



CONDITIONAL USE – NO NEW CONSTRUCTION

Property Information

Property address or Location

2210 Orange

Parcel ID #(s)

2409-602-0010-000-2

Project description

Conditional Use Review to convert use to Day Care Facility

Site Information

Building Size: 7711 Parking Spaces: 32

ARS HOLDINGS OF FLORIDA LLC

Property Owner(s)

930-3 Malabar Road se

Street Address

PALM BAY FL 32907

City State Zip

321.432.0675

Phone Number

shahankoor@gmail.com

Email Address

Lany and Claudel Romuls

Applicant/Representative, Title, Company

5991 NW BAYNARD DR

Street Address

PORT ST LUCIE FL 34986

City State Zip

Phone Number

lanyvalsaint@yahoo.com

Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

Ankur Shah

Property Owner(s) Signature(s)

August 14, 2024

APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS

CALL 772.467.3737 OR E-MAIL PLANNING_DL@CITYOFFORTPIERCE.COM

For more information, please refer to the website:

<https://www.cityoffortpierce.com/971/Application-Submittal-for-Technical-Rev>

General Information

- **Incomplete application packets will not be accepted.**
- In-take meetings are required for application submittals.
- Conditional Use approval is valid for one (1) year following City Commission approval.
- Fee Schedule - <https://www.cityoffortpierce.com/DocumentCenter/View/2620/Fee-Schedule->
- Public Notice Fees - <https://www.cityoffortpierce.com/DocumentCenter/View/8818/Public-Notice-Fees->



Submittal Requirements:

Submit one (1) original & three (3) hard copies and one (1) CD or Flash Drive of the following. Additional copies will be required of subsequent submittals.

- As-built Survey
- Floor Plan of Existing Buildings
- Site plan, to scale, including existing improvements and proposed parking, driveways, landscaping & storm drainage
- Lighting Plan
- Complete Application

The application for conditional use with the application for site plan review, when not exempt in accordance with the requirements of section 125-236, shall be reviewed as a unit in accordance with the requirements of section 125-313 except that:

1. The City Commission shall hold a public hearing in accordance with the provisions of section 125-38 prior to acting on the application for conditional use.
2. In permitting a conditional use or the modification of an existing conditional use, the city commission may impose, in addition to those standards and requirements expressly specified in this chapter, any condition which it finds to be necessary to protect the best interest of the surrounding property of the city.



Re: Conditional Use Review

To whom this may concern:

My name is Lany Romulus, I represent the company New Elite Academy. We are looking to purchase this property at 2210 Orange Ave to transition into a childcare center. We have provided services in the local area for over 6 years previously as King's Kids Academy of Learning and for the past 4 years as New Elite Academy. We have also held an extensive waitlist for children in our community seeking childcare. Unfortunately, we have turned away many families due to not being able to accommodate more children in our current location. This new property will add additional childcare services to Fort Pierce with a greater capacity of approximately 152 children to service more families in Fort Pierce. Our goal with this location is to bring in the needed childcare services our area has been requesting as the city continues to develop. According to the Early Learning Coalition of Saint Lucie County, there is a great need for programs to offer infant and toddler slots, many families remain without service due to lack of slots in our county. We are also seeking a contract with East coast Migrant Headstart, who also stated they have a waitlist of over thirty children in Fort Pierce that they would like to place in partnering with a program like ours in a facility that we are projecting to have. This proposed location will be able to accommodate thirty-two infants (6 weeks old- 18 months), sixty toddlers (18 months to 35 months old), and 60 (3 to 5 years old). We will also be creating thirty full time positions, twenty-four teachers, and six other accessory staff (2 Assistant directors, two cooks, and two float staff). The purposed site will have eight large classrooms to accommodate the children we serve in our program. Our hours of operation will be 5:00 a.m. to 6:00 p.m. as we serve parents that work in the hospital (Lawnwood) and Pursuit Boats.

We are looking to close this property before January 2025, so all required updates, inspections, and licensing can take place so we can open for services by August 2025. I came upon this property on sell through a commercial property search engine. We decided to put an offer on this property as it provided us with the opportunity to build out a program design that fits our needs, to offer safety and quality childcare. We have gained some milestones in obtaining our vision working with a group of engineers with designs and layout of the proposed center at 2210 Orange Ave. Project interior buildout is projecting 4 to 8 months, kitchen build out timeframe project 10-12 weeks, playground installation project from 2 days to 8 weeks depending on availability of products, and classroom materials are already being purchased and stored for new location. We are not considering any changes to the parking lot, as our programs will require the parents to park their vehicles and escort their child into the building to sign in and sign out daily. We understand we may have higher volumes of traffic in and out of our parking lot at these brackets of time periods (8:00 a.m. to 9:00 a.m. and 4:00 p.m. to 5:30 p.m.). We feel that we have an adequate number of parking spaces to accommodate this level of traffic.



We will enforce strict rules, so parents are aware of the severity of adequate parking lot safety and preschool requirements.

Our team is led by Mr. Claudel Romulus, my husband. He has led a real estate project previously and is a key component in making sure we are in communication with all assigned contractors to work on this project. Bates Security is responsible for installing the fire safety system. TaylorMade Fire Systems is responsible for ensuring the sprinkler system is installed and up to code. We have LIS Architecture, Engineering, Construction Management working on our facility designs interior and exterior, ready to provide changes as requirements to get conditional use approved. We are in the search for contractors to start the project as soon we have sole ownership of the property.

According to the Vice President of LIS Architecture, Engineering, Construction Management, Carlos Sobrin:

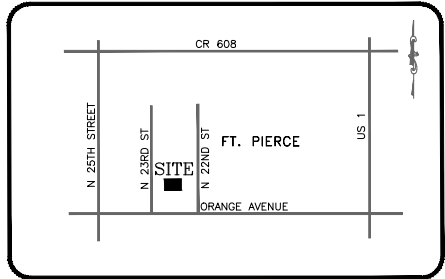
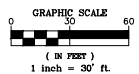
The project consists of the conversion of an existing convenience store to a daycare facility. Modifications to include Architectural, Electrical, Plumbing and limited Structural modifications for the accommodation of additional classrooms with adjoining restrooms. A defined entry will feature a reception area with an administrative office. A main hallway provides central access to eight classrooms with a kitchen, pantry, and storage area located towards the rear of the building. New interior finishes and lighting will be proposed throughout to create an inviting, fun environment for the children. The proposed hallway will terminate at a new rear egress door which will provide secure access to an exterior playground to be fenced in around the perimeter of the north portion of the property.

The exterior building will be re-branded with new signage and exterior wall-pack light fixtures for security purposes. No work is proposed to the existing site. Traffic circulation will remain as is. No changes are proposed to the existing parking and paved areas. The playground will be mulched to not disturb the current pervious area.

In closing we would like to share our school philosophy. We are invested in providing a nurturing and educational environment that promotes children's holistic development. This includes instilling important values such as good manners, caring, sharing, patience, responsibility, communication, and teamwork, as well as offering preschool activities that target specific areas of development. Our school emphasizes the importance of compliance with state regulations and promoting healthy habits through policies such as the candy-free zone. Overall, we prioritize the well-being and development of the children in our care. Thank you in advance for your time and this opportunity.

Sincerely,

Lany Romulus Owner/ Director



LOCATION MAP
(NOT TO SCALE)

DESCRIPTION

LOT 5, AND THE SOUTH HALF OF LOT 6, AND ALL OF THE LOT 20, AND SOUTH HALF OF LOT 19, BLOCK 2, ALAMANDA VISTA, ACCORDING TO THE MAP OR FLAT THEREOF, AS RECORDED IN PLAT BOOK 5, PAGE 49 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA TOGETHER WITH VACATED ALLEY LYING BETWEEN SAID LOTS, AND THE NORTH 5 FEET OF VACATED ALLEY LYING ADJACENT TO SAID LOTS 5 AND 20.

TOGETHER WITH:

LOTS 1, 2, 3, AND 4, BLOCK 2 OF ALAMANDA VISTA SUBDIVISION, ACCORDING TO THE FLAT THEREOF, RECORDED IN PLAT BOOK 5, PAGE 49, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, LESS THE SOUTH 5 FEET THEREOF FOR ORANGE AVENUE.

SURVEYOR'S NOTES

1. THIS SURVEY MAP OR THE COPIES THEREOF, EXCEPT THOSE WITH ELECTRONIC SIGNATURE AND ELECTRONIC SEAL, ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. HORIZONTAL RELATIONSHIPS, AS SHOWN HEREON, ARE BASED ON THE FLORIDA STATE PLANE COORDINATE GRID, EAST ZONE, USING THE NORTH AMERICAN DATUM OF 1983 WITH THE 2011 ADJUSTMENT (NARS 2011).
3. THE CENTERLINE OF N. 2ND STREET IS ASSUMED TO BEAR NORTH 00'22'40" EAST AND ALL OTHER BEARINGS SHOWN HEREON ARE RELATIVE THERETO.
4. THE HORIZONTAL LOCATION OF NON-DIMENSIONED FEATURES ARE PLOTTED TO SCALE, UNLESS NOTED OTHERWISE.
5. SYMBOLS SHOWN WITHIN THIS DRAWING ARE NOT SCALE DEPENDENT.
6. DESCRIPTION SHOWN HEREON PROVIDED BY CLIENT.
7. FIELD SURVEY LAST CONDUCTED ON OCTOBER 7, 2021.
8. OVERALL PARCEL CONTAINS 44,934 SQUARE FEET OR 1.03 ACRES, MORE OR LESS.
9. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
10. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
11. UNDERGROUND IMPROVEMENTS, IF ANY, WERE NOT LOCATED, EXCEPT AS SHOWN.
12. LIMITS OF WETLANDS, IF ANY, UNDER GOVERNMENT JURISDICTION, WERE NOT DETERMINED AS PART OF THIS SURVEY.
13. BY GRAPHIC PLOTTING ONLY, SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A FLOOD ZONE DESIGNATION OF "X", ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) ON FLOOD INSURANCE RATE MAP (FIRM) PANEL NUMBER 12111C0178J, HAVING AN EFFECTIVE DATE OF FEBRUARY 16, 2012. THIS INFORMATION SHOULD BE CONFIRMED WITH THE APPROPRIATE AGENCY PRIOR TO CONSTRUCTION.
14. TREE SIZES, AS SHOWN ADJACENT TO TREE SYMBOLS, WERE TAKEN AT BREAST HEIGHT AND ARE IN INCHES OF A FOOT.

CERTIFIED TO
ARS HOLDINGS OF FLORIDA LLC

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE BOUNDARY SURVEY, AS SHOWN HEREON, IS A TRUE AND CORRECT REPRESENTATION OF A FIELD SURVEY MADE UNDER MY DIRECTION AND CHARGE AND SAID SURVEY IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THAT SAID SURVEY COMPLIES WITH THE APPLICABLE STANDARDS OF PRACTICE FOR SURVEYS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

CIVLSURV DESIGN GROUP, INC.

