

Prepared by and return to:

Kelli Ann  
Liberty Title Company of America  
1800 Southeast Port Saint Lucie Boulevard  
Port St. Lucie, FL 34952  
(772) 335-7474  
File No SL-22-758

Parcel Identification No 3403-502-0015-000/5

[Space Above This Line For Recording Data]

## WARRANTY DEED

(STATUTORY FORM - SECTION 689.02, F.S.)

This indenture made the 4th day of April, 2024 between Hoffman Family Limited Partnership, a Pennsylvania Partnership, whose post office address is 2446 Route 940, Pocono Summit, PA 18346, of the County of Monroe, Commonwealth of Pennsylvania, Grantor, to Weatherbee RD Ventures LLC, a Florida Limited Liability Company, whose post office address is 2100 Southeast Ocean Boulevard, 100, Stuart, FL 34996, of the County of Martin, State of Florida, Grantee:

Witnesseth, that said Grantor, for and in consideration of the sum of TEN DOLLARS (U.S.\$10.00) and other good and valuable considerations to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said Grantee, and Grantee's heirs and assigns forever, the following described land, situate, lying and being in St. Lucie, Florida, to-wit:

The West Seven Acres of Lot 6, of the Subdivision of White City, in Section 3, Township 36 South, Range 40 East, as per Plat of said Subdivision on file in Plat Book 1, Page 23, of the Public Records of St. Lucie County, Florida, excepting therefrom all rights of ways for drainage canals and public roads.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

Subject to taxes for 2023 and subsequent years, not yet due and payable; covenants, restrictions, easements, reservations and limitations of record, if any.

TO HAVE AND TO HOLD the same in fee simple forever.

And Grantor hereby covenant with the Grantee that the Grantor is lawfully seized of said land in fee simple, that Grantor have good right and lawful authority to sell and convey said land and that the Grantor hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever.

In Witness Whereof, Grantor have hereunto set Grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Hoffman Family Limited Partnership, a Pennsylvania Partnership

By: [Signature]  
Randy P. Hoffman, General Partner

By: [Signature]  
Robin L. Shea, General Partner

[Signature]  
WITNESS  
PRINT NAME: JOHN BOTKA

[Signature]  
WITNESS  
PRINT NAME: Linda Singer

541 BLACK OAK DR.  
TANNERSVILLE, PA. 18372  
WITNESS 1 ADDRESS

155 Melrose DRIVE  
SCOTTON, PA 18355  
WITNESS 2 ADDRESS

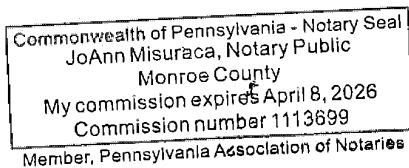
STATE OF Pennsylvania  
COUNTY OF Monroe

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization this 4th day of April, 2024, by Randy P. Hoffman and Robin L. Shea, General Partners of Hoffman Family Limited Partnership.

[Signature]  
Signature of Notary Public  
Print Type/Stamp Name of Notary

Personally Known: \_\_\_\_\_ OR Produced Identification:

Type of Identification Produced: PA. Driver's License





## DESIGN REVIEW

### Property Information

Property address or Location \_\_\_\_\_

Parcel ID #(s) \_\_\_\_\_

Project description \_\_\_\_\_



\_\_\_\_\_  
**Property Owner(s)**

\_\_\_\_\_  
**Applicant/Representative, Title, Company**

\_\_\_\_\_  
 Street Address

\_\_\_\_\_  
 Street Address

\_\_\_\_\_  
 City State Zip

\_\_\_\_\_  
 City State Zip

\_\_\_\_\_  
 Phone Number

\_\_\_\_\_  
 Phone Number

\_\_\_\_\_  
 Email Address

\_\_\_\_\_  
 Email Address

**Property Owner(s) Acknowledgements:** - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

\_\_\_\_\_  
 Property Owner(s) Signature(s)

**APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS**  
 CALL 772.467.3737 OR E-MAIL [PLANNING\\_DL@CITYOFFORTPIERCE.COM](mailto:PLANNING_DL@CITYOFFORTPIERCE.COM)  
 For more information, please refer to the website:  
<https://www.cityoffortpiece.com/971/Application-Submittal-for-Technical-Rev>

## **Design Review Application Checklist** **(City Code of Ordinances 125-314)**

### **Submittal for Administrative Approval**

- a. A survey (1" = 30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of section 123-66, location of bordering streets and, if applicable, wetlands and beaches.
- b. A site analysis study to include a discussion of specimen trees and other natural vegetation, access, significant topography, wetlands, buffers, setbacks, views, orientation, the surrounding built environment, and other site features that may influence design elements.
- c. A draft written narrative describing the design intent of the project, its goals, and objectives and how it reflects the site analysis study results.
- d. Context photographs of neighboring uses and architectural styles.
- e. Photographs and/or drawings of architectural buildings or objects that serve as a precedent for the proposed building design. Models should be taken from local exemplary buildings, either existing or demolished. Documentation of such buildings is available in the city's planning department.
- f. Photographs of all existing structures located on the property. If existing structures on the property are more than fifty (50) years of age, documentation of these structures with data from the Florida Master Site File form is also required.
- g. Conceptual site plan (to scale) showing proposed location of all buildings, structures, parking areas, signs and landscaping.
- h. Landscape plan, at the same scale as the site plan. The planning director or designee may request enlarged plans of detailed planting areas. Planting schedule with sizes of proposed plantings must be included.
- i. Accurate color rendering of proposed signs showing dimensions, type of lettering, materials and actual color samples that demonstrates cohesiveness with the project design.
- j. Exterior elevations showing architectural character, external architectural features, and streetscape of the proposed development, including materials, colors, shadow lines and landscaping. The street elevation shall encompass the entire proposed project and generally identify the major elements of the adjacent two (2) properties on either side of the site. If the adjacent properties are vacant or underutilized, a diagram shall be provided that identifies the mass and form that is allowable under current zoning. If the street elevation must be drawn at such a scale as to render architectural details of the building unreadable, drawings of individual buildings at a larger scale should be provided as well.
- k. Design review concurrent with conceptual development plan procedure according to subsection 125-313 is also available.

### **Submittal for Board Approval**

- a. A written narrative describing how the project conforms to administrative approval and design review guidelines of this section.
- b. A final site plan meeting the requirements of section 125-313.
- c. A final site lighting plan that meets the requirements of subsection 125-313(d)(8).
- d. A final landscape plan that meets the requirements of articles II and III of chapter 123.
- e. Final floor plans and elevation drawings (1/8" = 1'-0" minimum scale), as detailed under administrative approval, showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- f. A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.



## CONCURRENCY CAPACITY ANALYSIS

### I. Site Data:

	Existing Use	Future Land Use	Zoning
North			
South			
East			
West			

	Future Land Use	Zoning Classification	Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage	Total Acreage	Flood Zone
Current					
**Proposed					N/A

### II. Public Facilities Information:

A. Potable Water:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.125 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day
**Proposed Zoning/FLU	Total gallons per day
**Change in Demand	Total gallons per day

<b>B. Wastewater:</b>	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.1 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day
**Proposed Zoning/FLU	Total gallons per day
**Change in Demand	Total gallons per day

<b>C. Parks and Recreation (Residential Classifications Only):</b> (Du x 2.6 = persons + 44,227 = population /LOS)				
Park Type	LOS	Existing Population Park Demand	Proposed Population Park Demand	Change in Demand
Regional	20 acres per 1,000 people			
Urban District	5 acres per 1,000 people			
Community	2.5 acres per 1,000 people			
Neighborhood	1.36 acres per 1,000 people			

<b>D. Public Schools (Residential Classifications Only):</b> Single Family: (du x 0.405 = students/70% K-8/30% High) Multi-family: (du x 0.207 = students/70% K-8/30% High)		
	<b>K-8</b>	<b>High</b>
School Name		
City		
Distance		
Current Zoning/FLU	Enrollment	
**Proposed Zoning/FLU	Enrollment	
**Change in Demand		

<b>E. Solid Waste: Residential</b> (2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units)	
Demand Analysis	Maximum
Current Zoning/FLU	
**Proposed Zoning/FLU	
*Change in Demand	

**F. Stormwater:**  
Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year – 1 day storm event)



NON-RESIDENTIAL DATA					
Type(s) specify	Phase	Square footage	Acres	Expecting beginning date	Expected completion date

A. Indicate whether the proposed project will be eliminating any existing recreational facilities. If yes, detail the number and type being eliminated.  Yes  No

- B. 1. Does this application involve demolition or re-use of any structure(s)?  Yes  No  
 If yes, what is the size of the structure(s) to be demolished or re-used? \_\_\_\_\_
2. What is the current use of the structure to be demolished or re-used? \_\_\_\_\_
3. Are you claiming trip credits for the demolition or re-use of a structure(s) at the site?  Yes  No  
 If yes, provide estimates of credits for each previous use at the site. (Attach sheet with calculations)

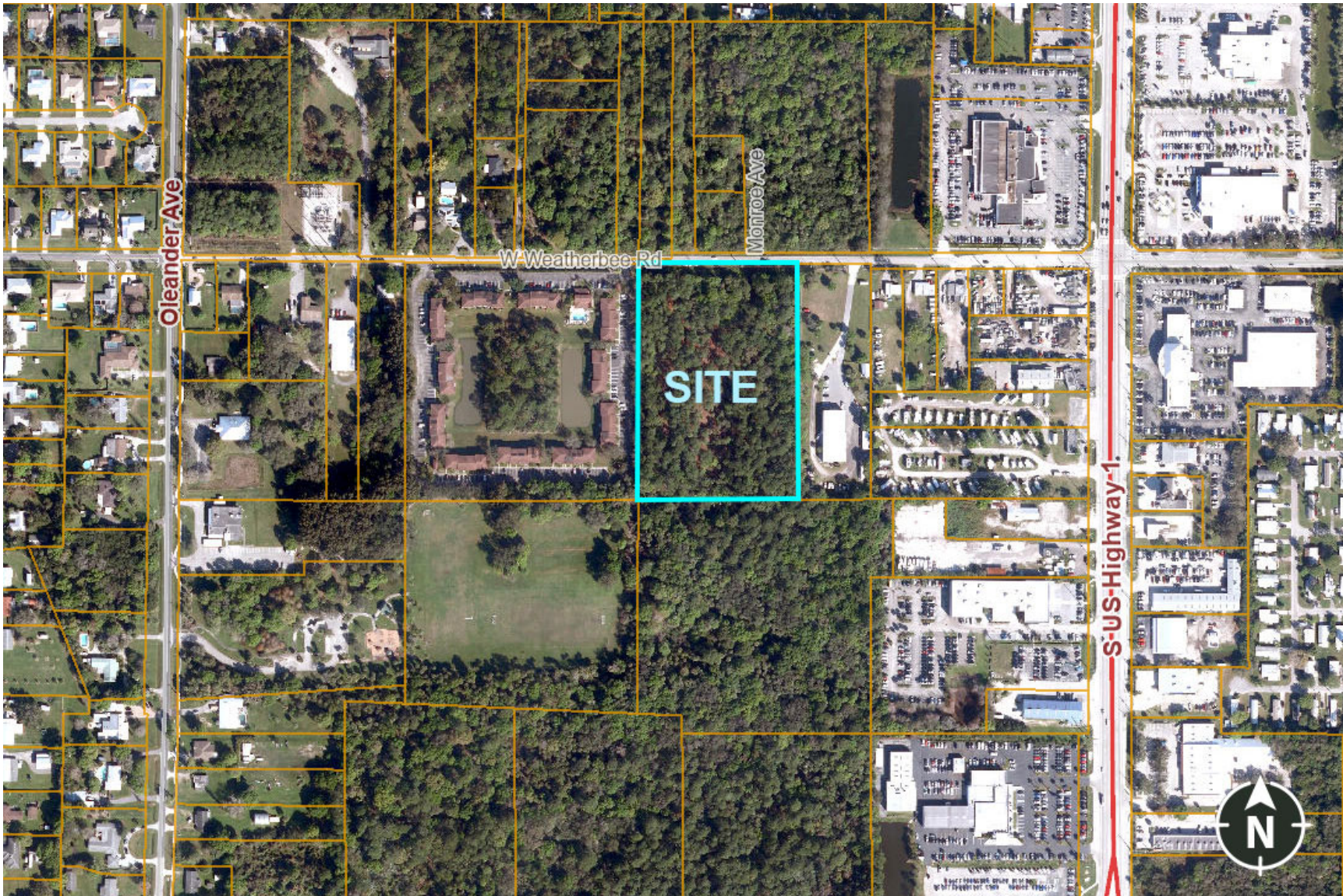
C. Exemptions Requested:

\*\* Complete section if requesting a change in zoning, future land use, or expanding



**Redtail DG**  
100 S. 2nd Street  
Fort Pierce, Florida 34950  
(772) 742 1555  
redtaildg.com  
[todm@redtaildg.com](mailto:todm@redtaildg.com)

## GENERAL LOCATION



# **NARRATIVE**

## **WEATHERBEE ROAD TOWNHOMES** Major Site Plan September 2024

To:  
Planning Department  
Fort Pierce

Prepared by:



**Redtail DG**  
100 S. 2nd Street



Dear Planning Department,

We are pleased to present the proposed development for a major site plan application on a 6.79-acre parcel located in Fort Pierce, on Weatherbee Road, west of US1. The development will consist of 78 thoughtfully designed townhomes, ranging from 6 to 10 units per building, tailored to offer an exceptional living experience. The plan meticulously incorporates urban design principles and sustainability practices to enhance both the aesthetic appeal and functionality of the site.

### **Site Design and Planning**

The development is strategically positioned to harmonize with the existing urban fabric, mirroring the design characteristics observed in the eastern part of the site. This approach ensures continuity and coherence in the urban landscape, enhancing the overall visual and spatial quality of the area.

To address the city's requirements, a portion of the original parcel has been dedicated to the street right-of-way, facilitating improved connectivity and accessibility. This allocation aligns with the city's vision for efficient transportation infrastructure and supports the development's integration into the broader urban network.

### **Environmental and Aesthetic Enhancements**

Stormwater management is a key feature of this development. We have incorporated two dry retention ponds and a central wet pond, which will serve as both a functional and aesthetic focal point. The wet pond will be enhanced with a decorative fountain, adding a visual centerpiece that enriches the site's ambiance and contributes to the overall beautification of the community.

The innovative replacement of the existing historical ditch system with advanced bioswales demonstrates our commitment to environmental stewardship and water quality improvement. These bioswales are designed to effectively manage stormwater runoff while integrating seamlessly into the landscape, thereby supporting the city's sustainability goals.

### **Landscaping and Density Bonuses**

In line with our dedication to enhancing the site's ecological and visual attributes, we have planned an excess of 10% landscaping beyond the city's requirements. This commitment to extensive landscaping not only creates inviting green spaces but also contributes to the development's overall attractiveness and livability.



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772.742.1555  
www.redtaildg.com  
todm@redtaildg.com

Additionally, the innovative bioswales and exceptional architectural design, along with the strategic building placement and variable setbacks, enable us to qualify for density bonuses as stipulated by city regulations. The proposed density of 11.5 dwelling units per acre, resulting in a total of 78 units, is achieved through the application of these bonuses. Specifically, the excess landscaping facilitates an additional unit per acre, while the bioswales, enhanced architecture, and thoughtful site planning contribute an additional 0.5 dwelling units per acre.

## **Conclusion**

This development, spearheaded by the esteemed international builder DR Horton, represents a significant enhancement to the Fort Pierce community. It is designed to offer high-quality rental housing that integrates seamlessly with its surroundings while advancing environmental sustainability. The combination of advanced stormwater management systems, extensive landscaping, and innovative design solutions underscores our commitment to creating a vibrant, livable, and aesthetically pleasing community.

We believe this development will not only meet but exceed the expectations of the city and its residents, contributing positively to the quality of living and urban character of Fort Pierce. We respectfully request approval of the major site plan application to bring this vision to fruition.

Sincerely,

Peterka Vlada  
Redtail DG







**Saint Lucie County  
Property Appraiser  
Michelle Franklin CFA**

Report generated: Wednesday, September 11, 2024

**Parcel Report**



**Parcel**

**PARCELNO:** 3403-502-0015-000-5

**Property ID:** 38931

**Owner1:** Weatherbee RD Ventures LLC

**SiteAddress:** WEATHERBEE RD

**Owner**

**Owner1:** Weatherbee RD Ventures LLC

**Owner2:**

**Owner3:**

**MailingAddress:** 2100 SE Ocean BLVD, Unit Ste 100 Stuart, FL 34996-3332

**Overview**

**PrimaryLandUse:** 0000 - Vac Residential

**DistrictGroup:** 0022 - Fort Pierce

**Subdivision:** White City Subdivision

**Just/Market Value:** \$780,000

**FinishedArea:**

**Acres:** 7

**TotalArea:** 304,920

**Legal Description**

**LegalDescription:** WHITE CITY S/D 03 36 40 W 7 ACRES OF LOT 6 (MAP 34/03N) (7.00 AC)

**Value History**

Year	Just/Market Value	Building Value	Land Value	SFYI Value	Assessed Value	Exemption Amount	County Taxable	Save Our Home OR 10% Cap Differential	Ag Credit
2024	\$780,000	\$0	\$780,000	\$0	\$223,608	\$0	\$223,608	\$556,392	\$0
2023	\$780,000	\$0	\$780,000	\$0	\$203,280	\$0	\$203,280	\$576,720	\$0
2022	\$600,000	\$0	\$600,000	\$0	\$184,800	\$0	\$184,800	\$415,200	\$0
2021	\$168,000	\$0	\$168,000	\$0	\$168,000	\$0	\$168,000	\$0	\$0

**Tax Links**

[SLC Tax Collector's Office taxes for this parcel](#)

[Download TRIM notice for this parcel](#)

**Special Assessments**

Description	Start Year	Units	Amount
Fort Pierce Stormwater Charge	2023	11.2	772.8
North St. Lucie Water Management District	2013	7	168

## Improvements

Building Sequence: 1

Bedrooms: 0

Bathrooms: 0

Building Type: -

Story Height:

No of Living Units:

Total Finished Area: 0

Gross Sketched Area: 0

Year Built:

Effective Year:

Primary Roof Cover:

Primary Roof Structure:

Primary Wall:

A/C %: 0

## Sales History

Sale Date	Sale Price	Sale Code	Deed Type	Grantor	Book Page	View Document
04/04/2024	\$850,000	0001	DEED-WD	Hoffman Family Limited Prtnshp	5131-766	<a href="#">Clerk of Courts</a>
11/27/2001	\$100	XX01	DEED	Hoffman Lois	1459-2703	<a href="#">Clerk of Courts</a>
12/31/1899	\$0				-	<a href="#">Clerk of Courts</a>

## Photos



## Land Lines

Line Number	Units	Unit Type
1	7	Acre



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Fort Pierce, Florida 34950  
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[todm@redtaildg.com](mailto:todm@redtaildg.com)

## JUSTIFICATION STATEMENTS

In accordance with the Code of Ordinances, Section 125-243, we are submitting the following statements:

The development, which will be constructed by DR Horton, calls for the construction of ten townhouse buildings with 78 rental dwelling units for families. Each townhouse features a 12-foot driveway, a single garage, three bedrooms and two bathrooms. The planned bioswales will enhance the water quality, and extra care was taken to maintain the historical perimeter ditches. Furthermore, the proposal calls for 10% more landscape, a fountain to serve as a focal point, and the placement of the buildings to complement the eastward development and "break" the continuous façade. This produces sections of wider and narrower street profiles, enhancing the development's dynamics and aesthetics.

All of the improvements described above allow for a request for the density bonuses which we would like to kindly request. The zoning itself allows for a maximum of 10 dwelling units per acre per the code section 125-194 (a) , the improved landscaping allows for 1 additional unit per acre as per the code section 125-243 (e)(1), the placement of buildings that results in the variation of building setbacks allows for an additional 0.5 dwelling units per acres as per the code section 125-243 (e )(2). This permits 11.5 residential units per acre, which is equivalent to the 11.49 residential units per acre that is being suggested (78 residential units on 6.79 acres).. In addition to this, the architectural harmony which DR Horton provides, along with the varied use of building sizes could potentially add 0.5 dwelling units per acre.

Considering all of the above, we would kindly request the density bonuses that will allow for 78 townhomes to be developed on the site.

Looking forward to collaborating with the staff on the project,  
Sincerely,

**Vlada Peterka**  
Senior Project Manager  
Redtail DG





FOR OFF-RIDGE VENT CALCULATIONS  
SEE SHEET A5



2194 HWY A1A, SUITE 301  
INDIAN HARBOUR BEACH,  
FLORIDA 32937  
PH: 321-802-3591  
www.abdesigngroup.com  
AA #: 0003325

DATE	DESCRIPTION
01/01/24	2023 CODE UPDATE

**D.R. HORTON**  
*America's Builder*  
www.drhorton.com  
CR1327068

MASTER

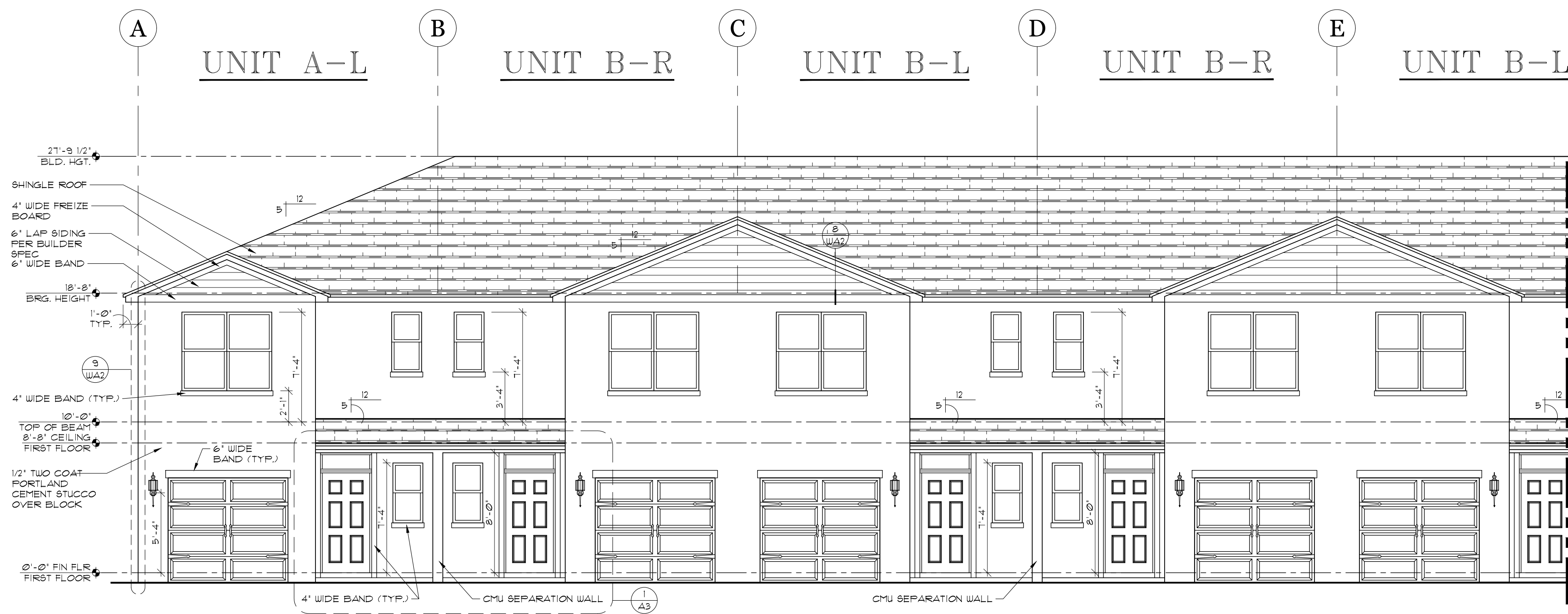
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STAR FARMS  
TOWNHOMES  
8-UNIT  
FRONT ELEVATION  
160 MPH EXP. C

JOB #  
03680.099

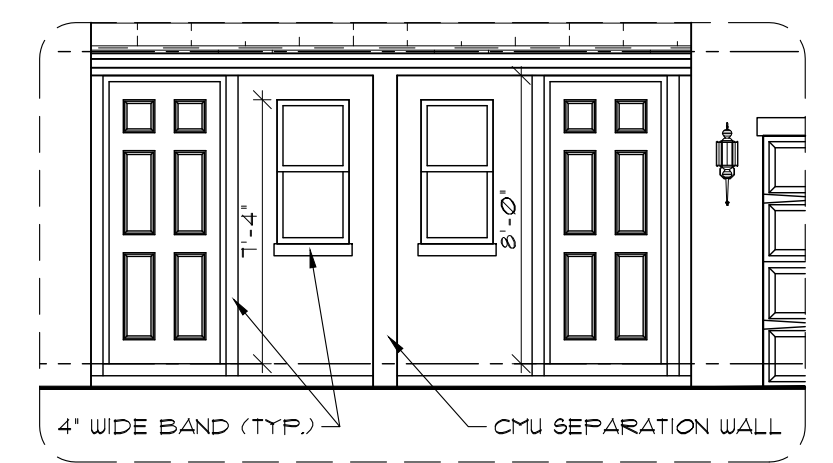
STATE OF FLORIDA

MICHAEL C. ANDERSON  
AR NO 17305

DATE: 01-01-24  
SCALE: AS NOTED  
SHEET NO:  
A3



**FRONT ELEVATION (LEFT)**  
SCALE: 3/16" = 1'-0"



1 OPT. 3080 ENTRY DOOR

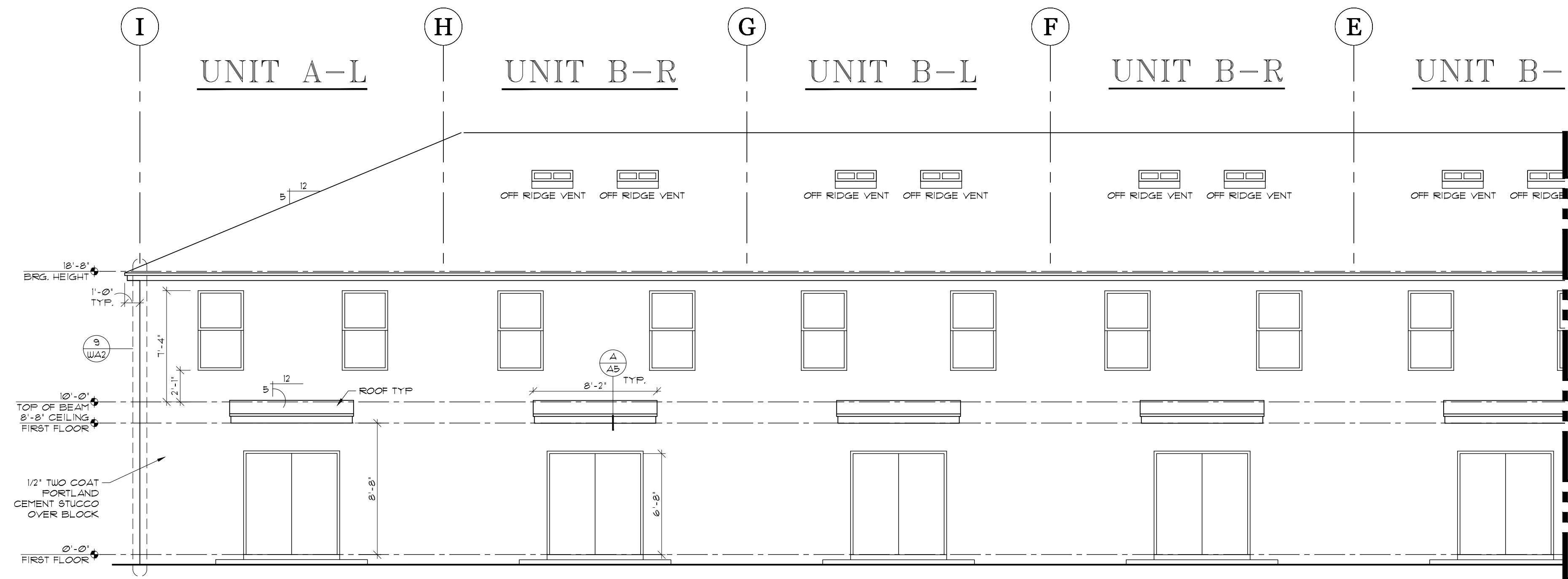


**FRONT ELEVATION (RIGHT)**  
SCALE: 3/16" = 1'-0"

FOR OFF-RIDGE VENT CALCULATIONS  
SEE SHEET A5

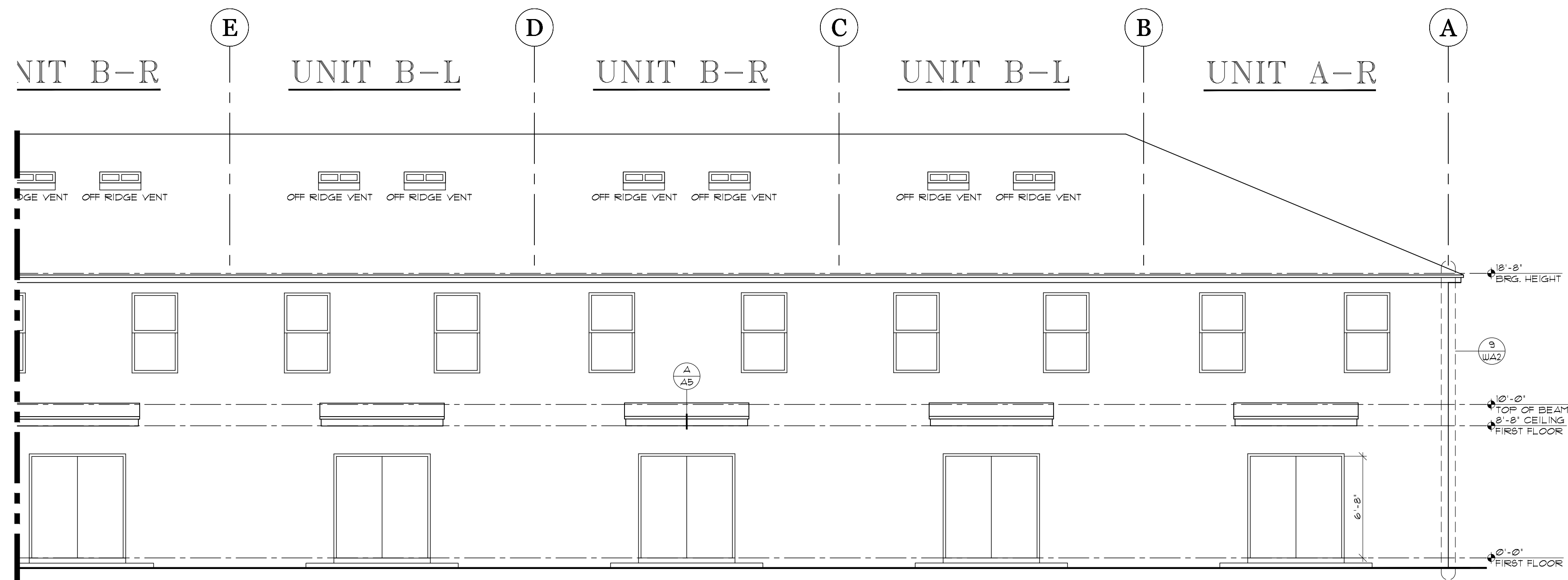


2194 HWY A1A, SUITE 301  
INDIAN HARBOUR BEACH,  
FLORIDA 32937  
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REAR ELEVATION (LEFT)

SCALE: 3/16" = 1'-0"



REAR ELEVATION (RIGHT)

SCALE: 3/16" = 1'-0"

DATE	DESCRIPTION
01/01/24	2023 CODE UPDATE

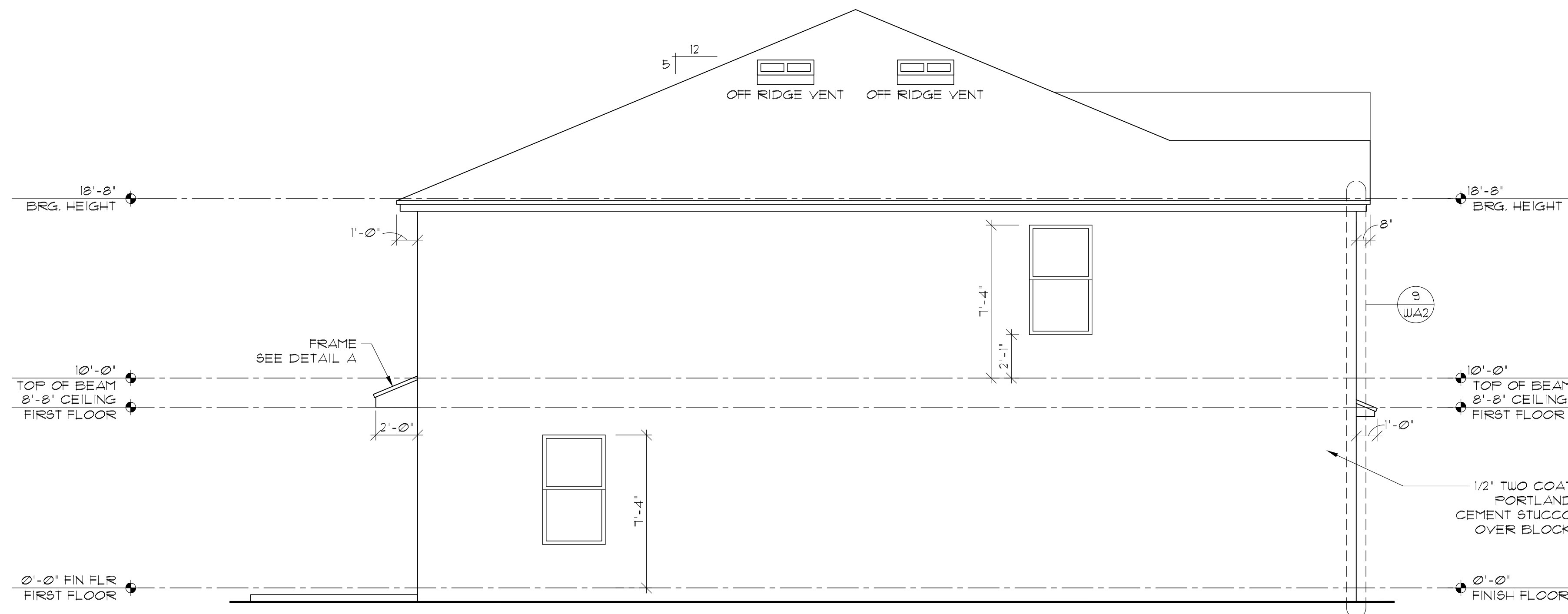
**D.R. HORTON**  
*America's Builder*  
www.drhorton.com  
CR01327008

