd  
 Interpolating gives an elevation of..... **18.35 navd**

5 Year 1 day Flood (zero discharge) **The Stage is Below Minimum Road Crown Elevation.**

$$Q=(P-(0.2xS))^2/(P+(0.8xS))$$

Storage required..... 0.46 ac. ft. at elev... 17.50 navd  
 Storage provided..... 0.80 ac. ft. at elev... 17.50 navd

Corresponding stage is between..... 16.50 and..... 17.00 navd  
 Interpolating gives an elevation of..... **16.70 navd**

**7) STAGE DISCHARGE CALCULATIONS**

a) Allowable discharge..... csm  
 or Pre-Development Discharge..... **10.00** cfs

b) Determine the maximum stage discharge during 25 year, 3 day storm (zero discharge)

25 year, 3 day storm ..... 9.51 in.  
 Runoff ..... 7.68 in.  
 Volume of runoff ..... 4.44 acre ft.

Corresponding stage is between..... 18.50 and..... 19.00 navd  
 Interpolating gives an elevation of..... **18.83 navd**  
 Weir crest will be set at..... 19.00 navd

I HEREBY CERTIFY THAT THE ABOVE INFORMATION IS TRUE  
 AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

\_\_\_\_\_  
 IMTIAZ AHMED, P.E.  
 FLORIDA REGISTRATION NO. 46102



GATOR TRACE COUNTY CLUB  
 4365 GATOR TRACE RD  
 PARCEL ID: 2435-231-0001-000-9

LD-04

LD-03

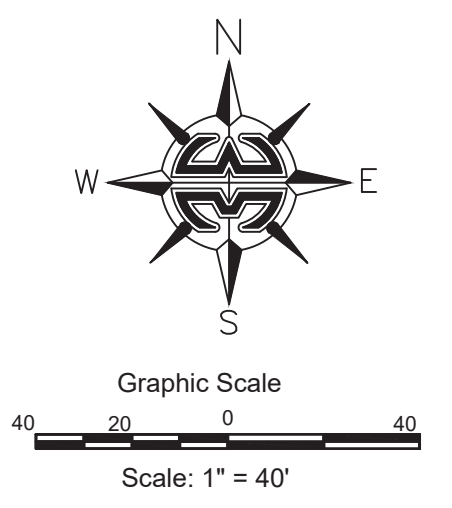
LD-02

**Landscape Data:**

Landscape Buffers: (1 tree/30 lf)	
North: 702 lf	23 Trees
East: 539 lf	18 Trees
South: 1,057 lf	35 Trees
West: 215 lf	7 Trees
Total Trees required:	83 Trees
Interior Landscape:	
Vehicular Use Area:	41,448 sf
Landscape Area required:	2,763 sf
Trees required (1/100 sf)	28 Trees
Total Trees Required:	111 Trees
Total Trees provided:	211 Trees

**General Notes:**

- No landscape materials other than sod grasses may be planted within a 5' radius maintenance area of any underground utility such as water meters, backflow devices, fire hydrants, sanitary sewer cleanouts, and manholes, air release valves, etc.
- No landscaping shall be planted in a manner that would adversely affect utility easements.
- All landscape areas to receive automatic irrigation. Water source to be potable or well and will be determined at time of building permit application.
- Sod around buildings to be St. Augustine 'Bitter Blue' sod. Sod to be weed and disease free and laid tight. All areas within in retention areas to be seeded with Argentine Bahia grass.
- Not trees to be placed within 6' of any hard surface unless root barrier will be installed along the edge of the hard surface. Root barrier to extend at least 5' in either direction from the center of the tree trunk. Refer to Sheet LD-00 for installation details.
- Buffer along Gator Trace Rd intended to be a natural buffer. Maintenance to be kept only to weed removal, no trimming or hedging.



Landscape Design Associates  
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 High Springs, FL 32643  
 352-710-5765 ph, www.landscape.com



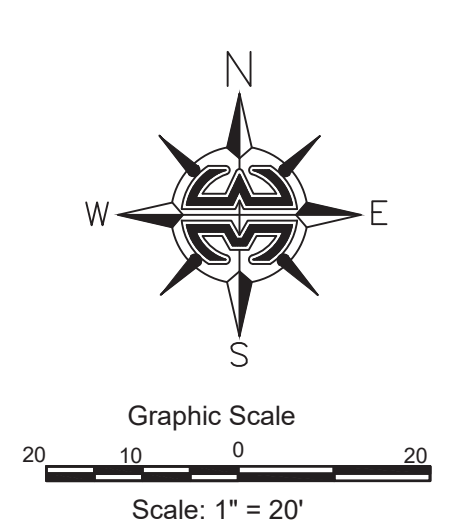
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CADD No.:	22-102-1p
Date:	1.30.24

Revisions	Date	Comments
	6.14.2024	reduced units

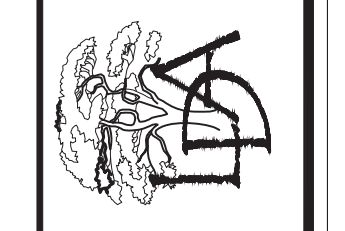
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**Gator Trace**  
 City of Fort Pierce  
**Overall Landscape Plan**





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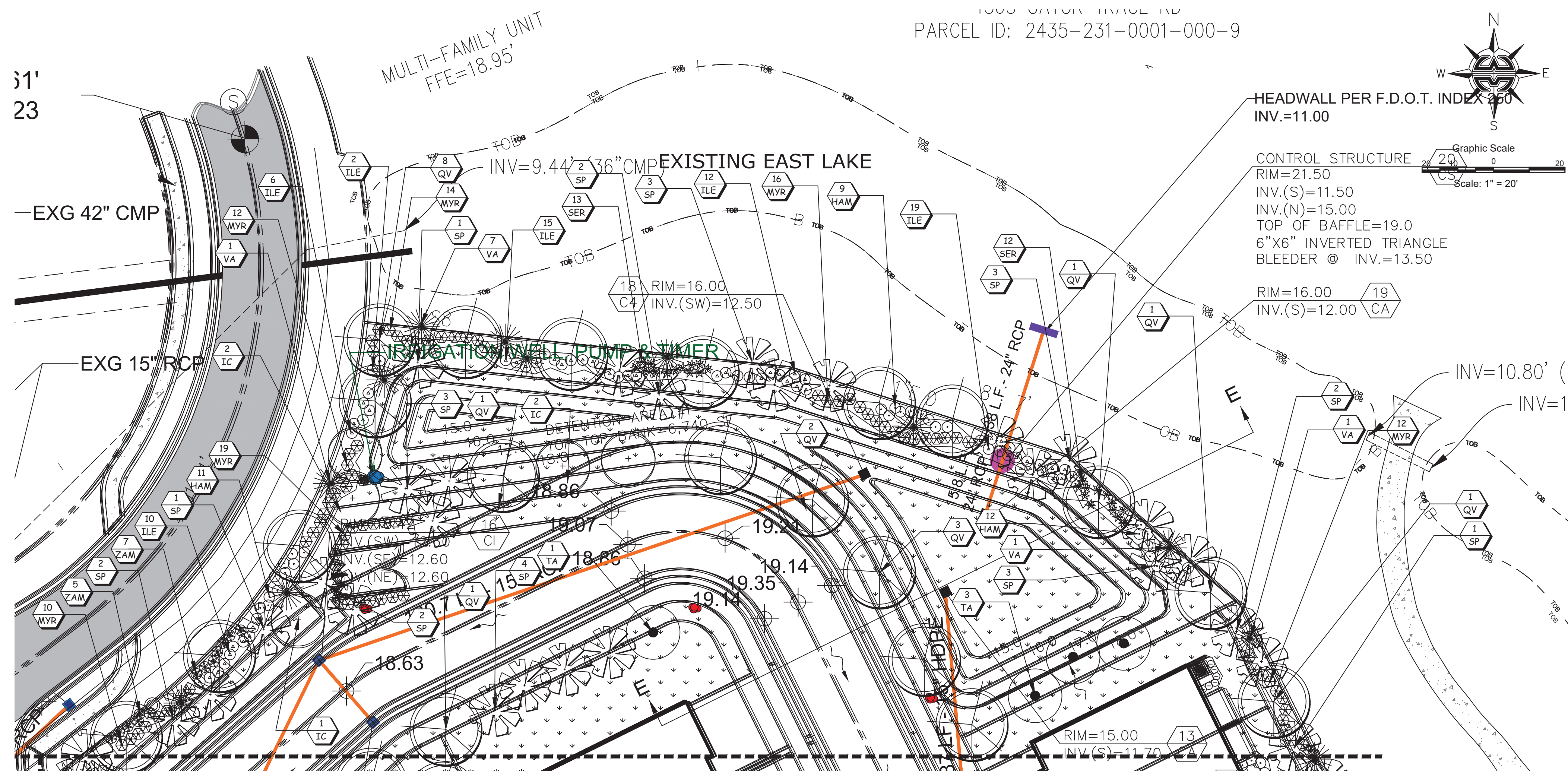
Revisions	Date	Comments

