

## **BOARD OF ADJUSTMENT AGENDA**

Board of Adjustment Regular Meeting - Thursday, August 28, 2025 - 2:00 p.m.  
City Hall - City Commission Chambers, 100 North U.S. #1, Fort Pierce, Florida

1. **CALL TO ORDER**
2. **PLEDGE OF ALLEGIANCE**
3. **ROLL CALL**
4. **CONSIDERATION OF ABSENCES**
5. **APPROVAL OF MINUTES**
  - a. Minutes from the April 3, 2025 Board of Adjustment meeting
6. **PUBLIC HEARINGS**
  - a. Three (3) Variances - Hixson Quadruplex - 1144 South Ocean Drive
7. **DISCUSSION / OTHER BUSINESS**
8. **COMMENTS FROM THE PUBLIC**
9. **ADJOURNMENT**

Any person seeking to appeal any decision by the Board of Adjustment with respect to any matter considered at this meeting is advised that a record of proceedings is required in any such appeal and that such person may need to insure that a verbatim record of the proceedings is made including the testimony and evidence upon which the appeal is to be based.

Persons who require special accommodations under the Americans with Disabilities Act (ADA) should contact the Planning Department at (772) 467-3729, at least five (5) days prior to the meeting. Persons who are hearing or speech impaired may use the Florida Relay System by dialing 711.

**Planning Board of Adjustment - 2:00 PM**

**Meeting Date:** 08/28/2025

**Re:** Board of Adjustment Minutes 4/3/25

**Submitted For:** Kev Freeman, Planning Director, Planning Department

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**Information**

**SUBJECT:**

Minutes from the April 3, 2025 Board of Adjustment meeting

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**Attachments**

Board of Adjustment Minutes 4/3/25

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**Form Review**

Form Started By: Alicia Rosenthal

Started On: 04/07/2025 09:49 AM

Final Approval Date: 06/26/2025

# DRAFT



## CITY OF FORT PIERCE BOARD OF ADJUSTMENT

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### Board of Adjustment Minutes

OF THE REGULAR MEETING OF THE FORT PIERCE CITY BOARD OF ADJUSTMENT HELD ON THURSDAY, **APRIL 3, 2025**, IN FORT PIERCE CITY HALL, COMMISSION CHAMBERS, 100 NORTH US HIGHWAY 1, FORT PIERCE, FLORIDA.

1. **CALL TO ORDER**

2. **PLEDGE OF ALLEGIANCE**

3. **ROLL CALL**

Present: Darrell Drummond; James Crist; Jaimebeth Galinis, Chair

Staff Present: Kev Freeman, Planning Director  
Felicia Holloman, Assistant City Attorney  
Kerry Driver, Senior Planner  
Alicia Rosenthal, Planning and Development Organizer

4. **CONSIDERATION OF ABSENCES**

All Board members were in attendance.

5. **APPROVAL OF MINUTES**

- a. Minutes from the February 27, 2025 meeting

Motion was made by Darrell Drummond, and seconded by James Crist to approve the minutes from the February 27, 2025, meeting.

AYE: Darrell Drummond, James Crist, Chair Jaimebeth Galinis  
Passed

6. **PUBLIC HEARINGS**

a. **Variance - Billboard - 1710 N. 25th Street**

The clerk introduced the Variance for a digital billboard located at 1710 N. 25th Street.

The chair asked the Board attorney to explain the Quasi-Judicial Hearing procedures.

When acting as a quasi-judicial body, the Board is held to certain procedural requirements.

Quasi-judicial proceedings are less formal than proceedings before a circuit court, but are more formal than the other aspects of today's meeting. Quasi-judicial proceedings must follow basic standards of notice and due process, and decisions must be made based on competent substantial evidence. Therefore, board members have a duty to conduct quasi-judicial proceedings more like judges than legislators. This afternoon, the Board will follow the same uniform procedure in all quasi-judicial hearings.

The Board attorney explained that because of the two (2) vacancies on the Board of Adjustment, there are only three (3) Board members, and the applicant can proceed or wait until four (4) Board members are present. The applicant chose to proceed.

The Chair called the proceeding to order.

The clerk confirmed the City complied with the advertisement and notice requirements.

The Chair inquired with the Board regarding ex-parte communications and asked the Clerk to call the roll:

Mr. Drummond - no

Mr. Crist - no

Chair Galinas - no

The Chair opened the public hearing.

The clerk was asked to swear in those wanting to speak during this Quasi-Judicial hearing. Individuals in the audience intending to speak on this item were asked to stand, raise their right hand, and administered an oath to tell the truth, the whole truth, and nothing but the truth. Those that were sworn in were asked to clearly state their name for the record and confirm they were sworn in at such time as they were asked to come forward to testify.

Staff Presentation: Ms. Driver stated the applicant is requesting to deviate from City Code 117-6 to increase the allowed height of a ground sign from 10 feet to 25 feet. She provided the background and history of the building permit. Ms. Driver said the vacant parcel is approximately 25 acres. She read the code section Chapter 117 - Signs that pertained to the variance. Ms. Driver said the Future Land Use is GC, General Commercial and the Zoning is C-3, General Commercial. She showed the estimated sign location in street view, the site plan and the proposed sign dimensions. Ms. Driver said the digital billboard will be seen from both sides.

Board questions for staff: Chair Galinas asked for staff's recommendation on the variance. Mr. Crist asked if the landscape buffering was for the base of the sign or the entire sign. Mr. Drummond asked if the current code meets the vision of the City of Fort Pierce for the comprehensive plan and the future use of the area. Mr. Crist asked if letters were sent and what the response was. Chair Galinas asked if the five variance criteria were met. Chair Galinas asked what sign height would be allowed and if there were any areas where digital signs are not allowed.

Applicant questions for staff: None

Applicant presentation: Ian Osking, attorney representative, sworn, stated that under the current code in 2022, a 20-foot billboard was permitted on US 1 and Delaware on a lot similar in size. Mr. Osking said he has a letter from the owner of the property in support of the application. He said the requirements under the variance section of the code states that an off-premise sign should not exceed a natural height of 25 feet, but the code does not state how a 25-foot sign could be built. Mr. Osking said the code grants a 25-foot sign in one section of the code, but it does not give the ability to build the sign. He said the code as it relates to this property is depriving it of its meaningful and beneficial use. Mr. Osking noted a 10-foot-high sign cannot be seen on the property and the code states a sign over a walkway has to be at least 9 feet above the ground and a sign over a roadway has to be at least 14 feet above the ground. Mr. Osking provided the board attorney packets for the Board of Adjustment members which included an approval letter from the property owner and the approved permit for a 20-foot billboard on US Highway 1 and Delaware Avenue.

Scotty Shivar, applicant, sworn, stated the light from the sign would be directed to the roadway with no reflection or glare. He said they are willing to put up a landscape buffer. Mr. Shivar said they want to build the sign tall enough for people to walk underneath it and tall enough not to be vandalized. He noted that there is a 500-foot space requirement on a 200-foot billboard sign and this location might be the last one left in the city for a billboard.

Board questions for applicant: Mr. Drummond asked for clarification if the code does not address the variance or is it an interpretation of the code.

Public comment: None

Staff final comment: Mr. Freeman said there was a discrepancy in the code, and he thought staff consulted with the city attorney's office.

Board comment: Chair Galinas said she does not want billboards moving from US Highway 1 to 25th Street. She also said if the code is inconsistent, it is not up to the Board of Adjustment to fix it. Mr. Drummond said the question of interpretation of what is proper is handled between staff and the applicant. Mr. Crist said the lot size is buildable and also usable for a sign, but the sign is not even close to achieving the height requirements for a ground sign. He said the mixed-use environment on 25th Street is very different compared to the environment on US Highway 1. Mr. Crist said combining all the adjoining lots of the property owner would create a viable large piece of property that could be more advantageous to the community. Mr. Drummond said he views planning as an opportunity to determine the vision of the city and where the city would like to see things go. He said he does not like to have a proliferation of billboards and over signage on roadways that creates a visual distraction. Chair Galinas said the application does not meet the five variance criteria, and it is difficult to dismiss the criteria. Mr. Crist said he has turned down signs in the past that were blight on the area. He said he stands by improving and enhancing Fort Pierce and the minimum is not acceptable.

Applicant final comment: Mr. Osking asked the Board to grant the variance with staff recommendations.

The Chair, seeing no one else, closed the public hearing.

Motion was made by Darrell Drummond, and seconded by James Crist to deny the Billboard Variance located at 1710 N. 25th Street

AYE: James Crist, Darrell Drummond, Chair Jaimebeth Galinis  
Passed

**7. DISCUSSION / OTHER BUSINESS**

The Board discussed the position of staff if the variance criteria are not met. Mr. Drummond said if the criteria are not met, the recommendation from staff should be a denial. Mr. Freeman said he will be looking at the discrepancy in the variance code because it is not straightforward. Mr. Crist said the discrepancy in the code makes it tough for the Board to do their job. Chair Galinas asked about limits on billboards on US Highway 1. Ms. Holloman, Board Attorney, stated the city attorney had previously spoken with Mr. Osking about the variance application.

**8. COMMENTS FROM THE PUBLIC**

There were no comments from the public.

**9. ADJOURNMENT**

To whom it may concern,

My family and I own the various parcels of property that are located East of 25<sup>th</sup> Street, South of Avenue Q, West of N 23<sup>rd</sup> Street, and North of Avenue P.

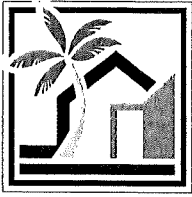
I am writing this letter to express my support for the granting of a variance for the Property located at 1710 N. 25<sup>th</sup> Street, Fort Pierce, for the purpose of constructing an outdoor advertising or billboard of 25ft in height. It is our belief that this will be a benefit to the property and the surrounding properties.

I hereby request that the Board grant the Application and permit the construction to move forward.

Sincerely,

Charles Bryant, Jr.

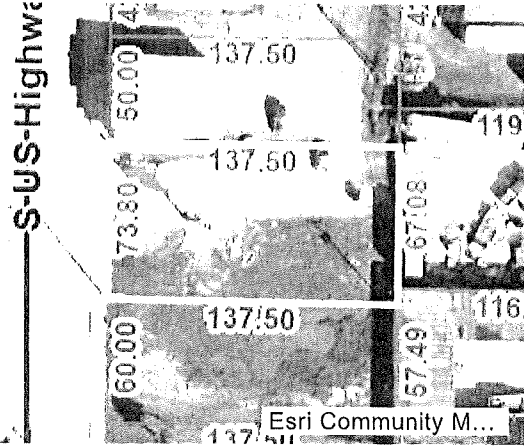
A handwritten signature in black ink, appearing to read "Charles Bryant, Jr.", written over a horizontal line.



**Saint Lucie County**  
**Property Appraiser**  
 Michelle Franklin CFA

Report generated: Thursday, April 3, 2025

**Parcel Report**



**Parcel**

**PARCELNO:** 2410-711-0060-000-6

**Property ID:** 23771

**Owner1:** Silver Shores Holdings LLC

**SiteAddress:** S US HIGHWAY 1

**Owner**

**Owner1:** Silver Shores Holdings LLC

**Owner2:**

**Owner3:**

**MailingAddress:** 719 Shore DR Vero Beach, FL 32963-1263

**Overview**

**PrimaryLandUse:** 1000 - Vac Comm

**DistrictGroup:** 9022 - Fort Pierce

**Subdivision:** Boulevard Development Company's Resubdivision

**Just/Market Value:** \$89,900

**FinishedArea:**

**Acres:** 0.233

**TotalArea:** 10,158

**Legal Description**

**LegalDescription:** BLVD DEV CO'S S/D BLK D LOT 10 AND N 29.2 FT OF LOT 11 AND W 7.5 FT OF VAC ALLEY ADJ ON E (MAP 24/10F) (OR 3609-159)

**Value History**

Year	Just/Market Value	Building Value	Land Value	SFYI Value	Assessed Value	Exemption Amount	County Taxable	Save Our Home OR 10% Cap Differential	Ag Credit
2024	\$89,900	\$0	\$89,900	\$0	\$60,826	\$0	\$60,826	\$29,074	\$0
2023	\$81,800	\$0	\$81,800	\$0	\$55,297	\$0	\$55,297	\$26,503	\$0
2022	\$81,800	\$0	\$81,800	\$0	\$50,270	\$0	\$50,270	\$31,530	\$0
2021	\$45,700	\$0	\$45,700	\$0	\$45,700	\$0	\$45,700	\$0	\$0

**Tax Links**

[SLC Tax Collector's Office taxes for this parcel](#)

[Download TRIM notice for this parcel](#)

**Special Assessments**

Description	Start Year	Units	Amount
Fort Pierce Stormwater Charge	1999	4.2	289.8

**Land Lines**

Line Number	Units	Unit Type
1	10,158	SqFt

**Improvements**

**Building Sequence:** 1  
**Bedrooms:** 0  
**Bathrooms:** 0  
**Building Type:** -  
**Story Height:**  
**No of Living Units:**  
**Total Finished Area:** 0  
**Gross Sketched Area:** 0  
**Year Built:**  
**Effective Year:**  
**Primary Roof Cover:**  
**Primary Roof Structure:**  
**Primary Wall:**  
**A/C %:** 0

**Sales History**

Sale Date	Sale Price	Sale Code	Deed Type	Grantor	Book Page	View Document
02/26/2014	\$125,000	0205	WD	Keane Thomas C	3609-159	<a href="#">Clerk of Courts</a>
05/14/2012	\$0	0119	PRDEED	Keane Thomas C	3391-2900	<a href="#">Clerk of Courts</a>
12/31/1985	\$50,000	XX00	CV		488-1413	<a href="#">Clerk of Courts</a>

**Photos**





## PERMIT FOR CONSTRUCTION

Issued Date: 12/11/2024

Permit No: CBLDG-2024-00338

This is to certify that: Silver Shores Holdings LLC

Has permission to construct/replace: Sign

At: 550 S US HIGHWAY 1  
FORT PIERCE, FL 34950

Contractor: David Henry Construction  
LLC

The permit holder shall conform to all terms and conditions of the permit on file with the Building Department and to all applicable Florida State Statutes, Building Codes, and City of Fort Pierce Ordinances regulating contracting and construction.

This permit card, approved permit application, approved plans and all supporting documents shall be displayed on the jobsite in a conspicuous location and available for all inspections until all work is complete, and all required inspections have been approved.

Work shall commence within 6 months. An approved inspection is required within 180 days and every 180 days thereafter until all required inspections have been approved.

For new construction or a change of use and/or occupancy, a Certificate of Occupancy must be obtained prior to any occupancy.

The permit holder shall comply with all permit conditions, including but not limited to obtaining separate permits when required. Violating any of the terms or conditions above will result in immediate revocation of this permit.

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.**



Post this permit card -- see back of permit card for inspection instructions.



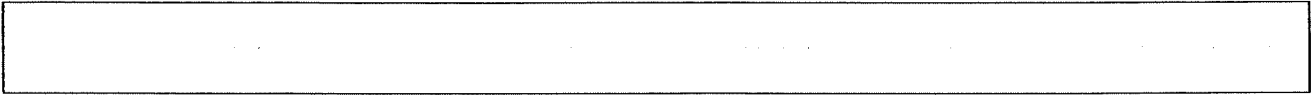
## Inspection Requirements:

1. Inspections may be scheduled between 5:45 AM to 11:00 PM for the next day. To schedule an inspection, call (772) 242-9843 or schedule online using our online system at <https://fortpiercefilingweb.tylerhost.net/apps/SelfService>.
2. This permit card, approved application, approved plans, all supporting documents and the notice of commencement (if applicable) shall be posted in a conspicuous location on the job site, and available for all inspections.
3. If the permit card, approved application, approved plans and all supporting documents are not displayed in a conspicuous location, a stop work order may be issued. All work shall cease and the stop work order fee shall be paid prior to work resuming.
4. If the permit card, approved application, approved plans, all supporting documents and the notice of commencement are not available at the time of inspection, the inspection will be disapproved, and a re-inspection fee must be paid prior to scheduling any additional inspections.
5. It shall be the duty of the holder of the building permit, or their duly authorized agent to notify the Building Department when work is ready for inspection and to provide access to and means for inspections of such work that are required by the FBC. If the permit holder or authorized agent is not on-site for the inspection and /or if access is not provided, the inspection will be disapproved, and a re-inspection fee must be paid prior to scheduling any additional inspections.
6. Additional inspections other than the ones listed below may be required. The Building Official reserves the right to require additional inspections other than those listed in FBC Section 110.3.

Building	Plumbing/Sewer/Gas	Electrical	Mechanical
Foundation/Slab _____	Rough-in _____	Underground _____	Underground _____
Structural/Framing _____	Top-out _____	Rough-in _____	Rough Duct _____
Final _____	Final _____	Power on _____	Final _____
		Final _____	

Type of Inspection	Date	Inspector	Result/Comments







REVIEWED



CITY OF FORT PIERCE, FLORIDA  
BUILDING DEPARTMENT  
APPLICATION FOR BUILDING PERMIT  
(772) 467-3718  
ftpbuilding@cityoffortpierce.com

PERMIT # \_\_\_\_\_  
FBC (2023) 8<sup>th</sup> Edition  
PIN # \_\_\_\_\_

Building Department Project Manager:

\*Property Address 580 S US HWY 1, Fort Pierce, FL, 34960 \*Date 10/29/2024  
Parcel ID# 2410-711-0060-000-6 \*# of plans submitted 2 \*# of CD's submitted 0  
(Located on your tax bill)  
\*Owner Name Silver Shores Holdings LLC \*Owner Address 719 Shore Dr. Vero Beach, FL, 32963  
Phone # (772) 231-7792 Fax # ( ) Cell # ( )  
Email Address \_\_\_\_\_

\*Required Information

Type of permit Sign Permit \*Valuation \$ 80,000

\*Description of Work: replacing a digital sign face and head on an existing digital sign structure  
(for reference previous permit 22-4086)

Architect: \_\_\_\_\_  
Phone ( ) Fax ( ) Email Address \_\_\_\_\_

Engineer: Jennifer Zabik  
Phone (423) 756-7943 Fax ( ) Email Address tedwell@bennett-pleas.com

\*CONTRACTOR/APPLICANT INFORMATION:

City License # \_\_\_\_\_ State License # CGC1512471  
Company Name David Henry Construction LLC Qualifier David Henry  
Address 1101 Fountain View Ln City/State Lakeland Zip 33809  
Phone # (863) 698-6936 Fax # ( ) Cell # ( )  
Email Address dhenry1763@gmail.com

Occupancy Commercial Construction Type \_\_\_\_\_ # of Units \_\_\_\_\_ # of Stories \_\_\_\_\_  
Sq. Ft. Conditioned Space \_\_\_\_\_ Total Sq. Ft. 399

I understand that no building may be occupied until a Certificate of Occupancy/Certificate of Completion has been issued after final inspection by the Building Department and full compliance with the building code, city ordinances, state statutes and other applicable rules and regulations have been satisfied. I am also verifying that all sets of plans submitted are identical.

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, wells, pools, furnaces, boilers, heaters, tanks, and air conditioners etc.

Owner's Affidavit: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.



**WARNING TO OWNER:**  
 YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Must be signed by owner/Agent and applicant:

[Signature]  
 (Signature of contractor)

[Signature]  
 (Signature of Owner or Agent (including contractor))

State of Florida, County of Polk

State of Florida, County of Polk

Affirmed to and subscribed before me this September 19<sup>th</sup>, 2024, by David Henry personally known to me or who has produced as identification, FL Driver License

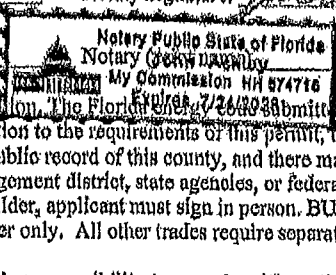
Affirmed to and subscribed before me this November 4<sup>th</sup>, 2024, by David Henry personally known to me or who has produced as identification, FL Driver License

Notary Signature: [Signature]

Notary Signature: [Signature]

Notary (print name) John Ackley

Notary (print name) John Ackley



Construction documents must accompany this application. The Florida Building Code submitted becomes an integral part of this plan and must pass final inspection. "Notice: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public record of this county, and there may be additional permits required from other governmental entities such as waste management district, state agencies, or federal agencies." **APPLICANT MUST BE NOTARIZED.** If owner/builder, applicant must sign in person. BUILDING PERMIT JOHN ACKLEY Building, Electrical, Plumbing, Mechanical, and Sewer only. All other trades require separate applications. Expires 7/24/2028

**Asbestos compliance:** It is the owner's or operator's responsibility to comply with section 469.003, Florida Statutes, and to notify the Department of Environmental Protection of his or her intentions to remove asbestos, when applicable, in accordance with state and federal law.

**FEE SIMPLE TITLEHOLDER, BONDING COMPANY AND MORTGAGE LENDER INFORMATION IS REQUIRED WHEN THE AGGREGATE VALUE (TOTAL COST OF ALL IMPROVEMENTS AND NOT JUST WORK AUTHORIZED BY THE INDIVIDUAL PERMIT) IS \$5,000 OR MORE (EXCEPT HVAC REPAIR/REPLACEMENT < \$15,000). PLEASE ADDRESS ALL ITEMS.**

Fee Simple Titleholder's  Same as Owner  
 Name (if other than owner): \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Bonding Company  Not Applicable  
 Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Mortgage Lender's  Not Applicable  
 Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

**OFFICE USE ONLY**

Is the property located in a Special Flood Hazard Area (floodplain) per the current Flood Insurance Rate Map (FIRM)?  
 Yes  No

Flood Zone: \_\_\_\_\_ Reviewed by: \_\_\_\_\_ Determination: \_\_\_\_\_

Permit Fee	\$ _____	Other	\$ _____	Plan Review Fee	\$ _____
State Surcharge	\$ _____	Other	\$ _____	Routing Fee	\$ _____
Subcontractor	\$ _____	Flood Review Fee	\$ _____	Other	\$ _____

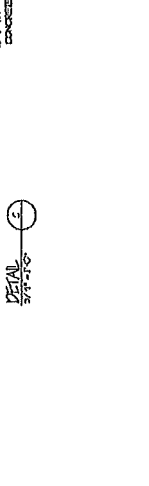
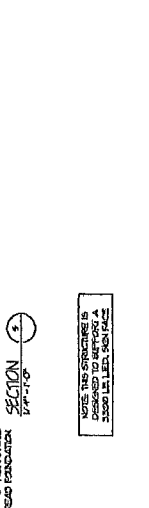
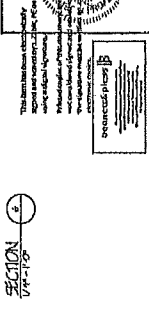
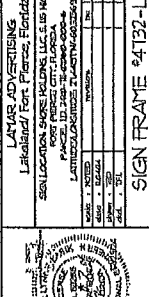
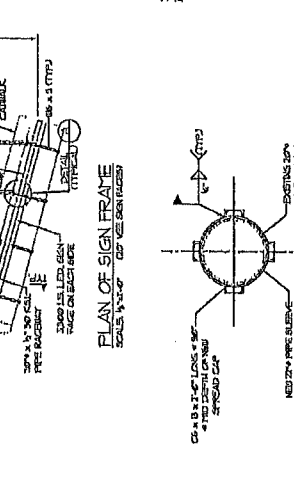
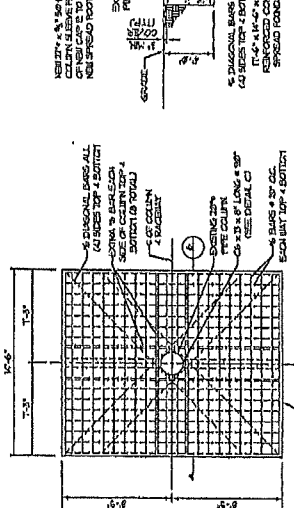
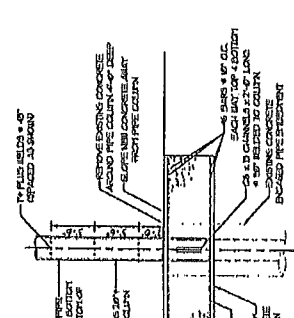
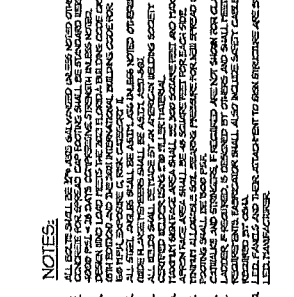
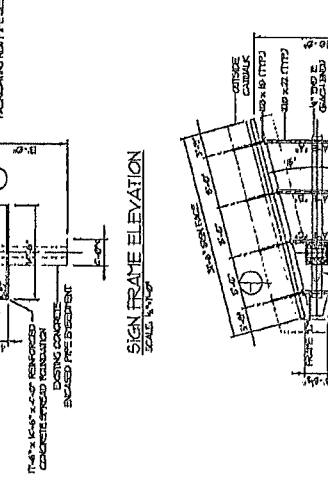
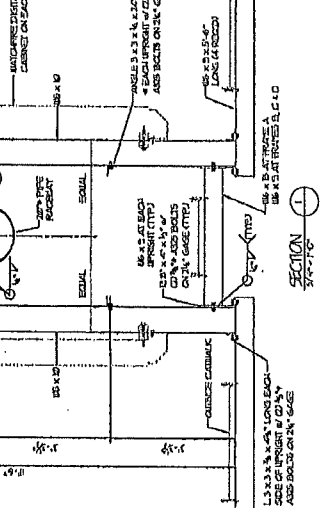
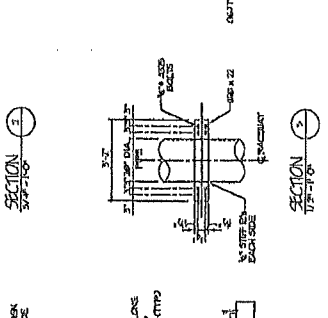
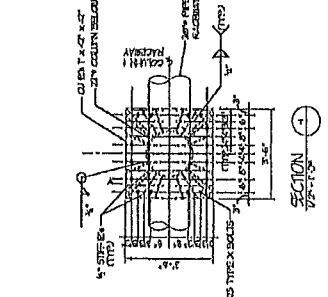
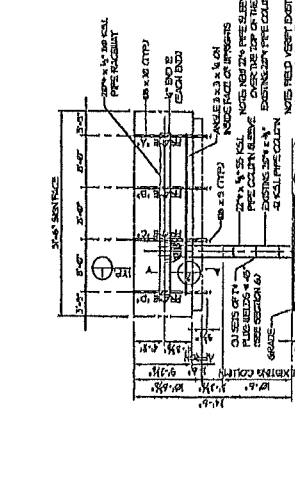
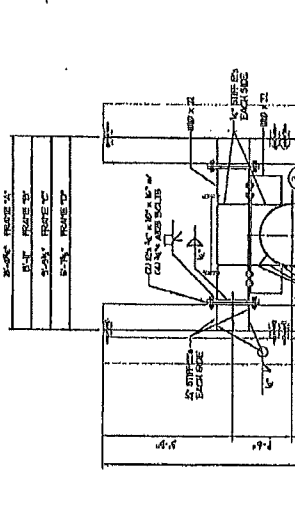
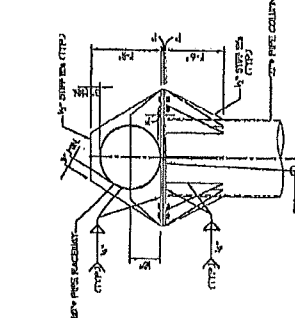
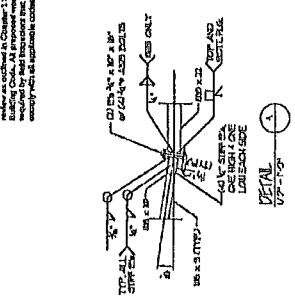
Total Amount Due at Issuance \$ \_\_\_\_\_

DPCR# \_\_\_\_\_

Active Code Violation  Yes  No  
 Case # \_\_\_\_\_  
 Case Type \_\_\_\_\_

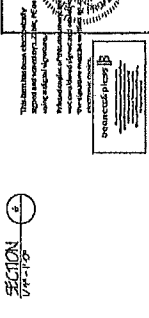
Reviewed by \_\_\_\_\_ Date \_\_\_\_\_ Final Check \_\_\_\_\_ Date \_\_\_\_\_

**RESERVED FOR CODE COMPLIANCE:**  
 A permit issued shall be submitted to the address in which the work is to be performed. The permit shall be valid only for the work specified on the permit and shall not be used for any other purpose. The permit holder shall be responsible for the safety of the work and for the safety of the public. The permit holder shall be responsible for the safety of the work and for the safety of the public. The permit holder shall be responsible for the safety of the work and for the safety of the public.



- NOTES:**
1. ALL STEEL SHALL BE A36 UNLESS OTHERWISE SPECIFIED. ALL WELDS SHALL BE PERMANENT.
  2. CONCRETE SHALL BE 3000 PSI COMPRESSIVE STRENGTH. ALL CONCRETE SHALL BE CAST IN PLACE.
  3. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE SPECIFIED.
  4. ALL STEEL SHALL BE GALVANNEAL UNLESS OTHERWISE SPECIFIED.
  5. ALL WELDS SHALL BE MADE BY A LICENSED WELDER.
  6. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE SPECIFIED.
  7. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE SPECIFIED.
  8. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE SPECIFIED.
  9. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE SPECIFIED.
  10. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE SPECIFIED.

**LATAR ADVERTISING**  
 1400 N. W. 10th St., Ft. Lauderdale, Florida  
 SIGN LOCATION: 1400 N. W. 10th St., Ft. Lauderdale, Florida  
 PROJECT NO.: 1400 N. W. 10th St., Ft. Lauderdale, Florida  
 DATE: 1/1/19



**SECTION 1/2" = 1'-0"**

**SECTION 1/2" = 1'-0"**

**SIGN FRAME #4132-1.0**

**SECTION 1/2" = 1'-0"**

**SECTION 1/2" = 1'-0"**

**SECTION 1/2" = 1'-0"**

**Property Identification**

Site Address: S US HIGHWAY 1  
 Sec/Town/Range: 10/35S/40E  
 Parcel ID: 2410-711-0060-000-6  
 Jurisdiction: Fort Pierce

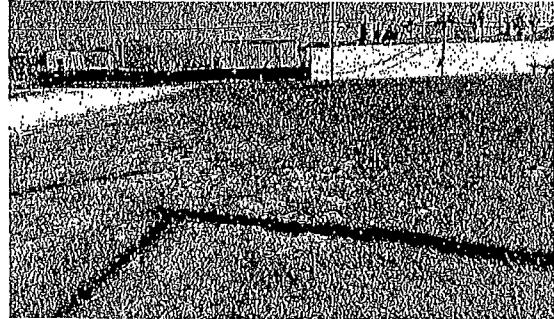
Use Type: 1000  
 Account #: 23771  
 Map ID: 24/10S  
 Zoning: General Co

**Ownership**

Silver Shores Holdings LLC  
 719 Shore DR  
 Vero Beach, FL 32963-1263

**Legal Description**

BLVD DEV CO'S S/D BLK D LOT 10 AND N 29.2 FT OF LOT 11 AND W 7.5 FT OF VAC ALLEY ADJ ON E (MAP 24/10P) (OR 3609-159)



**Current Values**

Just/Market Value: \$89,900  
 Assessed Value: \$60,826  
 Exemptions: \$0  
 Taxable Value: \$60,826

**Total Areas**

Finished/Under Air (SF): 0  
 Gross Sketched Area (SF): 0  
 Land Size (acres): 0.23  
 Land Size (SF): 10,158

**Property taxes are subject to change upon change of ownership.**

- Past taxes are not a rollable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

**Building Design Wind Speed**

Occupancy Category I II III  
 Speed 140 160 160  
 Sources/links:

Taxes for this parcel: SLC Tax Collector's Office   
 Download TRIM for this parcel: Download PDF

**Sale History**

Date	Book/Page	Sale Code	Deed	Grantor	Price
Feb 27, 2014	3609 / 0159	0205	WD	Keane Thomas C	\$125,000
May 14, 2012	3391 / 2900	0119	PRDEED	Keane Thomas C	\$0
Jan 1, 1986	0488 / 1413	XX00	CV		\$50,000

**Building Information (1 of 1)**

Finished Area: 0 SF

Gross Sketched Area: 0 SF

**Exterior Data**

View:	Roof Cover:	Roof Structure:
Building Type:	Year Built: N/A	Frame:
Grade:	Effective Year: N/A	Primary Wall:
Story Height:	No. Units: 0	Secondary Wall:

**Interior Data**

Bedrooms: 0	Electric:	Primary Int Wall:
Full Baths: 0	Heat Type:	Avg Hgt/Floor: 0
Half Baths: 0	Heat Fuel:	Primary Floors:

A/C %: 0%

Heated %: N/A%

Sprinkled %: 0%



### Sketch Area Legend

Sub Area	Description	Area	Pln. Area	Perimeter
----------	-------------	------	-----------	-----------

### Special Features and Yard Items

Type	Qty	Units	Year Blt
------	-----	-------	----------

### Current Year Values

#### Current Values Breakdown

Building and SFYI:	\$0
Land:	\$89,900
Just/Market:	\$89,900
Ag Credit:	\$0
Save Our Homes or 10% Cap:	\$29,074
Assessed:	\$60,826
Exemption(s):	\$0
Taxable:	\$60,826

#### Current Year Exemption Value Breakdown

### Current Year Special Assessment Breakdown

Start Year	AssessCode	Units	Description	Amount
1999	0041	4.2	Fort Pierce Stormwater Charge	\$289.80

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office.