MASTER

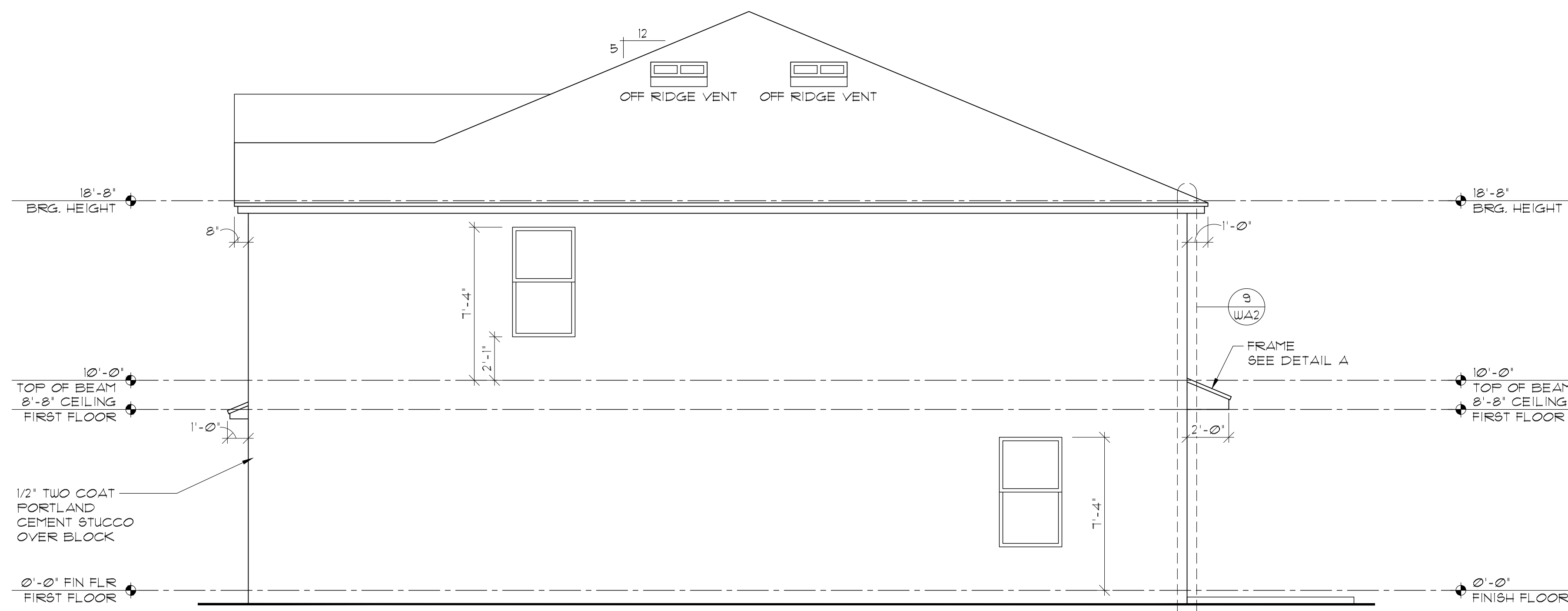
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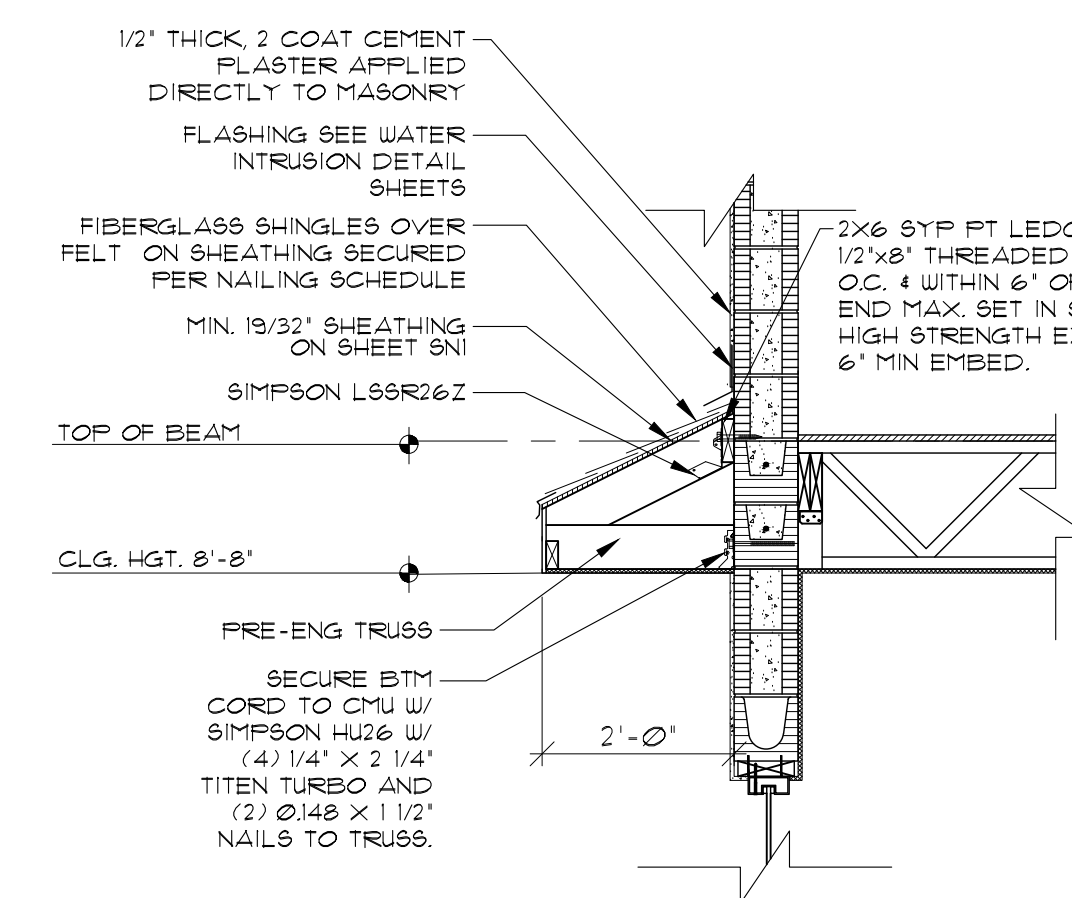
DATE: 01-01-24  
SCALE: AS NOTED  
SHEET NO:  
A4



**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"



**OVERHANG DETAIL @ PATIO DOORS**  
SCALE: 1/2" = 1'-0" 8'-8" CLG. HGT.

OFF RIDGE VENT CALCULATION FOR ATTIC AREA ABOVE DRAFT STOP CONFINES OF UNIT "A"	
AREA OF ATTIC*	960 SQ. FT.
REQUIRED VENTILATION AREA AT 1 PER 300	3.20 SQ. FT.
VENTILATION AREA X SQ. INCHES PER FT. (144)	460.80 SQ. IN.
MAX. ALLOWED VENTILATION IN UPPER PORTION OF ATTIC (50% OF TOTAL REQUIRED VENTILATION AREA)	230.4 SQ. IN.
NUMBER OF LOMANCO 770-DFT VENTS REQUIRED AT 140 SQ. IN. PER VE	2 UNITS
OFF RIDGE VENT CALCULATION FOR ATTIC AREA ABOVE DRAFT STOP CONFINES OF UNIT "B"	
AREA OF ATTIC*	915 SQ. FT.
REQUIRED VENTILATION AREA AT 1 PER 300	3.05 SQ. FT.
VENTILATION AREA X SQ. INCHES PER FT. (144)	439.20 SQ. IN.
MAX. ALLOWED VENTILATION IN UPPER PORTION OF ATTIC (50% OF TOTAL REQUIRED VENTILATION AREA)	219.6 SQ. IN.
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NUMBER OF LOMANCO 770-DFT VENTS REQUIRED AT 140 SQ. IN. PER VE	2 UNITS
*AREA OF ATTIC IS THE PERIMETER OF THE HOUSE, LESS THE OVERHANG (EXTERIOR OF WALL TO EXTERIOR OF WALL, NO OVERHANGS INCLUDED)	
<b>TOTAL NUMBER OF OFF RIDGE VENTS</b>	<b>16</b>



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01/07/24	2023 CODE UPDATE



MASTER

TITLE SHEET  
STAR FARMS TOWNHOMES 8-UNIT  
LEFT AND RIGHT BUILDING ELEVATIONS  
160 MPH EXP. C  
JOB # 03680.099

STATE OF FLORIDA

MICHAEL C. ANDERSON  
AR NO 17305

DATE: 01-01-24

SCALE: AS NOTED  
SHEET NO:  
A5



2194 HWY A1A, SUITE 301  
 INDIAN HARBOUR BEACH,  
 FLORIDA 32937  
 PH: 321-802-3591  
 www.abdesigngroup.com  
 AA #: 0003325

DATE	DESCRIPTION
01/01/24	2023 CODE UPDATE



MASTER

TITLE SHEET  
**STAR FARMS TOWNHOMES 8-UNIT**  
 BUILDING SECTIONS  
 160 MPH EXP. C

JOB # 03680.099

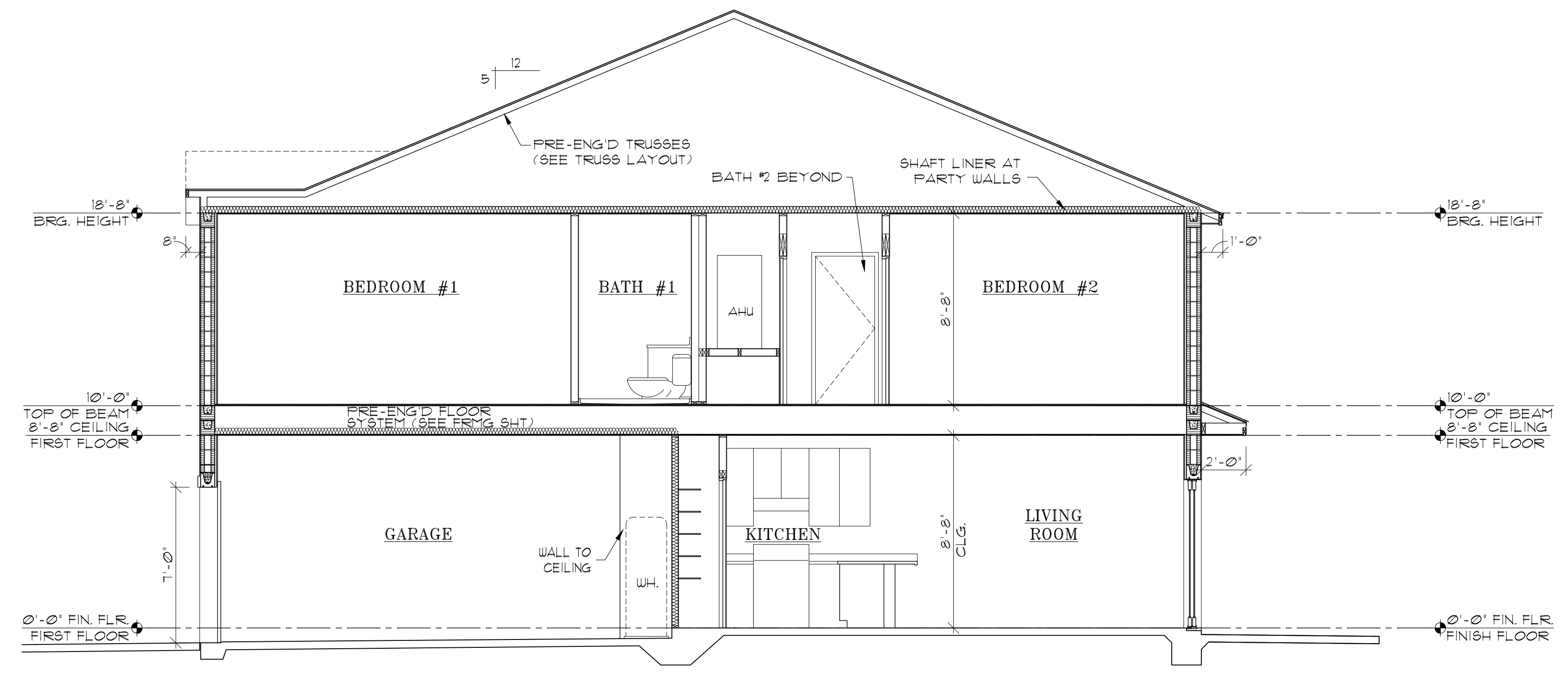
STATE OF FLORIDA

MICHAEL C. ANDERSON  
 AR NO 17305

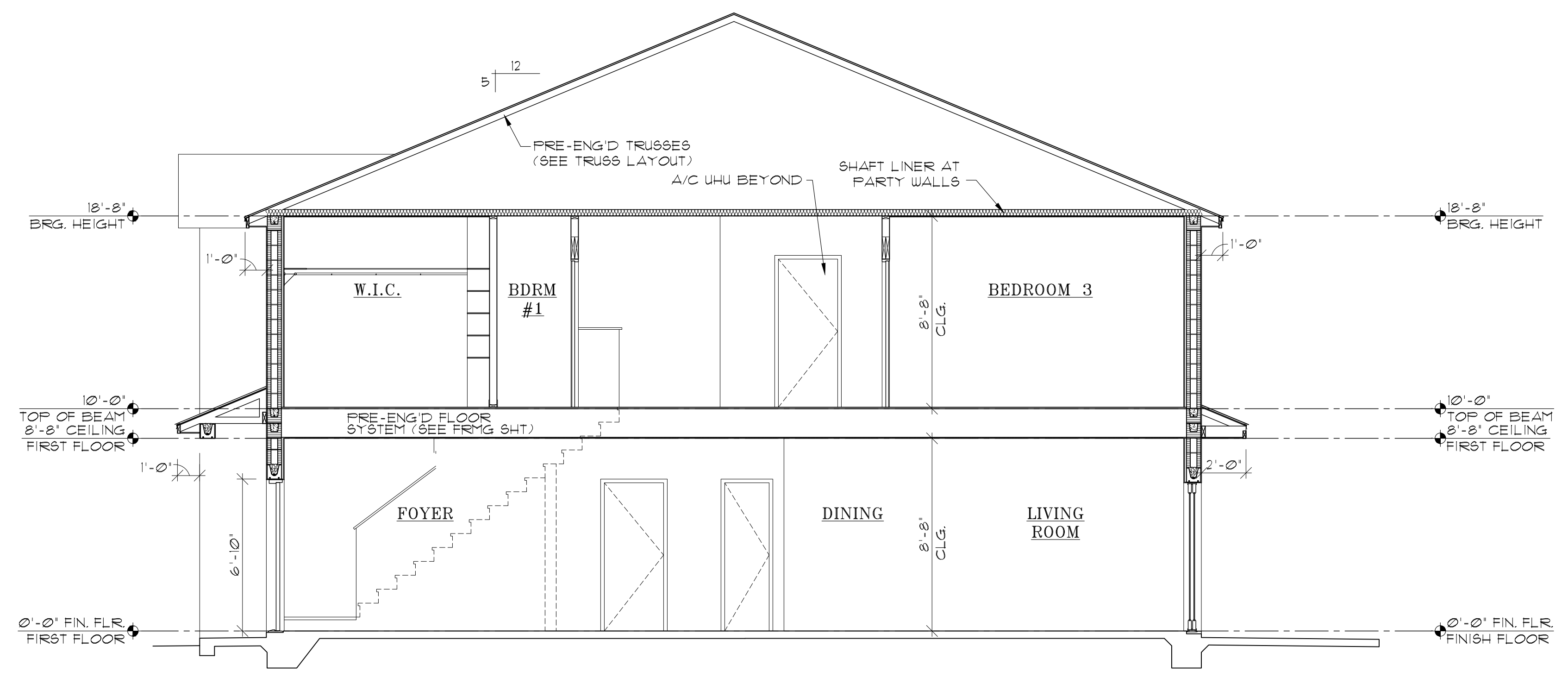
DATE: 01-01-24

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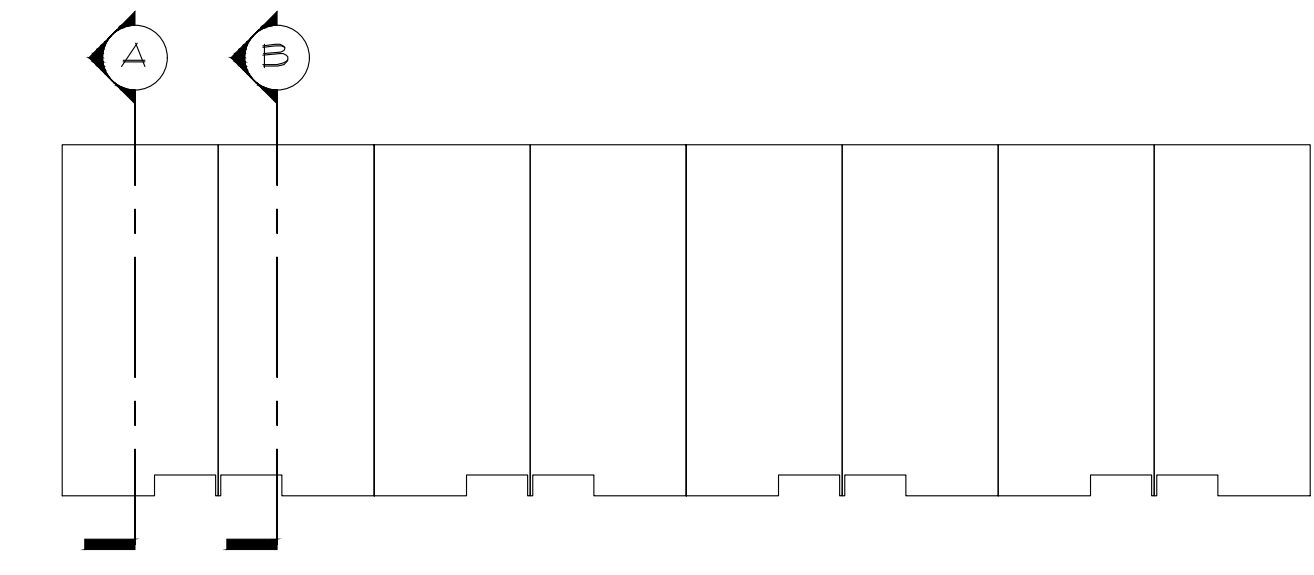
A6



**A BUILDING SECTION**  
 SCALE: 1/4" = 1'-0"



**B BUILDING SECTION**  
 SCALE: 1/4" = 1'-0"



**KEY PLAN**



2194 HWY A1A, SUITE 301  
 INDIAN HARBOUR BEACH,  
 FLORIDA 32937  
 PH: 321-802-3591  
 www.abdesigngroup.com  
 AA #: 0003325

DATE	DESCRIPTION
01/01/24	2023 CODE UPDATE
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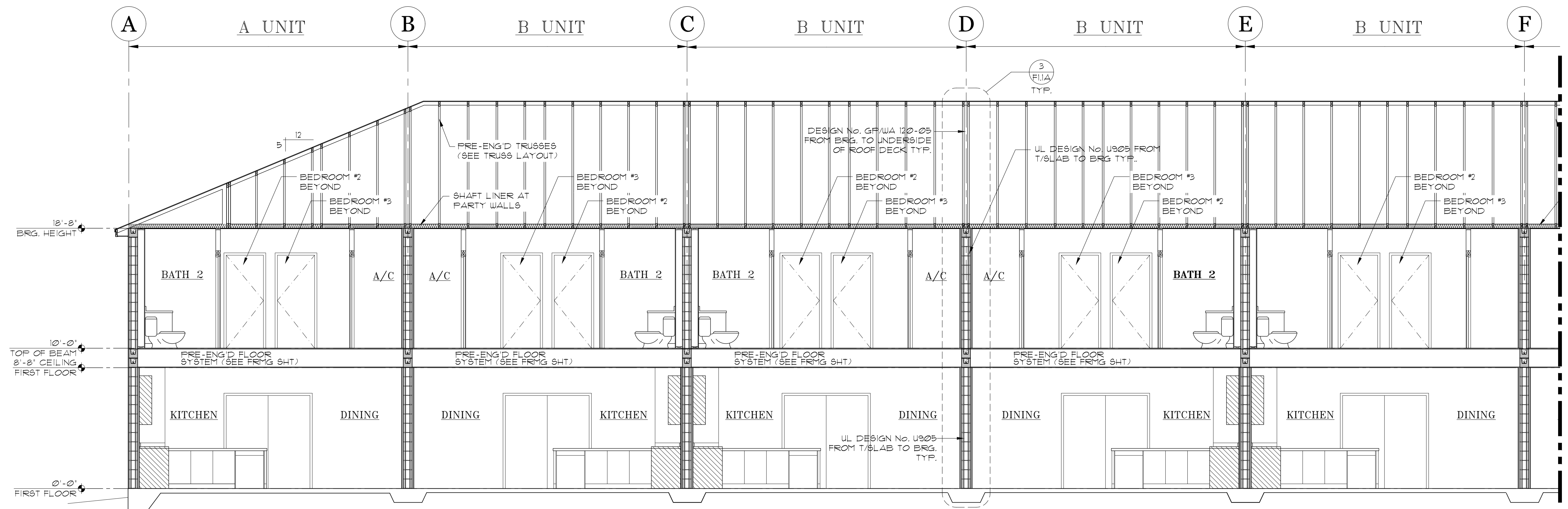


MASTER

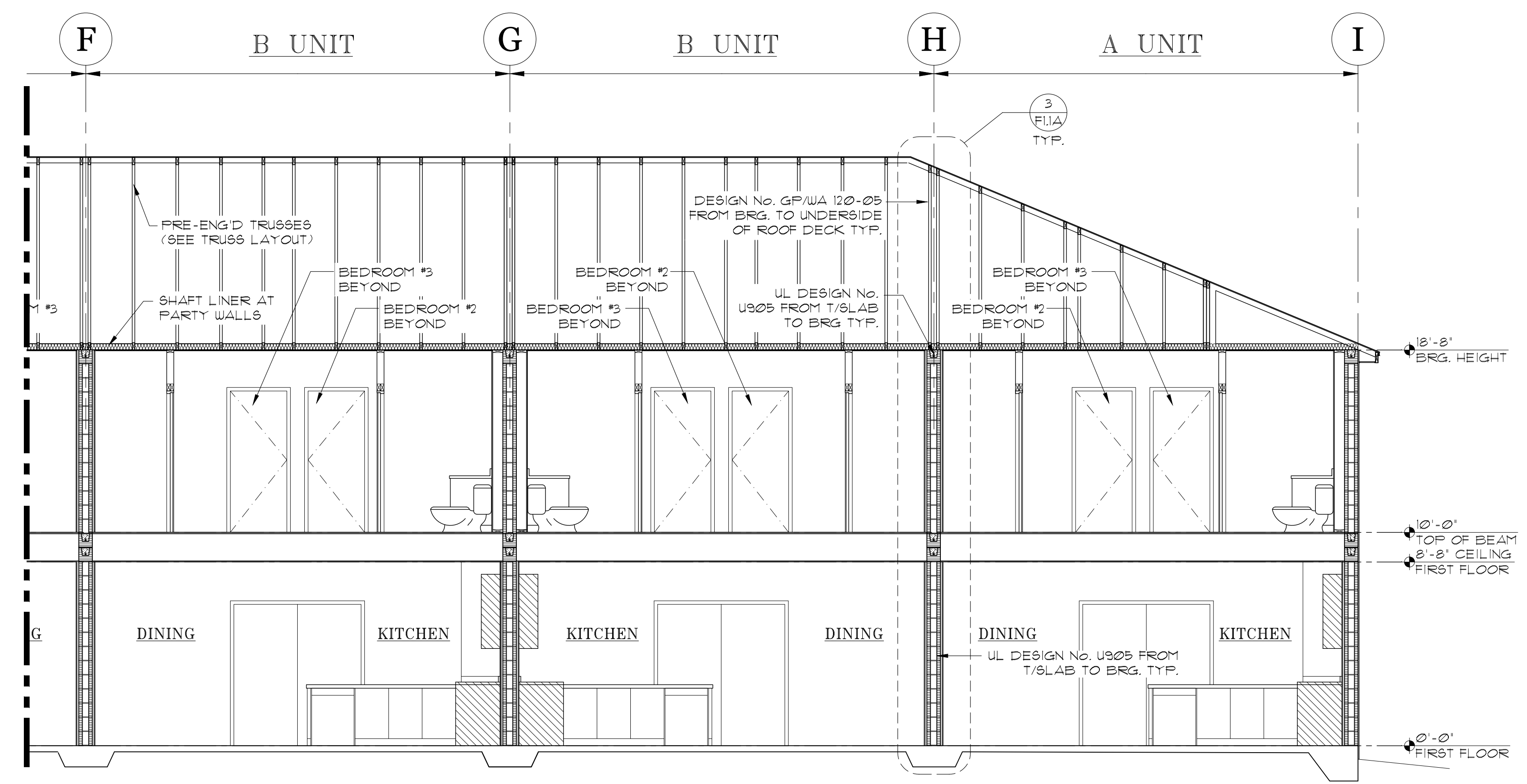
TITLE SHEET  
 STAR FARMS  
 TOWNHOMES  
 8-UNIT  
 BUILDING SECTION  
 160 MPH EXP. C  
 JOB #  
 03680.099

STATE OF FLORIDA  
 MICHAEL C. ANDERSON  
 AR NO 17305

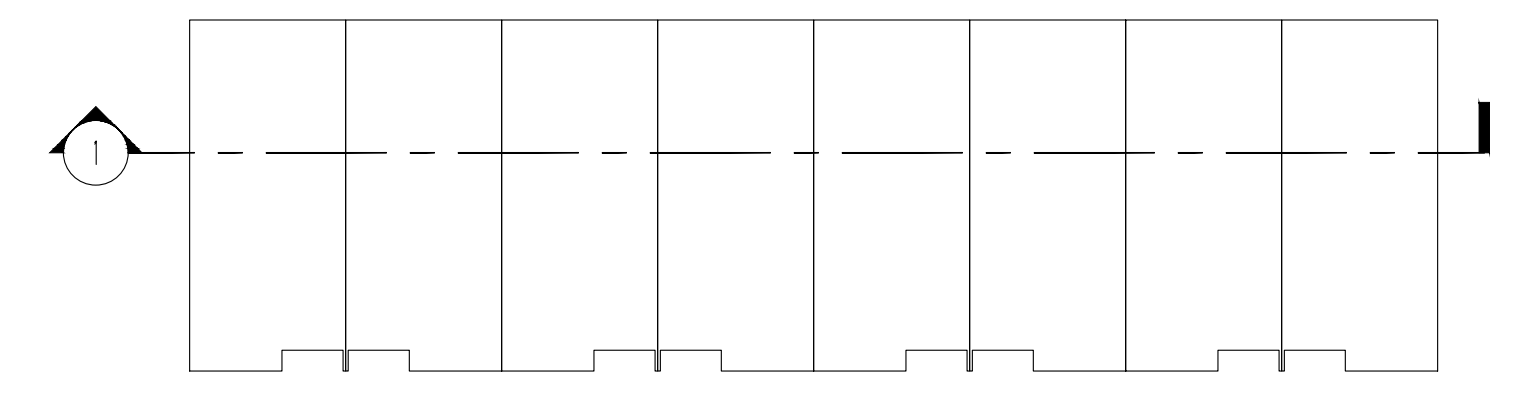
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 SHEET NO:  
 A7



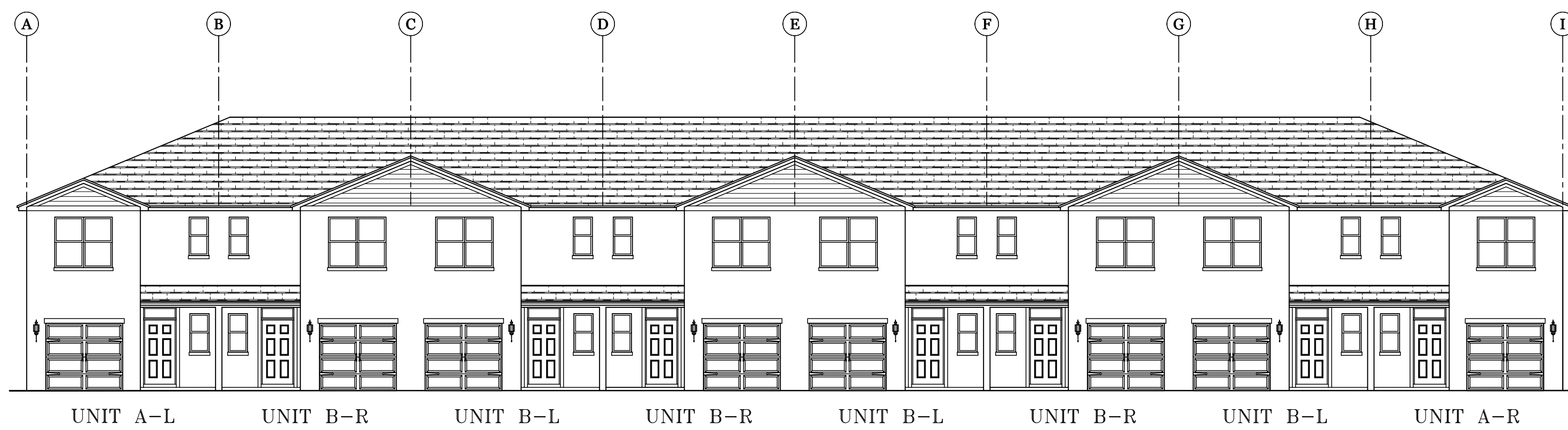
1 BUILDING SECTION (LEFT)  
 SCALE: 1/4" = 1'-0"



1 BUILDING SECTION (RIGHT)  
 SCALE: 1/4" = 1'-0"



KEY PLAN



# THE "PEARSON"

FOR:

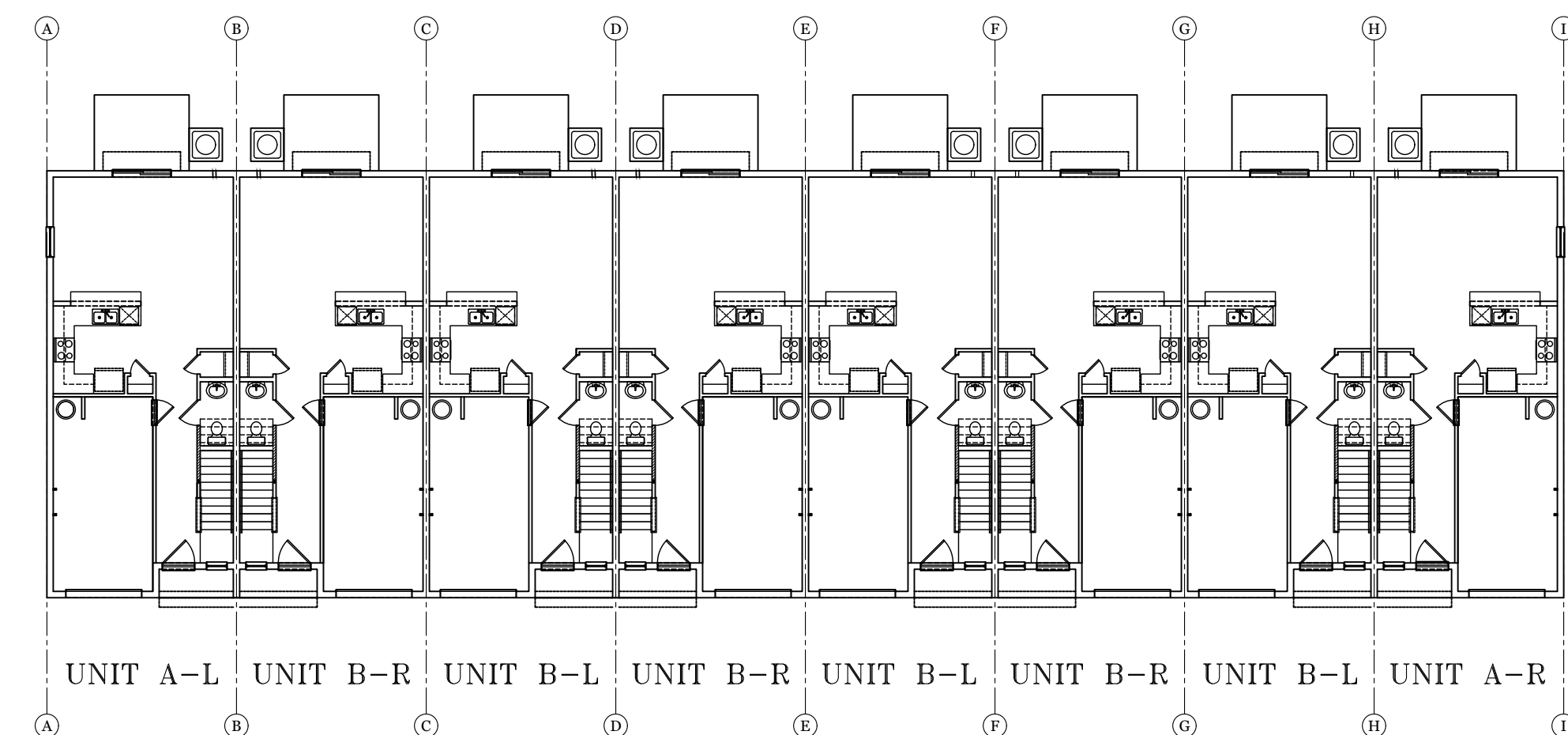


Tel: (407) 966-1960 Fax: (407) 850-5300

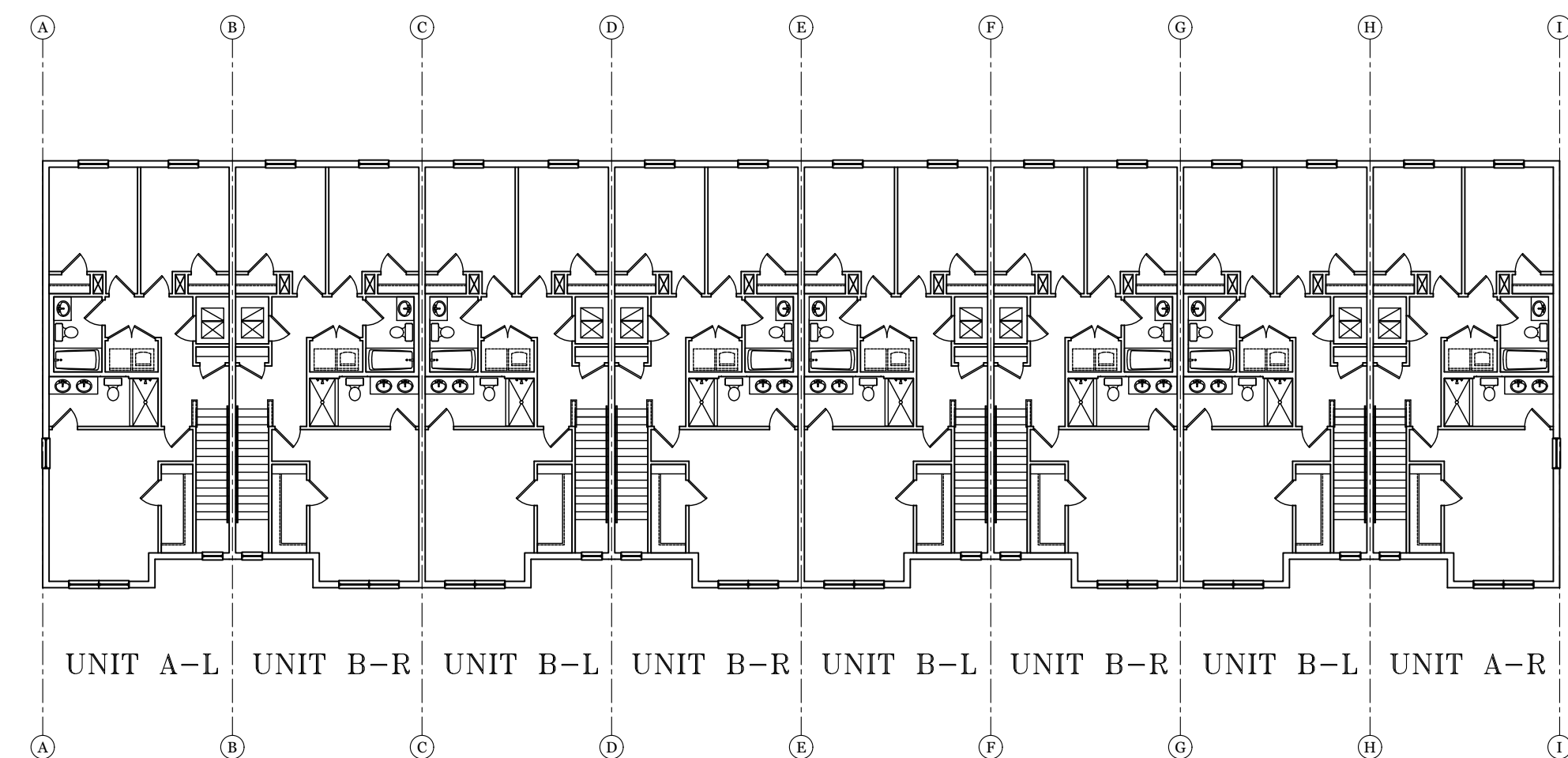
1430 CULVER DRIVE NE, PALM BAY, FL 32907

