



CITY OF FORT PIERCE TECHNICAL REVIEW COMMITTEE

AGENDA

Fort Pierce Technical Review Committee

There will not be a physical meeting.
Comments will be e-mailed to the applicant.

1. **New Business:**
 - a. Annexation - 1835 and 1839 Sandridge Road
 - b. Site Plan (Development & Design Review) - Gator Trace on The Greens (of Gator Trace Planned Unit Development) - 4150 and 4200 Gator Trace Road
 - c. Final Plat - Gator Trace on The Greens (of Gator Trace Planned Unit Development) - 4150 and 4200 Gator Trace Road
 - d. Minor Site Plan Amendment - John Carroll High School - 3402 Delaware Avenue

Technical Review Committee

1. a.

Meeting Date: 07/18/2024

REQUESTED ACTION

Annexation - 1835 and 1839 Sandridge Road

SUMMARY

Project #: 24-02000005

A Voluntary Application for Annexation application is submitted by applicant James Merritt. The applicant is proposing to annex two (2) parcels into the City. The current County Future Land Use is COM, Commercaill and County zoning designation of CG, Commerical, General. The Parcel IDs are: 2404-111-0003-010-1 (1835 Sandridge Rd.) and 2404-111-0003-000-8 (1839 Sandridge Rd.). The combined parcels are approximately 2.15 acres.

Please review and provide comments at least two (2) days before the scheduled meeting date. Please send all comments to kdriver@cityoffortpierce.com and planning@cityoffortpierce.com. Please do not hesitate to contact me should you require any additional information at 772-467-3739.

LOCATION

1835 & 1839 Sandridge Rd., Fort Pierce, FL (Parcel IDs: 2401-111-0003-010-1 and 2404-111-0003-000-000-8)

RESPONSIBLE STAFF

Kerry C. Driver - Planner

RECOMMENDATION

N/A

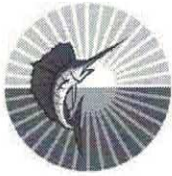
Attachments

Applicant File

Form Review

Form Started By: Kerry Driver
Final Approval Date: 07/03/2024

Started On: 07/01/2024 12:05 PM



APPLICATION FOR ANNEXATION

Annexation applications will require the adoption of an ordinance which will require a public meeting before the Planning Board and two public hearings before the City Commission.

Application packets shall include **Warranty Deed** and **Current Survey** (completed within the last 12 months)

- E-mail the complete application packet to planning@cityoffortpierce.com for sufficiency review.
- After sufficiency review one (1) original and two (2) copies of the application and support documents are needed. E-mail planning@cityoffortpierce.com or call 772-467-3737 to schedule an appointment.

1. Address: 1835 and 1839 Sandridge Rd Fort Pierce, Fl

2. Legal description of real property for which annexation is being requested:
04 35 40 S 225 FT OF S 1/2 OF N 1/2 OF NE 1/4 OF NE 1/4 W OF SR 4 AND E OF SFWMD CANAL C-25
4 35 40 S 1/2 OF N 1/2 OF NE 1/4 OF NE 1/4 W OF SR 4 AND E OF CANALC-25-LESS S 225 FT-

Property Tax ID: 2404-111-0003-000-8 and 2404-111-0003-010-1

3. Size of described property: 2.15 acres

4. Project description: New restaurant with outdoor entertainment area


5. Current St. Lucie County Future Land Use Designation: COM

6. Current St. Lucie County Zoning: CG

7. Is this a Historic property? No

8. Appraised value: 600,000

9. Name of Owner(s): Jason Merritt

Signature of Owner(s): 
 Mailing Address: 6429 Riverland Dr
 City Fort Pierce State Fl Zip 34982
 Phone 772-260-5720
 E-mail: jason@tntbuilders.net

10. Name of Representative: Jason Merritt

Signature of representative: 
 Mailing Address: 6429 Riverland Dr
 City) Fort Pierce State Fl Zip 34982
 Phone 772-260-5720
 E-mail: jason@tntbuilders.net

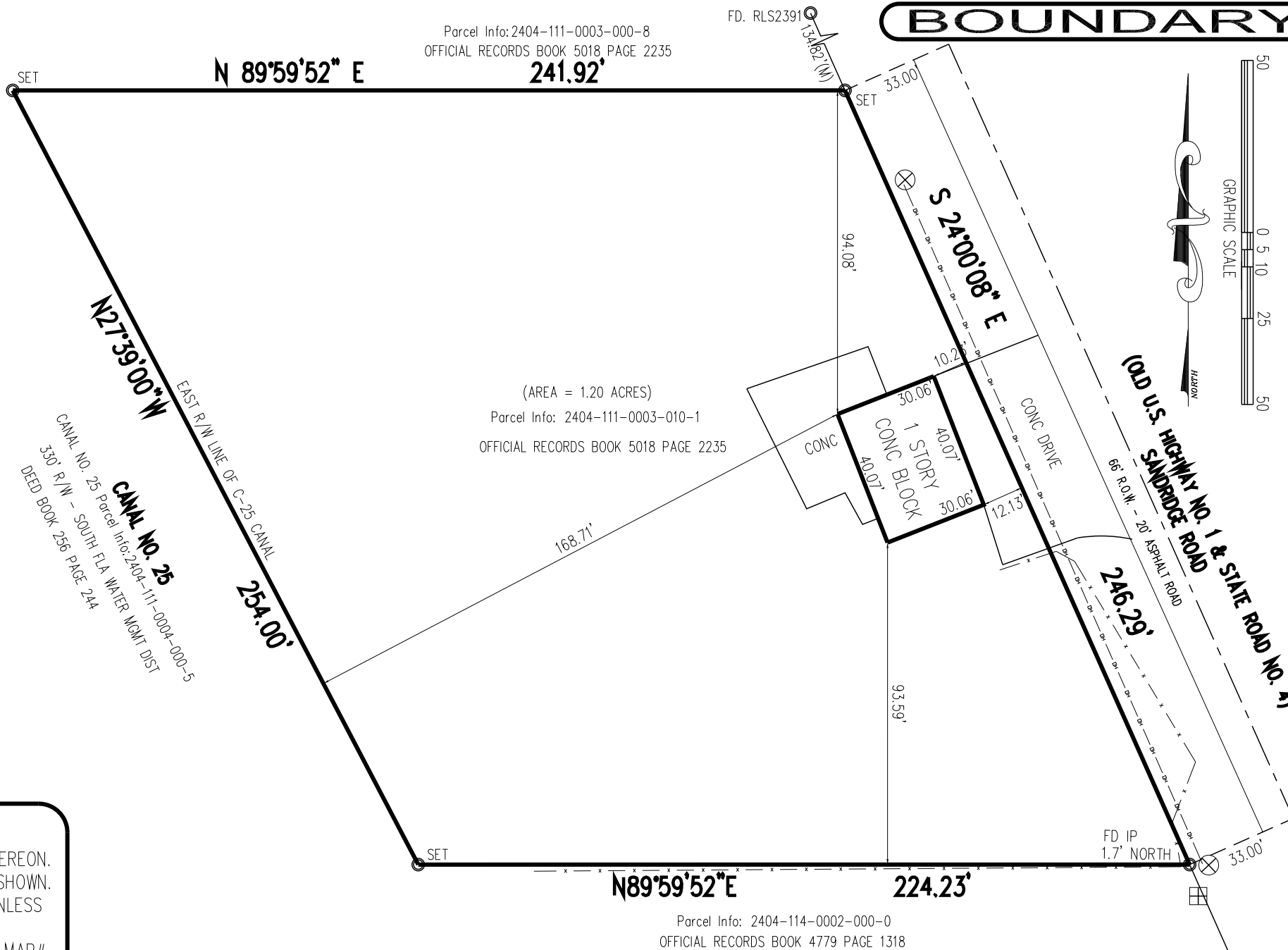
LEGAL DESCRIPTION:

(Supplied by Client)
 BEGINNING AT THE SE CORNER OF THE SOUTH 1/2 OF THE NORTH 1/2 OF THE NE 1/4 OF THE NE 1/4 AND RUN NORTHERLY 225 ALONG THE EASTERN BOUNDARY, THENCE RUN WEST TO THE WESTERN BOUNDARY, THENCE RUN SOUTHERLY ALONG THE WESTERN BOUNDARY TO THE SOUTHERN BOUNDARY, THENCE RUN EAST TO THE POINT OF BEGINNING ALL LYING WEST OF STATE ROAD NO. 4 IN SECTION 4, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA. TOGETHER WITH:
 THE SOUTH 1/2 OF THE NORTH 1/2 OF THE NORTHEAST 1/4, LYING WEST OF STATE ROAD #4 AND EAST OF CANAL, IN SECTION 4, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA. LESS AND EXCEPT THAT CERTAIN PARCEL CONVEYED TO CENTRAL AND SOUTHERN FLORIDA FLOOD CONTROL DISTRICT BY WARRANTY DEED RECORDED IN DEED BOOK 256, PAGE 244, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

SURVEYORS NOTE REGARDING LEGAL DESCRIPTION:
 THE LEGAL DESCRIPTION IS TOO AMBIGUOUS TO PLOT WITH ANY ACCURACY, EXISTING PROPERTY CORNERS AND IMPROVEMENTS WERE USED TO LOCATE PROPERTY.

SURVEYORS NOTES:

1. UNLESS OTHERWISE NOTED ONLY PLATTED EASEMENTS ARE SHOWN HEREON.
2. ALL LOT DIMENSIONS SHOWN ARE PER PLAT UNLESS OTHERWISE SHOWN.
3. NO UNDERGROUND UTILITIES OR IMPROVEMENTS WERE LOCATED UNLESS OTHERWISE SHOWN.
4. THIS SITE LIES WITHIN FLOOD INSURANCE RATE MAP ZONE X MAP# 12111C0179 K DATED: 2-19-20.
5. FLOOD ZONE SHOWN HEREON IS AN INTERPRETATION BY THE SURVEYOR AND IS PROVIDED AS A COURTESY. THE FLOOD ZONE SHOULD BE VERIFIED BY A DETERMINATION AGENCY.+
6. BEARINGS SHOWN HEREON ARE BASED ON THE CENTER LINE OF SANDRIDGE ROAD AS BEING S24°00'08"E ACCORDING TO THE PLAT DESCRIBED HEREON.
7. P.U.D.E. DENOTES PUBLIC UTILITIES AND DRAINAGE EASEMENT, U.E. DENOTES UTILITY EASEMENT.
8. THE ACCURACY OF THIS SURVEY IS PREMISED ON THE EXPECTED USE OF THE SURVEY. THE EXPECTED USE/PURPOSE OF THIS SURVEY IS PROPERTY ANEXING. ACCURACY=1 FOOT IN 7.500 FEET OR BETTER.
9. ADDITIONS OR DELETIONS TO THIS SURVEY MAP BY ANYONE OTHER THAN THE SIGNING SURVEYOR IS PROHIBITED WITHOUT WRITTEN CONSENT.



