



March 26, 2024 - Revised

Mason Development & Construction  
Attn: Craig R. Mason  
224 Chimney Corner Lane  
Jupiter, FL 33458

VIA Email: [cmason@masondc.com](mailto:cmason@masondc.com)

Reference: **Environmental Assessment**  
3.29 acres - McNeil Rd  
St. Lucie County, Florida

| Parcel ID           | Parcel Address | Acreage     |
|---------------------|----------------|-------------|
| 2419-244-0035-000-6 | 2591 McNeil Rd | 0.46        |
| 2419-241-0001-010-7 | McNeil Rd      | 2.91        |
| <b>Total Acres:</b> |                | <b>3.37</b> |

Dear Mr. Mason,

EDC, Inc. (EDC) has completed this Environmental Assessment (EA) for the above referenced property. The purpose of this evaluation was to conduct a review of the above listed parcels by means of site visit, review of available aerial photography, listed species review, review of soil resources, and review of environmental regulations pertaining to this parcel.

The following report details the findings of our on-site and desktop investigations of the properties as they pertain to St. Lucie County land developmental review regulations.

Please contact the undersigned if you have any questions regarding this report.

Respectfully submitted,  
**EDC, Inc.**

*Doug Schramm*

Doug Schramm  
Environmental Scientist



## ENVIRONMENTAL ASSESSMENT

Parcel ID's:  
2419-244-0035-000-6  
2419-241-0001-010-7  
2591 McNeil Rd – 3.37 acres  
St. Lucie County, Florida

Date: December 22, 2023  
Project # 23-380

**Prepared For:**  
Mason Development & Construction  
Attn: Craig Mason  
224 Chimney Corner Lane  
Jupiter, FL 33458

[Cmason@masondc.com](mailto:Cmason@masondc.com)

**Prepared By:**  
EDC, Inc.  
10250 SW Village Parkway  
Port St Lucie, Florida 34987  
(772) 223-5200

**SITE DESCRIPTION:**

The subject property evaluated as part of this Environmental Assessment consists of two (2) tax parcels (Parcel ID # 2419-244-0035-000-6; 2419-241-0001-010-7) comprised a total of 3.37 acres. Both parcels are classified by the St. Lucie County Property Appraiser as vacant commercial (land use code 1000). The subject property is located on the west side of McNeil Rd and south of Okeechobee Rd within the municipal boundary of the City of Ft. Pierce, FL. The subject property has a Future Land Use designation of General Commercial (GC) and a zoning designation of General Commercial (C-3). The subject property is further located within Section 19, Township 35 South and Range 40 East, Ft. Pierce, Saint Lucie County.

This environmental assessment was completed as a precursor to permitting and review by governmental agencies as an applicable document for the supporting information associated with a building permit or land development application. EDC, Inc. staff visited the property on December 19, 2023 in order to ascertain the status and composition of any critical habitats, such as wetlands and native uplands that may be onsite.

**VEGETATION:**

It is the opinion of EDC that the subject property does contain native upland habitat associations. The historical land uses on the subject property are not consistent with the surrounding area being dominated by commercial practices including a restaurant, car wash, and bank. The larger property has primarily been vacant and the smaller property appears to have been once utilized as a single-family dwelling in the 1990's and to mid-2000's. Since the mid-2000's and beyond, the dwelling unit has been demolished and no further development has occurred on the property. The smaller property is dominated by a combination of Live Oaks, Pine Trees and cabbage Palms and exotic vegetation. The larger property has remained cleared with the only development activity consisting of the excavation of a dry retention area at the SW portion of the property.