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# Gator Trace

City of Fort Pierce

## Landscape Plan

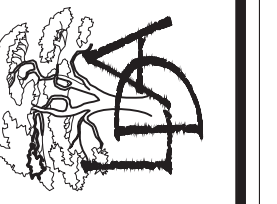


Match Line LD-03

**Landscape Legend:**

Qty	Symb	WU	Name	(N) Native	(F) Flowering Tree	(E) Evergreen
<b>Trees:</b>						
75	IC	☉	Dahoon Holly	(N)(E)		
30	TA	☉	Ilex cassine, FG, 12' ht, 5' Spr., 3" DBH, multi			
		☉	Yellow Tabebuia	(F)		
		☉	Tabebuia argentea, FG, 12' Ht, 5' Spr., 3" DBH			
73	QV	☉	Live Oak	(N)(E)		
		☉	Quercus virginiana, FG, 12' Ht, 5' Spr., 3" DBH			
205	SP	☉	Cabbage Palm			
		☉	Sabal palmetto, relocated from site			
33	VA	☉	Chaste Tree	(N)(F)		
		☉	Vitex agnus-castus, 15 gal, 8' Ht, multi, 3" DBH total			
<b>Accents:</b>						
7	TAB	☉	Pinwheel Jasmine			
		☉	Tabernaemontana divartica, 3 gal, 36" oc			
<b>Shrubs:</b>						
170	FOR	☉	Florida Privet	(N)		
		☉	Foresteria segregata, 3 gal, 24" ht, 36" o.c.			
205	HAM	☉	Dwarf Firebush	(N)(F)		
		☉	Hamelis patens 'Compacta', 3 gal, 18" ht, 36" o.c.			
179	ILE	☉	Yaupon Holly	(N)(E)		
		☉	Ilex vomitoria, 3 gal, 24" ht, 36" oc			
101	ILV	☉	Dwarf Yaupon Holly	(N)(E)		
		☉	Ilex vomitoria 'Shillings', 3 gal, 18"x18", 24" o.c.			
197	MYR	☉	Wax Myrtle	(N) (E)		
		☉	Myrica cerifera, 3 gal, 24"x18", 36" o.c.			
174	RHA	☉	Indian Hawthorn	(F)		
		☉	Rhaphiolepis indica, 3 gal, 24"x18", 24" o.c.			
335	SCA	☉	Inkberry	(N)(E)		
		☉	Scaevola plumieri, 3 gal, 3 gal, 24"x18", 24" o.c.			
71	SER	☉	Saw Palmetto	(N)(E)		
		☉	Serenoa repens, 3 gal, 36" o.c.			
92	SPA	☉	Sand Cordgrass	(N)		
		☉	Spartina patens, 3 gal, 24" oc			
54	UNI	☉	Sea Oats	(N)		
		☉	Uniola paniculata, 3 gal, 24" ht, 24" o.c.			
77	ZAM	☉	Coontie	(N)(E)		
		☉	Zamia pumila, 3 gal, 36" oc			
<b>Groundcover:</b>						
55	HEL	☉	Dune Sunflower	(N)		
		☉	Helianthus debilis, 1 gal, 6"x12", 36" o.c.			

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Revisions	Comments
Date	

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**Gator Trace**  
 City of Fort Pierce  
**Landscape Plan**



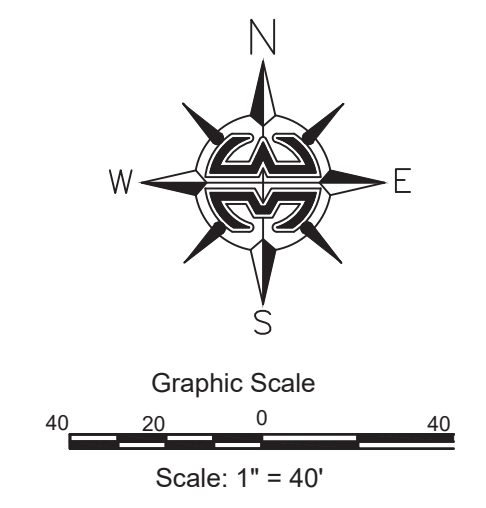
GATOR TRACE COUNTY CLUB  
 4365 GATOR TRACE RD  
 PARCEL ID: 2435-231-0001-000-9

OR TRACE COUNTY CLUB  
 365 GATOR TRACE RD  
 ARCEL ID: 2435-231-0001-000-9

GATOR TRACE COUNTY CLUB  
 4365 GATOR TRACE RD  
 PARCEL ID: 2435-231-0001-000-9

**Mitigation Data:**

Hardwood Trees:	
Inches removed:	623 inches
Inches preserved:	0"
Mitigation required:	623 inches
Extra Trees planted: 100 trees@ 3 inches)	245 inches
Upsized Required Trees: (111 @0.5 inch)	83 inches
Additional Mitigation required:	318 inches
Payment into mitigation fund = (918 x \$250)	\$95,250
Palm Trees:	
Palm trees removed:	305
Palm trees relocated on site:	205
Payment into mitigation fund = (100 x \$250)	\$25,000
Total Payment into Mitigation Fund:	\$120,250



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# Gator Trace City of Fort Pierce Tree Mitigation Plan

## PLANTING NOTES:

### FERTILIZER

FERTILIZERS SHALL BE SLOW RELEASE, UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THE FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED BAGS, EACH BEARING THE MANUFACTURERS STATEMENT OF ANALYSIS, AND SHALL MEET THE FOLLOWING REQUIREMENTS: SIX (6) PERCENT NITROGEN, SIX (6) PERCENT PHOSPHOROUS, AND SIX (6) PERCENT POTASSIUM. FERTILIZER SHALL BE APPLIED TO ALL SHRUBS (1/3 LB PER 3 GAL POT, 1/4 LB PER 1 GAL POT) AND GROUND COVER. THE SOD STARTER FERTILIZER MIXTURE SHALL BE A 5-10-10 ANALYSIS. A 14-14-14 FERTILIZER ANALYSIS IS REQUIRED ON ALL TREES AND SHRUBS OVER 5' IN HEIGHT (1/2 LB PER 5' OF SPREAD). AGRIFORM TABLETS WITH TWENTY (20) PERCENT NITROGEN, TEN (10) PERCENT PHOSPHOROUS, FIVE (5) PERCENT POTASSIUM IN 21 GRAM SIZES SHALL BE APPLIED ALONG WITH THE FERTILIZER PROCESS (1 WITH 1 GAL PLANTS, 2 WITH 3 GAL PLANTS AND 2 TABLETS PER 1" OF TREE TRUNK CALIPER). MAGNESIUM SULFATE SHALL BE APPLIED TO ALL PALMS AT INSTALLATION AT A RATE OF 1/2 LB PER INCH OF TRUNK CALIPER. MANGANESE SHALL BE APPLIED AT THE SAME RATE.

### MULCH

MULCH MATERIAL SHALL BE COLORED 'A' GRADE CERTIFIED RECYCLED MULCH AND MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT. MULCH SHALL BE APPLIED TO A MINIMUM OF 3" DEPTH IN PLANTING BEDS. MULCH SHALL NOT BE PLACED WITHIN 6" OF TREE OR PALM TRUNKS.

### SOD

THE SOD SHALL BE CERTIFIED TO MEET FLORIDA STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND.

### SUBSTITUTIONS

NO SUBSTITUTION OF PLANT MATERIAL TYPES OR SIZES WILL BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT OF RECORD. CONTAINER GROWN MATERIAL WILL NOT BE ACCEPTED AS A SUBSTITUTE FOR B & B MATERIAL UNLESS PREVIOUSLY APPROVED. INTENDED SUBSTITUTIONS SHALL BE SPELLED OUT IN BID.

### MEASUREMENTS

**SHADE TREES:** HEIGHT SHALL BE MEASURED FROM GROUND TO THE AVERAGE BRANCH HEIGHT OF CANOPY. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF "V" CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE INFESTATION.

**SHRUBS:** HEIGHT SHALL BE MEASURED FROM THE GROUND TO THE AVERAGE POINT WHERE MATURE PLANT GROWTH STOPS. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE SHRUB MASS. MEASUREMENT AREA NOT TO INCLUDE ANY TERMINAL GROWTH.

**PALMS:** CLEAR TRUNK SHALL BE MEASURED FROM THE GROUND AT THE TIME OF INSTALLATION TO THE POINT WHERE THE MATURE AGED TRUNK JOINS THE IMMATURE OR GREEN PORTION OF THE TRUNK OR HEAD.

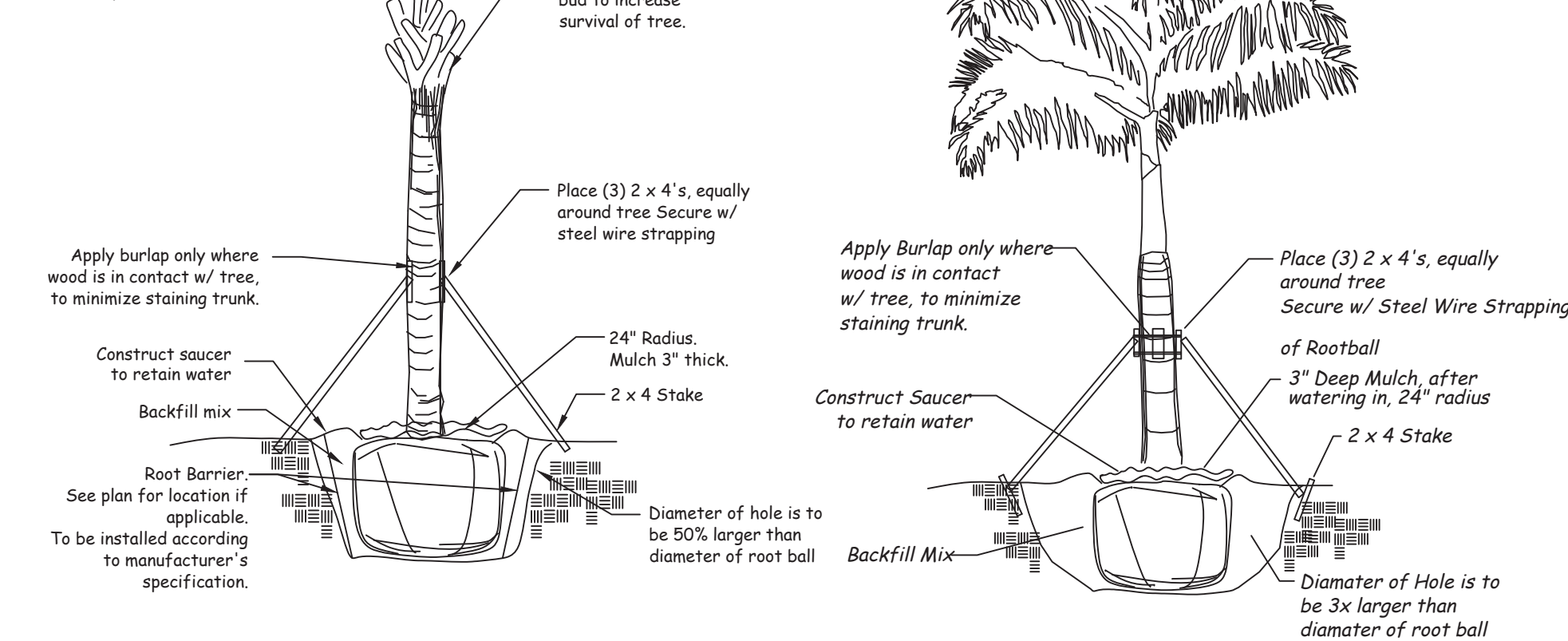
**GREY WOOD (G.W.):** SHALL BE MEASURED FROM THE GROUND AT THE TIME OF INSTALLATION TO TOP OF THE HARDENED TRUNK.