### Historical Values

Year	Just/Market	Assessed	Exemptions	Taxable
2024	\$89,900	\$60,826	\$0	\$60,826
2023	\$81,800	\$55,297	\$0	\$55,297
2022	\$81,800	\$50,270	\$0	\$50,270
2021	\$45,700	\$45,700	\$0	\$45,700

### Permits

Number	Issue Date	Description	Amount	Fee
--------	------------	-------------	--------	-----

Notice: This does not necessarily represent all the permits for this property.  
Click the following link to check for additional permit data in Fort Pierce

All information is believed to be correct at this time, but is subject to change and is provided without any warranty.  
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**CITY OF FORT PIERCE, FLORIDA  
BUILDING DEPARTMENT  
APPLICATION FOR BUILDING PERMIT**  
(772) 467-3718 FAX (772) 467-3849  
ftpbuilding@cityoffortpierce.com

PERMIT # 22-4085  
FBC (2020) 7<sup>th</sup> Edition  
PIN # 108145

Building Department Project Manager:  
**PROJECT MANAGER**  
**CECELIA**

Note: Please contact David Speaker 937-238-6426 with questions.

532 S. US Hwy 1

\*Property Address 0 US Hwy 1 Fort Pierce FL 34950 \*Date 9/22/2022

Parcel ID# 2410-711-0060-000/6 \*# of plans submitted 2 \* # of CD's submitted 0  
(Located on your tax bill)

\*Owner Name Silver Shores Holdings LLC \*Owner Address 719 Shore DR Vero Beach FL 32963

Phone # (772-) 231 - 7792 Fax # ( ) - Cell # ( ) -

Email Address N/A

**\*Required Information**

Type of permit Sign Permit \*Valuation \$ \$80,000

\*Description of Work: We are building a 10x20x2 back to back electronic billboard.

**RECEIVED**

OCT 28 2022

Architect: \_\_\_\_\_

Phone ( ) - Fax ( ) - Email Address Building Department

Engineer: Jermey Bowers

Phone (260) 333 - 0900 Fax ( ) - Email Address jbowers@bowerseng.com

**\*CONTRACTOR/APPLICANT INFORMATION:**

City License # \_\_\_\_\_ State License # EC13004138

Company Name Ultra Lum Enterprises, INC Qualifier Mike Ziomek

Address 45 Lindsey Ave City/State Runnemede, NJ Zip 08078

Phone # (856) 207 - 5946 Fax # ( ) - Cell # ( ) -

Email Address mike@ultraluminc.com

Occupancy  Commercial Construction Type \_\_\_\_\_ # of Units  # of Stories

Sq. Ft. Conditioned Space  Total Sq. Ft. 400 sq ft

I understand that no building may be occupied until a Certificate of Occupancy/Certificate of Completion has been issued after final inspection by the Building Department and full compliance with the building code, city ordinances, state statutes and other applicable rules and regulations have been satisfied. I am also verifying that all sets of plans submitted are identical.

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, wells, pools, furnaces, boilers, heaters, tanks, and air conditioners etc.

Owner's Affidavit: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

**WARNING TO OWNER:**

**YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.**

**IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

Must be signed by owner/Agent and applicant:

(Signature of contractor)

State of Florida, County of Pinellas

Affirmed to and subscribed before me this September 23rd, 2022, by Michael Ziomek personally known to me or who has produced as identification. FL Drivers License

Notary Signature: [Signature]

Notary (print name) Brad Westermann

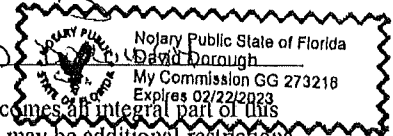
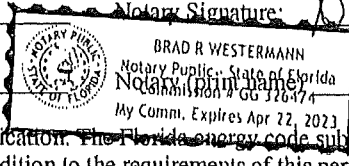
(Signature of Owner or Agent (including contractor))

State of Florida, County of PINELLAS

Affirmed to and subscribed before me this SEPTEMBER 30 2022, by MICHAEL ZIOMEK personally known to me or who has produced as identification.

Notary Signature: [Signature]

Notary (print name) DAVID



Construction documents must accompany this application. The Florida energy code submitted becomes an integral part of this plan and must pass final inspection. "Notice: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public record of this county, and there may be additional permits required from other governmental entities such as waste management district, state agencies, or federal agencies. "SIGNATURE OF THE APPLICANT MUST BE NOTARIZED. If owner builder, applicant must sign in person. BUILDING PERMIT includes: Building, Electrical, Plumbing, Mechanical, and Sewer only. All other trades require separate applications.

Asbestos compliance: It is the owner's or operator's responsibility to comply with section 469.003, Florida Statutes, and to notify the Department of Environmental Protection of his or her intentions to remove asbestos, when applicable, in accordance with state and federal law.

FEE SIMPLE TITLEHOLDER, BONDING COMPANY AND MORTGAGE LENDER INFORMATION IS REQUIRED WHEN THE AGGREGATE VALUE (TOTAL COST OF ALL IMPROVEMENTS AND NOT JUST WORK AUTHORIZED BY THE INDIVIDUAL PERMIT) IS \$2500 OR MORE (EXCEPT HVAC REPAIR/REPLACEMENT < \$7500). PLEASE ADDRESS ALL ITEMS.

Fee Simple Titleholder's  Same as Owner  
Name (if other than owner): \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Bonding Company  Not Applicable  
Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Mortgage Lender's  Not Applicable  
Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

OFFICE USE ONLY

Is the property located in a Special Flood Hazard Area (floodplain) per the current Flood Insurance Rate Map (FIRM)

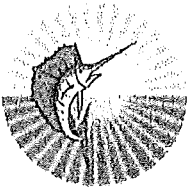
Yes  No cb

Flood Zone: \_\_\_\_\_ Reviewed by: \_\_\_\_\_ Determination: \_\_\_\_\_

Permit Fee \$ 1000.00 Other CC \$ 71.75 Plan Review Fee \$ 400.00  
State Surcharge \$ 35.00 Other \$ \_\_\_\_\_ Routing Fee \$ \_\_\_\_\_  
Subcontractor \$ \_\_\_\_\_ Flood Review Fee \$ \_\_\_\_\_ Other \$ \_\_\_\_\_  
Total Amount Due at Issuance \$ 1506.75

DPCR# 22-20000567

Active Code Violation  Yes  No  
Case # \_\_\_\_\_  
Case Type \_\_\_\_\_



THE SUNRISE CITY  
**FORT PIERCE**  
 BUILDING DEPARTMENT  
*Florida*

Affidavit of Plan Review Compliance

22-

Permit # 22-20000567

Open

I, Mike Ziomek, acting as owner or agent of the below named contractor, do hereby attest that I have reviewed and accept the applicable building permit procedures and submittal checklists, which are available online at <https://www.cityoffortpierce.com/991/Building-Permit-Procedures-and-Submittal> and at the City of Fort Pierce Building Department. Further, I attest that the submitted permit application, including attachments, drawings, or other requirements of the completed permit application as provided for on the applicable permit submittal checklist(s), accurately reflect the scope of work to be completed at

0 US Hwy 1, Fort Pierce FL 34950 parcel ID 2410-711-0060-000/6

(please print street address)

Scope of work submitted:

- Building       Electrical       Flood       Gas       Mechanical       Plumbing

I acknowledge that failure to submit an accurate scope of work may result in a technical code review rejection, even if the application is initially deemed complete by the Fort Pierce Building Department. Revision fees may apply for such rejections.

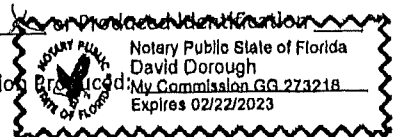
[Signature]  
 Contractor Signature

STATE OF FLORIDA, COUNTY OF PINELLAS

[Signature]  
 NOTARY PUBLIC

The foregoing Instrument was acknowledged before me  
 this 30<sup>th</sup> day of SEPTEMBER, 2022,  
 by MICHAEL ZIOMEK

Personally Known [Signature]  
 Type of Identification [Signature]



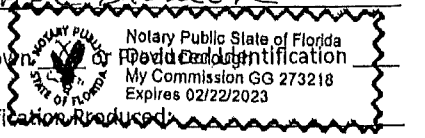
[Signature]  
 Owner or Agent Signature (including contractor)

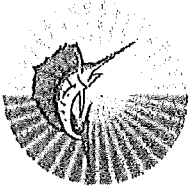
STATE OF FLORIDA, COUNTY OF PINELLAS

[Signature]  
 NOTARY PUBLIC

The foregoing instrument was acknowledged before me  
 this 30<sup>th</sup> day of SEPTEMBER, 2022,  
 by MICHAEL ZIOMEK

Personally Known [Signature]  
 Type of Identification [Signature]





## Debris Removal and Homeowners Association Affidavit

Owner: Silver Shores Holdings LLC

Property Address: 0 US Hwy 1, Fort Pierce FL 34950 parcel ID 2410-711-0060-000/6

Permit # 22-20000567 Contractor: Ultra Lum Enterprises INC

As per City Ordinances 30-25, 24-19, 24-20, 24-21 and as a condition of obtaining any permit for construction, repair or renovation:

I understand and accept full responsibility for the prompt removal of all debris and construction materials from the property for which I am seeking to obtain a building permit in accordance with the Code of Ordinances of the City.

Initials ME

I agree that no debris or construction materials will be placed on any public property or on any public right-of-way except as may be specifically authorized by the Code of Ordinances.

Initials ME

I further understand that prior to a final inspection for the project completion or issuance of a Certificate of Occupancy (or Certificate of Completion), all debris and construction materials shall be removed from the property or the Inspector will not approve the final inspection. Additional reinspection fees shall apply.

Initials ME

I understand and accept full responsibility for debris removal at my own expense in accordance with the City Code of Ordinances.

Initials ME

I hereby acknowledge that I have read and understand the above statements and I further understand that any violation of the terms of this affidavit shall be reported to the City of Fort Pierce Building Department for action and possible stop work order.

Initials ME

It is the owner and contractor's responsibility to verify approval for any work through the Homeowners Association and/or Condominium Association, if applicable. The City will not be held liable for disputes between the Homeowners Association, Condominium Association, owner and/or contractor.

Initials ME

9/30/22  
 Date

[Signature]  
 Contractor or Owner/Bullder's Signature

### Property Identification

Site Address: S US HIGHWAY 1  
Sec/Town/Range: 10/35S/40E  
Parcel ID: 2410-711-0060-000-6  
Jurisdiction: Fort Pierce

Use Type: 1000  
Account #: 23771  
Map ID: 24/10S  
Zoning: General Co

### Ownership

Silver Shores Holdings LLC  
719 Shore DR  
Vero Beach, FL 32963

### Legal Description

BLVD DEV CO'S S/D BLK D LOT 10 AND N 29.2 FT OF LOT 11 AND W 7.5 FT OF VAC ALLEY ADJ ON E (MAP 24/10F) (OR 3609-159)

### Current Values

Just/Market Value: \$81,800  
Assessed Value: \$50,270  
Exemptions: \$0  
Taxable Value: \$50,270



### Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Taxes for this parcel: [SLC Tax Collector's Office](#)  
Download TRIM for this parcel: [Download PDF](#)

### Total Areas

Finished/Under Air (SF): 0  
Gross Sketched Area (SF): 0  
Land Size (acres): 0.23  
Land Size (SF): 10,158

### Building Design Wind Speed

Occupancy Category	I	II	III
Speed	140	160	160

Sources/links:

All information is believed to be correct at this time, but is subject to change and is provided without any warranty.  
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532 S US Hwy 1  
N Avilime

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION  
APPLICATION FOR OUTDOOR ADVERTISING PERMIT

RE: Application for outdoor advertising sign permit

To be completed by applicant:

Name of Applicant or Company: Summit Locations, LLC "David Speaker"

Sign Is:  existing  proposed

County: St. Lucie Municipality, if applicable: Fort Pierce

Highway Name & Number: US Highway 1/FL State Route 5

Sign location description: 0 S US Highway 1 Fort Pierce FL 34950

Property Tax ID#: 2410-711-0060-000/6

Is this sign site intended to be qualified under reduced spacing as authorized by Section 479.07(9)(c), Florida Statutes?

Yes  No

If Yes, you must submit the following documents with this application package:

(a) A copy of the local government adopted policy, ordinance, or other official document authorizing the placement of a new outdoor advertising sign on an Interstate highway in exchange for the removal of an existing sign or signs; and

(b) A copy of the agreement between the Applicant and the local government identifying the sign(s) to be removed and approving the location that is the subject of this application.

LOCAL GOVERNMENT PERMISSION

**Local Government Permission:** Please complete the items below. You may submit another form of written statement indicating that the sign complies with all local governmental requirements. For a proposed sign location, a copy of the building permit issued by the local government may be submitted.

The outdoor advertising sign identified in this application:

- Is in compliance with all duly adopted local ordinances and has been or will be issued the necessary permits.
- Is not in compliance with local ordinances, but is legally existing as a non-conforming sign.
- Is not in compliance with local ordinances and is/would be considered to be an illegally maintained structure.

I certify that I represent the governmental entity within whose jurisdiction the sign described herein is located and that the determination reflected in this section is made under my delegated authority.

\_\_\_\_\_  
Signature of Local Government Official Date

\_\_\_\_\_  
Printed Name and Title

**NOTE:** Form must be completed not more than six (6) months prior to receipt of the completed outdoor advertising permit application by the Department.

Certification and Authorization:

- (1) By my signature hereto, I do hereby certify that the information contained in this Application is true and correct, and understand that deliberate misrepresentation of such information will be grounds for denial and reversal of this Application and or revocation of any approval based on this Application.
- (2) I do hereby authorize Town staff to enter upon my property at any reasonable time for the purpose of site inspection.
- (3) I do hereby authorize the placement of a public notice sign(s) on my property at a location(s) to be determined by Town staff.
- (4) I, David Spoker (print name) as the property owner or authorized property owner representative have read and understand the attached information concerning Application for Development Order.

[Signature]  
Signature of Owner or Agent

David Spoker  
Print name

Summit Locations, Inc.  
Title and Company (if applicable)

Date: 9/19/2022

[Signature]  
Signature of Developer

Michael Ziomel  
Print name

owner  
Title and Company (if applicable)

Date: 9/21/22

[Signature]  
Notary as to Owner or Agent



**JESSICA WISE**  
Notary Public, State of Ohio  
My Commission Expires  
June 29, 2027

[Signature]  
Notary as to Developer

My commission expires: **JOSEPH BROADUS**  
Notary Public - State of Florida  
Commission # HH 076659  
My Comin. Expires Apr 20, 2025  
Bonded through National Notary Assn.

Application approved by: \_\_\_\_\_ Town Manager.

**Cecelia Bacener**

---

**From:** Ryan Altizer  
**Sent:** Wednesday, August 24, 2022 9:01 AM  
**To:** Cecelia Bacener; Planning Department  
**Cc:** Wesley Rutledge  
**Subject:** RE: DPCR 22-20000567 532 S US Hwy REVISION

Hello all,

The revised dimensions for the off-premises sign are approved by the Planning Department on Naviline.

Thank you,  
Ryan

**From:** Cecelia Bacener <cbacener@cityoffortpierce.com>  
**Sent:** Friday, July 8, 2022 4:18 PM  
**To:** Planning Department <planning@cityoffortpierce.com>  
**Cc:** Wesley Rutledge <wesley@summitlocatlons.com>  
**Subject:** DPCR 22-20000567 532 S US Hwy REVISION

Good afternoon

**Reviewers:** The attached application/plan(s) have been submitted for your review. Paper plans, if applicable, have been routed via inter-office mail. Upon completion of your review, enter your approval, approval with conditions, or rejection with comments into Naviline. Also, "Reply All" to this email with your approval, approval with condition(s), or rejection with comments. Please do not return any paper plans to the Building Department.

**Applicant:** This email is being provided for your information and tracking purposes. All the review agencies above will reply to this email with their approval, approval with conditions, or rejection with comments. Upon approval from all required departments, you'll receive a final approval email from the Building Department advising of the status of your review and ability to apply for the building permit. In the event of a rejection, please wait until you receive all review comments before submitting revisions.

**Cecelia Bacener | Temp Permit Specialist | City of Fort Pierce**

Phone: 772-467-3723 Fax: 772.467-3849 100 North U.S. 1 Fort Pierce, FL 34950

[Website](#) | [Facebook](#) | [Survey](#)



*"To provide community leadership, quality public service, and a safe environment for all citizens, by an empowered team of employees motivated by pride in themselves and their work."*






Site Plan: Silver Shores Holdings LLC Address: 0 S US HIGHWAY 1

Coordinates (Pole): 27.4419630349, -80.3256859898



ROW Line   

Power Line   

 RECEIVED

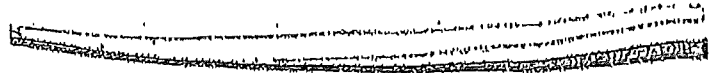
OCT 3 1 2022

Building Department



# FORT PIERCE

BUILDING DEPARTMENT  
*Florida*



DPCR # \_\_\_\_\_

## Routing Form for All Other Permit Types

BP# 22-4085

PM Cecelia

Address: 532 S. US Hwy 1

Application Fees paid on (Column D) ..... 11-1-22

Review for Completeness by (E) **10 calendar days** ..... 11-11-22

Complete Full Review by (H) **45 calendar days** ..... \_\_\_\_\_

Revisions Fees paid on (K) ..... \_\_\_\_\_

Revisions must be approved by (L) **120 calendar days** ..... \_\_\_\_\_

Building: Y  
Comments: \_\_\_\_\_

Reviewed By: AJ

Electrical: Y  
Comments: \_\_\_\_\_

Reviewed By: AP

Flood: \_\_\_\_\_  
Comments: \_\_\_\_\_

Reviewed By: \_\_\_\_\_

Mechanical: \_\_\_\_\_  
Comments: \_\_\_\_\_

Reviewed By: \_\_\_\_\_

Plumbing: \_\_\_\_\_  
Comments: \_\_\_\_\_

Reviewed By: \_\_\_\_\_



CODE IN EFFECT  
FBC 7<sup>TH</sup> EDITION (2020)

### PERMIT FOR CONSTRUCTION

Issued Date: 11/22 Permit No: 22-4088

This is to certify that: Silver Stones Holdings LLC

Has permission to construct/replace: SIGN

At: 5325 US Hwy 1 Contractor: VITRA LUM Enterprises, INC

The permit holder shall conform to all terms and conditions of the permit on file with the Building Department and to all applicable Florida State Statutes, Building Codes, and City of Fort Pierce Ordinances regulating contracting and construction.

This permit card, approved permit application, approved plans and all supporting documents shall be displayed on the jobsite in a conspicuous location and available for all inspections until all work is complete, and all required inspections have been approved.

Work shall commence within 6 months. An approved inspection is required within 180 days and every 180 days thereafter until all required inspections have been approved.

For new construction or a change of use and/or occupancy, a Certificate of Occupancy must be obtained prior to any occupancy.

The permit holder shall comply with all permit conditions, including but not limited to obtaining separate permits when required. Violating any of the terms or conditions above will result in immediate revocation of this permit.

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.**

Post this permit card—See back of permit card for inspection instructions.

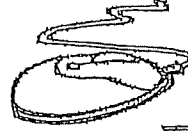




# On-Line Inspection Scheduling and Inquiry System

To access our system please go to:

<https://ftb-epov.eppgov.com/Clbk2GovBP/Index.html>



Pln # 108148

On-Line System is available 24hr

## Option 2:

Phone Inspection Scheduling System

# Interactive Voice Response

772-242-9848

Phone System is available 5:45am to 11:00pm

### BUILDING INSPECTIONS

101	ABOVE CEILING
104	DANDY FINAL
105	COLUMNS
106	CONTR CL OUT
107	COURTESY INSP
108	DEMOLITION FINAL
109	DOCK
110	DOWN CELLS
111	DRIVEWAY
112	DRIVEWAY ENG
113	BLDG -DRY IN
114	DRYWALL
115	DUMPSTER ENCL
117	ELEVATOR
118	ENGINEERING FINAL
120	FILL CELL
121	FILL COMPACTION
116	FLOOD VENT ROUGH
168	FLOOD VENT FINAL
122	BUILDING FINAL
123	FINAL DECK
126	FIRE SERVICE LOG
127	FIRE WALL
128	FIRESTOPPING
129	FLOOR
130	FLOOR FINAL
131	FOOTING STEEL
134	FOUNDATION
137	FRAMING

135	INSULATION
138	LANDSCAPING
139	PAVING FINAL
140	PILE CAPS
141	REBAR
142	REFRIG COOLER
144	SCREEN FINAL
145	BLDG SHEATHING
146	SHEB FINAL
147	SHUTTER FINAL
148	SIDEWALK
149	SIDING
151	SLAB
152	BLDG SPRINKLER
153	STAIRWAYS
154	STEEL
155	STEM WALL
158	STUCCO
159	SUB GRADE
160	TEMP TRAILER FINAL
161	TIE BEAM
162	TIE DOWNS
163	TILT WALL
164	WIND BRACE
170	WINDOW/DOOR BUOK
165	WINDOWS DOORS
166	WIRE LATH
168	TENT FINAL

## ELECTRICAL INSPECTIONS

200	DISCONNECT
201	ABOVE CEILING
202	COURTESY INSP
203	FINAL
204	FLOOR FINAL
205	GROUNDING
207	POWER ON.
209	REFRIG COOLER
210	ROUGH IN
211	SERVICE
212	TEMPORARY POLE
213	UPER GROUND
214	UNDER SLAB
215	UNDERGROUND
216	GENERATOR FINAL

## FENCE INSPECTIONS

300	FINAL
301	IN PROGRESS

## MECH INSPECTIONS

400	ABOVE CEILING
402	EXH HOOD FINAL
403	EXH HOOD ROUGH
404	FINAL
411	FIRE DAMPER
405	FLOOR FINAL
406	REFR COOLER
407	REFR LINES
408	DUCT ROUGH
409	SLAB
410	UNDERGROUND
427	FIRE WALL

## MOBILE HOME INSPECTIONS

500	ELECTRIC
501	BLDG INSTALLATION
502	MECHANICAL
503	PLUMBING

## OTHER INSPECTION TYPE

17B	FLOOD COMPLIANCE FINAL
-----	---------------------------

## ROOF INSPECTIONS

600	DRY IN
601	FINAL
602	IN PROGRESS
603	SHEATHING

## PLUMBING / GAS INSPECTIONS

700	ABOVE CEILING
701	COURTESY INSP
702	FINAL PLUMBING
703	FLOOR FINAL
718	FUEL TANK TIE DOWN
704	GAS FINAL
705	GAS PIPING
706	GREASE TRAP
707	IRRIGATION FINAL
708	REFR COOLERS
709	ROUGH IN
710	SEWER FINAL
717	SOLAR PANEL
711	SOLAR WATER HEATER
712	TOP OUT ROUGH
713	UNDERGROUND
714	UNDERGROUND GAS
715	WATER SERVICE

## POOL INSPECTIONS

800	POOL FINAL
802	DECK
803	ELEC BONDING
804	ELECTRICAL FINAL
805	ELEC INSPECTION
806	POOL ENCLOSURE
807	POOL FENCE
808	PLUMBING ROUGH
810	PLUMBING FINAL
811	STEEL AND GROUND
812	TEMPORARY FENCE

## SIGN INSPECTIONS

900	FINAL
901	FOOTING FOUNDATION
902	SIGN INSPECTION

**"FAILURE TO COMPLY WITH THE MECHANICS' LIEN LAW CAN RESULT IN THE PROPERTY OWNER PAYING TWICE FOR BUILDING IMPROVEMENTS"**

**CITY OF FORT PIERCE  
BUILDING DEPARTMENT**

100 North US 1  
Post Office Box 1480  
Fort Pierce, FL 34954  
Phone: (772) 467-3000



Date Applied: 10/31/78

Prepared by: G. GARDNER

Date issued: 11/01/78

Permit No. 3200004035

Permit Type: SIGN PERMIT

Township	Range	Section	Subdivision	Lot			Structure #/Sequence
X	4	10	711	0060	00	0 0	000 000

Property Address	Zoning	Reviewed by
514 S US HWY 1	MS	MS

Subdivision Name	Legal Address
ROSEWOOD DEVELOPMENT CO.	514 S US HWY 1

Owner's Name/Address/Telephone	Contractor's Name/Address/License/Telephone
SILVER SNOWS HOODING LLC 754 BRIDGE DR 34963 772-467-2141	ULTRA-LOR ENTERPRISES, INC. PO BOX 3188 34903 888-707-1940

Additional Description				Sub Contractor
Construction	BFE	FFE	FLZ	
Occupancy	Sq. Ft.	Valuation	Improvements	
		80,600	SIGN	

Schedule of Fees

**THIS PERMIT SHALL BECOME NULL AND VOID UNLESS THE WORK AUTHORIZED IS COMMENCED WITHIN ONE HUNDRED AND EIGHTY (180) DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED IS NOT INSPECTED FOR A PERIOD OF ONE HUNDRED AND EIGHTY (180) DAYS FROM TIME WORK IS COMPLETED. THE FLORIDA ENERGY CODE SUBMITTED BECOMES AN INTEGRAL PART OF THIS PLAN AND MUST PASS FINAL INSPECTION.**

Any change in building plans or specifications must be recorded with this office. Any work not covered above, must have a valid permit prior to starting. In consideration of the granting of this permit, the owner and builder agree to erect this structure in full compliance with the Building and Zoning Codes of the City of Fort Pierce, Florida. This permit fee is not refundable.

120421

NOTICE OF COMMENCEMENT

Permit No. 22-4085 Tax Folio No. 2410-711-0060-000/6

State of Florida County of St. Lucie

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Legal Description of Property: (and street address if available):  
BLVD DEV CO'S S/D BLK D LOT 10 AND N 29.2 FT OF LOT 11 AND W 7.5 FT OF VAC ALLEY ADJ ON E (MAP 24/10F) (OR 3609-159)

General description of improvement: Build a 9.5x21 digital billboard

Owner Information or Lessee information If the Lessee contracted for the improvement:

Name Joe Cala DBA Summit Locations LLC  
Address 562 Congress Park Dr Centerville OH 45459  
Interest in property: Lessee  
Name and address of fee simple titleholder (if different from Owner listed above):  
\_\_\_\_\_

Contractor's Name: Ultra Lum Enterprises INC  
Contractor Address: PO Box 2188 Palm Harbor FL 34682 Phone Number: 856-207-5946

Surety (if applicable, a copy of the payment bond is attached): Amount of bond: \$ N/A  
Name and address: N/A Phone number: \_\_\_\_\_

Lender Name: N/A Phone Number: \_\_\_\_\_  
Lender's address: \_\_\_\_\_

Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section

713.13(1)(a)7., Florida Statutes:  
Name: N/A Phone Number: \_\_\_\_\_  
Address: \_\_\_\_\_

In addition to himself or herself, Owner designates \_\_\_\_\_ of \_\_\_\_\_ to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.  
Phone number of person or entity designated by owner: N/A

Expiration date of notice of commencement: (the expiration date may not be before the completion of construction and final payment to the contractor, but will be 1 year from the date of recording unless a different date is specified) 4/10/2024

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Under penalty of perjury, I declare that I have read the foregoing notice of commencement and that the facts stated therein are true to the best of my knowledge and belief.

[Signature]  
(Signature of Owner or Lessee, or Owner's or Lessee's Authorized Officer/Director/Partner/Manager)

GENERAL MANAGER  
(Signatory's Title/Office)



JESSICA WISE  
Notary Public, State of Ohio  
My Commission Expires  
June 29, 2027

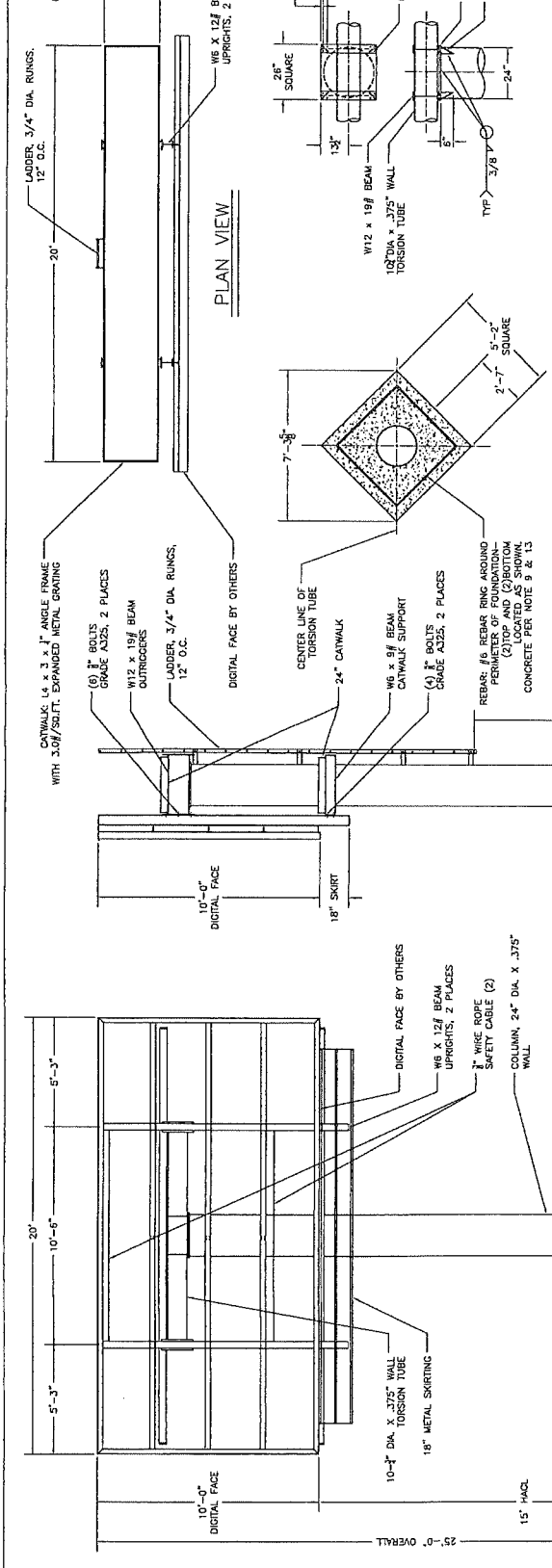
The foregoing instrument was acknowledged before me this 10 day of April, 2023,  
By Joe Cala as general manager for Summit Locations  
Name of Person Type of authority (e.g. officer, trustee) Party on behalf of whom instrument was executed

[Signature]  
(Signature of Notary Public - State of Florida) *or* (Print, Type, or Stamp Commissioned Name of Notary Public)

Personally known  or produced identification \_\_\_\_\_  
Type of identification produced \_\_\_\_\_



RECEIVED  
 OCT 21 2022  
 Building Department



FOUNDATION-PLAN VIEW

TORSION TUBE CONNECTION

SPECIFICATIONS

- STEEL ROLLED W/ BEAM SECTIONS: ASTM A992
- ALL OTHER ROLLED SECTIONS: ASTM A58
- PIPE SECTIONS: A.P.I. 5L X 42
- BOLTS: 3/8" MINIMUM DIAMETER-GRADE A325
- ASSUMED LATERAL SOIL PRESSURE 100 PSF/FT.
- SOIL BEARING CAPACITY ASSUMED 1500 LBS./S.F. PER FBC TABLE 1806.2
- DESIGNED WIND LOAD 36.78 P.S.F.
- DEAD LOAD: TOTAL SCR WEIGHT 8000#
- LIVE LOAD: WALKWAYS - 60#/SQ. FT.
- CONCRETE: 3000 PSI AT 28 DAYS DESIGN-2500 PSI AT 28 DAYS
- ALL WELDS TO CONFORM TO AWS D1.1-98 SPECIFICATION
- DESIGNED IN ACCORDANCE WITH 2020 FLORIDA BUILDING CODE.
- STEEL TO RECEIVE RUST INHIBITIVE PRIMER AND TOP COAT OF COLOR CHOICE
- REINFORCING BAR: ASTM A-615 GRADE 60.
- ALL STRUCTURAL CONNECTIONS SHALL BE WELDED 3/8" ALL AROUND UNLESS OTHERWISE NOTED.