Tel: (321) 733-7092 Fax: (321) 733-7972

## FLOOR PLAN CONFIGURATION



FIRST FLOOR



SECOND FLOOR

**ARCHITECTS**  
**Design Group LLC**  
 2194 HWY A1A, SUITE 301  
 INDIAN HARBOUR BEACH,  
 FLORIDA 32937  
 PH: 321-802-3591  
 www.abdesigngroup.com  
 AA #: 0003325

DATE	DESCRIPTION
01/01/24	2023 CODE UPDATE

**D.R. HORTON**  
*America's Builder*  
 www.drhorton.com  
 CRC1327068

• STATE OF FLORIDA  
 CERTIFIED BUILDING CONTRACTOR:

DR HORTON HOMES  
 1430 CULVER DRIVE NE  
 PALM BAY, FL 32907  
 TEL: (321) 733-7092  
 FAX: (321) 733-7972

DESIGN CRITERIA:

- FLORIDA BUILDING CODE, RESIDENTIAL, 8TH EDITION (2023)
- ALL LOCAL AND STATE CODES
- OCCUPANCY - RESIDENTIAL, GROUP R2
- CONSTRUCTION TYPE - VB
- MIN. INTERIOR FINISH - CLASS B
- BASIC WIND SPEED - Vult=160 MPH  
Vasd=124 MPH
- EXPOSURE - C
- 1-STORY RESIDENCE -
- 2-STORY RESIDENCE - MAX. HEIGHT AS PER LOCAL AND STATE CODES

ABBREVIATIONS

ABV.	ABOVE	LAV.	LAVATORY
AC.	AIR CONDITIONING	LUM.	LUMINOUS
ADJ.	ADJUSTABLE	M.C.	MEDICINE CABINET
ALT.	ALTERNATE	MFR.	MANUFACTURER
AMP.	AMPERAGE	MIN.	MINIMUM
BD.	BOARD	M.T.	METAL THRESHOLD
CL.	CENTER LINE	MTD.	MOUNTED
CAB.	CABINET	MTL.	METAL
CLG.	CEILING	N.T.S.	NOT TO SCALE
CLR.	CLEAR	O.C.	ON CENTER
CONC.	CONCRETE	PL	PROPERTY LINE
CPT.	CARPET	P.B.	PUSH BUTTON
C.T.	CERAMIC TILE	PH	PHONE
D.	DRYER	PLT.	PLATE
DBL.	DOUBLE	PLYWD.	PLYWOOD
D.G.	DUAL GLAZED	PR.	PAIR
DIA.	DIAMETER	P.T.	PRESSURE TREATED
DIM.	DIMENSION	R.	RISER
DISP.	DISPOSAL	RAD.	RADIUS
DP.	DEEP	R.A.G.	RETURN AIR GRILL
DR.	DOOR	REF.	REFRIGERATOR
D.S.	DOWNSPOUT	RM.	ROOM
DTL.	DETAIL	R.O.	ROUGH OPENING
D.W.	DISHWASHER	S.C.	SOLID CORE EXT DR
EACH.	EACH	S.D.	SMOKE DETECTOR
ELEV.	ELEVATION	S.H.	SINGLE HUNG
EQ.	EQUAL	SHT.	SHEET
EXH.	EXHAUST	SHTG.	SHEATHING
EXT.	EXTERIOR	SHWR.	SHOWER
F.G.FX.	FIXED GLASS	SIM.	SIMILAR
F.G.	FUEL GAS	SL	SLIDING
FIN.	FINISH	SL.GL.	SLIDING GLASS
FLR.	FLOOR	STD.	STANDARD
FLUOR.	FLUORESCENT	SWS	SHEAR WALL
FR. DR.	FRENCH DOOR	SECTION	SECTION
FTG.	FOOTING	TEMP.	TEMPERED GLASS
GA.	GAUGE	THK.	THICK
GAR. DISP.	GARBAGE DISPOSAL	T.O.C.	TOP OF CURB
G.F.I.	GROUND-FAULT CIRCUIT INTERRUPTER	T.O.P.	TOP OF PLATE
GL.	GLASS	T.O.S.	TOP OF SLAB
GYP. BD.	GYP. BOARD	TYP.	TYPICAL
H.B.	HOSE BIB	U.N.O.	UNLESS NOTED OTHERWISE
H.C.	HOLLOW CORE	V.P.	VAPOR PROOF
HDR.	HEADER	W.	WASHER
HGT. OR HT	HEIGHT	W/	WITH
INSUL.	INSULATION	WD.	WOOD
INT.	INTERIOR	WDW.	WINDOW
		WH	WATER HEATER
		W.I.	WROUGHT IRON

REVISIONS

DATE	DESCRIPTION
01/01/24	2023 CODE UPDATE

## INDEX OF DRAWINGS

ARCHITECTURAL SHEET #	DESCRIPTION
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PG GN-GENERAL NOTES	PG D1-WALL SECTIONS DETAILS
PG F1-FIRE PROTECTION PLAN	PG D2-WALL SECTIONS DETAILS
PG F1.1A-FIRE PROTECTION DETAILS AND ASSEMBLY	PG D3-DETAILS
PG F1.2A-FIRE SEPARATION SHAFTLINER	PG WA1-WALL ASSEMBLY DETAILS
PG A1.1-FIRST FLOOR PLAN (LEFT)	PG WA2-WALL ASSEMBLY DETAILS
PG A1.2-FIRST FLOOR PLAN (RIGHT)	
PG A1A-STAIRS	
PG A2.1-SECOND FLOOR PLAN (LEFT)	
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PG A3-FRONT & REAR BUILDING ELEVATIONS	
PG A4-LEFT & RIGHT BUILDING ELEVATIONS	
PG A5-BUILDING SECTIONS	
PG A6-BUILDING SECTIONS	
PG E1.1-FIRST FLOOR ELECTRICAL PLAN (LEFT)	
PG E1.2-FIRST FLOOR ELECTRICAL PLAN (RIGHT)	
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PG E3-ELECTRICAL PANEL & RISER DIAGRAM	
PG P1-FIRST FLOOR PLUMBING PLAN	
PG P2-SECOND FLOOR PLUMBING PLAN	
PG P3-PLUMBING RISER DIAGRAMS	
STRUCTURAL SHEET #	DESCRIPTION
PG S1.1-FOUNDATION PLAN (LEFT)	PG S5.1-SECOND FLOOR LIFT BEAM PLAN (LEFT)
PG S1.2-FOUNDATION PLAN (RIGHT)	PG S5.2-SECOND FLOOR LIFT BEAM PLAN (RIGHT)
PG S1.1A-DETAILS	PG S6.1-ROOF FRAMING PLAN (LEFT)
PG S1.1B-DETAILS	PG S6.2-ROOF FRAMING PLAN (RIGHT)
PG S1.1C-DETAILS	PG SN1-DETAILS
PG S1.3-FIRST FLOOR DOWEL PLAN (LEFT)	PG SFD1-SOFFIT INFORMATION BY OTHERS
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PG S2.1A-DETAILS	
PG S2.2A-LINTEL SCHEDULE	
PG S3.1-FIRST FLOOR FRAMING PLAN (LEFT)	
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PG S4.2-SECOND FLOOR DECK PLAN (RIGHT)	
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PG S4.4-SECOND FLOOR DOWEL PLAN (RIGHT)	

• STATE OF FLORIDA  
 PROFESSIONAL ARCHITECT:

MICHAEL C. ANDERSON  
 AR No. 17305

A.B. DESIGN GROUP, LLC  
 2194 HWY A1A, SUITE 301  
 INDIAN HARBOUR BEACH, FL 32937  
 Tel: (321) 802-3591

SQ.FT. CALC.'S

AREA CALCULATIONS FOR UNIT A (1463)	
FLR 1 - LIVING	639 SQ. FT.
FLR 2 - LIVING	824 SQ. FT.
TOTAL LIVING	1463 SQ. FT.
ENTRY	21 SQ. FT.
GARAGE	234 SQ. FT.
TOTAL	1724 SQ. FT.
PATIO	80 SQ. FT.

BUILDING DESCRIPTION

# OF UNITS CONFIGURED:  
 8 UNIT BUILDING

UNIT CONFIGURATION FROM  
 LEFT TO RIGHT: A-B-B-B-B-B-B-A

DRAWING / CONTRACT DOCUMENT  
 REVIEW BY BUILDER

THE BUILDER ASSUMES ALL LIABILITY FOR  
 INTERPRETATION OF THE CONTRACT DOCUMENTS.

IF ANY ASPECT OF THE CONSTRUCTION (AS  
 DESCRIBED IN THIS DRAWING SET) ARE UNCLEAR AND  
 IN NEED OF FURTHER DETAILING OR EXPLANATION IN  
 ORDER TO BUILD THIS PROJECT BASED ON THIS  
 DRAWING SET, THE CORRECT PROCEDURE IS FOR THE  
 BUILDER TO SUBMIT A WRITTEN R.F.I. (REQUEST FOR  
 INFORMATION) TO THE ARCHITECT OR ENGINEER FOR  
 CLARIFICATION.

AB DESIGN GROUP WILL RESPOND TO ALL WRITTEN  
 RFI'S IN WRITTEN/DRAWN FORMS IN A TIMELY  
 MANNER. AB DESIGN GROUP TAKES NO  
 RESPONSIBILITY FOR INTERPRETATIONS OF  
 CONSTRUCTION BY THE BUILDER WHEN NO RFI'S HAVE  
 BEEN GENERATED FOR UNCLEAR ASPECTS OF THE  
 CONSTRUCTION BASED ON THE DRAWING SET.

AREA CALCULATIONS FOR UNIT B (1464)	
FLR 1 - LIVING	639 SQ. FT.
FLR 2 - LIVING	825 SQ. FT.
TOTAL LIVING	1464 SQ. FT.
ENTRY	21 SQ. FT.
GARAGE	234 SQ. FT.
TOTAL	1725 SQ. FT.
PATIO	80 SQ. FT.

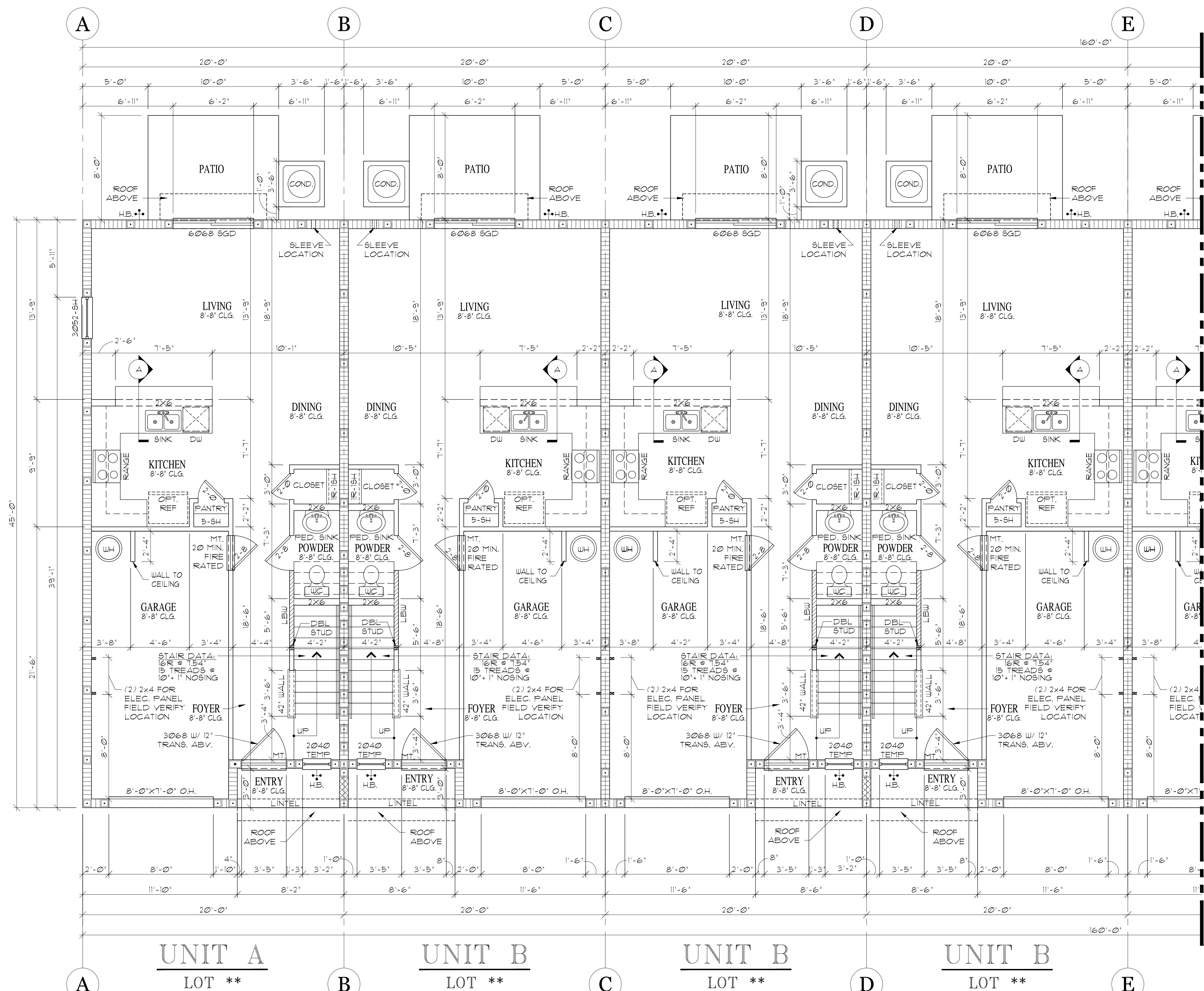
MASTER

TITLE SHEET  
 STAR FARMS  
 TOWNHOMES  
 8-UNIT  
 COVER SHEET  
 160 MPH EXP. C

JOB #  
 03680.099

STATE OF FLORIDA  
 MICHAEL C. ANDERSON  
 AR NO 17305

DATE: 01-01-24  
 SCALE: AS NOTED  
 SHEET NO:  
 CS



**WALL LEGEND**

[Pattern]	CMU WALL BEARING 18'-8"
[Pattern]	CMU WALL BEARING 8'-8"
[Pattern]	INTERIOR LOAD BEARING WALL
[Pattern]	NON BEARING INTERIOR PARTITIONS

**AREA CALCULATIONS FOR UNIT A (1463)**

FLR 1 - LIVING	639 SQ. FT.
FLR 2 - LIVING	824 SQ. FT.
TOTAL LIVING	1463 SQ. FT.
ENTRY	21 SQ. FT.
GARAGE	234 SQ. FT.
TOTAL	1724 SQ. FT.
PATIO	80 SQ. FT.

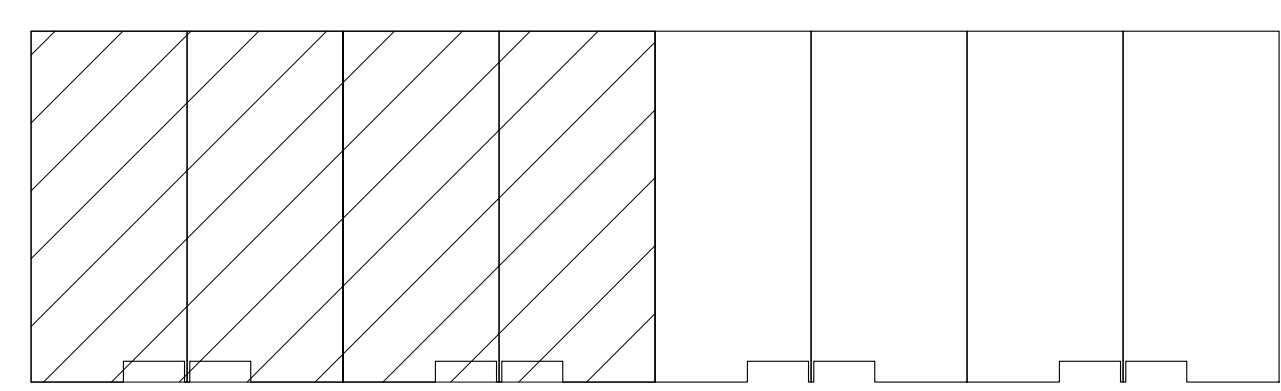
**AREA CALCULATIONS FOR UNIT B (1464)**

FLR 1 - LIVING	639 SQ. FT.
FLR 2 - LIVING	825 SQ. FT.
TOTAL LIVING	1464 SQ. FT.
ENTRY	21 SQ. FT.
GARAGE	234 SQ. FT.
TOTAL	1725 SQ. FT.
PATIO	80 SQ. FT.

**COMPONENT AND CLADDING WIND LOADS**  
BASIC WIND EXPOSURE FOR 3 SECOND GUSTS

OPENINGS AND TYPE	SQUARE FOOTAGE	ZONE	160 MPH WIND (WU)	REMARKS
2040 WINDOW	8	5	36.7/-449.2	
3052 WINDOW	15.5	5	35.7/-47.1	
3068 EXTERIOR SWING DOOR	20	5	35.1/-45.8	
6068 S.G.D.	40	5	33.4/-42.5	
8070 O.H.D.	56	5	32.8/-37.1	
12'x12' SOFFIT	1	5	36.7/-449.2	

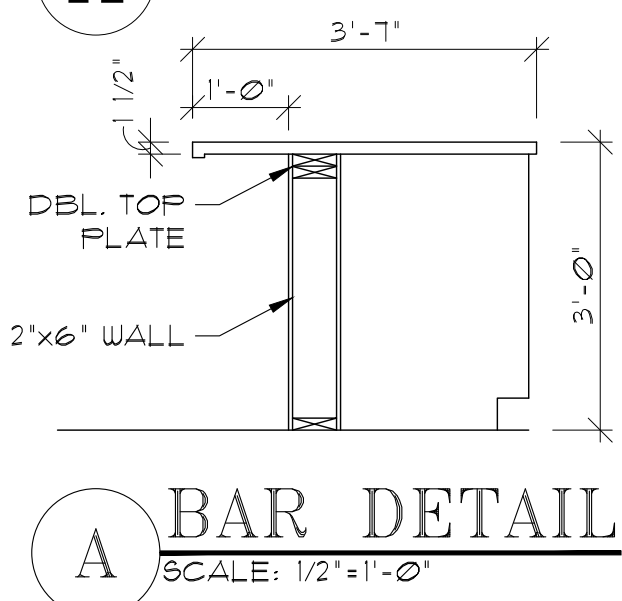
BASIC WIND SPEED MPH = 160 (Vult)  
INTERNAL PRESSURE COEFFICIENT = ± 0.18 BLDG. CAT.=II, EXP.=C, MEAN ROOF HT. = 23'-3"  
PRESSURES HAVE BEEN MODIFIED PER FBCR 8TH ED. (2023) SECTION R301.2.1 TO MEET TESTED ALLOWABLE OR NOMINAL WIND LOAD VALUES FROM THE PRODUCT MANUFACTURER. CONTROL DATE: 09/14/23



**FIRST FLOOR PLAN (LEFT)**

SCALE: 1/4" = 1'-0"  
NOTE: DOOR RETURN TO BE 4' UNLESS NOTED OTHERWISE.  
R311.3.1-FLOOR ELEVATIONS @ REQUIRED EGRESS DOOR SHALL MEET PROVISION OF SECTION R311.3.1 IN FBCR 8TH ED. (2023).

NOTE:  
-2'-8" LOUV. DOOR W/ AIR HANDLER ON METAL STAND OR 2'-8" SOLID DOOR W/ RETURN PLENUM AND RETURN AIR GRILLE.  
-VERIFY CONDENSER PAD LOCATION WITH SITE PLAN  
-OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" (35 MM) IN THICKNESS, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1 3/8" (35 MM) THICK, OR 20-MINUTE FIRE-RATED DOORS.  
-THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE 4 ITS ATTIC AREA BY NOT LESS THAN 1/2" (12mm) GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS BY NOT LESS THAN 5/8" (15.9mm) TYPE X GYPSUM BOARD OR EQUIVALENT.  
-UNDER STAIR PROTECTION:  
ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH GYPSUM BOARDS.  
FBCR 2023 (8TH ED.) 302.1



2194 HWY A1A, SUITE 301  
INDIAN HARBOUR BEACH,  
FLORIDA 32937  
PH: 321-802-3591  
www.abdesigngroup.com  
AA #: 0003325

DESCRIPTION

1	DATE	01/07/24
2	DESCRIPTION	2023 CODE UPDATE
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MASTER

TITLE SHEET  
STAR FARMS TOWNHOMES 8-UNIT  
FIRST FLOOR PLAN (LEFT)  
160 MPH EXP. C  
JOB # 03680.099

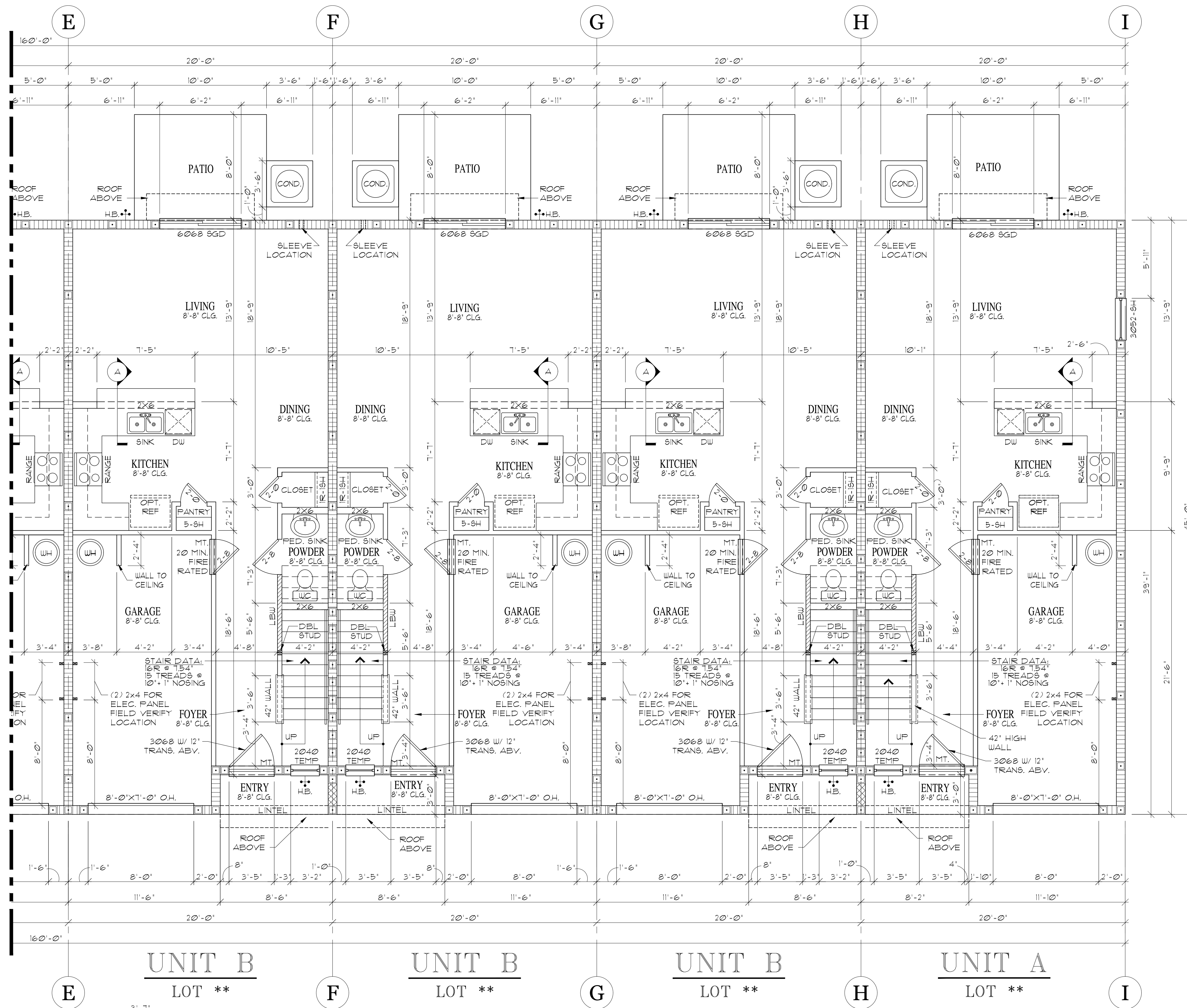
STATE OF FLORIDA

MICHAEL C. ANDERSON  
AR NO 17305

DATE: 01-01-24

SCALE: AS NOTED  
SHEET NO:

A1.1



**WALL LEGEND**

	CMU WALL BEARING 18'-8"
	CMU WALL BEARING 8'-8"
	INTERIOR LOAD BEARING WALL
	NON BEARING INTERIOR PARTITIONS

**AREA CALCULATIONS FOR UNIT A (1463)**

FLR 1 - LIVING	639 SQ. FT.
FLR 2 - LIVING	824 SQ. FT.
TOTAL LIVING	1463 SQ. FT.
ENTRY	21 SQ. FT.
GARAGE	234 SQ. FT.
TOTAL	1724 SQ. FT.
PATIO	80 SQ. FT.

**AREA CALCULATIONS FOR UNIT B (1464)**

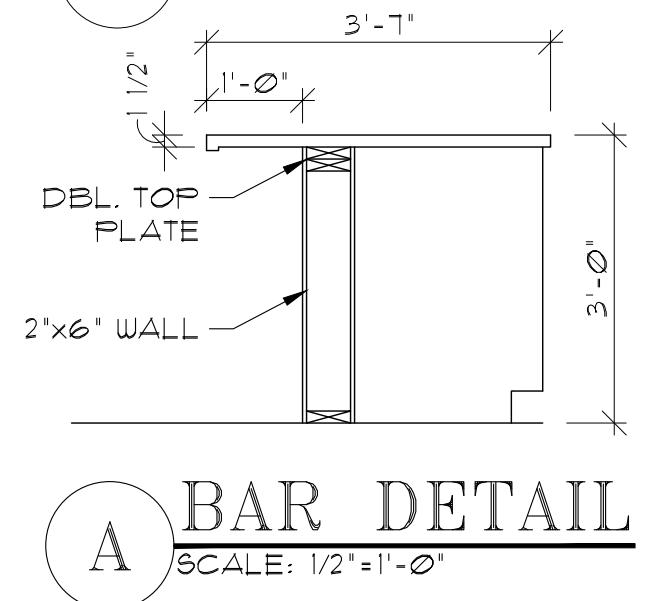
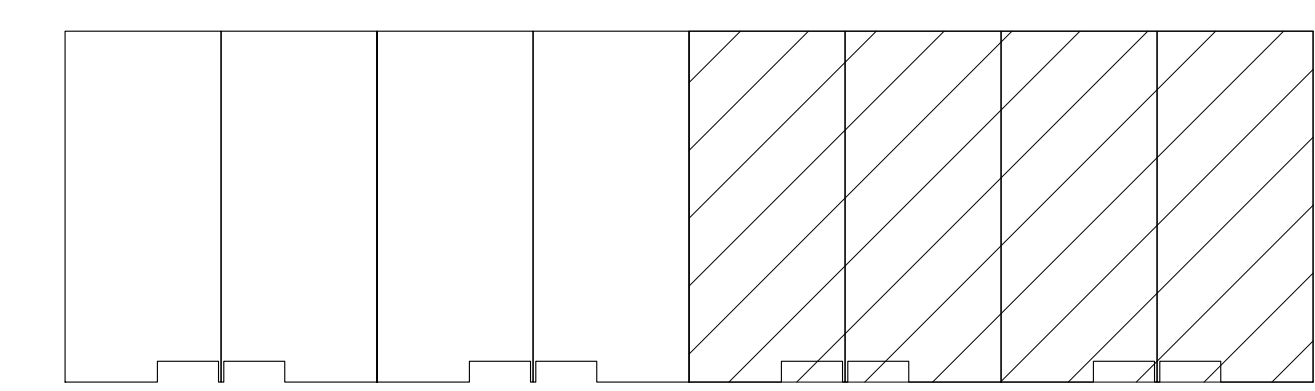
FLR 1 - LIVING	639 SQ. FT.
FLR 2 - LIVING	825 SQ. FT.
TOTAL LIVING	1464 SQ. FT.
ENTRY	21 SQ. FT.
GARAGE	234 SQ. FT.
TOTAL	1725 SQ. FT.
PATIO	80 SQ. FT.

**COMPONENT AND CLADDING WIND LOADS**  
BASIC WIND EXPOSURE FOR 3 SECOND GUSTS

OPENINGS AND TYPE	SQUARE FOOTAGE	ZONE	160 MPH WIND (WU)	REMARKS
2040 WINDOW	8	5	36.7/-449.2	
3052 WINDOW	15.5	5	35.7/-47.1	
3068 EXTERIOR SWING DOOR	20	5	35.1/-45.8	
6068 S.G.D.	40	5	33.4/-42.5	
8070 O.H.D.	56	5	32.8/-37.1	
12'x12' SOFFIT	1	5	36.7/-449.2	

BASIC WIND SPEED MPH = 160 (Vult)  
INTERNAL PRESSURE COEFFICIENT = ± 0.18 BLDG.  
CAT.=II, EXP.=C, MEAN ROOF HT. = 23'-3"

PRESSURES HAVE BEEN MODIFIED PER FBCR 8TH ED. (2023) SECTION R301.2.1 TO MEET TESTED ALLOWABLE OR NOMINAL WIND LOAD VALUES FROM THE PRODUCT MANUFACTURER. CONTROL DATE: 09/14/23



**FIRST FLOOR PLAN (RIGHT)**

SCALE: 1/4" = 1'-0"

NOTE:  
DOOR RETURN TO BE 4" UNLESS NOTED OTHERWISE.  
R311.3.1-FLOOR ELEVATIONS @ REQUIRED EGRESS DOOR SHALL MEET PROVISION OF SECTION R311.3.1 IN FBCR 8TH ED. (2023).

NOTE:  
-2-8 LOUV. DOOR W/ AIR HANDLER ON METAL STAND OR 2-8 SOLID DOOR W/ RETURN PLENUM AND RETURN AIR GRILLE.  
-VERIFY CONDENSER PAD LOCATION WITH SITE PLAN  
-OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" (35 MM) IN THICKNESS, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1 3/8" (35 MM) THICK, OR 20-MINUTE FIRE-RATED DOORS.  
-THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE 4 ITS ATTIC AREA BY NOT LESS THAN 1/2" (12.7mm) GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS BY NOT LESS THAN 5/8" (15.9mm) TYPE X GYPSUM BOARD OR EQUIVALENT.  
-UNDER STAIR PROTECTION:  
ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH GYPSUM BOARDS.  
FBCR 2023 (8TH ED.) 202.7



2194 HWY A1A, SUITE 301  
INDIAN HARBOUR BEACH,  
FLORIDA 32937  
PH: 321-802-3591  
www.abdesigngroup.com  
AA #: 0003325

DESCRIPTION

DATE	DESCRIPTION
1	01/07/24 1003 CODE UPDATE
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MASTER

TITLE SHEET  
STAR FARMS TOWNHOMES 8-UNIT  
FIRST FLOOR PLAN (RIGHT)  
160 MPH EXP. C  
JOB # 03680.099

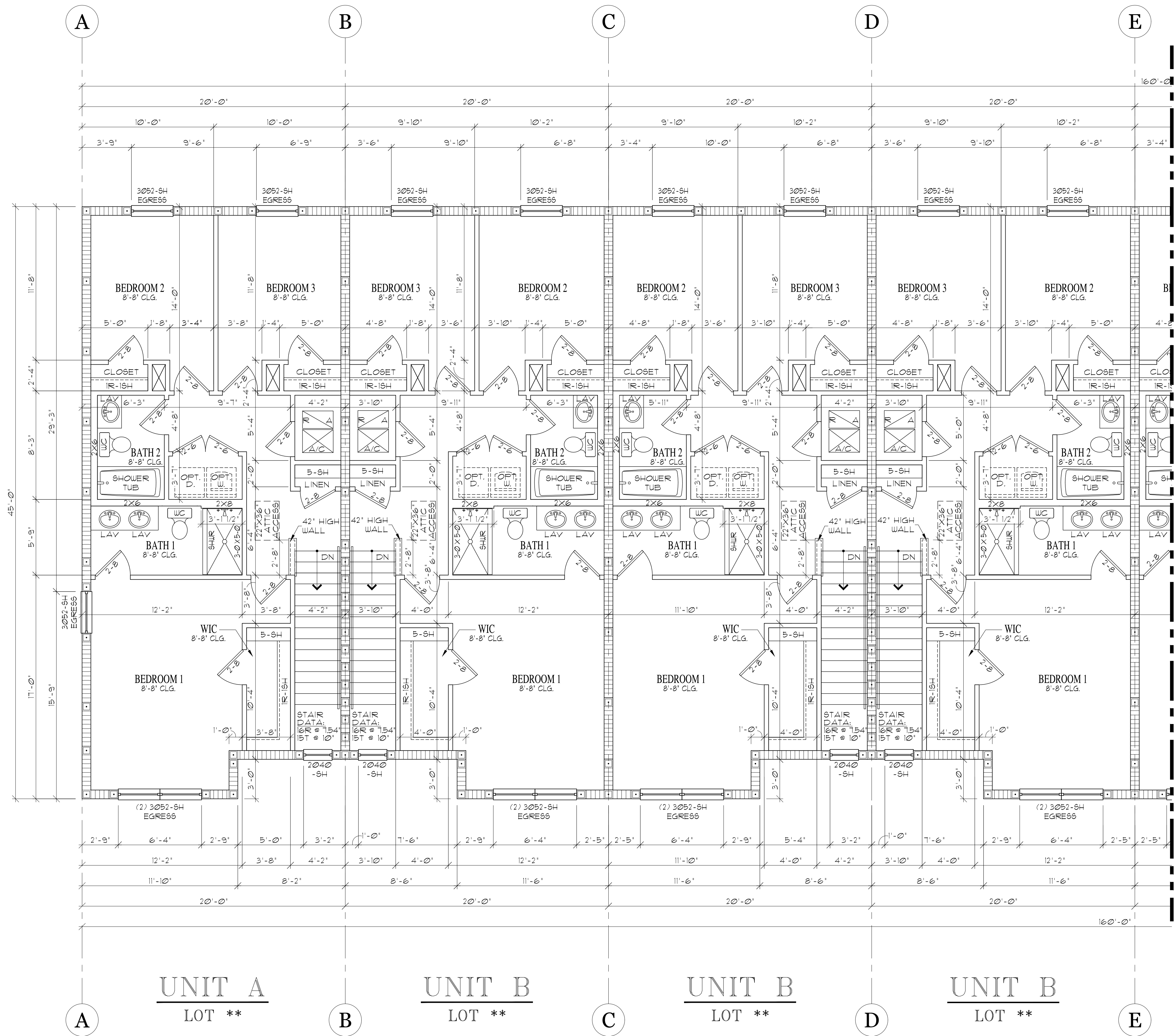
STATE OF FLORIDA

MICHAEL C. ANDERSON  
AR NO 17305

DATE: 01-01-24

SCALE: AS NOTED  
SHEET NO:

A1.2



UNIT A  
LOT \*\*

UNIT B  
LOT \*\*

UNIT B  
LOT \*\*

UNIT B  
LOT \*\*

SECOND FLOOR PLAN (LEFT)

SCALE: 1/4" = 1'-0"

WALL LEGEND

	CMU WALL BEARING 10'-8"
	CMU WALL BEARING 8'-8"
	INTERIOR LOAD BEARING WALL
	NON BEARING INTERIOR PARTITIONS

AREA CALCULATIONS FOR UNIT A (1463)

FLR 1 - LIVING	639 SQ. FT.
FLR 2 - LIVING	824 SQ. FT.
TOTAL LIVING	1463 SQ. FT.
ENTRY	21 SQ. FT.
GARAGE	234 SQ. FT.
TOTAL	1724 SQ. FT.
PATIO	80 SQ. FT.