Parcel Info: 2404-111-0003-000-8
 OFFICIAL RECORDS BOOK 5018 PAGE 2235

(AREA = 1.20 ACRES)
 Parcel Info: 2404-111-0003-010-1
 OFFICIAL RECORDS BOOK 5018 PAGE 2235

Parcel Info: 2404-114-0002-000-0
 OFFICIAL RECORDS BOOK 4779 PAGE 1318

BOUNDARY SURVEY

ABBREVIATIONS:
 SET = SET 5/8" IRON REBAR WITH YELLOW CAP MARKED "PSM5543"
 FD = FOUND 5/8 IRON REBAR
 R/W = RIGHT OF WAY
 (M) = MEASURED
 (P) = PLATTED
 (C) = CALCULATED
 R = RADIUS OF CURVE
 L = LENGTH OF CURVE
 D= DELTA OF CURVE
 FFE = FINISHED FLOOR ELEVATION
 OH-OH-OH- = OVERHEAD WIRES
 X-X-X- = CHAINLINK FENCE
 □-□-□- = PLASTIC FENCE
 O-O-O- = WOOD FENCE
 CONC. = CONCRETE
 C.P.= CONCRETE PAD
 Cov.= COVERED
 ~~~~~ = DRAINAGE PROPOSED AND EXISTING  
 ⊗ = POWER POLE    ⊞ = WATER METER

**1835 SANDRIDGE ROAD**

**Atlantic Land Designs**  
 of the Treasure Coast, LB7468  
 754 NE Jensen Beach Blvd. Jensen Beach, FL 34957  
 Mailing Address:  
 P.O. Box 1421 Jensen Beach, FL 34958  
 ALD5543@gmail.com (772) 398-4290

SCALE: 1"=50'  
 DATE: 6/10/24  
 DRAWN: SW/JC  
 2024-0260B

|       |           |
|-------|-----------|
| DATE: | REVISIONS |
|       |           |
|       |           |

LAST FIELD DATE: 6/5/24

Certified to: Jason Merrit

I HEREBY CERTIFY THAT THIS SURVEY MEETS OR EXCEEDS THE STANDARDS OF PRACTICE PER CHAPTER 5J-17.051 AND 5J-17.052 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES AND THAT ELECTRONIC SIGNATURE AND SEAL HEREON MEETS PROCEDURES AS SET FORTH IN CHAPTER 5J-17.062, PURSUANT TO SECTION 472.025, FLORIDA STATUTES.

DocuSigned by:  
 James Cesiro  
 A1338D8A59FD4C1...

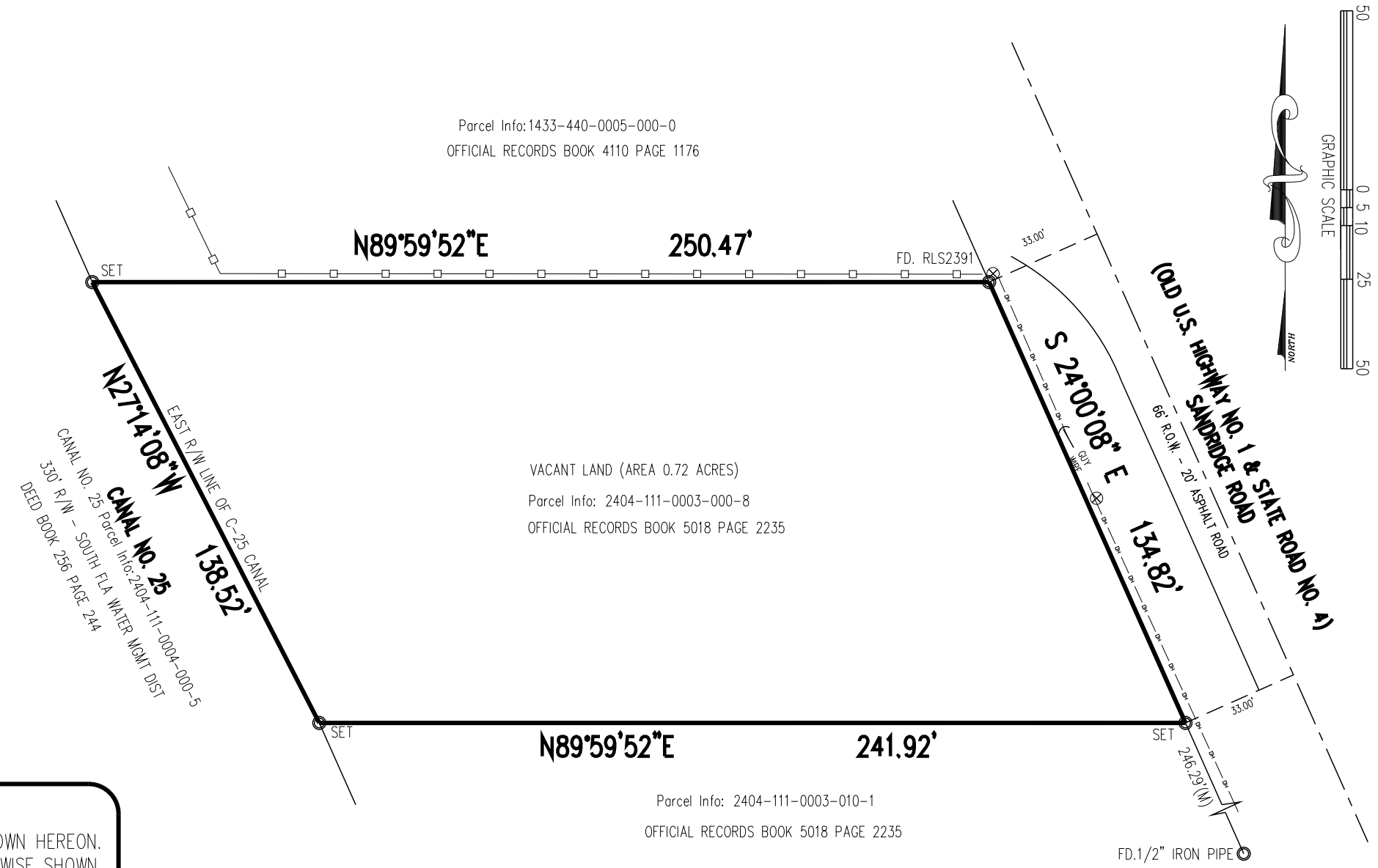
JAMES A. CESIRO JR. PROFESSIONAL SURVEYOR & MAPPER  
 FLORIDA REGISTRATION NO. 5543  
 NOT VALID WITHOUT AN AUTHENTICATED ELECTRONIC SEAL

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(Supplied by Client)  
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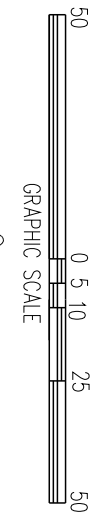


Parcel Info: 1433-440-0005-000-0  
 OFFICIAL RECORDS BOOK 4110 PAGE 1176

VACANT LAND (AREA 0.72 ACRES)  
 Parcel Info: 2404-111-0003-000-8  
 OFFICIAL RECORDS BOOK 5018 PAGE 2235

Parcel Info: 2404-111-0003-010-1  
 OFFICIAL RECORDS BOOK 5018 PAGE 2235

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1839 SANDRIDGE ROAD

Atlantic Land Designs
 of the Treasure Coast, LB7468
 754 NE Jensen Beach Blvd. Jensen Beach, FL 34957
 Mailing Address:
 P.O. Box 1421 Jensen Beach, FL 34958
 ALD5543@gmail.com (772) 398-4290

| | |
|---------------|---------------|
| SCALE: 1"=50' | DATE: 6/10/24 |
| DRAWN: SW/JC | 2024-0260A |
| DATE: | REVISIONS |

LAST FIELD DATE: 6/5/24

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DocuSigned by:
James Cesiro
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JAMES A. CESIRO JR. PROFESSIONAL SURVEYOR & MAPPER
 FLORIDA REGISTRATION NO. 5543
 NOT VALID WITHOUT AN AUTHENTICATED ELECTRONIC SEAL

Prepared by:
Melissa Harnage
Gulfstream Title Services, Inc.
1903 S. 25th Street, Suite 201
Fort Pierce, Florida 34947

File Number: 2092

General Warranty Deed

Made this July 14, 2023 A.D. By **Phillip J. Williams and Joyce E. Williams, husband and wife and Walter Royce Williams, a single man**, hereinafter called the grantor, to **Jason Merrit**, whose post office address is: 6429 Riverland Drive, Fort Pierce, Florida 34982, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in St. Lucie County, Florida, viz:

Beginning at the SE corner of the South 1/2 of the North 1/2 of the NE 1/4 of the NE 1/4 and run Northerly 225 feet along the Eastern boundary, thence run West to the Western boundary, thence run Southerly along the Western boundary to the Southern boundary, thence run East to the Point of Beginning, all lying West of State Road No. 4 in Section 4, Township 35 South, Range 40 East, St. Lucie County, Florida.

AND

The South 1/2 of the North 1/2 of the Northeast 1/4 of the Northeast 1/4, lying West of State Road #4 and East of Canal, in Section 4, Township 35 South, Range 40 East, St. Lucie County, Florida. Less and Except that certain parcel conveyed to Central and Southern Florida Flood Control District by Warranty Deed recorded in Deed Book 256, Page 244, of the Public Records of St. Lucie County, Florida.

Parcel ID Number: **2404-111-0003-010-1**

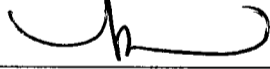
Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.


And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2022.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

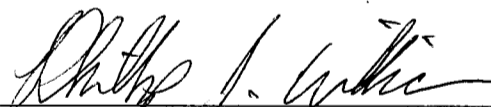
Signed, sealed and delivered in our presence:



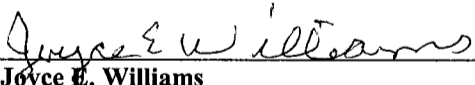
Witness Printed Name Melissa Harnage



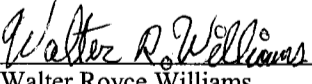
Witness Printed Name MARK TIERNEY



Phillip J. Williams (Seal)
Address:



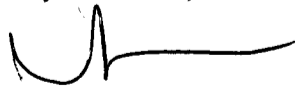
Joyce E. Williams (Seal)
Address:



Walter Royce Williams (Seal)
Address:

State of Florida
County of St. Lucie

The foregoing instrument was acknowledged before me by means of (X) physical presence or () online notarization, this 14 day of July, 2023, by Phillip J. Williams and Joyce E. Williams and Walter Royce Williams, who is/are personally known to me or who has produced Dwain Hix as identification.



Notary Public
Print Name: _____
My Commission Expires: _____



Technical Review Committee

1. b.

Meeting Date: 07/18/2024

REQUESTED ACTION

Site Plan (Development & Design Review) - Gator Trace on The Greens (of Gator Trace Planned Unit Development) - 4150 and 4200 Gator Trace Road

SUMMARY

Project #: 24-07000007

The applicant is proposing to build (13) buildings, (67) units innovative townhouse community on totaling 6.94 acres PD zoned, wooded land in the Gator Trace Golf & Country Club, Fort Pierce, Florida. To fulfill the innovative design category, they provided coastal architecture design and colors along with amenities such as dog park, bicycle rack, toddler playground, and outdoor fitness area with benches and walkways along with landscaping that exceeds the minimum code requirements. The layout of the site consists of two entrances off Gator Trace Road with a looped road throughout the development. There are two proposed dry detention ponds on each side of the property that will be used for stormwater storage but also act as green open space for the neighborhood. There is an existing 0.63-acre wetland plus 0.56 wetland buffer in the middle eastern portion of the property that the applicant is planning to use for residential purpose that will require a credit purchase from SFWMD for Wetland Mitigation. Also, the traffic impact of the proposed development has been evaluated and the result shows that the proposed development will be in compliance with the City of Fort Pierce Land Development Code.

LOCATION

4150 & 4200 Gator Trace Rd.

RESPONSIBLE STAFF

Vennis Gilmore, Assistant Planning Director

RECOMMENDATION

TBD

Attachments

TRC Packet
Site Plan Files

Form Review

Form Started By: Vennis Gilmore
Final Approval Date: 07/03/2024

Started On: 07/03/2024 04:16 PM



DEVELOPMENT REVIEW

Property Information

Property address or Location 4150 & 4200 Gator Trace Rd
 Parcel ID #(s) 2435-311-0001-000/4 & 2435-243-0001-000/6
 Project description New construction of 67 Unit Townhomes in Gator Trace Golf & Country Club

Application Type

- Site Plan Conditional Use w/New Construction Conceptual Development Plan
 Minor Amendment Major Amendment

Site Information

Non-Residential: Proposed Sq. Ft.: N/A Site Acreage: N/A
Residential: Proposed Units: 67 Proposed Sq. Ft.: 83,200 Site Acreage: 6.94

GATOR TRACE ON THE GREENS, LLC

Property Owner(s)

17305 S DIXIE HWY.

Street Address

PALMETTO BAY FL 33157

City State Zip

(954)907-2082

Phone Number

ekrem@eu-intl.com

Email Address

Rasim Cinar

Applicant/Representative, Title, Company

279 Lake Monterey Circle

Street Address

Boynton Beach FL 33426

City State Zip

(561)713-9700

Phone Number

rasimcncr@gmail.com

Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

Property Owner(s) Signature(s)

APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS

CALL 772.467.3737 OR E-MAIL PLANNING_DL@CITYOFFORTPIERCE.COM

For more information, please refer to the website:

<https://www.cityoffortpiece.com/971/Application-Submittal-for-Technical-Rev>

General Information

- **Incomplete application packets will not be accepted.**
- In-take meetings are required for application submittals.
- Site plan approval is valid for one (1) year following City Commission approval. To maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date.
- Fee Schedule - <https://www.cityoffortpierce.com/DocumentCenter/View/2620/Fee-Schedule->
- Public Notice Fees - <https://www.cityoffortpierce.com/DocumentCenter/View/8818/Public-Notice-Fees->



Site Plan submittal requirements:

Submit one (1) original & three (3) hard copies and one (1) CD or Flash Drive of the following. Additional copies will be required of subsequent submittals.

- Complete application
- Warranty Deed
- SLC Property Record Card
- Detailed project description
- General location map (see Section 125-313)
- Survey (see Section 125-313)
- Site Plan (see Section 125-313)
- Landscaping Plan (see Section 123-37)
- Conceptual Drainage Plan (see Section 125-313)
- Environmental Impact Report
- Beach/Dune System protection plan, if applicable (see Section 125-313)
- Lighting Plan (see Section 125-313)
- Design Review submittals (see Design Review application)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)



**TOWNHOUSE DEVELOPMENT
FT. PIERCE, FL**

Design and Development Review Project Narrative

June 5, 2024

Mr. Kevin Freeman
Planning Department
City of Fort Pierce
Planning Director
100 N. U.S. Highway 1, Fort Pierce, FL 34950
(772) 567-8000

Re: Gator Trace on the Greens Townhomes
Parcel IDs # 2435-311-0001-000/4 & 2435-243-0001-000/6)

Dear Mr. Freeman:

We, the developers of Gator Trace on the Greens Townhouse project, are proposing to build (13) buildings, (67) units innovative townhouse community on totaling 6.94 acres PD zoned, wooded land in the Gator Trace Golf & Country Club, Fort Pierce, Florida.

To fulfill the innovative design category, we provided coastal architecture design and colors along with amenities such as dog park, bicycle rack, toddler playground, and outdoor fitness area with benches and walkways along with landscaping that exceeds the minimum code requirements.

The layout of the site consists of two entrances off Gator Trace Road with a looped road throughout the development.

There are two proposed dry detention ponds on each side of the property that will be used for stormwater storage but also act as green open space for the neighborhood.

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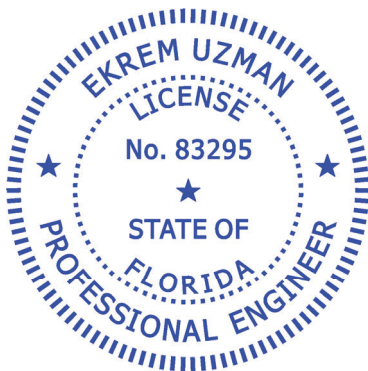
Also, the traffic impact of the proposed development has been evaluated and the result shows that, the proposed development will be in compliance with the City of Fort Pierce Land Development Code.

Please review attached

- St Lucie County Property Cards
- Warranty Deed
- Survey
- Tree Survey
- Wetland Delineation
- Environmental Assessment
- Plot
- Site Plan,
- Fire Truck Plans,
- Civil Plans,
- Storm Drain Calculations
- Traffic Impact Study,
- Landscaping Plans,
- Photometric Plans,
- Architectural Plans,
- 3-D Renderings
- Color chart of the project and
- Photographs of the property

and let us know if you have any further questions regarding this application.

Ekrem Uzman, PE, MSCE, CGC
Gator Trace on the Greens, LLC
(305) 363-6666
ekrem@eu-intl.com





DESIGN REVIEW

Property Information

Property address or Location 4150 & 4200 Gator Trace Rd
 Parcel ID #(s) 2435-311-0001-000/4 & 2435-243-0001-000/6
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GATOR TRACE ON THE GREENS, LLC

Property Owner(s)

17305 S DIXIE HWY.

Street Address

PALMETTO BAY FL 33157

City

State

Zip

(954)907-2082

Phone Number

ekrem@eu-intl.com

Email Address

Rasim Cinar

Applicant/Representative, Title, Company

279 Lake Monterey Circle

Street Address

Boynton Beach FL 33426

City

State

Zip

(561)713-9700

Phone Number

rasimcncr@gmail.com

Email Address

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For more information, please refer to the website:

<https://www.cityoffortpiece.com/971/Application-Submittal-for-Technical-Rev>

Design Review Application Checklist **(City Code of Ordinances 125-314)**

Submittal for Administrative Approval

- a. A survey (1" = 30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of section 123-66, location of bordering streets and, if applicable, wetlands and beaches.
- b. A site analysis study to include a discussion of specimen trees and other natural vegetation, access, significant topography, wetlands, buffers, setbacks, views, orientation, the surrounding built environment, and other site features that may influence design elements.
- c. A draft written narrative describing the design intent of the project, its goals, and objectives and how it reflects the site analysis study results.
- d. Context photographs of neighboring uses and architectural styles.
- e. Photographs and/or drawings of architectural buildings or objects that serve as a precedent for the proposed building design. Models should be taken from local exemplary buildings, either existing or demolished. Documentation of such buildings is available in the city's planning department.
- f. Photographs of all existing structures located on the property. If existing structures on the property are more than fifty (50) years of age, documentation of these structures with data from the Florida Master Site File form is also required.
- g. Conceptual site plan (to scale) showing proposed location of all buildings, structures, parking areas, signs and landscaping.
- h. Landscape plan, at the same scale as the site plan. The planning director or designee may request enlarged plans of detailed planting areas. Planting schedule with sizes of proposed plantings must be included.
- i. Accurate color rendering of proposed signs showing dimensions, type of lettering, materials and actual color samples that demonstrates cohesiveness with the project design.
- j. Exterior elevations showing architectural character, external architectural features, and streetscape of the proposed development, including materials, colors, shadow lines and landscaping. The street elevation shall encompass the entire proposed project and generally identify the major elements of the adjacent two (2) properties on either side of the site. If the adjacent properties are vacant or underutilized, a diagram shall be provided that identifies the mass and form that is allowable under current zoning. If the street elevation must be drawn at such a scale as to render architectural details of the building unreadable, drawings of individual buildings at a larger scale should be provided as well.
- k. Design review concurrent with conceptual development plan procedure according to subsection 125-313 is also available.

Submittal for Board Approval

- a. A written narrative describing how the project conforms to administrative approval and design review guidelines of this section.
- b. A final site plan meeting the requirements of section 125-313.
- c. A final site lighting plan that meets the requirements of subsection 125-313(d)(8).
- d. A final landscape plan that meets the requirements of articles II and III of chapter 123.
- e. Final floor plans and elevation drawings (1/8" = 1'-0" minimum scale), as detailed under administrative approval, showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- f. A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.



DEVELOPMENT REVIEW

Property Information

Property address or Location 4150 & 4200 Gator Trace Rd
 Parcel ID #(s) 2435-311-0001-000/4 & 2435-243-0001-000/6
 Project description New construction of 67 Unit Townhomes in Gator Trace Golf & Country Club

Application Type

- Site Plan Conditional Use w/New Construction Conceptual Development Plan
 Minor Amendment Major Amendment

Site Information

Non-Residential: Proposed Sq. Ft.: N/A Site Acreage: N/A
Residential: Proposed Units: 67 Proposed Sq. Ft.: 83,200 Site Acreage: 6.94

GATOR TRACE ON THE GREENS, LLC

Property Owner(s)

17305 S DIXIE HWY.

Street Address

PALMETTO BAY FL 33157

City State Zip

(954)907-2082

Phone Number

ekrem@eu-intl.com

Email Address

Rasim Cinar

Applicant/Representative, Title, Company

279 Lake Monterey Circle

Street Address

Boynton Beach FL 33426

City State Zip

(561)713-9700

Phone Number

rasimcncr@gmail.com

Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

Property Owner(s) Signature(s)

APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS

CALL 772.467.3737 OR E-MAIL PLANNING_DL@CITYOFFORTPIERCE.COM

For more information, please refer to the website:

<https://www.cityoffortpiece.com/971/Application-Submittal-for-Technical-Rev>

General Information

- **Incomplete application packets will not be accepted.**
- In-take meetings are required for application submittals.
- Site plan approval is valid for one (1) year following City Commission approval. To maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date.
- Fee Schedule - <https://www.cityoffortpierce.com/DocumentCenter/View/2620/Fee-Schedule->
- Public Notice Fees - <https://www.cityoffortpierce.com/DocumentCenter/View/8818/Public-Notice-Fees->



Site Plan submittal requirements:

Submit one (1) original & three (3) hard copies and one (1) CD or Flash Drive of the following. Additional copies will be required of subsequent submittals.

- Complete application
- Warranty Deed
- SLC Property Record Card
- Detailed project description
- General location map (see Section 125-313)
- Survey (see Section 125-313)
- Site Plan (see Section 125-313)
- Landscaping Plan (see Section 123-37)
- Conceptual Drainage Plan (see Section 125-313)
- Environmental Impact Report
- Beach/Dune System protection plan, if applicable (see Section 125-313)
- Lighting Plan (see Section 125-313)
- Design Review submittals (see Design Review application)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)



**TOWNHOUSE DEVELOPMENT
FT. PIERCE, FL**

Design and Development Review Project Narrative

June 5, 2024

Mr. Kevin Freeman
Planning Department
City of Fort Pierce
Planning Director
100 N. U.S. Highway 1, Fort Pierce, FL 34950
(772) 567-8000

Re: Gator Trace on the Greens Townhomes
Parcel IDs # 2435-311-0001-000/4 & 2435-243-0001-000/6)

Dear Mr. Freeman:

We, the developers of Gator Trace on the Greens Townhouse project, are proposing to build (13) buildings, (67) units innovative townhouse community on totaling 6.94 acres PD zoned, wooded land in the Gator Trace Golf & Country Club, Fort Pierce, Florida.

To fulfill the innovative design category, we provided coastal architecture design and colors along with amenities such as dog park, bicycle rack, toddler playground, and outdoor fitness area with benches and walkways along with landscaping that exceeds the minimum code requirements.

The layout of the site consists of two entrances off Gator Trace Road with a looped road throughout the development.

There are two proposed dry detention ponds on each side of the property that will be used for stormwater storage but also act as green open space for the neighborhood.

There is an existing 0.63-acre wetland plus 0.56 wetland buffer in the middle eastern portion of the property that we are planning to use for residential purpose that will require a credit purchase from SFWMD for Wetland Mitigation.

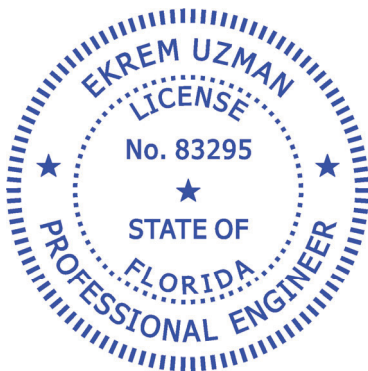
Also, the traffic impact of the proposed development has been evaluated and the result shows that, the proposed development will be in compliance with the City of Fort Pierce Land Development Code.

Please review attached

- St Lucie County Property Cards
- Warranty Deed
- Survey
- Tree Survey
- Wetland Delineation
- Environmental Assessment
- Plot
- Site Plan,
- Fire Truck Plans,
- Civil Plans,
- Storm Drain Calculations
- Traffic Impact Study,
- Landscaping Plans,
- Photometric Plans,
- Architectural Plans,
- 3-D Renderings
- Color chart of the project and
- Photographs of the property

and let us know if you have any further questions regarding this application.

Ekrem Uzman, PE, MSCE, CGC
Gator Trace on the Greens, LLC
(305) 363-6666
ekrem@eu-intl.com





| PROPERTY ID | |
|-------------------|---|
| ZONING | PD |
| FOLIO | 2435-311-0001-000/4 & 2435-243-0001-000/6 |
| OWNER | GATOR TRACE ON THE GREENS, LLC |
| MAILING ADDRESS | 17305 S DIXIE HWY, PALMETTO BAY, FL 33157 |
| LEGAL DESCRIPTION | SEE ATACHED |
| FLOOD ZONE / BFE | X / +19.00' |

| SCOPE OF WORK | |
|--------------------------------------|--|
| NEW (67) UNITS TOWNHOUSE DEVELOPMENT | |

| DESIGN CRITERIA | DESIGN CODES AND STANDARD |
|------------------|---------------------------|
| V=160 MPH | FBC 2023 8TH EDITION |
| EXPOSURE-C | ASCE 7-16 |
| CAT-II | NEC 2023 |
| CLOSED STRUCTURE | |
| K=0.85 | |
| MRH=25'-0" | |
| TYPE V-8, R-3 | |

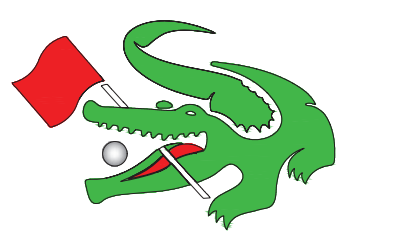
| BUILDING DATA | |
|---------------|------------|
| ID | UNIT |
| BUILDING #1 | 7 - UNITS |
| BUILDING #2 | 4 - UNITS |
| BUILDING #3 | 5 - UNITS |
| BUILDING #4 | 6 - UNITS |
| BUILDING #5 | 8 - UNITS |
| BUILDING #6 | 4 - UNITS |
| BUILDING #7 | 4 - UNITS |
| BUILDING #8 | 5 - UNITS |
| BUILDING #9 | 5 - UNITS |
| BUILDING #10 | 5 - UNITS |
| BUILDING #11 | 5 - UNITS |
| BUILDING #12 | 5 - UNITS |
| BUILDING #13 | 4 - UNITS |
| TOTAL | 67 - UNITS |

| SITE DATA | |
|------------------------------|------------------------------|
| ZONING | PD |
| CURRENT / PROP.USAGE | TOWNHOUSE DEVELOPMENT |
| DWELLING ALLOWANCE | 12-UNITS / ACRE (INNOVATIVE) |
| DWELLING ALLOWED ON THIS LOT | 6.94 AC x 12 = 83.28 UNITS |
| DWELLING PROVIDED | 67 UNITS |

| LOT COVERAGE DATA | | |
|-------------------------------|------------|----------|
| NAME | AREA | % OF LOT |
| LOT SIZE | 302,306 SF | 100.00 % |
| BUILDING FOOTPRINTS | 83,200 SF | 27.52 % |
| PAVER DRIVEWAYS | 35,689 SF | 11.81 % |
| ASPHALT, GUTTER, SIDEWALK ETC | 69,851 SF | 23.11 % |
| TOTAL IMPERVIOUS ABOVE | 188,740 SF | 62.43 % |
| REMAINING PERVIOUS | 113,566 SF | 37.57 % |

| PARKING DATA | | | |
|-------------------------------------|--------------|--------------|--------------|
| NAME | REQUIRED | 20' LOT | 25' LOT |
| SIDE-BY-SIDE PARKING | (2) PER UNIT | (2) PER UNIT | (2) PER UNIT |
| GARAGE PARKING | 0 | (1) PER UNIT | (2) PER UNIT |
| TOTAL PARKING PER UNIT | (2) PER UNIT | (3) PER UNIT | (4) PER UNIT |
| MAIL PARKING (9'-6"x18" + HANDICAP) | 0 | (3) SPACES | (4) PER UNIT |
| POST OFFICE PARKING (9'-6"x18") | 0 | (1) SPACES | |

TOWNHOUSE DEVELOPMENT



GATOR TRACE GREENS

FORT PIERCE FL 34982



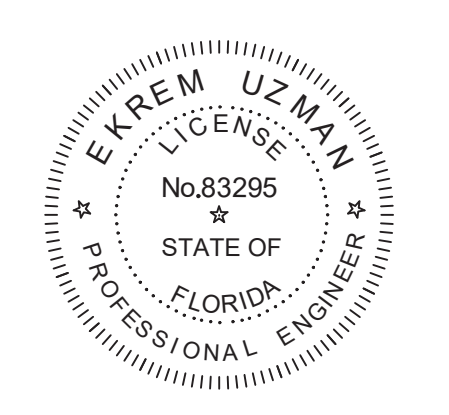
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THE CONTRACTOR SHALL COMPARE ALL DRAWINGS AND VERIFY THE FIGURES, CONDITIONS AND DIMENSIONS ON THE JOB SITE. DISCREPANCIES SHALL BE REPORTED TO EKREM UZMAN, PE BEFORE ANY COMMENCEMENT OF THE WORK IN THE AREA IN QUESTION.

EU INTERNATIONAL, LLC
EKREM UZMAN, PE, MSCE, CGC
CONSULTING ENGINEER - CA32900
GENERAL CONTRACTOR - CGC1526228
1900 GLADYS RD, SUITE 500
BOCA RATON, FL 33431
O: (561) 969-3333
C: (561) 967-2082
ekrem@eu-int.com

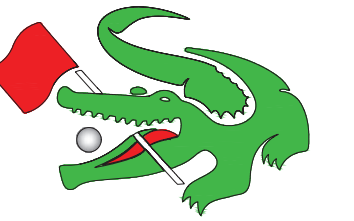


SHEET

SP100

SITE PLAN

1"=40'



* POINT OF REACH
(LESS THAN 150')

● FIRE HYDRANT

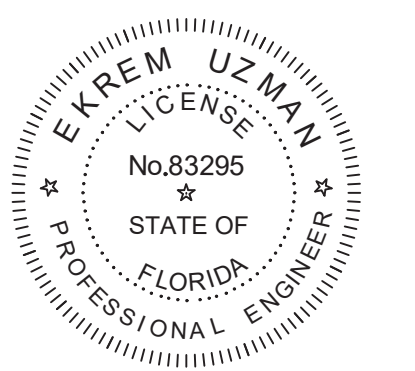
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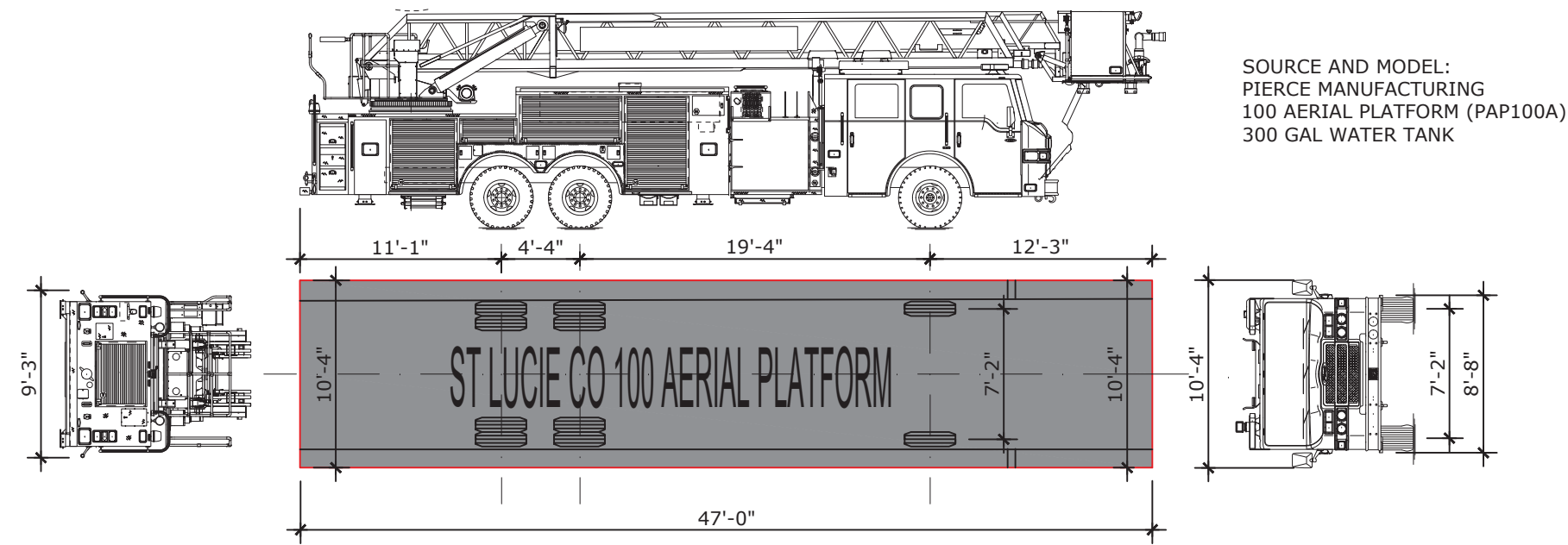
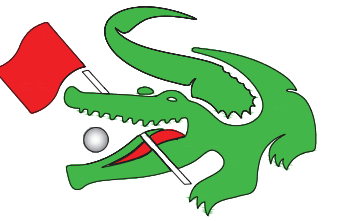
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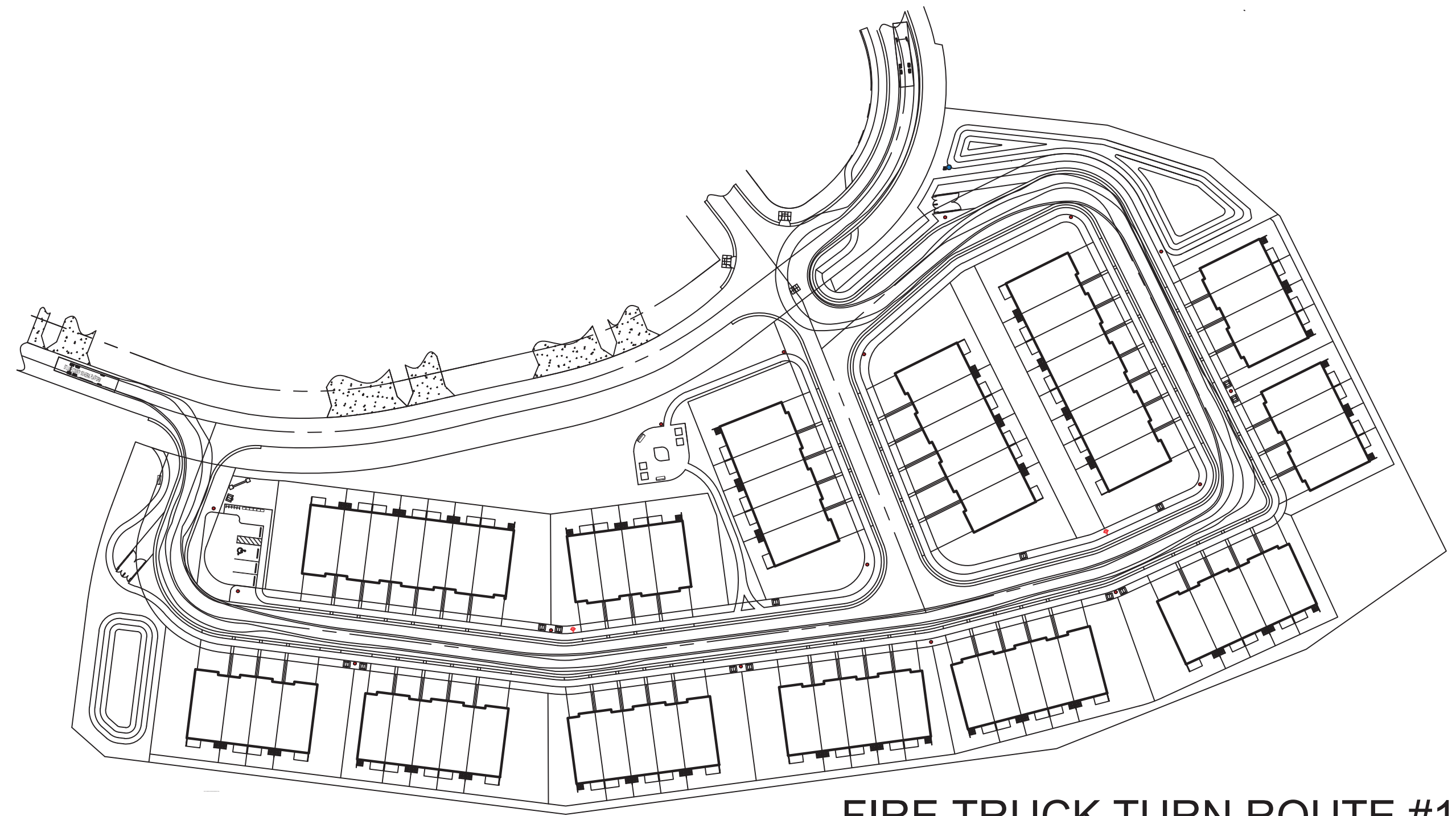
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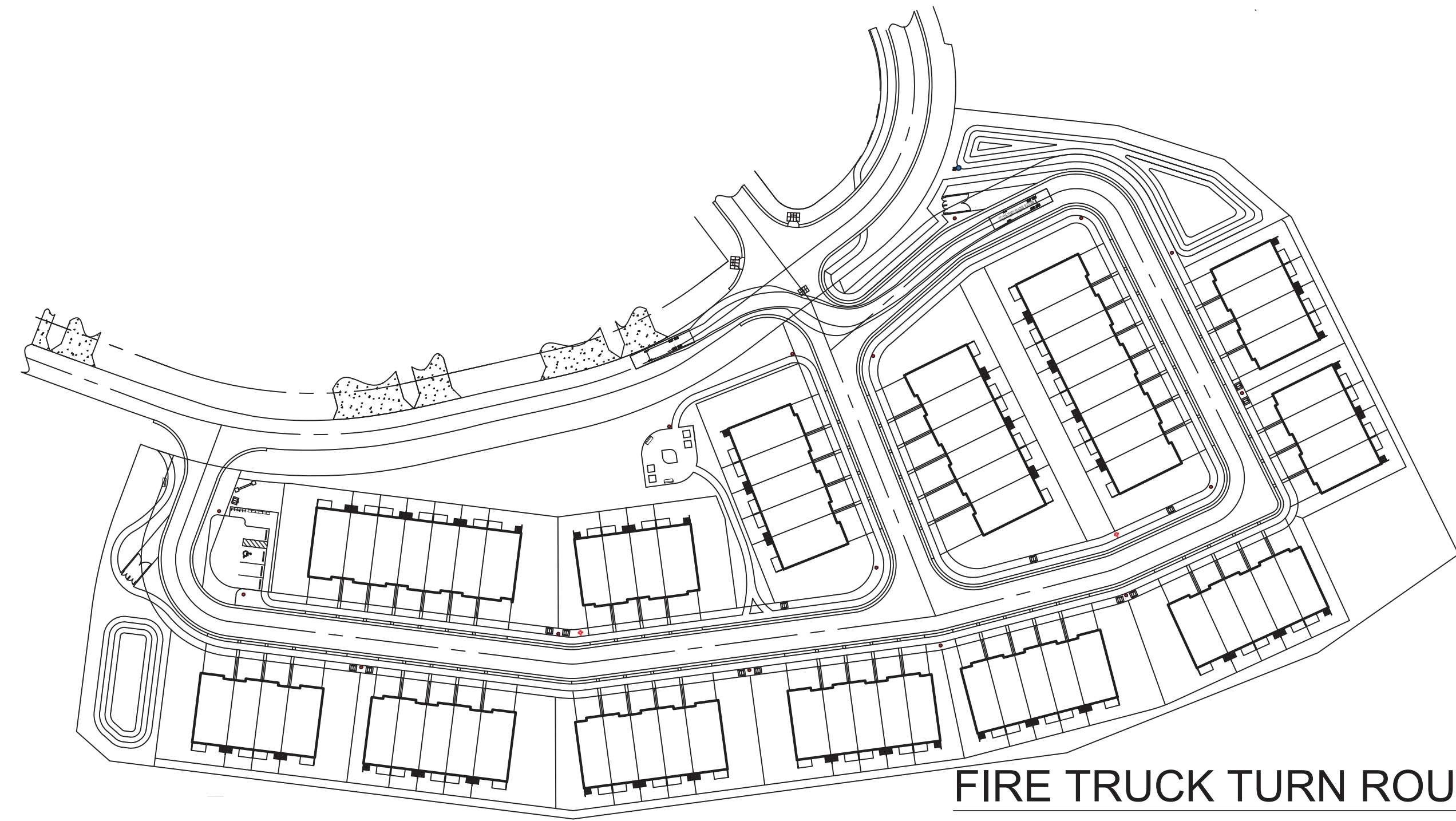




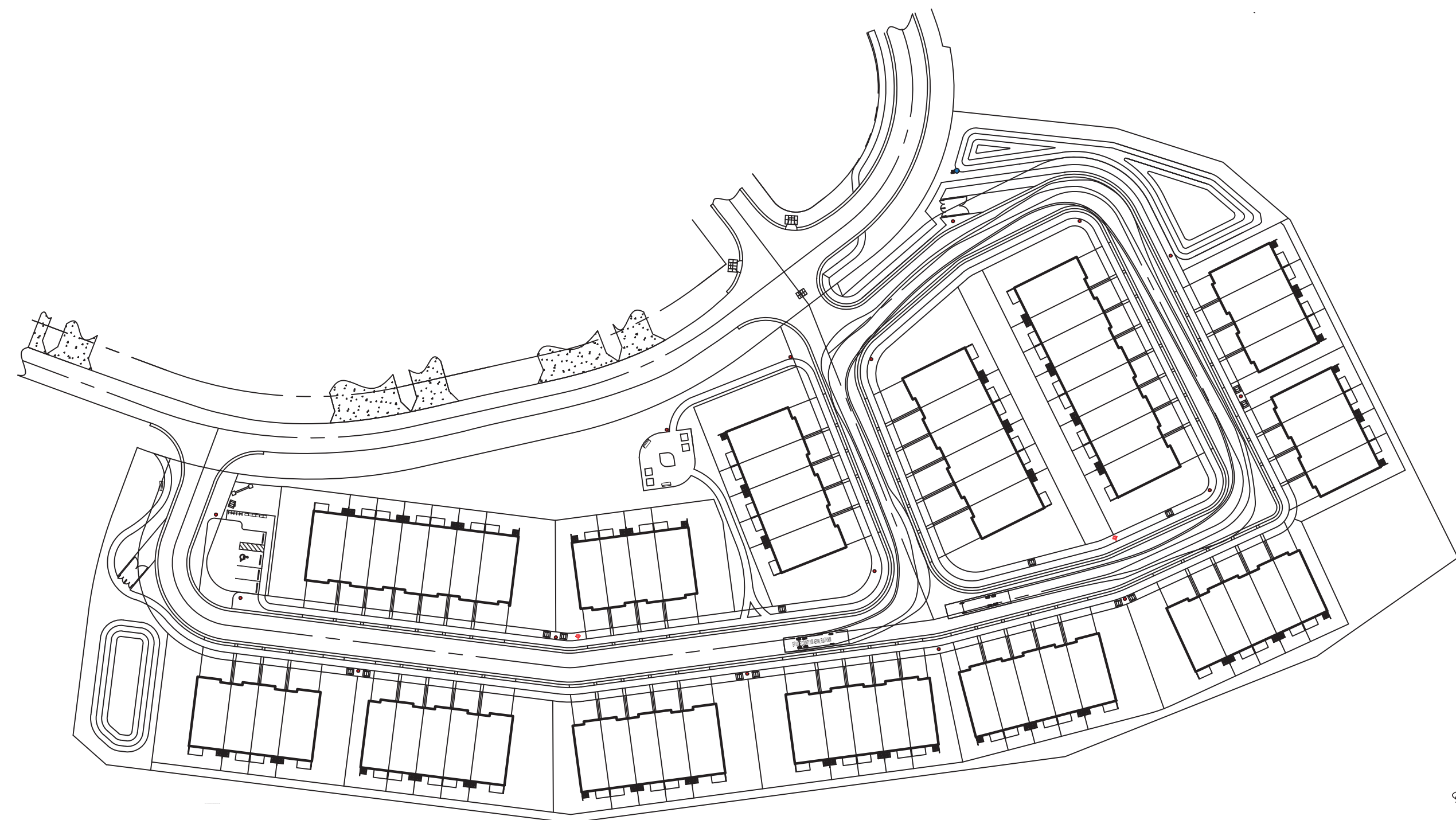
FIRE TRUCK SPECS
NTS



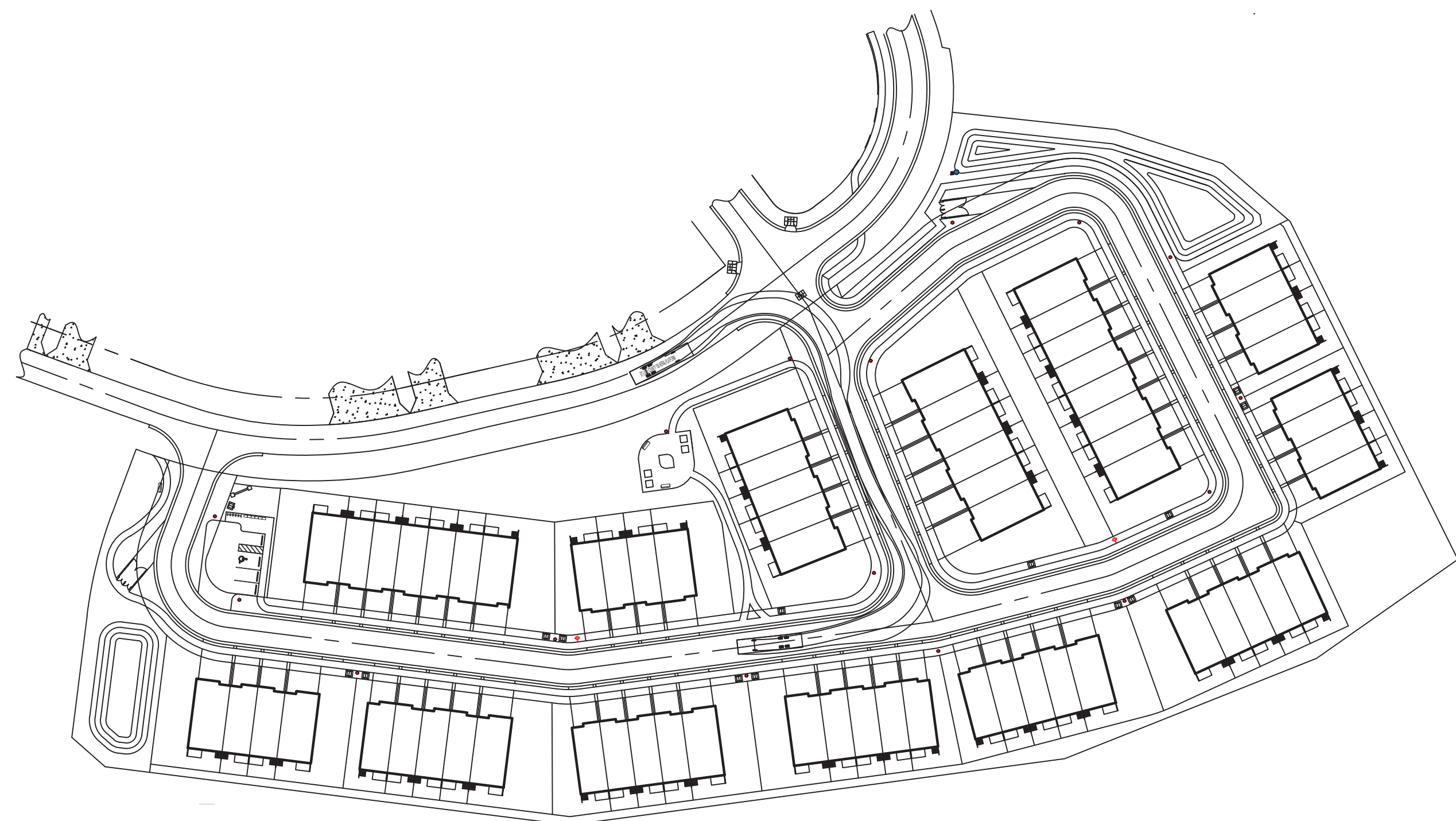
FIRE TRUCK TURN ROUTE #1
1/80"=1'-0"



FIRE TRUCK TURN ROUTE #2
1/80"=1'-0"



FIRE TRUCK TURN ROUTE #3
1/80"=1'-0"



FIRE TRUCK TURN ROUTE #4
1/80"=1'-0"

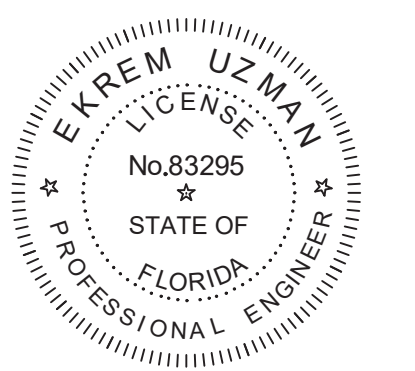
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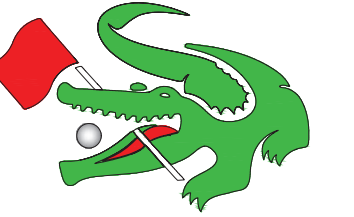
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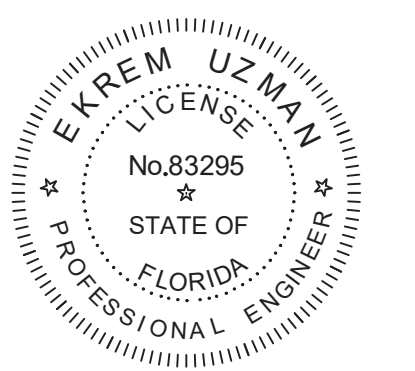
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ekrem@eu-intl.com





Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine applicability of the layout to existing or future field conditions. This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions utilizing current industry standard lamp ratings in accordance with Illuminating Engineering Society approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps and other variable field conditions.

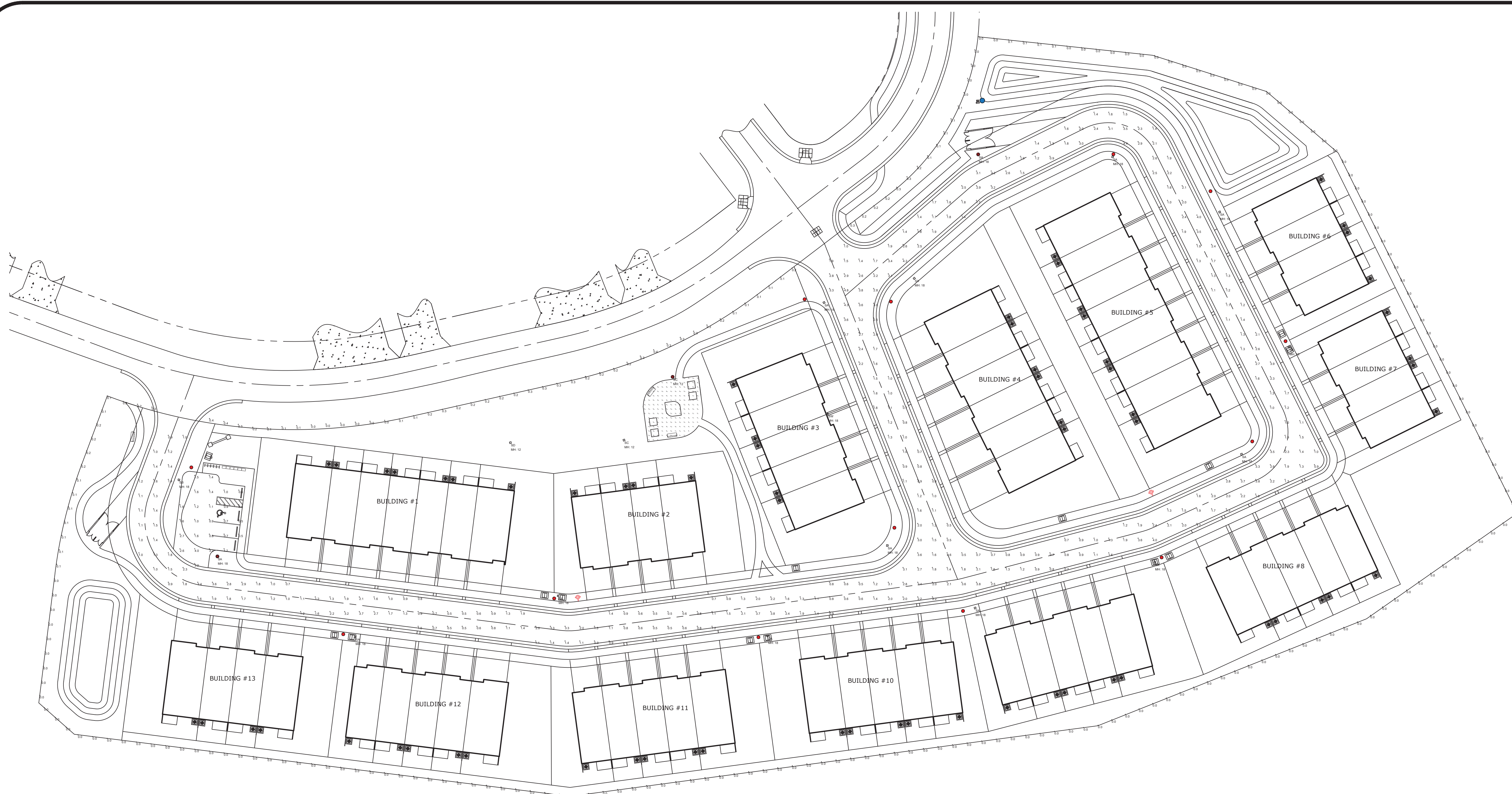
NOTES:

| | | | |
|-----|---|-------------------|----------|
| No. | 1 | PHOTOMETRIC STUDY | 11/15/22 |
| | | Revision/Issue | Date |

LIGHTING DYNAMICS, INC.
 7835 West Commercial Blvd.
 Tamarac, FL 33351
 (954) 944-0286
www.lightingdynamics.com

Project Name and Address
GATOR TRACE ON THE GREENS LIGHTING STUDY - SITE
 FORT PIERCE, FL
 FILE P:\PROJECTS\2022\OCT
 CLIENT CLIENT

Project Gator Trace on the Greens Sheet
 Date 11/15/2022 **P100**
 Scale 3/16" = 1' DRAWN BY GA



GATOR TRACE ON THE GREENS TOWNHOUSE

LIGHTING FIXTURE SCHEDULE

| TYPE | DESCRIPTION | MANUFACTURER | CATALOG NUMBER | VOLT | LAMP TYPE | DIM TYPE | WATTS | MOUNTING | NOTES |
|------|---------------|---------------|-------------------------------|------|-----------|----------|-------|----------|-----------|
| SA | LED SITE HEAD | STREETWORKS | UTLD-PA1-100-740-U-SL3-FINISH | UNV | LED | 0-10V | 96W | POLE | NOTE 1, 2 |
| SB | LED SITE HEAD | STREETWORKS | UTLD-PA1-100-740-U-SWQ-FINISH | UNV | LED | 0-10V | 96W | POLE | NOTE 1, 2 |
| SC | LED SITE HEAD | STREETWORKS | UTLD-PA1-100-740-U-T4W-FINISH | UNV | LED | 0-10V | 96W | POLE | NOTE 1, 3 |
| SD | LED SITE HEAD | STREETWORKS | UTLD-PA1-100-740-U-SL3-FINISH | UNV | LED | 0-10V | 96W | POLE | NOTE 1, 3 |
| SW | LED WALL PACK | MCGRAW-EDISON | GWC-SA2D-740-U-SL4-FINISH | UNV | LED | 0-10V | 129W | WALL | NOTE 1 |

FIXTURE SCHEDULE NOTES

NOTE 1: ADVISE FINISH

NOTE 2: FIXTURE MOUNTED ON 16' ALUMINUM VALMONT POLE # R-150840606T4-PX-COOPER-FINISH - 2' OF FIXTURE HEAD TO ACHIEVE 18' MOUNTING

NOTE 3: FIXTURE MOUNTED ON 10' ALUMINUM VALMONT POLE # R-090830504T4-PX-COOPER-FINISH - 2' OF FIXTURE HEAD TO ACHIEVE 12' MOUNTING

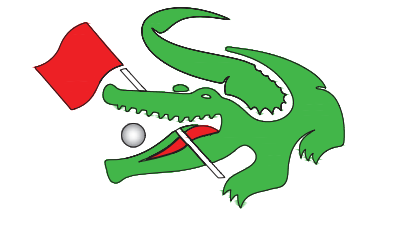
FOR QUESTIONS PERTAINING TO THIS FIXTURE SCHEDULE PLEASE CONTACT RYAN HUFF @ LIGHTING DYNAMICS-772-285-7169; RHUFF@LIGHTINGDYNAMICS.COM

Photometrics Calculation Software Generated Luminaire Schedule

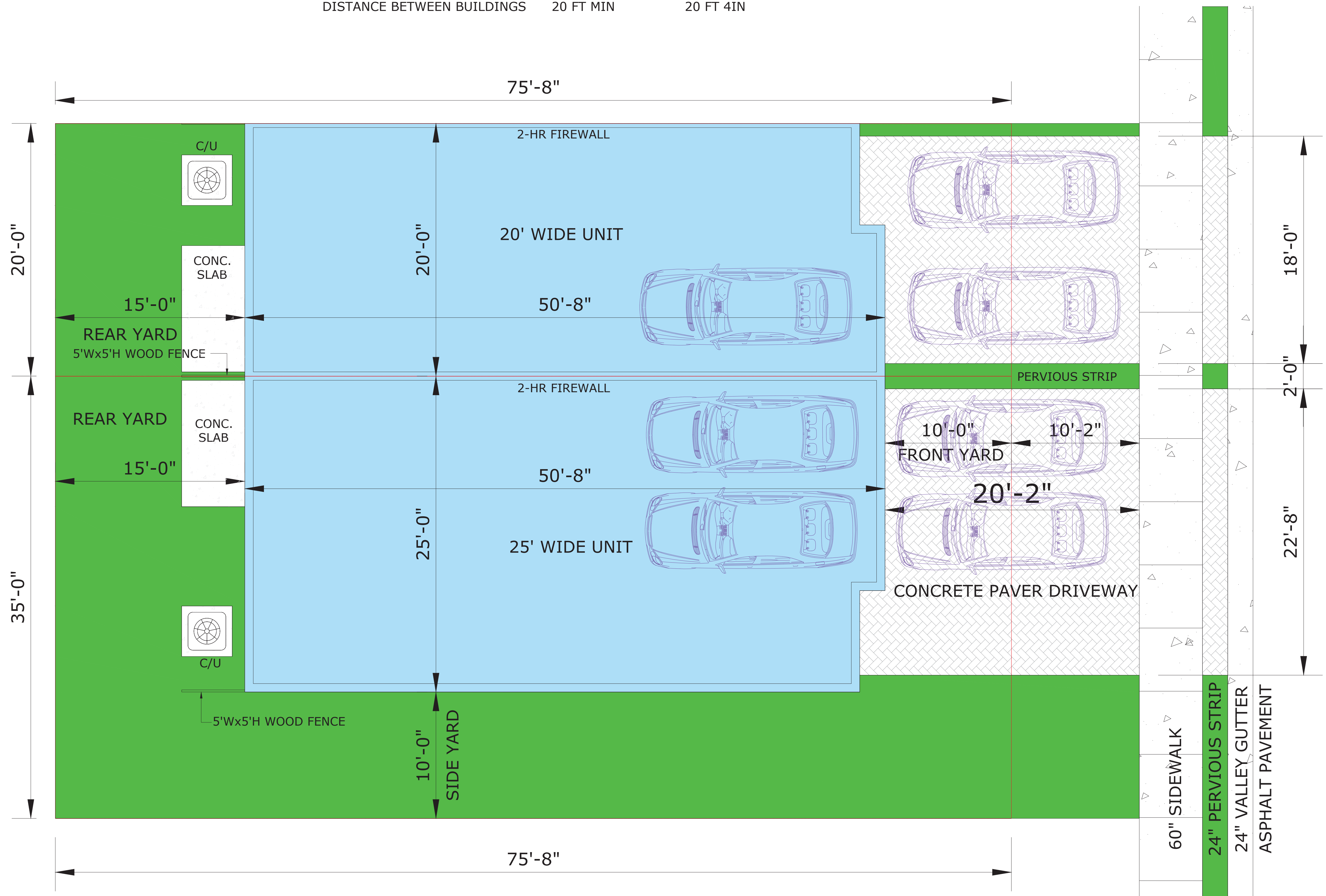
| Symbol | Qty | Label | Arrangement | Lum. Lumens | Arr. Lum. Lumens | LLF | Lum. Watts | Arr. Watts |
|--------|-----|-------|-------------|-------------|------------------|-------|------------|------------|
| SA | 14 | SA | Single | 10015 | 10015 | 0.900 | 96 | 96 |
| SB | 1 | SB | Single | 10688 | 10688 | 0.900 | 96 | 96 |
| SC | 2 | SC | Single | 10274 | 10274 | 0.900 | 96 | 96 |
| SD | 1 | SD | Single | 10015 | 10015 | 0.900 | 96 | 96 |
| SW | 1 | SW | Single | 15387 | 15387 | 0.900 | 129 | 129 |

Calculation Summary

| Label | CalcType | Units | Avg | Max | Min | Avg/Min | Max/Min |
|---------------|-------------|-------|------|------|-----|---------|---------|
| DOG PARK | Illuminance | Fc | 4.26 | 10.2 | 1.2 | 3.55 | 8.50 |
| FITNESS PAD | Illuminance | Fc | 3.80 | 8.2 | 1.0 | 3.80 | 8.20 |
| PARKING | Illuminance | Fc | 1.47 | 4.0 | 0.5 | 2.94 | 8.00 |
| PLAYGROUND | Illuminance | Fc | 2.31 | 6.3 | 0.7 | 3.30 | 9.00 |
| PROPERTY LINE | Illuminance | Fc | 0.05 | 0.4 | 0.0 | N.A. | N.A. |
| SITE | Illuminance | Fc | 1.74 | 4.8 | 0.5 | 3.48 | 9.60 |



| PLAT DATA | | |
|----------------------------|-----------------------|--------------|
| | REQUIRED | MIN PROVIDED |
| MINIMUM LOT AREA | 1,500 SF | 1,513 SF |
| INDIVIDUAL LOT WIDTH | 16 FT MIN - 24 FT MAX | 20 FT |
| FRONT YARD | 10 FT MIN | 10 FT |
| REAR YARD | 15 FT MIN | 15 FT |
| PERIPHERY SIDE YARD | 10 FT MIN | 10 FT |
| DISTANCE BETWEEN BUILDINGS | 20 FT MIN | 20 FT 4IN |



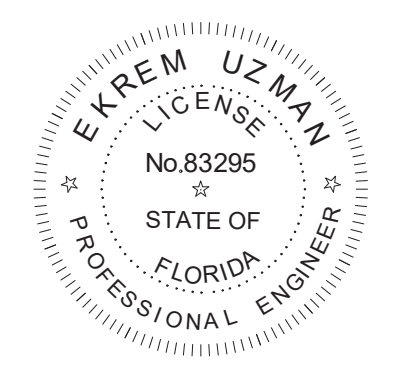
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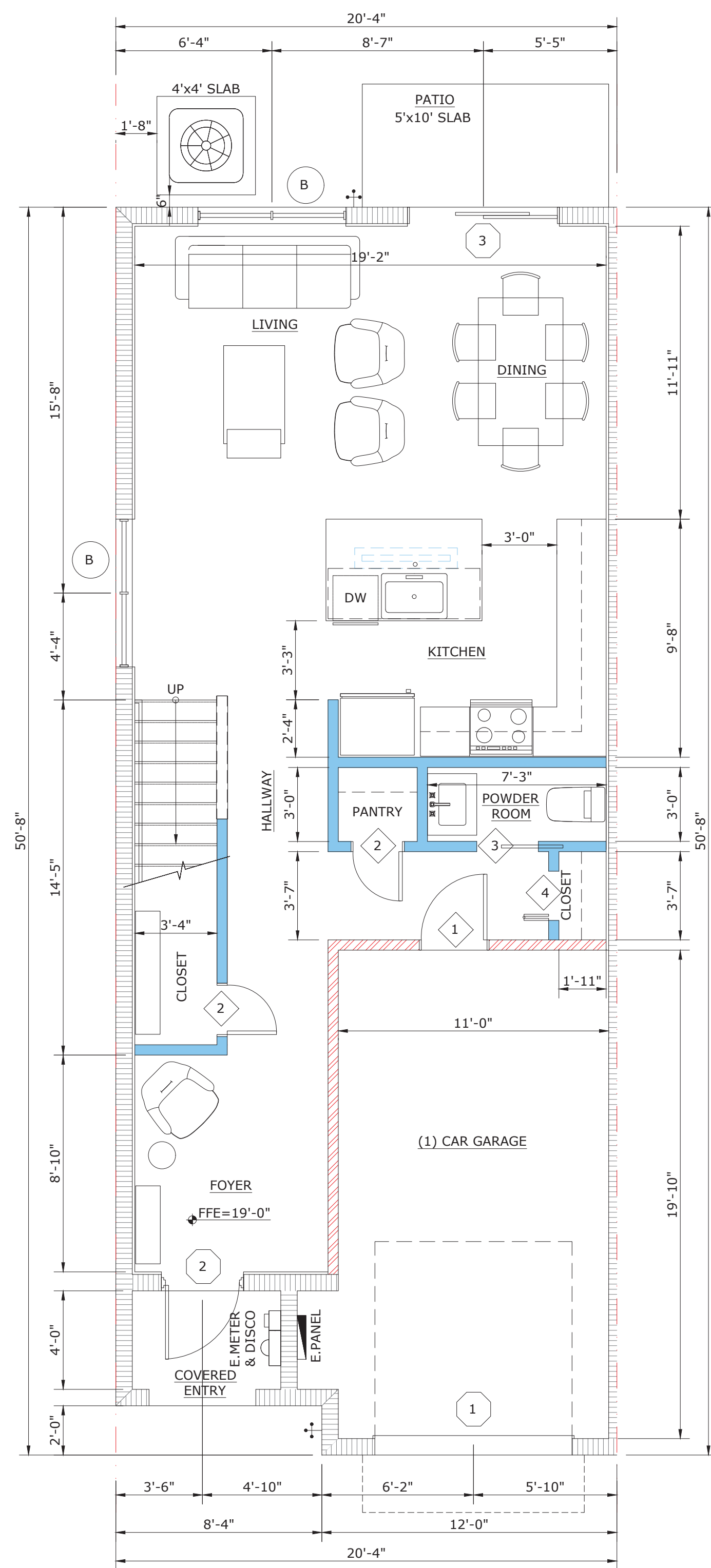
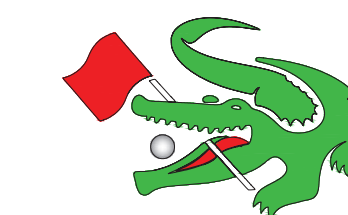
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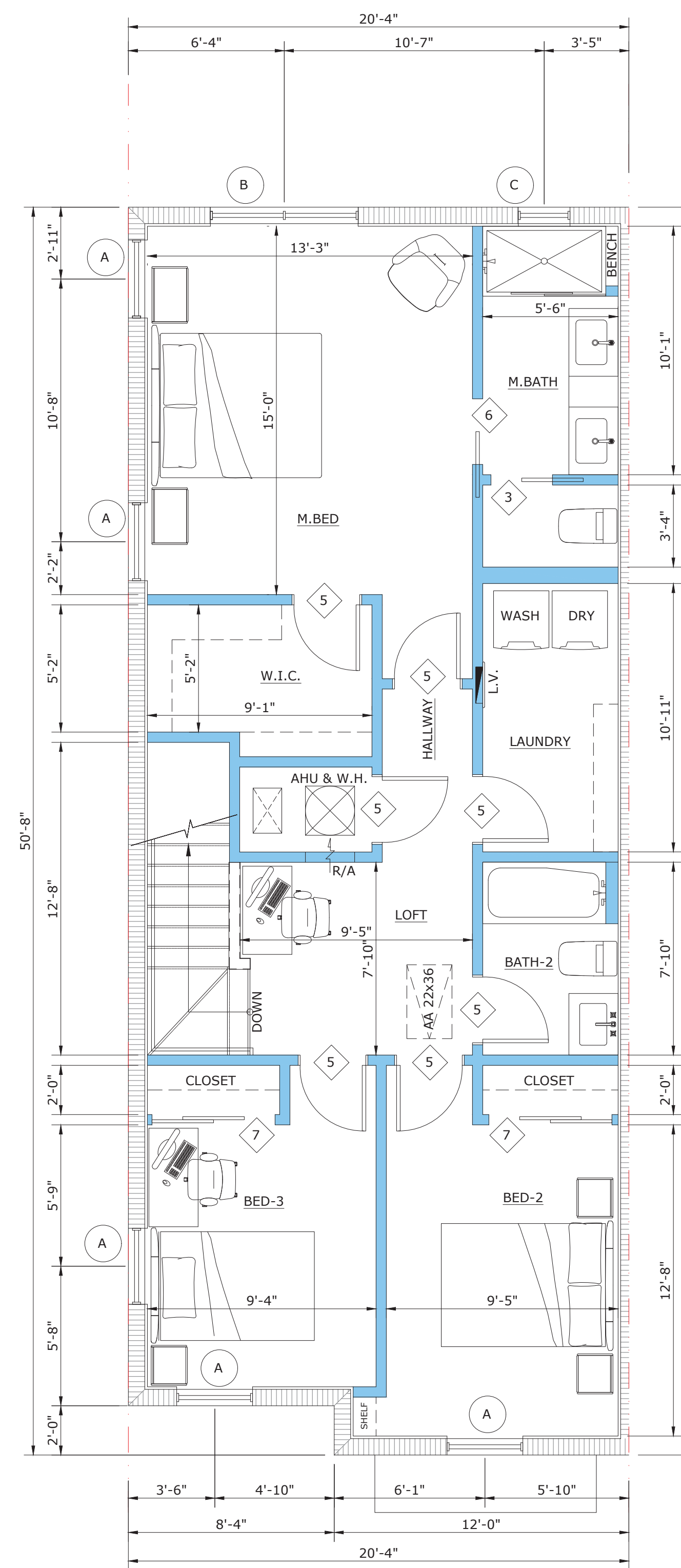
EU INTERNATIONAL, LLC
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 GENERAL CONTRACTOR - CGC1528228
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 ekrem@eu-intl.com





**20' WIDE UNIT FIRST FLOOR PLAN
UNIT-A | GARAGE RIGHT**

1/4"=1'-0"



**20' WIDE UNIT SECOND FLOOR PLAN
UNIT-A | GARAGE RIGHT**

1/4"=1'-0"

| AREA CALCULATION
UNIT-A (GARAGE LEFT AND GARAGE RIGHT) | |
|---|------------------|
| SPACE | AREA |
| FIRST FLOOR UNDER A/C | 723 SQF |
| SECOND FLOOR UNDER A/C | 952 SQF |
| TOTAL UNDER A/C | 1,675 SQF |
| GARAGE (NO A/C) | 242 SQF |
| COVERED ENTRY (NO A/C) | 31 SQF |
| UNIT TOTAL | 1,948 SQF |

| WALL LEGEND | |
|-------------|---|
| | 2-HR RATED CMU UNIT SEPARATION (U-905) |
| | EXTERIOR CMU BEARING WALL |
| | 1-HR FIRE RATED INTERIOR PARTITION WALL |
| | NON RATED INTERIOR PARTITION WALL |

| INTERIOR DOOR SCHEDULE | | | | |
|------------------------|-------|--------|----------|--------------|
| MARK | WIDTH | HEIGHT | MATERIAL | TYPE |
| 1 | 2'-8" | 6'-8" | WOOD | 20-MIN SWING |
| 2 | 2'-0" | 6'-8" | WOOD | SWING |
| 3 | 2'-6" | 6'-8" | WOOD | POCKET |
| 4 | 2'-0" | 6'-8" | WOOD | BI-FOLD |
| 5 | 2'-8" | 6'-8" | WOOD | SWING |
| 6 | 2'-8" | 6'-8" | WOOD | POCKET |
| 7 | 5'-0" | 6'-8" | WOOD | SLIDING |

| WINDOW SCHEDULE | | | | | | | |
|-----------------|-------|--------|----------|------------------|----------------------------|-----------------|----------|
| MARK | WIDTH | HEIGHT | MATERIAL | TYPE | IMPACT RATED MATERIAL ONLY | | |
| | | | | | ROUGH OPENING | DESIGN WIND PR. | APPROVAL |
| A | 3'-1" | 5'-3" | ALUM. | SING.HUNG EGRESS | 38"x65" | | |
| B | 6'-0" | 5'-0" | ALUM. | HORIZ.SL. EGRESS | 74"x62" | | |
| C | 2'-1" | 1'-4" | ALUM. | FIXED | 26"x18" | | |

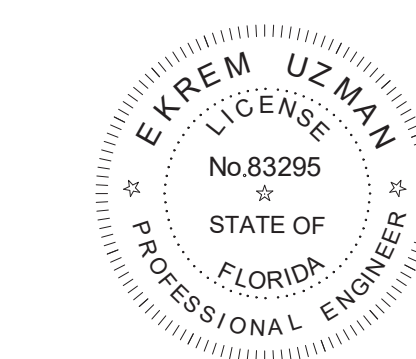
| EXTERIOR DOOR SCHEDULE | | | | | | | |
|------------------------|-------|--------|----------|---------|----------------------------|-----------------|----------|
| MARK | WIDTH | HEIGHT | MATERIAL | TYPE | IMPACT RATED MATERIAL ONLY | | |
| | | | | | ROUGH OPENING | DESIGN WIND PR. | APPROVAL |
| 1 | 8'-0" | 7'-0" | STEEL | GARAGE | 96"x84" | | |
| 2 | 3'-0" | 6'-8" | WOOD | SWING | 38"x81" | | |
| 3 | 6'-0" | 6'-8" | ALUM. | SLIDING | 74"x81" | | |

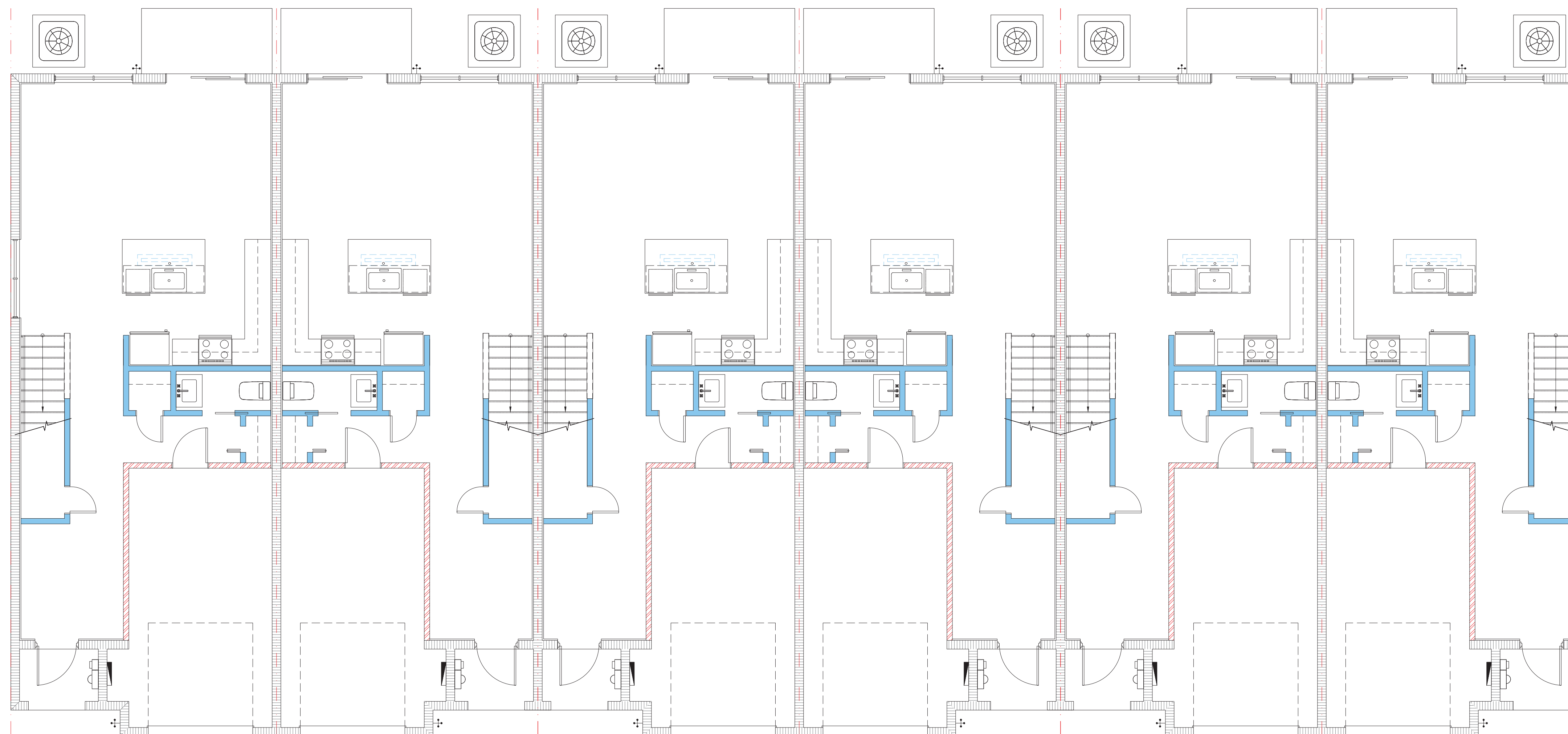
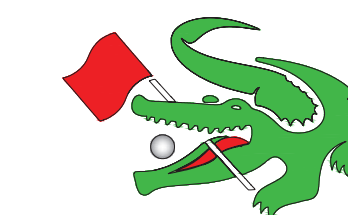
WINDOW AND DOOR NOTE:
IT IS THE RESPONSIBILITY OF THE WINDOW AND DOOR SUPPLIER TO COORDINATE ALL REQUIRED OPENINGS WITH THE G.C. PRIOR TO ANY WORK. THE WINDOW SUPPLIER IS RESPONSIBLE FOR CODE COMPLIANCE OF HIS /HER PRODUCTS. ALL PRODUCTS SHALL HAVE WHITE COLOR FINISH.

| REV. | BY | DATE |
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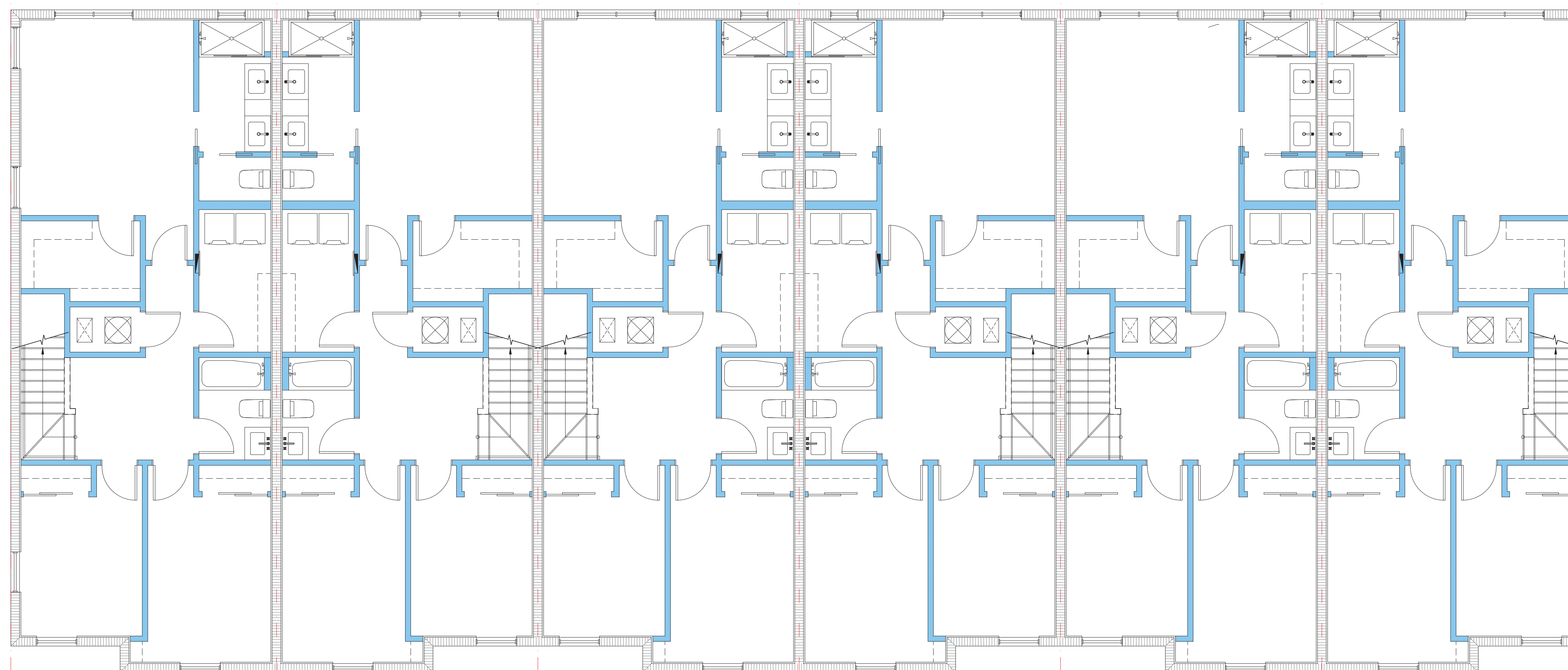
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ekrem@eu-intl.com





FIRST FL PLAN

3/16"=1'-0"



SECOND FL PLAN

3/16"=1'-0"

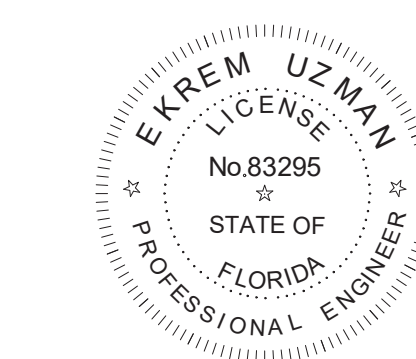
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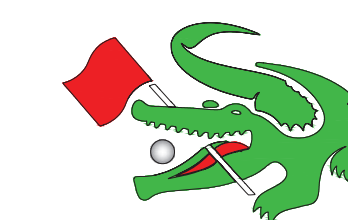
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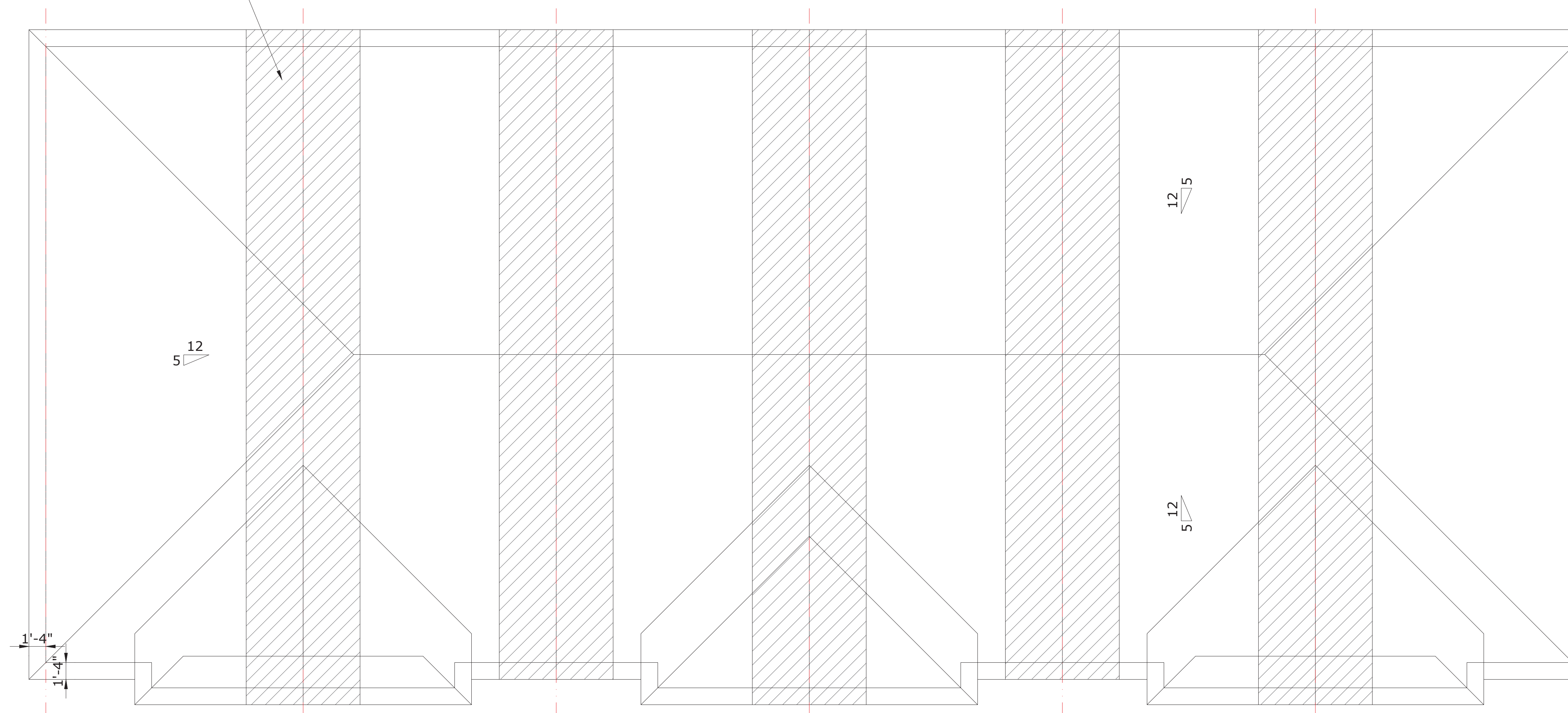
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5/8" FIRE RETARDANT ROOF SHEATHING, 4'-6" EXTENDED TO EACH SIDE FROM CENTERLINE OF 2-HR UNIT SEPARATION WALL



6 UNIT BUILDING

| REV. | BY | DATE |
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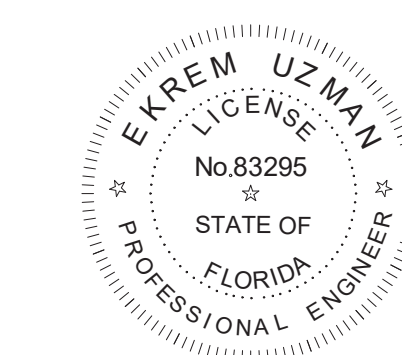
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ROOF PLAN

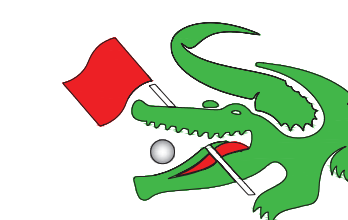
3/16"=1'-0"

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SHEET

A400



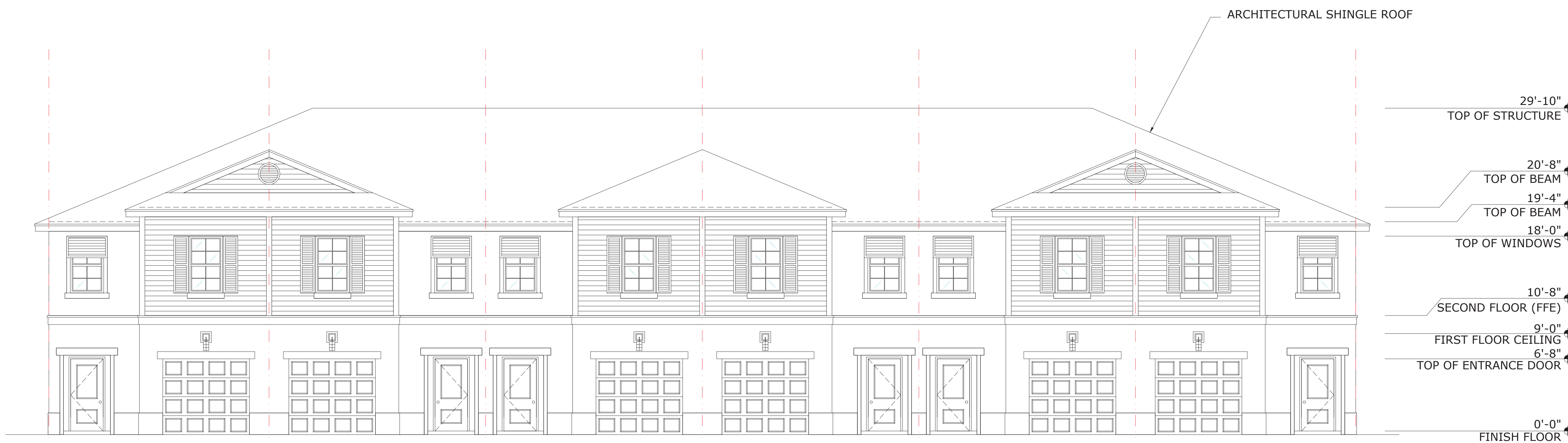
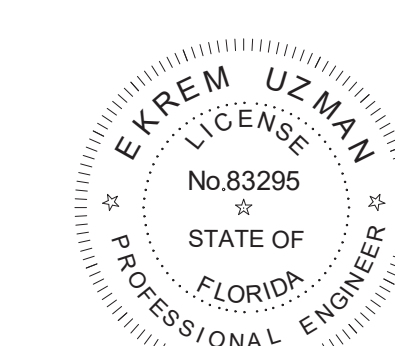
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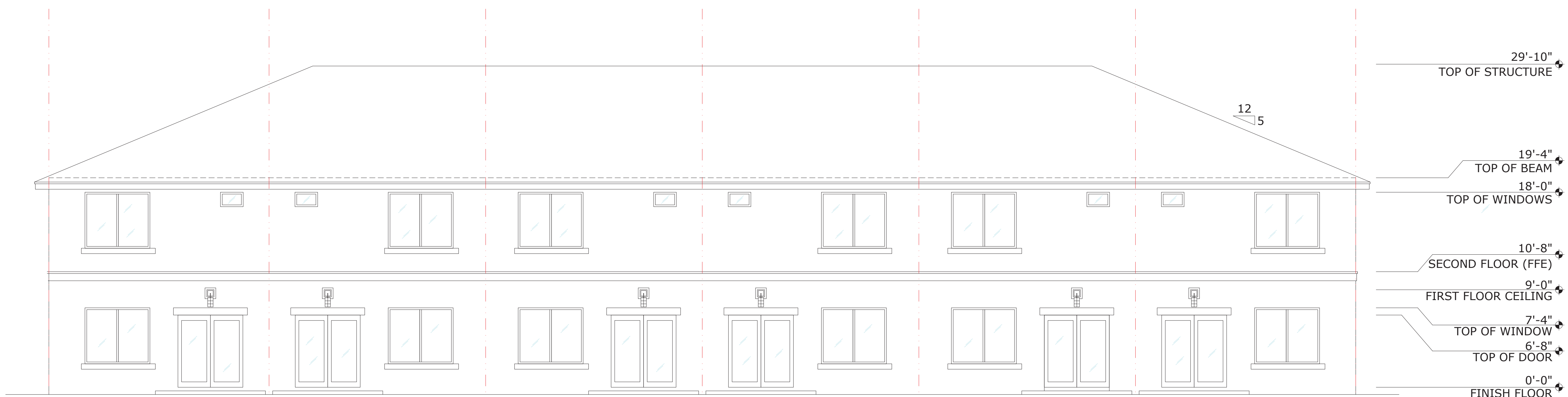
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FRONT ELEVATION

3/16"=1'-0"

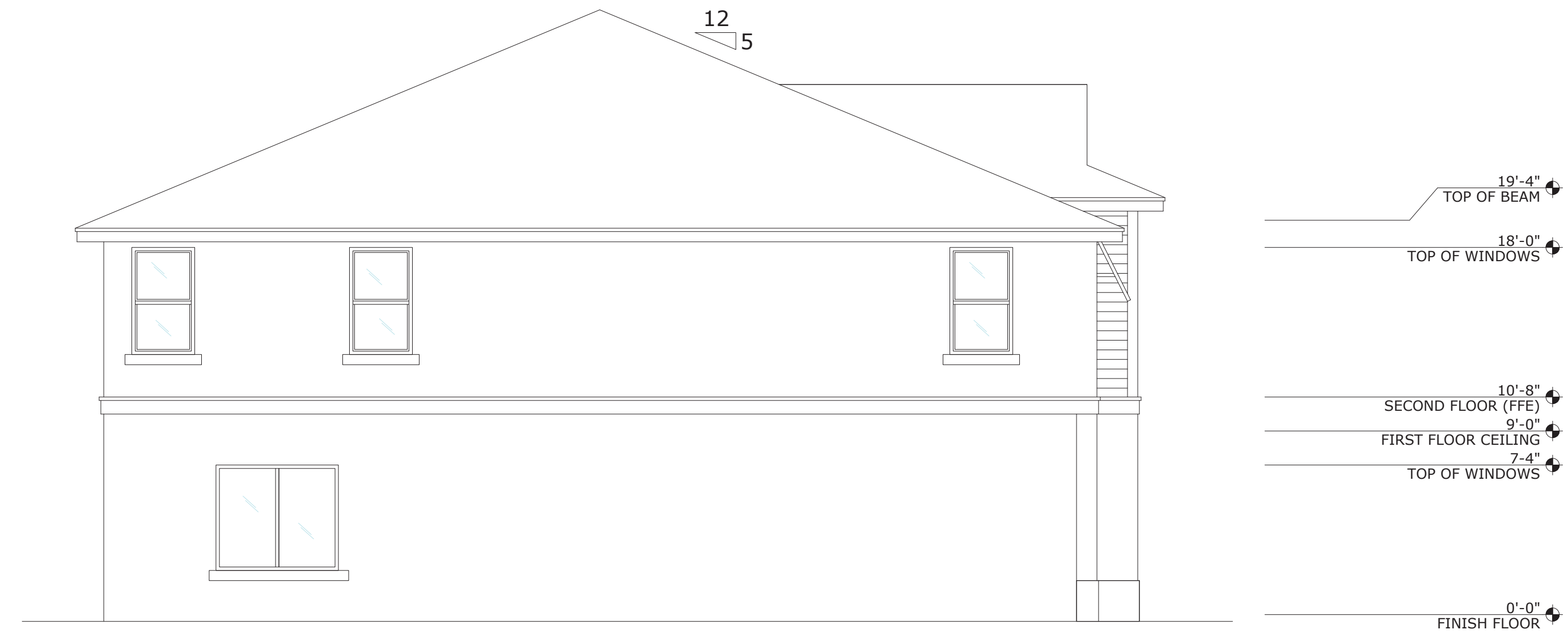
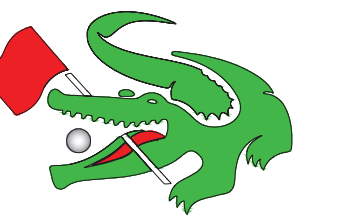
- 29'-10" TOP OF STRUCTURE
- 20'-8" TOP OF BEAM
- 19'-4" TOP OF BEAM
- 18'-0" TOP OF WINDOWS
- 10'-8" SECOND FLOOR (FFE)
- 9'-0" FIRST FLOOR CEILING
- 6'-8" TOP OF ENTRANCE DOOR
- 0'-0" FINISH FLOOR



REAR ELEVATION

3/16"=1'-0"

- 29'-10" TOP OF STRUCTURE
- 19'-4" TOP OF BEAM
- 18'-0" TOP OF WINDOWS
- 10'-8" SECOND FLOOR (FFE)
- 9'-0" FIRST FLOOR CEILING
- 7'-4" TOP OF WINDOW
- 6'-8" TOP OF DOOR
- 0'-0" FINISH FLOOR



LEFT ELEVATION
3/16"=1'-0"



RIGHT ELEVATION
3/16"=1'-0"

6 UNIT BUILDING

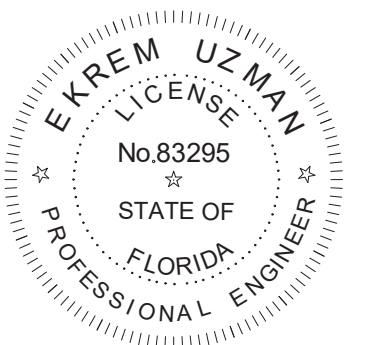
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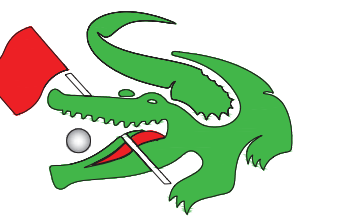
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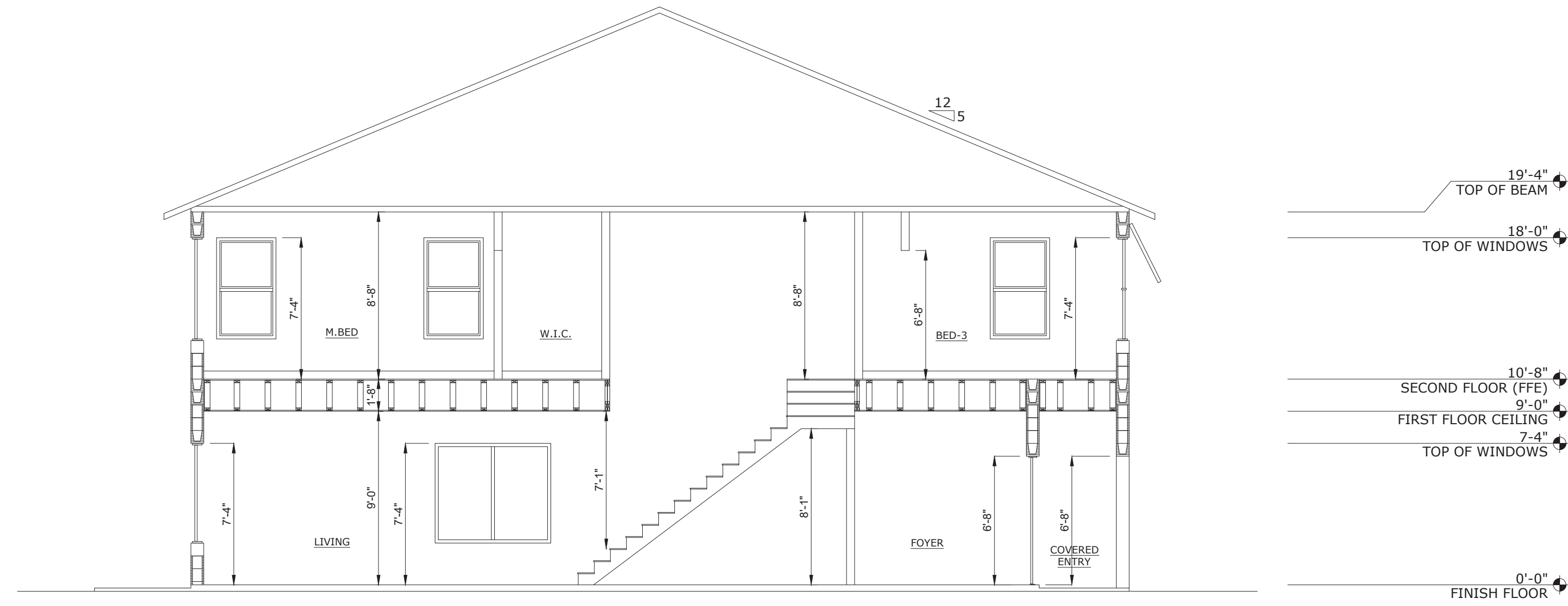
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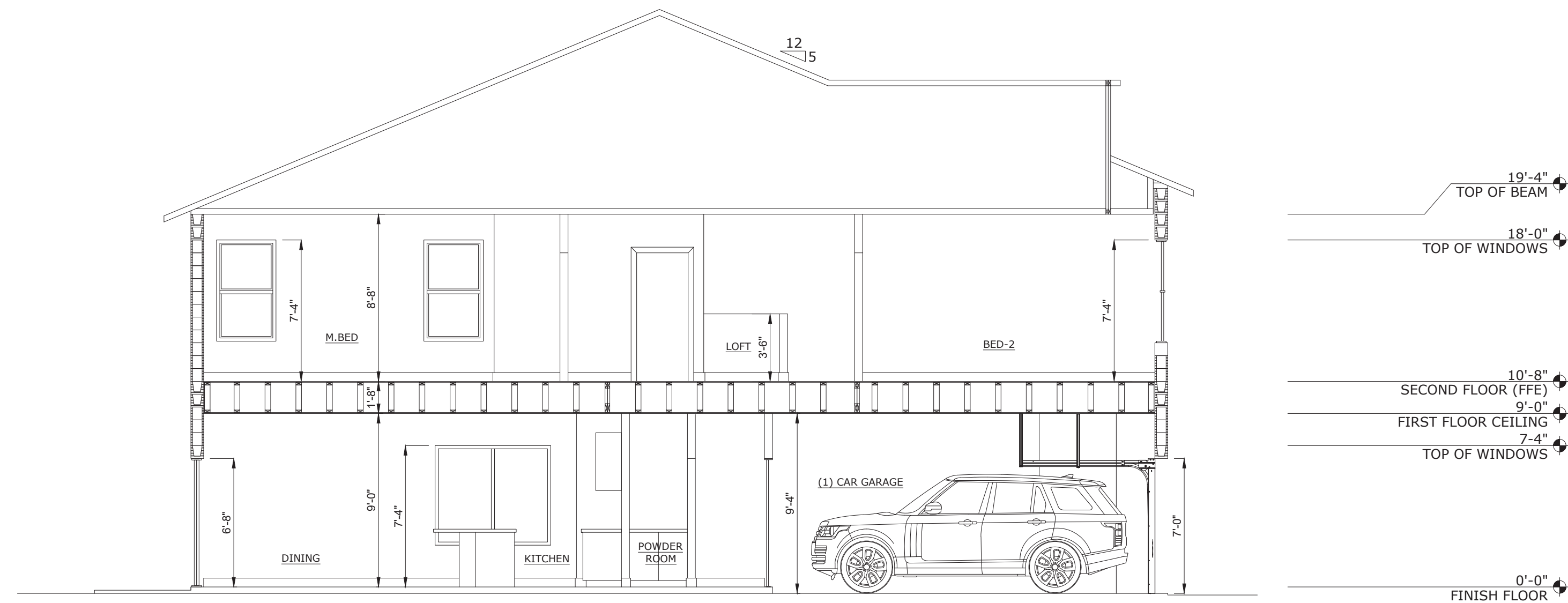




6 UNIT BUILDING



BUILDING SECTION A-A
3/16"=1'-0"



BUILDING SECTION B-B
3/16"=1'-0"

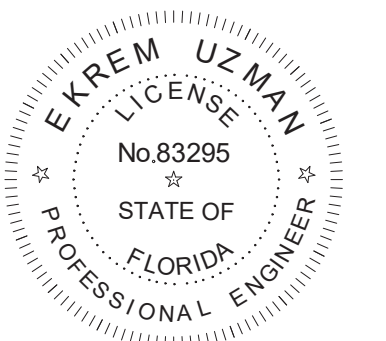
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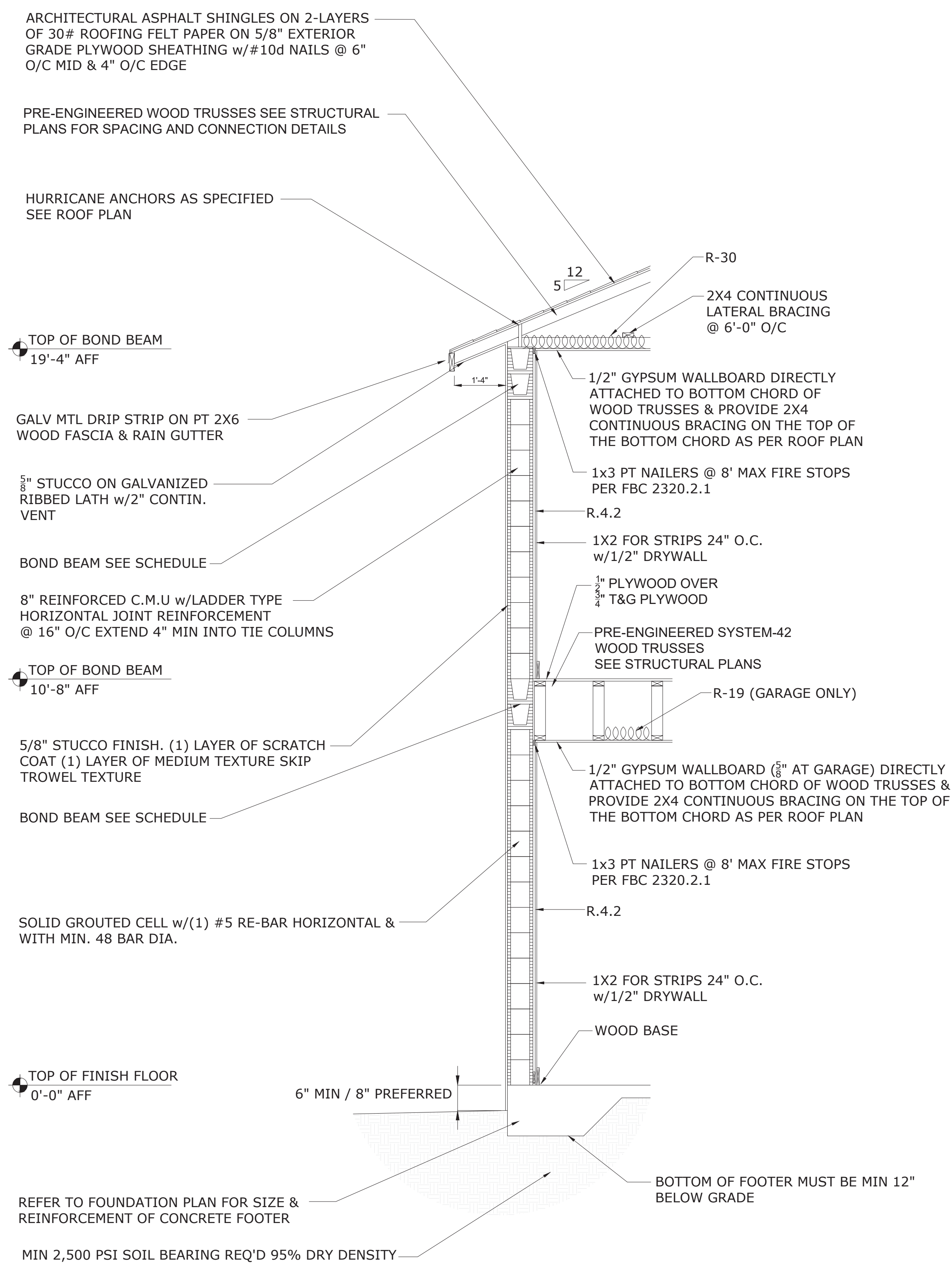
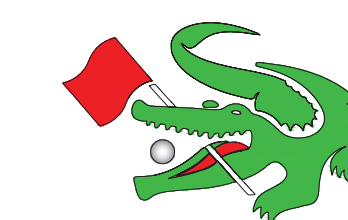
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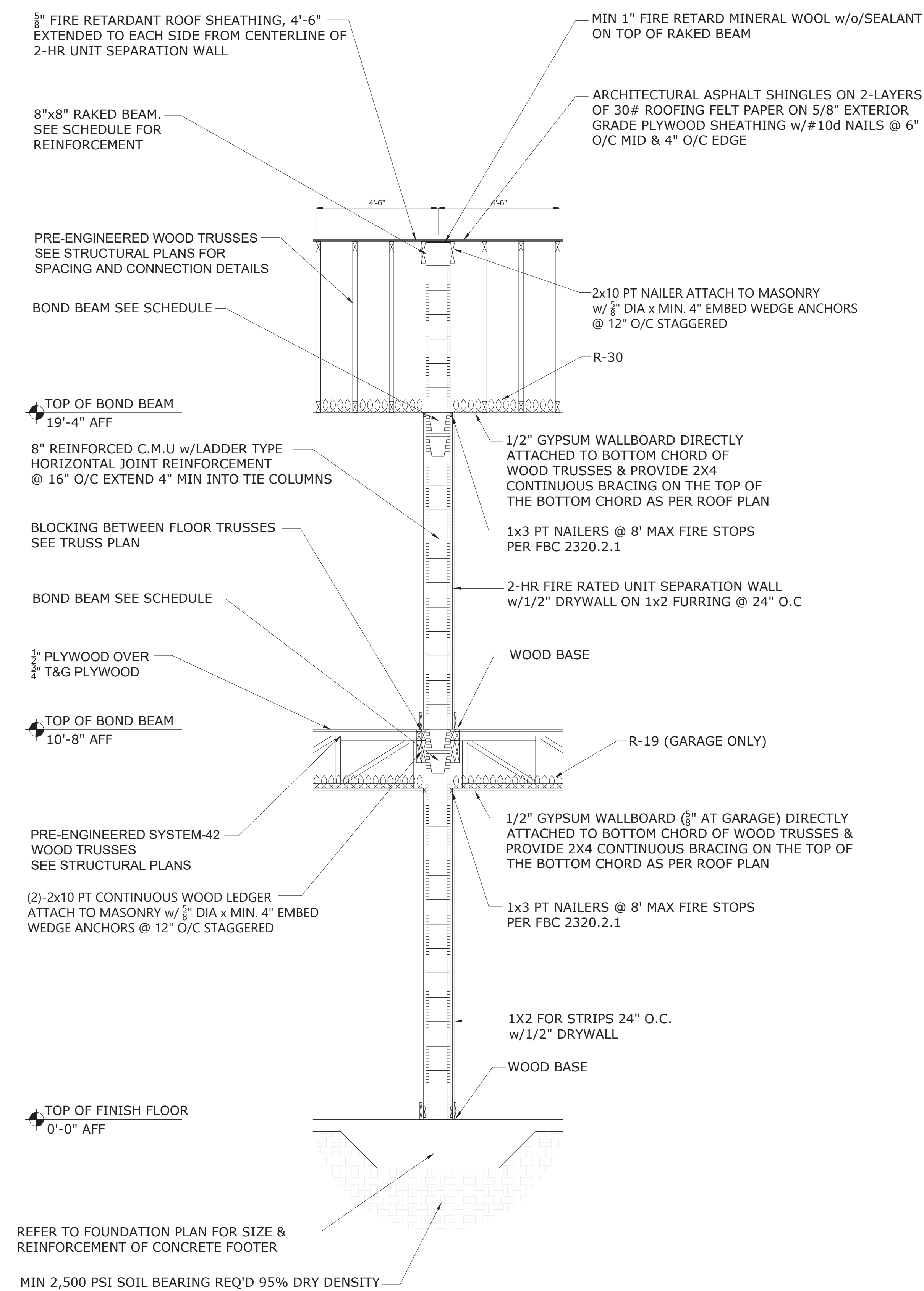
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**TYPICAL SECTION
AT EXTERIOR BEARING WALL**