**OVERALL HEIGHT (O.A.):** SHALL BE MEASURED FROM THE GROUND AT THE TIME OF INSTALLATION TO THE AVERAGE FROND HEIGHT.

**PALMS WITH MARRED OR BURNED TRUNKS WILL NOT BE ACCEPTED.**

### Palm Planting Detail

Tree Stakes are to be removed between 6-12 months by the Owner.



### PLANTING SOIL AND BACKFILL

TOPSOIL SHALL CONSIST OF A STABILIZED MIXTURE OF GROUND YARD TRIMMINGS AND POSSIBLY BIOSOLIDS PROCESSED ACCORDING TO STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION GUIDELINES FOR THE PROCESSING AND DISTRIBUTION OF SEWAGE SLUDGE COMPOST. RECYCLED TOPSOIL SHALL ONLY BE OBTAINED FROM A STATE PERMITTED RECYCLING FACILITY WHICH IS ALSO D.O.T. CERTIFIED AND STORES PRODUCT ON A PAD WITH A CURRENT NEMATODE CERTIFICATION FROM FLORIDA DEPARTMENT OF AGRICULTURE. RECYCLED TOPSOIL SHALL HAVE THE FOLLOWING CHARACTERISTICS:

- WEED FREE
- MOISTURE CONTENT 50% BY WEIGHT MAXIMUM
- WATER HOLDING CAPACITY 200% BY WEIGHT MINIMUM
- CARBON TO NITROGEN RATIO LESS THAN 25 TO 1
- ORGANIC MATTER CONTENT 40% BY DRY WEIGHT MINIMUM
- SOLUBLE SALTS LESS THAN 3 MMHOS/CM
- PH RANGE 7.0 - 7.9
- MINIMUM NUTRIENT LEVELS AS FOLLOWS:
  - MACRO NUTRIENTS: NITROGEN (N) - 1% MINIMUM, WATER INSOLUBLE NITROGEN 90% MINIMUM, PHOSPHORUS (P) - 0.5% MINIMUM, POTASSIUM (K) - 0.2% MINIMUM AND OTHER MACRO AND MICRO NUTRIENTS. THE RECYCLED TOPSOIL SHALL CONTAIN LEVELS OF THOSE MICRO NUTRIENTS NECESSARY FOR PLANT GROWTH. THESE INCLUDE CALCIUM, MAGNESIUM, SULFUR, BORON, COPPER, IRON, MANGANESE AND MOLYBDENUM. TOPSOIL NOT MEETING THESE REQUIREMENTS WILL NOT BE ACCEPTED.

**BACKFILL:** ALL NEW AND TRANSPLANTED PLANT MATERIAL (INCLUDING NEW SOD) SHALL BE PLANTED ONLY AFTER PREPARATION OF EXISTING SOIL AS FOLLOWS: SPREAD A LAYER OF 3" DEPTH OF RECYCLED TOPSOIL (AS DEFINED ABOVE) OVER THE ENTIRE PLANTING AREA. THE TOPSOIL SHALL THEN BE UNIFORMLY DISKED, TILLED OR AERIFIED INTO THE EXISTING SOIL TO A DEPTH OF 12" UNDERNEATH SHRUBS AND GROUNDCOVERS, 6" UNDERNEATH SOD AND TO A DEPTH OF 36" FOR THE TREE PITS, WITH THE FOLLOWING EXCEPTION: NO ROTOTILLING OR DISKING SHALL OCCUR CLOSER TO THE TRUNKS OF ESTABLISHED PLANTS THAN ONE HALF (1/2) THE DISTANCE OF THE CANOPY FURTHER OUT FROM THE DRIP LINE OF THE EXISTING PLANT CANOPY. ALL PLANTS, INCLUDING HEDGES AND GROUND COVER SHALL BE PLANTED IN INDIVIDUALLY DUG HOLES AND THE MATERIAL DUG FROM THE HOLES SHALL THEN BE FURTHER MIXED WITH THE PREPARED SITE SOIL PRIOR TO BACKFILLING OF THE PLANTING HOLES AROUND THE ROOT BALLS. NO ADDITIONAL BACKFILL SOIL SHALL BE USED. AN EXCEPTION ARE PLANTING PITS FOR CABBAGE PALMS, WHICH SHALL BE BACKFILLED WITH CLEAN NATIVE SAND ONLY.

REMOVE EXCESS MATERIAL TO PROVIDE PROPER FINISHED GRADE.

### PLANT MATERIALS

TREES, PALMS, SHRUBS, GROUND COVERS:

PLANT SPECIES AND SIZES SHALL CONFORM TO THOSE INDICATED IN THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES, 1942 EDITION, ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS, PARTS I & II, LATEST EDITION PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, UNLESS SPECIFIED OTHERWISE. ALL PLANTS SHALL BE NORMAL FOR THE VARIETY AND FLORIDA GRADE NUMBER 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY.

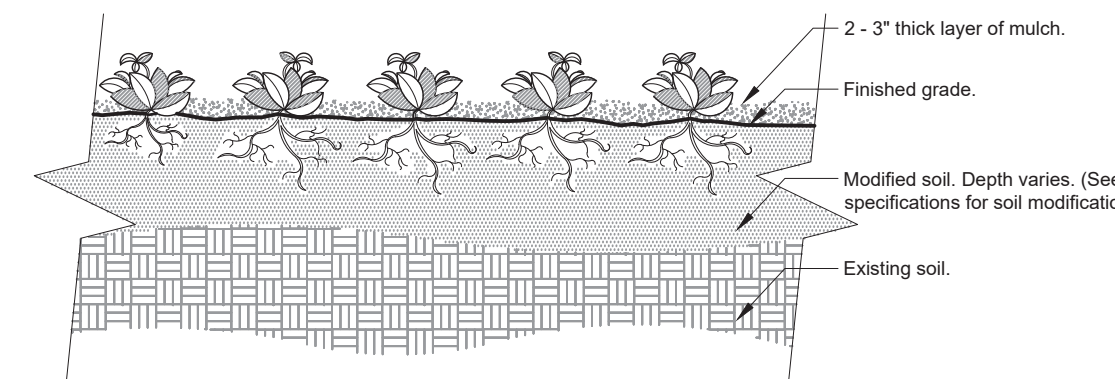
**SPECIMEN** MEANS AN EXCEPTIONALLY HEAVY, SYMMETRICAL, TIGHTLY KNIT PLANT, SO TRAINED OR FAVORED IN ITS DEVELOPMENT THAT FIRST APPEARANCE IS UNQUESTIONABLE AND IT IS OUTSTANDINGLY SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY.

ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND FREE OF DISEASE AND INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT. WHERE REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.

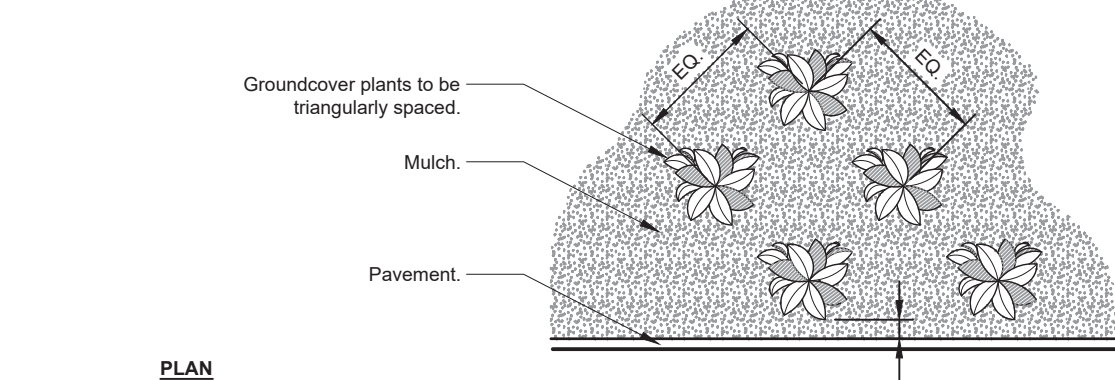
ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS OF GOOD QUALITY AND BE IN HEALTHY GROWING CONDITION. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER.