AREA CALCULATIONS FOR UNIT B (1464)

FLR 1 - LIVING	639 SQ. FT.
FLR 2 - LIVING	825 SQ. FT.
TOTAL LIVING	1464 SQ. FT.
ENTRY	21 SQ. FT.
GARAGE	234 SQ. FT.
TOTAL	1725 SQ. FT.
PATIO	80 SQ. FT.

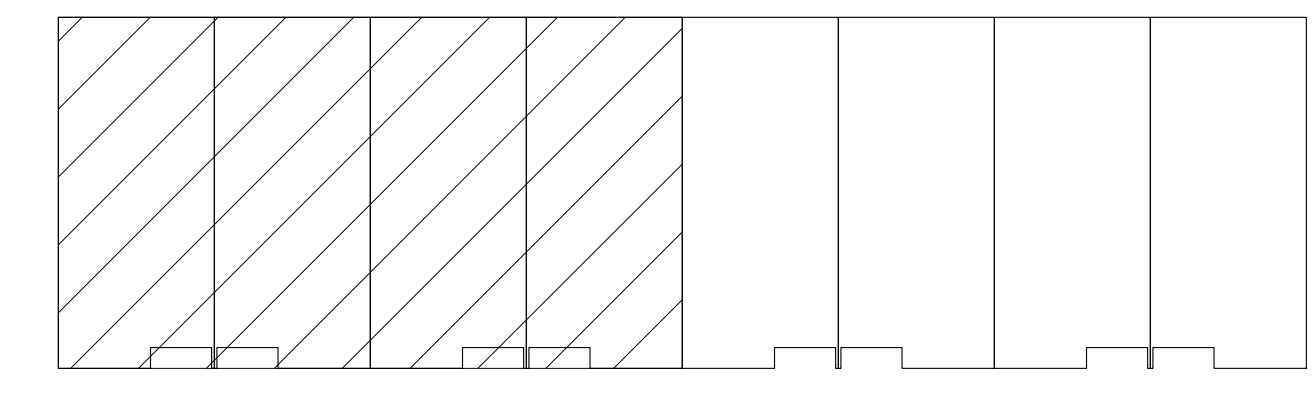
COMPONENT AND CLADDING WIND LOADS  
BASIC WIND EXPOSURE FOR 3 SECOND GUSTS

OPENINGS AND TYPE	SQUARE FOOTAGE	ZONE	160 MPH WIND (VAL)	REMARKS
2040 WINDOW	8	5	36.7/-449.2	
3052 WINDOW	15.5	5	35.7/-47.1	
3068 EXTERIOR SWING DOOR	20	5	35.1/-49.8	
6068 S.G.D.	40	5	33.4/-42.5	
8070 O.H.D.	56	5	32.8/-37.1	
12'X12' SOFFIT	1	5	36.7/-449.2	

BASIC WIND SPEED MPH = 160 (Vult)  
INTERNAL PRESSURE COEFFICIENT = ± 0.18 BLDG.  
CAT.=II, EXP.=C, MEAN ROOF HT. = 23'-3"

PRESSURES HAVE BEEN MODIFIED PER FBCR 8TH ED. (2023) SECTION R301.2.1 TO MEET TESTED ALLOWABLE OR NOMINAL WIND LOAD VALUES FROM THE PRODUCT MANUFACTURER. CONTROL DATE 09/14/23

NOTE:  
IN OCCUPANCIES REQUIRING RESCUE WINDOWS THE WINDOWS SHALL BE DESIGNED SO THAT THE WINDOW IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND SHALL PROVIDE A CLEAR OPENING OF NOT LESS THAN 20 INCHES IN WIDTH, 24 INCHES IN HEIGHT, AND 5.7 SQUARE FEET IN AREA. THE BOTTOM OF THE OPENING SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FLOOR. THE CLEAR OPENING SHALL ALLOW A RECTANGULAR SOLID WITH A WIDTH AND HEIGHT THAT PROVIDES NOT LESS THAN 20 INCHES TO PASS FULLY THROUGH THE OPENING.



KEY PLAN



2194 HWY A1A, SUITE 301  
INDIAN HARBOUR BEACH,  
FLORIDA 32937  
PH: 321-802-3591  
www.abdesigngroup.com  
AA #: 0003325

DATE	DESCRIPTION
01/07/24	2023 CODE UPDATE



MASTER

TITLE SHEET  
STAR FARMS TOWNHOMES 8-UNIT  
SECOND FLOOR PLAN (LEFT)  
160 MPH EXP. C  
JOB # 03680.099

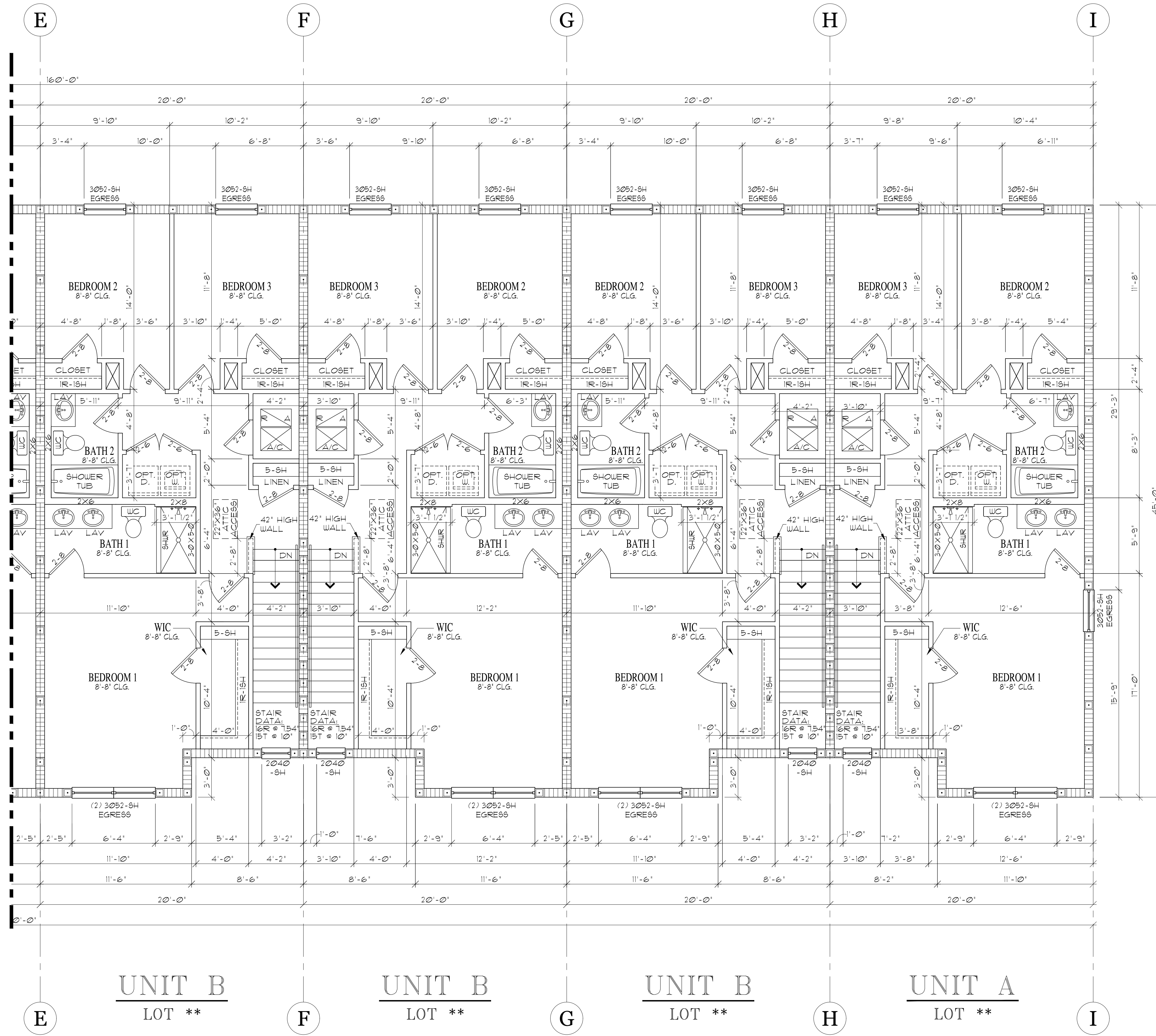
STATE OF FLORIDA

MICHAEL C. ANDERSON  
AR NO 17305

DATE: 01-01-24

SCALE: AS NOTED  
SHEET NO:

A2.1



**SECOND FLOOR PLAN (RIGHT)**  
SCALE: 1/4" = 1'-0"

WALL LEGEND	
	CMU WALL BEARING 10'-8"
	CMU WALL BEARING 8'-8"
	INTERIOR LOAD BEARING WALL
	NON BEARING INTERIOR PARTITIONS

AREA CALCULATIONS FOR UNIT A (1463)	
FLR 1 - LIVING	639 SQ. FT.
FLR 2 - LIVING	824 SQ. FT.
TOTAL LIVING	1463 SQ. FT.
ENTRY	21 SQ. FT.
GARAGE	234 SQ. FT.
<b>TOTAL</b>	<b>1724 SQ. FT.</b>
PATIO	80 SQ. FT.

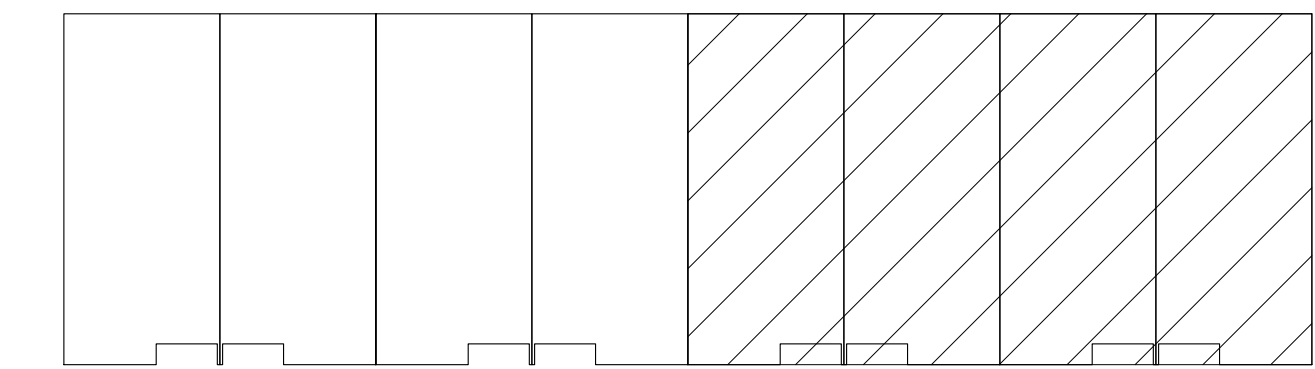
AREA CALCULATIONS FOR UNIT B (1464)	
FLR 1 - LIVING	639 SQ. FT.
FLR 2 - LIVING	825 SQ. FT.
TOTAL LIVING	1464 SQ. FT.
ENTRY	21 SQ. FT.
GARAGE	234 SQ. FT.
<b>TOTAL</b>	<b>1725 SQ. FT.</b>
PATIO	80 SQ. FT.

COMPONENT AND CLADDING WIND LOADS BASIC WIND EXPOSURE FOR 3 SECOND GUSTS				
OPENINGS AND TYPE	SQUARE FOOTAGE	ZONE	160 MPH WIND (Vult)	REMARKS
2040 WINDOW	8	5	36.7/-449.2	
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12'X12' SOFFIT	1	5	36.7/-449.2	

BASIC WIND SPEED MPH = 160 (Vult)  
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CAT.=II, EXP.=C, MEAN ROOF HT. = 23'-3"

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**KEY PLAN**



2194 HWY A1A, SUITE 301  
INDIAN HARBOR BEACH,  
FLORIDA 32937  
PH: 321-802-3591  
www.abdesigngroup.com  
AA #: 0003325

DATE	DESCRIPTION
01/07/24	2023 CODE UPDATE



**MASTER**

TITLE SHEET  
**STAR FARMS TOWNHOMES 8-UNIT**  
SECOND FLOOR PLAN (RIGHT)  
160 MPH EXP. C  
JOB # 03680.099

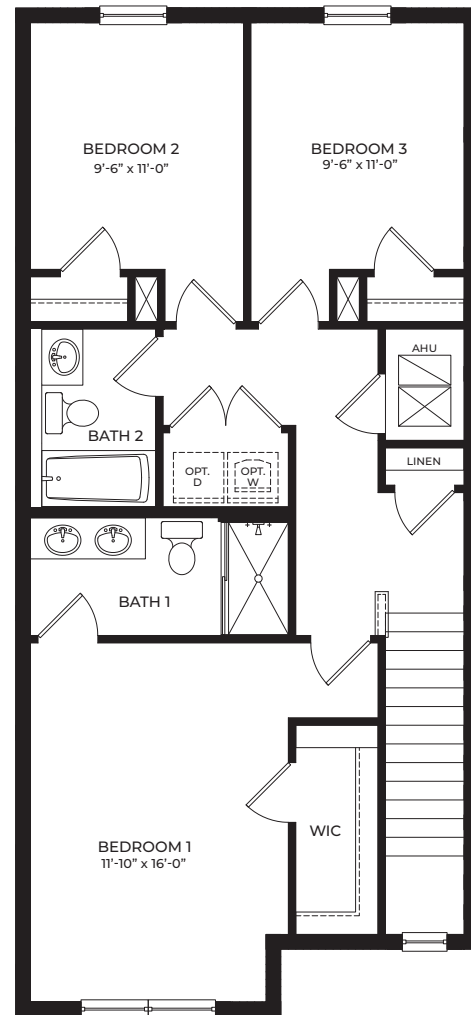
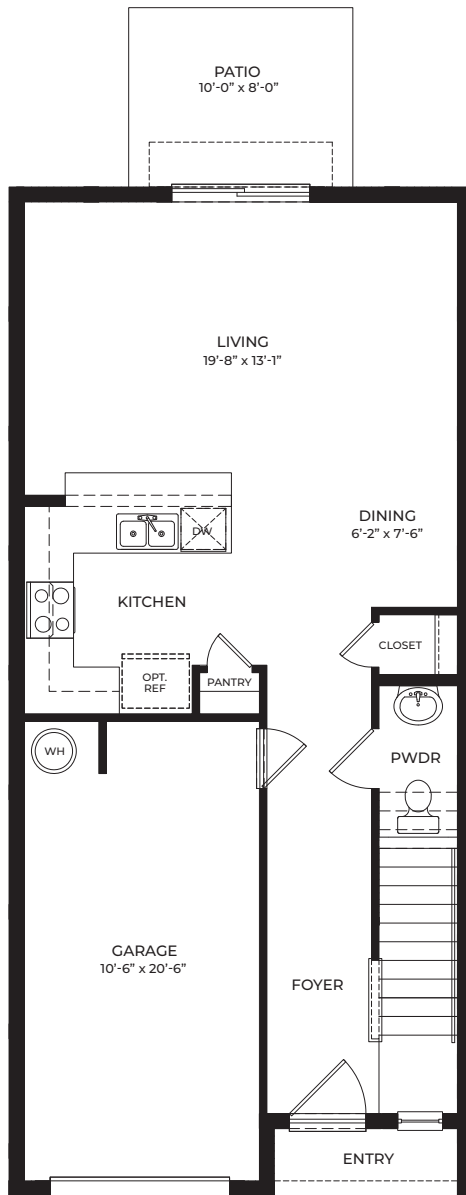
STATE OF FLORIDA

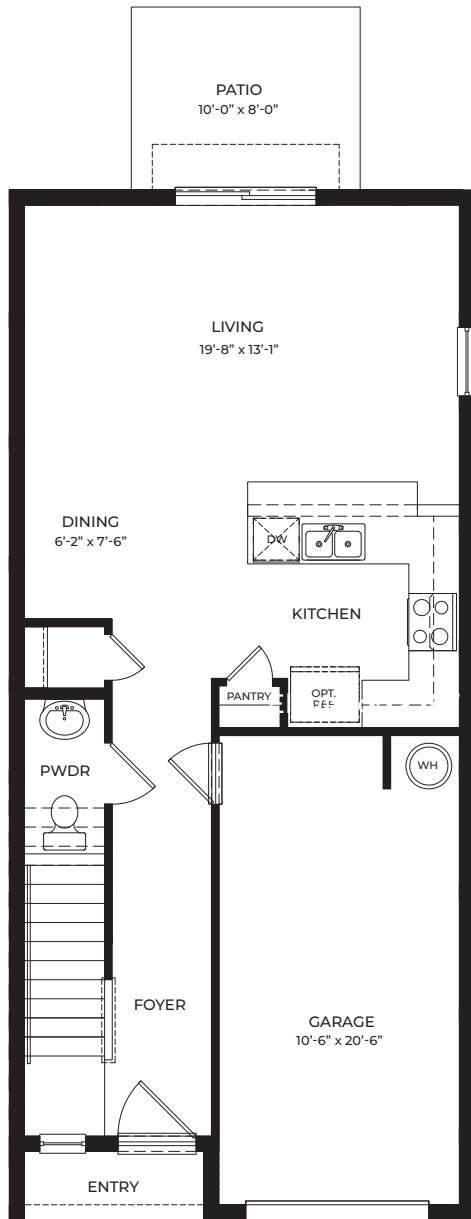
MICHAEL C. ANDERSON  
AR NO 17305

DATE: 01-01-24

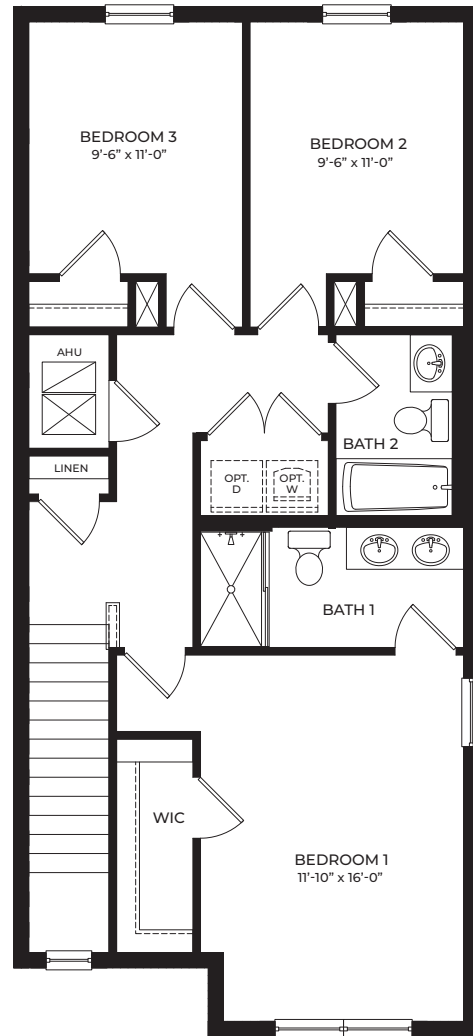
SCALE: AS NOTED  
SHEET NO:

A2.2





FIRST FLOOR



SECOND FLOOR



1. Body	SW 7636	Origami White
2. Accent Body	SW 7636	Origami White
3. Trim	SW 7653	Silverpointe
4. Front Door & Shutters	SW 2739	Charcoal Blue
5. Accent - Optional	SW 9133	Jasper Stone



**Redtail DG**  
100 S. 2nd Street  
Fort Pierce, Florida 34950  
(772) 742 1555  
redtaildg.com  
[todm@redtaildg.com](mailto:todm@redtaildg.com)

## CONTEXTUAL PHOTOS – NEIGHBORHOOD



Aerial view – Camera Locations



Photo 1 – Multifamily  
Parcel ID: 3403-502-0016-000-2



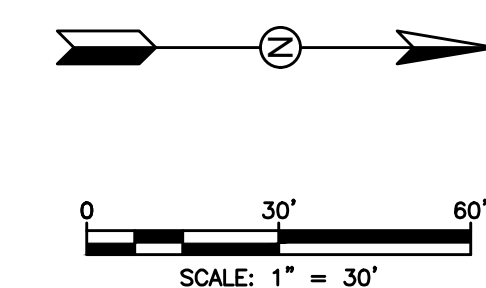
Photo 2 – Single Family  
Parcel ID: 3403-502-0011-000-7



Photo 3 - Repair Services  
Parcel ID: 3403-502-0010-000-0



Photo 4 – Auto Sales CAR-DB5 LLC  
Parcel ID: 2434-344-0004-000-4



NOTES:

1. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO SITE PREPARATION ACTIVITIES.
2. CONTRACTOR TO ENSURE MINIMUM OF 12" OF NON-ORGANIC FREE DRAINING MATERIAL WITHIN BOTTOM OF DRY RETENTION POND. THIS CAN BE ACCOMPLISHED VIA SOIL REPLACEMENT, SOIL MIXING, OR OTHER APPROVED METHOD.



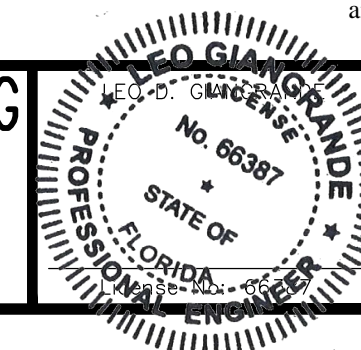
DATE	BY	REVISIONS

Date: 5/1/2024  
 Scale: 1"=30'  
 Design By: JS  
 Drawn By: DC  
 Check By: JS

JEREMIAH BARON & CO. DEVELOPMENT  
 WEATHERBEE  
 ST. LUCIE COUNTY, FORT PIERCE, FL

CONCEPTUAL DRAINAGE PLAN

**GIANGRANDE ENGINEERING AND PLANNING**  
 710 SE OCEAN BLVD.  
 STUART, FLORIDA 34994  
 PH. (772) 888-9076  
 leo@gep.llc



PROJECT #: 23-007  
 DP-1

This item has been digitally signed and sealed by Leo D. Giangrande on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



## CONTEXTUAL PHOTOS – SUBJECT PROPERTY



Aerial view – Camera Locations



Photo 1 – Looking SE from W Weatherbee Road



Photo 2 - Looking SE from W Weatherbee Road



Photo 3 - Looking SW from W Weatherbee Road

August 5, 2024

Jeremiah Baron & Co Development  
Attn: Jamison Weeks  
49 SW Flagler Ave. Suite 301  
Stuart, FL 34994  
772-486-9081

**VIA Email:** [jweeks@commercialrealestatellc.com](mailto:jweeks@commercialrealestatellc.com)

**Reference:** **Environmental Impact Report**  
Weatherbee Road – 7ac.  
City of Fort Pierce, Florida  
Parcel ID # 3403-502-0015-000-5

Dear Mr. Weeks,

EDC, Inc. (EDC) has completed this Environmental Assessment (EA) for the above referenced property. The purpose of this evaluation was to conduct a review of the above listed parcels by means of site visit, review of available aerial photography, listed species review, review of soil resources, and review of environmental regulations pertaining to this parcel.

The following report details the findings of our on-site and desktop investigations of the properties as they pertain to City of Fort Pierce land developmental review regulations.

Please contact the undersigned if you have any questions regarding this report.

Respectfully submitted,  
**EDC, Inc.**



Anthony A. Adams, BS  
Sr. Biologist | Certified Arborist



ENGINEERS • SURVEYORS • ENVIRONMENTAL

## ENVIRONMENTAL IMPACT REPORT

Parcel ID: 3403-502-0015-000-5  
7 acres Weatherbee Road  
St. Lucie County, Florida

Date: August 5, 2024  
Project # 22-424

**Prepared For:**

Jeremiah Baron & Co Development  
Attn: Jamison Weeks  
49 SW Flagler Ave. Suite 301  
Stuart, FL 34994  
772-486-9081

[jweeks@commercialrealestatellc.com](mailto:jweeks@commercialrealestatellc.com)

**Prepared By:**

EDC, Inc.  
10250 SW Village Parkway  
Port St Lucie, Florida 34987  
(772) 223-5200

**SITE DESCRIPTION:**

The subject property evaluated as part of this Environmental Impact Report consists of one tax parcel (Parcel ID # 3403-502-0015-000-5) comprised of 7.0 acres. The property is classified by the St. Lucie County Property Appraiser as vacant residential property (land use code 0000). The subject property is located on the south side of W Weatherbee Road, east of Oleander Avenue, and west of S US Highway 1 in St. Lucie County, Florida. The subject property has a Future Land Use designation of Residential High (RH) and a zoning designation of RM-11. The subject property is further located within Section 03, Township 36 South and Range 40 East.

This environmental assessment was completed as a precursor to permitting and review by governmental agencies as an applicable document for the supporting information associated with a building permit or land development application. EDC, Inc. staff has visited the property in various capacities since 2022 in order to ascertain the status and composition of any critical habitats, such as wetlands and native uplands that may be onsite.

**VEGETATION:**

It is the opinion of EDC that the subject property consists of native upland habitat associations. According to historical aerial photographs provided by LightBox Environmental Data Resources (EDR®), the subject property was completely cleared of all vegetation in the 1950s. Overtime, the vegetation reclaimed the site with a dominant presence of native vegetation. At the time of the site reconnaissance, the subject property consisted of a 100% native canopy with a heavily disturbed understory dominated by the exotic vegetation – strawberry guava. Additionally, the subject property consisted of cleared paths for soil borings throughout the site. With professional exotic removal and maintenance, the subject property has the potential to be considered native upland habitat.

The upland habitat associations were determined via onsite analysis and classified according to the Florida Cooperative Land Cover (CLC) System developed by the Florida Fish and Wildlife Conservation Commission (FWC). The CLC incorporates classifications used by FWC, Florida Natural Areas Inventory (FNAI), and Florida’s water management districts. The following CLC code was identified onsite; 182112 – Urban Open Pine. Please refer to the attached Florida CLC map for the approximate location of the habitat(s) delineated onsite.

<b>Common Name</b>	<b>Species Name</b>
<b>Slash Pine</b>	<i>Pinus elliotii</i>
<b>Cabbage Palm</b>	<i>Sabal Palmetto</i>
<b>Live Oak</b>	<i>Quercus virginiana</i>
<b>Laurel Oak</b>	<i>Quercus laurifolia</i>
<b>Dwarf Palmetto</b>	<i>Sabal minor</i>
<b>Saw Palmetto</b>	<i>Serenoa repens</i>
<b>Florida Gallberry</b>	<i>Ilex glabra</i>
<b>Darrow’s Blurberry</b>	<i>Vaccinium darrowii</i>
<b>Little Bluestem</b>	<i>Schizachyrium scoparium</i>
<b>Giant Swordfern</b>	<i>Nephrolepis biserrata</i>
<b>Strawberry Guava**</b>	<i>Psidium littoralei</i>
<b>Shoebuttan Ardisia**</b>	<i>Ardisia elliptica</i>

\*Nuisance Vegetation

\*\*Exotic/Invasive Vegetation

**Table 1:** This table lists a representative sample of vegetative species observed during the site visit.

### **WETLAND DELINEATION:**

According to aerial photographs and site visit, it appears that there are no State jurisdictional wetlands on site. Based on the State definition, a wetland consists of three components: 1) hydric soils, 2) wetland plants, and 3) hydrologic indicators. None of these components were found during the field reconnaissance on the property. South Florida Water Management (SFWMD) has yet to perform a site visit under an Environmental Resource Permit (ERP) Application.

### **WILDLIFE EVALUATION:**

EDC, Inc. conducted a pedestrian survey throughout the property to investigate for the presence of any plant or animal listed species. No gopher tortoises, their burrows, or signs (tracks, feces, etc.) were observed onsite. However, potential gopher tortoise habitat was observed onsite. Prior to any land clearing and/or development can occur onsite, a 100% gopher tortoise survey conducted by a Florida Fish and Wildlife Conservation Commission (FWC) Authorized Agent must be conducted no more than 90 days before the commencement of activity. Any burrows located within a 25-foot radius of the proposed development must be relocated according to the FWC Gopher Tortoise Permitting Guidelines.

No other state or federally listed plant/animal species or their critical habitat(s) were observed on site.

### **SOIL COMPOSITION:**

Based on a review of the U.S. Department of Agriculture (USDA) Web Soil Survey the site is composed of the following soil series:

**Ankona and Farnton sands** – The Ankona and Farnton series consist of very deep, very poorly drained, slowly permeable soils. These sands formed in sandy and loamy marine sediments. A water table is within depths of 6 to 18 inches for 1 to 4 months, primarily in the winter and early spring and it is at depths of 18 to 40 inches for 6 months or more during the rest of the year in most years. Ankona and Farnton soils are found in broad flats and depressional areas. Typical vegetation consists of longleaf pine, slash pine, saw palmetto, wax myrtle, gallberry, fetterbush, creeping bluestem, chalky bluestem, lopsided Indian grass, low panicums and pineland threeawn. Depressional areas are dominated by marsh vegetation consisting of maidencane, cutgrass, sand cordgrass, and St. John's wort.

**Susanna sands** – The Susanna series consists of very deep, poorly drained, very slowly permeable soils on broad flats of central and southern Florida. They formed in sandy and loamy marine sediments. Slopes range from 0 to 2 percent. Some areas of Susanna soils are planted to citrus and improved pasture grasses. Other areas are used for community development. Natural vegetation consists of open forest of longleaf pine and slash pine with ground cover of sawpalmetto, running oak, pineland threeawn, inkberry, and fetterbush.

**Wauchula sands** – The Wauchula series consists of very deep, very poorly or poorly drained, moderately slow or slowly permeable soils on flatwoods on the lower coastal plains. They formed in sandy and loamy marine sediments. Slopes range from 0 to 5 percent. Many areas of this soil have been cleared and are used for tame pasture or range. Some areas are used for citrus and vegetable crops where water control is adequate. The natural vegetation consists of longleaf pine, slash pine, sawpalmetto, with an understory of inkberry, fetter, southern bayberry, and pineland threeawn.

**CITY OF FORT PIERCE:**

The following lists the City of Fort Pierce Land Development Codes (LDC) that apply to the subject property. As part of the local approval process, the applicant will be required to comply with the below items.

**Sec. 123-64. - Permit required.**

*(a) Tree removal permit. No person shall, directly or indirectly, cut down, substantially alter, destroy, remove, relocate, damage or authorize any such act involving a protected tree situated on land within the city, without first obtaining a tree removal permit.*

Trees meeting the minimum protection standards as referenced above were observed onsite. A tree survey will be submitted under separate cover and a tree mitigation plan will be required prior to land clearing approval.

**SUMMARY:**

The subject property evaluated as part of this Environmental Impact Report consists of one tax parcel (Parcel ID # 3403-502-0015-000-5) comprised of 7.0 acres. The property is classified by the St. Lucie County Property Appraiser as vacant residential property (land use code 0000). The subject property is located on the south side of W Weatherbee Road, east of Oleander Avenue, and west of S US Highway 1 in St. Lucie County, Florida.

It is the professional opinion of EDC that native upland habitat associations are located onsite. All tree impacts are proposed to be mitigated via fee payment. Lastly, potential gopher tortoise habitat was observed onsite and a 100% gopher tortoise survey conducted by an FWC Authorized Agent must be conducted no sooner than 90 days prior to the commencement of any land clearing activities.