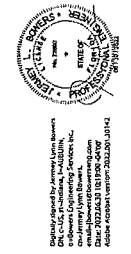
CODE DATA

USE GROUP: U  
 TYPE OF CONSTRUCTION: IIB  
 DESIGN WIND SPEED: 80 MPH  
 NORMAL WIND SPEED: 124 MPH  
 WIND EXPOSURE: B  
 RISK CATEGORY: II  
 SOIL HEIGHT: 25'-6"

SUMMIT LOCATIONS

DIGITAL STRUCTURE FL-03  
 10 X 20  
 SILVER SHORE HOLDING LLC  
 FORT PIERCE CITY, FL  
 PARCEL ID: 2410-711-0080-000-6  
 JEREMY L. BOWERS, PE  
 121 S. MAIN ST.  
 ALBUQUERQUE, NM 87102  
 EMAIL: jbowers@bowerseng.com

DATE	ISSUED BY	ISSUED FOR	CID
NONE			5/9/2022
NO.	REV.	BY	DATE
			1 OF 1



FRONT ELEVATION

Digitally signed by Jeremy L. Bowers  
 DN: c=US, ou=Florida, o=JLBOWERS, ou=Jeremy L. Bowers,  
 email=jbowers@bowerseng.com, cn=Jeremy L. Bowers,  
 Date: 2022.08.13 10:13:00 -0400  
 Adobe Acrobat version: 2020.006.0114

## Planning Board of Adjustment - 2:00 PM

Meeting Date: 08/28/2025

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### Information

#### REQUESTED ACTION

Three (3) Variances - Hixson Quadruplex - 1144 South Ocean Drive

#### SUMMARY

##### ***Variance Request***

In accordance with Article II of Section 125 of the City Code, the applicant is requesting to deviate from City Code 125-195 and 125-157 by continuing to exceed the maximum density of 8 units per acre, 125-71 and 125-72 by rebuilding a non-conforming structure and use to an extent amounting to more than 50 percent of the replacement value and without any damage in the R4-A, Hutchinson Island Medium Density Residential Zone.

##### ***Project Summary***

The applicant is requesting the Board of Adjustment approve three (3) variances to deviate from City Codes 125-195, 125-157, 125-71, and 125-72.

Specifically, the applicant and owner are requesting a Variance to allow vertical expansion of an existing legally non-conforming four-unit residential structure located at 1144 South Ocean Drive. The proposed improvement adds a third and fourth story above the current building without increasing the total number of dwelling units. The ground floor will be converted into compliant garage space with flood vents and breakaway walls. This request supports improved structural resilience, code compliance with floodplain regulations, and preserves existing land use without increasing residential density. The requested Variance is a deviation from City Code Sections: 125-195 and 125-157 by exceeding the maximum density of 8 units per acre, and 125-71 and 125-72 by rebuilding a non-conforming structure and use to an extent amounting to more than 50 percent of the replacement value and without any damage.

The property is located at 1144 South Ocean Drive and is zoned R4-A, Hutchinson Island Medium Density Zone. The Parcel ID of the site is 2401-810-0006-000-6, and the legal description of the property is: TROPICAL BEACH BLK 1 LOT 6-LESS THAT PT LYG E OF LI DESC IN OR 178-1743.

#### LOCATION

1144 South Ocean Drive

#### RESPONSIBLE STAFF

Vennis Gilmore, Historic Preservation Officer

#### RECOMMENDATION

The recommendation of Staff is to grant **APPROVAL** of the requested three (3) variances to deviate from City Code 125-195 and 125-157 by continuing to exceed the maximum density of 8 units per acre, 125-71 and 125-72 by rebuilding a non-conforming structure and use to an extent amounting to more than 50 percent of the replacement value and without any damage in the R4-A, Hutchinson Island Medium Density Residential Zone; based upon the justification presented by the applicant.

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### Attachments

Staff Report  
Staff Report Supporting Documents  
Application Supporting Documents

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### Form Review

Form Started By: Vennis Gilmore  
Final Approval Date: 08/21/2025

Started On: 08/21/2025 02:32 PM

# CITY OF FORT PIERCE

## PLANNING DEPARTMENT

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**PROJECT:** HIXSON QUADRUPLEX – THREE (3) VARIANCES      **PZVAR2025-00004**

**REVIEWER:** VENNIS GILMORE, HISTORIC PRESERVATION OFFICER/SENIOR PLANNER

**DATE:** AUGUST 21, 2025

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### STAFF REPORT

**Owner:** Douglas Hixson

**Applicant/Representative:** Roger Templeman

**Requested Action:** Three (3) Variances

**Location:** 1144 South Ocean Drive

**Parcel IDs:** 2401-810-0006-000-6

**Current Zoning:** R4-A, Hutchinson Island Medium Density Residential Zone

**Future Land Use:** HIR, Hutchinson Island Residential







**Surrounding Future Land Use:**

North	East	South	West
RL	RL	RL	RL

**Surrounding Zoning:**

North	East	South	West
R4-A	R4-A	R4-A	R4-A

**Site Area:**

+/- 0.29 Acres

**Utilities:**

Located within the FPUA Service Area

### Staff Analysis:

#### Variance Request

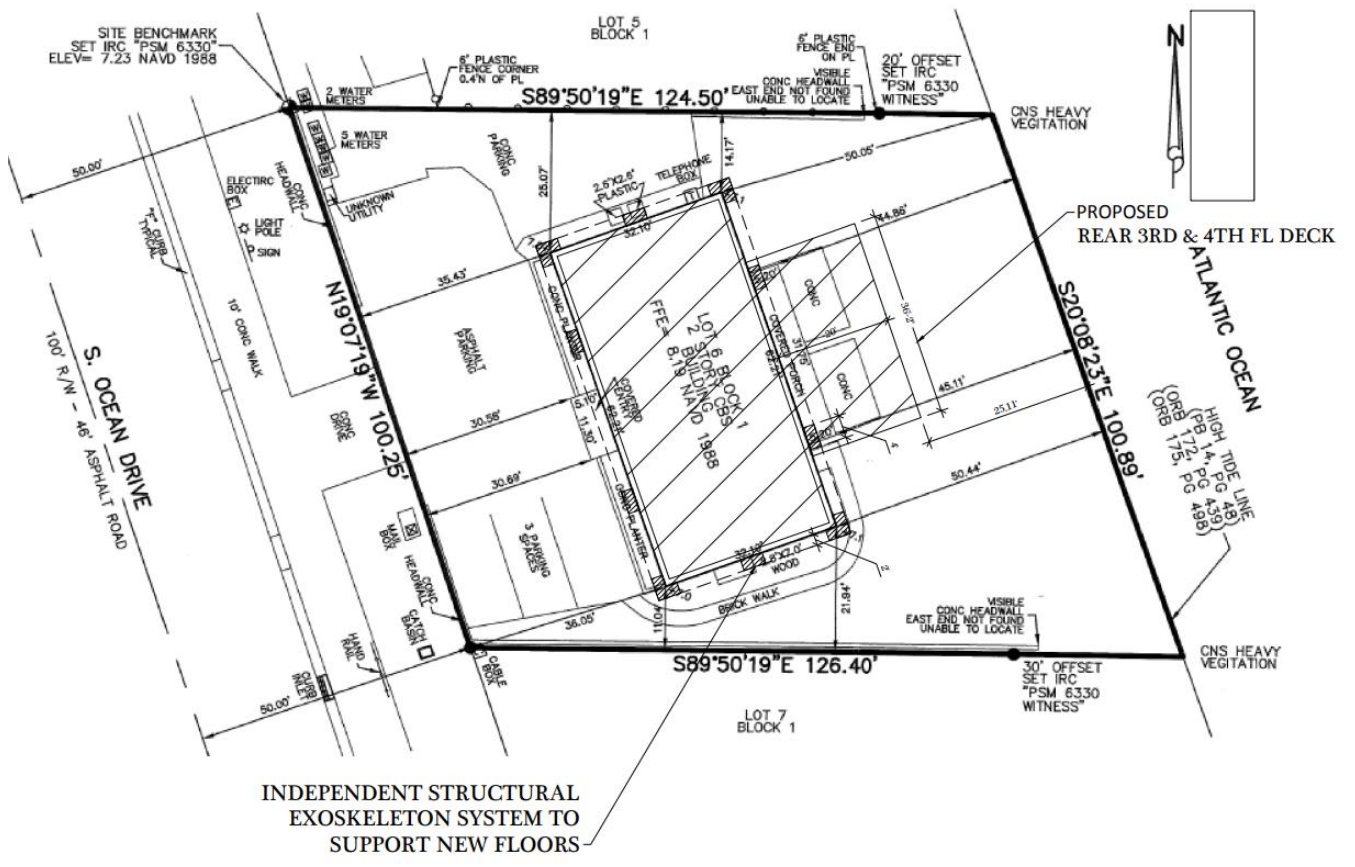
In accordance with Article II of Section 125 of the City Code, the applicant is requesting to deviate from City Code 125-195 and 125-157 by continuing to exceed the maximum density of 8 units per acre, 125-71 and 125-72 by rebuilding a non-conforming structure and use to an extent amounting to more than 50 percent of the replacement value and without any damage in the R4-A, Hutchinson Island Medium Density Residential Zone.

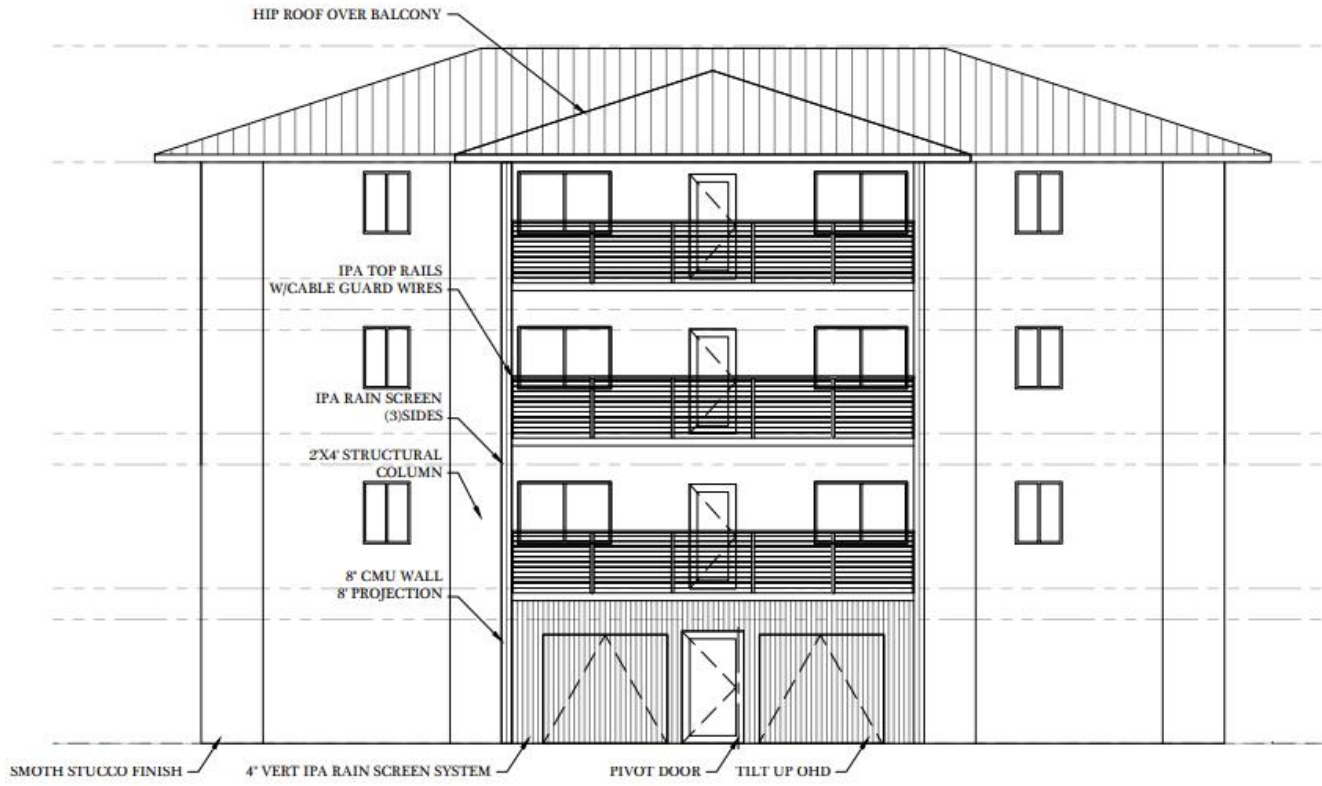
#### Project Summary

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The property is located at 1144 South Ocean Drive and is zoned R4-A, Hutchinson Island Medium Density Zone. The Parcel ID of the site is 2401-810-0006-000-6, and the legal description of the property is: TROPICAL BEACH BLK 1 LOT 6-LESS THAT PT LYG E OF LI DESC IN OR 178-1743.

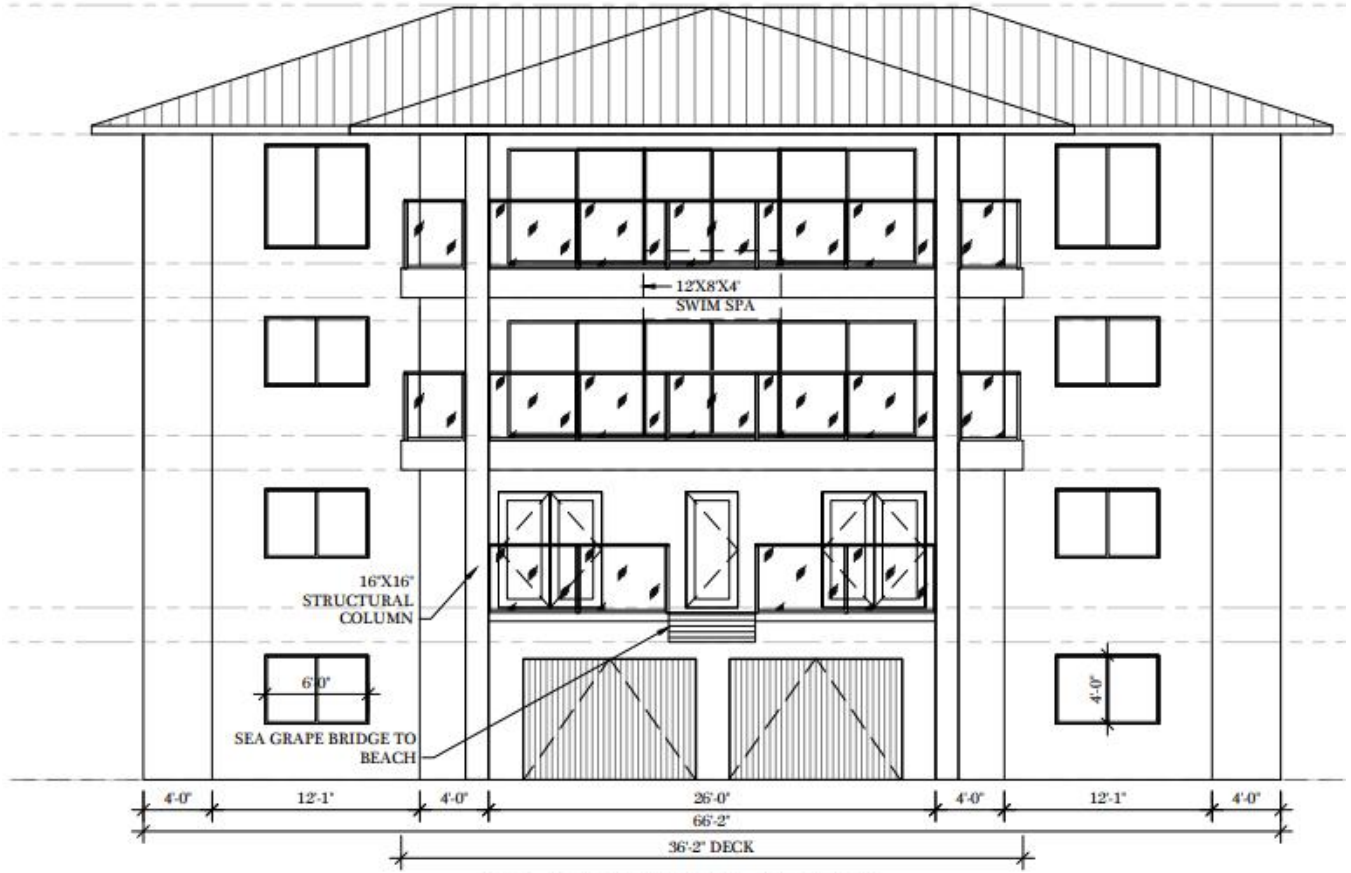




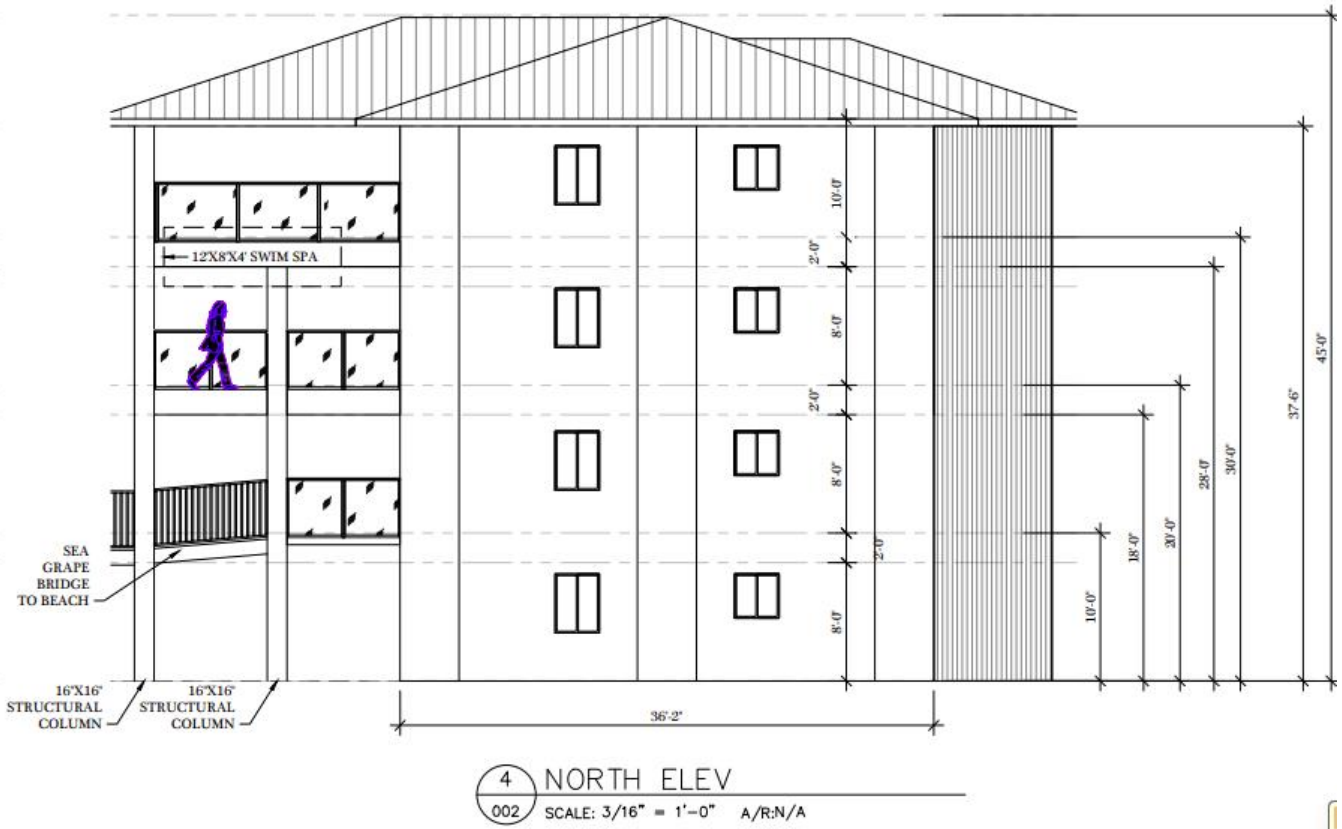
1 WEST ELEV (FRONT)  
002 SCALE: 3/16" = 1'-0" A/R:N/A



3 SOUTH ELEV  
002 SCALE: 3/16" = 1'-0" A/R:N/A



2 EAST ELEV (REAR)  
002 SCALE: 3/16" = 1'-0" A/R:N/A



**Existing Conditions**

The site is currently occupied by a two (2) story, 4-unit building with an existing parking lot. The subject parcel has a total of approximately 0.29 acres. The site is surrounded by residential uses to the north, south, west, and the Atlantic Ocean to the east.

The applicant proposes the vertical expansion of an existing legally non-conforming four-unit residential structure located at 1144 S Ocean Drive. The project includes the addition of a third and fourth floor, while maintaining the total number of dwelling units at four. The first (ground) floor, which is currently habitable, will be converted entirely into parking and non-habitable storage, in accordance with floodplain regulations. A structural superstructure with driven piles will be constructed around the existing building to support the new floors and enhance the building’s resilience to flooding and storm-related hazards. The design intent is to strengthen the structure while improving safety, sustainability, and long-term compliance with current codes. This project includes flood mitigation, resiliency measures, improved parking, and improved access. There is no proposed increase in dwelling units or impervious area.

**Variance Criteria**

The following criteria are specified in Section 125-100 of the City Code, which must be satisfied in order for a variance to be granted:

1. Special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings in the same zoning district:

**Applicant Response:**

***The subject property contains a legally non-conforming four-unit structure located within a high-risk coastal VE flood zone. Its location, combined with its substandard lot size and age of construction, presents unique challenges not typically encountered by newer or conforming structures in the area. These factors make modern compliance with current floodplain elevation standards uniquely burdensome.***

2. The special conditions and circumstances do not result from the actions of the applicant:

**Applicant Response:**

***The existing non-conforming structure and its location in a designated coastal flood zone predate the applicant's involvement. No action by the applicant has contributed to the conditions requiring the variance; instead, the variance is a response to updated code and flood resilience standards.***

3. The literal interpretation of the provisions of the zoning ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the ordinance and would result in unnecessary and undue hardship on the applicant:

**Applicant Response:**

***Strict adherence to current zoning limitations would prevent vertical expansion necessary to meet FEMA and state-required base flood elevation, effectively barring redevelopment and adaptation. This would deprive the applicant of the reasonable ability to improve safety, longevity, and code compliance, which are rights commonly exercised by other property owners with more conforming sites.***

4. The variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure:

**Applicant Response:**

***The requested variance is limited strictly to the addition of two floors—no change in use, dwelling unit count, or building footprint is proposed. This approach allows for elevation above flood levels while preserving the existing residential use and is the minimum relief necessary to reasonably adapt the structure.***

5. The granting of the variance will be in harmony with the general intent and purpose of the ordinance and such variance will not be injurious to the area involved or otherwise detrimental to the public welfare:

**Applicant Response:**

***The project enhances public safety and environmental resilience without increasing density or impervious surface area. It is consistent with the city's vision for flood-conscious redevelopment and supports long-term neighborhood stability by replacing vulnerable ground-floor living areas with code-compliant parking and elevating all habitable space.***

The applicant; in the attached application and supporting documents has provided a copy of their response to the criteria.

The applicant maintains that the requested variances are not detrimental to the surrounding neighbors and compliments the neighborhood.

### **Summary of Technical Review Committee**

All affected departments have reviewed the proposed Development Plan with regards to consistency with established ordinances and requirements of the City Code.

### ***Adjacent Property Owner Notifications***

A total of seven (7) notifications were mailed to abutting property owners. As of the preparation of this memorandum, no responses have been received.

### **Staff Recommendation:**

The recommendation of Staff is to grant **APPROVAL** of the requested three (3) variances to deviate from City Code 125-195 and 125-157 by continuing to exceed the maximum density of 8 units per acre, 125-71 and 125-72 by rebuilding a non-conforming structure and use to an extent amounting to more than 50 percent of the replacement value and without any damage in the R4-A, Hutchinson Island Medium Density Residential Zone; based upon the justification presented by the applicant.



THE SUNRISE CITY  
**FORT PIERCE**  
ENGINEERING  
DEPARTMENT

**FORT PIERCE**  
*Florida*

**To : Vennis Gilmore – Senior Planner**

**FROM : Selena Griffett, P.E.**

**Thru : Mark Zrallack, P.E. – City Engineer**

**RE : 1144 S Ocean Drive  
PZVAR2025-00004**

**DATE : July 14, 2025**

This is to advise you that we have completed the review of the following documents as received by this office on June 25, 2025:

- |   |   |
|---|---|
| <input type="checkbox"/> Development Permit Compliance Review | <input type="checkbox"/> Construction Drawings            |
| <input type="checkbox"/> Site Plan                            | <input type="checkbox"/> Test Reports & Related Documents |
| <input type="checkbox"/> Planned Development                  | <input type="checkbox"/> Record Drawings                  |
| <input type="checkbox"/> Permits                              | <input checked="" type="checkbox"/> Other <u>Variance</u> |

Based on our reviews and appropriate site final inspection, we

- |   |   |                              |
|---|---|------------------------------|
| <input checked="" type="checkbox"/> Recommend | <input type="checkbox"/> Do Not Recommend   |                              |
| <input checked="" type="checkbox"/> Variance  | <input type="checkbox"/> Site Plan Approval | <input type="checkbox"/> C/O |

Developer, Owner, Engineer, Contractor, and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

- See attached for comments

1144 S Ocean Avenue  
PZVAR2025-00004  
July 14, 2025

---

**ENGINEERING COMMENTS:**

No change of use from residential, engineering comments do not apply.



Fort Pierce Utilities Authority  
Water/Wastewater Engineering  
1701 South 37<sup>th</sup> Street  
Fort Pierce, FL 34947  
772.466.1600 Ext 3473

## Technical Review Committee Meeting

TECHNICAL REVIEW PROJECT: PZVAR2025-00004

**Variance - 1144 S Ocean Dr, Unit A**

W/WW Engineering: No comment.

Electric Engineering: FPUA Electric & Gas Engineering has reviewed the application. **Approved.**

Please submit electric panel schedule if any changes to be made.

**Please contact Sal Scimeca for electric customer requirements and project coordination.  
Before work begins.**

Sal Scimeca  
Engineering Technician III  
Electric & Gas Engineering  
Fort Pierce Utilities Authority  
[sscimeca@fpu.com](mailto:sscimeca@fpu.com)  
772.466.1600 ext. 6957

Gas: N/A

FPUAnet Fiber: N/A



Our mission is to provide our customers with economical, reliable, and friendly service in a continuous effort to enhance the quality of life in our community.



## BOA, Narrative Statement

Project Address: 1144 S Ocean Drive, Fort Pierce, FL 34949

Applicant: Douglas Hixson

Prepared By: Roger Templeman, CAD-Con Design

Date: 06-03-25

### Project Description:

The applicant proposes the vertical expansion of an existing legally non-conforming four-unit residential structure located at 1144 S Ocean Drive. The project includes the addition of a third and fourth floor, while maintaining the total number of dwelling units at four. The first (ground) floor, which is currently habitable, will be converted entirely into parking and non-habitable storage, in accordance with floodplain regulations.

A structural superstructure with driven piles will be constructed around the existing building to support the new floors and enhance the building's resilience to flooding and storm-related hazards. The design intent is to strengthen the structure while improving safety, sustainability, and long-term compliance with current codes.

### Variance Justification:

- No Increase in Dwelling Units:

The total number of residential units will remain at four, consistent with the existing legal non-conforming use. This maintains the established density and does not add to the residential intensity of the property.

- Flood Mitigation and Resiliency Measures:

The structure is located in a high-risk coastal flood zone. In accordance with Florida Administrative Code 62B-33 and local amendments, the project is designed to elevate habitable space above the 100-year storm elevation requirement of 17.0 ft NAVD88.

- The existing first-floor slab is at 8.19 ft NAVD88.

- With a floor-to-floor height of 10 ft, the new habitable second floor will be approximately 18.19 ft NAVD88, meeting and exceeding code requirements.

- The project includes flood vents, breakaway walls, and no living space on the ground floor, further reinforcing its compliance with floodplain regulations.

- Minimal Footprint Modification:

While a small footprint increase may occur to accommodate the structural supercolumns and balconies, no significant expansion of the building envelope is proposed. These changes are structurally necessary and do not alter the fundamental land use or setbacks.

- Improved Parking and Access:

Converting the ground floor into parking enhances compliance with parking requirements and ensures all required spaces are met within the site.

## BOA, Narrative Statement

Project Address: 1144 S Ocean Drive, Fort Pierce, FL 34949

- No Increase in Impervious Area:

The site will not see an increase in impervious surface. No new drainage burdens will be created, and the City staff has confirmed that no concurrency review or conceptual drainage plan is required at this time.

### Conclusion:

This proposal improves the safety, sustainability, and code compliance of an existing non-conforming structure without increasing density or altering land use. The vertical expansion supports the City's resiliency goals and sets a precedent for flood-conscious redevelopment in vulnerable coastal areas. The applicant respectfully requests approval of the requested variance to proceed with this essential upgrade.

**Please note:** *The interior floor plans provided are conceptual and subject to refinement following variance approval. This application strictly seeks approval for vertical expansion of the existing structure through the addition of a third and fourth floor. There will be no increase in the total number of dwelling units or any change in use.*

*The proposed configuration includes converting the current ground floor into enclosed garage space with integrated flood vents and breakaway wall sections, in full compliance with floodplain regulations. The second floor will maintain two residential units, while the third and fourth floors will each contain one unit. An elevator is proposed to provide access to all levels.*

## 1144 S Ocean Drive – Variance Criteria Response Sheet

Plan Number: PZVAR2025-00004

Applicant: Roger Templeman, Cad-Con Design

Date: June 16, 2025

### Sec. 125-100 – Criteria for Granting Variances

1. (1) Special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings in the same zoning district:

The subject property contains a legally non-conforming four-unit structure located within a high-risk coastal VE flood zone. Its location, combined with its substandard lot size and age of construction, presents unique challenges not typically encountered by newer or conforming structures in the area. These factors make modern compliance with current floodplain elevation standards uniquely burdensome.

2. (2) The special conditions and circumstances do not result from the actions of the applicant:

The existing non-conforming structure and its location in a designated coastal flood zone predate the applicant's involvement. No action by the applicant has contributed to the conditions requiring the variance; instead, the variance is a response to updated code and flood resilience standards.

3. (3) The literal interpretation of the provisions of the zoning ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the ordinance and would result in unnecessary and undue hardship on the applicant:

Strict adherence to current zoning limitations would prevent vertical expansion necessary to meet FEMA and state-required base flood elevation, effectively barring redevelopment and adaptation. This would deprive the applicant of the reasonable ability to improve safety, longevity, and code compliance, which are rights commonly exercised by other property owners with more conforming sites.

4. (4) The variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure:

The requested variance is limited strictly to the addition of two floors—no change in use, dwelling unit count, or building footprint is proposed. This approach allows for elevation above flood levels while preserving the existing residential use and is the minimum relief necessary to reasonably adapt the structure.