BY: BRIAN C. KIERNAN DATE OF SIGNATURE
PROFESSIONAL SURVEYOR & MAPPER
FLORIDA REGISTRATION NO. 6101

SHEET NO.
1
OF
1

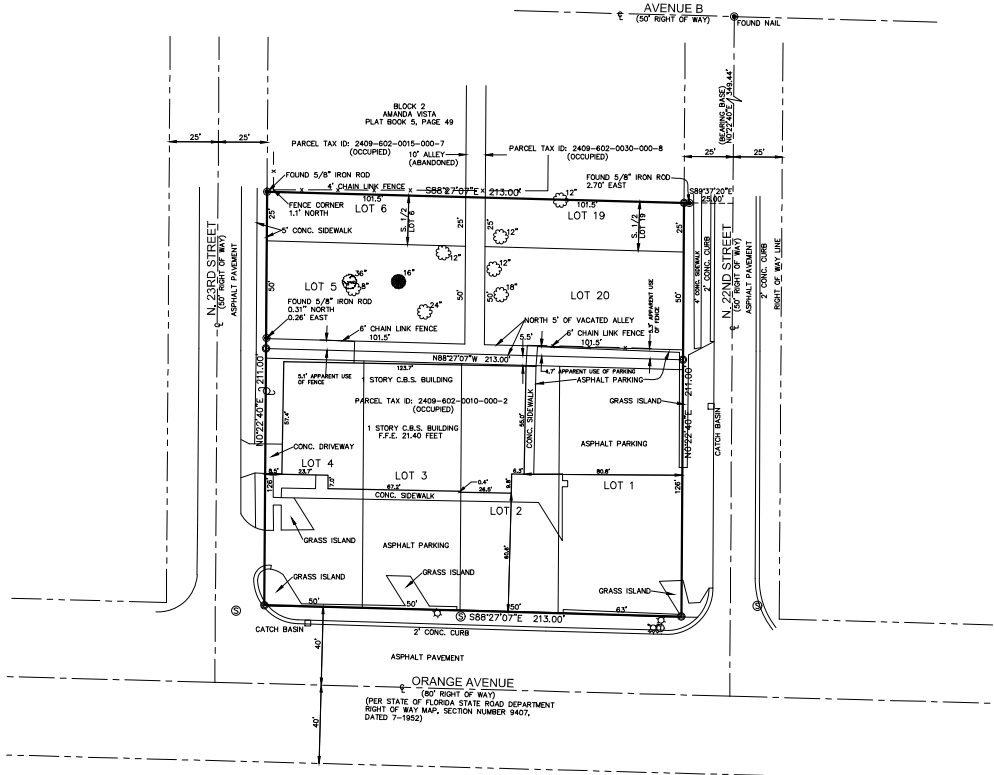
BOUNDARY SURVEY
109 NORTH 22ND STREET
FT. PIERCE, FLORIDA

DATE: 10/11/21
SCALE: 1"=50'
PROJECT NO.: 2021-001
BY: BCK/ADW/ALM

FIELD BOOK(S): B57
DRAWN BY: BK
CHECKED BY: SW

REFERENCES
CIVILSURV
CIVILSURV DESIGN GROUP, INC.
444 4TH LANE S.W., VERO BEACH, FL 32982 TEL: 772-932-5204

- LEGEND**
- - OFFICIAL RECORDS BOOK
 - - CENTERLINE
 - - PLAT
 - (M) - MEASURED
 - (D) - DEED
 - (C) - CALCULATED
 - LB - LICENSED BUSINESS
 - CONC - CONCRETE
 - C.M.P. - CORRUGATED METAL PIPE
 - INV - INVERT
 - E - ELEVATION
 - F.F.E. - FINISH FLOOR ELEVATION
 - P.U.E. - PUBLIC UTILITY EASEMENT
 - D.E. - DRAINAGE CASEMENT
 - OH - OVERHEAD UTILITY LINE
 - W.P. - WOOD POWER POLE
 - CA - CATH ANCHOR
 - C.C.S. - CERTIFIED CORNER RECORD
 - L.P. - LIGHT POLE
 - EM - ELECTRIC METER
 - LD - IDENTIFICATION
 - TR - TRAFFIC SIGNAL BOX
 - M.E.S. - METERED END SECTION
 - CR - CATV RISER
 - FO - FIBER OPTIC CABLE PEDESTAL
 - HOPE - HIGH DENSITY POLY ETHYLENE PIPE
 - - OAK TREE
 - R.C.P. - REINFORCED CONCRETE PIPE
 - - SET 5/8" IRON ROD & CAP
 - - STAMPED 1.5" T805
 - - MANGO TREE
 - - OAK TREE
 - - PINE TREE
 - - SANITARY MANHOLE



AVENUE B
(50' RIGHT OF WAY)

N. 23RD STREET
(50' RIGHT OF WAY)

N. 21ST STREET
(50' RIGHT OF WAY)

N. 20TH STREET
(50' RIGHT OF WAY)

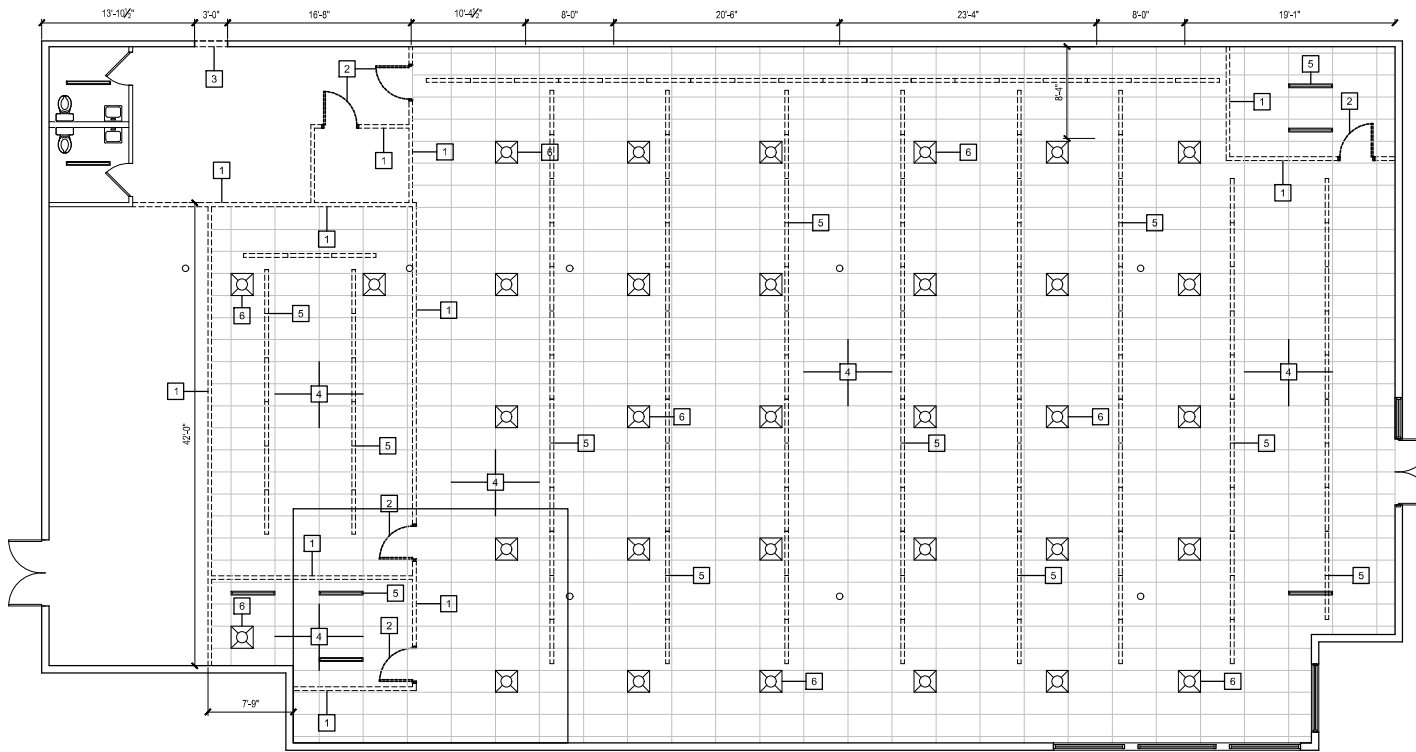
ORANGE AVENUE
(60' RIGHT OF WAY)
(PER STATE OF FLORIDA STATE ROAD DEPARTMENT
RIGHT OF WAY MAP, SECTION NUMBER 9407,
DATED 7-1982)

GENERAL DEMOLITION NOTES

1. G.C. TO SECURE BUILDING AS REQUIRED AGAINST WEATHER INTRUSION AND VANDALISM AT THE END OF EACH DAY.
2. G.C. SHALL CLEAN UP CONSTRUCTION DEBRIS AND PLACE IN DUMPSTER FOR REMOVAL.
3. G.C. TO COORDINATE WITH THE OWNER FOR ANY SALVAGEABLE FURNISHINGS OR EQUIPMENT TO BE REUSED AFTER BUILDING RENOVATION.
4. G.C. TO CONFIRM BUILDING APRON AND SIDEWALK IS IN COMPLIANCE WITH 2010 STANDARDS FOR ACCESSIBLE DESIGN. G.C. TO PREP FOR COMPLIANCE RENOVATION AS REQUIRED.
 - 4.1. SIDEWALK SHALL NOT EXCEED 5% RUNNING SLOPE; 2% CROSS SLOPE
 - 4.2. CURB RAMP SHALL NOT EXCEED 8.3% RUNNING SLOPE; 2% CROSS SLOPE
5. G.C. TO COORDINATE WITH THE OWNER FOR ANY SALVAGEABLE FURNISHINGS OR EQUIPMENT TO BE REUSED AFTER BUILDING RENOVATION.

DEMOLITION PLAN NOTES

- 1 REMOVE EXISTING INTERIOR WALL.
- 2 REMOVE INTERIOR DOORS.
- 3 REMOVE PORTION OF EXISTING EXTERIOR WALL.
- 4 REMOVE EXISTING CEILING GRID.
- 5 REMOVE EXISTING STRIP CEILING LIGHTS.
- 6 REMOVE EXISTING VENT GRILLS.



1 Demolition Floor Plan
Scale: 3/8"=1'-0"

ARCHITECT/ENGINEER
LIS ARCHITECTURE
 ENGINEERING
 21450 W. BAYVIEW BLVD
 SUITE 100
 PALM BEACH, FL 33411
 PHONE: (561) 853-1818
 FAX: (561) 853-1819
 WWW.LISARCHITECTURE.COM

CLIENT NAME
JABERS MARKET, LLC
 ANKUR SHAH
 9903 MALABAR ROAD SE
 PALM BAY, FL 32907

PROJECT NAME
JABERS MARKET
 CONDITIONAL USE FOR A DAYCARE
 2210 Orange Ave
 Ft. Pierce, FL 34950

SHEET TITLE
Demolition Floor Plan

SEAL
 HAROLD DANIEL HUTTER III
 P.L.L.C. ARCHITECT

| RELEASE | DATE |
|---------|------|
| | |
| | |
| | |
| | |

PROJECT NO. 2024-109

ISSUE DATE 07-29-24

DRAWN CHECKED

SHEET NO. **D100**

LIS EXPRESSLY RESERVES ITS COPYRIGHT AND ALL OTHER PROPERTY RIGHTS TO THESE DOCUMENTS AND THEIR DESIGN. HENCE, THEY ARE NOT TO BE REPRODUCED.