# Environmental Impact Report

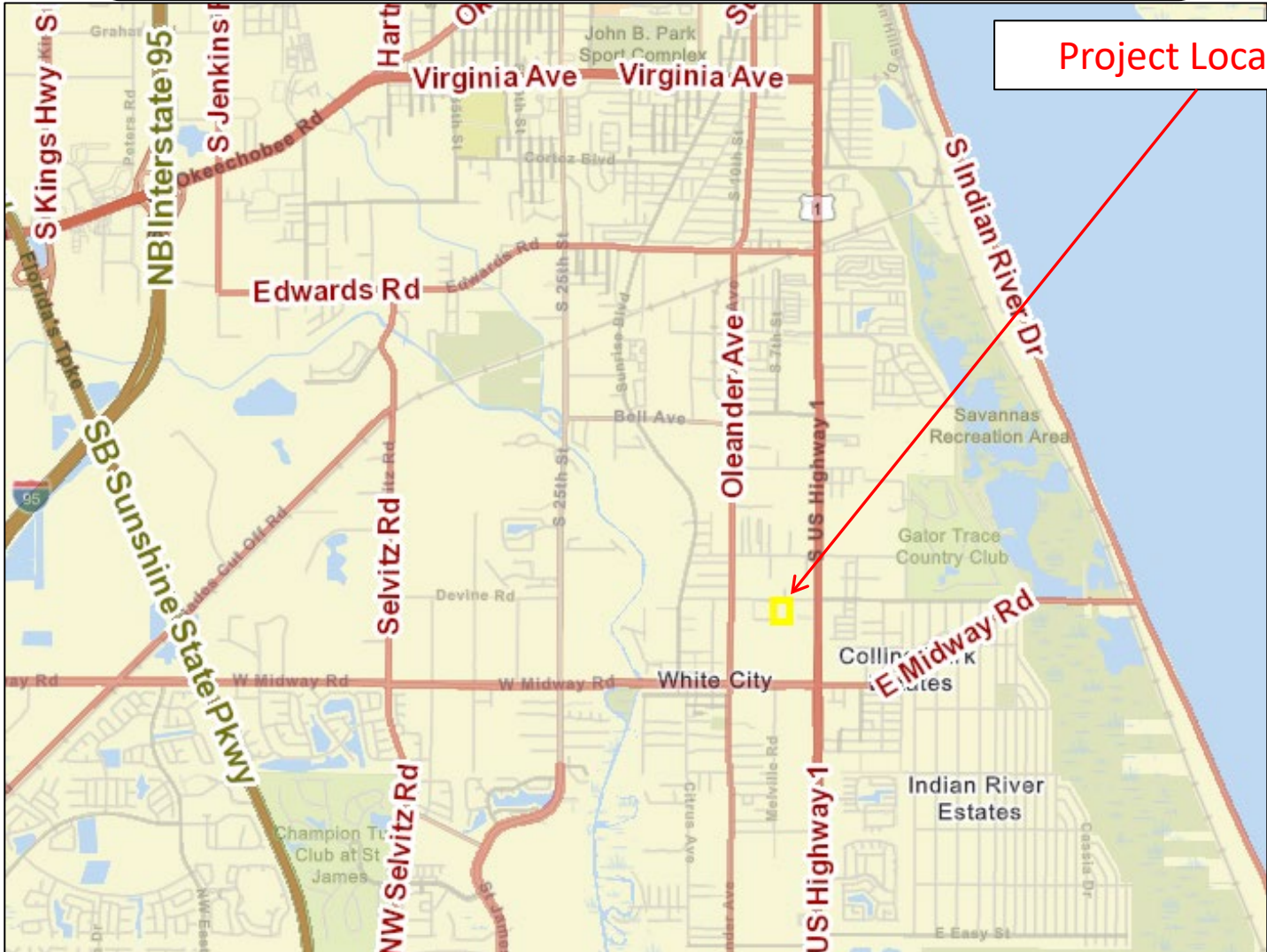
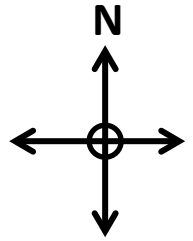
Weatherbee Road  
City of Fort Pierce, Florida

## Location Map

Project: 22-424

Jeremiah Baron & Co Development

08/01/2024



Project Location



# Environmental Impact Report

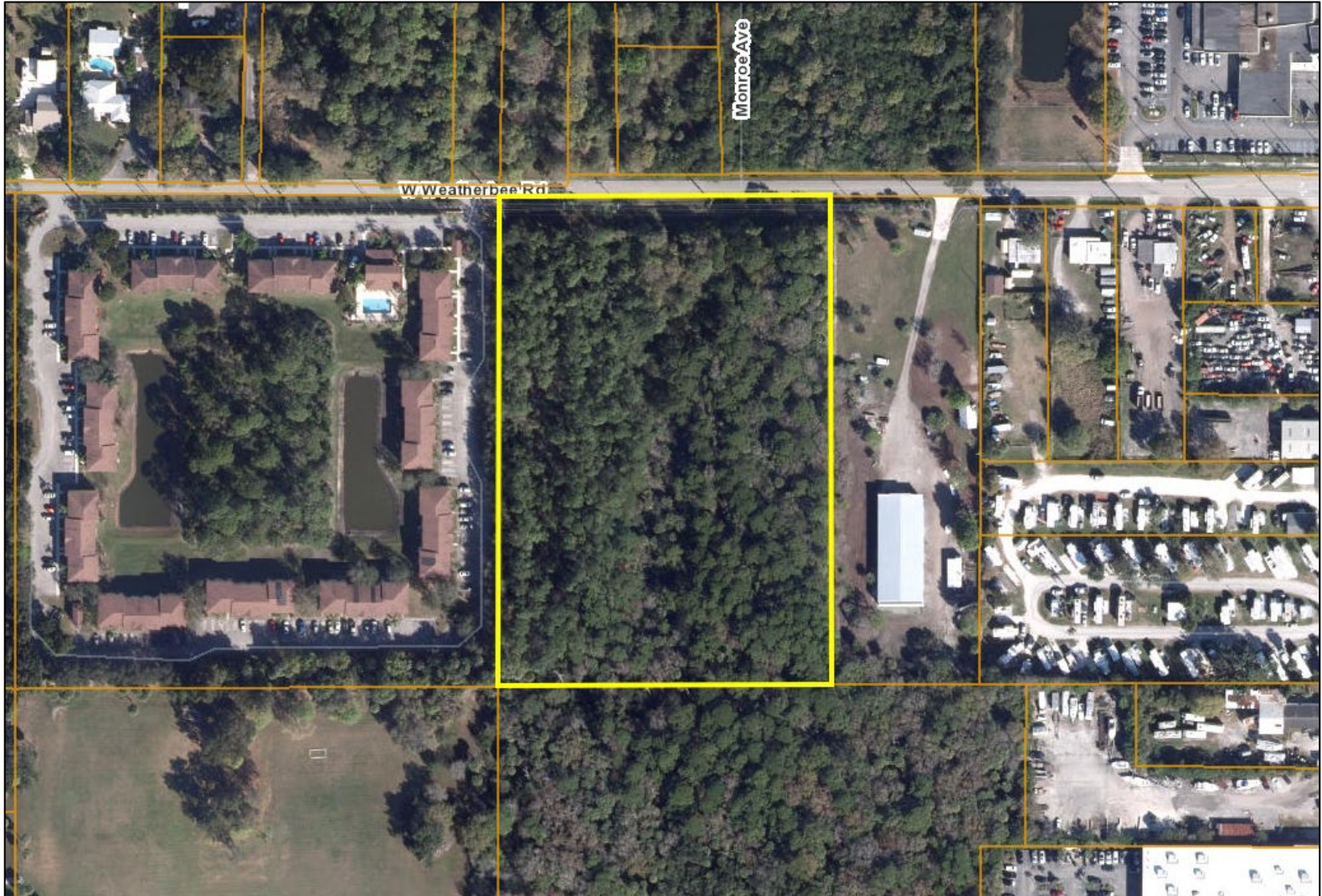
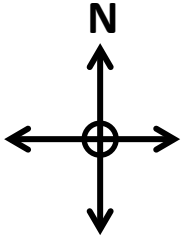
Weatherbee Road  
City of Fort Pierce, Florida

Property Appraiser Map

Project: 22-424

Jeremiah Baron & Co Development

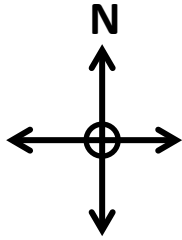
08/01/2024





# Environmental Impact Report

Weatherbee Road  
 City of Fort Pierce, Florida  
 USDA Web Soil Survey Map



Project: 22-424

Jeremiah Baron & Co Development

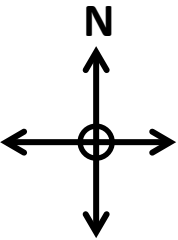
08/01/2024



St. Lucie County, Florida (FL111)			
St. Lucie County, Florida (FL111)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
2	Ankona and Farmton sands	5.1	75.2%
43	Susanna and Wauchula sands	1.7	24.8%
<b>Totals for Area of Interest</b>		<b>6.8</b>	<b>100.0%</b>



<h1>Environmental Impact Report</h1> <p>Weatherbee Road City of Fort Pierce, Florida</p>		
<h2>Florida Cooperative Land Cover (CLC) Map</h2>		
Project: 22-424	Jeremiah Baron & Co Development	08/01/2024

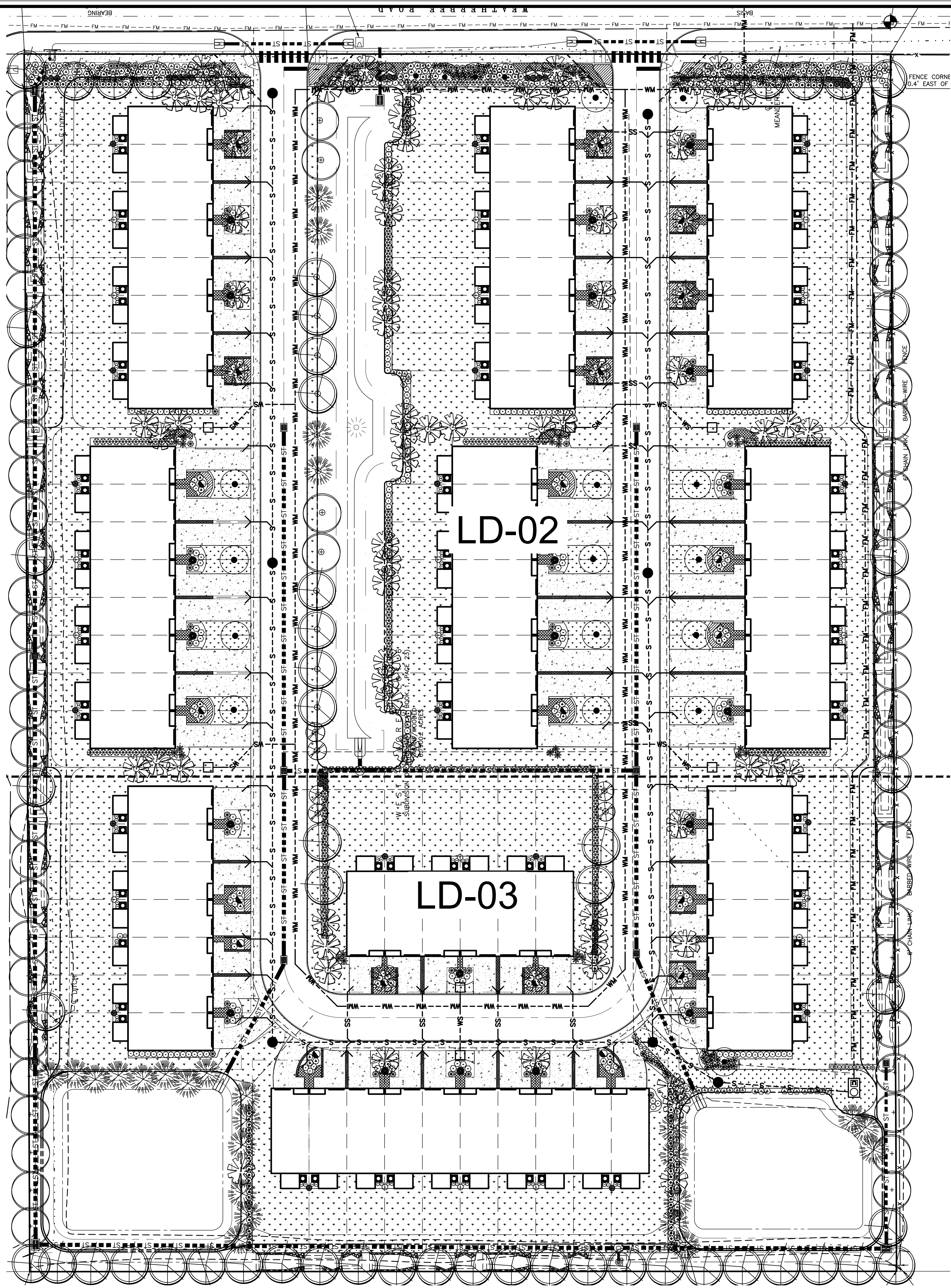


Florida CLC Codes	
182112	Urban Open Pine <span style="display: inline-block; width: 20px; height: 15px; background-color: #e67e22; border: 1px solid black;"></span>
<p><b>*This map demonstrates an approximation of habitat boundaries on site.</b></p>	









**Landscape Data:**

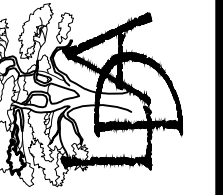
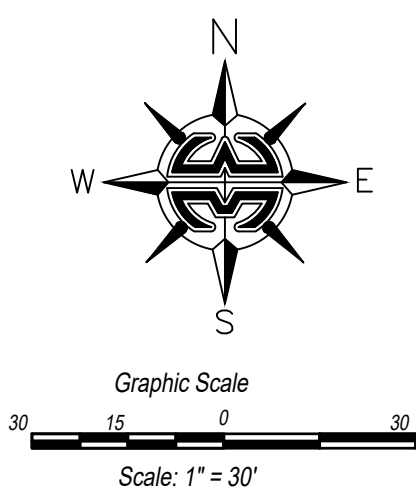
Exterior Landscape:		
VUA against R/W line:		
North: 459'-67" driveway = 392 x 10 = 3920 sf/300		13 trees
Interior Landscape		
Total VUA area:	28,396 sf	
Landscape Area required:	1 sf/15 sf VUA	1,893sf
Total Interior trees required:	1,893, 1 tree/100 sf	19 trees
Landscape area provided:		9,706 sf
Total trees required:		32 Trees
Total trees provided:		194 Trees

**Landscape Legend:**

Symbol	Qty	Tag	WU	Name (N) Native (F) Flowering Tree (E) Evergreen
<b>Trees:</b>				
●	57	AR		Red Maple (N)(F)
●	19	IC		Acer rubrum, FG, 12' Ht, 5' Spr., 2.5" DBH
●	53	QV		Dahoon Holly (N)(E)
●	80	SP		Ilex cassine, FG, 12' ht, 5' Spr., 2.5" DBH
●	12	TA		Live Oak (N)(E)
●	26	TD		Quercus virginiana, FG, 12' Ht, 5' Spr., 2.5" DBH
<b>Accents:</b>				
●	36	CRI		Cabbagge Palm (N) (3:1)
●	20	HIS		relocated from site
●	20	LEP		Yellow Tabebuia (F)
<b>Shrubs:</b>				
●	87	FOR		Tabebuia argentea, FG, 12' Ht, 5' Spr., 2.5" DBH
●	265	HAM		Bald Cypress
●	59	HIB		Taxodium distichum, FG, 12' ht, 5' spr., 2.5" DBH
●	140	MUH		Crinum Lily
●	195	MYR		Crinum asiaticum 'Queen Emma, 7 gal, 36" oc
●	124	SPA		Hibiscus Standard, 'Tequila'
●	165	TRI		Hibiscus rosa-sinensis, 7 gal, STD, 36" ht
●	179	VIB		New Zealand Tea Tree
●	67	ZAM		Leptospermum scoparium, 7 gal, 36" oc
<b>Groundcover:</b>				
■	80	LAN		Florida Privet (N)
■	3,397	LIR		Foresteria segregata, 3 gal, 24" ht, 36" o.c.
■	1,366	PEN		Dwarf Firebush (N)(F)
■	72,918	SOD		Hamelis patens 'Compacta', 3 gal, 18" ht, 36" o.c.
				Hibiscus
				Hibiscus rosa-sinensis, Red, 3 gal, 18" ht, 36" oc
				Muhly Grass
				Muhlenbergia capillaris, 3 gal, 36" oc
				Simpson's Stopper (N) (E)
				Myrcianthes fragrans, 3 gal, 24"x18", 36" o.c.
				Sand Cordgrass (N)
				Spartina patens, 3 gal, 36" oc
				Dwarf Fakahatchee Grass (N)
				Tripsacum floridana, 3 gal, 36" oc
				Dwarf Walters Viburnum (N)
				Viburnum obovatum 'Mrs Schiller', 3 gal, 24" ht, 24" o.c.
				Coontie (N)(E)
				Zamia pumilia, 3 gal, 36" oc
				Pineland Lantana (N)
				Lantana depressa, 1 gal, 6"x12", 36" o.c.
				Liriope
				Liriope muscari 'Emerald Goddess', 1 gal, 12" oc
				Pentas
				Pentas lanceolata 'New Look Pink', 1 gal, 6" ht, 12" oc.
				Argentine Bahia Sod
				Paspalum notatum 'Argentine', weed free, laid tight

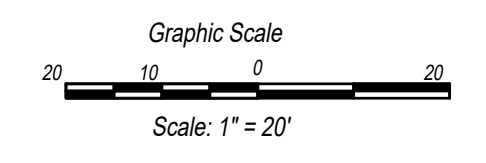
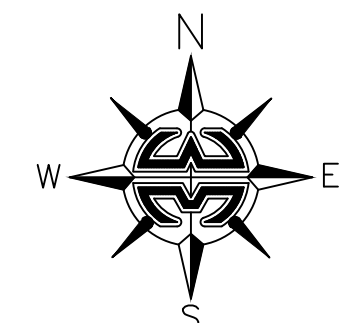
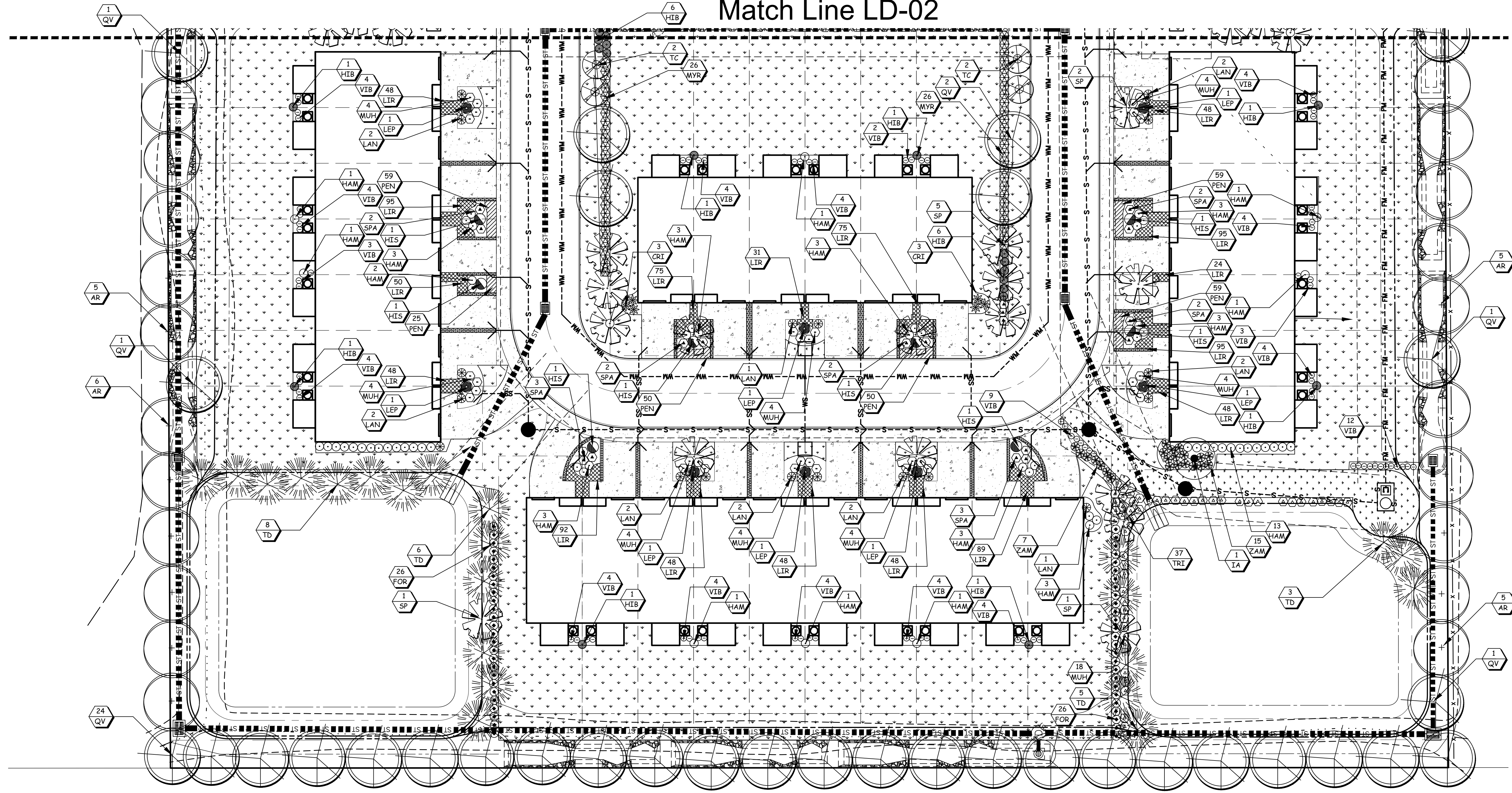
**General Notes:**

- No landscape materials other than sod grasses may be planted within a 5' radius maintenance area of any underground utility such as water meters, backflow devices, fire hydrants, sanitary sewer cleanouts, and manholes, air release valves, etc.
- No landscaping shall be planted in a manner that would adversely affect utility easements.
- All landscape areas to receive automatic irrigation. Water source to be potable or well and will be determined at time of building permit application.
- Sod around buildings to be St. Augustine 'Bitter Blue' sod. Sod to be weed and disease free and laid tight. All areas within in preservation areas to be seeded with Argentine Bahia grass.
- Not trees to be placed within 6' of any hard surface unless root barrier will be installed along the edge of the hard surface. Root barrier to extend at least 5' in either direction from the center of the tree trunk. Refer to Sheet LD-05 for installation details.
- All landscape areas to receive automatic irrigation. Irrigation to provide 100% coverage and 50% overlap. Water source to be a new well and pump.



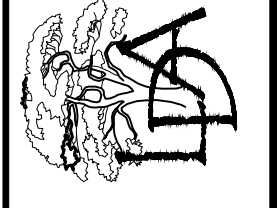


Match Line LD-02



**Weatherbee Townhomes**  
City of Fort Pierce  
**Landscape Plan**

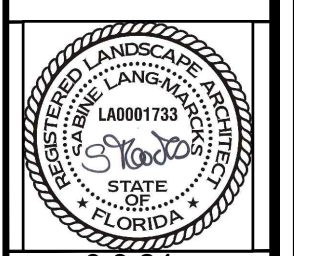
Landscape Design Associates  
25110 NW 182nd Ave  
High Springs, FL 32643  
352-210-5765 ph, www.landscape.com



Scale:	1" = 20'
Drawn by:	SM
Checked by:	SM
CADD No.:	23-041 lp.dwg
Date:	8.31.23

Revisions	Comments
Date	9.3.24
Comments	Redesign

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**PLANTING NOTES:**

**FERTILIZER**

FERTILIZERS SHALL BE SLOW RELEASE, UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THE FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED BAGS, EACH BEARING THE MANUFACTURERS STATEMENT OF ANALYSIS, AND SHALL MEET THE FOLLOWING REQUIREMENTS: SIX (6) PERCENT NITROGEN, SIX (6) PERCENT PHOSPHOROUS, AND SIX (6) PERCENT POTASSIUM. FERTILIZER SHALL BE APPLIED TO ALL SHRUBS (1/3 LB PER 3 GAL POT, 1/4 LB PER 1 GAL POT) AND GROUNDCOVER. THE SOD STARTER FERTILIZER MIXTURE SHALL BE A 5-10-10 ANALYSIS. A 14-14-14 FERTILIZER ANALYSIS IS REQUIRED ON ALL TREES AND SHRUBS OVER 5' IN HEIGHT (1/2 LB PER 5' OF SPREAD). AGRIFORM TABLETS WITH TWENTY (20) PERCENT NITROGEN, TEN (10) PERCENT PHOSPHOROUS, FIVE (5) PERCENT POTASSIUM IN 21 GRAM SIZES SHALL BE APPLIED ALONG WITH THE FERTILIZER PROCESS (1 WITH 1 GAL PLANTS, 2 WITH 3 GAL PLANTS AND 2 TABLETS PER 1" OF TREE TRUNK CALIPER). MAGNESIUM SULFATE SHALL BE APPLIED TO ALL PALMS AT INSTALLATION AT A RATE OF 1/2 LB PER INCH OF TRUNK CALIPER. MANGANESE SHALL BE APPLIED AT THE SAME RATE.

**MULCH**

MULCH MATERIAL SHALL BE COLORED 'A' GRADE CERTIFIED RECYCLED MULCH AND MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT. MULCH SHALL BE APPLIED TO A MINIMUM OF 3" DEPTH IN PLANTING BEDS. MULCH SHALL NOT BE PLACED WITHIN 6" OF TREE OR PALM TRUNKS.

**SOD**

THE SOD SHALL BE CERTIFIED TO MEET FLORIDA STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND.

**SUBSTITUTIONS**

NO SUBSTITUTION OF PLANT MATERIAL TYPES OR SIZES WILL BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT OF RECORD. CONTAINER GROWN MATERIAL WILL NOT BE ACCEPTED AS A SUBSTITUTE FOR B & B MATERIAL UNLESS PREVIOUSLY APPROVED. INTENDED SUBSTITUTIONS SHALL BE SPELLED OUT IN BID.

**MEASUREMENTS**

**SHADE TREES:** HEIGHT SHALL BE MEASURED FROM GROUND TO THE AVERAGE BRANCH HEIGHT OF CANOPY. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF "V" CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE INFESTATION.

**SHRUBS:** HEIGHT SHALL BE MEASURED FROM THE GROUND TO THE AVERAGE POINT WHERE MATURE PLANT GROWTH STOPS. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE SHRUB MASS. MEASUREMENT AREA NOT TO INCLUDE ANY TERMINAL GROWTH.

**PALMS:** CLEAR TRUNK SHALL BE MEASURED FROM THE GROUND AT THE TIME OF INSTALLATION TO THE POINT WHERE THE MATURE AGED TRUNK JOINS THE IMMATURE OR GREEN PORTION OF THE TRUNK OR HEAD.

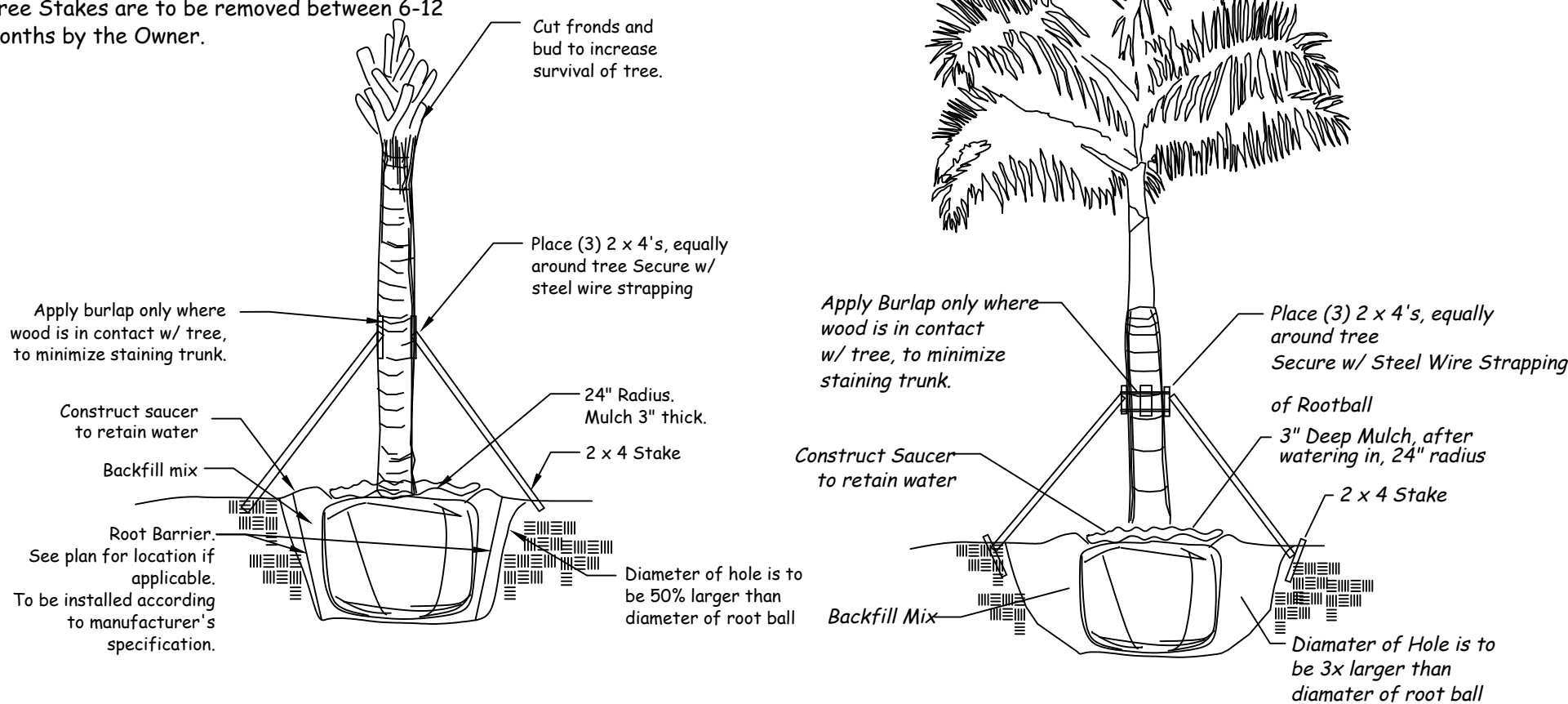
**GREY WOOD (G.W.):** - SHALL BE MEASURED FROM THE GROUND AT THE TIME OF INSTALLATION TO TOP OF THE HARDENED TRUNK.

**OVERALL HEIGHT (O.A.):** - SHALL BE MEASURED FROM THE GROUND AT THE TIME OF INSTALLATION TO THE AVERAGE FROND HEIGHT.

**PALMS WITH MARRED OR BURNED TRUNKS** WILL NOT BE ACCEPTED.

**Palm Planting Detail**

Tree Stakes are to be removed between 6-12 months by the Owner.



**PLANTING SOIL AND BACKFILL**

TOPSOIL SHALL CONSIST OF A STABILIZED MIXTURE OF GROUND YARD TRIMMINGS AND POSSIBLY BIOSOLIDS PROCESSED ACCORDING TO STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION GUIDELINES FOR THE PROCESSING AND DISTRIBUTION OF SEWAGE SLUDGE COMPOST. RECYCLED TOPSOIL SHALL ONLY BE OBTAINED FROM A STATE PERMITTED RECYCLING FACILITY WHICH IS ALSO D.O.T. CERTIFIED AND STORES PRODUCT ON A PAD WITH A CURRENT NEMATODE CERTIFICATION FROM FLORIDA DEPARTMENT OF AGRICULTURE. RECYCLED TOPSOIL SHALL HAVE THE FOLLOWING CHARACTERISTICS:

- WEED FREE
- MOISTURE CONTENT 50% BY WEIGHT MAXIMUM
- WATER HOLDING CAPACITY 200% BY WEIGHT MINIMUM
- CARBON TO NITROGEN RATIO LESS THAN 25 TO 1
- ORGANIC MATTER CONTENT 40% BY DRY WEIGHT MINIMUM
- SOLUBLE SALTS LESS THAN 3 MMHOS/CM
- PH RANGE 7.0 - 7.9
- MINIMUM NUTRIENT LEVELS AS FOLLOWS:
  - MACRO NUTRIENTS: NITROGEN (N) - 1% MINIMUM, WATER INSOLUBLE NITROGEN 90% MINIMUM, PHOSPHORUS (P) - 0.5% MINIMUM, POTASSIUM (K) - 0.2% MINIMUM AND OTHER MACRO AND MICRO NUTRIENTS. THE RECYCLED TOPSOIL SHALL CONTAIN LEVELS OF THOSE MICRO NUTRIENTS NECESSARY FOR PLANT GROWTH. THESE INCLUDE CALCIUM, MAGNESIUM, SULFUR, BORON, COPPER, IRON, MANGANESE AND MOLYBDENUM. TOPSOIL NOT MEETING THESE REQUIREMENTS WILL NOT BE ACCEPTED.

**BACKFILL:** ALL NEW AND TRANSPLANTED PLANT MATERIAL (INCLUDING NEW SOD) SHALL BE PLANTED ONLY AFTER PREPARATION OF EXISTING SOIL AS FOLLOWS: SPREAD A LAYER OF 3" DEPTH OF RECYCLED TOPSOIL (AS DEFINED ABOVE) OVER THE ENTIRE PLANTING AREA. THE TOPSOIL SHALL THEN BE UNIFORMLY DISKED, TILLED OR AERIFIED INTO THE EXISTING SOIL TO A DEPTH OF 12" UNDERNEATH SHRUBS AND GROUNDCOVERS, 6" UNDERNEATH SOD AND TO A DEPTH OF 36" FOR THE TREE PITS, WITH THE FOLLOWING EXCEPTION: NO ROTOTILLING OR DISKING SHALL OCCUR CLOSER TO THE TRUNKS OF ESTABLISHED PLANTS THAN ONE HALF (1/2) THE DISTANCE OF THE CANOPY FURTHER OUT FROM THE DRIP LINE OF THE EXISTING PLANT CANOPY. ALL PLANTS, INCLUDING HEDGES AND GROUND COVER SHALL BE PLANTED IN INDIVIDUALLY DUG HOLES AND THE MATERIAL DUG FROM THE HOLES SHALL THEN BE FURTHER MIXED WITH THE PREPARED SITE SOIL PRIOR TO BACKFILLING OF THE PLANTING HOLES AROUND THE ROOT BALLS. NO ADDITIONAL BACKFILL SOIL SHALL BE USED.

AN EXCEPTION ARE PLANTING PITS FOR CABBAGE PALMS, WHICH SHALL BE BACKFILLED WITH CLEAN NATIVE SAND ONLY.

REMOVE EXCESS MATERIAL TO PROVIDE PROPER FINISHED GRADE.

**PLANT MATERIALS**

TREES, PALMS, SHRUBS, GROUND COVERS:

PLANT SPECIES AND SIZES SHALL CONFORM TO THOSE INDICATED IN THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES, 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS, PARTS I & II, LATEST EDITION PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES UNLESS SPECIFIED OTHERWISE. ALL PLANTS SHALL BE NORMAL FOR THE VARIETY AND FLORIDA GRADE NUMBER 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY.

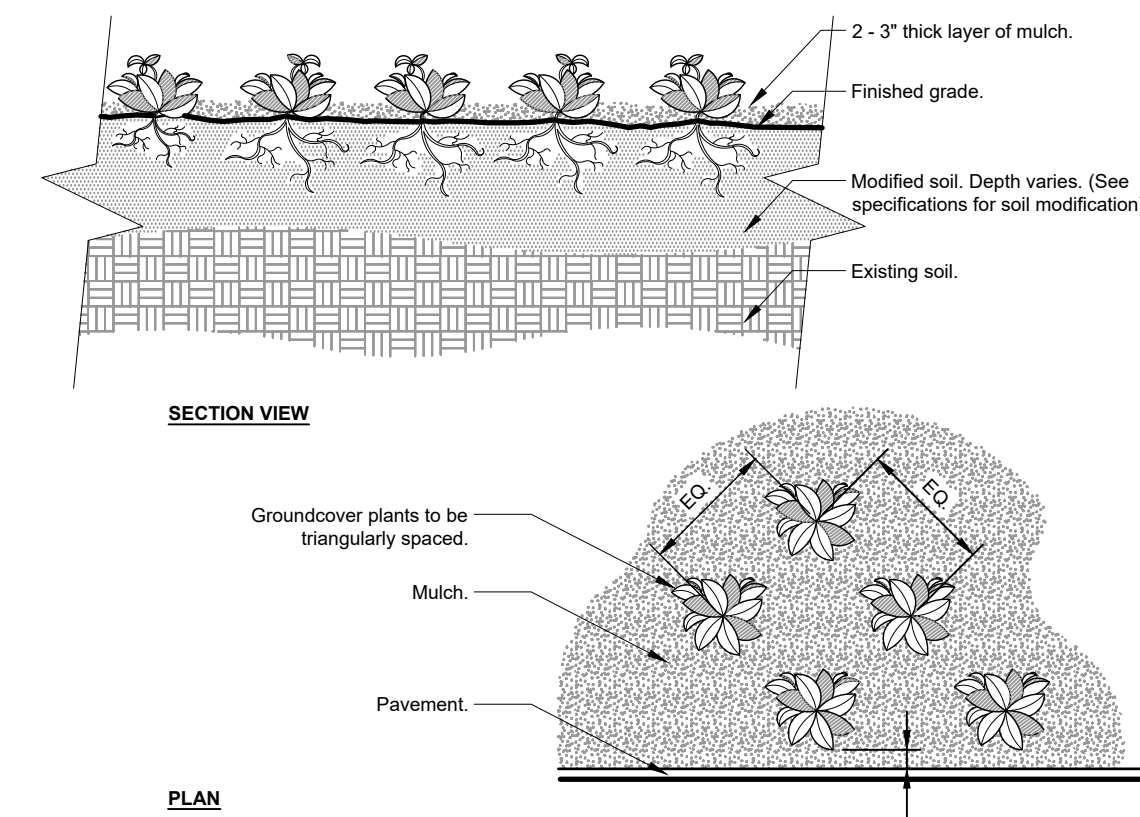
SPECIMEN MEANS AN EXCEPTIONALLY HEAVY, SYMMETRICAL, TIGHTLY KNIT PLANT, SO TRAINED OR FAVORED IN ITS DEVELOPMENT THAT FIRST APPEARANCE IS UNQUESTIONABLE AND IT IS OUTSTANDINGLY SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY.

ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND FREE OF DISEASE AND INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT, WHERE REQUIREMENTS ARE OMITTED FROM THE PLANT LIST. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.

ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS OF GOOD QUALITY AND BE IN HEALTHY GROWING CONDITION. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER.