### GENERAL NOTES:

1. THE CONTRACTOR SHALL PERSONALLY ACQUAINT HIM/HER SELF WITH THE EXISTING SITE CONDITIONS AND THE EXTENT AND SCOPE OF WORK REQUIRED.
2. THE PLANT LIST INDICATES THE NAMES, SIZES AND SPACING OF SPECIFIC PLANT MATERIALS. QUANTITIES HAVE BEEN PROVIDED TO THE CONTRACTOR AS A CONVENIENCE, THE CONTRACTOR IS RESPONSIBLE FOR HIS/HER OWN QUANTITY COUNT. IN CASE OF DISCREPANCIES BETWEEN THE DRAWINGS AND PLANT LIST, THE QUANTITIES ON THE PLANT LIST SHALL PREVAIL.
3. NO SUBSTITUTES ON VARIETIES LISTED WILL BE ALLOWED WITHOUT WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT.
4. PLANTS SHALL BE WATERED AS NECESSARY OR WITHIN 24 HOURS AFTER NOTIFICATION BY THE LANDSCAPE ARCHITECT.
5. THE LOCATIONS OF PLANTS, AS SHOWN IN THESE PLANS, ARE APPROXIMATE. THE FINAL LOCATIONS MAY BE ADJUSTED TO ACCOMMODATE UNFORESEEN FIELD CONDITIONS. MAJOR ADJUSTMENTS TO THE LAYOUT ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT OF RECORD.
6. ALL PLASTIC FABRIC SHALL BE REMOVED FROM PLANT MATERIAL AT TIME OF INSTALLATION.
7. ALL TREES MUST BE STAKED AS SHOWN ON THE LANDSCAPE DETAIL SHEET WITHIN 24 HRS OF PLANTING. STAKES TO REMAIN FOR A MINIMUM OF 12 MONTH BUT NO LONGER THAN 18 MONTH. CONTRACTOR RESPONSIBLE FOR MAINTENANCE AND REMOVAL OF THE STAKES.
8. ALL TREES MUST BE PRUNED AS PER LANDSCAPE ARCHITECT DIRECTION.
9. ALL SOD EDGES SHALL BE TRIMMED AS PER THE LANDSCAPE ARCHITECTS DIRECTION.
10. ALL SHRUBS, TREES, GROUNDCOVERS, AND SOD AREAS SHALL HAVE IMPROVED SOIL AS PER PLANTING SOIL NOTES. WILDFLOWER AREAS SHALL BE NATIVE TOPSOIL ONLY.
11. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.
12. SOAK PLANTS IMMEDIATELY WITH WATER FOLLOWING PLANTING.
13. MAINTAIN THE ORIGINAL GRADE OF THE TREE BASE.
14. DO NOT BREAK ROOTBALL. SHAVE ROOTBALL OF TREES PER DETAIL BELOW.
15. ALL PLANTS SHALL BE HARDY UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE ON LOCALITY OF THE PROJECT.
16. THE LANDSCAPE CONTRACTOR SHALL WATER, MULCH, WEED, PRUNE, AND OTHERWISE MAINTAIN ALL PLANTS, INCLUDING SOD, UNTIL COMPLETION OF THE CONTRACT OR ACCEPTANCE BY THE LANDSCAPE ARCHITECT. SETTLED PLANTS SHALL BE RESET TO PROPER GRADE, PLANTING SAUCERS RESTORED, AND DEFECTIVE WORK CORRECTED.
17. THE LANDSCAPE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR DEBRIS CAUSED BY THE CREWS DURING THE PERFORMANCE OF THE WORK. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL PROMPTLY REMOVE ALL WASTE MATERIALS, DEBRIS, UNUSED PLANT MATERIAL, EMPTY PLANT CONTAINERS AND ALL EQUIPMENT FROM THE PROJECT SITE.
18. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND REQUEST A FINAL INSPECTION. ANY ITEMS THAT ARE JUDGED INCOMPLETE OR UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR REPRESENTATIVE SHALL BE PROMPTLY CORRECTED BY THE LANDSCAPE CONTRACTOR.
19. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE IN WRITING FROM THE LANDSCAPE ARCHITECT. AT THE TIME OF FINAL ACCEPTANCE THE ONE (1) YEAR PERIOD SHALL COMMENCE. ANY MATERIALS WHICH HAVE DIED DURING THIS PERIOD SHALL BE PROMPTLY REPLACED WITH SPECIMENS THAT MEET THE MINIMUM REQUIREMENTS CALLED FOR IN THE DRAWINGS. THE LANDSCAPE CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR THE DEATH OR DAMAGE RESULTING FROM LIGHTNING, VANDALISM, AUTOMOBILES OR FROM NEGLIGENCE BY THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING AND OTHERWISE MAINTAINING PLANTS DURING THE GUARANTEE PERIOD UNLESS A WRITTEN AGREEMENT WITH THE LANDSCAPE ARCHITECT PROVIDES FOR A DIFFERENT ARRANGEMENT.
20. ALL LABOR AND MATERIAL FOR SOIL AMENDMENTS AND FERTILIZER THAT IS REQUIRED TO INSURE THE SUCCESSFUL ESTABLISHMENT AND SURVIVAL OF THE PROPOSED VEGETATION AS WELL AS ALL COST FOR THE REMOVAL OF UNSUITABLE OR EXCESS BACKFILL MATERIAL SHALL BE INCLUDED IN THE CONTRACTORS BID TO PERFORM THE WORK PRESENTED IN THIS PLAN SET.
21. NO LANDSCAPING ADDED UNDER THIS PROJECT SHALL BE LOCATED SUCH THAT SAID LANDSCAPING OBSCURES MOTORIST'S VISIBILITY OF ANY EXISTING SIGN(S).
22. 100% OF REQUIRED SHRUBS ARE DROUGHT TOLERANT.



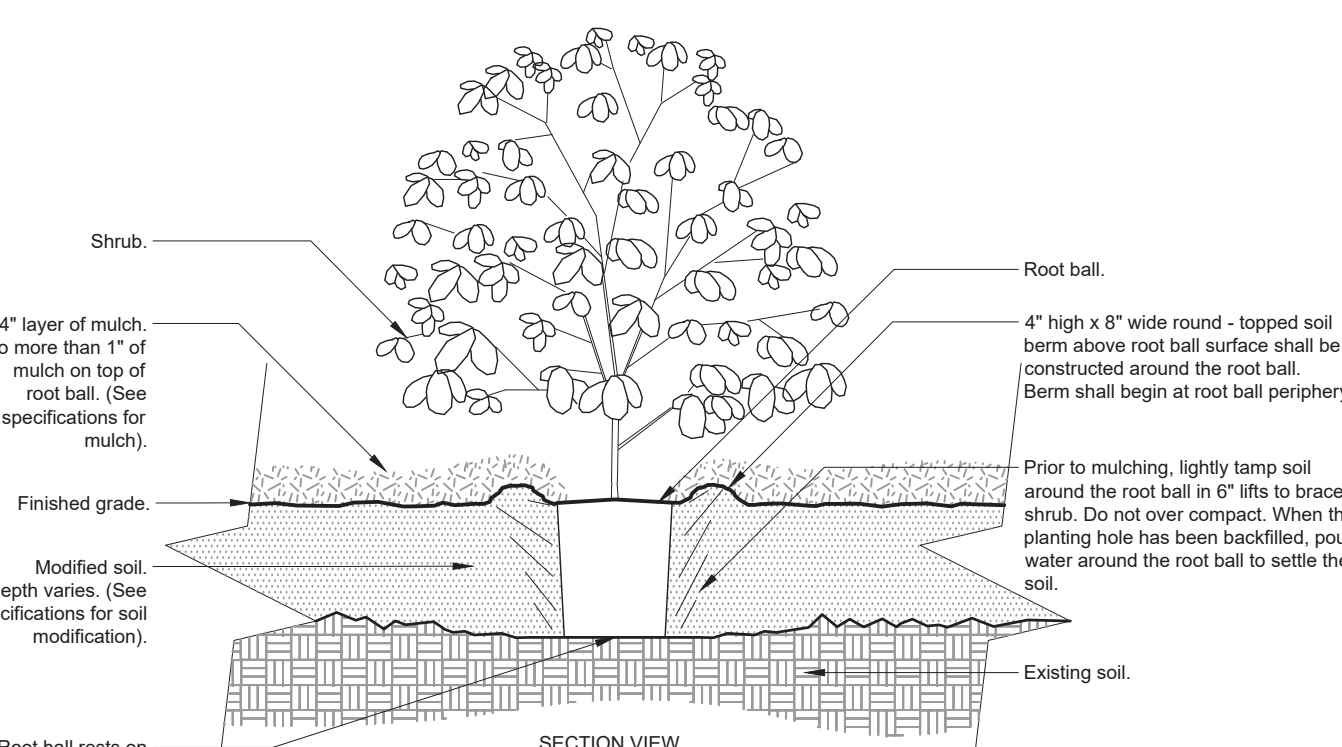
### SECTION VIEW



### PLAN

Notes:  
1- See planting legend for groundcover species, size, and spacing dimension.  
2- Small roots (1/2" or less) that grow around, up, or down the root ball periphery are considered a normal condition in container production and are acceptable however they should be eliminated at the time of planting. Roots on the periphery can be removed at the time of planting. (See root ball shaving container detail).  
3- Settle soil around root ball of each groundcover prior to mulching.