The upland habitat associations were determined via onsite analysis and classified according to the Florida Cooperative Land Cover (CLC) System developed by the Florida Fish and Wildlife Conservation Commission (FWC). The CLC incorporates classifications used by FWC, Florida Land Use Cover Classification (FLUCCS), and Florida's water management districts. The following FLUCCS codes were identified onsite; Exotic Plants, 1112 Mixed Hardwoods, 1810 Mowed grass, 4220 Ditch/Artificial Stream, and 3250 Stormwater treatment area. Please refer to the attached Florida CLC map for the approximate location of the habitat(s) delineated onsite.

| <b>Common Name</b>        | <b>Species Name</b>              |
|---------------------------|----------------------------------|
| <b>Slash Pine</b>         | <i>Pinus elliottii</i>           |
| <b>Sabal Palm</b>         | <i>Sabal palmetto</i>            |
| <b>Live Oak</b>           | <i>Quercus virginiana</i>        |
| <b>Brazilian Pepper**</b> | <i>Schnius terebinthifolia</i>   |
| <b>Carrotwood**</b>       | <i>Cupaniopsis anacardioides</i> |
| <b>Cogon Grass**</b>      | <i>Imperata cylindrica</i>       |

\*Nuisance Vegetation

\*\*Exotic/Invasive Vegetation

**Table 1:** This table lists a representative sample of vegetative species observed during the site visit.

**Exotic Plants (7000):** Upland and wetland areas dominated by non-native trees that were planted or have escaped and invaded native plant communities. These exotics include melaleuca, Australian Pine, Brazilian Pepper, and eucalyptus. This class includes sites known to be vegetated by non-native but for which the actual species composition could not be determined.

**Mixed Hardwoods (1112):** This is a hardwood community in which no single species or species group appears to achieve a 66 percent dominance of the canopy. This class of hardwoods includes any combination of large and small hardwood tree species none of which can be identified as dominating the canopy. (FLUCCS) This classification is the only native plant association on the property.

**Mowed Grass (1810):** These are non-urban upland communities where the predominant vegetative cover is very low growing grasses and forbs. This very early successional category includes all sites with herbaceous vegetation during the time period between bare ground, and the shrub and brush stage. It also includes areas that may be maintained in this stage through periodic mowing, such as along dikes or levees.

**Ditch/Artificial Stream (4220):** Aquatic community of an artificial waterway constructed for drainage or irrigation of adjacent lands. Water levels either fluctuate in response to variations in precipitation and groundwater levels, or water levels are artificially controlled. The sides of ditches are often vegetated, with grasses and sedges usually dominant. (NYNHP)

**Stormwater Treatment Area (3250):** Impoundments constructed primarily to retain or treat stormwater.

**WETLAND DELINEATION:**

According to aerial photographs and site visit, it appears that there are no State jurisdictional wetlands on site. Based on the State definition, a wetland consists of three components: 1) hydric soils, 2) wetland plants, and 3) hydrologic indicators. The property did not have an area that met the state definition and thus EDC did not delineate a wetland on the property.

**WILDLIFE EVALUATION:**

EDC, Inc. conducted a pedestrian survey throughout the property to investigate for the presence of any plant or animal listed species that are protected by a State or Federal agency. No gopher tortoises (a State of Florida protected species), their burrows, or signs (tracks, feces, etc.) were observed onsite.

No other state or federally listed plant/animal species or their critical habitat(s) were observed on site.

**SOIL COMPOSITION:**

Based on a review of the U.S. Department of Agriculture (USDA) Web Soil Survey the site is composed of typical regional soils including the following soil series:

**Nettles Sand-** is a poorly drained, nearly level soil found in areas of broad flatwoods. Typically the surface layer is 11 inches thick. Black sand comprises the upper 5 inches, very dark gray sand in the next three inches and dark gray sand in the lower 3 inches. Subsurface layer is light gray sand 22 inches thick. The water table is typically at a depth of 10 inches for 2 to 4 months during wet seasons, and at a depth of 10 to 40 inches for 6 months or longer in most years. Natural

vegetation includes slash pine, cabbage palm, saw palmetto, wax myrtle, inkberry, fetterbush, creeping bluestem, chalky bluestem, Florida threeawn, and pineland threeawn. This soil has severe limitations for cultivated crops unless water control and other food management practices are provided. This soil has potential for improved pasture grasses and high potential for dwellings without basements, small commercial buildings, and roads.

