

PRELIMINARY CONSTRUCTION PLANS FOR **SUNRISE** **MASTER PLANNED DEVELOPMENT (PD)**

MIDWAY ROAD
FORT PIERCE, FL 34945

CITY OF FORT PIERCE, FLORIDA
JUNE 2024

LEGAL DESCRIPTION:

DESCRIPTION BELOW FROM SLCPA
SEE SURVEY FOR METES AND BOUNDS LEGAL DESCRIPTION

PARCEL 1:
34.05 35 39 AND 2/3 36 39 FROM NW COR OF SEC 3-36-39 RUN N 89 46 35 W
ALG N LI OF SEC 2622.04 FT TO E R/W LI OF NSLRWCD CANAL NO. 93 AND
POB, TH N 00 20 10 E ALG E R/W LI 1318.99 FT TO S LI OF W 1/2 OF NW 1/4 OF
SE 1/4 OF SEC 34-35-39, TH S 89 46 53 E ALG S LI 624.96 FT, TH N 00 16 46 E
1319.04 FT TO 1/4 SEC LI OF SEC 34, TH S 89 47 10 E ALG 1/4 SEC LI 1987.99 FT
TO E LI OF SEC, TH S 00 06 37 W ALG E LI 49 FT TO S R/W LI OF NSLRWCD
CANAL NO. 101, TH S 89 59 09 E ALG S R/W LI 2664.42 FT TO 1/4 SEC LI OF SEC
35, TH N 00 12 25 E ALG 1/4 SEC LI 2 00 FT, TH S 89 52 23 E 1750.18 FT TO W R/W
LI OF 1-95, TH S 42 14 14 W ALG W R/W LI 727.09 FT TO CURVE CONC. S.E.R. OF
5903.58 FT, TH SWLY ALG ARC 1998.21 FT, TH S 22 50 38 W 363.01 FT TO N R/W
LI OF NSLRWCD CANAL NO. 102, TH N 89 48 50 W 60.02 FT, TH N 89 53 51 W
1760.14 FT TO W LI OF SW 1/4 OF SEC 35, TH S 00 04 39 W ALG W LI 42.50 FT
TO NW COR OF NW 1/4 OF SEC 2-36-39, TH S 00 06 35 W ALG W LI 42.50 FT TO
S R/W LI OF NSLRWCD CANAL NO. 102, TH S 89 53 51 ALG S R/W LI 2630.08 FT
TO W R/W LI OF 30 FT RD R/W, TH S 00 03 15 W ALG R/W LI 129.69 FT, TH S 22
50 38 W 470.73 FT, TH S 26 50 37 W 519.99 FT, TH S 32 49 14 W 230.02 FT, TH N 56
07 55 W 323.59 FT, TH N 27 59 51 E 671.72 FT TO CURVE CONC. SW R OF 150
FT, TH NWLY ALG ARC 308.52 FT, TH N 89 50 50 W 1811.20 FT, TH S 00 00 00 E
142.46 FT TO CURVE CONC. NW R OF 335 FT, TH SWLY ALG ARC 365.79 FT, TH S
62 33 43 W 139.15 FT, TH S 01 56 01 W 142.19 FT, TH S 53 57 44 W 58.71 FT, TH S
85 17 03 W 146.97 FT, TH S 02 37 14 W 332.85 FT, TH S 31 56 28 W 78.35 FT, TH S
61 15 41 W 335.12 FT TO E R/W LI OF 60 FT FP&L ESMT, TH N 32 18 17 W ALG E
R/W LI 1746.02 FT TO N R/W LI OF 200 FT FP&L ESMT, TH N 89 46 35 W ALG N
R/W LI 1026.62 FT TO E R/W LI OF NSLRWCD CANAL NO. 93, TH N 00 02 49 E
ALG E R/W LI 52.50 FT TO N SEC LI OF SEC 3 AND POB. (402.69 AC)

PARCEL 2:
34 35 39 SE 1/4 OF SW 1/4-LESS E 39 FT FOR CANAL R/W- AND E 1/2 OF NW 1/4
OF 3 36 39- LESS RD R/W AS IN OR 44-447 AND LESS E 39 FT FOR CANAL R/W-
(116.61 AC - 5,079,532 SF)

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OWNER

WALTON ACQUISITIONS
880 N GAINNEY CENTER DR, STE 345
SCOTTSDALE, AZ 85258

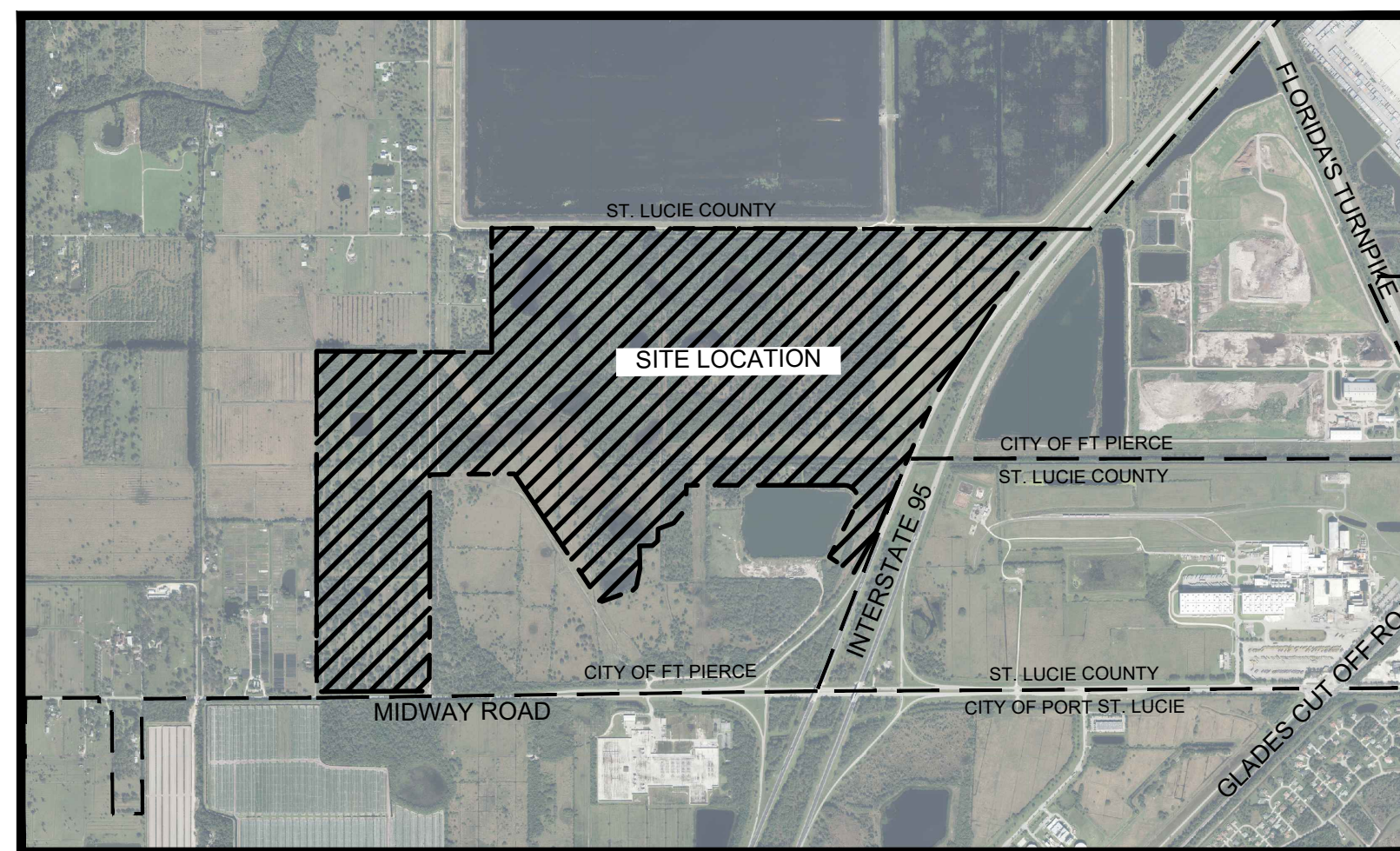
APPLICANT

LEGACY GROUP
200 E ROBINSON STREET, STE 1120
ORLANDO, FL 32801

ENGINEER/AGENT

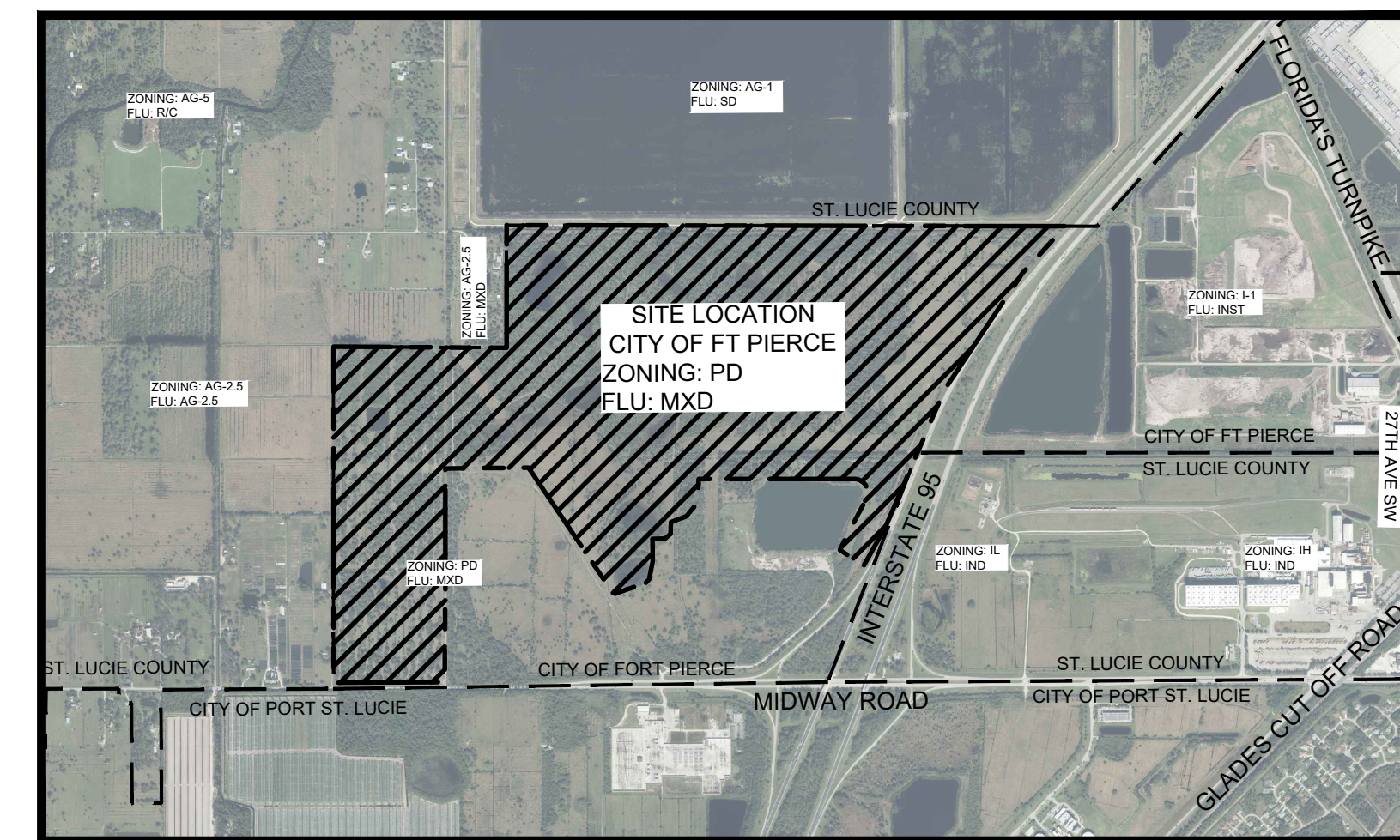
Mills, Short & Associates

700 22ND PLACE, STE. 2C/2D
VERO BEACH, FLORIDA 32960
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LOCATION MAP

SCALE: N.T.S

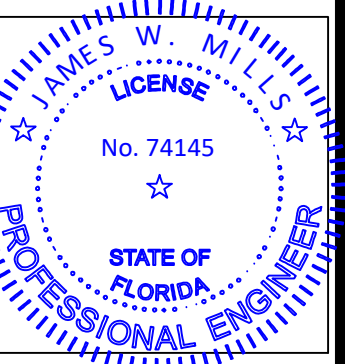


VICINITY MAP

SCALE: N.T.S

Mills, Short & Associates

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Vero Beach, Florida 32960



ISSUE	DATE	COMMENTS

SUNRISE RESIDENTIAL CITY OF FORT PIERCE ST. LUCIE COUNTY, FL	APPROVED BY JWM	SCALE: SEE SHEET
	CHECKED BY JWM	DRAWN BY KKR

PROJ. NO.	22-2180
DATE	2024-05-24
SHEET NO.	G-1

GENERAL NOTES:

- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH ALL RELATIVE CITY OF FORT PIERCE ENGINEERING STANDARDS FOR LAND DEVELOPMENT AND FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION), AND FDEP REGULATIONS, EXCEPT AS MODIFIED HEREIN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, NOC'S AND INSURANCE REQUIRED FOR THE WORK.
- CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION INSPECTION OF THE SITE PRIOR TO THE BEGINNING OF THE WORK. CONTRACTOR SHALL INFORM THE OWNER, COMPANY REPRESENTATIVE, CEC, UTILITY AUTHORITY AND INTERESTED AGENCIES AT LEAST 48 HOURS PRIOR TO THE SCHEDULED INSPECTION.
- THE LOCATION OF UTILITIES SHOWN ON THE DRAWINGS ARE FROM THE SURVEY PROVIDED BY GSS SURVEYING AND MAPPING, LLC ON AUGUST 18, 2023. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM, IN THE FIELD, THE LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. SHOULD CONDITIONS VARY FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO CONTINUING CONSTRUCTION.
- CONTRACTOR SHALL LOCATE, VERIFY AND IDENTIFY ALL EXISTING UNDERGROUND UTILITIES SHOWN, OR NOT SHOWN, ON THE PLANS PRIOR TO ANY EXCAVATING ACTIVITIES.
- CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT EXISTING AND NEWLY CONSTRUCTED UTILITIES DURING THE CONSTRUCTION. SHOULD ANY UTILITY LINE OR COMPONENT BECOME DAMAGED OR REQUIRE RELOCATION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE RESPONSIBLE UTILITY COMPANY AND THE ENGINEER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES CAUSED BY HIS OPERATIONS.
- CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH OTHER WORK WHICH MAY BE ONGOING ADJACENT TO, OR AFFECTING, THIS CONSTRUCTION. CONTRACTOR SHALL COOPERATE WITH OTHER CONTRACTORS AND ALL AFFECTED UTILITY COMPANIES.
- CONTRACTOR SHALL NOTIFY ALL APPLICABLE UTILITY COMPANIES AND THE ENGINEER 48 HOURS PRIOR TO THE INITIATING OF ANY EXCAVATION ACTIVITIES, OR AS SPECIFIED BY THE UTILITY COMPANY AND ANY PERMITS REQUIRED FOR THE WORK.
- CONTRACTOR SHALL PROTECT EXISTING SURVEY MARKERS, MONUMENTS, ETC. DURING CONSTRUCTION. CONTRACTOR SHALL RESTORE/REPLACE ANY SURVEY MARKERS DAMAGED DURING CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL/DISPOSAL OF ANY UNSUITABLE MATERIAL FROM THE CONSTRUCTION OPERATION, FURNISHING AND COMPACTING SUITABLE REPLACEMENT BACKFILL MATERIAL. DISPOSAL OF UNSUITABLE MATERIAL SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS.
- CONSTRUCTION WARNING SIGNS SHALL BE MOUNTED AND ERRECTED BEFORE CONSTRUCTION CAN COMMENCE. THESE, AND ALL TRAFFIC CONTROL DEVICES, SHALL FOLLOW THE STANDARDS SET FORTH BY THE MANUAL OF UNIFORM TRAFFIC DEVICES (MUTCD) AND FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD INDEX.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARLY IDENTIFYING THE AREA OF CONSTRUCTION AND SAFELY ROUTING ALL VEHICULAR AND PEDESTRIAN TRAFFIC AROUND THE CONSTRUCTION AREA. THE CONSTRUCTION AREA SHALL BE CLEARLY MARKED AT ALL TIMES.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN ADEQUATE EROSION AND TURBIDITY CONTROLS IN ACCORDANCE WITH FDEP DURING AND FOLLOWING CONSTRUCTION, UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED TO AVOID ADVERSE ENVIRONMENTAL IMPACTS TO OFF-SITE PROPERTY AND DRAINAGE SYSTEMS.
- CONTRACTOR SHALL HYDRO SEED AND MULCH (OR SOD AS APPLICABLE) ALL AREAS DISTURBED BY THE CONSTRUCTION OF THIS PROJECT ACCORDING TO LOCAL REGULATIONS.
- CONTRACTOR SHALL MAINTAIN "AS-BUILT" INFORMATION ON A REGULAR BASIS. CONTRACTOR SHALL EMPLOY THE SERVICES OF A SURVEYOR REGISTERED IN THE STATE OF FLORIDA TO DETERMINE ALL "AS-BUILT" INFORMATION. WITHIN 14 DAYS OF THE COMPLETION OF THE WORK, CONTRACTOR SHALL PROVIDE SIGNED AND SEALED COPIES AND THE DIGITAL CAD FILE OF THE "AS-BUILT" DRAWINGS AND SUPPORTING SURVEY RECORDS TO THE ENGINEER. "AS-BUILT" DRAWINGS ARE TO BE IN ACCORDANCE WITH THE CITY OF FORT PIERCE REQUIREMENTS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PRODUCE, AS-BUILT DRAWINGS FOR ANY JURISDICTIONAL AGENCIES AS MAY BE REQUIRED FOR PROJECT CERTIFICATION.
- CONTRACTOR SHALL GIVE THE ENGINEER A MINIMUM OF 48 HOURS NOTICE OF ALL MEETINGS OR TESTING MEASURES REQUIRED TO BE WITNESSED BY THE CONSTRUCTION ACTIVITIES RELATED TO THE WORK.
- THE CONTRACTOR SHALL SUBMIT FIVE (5) SETS OF STANDARD SHOP DRAWINGS AND MANUFACTURER'S CATALOGS WITH THE MODEL NUMBER OR TYPE OF THE ITEM ENCIRCLED OR OTHERWISE DESIGNATED. THE SUBMITTALS SHALL BEAR THE APPROVAL OF THE UNDERGROUND UTILITY CONTRACTOR. ALL UTILITY SHOP DRAWINGS WILL NEED TO BE APPROVED BY THE ENGINEER OF RECORD AND CITY OF FORT PIERCE PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL SUBMIT FIVE (5) SETS OF COMPLETE DETAILED SHOP DRAWINGS FOR ALL SANITARY MANHOLES, WET WELLS, OTHER CASTINGS, AND PUMPS. THE SUBMITTALS SHALL BEAR THE APPROVAL OF THE UNDERGROUND UTILITY CONTRACTOR ON EACH SHEET. A COMPLETE SET OF THE LIFT STATION ELECTRICAL SHOP DRAWINGS IS ALSO REQUIRED IF APPLICABLE. ALL UTILITY SHOP DRAWINGS WILL NEED TO BE APPROVED BY THE ENGINEER OF RECORD AND CITY OF FORT PIERCE PRIOR TO CONSTRUCTION.

GENERAL UTILITY NOTES:

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF FORT PIERCE UTILITY SYSTEMS DEPARTMENT UTILITY STANDARDS MANUAL AND THE CITY OF FORT PIERCE LAND DEVELOPMENT CODE, DETAILS AND SPECIFICATIONS, AS WELL AS ALL APPLICABLE STATE AND LOCAL REGULATIONS, EXCEPT AS MODIFIED HEREIN.
- IF SOLVENT CONTAMINATION IS FOUND IN ANY TRENCH, WORK WILL BE STOPPED AND THE CEC, OWNER, AND THE PROPER AUTHORITIES NOTIFIED. THE ST. LUCIE COUNTY HEALTH DEPARTMENT MAY GRANT APPROVAL OF THE USE OF DUCTILE IRON PIPE, FITTINGS AND APPROVED SOLVENT RESISTANT GASKET MATERIAL IN THE CONTAMINATED AREA. THIS APPROVAL MUST BE GRANTED IN WRITING AND PROVIDED TO CEC, AND PROPERTY OWNER. DUCTILE IRON PIPE SHALL EXTEND AT LEAST 100 FEET BEYOND ANY CONTAMINATED AREA.
- VERTICAL LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLAN AND PROFILE SHEETS HAVE BEEN ASSUMED. CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION NEAR EXISTING UTILITIES SHOWN ON THE PLANS AND NOTIFY THE ENGINEER IF THE LOCATION DIFFERS FROM THAT SHOWN BEFORE CONTINUING WITH THE CONSTRUCTION.
- UNSUITABLE MATERIALS UNDER PROPOSED PIPING SHALL BE REMOVED AND REPLACED WITH SELECT BACKFILL, PROPERLY COMPACTED TO 95% OF MAXIMUM DENSITY PER AASHTO T-180.
- FITTINGS SHALL BE USED AT LOCATIONS INDICATED ON THE PLANS, UNLESS OTHERWISE APPROVED BY THE ENGINEER. THRUST BLOCKING SHALL BE USED WHERE REQUIRED BY THE CITY OF FORT PIERCE.
- THE LENGTH OF TRENCH OPEN AT ANY ONE TIME SHALL BE CONTROLLED BY THE PARTICULAR SURROUNDING CONDITIONS, BUT SHALL BE LIMITED TO 300 LINEAR FEET UNLESS APPROVED BY THE ENGINEER IN WRITING.
- NO CONNECTIONS TO EXISTING POTABLE WATER SYSTEMS SHALL BE ALLOWED UNTIL ALL PROPOSED WATER LINES HAVE BEEN PRESSURE TESTED, DISINFECTED, CLEARED FOR SERVICE AND ACCEPTED BY THE CITY OF FORT PIERCE AND FDEP.
- THE BACTERIOLOGICAL SAMPLE POINTS SHALL BE INDICATED IN RED ON THE "AS BUILT" DRAWINGS PRIOR TO THE REQUEST FOR A LETTER OF RELEASE TO PLACE THE CONSTRUCTION INTO SERVICE. THE SAMPLE NUMBERS WILL CORRESPOND TO THOSE ON THE BACTERIOLOGICAL SAMPLE LAB SHEETS.

WATER / SEWER SEPARATION:

- SANITARY SEWERS (INCLUDING LATERALS), FORCE MAINS, AND STORM SEWERS SHALL CROSS UNDER WATER MAINS WHENEVER POSSIBLE. SANITARY SEWERS, FORCE MAINS AND STORM SEWERS CROSSING WATER MAINS SHALL BE INSTALLED TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE.
- A FULL, UNQUIT LENGTH OF WATER MAIN PIPE, AT LEAST 20 FEET IN LENGTH, SHALL BE CENTERED AT THE POINT OF CROSSING OF ALL WATER AND SEWER PIPING, REGARDLESS OF THE VERTICAL SEPARATION.
- WATER MAINS SHALL BE LOCATED AT LEAST 10 FEET HORIZONTALLY FROM PIPES CARRYING RAW WASTEWATER, AND 10 FEET HORIZONTALLY FROM PIPES CARRYING RECLAIMED WATER. THE DISTANCE SHALL BE MEASURED FROM OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE. WATER MAINS SHALL BE LAID TO PROVIDE A SEPARATION OF AT LEAST 18 INCHES BETWEEN THE BOTTOM OF WATER MAIN AND THE TOP OF SEWER OR RECLAIMED WATER PIPE. WATER MAINS SHALL CROSS ABOVE SEWER OR RECLAIMED WATER PIPE WITH A VERTICAL SEPARATION OF AT LEAST 18 INCHES.