3/8"=1'-0"



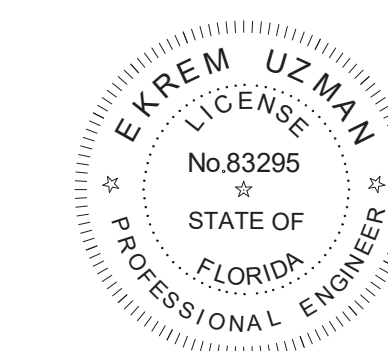
**TYPICAL SECTION
AT UNIT SEPARATION WALL**

3/8"=1'-0"

| REV. | BY | DATE |
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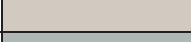








GATOR TRACE ON THE GREENS TOWNHOMES, FT PIERCE, FL







COLOR GUIDE







| COLOR COMBO-1 | | | |
|----------------------|--------|-------------------------|---|
| BUILDING # | 1,6,7 | | |
| ROOF | GAF | GRAY TONE ARCH. SHINGLE |  |
| W/D, AWNING, SHUTTER | | WHITE |  |
| MAIN BODY | SW6238 | DIVINE WHITE |  |
| SIDING STUCCO | SW6208 | DISTANCE |  |
| TRIMS | SW7005 | PURE WHITE |  |
| DRIVEWAY | STABIL | GRAND BAHAMA PAVERS |  |

| COLOR COMBO-4 | | | |
|----------------------|--------|-------------------------|---|
| BUILDING # | 4 | | |
| ROOF | GAF | GRAY TONE ARCH. SHINGLE |  |
| W/D, AWNING, SHUTTER | | WHITE |  |
| MAIN BODY | SW0055 | LIGHT FRENCH GRAY |  |
| SIDING STUCCO | SW6247 | KRYPTON |  |
| TRIMS | SW7005 | PURE WHITE |  |
| DRIVEWAY | STABIL | GRAND BAHAMA PAVERS |  |

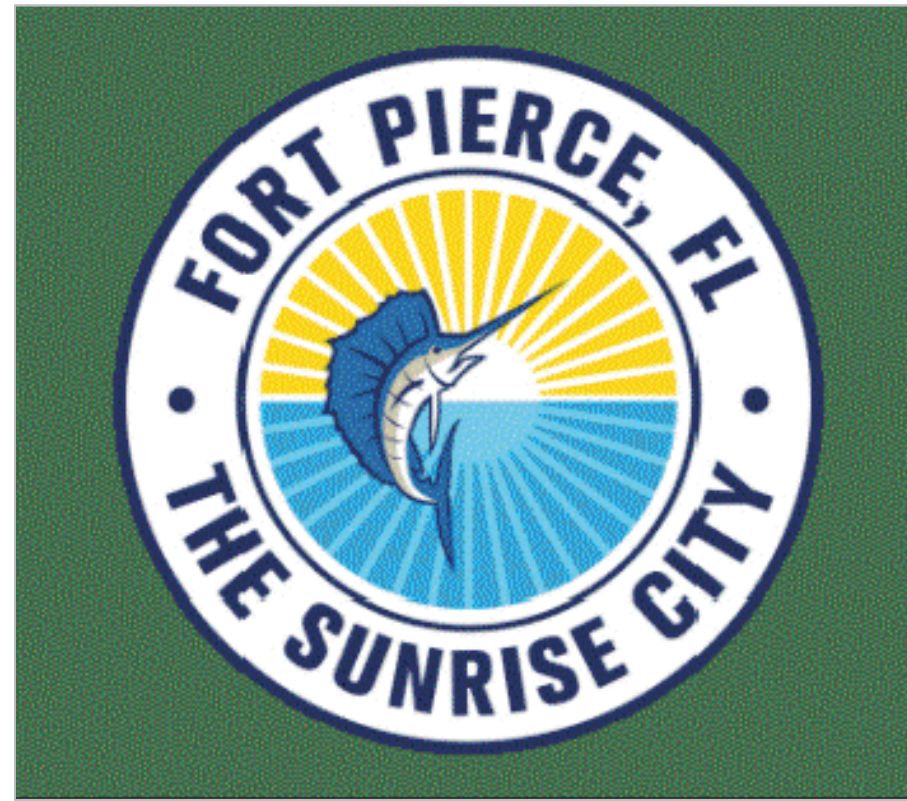
| COLOR COMBO-2 | | | |
|----------------------|--------|-------------------------|--|
| BUILDING # | 2 | | |
| ROOF | GAF | GRAY TONE ARCH. SHINGLE |  |
| W/D, AWNING, SHUTTER | | WHITE |  |
| MAIN BODY | SW7029 | AGREEABLE GRAY |  |
| SIDING STUCCO | SW7621 | SILVERMIST |  |
| TRIMS | SW7005 | PURE WHITE |  |
| DRIVEWAY | STABIL | GRAND BAHAMA PAVERS |  |

| COLOR COMBO-5 | | | |
|----------------------|---------|-------------------------|--|
| BUILDING # | 5,10,11 | | |
| ROOF | GAF | GRAY TONE ARCH. SHINGLE |  |
| W/D, AWNING, SHUTTER | | WHITE |  |
| MAIN BODY | SW7036 | ACEESIBE BEIGE |  |
| SIDING STUCCO | SW9055 | BILLOWY BREEZE |  |
| TRIMS | SW7005 | PURE WHITE |  |
| DRIVEWAY | STABIL | GRAND BAHAMA PAVERS |  |

| COLOR COMBO-3 | | | |
|----------------------|---------|-------------------------|---|
| BUILDING # | 3,12,13 | | |
| ROOF | GAF | GRAY TONE ARCH. SHINGLE |  |
| W/D, AWNING, SHUTTER | | WHITE |  |
| MAIN BODY | SW7016 | MINDFUL GRAY |  |
| SIDING STUCCO | SW6204 | SEASALT |  |
| TRIMS | SW7005 | PURE WHITE |  |
| DRIVEWAY | STABIL | GRAND BAHAMA PAVERS |  |

| COLOR COMBO-6 | | | |
|----------------------|--------|-------------------------|---|
| BUILDING # | 8,9 | | |
| ROOF | GAF | GRAY TONE ARCH. SHINGLE |  |
| W/D, AWNING, SHUTTER | | WHITE |  |
| MAIN BODY | SW7015 | RESPONSE GRAY |  |
| SIDING STUCCO | SW9130 | EVERGREEN FOG |  |
| TRIMS | SW7005 | PURE WHITE |  |
| DRIVEWAY | STABIL | GRAND BAHAMA PAVERS |  |

*As closely as possible approximate actual paint colors
Paint Manufacturer: Sherwin-Williams*



GATOR TRACE ON THE GREENS TOWNHOMES

GATOR TRACE ON THE GREENS, LLC

SDP - SITE DEVELOPMENT PLAN

GATOR TRACE FORT PIERCE, FL 34982

SECTION 35, TOWNSHIP 35 SOUTH, RANGE 40 EAST, OF ST. LUCIE COUNTY, FLORIDA



ATLANTIC
ENGINEERING
SERVICES,
INC.

IMTIAZ AHMED, PE
PE#46102
2826 WATERS EDGE CIRCLE
GREENACRES, FLORIDA 33413
PHONE - (561) 358-4140
FAX - (561) 966-9242
CERTIFICATE OF
AUTHORIZATION NO.: 9390

CLIENT:
GATOR TRACE ON
THE GREENS, LLC
17305 S DIXIE HWY.
PALMETTO BAY, FL 33157

GATOR TRACE
ON THE GREENS
TOWNHOMES
GATOR TRACE
FORT PIERCE
FL 34982



VICINITY MAP
NTS

LEGAL DESCRIPTION

(PARCEL 3-A(5))
A PARCEL OF LAND LYING IN SECTION 35, TOWNSHIP 35 SOUTH, RANGE 40 EAST, OF ST. LUCIE COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE SOUTHWEST CORNER OF SECTION 35, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA; THENCE RUN NORTH 00°22'08" EAST ALONG THE WEST LINE OF SAID SECTION 35 AND THE WEST LINE OF GATOR TRACE BOULEVARD, A 100.00 FOOT WIDE RIGHT-OF-WAY, A DISTANCE OF 2668.95 FEET TO A CONCRETE MONUMENT AT THE WEST ONE QUARTER OF SAID SECTION 35; THENCE NORTH 00°28'00" EAST ALONG THE WEST LINE OF SECTION 35, A DISTANCE OF 55.75 FEET TO A POINT, SAID POINT LYING 2614.63 FEET SOUTH OF THE NORTHWEST CORNER OF SECTION 35, AS MEASURED ALONG THE WEST RIGHT-OF-WAY LINE OF SECTION 35 (SAID NORTHWEST CORNER OF SECTION 35 BEING A CONCRETE MONUMENT); THENCE RUN SOUTH 89°32'00" EAST, A DISTANCE OF 700.82 FEET; THENCE NORTH 42°22'55" EAST, A DISTANCE OF 105.02 FEET; THENCE SOUTH 55°57'42" EAST, A DISTANCE OF 72.12 FEET; THENCE SOUTH 69°25'57" EAST, A DISTANCE OF 251.46 FEET; THENCE SOUTH 66°30'15" EAST, A DISTANCE OF 53.96 FEET; THENCE NORTH 80°30'44" EAST, A DISTANCE OF 142.70 FEET; THENCE NORTH 74°20'45" EAST, A DISTANCE OF 139.43 FEET; THENCE NORTH 82°54'19" EAST, A DISTANCE OF 228.55 FEET TO A POINT ON THE SOUTH LINE OF A PLAT ENTITLED GARDEN VILLAS OF GATOR TRACE UNIT I, AS RECORDED IN PLAT BOOK 27, PAGE 20 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, SAID POINT BEING A NON-RADIAL INTERSECTION WITH A CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 155.00 FEET AND A CENTRAL ANGLE OF 46°42'43", A RADIAL TO SAID POINT BEARS SOUTH 83°55'21" EAST; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 126.37 FEET, TO A POINT OF TANGENCY; THENCE SOUTH 52°47'22" WEST, DISTANCE OF 35.94 AND THE POINT OF BEGINNING.
FROM THE POINT OF BEGINNING: THENCE RUN SOUTH 37°12'38" EAST, A DISTANCE OF 78.22 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 170.00 FEET AND A CENTRAL ANGLE OF 18°53'07"; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 56.03 FEET TO A POINT OF TANGENCY; THENCE SOUTH 18°19'31" EAST, A DISTANCE OF 125.87 FEET; THENCE SOUTH 71°40'29" WEST, A DISTANCE OF 16.90 FEET; THENCE SOUTH 07°32'48" EAST, A DISTANCE OF 112.74 FEET; THENCE SOUTH 82°27'08" WEST, A DISTANCE OF 303.52 FEET; THENCE NORTH 82°47'15" WEST, A DISTANCE OF 340.09 FEET; THENCE NORTH 48°26'19" WEST, A DISTANCE OF 32.23 FEET; THENCE NORTH 07°13'00" EAST, A DISTANCE OF 89.06 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTHEAST, HAVING A RADIUS OF 330.00 FEET AND A CENTRAL ANGLE OF 13°20'50"; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 76.87 FEET TO A POINT OF TANGENCY; THENCE NORTH 20°33'50" EAST, A DISTANCE OF 49.32 FEET; THENCE SOUTH 69°26'11" EAST, A DISTANCE OF 0.58 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTH HAVING A RADIUS OF 360.00 FEET AND A CENTRAL ANGLE OF 33°08'13"; THENCE EASTERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 208.21 FEET TO A POINT OF TANGENCY; THENCE NORTH 77°25'36" EAST, A DISTANCE OF 113.50 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 330.00 FEET AND A CENTRAL ANGLE OF 24°38'14"; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 141.90 FEET TO A POINT OF TANGENCY; THENCE NORTH 52°47'22" EAST, A DISTANCE OF 75.31 FEET, RETURNING TO THE POINT OF BEGINNING.

TOGETHER WITH THE FOLLOWING DESCRIBED PARCEL:

(PARCEL 3-A(6))
A PARCEL OF LAND LYING IN SECTION 35, TOWNSHIP 35 SOUTH, RANGE 40 EAST, OF ST. LUCIE COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF SECTION 35, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA; THENCE RUN NORTH 00°22'08" EAST ALONG THE WEST LINE OF SAID SECTION 35 AND THE WEST LINE OF GATOR TRACE BOULEVARD, A 100.00 FOOT WIDE RIGHT-OF-WAY, A DISTANCE OF 2668.95 FEET TO A CONCRETE MONUMENT AT THE WEST ONE QUARTER OF SAID SECTION 35; THENCE NORTH 00°28'00" EAST ALONG THE WEST LINE OF SECTION 35, A DISTANCE OF 55.75 FEET TO A POINT, SAID POINT LYING 2614.63 FEET SOUTH OF THE NORTHWEST CORNER OF SECTION 35, AS MEASURED ALONG THE WEST LINE OF SECTION 35 (SAID NORTHWEST CORNER OF SECTION 35 BEING A CONCRETE MONUMENT); THENCE RUN SOUTH 89°32'00" EAST, A DISTANCE OF 700.82 FEET; THENCE NORTH 42°22'55" EAST, A DISTANCE OF 105.02 FEET; THENCE SOUTH 55°57'42" EAST, A DISTANCE OF 72.12 FEET; THENCE SOUTH 69°25'57" EAST, A DISTANCE OF 251.46 FEET; THENCE SOUTH 66°30'15" EAST, A DISTANCE OF 53.96 FEET; THENCE NORTH 80°30'44" EAST, A DISTANCE OF 142.70 FEET; THENCE NORTH 74°20'45" EAST, A DISTANCE OF 139.43 FEET; THENCE NORTH 82°54'19" EAST, A DISTANCE OF 228.55 FEET TO A POINT ON THE SOUTH LINE OF A PLAT ENTITLED GARDEN VILLAS OF GATOR TRACE UNIT I, AS RECORDED IN PLAT BOOK 27, PAGE 20 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, SAID POINT BEING A NON-RADIAL INTERSECTION WITH A CURVE AND THE POINT OF BEGINNING.

FROM THE POINT OF BEGINNING; THENCE RUN SOUTH 83°51'49" EAST, A DISTANCE OF 119.48 FEET; THENCE SOUTH 72°16'51" EAST, A DISTANCE OF 81.32 FEET; THENCE SOUTH 49°18'00" EAST, A DISTANCE OF 64.44 FEET; THENCE SOUTH 26°19'10" EAST, A DISTANCE OF 273.83 FEET; THENCE SOUTH 55°03'54" WEST, A DISTANCE OF 125.19 FEET; THENCE SOUTH 68°21'36" WEST, A DISTANCE OF 196.78 FEET; THENCE SOUTH 82°27'08" WEST, A DISTANCE OF 58.88 FEET; THENCE NORTH 07°32'48" WEST, A DISTANCE OF 112.74 FEET; THENCE NORTH 71°40'29" EAST, A DISTANCE OF 16.90 FEET; THENCE NORTH 18°19'31" WEST, A DISTANCE OF 125.87 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 170.00 FEET AND A CENTRAL ANGLE OF 18°53'07"; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 56.03 FEET TO A POINT OF TANGENCY; THENCE NORTH 37°12'38" WEST, A DISTANCE OF 78.22 FEET; THENCE NORTH 52°47'22" EAST, A DISTANCE OF 35.94 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTHWEST AND HAVING A RADIUS OF 155.00 FEET AND A CENTRAL ANGLE OF 46°42'43"; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 126.37 FEET, RETURNING TO THE POINT OF BEGINNING.



LOCATION MAP

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- C-1 COVER
- C-2 SITE PLAN
- C-3 AERIAL VIEW
- C-4 PAVING, GRADING & DRAINAGE PLAN
- C-5 WATER & SEWER PLAN
- C-5A SEWER PROFILE
- C-6 GENERAL UTILITIES NOTES & DETAILS
- C-7 WATER DETAILS
- C-8 SEWER DETAILS
- C-9 DRAINAGE DETAILS - 1
- C-10 DRAINAGE DETAILS - 2
- C-11 SECTIONS
- C-12 FIRE HYDRANT, TRAFFIC SIGN & PAVEMENT PLAN
- C-13 EROSION CONTROL & SPP PLAN - PHASE 1
- C-14 EROSION CONTROL & SPP PLAN - PHASE 2
- C-15 EROSION CONTROL & SPP DETAILS

NOTE: ALL CONSTRUCTION WILL COMPLY WITH SECTIONS 119, 123, AND 125 OF THE CITY OF FORT PIERCE CODE OF ORDINANCES.

TO THE BEST OF MY KNOWLEDGE, THE PLANS AND SPECIFICATIONS SUBMITTED HERewith COMPLY WITH EXISTING INTERPRETATIONS AND PROVISIONS OF THE APPLICABLE BUILDING CODES.

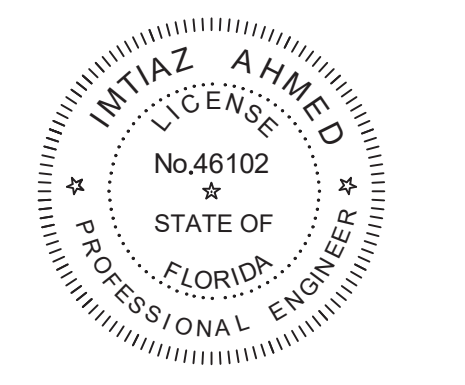
THE ARCHITECT OF RECORD AND THE GENERAL CONTRACTOR & SUB CONTRACTORS SHALL REVIEW THE PLANS ANY DISCREPANCY SHALL BE REPORTED TO ENGINEER OF RECORD PRIORITY OF CONSTRUCTION OR IMMEDIATELY.

| REVISIONS | DATE |
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SHEET:

C-1

COVER SHEET



**ATLANTIC
ENGINEERING
SERVICES,
INC.**

IMTIAZ AHMED, PE
PE#46102
2826 WATERS EDGE CIRCLE
GREENACRES, FLORIDA 33413
PHONE - (561) 358-4140
FAX - (561) 966-9242
CERTIFICATE OF
AUTHORIZATION NO.: 9390

CLIENT:
GATOR TRACE ON
THE GREENS, LLC
17305 S DIXIE HWY.
PALMETTO BAY, FL 33157

**GATOR TRACE
ON THE GREENS
TOWNHOMES**

GATOR TRACE
FORT PIERCE, FL 34982

TO THE BEST OF MY KNOWLEDGE, THE
PLANS AND SPECIFICATIONS SUBMITTED
HEREWITH COMPLY WITH EXISTING
INTERPRETATIONS AND PROVISIONS OF
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SHEET:

C-2

SITE DATA

APPLICANT:
GATOR TRACE ON THE GREENS, LLC
17305 S DIXIE HWY. PALMETTO BAY, FL 33157

OWNER / DEVELOPER:
GATOR TRACE ON THE GREENS, LLC
17305 S DIXIE HWY. PALMETTO BAY, FL 33157

ENGINEER:
ATLANTIC ENGINEERING SERVICES, INC.
IMTIAZ AHMED, PE
2826 WATERS EDGE CIRCLE
GREENACRES, FLORIDA 33413
PHONE - (561) 358-4140
FAX - (561) 966-9242

ENVIRONMENTAL:
ENGINEERING DESIGN & CONSTRUCTION, INC. ENVIRONMENTAL
10250 SW VILLAGE PARKWAY
PORT SAINT LUCIE, FLORIDA 34987
OFFICE: (772) 223 5200

GEOTECHNICAL:
ANDERSEN ANDRE CONSULTING ENGINEERS, INC.
834 SW SWAN AVENUE
PORT ST. LUCIE, FL 34983
PHONE: (772) 807 9191

LANDSCAPING ARCHITECT:
SABINE MARCKS
LANDSCAPE DESIGN ASSOCIATES
LANDSCAPE ARCHITECTURE, LAND PLANNING
PHONE: (772) 971-6060

SURVEYOR:
ENGINEERING DESIGN & CONSTRUCTION, INC. SURVEYORS
10250 SW VILLAGE PARKWAY
PORT SAINT LUCIE, FLORIDA 34987
OFFICE: 772.462.2455

TRAFFIC ENGINEERING:
ATLANTIC ENGINEERING SERVICES, INC.
IMTIAZ AHMED, PE
2826 WATERS EDGE CIRCLE
GREENACRES, FLORIDA 33413
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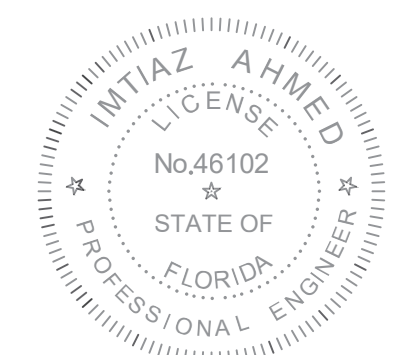
| PROPERTY INFO | |
|-------------------|---|
| ZONING | PD |
| FOLIO | 2435-311-0001-000/4 & 2435-243-0001-000/6 |
| LEGAL DESCRIPTION | SEE ATACHED |
| FLOOD ZONE / BFE | X / +19.00' |

| SITE DATA | | |
|-------------------------------|------------------------------|----------|
| ZONING | PD | |
| CURRENT / PROP.USAGE | TOWNHOUSE DEVELOPMENT | |
| DWELLING ALLOWANCE | 12-UNITS / ACRE (INNOVATIVE) | |
| DWELLING ALLOWED ON THIS LOT | 6.94 AC x 12 = 83.28 UNITS | |
| DWELLING PROVIDED | 67 UNITS | |
| LOT COVERAGE DATA | | |
| NAME | AREA | % OF LOT |
| LOT SIZE | 302,306 SF | 100.00 % |
| BUILDING FOOTPRINTS | 83,200 SF | 27.52 % |
| PAVER DRIVEWAYS | 35,689 SF | 11.81 % |
| ASPHALT, GUTTER, SIDEWALK ETC | 69,851 SF | 23.11 % |
| TOTAL IMPERVIOUS ABOVE | 188,740 SF | 62.43 % |
| REMAINING PERVIOUS | 113,566 SF | 37.57 % |

| PARKING DATA | | |
|------------------------------------|--------------|-----------------------|
| NAME | REQUIRED | PROVIDED |
| SIDE-BY-SIDE PARKING (18x25 MIN) | (2) PER UNIT | (2) PER UNIT |
| GARAGE PARKING | 0 | (1)20'UNIT&(2)25'UNIT |
| TOTAL RESIDENT PARKING SPACES | (2) PER UNIT | (3)20'UNIT&(4)25'UNIT |
| VISITOR PARKING SPACES (9.5' WIDE) | 0 | (3) SPACES |
| POST OFFICE PARKING (9.5' WIDE) | 0 | (1) SPACES |

| UTILITY SERVICE: | |
|-------------------|---------------------------------|
| WATER SERVICE: | FORT PIERCE UTILITIES AUTHORITY |
| SEWAGE SERVICE: | FORT PIERCE UTILITIES AUTHORITY |
| ELECTRIC SERVICE: | FORT PIERCE UTILITIES AUTHORITY |
| CABLE SERVICE | FORT PIERCE UTILITIES AUTHORITY |

| SOLID WASTE COLLECTION | |
|------------------------|---|
| TRASH & SOLID WASTE | (2) 6 YD DUMPSTER - CITY OF FORT PIERCE |





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PALMETTO BAY, FL 33157

**GATOR TRACE
ON THE GREENS
TOWNHOMES**

GATOR TRACE
FORT PIERCE, FL 34982

TO THE BEST OF MY KNOWLEDGE, THE
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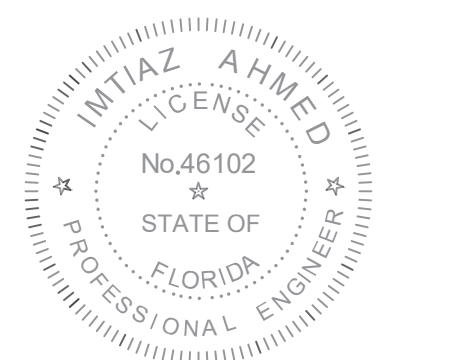
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SHEET:

C-3

AERIAL VIEW



**ATLANTIC
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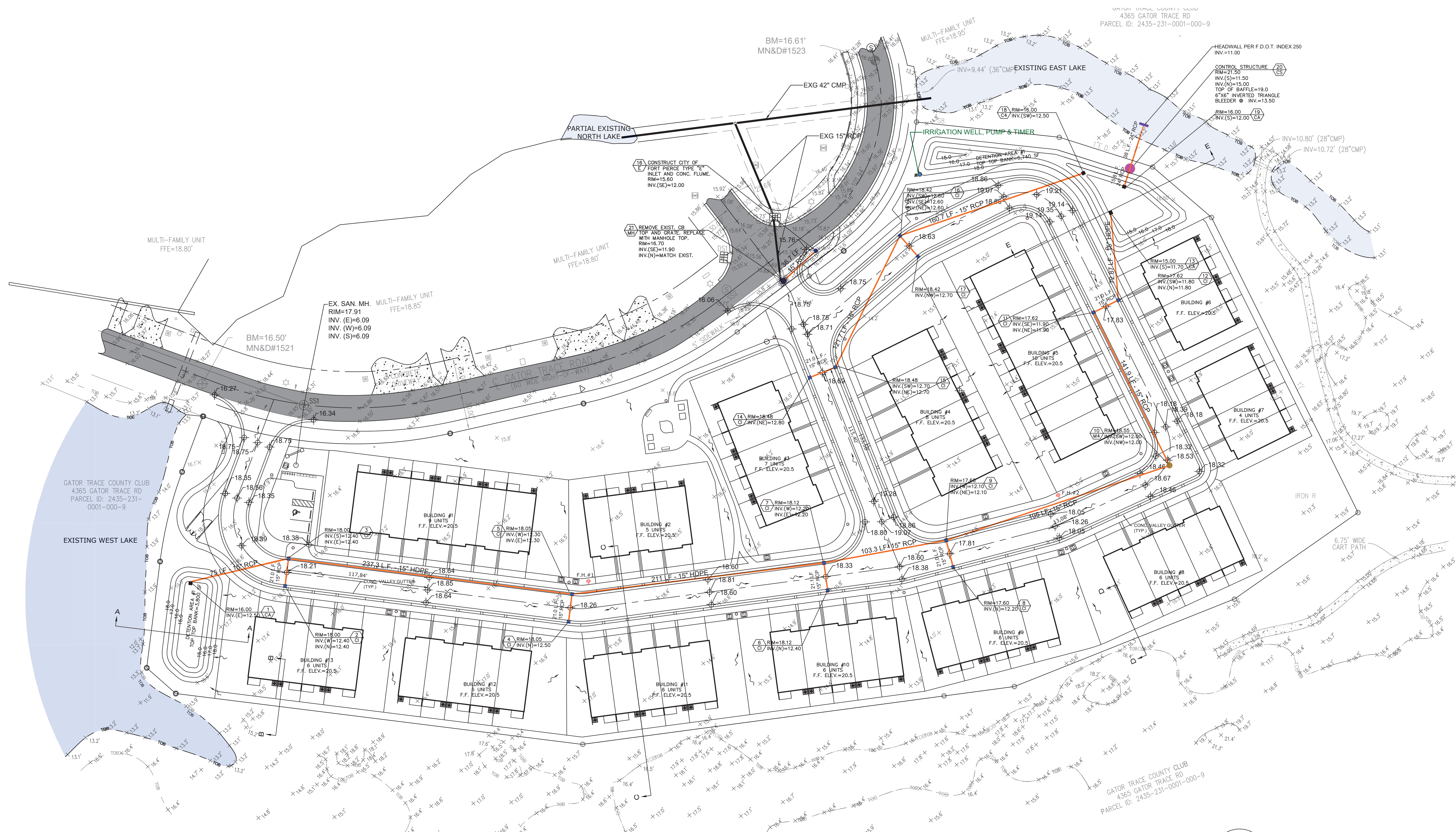
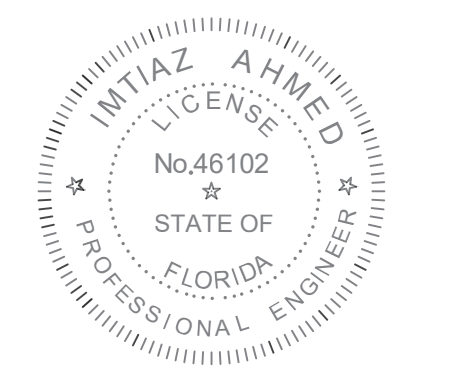
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SHEET:

C-4

PAVING, GRADING &
DRAINAGE PLAN



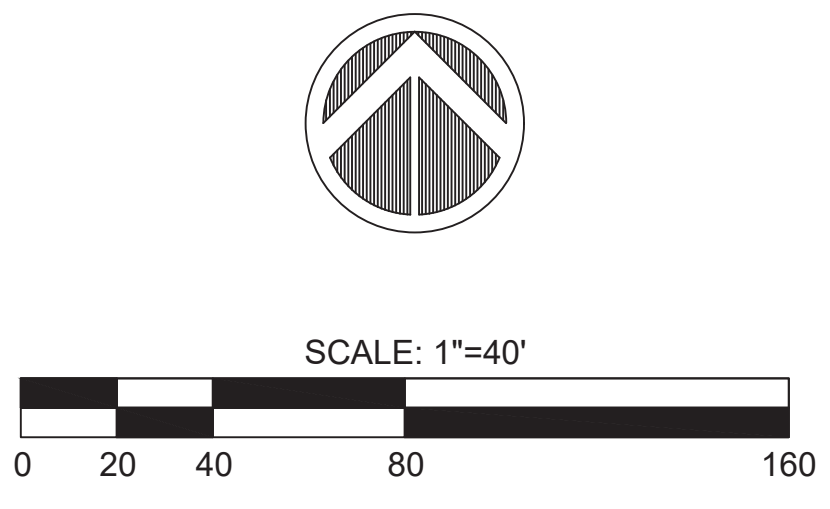
ELEVATIONS SHOWN HEREON ARE
REFERENCED TO THE NATIONAL GEODETIC
VERTICAL DATUM OF 1988. (NAVD 88)

Sunshine 811
Call 811 or www.sunshine811.com two full
business days before digging to have utilities
located and marked.
Check positive response codes before you dig!

- GRADING NOTES:**
- GRADE PERIMETER OF PROPERTY WITH EARTH BERM
TO PROVIDE MIN ELEV. OF **18.85 NAVD**.
 - GRADE PERVIOUS AREA TO PROVIDE POSITIVE
DRAINAGE WITH MIN. SLOPE OF **0.5% SLOPE**

**STORM WATER MANAGEMENT DESIGN
SUMMARY TABLE (1988 NAVD)**

| | DESIGN ELEVATION |
|---------------------|------------------|
| CONTROL ELEVATION | 13.5' NAVD |
| MIN. ROAD CROWN | 17.50' NAVD |
| MIN. FINISH FLOOR | 20.50' NAVD |
| MIN. PERIMETER BERN | 18.85' NAVD |



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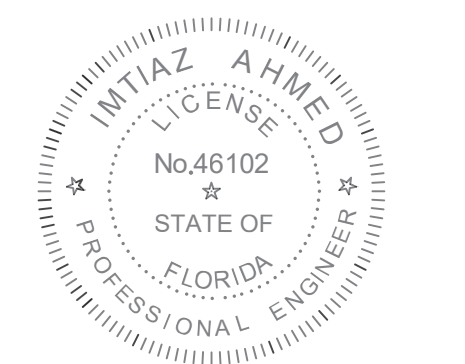
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SHEET:

C-5

WATER & SEWER PLAN



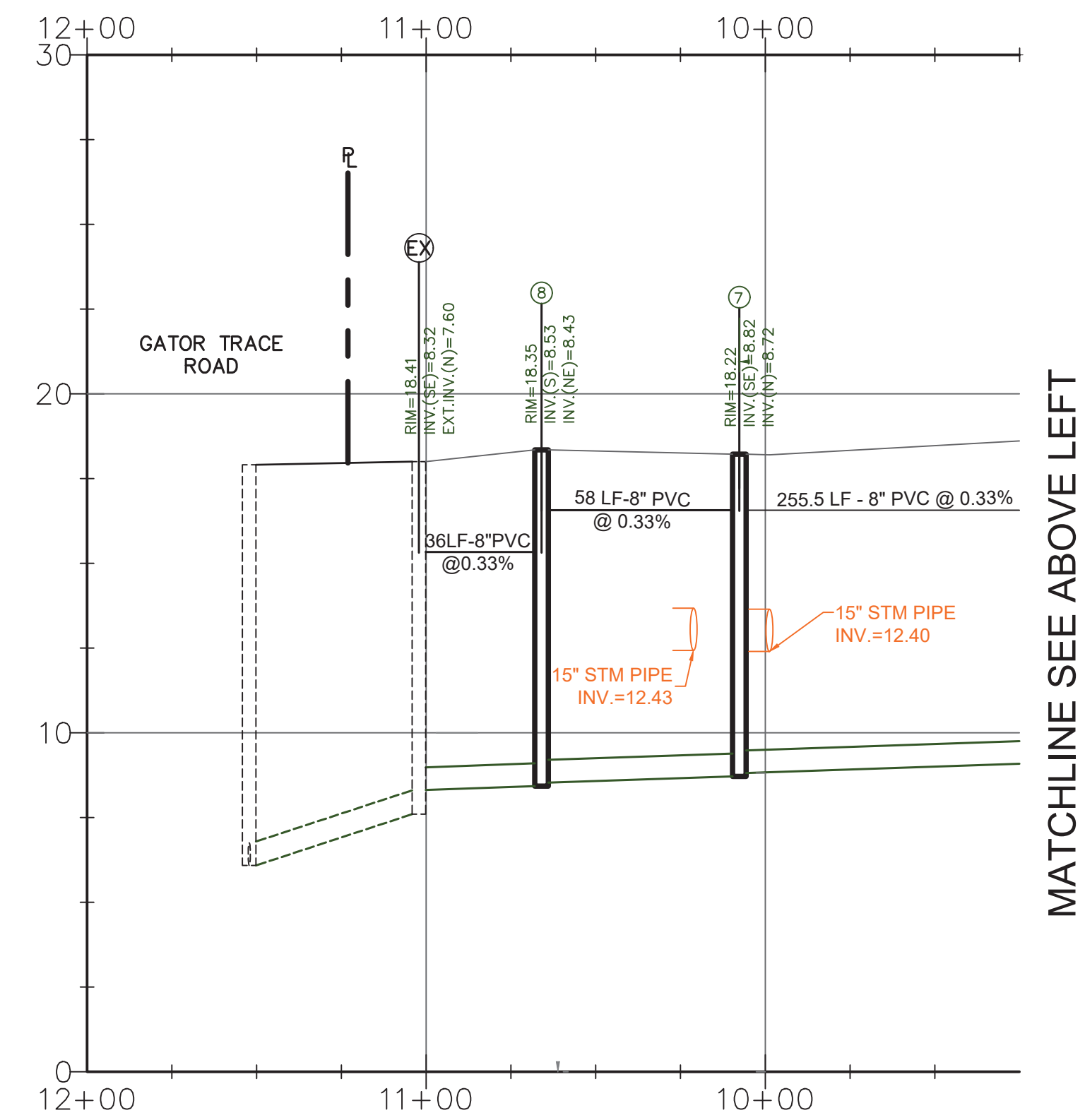
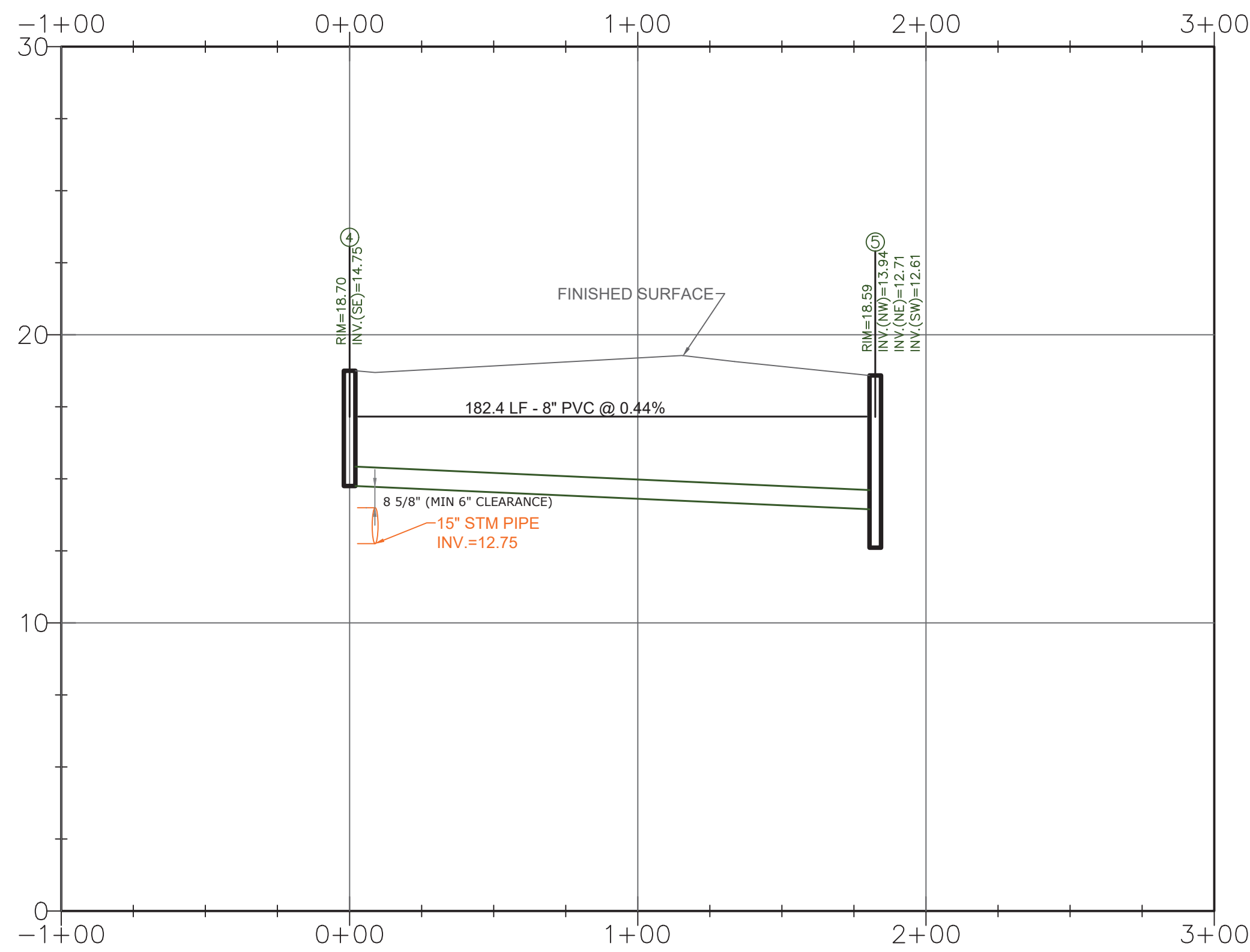
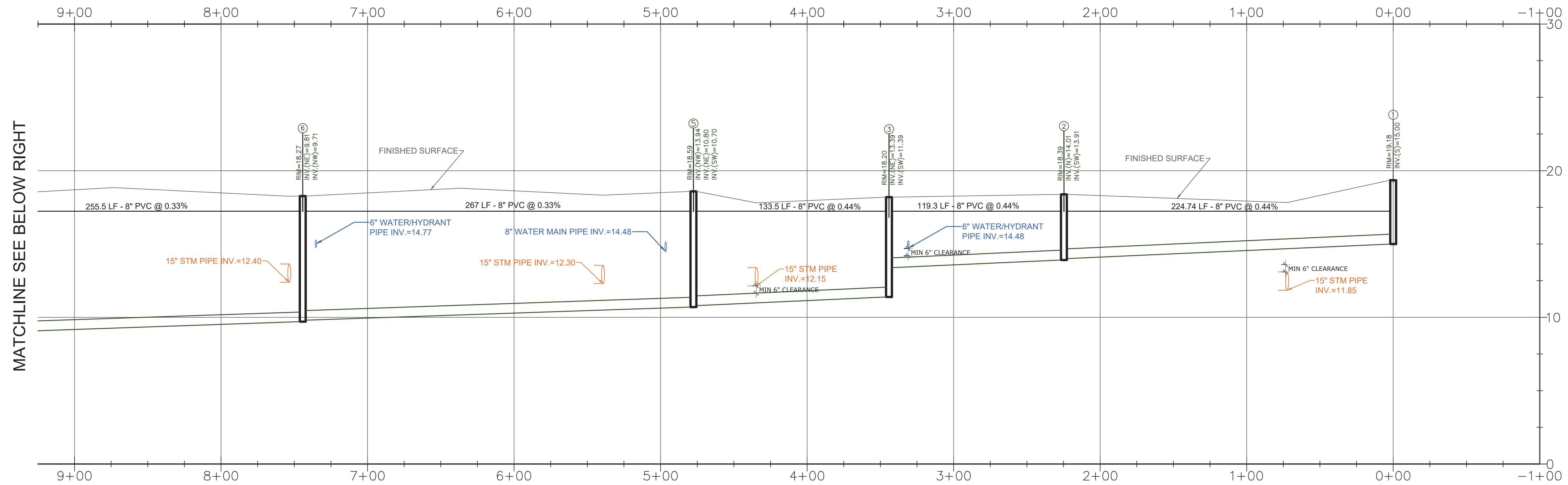
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SHEET:

C-5A

SEWER PROFILES



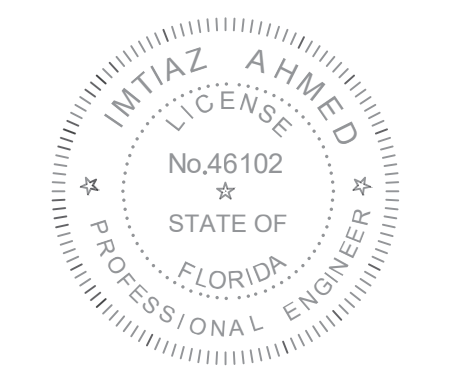
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REVISIONS DATE

SHEET:

C-6

GENERAL UTILITIES NOTES
& DETAILS



**FORT PIERCE UTILITIES AUTHORITY
WATER DISTRIBUTION NOTES**

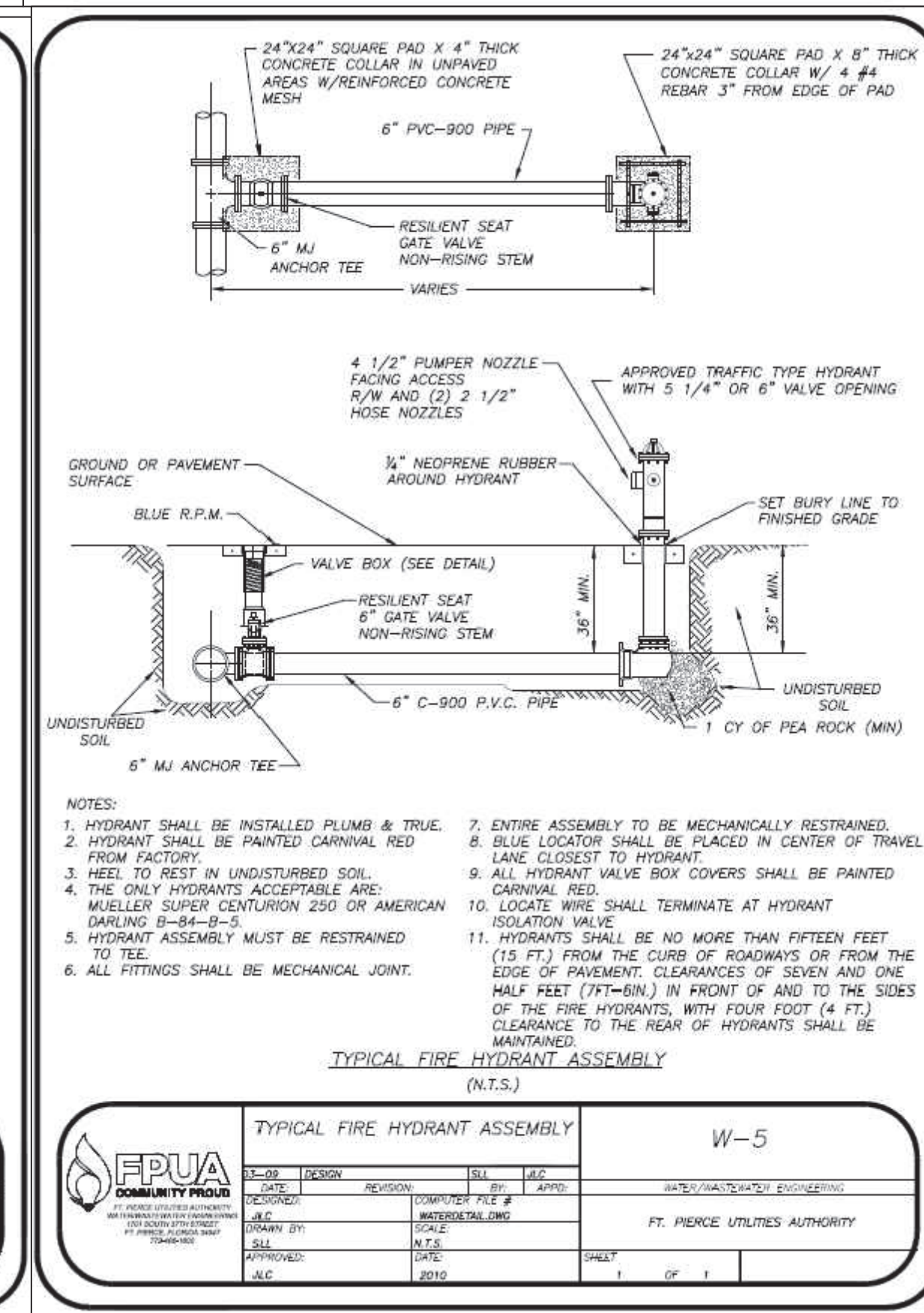
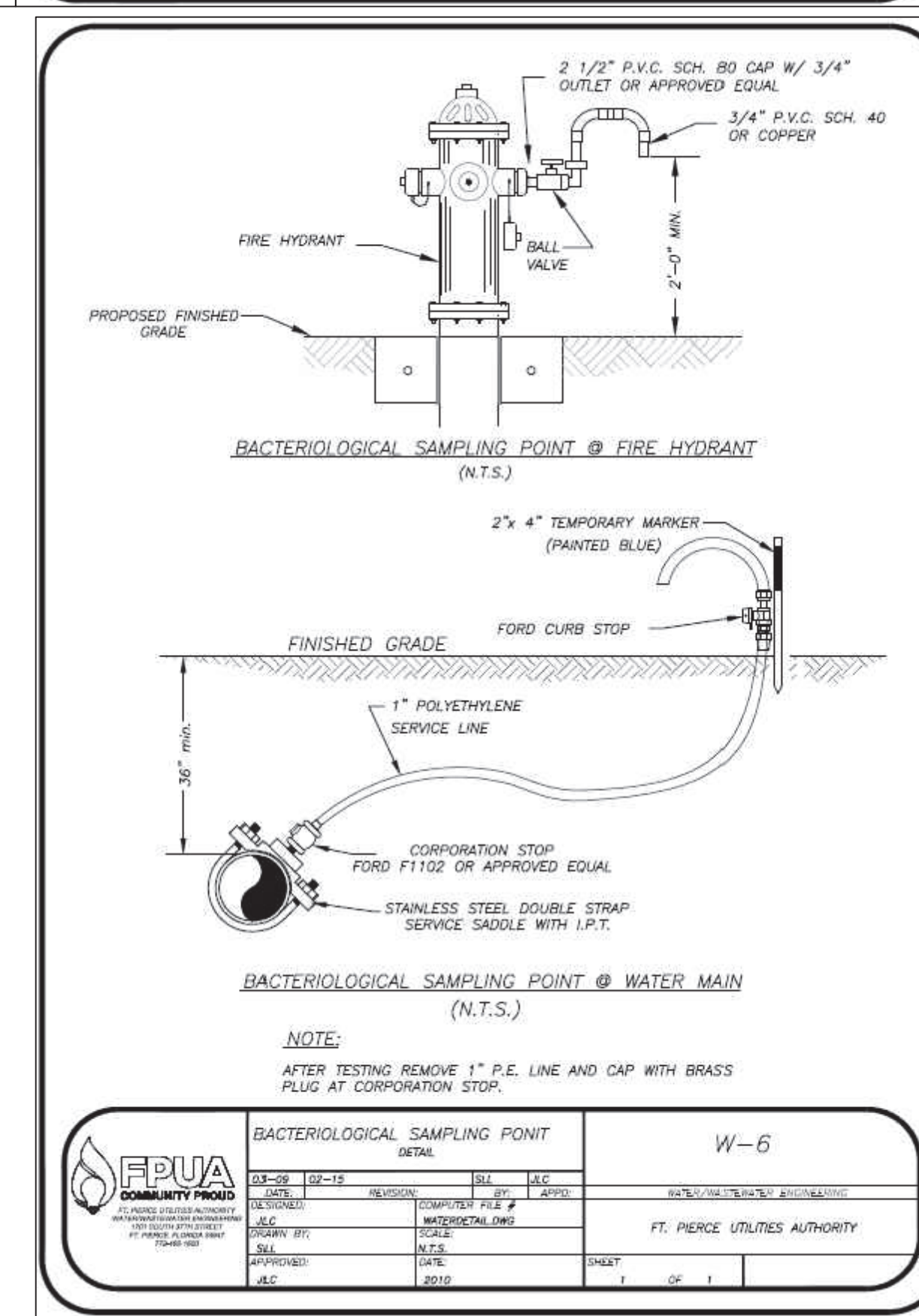
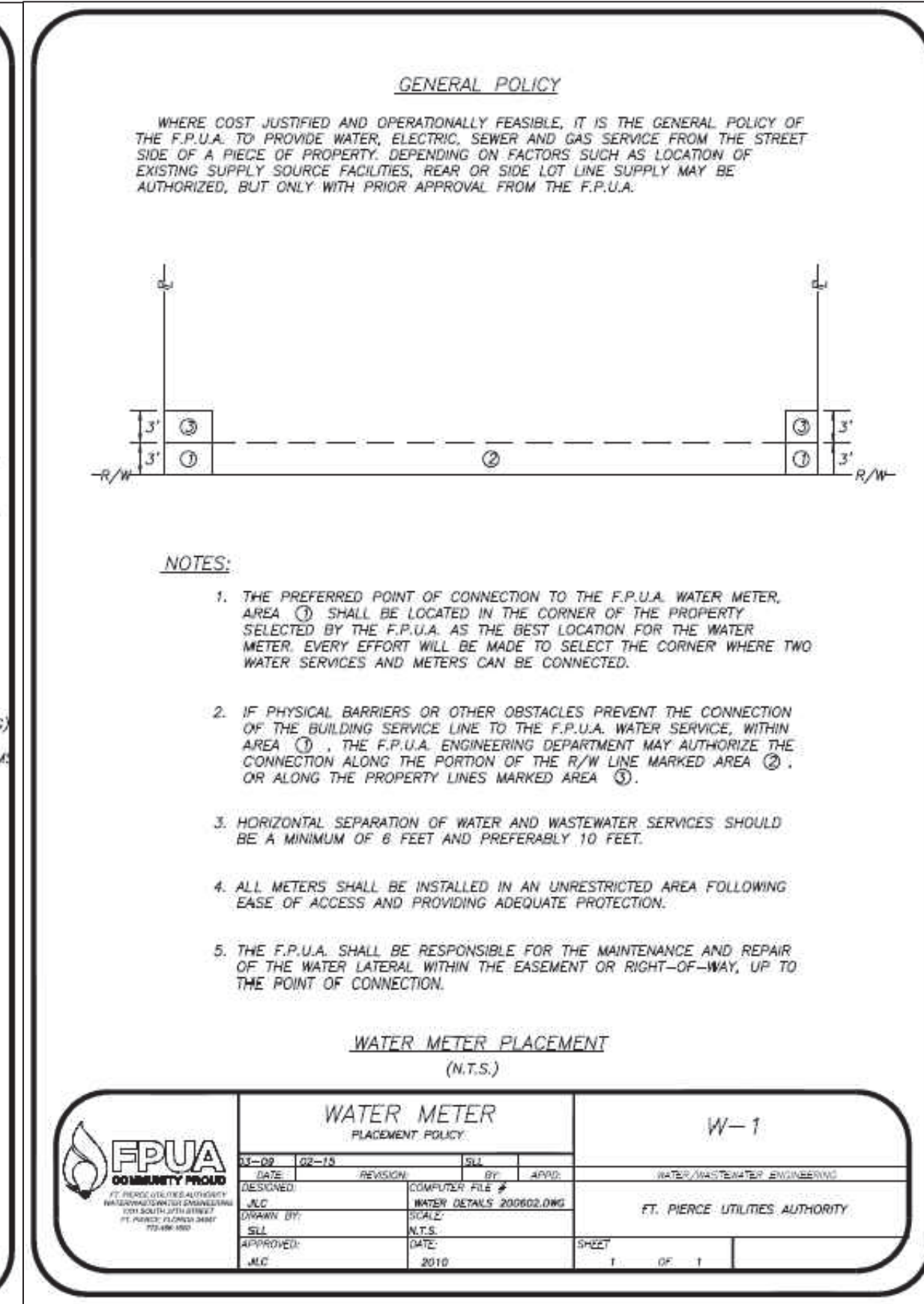
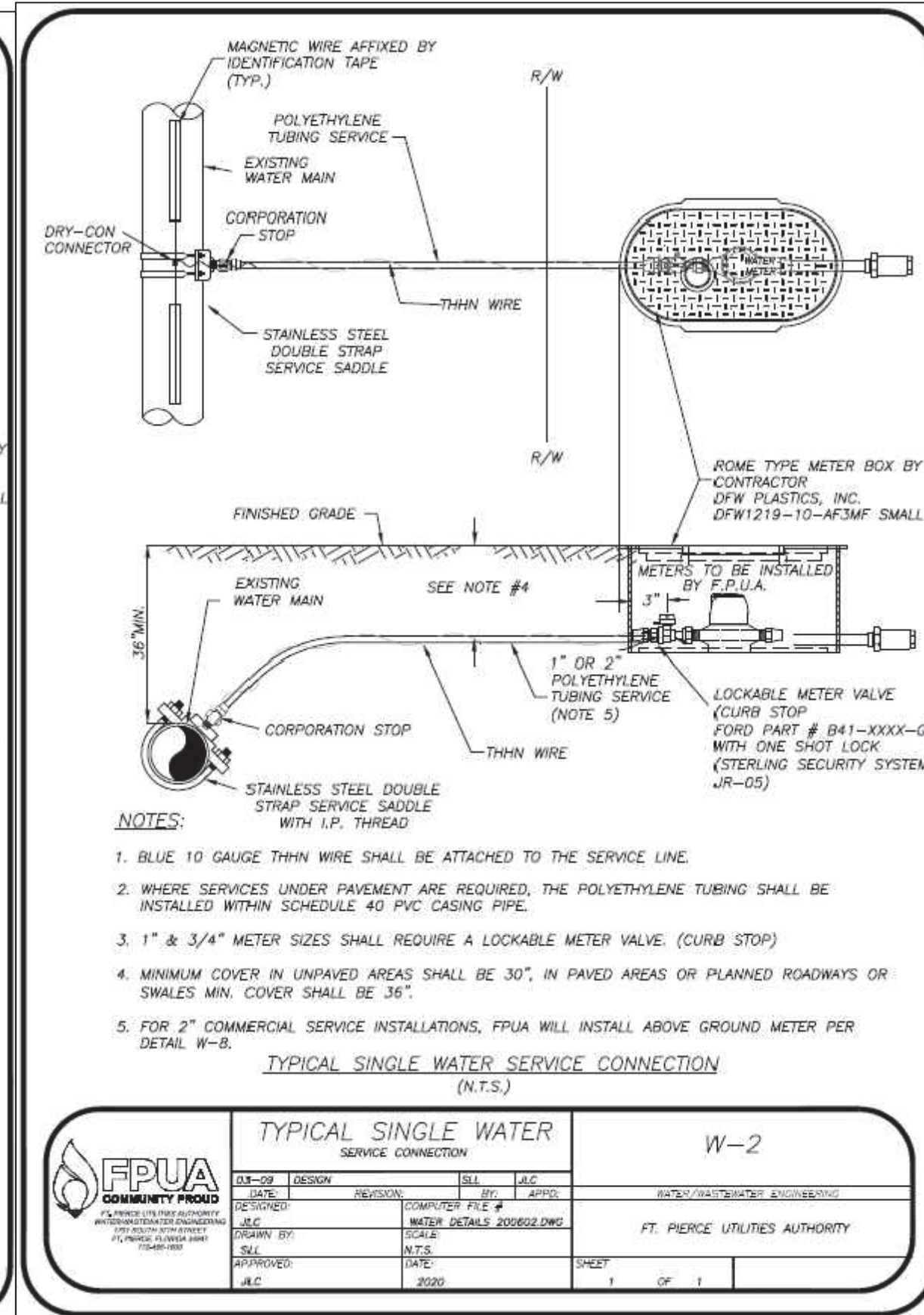
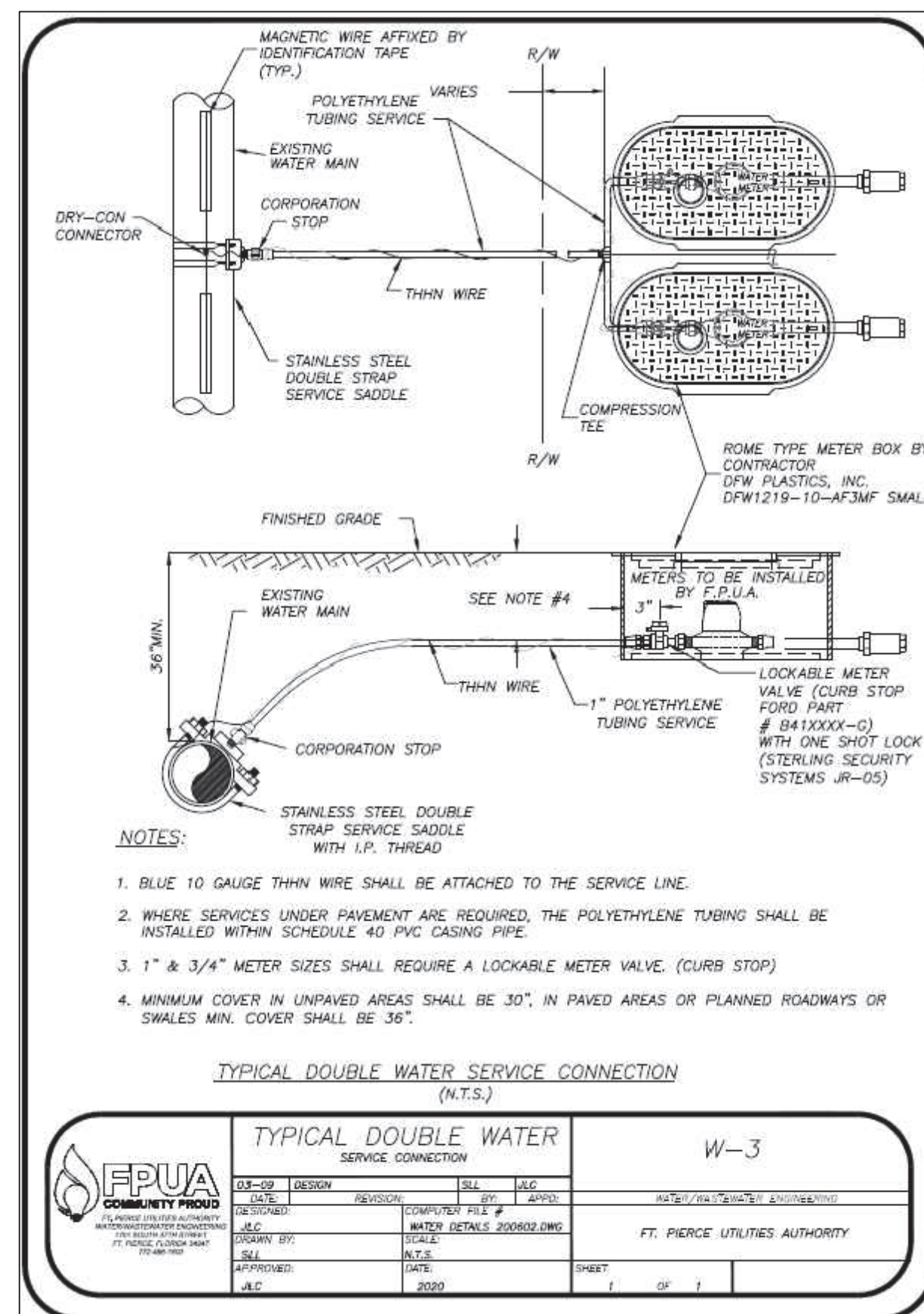
1. ALL CONSTRUCTION MATERIAL, INSTALLATION AND TESTING SHALL CONFORM TO THE STANDARD SPECIFICATIONS OF THE FORT PIERCE UTILITIES AUTHORITY.
2. WATER MAINS WHERE SPECIFIED AS POLYVINYL CHLORIDE (PVC) SHALL CONFORM TO AWWA C-300 OR C-305, PRESSURE CLASS 150, OR 110. WATER MAINS WHERE SPECIFIED AS POLYETHYLENE (PE) SHALL CONFORM TO AWWA C-301 OR C-304, STANDARD CODE DESIGNATION PRESSURE, PIPE CLASS 200, DIMENSION RATIO (DR) 17 FOR DIRECT BURY, (DR) 11 FOR UNIDIRECTIONAL BURNING, AND (DR) 8 FOR 2 INCH AND SMALLER DIAMETERS.
3. WATER MAIN, WHERE SPECIFIED AS DUCTILE IRON PIPE, SHALL CONFORM TO ANSI/AWWA C151/A21.51 AND SHALL BE PRESSURE CLASS 250 (MINIMUM).
4. POLYVINYL CHLORIDE WATER MAIN SHALL BE BLUE IN COLOR OR WHITE IN COLOR WITH BLUE STRIPES. THE USE OF IDENTIFICATION TAPE ATTACHED TO THE TOP OF THE PIPE MAY BE USED IN LIEU OF MARKING ON THE PIPE. ALSO DIP PIPE SHALL REQUIRE THE USE OF IDENTIFICATION TAPE AND TRINK WIRE.
5. FITTINGS SHALL BE DUCTILE IRON CONFORMING TO ANSI/AWWA C110/A21.10, CLASS 250 MIN., CEMENT LINED AND FACTORY COATED.
6. GATE VALVES SHALL BE MILLER RESISTENT SEAT, KENNEDY KEH-SEAL, AMERICAN OR APPROVED EQUAL VALVES SHALL CONFORM TO AWWA C-508.
7. WATER LINES SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH FPUA DESIGN AND CONSTRUCTION STANDARDS. THE CONTRACTOR SHALL SUBMIT CERTIFIED DENSITY TESTS AS REQUIRED BY FPUA ENGINEERING AND THE CITY ENGINEERING DEPARTMENT. IN CASES WHERE PAVED AREAS FALL WITHIN THE JURISDICTION OF LOCAL OR STATE AGENCIES, THE COMPACTOR REQUIREMENTS SHALL NOT BE LESS THAN THE MINIMUM REQUIRED BY THE APPROPRIATE RESPONSIBLE AGENCY.
8. NO FIELD CHANGES OR DEVIATIONS FROM THE DESIGN SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE FPUA ENGINEER AND CITY/COUNTY/FOOT ENGINEER.
9. THE CONTRACTOR SHALL NOTIFY FPUA ENGINEERING AND CITY/COUNTY/FOOT ENGINEERING 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
10. A PRE-CONSTRUCTION CONFERENCE BETWEEN THE ENGINEER, THE CONTRACTOR, FPUA AND CITY/ COUNTY/FOOT ENGINEER SHALL BE MANDATORY PRIOR TO COMMENCEMENT OF CONSTRUCTION.
11. TRAFFIC CONTROL, BARRICADES, ETC. SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS AND APPROVED BY THE CITY ENGINEER.
12. MINIMUM COVER SHALL BE 36 INCHES EXCEPT AS APPROVED BY THE UTILITIES ENGINEER AND CITY/ COUNTY/FOOT ENGINEER. PIPES WITH COVER LESS THAN 30 INCHES SHALL BE CONSTRUCTED OF DUCTILE IRON OR IN PVC CASING.
13. DISTURBED AREAS SHALL BE RESTORED IN CONFORMANCE WITH THE APPLICABLE GOVERNING AGENCY REQUIREMENTS.
14. EXISTING UTILITIES AND DRAINAGE SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION AND PROTECTED BY THE CONTRACTOR.
15. WATER MAINS SHALL BE TESTED AND DISINFECTED IN ACCORDANCE WITH THE APPLICABLE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND AWWA C-651 FOR DISINFECTION.

| NO. | REVISION | DATE | BY | FOR |
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WATER DISTRIBUTION
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FORT PIERCE UTILITIES AUTHORITY WASTEWATER CONSTRUCTION NOTES

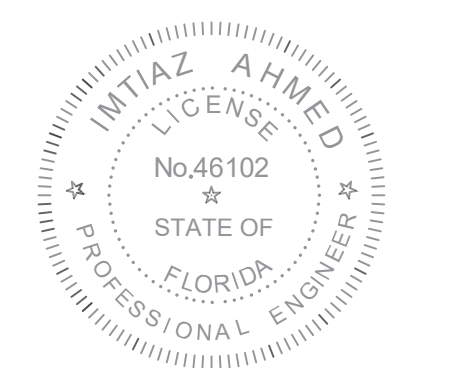
1. ALL CONSTRUCTION MATERIAL, INSTALLATION AND TESTING SHALL CONFORM TO THE STANDARD SPECIFICATIONS OF THE FORT PIERCE UTILITIES AUTHORITY.
2. GRAVITY SEWER MAIN SHALL BE POLYVINYL CHLORIDE (PVC) 20, 30, 42, 60, 90, 120, 150, 210, 270, 360, 450, 600, 720, 900, 1080, 1350, 1620, 2100, 2700, 3600, 4500, 5400, 7200, 9000, 10800, 13500, 16200, 21000, 27000, 36000, 45000, 54000, 72000, 90000, 108000, 135000, 162000, 210000, 270000, 360000, 450000, 540000, 720000, 900000, 1080000, 1350000, 1620000, 2100000, 2700000, 3600000, 4500000, 5400000, 7200000, 9000000, 10800000, 13500000, 16200000, 21000000, 27000000, 36000000, 45000000, 54000000, 72000000, 90000000, 108000000, 135000000, 162000000, 210000000, 270000000, 360000000, 450000000, 540000000, 720000000, 900000000, 1080000000, 1350000000, 1620000000, 2100000000, 2700000000, 3600000000, 4500000000, 5400000000, 7200000000, 9000000000, 10800000000, 13500000000, 16200000000, 21000000000, 27000000000, 36000000000, 45000000000, 54000000000, 72000000000, 90000000000, 108000000000, 135000000000, 162000000000, 210000000000, 270000000000, 360000000000, 450000000000, 540000000000, 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TO THE BEST OF MY KNOWLEDGE, THE PLANS AND SPECIFICATIONS SUBMITTED HEREWITH COMPLY WITH EXISTING INTERPRETATIONS AND PROVISIONS OF THE APPLICABLE BUILDING CODES.

THE ARCHITECT OF RECORD AND THE GENERAL CONTRACTOR & SUB CONTRACTORS SHALL REVIEW THE PLANS ANY DISCREPANCY SHALL BE REPORTED TO ENGINEER OF RECORD PRIORITY OF CONSTRUCTION OR IMMEDIATELY.

REVISIONS DATE



GENERAL POLICY

WHERE COST JUSTIFIED AND OPERATIONALLY FEASIBLE, IT IS THE GENERAL POLICY OF THE F.P.U.A. TO PROVIDE WATER, ELECTRIC, SEWER AND GAS SERVICE FROM THE STREET SIDE OF A PIECE OF PROPERTY. DEPENDING ON FACTORS SUCH AS LOCATION OF EXISTING SUPPLY SOURCE FACILITIES, REAR OR SIDE LOT LINE SUPPLY MAY BE AUTHORIZED, BUT ONLY WITH PRIOR APPROVAL FROM THE F.P.U.A.

NOTES:

1. THE PREFERRED POINT OF CONNECTION TO THE F.P.U.A. SEWER LATERAL, AREA (1), SHALL BE LOCATED IN THE CORNER OF THE PROPERTY. SELECTED BY THE F.P.U.A. AS THE BEST LOCATION FOR THE LATERAL. EVERY EFFORT WILL BE MADE TO SELECT THE CORNER WHERE TWO LATERALS CAN BE CONNECTED IN A "Y" CONFIGURATION AS SHOWN.
2. IF PHYSICAL BARRIERS OR OTHER OBSTACLES PREVENT THE CONNECTION OF THE BUILDING SERVICE LINE TO THE F.P.U.A. SEWER LATERAL, WITHIN AREA (2), THE F.P.U.A. ENGINEERING DEPARTMENT MAY AUTHORIZE THE CONNECTION ALONG THE PORTION OF THE R/W LINE MARKED AREA (3).
3. HORIZONTAL SEPARATION OF WATER AND WASTEWATER SERVICES SHOULD BE A MINIMUM OF SIX FEET AND PREFERABLY TO FEET.
4. THE WASTEWATER LATERAL SHALL BE LOCATED WITHIN RIGHT-OF-WAY AND TERMINATE AT THE PROPERTY LINE.
5. THE F.P.U.A. SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF THE WASTEWATER LATERAL WITHIN THE EASEMENT OR RIGHT-OF-WAY, UP TO THE POINT OF CONNECTION.

WASTEWATER SERVICE PLACEMENT (N.T.S.)

| | | | |
|------------------------------|------------------|--------------------------|-----------|
| WASTEWATER SERVICE PLACEMENT | | S-1 | |
| DATE: 03-28-2010 | REVISION: | BY: JAC | APPD: JAC |
| DESIGNED: JAC | COMPUTER FILE #: | SSEWER DETAIL 200902.DWG | |
| DRAWN BY: JAC | SCALE: | AS SHOWN | |
| CHECKED: JAC | DATE: | 2010 | |
| APPROVED: JAC | DATE: | 2010 | |
| SHEET: 1 | | OF: 1 | |

NOTES:

- 1) BALL TYPE WASTEWATER LOCATOR BY 3M CORP. OR APPROVED EQUAL.
- 2) MINIMUM SLOPE OF 1/8" PER FOOT, USE GREATER SLOPE WHERE POSSIBLE.
- 3) SERVICE LATERAL SHALL TERMINATE WITH A CLEANOUT.
- 4) INSTALL CLEANOUT AT THE PROPERTY LINE. REFER TO DETAIL S-1 FOR SPECIFIC PROPERTY LAYOUT.

SERVICE CONNECTION (N.T.S.)

| | | | |
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| SERVICE CONNECTION | | S-2 | |
| DATE: 03-28-2010 | REVISION: | BY: JAC | APPD: JAC |
| DESIGNED: JAC | COMPUTER FILE #: | SSEWER DETAIL 200902.DWG | |
| DRAWN BY: JAC | SCALE: | AS SHOWN | |
| CHECKED: JAC | DATE: | 2010 | |
| APPROVED: JAC | DATE: | 2010 | |
| SHEET: 1 | | OF: 1 | |

DOUBLE LATERAL SERVICE CONNECTION AT PROPERTY LINE

SINGLE SERVICE LATERAL CONNECTION

NOTES:

- 1) BALL TYPE WASTEWATER LOCATOR INSTALLED ABOVE THIS POINT.
- 2) BALL BY 3M CORP. OR APPROVED EQUAL.
- 3) SERVICE LATERAL SHALL TERMINATE WITH A CLEANOUT.

SERVICE CONNECTION (N.T.S.)

| | | | |
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| SERVICE CONNECTION | | S-3 | |
| DATE: 03-28-2010 | REVISION: | BY: JAC | APPD: JAC |
| DESIGNED: JAC | COMPUTER FILE #: | SSEWER DETAIL 200902.DWG | |
| DRAWN BY: JAC | SCALE: | AS SHOWN | |
| CHECKED: JAC | DATE: | 2010 | |
| APPROVED: JAC | DATE: | 2010 | |
| SHEET: 1 | | OF: 1 | |

RESIDENTIAL CLEANOUT DETAIL (N.T.S.)

NOTES:

- 1) SEE DETAIL S-3 FOR DOUBLE SERVICE CONNECTION.

| | | | |
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| TERMINAL CLEANOUT DETAIL | | S-4A | |
| DATE: 03-28-2010 | REVISION: | BY: JAC | APPD: JAC |
| DESIGNED: JAC | COMPUTER FILE #: | SSEWER DETAIL 200902.DWG | |
| DRAWN BY: JAC | SCALE: | AS SHOWN | |
| CHECKED: JAC | DATE: | 2010 | |
| APPROVED: JAC | DATE: | 2010 | |
| SHEET: 1 | | OF: 3 | |

TYPICAL MANHOLE DIMENSIONS

| PIPE DIA. | "A" | "B" | "C" | BOT. SLAB | "T" |
|-----------|-------|-----|------|-----------|-----|
| 8"-24" | 4'-0" | 7" | 78" | 8" | |
| 30"-36" | 5'-0" | 7" | 88" | 10" | |
| 42"-48" | 6'-0" | 7" | 100" | 12" | |

NOTES:

- 1) MANHOLE FRAME & COVER WITH THE WORDS "SANITARY SEWER" CAST IN THE COVER. U.S. FOUNDRY 170 OR APPROVED EQUAL.
- 2) ALL CONCRETE MANHOLES TO BE 4000 P.S.I. TO MEET OR EXCEED ASTM C478 ALL CEMENT TO BE TYPE I ACID RESISTANT. REINFORCING AREA OF 0.02 SQ. IN/FT FOR WALL SECTION MIN. TO MEET OR EXCEED ASTM A 185.
- 3) A MAXIMUM OF 2 LAYERS OF PRECAST CONCRETE RINGS, IF REQUIRED.
- 4) RAIN GUARDS SHALL BE INSTALLED IN MANHOLES THAT HAVE GRAVITY MAINS 12" OR LESS.

STANDARD MANHOLE (N.T.S.)

| | | | |
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| PRECAST MANHOLE DEPTH | | S-7 | |
| DATE: 03-28-2010 | REVISION: | BY: JAC | APPD: JAC |
| DESIGNED: JAC | COMPUTER FILE #: | SSEWER DETAIL 200902.DWG | |
| DRAWN BY: JAC | SCALE: | AS SHOWN | |
| CHECKED: JAC | DATE: | 2010 | |
| APPROVED: JAC | DATE: | 2010 | |
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TYPICAL MANHOLE DIMENSIONS

| PIPE DIA. | "A" | "B" | "C" | BOT. SLAB | "T" |
|-----------|-------|-----|-----|-----------|-----|
| 8"-24" | 4'-0" | 8" | 70" | 8" | |
| 30"-36" | 5'-0" | 8" | 84" | 10" | |
| 42"-48" | 6'-0" | 8" | 96" | 12" | |

NOTES:

- 1) MANHOLE FRAME & COVER WITH THE WORDS "SANITARY SEWER" CAST IN THE COVER. U.S. FOUNDRY 170 OR APPROVED EQUAL.
- 2) ALL CONCRETE MANHOLES TO BE 4000 P.S.I. TO MEET OR EXCEED ASTM C478 ALL CEMENT TO BE TYPE I ACID RESISTANT. REINFORCING AREA OF 0.02 SQ. IN/FT FOR WALL SECTION MIN. TO MEET OR EXCEED ASTM A 185.
- 3) A MAXIMUM OF 2 LAYERS OF PRECAST CONCRETE RINGS, IF REQUIRED.
- 4) RAIN GUARDS SHALL BE INSTALLED IN MANHOLES THAT HAVE GRAVITY MAINS 12" OR LESS.

OUTSIDE DROP MANHOLE (N.T.S.)

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| PRECAST MANHOLE WITH | | S-8 | |
| DATE: 03-28-2010 | REVISION: | BY: JAC | APPD: JAC |
| DESIGNED: JAC | COMPUTER FILE #: | SSEWER DETAIL 200902.DWG | |
| DRAWN BY: JAC | SCALE: | AS SHOWN | |
| CHECKED: JAC | DATE: | 2010 | |
| APPROVED: JAC | DATE: | 2010 | |
| SHEET: 1 | | OF: 1 | |

RAINGUARD DETAIL (N.T.S.)

NOTES:

- 1) SEWER RAIN GUARDS SHALL BE INSTALLED ON ALL MANHOLES WHERE GRAVITY MAINS ARE 12" OR LESS AND IN AREAS DESIGNATED BY ENGINEER TO BE IN A FLOOD AREA.
- 2) SEWER RAIN GUARDS SHALL BE MANUFACTURED BY PARSON ENVIRONMENTAL PRODUCTS, INC., PART # PMI-235 (PARSON MANHOLE INSERTS) WITH DOUBLE VALVING, OR APPROVED EQUAL.
- 3) RAINGUARDS MUST BE "SNUG" FIT.

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| RAINGUARD DETAIL | | S-11 | |
| DATE: 03-28-2010 | REVISION: | BY: JAC | APPD: JAC |
| DESIGNED: JAC | COMPUTER FILE #: | SSEWER DETAIL 200902.DWG | |
| DRAWN BY: JAC | SCALE: | AS SHOWN | |
| CHECKED: JAC | DATE: | 2010 | |
| APPROVED: JAC | DATE: | 2010 | |
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FLOW PATTERNS FOR INVERT CHANNELS

NOTES:

- 1) INVERT CHANNELS TO BE CONSTRUCTED FOR SMOOTH FLOW WITH NO OBSTRUCTIONS.
- 2) SPILLWAYS SHALL BE CONSTRUCTED BETWEEN PIPES WITH DIFFERENT INVERT ELEVATIONS PROVIDING FOR SMOOTH FLOWS.

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| FLOW PATTERNS | | S-12 | |
| DATE: 03-28-2010 | REVISION: | BY: JAC | APPD: JAC |
| DESIGNED: JAC | COMPUTER FILE #: | SSEWER DETAIL 200902.DWG | |
| DRAWN BY: JAC | SCALE: | AS SHOWN | |
| CHECKED: JAC | DATE: | 2010 | |
| APPROVED: JAC | DATE: | 2010 | |
| SHEET: 1 | | OF: 1 | |

TO THE BEST OF MY KNOWLEDGE, THE PLANS AND SPECIFICATIONS SUBMITTED HEREWITH COMPLY WITH EXISTING INTERPRETATIONS AND PROVISIONS OF THE APPLICABLE BUILDING CODES.

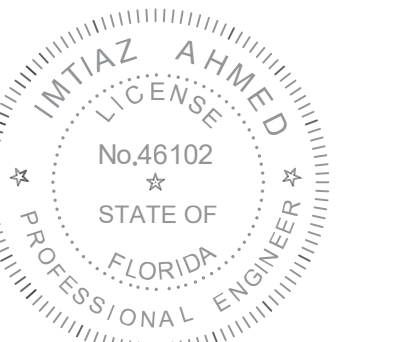
THE ARCHITECT OF RECORD AND THE GENERAL CONTRACTOR & SUB CONTRACTORS SHALL REVIEW THE PLANS ANY DISCREPANCY SHALL BE REPORTED TO ENGINEER OF RECORD PRIORITY OF CONSTRUCTION OR IMMEDIATELY.

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SEWER DETAILS



**ATLANTIC
ENGINEERING
SERVICES,
INC.**

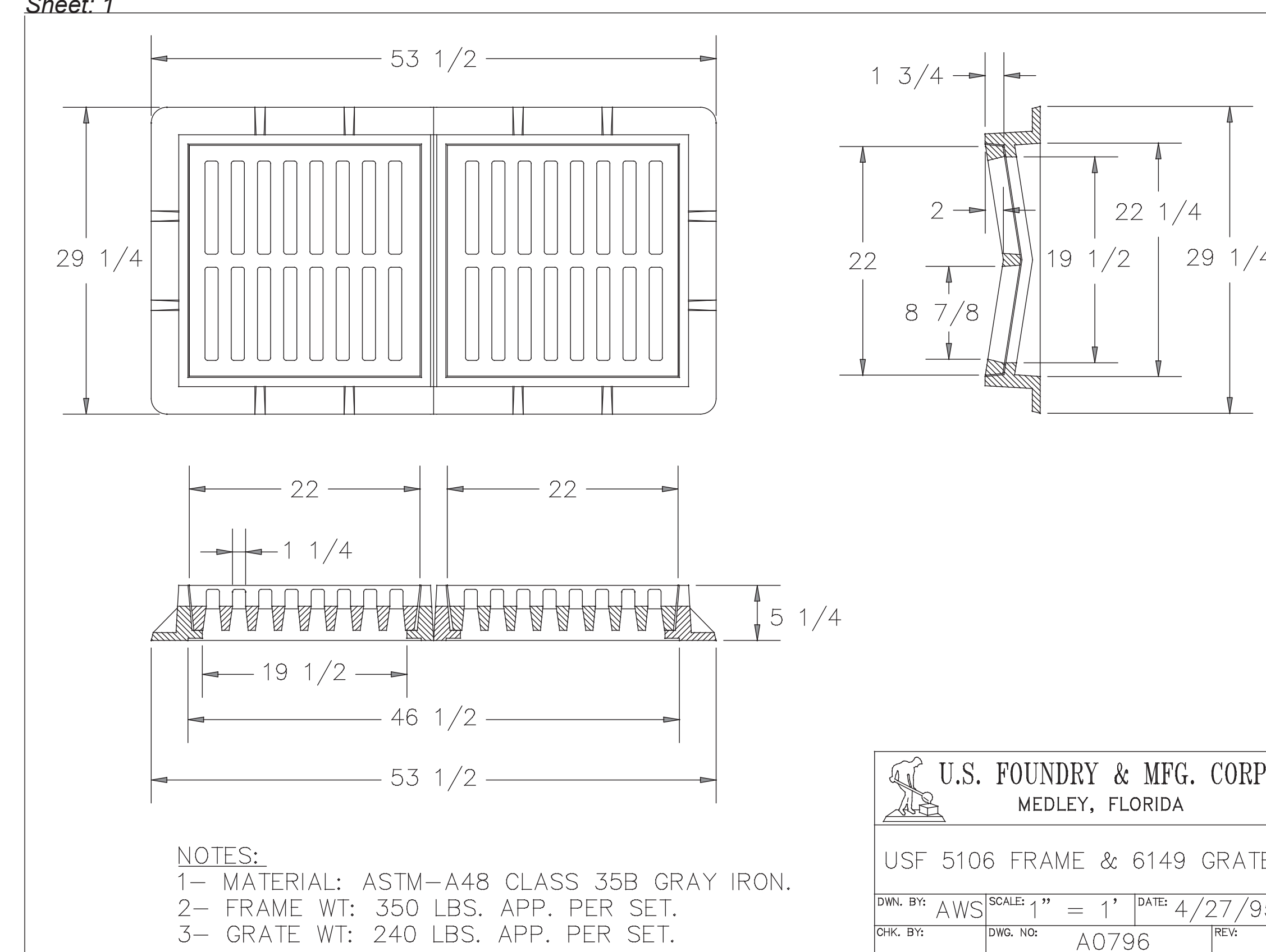
IMTIAZ AHMED, PE
PE#46102
2826 WATERS EDGE CIRCLE
GREENACRES, FLORIDA 33413
PHONE - (561) 358-4140
FAX - (561) 966-9242
CERTIFICATE OF
AUTHORIZATION NO.: 9390

CLIENT:
GATOR TRACE ON
THE GREENS, LLC
17305 S DIXIE HWY.
PALMETTO BAY, FL 33157

**GATOR TRACE
ON THE GREENS
TOWNHOMES**

GATOR TRACE
FORT PIERCE, FL 34982

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TO THE BEST OF MY KNOWLEDGE, THE
PLANS AND SPECIFICATIONS SUBMITTED
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INTERPRETATIONS AND PROVISIONS OF
THE APPLICABLE BUILDING CODES.

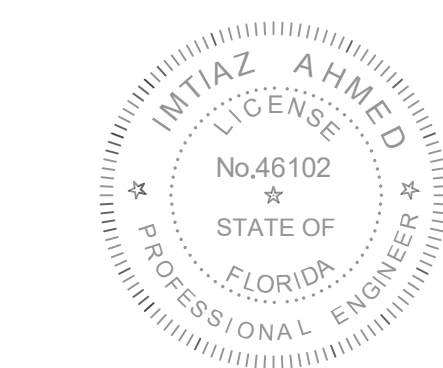
THE ARCHITECT OF RECORD AND THE
GENERAL CONTRACTOR & SUB
CONTRACTORS SHALL REVIEW THE PLANS
ANY DISCREPANCY SHALL BE REPORTED
TO ENGINEER OF RECORD PRIORITY OF
CONSTRUCTION OR IMMEDIATELY.

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DRAINAGE DETAILS 1



**ATLANTIC
ENGINEERING
SERVICES,
INC.**

IMTIAZ AHMED, PE
PE#46102
2826 WATERS EDGE CIRCLE
GREENACRES, FLORIDA 33413
PHONE - (561) 358-4140
FAX - (561) 966-9242
CERTIFICATE OF
AUTHORIZATION NO.: 9390

CLIENT:
**GATOR TRACE ON
THE GREENS, LLC**
17305 S DIXIE HWY.
PALMETTO BAY, FL 33157

**GATOR TRACE
ON THE GREENS
TOWNHOMES**
GATOR TRACE
FORT PIERCE, FL 34982

TO THE BEST OF MY KNOWLEDGE, THE
PLANS AND SPECIFICATIONS SUBMITTED
HEREWITH COMPLY WITH EXISTING
INTERPRETATIONS AND PROVISIONS OF
THE APPLICABLE BUILDING CODES.

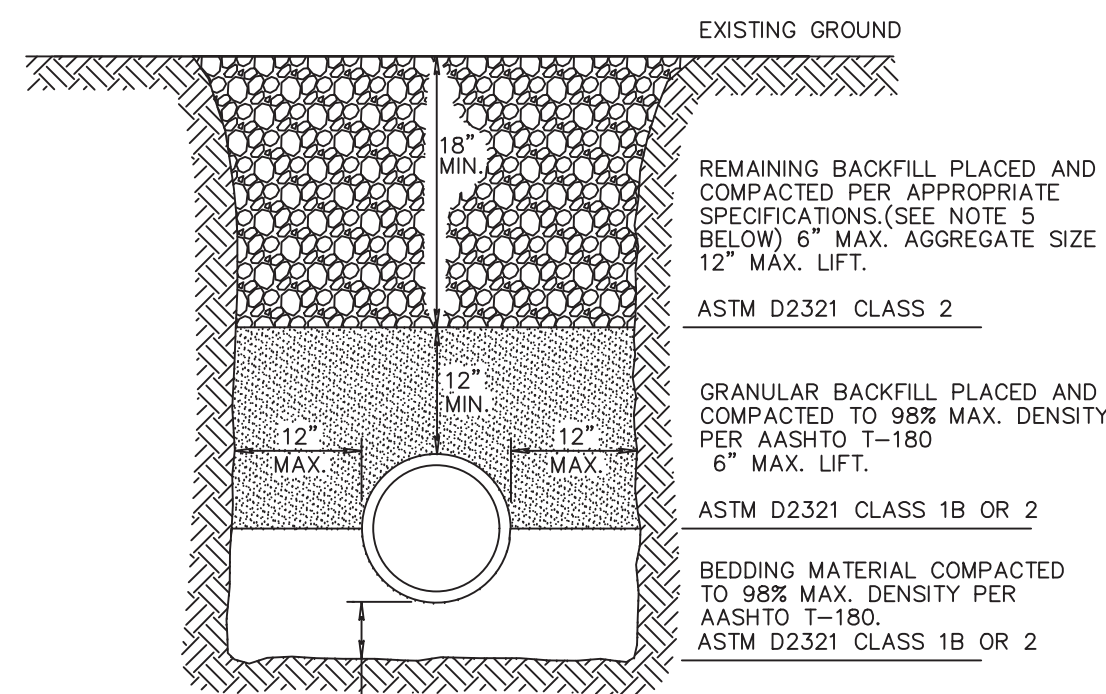
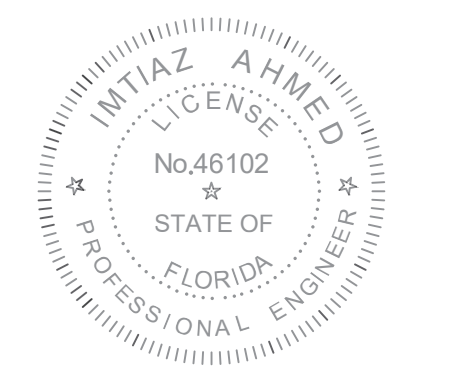
THE ARCHITECT OF RECORD AND THE
GENERAL CONTRACTOR & SUB
CONTRACTORS SHALL REVIEW THE PLANS
ANY DISCREPANCY SHALL BE REPORTED
TO ENGINEER OF RECORD PRIORITY OF
CONSTRUCTION OR IMMEDIATELY.

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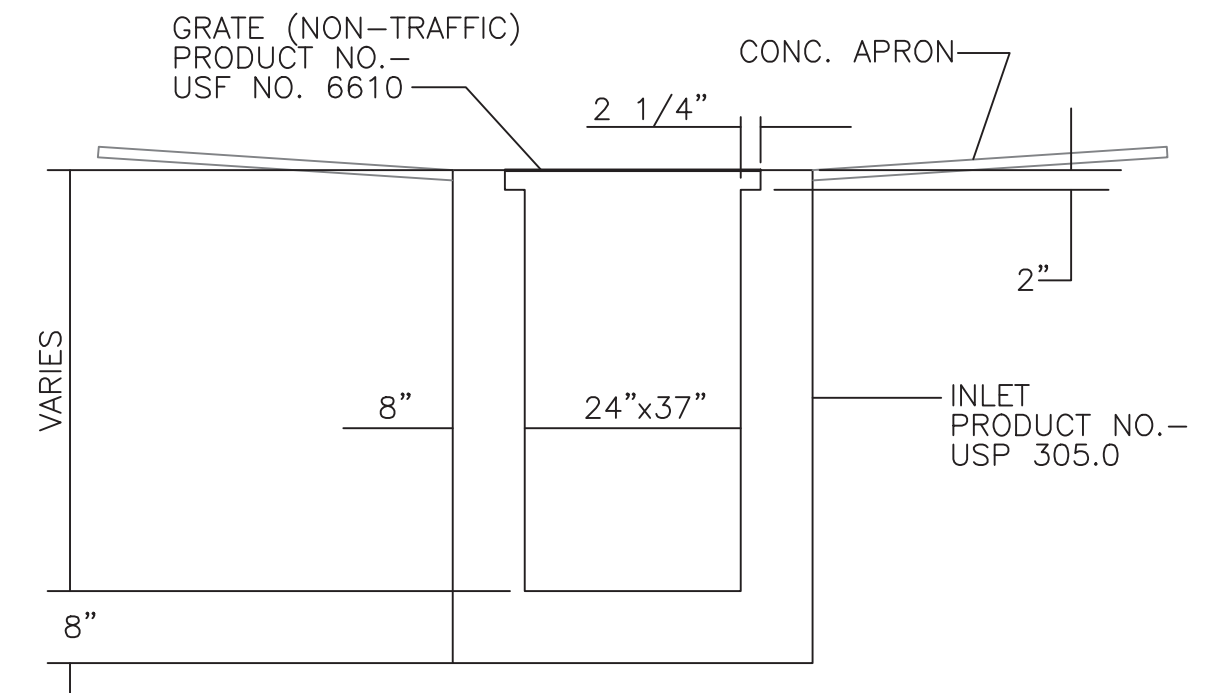
C-10

DRAINAGE DETAILS 2

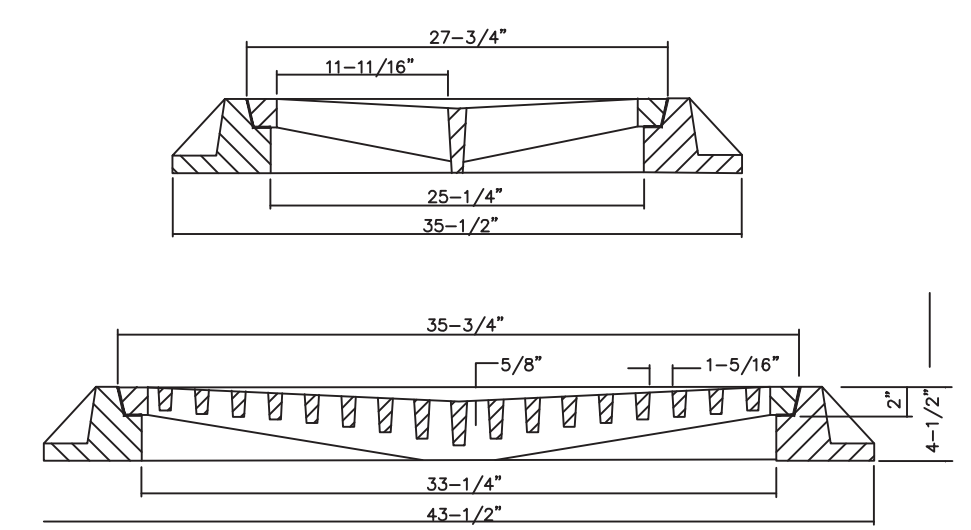


- NOTES:**
- UNSUITABLE IN-SITU MATERIALS SUCH AS MUCK, DEBRIS AND LARGE ROCKS SHALL BE REMOVED; BEDDING MATERIAL AND BACKFILL CONSISTING OF WASHED AND GRADED LIMEROCK 3/8" - 7/8" SIZING.
 - THE PIPE SHALL BE FULLY SUPPORTED FOR ITS ENTIRE LENGTH WITH APPROPRIATE COMPACTION UNDER THE PIPE HAUNCHES.
 - THE PIPE SHALL BE PLACED IN A DRY TRENCH.
 - BACKFILL SHALL BE FREE OF UNSUITABLE MATERIAL SUCH AS LARGE ROCK, MUCK, AND DEBRIS.
 - COMPACT BACKFILL TO 98% DENSITY UNDER PAVEMENT AND TO 95% DENSITY ELSEWHERE (AASHTO T-180)
 - COMPACTION AND DENSITY TESTS SHALL BE COMPLETED DURING BACKFILL OPERATIONS, CONTRACTORS NOT FOLLOWING THIS PROCEDURE, FOR WHATEVER REASONS, SHALL BE REQUIRED TO RE-EXCAVATE THE AREA IN QUESTION, DOWN TO THE BEDDING MATERIAL, THEN BACKFILL FOLLOWING THE ABOVE PROCEDURES.

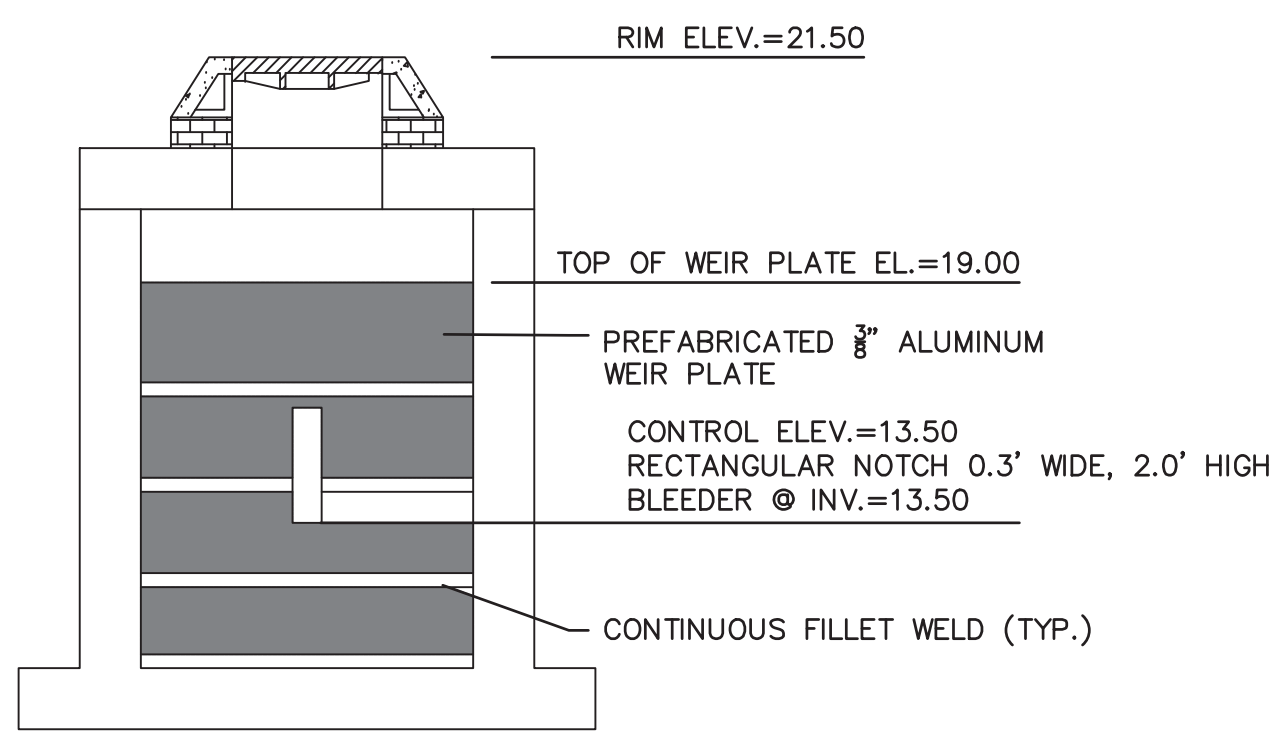
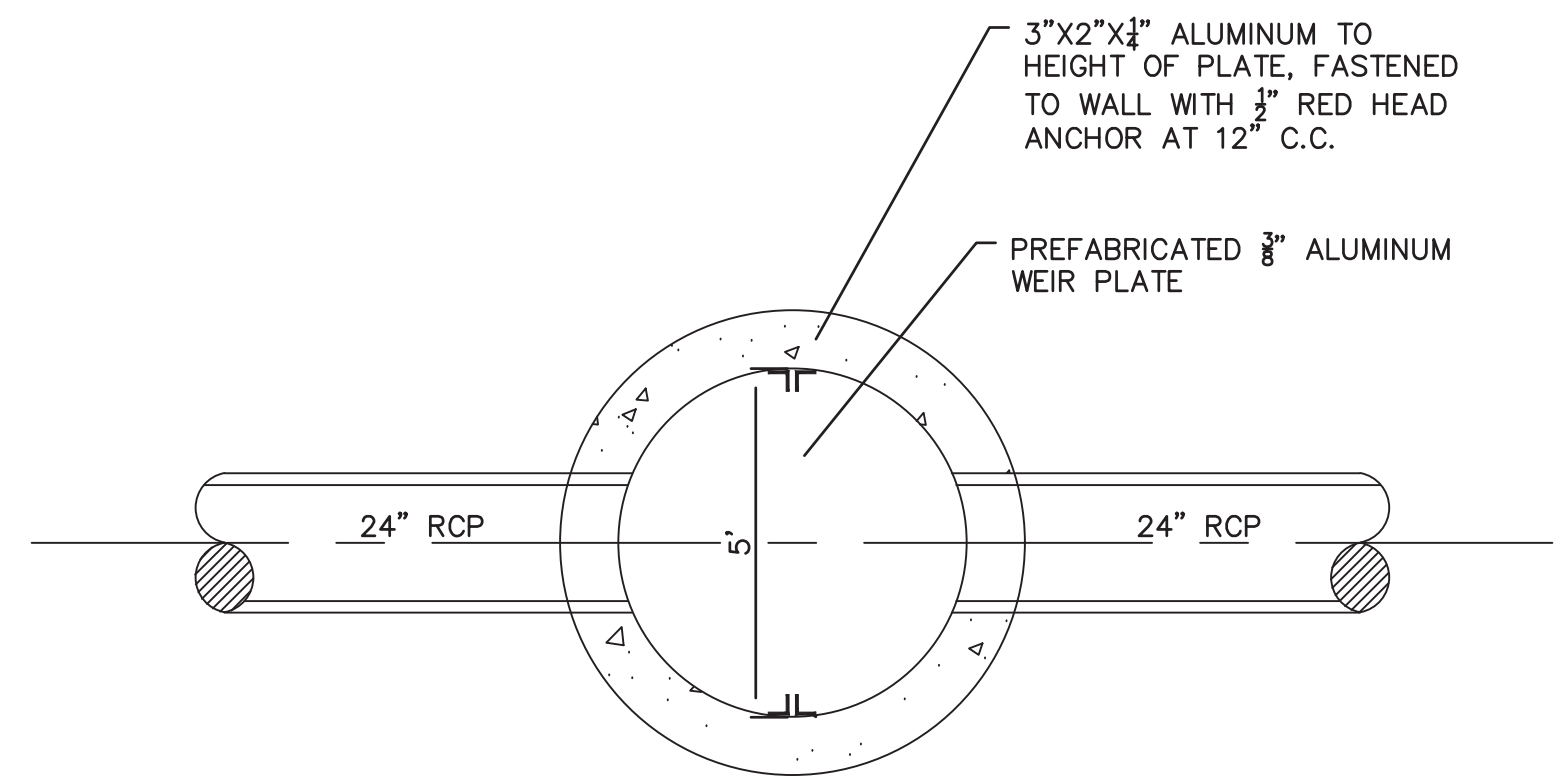
**TYPICAL TRENCH
DETAIL**



TYPE "C" DITCH BOTTOM INLET
NTS



CONCAVE FRAME AND GRATE
(U.S.F. NO. 4155 OR APPROVED EQUAL)



TYPE C6 - CONTROL STRUCTURE

ON-SITE PAVING AND DRAINAGE SPECIFICATIONS:

- ALL ORGANIC OR DELETERIOUS MATERIAL SHALL BE REMOVED FROM WITHIN 5 FEET OF ANY EDGE OF PAVEMENT. ANY SUCH MATERIAL SHALL BE REPLACED BY APPROVED GRANULAR FILL WHICH SHALL BE PLACED AND IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING REPORT FOR THE SITE.
- STABILIZED SUBGRADE SHALL HAVE A LIMEROCK BEARING RATIO (LBR) OF 40 AND SHALL BE COMPACTED TO 98% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.
- LIMEROCK BASE COURSE SHALL CONFORM TO THE REQUIREMENTS OF SECTION 311 OF FLORIDA D.O.T. STANDARD SPECIFICATIONS. THE MINIMUM PERCENTAGE OF CARBONATES OF CALCIUM AND MAGNESIUM SHALL BE 70%, LIQUID LIMIT 35 PLASTICITY 8, MIN LBR 100 OR ACCEPTABLE FOOT PRODUCT APPROVAL.
- ASPHALTIC CONCRETE TYPE S-3 SHALL CONFORM TO THE REQUIREMENTS OF SECTION 331 OF FLORIDA D.O.T. STANDARD SPECIFICATIONS.
- PRIME COAT AND TACK COAT FOR BASE COURSES SHALL CONFORM TO THE REQUIREMENTS OF SECTIONS 300-1 THROUGH 300-7 OF FLORIDA D.O.T. STANDARD SPECIFICATIONS. PRIME COAT SHALL BE APPLIED AT A RATE OF 0.25 GALLONS PER SQUARE YARD AND TACK COAT AT A RATE OF 0.08 GALLONS PER SQUARE YARD UNLESS A VARIATION RATE IS APPROVED BY THE ENGINEER.
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS, EXCEPT DRAINAGE STRUCTURES.
- PRECAST CONCRETE MANHOLES AND CATCH BASINS SHALL MEET THE REQUIREMENTS OF A.S.T.M. SPECIFICATIONS C-479 AND 647.
- CONCRETE FOR PRECAST MANHOLES AND CATCH BASINS SHALL HAVE MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS.
- REINFORCING STEEL FOR MANHOLES AND CATCH BASINS SHALL CONFORM TO A.S.T.M. SPECIFICATIONS A-615 AND A-305, LATEST REVISION. GRADE 60 STEEL SHALL BE USED FOR TOP AND BOTTOM SLABS.
- ALL RE-BAR SPLICES IN CONCRETE STRUCTURES SHALL HAVE A MINIMUM LAP OF 24 BAR DIAMETERS.
- ALL JOINTS IN CONCRETE STRUCTURES SHALL BE FINISHED WATER TIGHT.
- ALL SPACES AROUND PIPING ENTERING OR LEAVING MANHOLES AND CATCH BASINS SHALL BE COMPLETELY FILLED WITH 2:1 WATERPROOF, NON-SHRINKING CEMENT MORTAR.
- REINFORCED CONCRETE PIPE (RCP) SHALL CONFORM TO THE REQUIREMENTS OF A.S.T.M. SPECIFICATION C-76, FOR CLASS III, WALL THICKNESS "B" REINFORCED CONCRETE PIPE, AND AS MODIFIED IN SECTION 941 OF FLORIDA D.O.T. STANDARD SPECIFICATION.
- CORRUGATED METAL PIPE SHALL CONFORM TO THE REQUIREMENTS OF SECTION 945 OF FLORIDA D.O.T. STANDARD SPECIFICATIONS.
- PVC DRAINAGE PIPE SHALL CONFORM TO THE REQUIREMENTS OF SECTION 945 OF FLORIDA D.O.T. STANDARD SPECIFICATIONS.
- HDPE PIPE SHALL BE ADS N-12 OR APPROVED EQUAL.