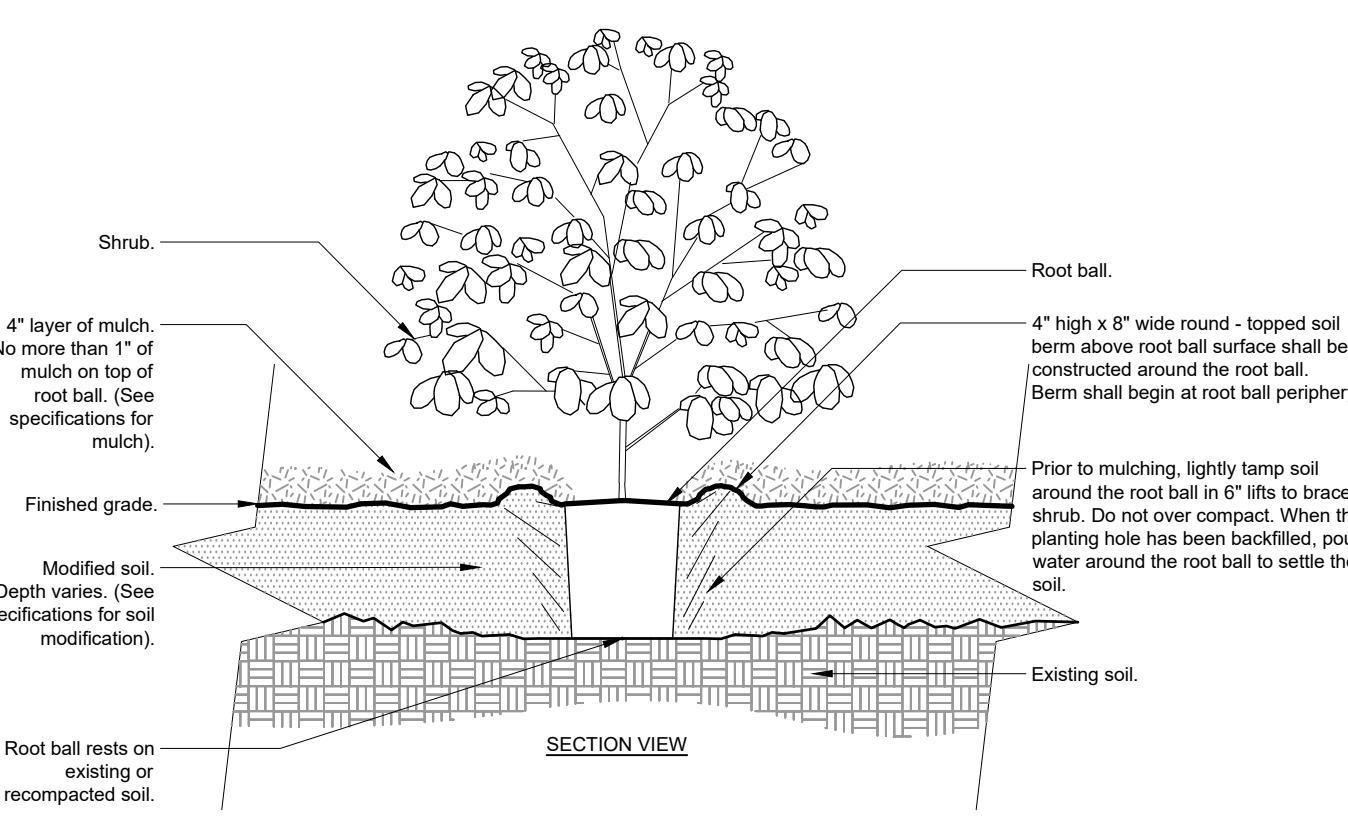
**GENERAL NOTES:**

1. THE CONTRACTOR SHALL PERSONALLY ACQUAINT HIM/HER SELF WITH THE EXISTING SITE CONDITIONS AND THE EXTENT AND SCOPE OF WORK REQUIRED.
2. THE PLANT LIST INDICATES THE NAMES, SIZES AND SPACING OF SPECIFIC PLANT MATERIALS. QUANTITIES HAVE BEEN PROVIDED TO THE CONTRACTOR AS A CONVENIENCE. THE CONTRACTOR IS RESPONSIBLE FOR HIS/HER OWN QUANTITY COUNT. IN CASE OF DISCREPANCIES BETWEEN THE DRAWINGS AND PLANT LIST, THE QUANTITIES ON THE PLANT LIST SHALL PREVAIL.
3. NO SUBSTITUTES ON VARIETIES LISTED WILL BE ALLOWED WITHOUT WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT.
4. PLANTS SHALL BE WATERED AS NECESSARY OR WITHIN 24 HOURS AFTER NOTIFICATION BY THE LANDSCAPE ARCHITECT.
5. THE LOCATIONS OF PLANTS, AS SHOWN IN THESE PLANS, ARE APPROXIMATE. THE FINAL LOCATIONS MAY BE ADJUSTED TO ACCOMMODATE UNFORESEEN FIELD CONDITIONS. MAJOR ADJUSTMENTS TO THE LAYOUT ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT OF RECORD.
6. ALL PLASTIC FABRIC SHALL BE REMOVED FROM PLANT MATERIAL AT TIME OF INSTALLATION.
7. ALL TREES MUST BE STAKED AS SHOWN ON THE LANDSCAPE DETAIL SHEET WITHIN 24 HRS OF PLANTING. STAKES TO REMAIN FOR A MINIMUM OF 12 MONTH BUT NO LONGER THAN 18 MONTH. CONTRACTOR RESPONSIBLE FOR MAINTENANCE AND REMOVAL OF THE STAKES.
8. ALL TREES MUST BE PRUNED AS PER LANDSCAPE ARCHITECT DIRECTION.
9. ALL SOD EDGES SHALL BE TRIMMED AS PER THE LANDSCAPE ARCHITECTS DIRECTION.
10. ALL SHRUBS, TREES, GROUNDCOVERS, AND SOD AREAS SHALL HAVE IMPROVED SOIL AS PER PLANTING SOIL NOTES.
11. WILDFLOWER AREAS SHALL BE NATIVE TOPSOIL ONLY.
12. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.
13. SOAK PLANTS IMMEDIATELY WITH WATER FOLLOWING PLANTING.
14. MAINTAIN THE ORIGINAL GRADE OF THE TREE BASE.
15. DO NOT BREAK ROOTBALL. SHADE ROOTBALL OF TREES PER DETAIL BELOW.
16. ALL PLANTS SHALL BE HARDY UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE ON LOCALITY OF THE PROJECT.
17. THE LANDSCAPE CONTRACTOR SHALL WATER, MULCH, WEED, PRUNE, AND OTHERWISE MAINTAIN ALL PLANTS, INCLUDING SOD, UNTIL COMPLETION OF THE CONTRACT OR ACCEPTANCE BY THE LANDSCAPE ARCHITECT. SETTLED PLANTS SHALL BE RESET TO PROPER GRADE, PLANTING SAUCERS RESTORED, AND DEFECTIVE WORK CORRECTED.
18. THE LANDSCAPE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR DEBRIS CAUSED BY THE CREWS DURING THE PERFORMANCE OF THE WORK. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL PROMPTLY REMOVE ALL WASTE MATERIALS, DEBRIS, UNUSED PLANT MATERIAL, EMPTY PLANT CONTAINERS AND ALL EQUIPMENT FROM THE PROJECT SITE.
19. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND REQUEST A FINAL INSPECTION. ANY ITEMS THAT ARE JUDGED INCOMPLETE OR UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR REPRESENTATIVE SHALL BE PROMPTLY CORRECTED BY THE LANDSCAPE CONTRACTOR.
20. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE IN WRITING FROM THE LANDSCAPE ARCHITECT. AT THE TIME OF FINAL ACCEPTANCE THE ONE (1) YEAR PERIOD SHALL COMMENCE. ANY MATERIALS WHICH HAVE DIED DURING THIS PERIOD SHALL BE PROMPTLY REPLACED WITH SPECIMENS THAT MEET THE MINIMUM REQUIREMENTS CALLED FOR IN THE DRAWINGS. THE LANDSCAPE CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR THE DEATH OR DAMAGE RESULTING FROM LIGHTNING, VANDALISM, AUTOMOBILES OR FROM NEGLIGENCE BY THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING AND OTHERWISE MAINTAINING PLANTS DURING THE GUARANTEE PERIOD UNLESS A WRITTEN AGREEMENT WITH THE LANDSCAPE ARCHITECT PROVIDES FOR A DIFFERENT ARRANGEMENT.
21. ALL LABOR AND MATERIAL FOR SOIL AMENDMENTS AND FERTILIZER THAT IS REQUIRED TO INSURE THE SUCCESSFUL ESTABLISHMENT AND SURVIVAL OF THE PROPOSED VEGETATION AS WELL AS ALL COST FOR THE REMOVAL OF UNSUITABLE OR EXCESS BACKFILL MATERIAL SHALL BE INCLUDED IN THE CONTRACTORS BID TO PERFORM THE WORK PRESENTED IN THIS PLAN SET.
22. 100% OF REQUIRED SHRUBS ARE DROUGHT TOLERANT.



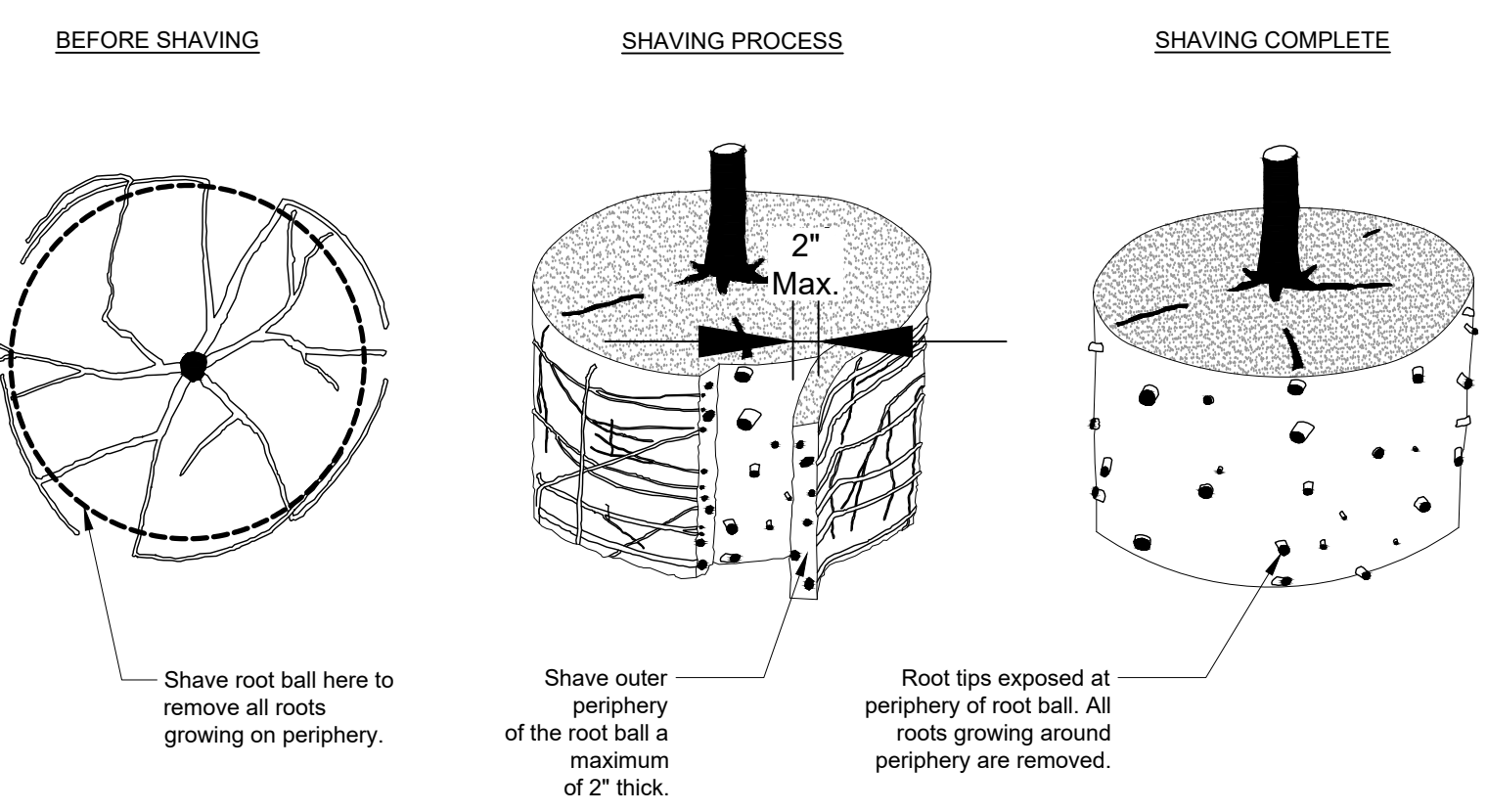
Notes:  
 1- See planting legend for groundcover species, size, and spacing dimension.  
 2- Small roots (2" or less) that grow around, up, or down the root ball periphery are considered a normal condition in container production and are acceptable however they should be eliminated at the time of planting. Roots on the periphery can be removed at the time of planting. (See root ball shaving container detail).  
 3- Settle soil around root ball of each groundcover prior to mulching.

**GROUNDCOVER**



Notes:  
 1- Shrubs shall be of quality prescribed in the root observations detail and specifications.  
 2- See specifications for further requirements related to this detail.

**SHRUB - MODIFIED SOIL**

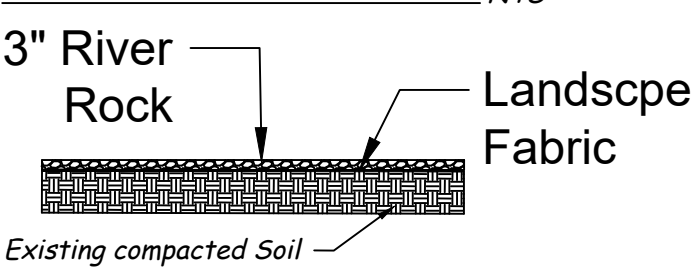


Notes:  
 1- Shaving to be conducted using a sharp blade or hand saw eliminating no more than needed to remove all roots on the periphery of root ball.  
 2- Shaving can be performed just prior to planting or after placing in the hole.

**ROOT BALL SHAVING CONTAINER DETAIL**

Watering Schedule			
Item	Water	Month	No. of Applications
Palms	20 gal	1	12
Large Trees	30 gal	2	12
Small Trees	20 gal	3	8
Large Shrubs	10 gal	4	8
Small Shrubs	5 gal	5	5
Groundcover	5 gal		
<b>Total Applications</b>			<b>45</b>

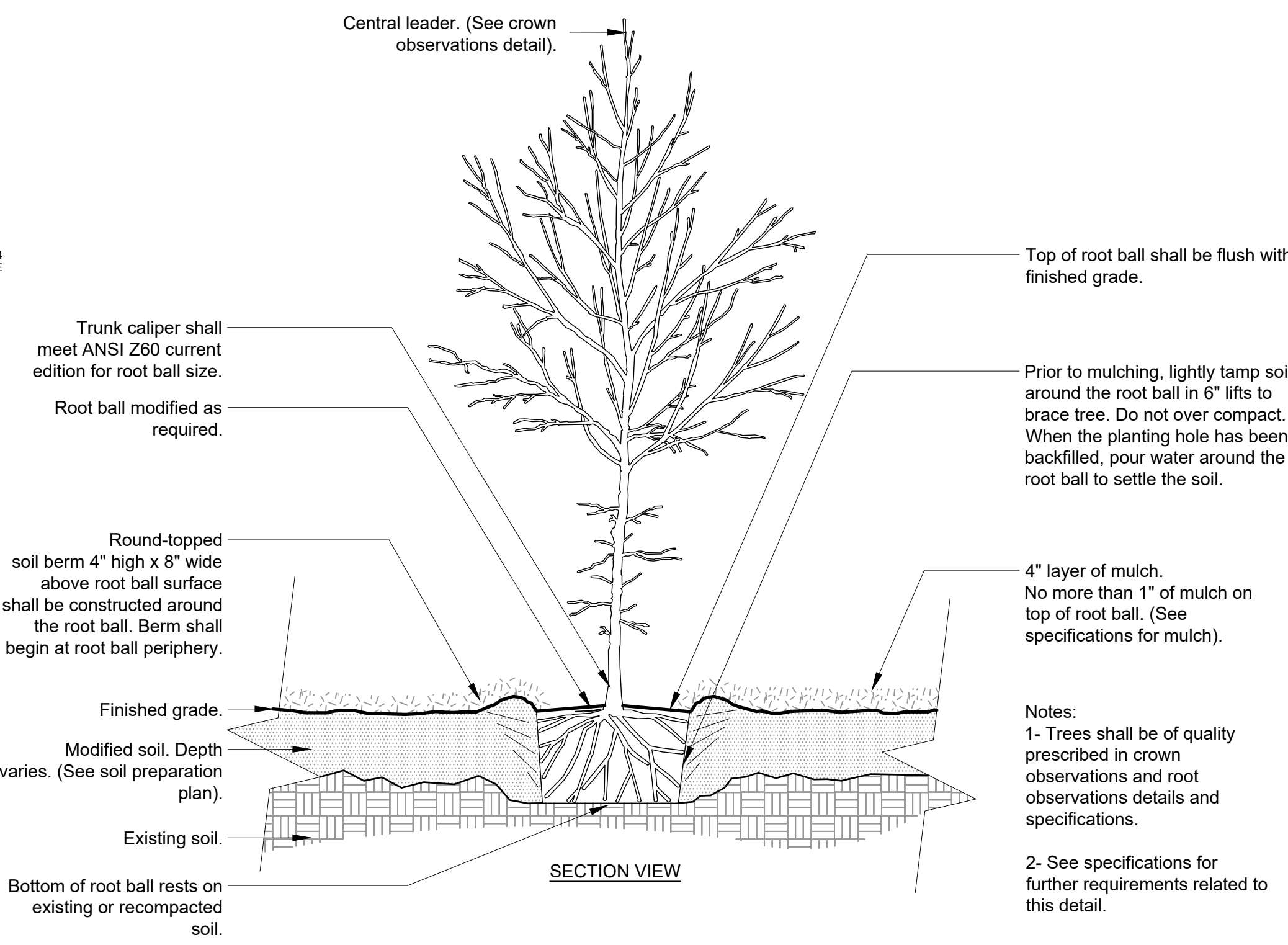
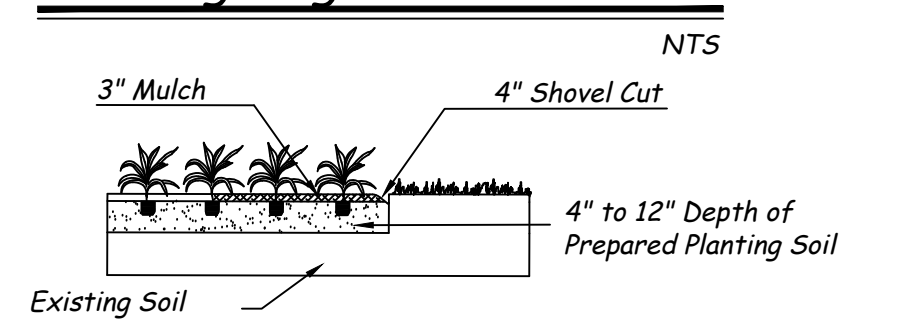
**Gravel Strip Detail**



**ABBREVIATIONS:**

- C.T. - CLEAR TRUNK
- Ht. - HEIGHT
- O.C. - ON CENTER
- Spr. - SPREAD

**Planting Edge at Sod Detail**

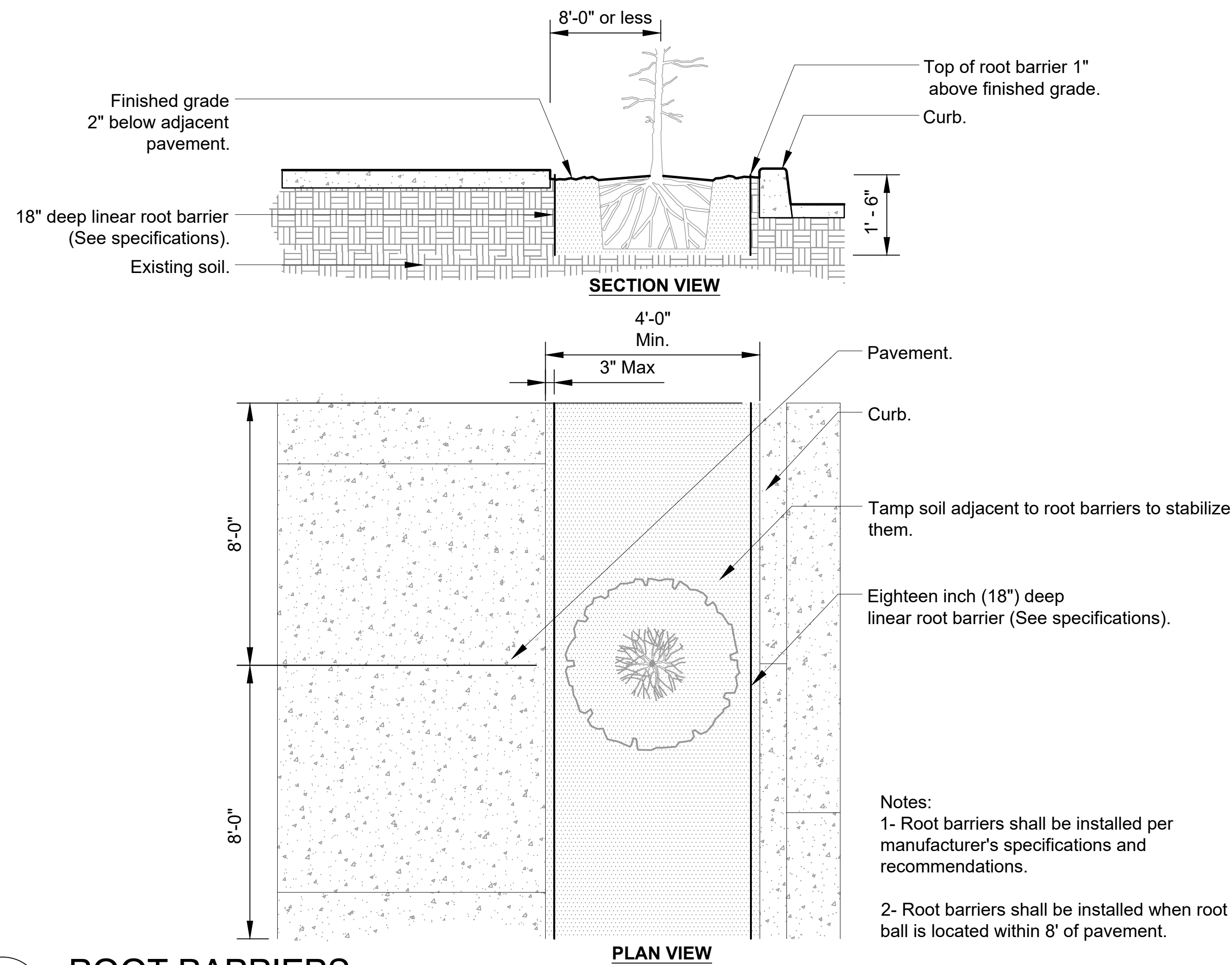


**TREE w/ BERM (EXISTING SOIL MODIFIED)**

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Drawn by:	SM
Checked by:	SM
CADD No.:	23-041.Lp.dwg
Date:	8.31.23

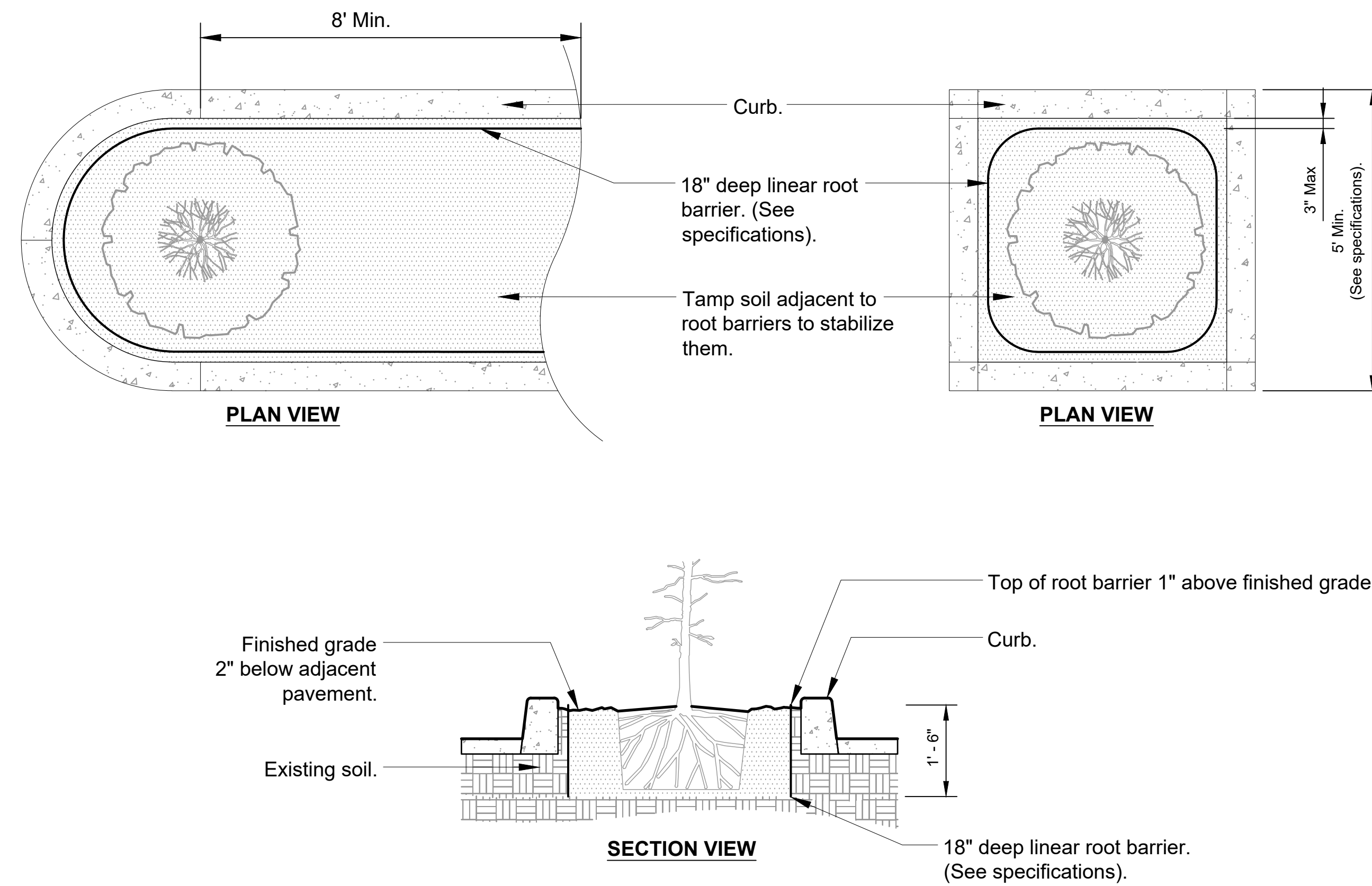
Revisions	Comments	Date
		8.31.24



Notes:  
 1- Root barriers shall be installed per manufacturer's specifications and recommendations.  
 2- Root barriers shall be installed when root ball is located within 8' of pavement.

**S-X ROOT BARRIERS**  
 3/8" = 1'-0"

URBAN TREE FOUNDATION © 2014  
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 L\_site preparation\_rootbarriers

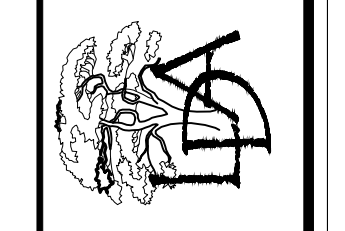


Notes:  
 1- Root barriers shall be installed per manufacturer's specifications and recommendations.  
 2- Root barriers shall be installed when root ball is located within 6' of pavement.

**ROOT BARRIERS - PARKING LOT ISLANDS**

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Landscape Design Associates  
 25110 NW 182nd Ave  
 High Springs, FL 32643  
 352-210-5765 ph, www.landscapea.com



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Revisions	Comments	Date
	Redesign	9.3.24

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 10000 W. WINDY HILL  
 FORT WORTH, TX 76116  
 WWW.URBANTREEFOUNDATION.COM

**Weatherbee Townhomes**  
 City of Fort Pierce  
**Landscape Notes & Details**





**Redtail DG**  
100 S. 2nd Street  
Fort Pierce, Florida 34950  
(772) 742 1555  
redtaildg.com  
[todm@redtaildg.com](mailto:todm@redtaildg.com)

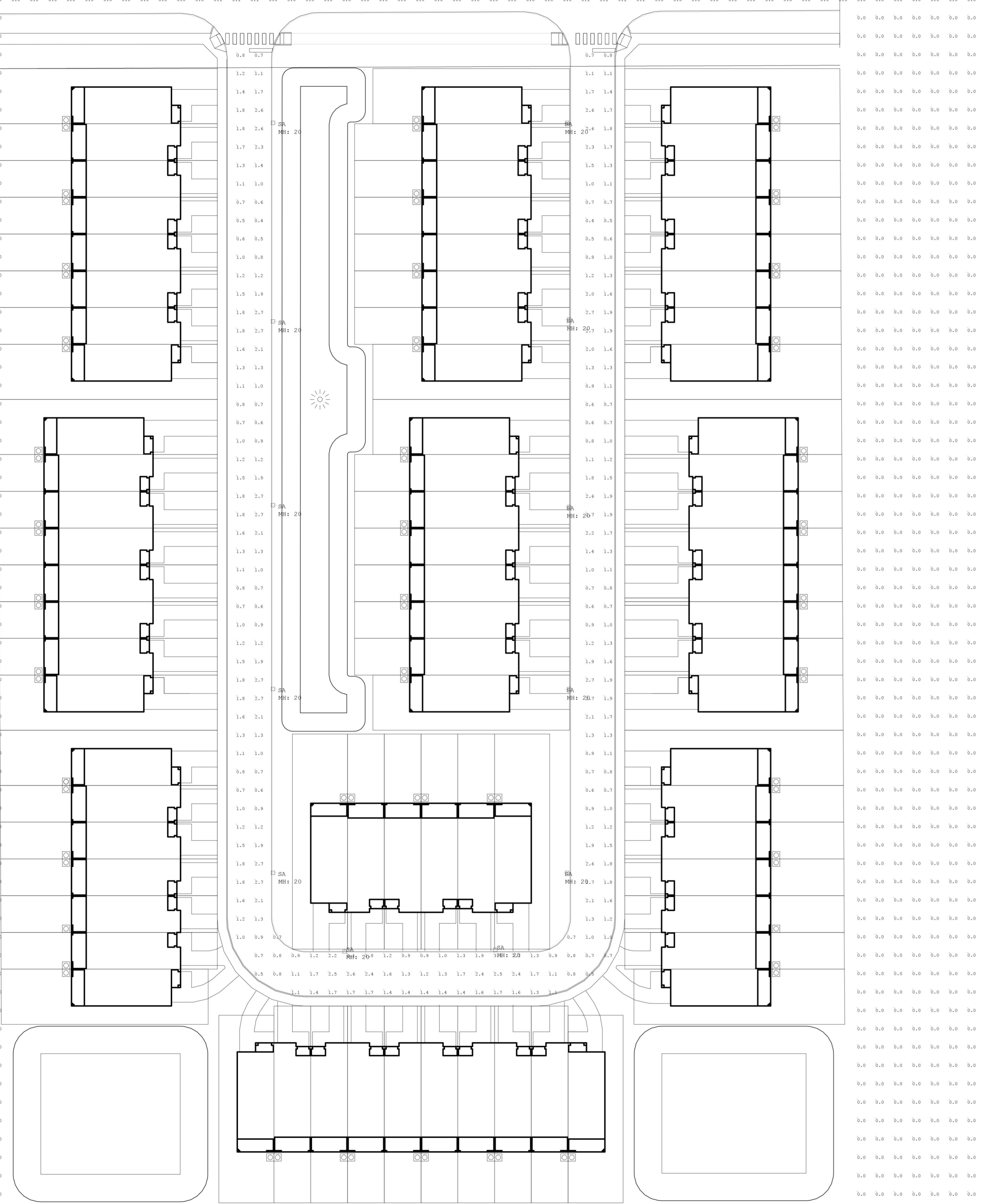
## RENDERING OF SIGNS

No signs have been proposed for the development.

Sincerely,

**Vlada Peterka**  
Senior Project Manager  
Redtail DG

# Weatherbee Road Townhomes Lighting Plan



Luminaire Schedule					LLF	Luminaire Lumens	Luminaire Watts	Total Watts
Symbol	Qty	Label	Arrangement	Description				
--	12	SA	Single	Cree Lighting OSQM-C-9L-40K7-3B-XX-NM-XX, Single Head	0.900	5875	55	660

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Roadway	Illuminance	Fc	1.41	3.1	0.4	3.53	7.75
Spill	Illuminance	Fc	0.00	0.1	0.0	N.A.	N.A.

A Traffic Impact Analysis for:

# Weatherbee Road Development

Located in:  
**City of Fort Pierce, Florida**

Prepared for:  
City of Fort Pierce Planning Department

Prepared by:



**GIANGRANDE**  
Engineering & Planning

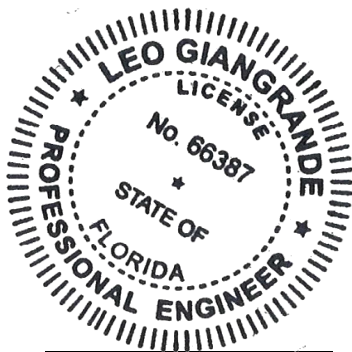
*Engineering Business License: 30901*

**710 SE Ocean Boulevard**

**Stuart Florida, 34994**

**(772) 888-9076**

August 2024



Leo D. Giangrande, P.E.  
PE Reg #66387

This item has been digitally signed and sealed by Leo D. Giangrande on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

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Trip Distribution..... 2  
Background & Build-out Conditions..... 4  
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**APPENDICES**

ITE Trip Generation 11<sup>th</sup> Edition Reference Sheets  
St Lucie County TPO Fall 2023 Roadway Level of Service Inventory Report  
Conceptual Site Plan

## **EXECUTIVE SUMMARY**

The purpose of this report is to determine traffic impact of the Weatherbee Road Development new construction project. The 7.0-acre site is located 1,000 feet west of US Highway 1 on the south side of Weatherbee Road in Fort Pierce, Florida. The project location is shown in **Figure 1** in the report. The site will include two driveways, which can be seen on the **Site Plan** located in the appendix.

Based on the City Code of Ordinances Section 105-5.f.2.b the small scale impact with 27 peak hour peak direction trips (both AM and PM) analyzed within a 1.5 mile radius is not expected to have adverse impacts to the surrounding roadway network based on build-out conditions.

The distribution of trips produces an impact less than 1.0% of the roadway level of service after the first adjacent roadway.

The background historical growth was analyzed to the 5-year outlook to 2029 as specified in the City Code.

Driveway queueing length is fully provided on-site.

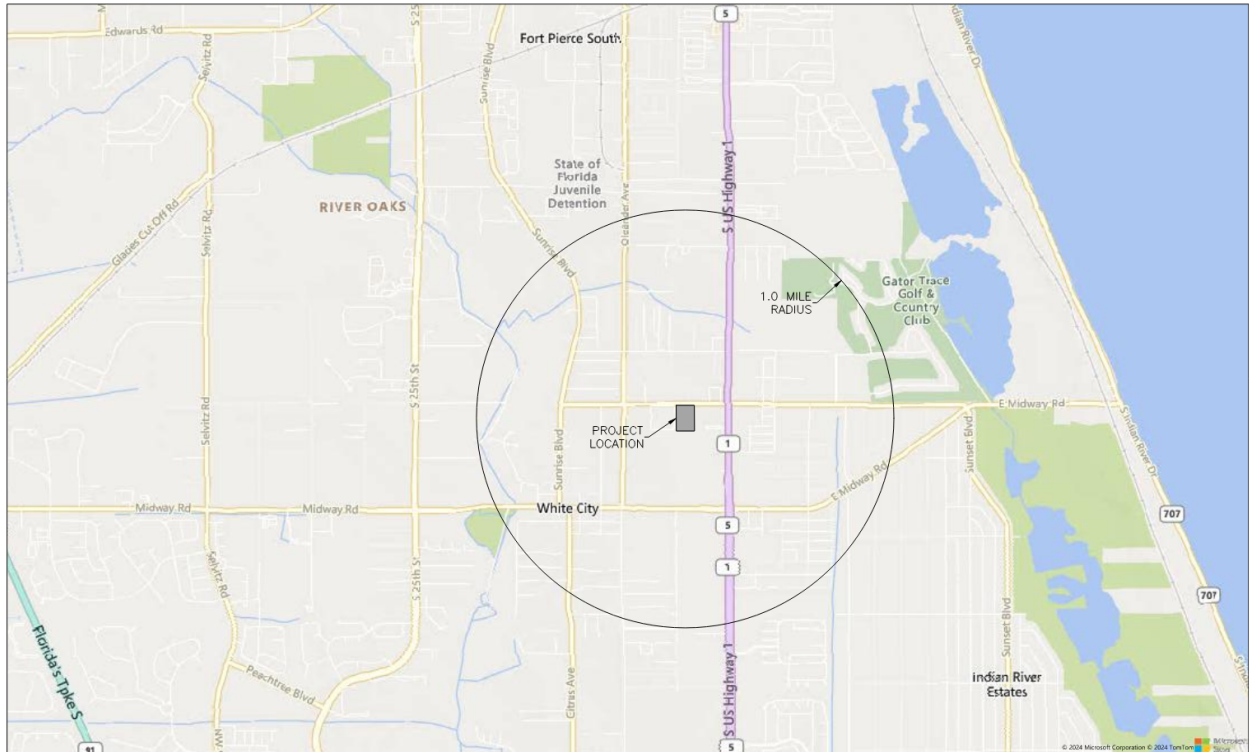
Auxiliary lanes are not warranted for the small impact according to the standards of the latest FDOT access management guidebook.