WASTEWATER COLLECTION SYSTEMS

- MATERIALS AND INSTALLATION FOR WASTEWATER COLLECTION SYSTEM INCLUDING, BUT NOT LIMITED TO, GRAVITY SEWERS, MANHOLES, SERVICE LATERALS, FORCE MAINS, LIFT STATIONS, AND TESTING REQUIREMENTS SHALL CONFORM TO THE FORT PIERCE UTILITY AUTHORITY UTILITY STANDARDS AND THE CITY OF FORT PIERCE LAND DEVELOPMENT CODE AND ALL APPLICABLE FDEP REGULATIONS. ALL PVC GRAVITY SEWER SHALL BE SDR-26.
- WYE GRAVITIES FOR LATERAL SERVICE SHALL BE SIX (6) INCHES I.D.
- PLUGS SHALL BE OF THE SAME MATERIAL AS THE PIPE, GASKETED, AND SHALL WITHSTAND THE REQUIRED TEST PRESSURE.
- LEAKAGE TEST SHALL BE IN ACCORDANCE WITH CITY OF FORT PIERCE AND AWWA C-600, SECTION 5.2.

GENERAL SEPARATION NOTE:

- ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE)

NOTE:

- THE PROPERTY OWNER, CONTRACTOR AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA FROM THE EDGE OF PAVEMENT TO THE PROPERTY LINE WITHIN THE CITY'S RIGHT-OF-WAY.

WATER DISTRIBUTION SYSTEMS

- MATERIALS AND INSTALLATION FOR WATER DISTRIBUTION SYSTEM INCLUDING, BUT NOT LIMITED TO, PIPE FITTINGS, VALVES, JOINT RESTRAINTS, FIRE HYDRANTS, SERVICE LINES, TESTING, AND DISINFECTION SHALL CONFORM TO THE FORT PIERCE UTILITY AUTHORITY UTILITY STANDARDS AND THE CITY OF FORT PIERCE LAND DEVELOPMENT CODE AND ALL APPLICABLE FDEP REGULATIONS. ALL PVC PIPE SHALL BE SDR-18 UNLESS SPECIFIED OTHERWISE.

WATER AND SEWER UTILITY NOTES

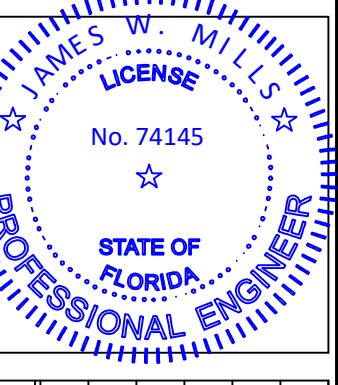
- THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES GRAVITY SEWER LINES AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- ALL EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS FOR UTILITY LOCATION AND COORDINATION IN ACCORDANCE WITH THE NOTES CONTAINED IN THE GENERAL CONSTRUCTION SECTION OF THIS SHEET.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
- DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATERTIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.
- ALL PHASES OF INSTALLATION, INCLUDING UNLOADING, TRENCHING, LAYING AND BACK FILLING, SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER. ALL PIPE AND FITTINGS SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE COATING OR LINING IN ANY DI. PIPE FITTINGS. ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH HAS FLAWS OR IMPERFECTIONS WHICH, IN THE OPINION OF THE ENGINEER OR OWNER, RENDERS IT UNFIT FOR USE, SHALL NOT BE USED. ANY PIPE NOT SATISFACTORY FOR USE SHALL BE CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE, AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- WATER FOR FIRE FIGHTING SHALL BE AVAILABLE FOR USE PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE.
- ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY'S SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- UNDERGROUND LINES SHALL BE SURVEYED BY A STATE OF FLORIDA PROFESSIONAL LAND SURVEYOR PRIOR TO BACK FILLING.
- CONTRACTOR SHALL PERFORM, AT HIS OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION. THESE TESTS MAY INCLUDE, BUT MAY NOT BE LIMITED TO, INFILTRATION AND EXFILTRATION, TELEVISION INSPECTION AND A MANDREL TEST ON GRAVITY SEWER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE UTILITY PROVIDER, OWNER AND JURISDICTIONAL AGENCY AS REQUIRED.

GENERAL STRIPING AND SIGNAGE NOTES:

- ALL STRIPING AND SIGNAGE SHALL BE IN ACCORDANCE WITH FDOT AND LATEST EDITION OF MUTCD.

PAVING, GRADING AND DRAINAGE NOTES

- THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE FLORIDA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (LATEST EDITION) AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK, AND, UNLESS OTHERWISE NOTED, ALL WORK SHALL CONFORM AS APPLICABLE TO THESE STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THIS FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
- ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN CITY'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH CITY ENGINEERING STANDARDS FOR LAND DEVELOPMENT LOCAL REGULATIONS.
- ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SODDED.
- TRAFFIC CONTROL ON ALL FDOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
- ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE SODDED UNLESS INDICATED OTHERWISE ON THE LANDSCAPE PLAN.
- ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
- WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
- WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
- THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
- STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. IN SOME CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAPED AREAS BUT ONLY AS DIRECTED BY THE OWNER.
- FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO FDOT STANDARDS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE SODDED OR SEEDED AS SPECIFIED IN THE PLANS, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE SODDED OR SEEDED AND MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
- ALL CUT OR FILL SLOPES SHALL BE 4 (HORIZONTAL) : 1 (VERTICAL) OR FLATTER UNLESS OTHERWISE SHOWN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- THE CONTRACTOR SHALL TAKE ALL REQUIRED MEASURES TO CONTROL TURBIDITY, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF TURBIDITY BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE BARRIERS. AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE WHICH VIOLATES THE WATER QUALITY STANDARDS IN CHAPTER 17-302, FLORIDA ADMINISTRATIVE CODE.
- SOD, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
- THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE ENVIRONMENTAL RESOURCE PERMIT COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY WATER MANAGEMENT DISTRICT REPRESENTATIVES.
- THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
- THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS.



ISSUE	DATE	COMMENTS

SUNRISE RESIDENTIAL
CITY OF FORT PIERCE
ST. LUCIE COUNTY, FL

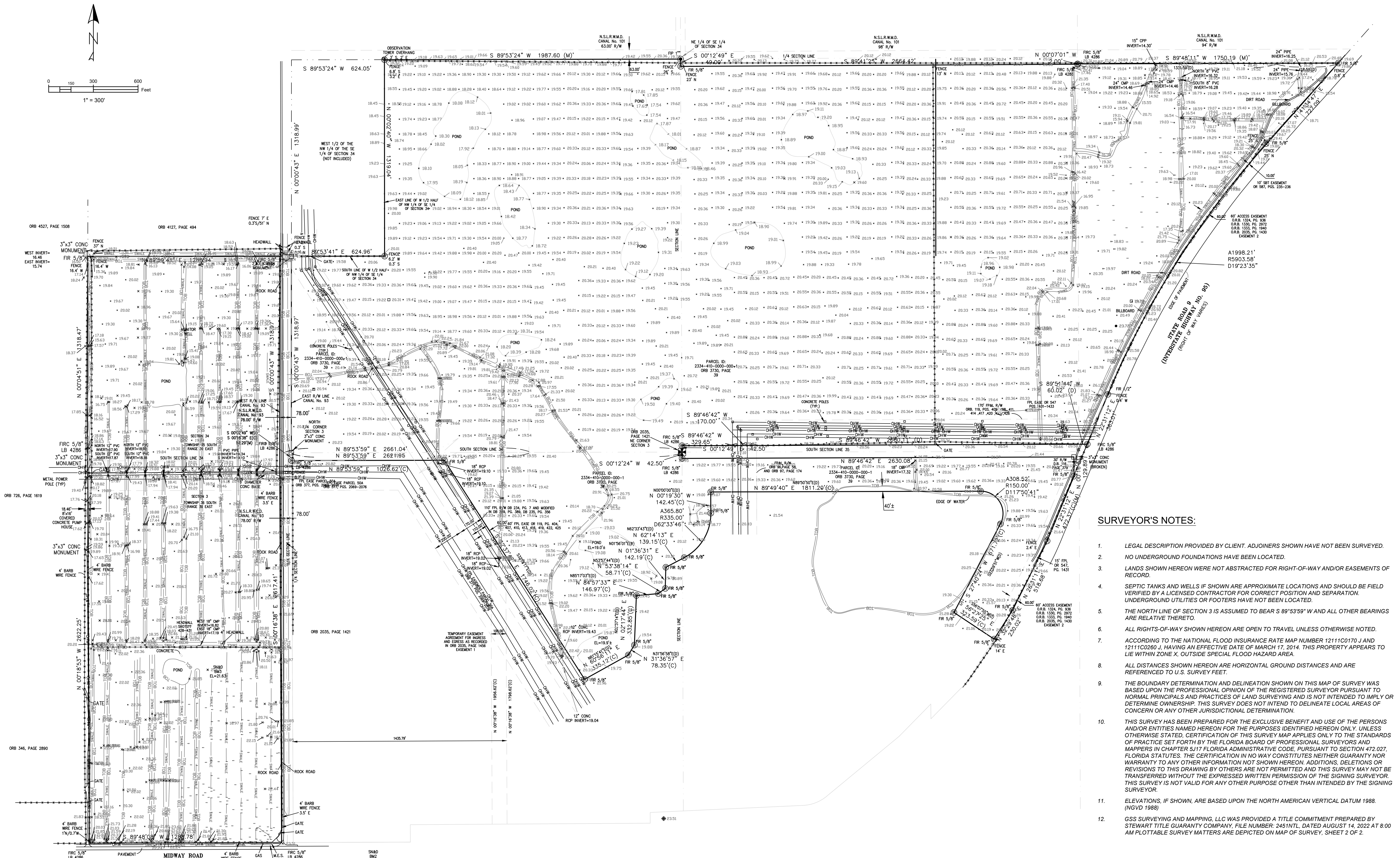
THIS SHEET
GENERAL NOTES
DRAWN BY
KKR

CHECKED BY
JWM

APPROVED BY
JWM

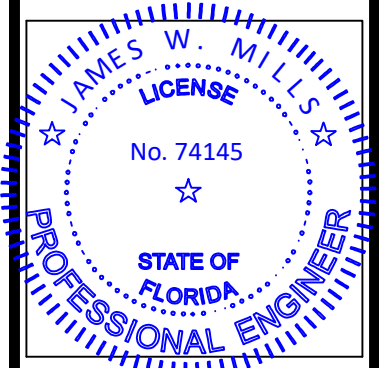
SCALE:
SEE SHEET

PROJ. NO.	22-2180
DATE	2024-05-24
SHEET NO.	



- SURVEYOR'S NOTES:**
- LEGAL DESCRIPTION PROVIDED BY CLIENT. ADJOINERS SHOWN HAVE NOT BEEN SURVEYED.
 - NO UNDERGROUND FOUNDATIONS HAVE BEEN LOCATED.
 - LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHT-OF-WAY AND/OR EASEMENTS OF RECORD.
 - SEPTIC TANKS AND WELLS IF SHOWN ARE APPROXIMATE LOCATIONS AND SHOULD BE FIELD VERIFIED BY A LICENSED CONTRACTOR FOR CORRECT POSITION AND SEPARATION. UNDERGROUND UTILITIES OR FOOTERS HAVE NOT BEEN LOCATED.
 - THE NORTH LINE OF SECTION 3 IS ASSUMED TO BEAR S 89°53'59\"/>
 - ALL RIGHTS-OF-WAY SHOWN HEREON ARE OPEN TO TRAVEL UNLESS OTHERWISE NOTED.
 - ACCORDING TO THE NATIONAL FLOOD INSURANCE RATE MAP NUMBER 12111C0170 J AND 12111C0260 J, HAVING AN EFFECTIVE DATE OF MARCH 17, 2014, THIS PROPERTY APPEARS TO LIE WITHIN ZONE X, OUTSIDE SPECIAL FLOOD HAZARD AREA.
 - ALL DISTANCES SHOWN HEREON ARE HORIZONTAL GROUND DISTANCES AND ARE REFERENCED TO U.S. SURVEY FEET.
 - THE BOUNDARY DETERMINATION AND DELINEATION SHOWN ON THIS MAP OF SURVEY WAS BASED UPON THE PROFESSIONAL OPINION OF THE REGISTERED SURVEYOR PURSUANT TO NORMAL PRINCIPLES AND PRACTICES OF LAND SURVEYING AND IS NOT INTENDED TO IMPLY OR DETERMINE OWNERSHIP. THIS SURVEY DOES NOT INTEND TO DELINEATE LOCAL AREAS OF CONCERN OR ANY OTHER JURISDICTIONAL DETERMINATION.
 - THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE BENEFIT AND USE OF THE PERSONS AND/OR ENTITIES NAMED HEREON FOR THE PURPOSES IDENTIFIED HEREON ONLY. UNLESS OTHERWISE STATED, CERTIFICATION OF THIS SURVEY MAP APPLIES ONLY TO THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J17 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES. THE CERTIFICATION IN NO WAY CONSTITUTES NEITHER GUARANTY NOR WARRANTY TO ANY OTHER INFORMATION NOT SHOWN HEREON. ADDITIONS, DELETIONS OR REVISIONS TO THIS DRAWING BY OTHERS ARE NOT PERMITTED AND THIS SURVEY MAY NOT BE TRANSFERRED WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE SIGNING SURVEYOR. THIS SURVEY IS NOT VALID FOR ANY OTHER PURPOSE OTHER THAN INTENDED BY THE SIGNING SURVEYOR.
 - ELEVATIONS, IF SHOWN, ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM 1988. (NGVD 1988)
 - GSS SURVEYING AND MAPPING, LLC WAS PROVIDED A TITLE COMMITMENT PREPARED BY STEWART TITLE GUARANTY COMPANY, FILE NUMBER: 2451NLT, DATED AUGUST 14, 2022 AT 8:00 AM. PLATTABLE SURVEY MATTERS ARE DEPICTED ON MAP OF SURVEY, SHEET 2 OF 2.

Mills, Short & Associates
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 700 2nd Place, Suite 202D
 Vero Beach, Florida 32960



ISSUE	DATE	COMMENTS

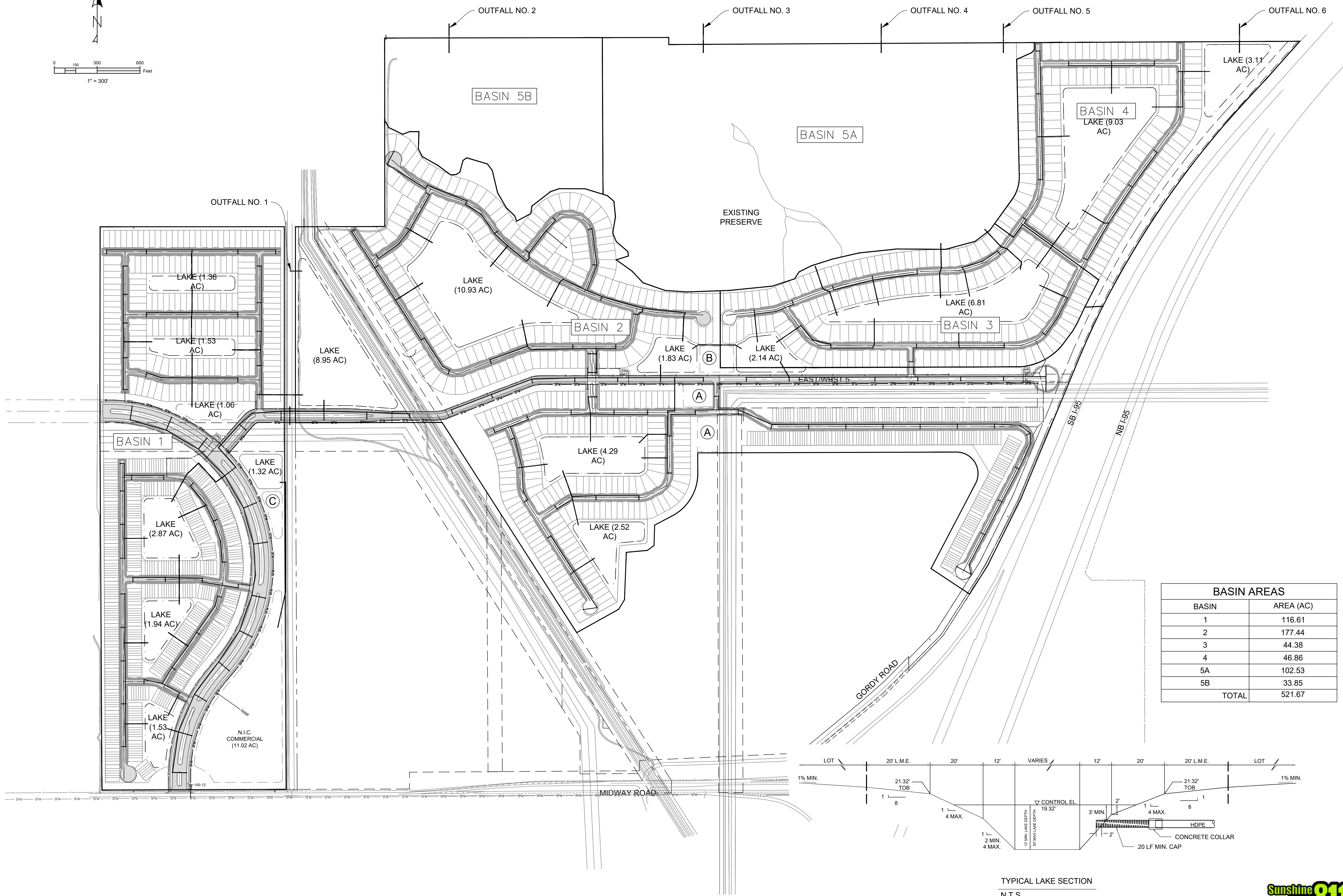
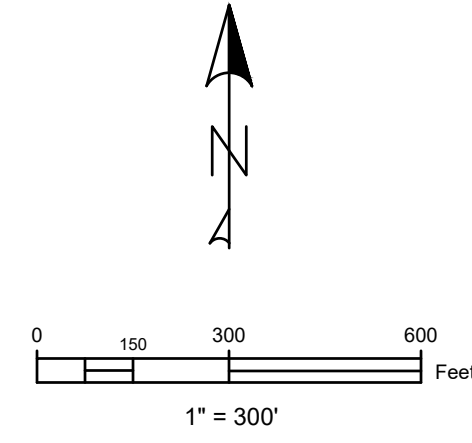
SUNRISE RESIDENTIAL
 CITY OF FORT PIERCE
 ST. LUCIE COUNTY, FL

APPROVED BY: JWM
 CHECKED BY: JWM
 DRAWN BY: KKR

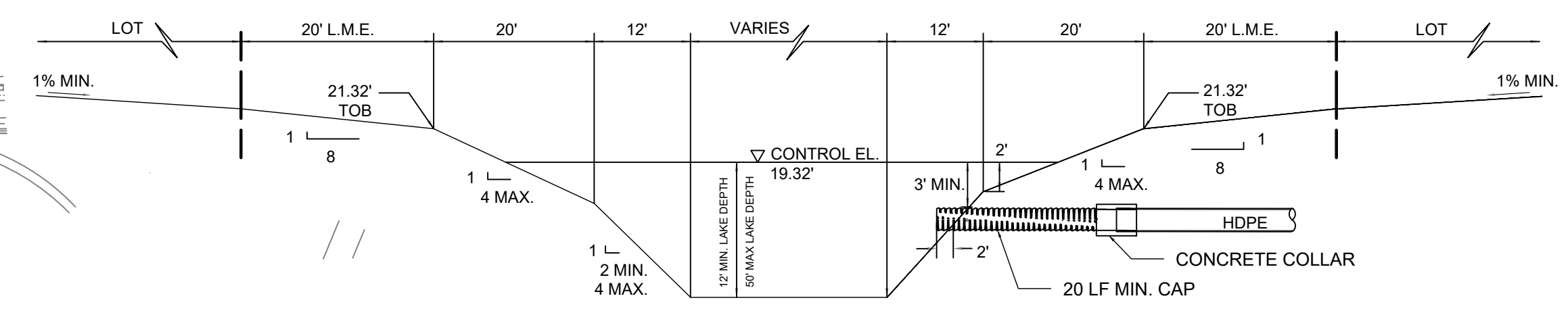
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PROJ. NO. 22-2180
 DATE 2024-05-24
 SHEET NO.

C-100

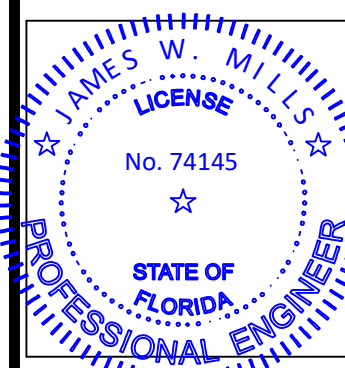


BASIN AREAS	
BASIN	AREA (AC)
1	116.61
2	177.44
3	44.38
4	46.86
5A	102.53
5B	33.85
TOTAL	521.67



TYPICAL LAKE SECTION
N.T.S.