- ALL LABOR, MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE MINIMUM ENGINEERING AND CONSTRUCTION STANDARDS ADOPTED BY CITY OF PORT ST LUCIE PUBLIC WORKS AND THE PLANS AND CONSTRUCTION SPECIFICATIONS. WHERE CONFLICTS OR OMISSIONS EXIST, THE CITY OF PORT ST LUCIE PUBLIC WORKS STANDARDS SHALL DICTATE. SUBSTITUTIONS AND DEVIATIONS FROM PLANS AND SPECIFICATIONS SHALL BE PERMITTED ONLY WHEN WRITTEN APPROVAL HAS BEEN ISSUED BY THE ENGINEER.
- THE EXISTING ELEVATIONS SHOWN ON THE GRADING PLAN INDICATES THE ELEVATION AT THE POINT DEPICTED ONLY, AND SHOULD NOT BE INTERPRETED AS INDICATING THE ELEVATIONS OF ANY OTHER POINT. THESE EXISTING ELEVATIONS ARE IN NO WAY AN INDICATOR OF SURFACE OR SUBSURFACE SOIL CONDITIONS.
- BITUMINOUS COATING REQUIRED FOR ALL CORRUGATED METAL PIPE (CMP).

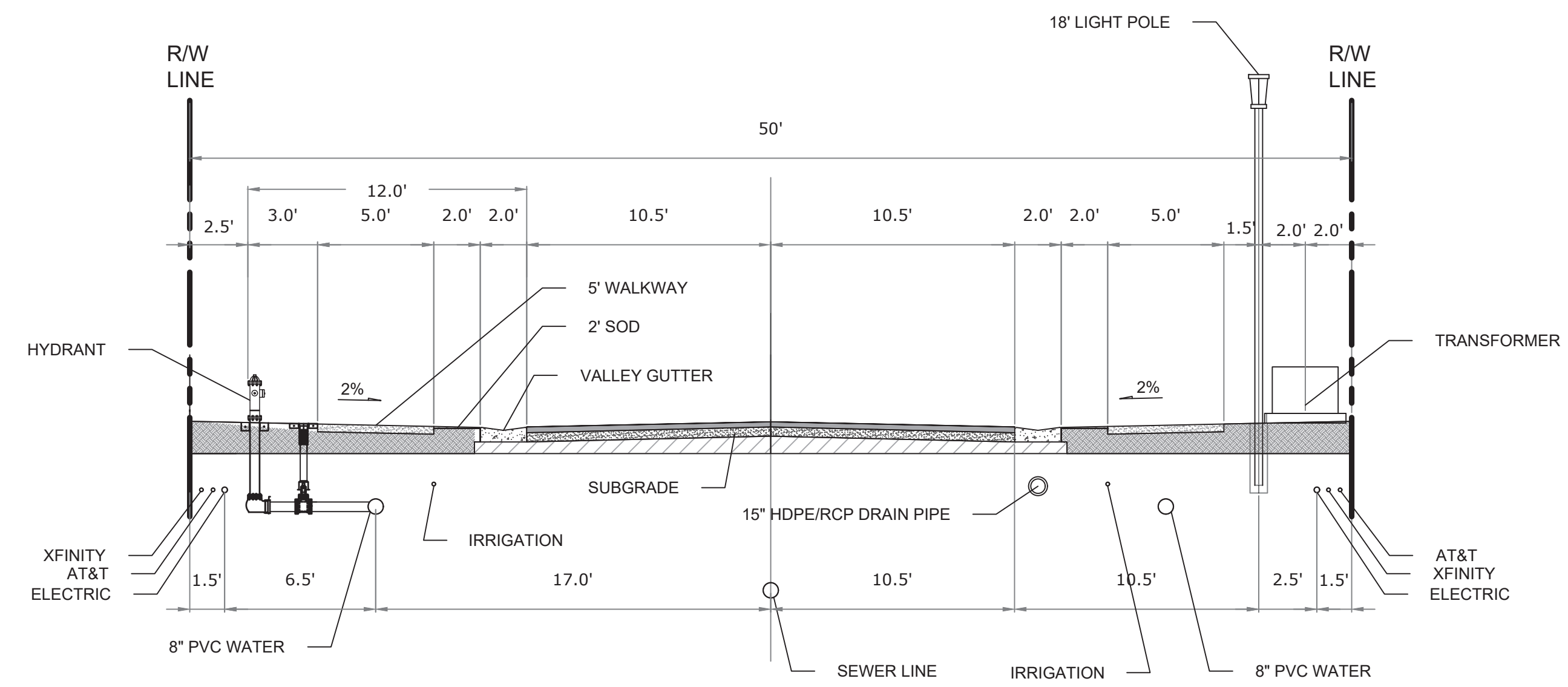
EROSION CONTROL

- STABILIZATION PRACTICES**
WHERE CONSTRUCTION OF FILL STOCKPILES ADJACENT TO CONSTRUCTION ACTIVITIES CEASES FOR AT LEAST 7 DAYS, THE SIDES WILL BE STABILIZED BY SEEDING AND MULCHING IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 1991, SECTION 570. SEED AND MULCH SHALL BE APPLIED NO LATER THAN 7 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THE AREA.
- PERMANENT STABILIZATION**
ALL LANDSCAPING, INCLUDING SODDING, SHALL BE INSTALLED ON THE PERIMETER LANDSCAPE BERMS IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN WITHIN 14 DAYS OF THE LAST CONSTRUCTION ACTIVITY IN THE LANDSCAPE BUFFER AREAS.
- OFF-SITE VEHICLE TRACKING**
A STABILIZED CONSTRUCTION ENTRANCE CONSISTING OF MINIMUM 4" COMPACTED LIMEROCK BASE WILL BE CONSTRUCTED AS SOON AS CONSTRUCTION STARTS TO REDUCE THE AMOUNT OF VEHICLE TRACKING FROM THE SITE. THE PAVED STREET ADJACENT TO THE CONSTRUCTION ENTRANCE WILL BE SWEEPED ON A REGULAR BASIS TO REMOVE ANY ACCUMULATION OF DIRT OR ROCKS WHICH HAVE BEEN TRACKED FROM THE SITE. ALL DUMP TRUCKS BRINGING MATERIAL TO OR LEAVING THE SITE WILL BE COVERED WITH A TARPULIN.
- EROSION AND SEDIMENT CONTROL, INSPECTION AND MAINTENANCE PRACTICES**
 - ALL CONTROL MEASURES WILL BE INSPECTED AT LEAST ONCE WEEKLY AND FOLLOWING ANY STORM EVENT GREATER THAN 1/2"
 - REPAIRS WILL BE COMPLETED WITHIN 24 HOURS.
 - THE PERIMETER SWALES WILL BE INSPECTED REGULARLY AND REGRADED AS NECESSARY TO REMOVE THE BUILT UP SEDIMENT.
 - TEMPORARY SEED AND MULCH AREAS AND PERMANENT SOD AREAS WILL BE INSPECTED REGULARLY FOR BARE SPOTS AND TO ENSURE ADEQUATE GROWTH.
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 - FILTER FABRIC SHALL BE SECURED IN ALL CATCH BASINS UNTIL COMPLETION OF CONSTRUCTION.

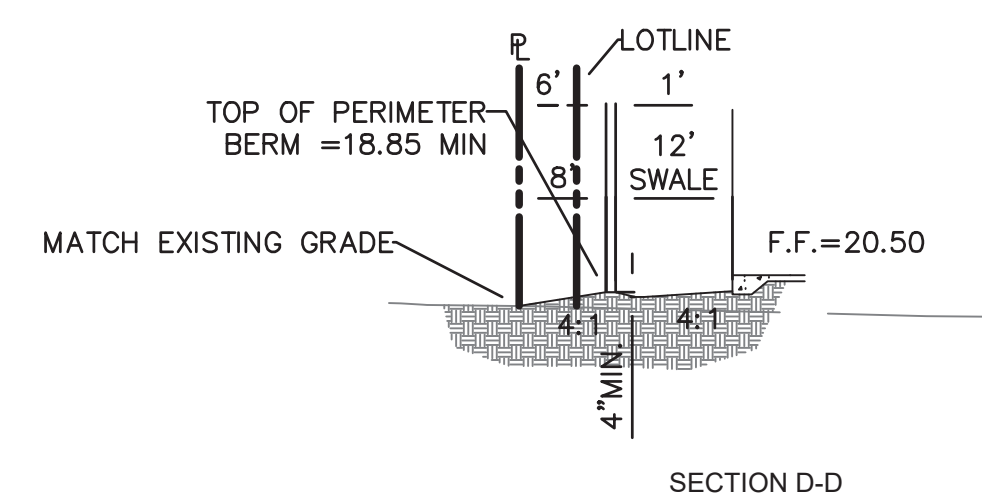
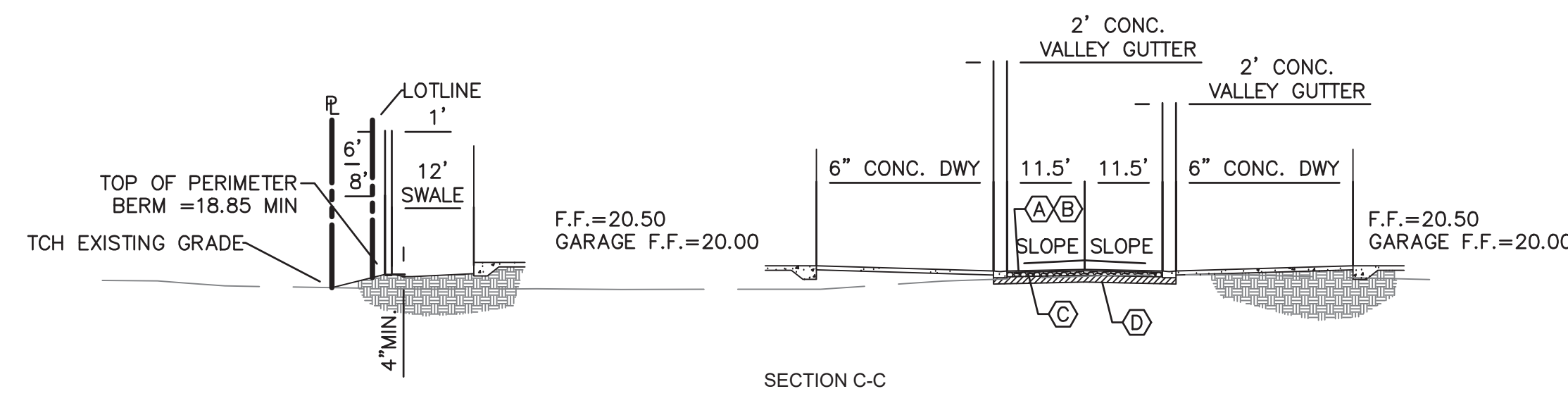
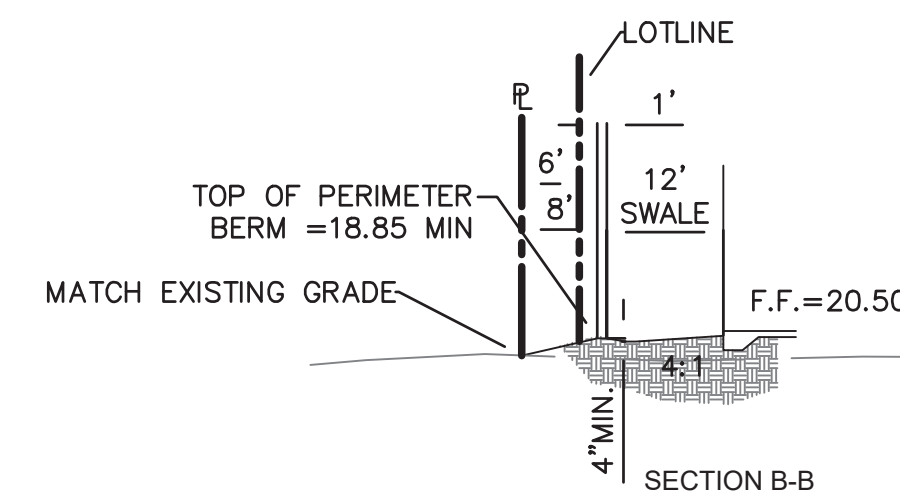
**ATLANTIC
ENGINEERING
SERVICES,
INC.**

IMTIAZ AHMED, PE
PE#46102
2826 WATERS EDGE CIRCLE
GREENACRES, FLORIDA 33413
PHONE - (561) 358-4140
FAX - (561) 966-9242
CERTIFICATE OF
AUTHORIZATION NO.: 9390

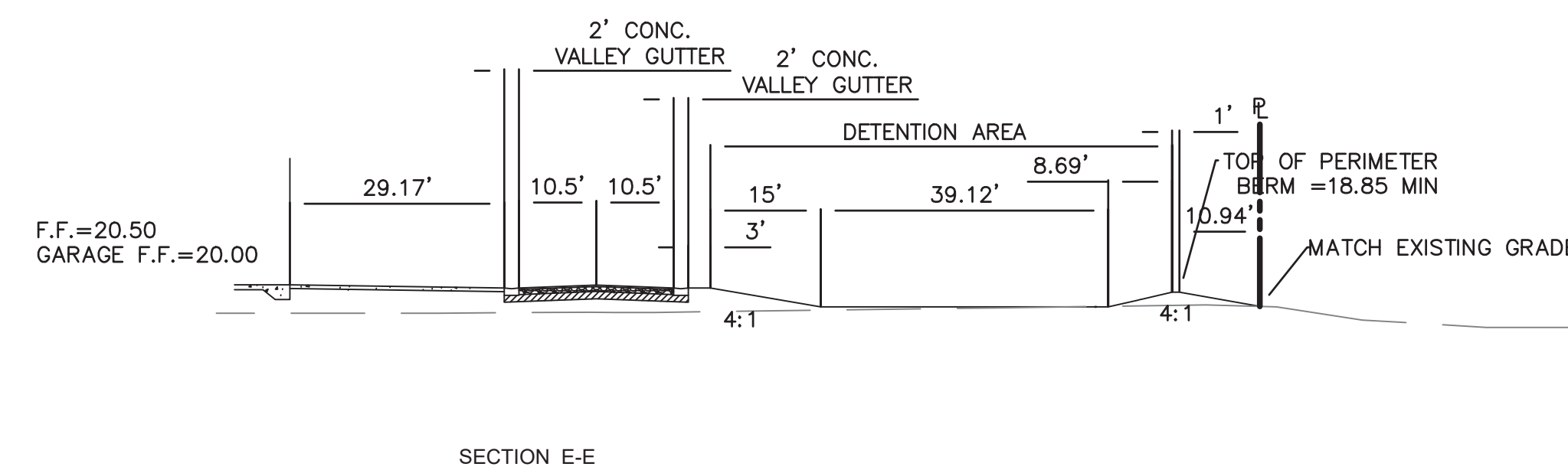
CLIENT:
GATOR TRACE ON
THE GREENS, LLC
17305 S DIXIE HWY.
PALMETTO BAY, FL 33157



TYPICAL 50' ROADWAY TRACT SECTION



| PAVING SPECIFICATIONS | |
|-----------------------|--|
| (A) | 1-1/2" THICK ASPHALTIC CONCRETE, TYPE S-III - 2-3/4" LIFTS |
| (B) | PRIME AND TACK COAT |
| (C) | 8" LIMEROCK BASE COMPACTED IN (2) 4" LAYERS TO 98% MAX (DENSITY AASHTO T-180.) |
| (D) | 12" SUBGRADE COMPACTED TO 98% MAX. DENSITY AASHTO T-180 STABILIZED TO LBR 40 OR FBV 50 P.S.I. |
| (E) | FRICITION COURSE FC-9.5 OVER 1-1/2" IN TYPE SP STRUCTURAL COURSE (TRAFFIC LEVEL C) WITH TACK COAT. |
| (F) | OPTIONAL BASE GROUP 13 WITH PRIME COAT. COMPACTED TO 98% DRY DENSITY PER AASHTO T-180. |
| (G) | COMPACTED SUBGRADE SHALL BE COMPACTED TO 98% DRY DENSITY PER AASHTO T-180. |



**GATOR TRACE
ON THE GREENS
TOWNHOMES**

GATOR TRACE
FORT PIERCE, FL 34982

TO THE BEST OF MY KNOWLEDGE, THE PLANS AND SPECIFICATIONS SUBMITTED HERewith COMPLY WITH EXISTING INTERPRETATIONS AND PROVISIONS OF THE APPLICABLE BUILDING CODES.

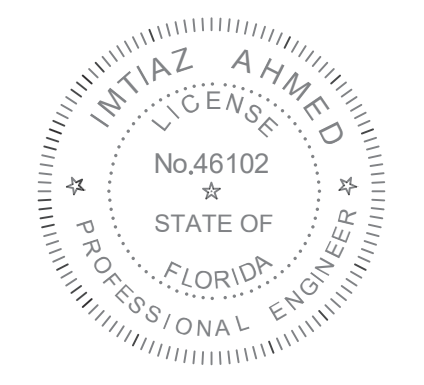
THE ARCHITECT OF RECORD AND THE GENERAL CONTRACTOR & SUB CONTRACTORS SHALL REVIEW THE PLANS ANY DISCREPANCY SHALL BE REPORTED TO ENGINEER OF RECORD PRIORITY OF CONSTRUCTION OR IMMEDIATELY.

| REVISIONS | DATE |
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SHEET:

C-11

FIRE HYDRANT, TRAFFIC
SIGN & PAVEMENT



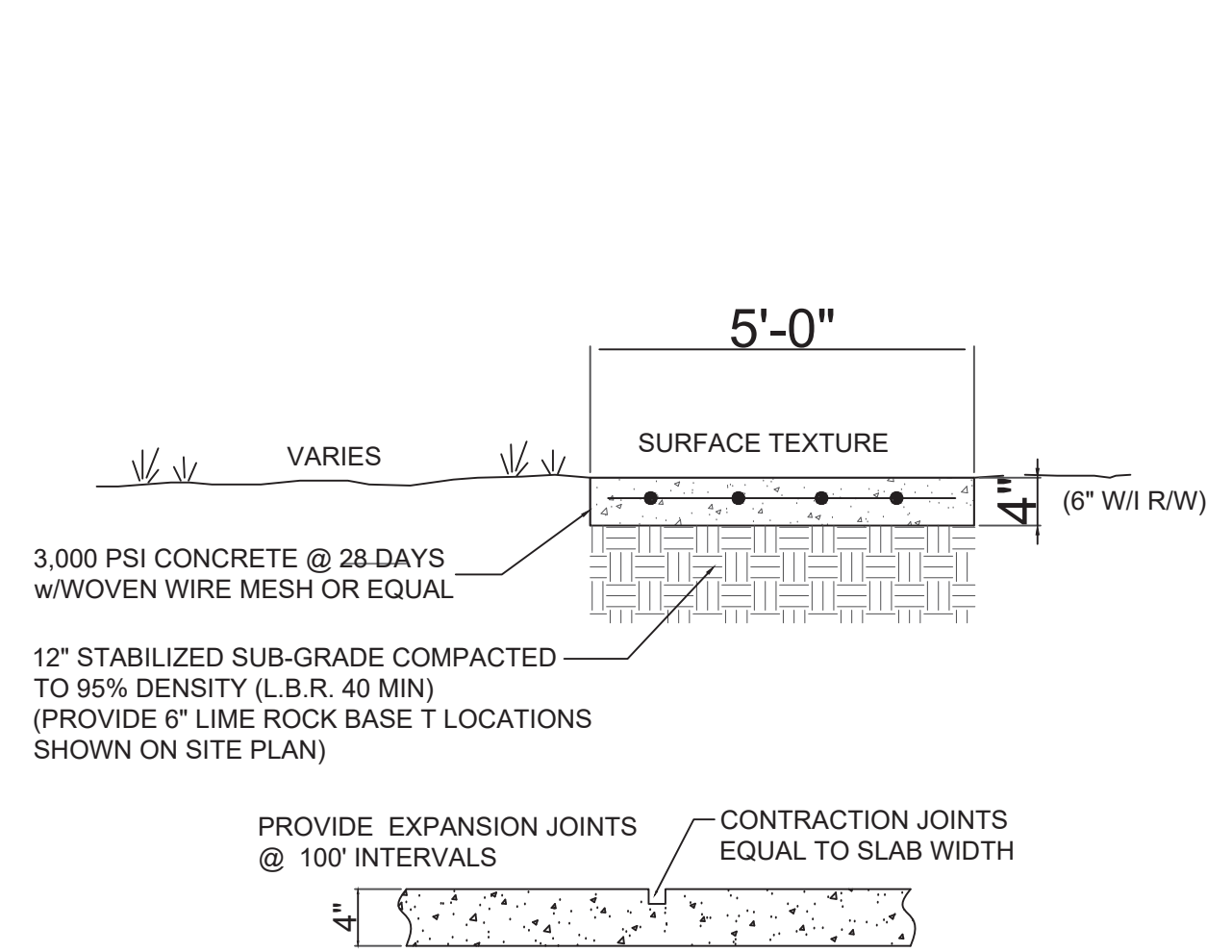
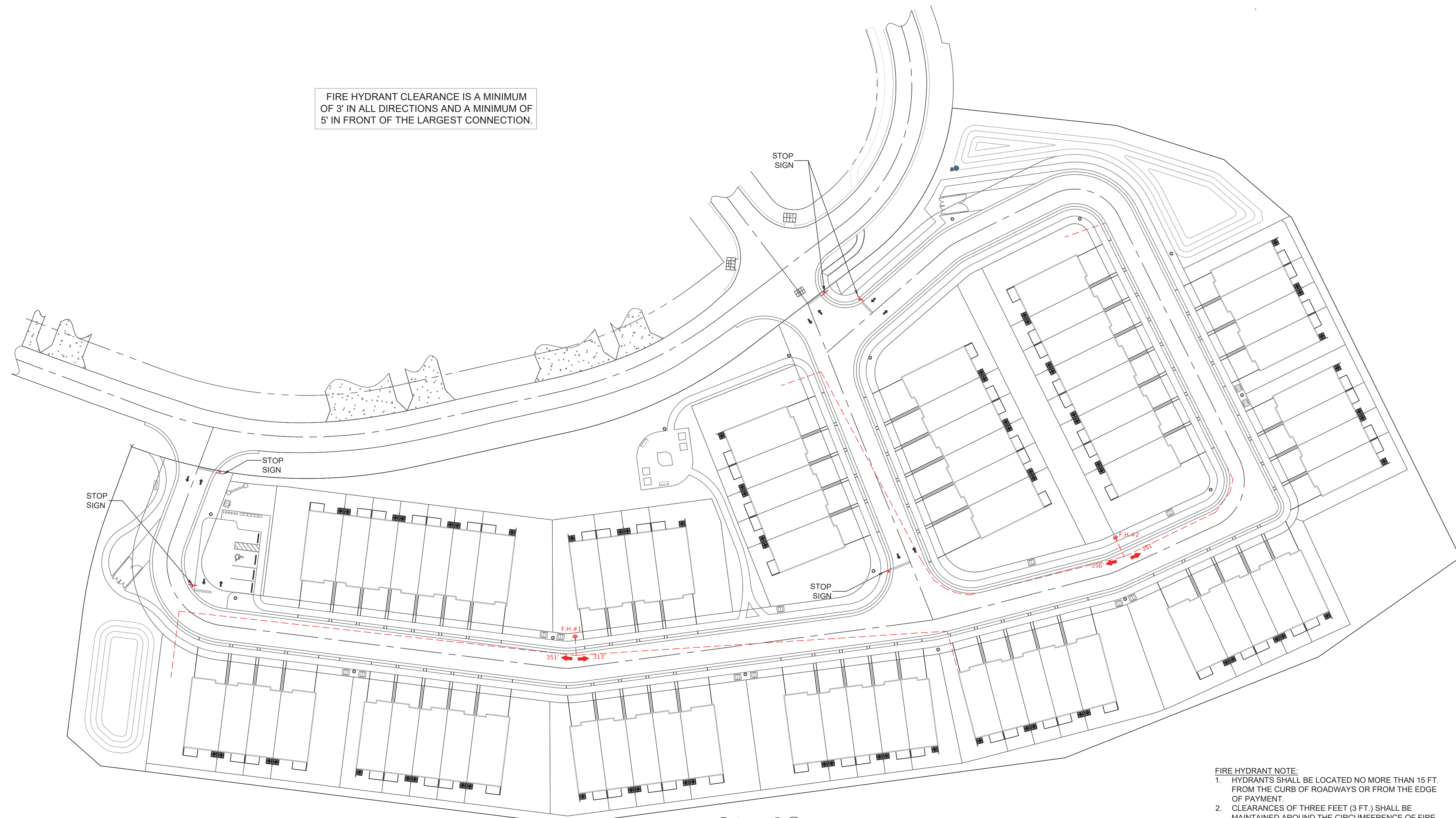
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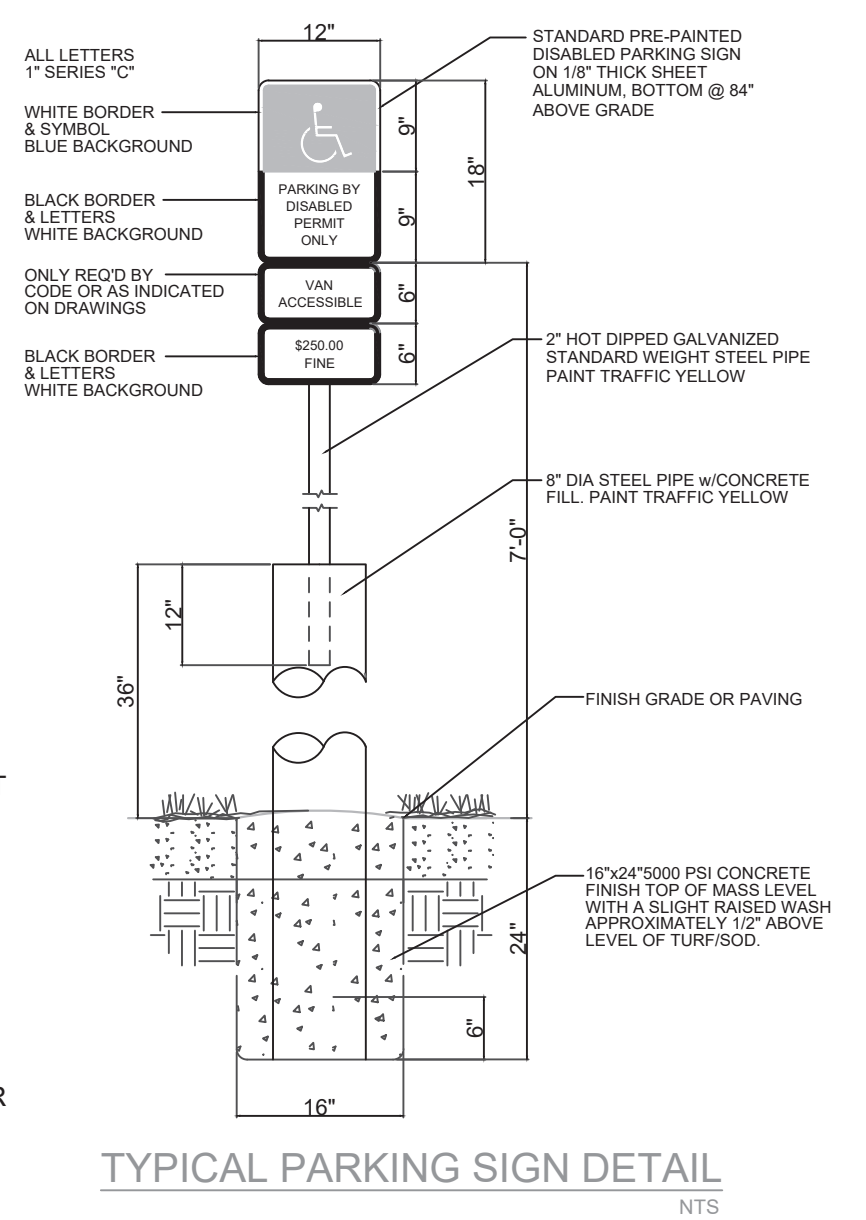
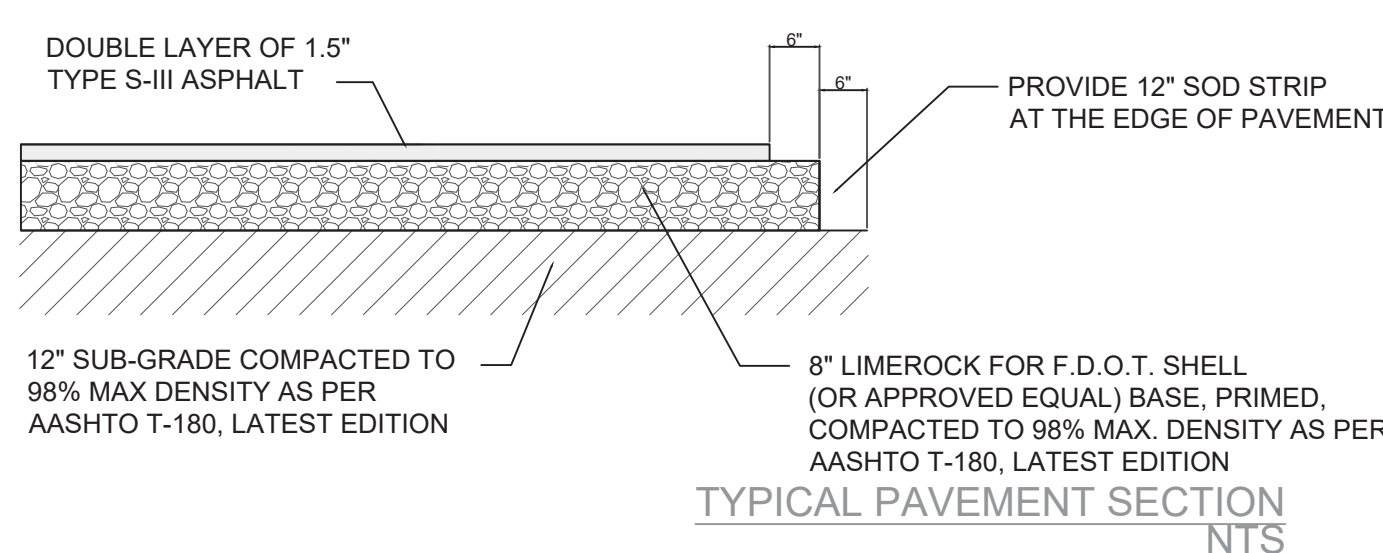
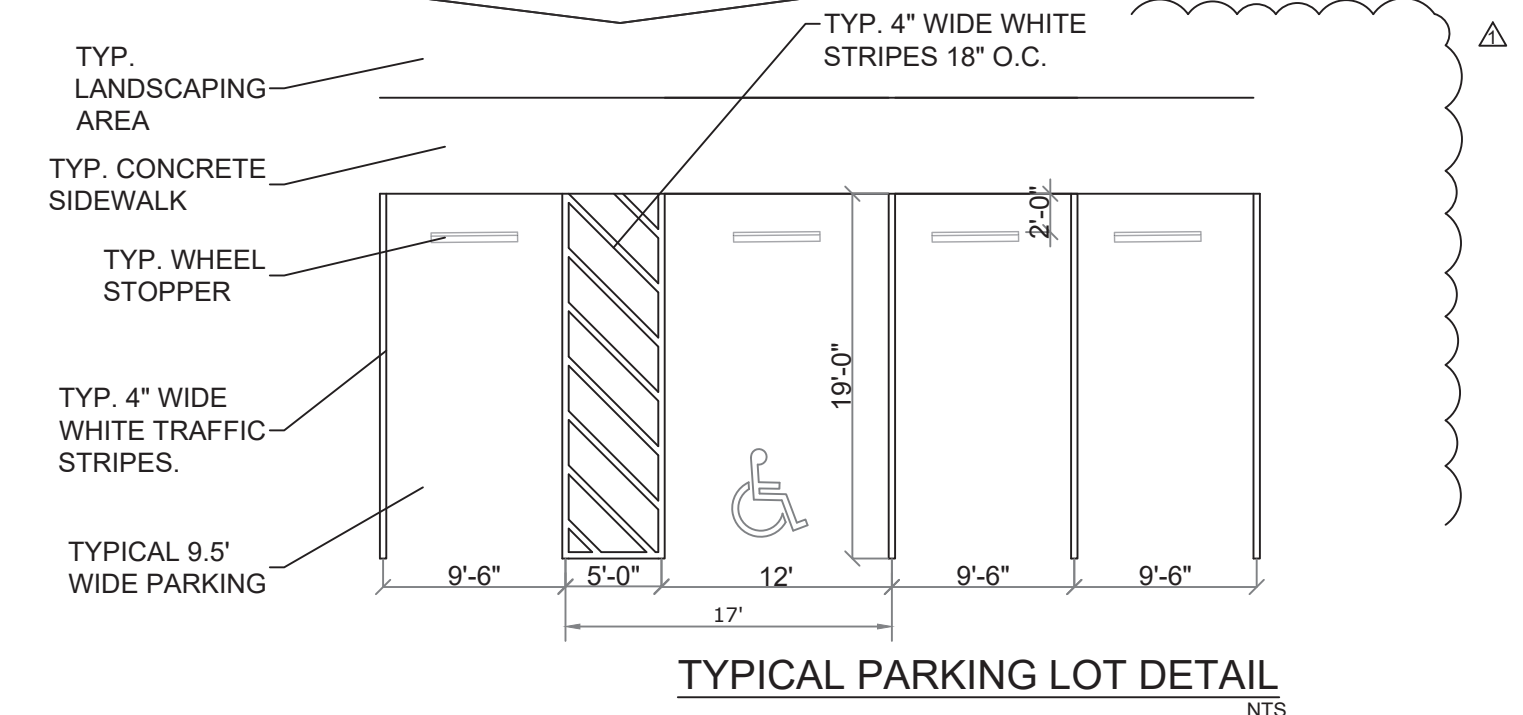
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PALMETTO BAY, FL 33157

**GATOR TRACE
ON THE GREENS
TOWNHOMES**
GATOR TRACE
FORT PIERCE, FL 34982

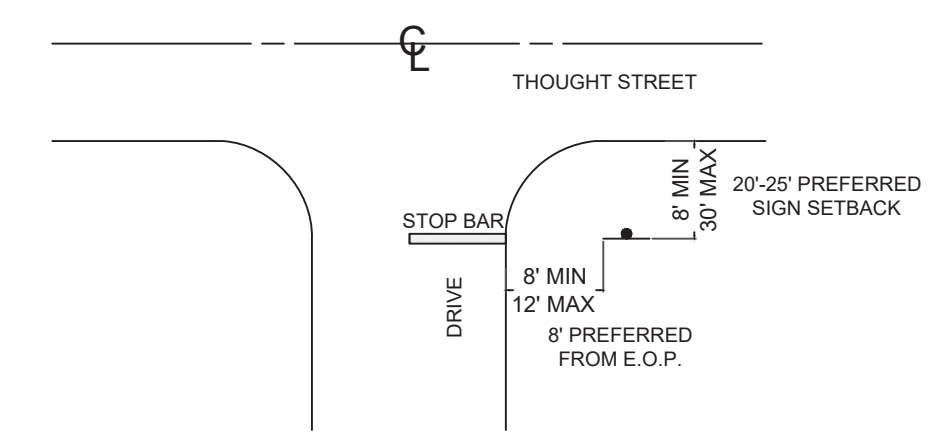
FIRE HYDRANT CLEARANCE IS A MINIMUM
OF 3' IN ALL DIRECTIONS AND A MINIMUM OF
5' IN FRONT OF THE LARGEST CONNECTION.



NOTES:
1- SIDEWALK TO HAVE EXPANSION JOINTS AT A MAX SPACING OF 100' AND CONTRACTION JOINTS AT INTERVALS EQUAL TO THE WIDTH OF THE SLAB BUT NOT MORE THAN 10'-0". NO JOINTS SHALL BE CLOSER THAN 4'-0"
2- 3,000 PSI CONCRETE SHALL BE USED FOR ALL ROADWAY AND DRAINAGE STRUCTURE.
3- CONSTRUCTION SHALL COMPLY W/ADA ACT AT CURBS, GUTTERS, SIDEWALKS INTERSECTIONS AND ETC



- FIRE HYDRANT NOTE:**
- HYDRANTS SHALL BE LOCATED NO MORE THAN 15 FT. FROM THE CURB OF ROADWAYS OR FROM THE EDGE OF PAYMENT.
 - CLEARANCES OF THREE FEET (3 FT.) SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF FIRE HYDRANTS.
 - A CLEAR SPACE OF NOT LESS THAN FIVE FEET (5 FT.) SHALL BE PROVIDED IN FRONT OF EACH HYDRANT CONNECTION HAVING A DIAMETER GREATER THAN 2 1/2 INCHES.
 - THE CENTER OF HOSE OUTLET SHALL BE NOT LESS THAN 18 INCHES ABOVE FINAL GRADE.



NOTE: SIGN SHALL COMPLY W/MTCD STANDARDS
LOCATION OF SIGN AT OR NEAR STOP LINE IS PREFERRED.
STANDARD SIZE IS 30". STEER MANE SIGN IS NORMALLY LOCATED ON THE OPPOSITE CORNER IN THE SAME MANNER AS THE STOP SIGN

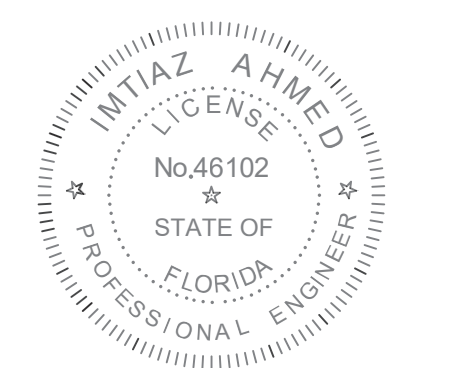
CLEAR VISIBILITY AT EACH INTERSECTION IS IMPORTANT AND THE SETBACKS MAY BE VARIED BETWEEN THE MINIMUM AND THE MAXIMUM TO PROVIDE THE OPTIMUM LOCATION

TO THE BEST OF MY KNOWLEDGE, THE PLANS AND SPECIFICATIONS SUBMITTED HEREWITH COMPLY WITH EXISTING INTERPRETATIONS AND PROVISIONS OF THE APPLICABLE BUILDING CODES.

THE ARCHITECT OF RECORD AND THE GENERAL CONTRACTOR & SUB CONTRACTORS SHALL REVIEW THE PLANS ANY DISCREPANCY SHALL BE REPORTED TO ENGINEER OF RECORD PRIORITY OF CONSTRUCTION OR IMMEDIATELY.

| REVISIONS | DATE |
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SHEET:
C-12
FIRE HYDRANT, TRAFFIC
SIGN & PAVEMENT PLAN



SEQUENCE OF CONSTRUCTION

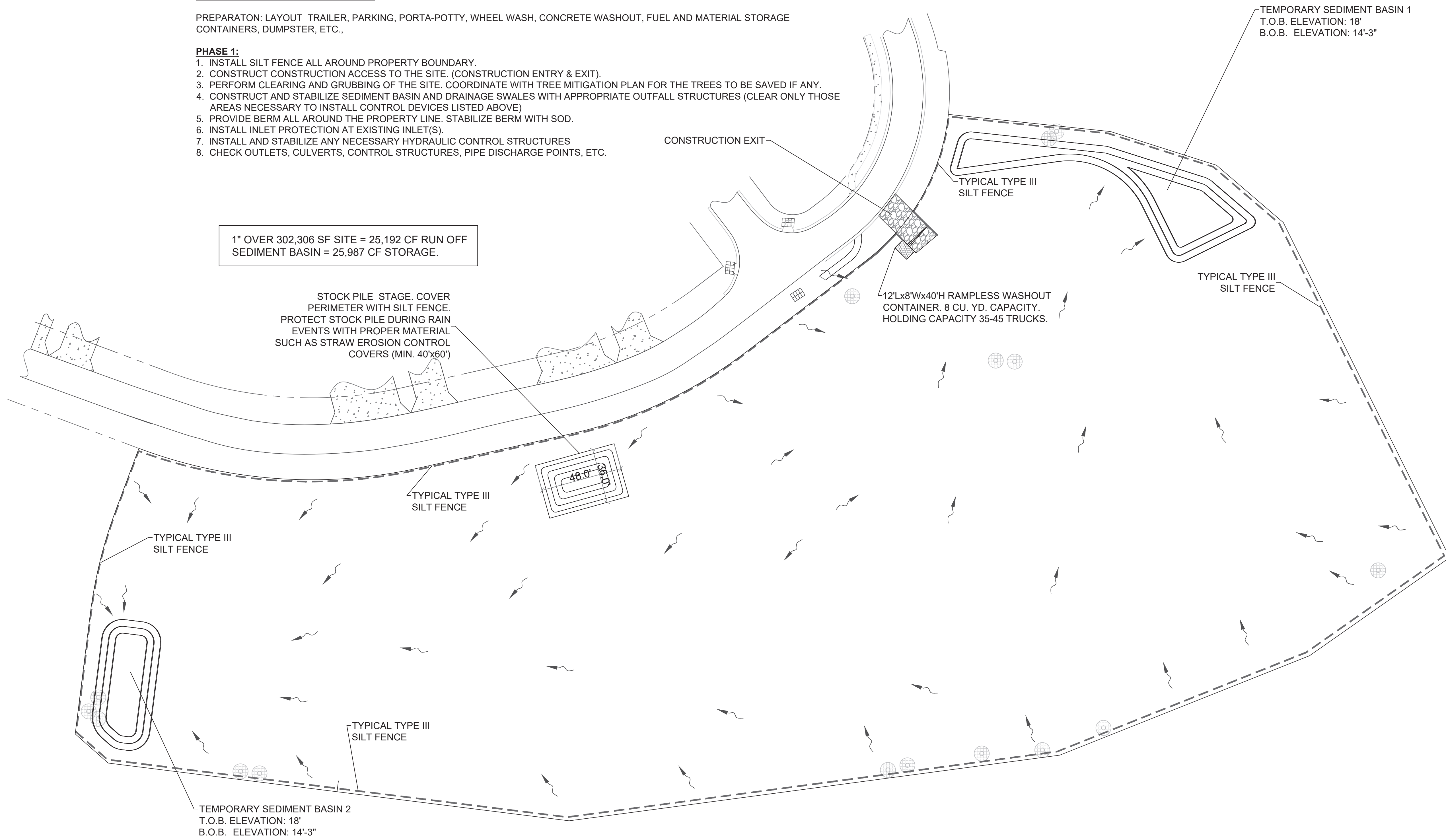
PREPARATION: LAYOUT TRAILER, PARKING, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL AND MATERIAL STORAGE CONTAINERS, DUMPSTER, ETC.,

PHASE 1:

1. INSTALL SILT FENCE ALL AROUND PROPERTY BOUNDARY.
2. CONSTRUCT CONSTRUCTION ACCESS TO THE SITE. (CONSTRUCTION ENTRY & EXIT).
3. PERFORM CLEARING AND GRUBBING OF THE SITE. COORDINATE WITH TREE MITIGATION PLAN FOR THE TREES TO BE SAVED IF ANY.
4. CONSTRUCT AND STABILIZE SEDIMENT BASIN AND DRAINAGE SWALES WITH APPROPRIATE OUTFALL STRUCTURES (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL CONTROL DEVICES LISTED ABOVE)
5. PROVIDE BERM ALL AROUND THE PROPERTY LINE. STABILIZE BERM WITH SOD.
6. INSTALL INLET PROTECTION AT EXISTING INLET(S).
7. INSTALL AND STABILIZE ANY NECESSARY HYDRAULIC CONTROL STRUCTURES
8. CHECK OUTLETS, CULVERTS, CONTROL STRUCTURES, PIPE DISCHARGE POINTS, ETC.

1" OVER 302,306 SF SITE = 25,192 CF RUN OFF
SEDIMENT BASIN = 25,987 CF STORAGE.

STOCK PILE STAGE. COVER PERIMETER WITH SILT FENCE. PROTECT STOCK PILE DURING RAIN EVENTS WITH PROPER MATERIAL SUCH AS STRAW EROSION CONTROL COVERS (MIN. 40'x60')



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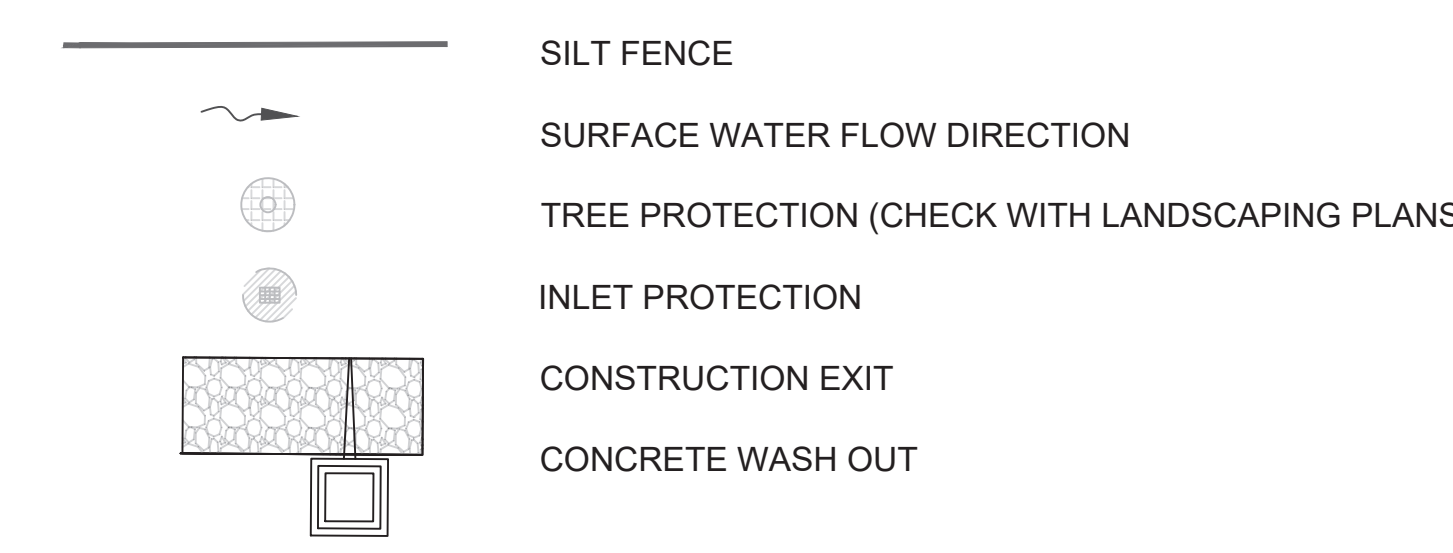
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EROSION CONTROL

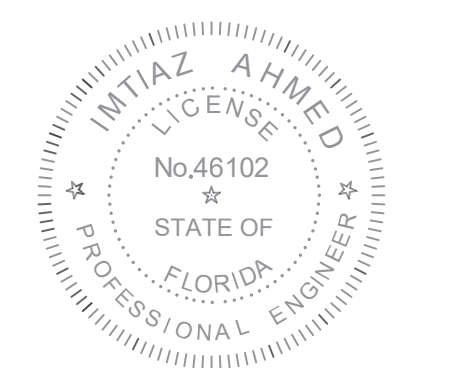
1. STABILIZATION PRACTICES
WHERE CONSTRUCTION OF FILL STOCKPILES ADJACENT TO CONSTRUCTION ACTIVITIES CEASES FOR AT LEAST 21 DAYS, THE SIDES WILL BE STABILIZED BY SEEDING AND MULCHING IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 1991, SECTION 570. SEED AND MULCH SHALL BE APPLIED NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THE AREA.
2. PERMANENT STABILIZATION
ALL LANDSCAPING, INCLUDING SODDING, SHALL BE INSTALLED ON THE PERIMETER LANDSCAPE BERMS IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN WITHIN 14 DAYS OF THE LAST CONSTRUCTION ACTIVITY IN THE LANDSCAPE BUFFER AREAS.
3. OFF-SITE VEHICLE TRACKING
A STABILIZED CONSTRUCTION ENTRANCE CONSISTING OF MINIMUM 4" COMPACTED LIMEROCK BASE WILL BE CONSTRUCTED AS SOON AS CONSTRUCTION STARTS TO REDUCE THE AMOUNT OF VEHICLE TRACKING FROM THE SITE. THE PAVED STREET ADJACENT TO THE CONSTRUCTION ENTRANCE WILL BE SWEEPED ON A REGULAR BASIS TO REMOVE ANY ACCUMULATION OF DIRT OR ROCKS WHICH HAVE BEEN TRACKED FROM THE SITE. ALL DUMP TRUCKS BRINGING MATERIAL TO, OR LEAVING THE SITE WILL BE COVERED WITH A TARPULIN.
4. EROSION AND SEDIMENT CONTROL, INSPECTION AND MAINTENANCE PRACTICES
 - ALL CONTROL MEASURES WILL BE INSPECTED AT LEAST ONCE WEEKLY AND FOLLOWING ANY STORM EVENT GREATER THAN 1/2".
 - REPAIRS WILL BE COMPLETED WITHIN 24 HOURS.
 - THE PERIMETER SWALES WILL BE INSPECTED REGULARLY AND RE-GRADED AS NECESSARY TO REMOVE THE BUILT UP SEDIMENT.
 - TEMPORARY SEED AND MULCH AREAS AND PERMANENT SOD AREAS WILL BE INSPECTED REGULARLY FOR BARE SPOTS AND TO ENSURE ADEQUATE GROWTH.
 - TURBIDITY SCREENS SHALL BE INSPECTED REGULARLY, AND REPAIRED AS NECESSARY.
 - FILTER FABRIC SHALL BE SECURED IN ALL CATCH BASINS UNTIL COMPLETION OF CONSTRUCTION.

EROSION CONTROL & STORMWATER POLLUTION PREVENTION LEGEND:



Sunshine811
Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.
Check positive response codes before you dig!

ALL OVERHEAD & UNDERGROUND UTILITIES TO BE LOCATED AND MARKED



SEQUENCE OF CONSTRUCTION

PHASE 2:

1. START BRINGING CLEAN FILL MATERIAL AND PERFORM GRADING, AND DENSITY TESTING.
2. CONSTRUCT BUILDING FOUNDATIONS.
3. TEMPORARILY SEED WITH PURE LIVE SEED, THROUGHOUT CONSTRUCTION, DISTURBED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE OR AS REQUIRED BY GENERIC PERMIT.
4. INSTALL ALL NECESSARY PIPES SUCH AS, UTILITIES, STORMWATER PIPES,.
5. INSTALL ALL CURBS.
6. INSTALL INLET PROTECTION AT ALL STORM DRAIN INLETS AS EACH INLET IS INSTALLED.
7. PERMANENTLY STABILIZED FINAL GRADE AREAS SHALL BE VEGETATED
8. SITE SHALL BE PAVED AS SOON AS POSSIBLE.
9. CLEAN ALL THE CATCH BASINS, CONTROL STRUCTURES, CULVERTS, PIPES, ETC. PROVIDE WET VACUUM IF NECESSARY
10. CONTACT THE CONSULTANT TO PERFORM INSPECTION AND CERTIFICATION.
11. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER INSPECTION AND APPROVAL OF THE ENGINEER AND STABILIZE ANY AREA DISTURBED.

**ATLANTIC
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**GATOR TRACE
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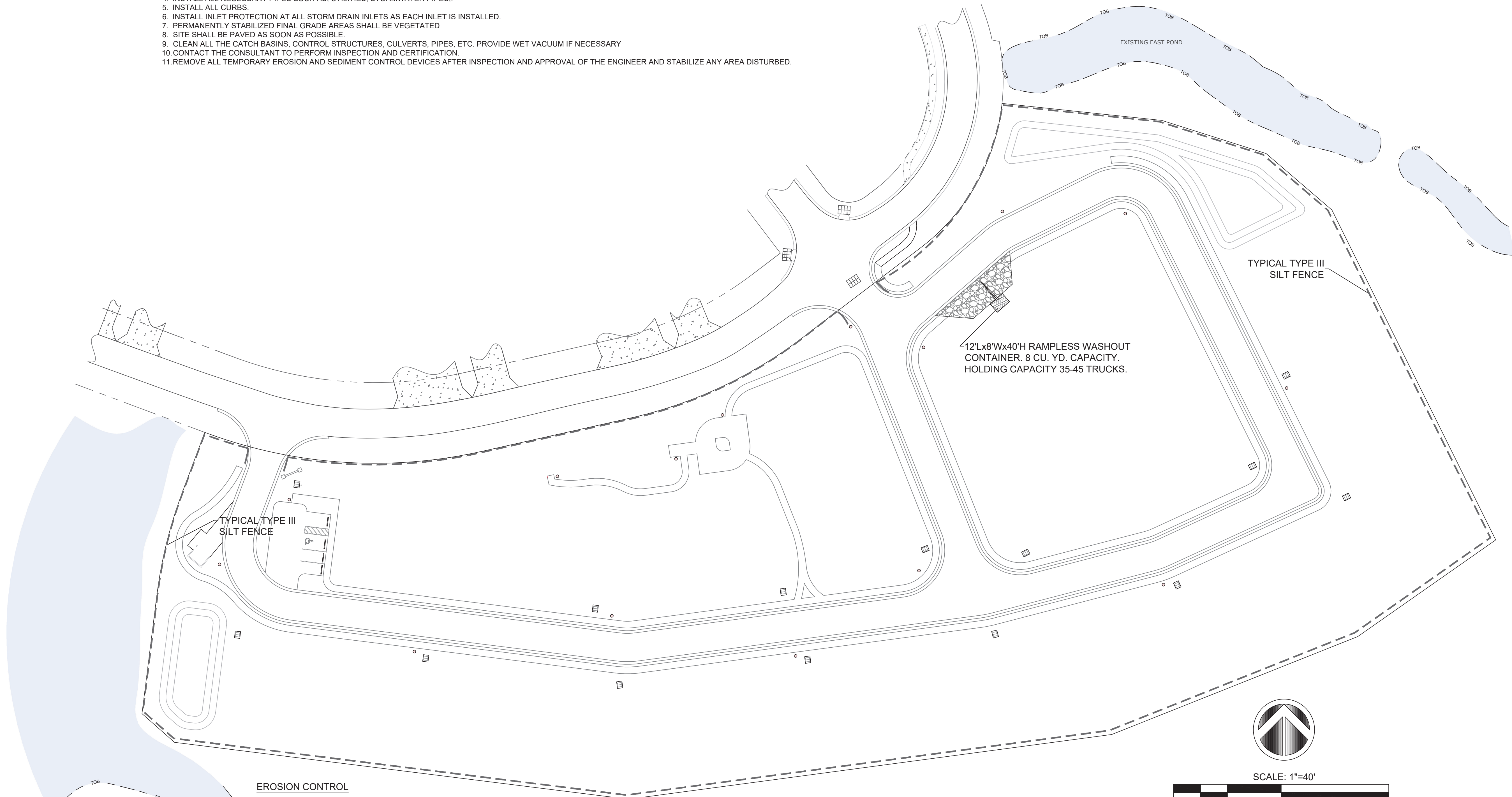
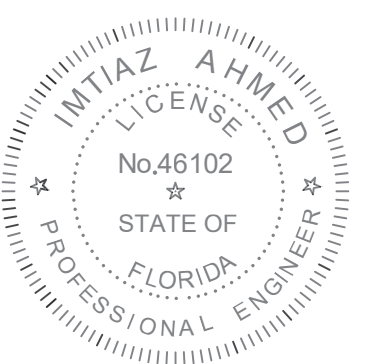
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TO ENGINEER OF RECORD PRIORITY OF
CONSTRUCTION OR IMMEDIATELY.
REVISIONS DATE

SHEET:

C-14

EROSION CONTROL &
STORMWATER POLLUTION
PREVENTION PLAN - PHASE 2



EROSION CONTROL

1. STABILIZATION PRACTICES

WHERE CONSTRUCTION OF FILL STOCKPILES ADJACENT TO CONSTRUCTION ACTIVITIES CEASES FOR AT LEAST 21 DAYS, THE SIDES WILL BE STABILIZED BY SEEDING AND MULCHING IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 1991, SECTION 570. SEED AND MULCH SHALL BE APPLIED NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THE AREA.

2. PERMANENT STABILIZATION

ALL LANDSCAPING, INCLUDING SODDING, SHALL BE INSTALLED ON THE PERIMETER LANDSCAPE BERMS IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN WITHIN 14 DAYS OF THE LAST CONSTRUCTION ACTIVITY IN THE LANDSCAPE BUFFER AREAS.

3. OFF-SITE VEHICLE TRACKING

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4. EROSION AND SEDIMENT CONTROL, INSPECTION AND MAINTENANCE PRACTICES

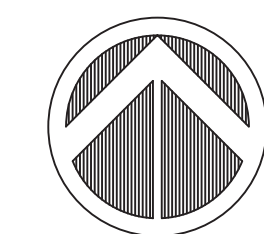
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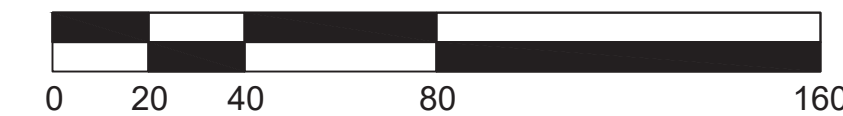
ALL OVERHEAD & UNDERGROUND UTILITIES TO BE LOCATED AND MARKED

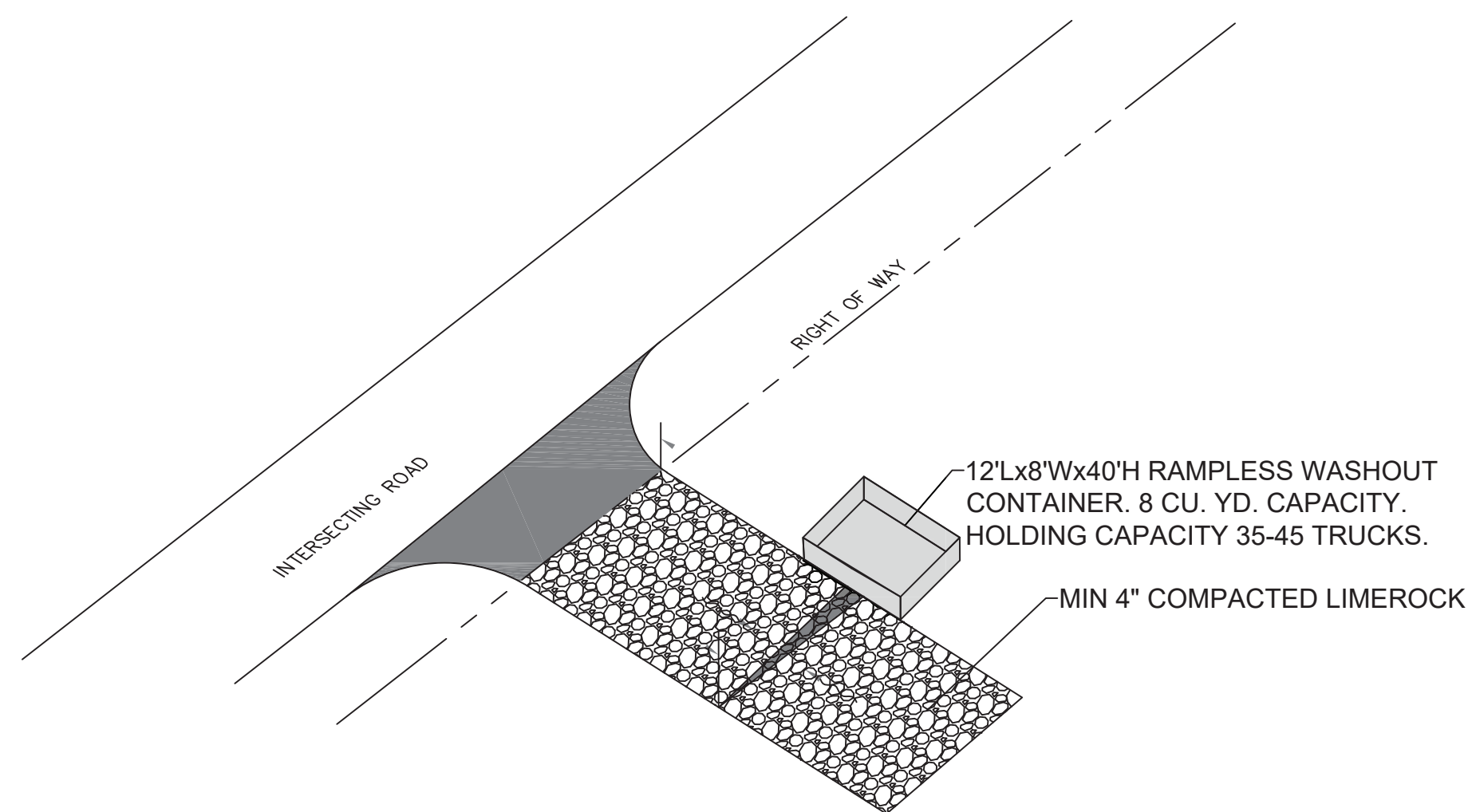
EROSION CONTROL & STORMWATER POLLUTION PREVENTION LEGEND:

- SILT FENCE
- SURFACE WATER FLOW DIRECTION
- TREE PROTECTION
- INLET PROTECTION
- CONSTRUCTION EXIT
- CONCRETE WASH OUT (12'Lx8'Wx40'H RAMPLESS WASHOUT CONTAINER. 8 CU. YD. CAPACITY. HOLDING CAPACITY 35-45 TRUCKS.)



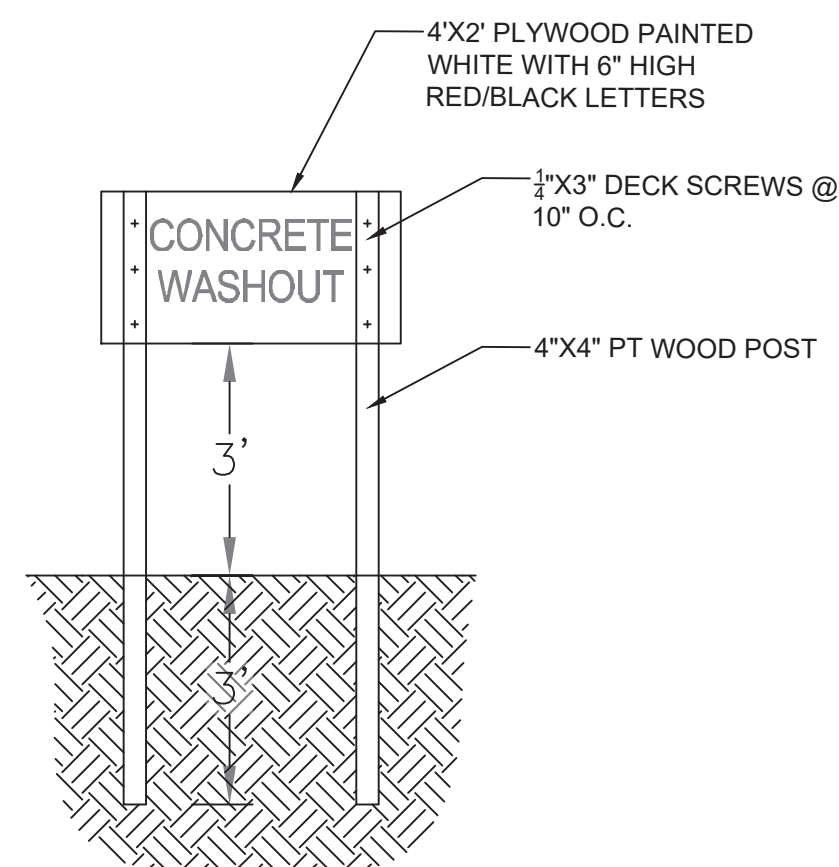
SCALE: 1"=40'





A STABILIZED CONSTRUCTION ENTRANCE CONSISTING OF MINIMUM 4" COMPACTED LIMEROCK BASE WILL BE CONSTRUCTED AS SOON AS CONSTRUCTION STARTS TO REDUCE THE AMOUNT OF VEHICLE TRACKING FROM THE SITE. THE PAVED STREET ADJACENT TO THE CONSTRUCTION ENTRANCE WILL BE SWEEPED ON A REGULAR BASIS TO REMOVE ANY ACCUMULATION OF DIRT OR ROCKS WHICH HAVE BEEN TRACKED FROM THE SITE. ALL DUMP TRUCKS BRINGING MATERIAL TO, OR LEAVING THE SITE WILL BE COVERED WITH A TARPULIN.

CONSTRUCTION EXIT
N.T.S



CONCRETE WASHOUT SIGN
N.T.S

STATE OF FLORIDA ENGINEER & ARCHITECT DESIGNER & REVIEWER MANUAL, LATEST EDITION, JULY 2013

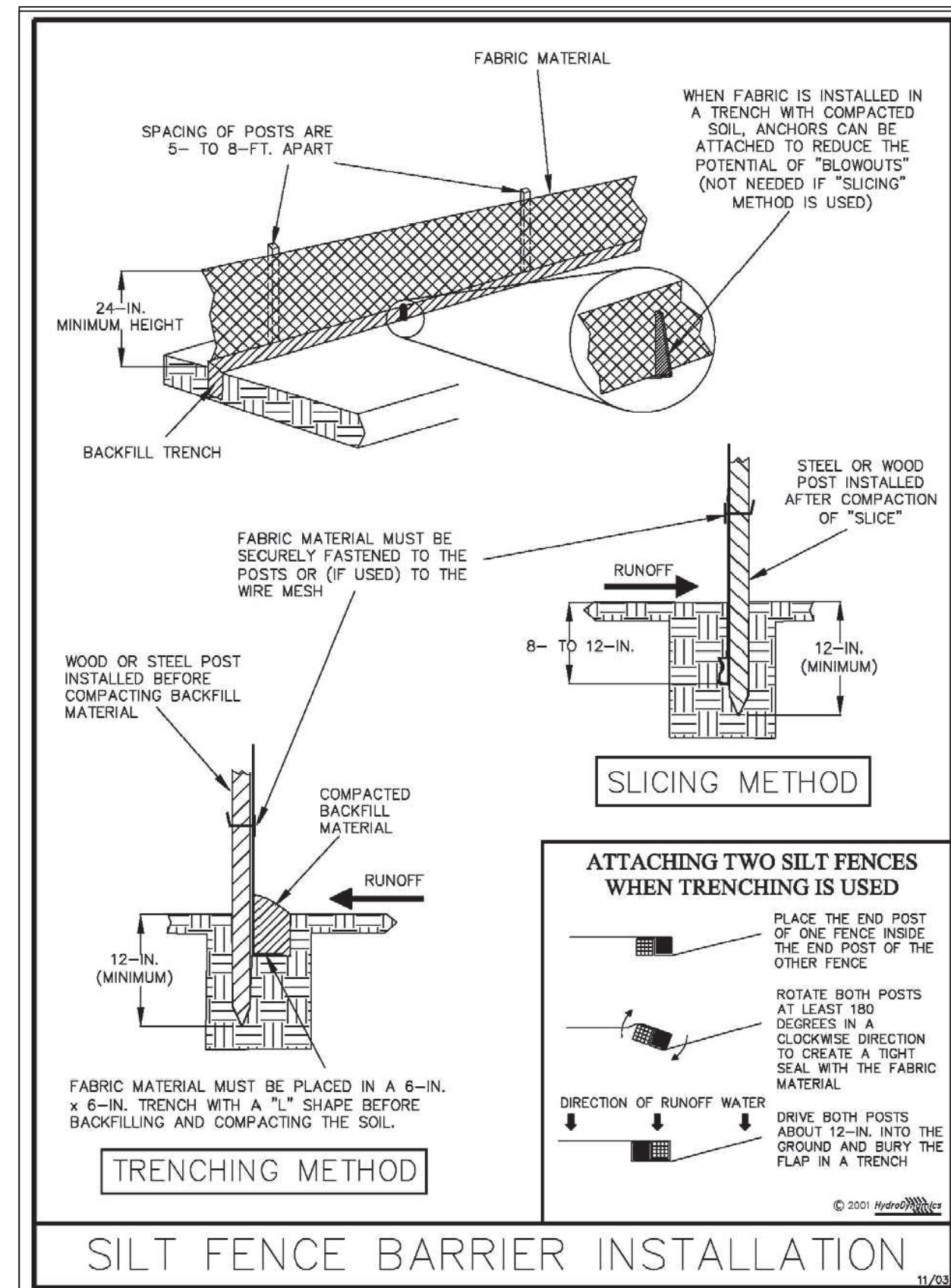


Illustration of a Silt Fence Barrier

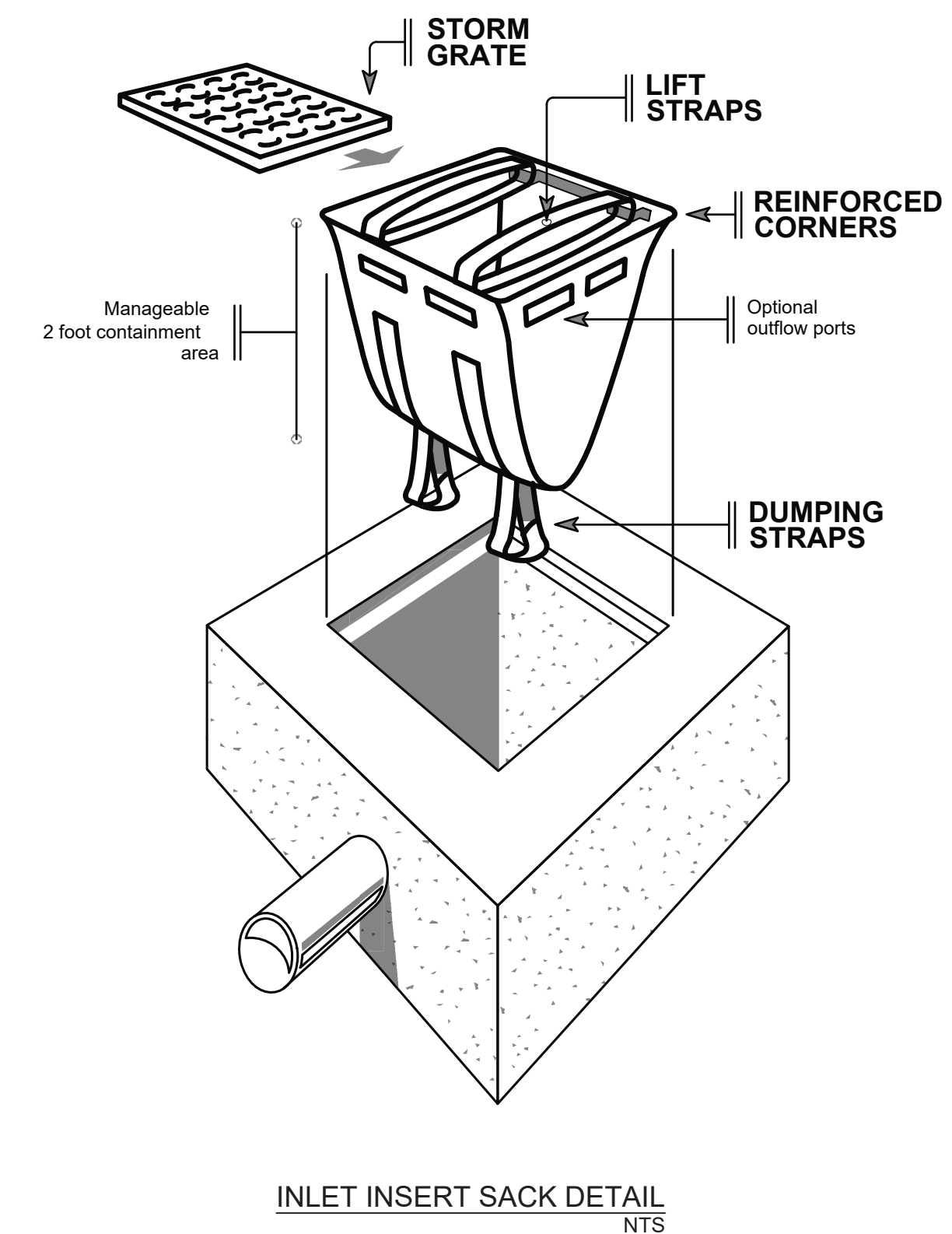
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Figure V-2: v-7

EROSION CONTROL

- 1. STABILIZATION PRACTICES**
WHERE CONSTRUCTION OF FILL STOCKPILES ADJACENT TO CONSTRUCTION ACTIVITIES CEASES FOR AT LEAST 21 DAYS, THE SIDES WILL BE STABILIZED BY SEEDING AND MULCHING IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 1991, SECTION 570. SEED AND MULCH SHALL BE APPLIED NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THE AREA.
- 2. PERMANENT STABILIZATION**
ALL LANDSCAPING, INCLUDING SODDING, SHALL BE INSTALLED ON THE PERIMETER LANDSCAPE BERMS IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN WITHIN 14 DAYS OF THE LAST CONSTRUCTION ACTIVITY IN THE LANDSCAPE BUFFER AREAS.
- 3. OFF-SITE VEHICLE TRACKING**
A STABILIZED CONSTRUCTION ENTRANCE CONSISTING OF MINIMUM 4" COMPACTED LIMEROCK BASE WILL BE CONSTRUCTED AS SOON AS CONSTRUCTION STARTS TO REDUCE THE AMOUNT OF VEHICLE TRACKING FROM THE SITE. THE PAVED STREET ADJACENT TO THE CONSTRUCTION ENTRANCE WILL BE SWEEPED ON A REGULAR BASIS TO REMOVE ANY ACCUMULATION OF DIRT OR ROCKS WHICH HAVE BEEN TRACKED FROM THE SITE. ALL DUMP TRUCKS BRINGING MATERIAL TO, OR LEAVING THE SITE WILL BE COVERED WITH A TARPULIN.
- 4. EROSION AND SEDIMENT CONTROL, INSPECTION AND MAINTENANCE PRACTICES**
 - * ALL CONTROL MEASURES WILL BE INSPECTED AT LEAST ONCE WEEKLY AND FOLLOWING
 - ANY STORM EVENT GREATER THAN 1/2".
 - REPAIRS WILL BE COMPLETED WITHIN 24 HOURS.
 - THE PERIMETER SWALES WILL BE INSPECTED REGULARLY AND REGRADED AS NECESSARY TO REMOVE THE BUILT UP SEDIMENT.
 - * TEMPORARY SEED AND MULCH AREAS AND PERMANENT SOD AREAS WILL BE INSPECTED REGULARLY FOR BARE SPOTS AND TO ENSURE ADEQUATE GROWTH.
 - * TURBIDITY SCREENS SHALL BE INSPECTED REGULARLY, AND REPAIRED AS NECESSARY.
 - * FILTER FABRIC SHALL BE SECURED IN ALL CATCH BASINS UNTIL COMPLETION OF CONSTRUCTION.

DANDY SACK™



ATLANTIC ENGINEERING SERVICES, INC.

IMTIAZ AHMED, PE
PE#46102
2826 WATERS EDGE CIRCLE
GREENACRES, FLORIDA 33413
PHONE - (561) 358-4140
FAX - (561) 966-9242
CERTIFICATE OF AUTHORIZATION NO.: 9390

CLIENT:
GATOR TRACE ON THE GREENS, LLC
17305 S DIXIE HWY.
PALMETTO BAY, FL 33157

GATOR TRACE ON THE GREENS TOWNHOMES
GATOR TRACE
FORT PIERCE, FL 34982

TO THE BEST OF MY KNOWLEDGE, THE PLANS AND SPECIFICATIONS SUBMITTED HERewith COMPLY WITH EXISTING INTERPRETATIONS AND PROVISIONS OF THE APPLICABLE BUILDING CODES.

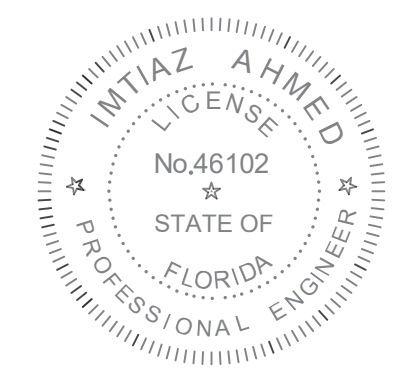
THE ARCHITECT OF RECORD AND THE GENERAL CONTRACTOR & SUB CONTRACTORS SHALL REVIEW THE PLANS ANY DISCREPANCY SHALL BE REPORTED TO ENGINEER OF RECORD PRIORITY OF CONSTRUCTION OR IMMEDIATELY.

| REVISIONS | DATE |
|-----------|------|
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| | |

SHEET:

C-15

EROSION CONTROL & STORMWATER POLLUTION PREVENTION PLAN - DETAILS



DRAINAGE CALCULATIONS

GATOR TRACE ON THE GREENS TOWNHOMES Fort Pierce, Florida

**Prepared by:
Atlantic Engineering Services, Inc.
2826 Waters Edge Circle
Greenacres, Florida 33413
Ph: 561-358-4140
Fax: 561-922-6765
atlanticengserv@gmail.com**

**Imtiaz Ahmed, P.E.
Florida License # 46102
December 27, 2023**

This item has been digitally signed and sealed by Imtiaz Ahmed on the date adjacent to the seal.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies

PRE SURFACE WATER MANAGEMENT CALCULATIONS
for
GATOR TRACE

1) PROPOSED LAND USE

| PROJECT PHASE | TOTAL AREA | BUILDING | ROADS,WALKS,DRIVES | | IMPERVIOUS AREA | |
|---------------|------------|----------|--------------------|---------|-----------------|---------|
| | (ACRES) | (ACRES) | % | (ACRES) | % | (ACRES) |
| GATOR TRACE | 6.94 | 0.00 | 0.0% | 0.00 | 0.0% | 0.00 |
| TOTAL | 6.94 | 0.00 | | 0.00 | | 0.00 |

Site Summary

Site Area..... 6.94 acres
 Offsite road right-of-way... 0.00 acres
 Net Area..... 6.94 acres

Building Area..... 0.00 acres
 Parking/Roads Area..... 0.00 acres
 Conservation easment..... 0.00 acres
 Green Area..... 6.94 acres

Pervious Area..... 2.56 acres
Impervious Area..... 4.38 acres

Offsite road right-of-way

Total area... 0.00
 Roads/Walk: 0.00
 Pervious Area..... 0.00

Detention Area

0.00%
 Dry detention..... 0.00 acres
 Dry detention top of bank elevation..... NA navd
 Dry detention at top of bank..... 0.00 acres

2) FLOOD AND RAINFALL CRITERIA

5 year, 1 hr..... 2.00 inches
 5year, 1 day storm..... 5.00 inches
 10 year, 1 day storm..... 6.00 inches
 25 year, 1 day storm..... 8.00 inches
 25 year, 3 day storm..... 9.51 inches
 100 year, 1 day storm..... 10.00 inches
 100 year, 3 day storm..... 12.23 inches

Average road elevation..... 18.00 navd
 Minimum road crown..... 17.50 navd
 100 yr flood elev..... 19.00 navd
 Min finished floor elev..... 19.50 navd

3) COMPUTE SOIL STORAGE

Wet season water elev..... 13.50 navd 15.00 ngvd
 Ave. groundwater elev..... 13.50 navd 15.00 ngvd
 Ave. site elevation..... 19.00 navd
 Depth to water table..... 5.50 ft.

Assuming 25% compaction, available ground storage is..... 4.40 inches
 Storage available in pervious areas of the site is 2.54 acre ft.
 Converting to site wide moisture storage, S 4.40 inches

4) WATER QUALITY REQUIREMENTS

a) Based on the first 1" of runoff

| | | | |
|---|------|----------|----------------------|
| Site area..... | 6.94 | acres | |
| Base required detention..... | 0.58 | acre ft. | |
| Additional 50% of the presumptive water treatment volume..... | | | 0.29 acre ft. |
| Total detention required..... | | | 0.87 acre ft. |

b) Based on 2.5 inches times percent impervious (3 year - 1 hour storm)

| | | | |
|---|------|---|-----------------------|
| Site area..... | 6.94 | acres (Excluding building & lake areas) | |
| Impervious area..... | 0.00 | acres (Excluding building & lake areas) | |
| Percent impervious..... | 0.00 | % | |
| Base required detention..... | 0.00 | acre ft. | |
| Additional 50% of the presumptive water treatment volume..... | | | 0.00 acres ft. |
| Total detention required..... | | | 0.00 acres ft. |

Therefore the required detention is..... **0.87 acre ft.**

Corresponding stage is between..... 16.00 and..... 16.50 navd

Interpolating gives a weir crest of..... **16.25 navd**

c) Compute Pretreatment volume based on 1/2" inch of runoff

| | | |
|--|------|----------|
| Total site less lakes..... | 6.94 | acres |
| Required Pretreatment based on 1/2 inch..... | 0.29 | acre ft. |

Corresponding stage is between..... 16.00 and..... 16.50 navd

Interpolating gives a required elev of..... **16.08 navd**

d) Compute the resulting required detention volume

| | | |
|--|----------------------|-------------------------|
| Therefore pretreatment required in detention area..... | 0.87 ac.ft or | 10.40 ac. inches |
| Provided in detention area at elevation 18.00 navd..... | 0.00 ac.ft or | 0.00 ac. inches |

5) COMPUTE STAGE STORAGE

Assumptions:

| | | | | |
|---|-------|----------------|-------|-----------------|
| Lake areas store linearly from..... | 13.50 | to elevation.. | 9.00 | then vertically |
| Dry detention areas store linearly from | 0.00 | to elevation.. | 0.00 | then vertically |
| Roadways store linearly from..... | 0.00 | to elevation.. | 0.00 | then vertically |
| Site green areas store linearly from..... | 16.00 | to elevation.. | 16.50 | then vertically |
| Trench stores linearly from..... | 0.00 | to elevation.. | 0.00 | then vertically |

| Storage (acre ft.) | | | | | | | |
|--------------------|------|----------|--------|----------|-------|-------|-------|
| Stage | Lake | Dry det. | Trench | Roadways | Site | Total | Stage |
| 10.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 10.00 |
| 10.50 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 10.50 |
| 11.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 11.00 |
| 11.50 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 11.50 |
| 12.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 12.00 |
| 12.50 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 12.50 |
| 13.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 13.00 |
| 13.50 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 13.50 |
| 14.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 14.00 |
| 14.50 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 14.50 |
| 15.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 15.00 |
| 15.50 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 15.50 |
| 16.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 16.00 |
| 16.50 | 0.00 | 0.00 | 0.00 | 0.00 | 1.73 | 1.73 | 16.50 |
| 17.00 | 0.00 | 0.00 | 0.00 | 0.00 | 5.20 | 5.20 | 17.00 |
| 17.50 | 0.00 | 0.00 | 0.00 | 0.00 | 8.67 | 8.67 | 17.50 |
| 18.00 | 0.00 | 0.00 | 0.00 | 0.00 | 12.14 | 12.14 | 18.00 |
| 18.50 | 0.00 | 0.00 | 0.00 | 0.00 | 15.60 | 15.60 | 18.50 |
| 19.00 | 0.00 | 0.00 | 0.00 | 0.00 | 19.07 | 19.07 | 19.00 |
| 19.50 | 0.00 | 0.00 | 0.00 | 0.00 | 22.54 | 22.54 | 19.50 |
| 20.00 | 0.00 | 0.00 | 0.00 | 0.00 | 26.01 | 26.01 | 20.00 |
| 20.50 | 0.00 | 0.00 | 0.00 | 0.00 | 29.48 | 29.48 | 20.50 |
| 21.00 | 0.00 | 0.00 | 0.00 | 0.00 | 32.94 | 32.94 | 21.00 |
| 21.50 | 0.00 | 0.00 | 0.00 | 0.00 | 36.41 | 36.41 | 21.50 |
| 22.00 | 0.00 | 0.00 | 0.00 | 0.00 | 39.88 | 39.88 | 22.00 |
| 22.50 | 0.00 | 0.00 | 0.00 | 0.00 | 43.35 | 43.35 | 22.50 |
| 23.00 | 0.00 | 0.00 | 0.00 | 0.00 | 46.81 | 46.81 | 23.00 |
| 23.50 | 0.00 | 0.00 | 0.00 | 0.00 | 50.28 | 50.28 | 23.50 |

6) FLOOD STAGE CRITERIA

100 Year 3 day Flood (zero discharge) **The Finish Floor is Adequate.**

$$Q = (P - (0.2xS))^2 / (P + (0.8xS))$$

Storage required..... 4.73 ac. ft. at elev... 19.50 navd
 Storage provided..... 22.54 ac. ft. at elev... 19.50 navd

100 year, 3 day storm 12.23 in.
 Runoff 8.18 in.
 Volume of runoff 4.73 acre ft.

Corresponding stage is between..... 16.50 and..... 17.00 navd
 Interpolating gives an elevation of..... **16.93 navd**

10 Year 1 day Flood (zero discharge) **The Stage is Below Average Road Crown Elevation.**

$$Q=(P-(0.2xS))^2/(P+(0.8xS))$$

Storage required..... 1.59 ac. ft. at elev... 18.00 navd
 Storage provided..... 12.14 ac. ft. at elev... 18.00 navd

Corresponding stage is between..... 16.00 and..... 16.50 navd
 Interpolating gives an elevation of..... **16.46 navd**

5 Year 1 day Flood (zero discharge) **The Stage is Below Minimum Road Crown Elevation.**

$$Q=(P-(0.2xS))^2/(P+(0.8xS))$$

Storage required..... 0.13 ac. ft. at elev... 17.50 navd
 Storage provided..... 8.67 ac. ft. at elev... 17.50 navd

Corresponding stage is between..... 16.00 and..... 16.50 navd
 Interpolating gives an elevation of..... **16.04 navd**

7) STAGE DISCHARGE CALCULATIONS

a) Allowable discharge..... csm
 or Pre-Development Discharge..... **10.00** cfs

b) Determine the maximum stage discharge during 25 year, 3 day storm (zero discharge)

25 year, 3 day storm 9.51 in.
 Runoff 5.72 in.
 Volume of runoff 3.30 acre ft.

Corresponding stage is between..... 16.50 and..... 17.00 navd
 Interpolating gives an elevation of..... **16.73 navd**
 Weir crest will be set at..... 19.00 navd

I HEREBY CERTIFY THAT THE ABOVE INFORMATION IS TRUE
 AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

 IMTIAZ AHMED, P.E.
 FLORIDA REGISTRATION NO. 46102

POST SURFACE WATER MANAGEMENT CALCULATIONS
for
GATOR TRACE

1) PROPOSED LAND USE

| PROJECT PHASE | TOTAL AREA
(ACRES) | BUILDING | | ROADS,WALKS,DRIVES | | IMPERVIOUS AREA | |
|---------------|-----------------------|-------------|-------|--------------------|-------|-----------------|--------------|
| | | (ACRES) | % | (ACRES) | % | (ACRES) | % |
| GATOR TRACE | 6.94 | 1.91 | 27.5% | 2.24 | 32.4% | 4.15 | 59.9% |
| TOTAL | 6.94 | 1.91 | | 2.24 | | 4.15 | 59.9% |

Site Summary

Site Area..... 6.94 acres
 Offsite road right-of-way... 0.00 acres
 Net Area..... 6.94 acres

Building Area..... 1.91 acres
 Parking/Roads Area..... 2.24 acres
 Conservation easment..... 0.00 acres
 Green Area..... 2.62 acres

Pervious Area..... 2.56 acres
Impervious Area..... 4.38 acres

Offsite road right-of-way

Total area... 0.00
 Roads/Walk: 0.00
 Pervious Area..... 0.00

Detention Area

2.34%
 Dry detention..... 0.16 acres
 Dry detention top of bank elevation..... 18.00 navd
 Dry detention at top of bank..... 0.54 acres

2) FLOOD AND RAINFALL CRITERIA

5 year, 1 hr..... 2.00 inches
 5year, 1 day storm..... 5.00 inches
 10 year, 1 day storm..... 6.00 inches
 25 year, 1 day storm..... 8.00 inches
 25 year, 3 day storm..... 9.51 inches
 100 year, 1 day storm..... 10.00 inches
 100 year, 3 day storm..... 12.23 inches

Average road elevation..... 18.00 navd
 Minimum road crown..... 17.50 navd
 100 yr flood elev..... 19.00 navd
 Min finished floor elev..... 20.50 navd

3) COMPUTE SOIL STORAGE

Wet season water elev..... 13.50 navd 15.00 ngvd
 Ave. groundwater elev..... 13.50 navd 15.00 ngvd
 Ave. site elevation..... 19.00 navd
 Depth to water table..... 5.50 ft.

Assuming 25% compaction, available ground storage is..... 4.40 inches
 Storage available in pervious areas of the site is 1.02 acre ft.
 Converting to site wide moisture storage, S 1.76 inches

4) WATER QUALITY REQUIREMENTS

a) Based on the first 1" of runoff

| | | | |
|---|------|----------|----------------------|
| Site area..... | 6.94 | acres | |
| Base required detention..... | 0.58 | acre ft. | |
| Additional 50% of the presumptive water treatment volume..... | | | 0.29 acre ft. |
| Total detention required..... | | | 0.87 acre ft. |

b) Based on 2.5 inches times percent impervious (3 year - 1 hour storm)

| | | | |
|---|-------|---|-----------------------|
| Site area..... | 5.03 | acres (Excluding building & lake areas) | |
| Impervious area..... | 2.24 | acres (Excluding building & lake areas) | |
| Percent impervious..... | 44.66 | % | |
| Base required detention..... | 0.65 | acre ft. | |
| Additional 50% of the presumptive water treatment volume..... | | | 0.32 acres ft. |
| Total detention required..... | | | 0.97 acres ft. |

Therefore the required detention is..... **0.97 acre ft.**

Corresponding stage is between..... 17.50 and..... 18.00 navd

Interpolating gives a weir crest of..... **17.63 navd**

c) Compute Pretreatment volume based on 1/2" inch of runoff

| | | |
|--|------|----------|
| Total site less lakes..... | 6.94 | acres |
| Required Pretreatment based on 1/2 inch..... | 0.29 | acre ft. |

Corresponding stage is between..... 16.00 and..... 16.50 navd

Interpolating gives a required elev of..... **16.20 navd**

d) Compute the resulting required detention volume

| | | |
|--|----------------------|-------------------------|
| Therefore pretreatment required in detention area..... | 0.97 ac.ft or | 11.62 ac. inches |
| Provided in detention area at elevation 18.00 navd..... | 1.05 ac.ft or | 12.62 ac. inches |

5) COMPUTE STAGE STORAGE

Assumptions:

| | | | | |
|---|-------|----------------|-------|-----------------|
| Lake areas store linearly from..... | 13.50 | to elevation.. | 9.00 | then vertically |
| Dry detention areas store linearly from | 15.00 | to elevation.. | 18.00 | then vertically |
| Roadways store linearly from..... | 17.50 | to elevation.. | 19.00 | then vertically |
| Site green areas store linearly from..... | 17.50 | to elevation.. | 19.00 | then vertically |
| Trench stores linearly from..... | 0.00 | to elevation.. | 0.00 | then vertically |

| Storage (acre ft.) | | | | | | | |
|--------------------|------|----------|--------|----------|-------|-------|-------|
| Stage | Lake | Dry det. | Trench | Roadways | Site | Total | Stage |
| 10.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 10.00 |
| 10.50 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 10.50 |
| 11.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 11.00 |
| 11.50 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 11.50 |
| 12.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 12.00 |
| 12.50 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 12.50 |
| 13.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 13.00 |
| 13.50 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 13.50 |
| 14.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 14.00 |
| 14.50 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 14.50 |
| 15.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 15.00 |
| 15.50 | 0.00 | 0.10 | 0.00 | 0.00 | 0.00 | 0.10 | 15.50 |
| 16.00 | 0.00 | 0.23 | 0.00 | 0.00 | 0.00 | 0.23 | 16.00 |
| 16.50 | 0.00 | 0.38 | 0.00 | 0.00 | 0.00 | 0.38 | 16.50 |
| 17.00 | 0.00 | 0.58 | 0.00 | 0.00 | 0.00 | 0.58 | 17.00 |
| 17.50 | 0.00 | 0.80 | 0.00 | 0.00 | 0.00 | 0.80 | 17.50 |
| 18.00 | 0.00 | 1.05 | 0.00 | 0.19 | 0.22 | 1.46 | 18.00 |
| 18.50 | 0.00 | 1.32 | 0.00 | 0.75 | 0.87 | 2.94 | 18.50 |
| 19.00 | 0.00 | 1.59 | 0.00 | 1.68 | 1.96 | 5.24 | 19.00 |
| 19.50 | 0.00 | 1.86 | 0.00 | 2.81 | 3.27 | 7.94 | 19.50 |
| 20.00 | 0.00 | 2.13 | 0.00 | 3.93 | 4.58 | 10.64 | 20.00 |
| 20.50 | 0.00 | 2.40 | 0.00 | 5.05 | 5.89 | 13.34 | 20.50 |
| 21.00 | 0.00 | 2.67 | 0.00 | 6.17 | 7.20 | 16.04 | 21.00 |
| 21.50 | 0.00 | 2.94 | 0.00 | 7.29 | 8.51 | 18.74 | 21.50 |
| 22.00 | 0.00 | 3.21 | 0.00 | 8.42 | 9.82 | 21.44 | 22.00 |
| 22.50 | 0.00 | 3.48 | 0.00 | 9.54 | 11.13 | 24.14 | 22.50 |
| 23.00 | 0.00 | 3.75 | 0.00 | 10.66 | 12.44 | 26.85 | 23.00 |
| 23.50 | 0.00 | 4.02 | 0.00 | 11.78 | 13.75 | 29.55 | 23.50 |

6) FLOOD STAGE CRITERIA

100 Year 3 day Flood (zero discharge) **The Finish Floor is Adequate.**

$$Q = (P - (0.2xS))^2 / (P + (0.8xS))$$

Storage required..... 5.98 ac. ft. at elev... 20.50 navd
 Storage provided..... 13.34 ac. ft. at elev... 20.50 navd

100 year, 3 day storm 12.23 in.
 Runoff 10.34 in.
 Volume of runoff 5.98 acre ft.

Corresponding stage is between..... 19.00 and..... 19.50 navd
 Interpolating gives an elevation of..... **19.14 navd**

10 Year 1 day Flood (zero discharge) **The Stage is Below Average Road Crown Elevation.**

$$Q=(P-(0.2xS))^2/(P+(0.8xS))$$

Storage required..... 2.49 ac. ft. at elev... 18.00 navd
 Storage provided..... 1.46 ac. ft. at elev... 18.00 navd

Corresponding stage is between..... 18.00 and..... 18.50 navd
 Interpolating gives an elevation of..... **18.35 navd**

5 Year 1 day Flood (zero discharge) **The Stage is Below Minimum Road Crown Elevation.**

$$Q=(P-(0.2xS))^2/(P+(0.8xS))$$

Storage required..... 0.46 ac. ft. at elev... 17.50 navd
 Storage provided..... 0.80 ac. ft. at elev... 17.50 navd

Corresponding stage is between..... 16.50 and..... 17.00 navd
 Interpolating gives an elevation of..... **16.70 navd**

7) STAGE DISCHARGE CALCULATIONS

a) Allowable discharge..... csm
 or Pre-Development Discharge..... **10.00** cfs

b) Determine the maximum stage discharge during 25 year, 3 day storm (zero discharge)

25 year, 3 day storm 9.51 in.
 Runoff 7.68 in.
 Volume of runoff 4.44 acre ft.

Corresponding stage is between..... 18.50 and..... 19.00 navd
 Interpolating gives an elevation of..... **18.83 navd**
 Weir crest will be set at..... 19.00 navd

I HEREBY CERTIFY THAT THE ABOVE INFORMATION IS TRUE
 AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

 IMTIAZ AHMED, P.E.
 FLORIDA REGISTRATION NO. 46102



GATOR TRACE COUNTY CLUB
4365 GATOR TRACE RD
PARCEL ID: 2435-231-0001-000-9

LD-04

LD-03

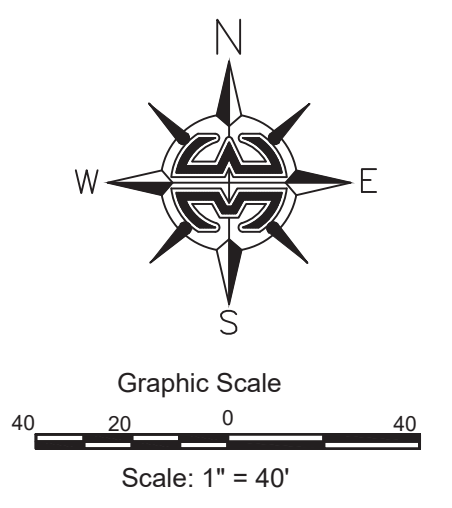
LD-02

Landscape Data:

| | |
|-----------------------------------|-----------|
| Landscape Buffers: (1 tree/30 lf) | |
| North: 702 lf | 23 Trees |
| East: 539 lf | 18 Trees |
| South: 1,057 lf | 35 Trees |
| West: 215 lf | 7 Trees |
| Total Trees required: | 83 Trees |
| Interior Landscape: | |
| Vehicular Use Area: | 41,448 sf |
| Landscape Area required: | 2,763 sf |
| Trees required (1/100 sf) | 28 Trees |
| Total Trees Required: | 111 Trees |
| Total Trees provided: | 211 Trees |

General Notes:

- No landscape materials other than sod grasses may be planted within a 5' radius maintenance area of any underground utility such as water meters, backflow devices, fire hydrants, sanitary sewer cleanouts, and manholes, air release valves, etc.
- No landscaping shall be planted in a manner that would adversely affect utility easements.
- All landscape areas to receive automatic irrigation. Water source to be potable or well and will be determined at time of building permit application.
- Sod around buildings to be St. Augustine 'Bitter Blue' sod. Sod to be weed and disease free and laid tight. All areas within in retention areas to be seeded with Argentine Bahia grass.
- Not trees to be placed within 6' of any hard surface unless root barrier will be installed along the edge of the hard surface. Root barrier to extend at least 5' in either direction from the center of the tree trunk. Refer to Sheet LD-00 for installation details.