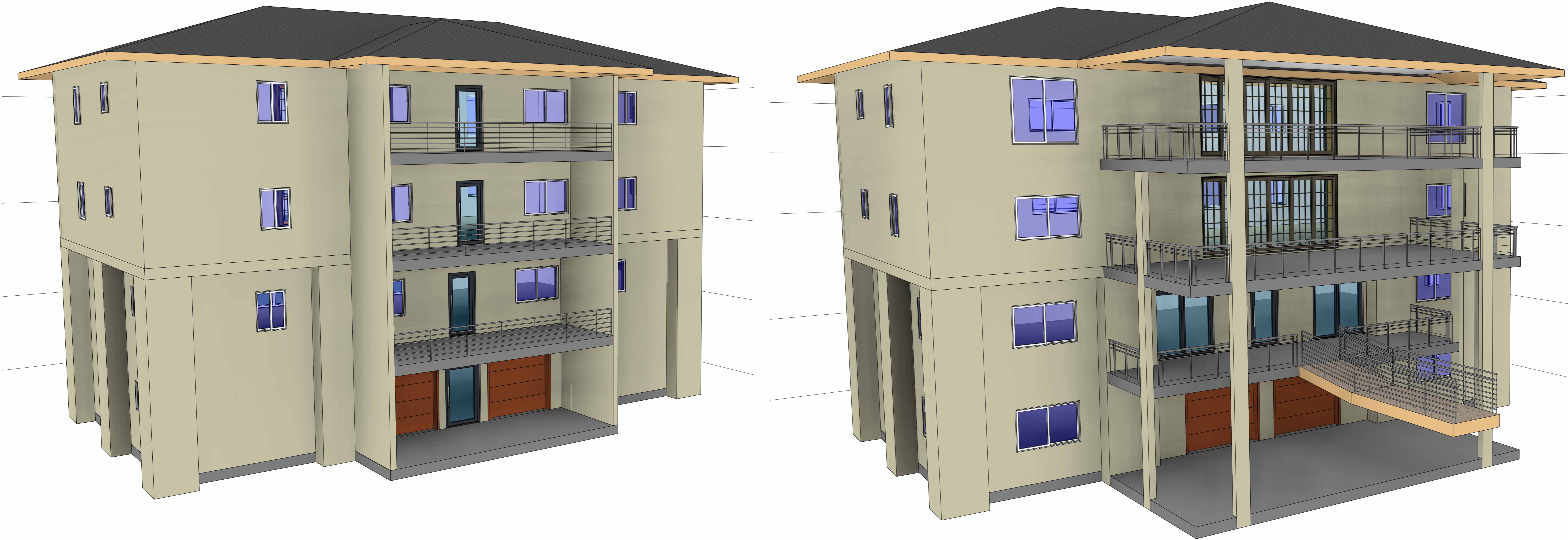
5. (5) The granting of the variance will be in harmony with the general intent and purpose of the ordinance codified in this section and such variance will not be injurious to the area involved or otherwise detrimental to the public welfare:

The project enhances public safety and environmental resilience without increasing density or impervious surface area. It is consistent with the city's vision for flood-conscious redevelopment and supports long-term neighborhood stability by replacing vulnerable ground-floor living areas with code-compliant parking and elevating all habitable space.

# 2-Story Addition

# 1144 S Ocean Dr, Fort Pierce, Fl 34949

Prepared by Cad-Con Design



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Sheet Number	Sheet Name
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G100	Cover
Civil	
C101	Site Plan
Structural	
S101	Structural Plans
S102	Structural Plans
Architectural	
A101	Architectural Floor Plans
A102	Architectural Floor Plans
A103	Architectural Floor Plans
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A201	Architectural Building Elevations
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P101	Plumbing Plans
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E103	Lighting Plans
E104	Lighting Plans

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Project Number 1144 S Ocean Dr  
Date Issue Date













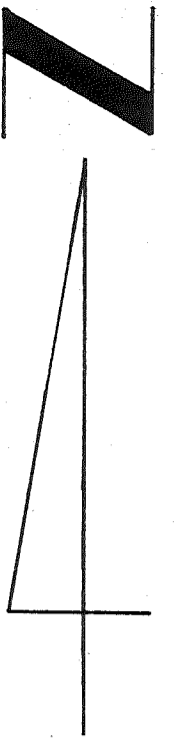




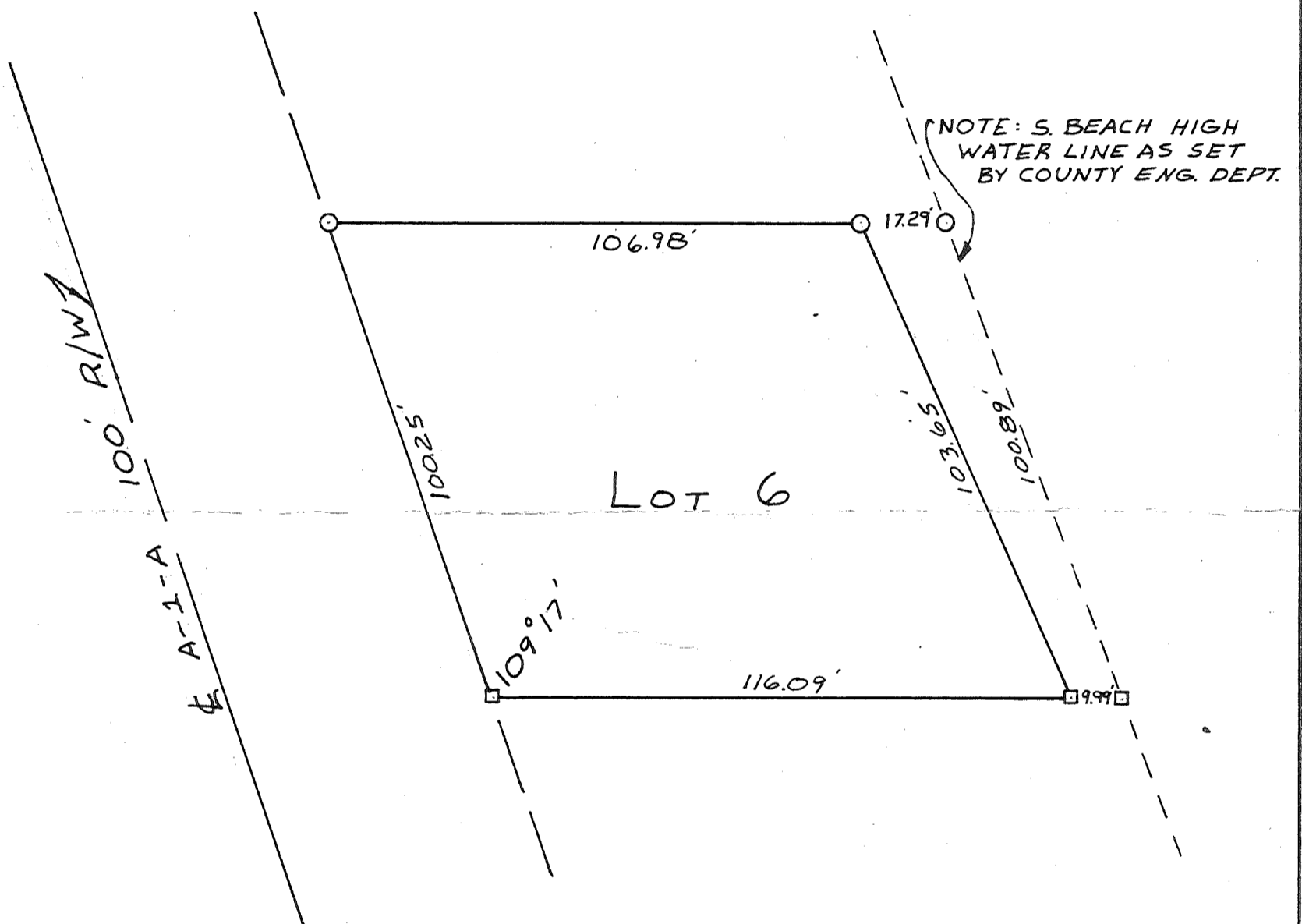








SCALE: 1" = 30'  
O = IRON PIPE  
□ = CON. MON.  
APRIL 13, 1972



SKETCH OF SURVEY

LOT 6, BLOCK 1 OF TROPICAL BEACH SUBDIVISION,  
AS RECORDED IN PLAT BOOK 9, PAGE 26, SAINT  
LUCIE COUNTY, FLORIDA.

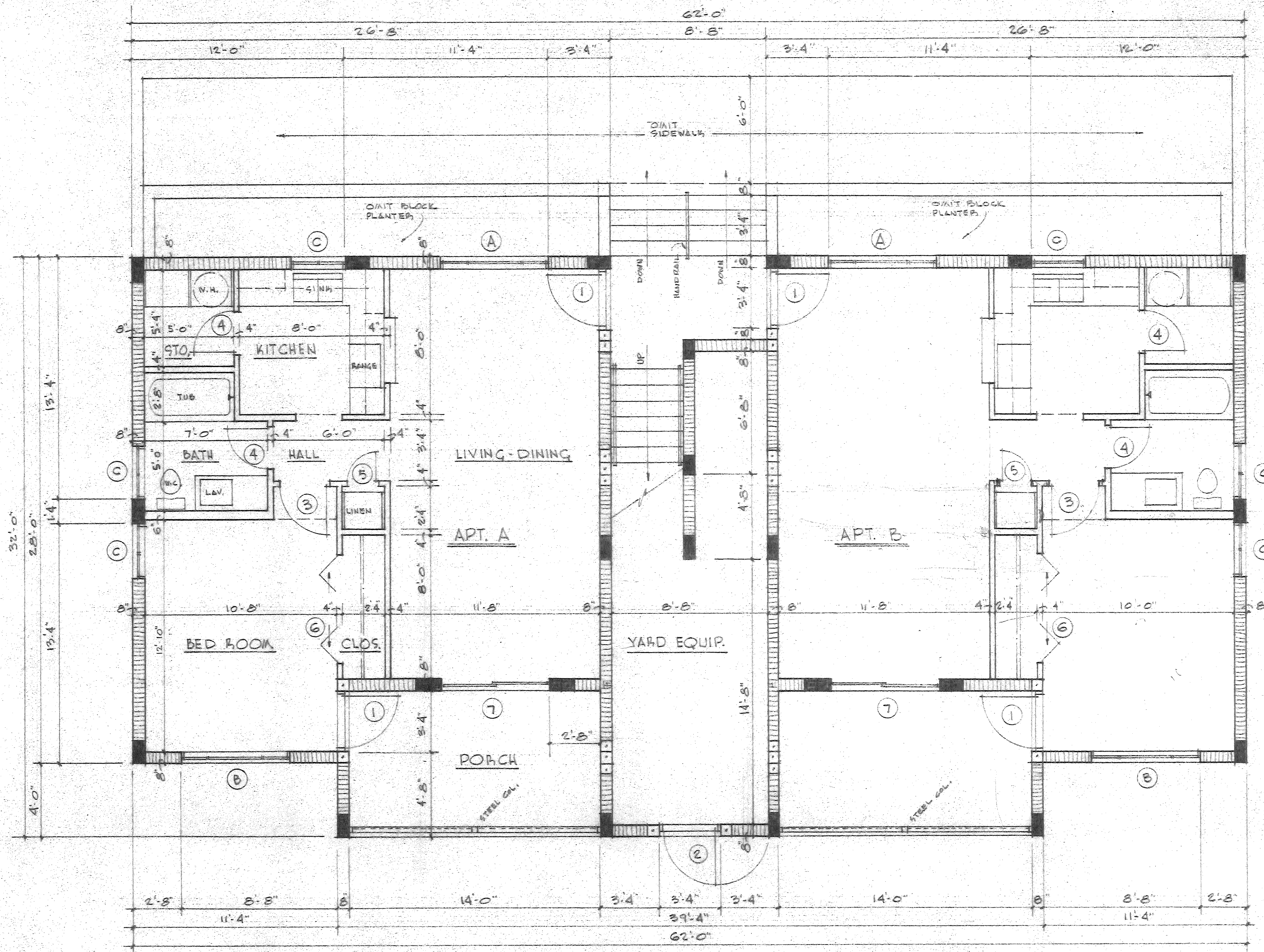
CERTIFICATE OF SURVEYOR

I, A. G. WEATHERINGTON, HEREBY CERTIFY THAT  
THE ABOVE SKETCH REPRESENTS A CORRECT SURVEY  
MADE UNDER MY DIRECTION. THERE ARE NO EN-  
CROACHMENTS.

  
FLORIDA CERTIFICATE NO. 1859

A. G. WEATHERINGTON & SONS, INC.  
1000 S. W. 10TH AVENUE  
MIAMI, FLORIDA 33135  
TELEPHONE 361-1111  
FAX 361-1112



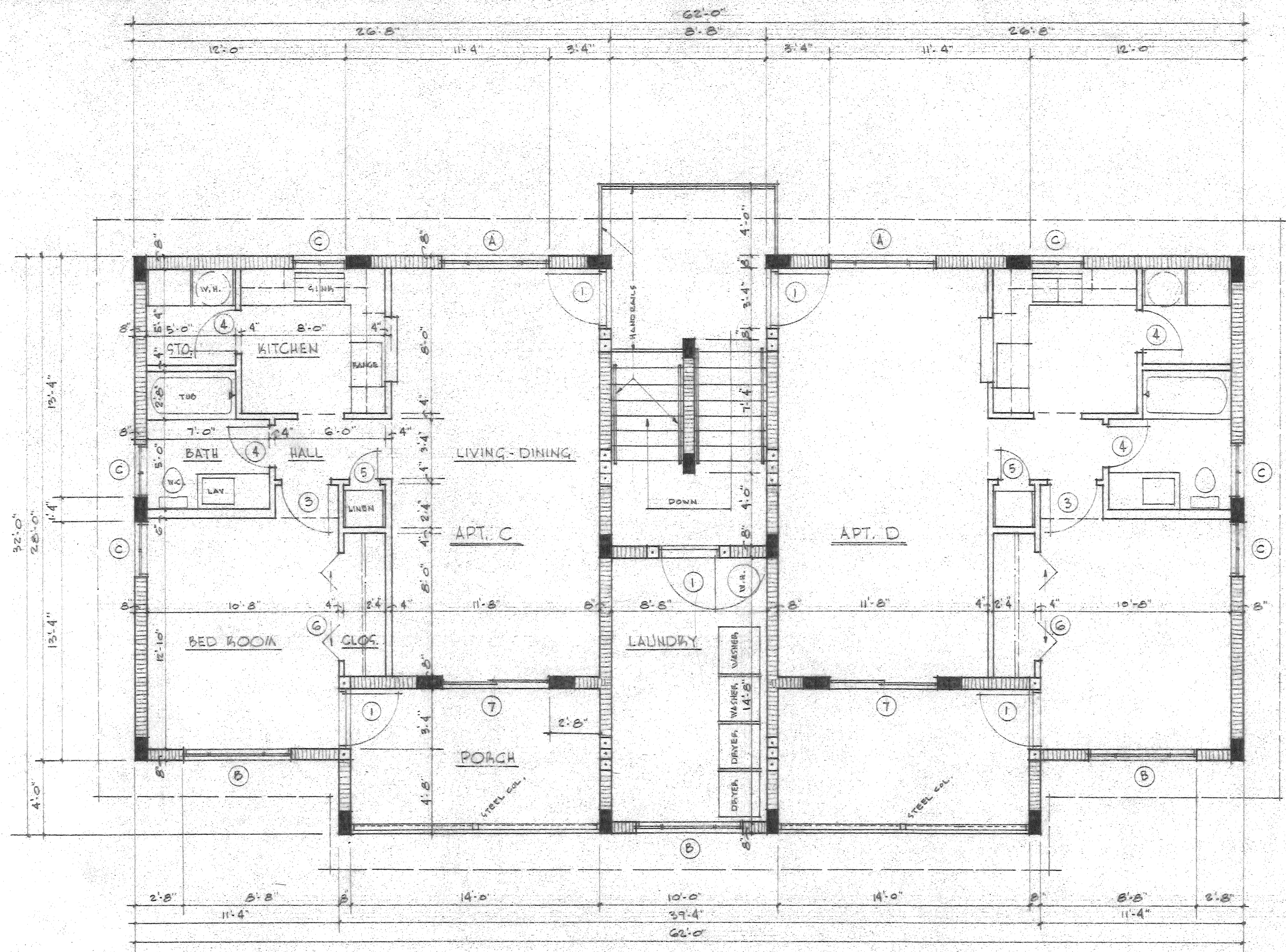


FIRST FLOOR PLAN SCALE: 1/4" = 1'-0"

PERMIT NO. \_\_\_\_\_ DATE \_\_\_\_\_ 197 \_\_\_\_\_ DRAWINGS \_\_\_\_\_  
 APPROVED BY THE BUILDING & ZONING DEPARTMENT CITY OF FORT  
 PIERCE SUBJECT TO CONFORMITY WITH ITS RULES AND REGULATIONS.  
*Frank W. Hogan*  
 DIRECTOR OF BUILDING DEPARTMENT

4 UNIT APARTMENT BUILDING FOR MR. W. A. ANDERSON FT. PIERCE, FLA.	
TERRY & SCOTT, ARCHITECTS FT. PIERCE, FLA.	
DRAWN: J.H.S.	SHEET:
SCALE: AS SHOWN	2 OF 17
DATE: AUG. 8, 1972	

*J. H. Scott*

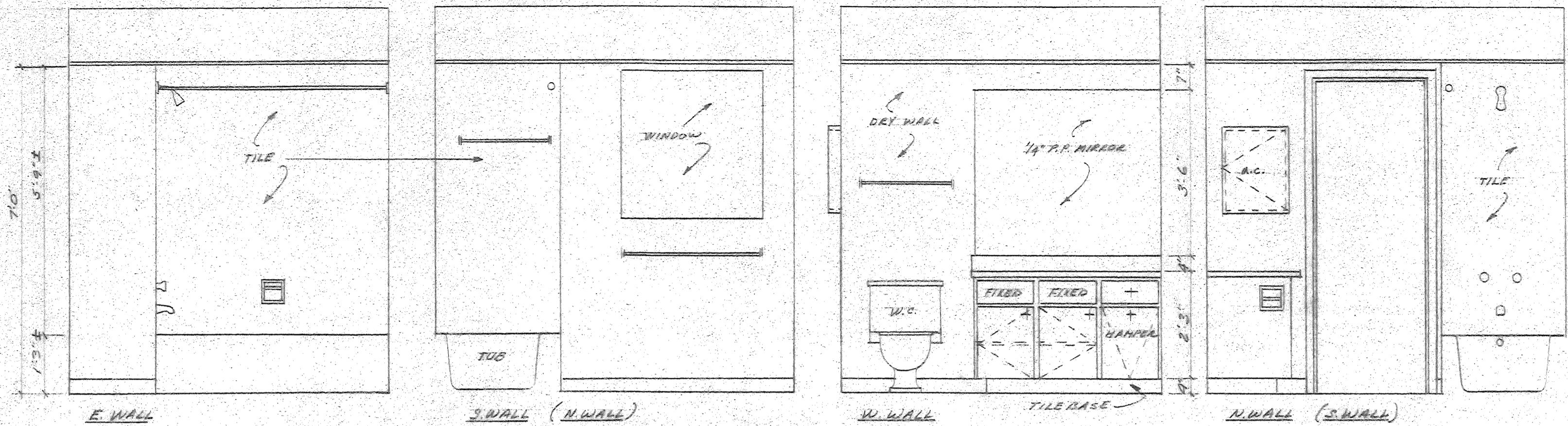


SECOND FLOOR PLAN SCALE: 1/4" = 1'-0"

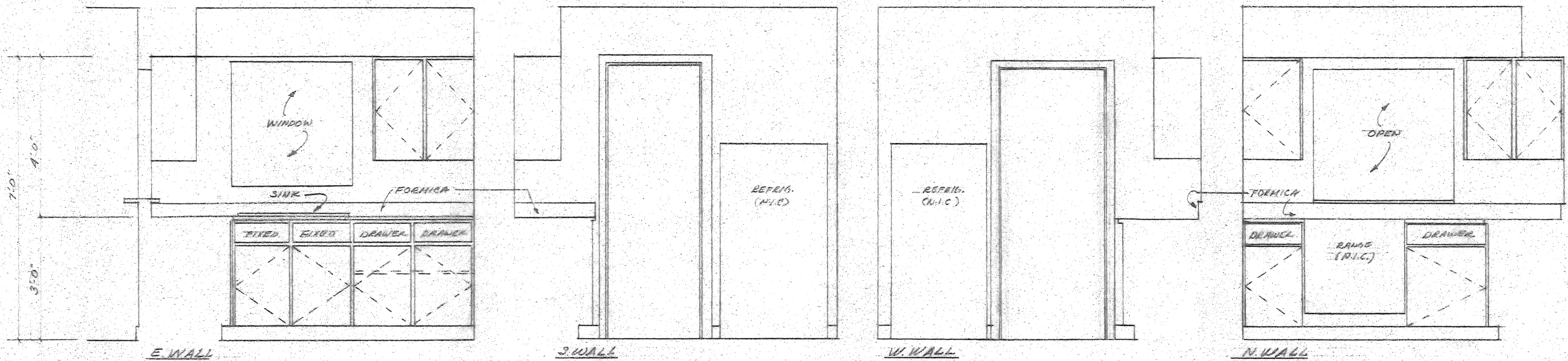
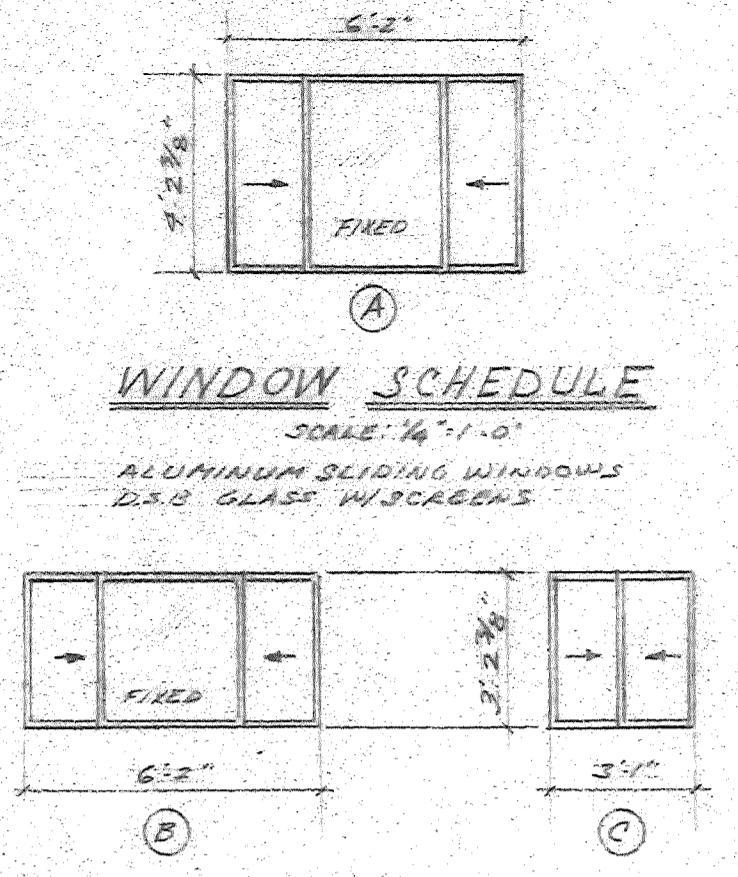
PERMIT NO. \_\_\_\_\_ DATE \_\_\_\_\_ 197 \_\_\_\_\_ DRAWINGS \_\_\_\_\_  
 APPROVED BY THE BUILDING & ZONING DEPARTMENT CITY OF FORT  
 PIERCE SUBJECT TO CONFORMITY WITH ITS RULES AND REGULATIONS  
*Frank W. Pogan*  
 DIRECTOR OF BUILDING & ZONING

*Jack H. Scott*

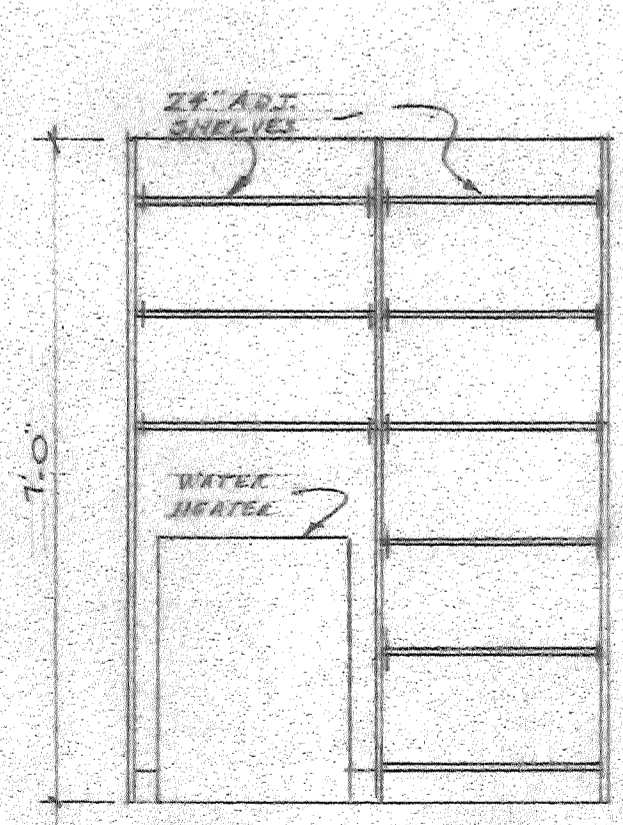
4 UNIT APARTMENT BUILDING FOR MR. W. A. ANDERSON FT. PIERCE, FLA.	
TERRY & SCOTT, ARCHITECTS FT. PIERCE, FLA.	
DRAWN: JMS	SHEET
SCALE: AS SHOWN	3 of 17
DATE: AUG. 8, 1972	



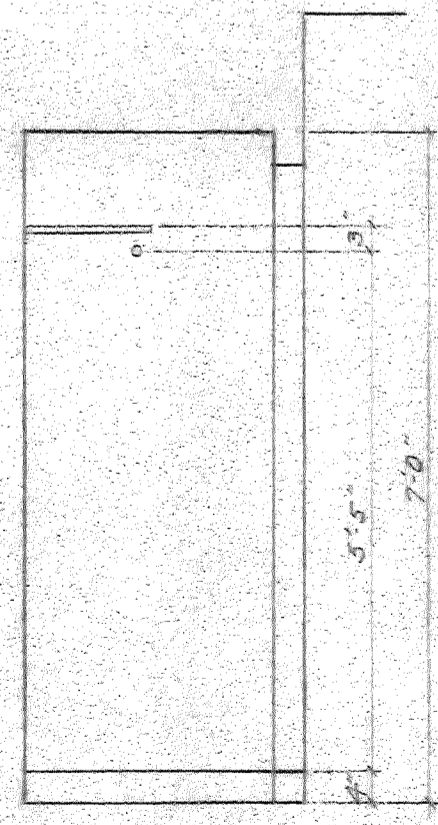
BATH APT. BED SCALE: 1/4" = 1'-0" (APT. A & C SAME BUT OPP. HAND)



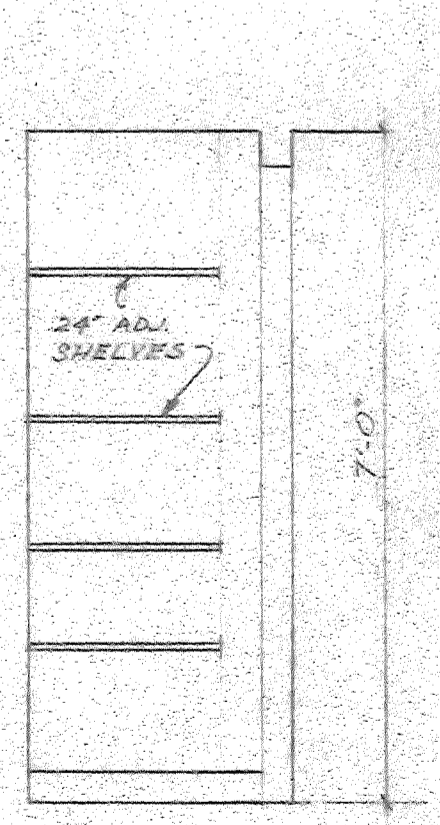
KITCHEN APT. BED SCALE: 1/2" = 1'-0" (APT. A & C SAME BUT OPP. HAND)



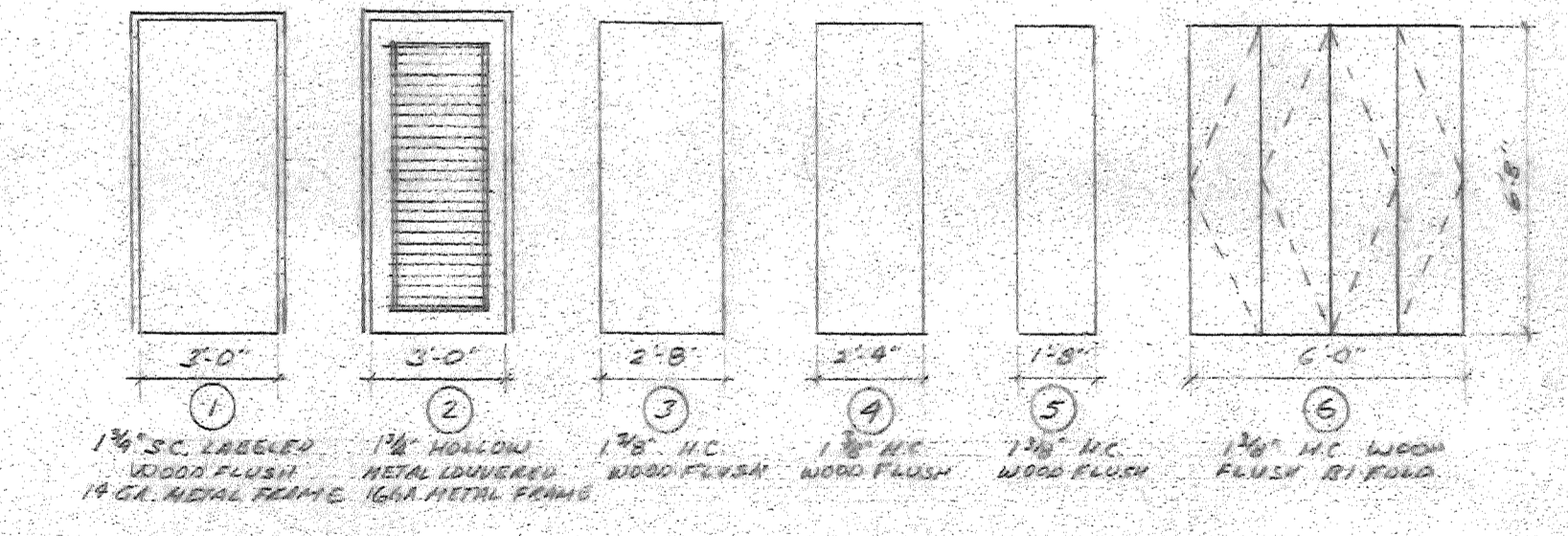
PANTRY APT. BED (APT. A & C SAME BUT OPP. HAND)  
SCALE: 1/2" = 1'-0"



SECTION THRU BDRM. CLOSETS  
SCALE: 1/2" = 1'-0"



SECTION THRU LINEN CLOSETS  
SCALE: 1/2" = 1'-0"