The projected volumes generated by the anticipated uses indicate that the adjacent roadway links will operate at an acceptable Level of Service with no need for mitigation improvements. The existing roadway network is capable of accommodating the additional new vehicle trips the development is predicted to generate.

## INTRODUCTION

Giangrande Engineering and Planning (GEP) has prepared this traffic report as part of the site plan application for the Weatherbee Road Development new construction project. The 7.0-acre site is located 1,000 feet west of US Highway 1 on the south side of Weatherbee Road in Fort Pierce, Florida. The Parcel Identification Number is 3403-502-0015-000-5. **Figure 1** below details the location of the site in relation to the surrounding roadway network.

**Figure 1 – Site Location**



**TRIP GENERATION**

The peak hour traffic generation for the site is available from the Institute of Transportation Engineers (ITE) Trip Generation Manual 11<sup>th</sup> Edition Web-Based App for Multifamily Housing (Low-Rise) (ITE Code 220). Pass-by reduction percentages were not utilized for this type of land use. The calculation of the trip generation is summarized below in **Table 1**.

**Table 1 – Proposed Trip Generation**

Weatherbee Road Apartments, Fort Pierce, Florida										
ITE Trip Generation Rates 11th Edition - Peak Hour of Adjacent Street- Fitted Curve										
ITE Code	Land Use	Ind. Variables	Units	AM			PM			ADT
				In	Out	Total	In	Out	Total	Total
220	Multifamily Housing (Low-Rise)	78	DU's	12	36	48	35	20	55	576
		<b>Total</b>		<b>12</b>	<b>36</b>	<b>48</b>	<b>35</b>	<b>20</b>	<b>55</b>	<b>576</b>

As determined in the calculation table provided above, the greatest peak hour peak direction impact is for the AM Exiting trips with a total of approximately 36 trips.

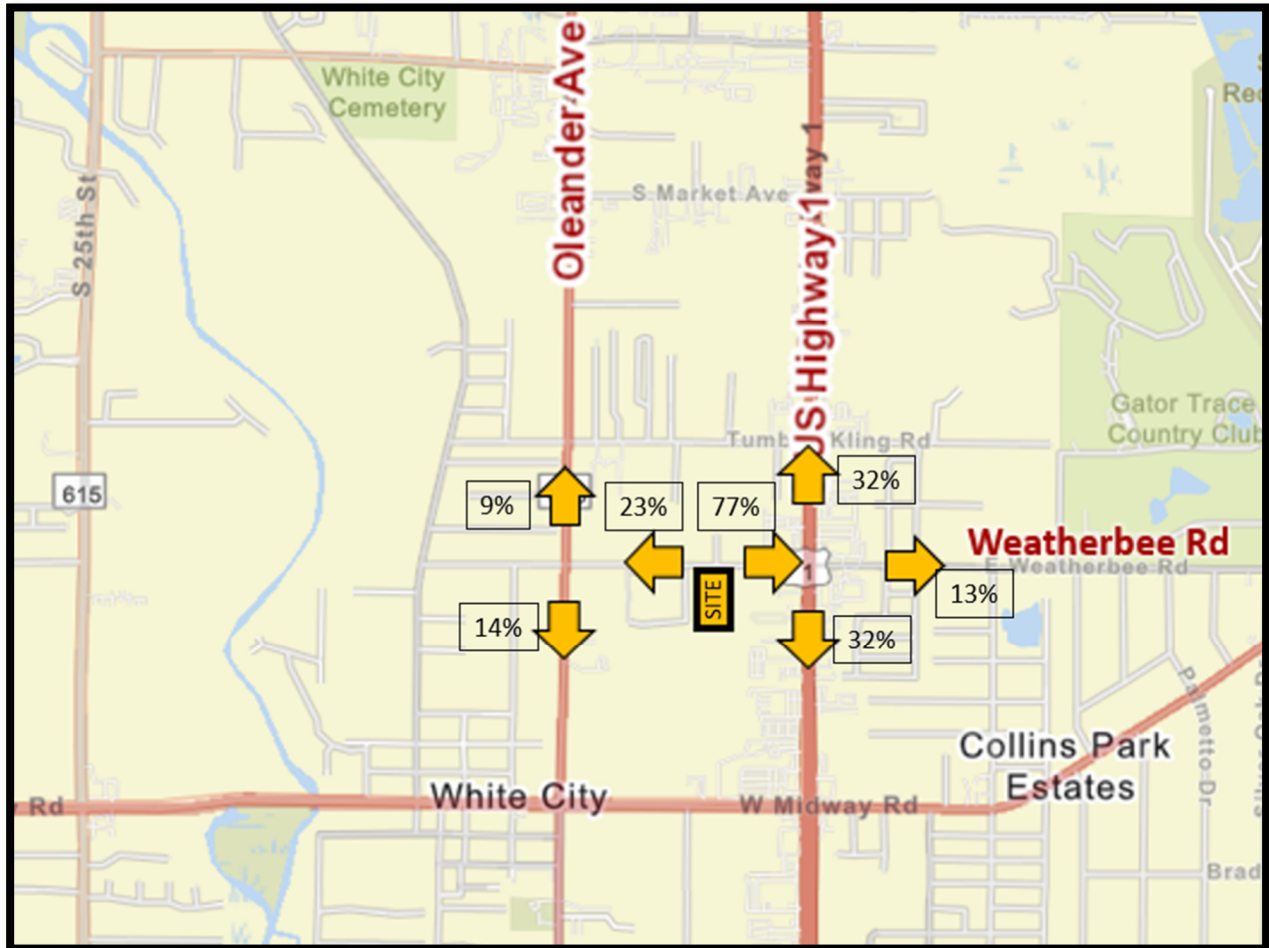
Based on the City Code of Ordinances Section 105-5.f.2.b defines this impact as a “minimal scale” project with 9-50 trips with a 1.0 mile radius of impact (as shown in figure 1). The equations and plot charts utilized were derived from the trip generation web-based app and are provided in the appendix of this report for reference.

**TRIP DISTRIBUTION**

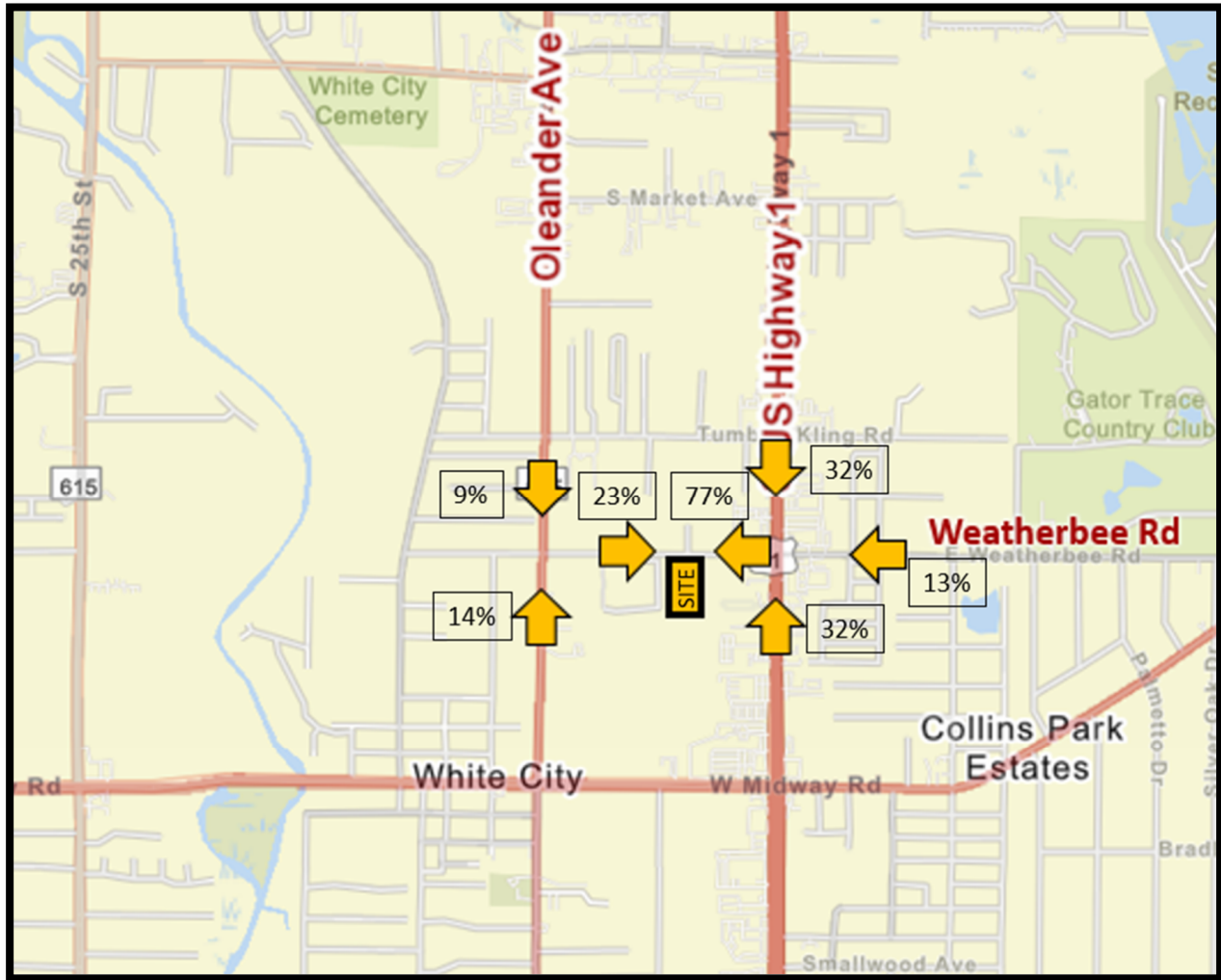
The distribution of trips generally assumes that 77% of the traffic generated will enter/exit from the east via US Highway 1. The remaining 23% will enter/exit from the west via Oleander Avenue.

The development of the trip distributions from the site to the were based on the close proximity to major roadways such as Midway Road, US Highway 1 and Indian River Drive which connect drivers to arterial roads and destinations such as Fort Pierce to the north or Port St Lucie to the south. **Figure 2 and 3** (pages 3 and 4) is provided as a graphical representation of the 1.5-mile radius of influence trip distribution percentages to roadway links and intersections within the study area for both the AM and PM peak hour directional distributions.

**Figure 2 – AM Peak Hour Trip Distribution**



**Figure 3 – PM Peak Hour Trip Distribution**



**BACKGROUND & BUILD-OUT CONDITIONS**

Background conditions for the 5-year forecasting to 2029 according to Section 105-5.f.2.b.3. Historical growth was calculated using the annual growth percentages calculated in the Saint Lucie TPO - Traffic Data Management System. And current roadway volumes were determined using the latest Roadway Level of Service (LOS) Inventory Report (Fall 2024) as shown in **Table 2 and 3** (page 5). The historical growth plots and applicable pages of the roadway inventory can be found in the appendix for reference.

**Table 2 – AM Peak Hour Build-out Calculation**

Segment Number	Road Name	From	To	Type	2023	2024 PH (dir)	Annual Growth	2029 PH (dir)	Project Assign.	Project Trips	2029 PH (dir)	LOS	Service Volume	Project % of Service	2% Test	Concurrency Test
					AADT	AM Existing		Growth			Build-out					
1	Weatherbee (EB)	Site	US-1	2-In	3,164	198	2.05%	219	77%	28	247	C	750	3.7%	15	OK
2	Weatherbee (WB)	Site	Oleander Ave	2-In	3,164	198	2.05%	219	23%	8	227	C	750	1.1%	15	OK
3	US-1 (NB)	Weatherbee Rd	Farmer's Market	2-In	30,959	1,522	1.00%	1,600	32%	12	1,611	C	2,000	0.6%	40	OK
4	US-1 (SB)	Weatherbee Rd	Midway Rd	2-In	30,959	1,522	1.00%	1,600	32%	12	1,611	C	2100	0.5%	42	OK
5	Weatherbee (EB)	US-1	Midway Rd	2-In	5,987	379	1.22%	403	13%	5	407	D	750	0.6%	15	OK
6	Oleander (NB)	Weatherbee Rd	Bell Ave	2-In	6,049	342	1.00%	359	9%	3	363	D	540	0.6%	11	OK
7	Oleander (SB)	Weatherbee Rd	Midway Rd	2-In	6,049	342	1.00%	359	14%	5	364	C	750	0.7%	15	OK

**Table 3 – PM Peak Hour Build-out Calculation**

Segment Number	Road Name	From	To	Type	2021	2024 PH (dir)	Annual Growth	2029 PH (dir)	Project Assign.	Project Trips	2029 PH (dir)	LOS	Service Volume*	Project % of Service	2% Test	Concurrency Test
					AADT	PM Existing		Growth			Build-out					
1	Weatherbee (WB)	Site	US-1	2-In	3,164	180	2.05%	199	77%	27	226	C	750	3.6%	15	OK
2	Weatherbee (EB)	Site	Oleander Ave	2-In	3,164	180	2.05%	199	23%	8	207	C	750	1.1%	15	OK
3	US-1 (SB)	Weatherbee Rd	Farmer's Market	2-In	30,959	1,522	1.00%	1,600	32%	11	1,611	C	2,000	0.6%	40	OK
4	US-1 (NB)	Weatherbee Rd	Midway Rd	2-In	30,959	1,522	1.00%	1,600	32%	11	1,611	C	2100	0.5%	42	OK
5	Weatherbee (WB)	US-1	Midway Rd	2-In	5,987	379	1.22%	403	13%	5	407	D	750	0.6%	15	OK
6	Oleander (SB)	Weatherbee Rd	Bell Ave	2-In	6,049	345	1.00%	363	9%	3	366	D	540	0.6%	11	OK
7	Oleander (NB)	Weatherbee Rd	Midway Rd	2-In	6,049	345	1.00%	363	14%	5	367	C	750	0.7%	15	OK

## CONCURRENCY REQUIREMENTS

City traffic criteria set forth in Section 105-5.f provides the basis for concurrency. Included in the ordinance are specific requirements for determining the extent of the study area and the links impacted by the development. Project trips have been added to the fall 2024 growth trips to determine 5-year build-out trips. **Table 2** (above) is provided to show that concurrency has been satisfied as the road segments will be below capacity in the 2029 build-out year with future project trip impacts of less than 1.0% when fully distributed off the adjacent roadway (Weatherbee Road).

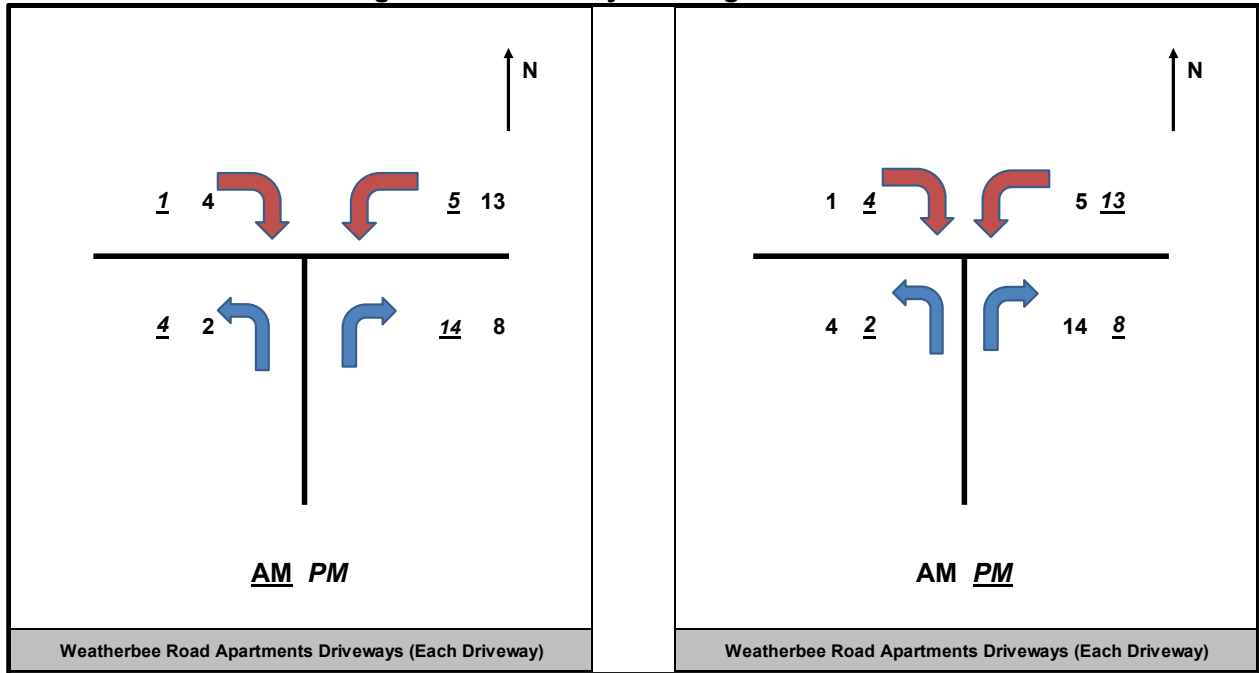
## PROJECT ACCESS

The site is located 1,000-feet west of US Highway 1. The site proposes to have two driveways and a looped access road through the development providing ample queuing storage on-site. Both driveways will provide full access to Weatherbee Road. Please see the attached **Site Plan**. The value of distributed trips is not expected to impact any traffic operations at the driveways which will be two-way stop-controlled (TWSC) intersections or the downstream intersections (TWSC Weatherbee RD and Oleander Ave and the signalized intersection of Weatherbee and US1). Turning movements equally divided between the two site driveways provided in the **Figure 4** represent daily, AM and PM peak hour traffic volumes.

## TURN LANE EVALUATION

An evaluation to determine the need for a dedicated left/right turn lanes for the main entrance was performed. Referencing the latest 2019 FDOT Access Management Guidebook and based on the surrounding context of Weatherbee Road, dedicated turn lanes at the site entrances are not found to be warranted or necessary for this project. The current level of service is not anticipated to be impacted and the adjacent road will not benefit from the inclusion of auxiliary lanes.

**Figure 4 – Driveway Turning Movements**



**CONCLUSION**

Based on the City Code of Ordinances Section 105-5.f.2.b the minimal scale impact with 27 peak hour peak direction trips (existing AM) analyzed within a 1.0 mile radius is not expected to have adverse impacts to the surrounding roadway network based on build-out conditions.

The distribution of trips produces an impact less than 1.0% of the roadway level of service after the first adjacent roadway.

The background historical growth was analyzed to the 5-year outlook to 2029 as specified in the City Code.

Driveway queueing length is fully provided on-site.

Auxiliary lanes are not warranted for the minimal impact according to the standards of the latest FDOT access management guidebook.

Concurrency is requested since the existing roadway network is capable of accommodating the additional new vehicle trips. The projected volumes generated by the anticipated uses indicate that the adjacent roadway links will operate at an acceptable Level of Service with no need for mitigation improvements.

# **APPENDIX**

# Land Use: 220

## Multifamily Housing (Low-Rise)

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### Description

Low-rise multifamily housing includes apartments, townhouses, and condominiums located within the same building with at least three other dwelling units and that have two or three floors (levels). Various configurations fit this description, including walkup apartment, mansion apartment, and stacked townhouse.

- A walkup apartment typically is two or three floors in height with dwelling units that are accessed by a single or multiple entrances with stairways and hallways.
- A mansion apartment is a single structure that contains several apartments within what appears to be a single-family dwelling unit.
- A fourplex is a single two-story structure with two matching dwelling units on the ground and second floors. Access to the individual units is typically internal to the structure and provided through a central entry and stairway.
- A stacked townhouse is designed to match the external appearance of a townhouse. But, unlike a townhouse dwelling unit that only shares walls with an adjoining unit, the stacked townhouse units share both floors and walls. Access to the individual units is typically internal to the structure and provided through a central entry and stairway.

Multifamily housing (mid-rise) (Land Use 221), multifamily housing (high-rise) (Land Use 222), affordable housing (Land Use 223), and off-campus student apartment (low-rise) (Land Use 225) are related land uses.

### Land Use Subcategory

Data are presented for two subcategories for this land use: (1) not close to rail transit and (2) close to rail transit. A site is considered close to rail transit if the walking distance between the residential site entrance and the closest rail transit station entrance is  $\frac{1}{2}$  mile or less.

### Additional Data

For the three sites for which both the number of residents and the number of occupied dwelling units were available, there were an average of 2.72 residents per occupied dwelling unit.

For the two sites for which the numbers of both total dwelling units and occupied dwelling units were available, an average of 96.2 percent of the total dwelling units were occupied.

The technical appendices provide supporting information on time-of-day distributions for this land use. The appendices can be accessed through either the ITETripGen web app or the trip

generation resource page on the ITE website (<https://www.ite.org/technical-resources/topics/trip-and-parking-generation/>).

For the three sites for which data were provided for both occupied dwelling units and residents, there was an average of 2.72 residents per occupied dwelling unit.

***It is expected that the number of bedrooms and number of residents are likely correlated to the trips generated by a residential site. To assist in future analysis, trip generation studies of all multifamily housing should attempt to obtain information on occupancy rate and on the mix of residential unit sizes (i.e., number of units by number of bedrooms at the site complex).***

The sites were surveyed in the 1980s, the 1990s, the 2000s, the 2010s, and the 2020s in British Columbia (CAN), California, Delaware, Florida, Georgia, Illinois, Indiana, Maine, Maryland, Massachusetts, Minnesota, New Jersey, Ontario (CAN), Oregon, Pennsylvania, South Carolina, South Dakota, Tennessee, Texas, Utah, and Washington.

### **Source Numbers**

188, 204, 237, 300, 305, 306, 320, 321, 357, 390, 412, 525, 530, 579, 583, 638, 864, 866, 896, 901, 903, 904, 936, 939, 944, 946, 947, 948, 963, 964, 966, 967, 1012, 1013, 1014, 1036, 1047, 1056, 1071, 1076

# Multifamily Housing (Low-Rise) Not Close to Rail Transit (220)

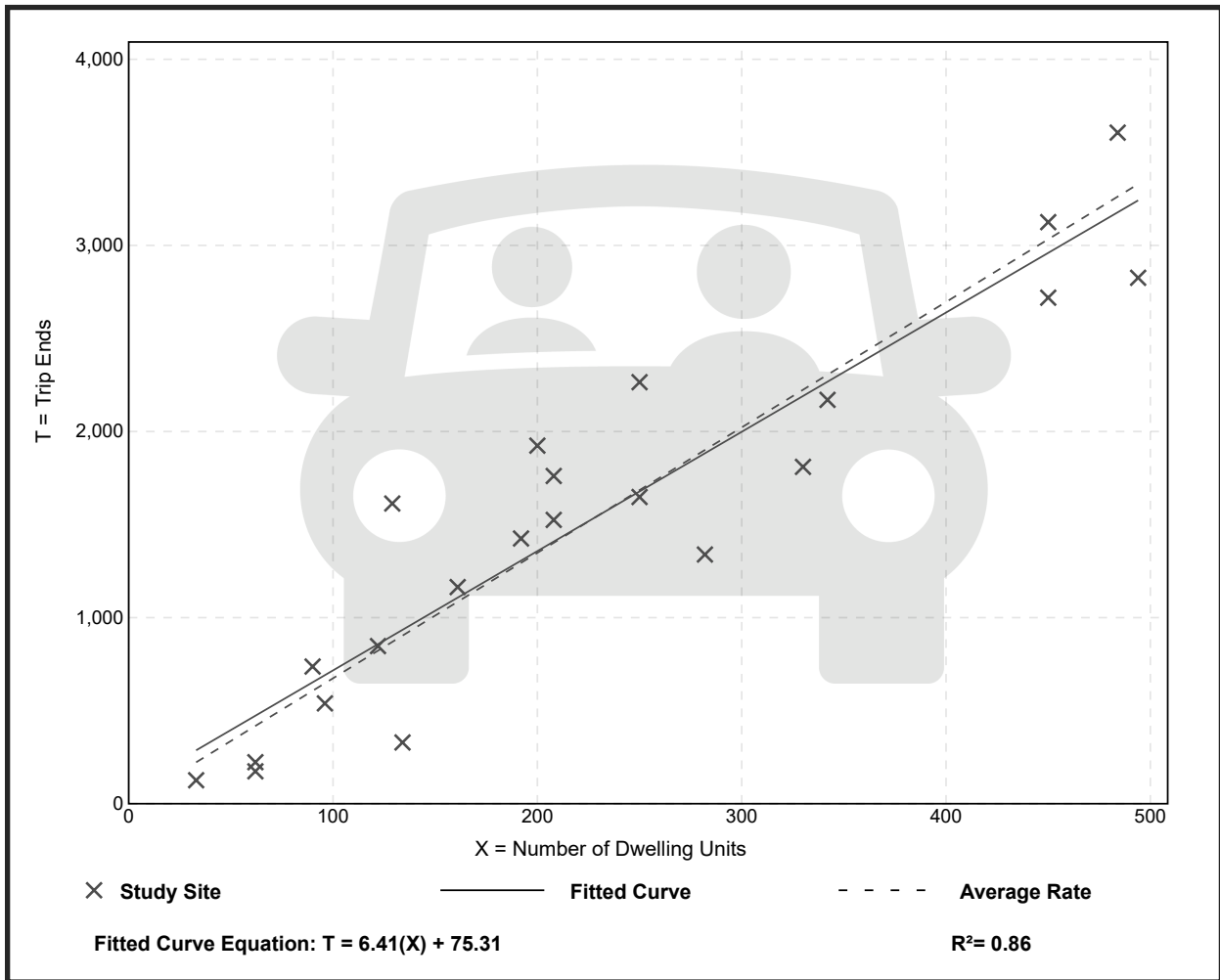
Vehicle Trip Ends vs: Dwelling Units  
On a: Weekday

Setting/Location: General Urban/Suburban  
Number of Studies: 22  
Avg. Num. of Dwelling Units: 229  
Directional Distribution: 50% entering, 50% exiting

## Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
6.74	2.46 - 12.50	1.79

## Data Plot and Equation



# Multifamily Housing (Low-Rise) Not Close to Rail Transit (220)

**Vehicle Trip Ends vs: Dwelling Units**  
**On a: Weekday,**  
**Peak Hour of Adjacent Street Traffic,**  
**One Hour Between 7 and 9 a.m.**

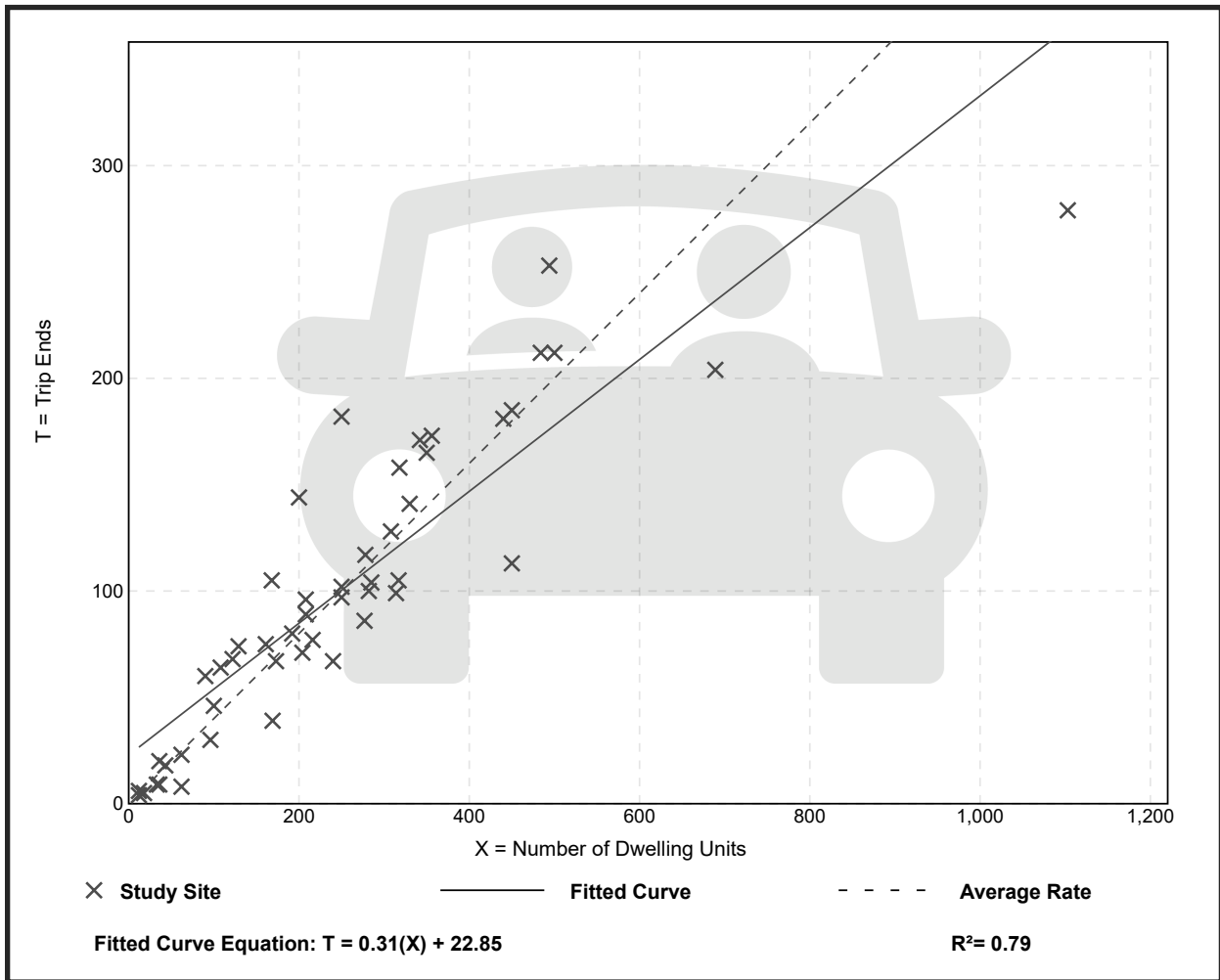
**Setting/Location: General Urban/Suburban**

Number of Studies: 49  
 Avg. Num. of Dwelling Units: 249  
 Directional Distribution: 24% entering, 76% exiting

## Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.40	0.13 - 0.73	0.12

## Data Plot and Equation



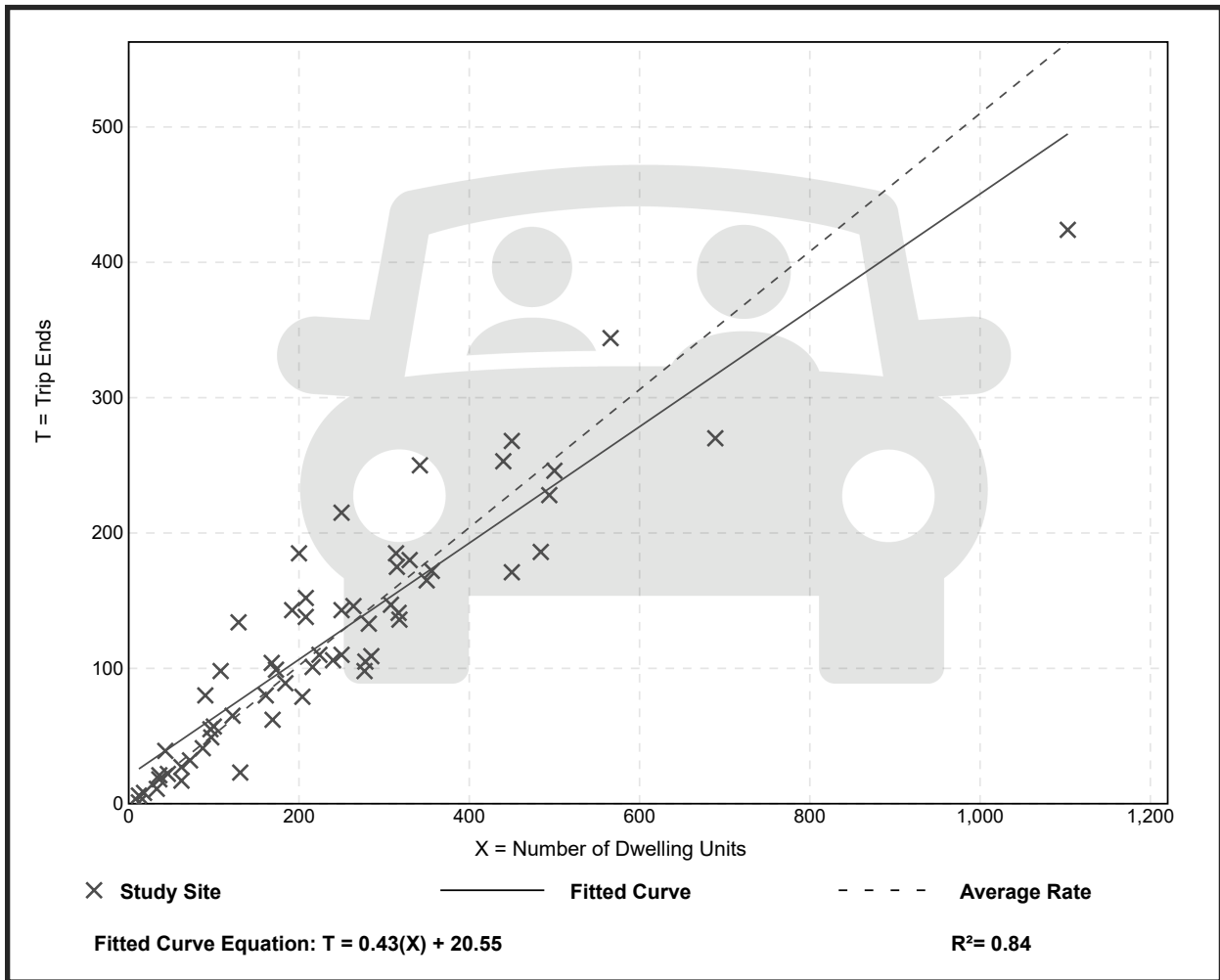
# Multifamily Housing (Low-Rise) Not Close to Rail Transit (220)

**Vehicle Trip Ends vs: Dwelling Units**  
**On a: Weekday,**  
**Peak Hour of Adjacent Street Traffic,**  
**One Hour Between 4 and 6 p.m.**  
**Setting/Location: General Urban/Suburban**  
 Number of Studies: 59  
 Avg. Num. of Dwelling Units: 241  
 Directional Distribution: 63% entering, 37% exiting

## Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.51	0.08 - 1.04	0.15

## Data Plot and Equation



**Traffic Counts and Level of Service Report  
 2024**

Roadway Name	Location	STATION ID	2024 AADT *	Last Physical Count Year	Pk Hr Service Capacity	AM Pk Hr Pk Dir			PM Pk Hr Pk Dir		
						Volume	LOS	V/C	Volume	LOS	V/C
OKEECHOBEE RD	BLUEFIELD RD to CARLTON RD	687	9,900	2024	2,000	536	B	0.27	542	B	0.27
OKEECHOBEE RD	CARLTON RD to SNEED RD	940039	9,696	2023							
OKEECHOBEE RD	IDEAL HOLDING RD to HEADER CANAL RD	940039	9,696	2023							
OKEECHOBEE RD	SNEED RD to IDEAL HOLDING RD	940039	9,696	2023							
OKEECHOBEE RD	HEADER CANAL RD to MIDWAY RD	940039	9,696	2023							
OKEECHOBEE RD	MIDWAY RD to SHINN RD	940039	9,696	2023							
OKEECHOBEE RD	SHINN RD to MCCARTY RD	940195	7,267	2023							
OKEECHOBEE RD	MCCARTY RD to FLORIDA'S TURNPIKE	940025	10,118	2023							
OKEECHOBEE RD	FLORIDA'S TURNPIKE to KINGS HWY	940025	10,118	2023							
OKEECHOBEE RD	KINGS HWY to CROSSROADS PKWY	940748	24,489	2023							
OKEECHOBEE RD	CROSSROADS PKWY to I-95	940106	26,459	2023							
OKEECHOBEE RD	I-95 to JENKINS RD	940029	33,776	2023							
OKEECHOBEE RD	JENKINS RD to MCNEIL RD	940029	33,776	2023							
OKEECHOBEE RD	MCNEIL RD to VIRGINIA AVE	940742	32,311	2023							
OKEECHOBEE RD	VIRGINIA AVE to HARTMAN RD	688	13,178	2023	2,100	681	C	0.32	672	C	0.32
OKEECHOBEE RD	HARTMAN RD to 35TH ST	688	13,178	2023	1,630	681	C	0.42	672	C	0.41
OKEECHOBEE RD	35TH ST to 33RD ST	689	15,615	2023	1,630	813	D	0.50	778	D	0.48
OKEECHOBEE RD	33RD ST to 25TH ST	689	15,615	2023	1,630	813	D	0.50	778	D	0.48
OKEECHOBEE RD	25TH ST to GEORGIA AVE	690	11,736	2023	1,630	680	C	0.42	603	C	0.37
OKEECHOBEE RD	GEORGIA AVE to DELAWARE AVE	690	11,736	2023	1,710	680	C	0.40	603	C	0.35
OLD DIXIE HWY	US 1 to SR A1A NORTH	691	436	2022	790	68	C	0.09	64	C	0.08
OLD DIXIE HWY	SR A1A NORTH to ST LUCIE BLVD	948521	1,820	2023	750	85	C	0.11	85	C	0.11
OLD DIXIE HWY	ST LUCIE BLVD to INDRIO RD	227	1,785	2022	790	145	C	0.18	106	C	0.13
OLD DIXIE HWY	INDRIO RD to INDIAN RIVER C.L.	948523	1,495	2023	870	70	C	0.08	70	C	0.08
OLEANDER AVE	BEACH AVE to KITTERMAN RD	692	2,997	2021	540	173	C	0.32	196	C	0.36
OLEANDER AVE	KITTERMAN RD to MIDWAY RD	141	6,174	2021	750	359	C	0.48	359	C	0.48
<b>OLEANDER AVE</b>	<b>MIDWAY RD to WEATHERBEE RD</b>	<b>139</b>	<b>6,049</b>	<b>2023</b>	<b>750</b>	<b>342</b>	<b>C</b>	<b>0.46</b>	<b>345</b>	<b>C</b>	<b>0.46</b>
<b>OLEANDER AVE</b>	<b>WEATHERBEE RD to BELL AVE</b>	<b>139</b>	<b>6,049</b>	<b>2023</b>	<b>540</b>	<b>342</b>	<b>D</b>	<b>0.63</b>	<b>345</b>	<b>D</b>	<b>0.64</b>
OLEANDER AVE	BELL AVE to FARMER'S MARKET RD	240	9,400	2024	540	465	D	0.86	461	D	0.85
OLEANDER AVE	FARMER'S MARKET RD to EDWARDS RD	240	9,400	2024	750	465	D	0.62	461	D	0.61
OLEANDER AVE	EDWARDS RD to WISTERIA AVE	505	9,200	2024	750	590	D	0.79	518	D	0.69
OLEANDER AVE	WISTERIA AVE to GARDENIA AVE	505	9,200	2024	540	590	F	1.09	518	D	0.96

\* **NOTE:** A six digit number in the "STATION ID" column identifies segment counted by FDOT. FDOT count stations use standard K and D factors to determine peak hour values. Peak hour data is not available for locations on State roads due to differences in data availability, LOS Methodologies, and service level thresholds. Please refer to FDOT sources for detailed data on FDOT traffic counts.