- Buffer along Gator Trace Rd intended to be a natural buffer. Maintenance to be kept only to weed removal, no trimming or hedging.



Landscape Design Associates
25110 NW 182nd Ave
High Springs, FL 32643
352-710-5765 ph, www.landscape.com

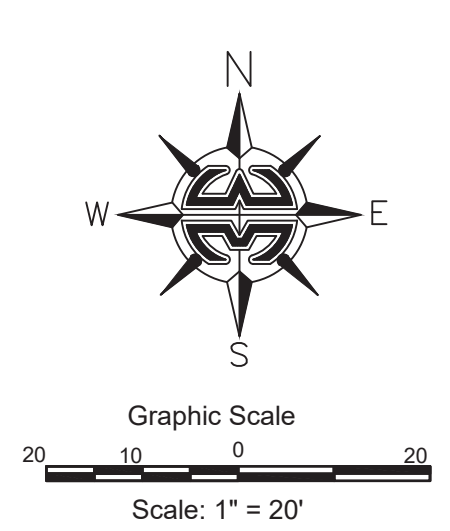


| | |
|-------------|-----------|
| Scale: | 1" = 40' |
| Drawn by: | SM |
| Checked by: | SM |
| CADD No.: | 22-102-1p |
| Date: | 1.30.24 |

| Revisions | Date | Comments |
|-----------|-----------|---------------|
| | 6.14.2024 | reduced units |

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Gator Trace
City of Fort Pierce
Overall Landscape Plan



Landscape Design Associates
 25110 NW 182nd Ave
 High Springs, FL 32643
 352-710-5765 ph, www.landscape.com



| | |
|-------------|-----------|
| Scale: | 1" = 20' |
| Drawn by: | SM |
| Checked by: | SM |
| CADD No.: | 22-102-1p |
| Date: | 1.30.24 |

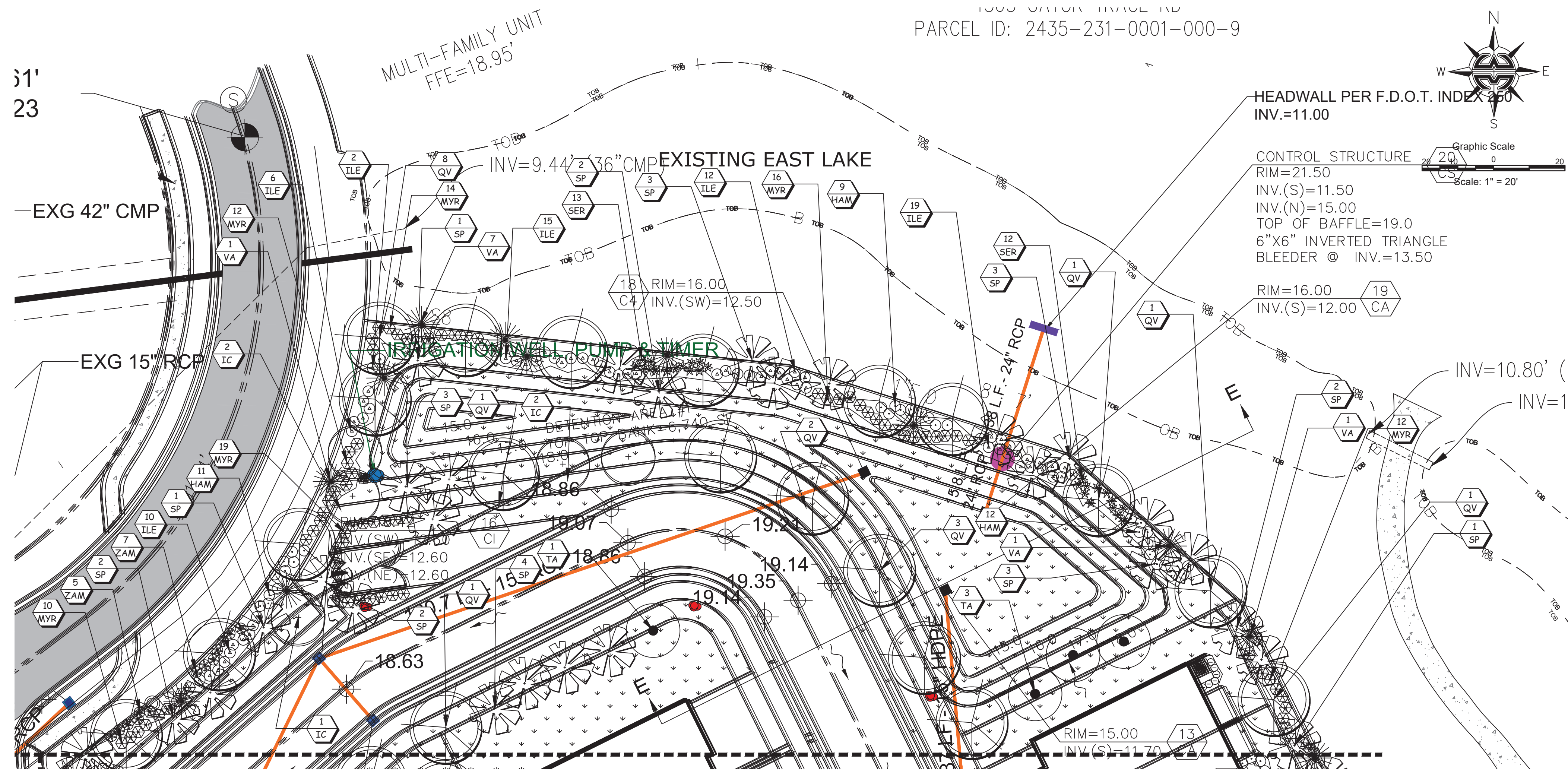
| Revisions | Date | Comments |
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Gator Trace

City of Fort Pierce

Landscape Plan



1000 GATOR TRACE RD
 PARCEL ID: 2435-231-0001-000-9



Graphic Scale
 Scale: 1" = 20'

Match Line LD-03

Landscape Legend:

| Qty | Symb | WU | Name | (N) Native | (F) Flowering Tree | (E) Evergreen |
|---------------------|------|----|--|------------|--------------------|---------------|
| Trees: | | | | | | |
| 75 | IC | ☹ | Dahoon Holly | (N)(E) | | |
| 30 | TA | ☹ | Ilex cassine, FG, 12' ht, 5' Spr., 3" DBH, multi | | | |
| | | ☹ | Yellow Tabebuia | (F) | | |
| | | ☹ | Tabebuia argentea, FG, 12' Ht, 5' Spr., 3" DBH | | | |
| 73 | QV | ☹ | Live Oak | (N)(E) | | |
| | | ☹ | Quercus virginiana, FG, 12' Ht, 5' Spr., 3" DBH | | | |
| 205 | SP | ☹ | Cabbage Palm | | | |
| | | ☹ | Sabal palmetto, relocated from site | | | |
| 33 | VA | ☹ | Chaste Tree | (N)(F) | | |
| | | ☹ | Vitex agnus-castus, 15 gal, 8' Ht, multi, 3" DBH total | | | |
| Accents: | | | | | | |
| 7 | TAB | ☹ | Pinwheel Jasmine | | | |
| | | ☹ | Tabernaemontana divartica, 3 gal, 36" oc | | | |
| Shrubs | | | | | | |
| 170 | FOR | ☹ | Florida Privet | (N) | | |
| | | ☹ | Foresteria segregata, 3 gal, 24" ht, 36" o.c. | | | |
| 205 | HAM | ☹ | Dwarf Firebush | (N)(F) | | |
| | | ☹ | Hamelis patens 'Compacta', 3 gal, 18" ht, 36" o.c. | | | |
| 179 | ILE | ☹ | Yaupon Holly | (N)(E) | | |
| | | ☹ | Ilex vomitoria, 3 gal, 24" ht, 36" oc | | | |
| 101 | ILV | ☹ | Dwarf Yaupon Holly | (N)(E) | | |
| | | ☹ | Ilex vomitoria 'Shillings', 3 gal, 18"x18", 24" o.c. | | | |
| 197 | MYR | ☹ | Wax Myrtle | (N) (E) | | |
| | | ☹ | Myrica cerifera, 3 gal, 24"x18", 36" o.c. | | | |
| 174 | RHA | ☹ | Indian Hawthorn | (F) | | |
| | | ☹ | Rhaphiolepis indica, 3 gal, 24"x18", 24" o.c. | | | |
| 335 | SCA | ☹ | Inkberry | (N)(E) | | |
| | | ☹ | Scaevola plumieri, 3 gal, 3 gal, 24"x18", 24" o.c. | | | |
| 71 | SER | ☹ | Saw Palmetto | (N)(E) | | |
| | | ☹ | Serenoa repens, 3 gal, 36" o.c. | | | |
| 92 | SPA | ☹ | Sand Cordgrass | (N) | | |
| | | ☹ | Spartina patens, 3 gal, 24" oc | | | |
| 54 | UNI | ☹ | Sea Oats | (N) | | |
| | | ☹ | Uniola paniculata, 3 gal, 24" ht, 24" o.c. | | | |
| 77 | ZAM | ☹ | Coontie | (N)(E) | | |
| | | ☹ | Zamia pumila, 3 gal, 36" oc | | | |
| Groundcover: | | | | | | |
| 55 | HEL | ☹ | Dune Sunflower | (N) | | |
| | | ☹ | Helianthus debilis, 1 gal, 6"x12", 36" o.c. | | | |

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 352-710-5765 ph, www.landscape.com

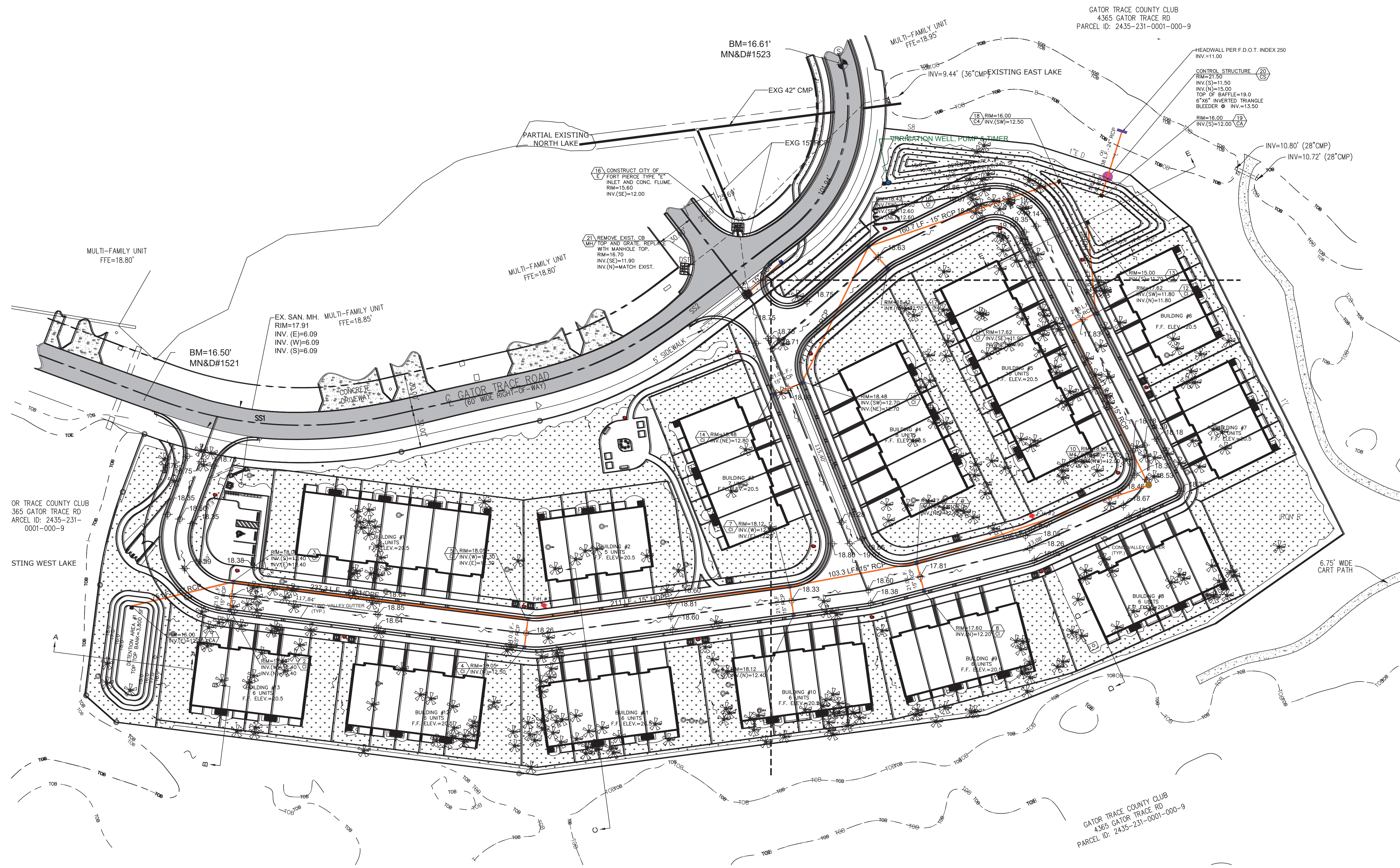


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| Scale: | 1" = 20' |
| Drawn by: | SM |
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| CADD No.: | 22-102-1p |
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| Revisions | Comments |
|-----------|----------|
| Date | |

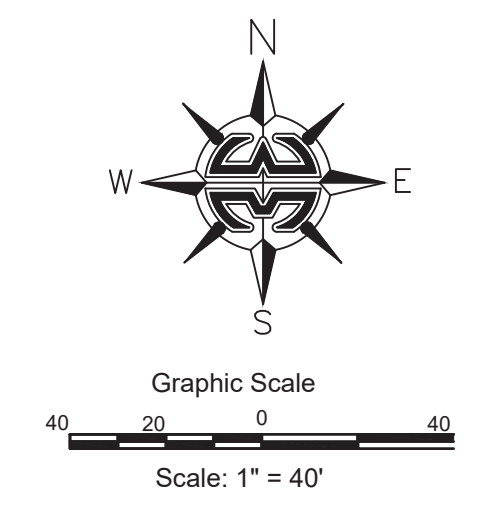
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Gator Trace
 City of Fort Pierce
Landscape Plan



Mitigation Data:

| | |
|--|------------|
| Hardwood Trees: | |
| Inches removed: | 623 inches |
| Inches preserved: | 0" |
| Mitigation required: | 623 inches |
| Extra Trees planted: 100 trees@ 3 inches) | 245 inches |
| Upsized Required Trees: (111 @0.5 inch) | 83 inches |
| Additional Mitigation required: | 318 inches |
| Payment into mitigation fund = (918 x \$250) | \$95,250 |
| Palm Trees: | |
| Palm trees removed: | 305 |
| Palm trees relocated on site: | 205 |
| Payment into mitigation fund = (100 x \$250) | \$25,000 |
| Total Payment into Mitigation Fund: | \$120,250 |



GATOR TRACE COUNTY CLUB
4365 GATOR TRACE RD
PARCEL ID: 2435-231-0001-000-9

OR TRACE COUNTY CLUB
365 GATOR TRACE RD
ARCEL ID: 2435-231-0001-000-9

GATOR TRACE COUNTY CLUB
4365 GATOR TRACE RD
PARCEL ID: 2435-231-0001-000-9

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Gator Trace City of Fort Pierce Tree Mitigation Plan



Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine applicability of the layout to existing or future field conditions. This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions utilizing current industry standard lamp ratings in accordance with Illuminating Engineering Society approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps and other variable field conditions.

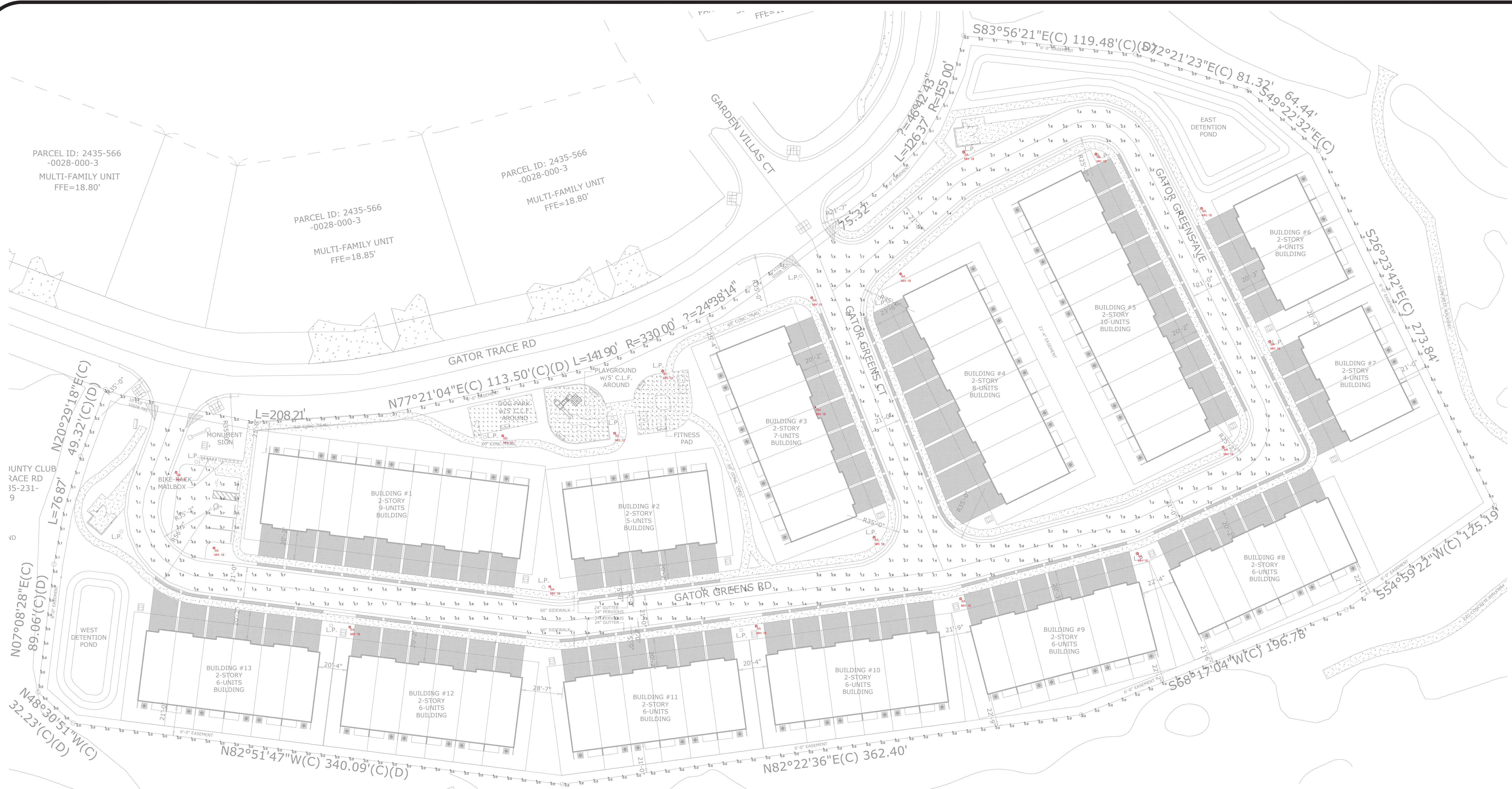
NOTES:

| | | |
|-----|-------------------|----------|
| 1 | PHOTOMETRIC STUDY | 11/15/22 |
| No. | Revision/Issue | Date |

LIGHTING DYNAMICS, INC.
 7835 West Commercial Blvd.
 Tamarac, FL 33351
 (954) 944-0286
www.lightingdynamics.com

Project Name and Address
GATOR TRACE ON THE GREENS
 LIGHTING STUDY - SITE
 FORT PIERCE, FL
 FILE P:\PROJECTS\2022\OCT
 CLIENT CLIENT

Project Gator Trace on the Greens Sheet
 Date 11/15/2022 **LO**
 Scale 3/16" = 1' DRAWN BY GA



GATOR TRACE ON THE GREENS TOWNHOUSE

| LIGHTING FIXTURE SCHEDULE | | | | | | | | | |
|---------------------------|---------------|---------------|-------------------------------|------|-----------|----------|-------|----------|-----------|
| TYPE | DESCRIPTION | MANUFACTURER | CATALOG NUMBER | VOLT | LAMP TYPE | DIM TYPE | WATTS | MOUNTING | NOTES |
| SA | LED SITE HEAD | STREETWORKS | UTLD-PA1-100-740-U-SL3-FINISH | UNV | LED | 0-10V | 96W | POLE | NOTE 1, 2 |
| SB | LED SITE HEAD | STREETWORKS | UTLD-PA1-100-740-U-SWQ-FINISH | UNV | LED | 0-10V | 96W | POLE | NOTE 1, 2 |
| SC | LED SITE HEAD | STREETWORKS | UTLD-PA1-100-740-U-T4W-FINISH | UNV | LED | 0-10V | 96W | POLE | NOTE 1, 3 |
| SD | LED SITE HEAD | STREETWORKS | UTLD-PA1-100-740-U-SL3-FINISH | UNV | LED | 0-10V | 96W | POLE | NOTE 1, 3 |
| SW | LED WALL PACK | MCGRAW-EDISON | GWC-SA2D-740-U-SL4-FINISH | UNV | LED | 0-10V | 129W | WALL | NOTE 1 |

FIXTURE SCHEDULE NOTES

NOTE 1: ADVISE FINISH

NOTE 2: FIXTURE MOUNTED ON 16' ALUMINUM VALMONT POLE # R-150540506T4-PX-COOPER-FINISH - 2' OF FIXTURE HEAD TO ACHIEVE 18' MOUNTING

NOTE 3: FIXTURE MOUNTED ON 10' ALUMINUM VALMONT POLE # R-090830504T4-PX-COOPER-FINISH - 2' OF FIXTURE HEAD TO ACHIEVE 12' MOUNTING

FOR QUESTIONS PERTAINING TO THIS FIXTURE SCHEDULE PLEASE CONTACT RYAN HUFF @ LIGHTING DYNAMICS- 772-285-7169; RHUFF@LIGHTINGDYNAMICS.COM

Photometrics Calculation Software Generated Luminaire Schedule

| Symbol | Qty | Label | Arrangement | Lum. Lumens | Arr. Lum. Lumens | LLF | Lum. Watts | Arr. Watts |
|--------|-----|-------|-------------|-------------|------------------|-------|------------|------------|
| SA | 14 | SA | Single | 10015 | 10015 | 0.900 | 96 | 96 |
| SB | 1 | SB | Single | 10688 | 10688 | 0.900 | 96 | 96 |
| SC | 2 | SC | Single | 10274 | 10274 | 0.900 | 96 | 96 |
| SD | 1 | SD | Single | 10015 | 10015 | 0.900 | 96 | 96 |
| SW | 1 | SW | Single | 15387 | 15387 | 0.900 | 129 | 129 |

Calculation Summary

| Label | CalcType | Units | Avg | Max | Min | Avg/Min | Max/Min |
|---------------|-------------|-------|------|------|-----|---------|---------|
| DOG PARK | Illuminance | Fc | 4.26 | 10.2 | 1.2 | 3.55 | 8.50 |
| FITNESS PAD | Illuminance | Fc | 3.80 | 8.2 | 1.0 | 3.80 | 8.20 |
| PARKING | Illuminance | Fc | 1.47 | 4.0 | 0.5 | 2.94 | 8.00 |
| PLAYGROUND | Illuminance | Fc | 2.31 | 6.3 | 0.7 | 3.30 | 9.00 |
| PROPERTY LINE | Illuminance | Fc | 0.05 | 0.4 | 0.0 | N.A. | N.A. |
| SITE | Illuminance | Fc | 1.74 | 4.8 | 0.5 | 3.48 | 9.60 |

**Photographs of all existing structures located on the property.
Re: Gator Trace on the Greens Townhomes, Ft. Pierce, FL**

There are no structures on the property. The property is full of trees and natural plantation. Please see the below photographs of the property and the surrounding structures around it.



Photograph #1: View from North

**Photographs of all existing structures located on the property.
Re: Gator Trace on the Greens Townhomes, Ft. Pierce, FL**



Photograph #2: View from North-East

**Photographs of all existing structures located on the property.
Re: Gator Trace on the Greens Townhomes, Ft. Pierce, FL**



Photograph #3: View from East

**Photographs of all existing structures located on the property.
Re: Gator Trace on the Greens Townhomes, Ft. Pierce, FL**



Photograph #4: View from South-East

**Photographs of all existing structures located on the property.
Re: Gator Trace on the Greens Townhomes, Ft. Pierce, FL**



Photograph #5: Existing golf course view from South.

**Photographs of all existing structures located on the property.
Re: Gator Trace on the Greens Townhomes, Ft. Pierce, FL**



Photograph #6: View from West

Prepared by and return to:

Richard F. Kondla

Attorney at Law

Richard Kondla, P.A.

17071 W. Dixie Highway

North Miami Beach, FL 33160

305-760-5602

File Number: 22- Vacant Land

Will Call No.:

[Space Above This Line For Recording Data]

Warranty Deed

This Warranty Deed made this 13 day of October, 2022 between Gator Trace Partners IV, LLC, a Florida limited liability company whose post office address is 4521 PGA Blvd., Suite 201, Palm Beach Gardens, FL 33418, grantor, and Gator Trace On The Greens, LLC a Florida limited liability company whose post office address is 17305 S Dixie Highway, Palmetto Bay, FL 33157, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Saint Lucie County, Florida to-wit:

(PARCEL 3-A(5))

A PARCEL OF LAND LYING IN SECTION 35, TOWNSHIP 35 SOUTH, RANGE 40 EAST, OF ST. LUCIE COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF SECTION 35, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA; THENCE RUN NORTH 00°22'08" EAST ALONG THE WEST LINE OF SAID SECTION 35 AND THE WEST LINE OF GATOR TRACE BOULEVARD, A 100.00 FOOT WIDE RIGHT-OF-WAY, A DISTANCE OF 2668.95 FEET TO A CONCRETE MONUMENT AT THE WEST ONE QUARTER OF SAID SECTION 35; THENCE NORTH 00°28'00" EAST ALONG THE WEST LINE OF SECTION 35, A DISTANCE OF 55.75 FEET TO A POINT, SAID POINT LYING 2614.63 FEET SOUTH OF THE NORTHWEST CORNER OF SECTION 35, AS MEASURED ALONG THE WEST RIGHT-OF-WAY LINE OF SECTION 35 (SAID NORTHWEST CORNER OF SECTION 35 BEING A CONCRETE MONUMENT); THENCE RUN SOUTH 89°32'00" EAST, A DISTANCE OF 700.82 FEET; THENCE NORTH 42°22'55" EAST, A DISTANCE OF 105.02 FEET; THENCE SOUTH 55°57'42" EAST, A DISTANCE OF 72.12 FEET; THENCE SOUTH 69°25'57" EAST, A DISTANCE OF 251.46 FEET; THENCE SOUTH 66°30'15" EAST, A DISTANCE OF 53.96 FEET; THENCE NORTH 80°30'44" EAST, A DISTANCE OF 142.70 FEET; THENCE NORTH 74°20'45" EAST, A DISTANCE OF 139.43 FEET; THENCE NORTH 82°54'19" EAST, A DISTANCE OF 228.55 FEET TO A POINT ON THE SOUTH LINE OF A PLAT ENTITLED GARDEN VILLAS OF GATOR TRACE UNIT 1, AS RECORDED IN PLAT BOOK 27, PAGE 20 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, SAID POINT BEING A NON-RADIAL INTERSECTION WITH A CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 155.00 FEET AND A CENTRAL ANGLE OF 46°42'43", A RADIAL TO SAID POINT BEARS SOUTH 83°55'21" EAST; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 126.37 FEET, TO A POINT OF TANGENCY; THENCE SOUTH 52°47'22" WEST, DISTANCE OF 35.94 AND THE POINT OF BEGINNING.

FROM THE POINT OF BEGINNING: THENCE RUN SOUTH 37°12'38" EAST, A DISTANCE OF 78.22 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 170.00 FEET AND A CENTRAL ANGLE OF 18°53'07"; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 56.03 FEET TO A POINT OF TANGENCY; THENCE SOUTH 18°19'31" EAST, A DISTANCE OF 125.87 FEET; THENCE SOUTH 71°40'29" WEST, A DISTANCE OF 16.90 FEET; THENCE SOUTH 07°32'48" EAST, A DISTANCE OF 112.74 FEET; THENCE SOUTH 82°27'08" WEST, A DISTANCE OF 303.52 FEET; THENCE NORTH 82°47'15" WEST, A DISTANCE OF 340.09 FEET; THENCE NORTH 48°26'19" WEST, A DISTANCE OF 32.23 FEET; THENCE NORTH 07°13'00" EAST, A DISTANCE OF 89.06 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTHEAST, HAVING A RADIUS OF 330.00 FEET AND A CENTRAL ANGLE OF 13°20'50"; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 76.87 FEET TO A POINT OF TANGENCY; THENCE NORTH 28°33'50" EAST, A DISTANCE OF 49.32 FEET; THENCE SOUTH 69°26'11" EAST, A DISTANCE OF 0.58 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTH HAVING A RADIUS OF 360.00 FEET AND A CENTRAL ANGLE OF 33°08'13"; THENCE EASTERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 208.21 FEET TO A POINT OF TANGENCY; THENCE NORTH 77°25'36" EAST, A DISTANCE OF 113.50 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 330.00 FEET AND A CENTRAL ANGLE OF 24°38'14"; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 141.90 FEET TO A POINT OF TANGENCY; THENCE NORTH 52°47'22" EAST, A DISTANCE OF 75.31 FEET, RETURNING TO THE POINT OF BEGINNING.

TOGETHER WITH THE FOLLOWING DESCRIBED PARCEL:

(PARCEL 3-A(6))

A PARCEL OF LAND LYING IN SECTION 35, TOWNSHIP 35 SOUTH, RANGE 40 EAST, OF ST. LUCIE COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF SECTION 35, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA; THENCE RUN NORTH 00°22'08" EAST ALONG THE WEST LINE OF SAID SECTION 35 AND THE WEST LINE OF GATOR TRACE BOULEVARD, A 100.00 FOOT WIDE RIGHT-OF-WAY, A DISTANCE OF 2668.95 FEET TO A CONCRETE MONUMENT AT THE WEST ONE QUARTER OF SAID SECTION 35; THENCE NORTH 00°28'00" EAST ALONG THE WEST LINE OF SECTION 35, A DISTANCE OF 55.75 FEET TO A POINT, SAID POINT LYING 2614.63 FEET SOUTH OF THE NORTHWEST CORNER OF SECTION 35, AS MEASURED ALONG THE WEST LINE OF SECTION 35 (SAID NORTHWEST CORNER OF SECTION 35 BEING A CONCRETE MONUMENT); THENCE RUN SOUTH 89°32'00" EAST, A DISTANCE OF 700.82 FEET; THENCE NORTH 42°22'55" EAST, A DISTANCE OF 105.02 FEET; THENCE SOUTH 55°57'42" EAST, A DISTANCE OF 72.12 FEET; THENCE SOUTH 69°25'57" EAST, A DISTANCE OF 251.46 FEET; THENCE SOUTH 66°30'15" EAST, A DISTANCE OF 53.96 FEET; THENCE NORTH 80°30'44" EAST, A DISTANCE OF 142.70 FEET; THENCE NORTH 74°20'45" EAST, A DISTANCE OF 139.43 FEET; THENCE NORTH 82°54'19" EAST, A DISTANCE OF 228.55 FEET TO A POINT ON THE SOUTH LINE OF A PLAT ENTITLED GARDEN VILLAS OF GATOR TRACE UNIT I, AS RECORDED IN PLAT BOOK 27, PAGE 20 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, SAID POINT BEING A NON-RADIAL INTERSECTION WITH A CURVE AND THE POINT OF BEGINNING.

FROM THE POINT OF BEGINNING; THENCE RUN SOUTH 83°51'49" EAST, A DISTANCE OF 119.48 FEET; THENCE SOUTH 72°16'51" EAST, A DISTANCE OF 81.32 FEET; THENCE SOUTH 49°18'00" EAST, A DISTANCE OF 64.44 FEET; THENCE SOUTH 26°19'10" EAST, A DISTANCE OF 273.83 FEET; THENCE SOUTH 55°03'54" WEST, A DISTANCE OF 125.19 FEET; THENCE SOUTH 68°21'36" WEST, A DISTANCE OF 196.78 FEET; THENCE SOUTH 82°27'08" WEST, A DISTANCE OF 58.88 FEET; THENCE NORTH 07°32'48" WEST, A DISTANCE OF 112.74 FEET; THENCE NORTH 71°40'29" EAST, A DISTANCE OF 16.90 FEET; THENCE NORTH 18°19'31"

WEST, A DISTANCE OF 125.87 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 170.00 FEET AND A CENTRAL ANGLE OF 18°53'07"; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 56.03 FEET TO A POINT OF TANGENCY; THENCE NORTH 37°12'38" WEST, A DISTANCE OF 78.22 FEET; THENCE NORTH 52°47'22" EAST, A DISTANCE OF 35.94 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTHWEST AND HAVING A RADIUS OF 155.00 FEET AND A CENTRAL ANGLE OF 46°42'43"; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 126.37 FEET, RETURNING TO THE POINT OF BEGINNING.

Parcel Identification Number:

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2021.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Grace Trace Partners IV, LLC, a Florida limited liability company

By: [Signature]
Steven Tarr, Manager of GT Partners, LLC, the Manager of Gator Trace Partners IV, a Florida limited liability company

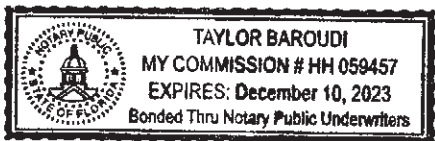
[Signature]
Witness Name: Richard B. Warren

[Signature]
Witness Name: Taylor Baroudi

State of Florida
County of Palm Beach

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 13 day of October, 2022 by Steven Tarr Manager of GT Partners, LLC, the Manager of Gator Trace Partners IV, a Florida limited liability company, who is personally known to me or has produced a driver's license as identification.

[Notary Seal]



[Signature]
Notary Public

Printed Name: Taylor Baroudi

My Commission Expires: 12/10/2023

Property Identification

Site Address: Gator Trace RD
 Sec/Town/Range: 34/35S/40E
 Parcel ID: 2435-311-0001-000-4
 Jurisdiction: Fort Pierce

Use Type: 0000
 Account #: 142371
 Map ID: 24/35S
 Zoning: Planned De

Ownership

GATOR TRACE ON THE GREENS
 LLC
 17305 S Dixie HWY
 Palmetto Bay, FL 33157



Legal Description

34 35 40 FROM SW COR OF SEC 35, TH N 00 22 08 E ALG W LI OF SEC AND W LI OF GATOR TRACE BLVD 100 FT (100 FT R/W) 2668.95 FT TO W 1/4 COR, TH N 00 28 00 E AL G W 1/4 LI 55.75 FT, TH S 89 32 00 E 700.82 FT TO INT OF SWLY LI AND SELY LI OF VILLAS AT GATOR TRACE, TH N 42 22 55 E ALG SE LI 105.02 FT, TH S 55 57 42 E 72.12 FT, TH S 69 25 57 E 251.46 FT, TH S 66 30 15 E 53.96 FT, TH N 80 30 44 E 142.70 FT, N 74 20 45 E 139.43 FT TO SW LI OF GARDEN TRACE UNIT 1, TH N 82 54 19 E 228.55 FT TO S LI OF GARDEN VILLAS OF GATOR TRACE UNIT 1 AND CURVE CONC AVE NW, R=155 FT, TH SWLY ALG ARC 126.37 FT, TH S 52 47 22 W 35.94 FT TO POB, TH S 3712 38 E 78.22 FT TO CURVE CONCAVE SW, R=170 FT, TH SLY ALG ARC 56.03 FT, TH S 18 19 31 E 125.87 FT, TH S 71 40 29 W 16.90 FT, TH S 07 32 48 E 112.74 FT, TH S 82 27 08 W 303.52 FT, N 82 47 15 W 340.09 FT, TH N 48 26 19 W 32.23 FT, TH N 07 13 00 E 89.06 FT TO CURVE CONCAVE SE, R=330 FT, TH NELY ALG ARC 76.87 FT, N 20 33 50 E 49.32 FT, TH S 69 26 11 E 0.58 FT, TO CURVE CONCAVE N, R=360 FT, TH ELY ALG ARC 208.21 FT, TH N 77 25 36 E 113.50 FT TO CURVE CONCAVE NW, R=330 FT, TH NELY ALG ARC 141.90 FT, N 52 47 22 E 75.31 FT TO POB (3.92) (OR 3434-1609; 3718-344)

Total Areas

Finished/Under Air (SF): 0
 Gross Sketched Area (SF): 0
 Land Size (acres): 3.92
 Land Size (SF): 170,755

Current Values

Just/Market Value: \$156,800
 Assessed Value: \$145,530
 Exemptions: \$0
 Taxable Value: \$145,530

Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Building Design Wind Speed

| Occupancy Category | I | II | III |
|--------------------|-----|-----|-----|
| Speed | 140 | 160 | 170 |

Sources/links:

Taxes for this parcel: [SLC Tax Collector's Office](#)

Download TRIM for this parcel: [Download PDF](#)

Sale History

| Date | Book/Page | Sale Code | Deed | Grantor | Price |
|--------------|-------------|-----------|------|--------------------------------|-------------|
| Oct 13, 2022 | 4903 / 0738 | 0205 | WD | Gator Trace Partners IV LLC | \$871,000 |
| Feb 19, 2015 | 3718 / 0344 | 0311 | QC | HST Development Partners Inc | \$100 |
| Sep 18, 2012 | 3434 / 1609 | 0205 | WD | CRM Florida Properties LLC | \$775,000 |
| Jan 10, 2011 | 3260 / 0209 | 0311 | CT | Symphony Builders/Gator Tr LLC | \$100 |
| Feb 3, 2005 | 2160 / 2367 | XX02 | DE | New Century Ventures Inc, | \$6,500,000 |
| Mar 2, 1999 | 1206 / 2787 | XX02 | WD | | \$1,108,400 |

Building Information (1 of 1)

Finished Area: 0 SF

Gross Sketched Area: 0 SF

Exterior Data

View:
Building Type:
Grade:
Story Height:

Roof Cover:
Year Built: N/A
Effective Year: N/A
No. Units: 0

Roof Structure:
Frame:
Primary Wall:
Secondary Wall:

Interior Data

Bedrooms: 0
Full Baths: 0
Half Baths: 0
A/C %: 0%

Electric:
Heat Type:
Heat Fuel:
Heated %: N/A%

Primary Int Wall:
Avg Hgt/Floor: 0
Primary Floors:
Sprinkled %: 0%



Image
or
Sketch
unavailable
for display

Sketch Area Legend

Sub Area Description Area Fin. Area Perimeter

Special Features and Yard Items

Type Qty Units Year Blt

Current Year Values

Current Values Breakdown

Building: \$0
Land: \$156,800
Just/Market: \$156,800
Ag Credit: \$0
Save Our Homes or 10% Cap: \$11,270
Assessed: \$145,530
Exemption(s): \$0
Taxable: \$145,530

Current Year Exemption Value Breakdown

Current Year Special Assessment Breakdown

Start Year AssessCode Units Description Amount
2015 0041 5.7 Fort Pierce Stormwater Charge \$393.30

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office.

Historical Values

| Year | Just/Market | Assessed | Exemptions | Taxable |
|------|-------------|-----------|------------|-----------|
| 2022 | \$156,800 | \$145,530 | \$0 | \$145,530 |
| 2021 | \$132,300 | \$132,300 | \$0 | \$132,300 |
| 2020 | \$127,400 | \$127,400 | \$0 | \$127,400 |
| 2019 | \$127,400 | \$127,400 | \$0 | \$127,400 |

Permits

| Number | Issue Date | Description | Amount | Fee |
|-----------|--------------|-----------------------------|-------------|----------|
| BP11-2801 | Nov 21, 2011 | Air Conditioning Only | \$2,079 | \$154 |
| BP11-2099 | Sep 8, 2011 | Electric | \$0 | \$1,725 |
| BP11-2794 | Nov 21, 2011 | Air Conditioning Only | \$2,148 | \$154 |
| BP11-2800 | Nov 21, 2011 | Air Conditioning Only | \$2,160 | \$154 |
| BP11-2802 | Nov 21, 2011 | Air Conditioning Only | \$1,960 | \$154 |
| BP11-2803 | Nov 21, 2011 | Air Conditioning Only | \$1,960 | \$154 |
| BP11-2804 | Nov 21, 2011 | Air Conditioning Only | \$1,960 | \$154 |
| BP11-2805 | Nov 21, 2011 | Air Conditioning Only | \$2,229 | \$154 |
| BP11-2806 | Nov 21, 2011 | Air Conditioning Only | \$2,070 | \$154 |
| BP11-2807 | Nov 21, 2011 | Air Conditioning Only | \$2,070 | \$154 |
| BP11-2808 | Nov 21, 2011 | Air Conditioning Only | \$2,070 | \$154 |
| BP11-2809 | Nov 21, 2011 | Air Conditioning Only | \$3,303 | \$154 |
| BP11-2810 | Nov 21, 2011 | Air Conditioning Only | \$2,380 | \$154 |
| BP11-2811 | Nov 21, 2011 | Air Conditioning Only | \$2,070 | \$154 |
| BP11-2812 | Nov 21, 2011 | Air Conditioning Only | \$3,303 | \$154 |
| BP11-2813 | Nov 21, 2011 | Air Conditioning Only | \$2,070 | \$154 |
| BP11-2814 | Nov 21, 2011 | Air Conditioning Only | \$2,070 | \$154 |
| BP11-2815 | Nov 21, 2011 | Air Conditioning Only | \$2,242 | \$154 |
| BP11-2816 | Nov 21, 2011 | Air Conditioning Only | \$2,104 | \$154 |
| BP11-2817 | Nov 21, 2011 | Air Conditioning Only | \$2,070 | \$154 |
| BP11-2822 | Nov 21, 2011 | Air Conditioning Only | \$3,297 | \$154 |
| BP11-2823 | Nov 21, 2011 | Air Conditioning Only | \$3,297 | \$154 |
| BP11-2824 | Nov 21, 2011 | Air Conditioning Only | \$3,297 | \$154 |
| BP12-1780 | Oct 11, 2012 | Fence | \$870 | \$255 |
| BP07-6785 | Nov 26, 2012 | Commercial New Construction | \$3,461,268 | \$16,142 |
| BP13-0026 | Jan 14, 2013 | Demolition | \$1,500 | \$257 |

Notice: This does not necessarily represent all the permits for this property.

Click the following link to check for additional permit data in Fort Pierce

All information is believed to be correct at this time, but is subject to change and is provided without any warranty.
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Property Identification

Site Address: Gator Trace RD
 Sec/Town/Range: 34/35S/40E
 Parcel ID: 2435-243-0001-000-6
 Jurisdiction: Fort Pierce

Use Type: 0000
 Account #: 142372
 Map ID: 24/35S
 Zoning: Planned De

Ownership

GATOR TRACE ON THE GREENS
 LLC
 17305 S Dixie HWY
 Palmetto Bay, FL 33157



Legal Description

35 35 40 FROM SW COR OF SEC 35, TH N 00 22 08 E ALG W LI OF SEC AND W LI OF GATOR TRACE BLVD 100 FT (100 FT R/W) 2668.95 FT TO W 1/4 COR, TH N 00 28 00 E ALG W 1/4 LI 55.75 FT, TH S 89 32 00 E 700.82 FT TO INT OF SWLY LI AND SELY LI OF VILLAS AT GATOR TRACE, TH N 42 22 55 E ALG SE LI 105.02 FT, TH S 55 57 42 E 72.12 FT, TH S 69 25 57 E 251.46 FT, TH S 66 30 15 E 53.96 FT, TH N 80 30 44 E 142.70 FT, N 74 20 45 E 139.43 FT TO SW LI OF GARDEN TRACE UNIT 1, TH N 82 54 19 E 228.55 FT TO S LI OF GARDEN VILLAS OF GATOR TRACE UNIT 1 POB, TH S 83 51 49 E 119.48 FT, TH S 72 16 51 E 81.32 FT, TH S 49 18 00 E 64.44 FT, TH S 26 19 10 E 273.83 FT, TH S 55 03 54 W 125.19 FT, TH S 68 21 36 W 196.78 FT, TH S 82 27 08 W 58.88 FT, TH N 07 32 48 W 112.74 FT, TH N 71 40 29 E 16.90 FT, TH N 18 19 31 W 125.87 FT TO CURVE CONCAVE SW, R=170 FT, TH NWLY ALG ARC 56.03 FT, TH N 73 12 38 W 78.22 FT, TH N 52 47 22 E 35.94 FT TO CURVE CONCAVE NW, R=155 FT, TH NLY ALG ARC 126.37 FT TO POB. (3.02)

Current Values

Just/Market Value: \$120,800
 Assessed Value: \$112,090
 Exemptions: \$0
 Taxable Value: \$112,090

Total Areas

Finished/Under Air (SF): 0
 Gross Sketched Area (SF): 0
 Land Size (acres): 3.02
 Land Size (SF): 131,551

Building Design Wind Speed

| Occupancy Category | I | II | III |
|--------------------|-----|-----|-----|
| Speed | 140 | 160 | 170 |

Sources/links:

Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Taxes for this parcel: [SLC Tax Collector's Office](#)

Download TRIM for this parcel: [Download PDF](#)

Sale History

| Date | Book/Page | Sale Code | Deed | Grantor | Price |
|--------------|-------------|-----------|------|--------------------------------|-------------|
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| Feb 19, 2015 | 3718 / 0344 | 0311 | QC | HST Development Partners Inc | \$100 |
| Sep 18, 2012 | 3434 / 1609 | 0205 | WD | CRM Florida Properties LLC | \$775,000 |
| Jan 10, 2011 | 3260 / 0209 | 0311 | CT | Symphony Builders/Gator Tr LLC | \$100 |
| Feb 3, 2005 | 2160 / 2367 | XX02 | DE | New Century Ventures Inc, | \$6,500,000 |
| Mar 2, 1999 | 1206 / 2787 | XX02 | WD | | \$1,108,400 |

Building Information (1 of 1)

Finished Area: 0 SF

Gross Sketched Area: 0 SF

Exterior Data

View:
 Building Type:
 Grade:
 Story Height:

Roof Cover:
 Year Built: N/A
 Effective Year: N/A
 No. Units: 0

Roof Structure:
 Frame:
 Primary Wall:
 Secondary Wall:

Interior Data

Bedrooms: 0
 Full Baths: 0
 Half Baths: 0
 A/C %: 0%

Electric:
 Heat Type:
 Heat Fuel:
 Heated %: N/A%

Primary Int Wall:
 Avg Hgt/Floor: 0
 Primary Floors:
 Sprinkled %: 0%



Image
 or
 Sketch
 unavailable
 for display

Sketch Area Legend

Sub Area Description Area Fin. Area Perimeter

Special Features and Yard Items

Type Qty Units Year Blt

Current Year Values


Current Values Breakdown

Building: \$0
 Land: \$120,800
 Just/Market: \$120,800
 Ag Credit: \$0
 Save Our Homes or 10% Cap: \$8,710
 Assessed: \$112,090
 Exemption(s): \$0
 Taxable: \$112,090

Current Year Exemption Value Breakdown

Current Year Special Assessment Breakdown

| Start Year | AssessCode | Units | Description | Amount |
|------------|------------|-------|-------------------------------|----------|
| 2018 | 0041 | 4.4 | Fort Pierce Stormwater Charge | \$303.60 |

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office .

Historical Values

| Year | Just/Market | Assessed | Exemptions | Taxable |
|------|-------------|-----------|------------|-----------|
| 2022 | \$120,800 | \$112,090 | \$0 | \$112,090 |
| 2021 | \$101,900 | \$101,900 | \$0 | \$101,900 |
| 2020 | \$98,200 | \$98,200 | \$0 | \$98,200 |
| 2019 | \$98,200 | \$98,200 | \$0 | \$98,200 |

Permits

| Number | Issue Date | Description | Amount | Fee |
|--------|------------|-------------|--------|-----|
|--------|------------|-------------|--------|-----|

Notice: This does not necessarily represent all the permits for this property.
Click the following link to check for additional permit data in Fort Pierce

All information is believed to be correct at this time, but is subject to change and is provided without any warranty.
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Technical Review Committee

1. c.

Meeting Date: 07/18/2024

REQUESTED ACTION

Final Plat - Gator Trace on The Greens (of Gator Trace Planned Unit Development) - 4150 and 4200 Gator Trace Road

SUMMARY

Project #: 24-09000005

The applicant is proposing to build (13) buildings, (67) units innovative townhouse community on totaling 6.94 acres PD zoned, wooded land in the Gator Trace Golf & Country Club, Fort Pierce, Florida. To fulfill the innovative design category, they provided coastal architecture design and colors along with amenities such as dog park, bicycle rack, toddler playground, and outdoor fitness area with benches and walkways along with landscaping that exceeds the minimum code requirements. The layout of the site consists of two entrances off Gator Trace Road with a looped road throughout the development. There are two proposed dry detention ponds on each side of the property that will be used for stormwater storage but also act as green open space for the neighborhood. There is an existing 0.63-acre wetland plus 0.56 wetland buffer in the middle eastern portion of the property that the applicant is planning to use for residential purpose that will require a credit purchase from SFWMD for Wetland Mitigation. Also, the traffic impact of the proposed development has been evaluated and the result shows that the proposed development will be in compliance with the City of Fort Pierce Land Development Code.

LOCATION

4150 & 4200 Gator Trace Road

RESPONSIBLE STAFF

Vennis Gilmore, Assistant Planning Director

RECOMMENDATION

TBD

Attachments

TRC Packet

Form Review

Form Started By: Vennis Gilmore
Final Approval Date: 07/03/2024

Started On: 07/03/2024 04:27 PM



THE SUNRISE CITY
FORT PIERCE
PLANNING DEPARTMENT *Florida*

Subdivision

Property address or Location 4150 & 4200 Gator Trace Rd, Ft Pierce, FL
 Parcel ID #(s) 2435-311-0001-000/4 & 2435-243-0001-000/6
 Project description NEW 67 UNITS TOWNHOUSE DEVELOPMENT

GATOR TRACE ON THE GREENS, LLC
 Property Owner(s)
17305 S DIXIE HWY
 Street Address
PALMETTO BAY, FL 33157
 City State Zip
(954) 907-2082
 Phone Number
ekrem@ou-intl.com
 Email Address

RASIM CINAR
 Applicant/Representative, Title, Company
279 LAKE MONTEREY CIRCLE
 Street Address
BOTNTON BEAH, FL 33426
 City State Zip
(561) 713-9700
 Phone Number
rasimcinar@gmail.com
 Email Address

Property Owner(s) Acknowledgments: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgment of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or its representative to act in his/her behalf for the purposes of seeking approval for the application described herein.


 Property Owner(s) Signature(s)

STATE OF FLORIDA - COUNTY
 The foregoing instrument was acknowledged before me this 10 day of JUNE, 2024, by
Ekrem Uzman who is personally known to me or has produced
 _____ as identification.


 Signature of Notary



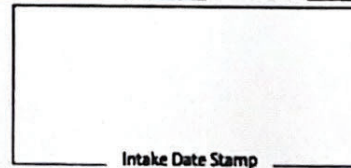
INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3729

To Be Completed by Staff

| Zoning | Future Land Use | Total Acres | Historic District | Historic Designation | |
|--------|-----------------|-------------|-------------------|----------------------|------------|
| | | | | Contributing | Individual |
| | | | | Non-Contributing | None |

Pre-Application Meeting Date _____
 Intake Planner _____
 Planner Assigned _____
 Approved By _____ Date _____
 Comments _____

Fees _____ Control # _____ B. Permit # _____


 Intake Date Stamp _____

SUBDIVISION: PRELIMINARY PLAT

Please submit one (1) original and thirteen (13) hard copies and one (1) CD of the following:

- Preliminary Plat prepared by a surveyor registered in the State of Florida meeting the requirements of Sections 18-5, & 18-10 (a) (1-3) & (c)
 - A copy of the deed
 - Signed and sealed survey
 - Concurrency application, complete
 - Complete, notarized application
-

SUBDIVISION: INFRASTRUCTURE PLAN REVIEW

Please submit one (1) original and four (4) hard copies and one (1) CD of the following, stamped by a state of Florida registered engineer meeting the requirements of 18-10 (a) (4) :

- Street construction plans
 - Electric Infrastructure plans
 - Water & Sewer system construction plans
 - Gas Infrastructure plans
 - Stormwater Retention plans
 - Complete, notarized application
-

SUBDIVISION: FINAL PLAT

Please submit one (1) original and thirteen (13) hard copies and one (1) CD of the following:

- A copy of the deed
 - Signed and sealed survey
 - Final Plat stamped by a state of Florida registered surveyor meeting the requirements of 18-5, & 18-10 (b & c):
 - Complete, notarized application
-

SUBDIVISION: MINOR REPLAT

Please submit one (1) original and thirteen (13) hard copies and one (1) CD of the following:

- A copy of the deed
- As-built survey of original parcel stamped by a registered surveyor in the State of Florida
- Scaled drawing, stamped by a registered surveyor in the State of Florida, of surveyed parcel indicating
 - proposed lots, including acreage, square footage, & dimensions.
 - any & all easements, rights-of-way, or similar instruments found on or adjacent to the subject property
- Complete, notarized application

Prepared by and return to:

Richard F. Kondla

Attorney at Law

Richard Kondla, P.A.

17071 W. Dixie Highway

North Miami Beach, FL 33160

305-760-5602

File Number: 22- Vacant Land

Will Call No.:

[Space Above This Line For Recording Data]

Warranty Deed

This Warranty Deed made this 13 day of October, 2022 between Gator Trace Partners IV, LLC, a Florida limited liability company whose post office address is 4521 PGA Blvd., Suite 201, Palm Beach Gardens, FL 33418, grantor, and Gator Trace On The Greens, LLC a Florida limited liability company whose post office address is 17305 S Dixie Highway, Palmetto Bay, FL 33157, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Saint Lucie County, Florida to-wit:

(PARCEL 3-A(5))

A PARCEL OF LAND LYING IN SECTION 35, TOWNSHIP 35 SOUTH, RANGE 40 EAST, OF ST. LUCIE COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF SECTION 35, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA; THENCE RUN NORTH 00°22'08" EAST ALONG THE WEST LINE OF SAID SECTION 35 AND THE WEST LINE OF GATOR TRACE BOULEVARD, A 100.00 FOOT WIDE RIGHT-OF-WAY, A DISTANCE OF 2668.95 FEET TO A CONCRETE MONUMENT AT THE WEST ONE QUARTER OF SAID SECTION 35; THENCE NORTH 00°28'00" EAST ALONG THE WEST LINE OF SECTION 35, A DISTANCE OF 55.75 FEET TO A POINT, SAID POINT LYING 2614.63 FEET SOUTH OF THE NORTHWEST CORNER OF SECTION 35, AS MEASURED ALONG THE WEST RIGHT-OF-WAY LINE OF SECTION 35 (SAID NORTHWEST CORNER OF SECTION 35 BEING A CONCRETE MONUMENT); THENCE RUN SOUTH 89°32'00" EAST, A DISTANCE OF 700.82 FEET; THENCE NORTH 42°22'55" EAST, A DISTANCE OF 105.02 FEET; THENCE SOUTH 55°57'42" EAST, A DISTANCE OF 72.12 FEET; THENCE SOUTH 69°25'57" EAST, A DISTANCE OF 251.46 FEET; THENCE SOUTH 66°30'15" EAST, A DISTANCE OF 53.96 FEET; THENCE NORTH 80°30'44" EAST, A DISTANCE OF 142.70 FEET; THENCE NORTH 74°20'45" EAST, A DISTANCE OF 139.43 FEET; THENCE NORTH 82°54'19" EAST, A DISTANCE OF 228.55 FEET TO A POINT ON THE SOUTH LINE OF A PLAT ENTITLED GARDEN VILLAS OF GATOR TRACE UNIT 1, AS RECORDED IN PLAT BOOK 27, PAGE 20 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, SAID POINT BEING A NON-RADIAL INTERSECTION WITH A CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 155.00 FEET AND A CENTRAL ANGLE OF 46°42'43", A RADIAL TO SAID POINT BEARS SOUTH 83°55'21" EAST; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 126.37 FEET, TO A POINT OF TANGENCY; THENCE SOUTH 52°47'22" WEST, DISTANCE OF 35.94 AND THE POINT OF BEGINNING.

FROM THE POINT OF BEGINNING: THENCE RUN SOUTH 37°12'38" EAST, A DISTANCE OF 78.22 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 170.00 FEET AND A CENTRAL ANGLE OF 18°53'07"; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 56.03 FEET TO A POINT OF TANGENCY; THENCE SOUTH 18°19'31" EAST, A DISTANCE OF 125.87 FEET; THENCE SOUTH 71°40'29" WEST, A DISTANCE OF 16.90 FEET; THENCE SOUTH 07°32'48" EAST, A DISTANCE OF 112.74 FEET; THENCE SOUTH 82°27'08" WEST, A DISTANCE OF 303.52 FEET; THENCE NORTH 82°47'15" WEST, A DISTANCE OF 340.09 FEET; THENCE NORTH 48°26'19" WEST, A DISTANCE OF 32.23 FEET; THENCE NORTH 07°13'00" EAST, A DISTANCE OF 89.06 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTHEAST, HAVING A RADIUS OF 330.00 FEET AND A CENTRAL ANGLE OF 13°20'50"; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 76.87 FEET TO A POINT OF TANGENCY; THENCE NORTH 28°33'50" EAST, A DISTANCE OF 49.32 FEET; THENCE SOUTH 69°26'11" EAST, A DISTANCE OF 0.58 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTH HAVING A RADIUS OF 360.00 FEET AND A CENTRAL ANGLE OF 33°08'13"; THENCE EASTERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 208.21 FEET TO A POINT OF TANGENCY; THENCE NORTH 77°25'36" EAST, A DISTANCE OF 113.50 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 330.00 FEET AND A CENTRAL ANGLE OF 24°38'14"; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 141.90 FEET TO A POINT OF TANGENCY; THENCE NORTH 52°47'22" EAST, A DISTANCE OF 75.31 FEET, RETURNING TO THE POINT OF BEGINNING.

TOGETHER WITH THE FOLLOWING DESCRIBED PARCEL:

(PARCEL 3-A(6))

A PARCEL OF LAND LYING IN SECTION 35, TOWNSHIP 35 SOUTH, RANGE 40 EAST, OF ST. LUCIE COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF SECTION 35, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA; THENCE RUN NORTH 00°22'08" EAST ALONG THE WEST LINE OF SAID SECTION 35 AND THE WEST LINE OF GATOR TRACE BOULEVARD, A 100.00 FOOT WIDE RIGHT-OF-WAY, A DISTANCE OF 2668.95 FEET TO A CONCRETE MONUMENT AT THE WEST ONE QUARTER OF SAID SECTION 35; THENCE NORTH 00°28'00" EAST ALONG THE WEST LINE OF SECTION 35, A DISTANCE OF 55.75 FEET TO A POINT, SAID POINT LYING 2614.63 FEET SOUTH OF THE NORTHWEST CORNER OF SECTION 35, AS MEASURED ALONG THE WEST LINE OF SECTION 35 (SAID NORTHWEST CORNER OF SECTION 35 BEING A CONCRETE MONUMENT); THENCE RUN SOUTH 89°32'00" EAST, A DISTANCE OF 700.82 FEET; THENCE NORTH 42°22'55" EAST, A DISTANCE OF 105.02 FEET; THENCE SOUTH 55°57'42" EAST, A DISTANCE OF 72.12 FEET; THENCE SOUTH 69°25'57" EAST, A DISTANCE OF 251.46 FEET; THENCE SOUTH 66°30'15" EAST, A DISTANCE OF 53.96 FEET; THENCE NORTH 80°30'44" EAST, A DISTANCE OF 142.70 FEET; THENCE NORTH 74°20'45" EAST, A DISTANCE OF 139.43 FEET; THENCE NORTH 82°54'19" EAST, A DISTANCE OF 228.55 FEET TO A POINT ON THE SOUTH LINE OF A PLAT ENTITLED GARDEN VILLAS OF GATOR TRACE UNIT I, AS RECORDED IN PLAT BOOK 27, PAGE 20 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, SAID POINT BEING A NON-RADIAL INTERSECTION WITH A CURVE AND THE POINT OF BEGINNING.

FROM THE POINT OF BEGINNING; THENCE RUN SOUTH 83°51'49" EAST, A DISTANCE OF 119.48 FEET; THENCE SOUTH 72°16'51" EAST, A DISTANCE OF 81.32 FEET; THENCE SOUTH 49°18'00" EAST, A DISTANCE OF 64.44 FEET; THENCE SOUTH 26°19'10" EAST, A DISTANCE OF 273.83 FEET; THENCE SOUTH 55°03'54" WEST, A DISTANCE OF 125.19 FEET; THENCE SOUTH 68°21'36" WEST, A DISTANCE OF 196.78 FEET; THENCE SOUTH 82°27'08" WEST, A DISTANCE OF 58.88 FEET; THENCE NORTH 07°32'48" WEST, A DISTANCE OF 112.74 FEET; THENCE NORTH 71°40'29" EAST, A DISTANCE OF 16.90 FEET; THENCE NORTH 18°19'31"

WEST, A DISTANCE OF 125.87 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 170.00 FEET AND A CENTRAL ANGLE OF 18°53'07"; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 56.03 FEET TO A POINT OF TANGENCY; THENCE NORTH 37°12'38" WEST, A DISTANCE OF 78.22 FEET; THENCE NORTH 52°47'22" EAST, A DISTANCE OF 35.94 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTHWEST AND HAVING A RADIUS OF 155.00 FEET AND A CENTRAL ANGLE OF 46°42'43"; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 126.37 FEET, RETURNING TO THE POINT OF BEGINNING.

Parcel Identification Number:

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2021.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Grace Trace Partners IV, LLC, a Florida limited liability company

By: [Signature]
Steven Tarr, Manager of GT Partners, LLC, the Manager of Gator Trace Partners IV, a Florida limited liability company

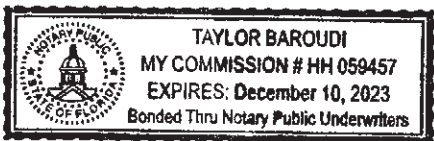
[Signature]
Witness Name: Richard B. Warren

[Signature]
Witness Name: Taylor Baroudi

State of Florida
County of Palm Beach

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 13 day of October, 2022 by Steven Tarr Manager of GT Partners, LLC, the Manager of Gator Trace Partners IV, a Florida limited liability company, who is personally known to me or has produced a driver's license as identification.

[Notary Seal]



[Signature]
Notary Public

Printed Name: Taylor Baroudi

My Commission Expires: 12/10/2023

GATOR TRACE ON THE GREENS

BEING A PLAT OF LANDS LYING IN THE SOUTHWEST 1/4 OF SECTION 35, TOWNSHIP 35 SOUTH, RANGE 40 EAST, CITY OF FORT PIERCE, ST. LUCIE COUNTY, FLORIDA.

PLAT BOOK _____

PAGE _____

DOCKET NO. _____

LEGAL DESCRIPTION (OFFICIAL RECORDS BOOK 4903, PAGE 738)

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF ST. LUCIE, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:

(PARCEL 3-A(5))

A PARCEL OF LAND LYING IN SECTION 35, TOWNSHIP 35 SOUTH, RANGE 40 EAST, OF ST. LUCIE COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF SECTION 35, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA; THENCE RUN NORTH 00°22'08" EAST ALONG THE WEST LINE OF SAID SECTION 35 AND THE WEST LINE OF GATOR TRACE BOULEVARD, A 100.00 FOOT WIDE RIGHT-OF-WAY, A DISTANCE OF 2668.95 FEET TO A CONCRETE MONUMENT AT THE WEST ONE QUARTER OF SAID SECTION 35; THENCE NORTH 00°28'00" EAST ALONG THE WEST LINE OF SECTION 35, A DISTANCE OF 55.75 FEET TO A POINT, SAID POINT LYING 2614.63 FEET SOUTH OF THE NORTHWEST CORNER OF SECTION 35, AS MEASURED ALONG THE WEST RIGHT-OF-WAY LINE OF SECTION 35 (SAID NORTHWEST CORNER OF SECTION 35 BEING A CONCRETE MONUMENT); THENCE RUN SOUTH 89°32'00" EAST, A DISTANCE OF 700.82 FEET; THENCE NORTH 42°22'55" EAST, A DISTANCE OF 105.02 FEET; THENCE SOUTH 55°57'42" EAST, A DISTANCE OF 72.12 FEET; THENCE SOUTH 69°25'57" EAST, A DISTANCE OF 251.46 FEET; THENCE SOUTH 66°30'15" EAST, A DISTANCE OF 53.96 FEET; THENCE NORTH 80°30'44" EAST, A DISTANCE OF 142.70 FEET; THENCE NORTH 74°20'45" EAST, A DISTANCE OF 139.43 FEET; THENCE NORTH 82°54'19" EAST, A DISTANCE OF 228.55 FEET TO A POINT ON THE SOUTH LINE OF A PLAT ENTITLED GARDEN VILLAS OF GATOR TRACE UNIT I, AS RECORDED IN PLAT BOOK 27, PAGE 20 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, SAID POINT BEING A NON-RADIAL INTERSECTION WITH A CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 155.00 FEET AND A CENTRAL ANGLE OF 46°42'43", A RADIAL TO SAID POINT BEARS SOUTH 83°55'21" EAST; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 126.37 FEET, TO A POINT OF TANGENCY; THENCE SOUTH 52°47'22" WEST, DISTANCE OF 35.94 AND THE POINT OF BEGINNING.

FROM THE POINT OF BEGINNING; THENCE RUN SOUTH 37°12'38" EAST, A DISTANCE OF 78.22 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 170.00 FEET AND A CENTRAL ANGLE OF 18°53'07"; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 56.03 FEET TO A POINT OF TANGENCY; THENCE SOUTH 18°19'31" EAST, A DISTANCE OF 125.87 FEET; THENCE SOUTH 71°40'29" WEST, A DISTANCE OF 16.90 FEET; THENCE SOUTH 07°32'48" EAST, A DISTANCE OF 112.74 FEET; THENCE SOUTH 82°27'08" WEST, A DISTANCE OF 303.52 FEET; THENCE NORTH 82°47'15" WEST, A DISTANCE OF 340.09 FEET; THENCE NORTH 48°26'19" WEST, A DISTANCE OF 32.23 FEET; THENCE NORTH 07°13'00" EAST, A DISTANCE OF 89.06 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTHEAST, HAVING A RADIUS OF 330.00 FEET AND A CENTRAL ANGLE OF 13°20'50"; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 76.87 FEET TO A POINT OF TANGENCY; THENCE NORTH 20°33'50" EAST, A DISTANCE OF 49.32 FEET; THENCE SOUTH 69°26'11" EAST, A DISTANCE OF 0.58 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTH HAVING A RADIUS OF 360.00 FEET AND A CENTRAL ANGLE OF 33°08'13"; THENCE EASTERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 208.21 FEET TO A POINT OF TANGENCY; THENCE NORTH 77°25'36" EAST, A DISTANCE OF 113.50 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 330.00 FEET AND A CENTRAL ANGLE OF 24°38'14"; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 141.90 FEET TO A POINT OF TANGENCY; THENCE NORTH 52°47'22" EAST, A DISTANCE OF 75.31 FEET, RETURNING TO THE POINT OF BEGINNING.

TOGETHER WITH THE FOLLOWING DESCRIBED PARCEL:

(PARCEL 3-A(6))

A PARCEL OF LAND LYING IN SECTION 35, TOWNSHIP 35 SOUTH, RANGE 40 EAST, OF ST. LUCIE COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF SECTION 35, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA; THENCE RUN NORTH 00°22'08" EAST ALONG THE WEST LINE OF SAID SECTION 35 AND THE WEST LINE OF GATOR TRACE BOULEVARD, A 100.00 FOOT WIDE RIGHT-OF-WAY, A DISTANCE OF 2668.95 FEET TO A CONCRETE MONUMENT AT THE WEST ONE QUARTER OF SAID SECTION 35; THENCE NORTH 00°28'00" EAST ALONG THE WEST LINE OF SECTION 35, A DISTANCE OF 55.75 FEET TO A POINT, SAID POINT LYING 2614.63 FEET SOUTH OF THE NORTHWEST CORNER OF SECTION 35, AS MEASURED ALONG THE WEST LINE OF SECTION 35 (SAID NORTHWEST CORNER OF SECTION 35 BEING A CONCRETE MONUMENT); THENCE RUN SOUTH 89°32'00" EAST, A DISTANCE OF 700.82 FEET; THENCE NORTH 42°22'55" EAST, A DISTANCE OF 105.02 FEET; THENCE SOUTH 55°57'42" EAST, A DISTANCE OF 72.12 FEET; THENCE SOUTH 69°25'57" EAST, A DISTANCE OF 251.46 FEET; THENCE SOUTH 66°30'15" EAST, A DISTANCE OF 53.96 FEET; THENCE NORTH 80°30'44" EAST, A DISTANCE OF 142.70 FEET; THENCE NORTH 74°20'45" EAST, A DISTANCE OF 139.43 FEET; THENCE NORTH 82°54'19" EAST, A DISTANCE OF 228.55 FEET TO A POINT ON THE SOUTH LINE OF A PLAT ENTITLED GARDEN VILLAS OF GATOR TRACE UNIT I, AS RECORDED IN PLAT BOOK 27, PAGE 20 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, SAID POINT BEING A NON-RADIAL INTERSECTION WITH A CURVE AND THE POINT OF BEGINNING.

FROM THE POINT OF BEGINNING; THENCE RUN SOUTH 83°51'49" EAST, A DISTANCE OF 119.48 FEET; THENCE SOUTH 72°16'51" EAST, A DISTANCE OF 81.32 FEET; THENCE SOUTH 49°18'00" EAST, A DISTANCE OF 64.44 FEET; THENCE SOUTH 26°19'10" EAST, A DISTANCE OF 273.83 FEET; THENCE SOUTH 55°03'54" WEST, A DISTANCE OF 125.19 FEET; THENCE SOUTH 68°21'36" WEST, A DISTANCE OF 196.78 FEET; THENCE SOUTH 82°27'08" WEST, A DISTANCE OF 58.88 FEET; THENCE NORTH 07°32'48" WEST, A DISTANCE OF 112.74 FEET; THENCE NORTH 71°40'29" EAST, A DISTANCE OF 16.90 FEET; THENCE NORTH 18°19'31" WEST, A DISTANCE OF 125.87 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 170.00 FEET AND A CENTRAL ANGLE OF 18°53'07"; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 56.03 FEET TO A POINT OF TANGENCY; THENCE NORTH 37°12'38" WEST, A DISTANCE OF 78.22 FEET; THENCE NORTH 52°47'22" EAST, A DISTANCE OF 35.94 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTHWEST AND HAVING A RADIUS OF 155.00 FEET AND A CENTRAL ANGLE OF 46°42'43"; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 126.37 FEET, RETURNING TO THE POINT OF BEGINNING.

LEGAL DESCRIPTION (AS SURVEYED)

A PARCEL OF LAND LYING IN SECTION 35, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE INTERSECTION OF GARDEN VILLAS COURT AND GATOR TRACT ROAD (TWO 55.00-FOOT-WIDE RIGHTS-OF-WAY RECORDED IN PLAT BOOK 27, PAGE 20, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA); THENCE NORTH 52°42'40" EAST ALONG THE CENTERLINE OF SAID GATOR TRACE ROAD, A DISTANCE OF 55.64 FEET TO THE BEGINNING OF A CURVE CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 125.00 FEET; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 46°42'43", A CHORD BEARING OF NORTH 29°21'29" EAST, A CHORD DISTANCE OF 99.11 FEET, AND AN ARC DISTANCE OF 101.91 FEET TO A POINT OF RADIAL INTERSECTION WITH A LINE; THENCE SOUTH 83°59'52" EAST, A DISTANCE OF 30.00 FEET TO A POINT OF RADIAL INTERSECTION WITH THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID GATOR TRACE ROAD, SAID POINT OF INTERSECTION BEING THE POINT OF BEGINNING;

THENCE SOUTH 83°56'21" EAST, DEPARTING SAID RIGHT-OF-WAY, A DISTANCE OF 119.48 FEET; THENCE SOUTH 72°21'23" EAST, A DISTANCE OF 81.32 FEET; THENCE SOUTH 49°22'32" EAST, A DISTANCE OF 64.44 FEET; THENCE SOUTH 26°23'42" EAST, A DISTANCE OF 273.84 FEET; THENCE SOUTH 54°59'22" WEST, A DISTANCE OF 125.19 FEET; THENCE SOUTH 68°17'04" WEST, A DISTANCE OF 196.78 FEET; THENCE SOUTH 82°22'36" WEST, A DISTANCE OF 362.40 FEET; THENCE NORTH 82°51'47" WEST, A DISTANCE OF 340.09 FEET; THENCE NORTH 48°30'51" WEST, A DISTANCE OF 32.23 FEET; THENCE NORTH 07°08'29" EAST, A DISTANCE OF 89.06 FEET TO THE BEGINNING OF A CURVE CONCAVE EASTERLY, HAVING A RADIUS OF 330.00 FEET; THENCE NORTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 13°20'50" AN ARC DISTANCE OF 76.87 FEET TO A POINT OF TANGENCY; THENCE NORTH 20°29'19" EAST, A DISTANCE OF 49.33 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF GATOR TRACE ROAD (AS RECORDED IN OFFICIAL RECORDS BOOK 1353, PAGE 1518 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA); THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE THE FOLLOWING SIX COURSES AND DISTANCES: SOUTH 69°30'44" EAST, A DISTANCE OF 0.60 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHERLY, HAVING A RADIUS OF 360.00 FEET; THENCE EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 33°08'11" AN ARC DISTANCE OF 208.20 FEET TO A POINT OF TANGENCY; THENCE NORTH 77°21'04" EAST, A DISTANCE OF 113.50 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 330.00 FEET; THENCE NORTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 24°38'24" AN ARC DISTANCE OF 141.92 FEET TO A POINT OF TANGENCY; THENCE NORTH 52°42'40" EAST, A DISTANCE OF 111.22 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 155.00 FEET; THENCE NORTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 46°42'42" AN ARC DISTANCE OF 126.37 FEET TO THE POINT OF BEGINNING.

CONTAINING 6.94 ACRES, MORE OR LESS.

CERTIFICATE OF OWNERSHIP & DEDICATION

STATE OF FLORIDA
COUNTY OF ST. LUCIE

GATOR TRACE ON THE GREENS LLC, A FLORIDA LIMITED LIABILITY COMPANY, DOES HEREBY CERTIFY THAT IT IS THE OWNER OF THE PROPERTY DESCRIBED HEREON AND HAS CAUSED THE SAME TO BE SURVEYED AND PLATTED, AS SHOWN HEREON, AND DOES HEREBY AFFIRM AS FOLLOWS:

- THE ROADWAY TRACT, SHOWN HEREON AS GATOR GREENS COURT AND GATOR GREEN ROAD IS HEREBY DEDICATED TO THE GATOR TRACE ON THE GREENS HOMEOWNER'S ASSOCIATION, INC., A FLORIDA NOT FOR PROFIT CORPORATION, ITS SUCCESSORS AND/OR ASSIGNS, FOR INGRESS, EGRESS, AND UTILITY PURPOSES (INCLUDING CABLE TV), AND IS THE MAINTENANCE RESPONSIBILITY OF SAID ENTITY, ITS SUCCESSORS AND/OR ASSIGNS.
- THE WATER MANAGEMENT TRACTS SHOWN HEREON ARE HEREBY DEDICATED TO THE GATOR TRACE ON THE GREENS HOMEOWNER'S ASSOCIATION, INC., A FLORIDA NOT FOR PROFIT CORPORATION, ITS SUCCESSORS AND/OR ASSIGNS, FOR WATER MANAGEMENT AND MAINTENANCE PURPOSES, AND IS THE MAINTENANCE RESPONSIBILITY OF SAID ENTITY, ITS SUCCESSORS AND/OR ASSIGNS.
- THE OPEN SPACE TRACTS SHOWN HEREON ARE HEREBY DEDICATED TO GATOR TRACE ON THE GREENS HOMEOWNER'S ASSOCIATION, INC., A FLORIDA NOT FOR PROFIT CORPORATION, ITS SUCCESSORS AND/OR ASSIGNS, FOR OPEN SPACE AND LANDSCAPE PURPOSES, AND IS THE MAINTENANCE RESPONSIBILITY OF SAID ENTITY, ITS SUCCESSORS AND/OR ASSIGNS.
- THE RECREATION TRACT SHOWN HEREON IS HEREBY DEDICATED TO GATOR TRACE ON THE GREENS HOMEOWNER'S ASSOCIATION, INC., A FLORIDA NOT FOR PROFIT CORPORATION, FOR RECREATION PURPOSES, AND IS THE MAINTENANCE RESPONSIBILITY OF SAID ENTITY, ITS SUCCESSORS AND/OR ASSIGNS.
- THE COMMON AREA TRACT SHOWN HEREON IS HEREBY DEDICATED TO GATOR TRACE ON THE GREENS HOMEOWNER'S ASSOCIATION, INC., A FLORIDA NOT FOR PROFIT CORPORATION, FOR PARKING, MAIL AND OTHER PROPER COMMUNAL PURPOSES, AND IS THE MAINTENANCE RESPONSIBILITY OF SAID ENTITY, ITS SUCCESSORS AND/OR ASSIGNS.

IN WITNESS WHEREOF, GATOR TRACE ON THE GREENS LLC, HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS _____ THIS _____ DAY OF _____ 2024.

GATOR TRACE ON THE GREENS LLC, A FLORIDA LIMITED LIABILITY COMPANY

BY: _____

PRINTED NAME: _____

POSITION: _____

WITNESS WITNESS

PRINTED NAME

PRINTED NAME

ACKNOWLEDGEMENT

STATE OF FLORIDA
COUNTY OF ST. LUCIE

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY MEANS OF PHYSICAL PRESENCE OR ONLINE NOTARIZATION, THIS _____ DAY OF _____ 2024, BY _____ AS _____ FOR GATOR TRACE ON THE GREENS LLC.

NOTARY SIGNATURE

PRINT NAME: _____

NOTARY PUBLIC

STATE OF _____ AT LARGE

MY COMMISSION EXPIRES: _____

PERSONALLY KNOWN OR PRODUCED IDENTIFICATION

ACCEPTANCE OF DEDICATION

STATE OF FLORIDA
COUNTY OF _____

GATOR TRACE MASTER PROPERTY OWNERS ASSOCIATION, INC., A FLORIDA NOT FOR PROFIT CORPORATION, HEREBY ACCEPTS THE DEDICATIONS AS STATED AND SHOWN HEREON.

DATED THIS _____ DAY OF _____, 2024.

BY: _____ BY: _____

PRINT NAME: _____ PRINT NAME: _____

POSITION: _____ POSITION: _____

ACKNOWLEDGEMENT

STATE OF FLORIDA
COUNTY OF ST. LUCIE

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY MEANS OF PHYSICAL PRESENCE OR ONLINE NOTARIZATION, THIS _____ DAY OF _____ 2024, BY _____ AS _____ FOR GATOR TRACE MASTER PROPERTY OWNERS ASSOCIATION, INC..

NOTARY SIGNATURE

PRINT NAME: _____

NOTARY PUBLIC

STATE OF _____ AT LARGE

MY COMMISSION EXPIRES: _____

PERSONALLY KNOWN OR PRODUCED IDENTIFICATION

TITLE CERTIFICATION

STATE OF FLORIDA
COUNTY OF ST. LUCIE

I, _____, A MEMBER OF THE FLORIDA BAR, RELYING SOLELY ON THAT CERTAIN TITLE COMMITMENT PREPARED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, DATED FEBRUARY 1, 2022, AND DESIGNATED AS COMMITMENT NUMBER 1215719 (THE "PLAT SEARCH"), AND ASSUMING THE ACCURACY OF THE INFORMATION CONTAINED IN THE PLAT SEARCH, DO HEREBY CERTIFY THAT I HAVE EXAMINED THE TITLE OF THE PROPERTY DESCRIBED HEREON AND THAT I FIND THAT THE TITLE TO THE PROPERTY IS VESTED IN: GATOR TRACE ON THE GREENS LLC, THAT ALL TAXES ON THE PROPERTY HAVE BEEN PAID AS REQUIRED BY FLORIDA STATUTES § 197.192, AND THAT THERE ARE NO ENCUMBRANCES ON THE PROPERTY THAT PREVENT IT FROM BEING PLATTED.

DATED: THE _____ DAY OF _____, 2024.

BY: _____

PRINT NAME: _____

FIRM: _____

FLORIDA BAR NUMBER: _____

SURVEYORS REVIEW CERTIFICATE

IT IS HEREBY CERTIFIED THAT THE UNDERSIGNED SURVEYOR AND MAPPER DULY LICENSED IN THE STATE OF FLORIDA HAS REVIEWED THIS PLAT FOR CONFORMITY WITH THE REGULATIONS OF CHAPTER 177, FLORIDA STATUTES.

THIS _____ DAY OF _____, 2024.

BY: _____

FRANK VELDHUIS

PROFESSIONAL SURVEYOR & MAPPER

FLORIDA CERTIFICATE NO. 6582

PLANNING & ZONING APPROVAL

IT IS HEREBY CERTIFIED THAT THE PLAT MEETS THE REQUIREMENTS OF THE PUD, PLANNED UNIT DEVELOPMENT ZONING DISTRICT, AS SET FORTH IN SECTION 125-194 OF THE CITY OF FORT PIERCE LAND DEVELOPMENT CODE.

THIS _____ DAY OF _____, 2024.

BY: _____

PRINT NAME: _____

DIRECTOR OF PLANNING

CITY OF FORT PIERCE, FLORIDA

CITY ATTORNEY

IT IS HEREBY CERTIFIED THAT THE FORGOING PLAT IS APPROVED AS TO FORM AND LEGAL SUFFICIENCY.

THIS _____ DAY OF _____, 2024.

BY: _____

TANYA EARLEY, CITY ATTORNEY

CITY OF FORT PIERCE, FLORIDA

CITY COMMISSION CERTIFICATE

STATE OF FLORIDA
COUNTY OF ST. LUCIE

PURSUANT TO THE PROVISIONS OF THE FORT PIERCE CITY COMMISSION THIS PLAT WAS GIVEN

FINAL APPROVAL BY THE CITY COMMISSION AT A MEETING HELD ON THIS _____ DAY OF _____, 2024.

FORT PIERCE CITY COMMISSION

BY: _____

LINDA COX, CITY CLERK



SITE MAP

NOT TO SCALE

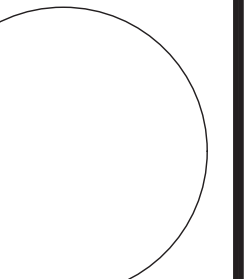
CLERK OF CIRCUIT COURT

STATE OF FLORIDA
COUNTY OF ST. LUCIE

I, MICHELLE R. MILLER, CLERK OF THE CIRCUIT COURT OF ST. LUCIE COUNTY, FLORIDA, DO HEREBY CERTIFY THAT THIS PLAT HAS BEEN EXAMINED AND THAT IT COMPLIES IN FORM WITH ALL THE REQUIREMENTS OF THE LAWS OF FLORIDA PERTAINING TO MAPS AND PLATS, AND THAT THIS PLAT HAS BEEN FILED OF RECORD IN PLAT BOOK _____, PAGES _____, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, THIS _____ DAY OF _____, 2024.

MICHELLE R. MILLER
CLERK OF THE CIRCUIT COURT
ST. LUCIE COUNTY, FLORIDA

CLERK OF
CIRCUIT COURT
SEAL



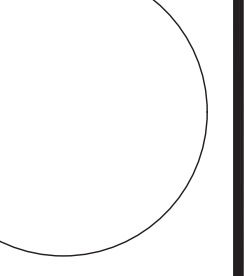
SURVEYOR'S CERTIFICATE

I, MICHAEL T. OWEN, DO HEREBY CERTIFY THAT (A) THIS PLAT OF GATOR TRACE ON THE GREENS IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE BY ME OR UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION; (B) SAID SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF; (C) ALL PERMANENT REFERENCE MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR LOCATION, SIZE, TYPE, AND MATERIAL ADHERE TO THE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES; AND (D) THE PLAT COMPLIES WITH ALL OF THE SURVEY REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, AS AMENDED, AND THE ORDINANCES OF THE CITY OF FORT PIERCE.

DATED THIS _____ DAY OF _____, 2024.

MICHAEL T. OWEN
PROFESSIONAL SURVEYOR & MAPPER
FLORIDA CERTIFICATE NO. 5556
EDC, INC.
LB#8098
10250 SW VILLAGE PARKWAY
PORT ST. LUCIE, FLORIDA 34987

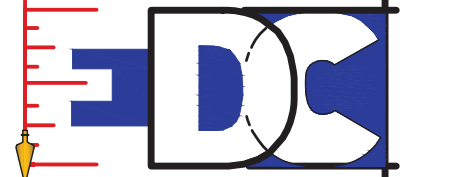
SURVEYOR
SEAL



NOTES:

- THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THE PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.
- BEARINGS SHOWN HEREON ARE RELATIVE TO THE CENTERLINE OF GATOR TRACE ROAD, HAVING A BEARING OF NORTH 49°22'32" EAST.
- PLAT CONTAINS 6.94 ACRES, MORE OR LESS.
- ALL TRACT CORNERS WILL BE SET IN ACCORDANCE WITH CHAPTER 177, F.S.
- THE DESCRIPTION RECORDED IN OFFICIAL RECORDS BOOK 4903, PAGE 738 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, REFERENCES THE DEED OF RECORD UTILIZED IN THE CHAIN OF CONVEYANCE. THE "AS SURVEYED" DESCRIPTION HAS BEEN PREPARED BASED ON FIELD DATA AND REPRESENTS THE PARCEL AS SURVEYED. BOTH DESCRIPTIONS SHOULD BE CONSIDERED ONE AND THE SAME.

PREPARED BY MICHAEL T. OWEN
FLORIDA PROFESSIONAL SURVEYOR AND MAPPER No. 5556



ENGINEERS & SURVEYORS & ENVIRONMENTAL

10250 SW VILLAGE PARKWAY, STE 201

PORT SAINT LUCIE, FL 34987

772-340-4990

www.edc-inc.com

F.B.P.E. CERTIFICATE OF AUTHORIZATION 9035

L.B. CERTIFICATE OF AUTHORIZATION 8998

GATOR TRACE ON THE GREENS

BEING A PLAT OF LANDS LYING IN THE SOUTHWEST 1/4 OF SECTION 35, TOWNSHIP 35 SOUTH, RANGE 40 EAST, CITY OF FORT PIERCE, ST. LUCIE COUNTY, FLORIDA.

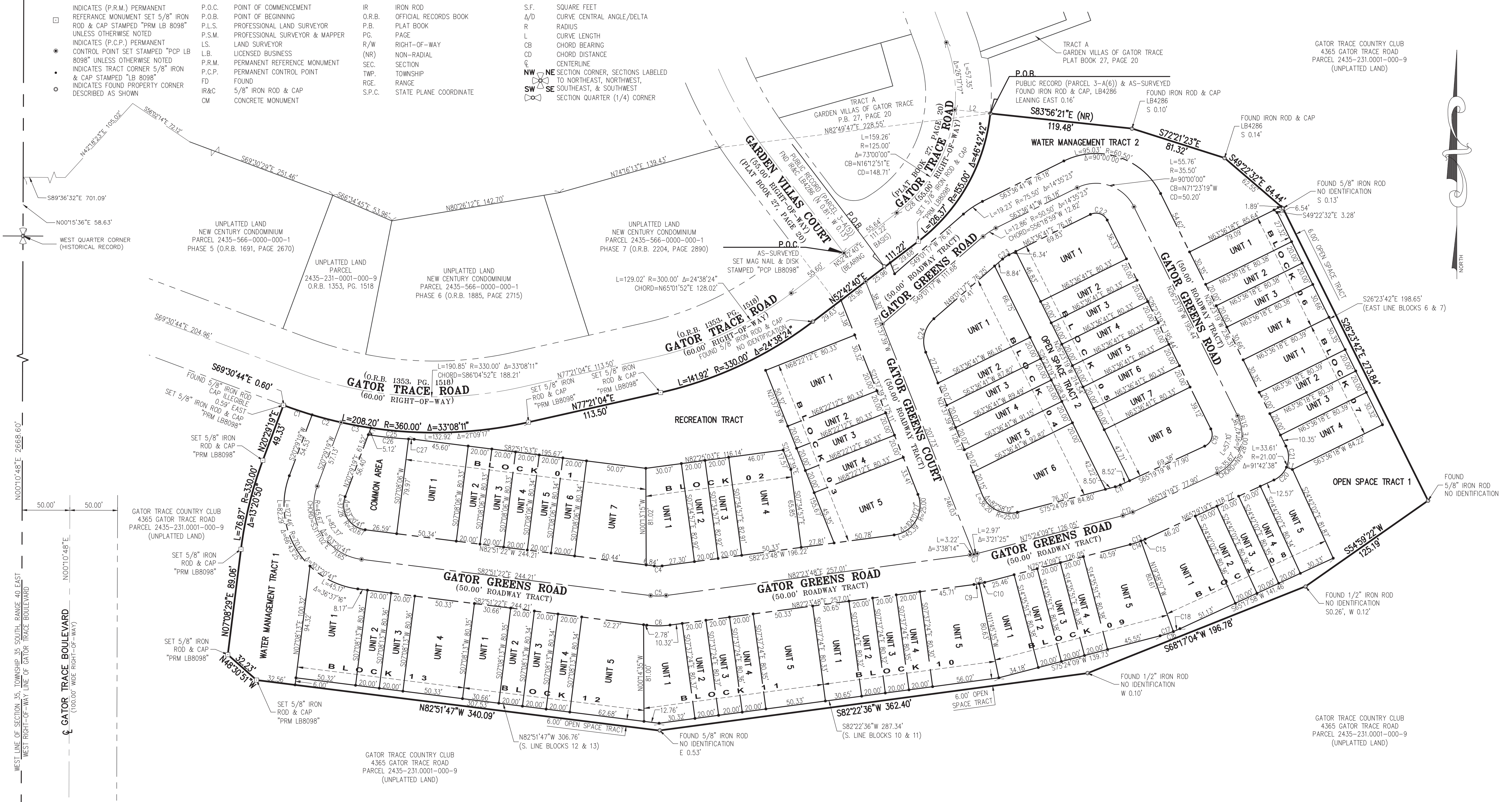
PLAT BOOK _____

PAGE _____

DOCKET NO. _____

LEGEND

- | | | | | | | | |
|---|--|--------|--------------------------------|--------|------------------------|------|--|
| □ | INDICATES (P.R.M.) PERMANENT REFERENCE MONUMENT SET 5/8" IRON ROD & CAP STAMPED "PRM LB 8098" UNLESS OTHERWISE NOTED | P.O.C. | POINT OF COMMENCEMENT | IR | IRON ROD | S.F. | SQUARE FEET |
| ● | INDICATES (P.C.P.) PERMANENT CONTROL POINT SET STAMPED "PCP LB 8098" UNLESS OTHERWISE NOTED | P.O.B. | POINT OF BEGINNING | O.R.B. | OFFICIAL RECORDS BOOK | Δ/D | CURVE CENTRAL ANGLE/DELTA |
| • | INDICATES TRACT CORNER 5/8" IRON ROD & CAP STAMPED "LB 8098" | P.L.S. | PROFESSIONAL LAND SURVEYOR | P.B. | PLAT BOOK | R | RADIUS |
| ○ | INDICATES FOUND PROPERTY CORNER DESCRIBED AS SHOWN | P.S.M. | PROFESSIONAL SURVEYOR & MAPPER | P.G. | PAGE | L | CURVE LENGTH |
| | | L.S. | LAND SURVEYOR | R/W | RIGHT-OF-WAY | CB | CHORD BEARING |
| | | L.B. | LICENSED BUSINESS | (NR) | NON-RADIAL | CD | CHORD DISTANCE |
| | | P.R.M. | PERMANENT REFERENCE MONUMENT | SEC. | SECTION | CL | CENTERLINE |
| | | P.C.P. | PERMANENT CONTROL POINT | TWP. | TOWNSHIP | NE | SECTION CORNER, SECTIONS LABELED TO NORTHEAST, NORTHWEST, SOUTHEAST, & SOUTHWEST |
| | | FD | FOUND | RGE. | RANGE | SW | SECTION QUARTER (1/4) CORNER |
| | | IR&C | 5/8" IRON ROD & CAP | S.P.C. | STATE PLANE COORDINATE | | |
| | | CM | CONCRETE MONUMENT | | | | |



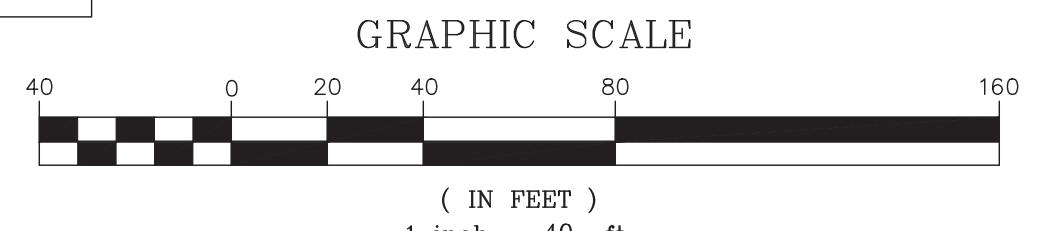
| Curve # | Length | Radius | Delta (Δ) | Chord |
|---------|--------|---------|------------|--------------------|
| C1 | 24.76' | 360.00' | 003°56'24" | N71°28'58"W 24.75' |
| C2 | 25.14' | 360.00' | 004°00'04" | N75°27'13"W 25.14' |
| C3 | 25.39' | 360.00' | 004°02'26" | N79°28'28"W 25.38' |
| C4 | 6.61' | 25.67' | 014°44'50" | S89°46'13"W 6.59' |
| C5 | 13.04' | 50.67' | 014°44'50" | N89°46'13"E 13.01' |
| C6 | 19.48' | 75.67' | 014°44'50" | N89°46'13"E 19.42' |
| C7 | 6.19' | 50.67' | 006°59'39" | N78°53'58"E 6.18' |

| Curve # | Length | Radius | Delta (Δ) | Chord |
|---------|--------|--------|------------|--------------------|
| C8 | 9.24' | 75.67' | 006°59'39" | N78°53'58"E 9.23' |
| C9 | 4.50' | 75.67' | 003°24'35" | S80°41'30"W 4.50' |
| C10 | 4.73' | 75.67' | 003°35'04" | S77°11'41"W 4.73' |
| C11 | 4.52' | 25.67' | 010°04'50" | S70°21'44"W 4.51' |
| C12 | 8.91' | 50.67' | 010°04'50" | N70°21'44"E 8.90' |
| C13 | 13.31' | 75.67' | 010°04'50" | N70°21'44"E 13.30' |
| C14 | 9.48' | 75.67' | 007°10'30" | S71°48'54"W 9.47' |

| Curve # | Length | Radius | Delta (Δ) | Chord |
|---------|--------|---------|------------|--------------------|
| C15 | 3.84' | 75.67' | 002°54'20" | S66°46'29"W 3.84' |
| C16 | 17.63' | 100.00' | 010°06'10" | S70°21'03"W 17.61' |
| C17 | 11.62' | 100.00' | 006°39'32" | N72°04'22"E 11.62' |
| C18 | 6.01' | 100.00' | 003°26'38" | N67°01'17"E 6.01' |
| C19 | 17.08' | 10.67' | 091°42'38" | S19°28'00"W 15.31' |
| C20 | 15.32' | 21.00' | 041°47'14" | S44°25'42"W 14.98' |
| C21 | 18.30' | 21.00' | 049°55'24" | S01°25'37"E 17.72' |

| Curve # | Length | Radius | Delta (Δ) | Chord |
|---------|---------|---------|------------|--------------------|
| C22 | 16.49' | 10.50' | 090°00'00" | S71°23'19"E 14.85' |
| C23 | 6.49' | 25.50' | 014°35'23" | N56°18'59"E 6.48' |
| C24 | 30.83' | 25.00' | 070°38'57" | N13°41'49"E 28.91' |
| C25 | 38.67' | 366.00' | 006°03'14" | S84°19'21"E 38.65' |
| C26 | 33.92' | 370.14' | 005°15'04" | N83°56'16"W 33.91' |
| C27 | 4.75' | 717.40' | 000°22'46" | N87°04'07"W 4.75' |
| C28 | 101.91' | 125.00' | 046°42'43" | N29°21'29"E 99.11' |

| Line # | Direction | Length |
|--------|-------------|--------|
| L1 | N69°26'16"W | 5.35' |
| L2 | S83°59'52"E | 30.00' |



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Z:\EDC\2022\22-556-EDC\Information\Gator Trace\T35\SURVEY\DWG - SDD\Plat22-556\Plat05-31.dwg, 03/10/2024, 4:12 PM

P.O.C.
 PER PUBLIC RECORD
 PARCEL 3A(5) & PARCEL 3A(6)
 SOUTHWEST CORNER OF SECTION 35,
 TOWNSHIP 35 SOUTH, RANGE 40 EAST
 FOUND 5"x5" CONCRETE MONUMENT

Parcel Map Check Report

Parcel Name: OVERALL PLAT

North: 1,110,871.55' East: 878,634.74'

Segment# 1: Line

Course: N20°29'19"E Length: 49.33'
 North: 1,110,917.76' East: 878,652.01'

Segment# 2: Line

Course: S69°30'44"E Length: 0.60'
 North: 1,110,917.55' East: 878,652.57'

Segment# 3: Curve

Length: 208.20' Radius: 360.00'
 Delta: 33°08'11" Tangent: 107.10'
 Chord: 205.32' Course: S86°04'52"E
 Course In: N20°29'14"E Out: S12°38'58"E
 RP North: 1,111,254.78' East: 878,778.57'
 End North: 1,110,903.52' East: 878,857.40'

Segment# 4: Line

Course: N77°21'04"E Length: 113.50'
 North: 1,110,928.37' East: 878,968.15'

Segment# 5: Curve

Length: 141.90' Radius: 330.01'
 Delta: 24°38'12" Tangent: 72.06'
 Chord: 140.81' Course: N65°01'58"E
 Course In: N12°38'56"W Out: S37°17'08"E
 RP North: 1,111,250.37' East: 878,895.88'
 End North: 1,110,987.81' East: 879,095.80'

Segment# 6: Line

Course: N52°42'40"E Length: 111.24'
 North: 1,111,055.20' East: 879,184.30'

Segment# 7: Curve

Length: 126.37' Radius: 155.00'
 Delta: 46°42'42" Tangent: 66.93'
 Chord: 122.90' Course: N29°21'29"E
 Course In: N37°17'10"W Out: S83°59'52"E
 RP North: 1,111,178.52' East: 879,090.40'

End North: 1,111,162.31' East: 879,244.55'

Segment# 8: Line

Course: S83°56'21"E Length: 119.48'
 North: 1,111,149.70' East: 879,363.37'

Segment# 9: Line

Course: S72°21'23"E Length: 81.32'
 North: 1,111,125.05' East: 879,440.86'

Segment# 10: Line

Course: S49°22'32"E Length: 64.44'
 North: 1,111,083.09' East: 879,489.77'

Segment# 11: Line

Course: S26°23'42"E Length: 273.84'
 North: 1,110,837.80' East: 879,611.51'

Segment# 12: Line

Course: S54°59'22"W Length: 125.19'
 North: 1,110,765.98' East: 879,508.97'

Segment# 13: Line

Course: S68°17'04"W Length: 196.78'
 North: 1,110,693.17' East: 879,326.16'

Segment# 14: Line

Course: S82°22'36"W Length: 362.40'
 North: 1,110,645.09' East: 878,966.96'

Segment# 15: Line

Course: N82°51'47"W Length: 340.09'
 North: 1,110,687.35' East: 878,629.50'

Segment# 16: Line

Course: N48°30'51"W Length: 32.23'
 North: 1,110,708.70' East: 878,605.36'

Segment# 17: Line

Course: N7°08'29"E Length: 89.06'
 North: 1,110,797.07' East: 878,616.43'

Segment# 18: Curve
 Length: 76.87' Radius: 330.00'
 Delta: 13°20'50" Tangent: 38.61'
 Chord: 76.70' Course: N13°48'54"E
 Course In: S82°51'31"E Out: N69°30'41"W
 RP North: 1,110,756.04' East: 878,943.87'
 End North: 1,110,871.55' East: 878,634.75'

Perimeter: 2,512.84' Area: 302,112.25Sq.Ft.
 Error Closure: 0.01 Course: S65°12'28"E
 Error North : -0.003 East: 0.007

Precision 1: 251,284.00

Parcel Name: BLOCK 01: LOT 1

North:1,110,883.51' East:878,806.89'

Segment# 1: Line

Course: S7°08'06"W Length: 80.33'
 North: 1,110,803.80' East: 878,796.91'

Segment# 2: Line

Course: N82°51'22"W Length: 50.34'
 North: 1,110,810.06' East: 878,746.96'

Segment# 3: Line

Course: N7°08'06"E Length: 79.98'
 North: 1,110,889.42' East: 878,756.89'

Segment# 4: Curve

Length: 4.75' Radius: 366.00'
 Delta: 0°44'37" Tangent: 2.37'
 Chord: 4.75' Course: S86°58'39"E
 Course In: N3°23'39"E Out: S2°39'02"W
 RP North: 1,111,254.78' East: 878,778.56'
 End North: 1,110,889.17' East: 878,761.64'

Segment# 5: Line

Course: S82°51'51"E Length: 45.60'
 North: 1,110,883.51' East: 878,806.88'

Perimeter: 260.99' Area: 4,042.36Sq.Ft.
 Error Closure: 0.00 Course: S51°34'30"W

Error North : -0.002 East: -0.002

Precision 1: 261,000,000.00

Parcel Name: BLOCK 01: LOT 2

North:1,110,881.03' East:878,826.73'

Segment# 1: Line

Course: S7°08'06"W Length: 80.33'
 North: 1,110,801.32' East: 878,816.75'

Segment# 2: Line

Course: N82°51'22"W Length: 20.00'
 North: 1,110,803.80' East: 878,796.91'

Segment# 3: Line

Course: N7°08'06"E Length: 80.33'
 North: 1,110,883.51' East: 878,806.89'

Segment# 4: Line

Course: N7°08'06"E Length: 0.00'
 North: 1,110,883.51' East: 878,806.89'

Segment# 5: Line

Course: S82°51'53"E Length: 20.00'
 North: 1,110,881.03' East: 878,826.73'

Perimeter: 200.66' Area: 1,606.59Sq.Ft.
 Error Closure: 0.00 Course: N7°08'23"E
 Error North : 0.003 East: 0.000

Precision 1: 200,660,000.00

Parcel Name: BLOCK 01: LOT 3

North:1,110,878.54' East:878,846.58'

Segment# 1: Line

Course: S7°08'06"W Length: 80.33'
 North: 1,110,798.83' East: 878,836.60'

Segment# 2: Line

Course: N82°51'22"W Length: 20.00'
 North: 1,110,801.32' East: 878,816.75'

Segment# 3: Line
 Course: N7°08'06"E Length: 80.33'
 North: 1,110,881.03' East: 878,826.73'

Segment# 4: Line
 Course: S82°51'53"E Length: 20.00'
 North: 1,110,878.54' East: 878,846.58'

Perimeter: 200.66' Area: 1,606.65Sq.Ft.
 Error Closure: 0.00 Course: N7°08'23"E
 Error North : 0.003 East: 0.000

Precision 1: 200,660,000.00

Parcel Name: BLOCK 01: LOT 4

North:1,110,796.34' East:878,856.44'

Segment# 1: Line
 Course: N82°51'22"W Length: 20.00'
 North: 1,110,798.83' East: 878,836.60'

Segment# 2: Line
 Course: N7°08'06"E Length: 80.33'
 North: 1,110,878.54' East: 878,846.58'

Segment# 3: Line
 Course: S82°51'53"E Length: 20.00'
 North: 1,110,876.05' East: 878,866.42'

Segment# 4: Line
 Course: S7°08'06"W Length: 80.34'
 North: 1,110,796.34' East: 878,856.44'

Perimeter: 200.67' Area: 1,606.71Sq.Ft.
 Error Closure: 0.01 Course: S7°07'59"W
 Error North : -0.007 East: -0.001

Precision 1: 20,067.00

Parcel Name: BLOCK 01: LOT 5

North:1,110,873.57' East:878,886.27'

Segment# 1: Line