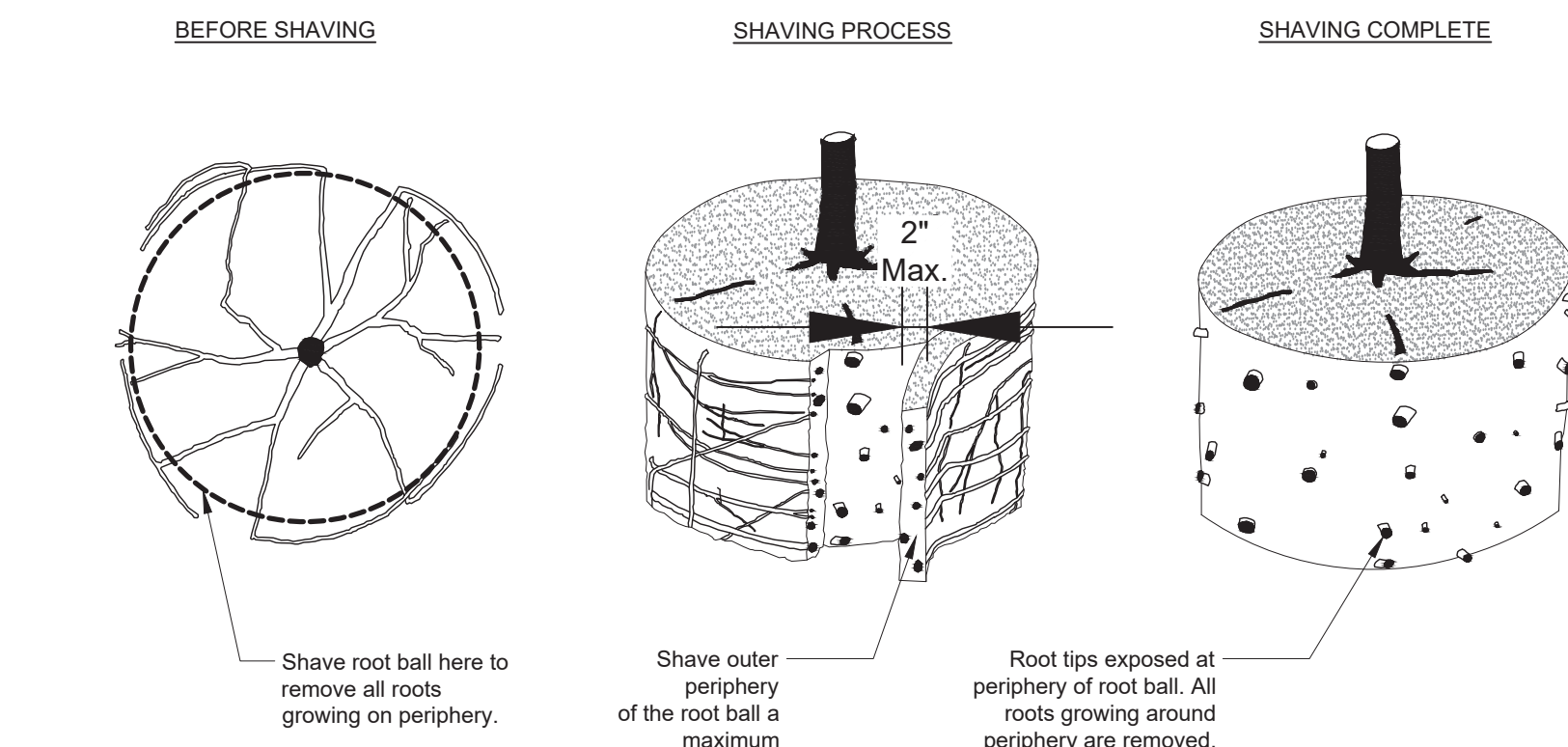
### GROUNDCOVER



### SECTION VIEW

Notes:  
1- Shrubs shall be of quality prescribed in the root observations detail and specifications.  
2- See specifications for further requirements related to this detail.

### SHRUB - MODIFIED SOIL

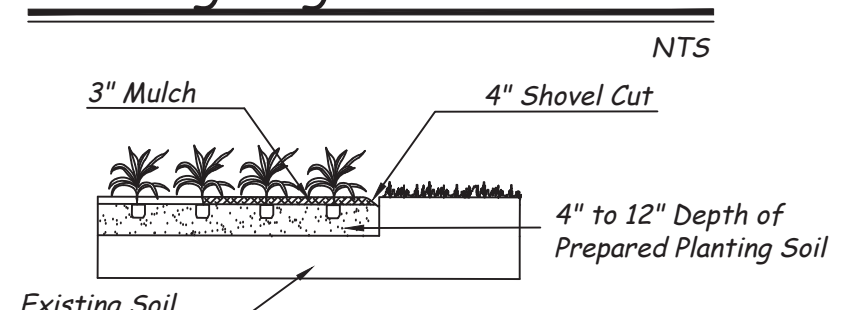


Notes:  
1- Shaving to be conducted using a sharp blade or hand saw eliminating no more than needed to remove all roots on the periphery of root ball.  
2- Shaving can be performed just prior to planting or after placing in the hole.

### ROOT BALL SHAVING CONTAINER DETAIL

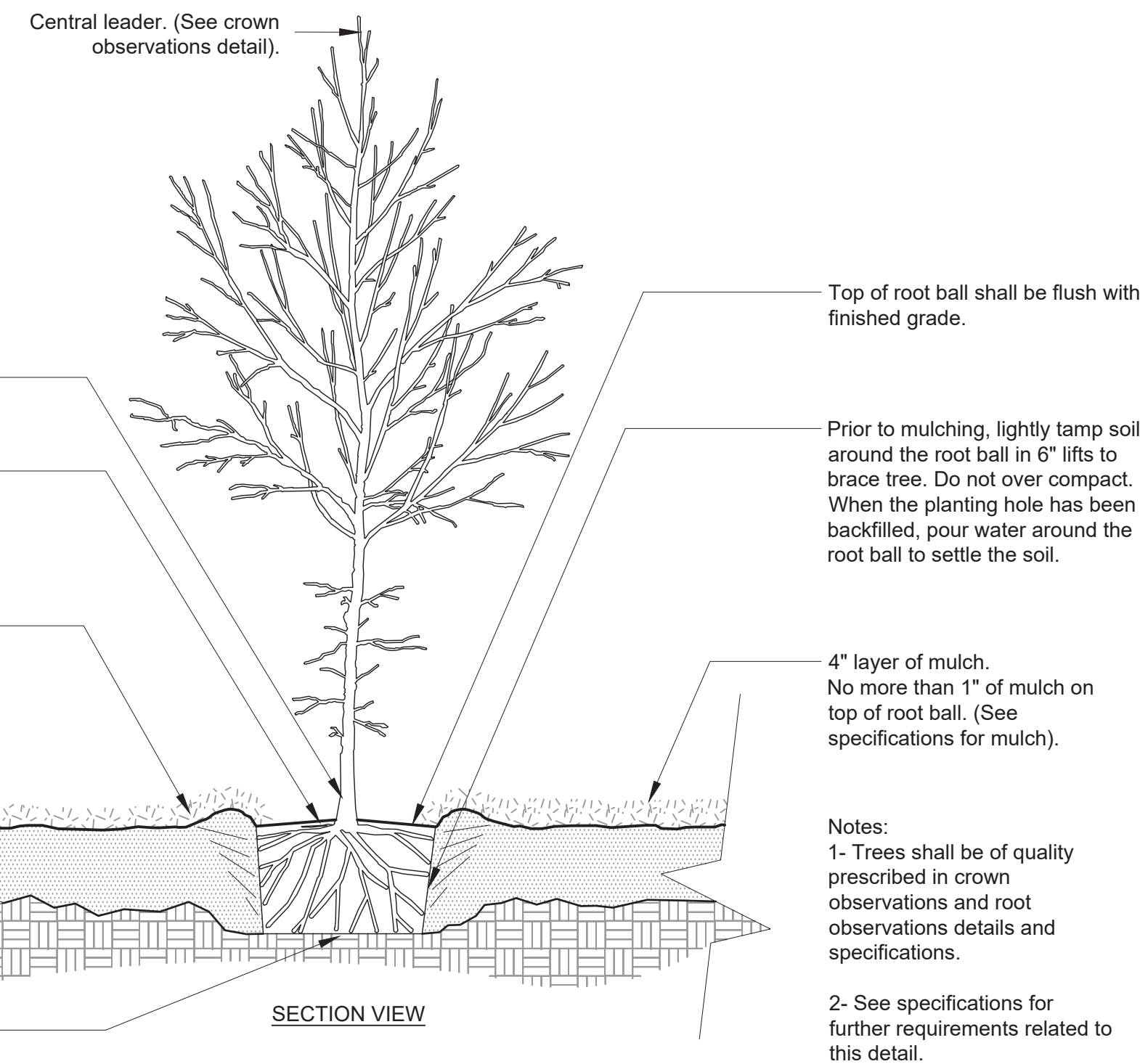
Watering Schedule			
Item	Water	Month	No. of Applications
Palms	20 gal	1	12
Large Trees	30 gal	2	12
Small Trees	20 gal	3	8
Large Shrubs	10 gal	4	8
Small Shrubs	5 gal	5	5
Groundcover	5 gal		
<b>Total Applications</b>			<b>45</b>

### Planting Edge at Sod Detail



### ABBREVIATIONS:

C.T. - CLEAR TRUNK  
Ht. - HEIGHT  
O.C. - ON CENTER  
Spr. - SPREAD



### TREE w/ BERM (EXISTING SOIL MODIFIED)

Notes:  
1- Trees shall be of quality prescribed in crown observations and root observations details and specifications.  
2- See specifications for further requirements related to this detail.



Revisions	Comments	Date	Scale:	NTS	Drawn by:	SM	Checked by:	SM	CADD No.:	22-102-1p	Date:	1.30.24

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ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT WRITTEN CONSENT.



Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine applicability of the layout to existing or future field conditions. This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions utilizing current industry standard lamp ratings in accordance with Illuminating Engineering Society approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps and other variable field conditions.