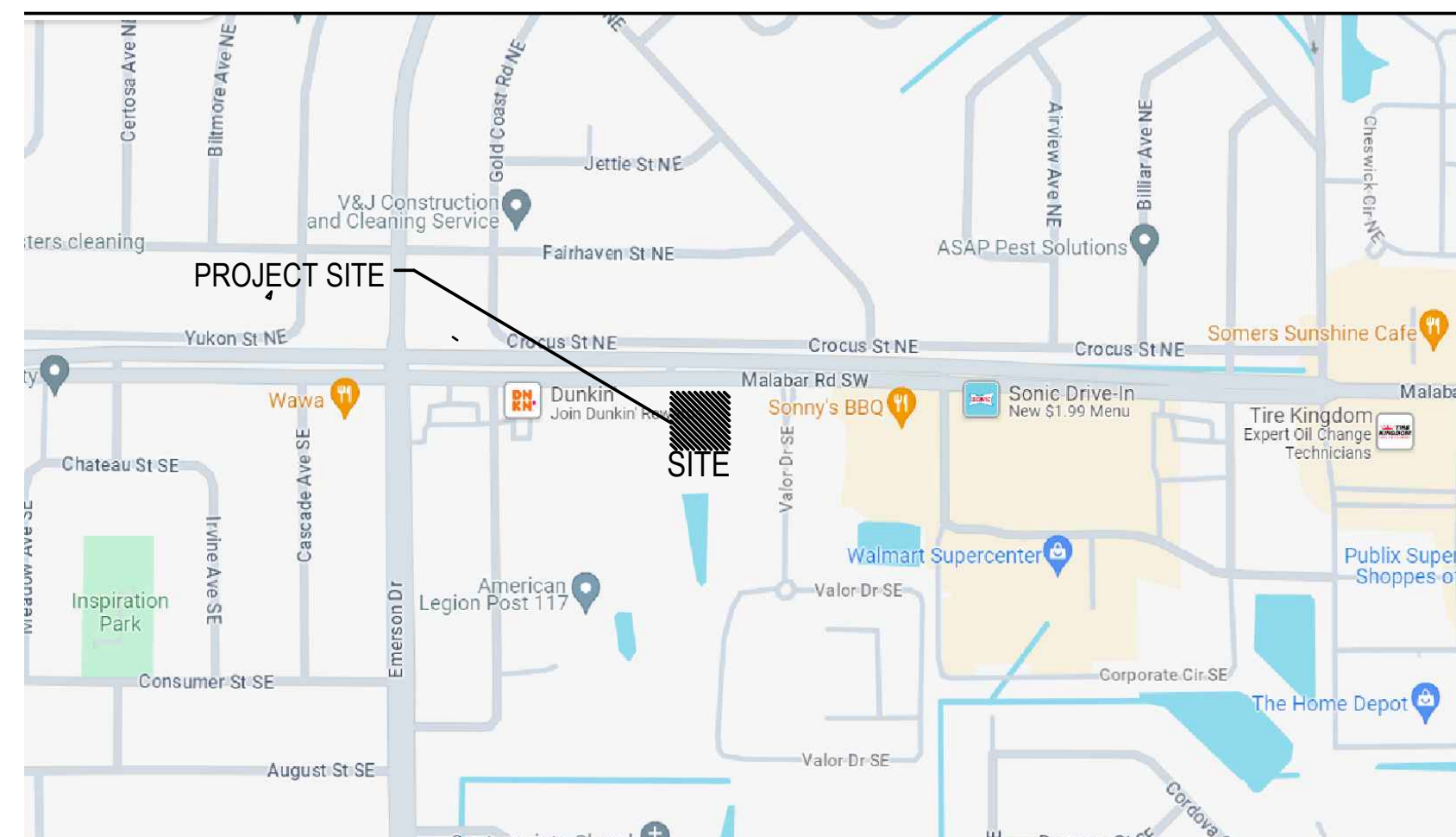
CONDITINAL USE FOR: DAYCARE

2210 ORANGE AVE
FORT PIERCE, FL 34950

ABBREVIATIONS

| | |
|--------|--------------------------------------|
| ABV | ABOVE |
| AFF | ABOVE FINISHED FLOOR |
| A/C | AIR CONDITIONING |
| ARCH | ARCHITECTURAL |
| @ | AT |
| BLK | BLOCK(ING) |
| BOT | BOTTOM |
| BLDG | BUILDING |
| CLG | CEILING |
| C | CENTER LINE |
| CIRC | CIRCUIT |
| CLR | CLEAR |
| COL | COLUMN |
| CONC | CONCRETE |
| CMU | CONCRETE MASONRY UNIT |
| CONST | CONSTRUCTION |
| CONT | CONTINUOUS |
| CTR | COUNTER |
| DTL | DETAIL |
| DIA | DIAMETER |
| DIM | DIMENSION |
| DN | DOWN |
| DWG | DRAWING |
| EA | EACH |
| ELEV | ELEVATION |
| EQ | EQUAL |
| EQPT | EQUIPMENT |
| EXIST | EXISTING |
| EXP | EXPOSED |
| EXT | EXTERIOR |
| EIFS | EXTERIOR INUL. FINISH SYSTEM |
| FT(') | FEET, FOOT |
| FIN | FINISH(ED) |
| FL | FLOOR(ING) |
| FD | FLOOR DRAIN |
| FLUR | FLUORESCENT |
| F.R. | FIRE RATED |
| F.E. | FIRE EXTINGUISHER |
| GWB | GYPSUM WALL BOARD |
| HDW | HARDWARE |
| HDWD | HARDWOOD |
| HVAC | HEATING/VENTILATION/AIR CONDITIONING |
| HM | HOLLOW METAL |
| IN(') | INCH |
| ID | INSIDE DIAMETER |
| INSUL | INSULATION |
| INT | INTERIOR |
| LL | LANDLORD |
| MANUF | MANUFACTURE(R) |
| MFG | MANUFACTURE(R) |
| MECH | MECHANICAL |
| MISC | MISCELLANEOUS |
| M.R. | MOISTURE RESISTANT |
| MULL | MULLION |
| NIC | NOT IN CONTRACT |
| NTS | NOT TO SCALE |
| NUM | NUMBER |
| OFF | OFFICE |
| OC | ON CENTER(S) |
| OPNG | OPENING |
| OPH | OPPOSITE HAND |
| OD | OUTSIDE DIAMETER |
| PNT | PAINT(ED) |
| P-LAM | PLASTIC LAMINATE |
| PLWD | PLYWOOD |
| POL | POLISHED |
| PROJ | PROJECT |
| P | PLATE |
| RE | REFERENCE |
| REF | REFRIGERATOR |
| REM | REMOVE(D)ABLE |
| REQ'D | REQUIRED |
| REV | REVISION(S) REVISÉ |
| RM | ROOM |
| RO | ROUGH OPENING |
| RD | ROUND |
| SCH | SCHEDULE |
| SEC | SECTION |
| SHT | SHEET |
| SIM | SIMILAR |
| SC | SOLID CORE |
| SPEC | SPECIFICATION(S) |
| SS | STAINLESS STEEL |
| STO | STORAGE |
| STRUCT | STRUCTURAL |
| SUSP | SUSPENDED |
| TEL | TELEPHONE |
| TYP | TYPICAL |
| THRU | THROUGH |
| VCT | VINYL COMPOSITION TILE |
| VEST | VESTIBULE |
| W/ | WITH |
| W/O | WITHOUT |
| WD | WOOD |
| WDB | WOOD BASE |

| JURISDICTION AUTHORITY | |
|------------------------------------|--|
| CITY OF CLERMONT, FL | |
| ADOPTED CODES | |
| BUILDING CODE: | 2023 FLORIDA BUILDING CODE - EXISTING BUILDING - 8TH ED. |
| ELECTRICAL: | 2020 NATIONAL ELECTRICAL CODE (NEC) - NFPA 70 |
| PLUMBING: | 2023 FLORIDA BUILDING CODE, PLUMBING, 8TH ED. |
| MECHANICAL: | 2023 FLORIDA BUILDING CODE, MECHANICAL, 8TH ED. |
| FIRE: | 2023 FLORIDA FIRE PREVENTION CODE (NFPA 1 & NFPA 101, 7TH ED.) |
| GAS: | 2023 FLORIDA BUILDING CODE, GAS, 8TH ED. |
| ENERGY: | 2023 FLORIDA BUILDING CODE, ENERGY CONSERVATION, 8TH ED. |
| ACCESSIBILITY: | 2023 FLORIDA BUILDING CODE, ACCESSIBILITY, 8TH ED. 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN |
| NEW BUILDING AND CONSTRUCTION DATA | |
| OCCUPANCY CLASSIFICATION: | GROUP F-1 - MODERATE HAZARD FACTORY - INDUSTRIAL |
| CONSTRUCTION TYPE: | TYPE V-B, SPRINKLERED |
| (IBC TABLE 600) | |
| MAX HEIGHT AND AREA ALLOWABLE: | HEIGHT = 0'-0" TOTAL AREA = 0 SQ FT |
| (IBC TABLE 500) | |
| ACTUAL HEIGHT AND AREA: | HEIGHT = 0'-0" TOTAL AREA = 7,487 SQ FT |
| SEISMIC ZONE: | 0 |



Vicinity Map
SCALE: N.T.S.



Project Description

THESE PLANS INDICATE THE PROPOSAL FOR A DAYCARE IN AN EXISTING BUILDING. MODIFICATIONS TO INCLUDE ARCHITECTURAL, STRUCTURAL AND ELECTRICAL DRAWINGS FOR EXPANSION OF ADDITIONAL ROOMS AND RESTROOMS.

Note

1. "Site shall comply with the Florida Building Code 8th Edition (2023) Accessibility" and 2. "Separate permits are required for the following if applicable. Construction trailers, sales centers, dumpster enclosures, lift stations, swimming pools, playground equipment, retaining walls, entry wall features, access gates, site lighting, generators, fences, grease traps, fire alarm and fire sprinkler, etc."

Contact Information

| | |
|-----------------------------------|---|
| OWNER: | Mr. ANKUR SHAH JABERS MARKET, LLC 930-3 MALABAR ROAD SE SHAHANKOOR@GMAIL.COM PHONE: 321-432-0675 |
| ARCHITECT: | LIS ARCHITECTURE 2572 WEST STATE ROAD 426 SUITE 2064, OVIEDO, FL 32765 PHONE: 321-244-0402 CONTACT: H. DANIEL HUTTER R.A. NCARB |
| MECHANICAL & ELECTRICAL ENGINEER: | LIS ENGINEERING 2572 WEST STATE ROAD 426 SUITE 2064, OVIEDO, FL 32765 PHONE: 321-244-0402 CONTACT: CLARK STILLWELL |
| BUILDING DEPARTMENT: | CITY OF CLERMONT, FL 685 WEST MONTROSE STREET CLERMONT, FL 34761 PHONE: 352-394-4081 |

General Notes

- ALL WORK WILL COMPLY WITH LOCAL, STATE, AND NATIONAL CODES RELATED TO THIS PROJECT.
- THE WRITTEN DIMENSIONS PREVAIL ON THE CONSTRUCTION DOCUMENTS. DO NOT SCALE THESE DRAWINGS. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. IF ANY DISCREPANCY OCCURS, THE CONTRACTOR IS REQUIRED TO NOTIFY THE OWNER IN WRITING BEFORE PROCEEDING WITH ANY WORK AFFECTED BY THE DISCREPANCY.
- CONTRACTORS TO SECURE ALL PERMITS AND REQUIRED INSPECTIONS NECESSARY TO OBTAIN A CERTIFICATE OF OCCUPANCY, AND OCCUPATIONAL LICENSES.
- ALL MATERIALS TO BE SECURED ON SITE IN LOCKED CONTAINERS.
- EACH CONTRACTOR AND SUBCONTRACTOR IS EXPECTED TO REVIEW ALL CONTRACT DOCUMENTS AND SITE CONDITIONS PRIOR TO ISSUED BID. CHANGE ORDERS WILL NOT BE APPROVED FOR FAILURE TO DO SO.
- PRODUCTS SPECIFIED OR OTHERWISE INDICATED IN THE CONTRACT DOCUMENTS SHALL NOT BE SUBSTITUTED WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER.
- THIS CONTRACTOR SHALL COORDINATE ALL TRADES REQUIRED TO COMPLETE THIS PROJECT AS REQUIRED TO ACTIVATE THE USE OF THE FACILITY AS PLANNED.
- THE CONTRACTOR SHALL HAVE INSTALLATION INSTRUCTIONS FOR ALL EQUIPMENT AND APPLIANCES ON SITE AT TIME OF INSPECTION.
- ALL DIMENSIONS ARE TO FACE OF STUD, FACE OF MASONRY AND CENTERLINE OF COLUMNS UNLESS OTHERWISE NOTED.
- ANYWHERE THE TERM PROVIDE OR INSTALL IS USED, IT SHALL MEAN PROVIDE AND INSTALL UNLESS OTHERWISE NOTED.
- DO NOT SCALE THE DRAWINGS.

SHEET INDEX:

| SHEET # | TITLE | SUBMISSION DATE | | | | | | | | | | | | |
|---------------|------------------------------|-----------------|----|----|----|----|----|----|----|----|----|----|----|--|
| | | PERMIT | 06 | 07 | 08 | 09 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | |
| GENERAL | | | | | | | | | | | | | | |
| T100 | COVER SHEET | X | | | | | | | | | | | | |
| | SURVEY | X | | | | | | | | | | | | |
| C100 | SITE PLAN | X | | | | | | | | | | | | |
| C101 | SITE PHOTOMETRY PLAN | X | | | | | | | | | | | | |
| ARCHITECTURAL | | | | | | | | | | | | | | |
| D100 | DEMOLITION PLAN | X | | | | | | | | | | | | |
| A100 | ARCHITECTURAL FLOOR PLAN | X | | | | | | | | | | | | |
| A101 | REFLECTED CEILING PLAN | X | | | | | | | | | | | | |
| A400 | EXTERIOR BUILDING ELEVATIONS | X | | | | | | | | | | | | |

This item has been digitally signed and sealed by Harold Daniel Hutter III on the date adjacent to the seal.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

ARCHITECT ENGINEER
LIS
ARCHITECTURE
ENGINEERING
CA NO. 6853 LB1057
2572 West State Road, 426
Suite 2064, Oviedo, FL 32765
Phone: (321) 244-0402
Facsimile: (321) 244-9419