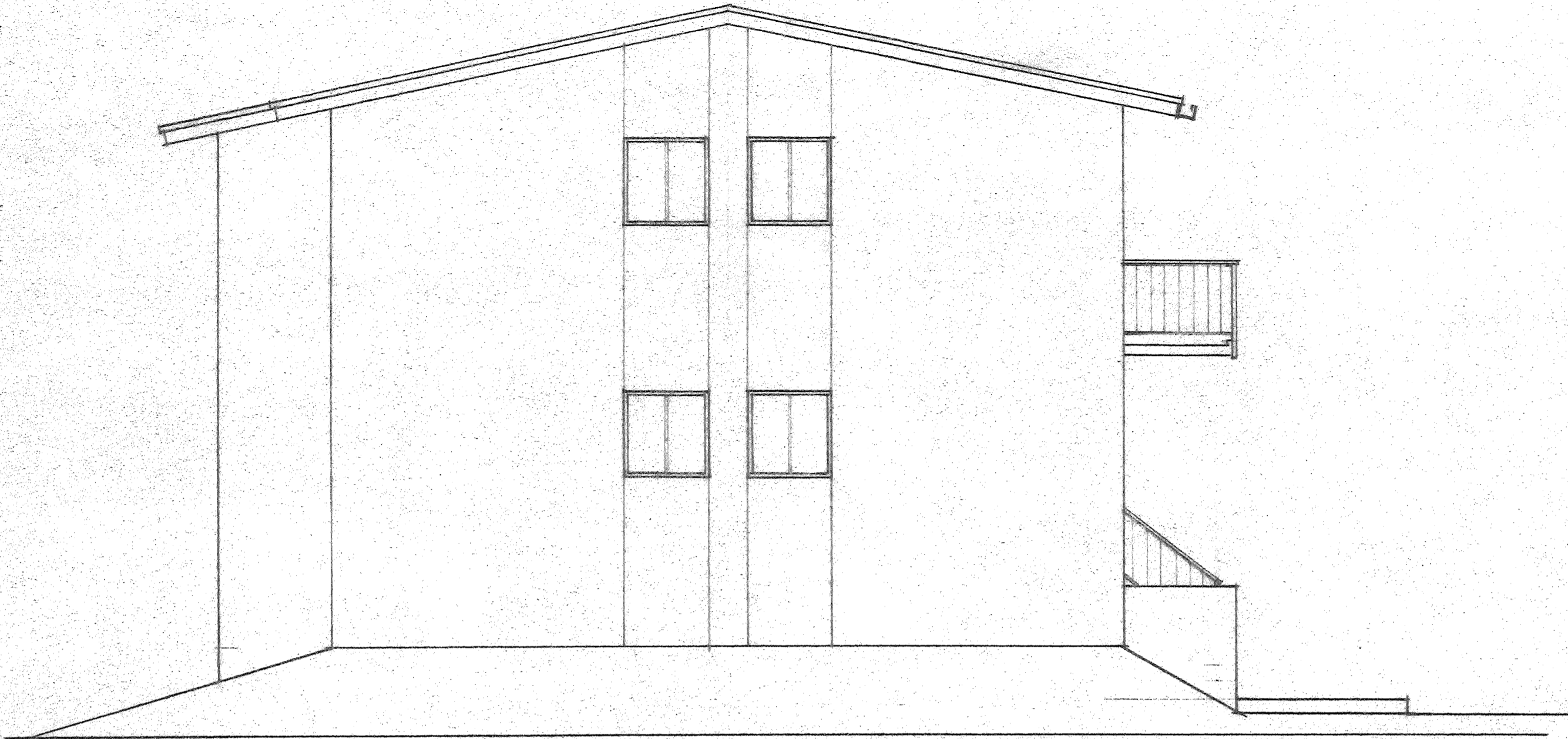


DOOR SCHEDULE SCALE: 1/4" = 1'-0"

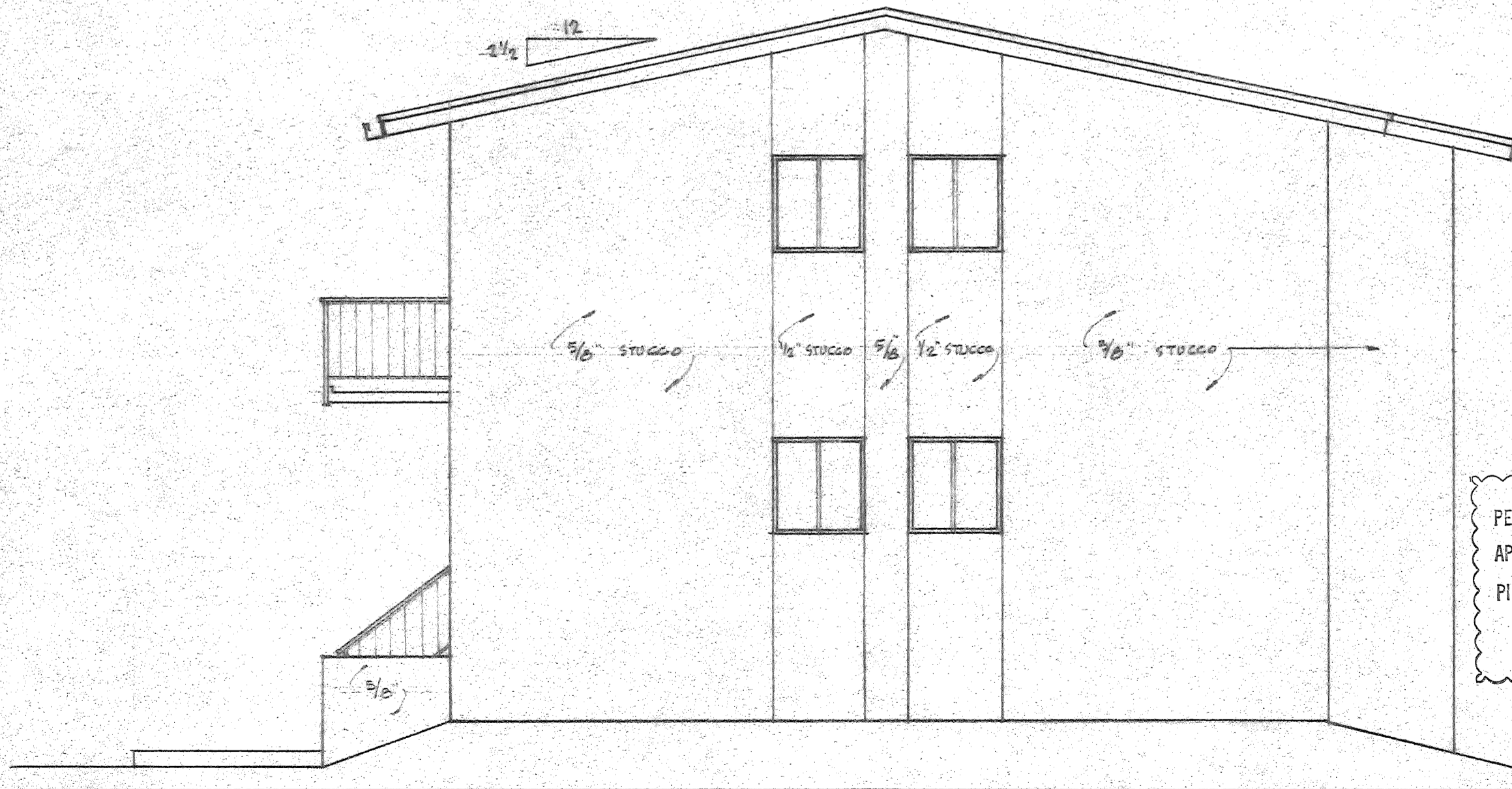
PERMIT NO. \_\_\_\_\_ DATE \_\_\_\_\_ 197 \_\_\_\_\_ DRAWINGS \_\_\_\_\_  
APPROVED BY THE BUILDING & ZONING DEPARTMENT CITY OF PIERCE  
PIERCE SUBJECT TO CONFORMITY WITH ITS RULES AND ORDINANCES  
*Frank W. Poyant*  
DIRECTOR OF BUILDING & ZONING



4 UNIT APARTMENT BUILDING FOR MR. W.A. ANDERSON FT. PIERCE, FLA.	
TERRY & SCOTT, ARCHITECTS FT. PIERCE, FLA.	
DRAWN: J.P.	SHEET 4 OF 17
SCALE: AS SHOWN	
DATE: AUG. 5, 1972	



SOUTH ELEVATION SCALE: 1/4" = 1'-0"



NORTH ELEVATION SCALE: 1/4" = 1'-0"

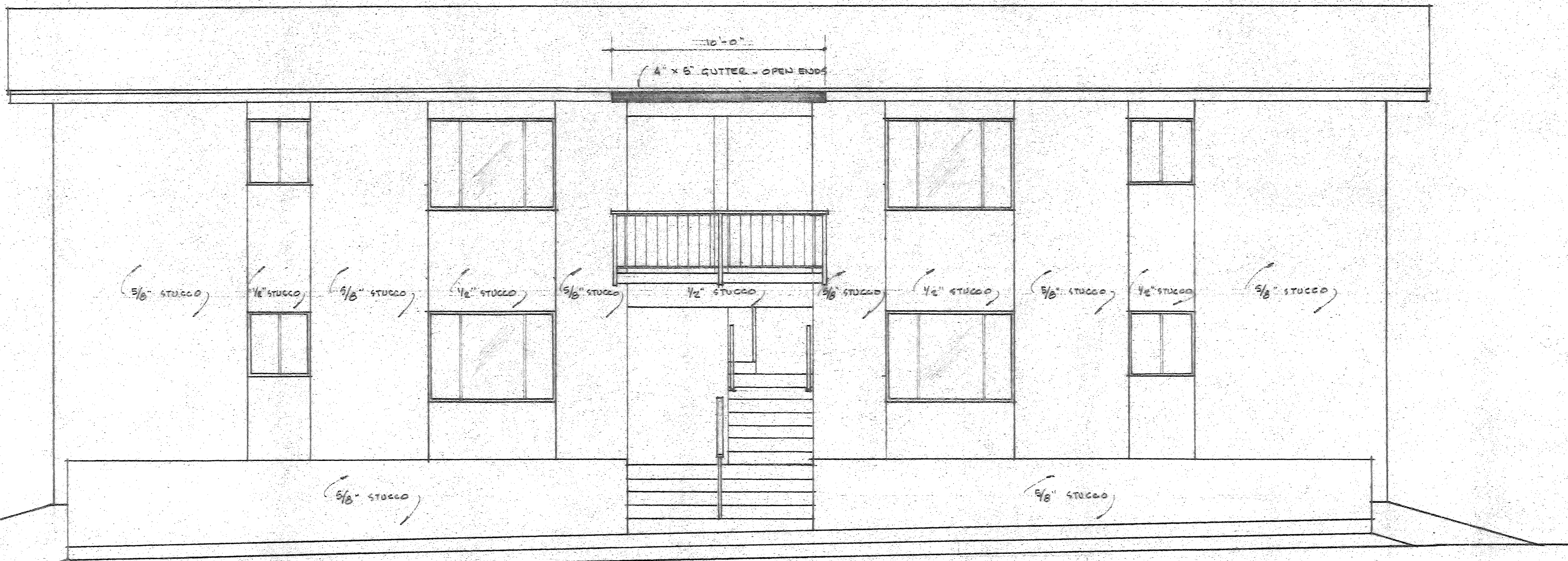
PERMIT NO. \_\_\_\_\_ DATE \_\_\_\_\_ 197 \_\_\_\_\_ DRAWINGS \_\_\_\_\_  
 APPROVED BY THE BUILDING & ZONING DEPARTMENT CITY OF FORT  
 PIERCE SUBJECT TO CONFORMITY WITH ITS RULES AND REGULATIONS  
*Frank W. Pogan*  
 DIRECTOR OF BUILDING & ZONING

**ROOM FINISH SCHEDULE**

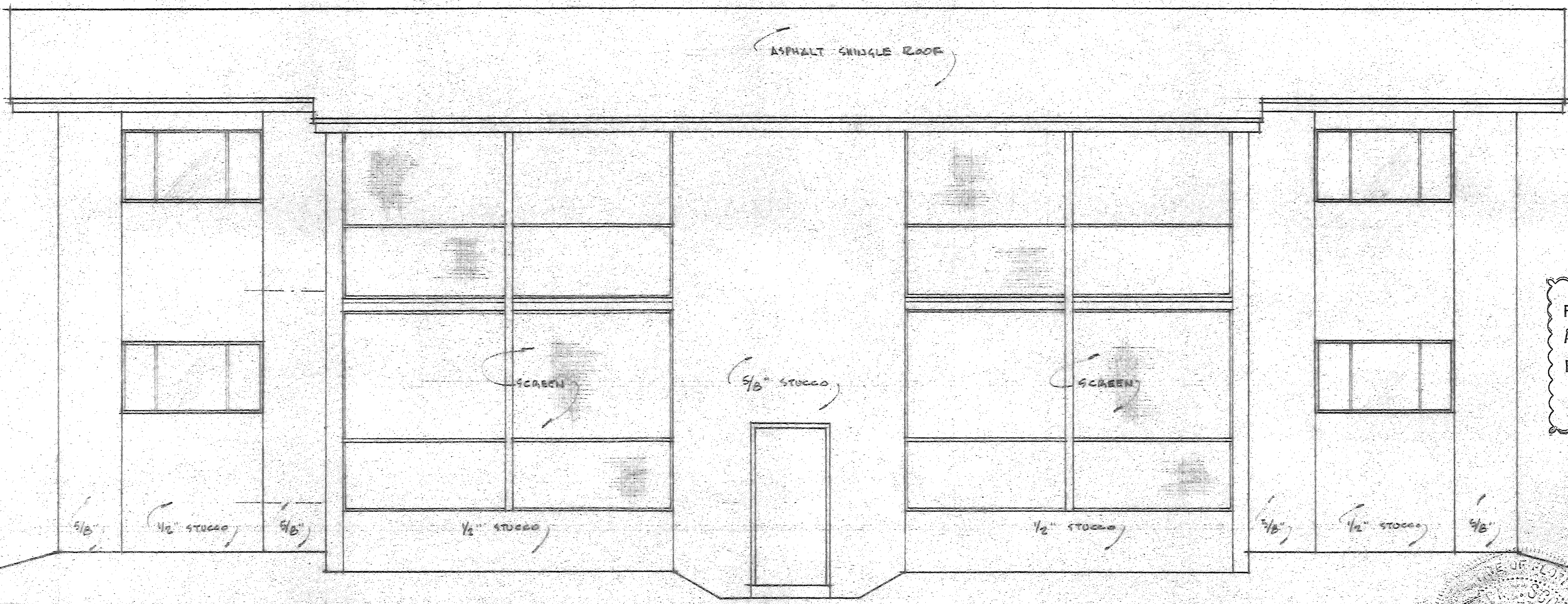
SPACE	FLOOR	BASE	WALLS	WAINSCOT	CEILING	STOOL	BEADERS
LIVING DINING	EXPOSED CONC.	WOOD	DRYWALL	NONE	DRYWALL	MARBLE	
HALL	do.	do.	do.	do.	do.	NONE	
BED ROOM	do.	do.	do.	do.	do.	MARBLE	
CLOSET	do.	do.	do.	do.	do.	NONE	
BATH	CER. TILE	CER. TILE	do.	CER. TILE	do.	CER. TILE	
KITCHEN	EXPOSED CONC.	WOOD	do.	NONE	do.	MARBLE	
STORAGE	do.	do.	do.	do.	do.	NONE	
YARD EQUIP	do.	NONE	EXPOSED	do.	EXPOSED	NONE	
LAUNDRY	do.	VINYL	do.	do.	DRYWALL	EXPOSED	



4 UNIT APARTMENT BUILDING FOR  
 MR. W. A. ANDERSON FT. PIERCE, FLA.  
 TERRY & SCOTT, ARCHITECTS  
 FT. PIERCE, FLA.  
 DRAWN: J.M.S. SHEET  
 SCALE: AS SHOWN 5 OF 17  
 DATE: AUG. 8, 1972



WEST ELEVATION SCALE: 1/4" = 1'-0"

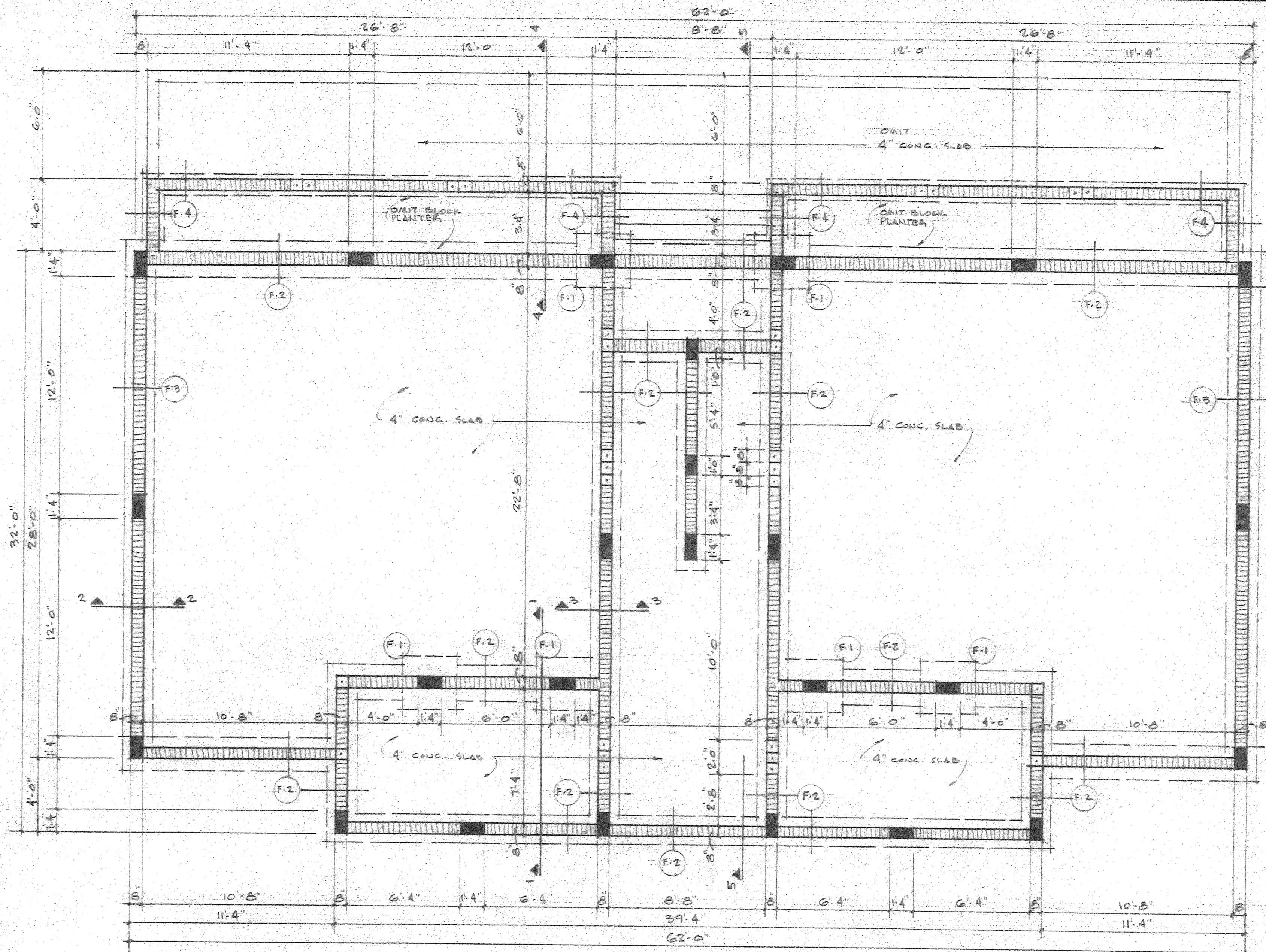


EAST ELEVATION SCALE: 1/4" = 1'-0"

PERMIT NO. \_\_\_\_\_ DATE \_\_\_\_\_ 197 \_\_\_\_\_ DRAWINGS \_\_\_\_\_  
 APPROVED BY THE BUILDING & ZONING DEPARTMENT CITY OF FORT  
 PIERCE SUBJECT TO CONFORMITY WITH ITS RULES AND REGULATIONS.  
*Frank W. Hogan*  
 DIRECTOR OF BUILDING & ZONING



4 UNIT APARTMENT BUILDING FOR MR. W. A. ANDERSON FT. PIERCE, FLA.	
TERRY & SCOTT, ARCHITECTS FT. PIERCE, FLA.	
DRAWN: J.H.S.	SHEET
SCALE: AS SHOWN	6 OF 17
DATE: AUG. 8, 1972	



**FOUNDATION PLAN** SCALE: 1/4" = 1'-0"

**NOTES**

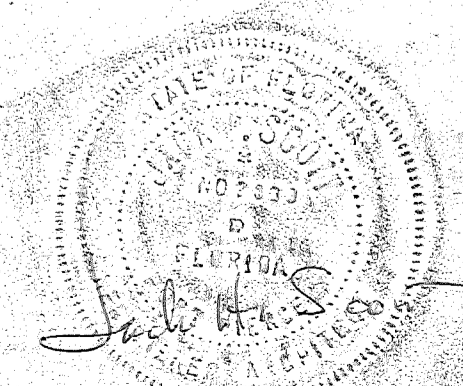
CONCRETE SLABS ON GRADE SHALL BE 4" THICK W/ 6" x 6" WVA & INTEGRAL W.P. ON CLEAN, WELL COMPACTED, TAMPED SAND FILL -- PROVIDE 1/2" ASPHALT IMPREGNATED EXP. JOINT AT ALL MASONRY WALLS --

CONCRETE COLUMNS SHALL BE SIZE AS SHOWN W/ (4)" # 5 BARS & # 2 TIES AT 12" O.C. EACH FILLED CELL SHALL HAVE (1)" # 5 BAR. FOR EACH SOL. AND FILLED CELL BAR PROVIDE (1)" # 5 DOWEL TO FOOTING --

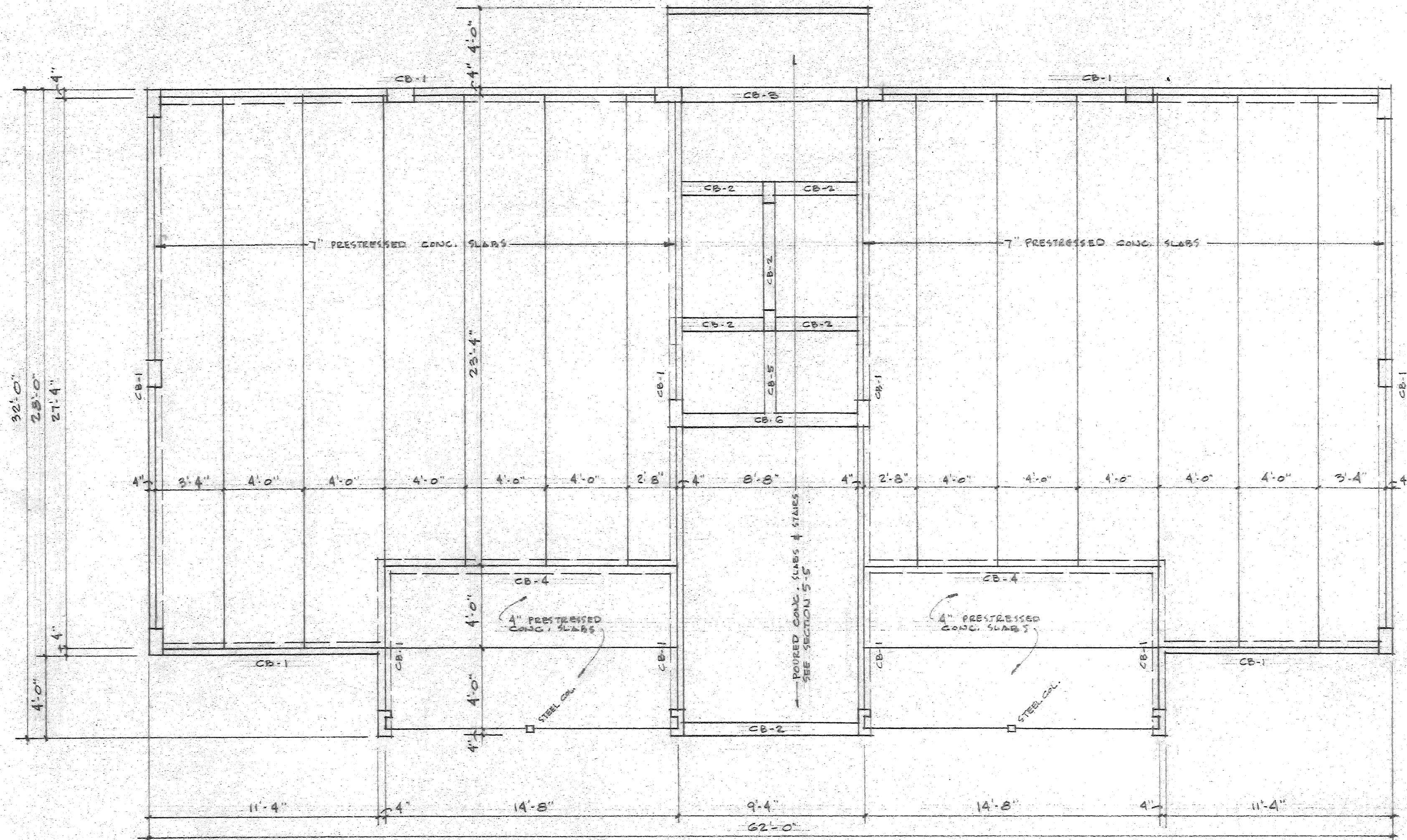
**FOOTINGS-**

- F-1 3'-0" x 3'-0" x 1'-0" DEEP W/ (4)" # 5 EACH WAY BOTTOM
- F-2 12" x 24" CONT. W/ (1)" # 5 TOP & (2)" # 5 BOTTOM
- F-3 10" x 20" CONT. W/ (1)" # 5 TOP & (2)" # 5 BOTTOM
- F-4 8" x 16" CONT. W/ (2)" # 4 BOTTOM

PERMIT NO. \_\_\_\_\_ DATE \_\_\_\_\_ 197\_\_ DRAWINGS \_\_\_\_\_  
 APPROVED BY THE BUILDING & ZONING DEPARTMENT CITY OF FORT  
 PIERCE SUBJECT TO CONFORMITY WITH ITS RULES AND REGULATIONS.  
*Frank Bogan*  
 DIRECTOR OF BUILDING & ZONING



4 UNIT APARTMENT BUILDING FOR MR. V. A. ANDERSON FT. PIERCE, FLA.	
TERRY & SCOTT, ARCHITECTS FT. PIERCE, FLA.	
DRAWN: JMS	SHEET:
SCALE: AS SHOWN	7 OF 17
DATE: AUG 8, 1972	



**SECOND FLOOR FRAMING PLAN** SCALE: 1/4" = 1'-0"

PRESTRESSED CONG. SLABS SHALL BE DESIGNED BY THE MANUFACTURER FOR THE FOLLOWING LOADS:

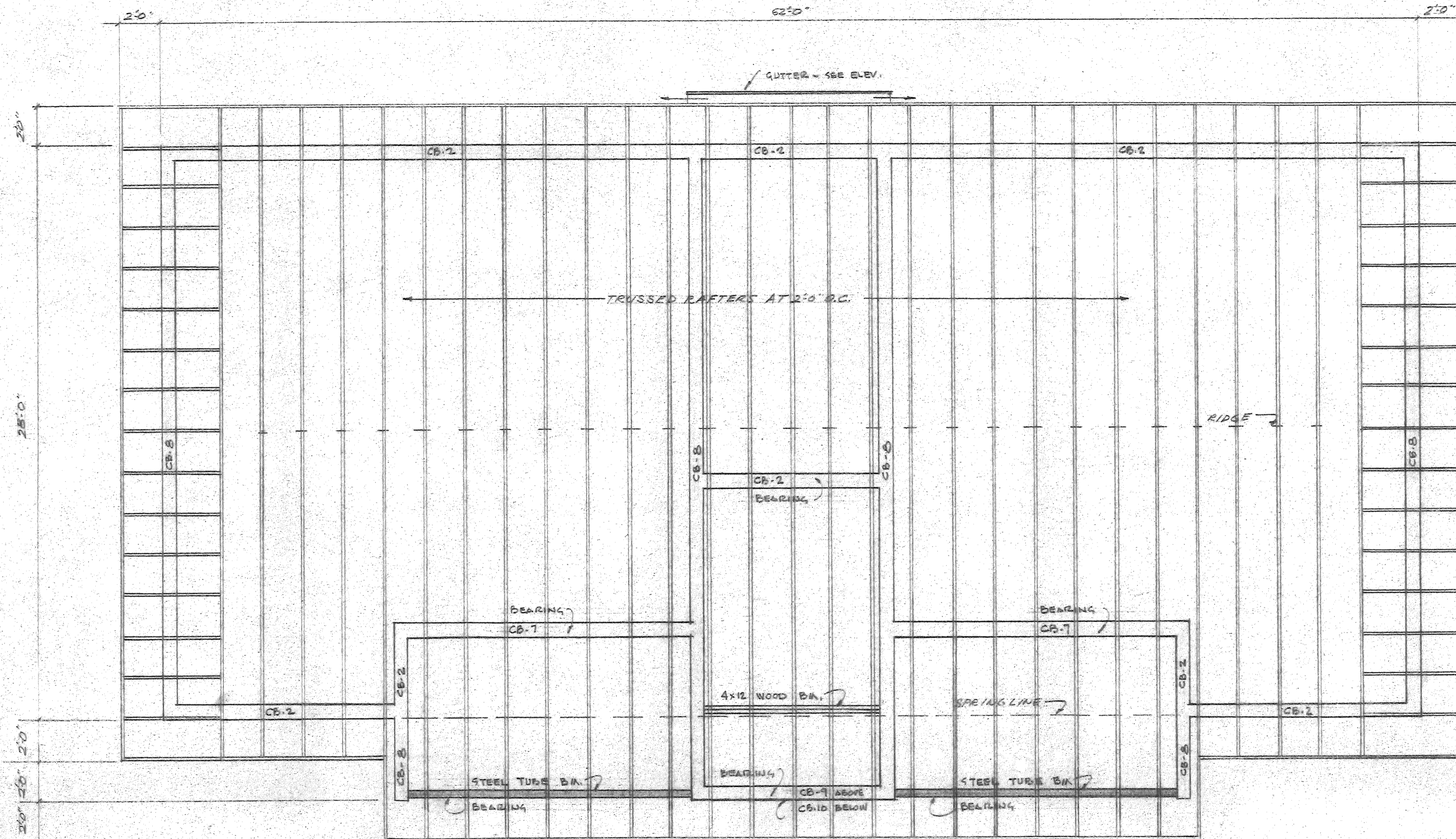
4" SLABS		7" SLABS	
100 #/ft <sup>2</sup>	LIVE LOAD	40 #/ft <sup>2</sup>	LIVE LOAD
25	TOPPING	25	TOPPING
50	SLAB WT. (ASSUMED)	50	SLAB WT. (ASSUMED)
		3	FIN. FLOOR
		2	CEILING
175 #/ft <sup>2</sup>	TOTAL LOAD	120 #/ft <sup>2</sup>	TOTAL LOAD

NOTE THAT SLABS MUST BE NOTCHED FOR POURED CONG. AND STEEL COLS.