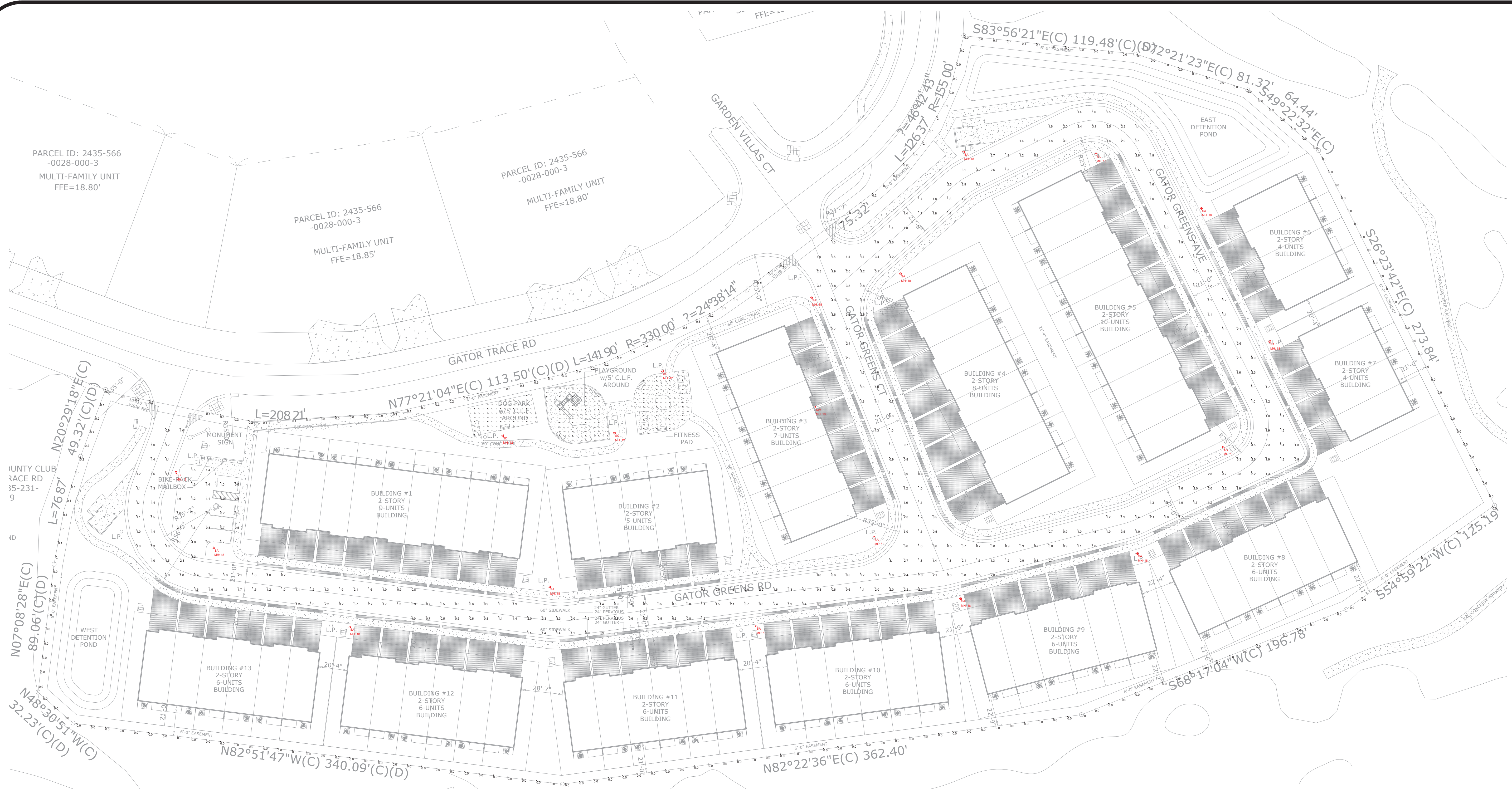
NOTES:

1	PHOTOMETRIC STUDY	11/15/22
No.	Revision/Issue	Date

**LIGHTING DYNAMICS, INC.**  
7835 West Commercial Blvd.  
Tamarac, FL 33351  
(954) 944-0286  
[www.lightingdynamics.com](http://www.lightingdynamics.com)

Project Name and Address  
**GATOR TRACE ON THE GREENS  
LIGHTING STUDY - SITE  
FORT PIERCE, FL**  
FILE P:\PROJECTS\2022\OCT  
CLIENT CLIENT

Project Gator Trace on the Greens Sheet  
Date 11/15/2022 **LO**  
Scale 3/16" = 1' DRAWN BY GA



**GATOR TRACE ON THE GREENS TOWNHOUSE**

**LIGHTING FIXTURE SCHEDULE**

TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	VOLT	LAMP TYPE	DIM TYPE	WATTS	MOUNTING	NOTES
SA	LED SITE HEAD	STREETWORKS	UTLD-PA1-100-740-U-SL3-FINISH	UNV	LED	0-10V	96W	POLE	NOTE 1, 2
SB	LED SITE HEAD	STREETWORKS	UTLD-PA1-100-740-U-SWQ-FINISH	UNV	LED	0-10V	96W	POLE	NOTE 1, 2
SC	LED SITE HEAD	STREETWORKS	UTLD-PA1-100-740-U-T4W-FINISH	UNV	LED	0-10V	96W	POLE	NOTE 1, 3
SD	LED SITE HEAD	STREETWORKS	UTLD-PA1-100-740-U-SL3-FINISH	UNV	LED	0-10V	96W	POLE	NOTE 1, 3
SW	LED WALL PACK	MCGRAW-EDISON	GWC-SA2D-740-U-SL4-FINISH	UNV	LED	0-10V	129W	WALL	NOTE 1

**FIXTURE SCHEDULE NOTES**

- NOTE 1: ADVISE FINISH
  - NOTE 2: FIXTURE MOUNTED ON 16' ALUMINUM VALMONT POLE # R-150540506T4-PX-COOPER-FINISH - 2' OF FIXTURE HEAD TO ACHIEVE 18' MOUNTING
  - NOTE 3: FIXTURE MOUNTED ON 10' ALUMINUM VALMONT POLE # R-090830504T4-PX-COOPER-FINISH - 2' OF FIXTURE HEAD TO ACHIEVE 12' MOUNTING
- FOR QUESTIONS PERTAINING TO THIS FIXTURE SCHEDULE PLEASE CONTACT RYAN HUFF @ LIGHTING DYNAMICS- 772-285-7169; RHUFF@LIGHTINGDYNAMICS.COM

**Photometrics Calculation Software Generated Luminaire Schedule**

Symbol	Qty	Label	Arrangement	Lum. Lumens	Arr. Lum. Lumens	LLF	Lum. Watts	Arr. Watts
SA	14	SA	Single	10015	10015	0.900	96	96
SB	1	SB	Single	10688	10688	0.900	96	96
SC	2	SC	Single	10274	10274	0.900	96	96
SD	1	SD	Single	10015	10015	0.900	96	96
SW	1	SW	Single	15387	15387	0.900	129	129

**Calculation Summary**

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
DOG PARK	Illuminance	Fc	4.26	10.2	1.2	3.55	8.50
FITNESS PAD	Illuminance	Fc	3.80	8.2	1.0	3.80	8.20
PARKING	Illuminance	Fc	1.47	4.0	0.5	2.94	8.00
PLAYGROUND	Illuminance	Fc	2.31	6.3	0.7	3.30	9.00
PROPERTY LINE	Illuminance	Fc	0.05	0.4	0.0	N.A.	N.A.
SITE	Illuminance	Fc	1.74	4.8	0.5	3.48	9.60

**Photographs of all existing structures located on the property.  
Re: Gator Trace on the Greens Townhomes, Ft. Pierce, FL**

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There are no structures on the property. The property is full of trees and natural plantation. Please see the below photographs of the property and the surrounding structures around it.



Photograph #1: View from North

**Photographs of all existing structures located on the property.  
Re: Gator Trace on the Greens Townhomes, Ft. Pierce, FL**

---



Photograph #2: View from North-East

**Photographs of all existing structures located on the property.  
Re: Gator Trace on the Greens Townhomes, Ft. Pierce, FL**

---



Photograph #3: View from East

**Photographs of all existing structures located on the property.  
Re: Gator Trace on the Greens Townhomes, Ft. Pierce, FL**

---



Photograph #4: View from South-East

**Photographs of all existing structures located on the property.  
Re: Gator Trace on the Greens Townhomes, Ft. Pierce, FL**

---



Photograph #5: Existing golf course view from South.

**Photographs of all existing structures located on the property.  
Re: Gator Trace on the Greens Townhomes, Ft. Pierce, FL**

---



Photograph #6: View from West

Prepared by and return to:

Richard F. Kondla

Attorney at Law

Richard Kondla, P.A.

17071 W. Dixie Highway

North Miami Beach, FL 33160

305-760-5602

File Number: 22- Vacant Land

Will Call No.:

[Space Above This Line For Recording Data]

## Warranty Deed

This Warranty Deed made this 13 day of October, 2022 between Gator Trace Partners IV, LLC, a Florida limited liability company whose post office address is 4521 PGA Blvd., Suite 201, Palm Beach Gardens, FL 33418, grantor, and Gator Trace On The Greens, LLC a Florida limited liability company whose post office address is 17305 S Dixie Highway, Palmetto Bay, FL 33157, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Saint Lucie County, Florida to-wit:

(PARCEL 3-A(5))

A PARCEL OF LAND LYING IN SECTION 35, TOWNSHIP 35 SOUTH, RANGE 40 EAST, OF ST. LUCIE COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF SECTION 35, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA; THENCE RUN NORTH 00°22'08" EAST ALONG THE WEST LINE OF SAID SECTION 35 AND THE WEST LINE OF GATOR TRACE BOULEVARD, A 100.00 FOOT WIDE RIGHT-OF-WAY, A DISTANCE OF 2668.95 FEET TO A CONCRETE MONUMENT AT THE WEST ONE QUARTER OF SAID SECTION 35; THENCE NORTH 00°28'00" EAST ALONG THE WEST LINE OF SECTION 35, A DISTANCE OF 55.75 FEET TO A POINT, SAID POINT LYING 2614.63 FEET SOUTH OF THE NORTHWEST CORNER OF SECTION 35, AS MEASURED ALONG THE WEST RIGHT-OF-WAY LINE OF SECTION 35 (SAID NORTHWEST CORNER OF SECTION 35 BEING A CONCRETE MONUMENT); THENCE RUN SOUTH 89°32'00" EAST, A DISTANCE OF 700.82 FEET; THENCE NORTH 42°22'55" EAST, A DISTANCE OF 105.02 FEET; THENCE SOUTH 55°57'42" EAST, A DISTANCE OF 72.12 FEET; THENCE SOUTH 69°25'57" EAST, A DISTANCE OF 251.46 FEET; THENCE SOUTH 66°30'15" EAST, A DISTANCE OF 53.96 FEET; THENCE NORTH 80°30'44" EAST, A DISTANCE OF 142.70 FEET; THENCE NORTH 74°20'45" EAST, A DISTANCE OF 139.43 FEET; THENCE NORTH 82°54'19" EAST, A DISTANCE OF 228.55 FEET TO A POINT ON THE SOUTH LINE OF A PLAT ENTITLED GARDEN VILLAS OF GATOR TRACE UNIT 1, AS RECORDED IN PLAT BOOK 27, PAGE 20 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, SAID POINT BEING A NON-RADIAL INTERSECTION WITH A CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 155.00 FEET AND A CENTRAL ANGLE OF 46°42'43", A RADIAL TO SAID POINT BEARS SOUTH 83°55'21" EAST; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 126.37 FEET, TO A POINT OF TANGENCY; THENCE SOUTH 52°47'22" WEST, DISTANCE OF 35.94 AND THE POINT OF BEGINNING.