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 Vero Beach, Florida 32960



ISSUE	DATE	COMMENTS

APPROVED BY: JWM
 CHECKED BY: JWM
 SCALE: SEE SHEET

SUNRISE RESIDENTIAL
 CITY OF FORT PIERCE
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 THIS SHEET
 OVERALL CONCEPTUAL DRAINAGE PLAN
 DRAWN BY: KKR
 APPROVED BY: JWM
 CHECKED BY: JWM
 SCALE: SEE SHEET

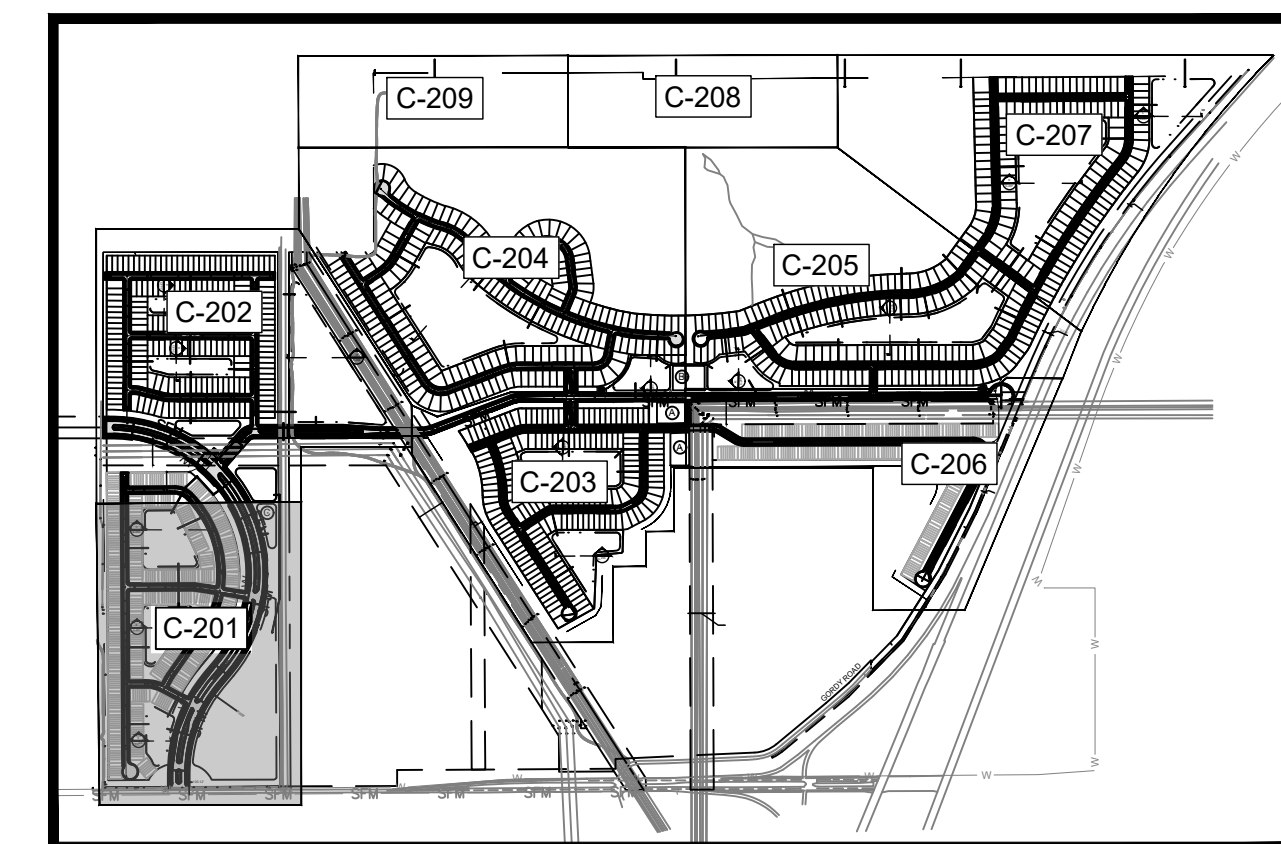
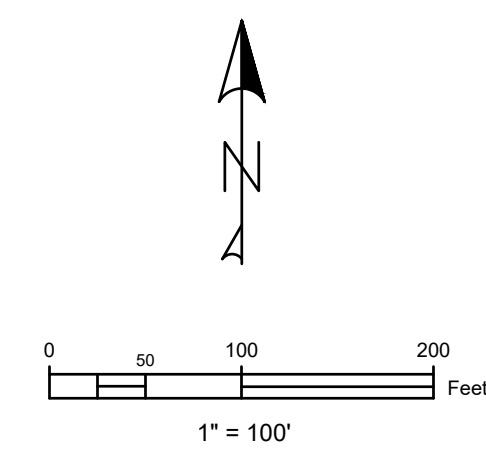
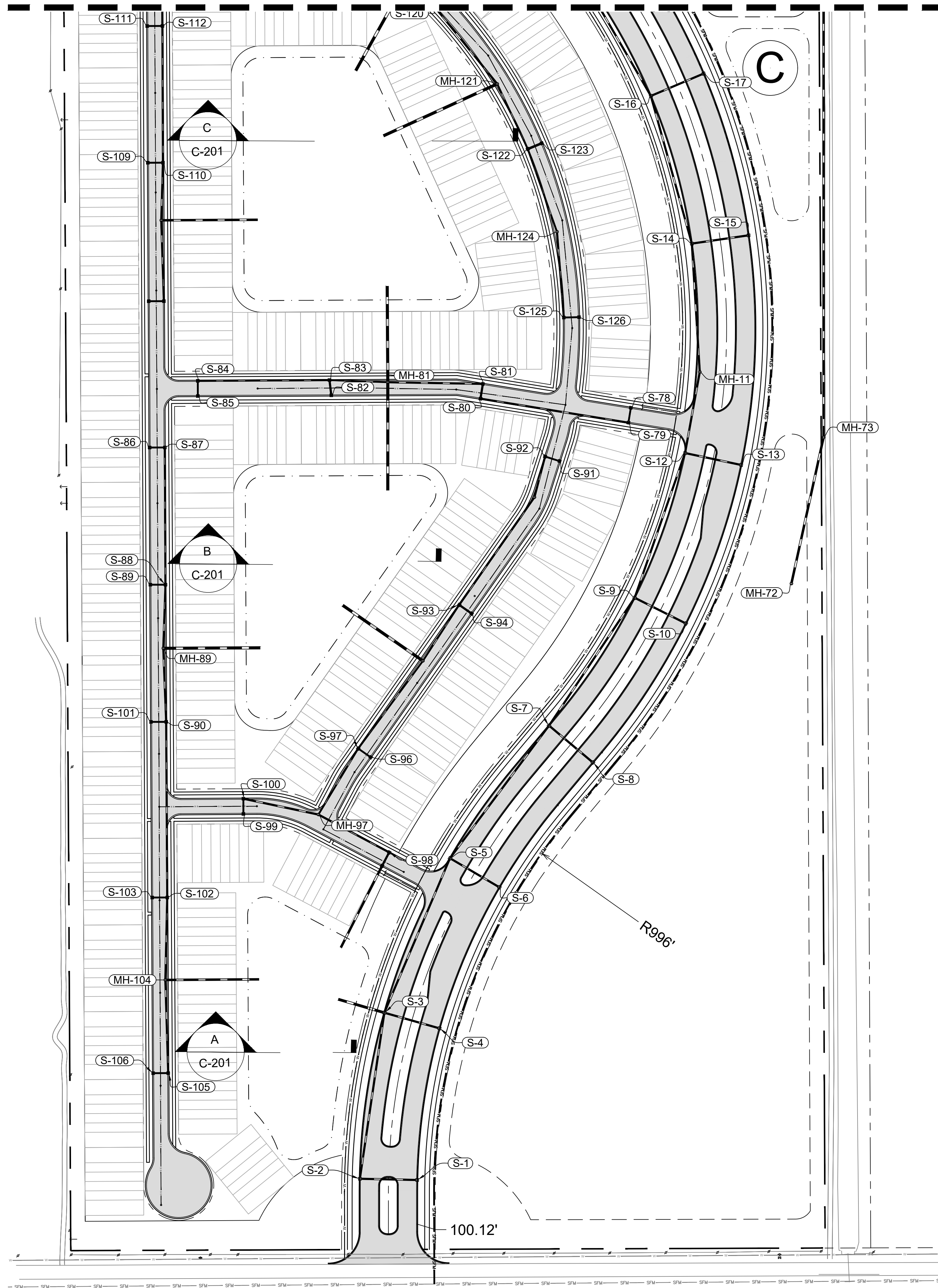
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 DATE 2024-05-24
 SHEET NO.



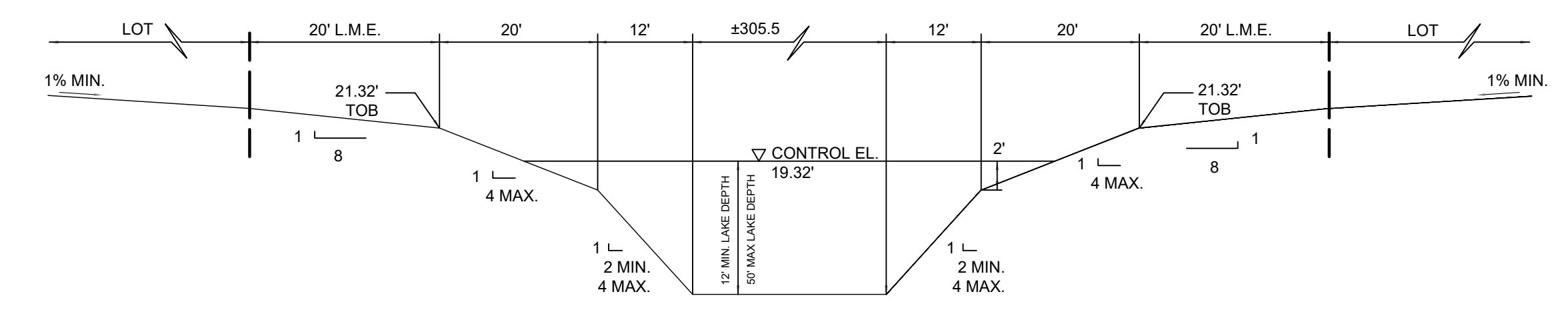
C-200

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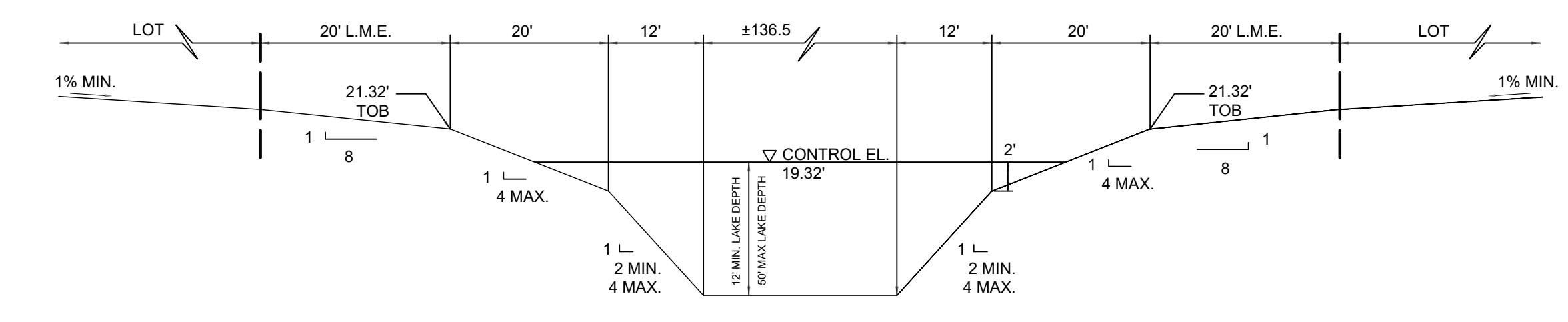
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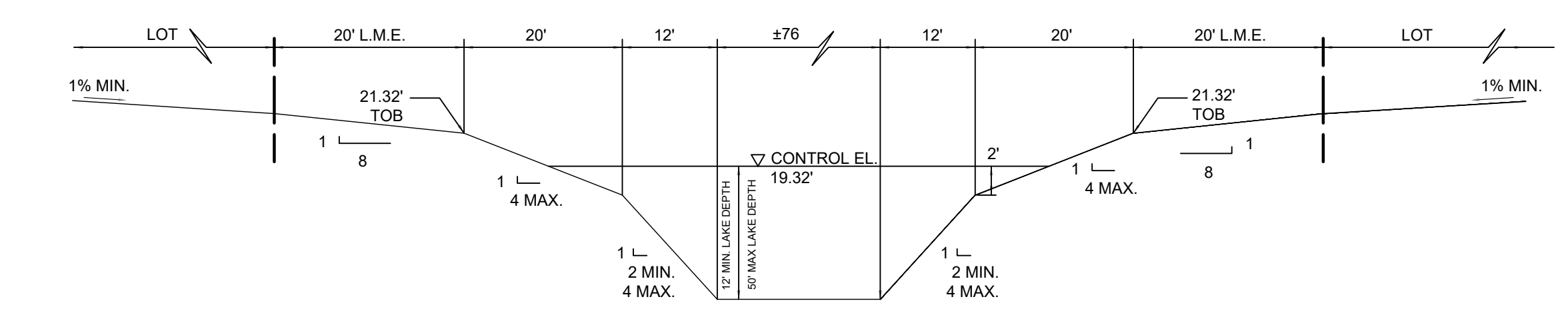
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N.T.S.



LAKE SECTION C
N.T.S.

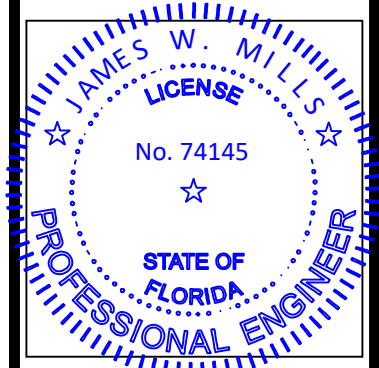


LAKE SECTION B
N.T.S.



LAKE SECTION A
N.T.S.

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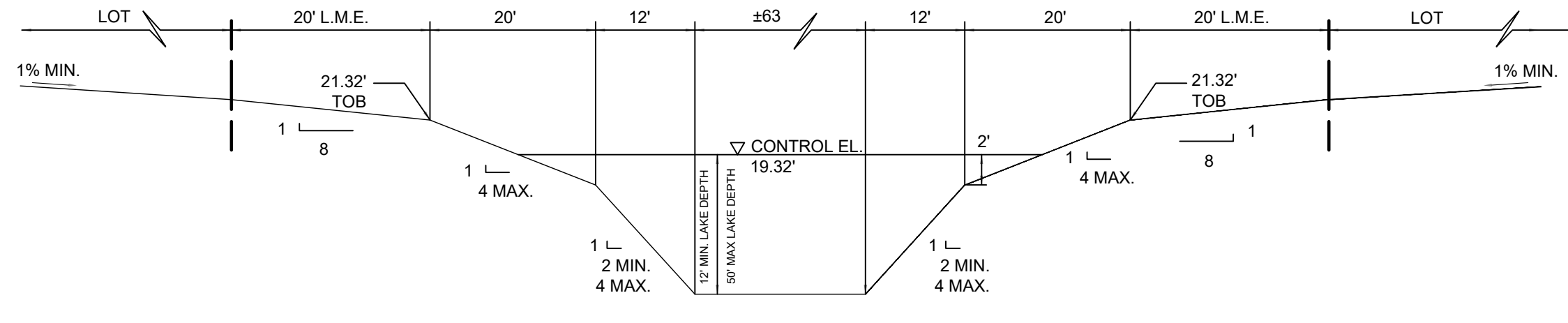
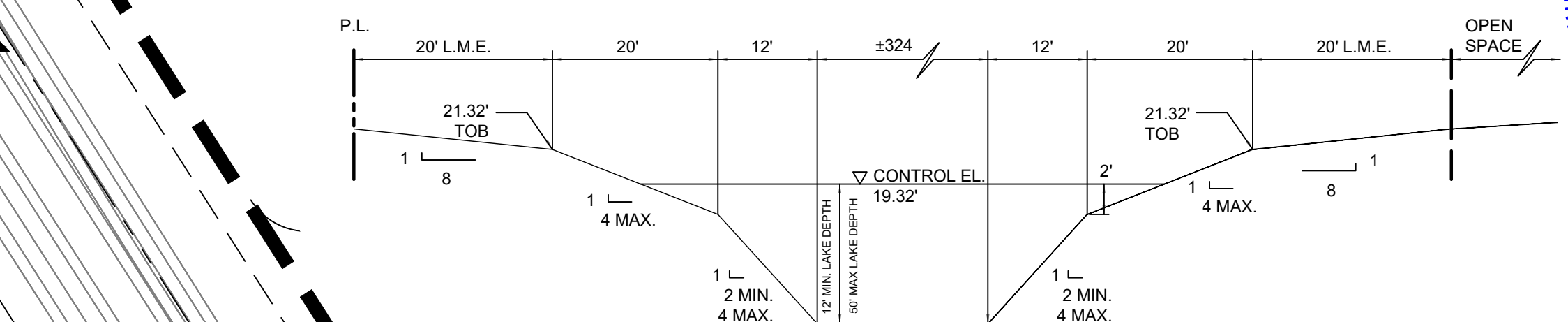
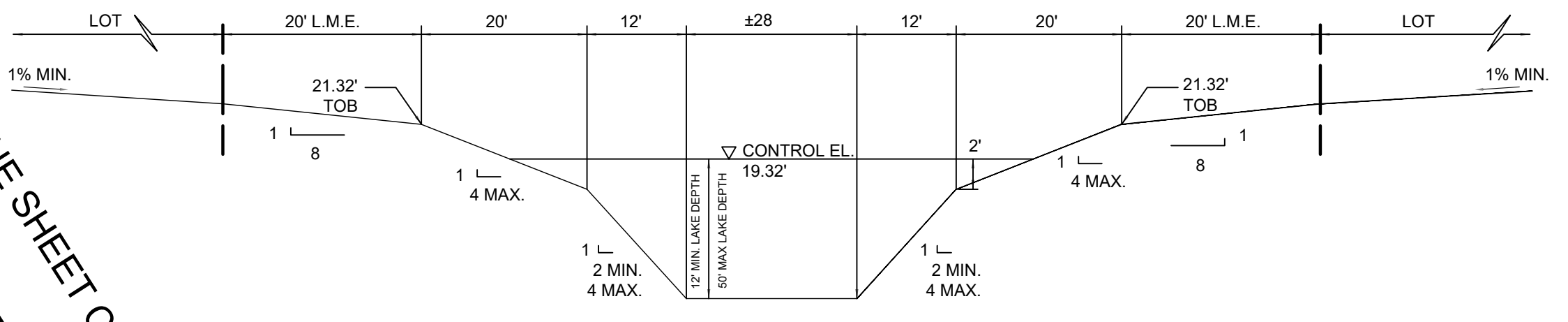
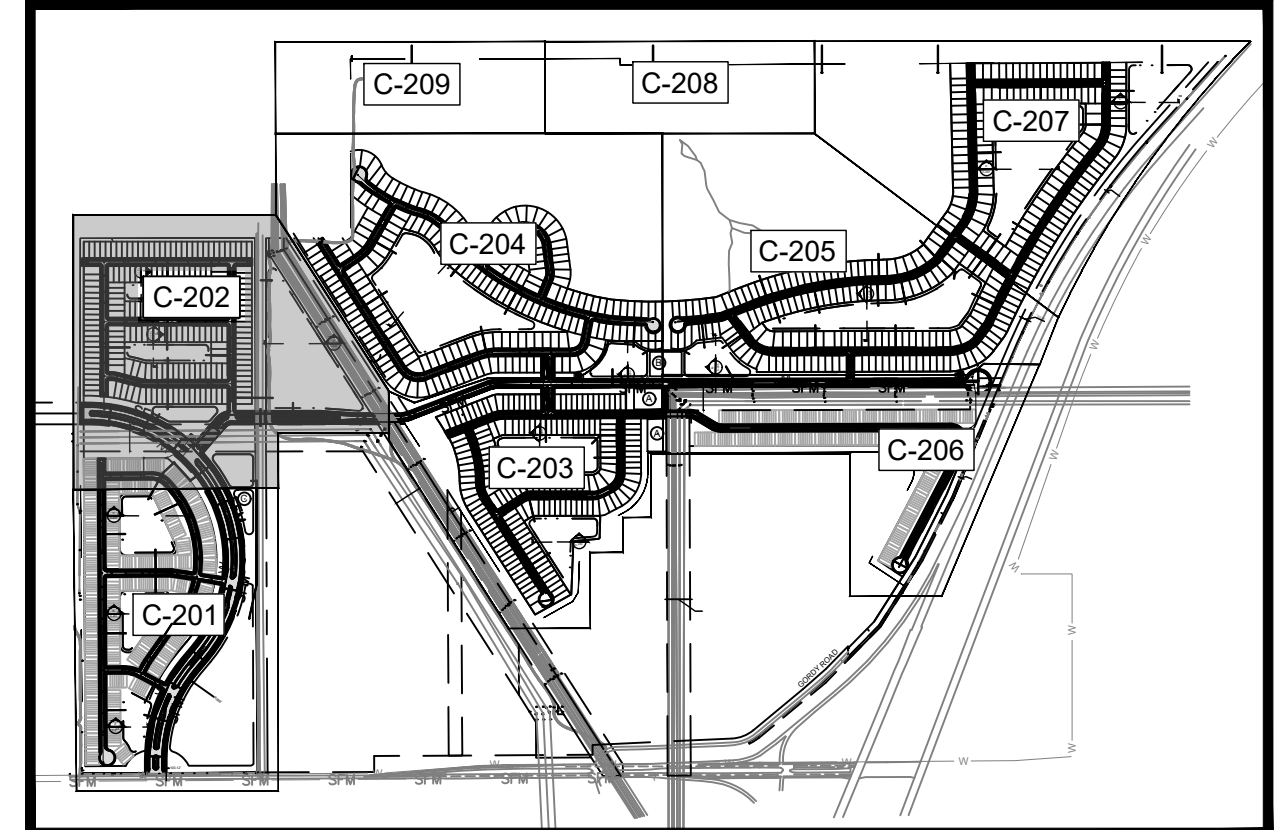
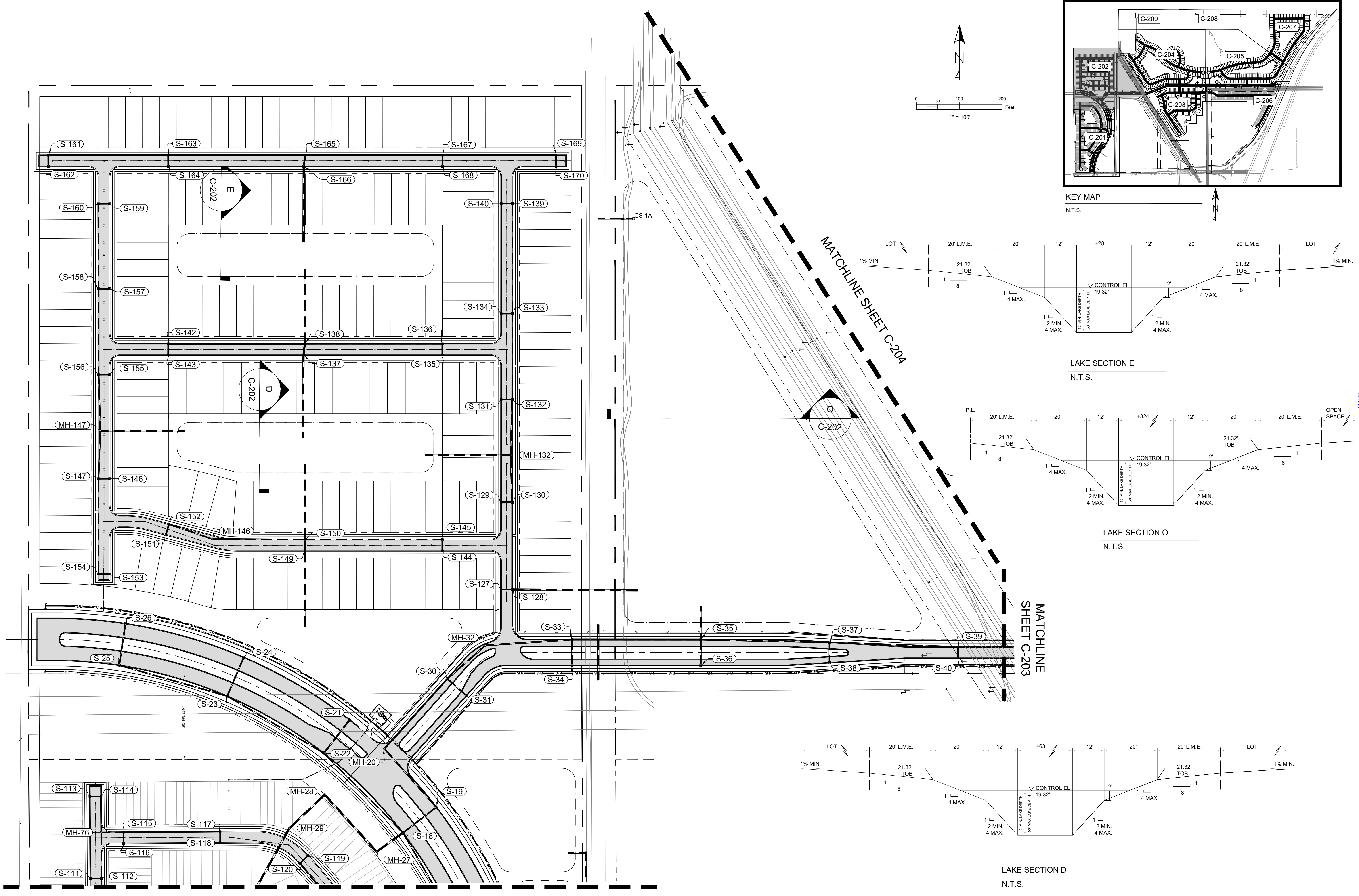
ISSUE	DATE	COMMENTS