CLIENT NAME
JABERS MARKET, LLC
ANKUR SHAH
930-3 MALABAR ROAD SE
PALM BAY, FL 32909

PROJECT NAME
JABERS MARKET
CONDITIONAL USE FOR A DAYCARE
2210 Orange Ave
Ft Pierce, FL 34950

SEAL
HAROLD DANIEL HUTTER III
FL LIC: AR89913

| | |
|---------|------|
| RELEASE | DATE |
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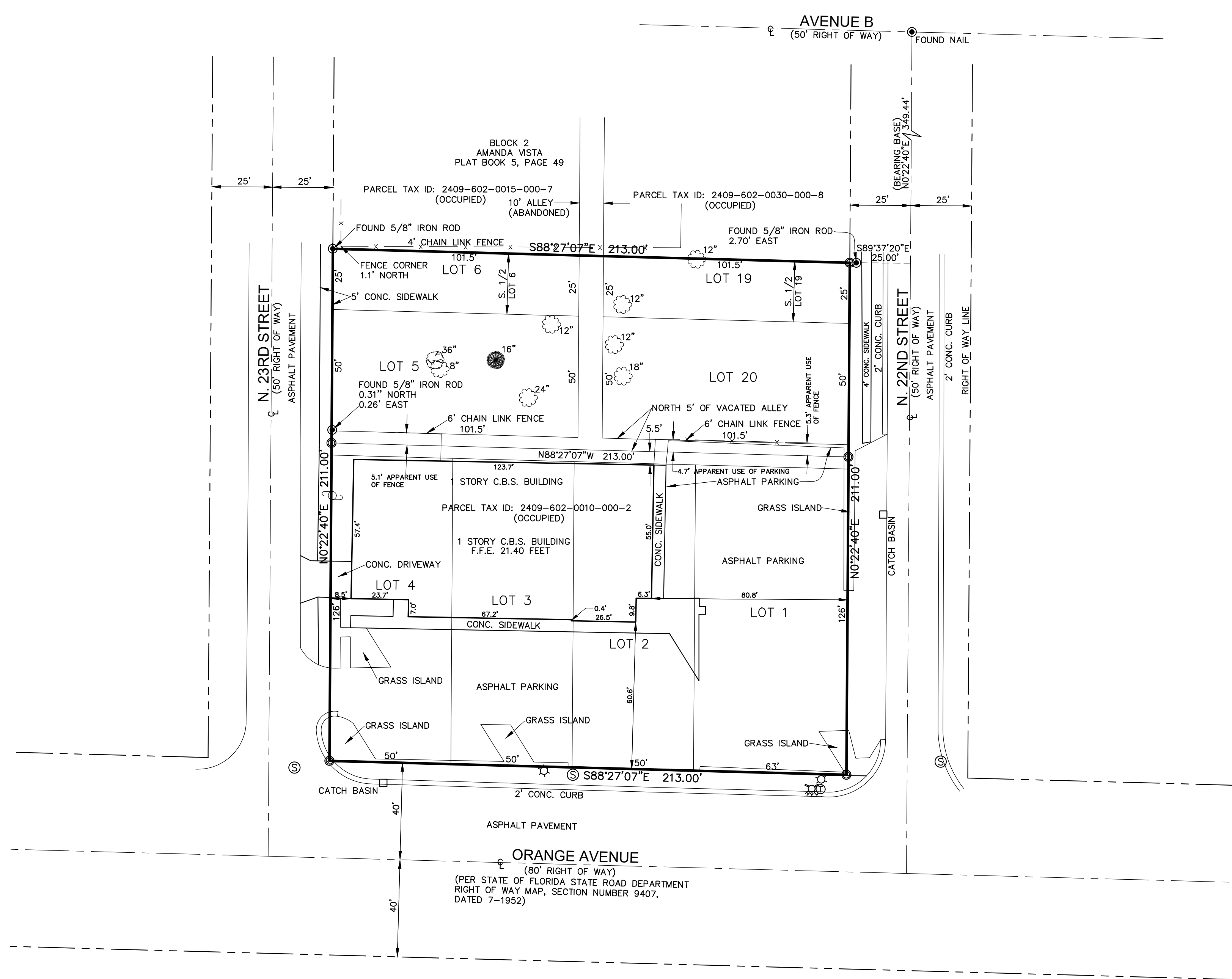
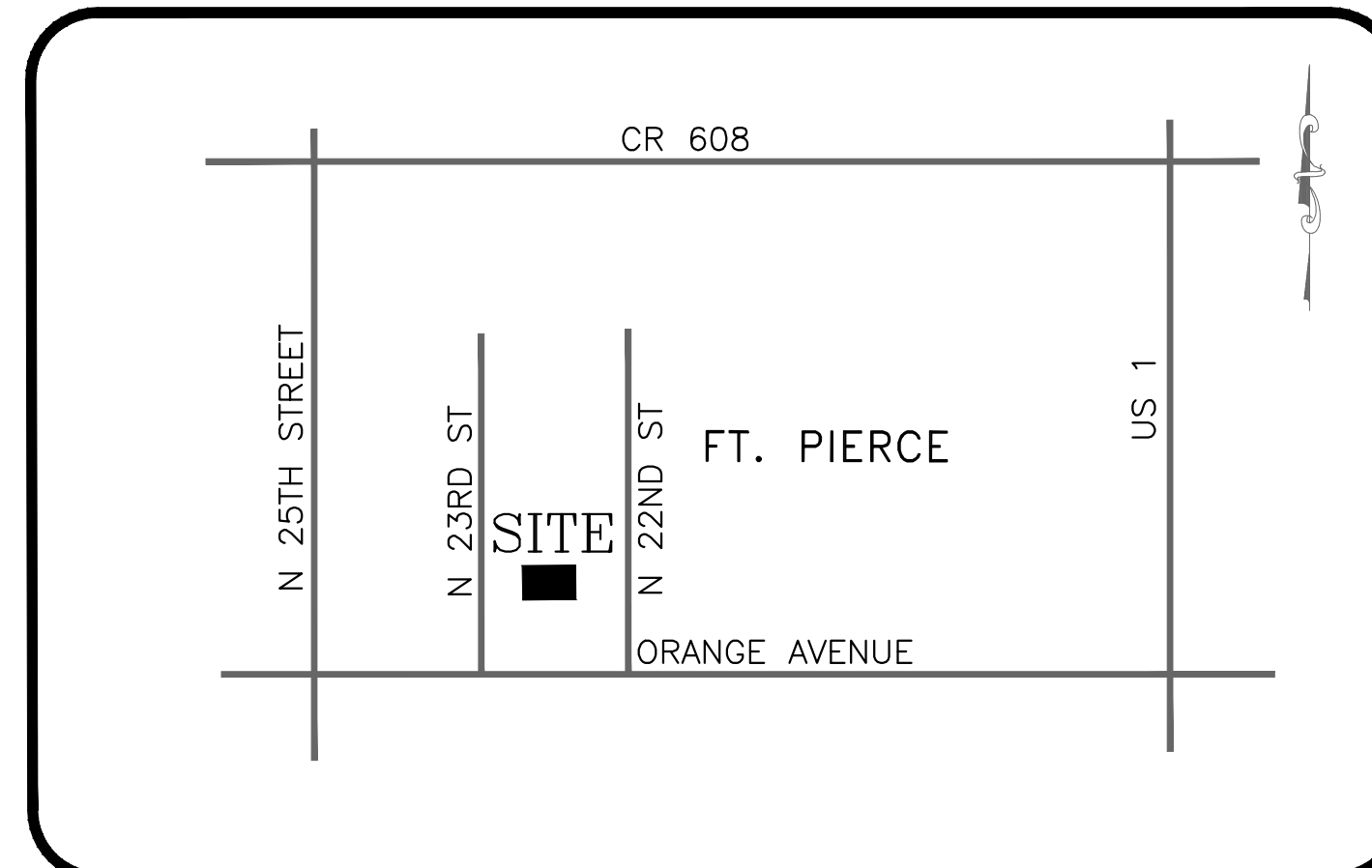
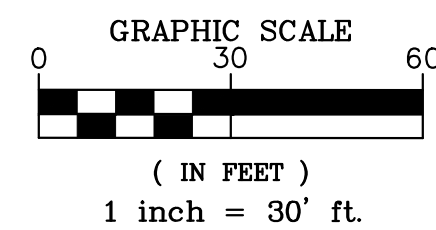
PROJECT NO. 2024-109

ISSUE DATE 07-29-24

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SHEET NO. **T100**

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- LEGEND**
- O.R.B. - OFFICIAL RECORDS BOOK
 - CL - CENTERLINE
 - PL - PLAT
 - M - MEASURED
 - D - DEED
 - C - CALCULATED
 - L.B. - LICENSED BUSINESS
 - CONC. - CONCRETE
 - C.M.P. - CORRUGATED METAL PIPE
 - INV - INVERT
 - EL - ELEVATION
 - F.F.E. - FINISH FLOOR ELEVATION
 - P.U.E. - PUBLIC UTILITY EASEMENT
 - D.E. - DRAINAGE EASEMENT
 - O.H.U. - OVERHEAD UTILITY LINE
 - W.P.P. - WOOD POWER POLE
 - G.A. - GUY ANCHOR
 - C.C.R. - CERTIFIED CORNER RECORD
 - L.P. - LIGHT POLE
 - E.M. - ELECTRIC METER
 - I.D. - IDENTIFICATION
 - T.S.B. - TRAFFIC SIGNAL BOX
 - M.E.S. - MITERED END SECTION
 - C.R. - CATV RISER
 - F.O.C.P. - FIBER OPTIC CABLE PEDESTAL
 - H.D.P.E. - HIGH DENSITY POLY ETHYLENE PIPE
 - OAK - OAK TREE
 - R.C.P. - REINFORCED CONCRETE PIPE
 - S.I.R. - SET 5/8" IRON ROD & CAP
 - STAMPED "LB 7805"
 - MANGO - MANGO TREE
 - OAK - OAK TREE
 - PINE - PINE TREE
 - SM - SANITARY MANHOLE

DESCRIPTION

LOT 5, AND THE SOUTH HALF OF LOT 6, AND ALL OF THE LOT 20, AND SOUTH HALF OF LOT 19, BLOCK 2, ALAMANDA VISTA, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 5, PAGE 49 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA; TOGETHER WITH VACATED ALLEY LYING BETWEEN SAID LOTS, AND THE NORTH 5 FEET OF VACATED ALLEY LYING ADJACENT TO SAID LOTS 5 AND 20.

TOGETHER WITH:

LOTS 1, 2, 3, AND 4, BLOCK 2 OF ALAMANDA VISTA SUBDIVISION, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 5, PAGE 49, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, LESS THE SOUTH 5 FEET THEREOF FOR ORANGE AVENUE.

SURVEYOR'S NOTES

1. THIS SURVEY MAP OR THE COPIES THEREOF, EXCEPT THOSE WITH ELECTRONIC SIGNATURE AND ELECTRONIC SEAL, ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. HORIZONTAL RELATIONSHIPS, AS SHOWN HEREON, ARE BASED ON THE FLORIDA STATE PLANE COORDINATE GRID, EAST ZONE, USING THE NORTH AMERICAN DATUM OF 1983 WITH THE 2011 ADJUSTMENT (NSRS 2011).
3. THE CENTERLINE OF N. 2ND STREET IS ASSUMED TO BEAR NORTH 00°22'40" EAST AND ALL OTHER BEARINGS SHOWN HEREON ARE RELATIVE THERETO.
4. THE HORIZONTAL LOCATION OF NON-DIMENSIONED FEATURES ARE PLOTTED TO SCALE, UNLESS NOTED OTHERWISE.
5. SYMBOLS SHOWN WITHIN THIS DRAWING ARE NOT SCALE DEPENDENT.
6. DESCRIPTION SHOWN HEREON PROVIDED BY CLIENT.
7. FIELD SURVEY LAST CONDUCTED ON OCTOBER 7, 2021.
8. OVERALL PARCEL CONTAINS 44,934 SQUARE FEET OR 1.03 ACRES, MORE OR LESS.
9. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
10. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
11. UNDERGROUND IMPROVEMENTS, IF ANY, WERE NOT LOCATED, EXCEPT AS SHOWN.
12. LIMITS OF WETLANDS, IF ANY, UNDER GOVERNMENT JURISDICTION, WERE NOT DETERMINED AS PART OF THIS SURVEY.
13. BY GRAPHIC PLOTTING ONLY, SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A FLOOD ZONE DESIGNATION OF "X", ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) ON FLOOD INSURANCE RATE MAP (FIRM) PANEL NUMBER 12111C0178J, HAVING AN EFFECTIVE DATE OF FEBRUARY 16, 2012. THIS INFORMATION SHOULD BE CONFIRMED WITH THE APPROPRIATE AGENCY PRIOR TO CONSTRUCTION.
14. TREE SIZES, AS SHOWN ADJACENT TO TREE SYMBOLS, WERE TAKEN AT BREST HEIGHT AND ARE IN INCHES OF A FOOT.

CERTIFIED TO

ARS HOLDINGS OF FLORIDA LLC

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE BOUNDARY SURVEY, AS SHOWN HEREON, IS A TRUE AND CORRECT REPRESENTATION OF A FIELD SURVEY MADE UNDER MY DIRECTION AND CHARGE AND SAID SURVEY IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THAT SAID SURVEY COMPLIES WITH THE APPLICABLE STANDARDS OF PRACTICE FOR SURVEYS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

CIVLSURY DESIGN GROUP, INC.

BY: BRIAN C. KIERNAN _____ DATE OF SIGNATURE _____
 PROFESSIONAL SURVEYOR & MAPPER
 FLORIDA REGISTRATION NO. 6101

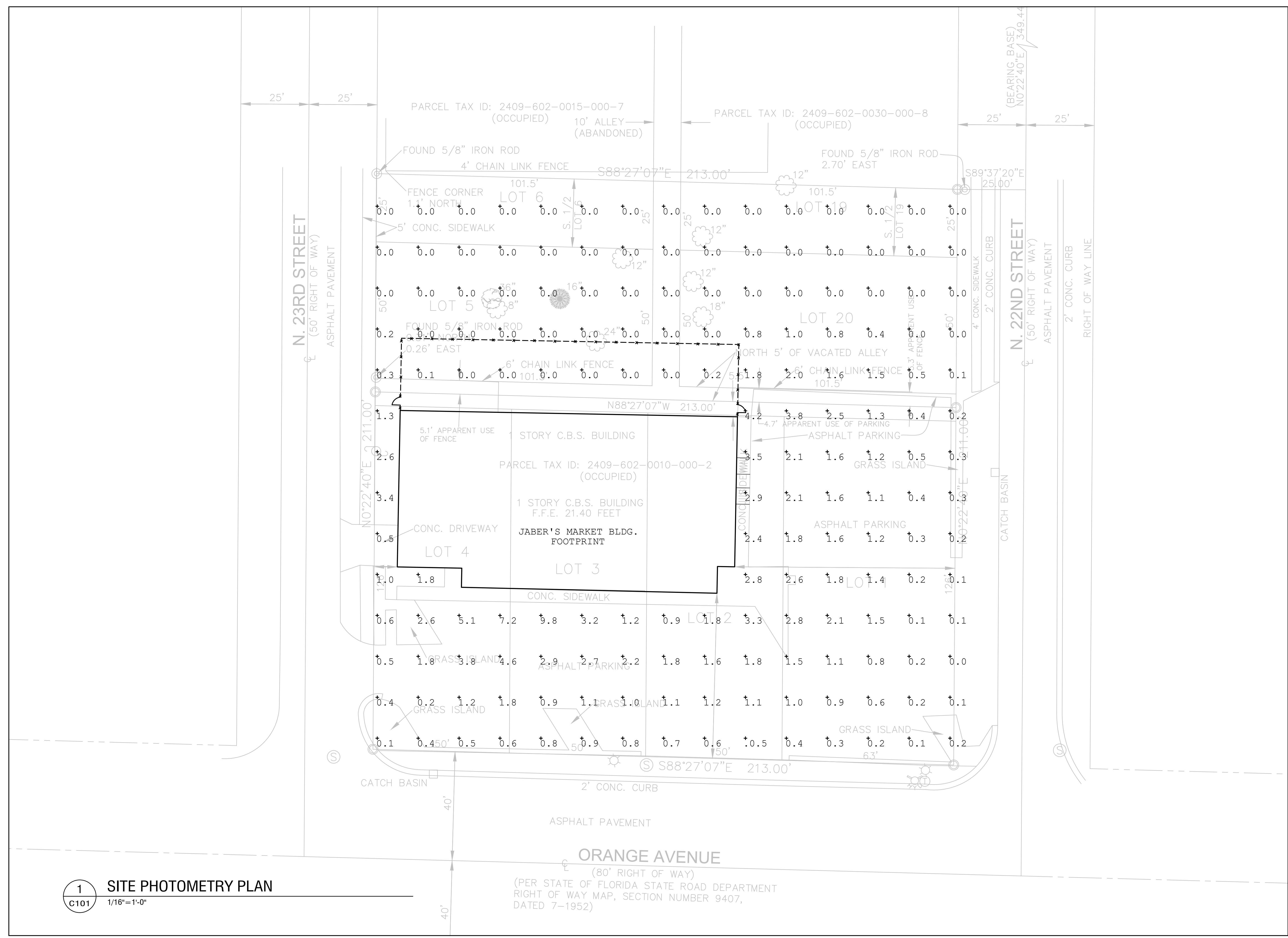
CIVLSURY
 CIVILSURVY DESIGN GROUP, INC.
 444 4TH LANE S.W., VERO BEACH, FL 32962 TEL: 772-323-2244