 Course: S7°08'06"W Length: 80.34'

North: 1,110,793.85' East: 878,876.29'

Segment# 2: Line
 Course: N82°51'22"W Length: 20.00'
 North: 1,110,796.34' East: 878,856.44'

Segment# 3: Line
 Course: N7°08'06"E Length: 80.34'
 North: 1,110,876.06' East: 878,866.42'

Segment# 4: Line
 Course: S82°51'53"E Length: 20.00'
 North: 1,110,873.58' East: 878,886.27'

Perimeter: 200.68' Area: 1,606.77Sq.Ft.
 Error Closure: 0.00 Course: N7°08'23"E
 Error North : 0.003 East: 0.000

Precision 1: 200,680,000.00

Parcel Name: BLOCK 01: LOT 6

North:1,110,871.09' East:878,906.11'

Segment# 1: Line
 Course: S7°08'06"W Length: 80.34'
 North: 1,110,791.37' East: 878,896.13'

Segment# 2: Line
 Course: N82°51'22"W Length: 20.00'
 North: 1,110,793.86' East: 878,876.29'

Segment# 3: Line
 Course: N7°08'06"E Length: 80.34'
 North: 1,110,873.58' East: 878,886.27'

Segment# 4: Line
 Course: S82°51'53"E Length: 20.00'
 North: 1,110,871.09' East: 878,906.11'

Perimeter: 200.68' Area: 1,606.83Sq.Ft.
 Error Closure: 0.00 Course: N7°08'23"E
 Error North : 0.003 East: 0.000

Precision 1: 200,680,000.00

Parcel Name: BLOCK 01: LOT 7

North:1,110,864.87' East:878,955.79'

Segment# 1: Line

Course: S0°13'15"E Length: 81.02'
North: 1,110,783.85' East: 878,956.10'

Segment# 2: Line

Course: N82°51'22"W Length: 60.44'
North: 1,110,791.37' East: 878,896.13'

Segment# 3: Line

Course: N7°08'06"E Length: 80.34'
North: 1,110,871.08' East: 878,906.11'

Segment# 4: Line

Course: N7°08'06"E Length: 0.00'
North: 1,110,871.08' East: 878,906.11'

Segment# 5: Line

Course: S82°51'50"E Length: 50.07'
North: 1,110,864.86' East: 878,955.79'Perimeter: 271.87' Area: 4,439.41Sq.Ft.
Error Closure: 0.01 Course: S25°30'30"E
Error North : -0.005 East: 0.002

Precision 1: 27,187.00

Parcel Name: BLOCK 02: LOT 1

North:1,110,868.84' East:878,985.60'

Segment# 1: Line

Course: S7°34'57"E Length: 82.92'
North: 1,110,786.64' East: 878,996.54'

Segment# 2: Line

Course: S82°23'48"W Length: 27.30'
North: 1,110,783.03' East: 878,969.48'

Segment# 3: Curve

Length: 6.61' Radius: 25.67'
Delta: 14°44'50" Tangent: 3.32'Chord: 6.59' Course: S89°46'13"W
Course In: N7°36'12"W Out: S7°08'38"W
RP North: 1,110,808.48' East: 878,966.09'
End North: 1,110,783.00' East: 878,962.89'

Segment# 4: Line

Course: N82°51'22"W Length: 6.84'
North: 1,110,783.86' East: 878,956.11'

Segment# 5: Line

Course: N0°13'15"W Length: 81.02'
North: 1,110,864.87' East: 878,955.80'

Segment# 6: Line

Course: N82°25'03"E Length: 30.07'
North: 1,110,868.84' East: 878,985.60'Perimeter: 234.77' Area: 2,924.81Sq.Ft.
Error Closure: 0.00 Course: N8°29'49"E
Error North : 0.004 East: 0.001

Precision 1: 234,760,000.00

Parcel Name: BLOCK 02: LOT 2

North:1,110,871.48' East:879,005.43'

Segment# 1: Line

Course: S7°34'57"E Length: 82.92'
North: 1,110,789.28' East: 879,016.37'

Segment# 2: Line

Course: S82°23'48"W Length: 20.00'
North: 1,110,786.64' East: 878,996.54'

Segment# 3: Line

Course: N7°34'57"W Length: 82.92'
North: 1,110,868.83' East: 878,985.60'

Segment# 4: Line

Course: N82°25'03"E Length: 20.00'
North: 1,110,871.47' East: 879,005.43'Perimeter: 205.84' Area: 1,658.40Sq.Ft.
Error Closure: 0.01 Course: S7°35'34"E

Error North : -0.007 East: 0.001

Precision 1: 20,584.00

Parcel Name: BLOCK 02: LOT 3

North:1,110,874.12' East:879,025.25'

Segment# 1: Line

Course: S7°34'57"E Length: 82.91'
North: 1,110,791.93' East: 879,036.19'

Segment# 2: Line

Course: S82°23'48"W Length: 20.00'
North: 1,110,789.28' East: 879,016.37'

Segment# 3: Line

Course: N7°34'57"W Length: 82.92'
North: 1,110,871.48' East: 879,005.43'

Segment# 4: Line

Course: N82°25'03"E Length: 20.00'
North: 1,110,874.12' East: 879,025.25'

Perimeter: 205.83' Area: 1,658.25Sq.Ft.
Error Closure: 0.00 Course: N7°33'17"W
Error North : 0.003 East: 0.000

Precision 1: 205,830,000.00

Parcel Name: BLOCK 02: LOT 4

North:1,110,863.86' East:879,077.39'

Segment# 1: Line

Course: S7°34'57"E Length: 65.85'
North: 1,110,798.59' East: 879,086.08'

Segment# 2: Line

Course: S82°23'48"W Length: 50.33'
North: 1,110,791.93' East: 879,036.19'

Segment# 3: Line

Course: N7°34'57"W Length: 82.91'
North: 1,110,874.12' East: 879,025.25'

Segment# 4: Line

Course: N82°25'03"E Length: 46.07'
North: 1,110,880.19' East: 879,070.92'

Segment# 5: Line

Course: S21°37'39"E Length: 17.57'
North: 1,110,863.86' East: 879,077.39'

Perimeter: 262.72' Area: 4,135.93Sq.Ft.
Error Closure: 0.00 Course: S59°56'55"E
Error North : -0.003 East: 0.004

Precision 1: 262,730,000.00

Parcel Name: BLOCK 03: LOT 1

North:1,110,929.82' East:879,149.48'

Segment# 1: Line

Course: S68°22'12"W Length: 80.33'
North: 1,110,900.21' East: 879,074.81'

Segment# 2: Line

Course: N21°37'39"W Length: 50.32'
North: 1,110,946.98' East: 879,056.26'

Segment# 3: Line

Course: N68°22'12"E Length: 80.33'
North: 1,110,976.59' East: 879,130.94'

Segment# 4: Line

Course: S21°37'39"E Length: 50.32'
North: 1,110,929.82' East: 879,149.48'

Perimeter: 261.30' Area: 4,042.29Sq.Ft.
Error Closure: 0.00 Course: N0°00'00"E
Error North : 0.000 East: 0.000

Precision 1: 261,300,000.00

Parcel Name: BLOCK 03: LOT 2

North:1,110,911.22' East:879,156.86'

Segment# 1: Line

Course: S68°22'12"W Length: 80.33'

North: 1,110,881.61' East: 879,082.18'
Segment# 2: Line
Course: N21°37'39"W Length: 20.00'
North: 1,110,900.21' East: 879,074.81'
Segment# 3: Line
Course: N68°22'12"E Length: 80.33'
North: 1,110,929.82' East: 879,149.48'
Segment# 4: Line
Course: S21°37'39"E Length: 20.00'
North: 1,110,911.22' East: 879,156.86'
Perimeter: 200.66' Area: 1,606.56Sq.Ft.
Error Closure: 0.00 Course: N0°00'00"E
Error North : 0.000 East: 0.000
Precision 1: 200,660,000.00

Parcel Name: BLOCK 03: LOT 3

North:1,110,892.63' East:879,164.23'
Segment# 1: Line
Course: S68°22'12"W Length: 80.33'
North: 1,110,863.02' East: 879,089.55'
Segment# 2: Line
Course: N21°37'39"W Length: 20.00'
North: 1,110,881.61' East: 879,082.18'
Segment# 3: Line
Course: N68°22'12"E Length: 80.33'
North: 1,110,911.22' East: 879,156.86'
Segment# 4: Line
Course: S21°37'39"E Length: 20.00'
North: 1,110,892.63' East: 879,164.23'
Perimeter: 200.66' Area: 1,606.56Sq.Ft.
Error Closure: 0.00 Course: N0°00'00"E
Error North : 0.000 East: 0.000
Precision 1: 200,660,000.00

Parcel Name: BLOCK 03: LOT 4

North:1,110,874.04' East:879,171.60'
Segment# 1: Line
Course: S68°22'12"W Length: 80.33'
North: 1,110,844.43' East: 879,096.93'
Segment# 2: Line
Course: N21°37'39"W Length: 20.00'
North: 1,110,863.02' East: 879,089.55'
Segment# 3: Line
Course: N68°22'12"E Length: 80.33'
North: 1,110,892.63' East: 879,164.23'
Segment# 4: Line
Course: S21°37'39"E Length: 20.00'
North: 1,110,874.04' East: 879,171.60'
Perimeter: 200.66' Area: 1,606.56Sq.Ft.
Error Closure: 0.00 Course: N0°00'00"E
Error North : 0.000 East: 0.000
Precision 1: 200,660,000.00

Parcel Name: BLOCK 03: LOT 5

North:1,110,842.98' East:879,183.91'
Segment# 1: Curve
Length: 45.39' Radius: 25.00'
Delta: 104°01'27" Tangent: 32.01'
Chord: 39.41' Course: S30°23'04"W
Course In: S68°22'21"W Out: S7°36'12"E
RP North: 1,110,833.77' East: 879,160.67'
End North: 1,110,808.99' East: 879,163.98'
Segment# 2: Line
Course: S82°23'48"W Length: 50.78'
North: 1,110,802.27' East: 879,113.65'
Segment# 3: Line
Course: N21°37'39"W Length: 45.35'
North: 1,110,844.43' East: 879,096.93'

Segment# 4: Line
 Course: N68°22'12"E Length: 80.33'
 North: 1,110,874.04' East: 879,171.61'

Segment# 5: Line
 Course: S21°37'39"E Length: 33.41'
 North: 1,110,842.98' East: 879,183.92'

Perimeter: 255.26' Area: 4,216.08Sq.Ft.
 Error Closure: 0.01 Course: S64°11'42"E
 Error North : -0.003 East: 0.007

Precision 1: 25,526.00

Parcel Name: BLOCK 04: LOT 1
 North:1,110,974.66' East:879,277.85'

Segment# 1: Line
 Course: S63°36'41"W Length: 86.16'
 North: 1,110,936.37' East: 879,200.67'

Segment# 2: Line
 Course: N21°37'39"W Length: 27.74'
 North: 1,110,962.15' East: 879,190.44'

Segment# 3: Curve
 Length: 30.83' Radius: 25.00'
 Delta: 70°38'57" Tangent: 17.72'
 Chord: 28.91' Course: N13°41'49"E
 Course In: N68°22'21"E Out: N40°58'43"W
 RP North: 1,110,971.37' East: 879,213.68'
 End North: 1,110,990.24' East: 879,197.29'

Segment# 4: Line
 Course: N49°01'17"E Length: 67.41'
 North: 1,111,034.45' East: 879,248.18'

Segment# 5: Line
 Course: S26°23'17"E Length: 66.75'
 North: 1,110,974.65' East: 879,277.85'

Perimeter: 278.88' Area: 4,643.43Sq.Ft.
 Error Closure: 0.01 Course: S15°47'05"W

Error North : -0.008 East: -0.002
 Precision 1: 27,889.00

Parcel Name: BLOCK 04: LOT 2
 North:1,110,956.75' East:879,286.74'

Segment# 1: Line
 Course: S63°36'41"W Length: 87.82'
 North: 1,110,917.71' East: 879,208.07'

Segment# 2: Line
 Course: N21°37'39"W Length: 20.07'
 North: 1,110,936.37' East: 879,200.67'

Segment# 3: Line
 Course: N63°36'41"E Length: 86.16'
 North: 1,110,974.67' East: 879,277.86'

Segment# 4: Line
 Course: N63°36'40"E Length: 0.00'
 North: 1,110,974.67' East: 879,277.86'

Segment# 5: Line
 Course: S26°23'19"E Length: 20.00'
 North: 1,110,956.75' East: 879,286.75'

Perimeter: 214.05' Area: 1,739.78Sq.Ft.
 Error Closure: 0.01 Course: N56°19'19"E
 Error North : 0.003 East: 0.005

Precision 1: 21,405.00

Parcel Name: BLOCK 04: LOT 3
 North:1,110,938.83' East:879,295.63'

Segment# 1: Line
 Course: S63°36'41"W Length: 89.49'
 North: 1,110,899.06' East: 879,215.46'

Segment# 2: Line
 Course: N21°37'39"W Length: 20.07'
 North: 1,110,917.71' East: 879,208.07'

Segment# 3: Line
 Course: N63°36'41"E Length: 87.82'
 North: 1,110,956.75' East: 879,286.74'

Segment# 4: Line
 Course: S26°23'19"E Length: 20.00'
 North: 1,110,938.83' East: 879,295.63'

Perimeter: 217.38' Area: 1,773.09Sq.Ft.
 Error Closure: 0.00 Course: S73°47'22"W
 Error North : -0.001 East: -0.004

Precision 1: 217,380,000.00

Parcel Name: BLOCK 04: LOT 4

North:1,110,920.91' East:879,304.52'

Segment# 1: Line
 Course: S63°36'41"W Length: 91.15'
 North: 1,110,880.40' East: 879,222.87'

Segment# 2: Line
 Course: N21°37'39"W Length: 20.07'
 North: 1,110,899.06' East: 879,215.47'

Segment# 3: Line
 Course: N63°36'41"E Length: 89.49'
 North: 1,110,938.83' East: 879,295.63'

Segment# 4: Line
 Course: S26°23'19"E Length: 20.00'
 North: 1,110,920.92' East: 879,304.52'

Perimeter: 220.71' Area: 1,806.41Sq.Ft.
 Error Closure: 0.01 Course: N56°19'19"E
 Error North : 0.003 East: 0.005

Precision 1: 22,071.00

Parcel Name: BLOCK 04: LOT 5

North:1,110,903.00' East:879,313.41'

Segment# 1: Line
 Course: S63°36'41"W Length: 0.00'

North: 1,110,903.00' East: 879,313.41'

Segment# 2: Line
 Course: S63°36'41"W Length: 92.82'
 North: 1,110,861.74' East: 879,230.26'

Segment# 3: Line
 Course: N21°37'39"W Length: 20.07'
 North: 1,110,880.40' East: 879,222.86'

Segment# 4: Line
 Course: N63°36'41"E Length: 91.15'
 North: 1,110,920.91' East: 879,304.51'

Segment# 5: Line
 Course: S26°23'19"E Length: 20.00'
 North: 1,110,903.00' East: 879,313.40'

Perimeter: 224.04' Area: 1,839.73Sq.Ft.
 Error Closure: 0.00 Course: S73°47'22"W
 Error North : -0.001 East: -0.004

Precision 1: 224,040,000.00

Parcel Name: BLOCK 04: LOT 6

North:1,110,847.26' East:879,341.06'

Segment# 1: Line
 Course: S75°24'09"W Length: 76.30'
 North: 1,110,828.03' East: 879,267.22'

Segment# 2: Curve
 Length: 36.20' Radius: 25.00'
 Delta: 82°58'12" Tangent: 22.11'
 Chord: 33.12' Course: N63°06'45"W
 Course In: N14°35'51"W Out: S68°22'21"W
 RP North: 1,110,852.23' East: 879,260.92'
 End North: 1,110,843.01' East: 879,237.68'

Segment# 3: Line
 Course: N21°37'39"W Length: 20.15'
 North: 1,110,861.74' East: 879,230.26'

Segment# 4: Line

Course: N63°36'41"E Length: 92.82'
North: 1,110,903.00' East: 879,313.41'

Segment# 5: Line
Course: S26°23'22"E Length: 62.22'
North: 1,110,847.26' East: 879,341.06'

Perimeter: 287.69' Area: 4,850.86Sq.Ft.
Error Closure: 0.00 Course: S46°02'42"W
Error North : -0.001 East: -0.001

Precision 1: 287,690,000.00

Parcel Name: BLOCK 05: LOT 1
North:1,111,040.42' East:879,358.70'

Segment# 1: Line
Course: S63°36'41"W Length: 80.33'
North: 1,111,004.71' East: 879,286.74'

Segment# 2: Line
Course: N26°23'22"W Length: 46.83'
North: 1,111,046.66' East: 879,265.93'

Segment# 3: Line
Course: N63°36'41"E Length: 69.83'
North: 1,111,077.70' East: 879,328.48'

Segment# 4: Curve
Length: 16.49' Radius: 10.50'
Delta: 90°00'00" Tangent: 10.50'
Chord: 14.85' Course: S71°23'19"E
Course In: S26°23'19"E Out: N63°36'41"E
RP North: 1,111,068.30' East: 879,333.15'
End North: 1,111,072.96' East: 879,342.55'

Segment# 5: Line
Course: S26°23'19"E Length: 36.33'
North: 1,111,040.42' East: 879,358.70'

Perimeter: 249.81' Area: 3,738.14Sq.Ft.
Error Closure: 0.00 Course: S63°36'39"W
Error North : 0.000 East: -0.001

Precision 1: 249,810,000.00

Parcel Name: BLOCK 05: LOT 2
North:1,111,022.50' East:879,367.59'

Segment# 1: Line
Course: S63°36'41"W Length: 80.33'
North: 1,110,986.80' East: 879,295.63'

Segment# 2: Line
Course: N26°23'19"W Length: 20.00'
North: 1,111,004.71' East: 879,286.74'

Segment# 3: Line
Course: N63°36'41"E Length: 0.00'
North: 1,111,004.71' East: 879,286.74'

Segment# 4: Line
Course: N63°36'41"E Length: 80.33'
North: 1,111,040.42' East: 879,358.70'

Segment# 5: Line
Course: S26°23'19"E Length: 20.00'
North: 1,111,022.50' East: 879,367.59'

Perimeter: 200.67' Area: 1,606.68Sq.Ft.
Error Closure: 0.00 Course: N0°00'00"E
Error North : 0.000 East: 0.000

Precision 1: 200,660,000.00

Parcel Name: BLOCK 05: LOT 3
North:1,111,004.59' East:879,376.48'

Segment# 1: Line
Course: S63°36'41"W Length: 80.33'
North: 1,110,968.88' East: 879,304.52'

Segment# 2: Line
Course: N26°23'19"W Length: 20.00'
North: 1,110,986.80' East: 879,295.63'

Segment# 3: Line
Course: N63°36'41"E Length: 80.33'

North: 1,111,022.50' East: 879,367.59'
Segment# 4: Line
Course: S26°23'19"E Length: 20.00'
North: 1,111,004.59' East: 879,376.48'
Perimeter: 200.67' Area: 1,606.68Sq.Ft.
Error Closure: 0.00 Course: N0°00'00"E
Error North : 0.000 East: 0.000
Precision 1: 200,660,000.00

Parcel Name: BLOCK 05: LOT 4

North:1,110,986.67' East:879,385.37'
Segment# 1: Line
Course: S63°36'41"W Length: 80.33'
North: 1,110,950.97' East: 879,313.41'
Segment# 2: Line
Course: N26°23'19"W Length: 20.00'
North: 1,110,968.88' East: 879,304.52'
Segment# 3: Line
Course: N63°36'41"E Length: 80.33'
North: 1,111,004.59' East: 879,376.48'
Segment# 4: Line
Course: S26°23'19"E Length: 20.00'
North: 1,110,986.67' East: 879,385.37'
Perimeter: 200.67' Area: 1,606.68Sq.Ft.
Error Closure: 0.00 Course: N0°00'00"E
Error North : 0.000 East: 0.000
Precision 1: 200,660,000.00

Parcel Name: BLOCK 05: LOT 5

North:1,110,968.75' East:879,394.26'
Segment# 1: Line
Course: S63°36'41"W Length: 80.33'
North: 1,110,933.05' East: 879,322.30'

Segment# 2: Line
Course: N26°23'19"W Length: 20.00'
North: 1,110,950.97' East: 879,313.41'
Segment# 3: Line
Course: N63°36'41"E Length: 80.33'
North: 1,110,986.67' East: 879,385.37'
Segment# 4: Line
Course: S26°23'19"E Length: 20.00'
North: 1,110,968.75' East: 879,394.26'

Perimeter: 200.67' Area: 1,606.68Sq.Ft.
Error Closure: 0.00 Course: N0°00'00"E
Error North : 0.000 East: 0.000
Precision 1: 200,660,000.00

Parcel Name: BLOCK 05: LOT 6

North:1,110,915.13' East:879,331.18'
Segment# 1: Line
Course: N26°23'19"W Length: 20.00'
North: 1,110,933.05' East: 879,322.30'
Segment# 2: Line
Course: N63°36'41"E Length: 80.33'
North: 1,110,968.75' East: 879,394.25'
Segment# 3: Line
Course: S26°23'19"E Length: 20.00'
North: 1,110,950.84' East: 879,403.14'
Segment# 4: Line
Course: S63°36'41"W Length: 80.33'
North: 1,110,915.13' East: 879,331.18'

Perimeter: 200.67' Area: 1,606.68Sq.Ft.
Error Closure: 0.00 Course: N0°00'00"E
Error North : 0.000 East: 0.000
Precision 1: 200,660,000.00

Parcel Name: BLOCK 05: LOT 7

North:1,110,932.92' East:879,412.04'

Segment# 1: Line
 Course: S63°36'41"W Length: 80.33'
 North: 1,110,897.22' East: 879,340.08'

Segment# 2: Line
 Course: S63°36'41"W Length: 0.00'
 North: 1,110,897.22' East: 879,340.08'

Segment# 3: Line
 Course: N26°23'19"W Length: 20.00'
 North: 1,110,915.13' East: 879,331.19'

Segment# 4: Line
 Course: N63°36'41"E Length: 80.33'
 North: 1,110,950.84' East: 879,403.15'

Segment# 5: Line
 Course: S26°23'19"E Length: 20.00'
 North: 1,110,932.92' East: 879,412.04'

Perimeter: 200.67' Area: 1,606.68Sq.Ft.
 Error Closure: 0.00 Course: N0°00'00"E
 Error North : 0.000 East: 0.000

Precision 1: 200,660,000.00

Parcel Name: BLOCK 05: LOT 8

North:1,110,883.44' East:879,424.32'

Segment# 1: Line
 Course: S65°19'19"W Length: 69.38'
 North: 1,110,854.48' East: 879,361.28'

Segment# 2: Line
 Course: N26°23'16"W Length: 47.71'
 North: 1,110,897.22' East: 879,340.07'

Segment# 3: Line
 Course: N63°36'41"E Length: 80.33'
 North: 1,110,932.92' East: 879,412.03'

Segment# 4: Line

Course: S26°23'19"E Length: 39.12'
 North: 1,110,897.88' East: 879,429.42'

Segment# 5: Curve
 Length: 17.08' Radius: 10.67'
 Delta: 91°42'38" Tangent: 10.99'
 Chord: 15.31' Course: S19°28'00"W
 Course In: S63°36'41"W Out: S24°40'41"E
 RP North: 1,110,893.13' East: 879,419.86'
 End North: 1,110,883.44' East: 879,424.31'

Perimeter: 253.61' Area: 3,902.85Sq.Ft.
 Error Closure: 0.01 Course: S32°06'12"W
 Error North : -0.007 East: -0.004

Precision 1: 25,362.00

Parcel Name: BLOCK 06: LOT 1

North:1,111,054.80' East:879,497.11'

Segment# 1: Line
 Course: S63°36'18"W Length: 80.38'
 North: 1,111,019.07' East: 879,425.11'

Segment# 2: Line
 Course: N26°23'19"W Length: 30.35'
 North: 1,111,046.26' East: 879,411.62'

Segment# 3: Line
 Course: N63°36'18"E Length: 79.09'
 North: 1,111,081.42' East: 879,482.46'

Segment# 4: Line
 Course: S49°22'32"E Length: 3.28'
 North: 1,111,079.28' East: 879,484.95'

Segment# 5: Line
 Course: S26°23'42"E Length: 27.32'
 North: 1,111,054.81' East: 879,497.10'

Perimeter: 220.43' Area: 2,437.22Sq.Ft.
 Error Closure: 0.01 Course: N56°46'13"W
 Error North : 0.007 East: -0.010

Precision 1: 22,042.00

Parcel Name: BLOCK 06: LOT 2

North: 1,111,036.89' East: 879,506.00'

Segment# 1: Line

Course: S63°36'18"W Length: 80.38'
North: 1,111,001.15' East: 879,434.00'

Segment# 2: Line

Course: N26°23'19"W Length: 20.00'
North: 1,111,019.07' East: 879,425.11'

Segment# 3: Line

Course: N63°36'18"E Length: 80.38'
North: 1,111,054.80' East: 879,497.11'

Segment# 4: Line

Course: S26°23'42"E Length: 20.00'
North: 1,111,036.89' East: 879,506.00'

Perimeter: 200.76' Area: 1,607.59Sq.Ft.
Error Closure: 0.00 Course: N63°36'29"E
Error North : 0.001 East: 0.002

Precision 1: 200,760,000.00

Parcel Name: BLOCK 06: LOT 3

North: 1,111,018.97' East: 879,514.89'

Segment# 1: Line

Course: S63°36'18"W Length: 80.38'
North: 1,110,983.24' East: 879,442.89'

Segment# 2: Line

Course: N26°23'19"W Length: 20.00'
North: 1,111,001.16' East: 879,434.00'

Segment# 3: Line

Course: N63°36'18"E Length: 80.38'
North: 1,111,036.89' East: 879,506.00'

Segment# 4: Line

Course: S26°23'42"E Length: 20.00'

North: 1,111,018.97' East: 879,514.89'

Perimeter: 200.76' Area: 1,607.63Sq.Ft.
Error Closure: 0.00 Course: N63°36'29"E
Error North : 0.001 East: 0.002

Precision 1: 200,760,000.00

Parcel Name: BLOCK 06: LOT 4

North: 1,110,991.51' East: 879,528.52'

Segment# 1: Line

Course: S63°36'18"W Length: 80.39'
North: 1,110,955.78' East: 879,456.51'

Segment# 2: Line

Course: N26°23'19"W Length: 30.66'
North: 1,110,983.24' East: 879,442.88'

Segment# 3: Line

Course: N63°36'18"E Length: 80.38'
North: 1,111,018.97' East: 879,514.88'

Segment# 4: Line

Course: S26°23'42"E Length: 30.66'
North: 1,110,991.51' East: 879,528.51'

Perimeter: 222.08' Area: 2,464.27Sq.Ft.
Error Closure: 0.01 Course: S63°36'12"W
Error North : -0.003 East: -0.006

Precision 1: 22,209.00

Parcel Name: BLOCK 07: LOT 1

North: 1,110,964.33' East: 879,542.01'

Segment# 1: Line

Course: S63°36'18"W Length: 80.39'
North: 1,110,928.59' East: 879,470.00'

Segment# 2: Line

Course: N26°23'19"W Length: 30.35'
North: 1,110,955.78' East: 879,456.51'

Segment# 3: Line
 Course: N63°36'18"E Length: 80.39'
 North: 1,110,991.52' East: 879,528.52'

Segment# 4: Line
 Course: S26°23'42"E Length: 30.35'
 North: 1,110,964.33' East: 879,542.01'

Perimeter: 221.47' Area: 2,439.48Sq.Ft.
 Error Closure: 0.00 Course: N63°36'29"E
 Error North : 0.002 East: 0.003

Precision 1: 221,480,000.00

Parcel Name: BLOCK 07: LOT 2

North:1,110,910.68' East:879,478.89'

Segment# 1: Line
 Course: N26°23'19"W Length: 20.00'
 North: 1,110,928.59' East: 879,470.00'

Segment# 2: Line
 Course: N63°36'18"E Length: 80.39'
 North: 1,110,964.33' East: 879,542.01'

Segment# 3: Line
 Course: S26°23'42"E Length: 20.00'
 North: 1,110,946.42' East: 879,550.90'

Segment# 4: Line
 Course: S63°36'18"W Length: 80.39'
 North: 1,110,910.68' East: 879,478.89'

Perimeter: 200.78' Area: 1,607.80Sq.Ft.
 Error Closure: 0.00 Course: N63°36'29"E
 Error North : 0.001 East: 0.002

Precision 1: 200,780,000.00

Parcel Name: BLOCK 07: LOT 3

North:1,110,892.76' East:879,487.78'

Segment# 1: Line
 Course: N26°23'19"W Length: 20.00'

North: 1,110,910.68' East: 879,478.89'

Segment# 2: Line
 Course: N63°36'18"E Length: 80.39'
 North: 1,110,946.41' East: 879,550.90'

Segment# 3: Line
 Course: S26°23'42"E Length: 20.00'
 North: 1,110,928.50' East: 879,559.79'

Segment# 4: Line
 Course: S63°36'18"W Length: 80.39'
 North: 1,110,892.76' East: 879,487.78'

Perimeter: 200.78' Area: 1,607.85Sq.Ft.
 Error Closure: 0.00 Course: N63°36'29"E
 Error North : 0.001 East: 0.002

Precision 1: 200,780,000.00

Parcel Name: BLOCK 07: LOT 4

North:1,110,883.49' East:879,492.38'

Segment# 1: Line
 Course: N26°23'19"W Length: 10.35'
 North: 1,110,892.76' East: 879,487.78'

Segment# 2: Line
 Course: N63°36'18"E Length: 80.39'
 North: 1,110,928.50' East: 879,559.79'

Segment# 3: Line
 Course: S26°23'42"E Length: 30.32'
 North: 1,110,901.34' East: 879,573.27'

Segment# 4: Line
 Course: S63°36'18"W Length: 84.22'
 North: 1,110,863.90' East: 879,497.83'

Segment# 5: Line
 Course: N69°26'16"W Length: 5.35'
 North: 1,110,865.78' East: 879,492.82'

Segment# 6: Curve

Length: 18.30' Radius: 21.00'
Delta: 49°55'24" Tangent: 9.78'
Chord: 17.72' Course: N1°25'37"W
Course In: N66°27'55"W Out: N63°36'41"E
RP North: 1,110,874.17' East: 879,473.56'
End North: 1,110,883.50' East: 879,492.38'

Perimeter: 228.94' Area: 2,496.74Sq.Ft.
Error Closure: 0.01 Course: N17°20'32"W
Error North : 0.008 East: -0.002

Precision 1: 22,893.00

Parcel Name: BLOCK 08: LOT 1

North:1,110,824.78' East:879,416.39'

Segment# 1: Line
Course: S24°42'02"E Length: 80.36'
North: 1,110,751.77' East: 879,449.97'

Segment# 2: Line
Course: S65°17'58"W Length: 51.13'
North: 1,110,730.40' East: 879,403.52'

Segment# 3: Curve
Length: 6.01' Radius: 100.00'
Delta: 3°26'38" Tangent: 3.01'
Chord: 6.01' Course: S67°01'17"W
Course In: N24°42'02"W Out: S21°15'24"E
RP North: 1,110,821.25' East: 879,361.73'
End North: 1,110,728.06' East: 879,397.99'

Segment# 4: Line
Course: N19°38'57"W Length: 80.61'
North: 1,110,803.97' East: 879,370.88'

Segment# 5: Curve
Length: 3.84' Radius: 75.67'
Delta: 2°54'20" Tangent: 1.92'
Chord: 3.84' Course: N66°46'29"E
Course In: N21°46'21"W Out: S24°40'41"E
RP North: 1,110,874.24' East: 879,342.81'
End North: 1,110,805.49' East: 879,374.41'

Segment# 6: Line
Course: N65°19'19"E Length: 46.20'
North: 1,110,824.77' East: 879,416.39'

Perimeter: 268.15' Area: 4,307.50Sq.Ft.
Error Closure: 0.00 Course: S74°01'36"W
Error North : -0.001 East: -0.004

Precision 1: 268,150,000.00

Parcel Name: BLOCK 08: LOT 2

North:1,110,833.13' East:879,434.56'

Segment# 1: Line
Course: S24°42'02"E Length: 80.36'
North: 1,110,760.12' East: 879,468.14'

Segment# 2: Line
Course: S65°17'58"W Length: 20.00'
North: 1,110,751.76' East: 879,449.97'

Segment# 3: Line
Course: N24°42'02"W Length: 80.36'
North: 1,110,824.77' East: 879,416.39'

Segment# 4: Line
Course: N65°19'19"E Length: 20.00'
North: 1,110,833.12' East: 879,434.57'

Perimeter: 200.72' Area: 1,607.20Sq.Ft.
Error Closure: 0.01 Course: S24°41'22"E
Error North : -0.007 East: 0.003

Precision 1: 20,072.00

Parcel Name: BLOCK 08: LOT 3

North:1,110,841.48' East:879,452.74'

Segment# 1: Line
Course: S24°42'02"E Length: 80.35'
North: 1,110,768.48' East: 879,486.31'

Segment# 2: Line
Course: S65°17'58"W Length: 20.00'

North: 1,110,760.12' East: 879,468.14'
Segment# 3: Line
Course: N24°42'02"W Length: 80.36'
North: 1,110,833.13' East: 879,434.56'
Segment# 4: Line
Course: N65°19'19"E Length: 20.00'
North: 1,110,841.48' East: 879,452.74'
Perimeter: 200.70' Area: 1,607.05Sq.Ft.
Error Closure: 0.00 Course: N24°44'30"W
Error North : 0.002 East: -0.001
Precision 1: 200,710,000.00

Parcel Name: BLOCK 08: LOT 4

North:1,110,776.84' East:879,504.48'
Segment# 1: Line
Course: S65°17'58"W Length: 20.00'
North: 1,110,768.48' East: 879,486.31'
Segment# 2: Line
Course: N24°42'02"W Length: 80.35'
North: 1,110,841.48' East: 879,452.74'
Segment# 3: Line
Course: N65°19'19"E Length: 20.00'
North: 1,110,849.83' East: 879,470.91'
Segment# 4: Line
Course: S24°42'02"E Length: 80.34'
North: 1,110,776.84' East: 879,504.48'
Perimeter: 200.69' Area: 1,606.89Sq.Ft.
Error Closure: 0.00 Course: N24°44'30"W
Error North : 0.002 East: -0.001
Precision 1: 200,690,000.00

Parcel Name: BLOCK 08: LOT 5

North:1,110,776.84' East:879,504.48'

Segment# 1: Line
Course: N24°42'02"W Length: 80.34'
North: 1,110,849.83' East: 879,470.91'
Segment# 2: Line
Course: N65°19'19"E Length: 12.57'
North: 1,110,855.07' East: 879,482.33'
Segment# 3: Curve
Length: 15.32' Radius: 21.00'
Delta: 41°47'14" Tangent: 8.02'
Chord: 14.98' Course: N44°25'42"E
Course In: N24°40'41"W Out: S66°27'55"E
RP North: 1,110,874.16' East: 879,473.56'
End North: 1,110,865.77' East: 879,492.82'

Segment# 4: Line
Course: S69°26'16"E Length: 5.35'
North: 1,110,863.89' East: 879,497.83'

Segment# 5: Line
Course: S24°42'02"E Length: 81.87'
North: 1,110,789.51' East: 879,532.04'

Segment# 6: Line
Course: S65°17'58"W Length: 30.33'
North: 1,110,776.84' East: 879,504.48'

Perimeter: 225.78' Area: 2,473.29Sq.Ft.
Error Closure: 0.00 Course: N27°00'04"E
Error North : 0.002 East: 0.001

Precision 1: 225,780,000.00

Parcel Name: BLOCK 09: LOT 1

North:1,110,775.67' East:879,264.54'
Segment# 1: Line
Course: S14°35'51"E Length: 80.38'
North: 1,110,697.88' East: 879,284.80'
Segment# 2: Line
Course: S75°24'09"W Length: 34.18'
North: 1,110,689.27' East: 879,251.72'

Segment# 3: Line
Course: N11°45'35"W Length: 80.63'
North: 1,110,768.20' East: 879,235.29'

Segment# 4: Curve
Length: 4.73' Radius: 75.67'
Delta: 3°35'04" Tangent: 2.37'
Chord: 4.73' Course: N77°11'41"E
Course In: N11°00'47"W Out: S14°35'51"E
RP North: 1,110,842.48' East: 879,220.84'
End North: 1,110,769.25' East: 879,239.91'

Segment# 5: Line
Course: N75°24'09"E Length: 25.46'
North: 1,110,775.67' East: 879,264.54'

Perimeter: 225.39' Area: 2,587.74Sq.Ft.
Error Closure: 0.00 Course: N26°37'23"E
Error North : 0.004 East: 0.002

Precision 1: 225,380,000.00

Parcel Name: BLOCK 09: LOT 2

North:1,110,702.92' East:879,304.16'

Segment# 1: Line
Course: S75°24'09"W Length: 20.00'
North: 1,110,697.88' East: 879,284.80'

Segment# 2: Line
Course: N14°35'51"W Length: 80.38'
North: 1,110,775.66' East: 879,264.54'

Segment# 3: Line
Course: N75°24'09"E Length: 20.00'
North: 1,110,780.70' East: 879,283.90'

Segment# 4: Line
Course: S14°35'51"E Length: 80.38'
North: 1,110,702.92' East: 879,304.16'

Perimeter: 200.76' Area: 1,607.65Sq.Ft.
Error Closure: 0.00 Course: N0°00'00"E

Error North : 0.000 East: 0.000

Precision 1: 200,760,000.00

Parcel Name: BLOCK 09: LOT 3

North:1,110,785.75' East:879,303.25'

Segment# 1: Line
Course: S14°35'51"E Length: 80.38'
North: 1,110,707.96' East: 879,323.51'

Segment# 2: Line
Course: S75°24'09"W Length: 20.00'
North: 1,110,702.92' East: 879,304.16'

Segment# 3: Line
Course: N14°35'51"W Length: 80.38'
North: 1,110,780.71' East: 879,283.90'

Segment# 4: Line
Course: N75°24'09"E Length: 20.00'
North: 1,110,785.75' East: 879,303.25'

Perimeter: 200.76' Area: 1,607.65Sq.Ft.
Error Closure: 0.00 Course: N0°00'00"E
Error North : 0.000 East: 0.000

Precision 1: 200,760,000.00

Parcel Name: BLOCK 09: LOT 4

North:1,110,790.79' East:879,322.61'

Segment# 1: Line
Course: S14°35'51"E Length: 80.38'
North: 1,110,713.00' East: 879,342.86'

Segment# 2: Line
Course: S75°24'09"W Length: 20.00'
North: 1,110,707.96' East: 879,323.51'

Segment# 3: Line
Course: N14°35'51"W Length: 80.38'
North: 1,110,785.75' East: 879,303.25'

Segment# 4: Line
Course: N75°24'09"E Length: 20.00'
North: 1,110,790.79' East: 879,322.61'

Perimeter: 200.76' Area: 1,607.65Sq.Ft.
Error Closure: 0.00 Course: N0°00'00"E
Error North : 0.000 East: 0.000

Precision 1: 200,760,000.00

Parcel Name: BLOCK 09: LOT 5

North:1,110,803.97' East:879,370.88'

Segment# 1: Line
Course: S19°38'57"E Length: 80.61'
North: 1,110,728.06' East: 879,397.99'

Segment# 2: Curve
Length: 11.62' Radius: 100.00'
Delta: 6°39'32" Tangent: 5.82'
Chord: 11.62' Course: S72°04'22"W
Course In: N21°15'24"W Out: S14°35'51"E
RP North: 1,110,821.25' East: 879,361.74'
End North: 1,110,724.48' East: 879,386.94'

Segment# 3: Line
Course: S75°24'09"W Length: 45.55'
North: 1,110,713.00' East: 879,342.86'

Segment# 4: Line
Course: N14°35'51"W Length: 80.38'
North: 1,110,790.79' East: 879,322.60'

Segment# 5: Line
Course: N75°24'09"E Length: 40.59'
North: 1,110,801.02' East: 879,361.88'

Segment# 6: Curve
Length: 9.48' Radius: 75.67'
Delta: 7°10'30" Tangent: 4.74'
Chord: 9.47' Course: N71°48'54"E
Course In: N14°35'51"W Out: S21°46'21"E
RP North: 1,110,874.25' East: 879,342.81'
End North: 1,110,803.97' East: 879,370.88'

Perimeter: 268.23' Area: 4,311.64Sq.Ft.
Error Closure: 0.01 Course: S83°37'09"W
Error North : -0.001 East: -0.007

Precision 1: 26,823.00

Parcel Name: BLOCK 10: LOT 1

North:1,110,753.49' East:879,126.07'

Segment# 1: Line
Course: S7°37'24"E Length: 80.32'
North: 1,110,673.88' East: 879,136.73'

Segment# 2: Line
Course: S82°22'36"W Length: 30.65'
North: 1,110,669.81' East: 879,106.35'

Segment# 3: Line
Course: N7°37'24"W Length: 80.33'
North: 1,110,749.43' East: 879,095.69'

Segment# 4: Line
Course: N82°23'48"E Length: 30.65'
North: 1,110,753.49' East: 879,126.07'

Perimeter: 221.97' Area: 2,462.48Sq.Ft.
Error Closure: 0.00 Course: S7°28'13"E
Error North : -0.001 East: 0.000

Precision 1: 221,950,000.00

Parcel Name: BLOCK 10: LOT 2

North:1,110,756.13' East:879,145.89'

Segment# 1: Line
Course: S7°37'24"E Length: 80.32'
North: 1,110,676.52' East: 879,156.55'

Segment# 2: Line
Course: S82°22'36"W Length: 20.00'
North: 1,110,673.87' East: 879,136.73'

Segment# 3: Line

Course: N7°37'24"W Length: 80.32'
North: 1,110,753.48' East: 879,126.07'

Segment# 4: Line
Course: N82°23'48"E Length: 20.00'
North: 1,110,756.13' East: 879,145.90'

Perimeter: 200.64' Area: 1,606.40Sq.Ft.
Error Closure: 0.01 Course: S7°36'48"E
Error North : -0.007 East: 0.001

Precision 1: 20,064.00

Parcel Name: BLOCK 10: LOT 3

North:1,110,758.78' East:879,165.72'

Segment# 1: Line
Course: S7°37'24"E Length: 80.31'
North: 1,110,679.18' East: 879,176.37'

Segment# 2: Line
Course: S7°37'24"E Length: 0.04'
North: 1,110,679.14' East: 879,176.38'

Segment# 3: Line
Course: S82°30'12"W Length: 20.00'
North: 1,110,676.53' East: 879,156.55'

Segment# 4: Line
Course: N7°37'24"W Length: 80.32'
North: 1,110,756.14' East: 879,145.89'

Segment# 5: Line
Course: N82°23'48"E Length: 20.00'
North: 1,110,758.79' East: 879,165.72'

Perimeter: 200.67' Area: 1,606.71Sq.Ft.
Error Closure: 0.01 Course: N7°14'45"W
Error North : 0.007 East: -0.001

Precision 1: 20,067.00

Parcel Name: BLOCK 10: LOT 4

North:1,110,761.42' East:879,185.54'

Segment# 1: Line
Course: S7°37'24"E Length: 80.30'
North: 1,110,681.83' East: 879,196.19'

Segment# 2: Line
Course: S82°22'36"W Length: 20.00'
North: 1,110,679.18' East: 879,176.37'

Segment# 3: Line
Course: N7°37'24"W Length: 80.31'
North: 1,110,758.78' East: 879,165.72'

Segment# 4: Line
Course: N82°23'48"E Length: 20.00'
North: 1,110,761.43' East: 879,185.54'

Perimeter: 200.61' Area: 1,606.12Sq.Ft.
Error Closure: 0.00 Course: N7°38'47"W
Error North : 0.003 East: 0.000

Precision 1: 200,610,000.00

Parcel Name: BLOCK 10: LOT 5

North:1,110,768.20' East:879,235.29'

Segment# 1: Line
Course: S11°45'35"E Length: 80.63'
North: 1,110,689.26' East: 879,251.72'

Segment# 2: Line
Course: S82°22'36"W Length: 56.02'
North: 1,110,681.83' East: 879,196.20'

Segment# 3: Line
Course: N7°37'24"W Length: 80.30'
North: 1,110,761.42' East: 879,185.55'

Segment# 4: Line
Course: N82°23'48"E Length: 45.71'
North: 1,110,767.47' East: 879,230.85'

Segment# 5: Curve
Length: 4.50' Radius: 75.67'

Delta: 3°24'35" Tangent: 2.25'
Chord: 4.50' Course: N80°41'30"E
Course In: N7°36'12"W Out: S11°00'47"E
RP North: 1,110,842.47' East: 879,220.84'
End North: 1,110,768.20' East: 879,235.30'

Perimeter: 267.16' Area: 4,265.34Sq.Ft.
Error Closure: 0.01 Course: S68°58'44"E
Error North : -0.003 East: 0.007

Precision 1: 26,716.00

Parcel Name: BLOCK 11: LOT 1

North:1,110,734.83' East:878,986.32'

Segment# 1: Line

Course: S7°37'24"E Length: 80.37'
North: 1,110,655.17' East: 878,996.98'

Segment# 2: Line

Course: S82°22'36"W Length: 30.32'
North: 1,110,651.15' East: 878,966.93'

Segment# 3: Line

Course: N82°51'46"W Length: 12.76'
North: 1,110,652.73' East: 878,954.27'

Segment# 4: Line

Course: N0°14'35"W Length: 81.00'
North: 1,110,733.73' East: 878,953.93'

Segment# 5: Line

Course: S82°51'22"E Length: 2.78'
North: 1,110,733.39' East: 878,956.68'

Segment# 6: Curve

Length: 19.48' Radius: 75.67'
Delta: 14°44'50" Tangent: 9.79'
Chord: 19.42' Course: N89°46'13"E
Course In: N7°08'38"E Out: S7°36'12"E
RP North: 1,110,808.47' East: 878,966.10'
End North: 1,110,733.47' East: 878,976.11'

Segment# 7: Line

Course: N82°23'48"E Length: 10.32'
North: 1,110,734.83' East: 878,986.34'

Perimeter: 237.03' Area: 3,048.42Sq.Ft.
Error Closure: 0.02 Course: N88°37'29"E
Error North : 0.000 East: 0.015

Precision 1: 11,851.50