SUNRISE RESIDENTIAL
 CITY OF FORT PIERCE
 ST. LUCIE COUNTY, FL
 THIS SHEET
 CONCEPTUAL DRAINAGE PLAN
 DRAWN BY: KKR
 CHECKED BY: JWM
 APPROVED BY: JWM
 SCALE: SEE SHEET

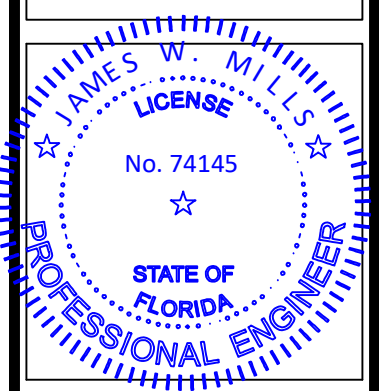
PROJ. NO. 22-2180
 DATE 2024-05-24
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C-201



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ISSUE	DATE	COMMENTS

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 CITY OF FORT PIERCE
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PROJ. NO. 22-2180
 DATE 2024-05-24
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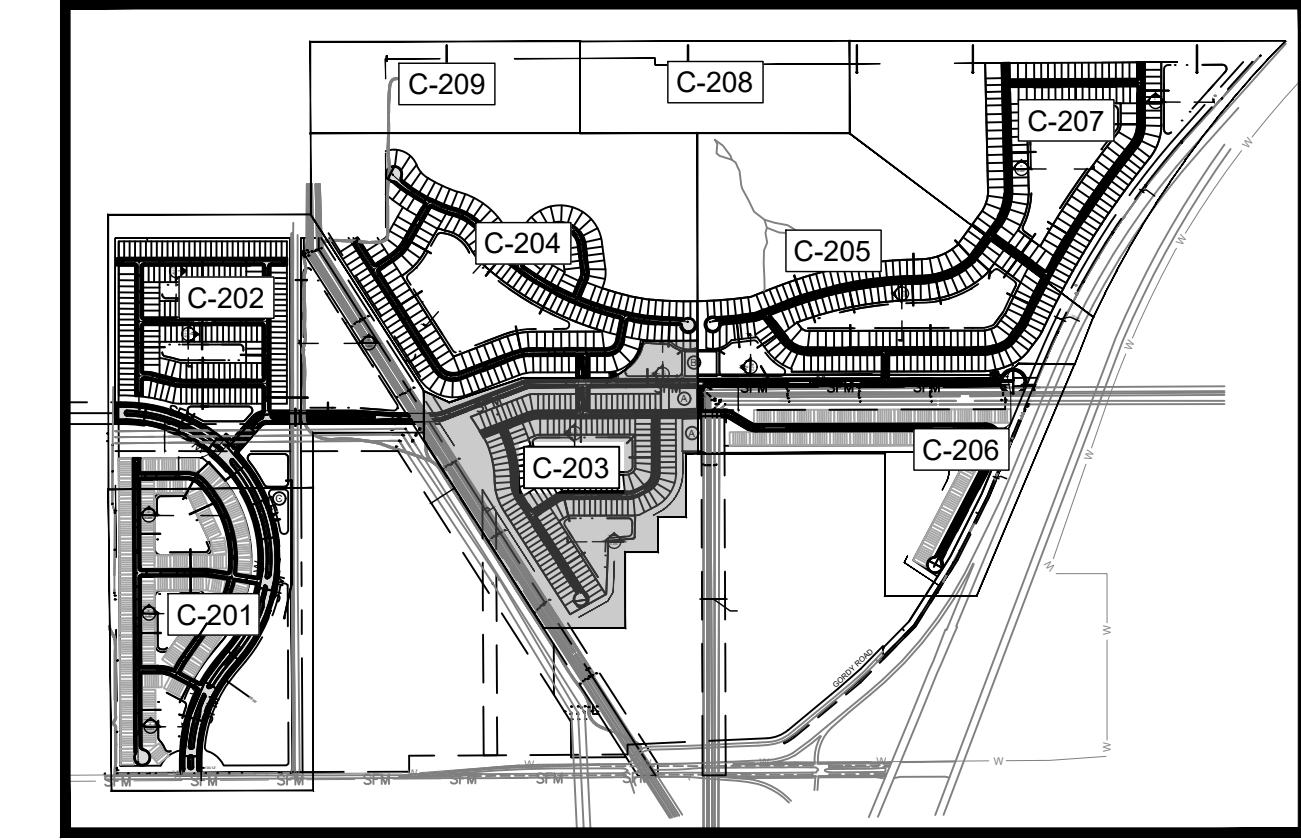
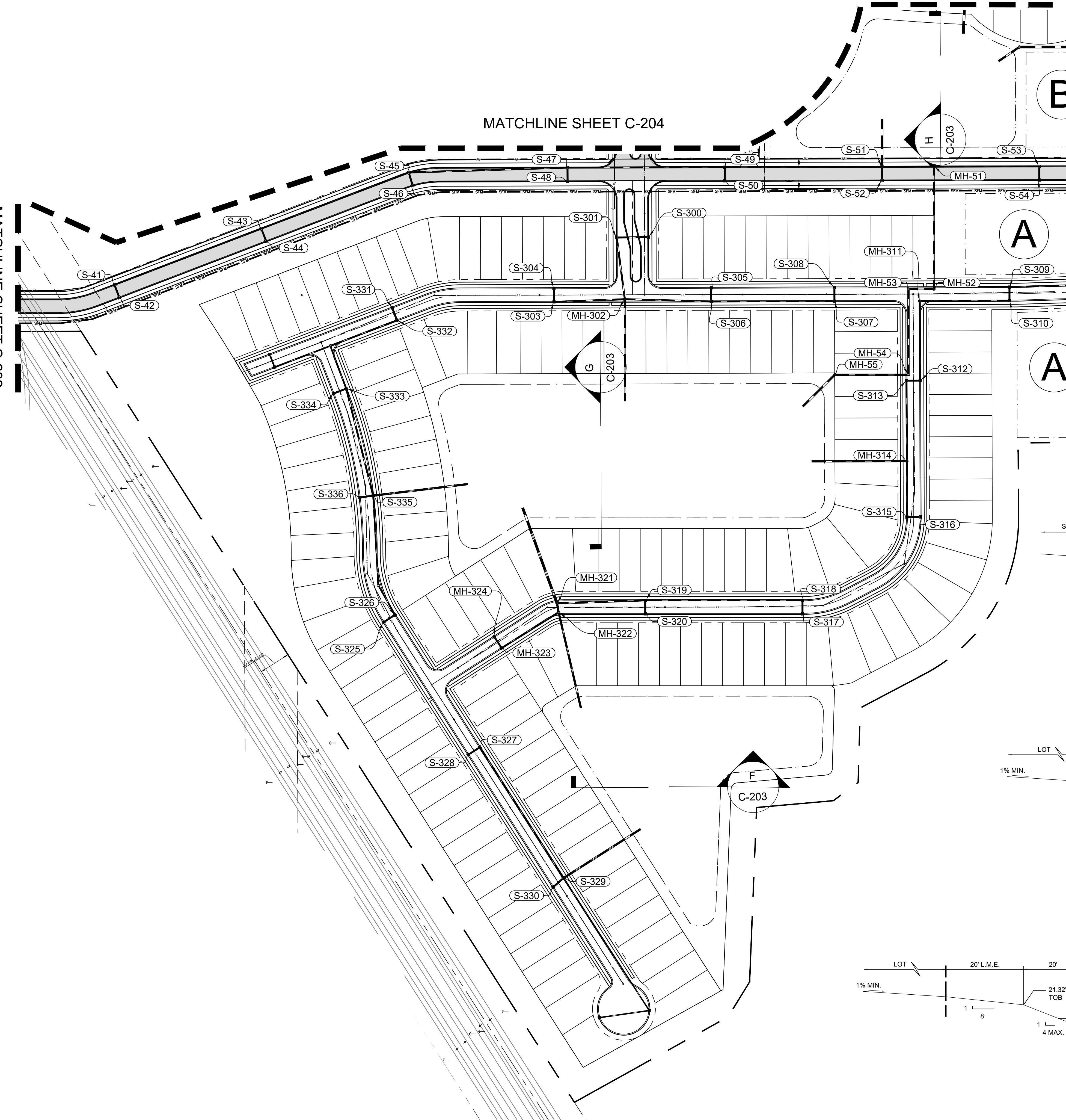
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MATCHLINE SHEET C-202

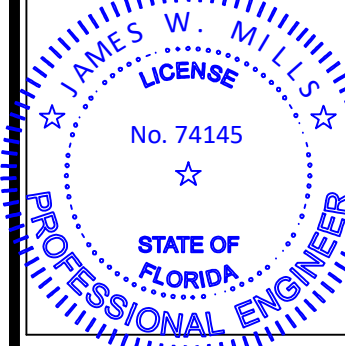
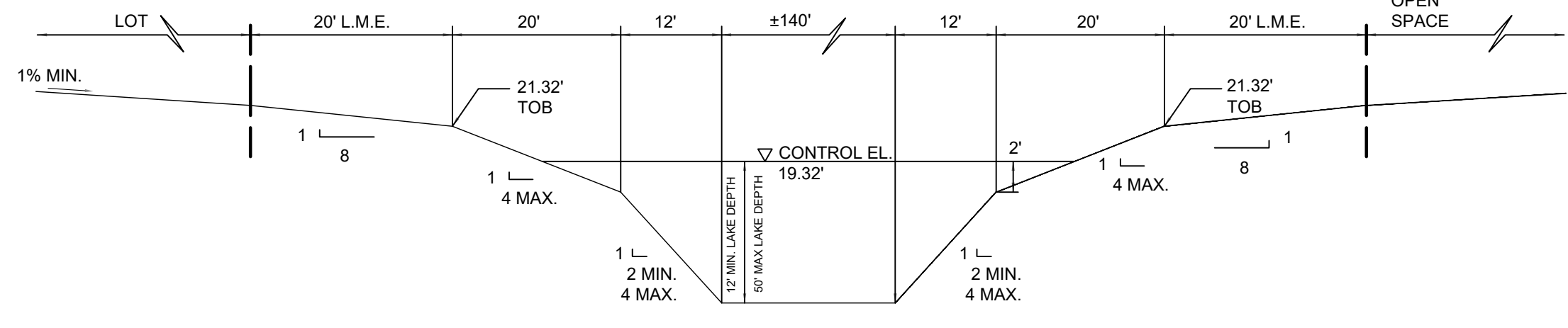
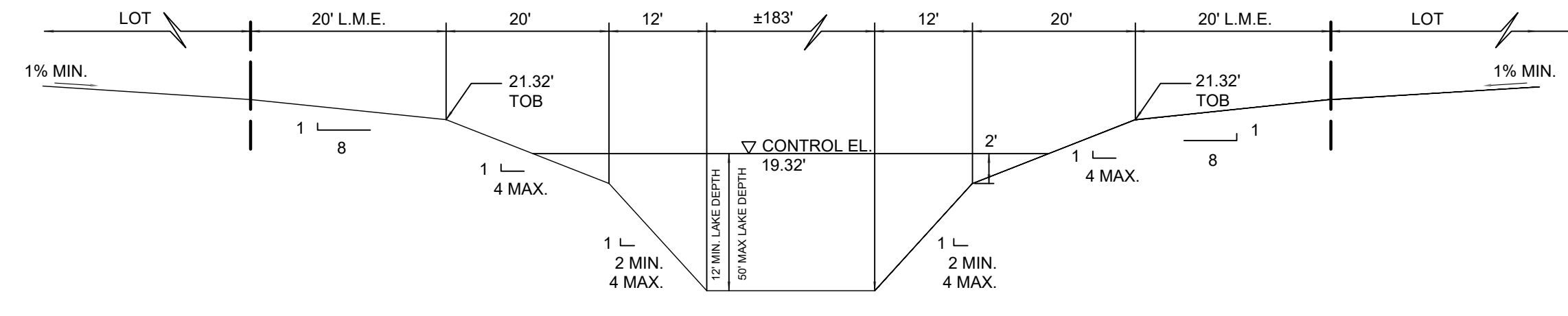
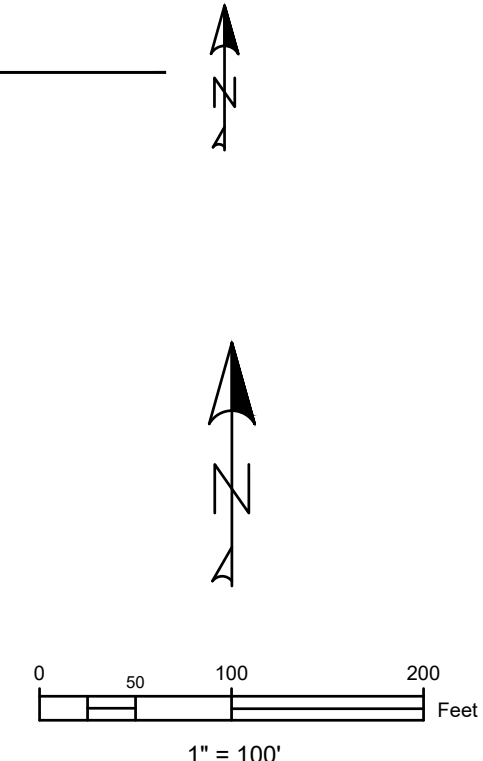
MATCHLINE SHEET C-205

MATCHLINE SHEET C-206

MATCHLINE SHEET C-204



KEY MAP
N.T.S.



ISSUE	DATE	COMMENTS

SUNRISE RESIDENTIAL
CITY OF FORT PIERCE
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DRAWN BY: KKR
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DATE 2024-05-24
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C-203

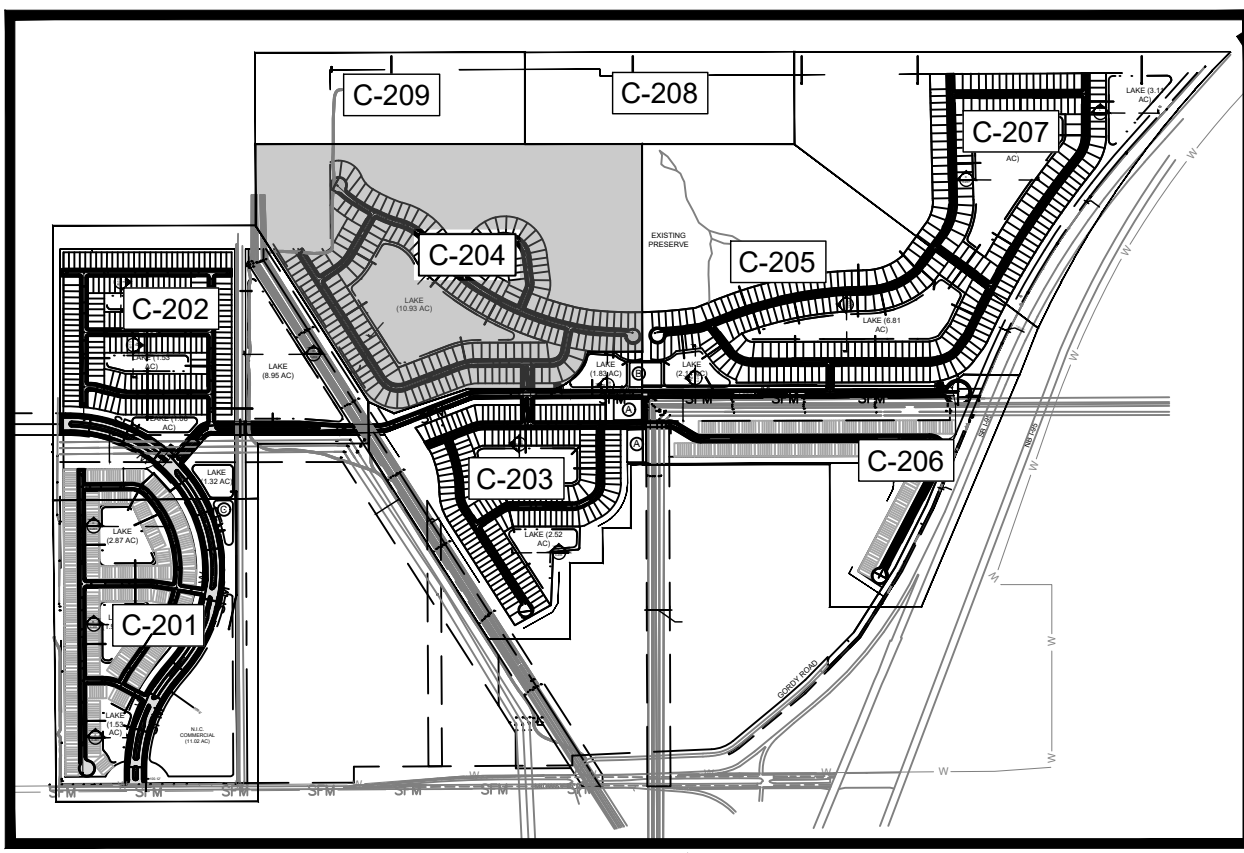
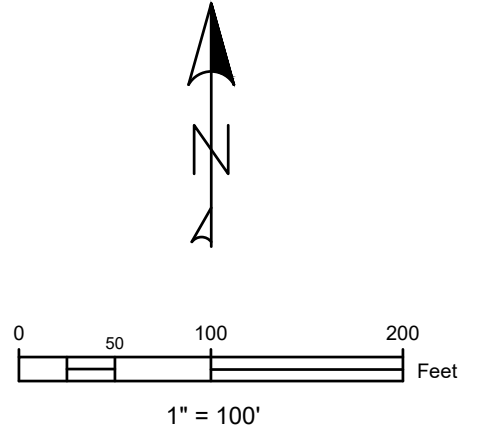
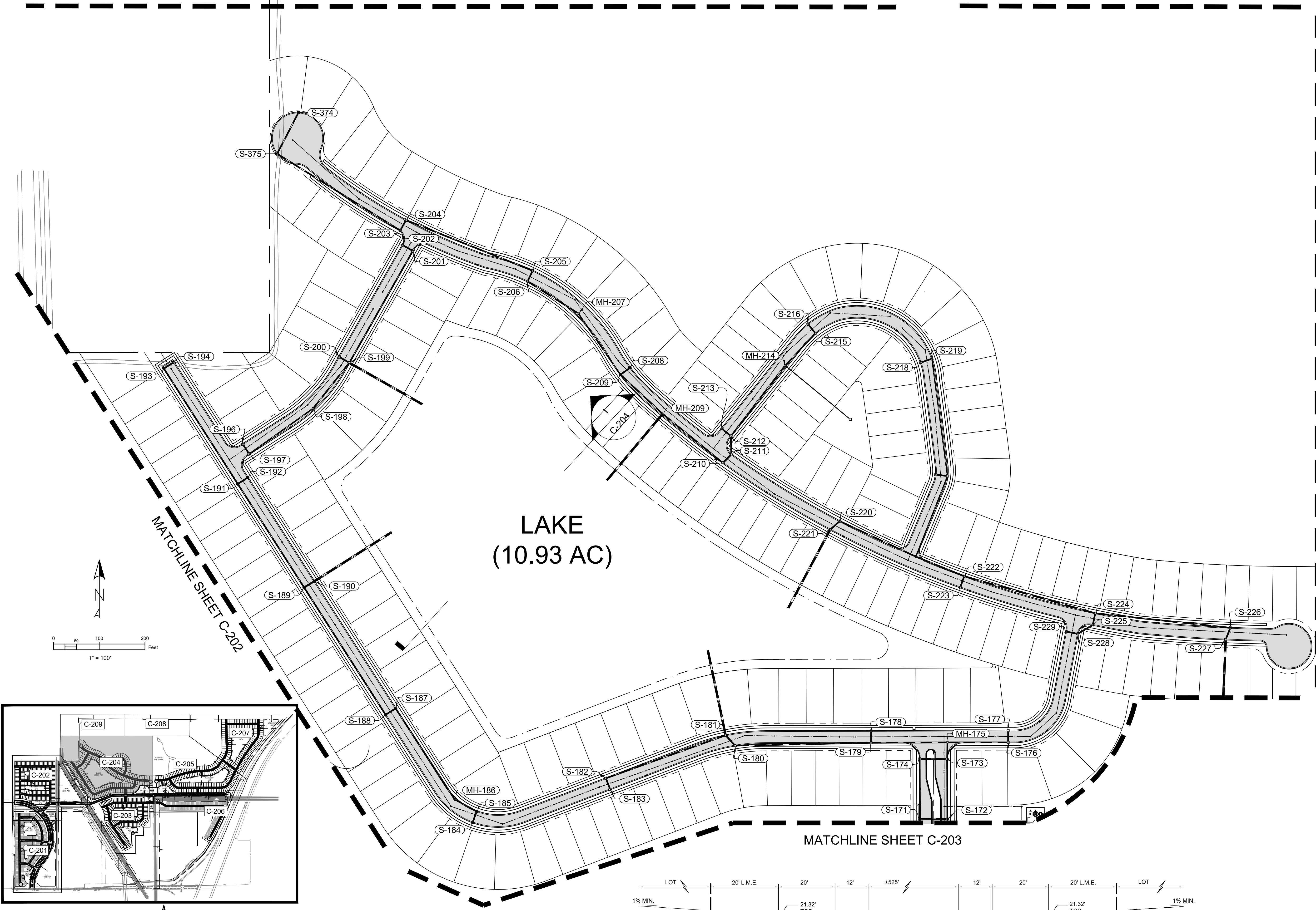
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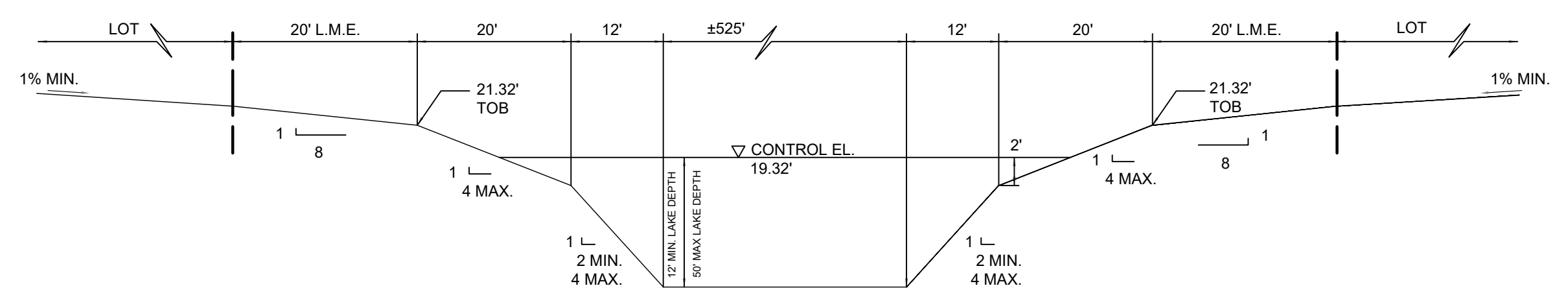
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MATCHLINE SHEET C-203

LAKE (10.93 AC)

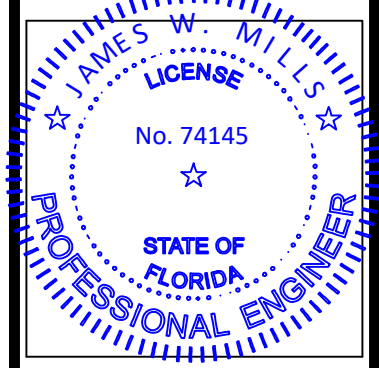


KEY MAP
N.T.S.



LAKE SECTION I
N.T.S.

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PROJ. NO. 22-2180
 DATE 2024-05-24
 SHEET NO.