**Oldsmar Fine Sand, Depressional-** This soil is in wet depressions in the flatwoods and the soil is often ponded for six to nine months. The potential for cultivation is low without aggressive water management. Oldsmar sand is sandy, siliceous, poorly drained and slowly permeable sand. These soils are nearly level and found in broad areas of flatwoods and wet depressional areas. In most years the water stands above the surface for 6 to 9 months or more. These soils are saturated for long periods during the wet season. Natural vegetation includes sand weed, stillingia, longleaf threeawn, maidencane and sand cordgrass. The most common grasses are Florida threeawn and pineland threeawn. Water control measures are necessary to overcome excessive wetness. The potential for cultivation is low without aggressive water management. The soil is well suited for pasture and hay crops.

**Wabasso Sand, 0 to 2%** - This soil is a nearly level, poorly drained soil in broad open areas of the flatwoods. The surface layer is sand about 8 inches thick. The upper 4 inches is black and the lower 4 inches is dark grey. The water table is typically at a depth of less than 10 inches for 1 to 4 months during the wet season, and at a depth of 10 to 40 inches for 6 to 9 months in most years. Natural vegetation is slash pine, cabbage palm, saw palmetto, running oak, inkberry and fetterbush. Common grasses are threeawn and bluestem. The soil has severe limitations for cultivated crops and citrus due to wetness. The soil has high potential for dwellings without basements, small commercial buildings, local roads and streets.

#### **CITY OF FORT PIERCE:**

The following section references the City of Fort Pierce Land Development Code that apply to the subject property. As part of the local approval process, the applicant will be required to comply with the below items.

The regulation will be quoted in black; interpretation and consultation will be will be in red.

#### **Sec. 123-64. - Permit required.**

- (a) *Tree removal permit. No person shall, directly or indirectly, cut down, substantially alter, destroy, remove, relocate, damage or authorize any such act involving a protected tree situated on land within the city, without first obtaining a tree removal permit. But the following activities may be done without applying for a permit:*

Before further land clearing activities commence, a Tree Removal Permit must be obtained from the City of Fort Pierce. This will require the applicant to mark and locate any tree that is protected by the City of Ft. Pierce. The includes measuring the trees according to diameter at breast height (DBH) and creating a tree mitigation plan (if necessary). It should be noted that EDC did observe trees that would fit the definition of "protected" by the City of Ft. Pierce land development code.

#### **Sec. 107-6. - Design requirements.**

- (a) *Grading, erosion control practices, sediment control practices, and waterway crossings shall be adequate to prevent transportation of sediment from the site to the satisfaction of city engineer. Cut and fill slopes shall be no greater than 4:1 to meet city environmental objectives.*

- (b) Clearing and grading of natural resources, such as forests and wetlands, shall not be permitted, except when in compliance with all other chapters of this Code and other agency permits. Clearing techniques that retain natural vegetation and drainage patterns shall be implemented to the satisfaction of the city engineer.*
- (c) Clearing, except that necessary to establish sediment control devices, shall not begin until all sediment control devices have been installed and have been stabilized.*

In addition to a Tree Removal Permit, a Sediment and Erosion Control Plan must be established. This plan should identify control measures, and sensitive habitat (GopherTortoises) that may be affected

**SUMMARY:**

The subject property evaluated as part of this Environmental Assessment consists of two (2) tax parcels (Parcel ID # 2419-244-0035-000-6; 2419-241-0001-010-7) comprised of 3.37 acres. The property is classified by the St. Lucie County Property Appraiser as Commercial Class I (land use code 1000). The subject property is located on the west side of McNeil Rd and south of Okeechobee Rd within the City of Ft. Pierce, FL. The subject property has a Future Land Use designation of General Commercial (GC) and a zoning designation of General Commercial (C-3).

EDC, Inc. staff visited the property on December 19, 2023 in order to ascertain the status and composition of any critical habitats, such as wetlands and native uplands that may be onsite.

It is the opinion of EDC that the subject property does contain native upland habitat.

The following FLUCCS codes were identified onsite; 7000 – Exotic Plants, 4220 – Ditch/Artificial Stream, 1112 – Mixed Hardwoods, 1810 Mowed Grass, and 3250 – Stormwater Treatment Areas.

According to aerial photographs and site visit, it appears that there are no State jurisdictional wetlands on site.