| | | | |
|--------------|----------------------------------|----------------|-----|
| REVISIONS | | | |
| DATE: | 10/11/21 | FIELD BOOK(S): | 857 |
| SCALE: | 1"=30' | DRAWN BY: | BK |
| PROJECT NO.: | 109 N. 22ND ST. BNDY. ADDITIONAL | CHECKED BY: | SW |
| | US NUMBER: 7805 | | |

BOUNDARY SURVEY
109 NORTH 22ND STREET
FT. PIERCE, FLORIDA

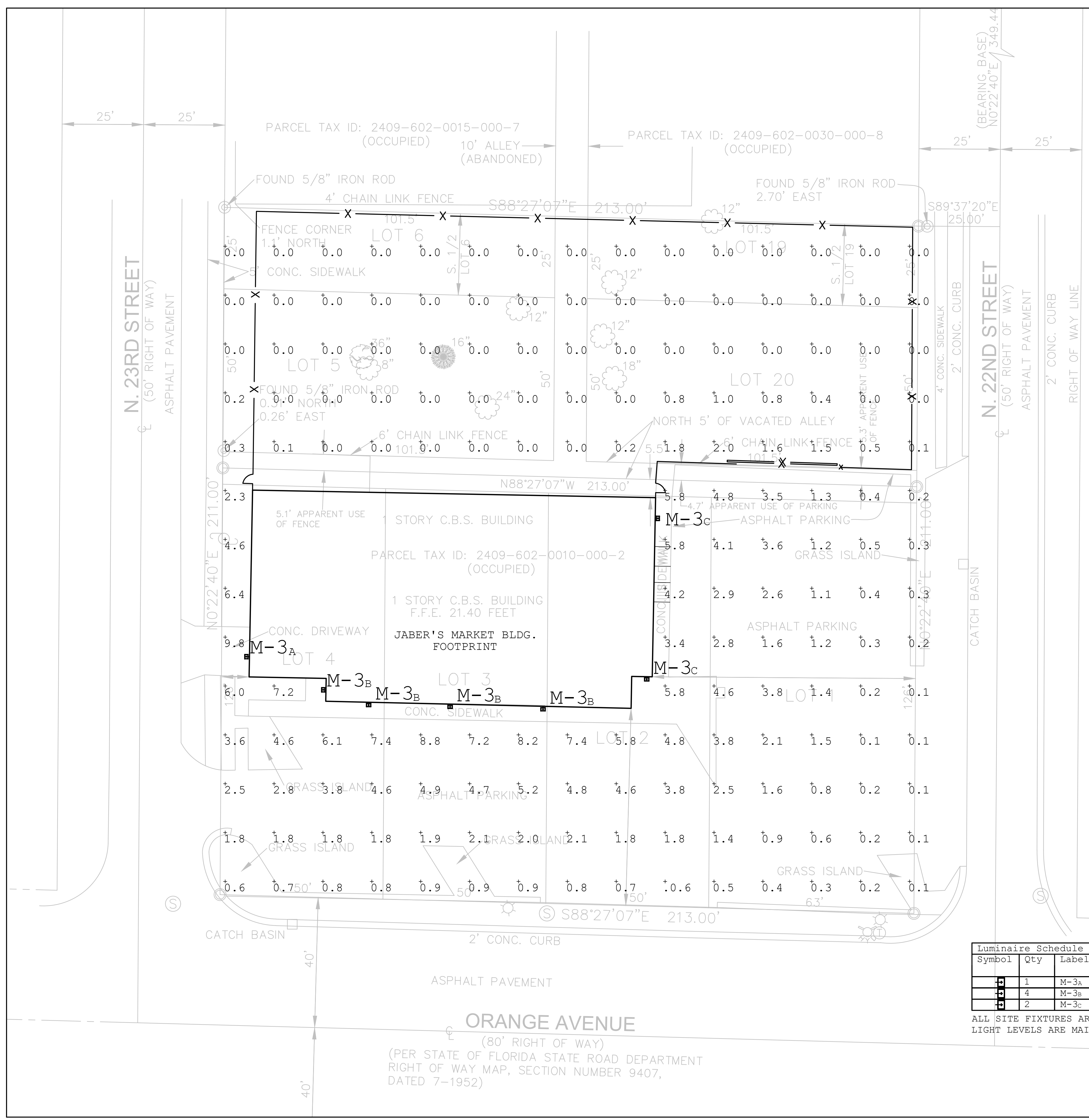
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1 SITE PHOTOMETRY PLAN
 C101 1/16"=1'-0"

ORANGE AVENUE
 (80' RIGHT OF WAY)
 (PER STATE OF FLORIDA STATE ROAD DEPARTMENT
 RIGHT OF WAY MAP, SECTION NUMBER 9407,
 DATED 7-1952)



WPLED20Y

DESCRIPTION
LED 20 Watt Wallpaks

SPECIFICATIONS

Dark Sky Approved:
The International Dark Sky Association has approved this product as a full cutoff, fully shielded luminaire.

Finish:
Chip and fade resistant polyester powder coat finish.

For use on LEED Buildings:
IDA Dark Sky Approval means that this fixture can be used to achieve LEED Credits for Light Pollution Reduction.

Gaskets:
High Temperature Silicone

IESNA LM-79:
RAB LED luminaires comply with the IESNA LM-79 testing procedure, which measures performance qualities of LED luminaires to allow for a true comparison of luminaires regardless of the light source.

Patents:
The WPLED20 design is protected under patents pending in the U.S., Canada, China, Taiwan and Mexico.

UL Listing:
Suitable for wet locations. Suitable for mounting within 4' of the ground.

Warranty:
RAB LED fixtures give you peace of mind because both the fixture and light engine components are backed by RAB's 5 Year Warranty. For more information, visit www.rablighting.com

Color Accuracy:
74 CRI

Driver:
Automatic Voltage Sensing Driver for 120 - 277 volts

ORDERING INFORMATION

| LED Lamp supplied with fixture | Total Watts | Lamp Type | Lamp Base | Ballast | Starting Amps | Operating Amps | Input Watts | LAMP ANSI Lumens | Initial Hours | Lamp Hours | |
|--------------------------------|-------------|----------------------|------------------|---------|---------------|----------------|-------------|------------------|---------------|------------|-------|
| 20 | 20 | Light Emitting Diode | Constant Current | 0.5 | 0.5 | 0.5 | 0.125 | 22 | N/A | 704 | 50000 |

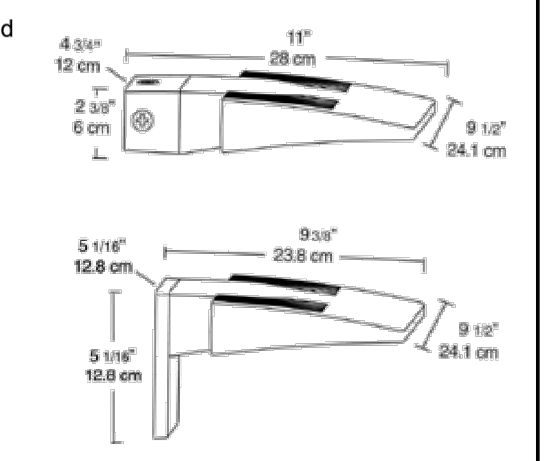
Factory Installed Options
Add suffix to Catalog Number

Note: Specifications may change without notice.
RAB Lighting, Inc. • 170 Ludlow Ave • Northvale, NJ 07647 • Tel: 888 RAB-1000 • Fax: 888 RAB-1232 • www.rabweb.com
© 2010 RAB Lighting, Inc.



CLIENT NAME: _____
DATE: _____
TYPE: _____

DIMENSIONS



| Symbol | Qty | Label | Arrangement | Luminaire Lumens | LLF | CCT | Luminaire Watts | Mounting Height | Description |
|--------|-----|-------|-------------|------------------|-------|-------|-----------------|-----------------|-----------------------|
| M-3A | 1 | M-3A | SINGLE | 986 | 0.900 | 4000K | 22 | 7 | WPLED20Y @ 7' A.F.G. |
| M-3B | 4 | M-3B | SINGLE | 986 | 0.900 | 4000K | 22 | 10 | WPLED20Y @ 10' A.F.G. |
| M-3C | 2 | M-3C | SINGLE | 986 | 0.900 | 4000K | 22 | 12 | WPLED20Y @ 12' A.F.G. |

ALL SITE FIXTURES ARE NEW
LIGHT LEVELS ARE MAINTAINED FOOT-CANDLES, INITIAL LEVELS ARE SLIGHTLY HIGHER

1
C101

SITE PHOTOMETRY PLAN

1/16" = 1'-0"

ARCHITECT ENGINEER

LIS

ARCHITECTURE
ENGINEERING

CA NO. 6853 LB1057
21431 Palm Beach Blvd
Suite 200
Palm Beach, FL 33480
Phone: (335) 693-9244
Facsimile: (335) 693-9289

CLIENT NAME

JABERS MARKET, LLC

ANKUR SHAH
930-3 MALABAR ROAD SE
PALM BAY, FL 32907

PROJECT NAME

JABERS MARKET CONDITIONAL USE FOR A DAYCARE

2210 Orange Ave
Ft. Pierce, FL 34950

SHEET TITLE

Site Photometry Plan

SEAL

ROBERT WAYNE CASE
FLORIDA PE #44643

RELEASE DATE

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PROJECT NO.

2024-109

ISSUE DATE

07-29-24

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SHEET NO.