C-204



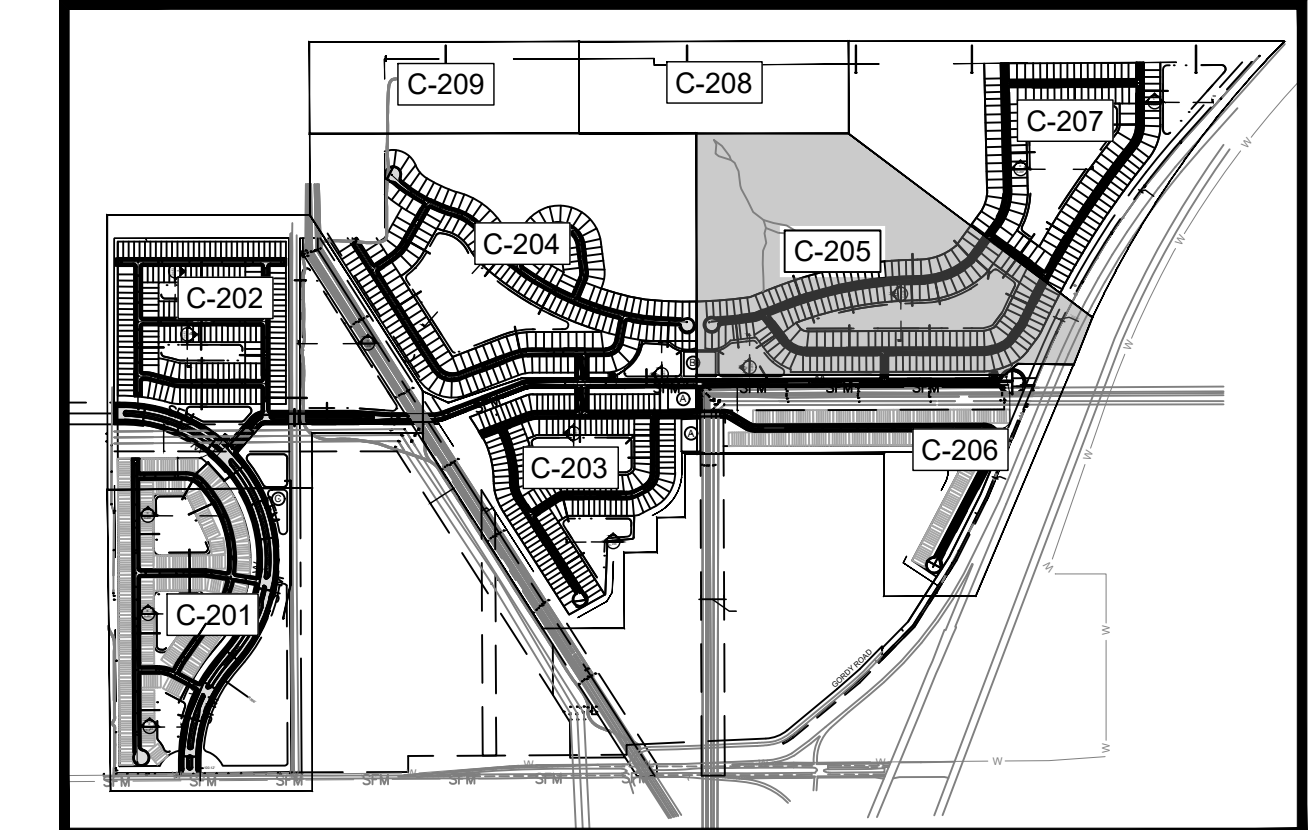
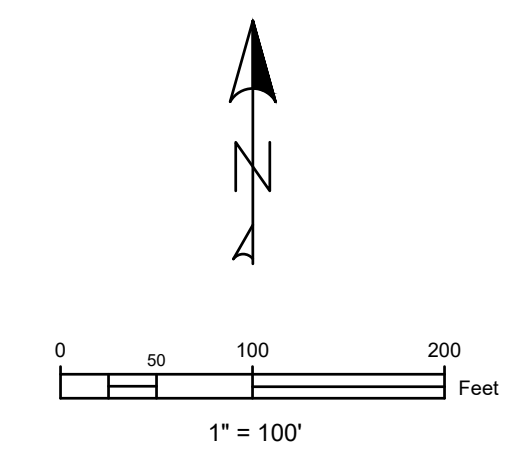
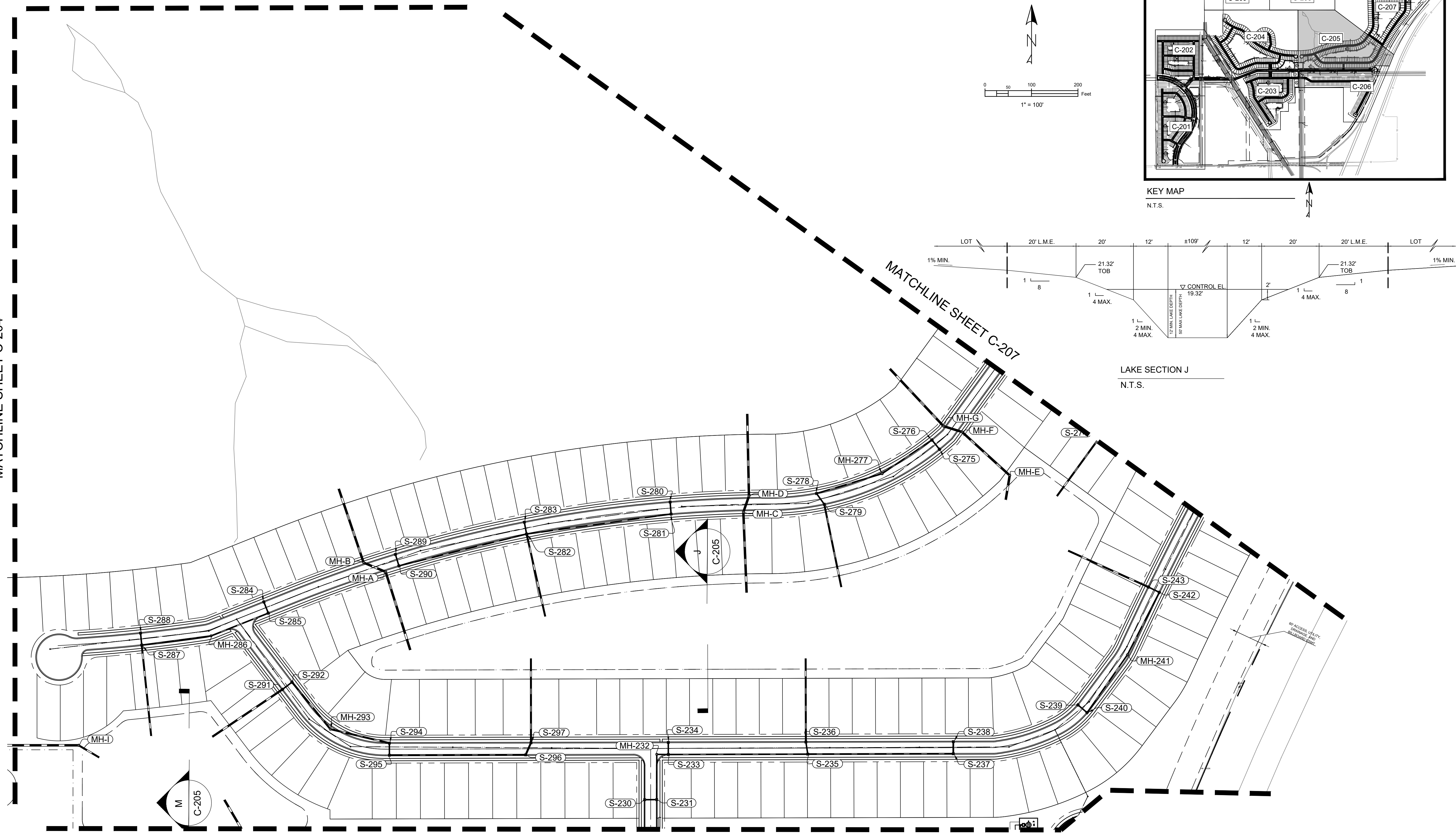
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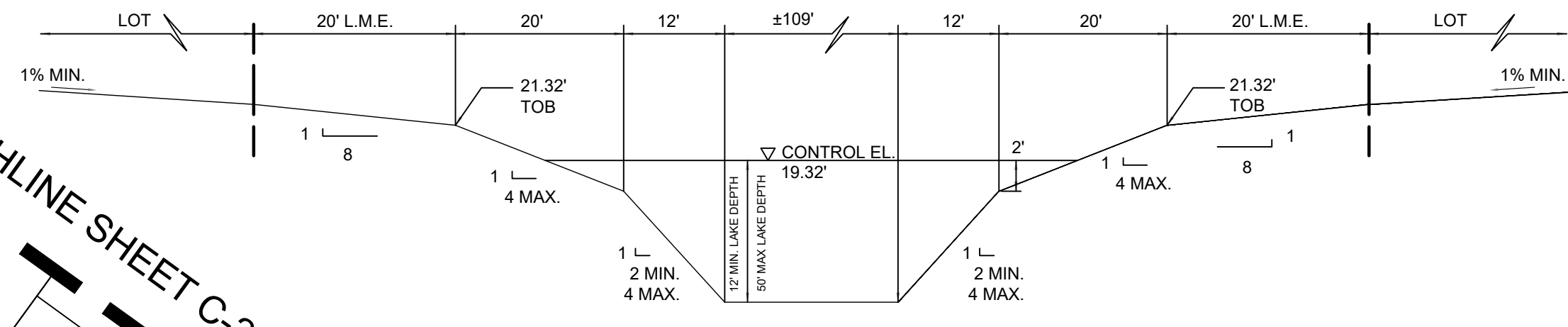
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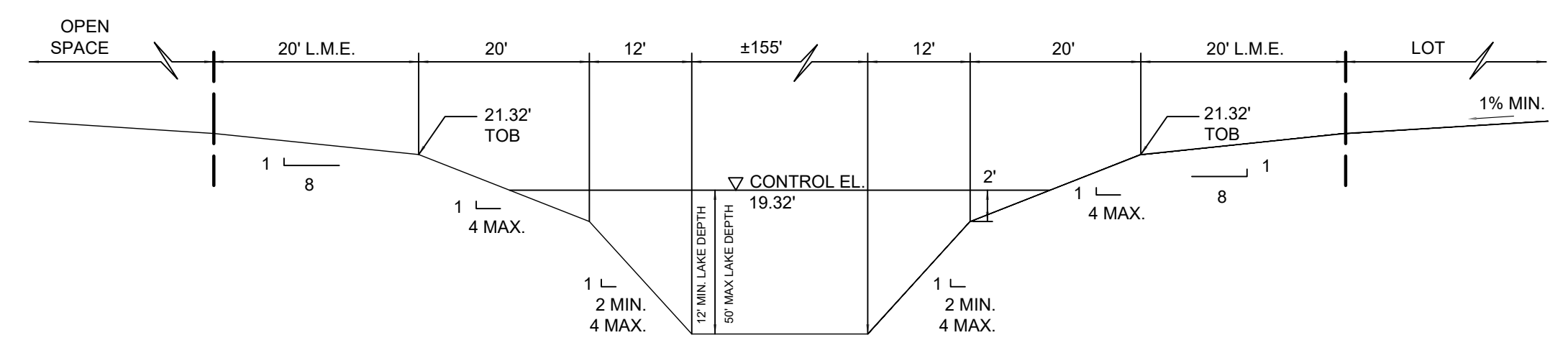
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KEY MAP
N.T.S.

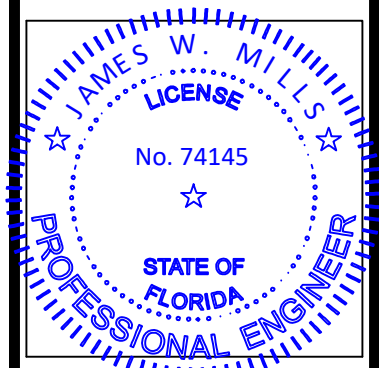


LAKE SECTION J
N.T.S.



LAKE SECTION M
N.T.S.

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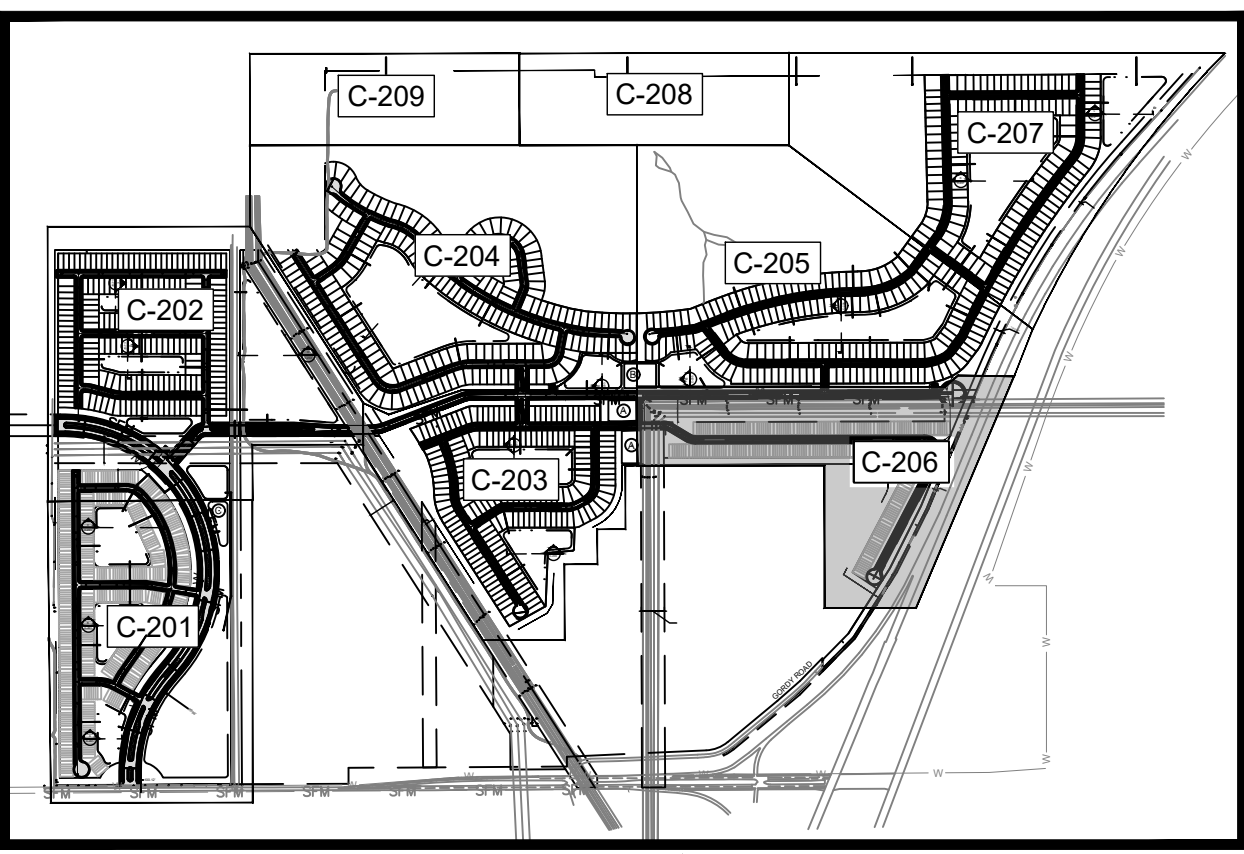
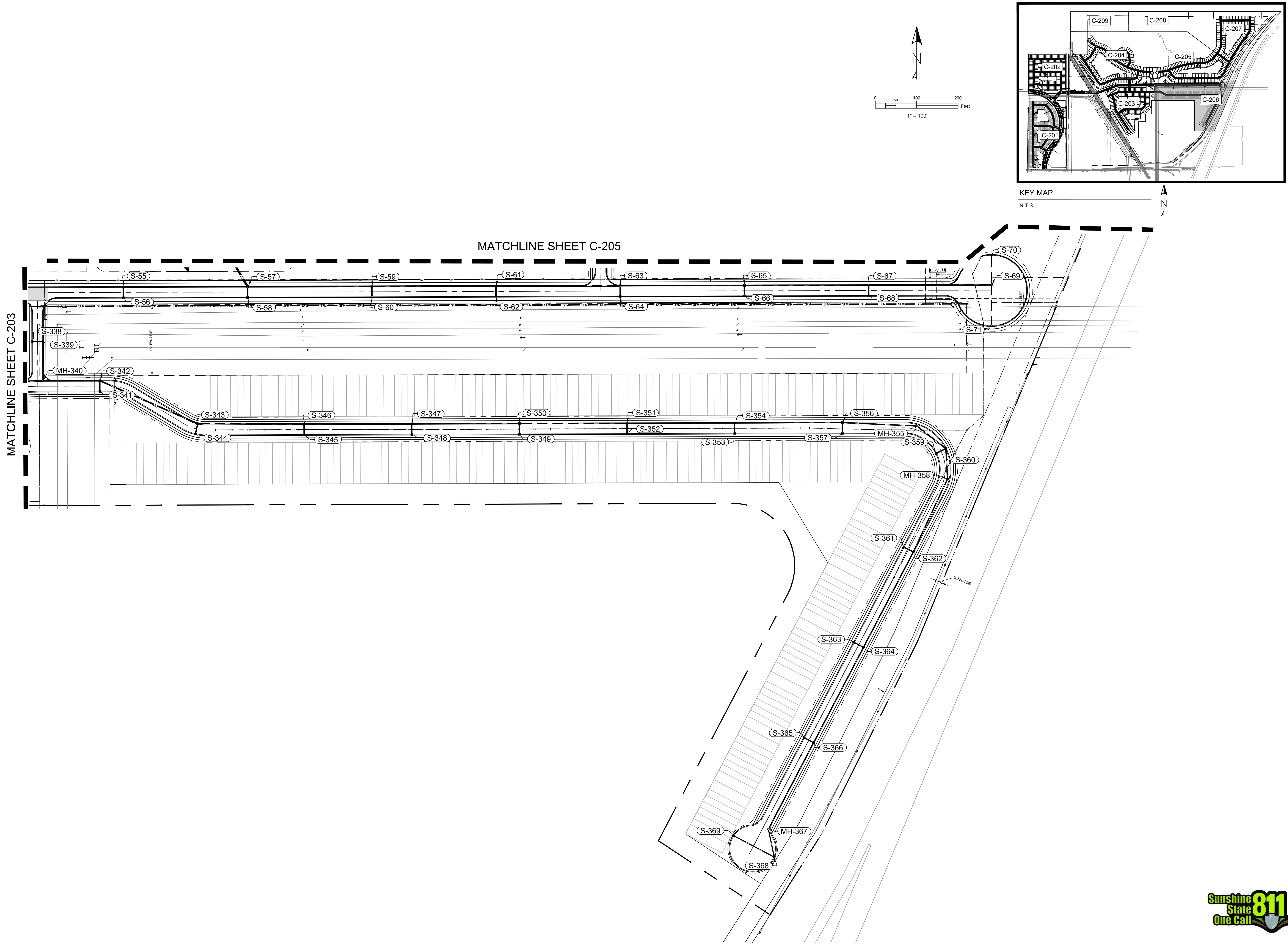
ISSUE	DATE	COMMENTS

SUNRISE RESIDENTIAL
 CITY OF FORT PIERCE
 ST. LUCIE COUNTY, FL
 THIS SHEET
 CONCEPTUAL DRAINAGE PLAN
 DRAWN BY: KKR
 CHECKED BY: JWM
 APPROVED BY: JWM
 SCALE: SEE SHEET

PROJ. NO. 22-2180
 DATE 2024-05-24
 SHEET NO.

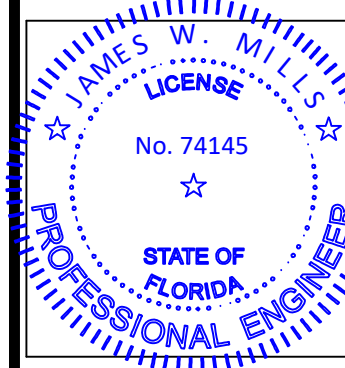
C-205





KEY MAP
N.T.S.