One dry retention/detention area was located at the southwest corner of the larger subject property. Based off of historical imagery, the retention/detention area was created in 2004 and later in 2014 additional development activity occurred to the drainage system. Per the South Florida water Management District Environmental Resource Standard Permit No. 56-02366-P-02, there are four separate parcels that are part of the common surface water management system to serve the entire site. The smaller single-family site was not included in the design of the stormwater management system (See attached SFWMD ERP). It appears the parcel is currently in compliance with the permit, but a modification to the parcel will require a modification to the permit.

A Tree Inventory and/or survey will be required prior to obtaining a Vegetation Removal Permit. Trees with DBH of 14 inches or greater are protected and will require mitigation if the site plan requires for removal of all native trees.

It is the professional opinion of EDC that approximately .50 acre of cropland/pasture is located onsite. In addition, trees meeting the “protected trees” criteria for the City of Fort Pierce were observed onsite.

EDC, Inc. conducted a pedestrian survey throughout the property to investigate for the presence of any plant or animal listed species. No gopher tortoises, their burrows, or signs (tracks, feces, etc.) were observed onsite.

No other state or federally listed plant/animal species or their critical habitat(s) were observed on site.



# Environmental Assessment

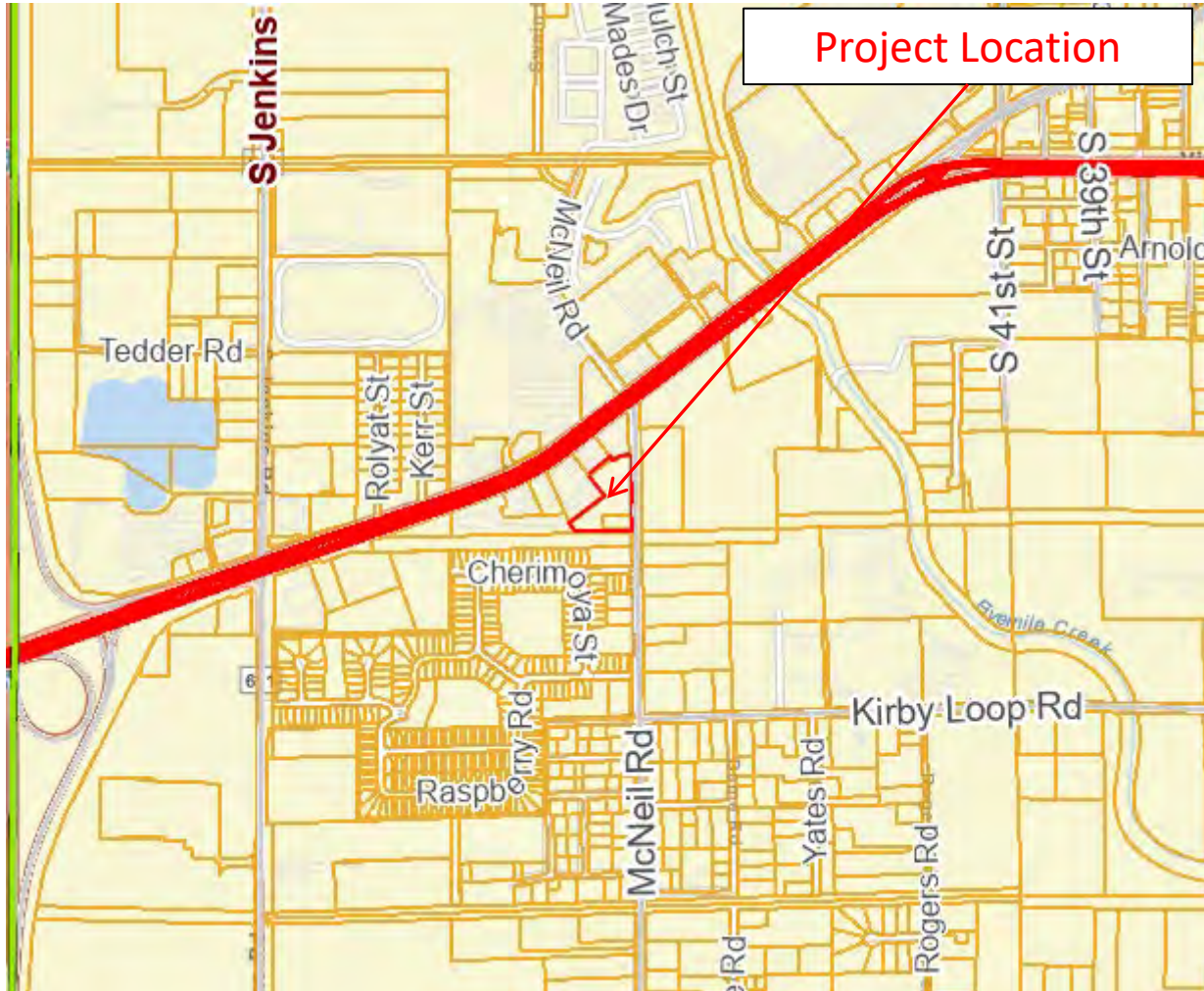
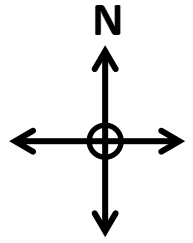
McNeil Road  
City of Fort Pierce, FL