PERMIT NO. \_\_\_\_\_ DATE \_\_\_\_\_ 197\_\_ DRAWINGS \_\_\_\_\_  
 APPROVED BY THE BUILDING & ZONING DEPARTMENT CITY OF FORT  
 PIERCE SUBJECT TO CONFORMITY WITH ITS RULES AND REGULATIONS.  
*Frank W. Pogan*  
 DIRECTOR OF BUILDING & ZONING



4 UNIT APARTMENT BUILDING FOR MR. W.A. ANDERSON FT. PIERCE, FLA.	
TERRY & SCOTT, ARCHITECTS FT. PIERCE, FLA.	
DRAWN: J.H.S.	SHEET
SCALE: AS SHOWN	8 OF 17
DATE: AUG. 6, 1972	



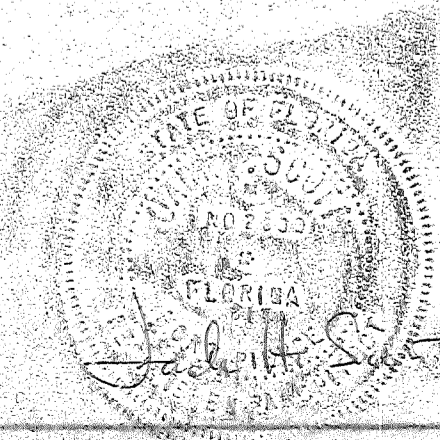
**ROOF FRAMING PLAN** SCALE: 1/4"=1'-0"

TRUSS RAFTERS SHALL BE DESIGNED BY THE MANUFACTURER FOR 25 LB./FD LINE LOAD PLUS ALL DEAD LOADS. SHOP DRAWINGS MUST BE PRESENTED TO THE ARCHITECT AND APPROVED PRIOR TO FABRICATION. ROOF PITCH - 3 1/2 - 12. TRUSS BEARING SHALL BE AT SPRING LINE WHEN POSSIBLE & AT OTHER POINTS AS INDICATED --

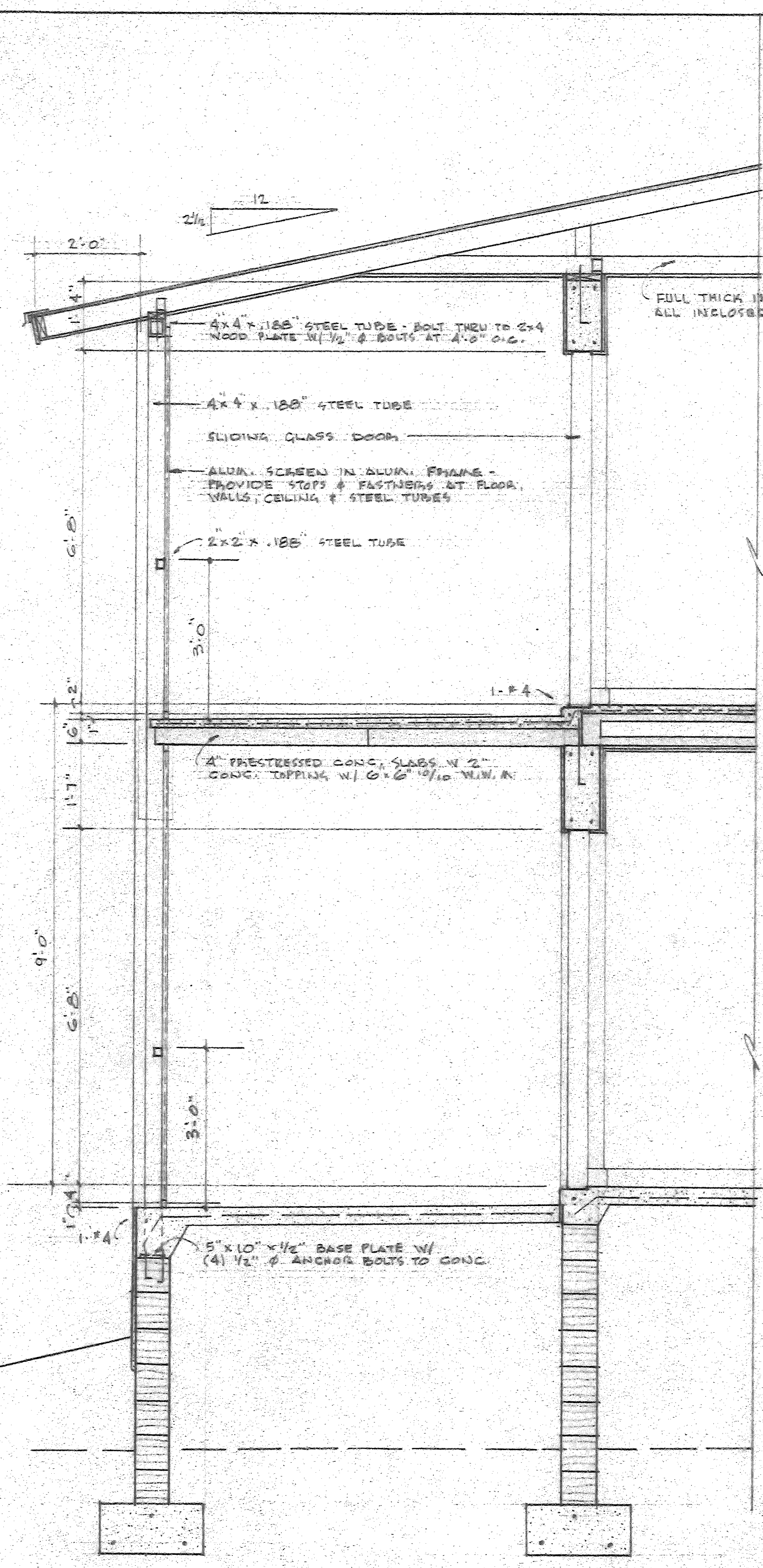
**CONCRETE BEAMS**

- CB-1 8' x 15" W/ 4-#5 BARS
- CB-2 8' x 12" W/ 4-#5 "
- CB-3 8' x 17 1/2" W/ 4-#6 "
- CB-4 8' x 19" W/ 4-#6 "
- CB-5 8' x 6 1/2" W/ 2-#5 BARS BOTTOM
- CB-6 8' x 17 1/2" W/ 4-#5 BARS
- CB-7 8' x 16" W/ 4-#5 BARS
- CB-8 8' x 12" MIN W/ 4-#5 BARS -- RAKE BEAM
- NOTE -- AT DOORS & WINDOWS DROP BOTTOM OF BEAM TO 6'-10" ABOVE FIN. FLOOR.
- CB-9 8' x 15 1/2" W/ 4-#5 BARS
- CB-10 8' x 16" H-BLOCK BEAM W/ (2) #7 BARS

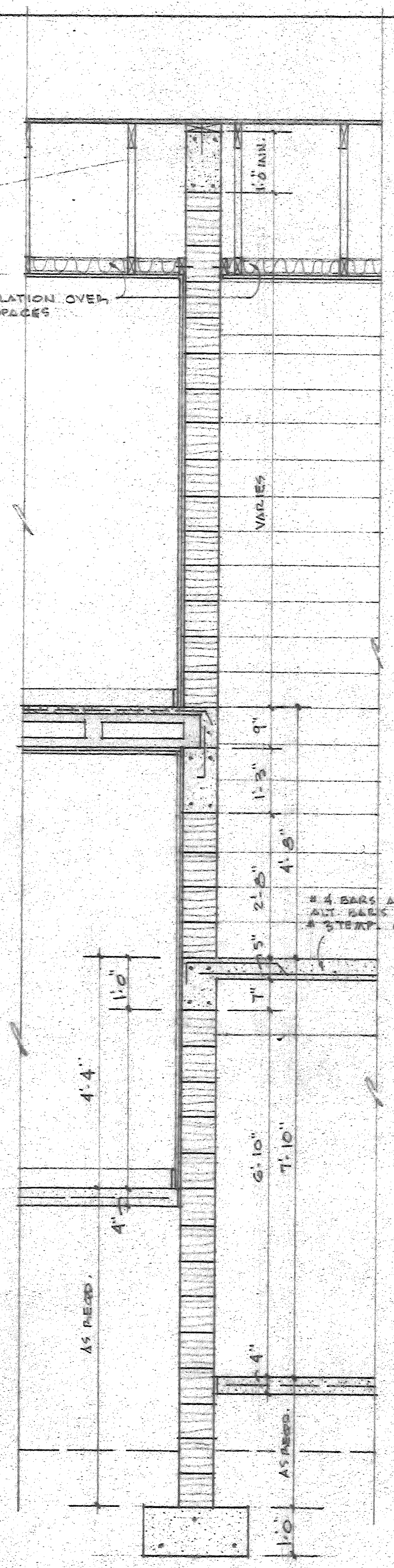
PERMIT NO. \_\_\_\_\_ DATE \_\_\_\_\_ 197\_\_ DRAWINGS \_\_\_\_\_  
 APPROVED BY THE BUILDING & ZONING DEPARTMENT CITY OF FORT  
 PIERCE SUBJECT TO CONFORMITY WITH ITS RULES AND REGULATIONS.  
*Frank W. Pogan*  
 DIRECTOR OF BUILDING & ZONING



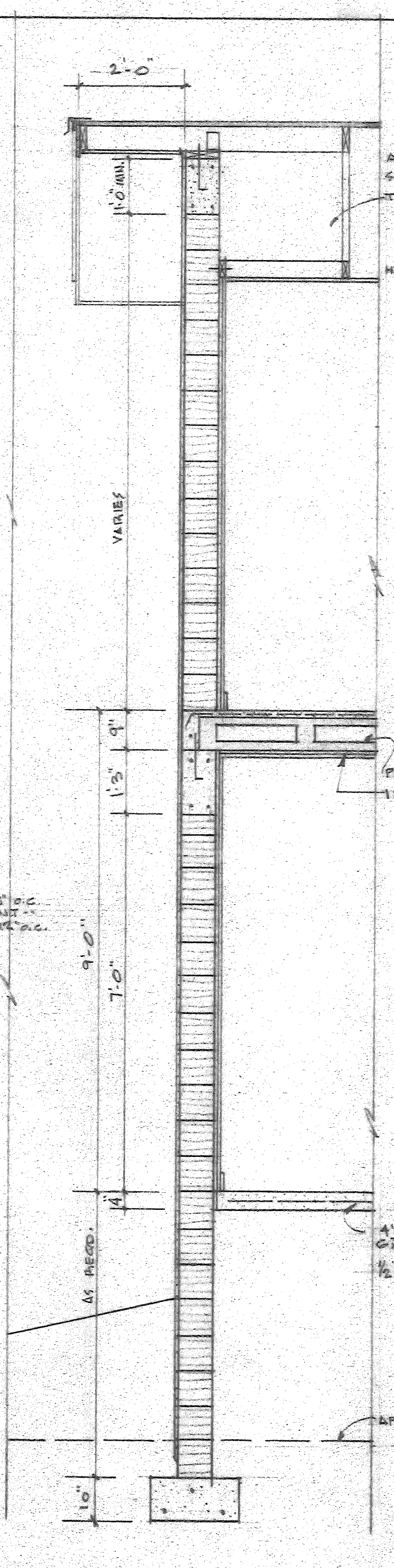
4 UNIT APARTMENT BUILDING FOR  
 MR. W. A. ANDERSON FT. PIERCE, FLA.  
 TERRY & SCOTT, ARCHITECTS  
 FT. PIERCE, FLA.  
 DRAWN: J.B.F. SHEET  
 SCALE: AS SHOWN 9 of 17  
 DATE: AUG. 8, 1972



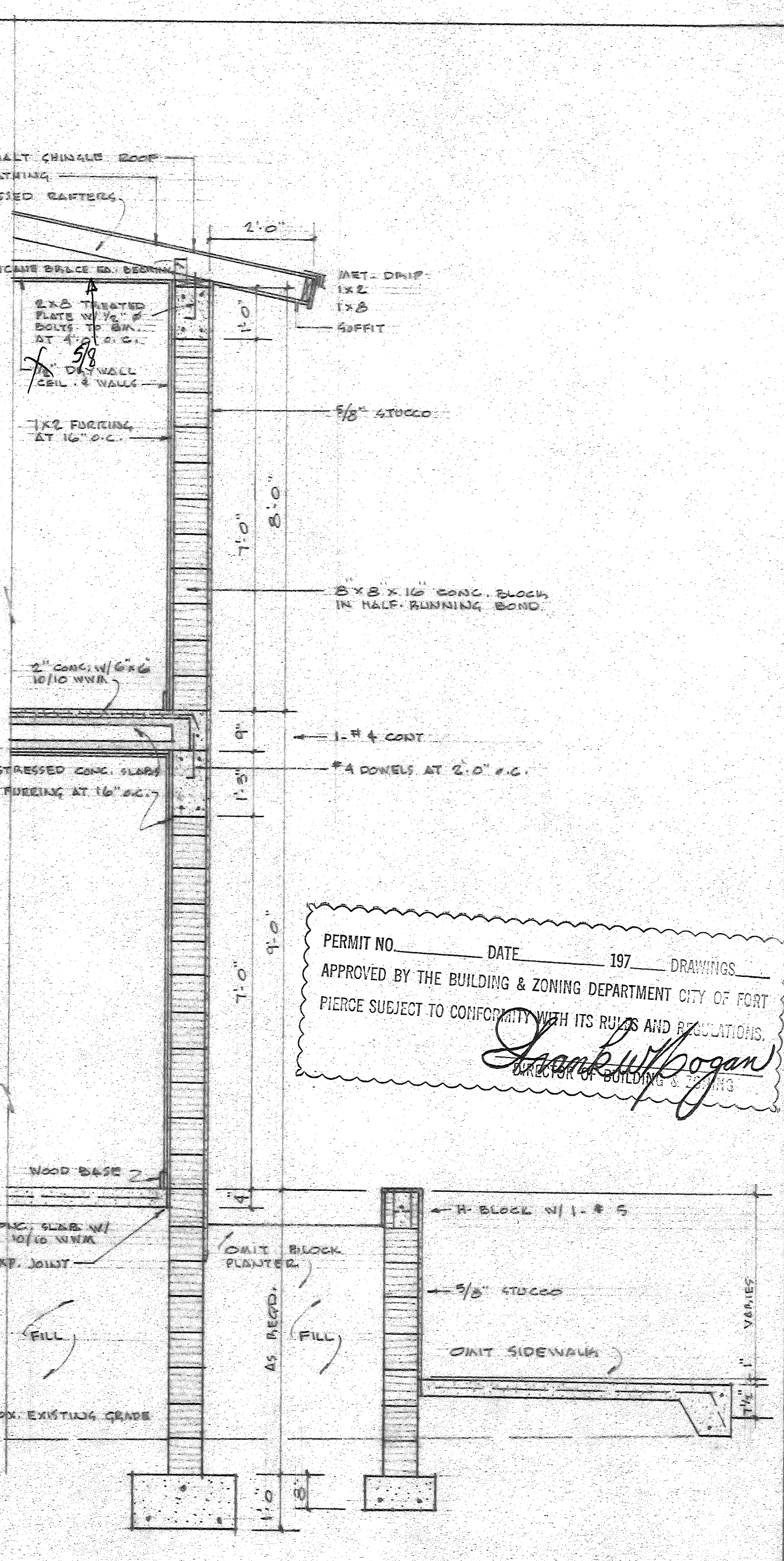
SECTION 1-1 SCALE: 1/2" = 1'-0"



SECTION 2-2 SCALE: 1/2" = 1'-0"



SECTION 3-3 SCALE: 1/2" = 1'-0"



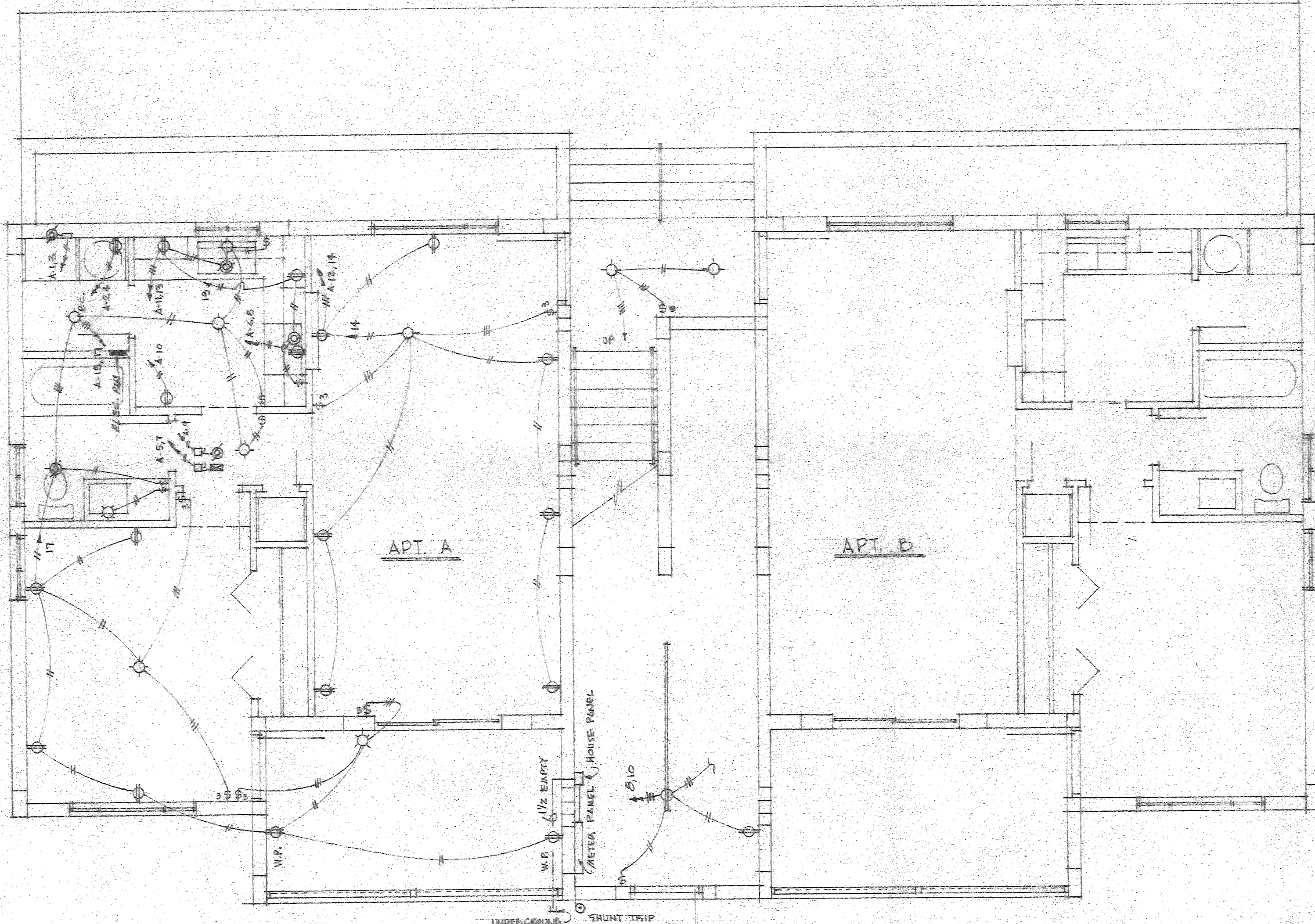
SECTION 4-4 SCALE: 1/2" = 1'-0"

PERMIT NO. \_\_\_\_\_ DATE \_\_\_\_\_ 197 \_\_\_\_\_ DRAWINGS \_\_\_\_\_  
 APPROVED BY THE BUILDING & ZONING DEPARTMENT CITY OF FORT  
 PIERCE SUBJECT TO CONFORMITY WITH ITS RULES AND REGULATIONS.  
*Frank W. Hogan*  
 DIRECTOR OF BUILDING & ZONING

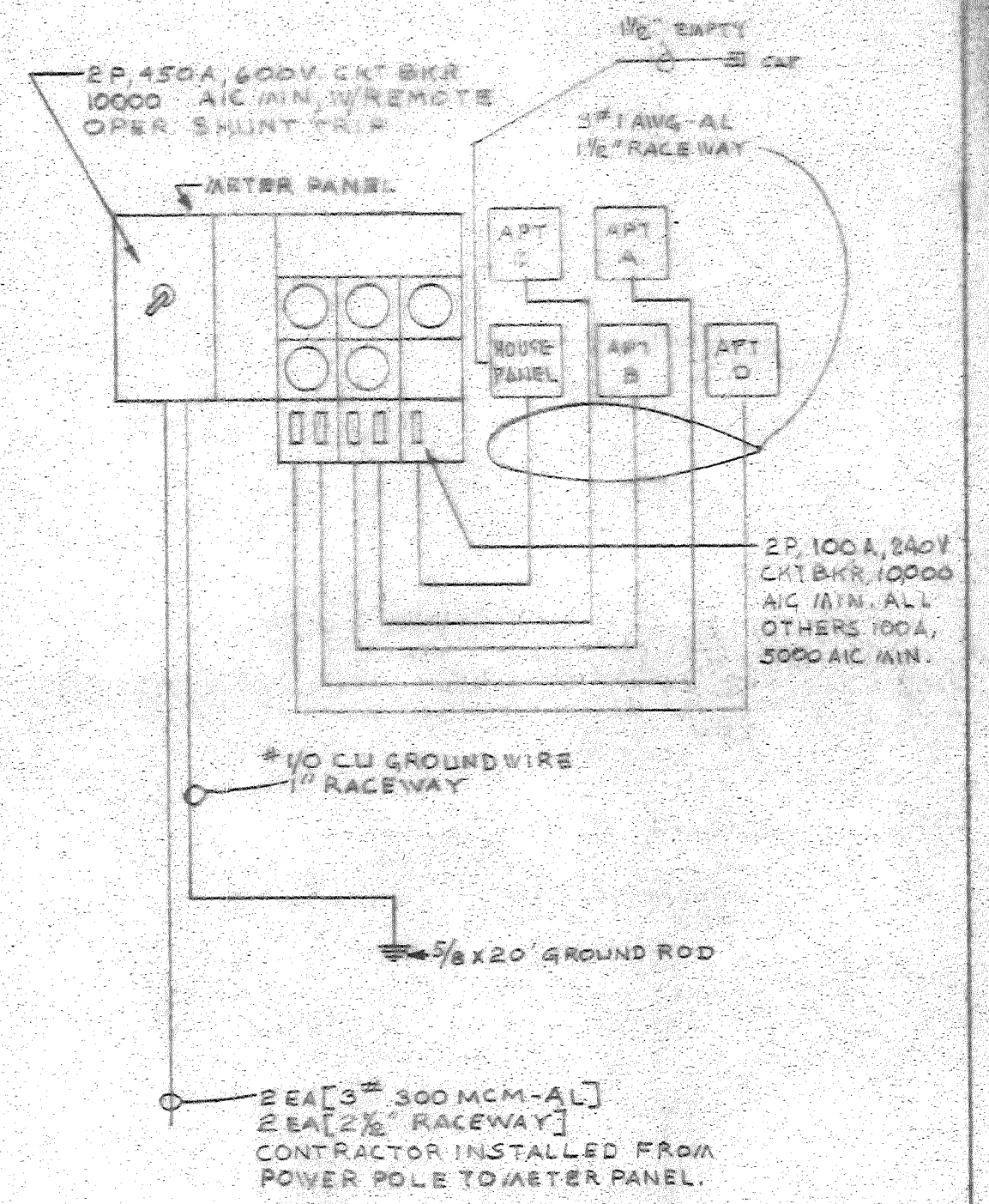


4 UNIT APARTMENT BUILDING FOR MR. W.A. ANDERSON FT. PIERCE, FLA.	
TERRY & SCOTT, ARCHITECTS FT. PIERCE, FLA.	
DRAWN: J.H.S.	SHEET
SCALE: AS SHOWN	10 OF 17
DATE: AUG. 6, 1972	





FIRST FLOOR ELECTRICAL PLAN SCALE: 1/4"=1'-0"



SINGLE LINE DIAGRAM

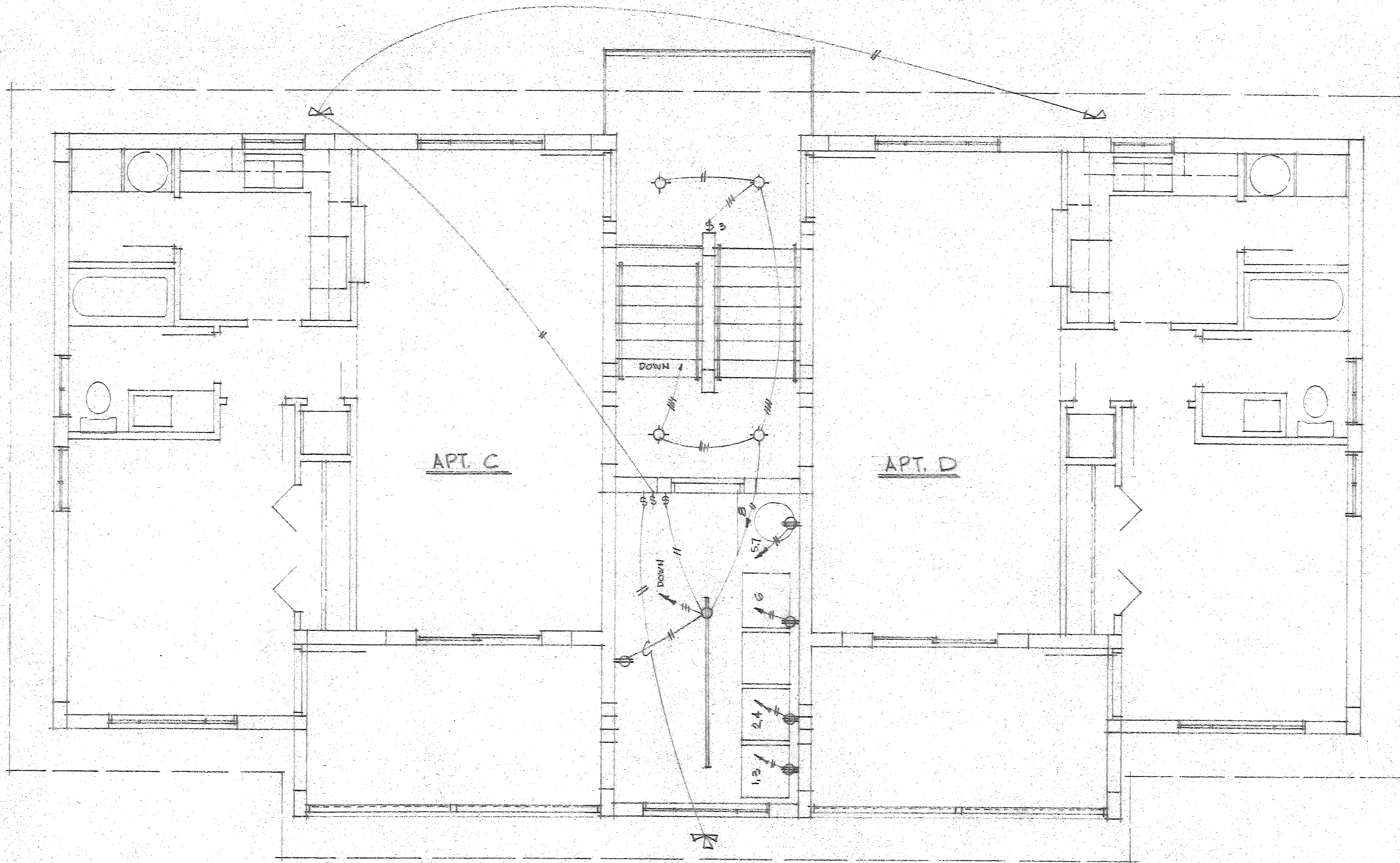
4 EACH APT. PANELS TO BE 120/240V, 100A, 1 φ ALD WITH: 1- 60/2, 3- 30/2 AND 3- 20/1 ACTIVE; 2- 20/1 SPACES AND 2- BLANK SPACES W/ FILLER PLATES ---  
 HOUSE PANEL TO BE 120/240V, 100A, 1 φ ALD WITH: 3- 30/2 AND 3- 20/1 ACTIVE; 3- 20/1 SPACES AND 2- SPACES W/ FILLER PLATES ---

*J. Teate*  
8-9-72

PERMIT NO. \_\_\_\_\_ DATE \_\_\_\_\_ 197 \_\_\_\_\_ DRAWINGS \_\_\_\_\_  
 APPROVED BY THE BUILDING & ZONING DEPARTMENT CITY OF FORT  
 PIERCE SUBJECT TO CONFORM WITH ITS POLS AND REGULATIONS  
*Frank W. Hogan*  
 DIRECTOR OF BUILDING & ZONING

	<b>BELEFANT ASSOCIATES</b>		Engineer: _____	4 UNIT APARTMENT BUILDING FOR MRS. W.A. ANDERSON FT. PIERCE, FLA.	
	CONSULTING ENGINEERS		Draft: <i>RT</i>		TERRY & SCOTT, ARCHITECTS FT. PIERCE, FLA.
	COCOA BEACH FLORIDA		Check: _____	DRAWN: <i>JWS</i>	
				SCALE: AS SHOWN	12 OF 17

DATE: AUG. 8, 1972

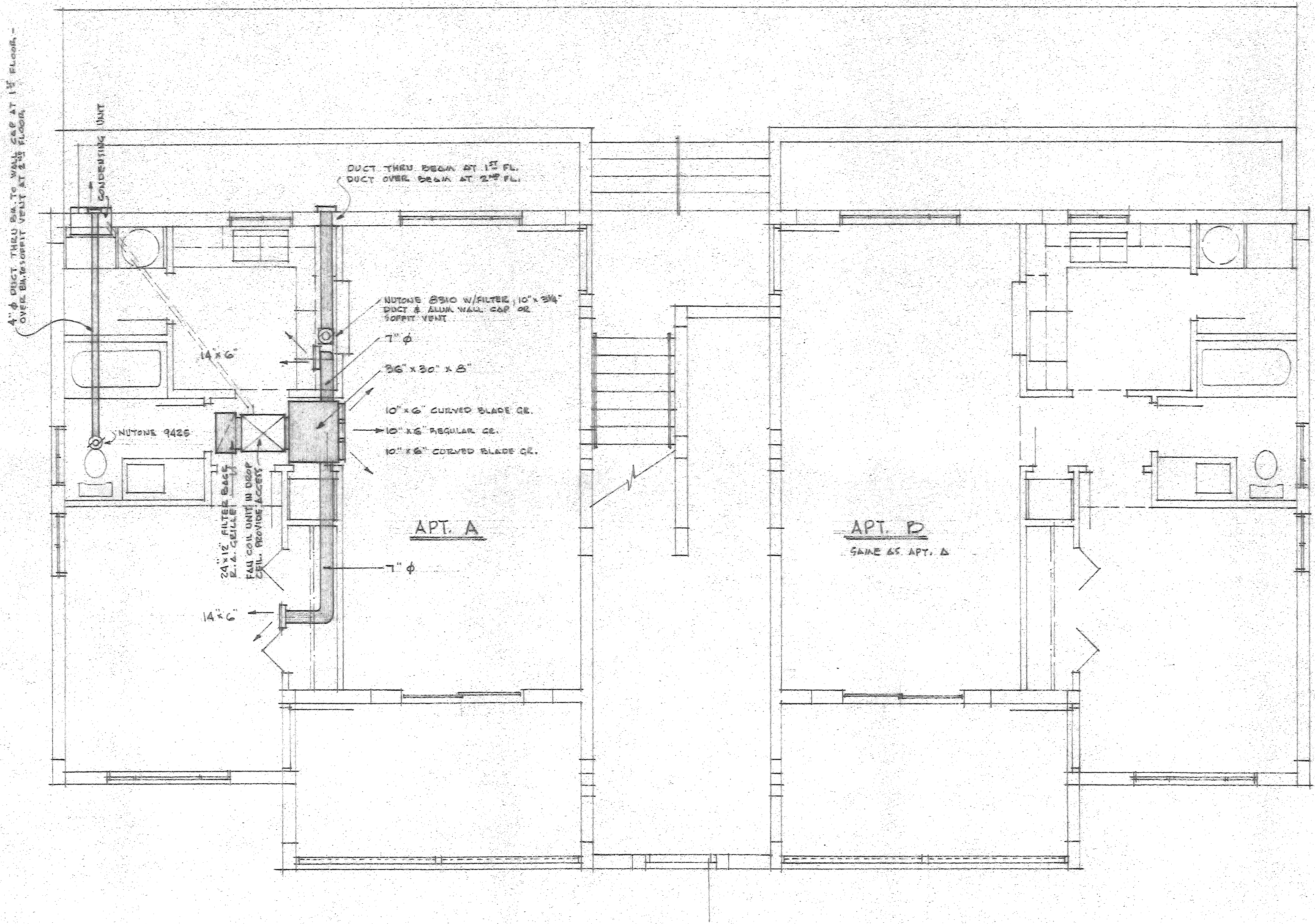


SECOND FLOOR ELECTRICAL PLAN SCALE 1/4" = 1'-0"

PERMIT NO. \_\_\_\_\_ DATE \_\_\_\_\_ 197 \_\_\_\_\_ DRAWINGS \_\_\_\_\_  
 APPROVED BY THE BUILDING & ZONING DEPARTMENT CITY OF FORT  
 PIERCE SUBJECT TO CONFORMITY WITH ITS RULES AND REGULATIONS.  
*Frank W. Pogan*  
 DIRECTOR OF BUILDING & ZONING