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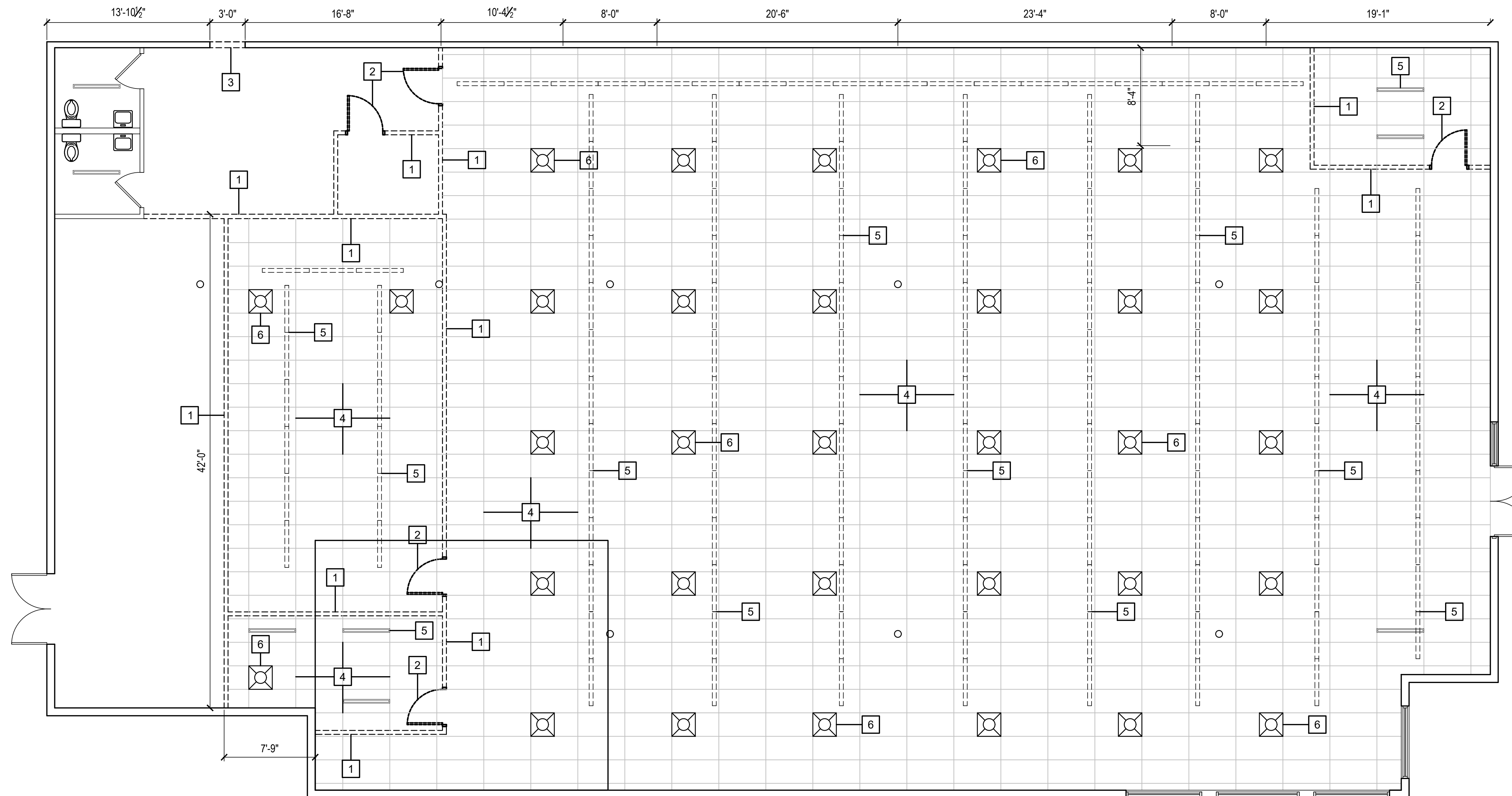
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GENERAL DEMOLITION NOTES

1. G.C. TO SECURE BUILDING AS REQUIRED AGAINST WEATHER INTRUSION AND VANDALISM AT THE END OF EACH DAY.
2. G.C. SHALL CLEAN UP CONSTRUCTION DEBRIS AND PLACE IN DUMPSTER FOR REMOVAL.
3. G.C. TO COORDINATE WITH THE OWNER FOR ANY SALVAGEABLE FURNISHINGS OR EQUIPMENT TO BE REUSED AFTER BUILDING RENOVATION.
4. G.C. TO CONFIRM BUILDING APRON AND SIDEWALK IS IN COMPLIANCE WITH 2010 STANDARDS FOR ACCESSIBLE DESIGN. G.C. TO PREP FOR COMPLIANCE RENOVATION AS REQUIRED.
 - 4.1. SIDEWALK: SHALL NOT EXCEED 5% RUNNING SLOPE; 2% CROSS SLOPE
 - 4.2. CURB RAMP: SHALL NOT EXCEED 8.3% RUNNING SLOPE; 2% CROSS SLOPE
5. G.C. TO COORDINATE WITH THE OWNER FOR ANY SALVAGEABLE FURNISHINGS OR EQUIPMENT TO BE REUSED AFTER BUILDING RENOVATION.

DEMOLITION PLAN NOTES

- 1 REMOVE EXISTING INTERIOR WALL.
- 2 REMOVE INTERIOR DOORS.
- 3 REMOVE PORTION OF EXISTING EXTERIOR WALL.
- 4 REMOVE EXISTING CEILING GRID.
- 5 REMOVE EXISTING STRIP CEILING LIGHTS.
- 6 REMOVE EXISTING VENT GRILLS.



1 Demolition Floor Plan
Scale: 3/16"=1'-0"

ARCHITECT ENGINEER
LIS
 21431 Palm Beach Blvd
 Suite 200
 Palm Beach Gardens, FL 33418
 Phone: (335) 693-9244
 Facsimile: (335) 693-9829
 CA NO.: 6853 LB1057
 2572 West State Road, 406
 Suite 200
 Ft. Pierce, FL 34950
 Phone: (321) 244-0402
 Facsimile: (321) 244-9419

CLIENT NAME
JABERS MARKET, LLC
 ANKUR SHAH
 930-3 MALABAR ROAD SE
 PALM BAY, FL 32907

PROJECT NAME
JABERS MARKET
 CONDITIONAL USE FOR A DAYCARE
 2210 Orange Ave
 Ft. Pierce, FL 34950

SEAL
 HAROLD DANIEL HUTTER III
 FL LIC: AR98913

| RELEASE | DATE |
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PROJECT NO. 2024-109

ISSUE DATE 07-29-24

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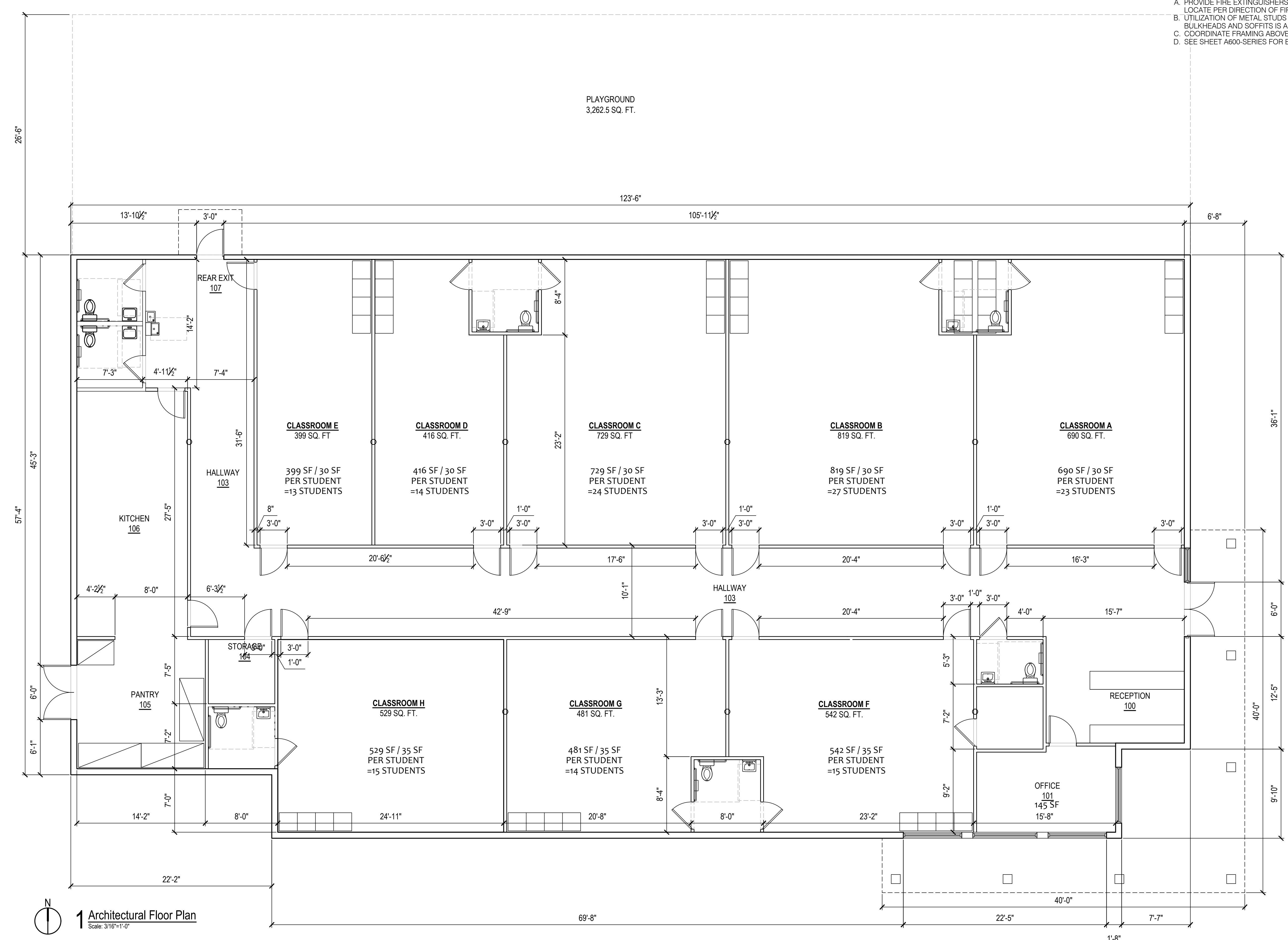
SHEET NO. **D100**

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Demolition Floor Plan

FLOOR PLAN NOTES

- DIMENSIONS:**
 A. ALL DIMENSIONS ARE FROM INSIDE FACE OF EXISTING TO REMAIN TO FACE OF STUD.
 B. DIMENSIONS NOTED AS "CLEAR" OR "HOLD" ARE MIN. REQ'D. NET CLEARANCE FROM FACE OF WALL FINISH.
- WINDOWS / DOORS:**
 A. ALL DOOR AND WINDOW OPENING DIMENSIONS ARE TO ROUGH OPENING
 B. TYPICAL 4" RETURN ON DOORS, U.N.O.
- GENERAL:**
 A. PROVIDE FIRE EXTINGUISHERS - 10 LB. ABC - TO COMPLY WITH LOCAL FIRE CODE. LOCATE PER DIRECTION OF FIRE MARSHALL OR LOCAL AUTHORIZING AGENT.
 B. UTILIZATION OF METAL STUDS ON NON-BEARING INTERIOR PARTITIONS, BULKHEADS AND SOFFITS IS ACCEPTABLE.
 C. COORDINATE FRAMING ABOVE CEILING WITH HVAC DUCT WORK.
 D. SEE SHEET A600-SERIES FOR ENLARGED PLANS (RESTROOMS AND SERVICE AREA).



1 Architectural Floor Plan
Scale: 3/16"=1'-0"

ARCHITECT ENGINEER
LIS
 ARCHITECTURE
 ENGINEERING
 CA NO. 6853 LB1057
 2572 West State Road, #26
 Suite 202
 Palm Bay, FL 32909
 Phone: (321) 244-0402
 Facsimile: (321) 244-9419

CLIENT NAME
JABERS MARKET, LLC
ANKUR SHAH
 930-3 MALABAR ROAD SE
 PALM BAY, FL 32907

PROJECT NAME
JABERS MARKET
 CONDITIONAL USE FOR A DAYCARE
 2210 Orange Ave
 Ft Pierce, FL 34950

SEAL
 HAROLD DANIEL HUTTER III
 FL LIC. AR98913

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PROJECT NO. 2024-109

ISSUE DATE 07-29-24

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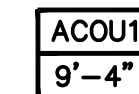

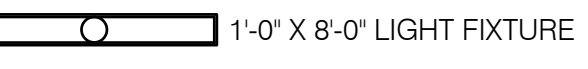



SHEET NO.

A100

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Architectural Floor Plan

SYMBOL LEGEND

-  CEILING SPECIFICATION
-  CEILING HEIGHT
-  1'-0" X 8'-0" LIGHT FIXTURE
-  2'-0" X 2'-0" RECESSED FIXTURE
-  WALL OR CEILING MOUNTED EMERGENCY LIGHT FIXTURE
-  CEILING MOUNTED EXIT SIGN / LIGHT COMBO

REFLECTED CEILING PLAN NOTES:

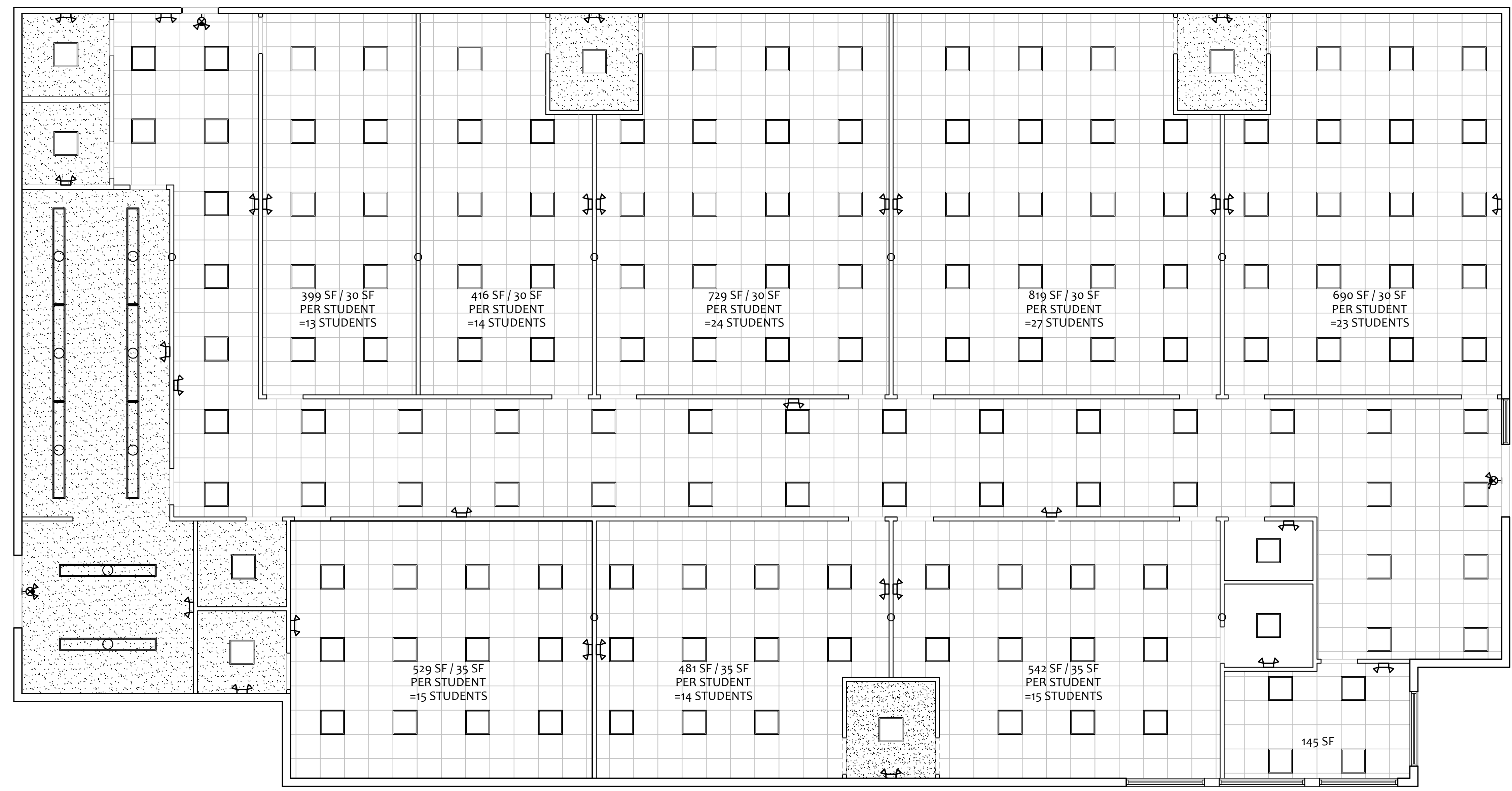
- DIMENSIONS:**
A. ALL DIMENSIONS ARE TO FINISH FACE U.N.O.
- CEILING FINISHES:**
A. REFER TO FINISH SCHEDULE
- SUSPENDED CEILING:**
A. ACOUSTICAL PANEL INSTALLATION: INSTALL ACOUSTICAL PANELS WITH EDGES IN CLOSE CONTACT WITH METAL SUPPORTS AND IN TRUE ALIGNMENT.
B. ALLOWABLE VARIATIONS FROM FLAT AND LEVEL SURFACE: 1/8" IN 10'-0" MAX.
C. ALLOWABLE VARIATIONS FROM PLUMB OF GRID MEMBERS: AS CAUSED BY ECCENTRIC LOADS, 2" MAX.
D. INSTALL SYSTEM AFTER MAJOR CEILING WORK IS COMPLETE. COORDINATE LOCATIONS OF HANGERS WITH RELATED WORK.
- LIGHTING:**
A. CONFIRM LIGHTING FIXTURE QUANTITIES WITH SUPPLIER
B. EMERGENCY AND NORMAL LIGHTING MARKED WITH NL; SUBSCRIPT SHALL OPERATE CONTINUOUSLY. PROVIDE UNSWITCHED HOT TO NORMAL AND EMERGENCY BALLAST.
C. CONTRACTOR SHALL FIELD VERIFY CEILING TYPE AND PROVIDE PROPER MOUNTING HARDWARE.
D. ALL LIGHT FIXTURES SHALL BE SUPPLIED WITH LAMPS.

SPECIFICATIONS:

- DIVISION 9: FINISHES**
- SECTION 9C: SUSPENDED CEILING**
- SCOPE: FURNISH AND INSTALL ACOUSTICAL TILE PANELS WITH SUSPENSION SYSTEM
 - PERFORMANCE: GRID SHALL BE INSTALLED AS SHOWN AND IN STRICT ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS. LEVEL ACCURATELY AND HANG FROM #9 GAGE ANNEALED WIRE NOT OVER 4' O.C. PROVIDE HOLD-DOWN CLIPS. COOPERATE IN FITTING AROUND AIR CONDITIONING AND VENTILATION OUTLETS.

GENERAL NOTES:

- CEILING GRID SHALL BE SUPPORTED FROM STRUCTURAL MEMBERS ONLY. GRID SHALL NOT BE SUPPORTED FROM OTHER TRADES WORK.
- COORDINATE GRID INSTALLATION WITH LOCATION OF MECHANICAL EQUIPMENT AS INDICATED ON MECHANICAL AND ELECTRICAL SHEETS.
- HANGER WIRES FOR GRID SHALL BE INSTALLED AT NO MORE THAN 48" O.C. AND AT EACH CORNER OF LAY-IN LIGHT FIXTURES. SEE ELECTRICAL SHEETS FOR FIXTURE LOCATIONS.
- CEILING GRID SHOULD BE CENTERED AT EACH ROOM



1 Reflected Ceiling Plan
Scale: 3/16"=1'-0"

ARCHITECT ENGINEER
LIS
ARCHITECTURE
ENGINEERING
CA NO.: 6853 LB1057
2572 West State Road, #26
Suite 202
Palm Bay, FL 32909
Phone: (329) 244-0402
Facsimile: (321) 244-9419

CLIENT NAME
JABERS MARKET, LLC
ANKUR SHAH
930-3 MALABAR ROAD SE
PALM BAY, FL 32907

PROJECT NAME
JABERS MARKET
CONDITIONAL USE FOR A DAYCARE
2210 Orange Ave
Ft Pierce, FL 34950

SEAL
HAROLD DANIEL HUTTER III
FL LIC. AR98913

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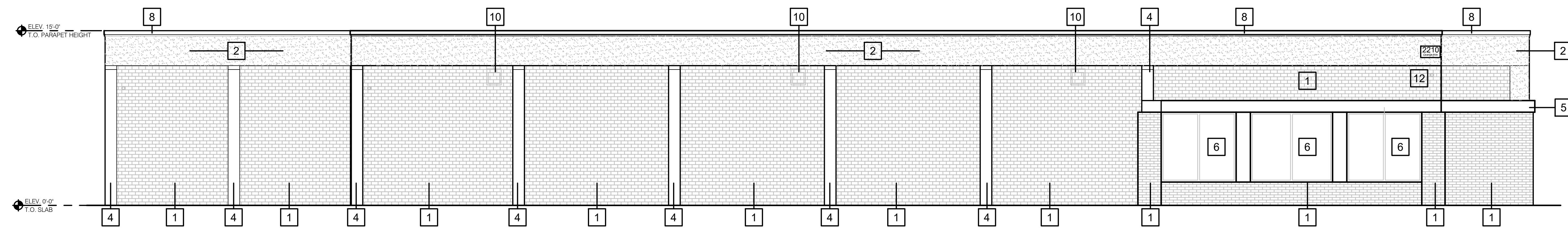
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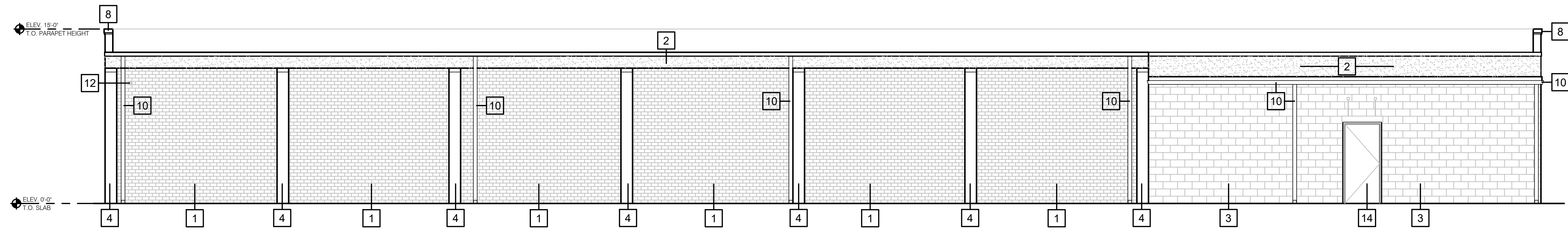
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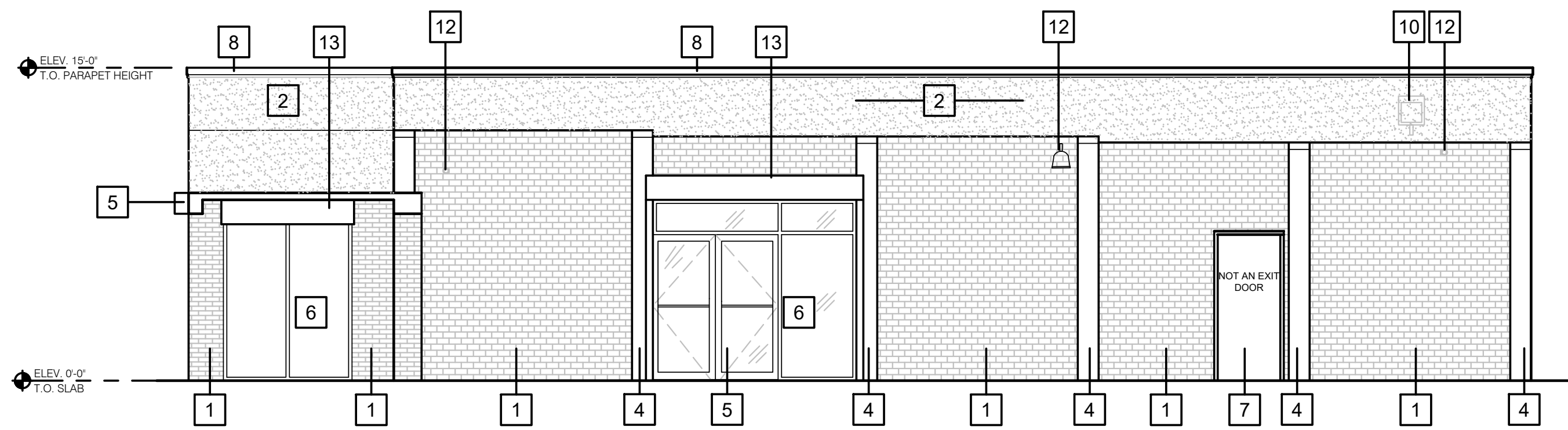
Reflected Ceiling Plan



1 South (front) Elevation
Scale: 3/16"=1'-0"

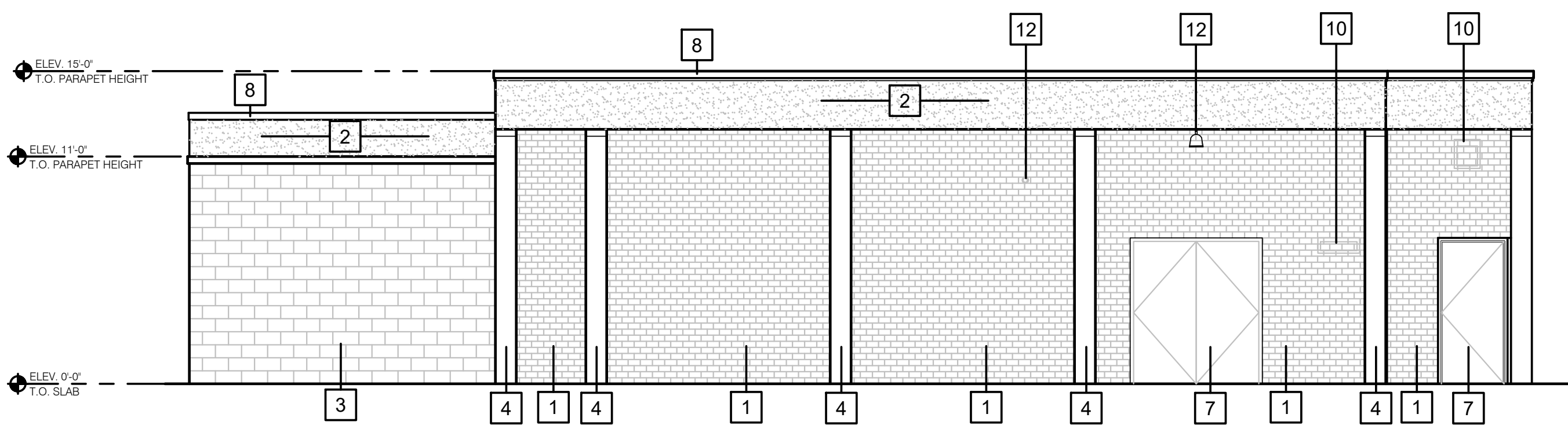


2 North (rear) Elevation
Scale: 3/16"=1'-0"



3 East (entrance) Elevation
Scale: 3/16"=1'-0"

- EXTERIOR ELEVATION NOTES**
- 1 PAINTED BRICK WALL
 - 2 PAINTED STUCCO
 - 3 PAINTED CMU WALL
 - 4 EXISTING PAINTED PILASTER
 - 5 EXISTING STOREFRONT DOOR
 - 6 EXISTING STOREFRONT WINDOW
 - 7 EXISTING PAINTED DOOR
 - 8 EXISTING METAL PARAPET COPING
 - 9 EXISTING ENTRANCE CANOPY
 - 10 EXISTING GUTTER AND DOWNSPOUT
 - 11 EXISTING WALL-PACK FLOOD LIGHT
 - 12 EXISTING SECURITY CAMERA
 - 13 ROLL-UP GATE
 - 14 NEW REAR DOOR AND CANOPY