## Location Map

Project: 23-380

Mason Investment Company

3/26/2024





# Environmental Assessment

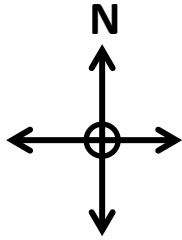
McNeil Road  
City of Fort Pierce, FL

Property Appraiser Map

Project: 23-380

Mason Investment Company

3/26/2024





# Environmental Assessment

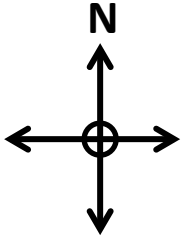
McNeil Road  
City of Fort Pierce, FL

## Soil Map

Project: 23-380

Mason Investment Company

3/26/2024



| St. Lucie County, Florida (FL111)  |                                     |              |                |
|------------------------------------|-------------------------------------|--------------|----------------|
| Map Unit Symbol                    | Map Unit Name                       | Acres in AOI | Percent of AOI |
| 25                                 | Nettles and Oldsmar sands           | 4.1          | 96.5%          |
| 48                                 | Wabasso sand, 0 to 2 percent slopes | 0.1          | 3.5%           |
| <b>Totals for Area of Interest</b> |                                     | <b>4.3</b>   | <b>100.0%</b>  |

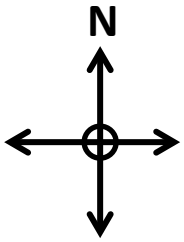


**Environmental Assessment**  
 McNeil Road  
 City of Fort Pierce, FL

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**Florida Cooperative Land Cover (FNAI) Map**

|                 |                          |           |
|-----------------|--------------------------|-----------|
| Project: 23-380 | Mason Investment Company | 3/26/2024 |
|-----------------|--------------------------|-----------|



| Florida FNAI Codes |                                       |
|--------------------|---------------------------------------|
| 7000               | Exotics – .24 acres                   |
| 1112               | Mixed Hardwoods – .50 acres           |
| 1810               | Mowed Grass – 2.25 acres              |
| 4220               | Ditch/Artificial Stream – .10 acres   |
| 3250               | Stormwater Treatment Area – .24 acres |

\*This map demonstrates an approximation of habitat boundaries on site.



**SOUTH FLORIDA WATER MANAGEMENT DISTRICT  
 ENVIRONMENTAL RESOURCE  
 STANDARD PERMIT NO. 56-02366-P-02  
 DATE ISSUED: July 22, 2013**

Form #0941  
 08/95

**PERMITTEE:** CENTERSTATE BANK  
 855 21ST STREET  
 VERO BEACH, FL 32960

**PROJECT DESCRIPTION:** Construction and operation of a surface water management system to serve a 1.2 acre project known as Centerstate Bank - Fort Pierce Branch.