*[Signature]*  
**BELEFANT ASSOCIATES**  
 CONSULTING ENGINEERS  
 COCOA BEACH FLORIDA

Engineer. _____	4 UNIT APARTMENT BUILDING FOR MR. W. A. ANDERSON FT. PIERCE, FLA.
Draft. <i>at</i>	
Check _____	TERRY & SCOTT ARCHITECTS FT. PIERCE, FLA.
_____	DRAWN: JHS
_____	SCALE: AS SHOWN
7116	DATE: AUG. 8, 1972
	SHEET 13 OF 17

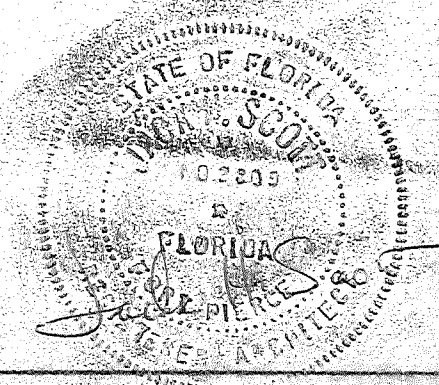


**FIRST FLOOR H.V.A.C. PLAN** SCALE: 1/4" = 1'-0"

A.C. EQUIPMENT REQD. EACH APARTMENT

LENNOX HSW2-211-FF	1/2 TON CONDENSING UNIT	14.5 AMPS AT 230 V 1 φ
LENNOX CBI-21-FF	1/2 TON FAN COIL UNIT	6.0 AMPS AT 115 V 1 φ
LENNOX ECB2-21-171	5 KW HEAT STRIP	20.0 AMPS AT 230 V 1 φ

PERMIT NO. \_\_\_\_\_ DATE \_\_\_\_\_ 197 \_\_\_\_\_ DRAWINGS \_\_\_\_\_  
 APPROVED BY THE BUILDING & ZONING DEPARTMENT CITY OF FORT  
 PIERCE SUBJECT TO CONFORMITY WITH ITS BUILDING REGULATIONS  
*Frank W. Boyer*  
 DIRECTOR OF BUILDING PERMITTING

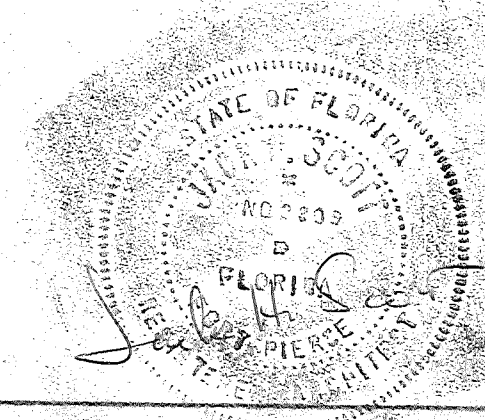


4 UNIT APARTMENT BUILDING FOR MR. W.A. ANDERSON FT. PIERCE, FLA.	
TERRY & SCOTT, ARCHITECTS FT. PIERCE, FLA.	
DRAWN: JHS	SHEET
SCALE: AS SHOWN	14 OF 17
DATE: AUG. 8, 1972	



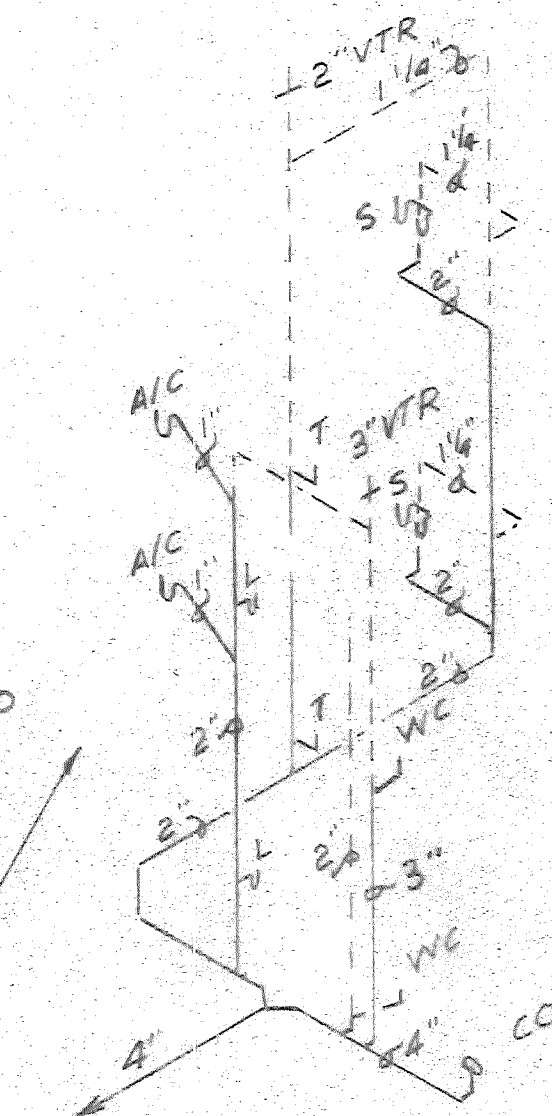
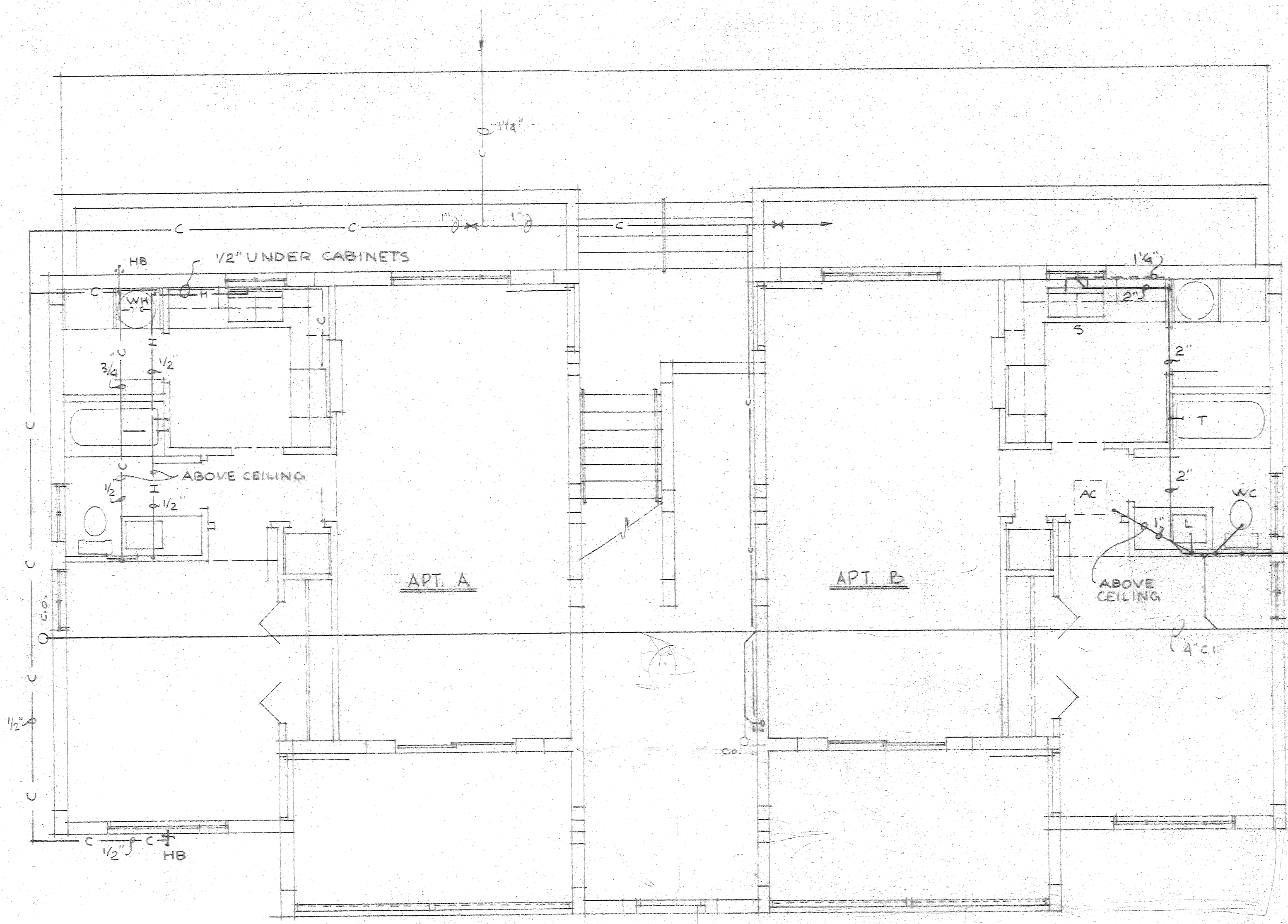
SECOND FLOOR, H.V.A.C. PLAN SCALE: 1/4" = 1'-0"

PERMIT NO. \_\_\_\_\_ DATE \_\_\_\_\_ 197 \_\_\_\_\_ DRAWINGS \_\_\_\_\_  
 APPROVED BY THE BUILDING & ZONING DEPARTMENT CITY OF FORT  
 PIERCE SUBJECT TO CONFORMITY WITH ITS RULES AND REGULATIONS  
*Frank W. Poyner*  
 DIRECTOR OF BUILDING & ZONING



4 UNIT APARTMENT BUILDING FOR MR. W. A. ANDERSON FT. PIERCE, FLA.	
TERRY & SCOTT ARCHITECTS FT. PIERCE, FLA.	
DRAWN: JWS	SHEET
SCALE: AS SHOWN	15 OF 17
DATE: AUG. 8, 1972	

PLEASE NOTE NEW CONNET SYSTEM.  
 Reply to: DEPT. OF PUBLIC WORKS  
 S. E. Subregion 5th Street  
 806 South 6th Street  
 Fort Pierce, Florida 33450  
 Tel. (305) 484-1853  
 THIS BUILDING WITH FIRE ALARM SYSTEM.



WASTE PIPING DIAGRAM  
 APT. B SHOWN - APT. A EC NTS  
 OPPOSITE HAND

- PIPING SPECIFICATIONS
- UNDERSLAB WATER - TYPE L COPPER - SILVER BRAZED JOINTS.
  - UNDERGROUND WATER SERVICE - SCHEDULE 40 PVC.
  - ABOVE SLAB WATER - TYPE L COPPER - 50-50 SOLDER JOINTS.
  - UNDERGROUND SEWER - VITREOUS CLAY TILE PIPE.
  - UNDERSLAB SEWER - COATED B'S CAST IRON LEADED JOINTS.
  - ABOVE SLAB WASTE EVENT TYPE DWV COPPER - SOLDER JOINTS.

TYP. WATER PIPING

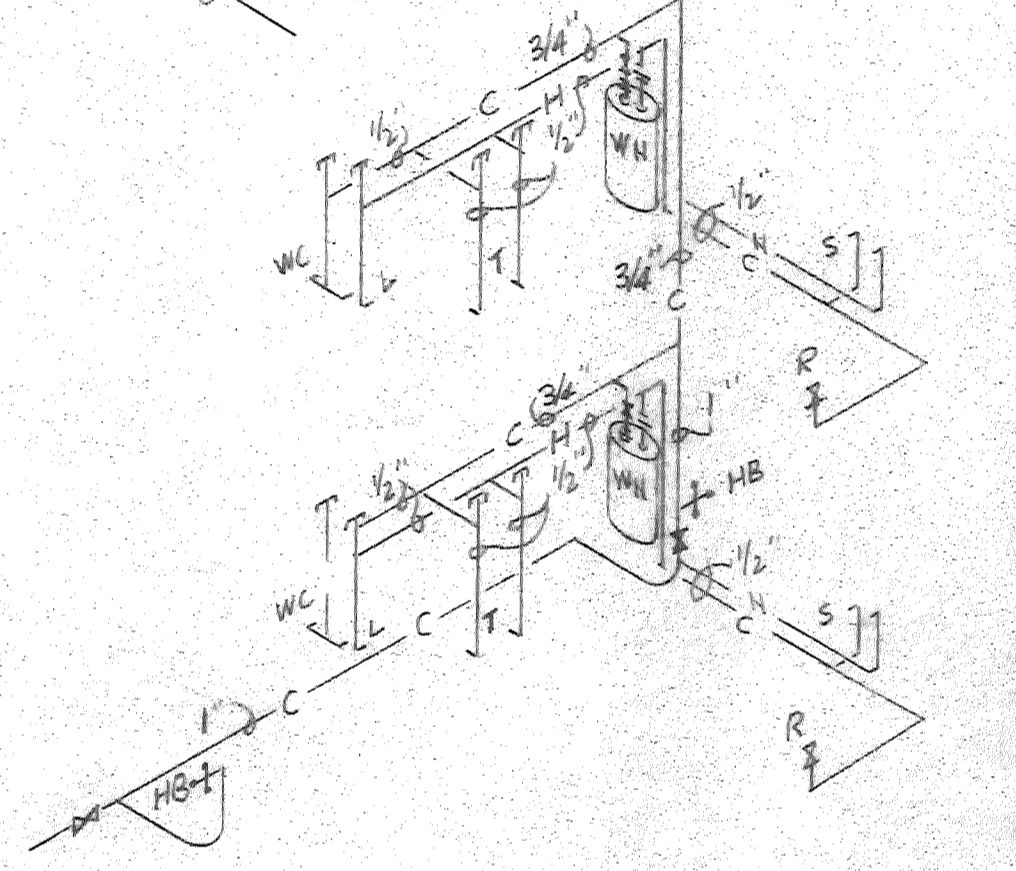
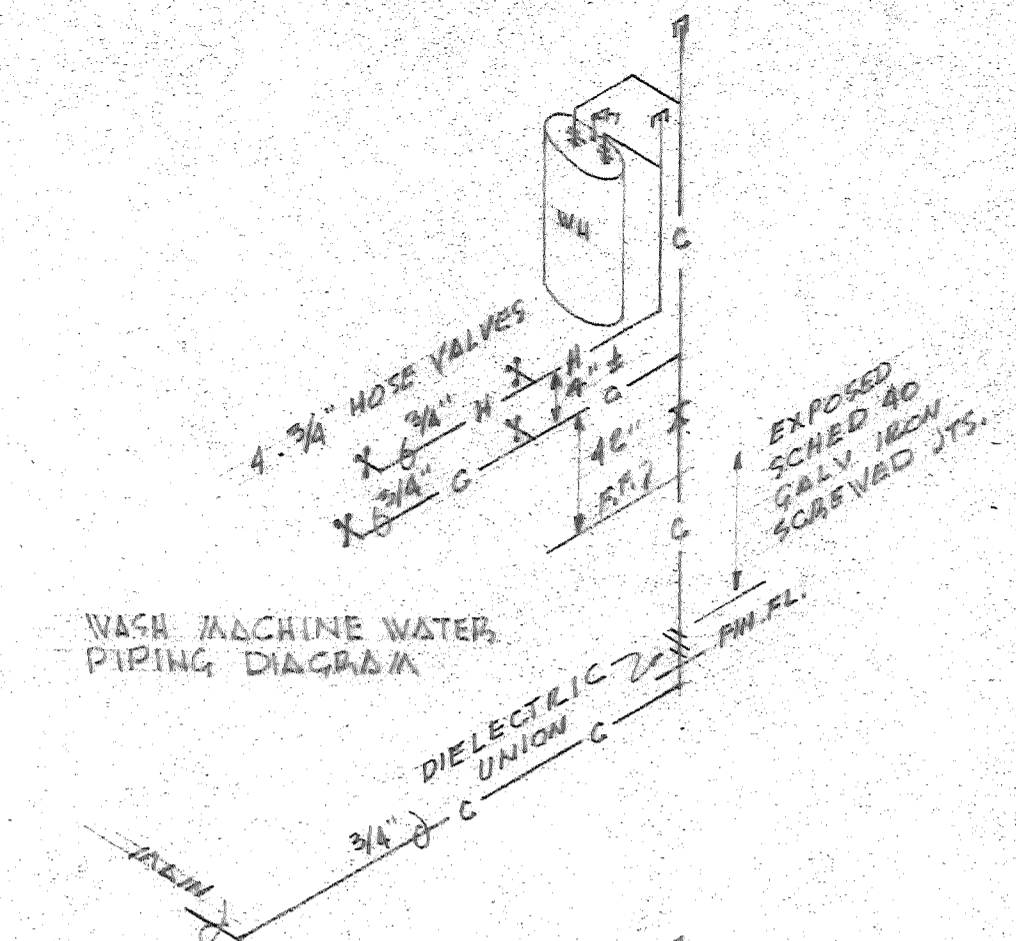
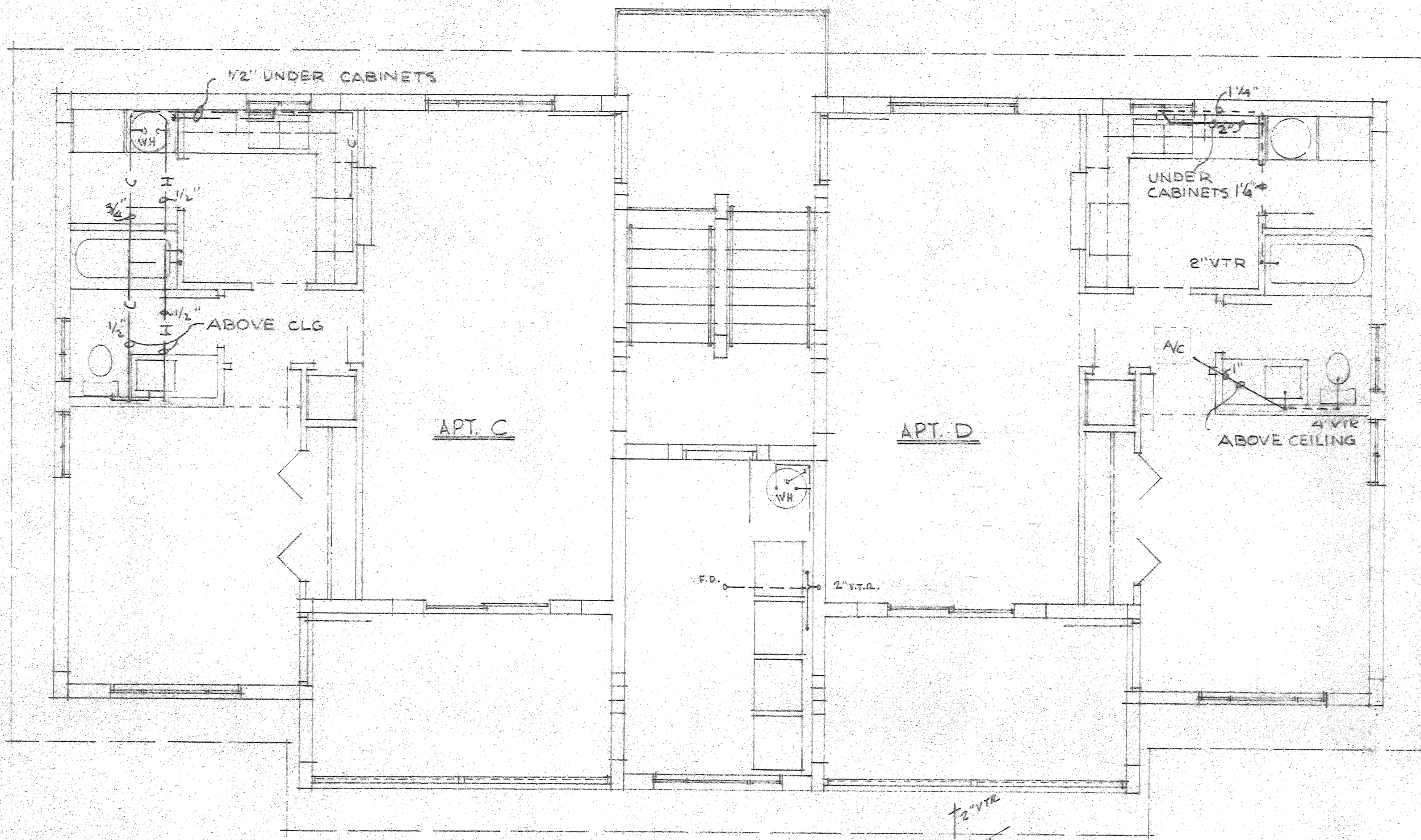
TYP. WASTE PIPING

FIRST FLOOR PLUMBING PLAN SCALE: 1/4" = 1'-0"

PERMIT NO. \_\_\_\_\_ DATE \_\_\_\_\_ 197 \_\_\_\_\_ DRAWINGS \_\_\_\_\_  
 APPROVED BY THE BUILDING & ZONING DEPARTMENT CITY OF FORT PIERCE SUBJECT TO CONFORMITY WITH ITS RULES AND REGULATIONS.  
*Frank W. Pagan*  
 DIRECTOR OF BUILDING & ZONING

**BELEFANT ASSOCIATES**  
 CONSULTING ENGINEERS  
 COCOA BEACH FLORIDA

Engineer. <i>W.A.</i>	4 UNIT APARTMENT BUILDING FOR	
Draft.	MR. W.A. ANDERSON FT. PIERCE, FLA.	
Check.	TERRY & SCOTT, ARCHITECTS	
	FT. PIERCE, FLA.	
	DRAWN: JMS	SHEET
	SCALE: AS SHOWN	16 of 17
7116	DATE: AUG. 2, 1972	

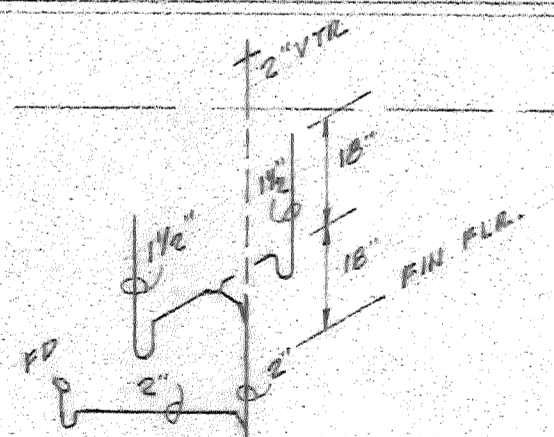


TYP. WATER PIPING

TYP. WASTE PIPING

SECOND FLOOR PLUMBING PLAN SCALE: 1/4"=1'-0"

2000 2000 018 10/35



WASH MACHINE DRAIN DIAGRAM

PERMIT NO. \_\_\_\_\_ DATE \_\_\_\_\_ 197 \_\_\_\_\_ DRAWINGS  
 APPROVED BY THE BUILDING & ZONING DEPARTMENT CITY OF FORT  
 PIERCE SUBJECT TO CONFORMANCE WITH ITS RULES AND REGULATIONS.  
*Frank W. Hogan*  
 DIRECTOR OF BUILDING & ZONING

**BELEFANT ASSOCIATES**  
 CONSULTING ENGINEERS  
 COCOA BEACH FLORIDA

Engineer. <i>HN</i>	4 UNIT APARTMENT BUILDING FOR MR. W.A. ANDERSON FT. PIERCE, FLA.	
Draft. _____	TERRY & SCOTT, ARCHITECTS FT. PIERCE, FLA.	
Check. _____		
_____	DRAWN BY JES	SHEET
7116	SCALE: AS SHOWN	17 OF 17
	DATE: AUG. 5, 1972	

Wm. A. Anderson  
1144 So. Ocean Dr.  
# 22760

2401 810 ~~0006~~ ~~0006~~  
C

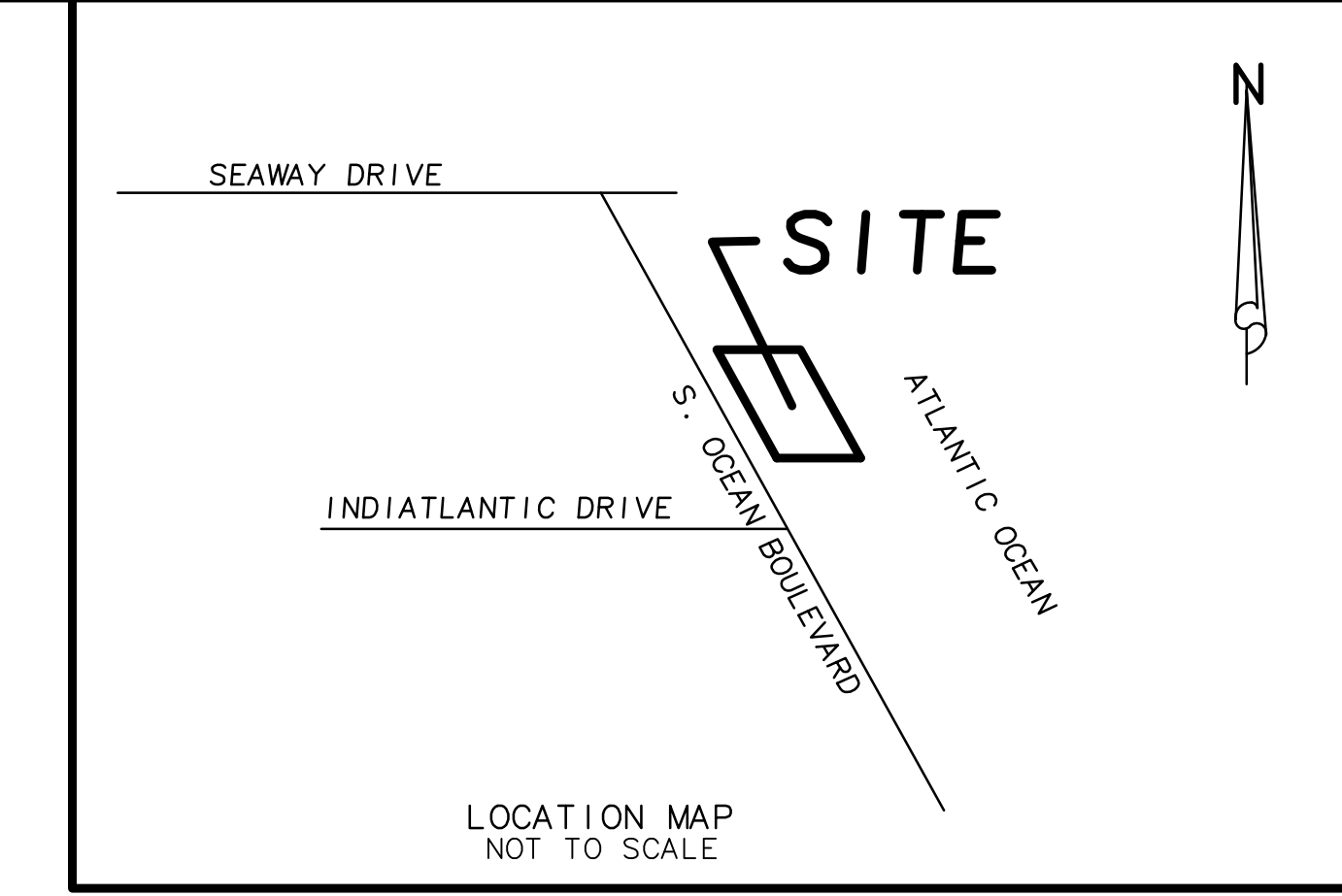
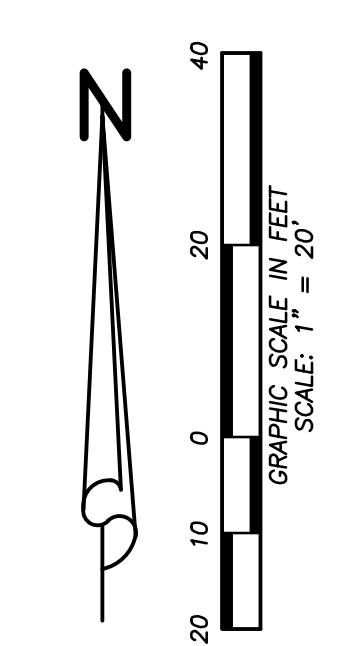
#22760

1144 So. Ocean Dr

(Lloyd Taylor)

22760

1144 So. Ocean



**LEGAL DESCRIPTION:**  
 LOT 6 IN BLOCK 1, OF TROPICAL BEACH, A SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 9, PAGE 26, THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, LESS AND EXCEPTING THAT PORTION LYING EAST OF A LINE AS DESIGNATED IN OFFICIAL RECORD BOOK 172, PAGE 439, AND OFFICIAL RECORD BOOK 175, PAGE 498, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.  
 CONTAINING: 11,871 SQUARE FEET OR 0.273 ACRES MORE OR LESS.

- SURVEY REPORT:**
- THIS IS A BOUNDARY SURVEY AS DEFINED IN CHAPTER 5J-17.050(11), STANDARDS OF PRACTICE.
  - SURVEY BASED ON THE PLAT OF TROPICAL BEACH AS RECORDED IN PLAT BOOK 9, PAGE 26, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.
  - LEGAL DESCRIPTION WAS FURNISHED BY CLIENT.
  - BEARING BASIS: A "GRID NORTH" BEARING OF N19°07'19"W ALONG THE EAST R/W LINE OF S OCEAN DR.
  - THIS BOUNDARY SURVEY WAS PERFORMED FOR THE PURPOSE OF FUTURE CONSTRUCTION AS SHOWN AND DEPICTED HEREON. I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS IS A TRUE, ACCURATE AND COMPLETE DEPICTION OF A FIELD SURVEY PERFORMED UNDER MY DIRECTION AND COMPLETED ON MAY 21, 2025. I FURTHER CERTIFY THAT SAID DRAWING IS IN COMPLIANCE WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027, FLORIDA STATUTES.
  - UNDERGROUND IMPROVEMENTS, UNDERGROUND ENCROACHMENTS, FOUNDATIONS AND/OR UTILITIES IF EXISTING WERE NOT LOCATED AS A PART OF THIS SURVEY.
  - THIS SITE LIES WITHIN FLOOD ZONES "X" AND "VE", ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 12111C0183 K, EFFECTIVE DATE 2-19-20. BASE FLOOD ELEVATION = 8.0
  - FLOOD ZONE SHOWN HEREON IS AN INTERPRETATION BY THE SURVEYOR AND IS PROVIDED AS A COURTESY. THE FLOOD ZONE SHOULD BE VERIFIED BY A DETERMINATION AGENCY.
  - THERE MAY BE ADDITIONAL EASEMENTS AND/OR RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF ST. LUCIE COUNTY. NO SEARCH OF THE PUBLIC RECORDS HAS BEEN PERFORMED BY ALEXANDER J. PIAZZA PSM, INC.
  - THE SUBJECT PROPERTY FALLS WITHIN THE SUBURBAN CATEGORY AS CLASSIFIED IN CHAPTER 5J-17.051 (2), FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027, FLORIDA STATUTES. ALL FIELD CONTROL MEASUREMENTS EXCEEDED 1:7,500 FEET ACCURACY REQUIREMENTS FOR THIS CLASSIFICATION. ALL SURVEY MEASUREMENTS ARE IN ACCORDANCE WITH THE UNITED STATES STANDARD IN FEET.
  - ALL MAPPED FEATURES SHOWN HEREON ARE UNDER THE DIRECT SUPERVISION AND RESPONSIBILITY OF ALEXANDER J. PIAZZA PSM, INC.
  - SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
  - ADDITIONS OR DELETIONS TO THE SURVEY MAP OR REPORT BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
  - THE BEARINGS SHOWN HEREON ARE RELATIVE TO THE STATE PLANE COORDINATE SYSTEM OF THE NORTH AMERICAN DATUM OF 1983 (2007 ADJUSTMENT) AND THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 AND ARE REFERENCED TO THE LENEGMANN OF FLORIDA'S L-NET GPS NETWORK DEVELOPED WHICH MEETS OR EXCEEDS THE FEDERAL GEODETIC CONTROL COMMITTEE (FGCC) GUIDELINES FOR "GEOMETRIC GEODETIC ACCURACY STANDARDS AND SPECIFICATIONS FOR USING GPS RELATIVE POSITIONING TECHNIQUES" AS WELL AS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS IN CHAPTER 5J-17.051 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO CHAPTER 472.027 FLORIDA STATUTES. ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 AND BENCHMARKS SET OR FOUND FOR THIS SURVEY ARE NOTED ON THE SKETCH.
  - THIS SURVEY IS PREPARED ONLY FOR THE PARTIES LISTED BELOW AND IS NOT ASSIGNABLE. CERTIFIED TO: DOUGLAS HIXSON
  - © COPYRIGHT 2025 BY ALEXANDER J. PIAZZA PSM, INC. THE SKETCH OF SURVEY AND SURVEY REPORT COMPRISE THE COMPLETE SURVEY. THIS SURVEY IS NOT VALID UNLESS THE SKETCH AND REPORT ACCOMPANY EACH OTHER. REPRODUCTIONS OF THIS SURVEY ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER EMPLOYED BY ALEXANDER J. PIAZZA PSM, INC.