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 Vero Beach, Florida 32980



ISSUE	DATE	COMMENTS

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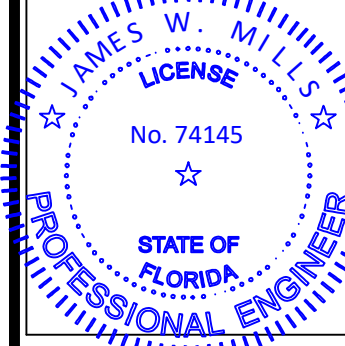
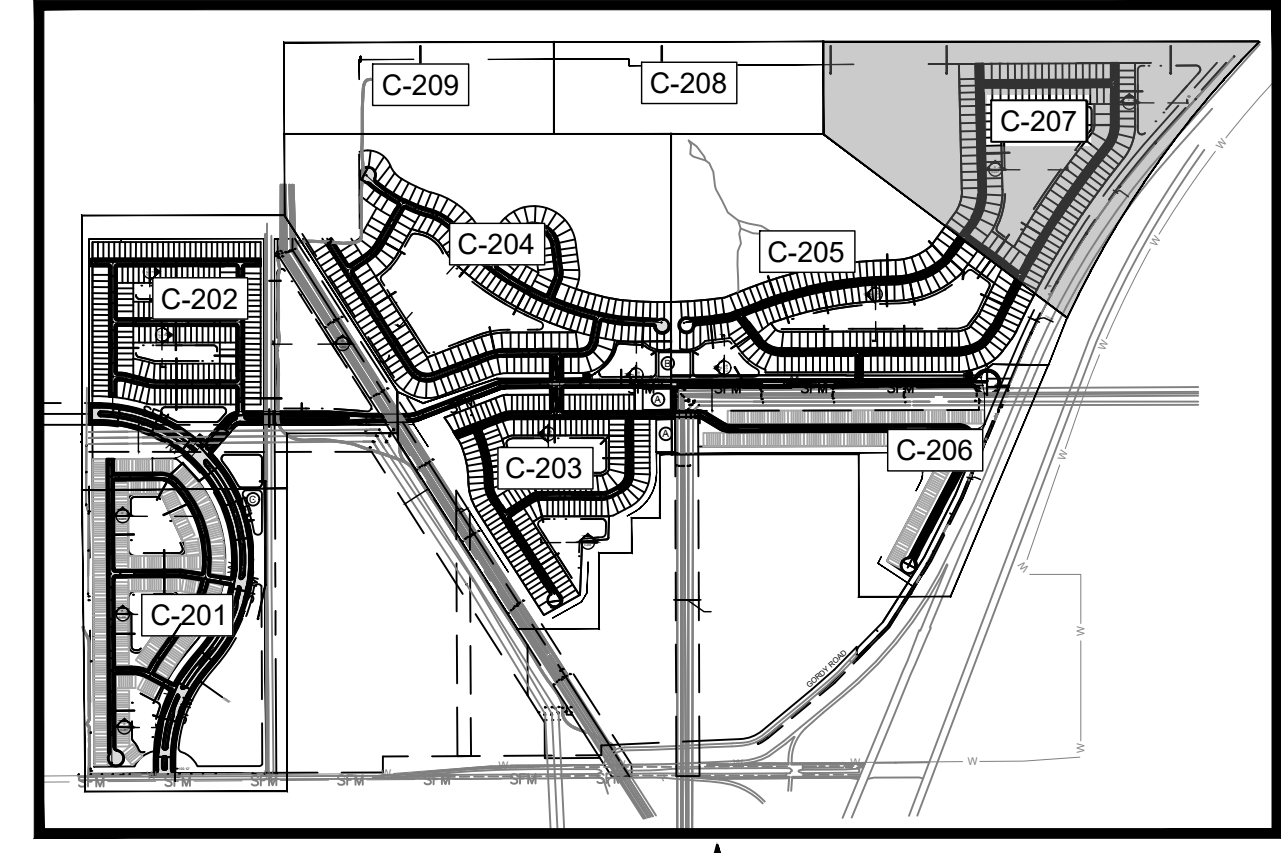
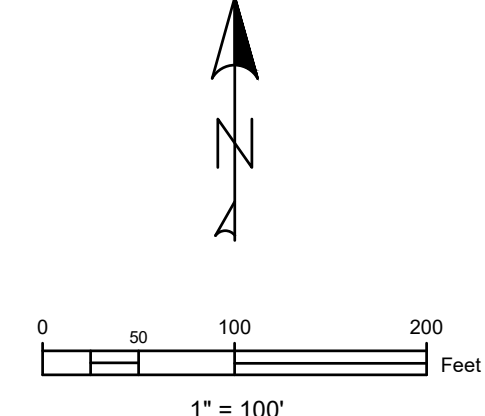
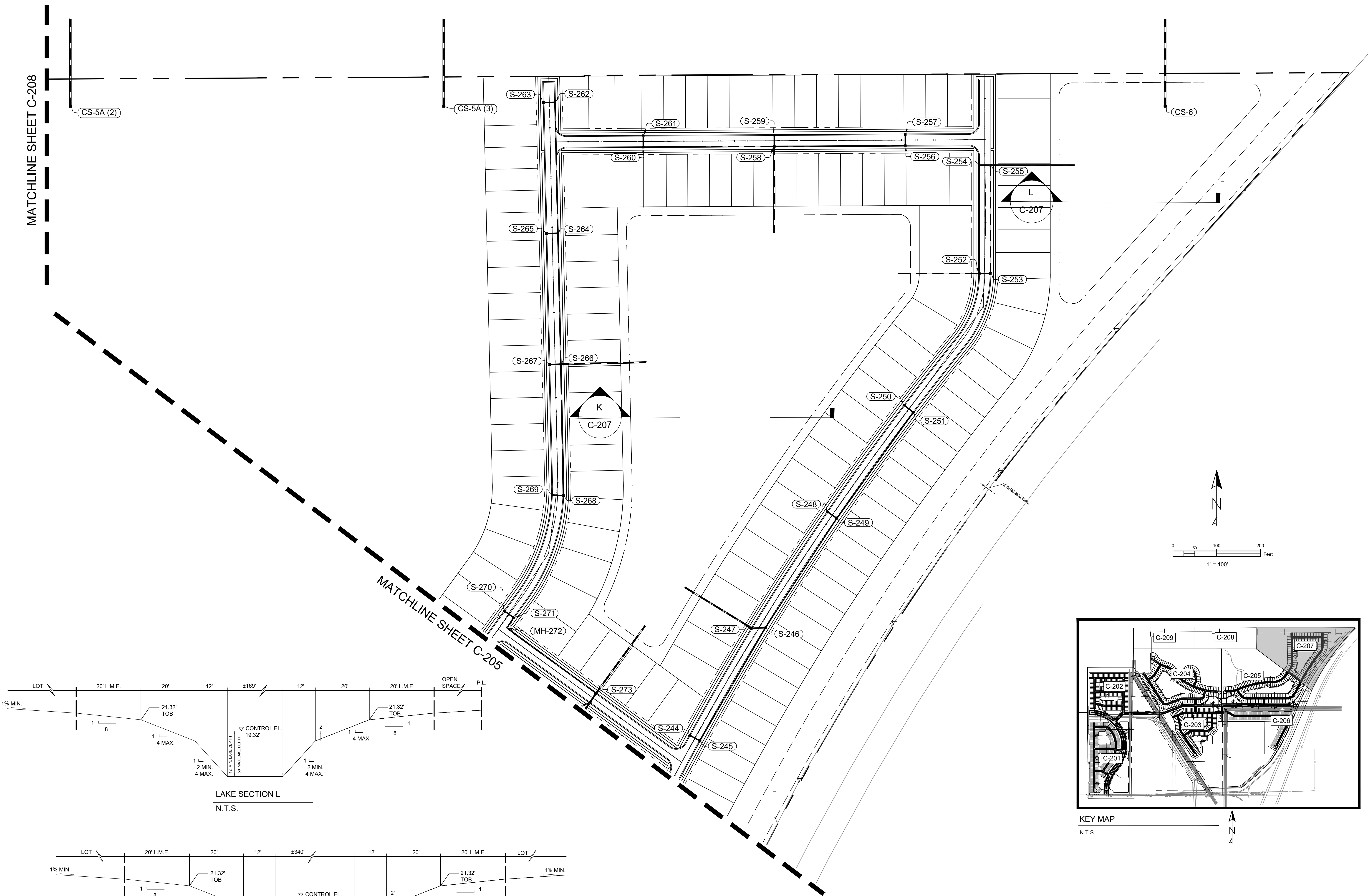
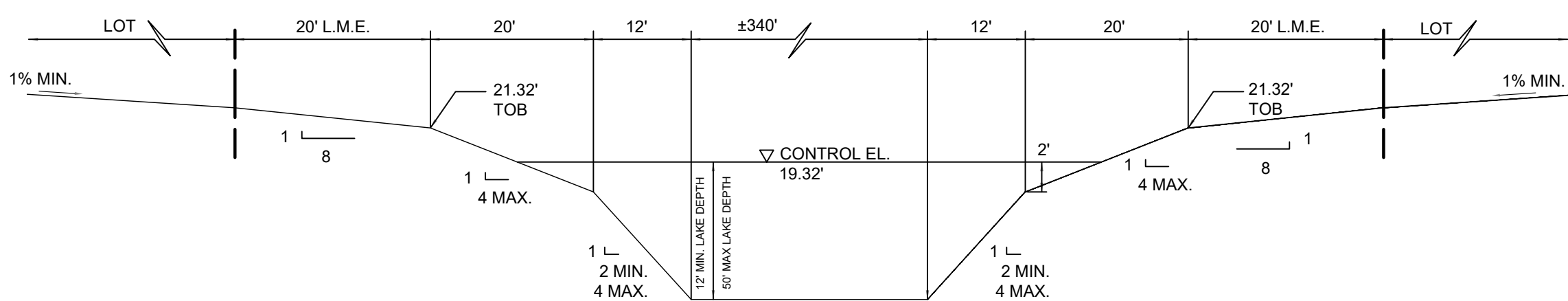
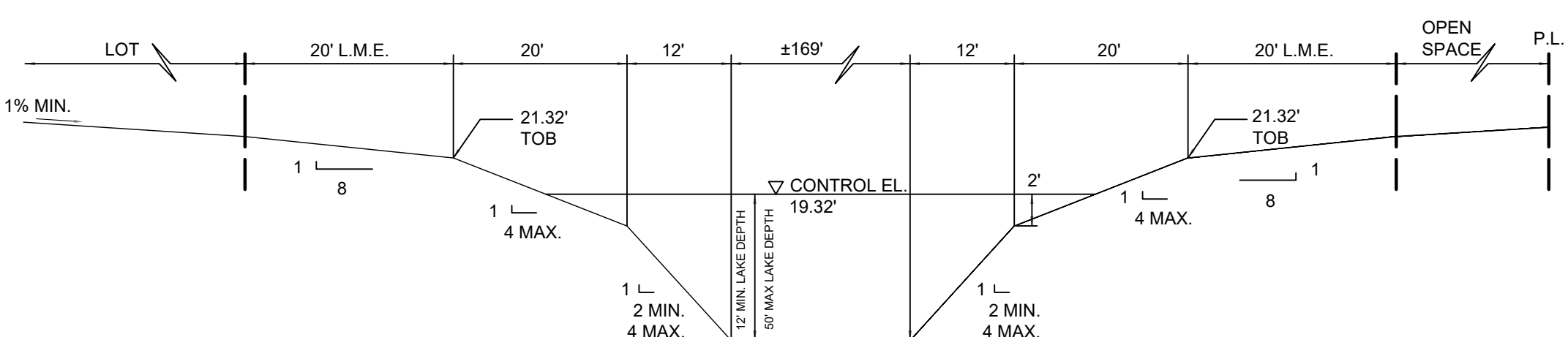
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C-206



MATCHLINE SHEET C-208

MATCHLINE SHEET C-205



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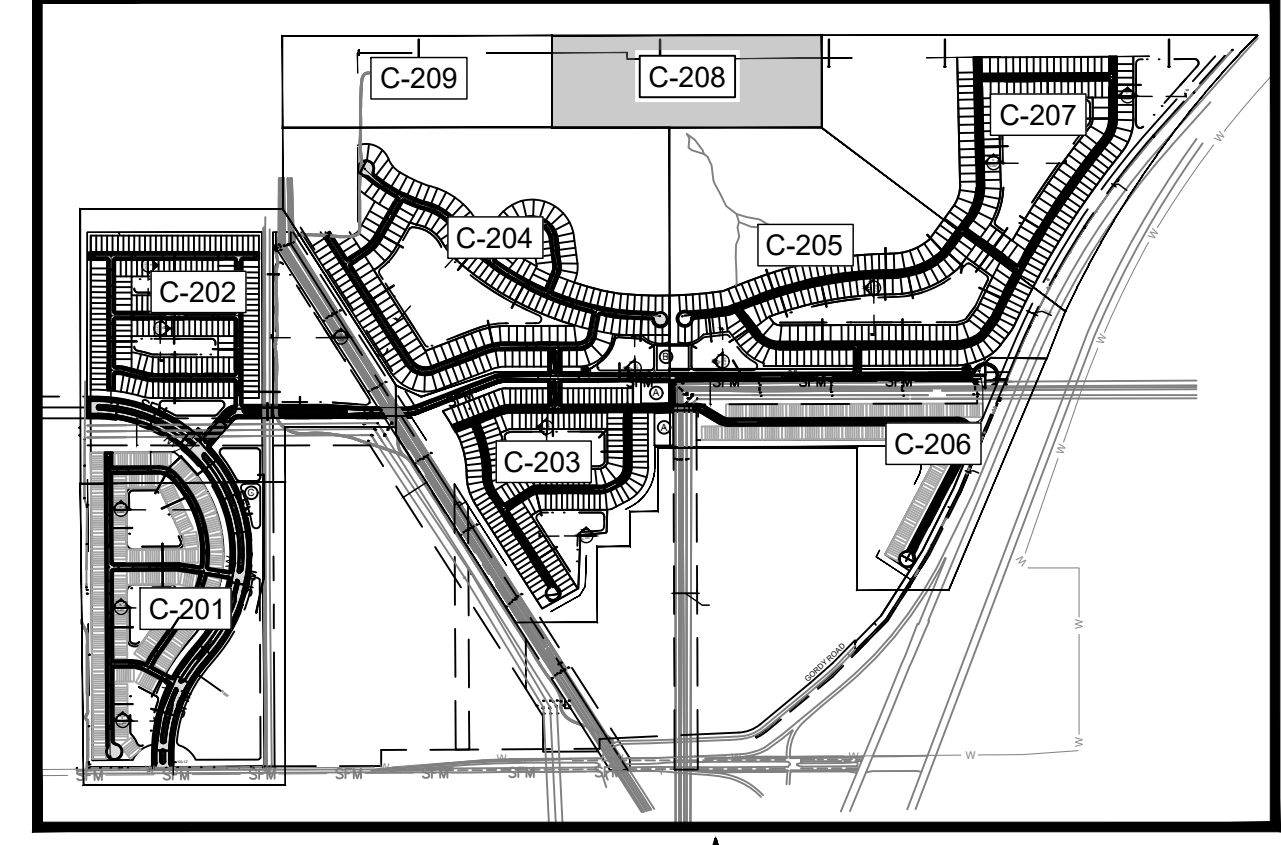
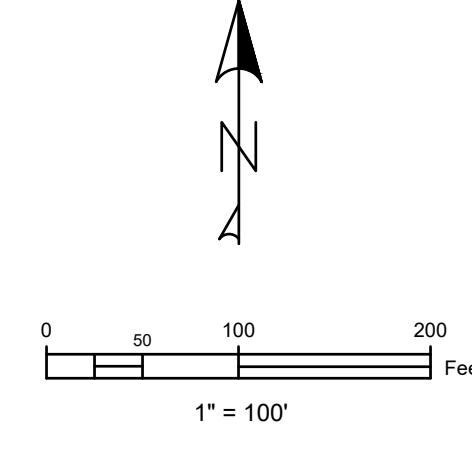
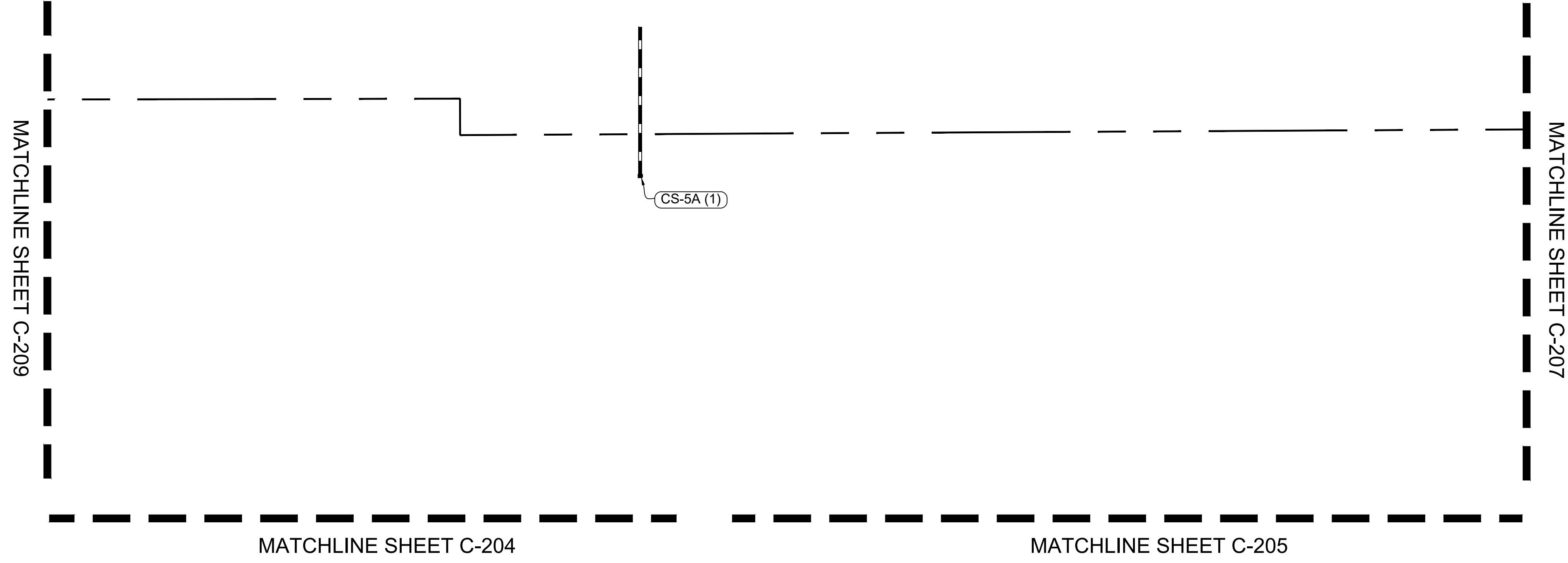
SUNRISE RESIDENTIAL
CITY OF FORT PIERCE
ST. LUCIE COUNTY, FL
CONCEPTUAL DRAINAGE PLAN
DRAWN BY: KKR
CHECKED BY: JWM
APPROVED BY: JWM
SCALE: SEE SHEET

PROJ. NO. 22-2180
DATE 2024-05-24
SHEET NO.

C-207



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KEY MAP
N.T.S.



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PROJ. NO. 22-2180
DATE 2024-05-24
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C-208

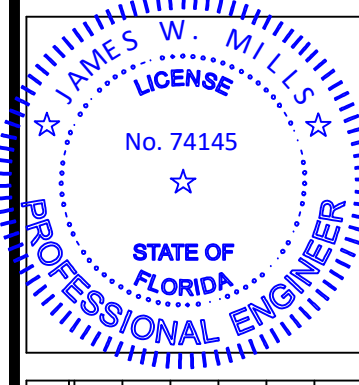
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DRAWN BY
KKR

CHECKED BY
JWM

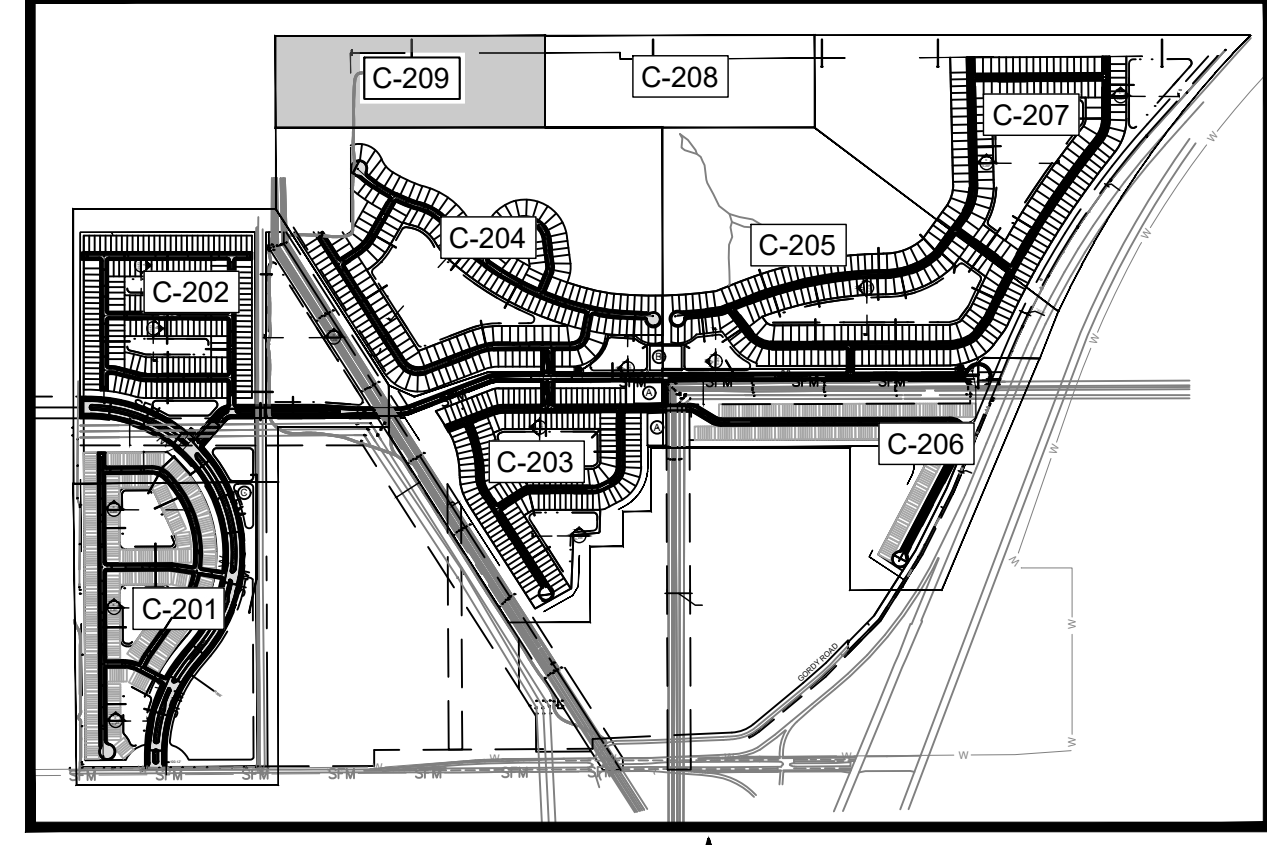
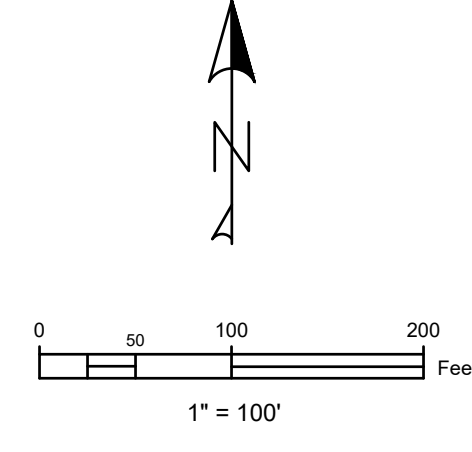
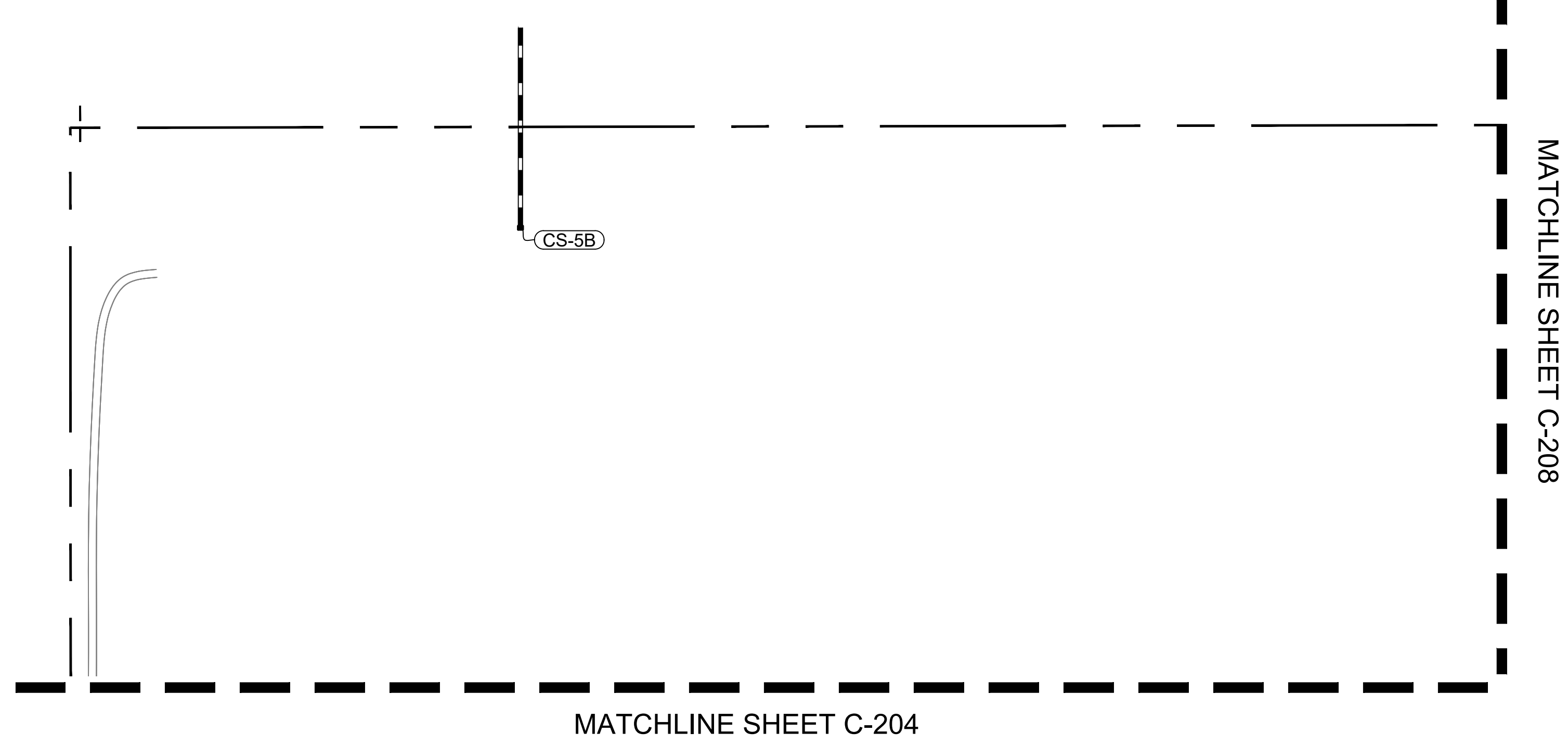
APPROVED BY
JWM

SCALE:
SEE SHEET

ISSUE	DATE	COMMENTS



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KEY MAP
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CITY OF FORT PIERCE
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PROJ. NO. 22-2180
DATE 2024-05-24
SHEET NO.