**PROJECT LOCATION:** ST LUCIE COUNTY, SEC 19 TWP 35S RGE 40E

**PERMIT DURATION:** See Special Condition No:1. Pursuant to Rule 40E-4.321, Florida Administrative Code.

This is to notify you of the District's agency action concerning Notice of Intent for Permit Application No. 130613-7, dated June 13, 2013. This action is taken pursuant to Rule 40E-1.603 and Chapter 40E-40, Florida Administrative Code (F.A.C.).

Based on the information provided, District rules have been adhered to and an Environmental Resource Permit is in effect for this project subject to:

1. Not receiving a filed request for a Chapter 120, Florida Statutes, administrative hearing.
2. the attached 19 General Conditions (See Pages : 2 - 4 of 6),
3. the attached 16 Special Conditions (See Pages : 5 - 6 of 6) and
4. the attached 2 Exhibit(s)

Should you object to these conditions, please refer to the attached "Notice of Rights" which addresses the procedures to be followed if you desire a public hearing or other review of the proposed agency action. Please contact this office if you have any questions concerning this matter. If we do not hear from you in accordance with the "Notice of Rights," we will assume that you concur with the District's action.

**CERTIFICATE OF SERVICE**

I HEREBY CERTIFY that a "Notice of Rights" has been mailed to the Permittee (and the persons listed in the attached distribution list) no later than 5:00 p.m. on this 22nd day of July, 2013, in accordance with Section 120.60(3), Florida Statutes.

BY: Anita L. Bain  
 Anita Bain  
 Bureau Chief - Environmental Resource Permitting  
 Martin / St Lucie Regulatory Office

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## GENERAL CONDITIONS

1. All activities authorized by this permit shall be implemented as set forth in the plans, specifications and performance criteria as approved by this permit. Any deviation from the permitted activity and the conditions for undertaking that activity shall constitute a violation of this permit and Part IV, Chapter 373, F.S.
2. This permit or a copy thereof, complete with all conditions, attachments, exhibits, and modifications shall be kept at the work site of the permitted activity. The complete permit shall be available for review at the work site upon request by District staff. The permittee shall require the contractor to review the complete permit prior to commencement of the activity authorized by this permit.
3. Activities approved by this permit shall be conducted in a manner which does not cause violations of State water quality standards. The permittee shall implement best management practices for erosion and pollution control to prevent violation of State water quality standards. Temporary erosion control shall be implemented prior to and during construction, and permanent control measures shall be completed within 7 days of any construction activity. Turbidity barriers shall be installed and maintained at all locations where the possibility of transferring suspended solids into the receiving waterbody exists due to the permitted work. Turbidity barriers shall remain in place at all locations until construction is completed and soils are stabilized and vegetation has been established. All practices shall be in accordance with the guidelines and specifications described in Chapter 6 of the Florida Land Development Manual; A Guide to Sound Land and Water Management (Department of Environmental Regulation, 1988), incorporated by reference in Rule 40E-4.091, F.A.C. unless a project-specific erosion and sediment control plan is approved as part of the permit. Thereafter the permittee shall be responsible for the removal of the barriers. The permittee shall correct any erosion or shoaling that causes adverse impacts to the water resources.
4. The permittee shall notify the District of the anticipated construction start date within 30 days of the date that this permit is issued. At least 48 hours prior to commencement of activity authorized by this permit, the permittee shall submit to the District an Environmental Resource Permit Construction Commencement Notice Form Number 0960 indicating the actual start date and the expected construction completion date.
5. When the duration of construction will exceed one year, the permittee shall submit construction status reports to the District on an annual basis utilizing an annual status report form. Status report forms shall be submitted the following June of each year.
6. Within 30 days after completion of construction of the permitted activity, the permittee shall submit a written statement of completion and certification by a professional engineer or other individual authorized by law, utilizing the supplied Environmental Resource/Surface Water Management Permit Construction Completion/Certification Form Number 0881A, or Environmental Resource/Surface Water Management Permit Construction Completion Certification - For Projects Permitted prior to October 3, 1995 Form No. 0881B, incorporated by reference in Rule 40E-1.659, F.A.C. The statement of completion and certification shall be based on onsite observation of construction or review of as-built drawings for the purpose of determining if the work was completed in compliance with permitted plans and specifications. This submittal shall serve to notify the District that the system is ready for inspection. Additionally, if deviation from the approved drawings are discovered during the certification process, the certification must be accompanied by a copy of the approved permit drawings with deviations noted. Both the original and revised specifications must be clearly shown. The plans must be clearly labeled as "as-built" or "record" drawings. All surveyed dimensions and elevations shall be certified by a registered surveyor.
7. The operation phase of this permit shall not become effective: until the permittee has complied with the requirements of condition (6) above, and submitted a request for conversion of Environmental Resource Permit from Construction Phase to Operation Phase, Form No. 0920; the District determines the system to