FROM THE POINT OF BEGINNING: THENCE RUN SOUTH 37°12'38" EAST, A DISTANCE OF 78.22 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 170.00 FEET AND A CENTRAL ANGLE OF 18°53'07"; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 56.03 FEET TO A POINT OF TANGENCY; THENCE SOUTH 18°19'31" EAST, A DISTANCE OF 125.87 FEET; THENCE SOUTH 71°40'29" WEST, A DISTANCE OF 16.90 FEET; THENCE SOUTH 07°32'48" EAST, A DISTANCE OF 112.74 FEET; THENCE SOUTH 82°27'08" WEST, A DISTANCE OF 303.52 FEET; THENCE NORTH 82°47'15" WEST, A DISTANCE OF 340.09 FEET; THENCE NORTH 48°26'19" WEST, A DISTANCE OF 32.23 FEET; THENCE NORTH 07°13'00" EAST, A DISTANCE OF 89.06 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTHEAST, HAVING A RADIUS OF 330.00 FEET AND A CENTRAL ANGLE OF 13°20'50"; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 76.87 FEET TO A POINT OF TANGENCY; THENCE NORTH 28°33'50" EAST, A DISTANCE OF 49.32 FEET; THENCE SOUTH 69°26'11" EAST, A DISTANCE OF 0.58 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTH HAVING A RADIUS OF 360.00 FEET AND A CENTRAL ANGLE OF 33°08'13"; THENCE EASTERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 208.21 FEET TO A POINT OF TANGENCY; THENCE NORTH 77°25'36" EAST, A DISTANCE OF 113.50 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 330.00 FEET AND A CENTRAL ANGLE OF 24°38'14"; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 141.90 FEET TO A POINT OF TANGENCY; THENCE NORTH 52°47'22" EAST, A DISTANCE OF 75.31 FEET, RETURNING TO THE POINT OF BEGINNING.

TOGETHER WITH THE FOLLOWING DESCRIBED PARCEL:

(PARCEL 3-A(6))

A PARCEL OF LAND LYING IN SECTION 35, TOWNSHIP 35 SOUTH, RANGE 40 EAST, OF ST. LUCIE COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF SECTION 35, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA; THENCE RUN NORTH 00°22'08" EAST ALONG THE WEST LINE OF SAID SECTION 35 AND THE WEST LINE OF GATOR TRACE BOULEVARD, A 100.00 FOOT WIDE RIGHT-OF-WAY, A DISTANCE OF 2668.95 FEET TO A CONCRETE MONUMENT AT THE WEST ONE QUARTER OF SAID SECTION 35; THENCE NORTH 00°28'00" EAST ALONG THE WEST LINE OF SECTION 35, A DISTANCE OF 55.75 FEET TO A POINT, SAID POINT LYING 2614.63 FEET SOUTH OF THE NORTHWEST CORNER OF SECTION 35, AS MEASURED ALONG THE WEST LINE OF SECTION 35 (SAID NORTHWEST CORNER OF SECTION 35 BEING A CONCRETE MONUMENT); THENCE RUN SOUTH 89°32'00" EAST, A DISTANCE OF 700.82 FEET; THENCE NORTH 42°22'55" EAST, A DISTANCE OF 105.02 FEET; THENCE SOUTH 55°57'42" EAST, A DISTANCE OF 72.12 FEET; THENCE SOUTH 69°25'57" EAST, A DISTANCE OF 251.46 FEET; THENCE SOUTH 66°30'15" EAST, A DISTANCE OF 53.96 FEET; THENCE NORTH 80°30'44" EAST, A DISTANCE OF 142.70 FEET; THENCE NORTH 74°20'45" EAST, A DISTANCE OF 139.43 FEET; THENCE NORTH 82°54'19" EAST, A DISTANCE OF 228.55 FEET TO A POINT ON THE SOUTH LINE OF A PLAT ENTITLED GARDEN VILLAS OF GATOR TRACE UNIT I, AS RECORDED IN PLAT BOOK 27, PAGE 20 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, SAID POINT BEING A NON-RADIAL INTERSECTION WITH A CURVE AND THE POINT OF BEGINNING.

FROM THE POINT OF BEGINNING; THENCE RUN SOUTH 83°51'49" EAST, A DISTANCE OF 119.48 FEET; THENCE SOUTH 72°16'51" EAST, A DISTANCE OF 81.32 FEET; THENCE SOUTH 49°18'00" EAST, A DISTANCE OF 64.44 FEET; THENCE SOUTH 26°19'10" EAST, A DISTANCE OF 273.83 FEET; THENCE SOUTH 55°03'54" WEST, A DISTANCE OF 125.19 FEET; THENCE SOUTH 68°21'36" WEST, A DISTANCE OF 196.78 FEET; THENCE SOUTH 82°27'08" WEST, A DISTANCE OF 58.88 FEET; THENCE NORTH 07°32'48" WEST, A DISTANCE OF 112.74 FEET; THENCE NORTH 71°40'29" EAST, A DISTANCE OF 16.90 FEET; THENCE NORTH 18°19'31"

WEST, A DISTANCE OF 125.87 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 170.00 FEET AND A CENTRAL ANGLE OF 18°53'07"; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 56.03 FEET TO A POINT OF TANGENCY; THENCE NORTH 37°12'38" WEST, A DISTANCE OF 78.22 FEET; THENCE NORTH 52°47'22" EAST, A DISTANCE OF 35.94 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTHWEST AND HAVING A RADIUS OF 155.00 FEET AND A CENTRAL ANGLE OF 46°42'43"; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 126.37 FEET, RETURNING TO THE POINT OF BEGINNING.

Parcel Identification Number:

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2021.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Grace Trace Partners IV, LLC, a Florida limited liability company

By: [Signature]  
Steven Tarr, Manager of GT Partners, LLC, the Manager of Gator Trace Partners IV, a Florida limited liability company

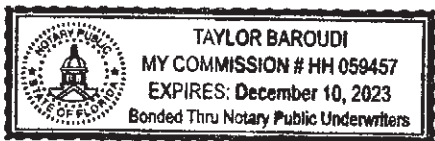
[Signature]  
Witness Name: Richard B. Warren

[Signature]  
Witness Name: Taylor Baroudi

State of Florida  
County of Palm Beach

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization, this 13 day of October, 2022 by Steven Tarr Manager of GT Partners, LLC, the Manager of Gator Trace Partners IV, a Florida limited liability company, who  is personally known to me or  has produced a driver's license as identification.

[Notary Seal]



[Signature]  
Notary Public

Printed Name: Taylor Baroudi

My Commission Expires: 12/10/2023

### Property Identification

Site Address: Gator Trace RD  
 Sec/Town/Range: 34/35S/40E  
 Parcel ID: 2435-311-0001-000-4  
 Jurisdiction: Fort Pierce

Use Type: 0000  
 Account #: 142371  
 Map ID: 24/35S  
 Zoning: Planned De

### Ownership

GATOR TRACE ON THE GREENS  
 LLC  
 17305 S Dixie HWY  
 Palmetto Bay, FL 33157



### Legal Description

34 35 40 FROM SW COR OF SEC 35, TH N 00 22 08 E ALG W LI OF SEC AND W LI OF GATOR TRACE BLVD 100 FT (100 FT R/W) 2668.95 FT TO W 1/4 COR, TH N 00 28 00 E AL G W 1/4 LI 55.75 FT, TH S 89 32 00 E 700.82 FT TO INT OF SWLY LI AND SELY LI OF VILLAS AT GATOR TRACE, TH N 42 22 55 E ALG SE LI 105.02 FT, TH S 55 57 42 E 72.12 FT, TH S 69 25 57 E 251.46 FT, TH S 66 30 15 E 53.96 FT, TH N 80 30 44 E 142.70 FT, N 74 20 45 E 139.43 FT TO SW LI OF GARDEN TRACE UNIT 1, TH N 82 54 19 E 228.55 FT TO S LI OF GARDEN VILLAS OF GATOR TRACE UNIT 1 AND CURVE CONC AVE NW, R=155 FT, TH SWLY ALG ARC 126.37 FT, TH S 52 47 22 W 35.94 FT TO POB, TH S 3712 38 E 78.22 FT TO CURVE CONCAVE SW, R=170 FT, TH SLY ALG ARC 56.03 FT, TH S 18 19 31 E 125.87 FT, TH S 71 40 29 W 16.90 FT, TH S 07 32 48 E 112.74 FT, TH S 82 27 08 W 303.52 FT, N 82 47 15 W 340.09 FT, TH N 48 26 19 W 32.23 FT, TH N 07 13 00 E 89.06 FT TO CURVE CONCAVE SE, R=330 FT, TH NELY ALG ARC 76.87 FT, N 20 33 50 E 49.32 FT, TH S 69 26 11 E 0.58 FT, TO CURVE CONCAVE N, R=360 FT, TH ELY ALG ARC 208.21 FT, TH N 77 25 36 E 113.50 FT TO CURVE CONCAVE NW, R=330 FT, TH NELY ALG ARC 141.90 FT, N 52 47 22 E 75.31 FT TO POB (3.92) (OR 3434-1609; 3718-344)

### Total Areas

Finished/Under Air (SF): 0  
 Gross Sketched Area (SF): 0  
 Land Size (acres): 3.92  
 Land Size (SF): 170,755

### Current Values

Just/Market Value: \$156,800  
 Assessed Value: \$145,530  
 Exemptions: \$0  
 Taxable Value: \$145,530

**Property taxes are subject to change upon change of ownership.**

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

### Building Design Wind Speed

Occupancy Category	I	II	III
Speed	140	160	170

Sources/links:

Taxes for this parcel: [SLC Tax Collector's Office](#)

Download TRIM for this parcel: [Download PDF](#)

### Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
Oct 13, 2022	4903 / 0738	0205	WD	Gator Trace Partners IV LLC	\$871,000
Feb 19, 2015	3718 / 0344	0311	QC	HST Development Partners Inc	\$100
Sep 18, 2012	3434 / 1609	0205	WD	CRM Florida Properties LLC	\$775,000
Jan 10, 2011	3260 / 0209	0311	CT	Symphony Builders/Gator Tr LLC	\$100
Feb 3, 2005	2160 / 2367	XX02	DE	New Century Ventures Inc,	\$6,500,000
Mar 2, 1999	1206 / 2787	XX02	WD		\$1,108,400

### Building Information (1 of 1)

Finished Area: 0 SF

Gross Sketched Area: 0 SF

Exterior Data

View:  
Building Type:  
Grade:  
Story Height:

Roof Cover:  
Year Built: N/A  
Effective Year: N/A  
No. Units: 0

Roof Structure:  
Frame:  
Primary Wall:  
Secondary Wall:

Interior Data

Bedrooms: 0  
Full Baths: 0  
Half Baths: 0  
A/C %: 0%

Electric:  
Heat Type:  
Heat Fuel:  
Heated %: N/A%

Primary Int Wall:  
Avg Hgt/Floor: 0  
Primary Floors:  
Sprinkled %: 0%



Image  
or  
Sketch  
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for display

Sketch Area Legend

Sub Area Description Area Fin. Area Perimeter

Special Features and Yard Items

Type Qty Units Year Blt

Current Year Values

Current Values Breakdown

Building: \$0  
Land: \$156,800  
Just/Market: \$156,800  
Ag Credit: \$0  
Save Our Homes or 10% Cap: \$11,270  
Assessed: \$145,530  
Exemption(s): \$0  
Taxable: \$145,530

Current Year Exemption Value Breakdown

Current Year Special Assessment Breakdown

Start Year AssessCode Units Description Amount  
2015 0041 5.7 Fort Pierce Stormwater Charge \$393.30

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office.

## Historical Values

Year	Just/Market	Assessed	Exemptions	Taxable
2022	\$156,800	\$145,530	\$0	\$145,530
2021	\$132,300	\$132,300	\$0	\$132,300
2020	\$127,400	\$127,400	\$0	\$127,400
2019	\$127,400	\$127,400	\$0	\$127,400

### Permits

Number	Issue Date	Description	Amount	Fee
BP11-2801	Nov 21, 2011	Air Conditioning Only	\$2,079	\$154
BP11-2099	Sep 8, 2011	Electric	\$0	\$1,725
BP11-2794	Nov 21, 2011	Air Conditioning Only	\$2,148	\$154
BP11-2800	Nov 21, 2011	Air Conditioning Only	\$2,160	\$154
BP11-2802	Nov 21, 2011	Air Conditioning Only	\$1,960	\$154
BP11-2803	Nov 21, 2011	Air Conditioning Only	\$1,960	\$154
BP11-2804	Nov 21, 2011	Air Conditioning Only	\$1,960	\$154
BP11-2805	Nov 21, 2011	Air Conditioning Only	\$2,229	\$154
BP11-2806	Nov 21, 2011	Air Conditioning Only	\$2,070	\$154
BP11-2807	Nov 21, 2011	Air Conditioning Only	\$2,070	\$154
BP11-2808	Nov 21, 2011	Air Conditioning Only	\$2,070	\$154
BP11-2809	Nov 21, 2011	Air Conditioning Only	\$3,303	\$154
BP11-2810	Nov 21, 2011	Air Conditioning Only	\$2,380	\$154
BP11-2811	Nov 21, 2011	Air Conditioning Only	\$2,070	\$154
BP11-2812	Nov 21, 2011	Air Conditioning Only	\$3,303	\$154
BP11-2813	Nov 21, 2011	Air Conditioning Only	\$2,070	\$154
BP11-2814	Nov 21, 2011	Air Conditioning Only	\$2,070	\$154
BP11-2815	Nov 21, 2011	Air Conditioning Only	\$2,242	\$154
BP11-2816	Nov 21, 2011	Air Conditioning Only	\$2,104	\$154
BP11-2817	Nov 21, 2011	Air Conditioning Only	\$2,070	\$154
BP11-2822	Nov 21, 2011	Air Conditioning Only	\$3,297	\$154
BP11-2823	Nov 21, 2011	Air Conditioning Only	\$3,297	\$154
BP11-2824	Nov 21, 2011	Air Conditioning Only	\$3,297	\$154
BP12-1780	Oct 11, 2012	Fence	\$870	\$255
BP07-6785	Nov 26, 2012	Commercial New Construction	\$3,461,268	\$16,142
BP13-0026	Jan 14, 2013	Demolition	\$1,500	\$257

Notice: This does not necessarily represent all the permits for this property.

Click the following link to check for additional permit data in Fort Pierce

All information is believed to be correct at this time, but is subject to change and is provided without any warranty.  
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### Property Identification

Site Address: Gator Trace RD  
 Sec/Town/Range: 34/35S/40E  
 Parcel ID: 2435-243-0001-000-6  
 Jurisdiction: Fort Pierce

Use Type: 0000  
 Account #: 142372  
 Map ID: 24/35S  
 Zoning: Planned De

### Ownership

GATOR TRACE ON THE GREENS  
 LLC  
 17305 S Dixie HWY  
 Palmetto Bay, FL 33157



### Legal Description

35 35 40 FROM SW COR OF SEC 35, TH N 00 22 08 E ALG W LI OF SEC AND W LI OF GATOR TRACE BLVD 100 FT (100 FT R/W) 2668.95 FT TO W 1/4 COR, TH N 00 28 00 E ALG W 1/4 LI 55.75 FT, TH S 89 32 00 E 700.82 FT TO INT OF SWLY LI AND SELY LI OF VILLAS AT GATOR TRACE, TH N 42 22 55 E ALG SE LI 1105.02 FT, TH S 55 57 42 E 72.12 FT, TH S 69 25 57 E 251.46 FT, TH S 66 30 15 E 53.96 FT, TH N 80 30 44 E 142.70 FT, N 74 20 45 E 139.43 FT TO SW LI OF GARDEN TRACE UNIT 1, TH N 82 54 19 E 228.55 FT TO S LI OF GARDEN VILLAS OF GATOR TRACE UNIT 1 POB, TH S 83 51 49 E 119.48 FT, TH S 72 16 51 E 81.32 FT, TH S 49 18 00 E 64.44 FT, TH S 26 19 10 E 273.83 FT, TH S 55 03 54 W 125.19 FT, TH S 68 21 36 W 196.78 FT, TH S 82 27 08 W 58.88 FT, TH N 07 32 48 W 112.74 FT, TH N 71 40 29 E 16.90 FT, TH N 18 19 31 W 125.87 FT TO CURVE CONCAVE SW, R=170 FT, TH NWLY ALG ARC 56.03 FT, TH N 73 12 38 W 78.22 FT, TH N 52 47 22 E 35.94 FT TO CURVE CONCAVE NW, R=155 FT, TH NLY ALG ARC 126.37 FT TO POB. (3.02)

### Current Values

Just/Market Value: \$120,800  
 Assessed Value: \$112,090  
 Exemptions: \$0  
 Taxable Value: \$112,090

### Total Areas

Finished/Under Air (SF): 0  
 Gross Sketched Area (SF): 0  
 Land Size (acres): 3.02  
 Land Size (SF): 131,551

### Building Design Wind Speed

Occupancy Category	I	II	III
Speed	140	160	170

Sources/links:

### Property taxes are subject to change upon change of ownership.

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- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

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Jan 10, 2011	3260 / 0209	0311	CT	Symphony Builders/Gator Tr LLC	\$100
Feb 3, 2005	2160 / 2367	XX02	DE	New Century Ventures Inc,	\$6,500,000
Mar 2, 1999	1206 / 2787	XX02	WD		\$1,108,400

### Building Information (1 of 1)

Finished Area: 0 SF

Gross Sketched Area: 0 SF

Exterior Data

View:  
 Building Type:  
 Grade:  
 Story Height:

Roof Cover:  
 Year Built: N/A  
 Effective Year: N/A  
 No. Units: 0

Roof Structure:  
 Frame:  
 Primary Wall:  
 Secondary Wall:

Interior Data

Bedrooms: 0  
 Full Baths: 0  
 Half Baths: 0  
 A/C %: 0%

Electric:  
 Heat Type:  
 Heat Fuel:  
 Heated %: N/A%

Primary Int Wall:  
 Avg Hgt/Floor: 0  
 Primary Floors:  
 Sprinkled %: 0%



Image  
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 Sketch  
 unavailable  
 for display

**Sketch Area Legend**

Sub Area Description Area Fin. Area Perimeter

**Special Features and Yard Items**

Type Qty Units Year Blt

**Current Year Values**

Current Values Breakdown

Building: \$0  
 Land: \$120,800  
 Just/Market: \$120,800  
 Ag Credit: \$0  
 Save Our Homes or 10% Cap: \$8,710  
 Assessed: \$112,090  
 Exemption(s): \$0  
 Taxable: \$112,090

Current Year Exemption Value Breakdown

Current Year Special Assessment Breakdown

Start Year	AssessCode	Units	Description	Amount
2018	0041	4.4	Fort Pierce Stormwater Charge	\$303.60

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### Historical Values

Year	Just/Market	Assessed	Exemptions	Taxable
2022	\$120,800	\$112,090	\$0	\$112,090
2021	\$101,900	\$101,900	\$0	\$101,900
2020	\$98,200	\$98,200	\$0	\$98,200
2019	\$98,200	\$98,200	\$0	\$98,200

### Permits

Number	Issue Date	Description	Amount	Fee
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Notice: This does not necessarily represent all the permits for this property.  
Click the following link to check for additional permit data in Fort Pierce

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