C-209

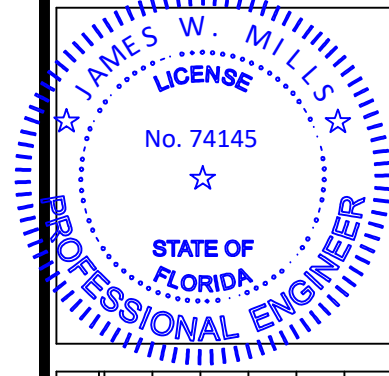
THIS SHEET
CONCEPTUAL DRAINAGE PLAN
DRAWN BY
KKR

CHECKED BY
JWM

APPROVED BY
JWM

SCALE:
SEE SHEET

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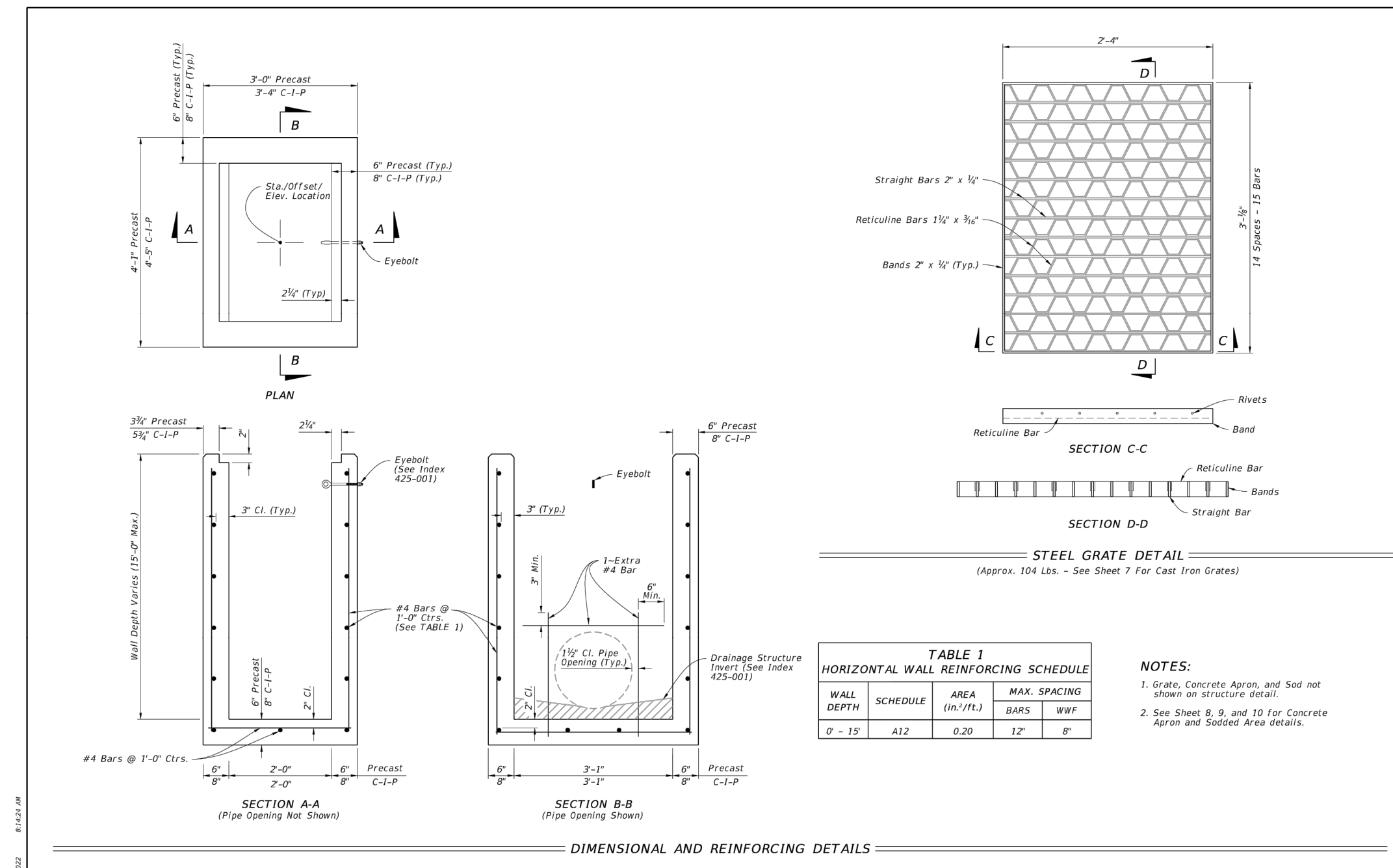
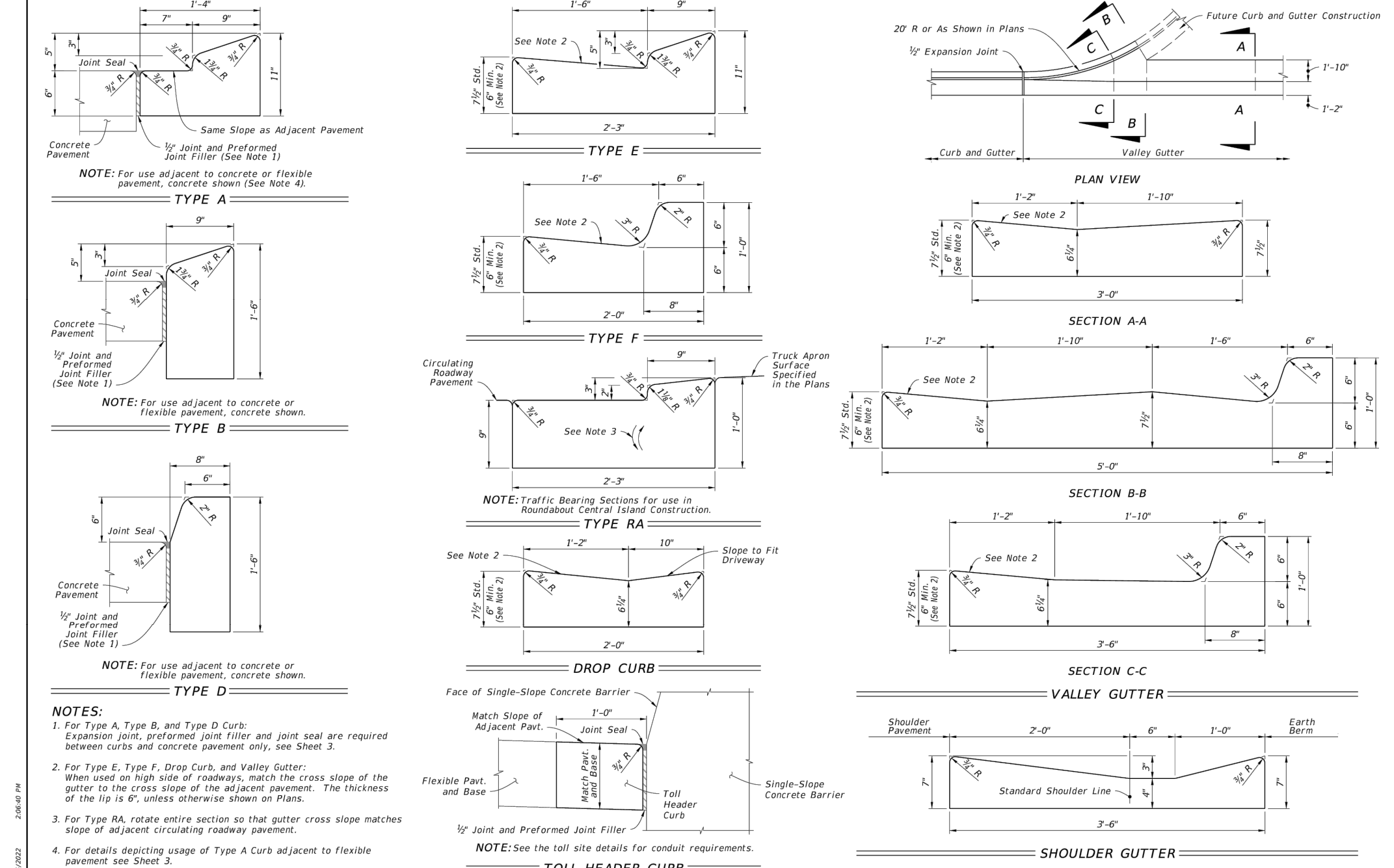


TABLE 1
HORIZONTAL WALL REINFORCING SCHEDULE

WALL DEPTH	SCHEDULE	AREA (in ² /ft)	MAX. SPACING	WALL
0 - 5'	A12	0.20	12"	8"
5 - 9'	A6	0.20	6"	5"
9 - 12'	A4	0.24	4"	3"
9 - 15'	B5.3	0.24	5/8"	3"

NOTES:
1. Grate, Concrete Apron, and Sill not shown on structures detail.
2. See Sheet 8, 9, and 10 for Concrete Apron and Sill/soil Area details.

TYPE C - DIMENSIONAL, REINFORCING, AND STEEL GRATE DETAILS
DITCH BOTTOM INLET TYPES C, D, E, AND H
INDEX: 425-052
SHEET: 2 of 14



CONCRETE CURB AND GUTTER
INDEX: 520-001
SHEET: 2 of 3

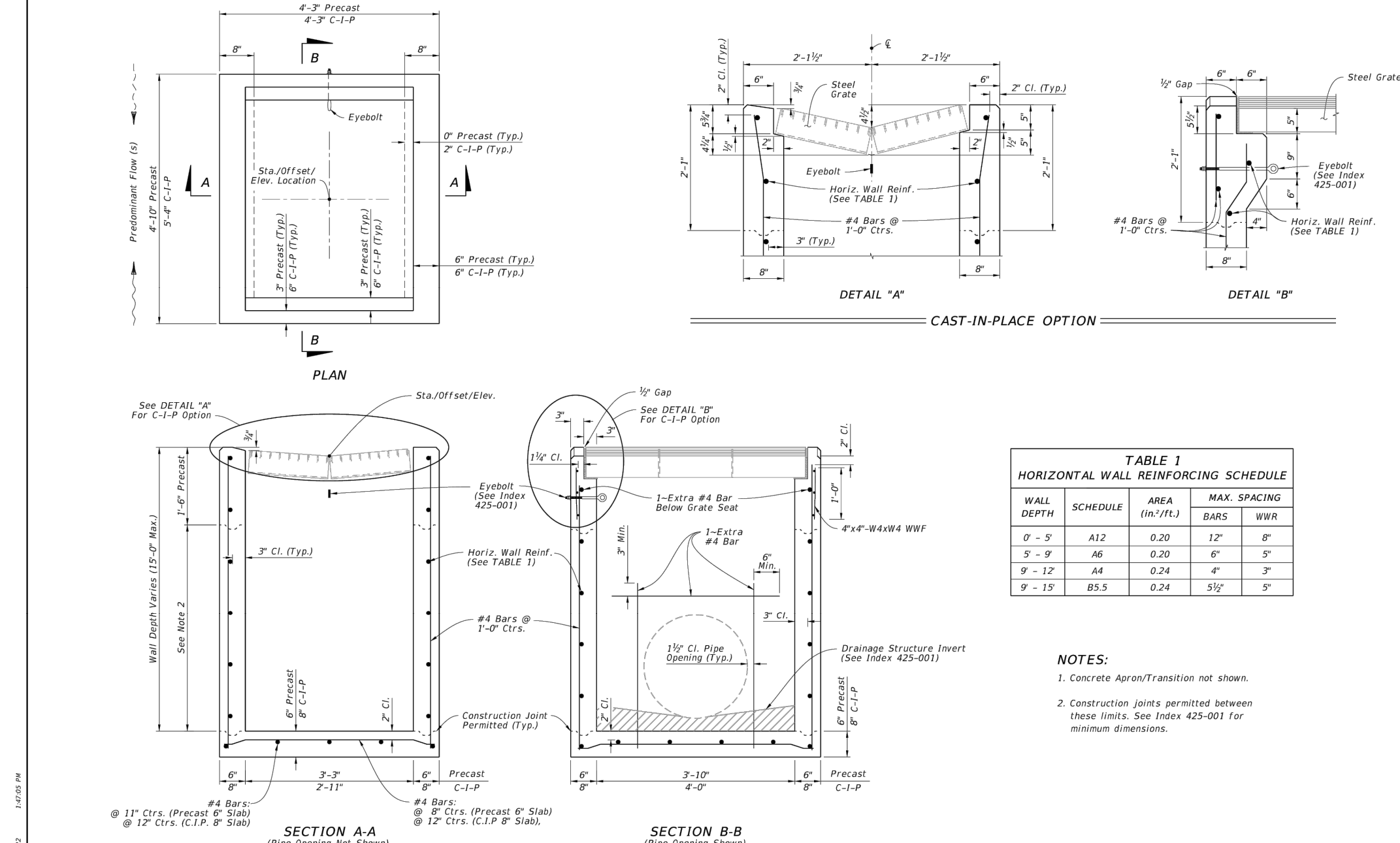
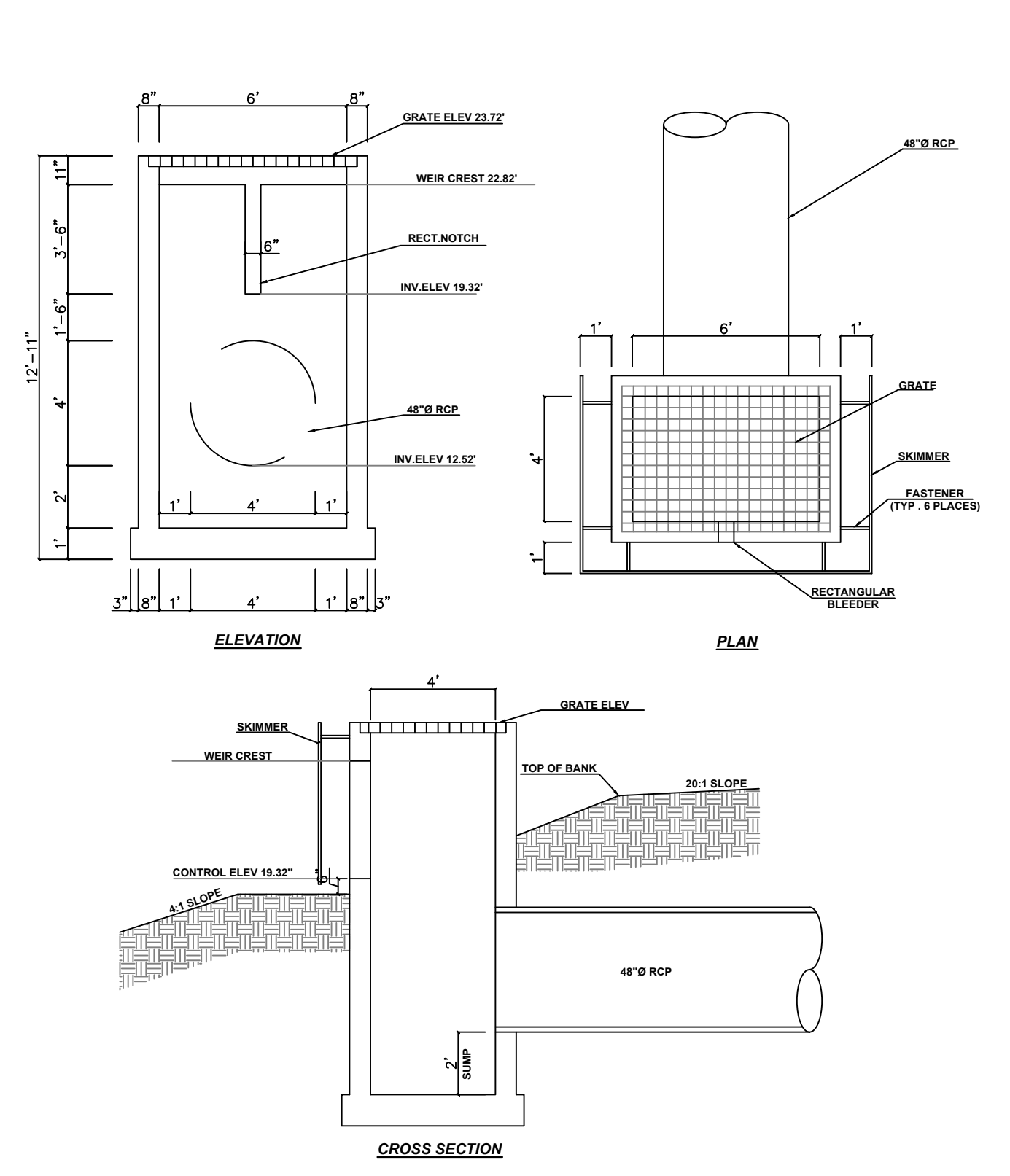


TABLE 1
HORIZONTAL WALL REINFORCING SCHEDULE

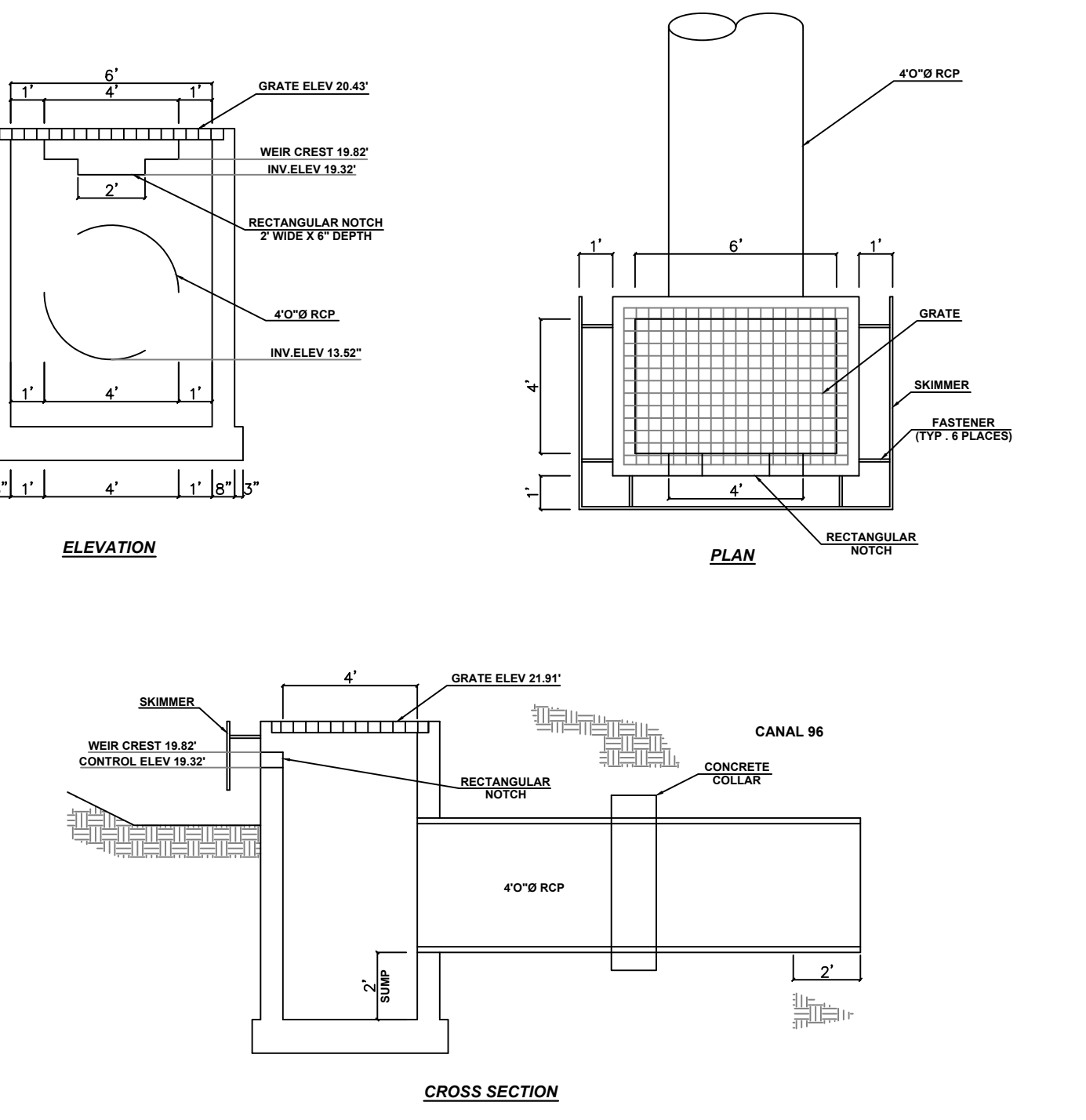
WALL DEPTH	SCHEDULE	AREA (in ² /ft)	MAX. SPACING	WALL
0 - 5'	A12	0.20	12"	8"
5 - 9'	A6	0.20	6"	5"
9 - 12'	A4	0.24	4"	3"
9 - 15'	B5.3	0.24	5/8"	3"

NOTES:
1. Concrete Apron/Transition not shown.
2. Construction joints permitted between these limits. See Index 425-001 for minimum dimensions.