ALEXANDER J. PIAZZA PSM, INC.

LAST DATE OF DATA ACQUISITION: 5-21-25  
 DATE OF SURVEY: 5-23-25



1144 S. OCEAN DRIVE

**BOUNDRY & TOPOGRAPHIC SURVEY**  
 LOT 6  
 TROPICAL BEACH (PB 9, PG 26)  
 AS PREPARED FOR  
**DOUGLAS HIXSON**

CAD	K:\BUILDERS\DWG2025\25-3291.DWG		
REF	K:\BUILDERS\DWG2014\14-1809.DWG		
FLD	MS/DG	FB	PG.
OFF	AJP		JOB 25-3291
CKD	AJP	SHEET 1 OF 1	DATE 5-23-25
			DWG D-1229

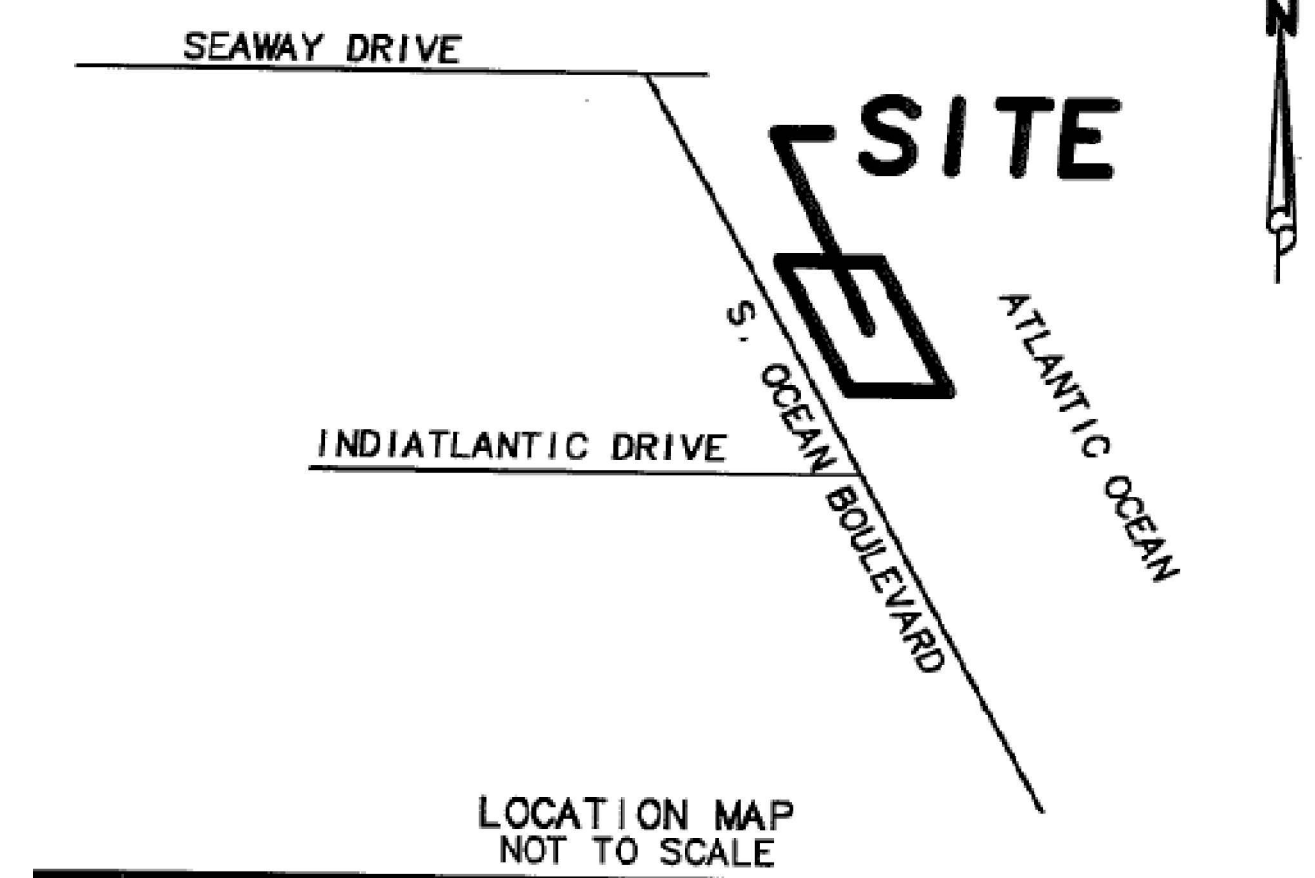
**ALEXANDER J. PIAZZA PSM, INC.**  
 Surveying • Mapping • Consulting  
 619 SW Biltmore Street  
 Port St. Lucie, Florida 34983  
 Phone: (772) 340-7770  
 Fax: (772) 340-2250

**LB#7280**

DATE:	REVISIONS:	BY:

- SYMBOLS:**
- ⊥ = GUY WIRE ANCHOR
  - ⊞ = CABLE TELEVISION BOX
  - ⊞ = CATCH BASIN
  - ⊞ = CATCH BASIN INLET
  - ⊞ = CLEANOUT
  - ⊞ = ELECTRIC BOX
  - ⊞ = TELEPHONE BOX
  - ⊞ = SIGN
  - ⊞ = SANITARY MANHOLE
  - ⊞ = STORM MANHOLE
  - ⊞ = NUMBER OF PARKING SPACES
  - ⊞ = FIRE HYDRANT
  - ⊞ = LIGHT POLE
  - ⊞ = CONCRETE POWER POLE
  - ⊞ = BACKFLOW PREVENTOR
  - ⊞ = MAIL BOX
  - ⊞ = IRRIGATION VALVE
  - ⊞ = GAS VALVE
  - ⊞ = SEWER VALVE
  - ⊞ = WATER VALVE
  - ⊞ = WELL
  - ⊞ = WATER METER
  - ⊞ = WOOD POWER POLE
  - = SET 5/8" IRON ROD WITH PLASTIC CAP PSM#6330

- ABBREVIATIONS:**
- (C) = CALCULATED
  - CBS = CONCRETE BLOCK STRUCTURE
  - CMB = COMMISSIONER'S MINUTES BOOK
  - CONC = CONCRETE
  - CLF = CHAIN LINK FENCE
  - (D) = DEED
  - DE = DRAINAGE EASEMENT
  - DEP = DEPARTMENT OF ENVIRONMENTAL PROTECTION
  - DB = DEED BOOK
  - FFE = FINISHED FLOOR ELEVATION
  - FND = FOUND
  - FPL = FLORIDA POWER & LIGHT
  - INV = INVERT
  - IP = 3/4" IRON PIPE
  - IR = 5/8" IRON REBAR "NO IDENTIFICATION"
  - IRC = IRON ROD WITH PLASTIC CAP
  - LB = LICENSE BUSINESS
  - LS = LICENSE SURVEY
  - (M) = MEASURED
  - MON = MONUMENT
  - ORB = OFFICIAL RECORD BOOK
  - (P) = PLAT
  - PB = PLAT BOOK
  - PG = PAGE
  - PCOR = PROPERTY CORNER
  - PL = PROPERTY LINE
  - POB = POINT OF BEGINNING
  - POC = POINT OF COMMENCEMENT
  - PRM = PERMANENT REFERENCE MONUMENT
  - R/W = RIGHT-OF-WAY
  - RCP = REINFORCED CONCRETE PIPE
  - RGE = RANGE
  - SEC = SECTION
  - TWP = TOWNSHIP
  - UE = UTILITY EASEMENT
  - PUDE = PUBLIC UTILITY & DRAINAGE EASEMENT
  - R = RADIUS OF CURVE
  - L = LENGTH OF CURVE
  - Δ = DELTA OF CURVE



PROJECT DESIGN DATA	
JURISDICTION	CITY OF FORT PIERCE
CODE	FBC 2023 8th Edition, FBCR 2023 8th Edition
PROJECT NAME	1144 S Ocean Dr, Fort Pierce, FL 34949
PROJECT ADDRESS	1145 S Ocean Dr, Fort Pierce, FL 34949
RISK CATEGORY	II
WIND SPEED ASCE 7-16 (3 Sec Gust)	170 MPH
ASD	131 MPH
EXPOSURE	D
MEAN BUILDING HEIGHT	<35'-0"

**EXISTING Key Property Data**  
 Lot Size: 0.29 Acres (12,632 SF)  
 Finished Area (Under Air): 3,648 SF  
 Gross Sketched Area: 4,368 SF  
 Building Type: Multi-Family (4 units)  
 Construction Type: Concrete Block Stucco (CB Stucco)  
 Year Built: 1973  
 Stories (Existing): 2 Stories  
 Roof Structure: Mansard, Fiberglass Shingles  
 Wind Speed Requirement: 160-170 mph (Hurricane Zone)  
 Zoning & Building Code Parameters  
 Maximum Building Height (R-4A): 45 feet above grade  
 Permitted Density (Base): 8 units per acre  
 Bonus Density (if qualified): Up to 9 units per acre with approved landscaping/environmental upgrades  
 Front Yard Setback: 25 feet (10 feet for townhome developments)  
 Side Yard Setback (Standard): 6 feet (10 feet for multifamily developments)  
 Side Yard Setback (Corner Lot): 15 feet  
 Rear Yard Setback (Standard): 15-20 feet based on use  
 Lot Coverage Maximum (Base Building): 40% (50% for townhome, 45% for multifamily)

**PRELIMINARY DESIGN NOTES**  
 PROJECT ADDRESS: 1144 S OCEAN DRIVE, FORT PIERCE, FL 34949  
 PARCEL ID: 2401-810-0006-000-6  
 ZONING: R-4A HUTCHINSON ISLAND MEDIUM DENSITY RESIDENTIAL

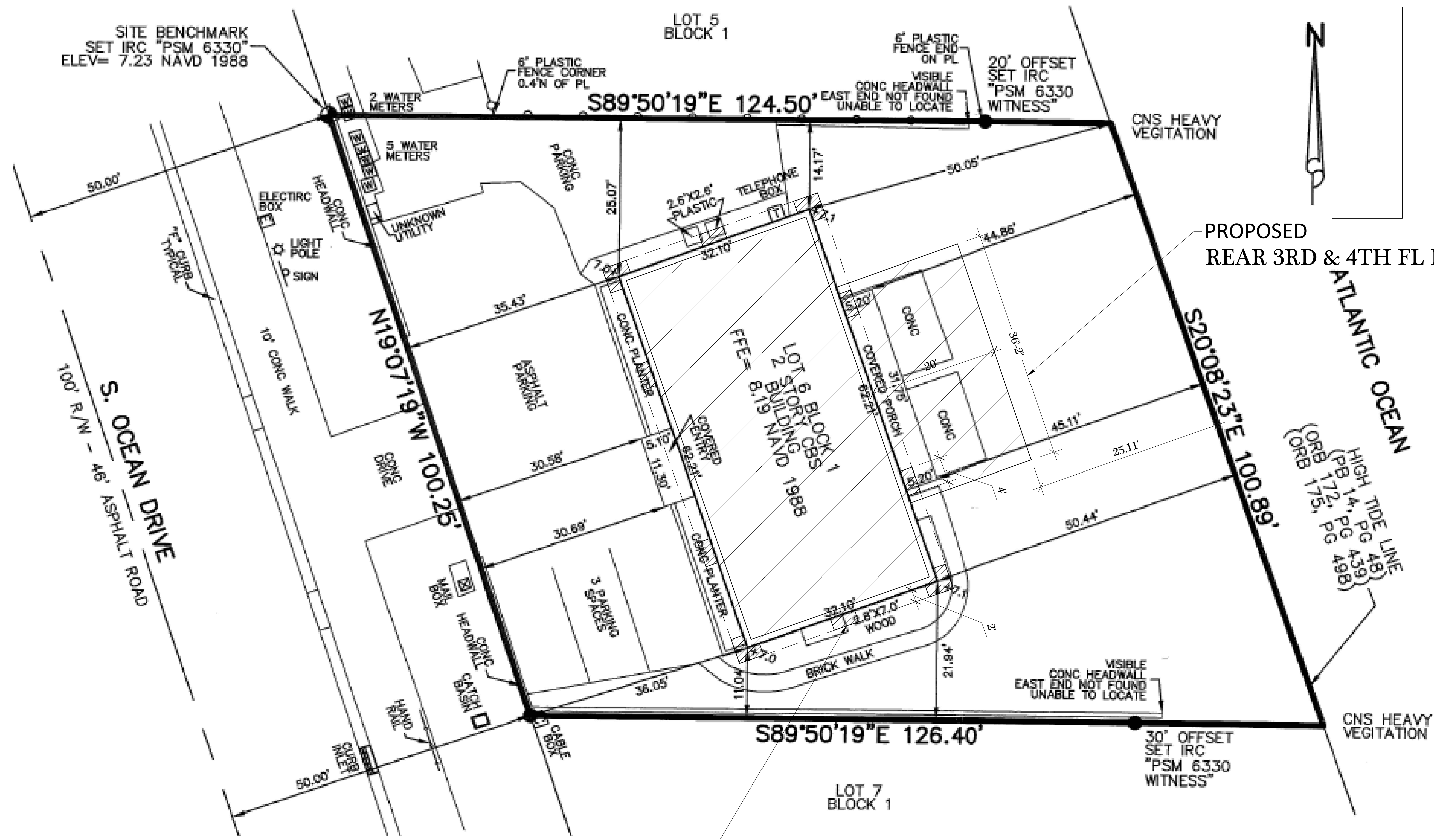
**PROJECT SUMMARY:**  
 PROPOSED ADDITION OF 3RD AND 4TH FLOORS ABOVE EXISTING 2-STORY STRUCTURE. INDEPENDENT STRUCTURAL EXOSKELETON SYSTEM TO SUPPORT NEW FLOORS — NOT RELYING ON EXISTING BUILDING FOR STRUCTURAL LOADS. 3RD. & 4TH. FL. SUNROOM W/ 4TH FL SWIM SPA EXTENDING 20' TOWARD THE OCEAN. FIRST-FLOOR GARAGE TO BE FLOOD-COMPLIANT WITH BREAKAWAY WALLS AND FLOOD VENTS. ADA-COMPLIANT ELEVATOR FOR ACCESS TO ALL FLOORS. ARCHITECTURAL STYLE INSPIRED BY FRANK LLOYD WRIGHT'S USONIAN DESIGNS — MODERN, NATURAL MATERIALS, CLEAN LINES.

**DESIGN CONSIDERATIONS FOR CITY REVIEW:**  
 MAX BUILDING HEIGHT COMPLIANCE: 45 FEET TOTAL HEIGHT INCLUDING ROOFTOP FEATURES. FLOOD ZONE COMPLIANCE (FEMA): FIRST FLOOR NON-HABITABLE WITH BREAKAWAY WALLS. COASTAL CONSTRUCTION CONTROL LINE (CCCL): REAR EXTENSION IMPACT ON SETBACKS AND COASTAL PERMITTING. FIRE AND LIFE SAFETY: SPRINKLERS, EGRESS, RATED STAIRWELLS, ADA ELEVATOR.

**CONSTRUCTION PHASING:** EXISTING 2ND FLOOR TO REMAIN OCCUPIED DURING CONSTRUCTION.

**UTILITY COORDINATION:** REVIEW OVERHEAD/UNDERGROUND UTILITIES AFFECTING CONSTRUCTION.

**PURPOSE OF PRELIMINARY SUBMISSION:**  
 CONFIRM HEIGHT, SETBACKS, AND STRUCTURAL APPROACH. REVIEW FLOOD AND COASTAL COMPLIANCE. DISCUSS FIRE SAFETY AND ADA REQUIREMENTS. RECEIVE FEEDBACK ON CANTILEVERED SUNROOM/SWIM SPA CONCEPT. CLARIFY PERMIT AND REVIEW PROCESS WITH CITY AND ALL DEP.



**INDEPENDENT STRUCTURAL EXOSKELETON SYSTEM TO SUPPORT NEW FLOORS**

REVISIONS	BY
03	RAT
00	RAT

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411@cadcondesign.com  
www.CadConDesign.com  
Fort Pierce & Stuart, FL (772) 408-8175

DRAWING SERVICES

DATE 03/00

SCALE

DRAWN 03/00

JOB

SHEET 00

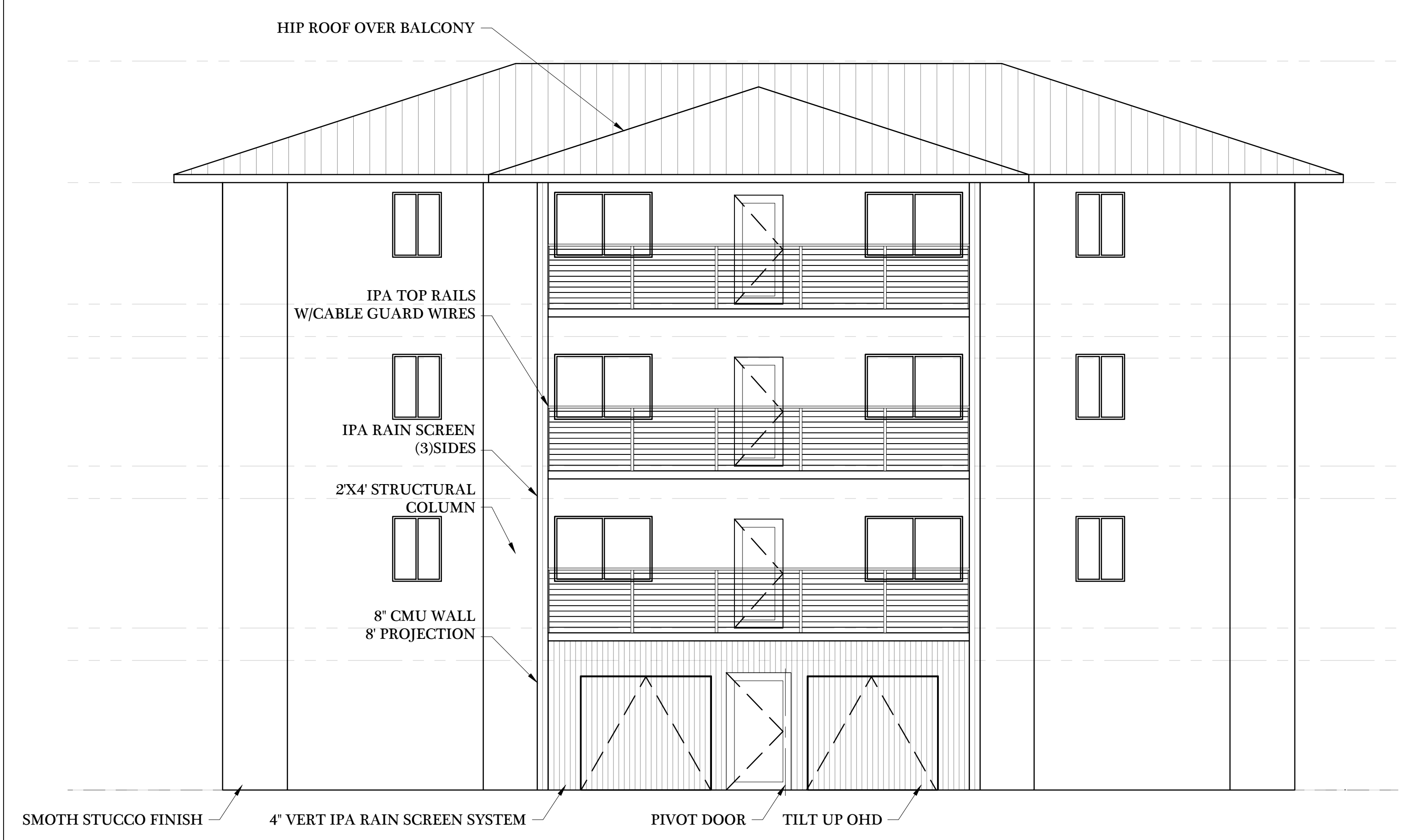
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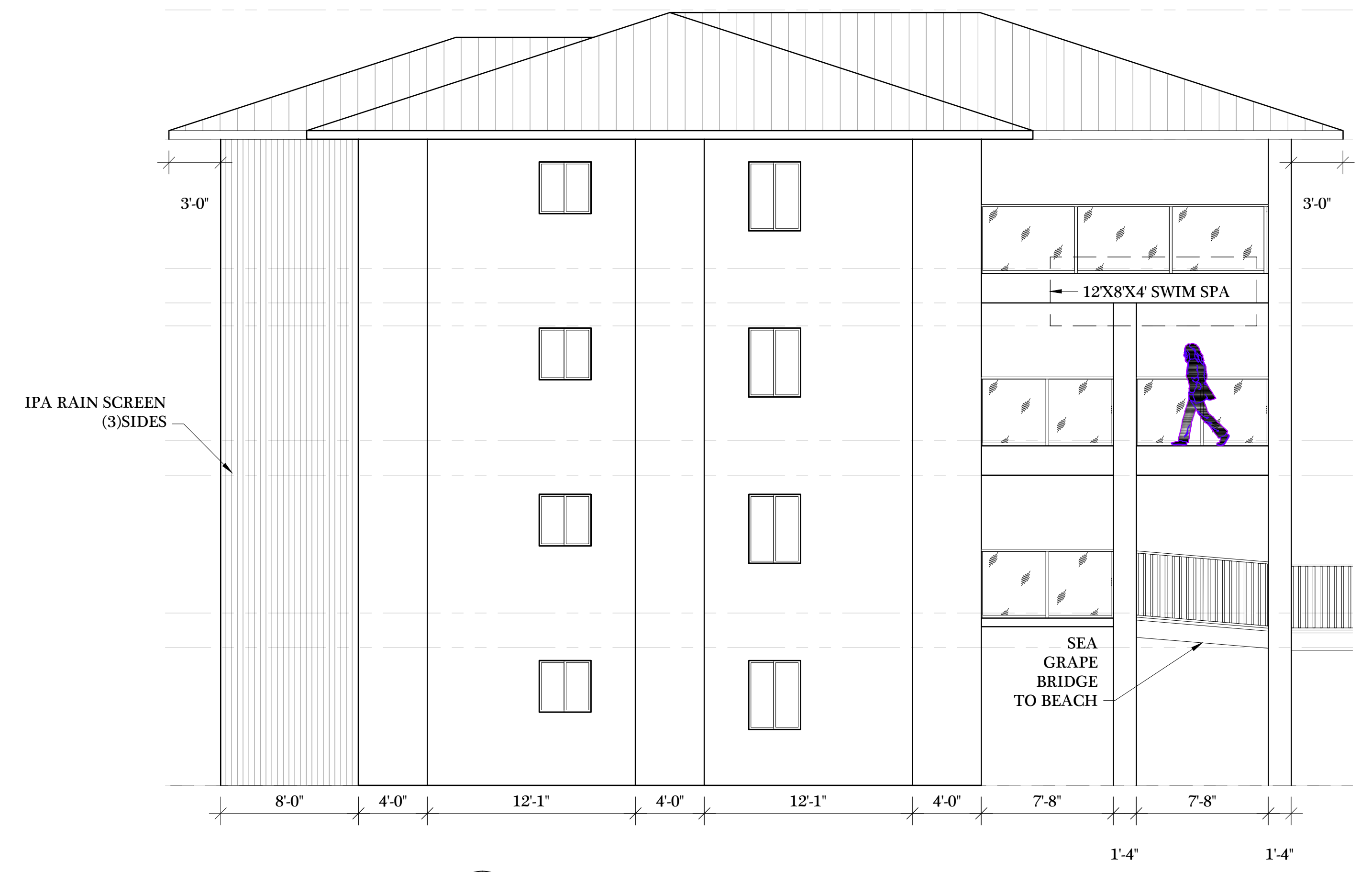
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□□□□ S Ocean Dr, Fort Pierce, FL 34949

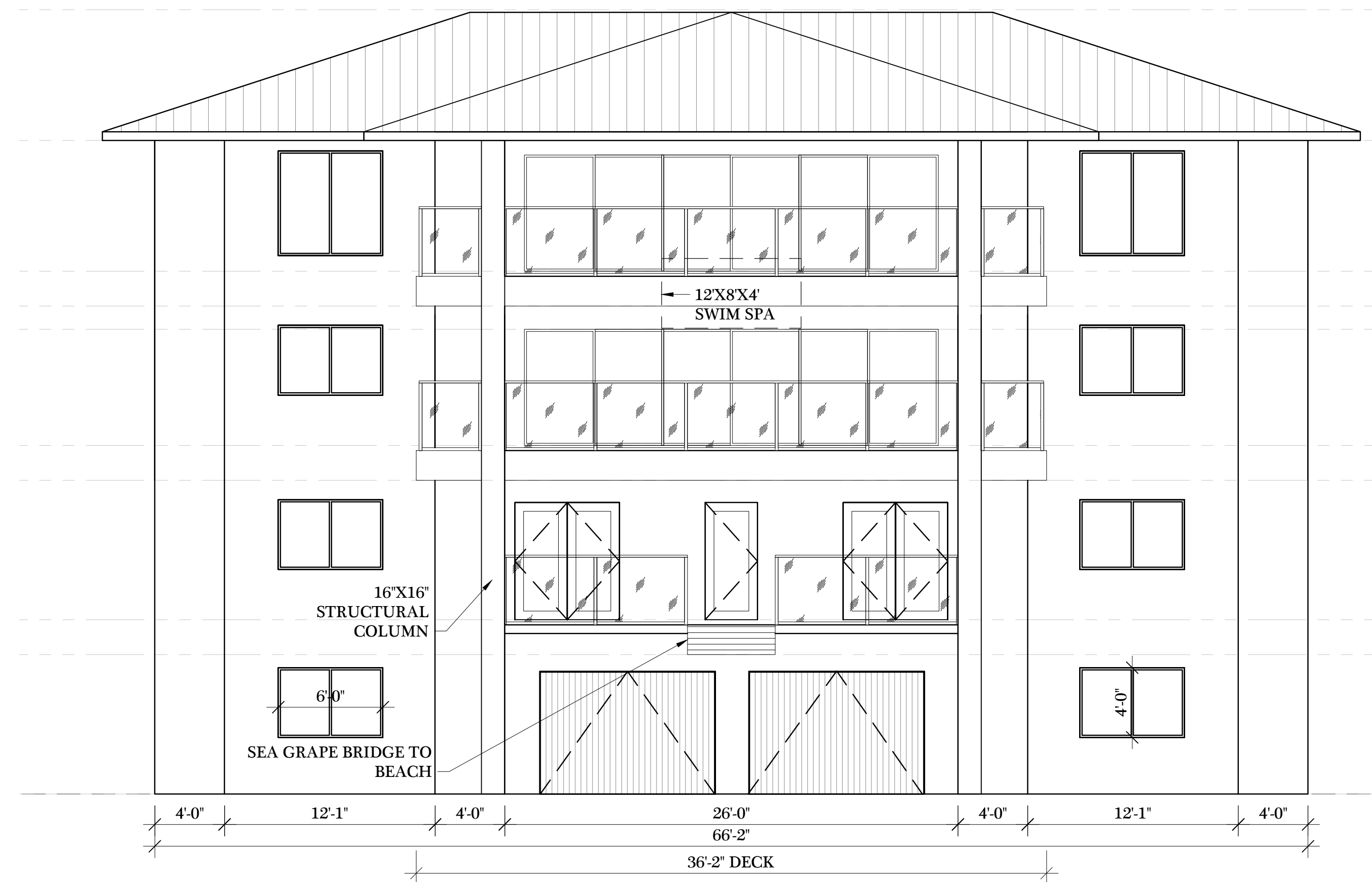
REVISIONS	BY
03	RAT
00	RAT



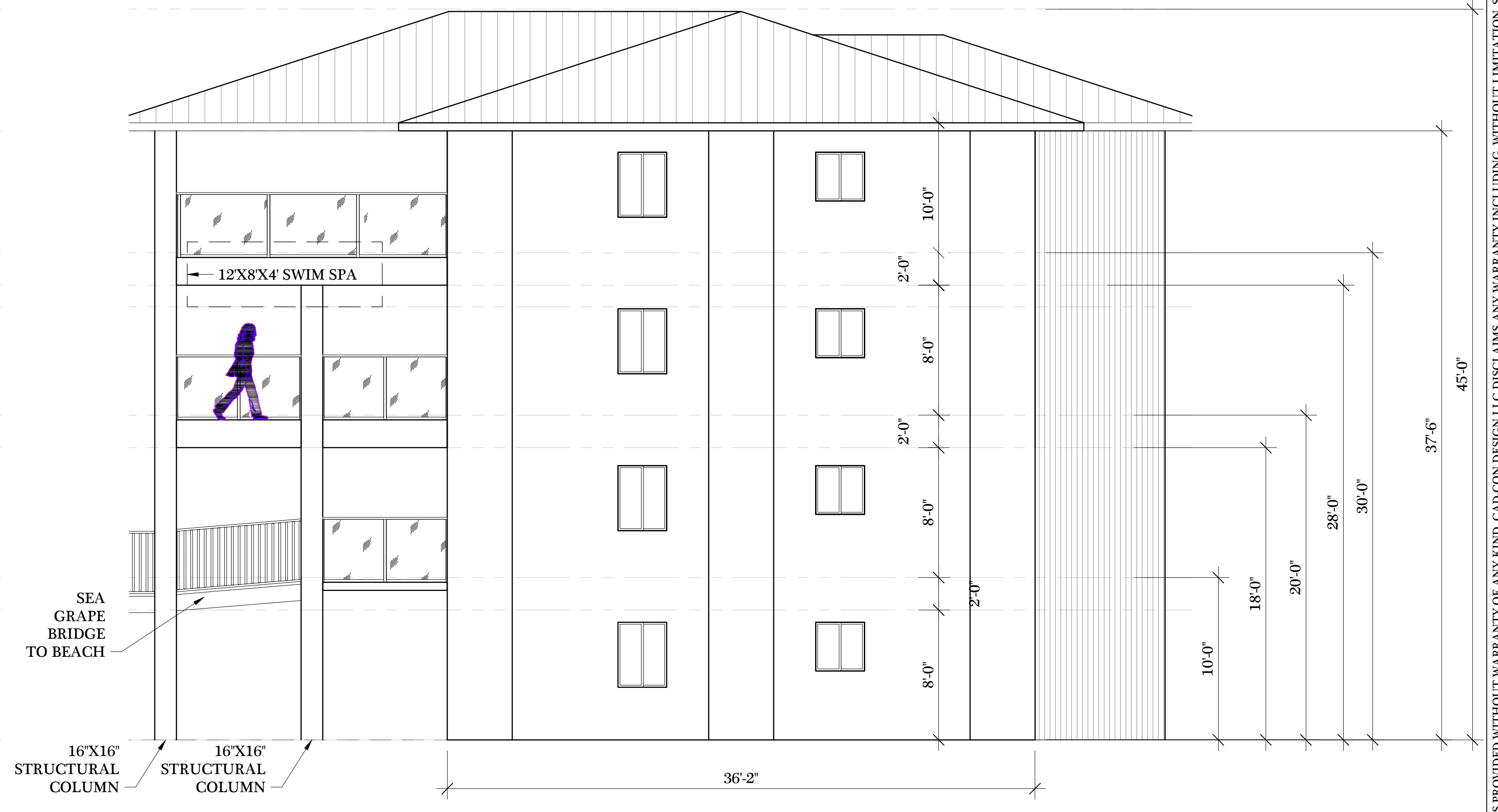
1 WEST ELEV (FRONT)  
002 SCALE: 3/16" = 1'-0" A/R:N/A



3 SOUTH ELEV  
002 SCALE: 3/16" = 1'-0" A/R:N/A



2 EAST ELEV (REAR)  
002 SCALE: 3/16" = 1'-0" A/R:N/A



4 NORTH ELEV  
002 SCALE: 3/16" = 1'-0" A/R:N/A

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STORY CONCEPT

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(772) 408-8775



DATE 03/00  
SCALE  
DRA N 03/00  
JOB  
SHEET 00  
OF SHEETS

R2-04-02-25\_1144S OCEAN DR.RAT