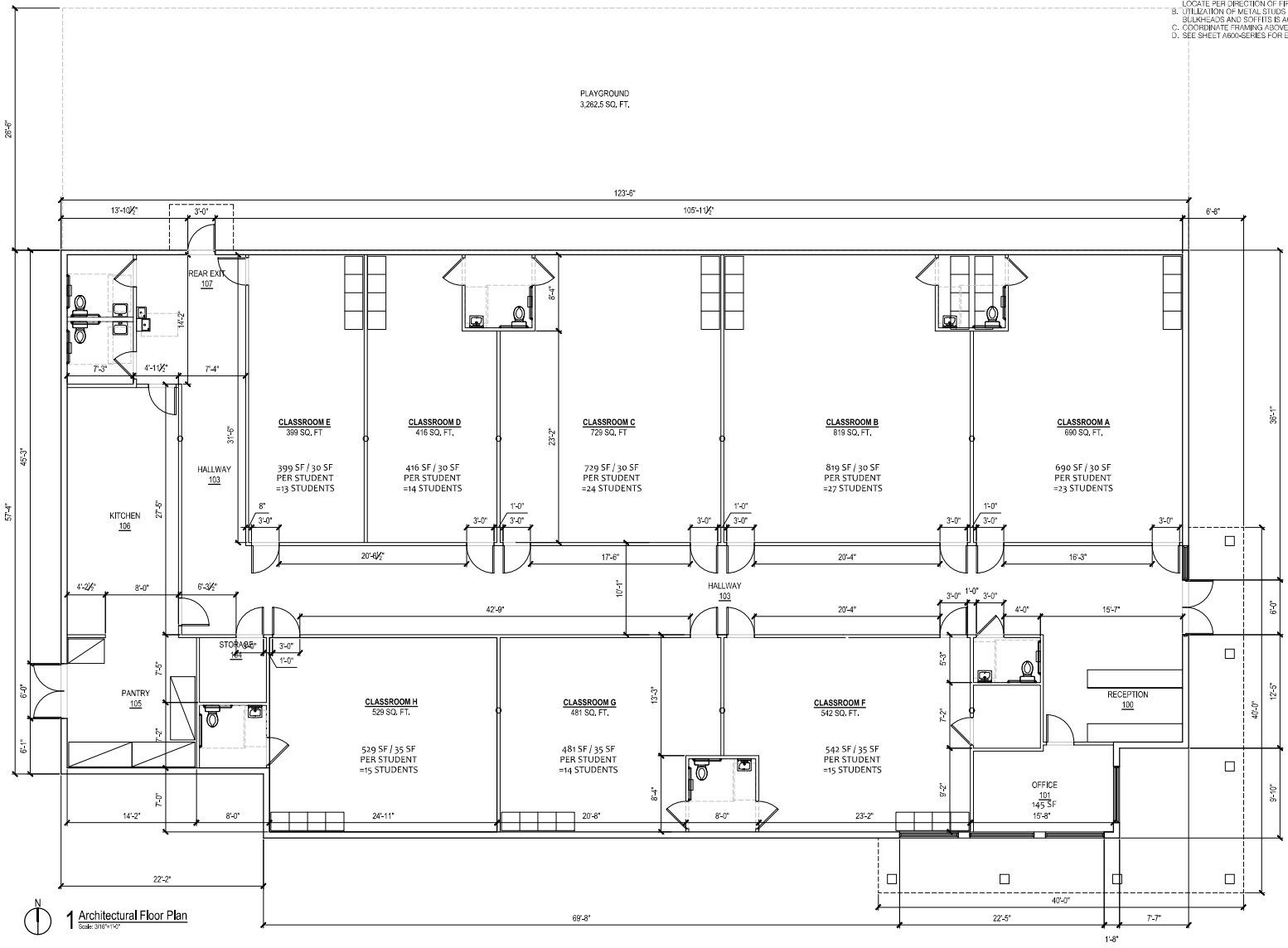


4 West (side) Elevation
Scale: 3/16"=1'-0"

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FLOOR PLAN NOTES

- DIMENSIONS:**
 A. ALL DIMENSIONS ARE FROM INSIDE FACE OF EXISTING TO REMAIN TO FACE OF STUD.
 B. DIMENSIONS NOTED AS 'CLEAR' OR 'HOLD' ARE MIN. REQ'D. NET CLEARANCE FROM FACE OF WALL FINISH.
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 A. ALL DOOR AND WINDOW OPENING DIMENSIONS ARE TO ROUGH OPENING.
 B. TYPICAL 4" RETURN ON DOORS, U.N.C.
- GENERAL:**
 A. PROVIDE FIRE EXTINGUISHERS - 10 LB. ABC - TO COMPLY WITH LOCAL FIRE CODE.
 LOCAL FIRE JURISDICTION OF THE MARSHALL OR LOCAL AUTHORIZING AGENCY.
 B. UTILIZATION OF METAL STUDS ON NON-BEARING INTERIOR PARTITIONS, BULKHEADS AND SOFFITS IS ACCEPTABLE.
 C. COORDINATE FRAMING ABOVE CEILING WITH HVAC DUCT WORK.
 D. SEE SHEET A600-SERIES FOR ENLARGED PLANS (RESTROOMS AND SERVICE AREA).



1 Architectural Floor Plan
Scale: 3/16"=1'-0"

ARCHITECT / ENGINEER
LIS
 CIVIL, ARCH, INTERIOR
 7450 W. BAYVIEW BLVD
 SUITE 200
 PALM BEACH, FL 33410
 Phone: (561) 995-0004
 Fax: (561) 995-0005
 Email: lis@lisarch.com

CLIENT NAME
JABERS MARKET, LLC
ANKUR SHAH
 980-3 MALABAR ROAD SE
 PALM BAY, FL 32907

PROJECT NAME
JABERS MARKET
CONDITIONAL USE FOR A DAYCARE
 2210 Orange Ave
 Ft. Pierce, FL 34950

SHEET TITLE
Architectural Floor Plan

DESIGNED BY
 HAROLD DANIEL HULTER III
 P.L.L.C. A088613

| RELEASE | DATE |
|---------|------|
| | |
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| | |

PROJECT NO.
2024-109

ISSUE DATE
07-29-24

DRAWN BY
CHECKED BY

SHEET NO.

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SYMBOL LEGEND

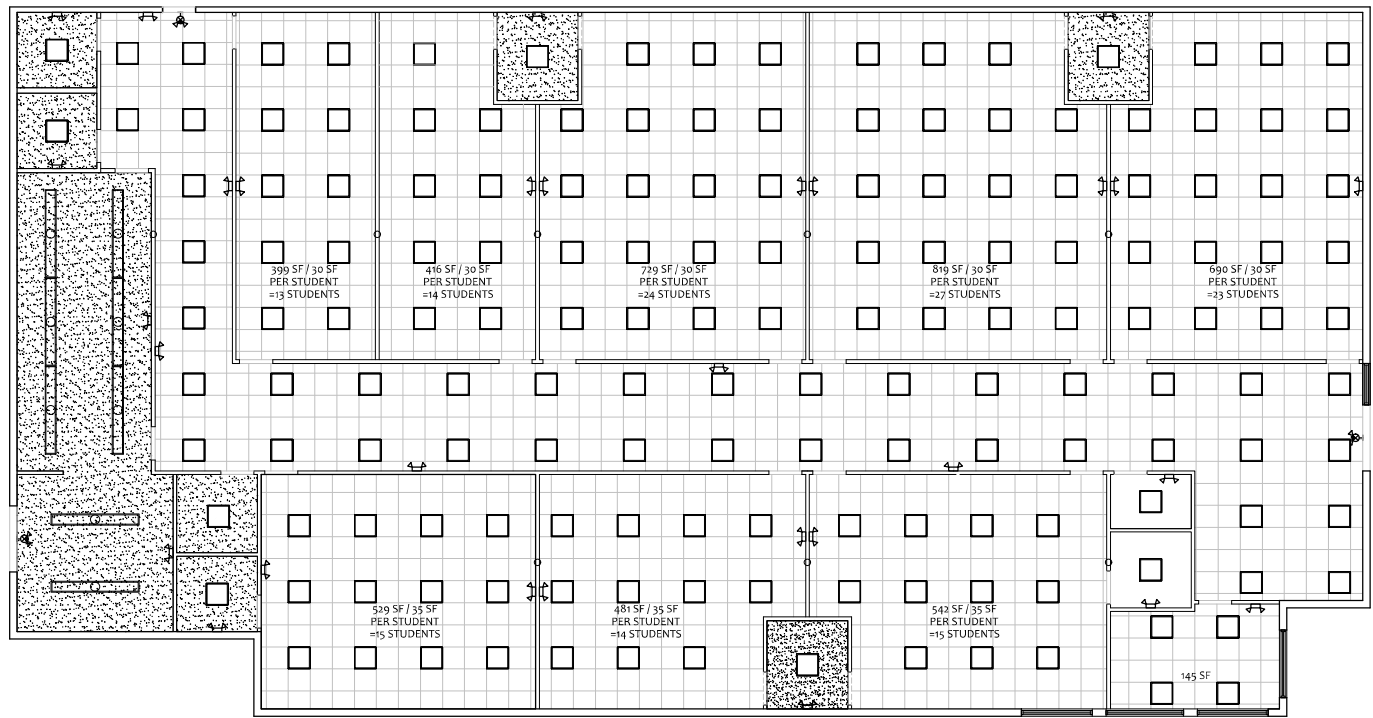
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REFLECTED CEILING PLAN NOTES:

- DIMENSIONS:**
A. ALL DIMENSIONS ARE TO FINISH FACE UNLESS NOTED OTHERWISE.
- CEILING FINISHES:**
A. REFER TO FINISH SCHEDULE.
- SUSPENDED CEILING:**
A. ACOUSTICAL PANEL INSTALLATION: INSTALL ACOUSTICAL PANELS WITH EDGES IN CLOSE CONTACT WITH METAL SUPPORTS AND IN TRUE ALIGNMENT.
B. ALLOWABLE VARIATIONS FROM FLAT AND LEVEL SURFACE: 1/8" IN 10'-0" MAX.
C. ALLOWABLE VARIATIONS FROM PLUMB OF GRID MEMBERS: AS CAUSED BY ECCENTRIC LOADS: 2" MAX.
D. INSTALL SYSTEM AFTER MAJOR CEILING WORK IS COMPLETE. COORDINATE LOCATIONS OF HANGERS WITH RELATED WORK.
- LIGHTING:**
A. CONFIRM LIGHTING FIXTURE QUANTITIES WITH SUPPLIER.
B. EMERGENCY AND NORMAL LIGHTING MARKED WITH 'N'; SUBSCRIPT SHALL OPERATE CONTINUOUSLY. PROVIDE UNMATCHED HOT TO NORMAL AND EMERGENCY BALLAST.
C. CONTRACTOR SHALL FIELD VERIFY CEILING TYPE AND PROVIDE PROPER MOUNTING HARDWARE.
D. ALL LIGHT FIXTURES SHALL BE SUPPLIED WITH LAMPS.

SPECIFICATIONS:

- DIVISION 9: FINISHES**
- SECTION 90: SUSPENDED CEILING**
1. SUPPLY, FURNISH AND INSTALL ACOUSTICAL TILE PANELS WITH SUSPENSION SYSTEM PERFORMED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. LEVEL ACCURATELY AND HANG FROM #9 GAGE ANNEALED WIRE NOT OVER 4" O.C. PROVIDE HOLD-DOWN CLIPS, COOPERATE IN FITTING AROUND AIR CONDITIONING AND VENTILATION OUTLETS.
- GENERAL NOTES:**
1. CEILING GRID SHALL BE SUPPORTED FROM STRUCTURAL MEMBERS ONLY. GRID SHALL NOT BE SUPPORTED FROM OTHER TRADES WORK.
 2. COORDINATE GRID INSTALLATION WITH LOCATION OF MECHANICAL EQUIPMENT AS INDICATED ON MECHANICAL AND ELECTRICAL SHEETS.
 3. HANGER WIRES FOR GRID SHALL BE INSTALLED AT NO MORE THAN 48" O.C. AND AT EACH CORNER OF LAY-IN LIGHT FIXTURES. SEE ELECTRICAL SHEETS FOR FIXTURE LOCATIONS.
 4. CEILING GRID SHOULD BE CENTERED AT EACH ROOM.



1 Reflected Ceiling Plan
Scale: 3/16"=1'-0"

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PROJECT NAME
JABERS MARKET
CONDITIONAL USE FOR A DAYCARE
2210 Orange Ave
FT. PIERCE, FL 34950

DESIGNER
HAROLD DANIEL HUTTER III
FL LIC. AR08613

| RELEASE | DATE |
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SHEET NO. **A101**

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Reflected Ceiling Plan