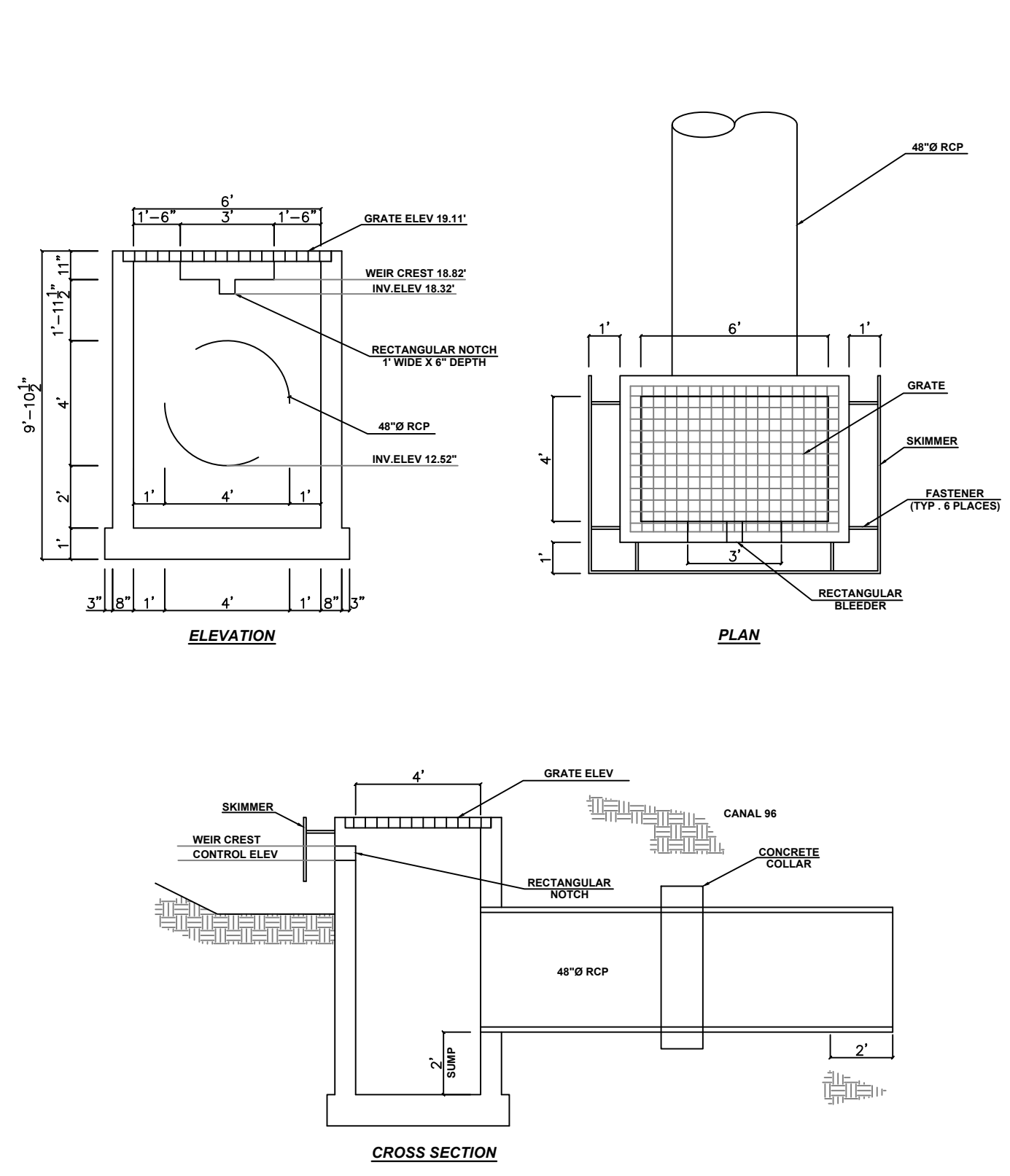
GUTTER INLET TYPE S
INDEX: 425-040
SHEET: 2 of 5



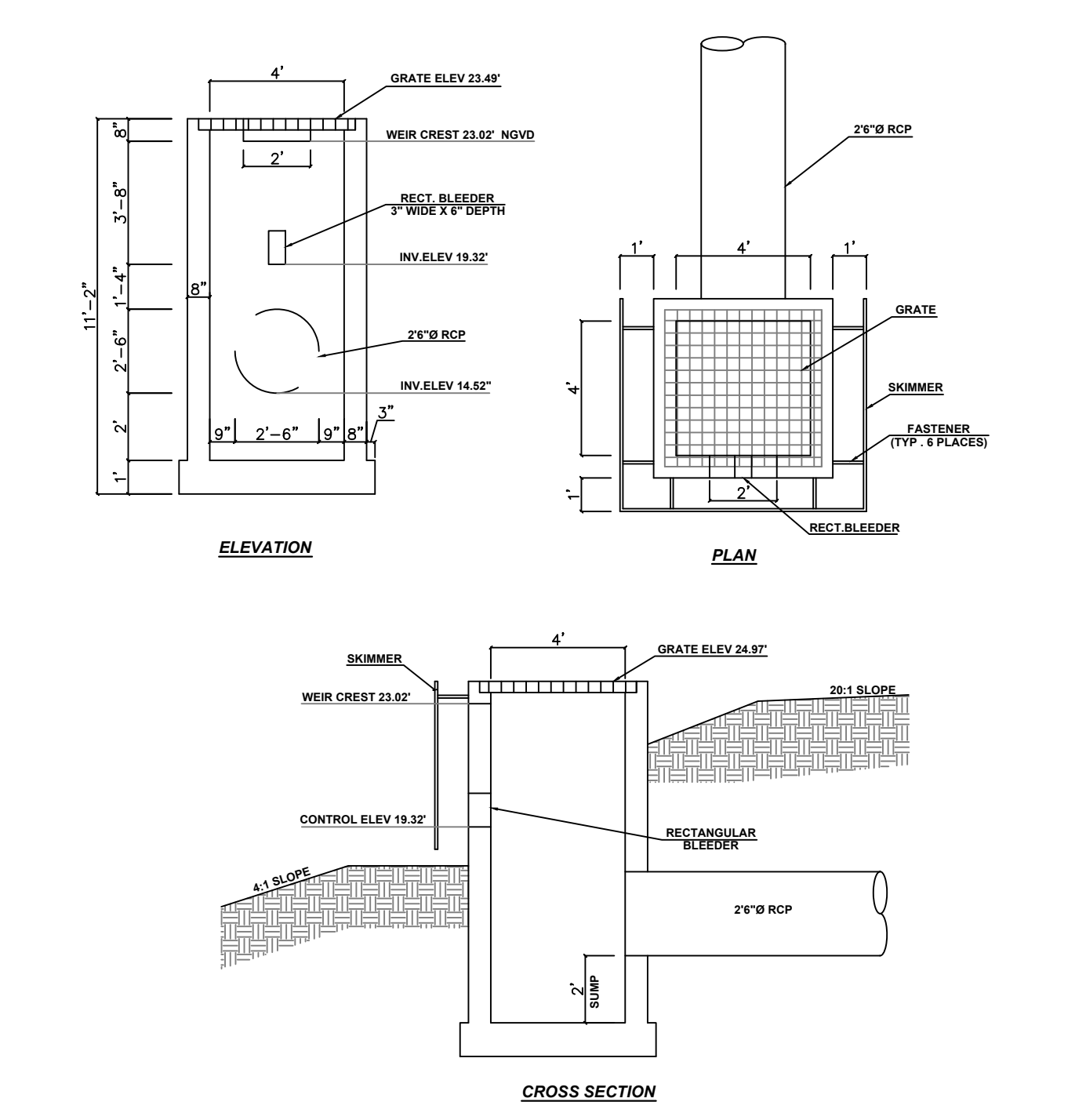
CONTROL STRUCTURE #1



CONTROL STRUCTURE #5A- 3 Ea.

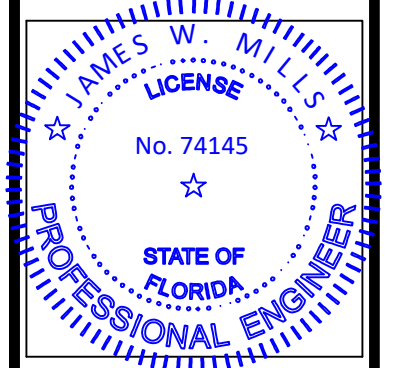


CONTROL STRUCTURE #5B



CONTROL STRUCTURE #6

Mills, Short & Associates
WEBSITE: www.MillsShortAssociates.com
PHONE: 772.226.7282
700 22nd Place, Suite 2C2D
Vero Beach, Florida 32960
C.A. # 30699



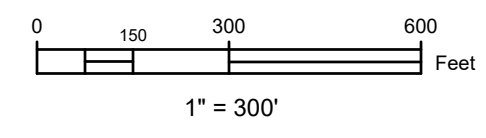
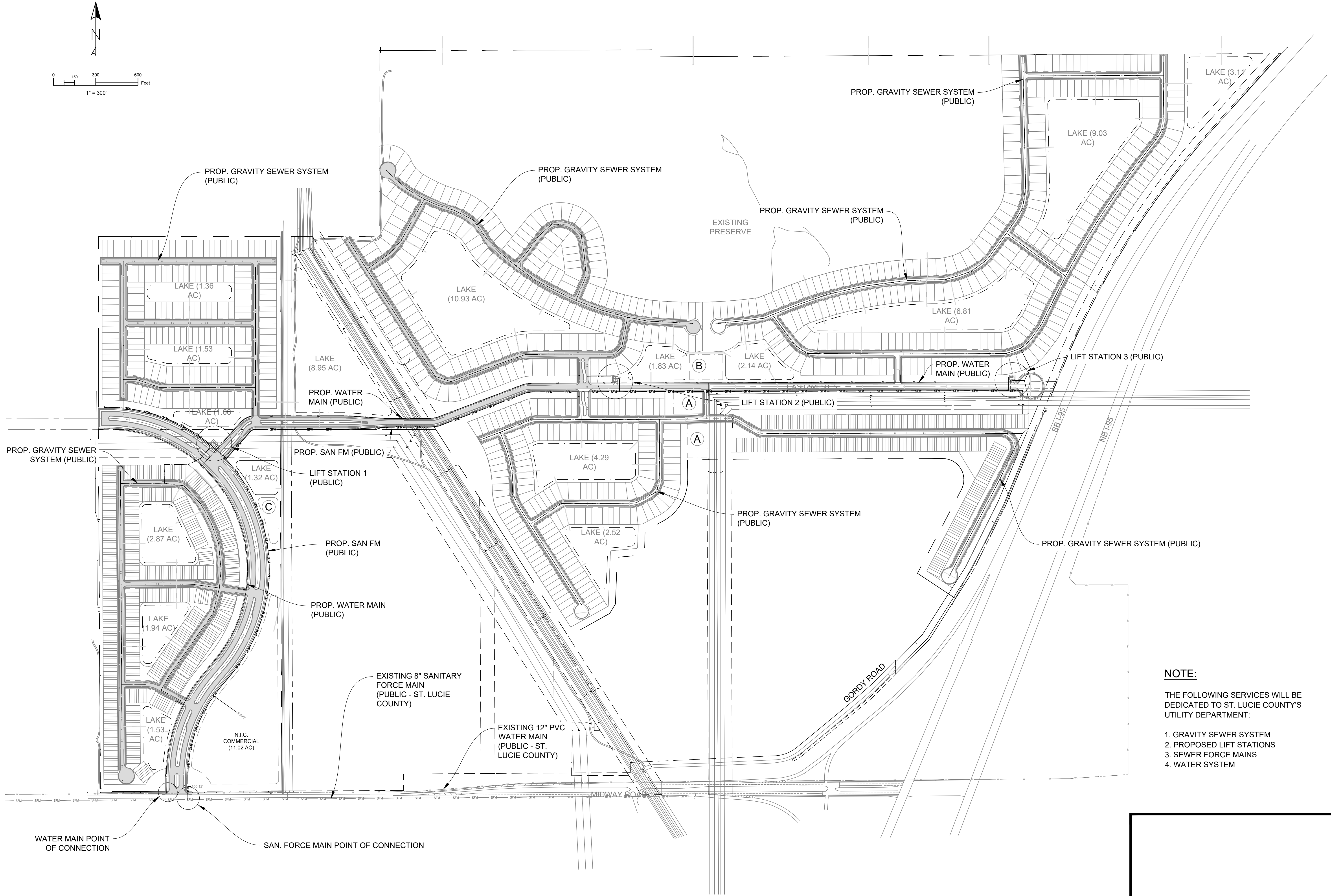
ISSUE	DATE	COMMENTS

APPROVED BY: JWM
CHECKED BY: JWM
SCALE: SEE SHEET

SUNRISE RESIDENTIAL
CITY OF FORT PIERCE
ST. LUCIE COUNTY, FL
DRAWN BY: KKR
APPROVED BY: JWM
CHECKED BY: JWM

PROJ. NO: 22-2180
DATE: 2024-05-24
SHEET NO:

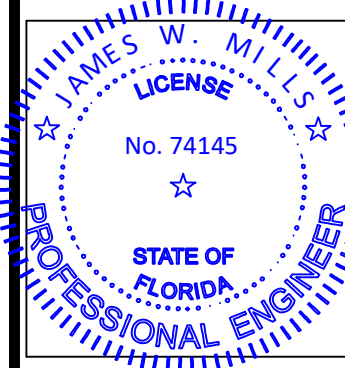
C-210



NOTE:
 THE FOLLOWING SERVICES WILL BE DEDICATED TO ST. LUCIE COUNTY'S UTILITY DEPARTMENT:

1. GRAVITY SEWER SYSTEM
2. PROPOSED LIFT STATIONS
3. SEWER FORCE MAINS
4. WATER SYSTEM

Mills, Short & Associates
 WEBSITE: www.MillsShortAssociates.com
 PHONE: 772.226.7282
 C.A. # 30699
 700 22nd Place, Suite 2C2D
 Vero Beach, Florida 32960

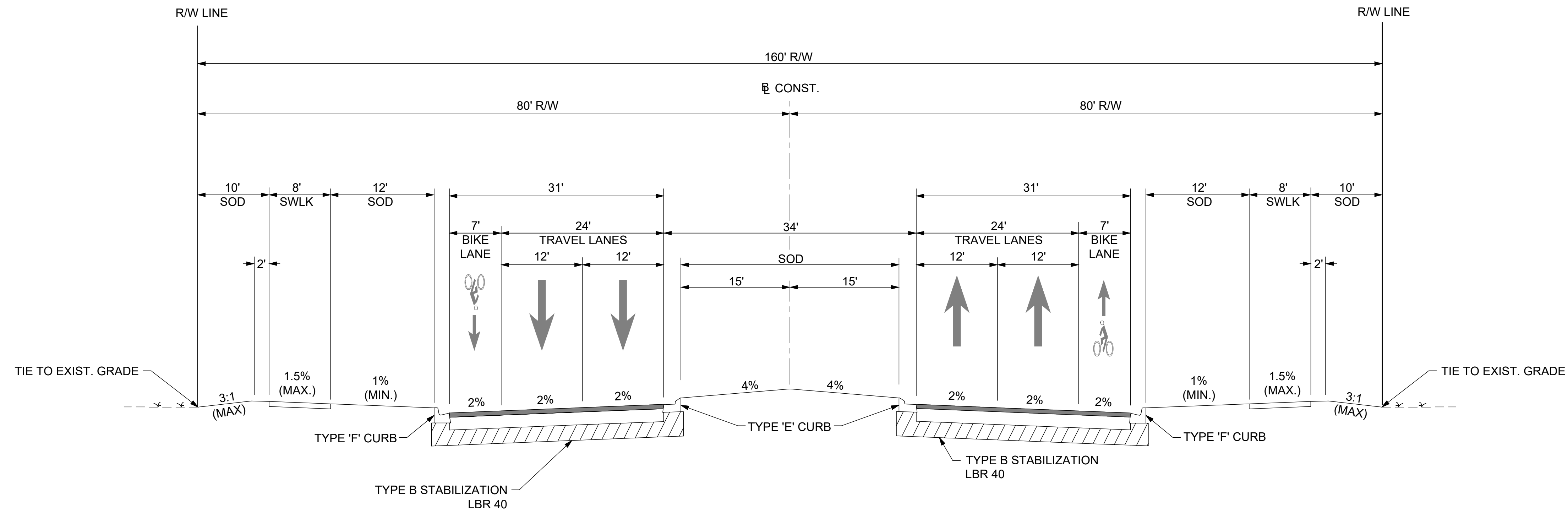


ISSUE	DATE	COMMENTS

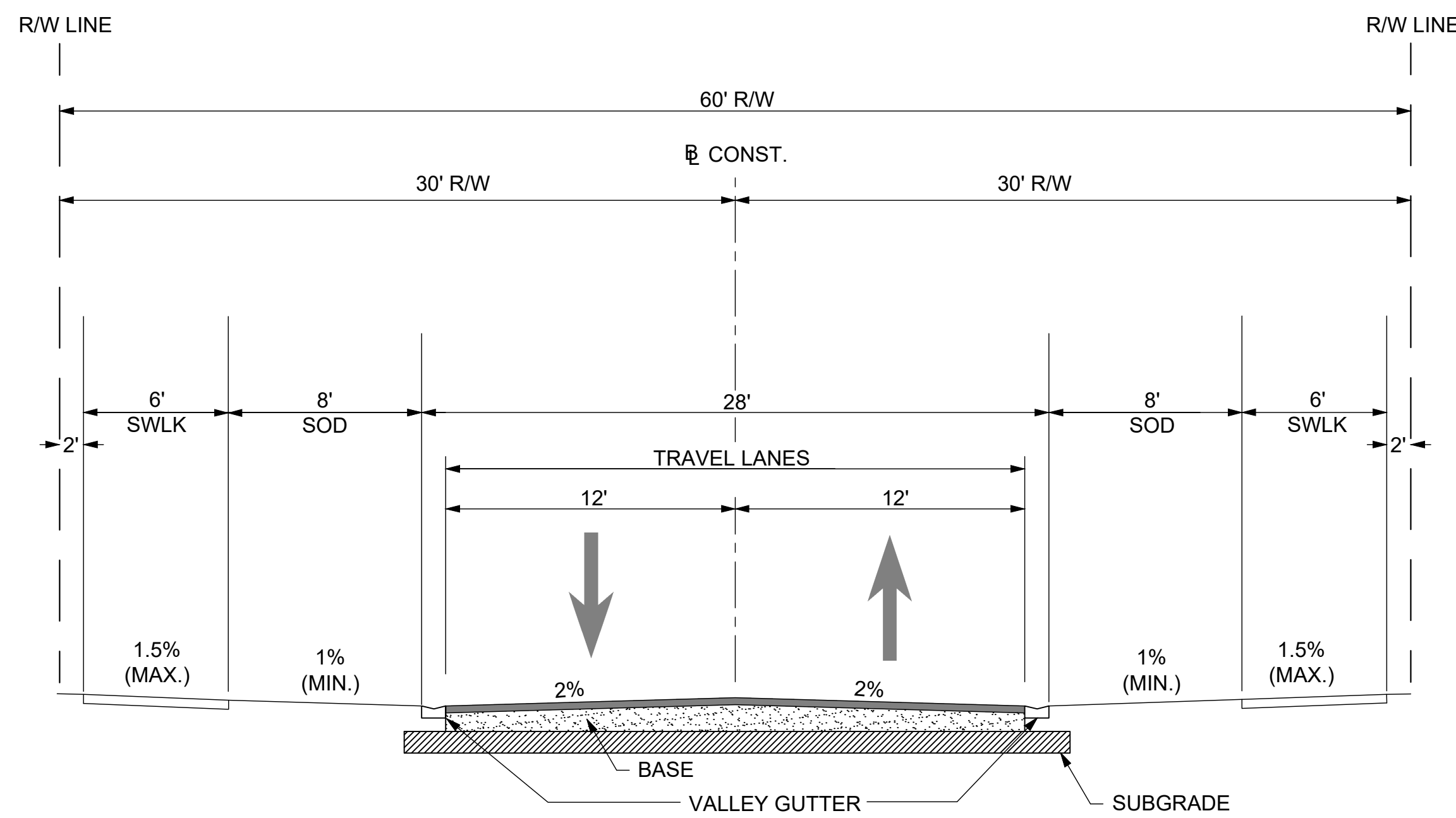
SUNRISE RESIDENTIAL
 CITY OF FORT PIERCE
 ST. LUCIE COUNTY, FL
 THIS SHEET
OVERALL CONCEPTUAL UTILITY PLAN
 DRAWN BY: KKR
 CHECKED BY: JWM
 APPROVED BY: JWM
 SCALE: SEE SHEET

PROJ. NO. 22-2180
 DATE 2024-05-24
 SHEET NO.

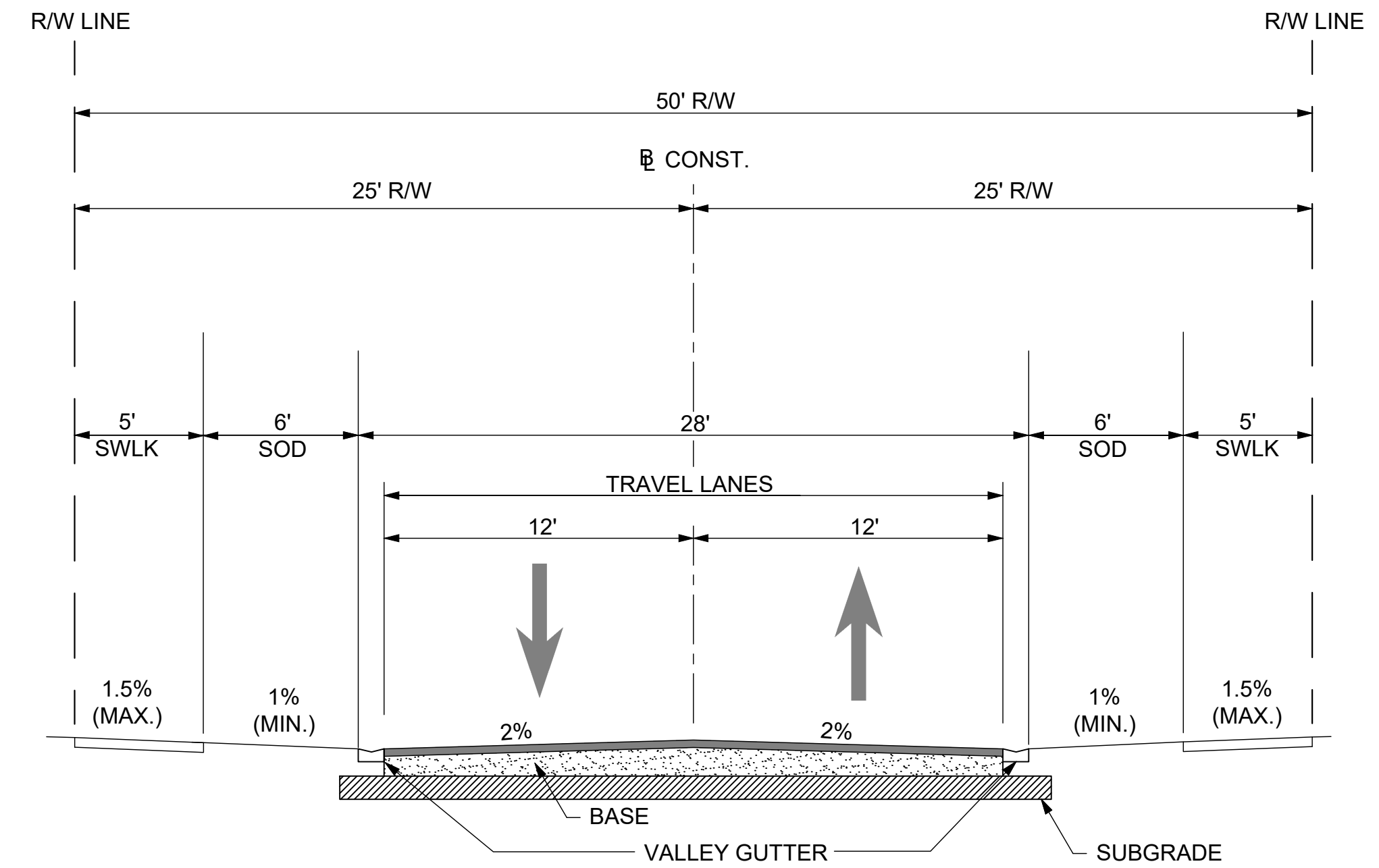
C-300



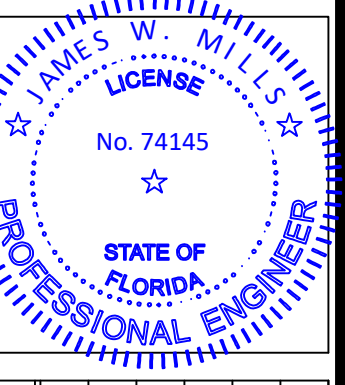
ARTERIAL ROAD "A" TYPICAL SECTION
N.T.S.



LOCAL ROAD, 60' R/W TYPICAL SECTION
N.T.S.



LOCAL ROAD, 50' R/W TYPICAL SECTION
N.T.S.



ISSUE	DATE	COMMENTS

APPROVED BY	JWM
CHECKED BY	JWM
DRAWN BY	KKR
SCALE:	SEE SHEET

SUNRISE RESIDENTIAL
 CITY OF FORT PIERCE
 ST. LUCIE COUNTY, FL
 THIS SHEET
 TYPICAL ROADWAY SECTIONS

PROJ. NO. 22-2180
 DATE 2024-05-24
 SHEET NO.

C-400