Parcel Name: BLOCK 11: LOT 2

North:1,110,737.48' East:879,006.15'

Segment# 1: Line

Course: S7°37'24"E Length: 80.37'
North: 1,110,657.82' East: 879,016.81'

Segment# 2: Line

Course: S82°22'36"W Length: 20.00'
North: 1,110,655.16' East: 878,996.98'

Segment# 3: Line

Course: N7°37'24"W Length: 80.37'
North: 1,110,734.82' East: 878,986.32'

Segment# 4: Line

Course: N82°23'48"E Length: 20.00'
North: 1,110,737.47' East: 879,006.15'

Perimeter: 200.74' Area: 1,607.38Sq.Ft.
Error Closure: 0.01 Course: S7°36'48"E
Error North : -0.007 East: 0.001

Precision 1: 20,074.00

Parcel Name: BLOCK 11: LOT 3

North:1,110,740.12' East:879,025.97'

Segment# 1: Line

Course: S7°37'24"E Length: 80.36'
North: 1,110,660.47' East: 879,036.63'

Segment# 2: Line

Course: S82°22'36"W Length: 20.00'
North: 1,110,657.82' East: 879,016.81'

Segment# 3: Line
Course: N7°37'24"W Length: 80.37'
North: 1,110,737.48' East: 879,006.15'

Segment# 4: Line
Course: N82°23'48"E Length: 20.00'
North: 1,110,740.13' East: 879,025.97'

Perimeter: 200.72' Area: 1,607.25Sq.Ft.
Error Closure: 0.00 Course: N7°38'47"W
Error North : 0.003 East: 0.000

Precision 1: 200,730,000.00

Parcel Name: BLOCK 11: LOT 4

North:1,110,742.77' East:879,045.79'

Segment# 1: Line
Course: S7°37'24"E Length: 80.35'
North: 1,110,663.13' East: 879,056.45'

Segment# 2: Line
Course: S82°22'36"W Length: 20.00'
North: 1,110,660.48' East: 879,036.63'

Segment# 3: Line
Course: N7°37'24"W Length: 80.36'
North: 1,110,740.13' East: 879,025.97'

Segment# 4: Line
Course: N82°23'48"E Length: 20.00'
North: 1,110,742.77' East: 879,045.79'

Perimeter: 200.71' Area: 1,607.11Sq.Ft.
Error Closure: 0.00 Course: N7°38'47"W
Error North : 0.003 East: 0.000

Precision 1: 200,710,000.00

Parcel Name: BLOCK 11: LOT 5

North:1,110,749.43' East:879,095.68'

Segment# 1: Line

Course: S7°37'24"E Length: 80.33'
North: 1,110,669.81' East: 879,106.34'

Segment# 2: Line
Course: S82°22'36"W Length: 50.33'
North: 1,110,663.13' East: 879,056.46'

Segment# 3: Line
Course: N7°37'24"W Length: 80.35'
North: 1,110,742.77' East: 879,045.80'

Segment# 4: Line
Course: N82°23'48"E Length: 50.33'
North: 1,110,749.43' East: 879,095.68'

Perimeter: 261.35' Area: 4,043.93Sq.Ft.
Error Closure: 0.00 Course: N7°41'44"W
Error North : 0.002 East: 0.000

Precision 1: 261,340,000.00

Parcel Name: BLOCK 12: LOT 1

North:1,110,747.70' East:878,842.52'

Segment# 1: Line
Course: S7°08'13"W Length: 80.35'
North: 1,110,667.97' East: 878,832.54'

Segment# 2: Line
Course: N82°51'47"W Length: 30.66'
North: 1,110,671.78' East: 878,802.11'

Segment# 3: Line
Course: N7°08'13"E Length: 80.35'
North: 1,110,751.51' East: 878,812.10'

Segment# 4: Line
Course: S82°51'22"E Length: 30.66'
North: 1,110,747.69' East: 878,842.52'

Perimeter: 222.01' Area: 2,463.25Sq.Ft.
Error Closure: 0.00 Course: S7°08'26"W
Error North : -0.004 East: 0.000

Precision 1: 222,020,000.00

Parcel Name: BLOCK 12: LOT 2

North: 1,110,745.21' East: 878,862.36'

Segment# 1: Line

Course: S7°08'13"W Length: 80.34'
North: 1,110,665.49' East: 878,852.38'

Segment# 2: Line

Course: N82°51'47"W Length: 20.00'
North: 1,110,667.98' East: 878,832.54'

Segment# 3: Line

Course: N7°08'13"E Length: 80.35'
North: 1,110,747.70' East: 878,842.52'

Segment# 4: Line

Course: S82°51'22"E Length: 20.00'
North: 1,110,745.22' East: 878,862.36'

Perimeter: 200.69' Area: 1,606.88Sq.Ft.
Error Closure: 0.01 Course: N7°08'09"E
Error North : 0.008 East: 0.001

Precision 1: 20,069.00

Parcel Name: BLOCK 12: LOT 3

North: 1,110,742.72' East: 878,882.21'

Segment# 1: Line

Course: S7°08'13"W Length: 80.34'
North: 1,110,663.00' East: 878,872.23'

Segment# 2: Line

Course: N82°51'47"W Length: 20.00'
North: 1,110,665.49' East: 878,852.38'

Segment# 3: Line

Course: N7°08'13"E Length: 80.34'
North: 1,110,745.21' East: 878,862.36'

Segment# 4: Line

Course: S82°51'22"E Length: 20.00'

North: 1,110,742.72' East: 878,882.21'

Perimeter: 200.68' Area: 1,606.83Sq.Ft.
Error Closure: 0.00 Course: S7°08'26"W
Error North : -0.002 East: 0.000

Precision 1: 200,680,000.00

Parcel Name: BLOCK 12: LOT 4

North: 1,110,740.23' East: 878,902.05'

Segment# 1: Line

Course: S7°08'13"W Length: 80.34'
North: 1,110,660.52' East: 878,892.07'

Segment# 2: Line

Course: N82°51'47"W Length: 20.00'
North: 1,110,663.00' East: 878,872.23'

Segment# 3: Line

Course: N7°08'13"E Length: 80.34'
North: 1,110,742.72' East: 878,882.21'

Segment# 4: Line

Course: S82°51'22"E Length: 20.00'
North: 1,110,740.23' East: 878,902.05'

Perimeter: 200.68' Area: 1,606.79Sq.Ft.
Error Closure: 0.00 Course: S7°08'26"W
Error North : -0.002 East: 0.000

Precision 1: 200,680,000.00

Parcel Name: BLOCK 12: LOT 5

North: 1,110,733.73' East: 878,953.92'

Segment# 1: Line

Course: S0°14'35"E Length: 81.00'
North: 1,110,652.73' East: 878,954.26'

Segment# 2: Line

Course: N82°51'47"W Length: 62.68'
North: 1,110,660.52' East: 878,892.07'

Segment# 3: Line
 Course: N7°08'13"E Length: 80.34'
 North: 1,110,740.24' East: 878,902.05'

Segment# 4: Line
 Course: S82°51'22"E Length: 52.27'
 North: 1,110,733.74' East: 878,953.91'

Perimeter: 276.29' Area: 4,617.12Sq.Ft.
 Error Closure: 0.01 Course: N43°03'26"W
 Error North : 0.005 East: -0.005

Precision 1: 27,629.00

Parcel Name: BLOCK 13: LOT 1

North:1,110,762.74' East:878,722.47'

Segment# 1: Line
 Course: S7°08'13"W Length: 80.36'
 North: 1,110,683.01' East: 878,712.48'

Segment# 2: Line
 Course: N82°51'47"W Length: 50.32'
 North: 1,110,689.26' East: 878,662.55'

Segment# 3: Line
 Course: N7°08'13"E Length: 94.32'
 North: 1,110,782.85' East: 878,674.27'

Segment# 4: Curve
 Length: 45.17' Radius: 70.67'
 Delta: 36°37'09" Tangent: 23.39'
 Chord: 44.40' Course: S64°32'44"E
 Course In: N43°45'51"E Out: S7°08'41"W
 RP North: 1,110,833.88' East: 878,723.15'
 End North: 1,110,763.76' East: 878,714.36'

Segment# 5: Line
 Course: S82°51'22"E Length: 8.17'
 North: 1,110,762.75' East: 878,722.47'

Perimeter: 278.34' Area: 4,231.79Sq.Ft.
 Error Closure: 0.00 Course: N39°14'25"E
 Error North : 0.004 East: 0.003

Precision 1: 278,340,000.00

Parcel Name: BLOCK 13: LOT 2

North:1,110,760.26' East:878,742.31'

Segment# 1: Line
 Course: S7°08'13"W Length: 80.36'
 North: 1,110,680.52' East: 878,732.33'

Segment# 2: Line
 Course: N82°51'47"W Length: 20.00'
 North: 1,110,683.00' East: 878,712.48'

Segment# 3: Line
 Course: N7°08'13"E Length: 80.36'
 North: 1,110,762.74' East: 878,722.47'

Segment# 4: Line
 Course: S82°51'22"E Length: 20.00'
 North: 1,110,760.25' East: 878,742.31'

Perimeter: 200.72' Area: 1,607.18Sq.Ft.
 Error Closure: 0.00 Course: S7°08'26"W
 Error North : -0.002 East: 0.000

Precision 1: 200,720,000.00

Parcel Name: BLOCK 13: LOT 3

North:1,110,757.77' East:878,762.16'

Segment# 1: Line
 Course: S7°08'13"W Length: 80.36'
 North: 1,110,678.03' East: 878,752.17'

Segment# 2: Line
 Course: N82°51'47"W Length: 20.00'
 North: 1,110,680.52' East: 878,732.33'

Segment# 3: Line
 Course: N7°08'13"E Length: 80.36'
 North: 1,110,760.25' East: 878,742.31'

Segment# 4: Line

Course: S82°51'22"E Length: 20.00'
North: 1,110,757.77' East: 878,762.16'

Perimeter: 200.71' Area: 1,607.13Sq.Ft.
Error Closure: 0.00 Course: S7°08'26"W
Error North : -0.002 East: 0.000

Precision 1: 200,720,000.00

Parcel Name: BLOCK 13: LOT 4

North:1,110,751.51' East:878,812.10'

Segment# 1: Line

Course: S7°08'13"W Length: 80.35'
North: 1,110,671.78' East: 878,802.12'

Segment# 2: Line

Course: N82°51'47"W Length: 50.33'
North: 1,110,678.03' East: 878,752.18'

Segment# 3: Line

Course: N7°08'13"E Length: 80.36'
North: 1,110,757.77' East: 878,762.16'

Segment# 4: Line

Course: S82°51'22"E Length: 50.33'
North: 1,110,751.51' East: 878,812.10'

Perimeter: 261.37' Area: 4,044.39Sq.Ft.
Error Closure: 0.00 Course: N7°07'53"E
Error North : 0.004 East: 0.000

Precision 1: 261,370,000.00

Parcel Name: COMMON AREA

North:1,110,889.42' East:878,756.90'

Segment# 1: Line

Course: S7°08'06"W Length: 79.98'
North: 1,110,810.06' East: 878,746.96'

Segment# 2: Line

Course: N82°51'22"W Length: 26.59'
North: 1,110,813.37' East: 878,720.58'

Segment# 3: Curve

Length: 37.28' Radius: 20.67'
Delta: 103°20'41" Tangent: 26.14'
Chord: 32.43' Course: N31°11'02"W
Course In: N7°08'38"E Out: N69°30'41"W
RP North: 1,110,833.88' East: 878,723.15'
End North: 1,110,841.11' East: 878,703.79'

Segment# 4: Line

Course: N20°29'19"E Length: 55.39'
North: 1,110,893.00' East: 878,723.18'

Segment# 5: Curve

Length: 33.92' Radius: 366.00'
Delta: 5°18'37" Tangent: 16.97'
Chord: 33.91' Course: S83°57'02"E
Course In: N8°42'17"E Out: S3°23'39"W
RP North: 1,111,254.79' East: 878,778.57'
End North: 1,110,889.43' East: 878,756.90'

Perimeter: 233.16' Area: 3,283.67Sq.Ft.
Error Closure: 0.00 Course: N7°56'36"E
Error North : 0.003 East: 0.000

Precision 1: 233,160,000.00

Parcel Name: OPEN SPACE TRACT 1

North:1,111,083.10' East:879,489.77'

Segment# 1: Line

Course: S26°23'42"E Length: 273.84'
North: 1,110,837.80' East: 879,611.50'

Segment# 2: Line

Course: S54°59'22"W Length: 125.19'
North: 1,110,765.98' East: 879,508.97'

Segment# 3: Line

Course: S68°17'04"W Length: 196.78'
North: 1,110,693.17' East: 879,326.15'

Segment# 4: Line

Course: S82°22'36"W Length: 362.40'

North: 1,110,645.09' East: 878,966.95'

Segment# 5: Line

Course: N82°51'47"W Length: 307.53'
North: 1,110,683.30' East: 878,661.81'

Segment# 6: Line

Course: N7°08'13"E Length: 6.00'
North: 1,110,689.26' East: 878,662.55'

Segment# 7: Line

Course: S82°51'47"E Length: 306.76'
North: 1,110,651.14' East: 878,966.94'

Segment# 8: Line

Course: N82°22'36"E Length: 287.34'
North: 1,110,689.26' East: 879,251.74'

Segment# 9: Line

Course: N75°24'09"E Length: 139.73'
North: 1,110,724.48' East: 879,386.96'

Segment# 10: Curve

Length: 17.63' Radius: 100.00'
Delta: 10°06'10" Tangent: 8.84'
Chord: 17.61' Course: N70°21'03"E
Course In: N14°35'51"W Out: S24°42'02"E
RP North: 1,110,821.25' East: 879,361.75'
End North: 1,110,730.40' East: 879,403.54'

Segment# 11: Line

Course: N65°17'58"E Length: 141.46'
North: 1,110,789.51' East: 879,532.06'

Segment# 12: Line

Course: N24°42'02"W Length: 81.87'
North: 1,110,863.89' East: 879,497.85'

Segment# 13: Line

Course: N63°36'18"E Length: 84.22'
North: 1,110,901.33' East: 879,573.29'

Segment# 14: Line

Course: N26°23'42"W Length: 198.65'

North: 1,111,079.27' East: 879,484.98'

Segment# 15: Line

Course: N49°22'32"W Length: 3.28'
North: 1,111,081.41' East: 879,482.49'

Segment# 16: Line

Course: N63°36'18"E Length: 6.54'
North: 1,111,084.32' East: 879,488.34'

Segment# 17: Line

Course: S49°22'32"E Length: 1.89'
North: 1,111,083.08' East: 879,489.78'

Perimeter: 2,541.12'

Area: 15,034.14Sq.Ft.

Error Closure: 0.02

Course: S50°13'30"E

Error North : -0.011

East: 0.013

Precision 1: 127,055.50

Parcel Name: OPEN SPACE TRACT 2

North:1,111,046.66' East:879,265.93'

Segment# 1: Line

Course: S26°23'19"E Length: 214.54'
North: 1,110,854.48' East: 879,361.28'

Segment# 2: Line

Course: S65°19'19"W Length: 8.52'
North: 1,110,850.92' East: 879,353.54'

Segment# 3: Curve

Length: 4.52' Radius: 25.67'
Delta: 10°04'50" Tangent: 2.26'
Chord: 4.51' Course: S70°21'44"W
Course In: N24°40'41"W Out: S14°35'51"E
RP North: 1,110,874.24' East: 879,342.82'
End North: 1,110,849.40' East: 879,349.29'

Segment# 4: Line

Course: S75°24'09"W Length: 8.50'
North: 1,110,847.26' East: 879,341.06'

Segment# 5: Line

Course: N26°23'19"W Length: 208.97'
 North: 1,111,034.46' East: 879,248.19'

Segment# 6: Line
 Course: N49°01'17"E Length: 8.84'
 North: 1,111,040.25' East: 879,254.86'

Segment# 7: Curve
 Length: 6.49' Radius: 25.50'
 Delta: 14°35'23" Tangent: 3.26'
 Chord: 6.48' Course: N56°18'59"E
 Course In: S40°58'43"E Out: N26°23'19"W
 RP North: 1,111,021.00' East: 879,271.58'
 End North: 1,111,043.84' East: 879,260.25'

Segment# 8: Line
 Course: N63°36'41"E Length: 6.34'
 North: 1,111,046.66' East: 879,265.93'

Perimeter: 466.71' Area: 4,538.16Sq.Ft.
 Error Closure: 0.00 Course: N49°45'44"E
 Error North : 0.002 East: 0.002

Precision 1: 466,720,000.00

Parcel Name: RECREATION TRACT

North: 1,110,946.99' East: 879,056.27'

Segment# 1: Line
 Course: S21°37'39"E Length: 155.67'
 North: 1,110,802.27' East: 879,113.64'

Segment# 2: Line
 Course: S82°23'48"W Length: 27.81'
 North: 1,110,798.60' East: 879,086.08'

Segment# 3: Line
 Course: N7°34'57"W Length: 65.85'
 North: 1,110,863.87' East: 879,077.39'

Segment# 4: Line
 Course: N21°37'39"W Length: 17.57'
 North: 1,110,880.20' East: 879,070.91'

Segment# 5: Line
 Course: S82°25'03"W Length: 116.14'
 North: 1,110,864.88' East: 878,955.79'

Segment# 6: Line
 Course: N82°51'53"W Length: 195.67'
 North: 1,110,889.18' East: 878,761.63'

Segment# 7: Curve
 Length: 38.67' Radius: 366.00'
 Delta: 6°03'14" Tangent: 19.35'
 Chord: 38.65' Course: N84°19'21"W
 Course In: N2°39'02"E Out: S8°42'17"W
 RP North: 1,111,254.79' East: 878,778.56'
 End North: 1,110,893.01' East: 878,723.17'

Segment# 8: Line
 Course: N20°29'19"E Length: 6.13'
 North: 1,110,898.75' East: 878,725.31'

Segment# 9: Curve
 Length: 132.92' Radius: 360.00'
 Delta: 21°09'15" Tangent: 67.22'
 Chord: 132.16' Course: N87°55'42"E
 Course In: N8°30'19"E Out: S12°38'56"E
 RP North: 1,111,254.79' East: 878,778.56'
 End North: 1,110,903.53' East: 878,857.39'

Segment# 10: Line
 Course: N77°21'04"E Length: 113.50'
 North: 1,110,928.38' East: 878,968.13'

Segment# 11: Curve
 Length: 141.92' Radius: 330.00'
 Delta: 24°38'24" Tangent: 72.07'
 Chord: 140.83' Course: N65°01'52"E
 Course In: N12°38'56"W Out: S37°17'20"E
 RP North: 1,111,250.37' East: 878,895.87'
 End North: 1,110,987.83' East: 879,095.80'

Segment# 12: Line
 Course: N52°42'40"E Length: 29.62'
 North: 1,111,005.77' East: 879,119.36'

Segment# 13: Line
 Course: S21°37'39"E Length: 31.38'
 North: 1,110,976.60' East: 879,130.93'

Segment# 14: Line
 Course: S68°22'12"W Length: 80.33'
 North: 1,110,946.99' East: 879,056.25'

Perimeter: 1,153.17' Area: 16,836.46Sq.Ft.
 Error Closure: 0.01 Course: N72°39'32"W
 Error North : 0.004 East: -0.013

Precision 1: 115,318.00

Parcel Name: WATER MANAGEMENT TRACT 1

North:1,110,687.35' East:878,629.50'

Segment# 1: Line
 Course: N48°30'51"W Length: 32.23'
 North: 1,110,708.70' East: 878,605.35'

Segment# 2: Line
 Course: N7°08'29"E Length: 89.06'
 North: 1,110,797.07' East: 878,616.43'

Segment# 3: Curve
 Length: 76.87' Radius: 330.00'
 Delta: 13°20'50" Tangent: 38.61'
 Chord: 76.70' Course: N13°48'54"E
 Course In: S82°51'31"E Out: N69°30'41"W
 RP North: 1,110,756.04' East: 878,943.87'
 End North: 1,110,871.55' East: 878,634.74'

Segment# 4: Line
 Course: N20°29'19"E Length: 49.33'
 North: 1,110,917.76' East: 878,652.01'

Segment# 5: Curve
 Length: 25.35' Radius: 360.40'
 Delta: 4°01'50" Tangent: 12.68'
 Chord: 25.35' Course: S71°26'12"E
 Course In: N20°34'44"E Out: S16°32'53"W
 RP North: 1,111,255.16' East: 878,778.69'
 End North: 1,110,909.69' East: 878,676.04'

Segment# 6: Line
 Course: S20°29'19"W Length: 54.53'
 North: 1,110,858.61' East: 878,656.95'

Segment# 7: Curve
 Length: 82.30' Radius: 70.67'
 Delta: 66°43'25" Tangent: 46.53'
 Chord: 77.72' Course: S12°52'24"E
 Course In: S69°30'41"E Out: S43°45'54"W
 RP North: 1,110,833.87' East: 878,723.15'
 End North: 1,110,782.84' East: 878,674.27'

Segment# 8: Line
 Course: S7°08'13"W Length: 100.32'
 North: 1,110,683.29' East: 878,661.80'

Segment# 9: Line
 Course: N82°51'47"W Length: 32.56'
 North: 1,110,687.34' East: 878,629.50'

Perimeter: 542.55' Area: 9,723.98Sq.Ft.
 Error Closure: 0.01 Course: S8°06'55"W
 Error North : -0.010 East: -0.001

Precision 1: 54,255.00

Parcel Name: WATER MANAGEMENT TRACT 2

North:1,111,125.05' East:879,440.86'

Segment# 1: Line
 Course: S49°22'32"E Length: 62.55'
 North: 1,111,084.33' East: 879,488.33'

Segment# 2: Line
 Course: S63°36'18"W Length: 85.64'
 North: 1,111,046.25' East: 879,411.62'

Segment# 3: Line
 Course: N26°23'19"W Length: 54.62'
 North: 1,111,095.18' East: 879,387.34'

Segment# 4: Curve
 Length: 95.03' Radius: 60.50'

Delta: 90°00'00" Tangent: 60.50'
Chord: 85.56' Course: N71°23'19"W
Course In: S63°36'41"W Out: N26°23'19"W
RP North: 1,111,068.29' East: 879,333.15'
End North: 1,111,122.49' East: 879,306.26'

North: 1,111,125.05' East: 879,440.84'
Perimeter: 836.53' Area: 12,436.60Sq.Ft.
Error Closure: 0.01 Course: S81°32'21"W
Error North : -0.002 East: -0.014

Segment# 5: Line
Course: S63°36'41"W Length: 76.18'
North: 1,111,088.63' East: 879,238.02'

Precision 1: 83,654.00

Segment# 6: Curve
Length: 19.23' Radius: 75.50'
Delta: 14°35'23" Tangent: 9.66'
Chord: 19.17' Course: S56°18'59"W
Course In: S26°23'19"E Out: N40°58'43"W
RP North: 1,111,021.00' East: 879,271.57'
End North: 1,111,078.00' East: 879,222.06'

Segment# 7: Line
Course: S49°01'17"W Length: 76.41'
North: 1,111,027.89' East: 879,164.37'

Segment# 8: Line
Course: N21°37'39"W Length: 10.04'
North: 1,111,037.22' East: 879,160.67'

Segment# 9: Line
Course: N52°42'40"E Length: 29.69'
North: 1,111,055.21' East: 879,184.30'

Segment# 10: Curve
Length: 126.35' Radius: 155.00'
Delta: 46°42'23" Tangent: 66.92'
Chord: 122.88' Course: N29°21'19"E
Course In: N37°17'30"W Out: S83°59'52"E
RP North: 1,111,178.52' East: 879,090.38'
End North: 1,111,162.31' East: 879,244.54'

Segment# 11: Line
Course: S83°56'21"E Length: 119.48'
North: 1,111,149.70' East: 879,363.35'

Segment# 12: Line
Course: S72°21'23"E Length: 81.32'

Technical Review Committee

1. d.

Meeting Date: 07/18/2024

REQUESTED ACTION

Minor Site Plan Amendment - John Carroll High School - 3402 Delaware Avenue

SUMMARY

Project # 24-07000008

Applicant Darren Guettler, Velcon Engineering and Surveying LLC, is proposing a minor amendment to the John Carrol High School campus Site Plan. The proposed development proposes two (2) modular classrooms to be installed in line with one existing building. The location of the proposed modular classrooms is internal of the John Carrol High School campus with minimal visibility from the street. The parcel has a Future Land Use of RM, Medium Density Residential, and a zoning of R-4, Medium Density Residential.

Please review and provide comments at least two days prior to the meeting date. Send all comments to mlewicka@cityoffortpierce.com and planning@cityoffortpierce.com. Do not hesitate to contact me should you require any additional information, at 772-467-3738

LOCATION

3402 Delaware Avenue

Parcel ID # 2408-313-0002-000-3

RESPONSIBLE STAFF

Maria Lewicka, AICP, Historic Preservation Planner

RECOMMENDATION

N/A

Attachments

TRC Packet

Form Review

Form Started By: Maria Lewicka

Started On: 07/08/2024 09:13 AM

Final Approval Date: 07/08/2024



June 3, 2024

Kevin Freeman – Planning Director
City of Fort Pierce Planning Department
100 North US 1, Fort Pierce, FL 34950

Re: John Carroll High School
North of Delaware Ave, West of 33rd St.
S8, T35S, R 40E
Property ID # 2408-313-0002-000-3
Application for Minor Amendment to Site Plan

Dear Mr. Freeman,

This project proposes two (2) modular classrooms to be installed in line with one existing building. The location of the proposed modular classrooms is internal of the John Carrol High School campus with minimal visibility from the street. The following items are attached in support of subject application:

1. Application for Development Review
2. Warranty Deed
3. SLC Property Card
4. General Location Map
5. Boundary & Topographical Survey with Site Plan
6. Letter of Authorization
7. Missing Application Items Statement
8. Check in the amount of \$500.00 for application fees.

Should you have any questions, please do not hesitate to contact me at 772-879-0477.

Sincerely,

Darren C. Guettler, P.E.

Attachments

cc: File 23-1002 (w/ att)



DEVELOPMENT REVIEW

Property Information

Property address or Location 3402 Delaware Ave
 Parcel ID #(s) 2408-313-0002-000-3
 Project description Proposed two (2) modular classrooms

Application Type

- Site Plan
 Conditional Use w/New Construction
 Conceptual Development Plan
 Minor Amendment
 Major Amendment

Site Information

Non-Residential: Proposed Sq. Ft.: 2,016 Site Acreage: 0.95
Residential: Proposed Units: _____ Proposed Sq. Ft.: _____ Site Acreage: _____

Bishop of Diocese of Palm Beach

Property Owner(s)

995 N Military Trail

Street Address

Palm Beach Gardens FL 33410

City State Zip

561-775-9514

Phone Number

dgibbons@diocesepb.org

Email Address

Darren Guettler, Velcon Engineering and Surveying LLC

Applicant/Representative, Title, Company

1449 Commerce Centre Drive

Street Address

Port St Luice FL 34986

City State Zip

772-879-0477

Phone Number

darreng@velconfl.com

Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

 Property Owner(s) Signature(s)

APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS

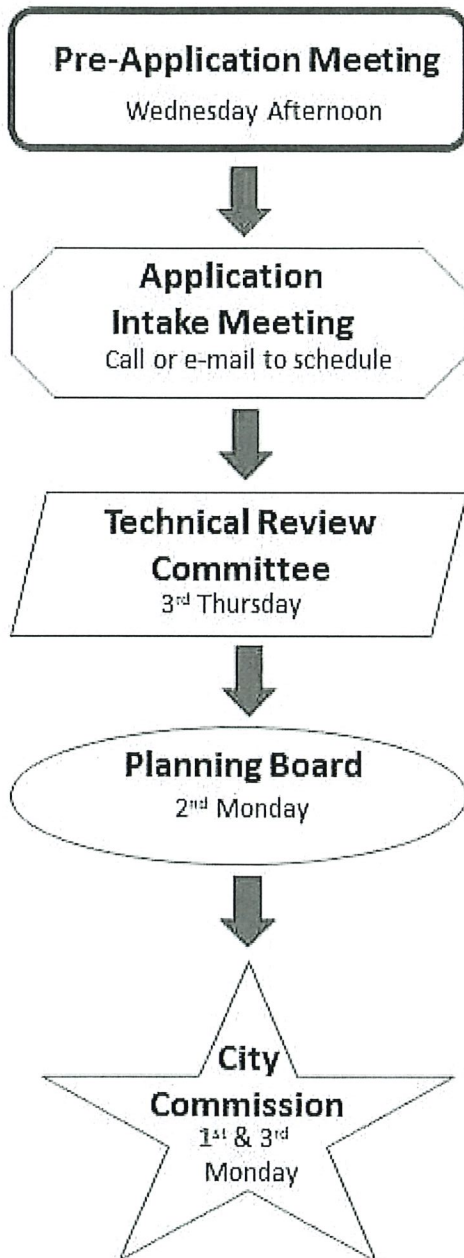
CALL 772.467.3737 OR E-MAIL PLANNING DL@CITYOFFORTPIERCE.COM

For more information, please refer to the website:

<https://www.cityoffortpierce.com/971/Application-Submittal-for-Technical-Rev>

General Information

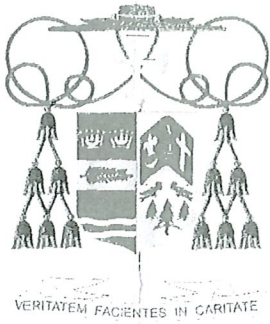
- **Incomplete application packets will not be accepted.**
- In-take meetings are required for application submittals.
- Site plan approval is valid for one (1) year following City Commission approval. To maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date.
- Fee Schedule - <https://www.cityoffortpierce.com/DocumentCenter/View/2620/Fee-Schedule->
- Public Notice Fees - <https://www.cityoffortpierce.com/DocumentCenter/View/8818/Public-Notice-Fees->



Site Plan submittal requirements:

Submit one (1) original & three (3) hard copies and one (1) CD or Flash Drive of the following. Additional copies will be required of subsequent submittals.

- Complete application
- Warranty Deed
- SLC Property Record Card
- Detailed project description
- General location map (see Section 125-313)
- Survey (see Section 125-313)
- Site Plan (see Section 125-313)
- Landscaping Plan (see Section 123-37)
- Conceptual Drainage Plan (see Section 125-313)
- Environmental Impact Report
- Beach/Dune System protection plan, if applicable (see Section 125-313)
- Lighting Plan (see Section 125-313)
- Design Review submittals (see Design Review application)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)



DIOCESE OF PALM BEACH

9995 North Military Trail • P.O. Box 109650
Palm Beach Gardens, Florida 33410-9650

(561) 775-9595 Fax (561) 775-7035

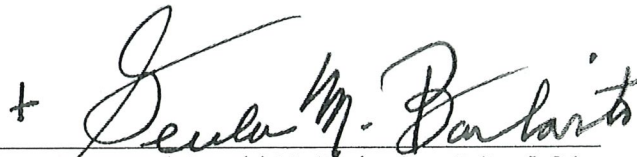
Office of
THE BISHOP

January 2, 2023

To Whom It May Concern:

This is to certify that effective January 1, 2023; I authorize Michael Lockwood, Director of Building & Construction of the Diocese of Palm Beach, to act as my agent in signing applications for building permits, notices of commencement and utility applications.

And so that it may be of record, I sign this document in Palm Beach, on this the Second day of January of the year of Our Lord 2023.

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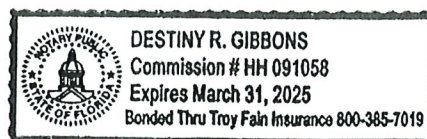
Most Reverend Gerald M. Barbarito, D.D., J.C.L.
Bishop of Palm Beach

STATE OF FLORIDA
PALM BEACH COUNTY

Sworn to and subscribed before me by The Most Reverend Gerald M. Barbarito, D.D., J.C.L. Bishop of Palm Beach, who is personally known to me on the 2nd day of January 2023.



NOTARY PUBLIC – STATE OF FLORIDA
Destiny R. Gibbons



This Instrument Prepared By

and Return to:

Harold G. Melville, Esquire
MELVILLE & SOWERBY, P.A.
2490 South 25th Street
Fort Pierce, Florida 34981
Courthouse Box #63

* DOC Assump: \$ 0.00
* DOC Tax : \$ 0.70
* Int Tax : \$ 0.00

PARCEL I.D. NO. 2408-324-0002-0007

[Space Above This Line For Recording Date]

SPECIAL WARRANTY DEED

This Special Warranty Deed made and executed this 23rd day of May, 2000, by and between NORBERT GUETTLER and PATRICIA GUETTLER, husband and wife, (hereinafter "Grantor"), and The Most Reverend Anthony J. O'Connell, BISHOP OF DIOCESE OF PALM BEACH, his successors in office and assigns, a corporation sole, whose post office address is 9995 North Military Trail, Palm Beach Gardens, of the County of Palm Beach, State of Florida, 33410-9650 (hereinafter "Grantee").

Witnesseth: That the Grantor, for and in consideration of the sum of \$10.00 and other good and valuable consideration to Grantor in hand paid by Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said Grantee and Grantee's heirs and assigns forever, the following described land, situate, lying and being in the County of St. Lucie, State of Florida, to wit:

The West 165 feet of the North 316 feet of the South 346 feet of the Southeast one-quarter of the Northwest one-quarter of the Southwest one-quarter of Section 8, Township 35 South, Range 40 East of the Public Records of St. Lucie County, Florida. LESS AND EXCEPT the West 30 feet thereof, as described in O.R. Book 685, Page 610, Public Records of St. Lucie County, Florida.

Subject To restrictions, reservations and easements of record, if any, which are not reimposed hereby, and real estate taxes subsequent to December 31, 1999.

TOGETHER with all tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND the grantor warrants the title to said land and will defend the same against the lawful claims of all persons claiming by or through grantor.

In Witness Whereof, the Grantor has hereunto set their hands and seals the day and year first above written.

Signed, Sealed and Delivered
in the presence of:

Rebecca Ward Rogers
Print Name: Rebecca Ward Rogers

Ms. Charlotte Rochell
Print Name: MS CHARLOTTE ROCHOLL

Norbert J. Guettler
NORBERT GUETTLER
7912 Fisher Field Road, Blairsville, GA 30512-5858

Patricia R. Guettler
PATRICIA GUETTLER
7912 Fisher Field Road, Blairsville, GA 30512-5858

STATE OF GEORGIA
COUNTY OF Town 3

The foregoing instrument was acknowledged before me, this 23 day of May, 2000, by NORBERT GUETTLER and PATRICIA GUETTLER, husband and wife, [] who are personally known to me, or [] who produced their driver's licenses as identification.



Leota Hamilton
Notary Public
Print Name: Leota Hamilton
STATE OF GEORGIA
My Commission Expires: 7-12-2001

Property Identification

Site Address: 3402 DELAWARE AVE
 Sec/Town/Range: 08/35S/40E
 Parcel ID: 2408-313-0002-000-3
 Jurisdiction: Fort Pierce

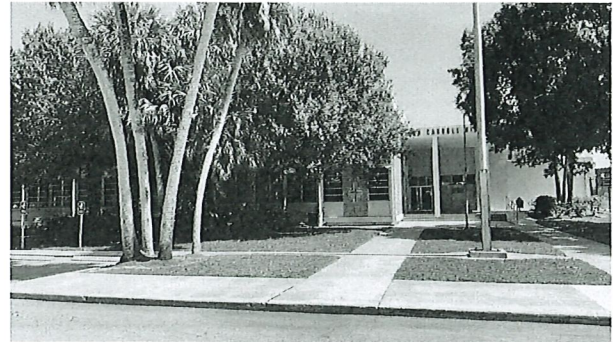
Use Type: 7200
 Account #: 20080
 Map ID: 24/08S
 Zoning: Medium Den

Ownership

Bishop Of Diocese Palm Beach
 PO Box 109650
 Palm Beach Gardens, FL 33410

Legal Description

8 35 40 N 150 FT OF S 180 FT OF W 274.6 FT OF E 1060.2 FT OF S 1/2 OF NE 1/4 OF SW 1/4 (74) (0.95 AC) (OR 460-2625: 703-2220)



Current Values

Just/Market Value: \$2,324,600
 Assessed Value: \$1,859,407
 Exemptions: \$1,859,407
 Taxable Value: \$0

Total Areas

Finished/Under Air (SF): 53,859
 Gross Sketched Area (SF): 59,056
 Land Size (acres): 0.95
 Land Size (SF): 41,382

Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Building Design Wind Speed

| Occupancy Category | I | II | III |
|--------------------|-----|-----|-----|
| Speed | 140 | 150 | 160 |

Sources/links:

Taxes for this parcel: SLC Tax Collector's Office

Download TRIM for this parcel: Download PDF

Sale History

| Date | Book/Page | Sale Code | Deed | Grantor | Price |
|-------------|-------------|-----------|------|---------|-------|
| Dec 1, 1984 | 0460 / 2625 | XX01 | CV | | \$0 |

Building Information (1 of 2)

Finished Area: 48,656 SF

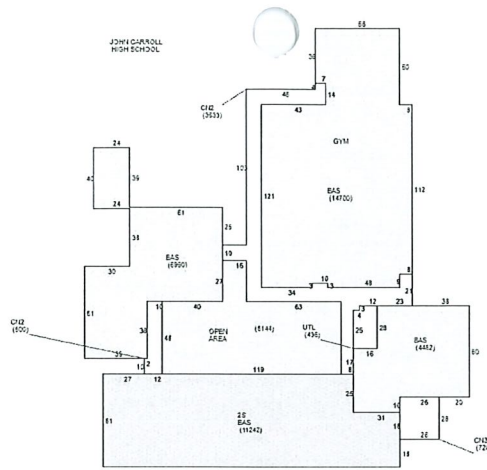
Gross Sketched Area: 53,853 SF

Exterior Data

| | | |
|-----------------------|-------------------------|------------------------------|
| View: | Roof Cover: Mod Bitimun | Roof Structure: BarJst/Rigid |
| Building Type: SCHL | Year Built: 1966 | Frame: |
| Grade: Y_D | Effective Year: 1979 | Primary Wall: Brk/Masonry |
| Story Height: 2 Story | No. Units: N/A1 | Secondary Wall: |

Interior Data

| | | |
|---------------|-----------------------|-----------------------------|
| Bedrooms: 0 | Electric: AVERAGE | Primary Int Wall: |
| Full Baths: 0 | Heat Type: FrcdHotAir | Avg Hgt/Floor: 0 |
| Half Baths: 0 | Heat Fuel: ELEC | Primary Floors: Vinyl Tiles |
| A/C %: 100% | Heated %: 100% | Sprinkled %: 100% |



Sketch Area Legend

| Sub Area | Description | Area | Fin. Area | Perimeter |
|----------|---|-------|-----------|-----------|
| 2S | ONE FULL STORY OVER BASE (TOTAL 2 FLOORS) | 11242 | 11242 | 516 |
| BAS | BASE AREA | 37414 | 37414 | 1880 |
| CN2 | CANOPY | 4033 | 0 | 866 |
| CN3 | CANOPY | 728 | 0 | 108 |
| UTL | UTILITY ROOM | 436 | 0 | 88 |

Building Information (2 of 2)

Finished Area: 5,203 SF

Gross Sketched Area: 5,203 SF

Exterior Data

View:
 Building Type: UT4
 Grade: Y_D
 Story Height: 1 Story

Roof Cover: Roll Comp
 Year Built: 1979
 Effective Year: 1979
 No. Units: 0

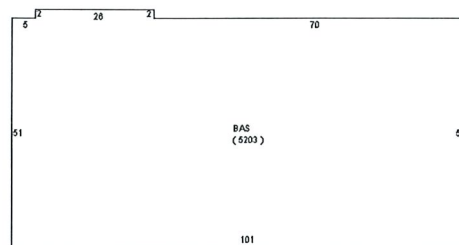
Roof Structure: BarJst/Rigid
 Frame:
 Primary Wall: Conc Block
 Secondary Wall:

Interior Data

Bedrooms: 0
 Full Baths: 0
 Half Baths: 0
 A/C %: 0%

Electric: AVERAGE
 Heat Type:
 Heat Fuel:
 Heated %: 0%

Primary Int Wall:
 Avg Hgt/Floor: 0
 Primary Floors: CONC GRD
 Sprinkled %: 100%



Sketch Area Legend

| Sub Area | Description | Area | Fin. Area | Perimeter |
|----------|-------------|------|-----------|-----------|
|----------|-------------|------|-----------|-----------|

Special Features and Yard Items


| Type | Qty | Units | Year Blt |
|----------|-----|-------|----------|
| ASP2 LOW | 1 | 9200 | 1979 |

Current Year Values

| Current Values Breakdown | | Current Year Exemption Value Breakdown | | | | |
|----------------------------|-------------|--|------------|------|-------------|-------------|
| | | Tax Year | Grant Year | Code | Description | Amount |
| Building: | \$2,275,900 | | | | | |
| Land: | \$48,700 | 2023 | | 3600 | Church | \$1,859,407 |
| Just/Market: | \$2,324,600 | | | | | |
| Ag Credit: | \$0 | | | | | |
| Save Our Homes or 10% Cap: | \$465,193 | | | | | |
| Assessed: | \$1,859,407 | | | | | |
| Exemption(s): | \$1,859,407 | | | | | |
| Taxable: | \$0 | | | | | |

Current Year Special Assessment Breakdown

| Start Year | AssessCode | Units | Description | Amount |
|------------|------------|-------|---|---------|
| 2013 | 0054 | 0.95 | North St. Lucie Water Management District | \$25.00 |

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office .

Historical Values

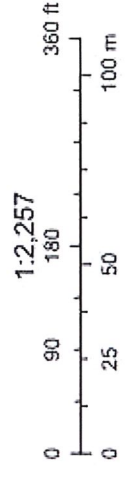
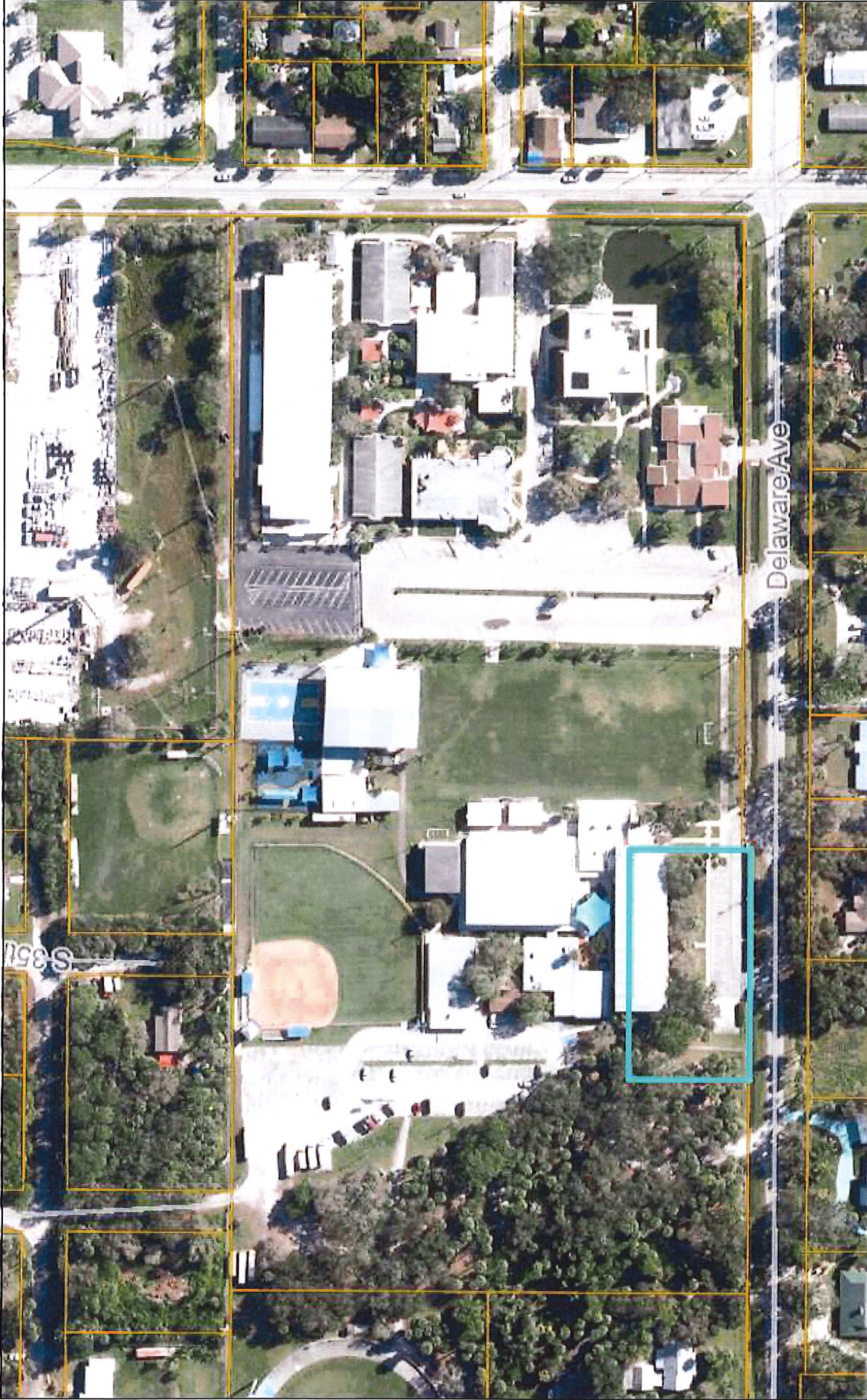
| Year | Just/Market | Assessed | Exemptions | Taxable |
|------|-------------|-------------|-------------|---------|
| 2023 | \$2,324,600 | \$1,859,407 | \$1,859,407 | \$0 |
| 2022 | \$2,524,100 | \$1,690,370 | \$1,690,370 | \$0 |
| 2021 | \$2,413,500 | \$1,536,700 | \$1,536,700 | \$0 |
| 2020 | \$2,489,800 | \$1,397,000 | \$1,397,000 | \$0 |

Permits

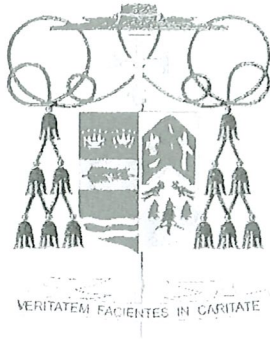
| Number | Issue Date | Description | Amount | Fee |
|------------|--------------|------------------------------------|-----------|----------|
| BP2006-497 | Jul 13, 2006 | Roof | \$76,900 | \$769 |
| F92-000900 | Aug 11, 1992 | Alterations/Remodeling | \$32,000 | \$32,000 |
| CA20067 | Jul 13, 2006 | Additions to existing construction | \$3,000 | \$100 |
| CR200690 | Jul 11, 2006 | Alterations/Remodeling | \$2,100 | \$100 |
| BP09-1234 | Jul 27, 2009 | Alterations/Remodeling | \$400 | \$50 |
| BP14-2969 | Dec 22, 2014 | Wall | \$4,000 | \$80 |
| BP16-2617 | Sep 28, 2016 | Electric | \$500 | \$0 |
| BP22-2657 | Aug 25, 2022 | Repairs | \$588,600 | \$0 |

Notice: This does not necessarily represent all the permits for this property. Click the following link to check for additional permit data in Fort Pierce

John Carroll



6/3/2024
Comparable Search



DIOCESE OF PALM BEACH

9995 North Military Trail • P.O. Box 109650
Palm Beach Gardens, Florida 33410-9650

(561) 775-9595 Fax (561) 775-7035

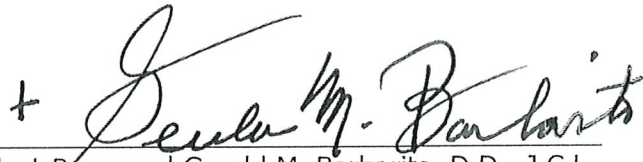
Office of
THE BISHOP

January 2, 2023

To Whom It May Concern:

This is to certify that effective January 1, 2023; I authorize Michael Lockwood, Director of Building & Construction of the Diocese of Palm Beach, to act as my agent in signing applications for building permits, notices of commencement and utility applications.

And so that it may be of record, I sign this document in Palm Beach, on this the Second day of January of the year of Our Lord 2023.

+ 

Most Reverend Gerald M. Barbarito, D.D., J.C.L.
Bishop of Palm Beach

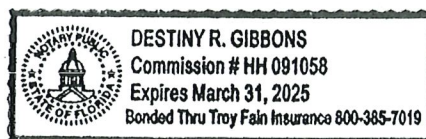
STATE OF FLORIDA
PALM BEACH COUNTY

Sworn to and subscribed before me by The Most Reverend Gerald M. Barbarito, D.D., J.C.L. Bishop of Palm Beach, who is personally known to me on the 2nd day of January 2023.



NOTARY PUBLIC – STATE OF FLORIDA

Destiny R. Gibbons





June 3, 2024

Kevin Freeman – Planning Director
City of Fort Pierce Planning Department
100 North US 1, Fort Pierce, FL 34950

Re: John Carroll High School
North of Delaware Ave, West of 33rd St.
S8, T35S, R 40E
Property ID # 2408-313-0002-000-3
Missing Application Items Statement

Dear Mr. Freeman,

I have reviewed the items on the second page of the application and selected those relevant to this minor amendment submission. The unchecked items were omitted because no additional students are being added, and the proposed additions are so minor that they have no significant impact on the existing landscaping, drainage, environmental impact report, lighting, design, or traffic impact report.

I've attached a revised application in accordance with this statement.

Should you have any questions, please do not hesitate to contact me at 772-879-0477.

Sincerely,

A handwritten signature in black ink, appearing to read 'D. Guettler', with a horizontal line extending to the right from the end of the signature.

Darren C. Guettler, P.E.

Attachments

cc: File 23-1002 (w/ att)