\* Volumes shown were adjusted using FDOT Seasonal Factors

\* AADT = Annual Average Daily Traffic (volumes for both directions where applicable)

\* **NOTE:** If the Last Count Year is older than the year of the report, the AADT is projected from historical traffic count data.

### Traffic Counts and Level of Service Report 2024

Roadway Name	Location	STATION ID	2024 AADT *	Last Physical Count Year	Pk Hr Service Capacity	AM Pk Hr Pk Dir			PM Pk Hr Pk Dir		
						Volume	LOS	V/C	Volume	LOS	V/C
SUNRISE BLVD	EDWARDS RD to CORTEZ BLVD	511	6,751	2023	600	520	D	0.87	454	D	0.76
SUNRISE BLVD	CORTEZ BLVD to VIRGINIA AVE	511	6,751	2023	750	520	D	0.69	454	D	0.61
SUNRISE BLVD	VIRGINIA AVE to OLEANDER AVE	509	5,522	2023	750	345	C	0.46	343	C	0.46
SUNRISE BLVD	OLEANDER AVE to 7TH ST	708	4,722	2022	1,540	272	C	0.18	333	C	0.22
SUNRISE BLVD	7TH ST to US 1	708	4,722	2022	1,710	272	C	0.16	333	C	0.19
TIFFANY AVE	US 1 to HILLMOOR DR	322	17,081	2022	2,100	967	C	0.46	880	C	0.42
TIFFANY AVE	HILLMOOR DR to VILLAGE GREEN DR	322	17,081	2022	2,100	967	C	0.46	880	C	0.42
TIFFANY AVE	VILLAGE GREEN DR to LENNARD RD	320	4,145	2021	2,100	201	C	0.10	195	C	0.09
TORINO PKWY	CASHMERE BLVD to CALIFORNIA BLVD	709	5,500	2024	630	308	C	0.49	287	C	0.46
TORINO PKWY	CALIFORNIA BLVD to EAST TORINO PKWY	238	5,144	2021	630	339	C	0.54	277	C	0.44
TRADITION PKWY	COMMUNITY BLVD to VILLAGE PKWY	711	7,800	2021	1,710	816	D	0.48	791	D	0.46
TRADITION PKWY	VILLAGE PKWY to W OF I-95	712	43,500	2024	3,170	2,047	C	0.65	2,040	C	0.64
TULIP BLVD	DARWIN BLVD to PORT ST LUCIE BLVD	713	8,851	2022	790	580	D	0.73	524	D	0.66
TULIP BLVD	PORT ST LUCIE BLVD to PAAR DR	714	8,900	2024	790	569	D	0.72	518	D	0.66
TULIP BLVD	PAAR DR to DARWIN BLVD	714	8,900	2024	790	569	D	0.72	518	D	0.66
TURNPIKE FEEDER RD	TURNPIKE FEEDER RD SB RAMP to US 1	940078	4,903	2015							
TURNPIKE FEEDER RD	INDIAN PINES BLVD to TURNPIKE FEEDER RD SB R...	940269	11,658	2023							
TURNPIKE FEEDER RD	INDRIO RD to INDIAN PINES BLVD	940745	13,517	2023							
US 1	MARTIN C.L. to LENNARD RD	945071	48,145	2023							
US 1	LENNARD RD to PORT ST LUCIE BLVD	945071	48,145	2023							
US 1	PORT ST LUCIE BLVD to JENNINGS RD	945070	33,953	2023							
US 1	JENNINGS RD to TIFFANY AVE	945070	33,953	2023							
US 1	TIFFANY AVE to WALTON RD	945070	33,953	2023							
US 1	WALTON RD to VILLAGE GREEN DR	945150	47,030	2023							
US 1	VILLAGE GREEN DR to SPANISH LAKES BLVD	940265	46,803	2023							
US 1	SPANISH LAKES BLVD to PRIMA VISTA BLVD	940265	46,803	2023							
US 1	PRIMA VISTA BLVD to RIO MAR DR	940264	36,400	2023							
US 1	RIO MAR DR to KITTERMAN RD	940266	32,710	2023							
US 1	KITTERMAN RD to S OF SAEGER AVE	940266	32,710	2023							
US 1	S OF SAEGER AVE to EASY ST	940266	32,710	2023							
US 1	EASY ST to MIDWAY RD	945156	30,097	2023							
US 1	MIDWAY RD to WEATHERBEE RD	940012	30,959	2023							

\* **NOTE:** A six digit number in the "STATION ID" column identifies segment counted by FDOT. FDOT count stations use standard K and D factors to determine peak hour values. Peak hour data is not available for locations on State roads due to differences in data availability, LOS Methodologies, and service level thresholds. Please refer to FDOT sources for detailed data on FDOT traffic counts.

\* Volumes shown were adjusted using FDOT Seasonal Factors

\* AADT = Annual Average Daily Traffic (volumes for both directions where applicable)

\* **NOTE:** If the Last Count Year is older than the year of the report, the AADT is projected from historical traffic count data.

### Traffic Counts and Level of Service Report 2024

Roadway Name	Location	STATION ID	2024 AADT *	Last Physical Count Year	Pk Hr Service Capacity	AM Pk Hr Pk Dir			PM Pk Hr Pk Dir		
						Volume	LOS	V/C	Volume	LOS	V/C
US 1	WEATHERBEE RD to FARMER'S MARKET RD	940012	30,959	2023							
US 1	FARMER'S MARKET RD to EDWARDS RD	940012	30,959	2023							
US 1	EDWARDS RD to SAVANNAH RD	945002	28,117	2023							
US 1	GARDENIA AVE to VIRGINIA AVE	945002	28,117	2023							
US 1	SAVANNAH RD to GARDENIA AVE	945002	28,117	2023							
US 1	VIRGINIA AVE to OHIO AVE	945003	26,002	2023							
US 1	OHIO AVE to GEORGIA AVE	945003	26,002	2023							
US 1	GEORGIA AVE to DELAWARE AVE	945008	27,500	2023							
US 1	DELAWARE AVE to CITRUS AVE	945014	29,114	2023							
US 1	CITRUS AVE to ORANGE AVE	940118	25,392	2023							
US 1	ORANGE AVE to AVENUE A	945014	29,114	2023							
US 1	AVENUE A to AE BACKUS AVE	945014	29,114	2023							
US 1	AE BACKUS AVE to AVENUE D	945014	29,114	2023							
US 1	AVENUE D to SR A1A SOUTH	945014	29,114	2023							
US 1	SR A1A SOUTH to AVENUE H	715	30,660	2023	2,100	1,524	C	0.73	1,521	C	0.72
US 1	AVENUE H to OLD DIXIE HWY	715	30,660	2023	2,000	1,524	C	0.76	1,521	C	0.76
US 1	OLD DIXIE HWY to AVENUE O	940123	28,240	2023							
US 1	AVENUE O to SR A1A NORTH	940123	28,240	2023							
US 1	SR A1A NORTH to JUANITA AVE	940010	20,140	2023							
US 1	JUANITA AVE to ST LUCIE BLVD	940010	20,140	2023							
US 1	ST LUCIE BLVD to 25TH ST	940009	19,911	2023							
US 1	25TH ST to INDRIO RD	940009	19,911	2023							
US 1	INDRIO RD to TURNPIKE FEEDER RD	940107	25,091	2023							
US 1	TURNPIKE FEEDER RD to INDIAN RIVER C.L.	940107	25,091	2023							
VETERANS MEMORIAL PKWY	PORT ST LUCIE BLVD to LYNNGATE DR	329	15,671	2022	2,100	763	C	0.36	741	C	0.35
VETERANS MEMORIAL PKWY	LYNNGATE DR to US 1	327	8,900	2024	2,100	507	C	0.24	480	C	0.23
VILLAGE GREEN DR	US 1 to WALTON RD	716	17,000	2024	2,100	1,060	C	0.50	1,146	C	0.55
VILLAGE GREEN DR	WALTON RD to TIFFANY AVE	717	4,612	2022	920	302	C	0.33	255	C	0.28
VILLAGE PKWY	DISCOVERY WAY to TRADITION PKWY	718	26,500	2024	2,650	1,226	C	0.46	1,309	D	0.49
VILLAGE PKWY	BECKER RD to DISCOVERY WAY	734	8,800	2024	1,710	590	C	0.35	609	C	0.36
VILLAGE PKWY	TRADITION PKWY to WESTCLIFFE LN	719	27,500	2024	1,710	1,482	D	0.87	1,462	D	0.85
VILLAGE PKWY	WESTCLIFFE LN to CROSSLTOWN PKWY	720	17,629	2023	1,710	935	D	0.55	987	D	0.58

\* **NOTE:** A six digit number in the "STATION ID" column identifies segment counted by FDOT. FDOT count stations use standard K and D factors to determine peak hour values. Peak hour data is not available for locations on State roads due to differences in data availability, LOS Methodologies, and service level thresholds. Please refer to FDOT sources for detailed data on FDOT traffic counts.

\* Volumes shown were adjusted using FDOT Seasonal Factors

\* AADT = Annual Average Daily Traffic (volumes for both directions where applicable)

\* **NOTE:** If the Last Count Year is older than the year of the report, the AADT is projected from historical traffic count data.

### Traffic Counts and Level of Service Report 2024

Roadway Name	Location	STATION ID	2024 AADT #	Last Physical Count Year	Pk Hr Service Capacity	AM Pk Hr Pk Dir			PM Pk Hr Pk Dir		
						Volume	LOS	V/C	Volume	LOS	V/C
VIRGINIA AVE	35TH ST to 25TH ST	940032	23,450	2023							
VIRGINIA AVE	OKEECHOBEE RD to HARTMAN RD	940030	22,526	2023							
VIRGINIA AVE	HARTMAN RD to 35TH ST	940030	22,526	2023							
VIRGINIA AVE	25TH ST to 13TH ST	940033	21,782	2023							
VIRGINIA AVE	13TH ST to 11TH ST	940794	23,667	2023							
VIRGINIA AVE	11TH ST to SUNRISE BLVD	940794	23,667	2023							
VIRGINIA AVE	SUNRISE BLVD to OLEANDER AVE	940792	20,380	2023							
VIRGINIA AVE	OLEANDER AVE to COLONIAL RD	940034	18,402	2023							
VIRGINIA AVE	COLONIAL RD to US 1	940034	18,402	2023							
WALTON RD	US 1 to VILLAGE GREEN DR	330	10,000	2024	1,710	581	C	0.34	589	C	0.34
WALTON RD	VILLAGE GREEN DR to LENNARD RD	328	17,500	2024	1,710	957	D	0.56	1,057	D	0.62
WALTON RD	LENNARD RD to GREEN RIVER PKWY	326	12,000	2024	880	747	C	0.85	757	C	0.86
WALTON RD	GREEN RIVER PKWY to INDIAN RIVER DR	324	6,014	2022	630	386	C	0.61	366	C	0.58
WEATHERBEE RD	OLEANDER AVE to US 1	721	3,164	2023	750	198	C	0.26	180	C	0.24
WEATHERBEE RD	US 1 to MIDWAY RD	158	5,987	2023	750	379	D	0.51	379	D	0.51
WESTCLIFFE LN	TREMONTE AVE to VILLAGE PKWY	722	6,219	2023	1,470	457	C	0.31	419	C	0.29
WESTMORELAND BLVD	MORNINGSIDE BLVD to PORT ST LUCIE BLVD	339	14,645	2023	920	784	C	0.85	884	D	0.96
WESTMORELAND BLVD	MARTIN C.L. to MORNINGSIDE BLVD	245	9,076	2022	920	477	C	0.52	522	C	0.57

#### Countywide Performance

Weighted V/C = **64.29**

% VMT below Standard = **77.98%**

\* **NOTE:** A six digit number in the "STATION ID" column identifies segment counted by FDOT. FDOT count stations use standard K and D factors to determine peak hour values. Peak hour data is not available for locations on State roads due to differences in data availability, LOS Methodologies, and service level thresholds. Please refer to FDOT sources for detailed data on FDOT traffic counts.

\* Volumes shown were adjusted using FDOT Seasonal Factors

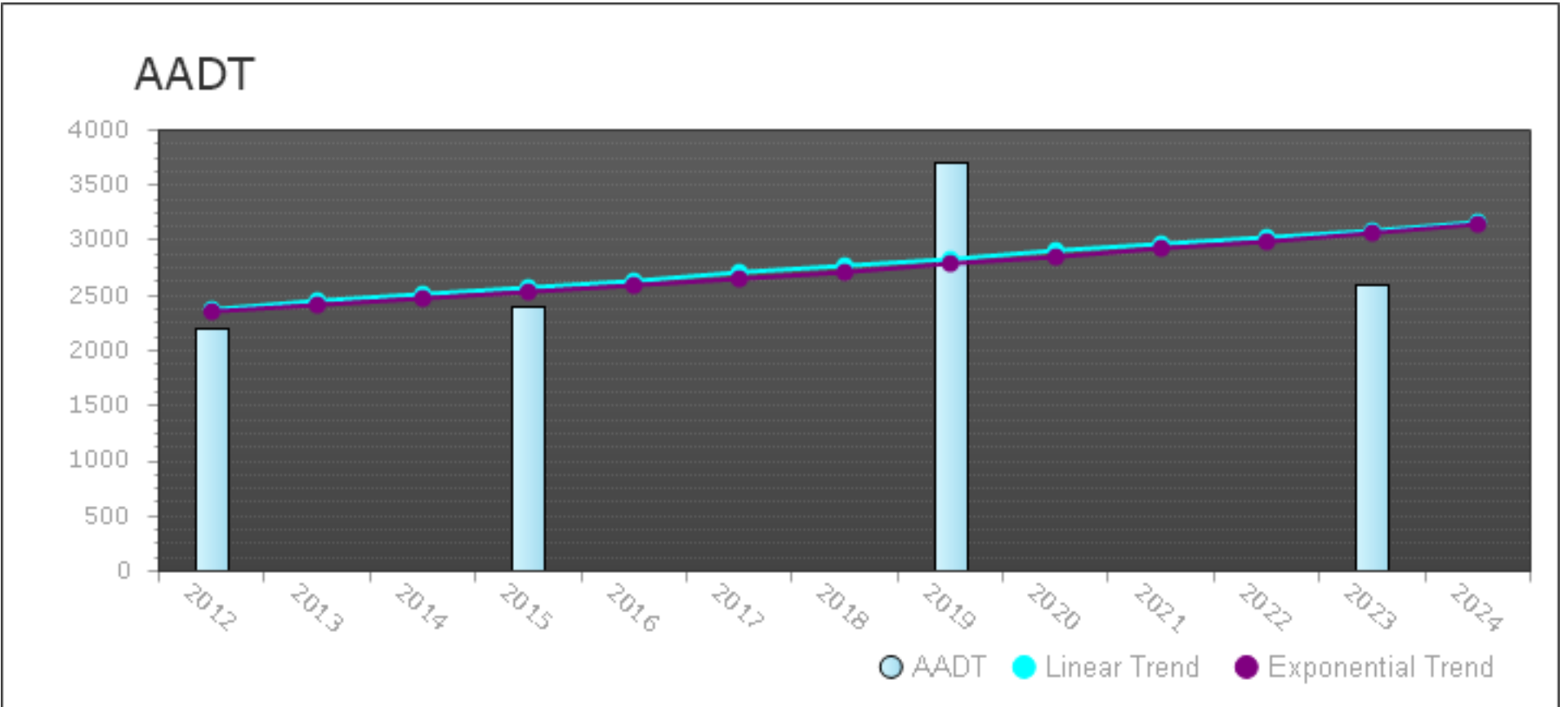
\* AADT = Annual Average Daily Traffic (volumes for both directions where applicable)

\* **NOTE:** If the Last Count Year is older than the year of the report, the AADT is projected from historical traffic count data.

**Station 721**

WEATHERBEE RD W. OF US-1

**Linear Growth = 2.05%**  
**Exponential Growth = 2.42%**

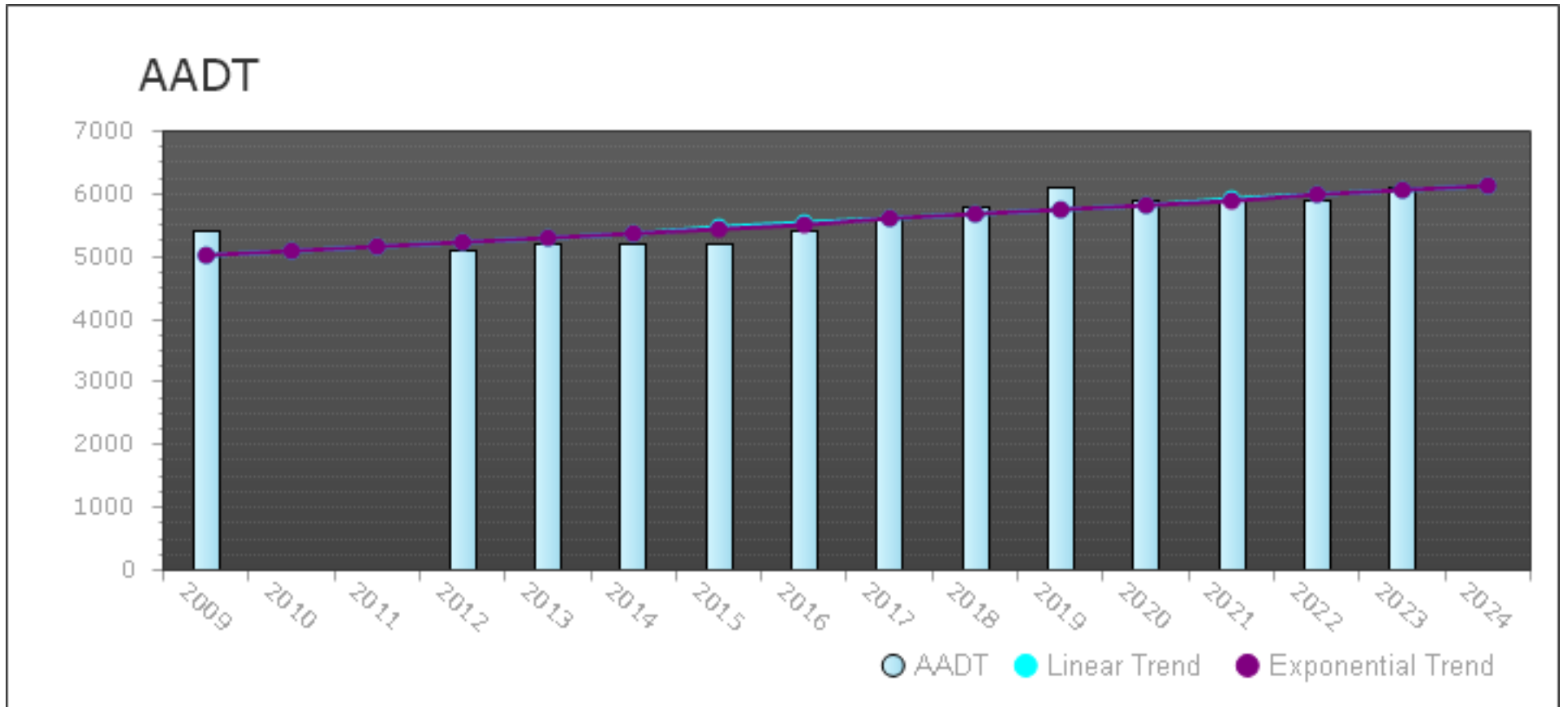


Year	Station	AADT	K100	Avg DFactor	Heavy Vehicle %	AM Peak Vol	PM Peak Vol
2023	721	2600	0.107	0.5345	0	258	253
2019	721	3700	0.122	0.5555	0	396	353
2015	721	2400	0.13	0.52	0	220	284
2012	721	2200	0.113	0.5315	0	224	228

**Station 947046**

ON WEATHERBEE RD - E. OF US 1 SOUTH (COUNTY 158)

Linear Growth = 1.22%  
Exponential Growth = 1.33%

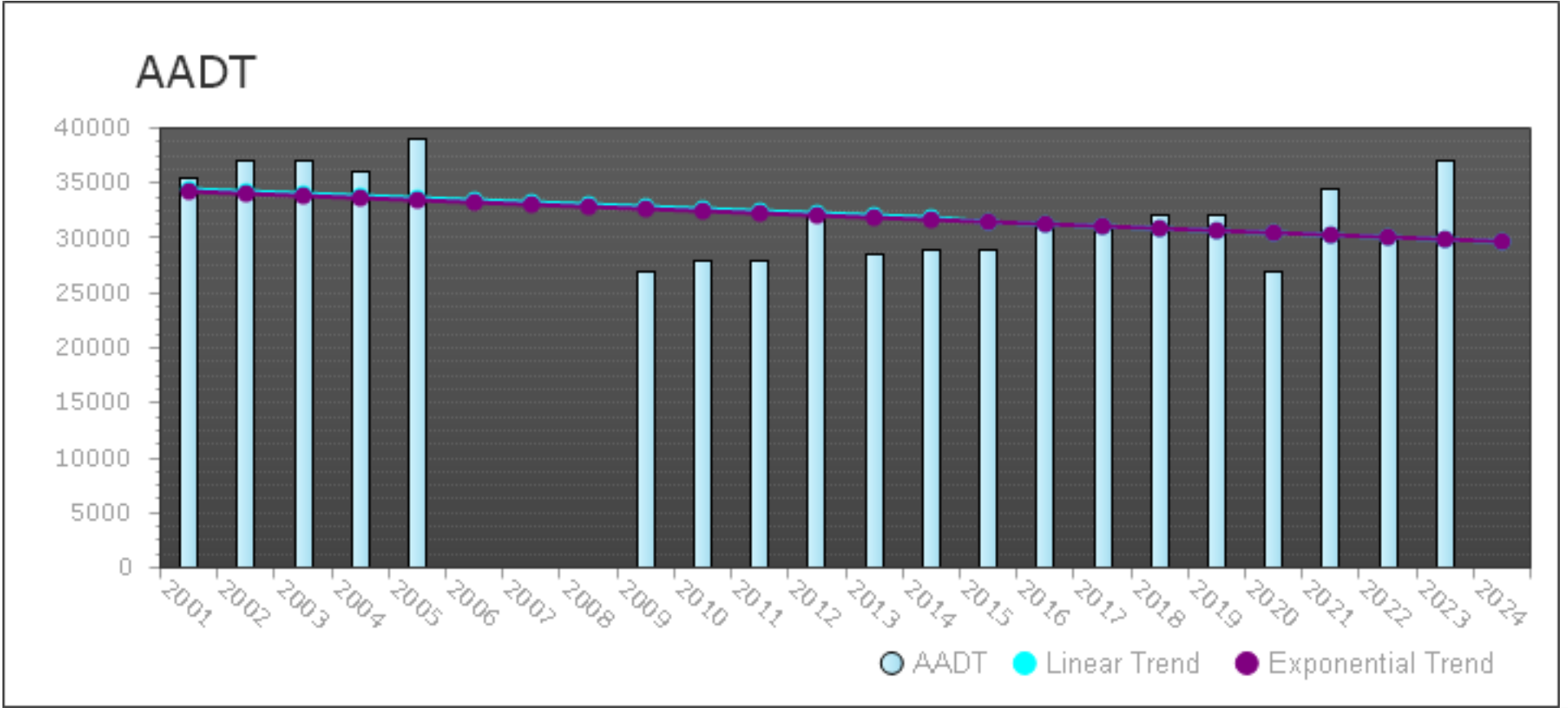


Year	Station	AAADT	K100	Avg DFactor	Heavy Vehicle %	AM Peak Vol	PM Peak Vol
2023	947046	6100	0.09	0.523		543	543
2022	947046	5900	0.09	0.523	0	526	526
2021	947046	5900	0.09	0.518	0	526	526
2020	947046	5900		0.525	-1		
2019	947046	6100		52.5			
2018	947046	5800		52.4			
2017	947046	5600		52			
2016	947046	5400		52.3			
2015	947046	5200		52.7			
2014	947046	5200		52.5			
2013	947046	5200	0.09	55.9			
2012	947046	5100	0.09	55.8			
2009	947046	5400			0	572	534

**Station 940020**

**Linear Growth = -0.72%**  
**Exponential Growth = -0.63%**

SR 5 / US 1 - N OF CR 712/MIDWAY RD (COUNTY 20)

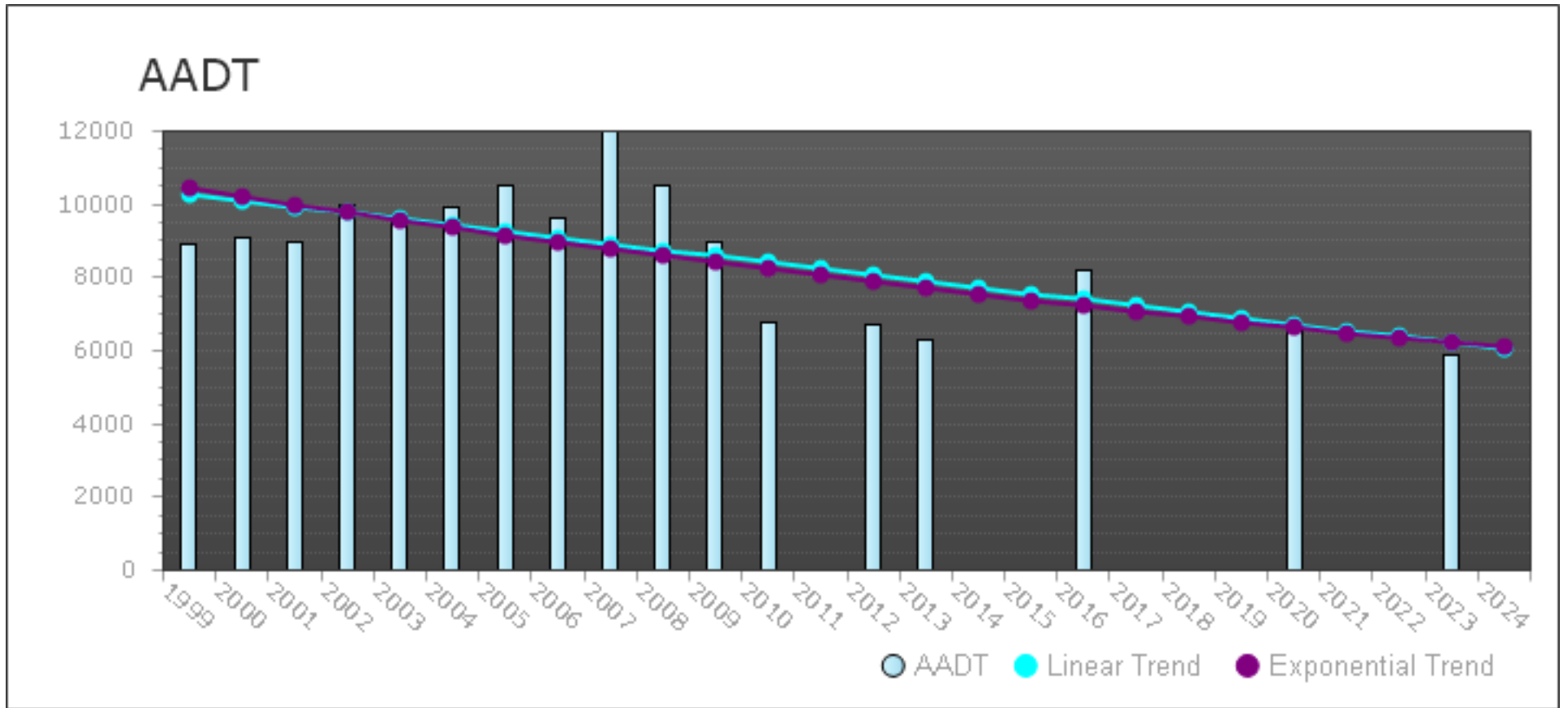


Year	Station	AADT	K100	Avg DFactor	Heavy Vehicle %	AM Peak Vol	PM Peak Vol
2023	940020	37000	0.09	0.523		3854	3854
2022	940020	30000	0.09	0.523	0	3125	3125
2021	940020	34500	0.09	0.518	0	3593	3593
2020	940020	27000		0.525	-1		
2019	940020	32000		52.5			
2018	940020	32000		52.4			
2017	940020	31000		52			
2016	940020	31500		52.3			
2015	940020	29000		52.7	1.03		
2014	940020	29000		52.5	1.5		
2013	940020	28500		55.9			
2012	940020	32000		55.8	1.12		
2011	940020	28000			0		
2010	940020	28000			0	4659	4977
2009	940020	27000			0	2328	2529
2005	940020	39000			0	3459	3556
2004	940020	36000			0	2673	3078
2003	940020	37000			0	2912	3137
2002	940020	37000			0	2794	2982
2001	940020	35500			0	2414	2833

**Station 139**

OLEANDER AVE 510 FEET NORTH OF MIDWAY RD

**Linear Growth = -2.79%**  
**Exponential Growth = -2.18%**



Year	Station	AADT	K100	Avg DFactor	Heavy Vehicle %	AM Peak Vol	PM Peak Vol
2023	139	5900	0.108	0.5285	0	541	593
2020	139	6600	0.107	0.5545	0	581	656
2016	139	8200	0.106	0.532	0	715	795
2013	139	6300			0	545	639
2012	139	6700	0.113	0.594	4.45	581	687
2010	139	6800	0.111	0.632	9.26	589	689
2009	139	9000	0.104	0.537		790	857
2008	139	10500	0.105	0.544		967	999
2007	139	12000	0.102	0.51		1130	1117
2006	139	9600	0.11	0.54		977	943
2005	139	10500	0.108	0.547		1018	1045
2004	139	9900	0.11	0.562		914	989
2003	139	9600	0.111	0.519		924	982
2002	139	10000	0.116	0.537		1041	940
2001	139	9000	0.113	0.543		790	887
2000	139	9100	0.108	0.567		839	897
1999	139	8900	0.11	0.569		869	845



AGENT CONSENT FORM

Project Name: Weatherbee Road Townhomes  
Parcel ID: 3403-502-0015-000-5

BEFORE ME THIS DAY PERSONALLY APPEARED Jeremiah Baron WHO BEING DULY SWORN, DEPOSES AND SAYS THE FOLLOWING:

I hereby give CONSENT to Redtail DG to act on my behalf, to submit or have submitted applications and all required material and documents, and to attend and represent me at all meetings and public hearings pertaining all City, County and State permits for completion of the project indicated above. Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application for the proposed use of a residential development.

FURTHER AFFIANT SAYETH NOT.

The foregoing instrument was acknowledged before me this 12 day of September 2024 by Jeremiah Baron (Name of Person Acknowledging) who is personally known to me or who has produced \_\_\_\_\_ (type of identification) as identification and who (did) take an oath.

Melissa Suarez  
Notary Signature

Melissa Suarez  
Printed Name of Notary



My commission expires

Jeremiah Baron  
Owner's Signature

Jeremiah Baron  
Owner's Name

2100 SE Ocean Blvd. Suite 100  
Street Address

Stuart, FL 34996  
City, State, Zip

City, State, Zip

772-286-5744, jbaron@commercialrealestateinc.com  
Telephone / Email