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### GENERAL CONDITIONS

be in compliance with the permitted plans and specifications; and the entity approved by the District in accordance with Sections 9.0 and 10.0 of the Basis of Review for Environmental Resource Permit Applications within the South Florida Water Management District, accepts responsibility for operation and maintenance of the system. The permit shall not be transferred to such approved operation and maintenance entity until the operation phase of the permit becomes effective. Following inspection and approval of the permitted system by the District, the permittee shall initiate transfer of the permit to the approved responsible operating entity if different from the permittee. Until the permit is transferred pursuant to Section 40E-1.6107, F.A.C., the permittee shall be liable for compliance with the terms of the permit.

8. Each phase or independent portion of the permitted system must be completed in accordance with the permitted plans and permit conditions prior to the initiation of the permitted use of site infrastructure located within the area served by that portion or phase of the system. Each phase or independent portion of the system must be completed in accordance with the permitted plans and permit conditions prior to transfer of responsibility for operation and maintenance of the phase or portion of the system to a local government or other responsible entity.
9. For those systems that will be operated or maintained by an entity that will require an easement or deed restriction in order to enable that entity to operate or maintain the system in conformance with this permit, such easement or deed restriction must be recorded in the public records and submitted to the District along with any other final operation and maintenance documents required by Sections 9.0 and 10.0 of the Basis of Review for Environmental Resource Permit applications within the South Florida Water Management District, prior to lot or units sales or prior to the completion of the system, whichever comes first. Other documents concerning the establishment and authority of the operating entity must be filed with the Secretary of State, county or municipal entities. Final operation and maintenance documents must be received by the District when maintenance and operation of the system is accepted by the local government entity. Failure to submit the appropriate final documents will result in the permittee remaining liable for carrying out maintenance and operation of the permitted system and any other permit conditions.
10. Should any other regulatory agency require changes to the permitted system, the permittee shall notify the District in writing of the changes prior to implementation so that a determination can be made whether a permit modification is required.
11. This permit does not eliminate the necessity to obtain any required federal, state, local and special district authorizations prior to the start of any activity approved by this permit. This permit does not convey to the permittee or create in the permittee any property right, or any interest in real property, nor does it authorize any entrance upon or activities on property which is not owned or controlled by the permittee, or convey any rights or privileges other than those specified in the permit and Chapter 40E-4 or Chapter 40E-40, F.A.C..
12. The permittee is hereby advised that Section 253.77, F.S. states that a person may not commence any excavation, construction, or other activity involving the use of sovereign or other lands of the State, the title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund without obtaining the required lease, license, easement, or other form of consent authorizing the proposed use. Therefore, the permittee is responsible for obtaining any necessary authorizations from the Board of Trustees prior to commencing activity on sovereignty lands or other state-owned lands.
13. The permittee must obtain a Water Use permit prior to construction dewatering, unless the work qualifies for a general permit pursuant to Subsection 40E-20.302(3), F.A.C., also known as the "No Notice" Rule.
14. The permittee shall hold and save the District harmless from any and all damages, claims, or liabilities

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### GENERAL CONDITIONS

which may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any system authorized by the permit.

15. Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered binding, unless a specific condition of this permit or a formal determination under Section 373.421(2), F.S., provides otherwise.
16. The permittee shall notify the District in writing within 30 days of any sale, conveyance, or other transfer of ownership or control of a permitted system or the real property on which the permitted system is located. All transfers of ownership or transfers of a permit are subject to the requirements of Rules 40E-1.6105 and 40E-1.6107, F.A.C.. The permittee transferring the permit shall remain liable for corrective actions that may be required as a result of any violations prior to the sale, conveyance or other transfer of the system.
17. Upon reasonable notice to the permittee, District authorized staff with proper identification shall have permission to enter, inspect, sample and test the system to insure conformity with the plans and specifications approved by the permit.
18. If historical or archaeological artifacts are discovered at any time on the project site, the permittee shall immediately notify the appropriate District service center.
19. The permittee shall immediately notify the District in writing of any previously submitted information that is later discovered to be inaccurate.

### SPECIAL CONDITIONS

1. The construction phase of this permit shall expire on July 22, 2018.
2. Operation of the master surface water management system and the secondary surface water management system specific to the site shall be the responsibility of the permittee.
3. Discharge Facilities: No New Discharge Facilities.
4. The permittee shall be responsible for the correction of any erosion, shoaling or water quality problems that result from the construction or operation of the surface water management system.
5. Measures shall be taken during construction to insure that sedimentation and/or turbidity violations do not occur in the receiving water.
6. The District reserves the right to require that additional water quality treatment methods be incorporated into the drainage system if such measures are shown to be necessary.
7. Facilities other than those stated herein shall not be constructed without an approved modification of this permit.
8. A stable, permanent and accessible elevation reference shall be established on or within one hundred (100) feet of all permitted discharge structures no later than the submission of the certification report. The location of the elevation reference must be noted on or with the certification report.
9. The permittee shall provide routine maintenance of all of the components of the surface water management system in order to remove all trapped sediments/debris. All materials shall be properly disposed of as required by law. Failure to properly maintain the system may result in adverse flooding conditions.
10. This permit is issued based on the applicant's submitted information which reasonably demonstrates that adverse water resource related impacts will not be caused by the completed permit activity. Should any adverse impacts caused by the completed surface water management system occur, the District will require the permittee to provide appropriate mitigation to the District or other impacted party. The District will require the permittee to modify the surface water management system, if necessary, to eliminate the cause of the adverse impacts.
11. The permittee acknowledges that, pursuant to Rule 40E-4.101(2), F.A.C., a notice of Environmental Resource or Surface Water Management Permit may be recorded in the county public records. Pursuant to the specific language of the rule, this notice shall not be considered an encumbrance upon the property.
12. If prehistoric or historic artifacts, such as pottery or ceramics, stone tools or metal implements, dugout canoes, or any other physical remains that could be associated with Native American cultures, or early colonial or American settlement are encountered at any time within the project site area, the permitted project should cease all activities involving subsurface disturbance in the immediate vicinity of such discoveries. The permittee, or other designee, should contact the Florida Department of State, Division of Historical Resources, Review and Compliance Section at (850) 245-6333 or (800) 847-7278, as well as the appropriate permitting agency office. Project activities should not resume without verbal and/or written authorization from the Division of Historical Resources. In the event that unmarked human remains are encountered during permitted activities, all work shall stop immediately and the proper authorities notified in accordance with Section 872.05, Florida Statutes.
13. Minimum building floor elevation: 17.5 feet NAVD 88.
14. Minimum parking lot elevation: 16.20 feet NAVD 88

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### SPECIAL CONDITIONS

15. The exhibits and special conditions in this permit apply only to this application. They do not supersede or delete any requirements for other applications covered in Permit No. 56-02366-P unless otherwise specified herein.
16. Prior to the commencement of construction, the permittee shall conduct a pre-construction meeting with field representatives, contractors and District staff. The purpose of the meeting will be to discuss construction methods and sequencing, including [type and location of turbidity and erosion controls to be implemented during construction, mobilization and staging of contractor equipment, phasing of construction, methods of vegetation clearing, construction dewatering if required, ownership documentation for eminent domain authority, coordination with other entities on adjacent construction projects, wetland/buffer protection methods, endangered species protection] with the permittee and contractors. The permittee shall contact District Environmental Resource Compliance staff from the Martin St. Lucie Regulatory Office at 863-462-5260 to schedule the pre-construction meeting.

## NOTICE OF RIGHTS

As required by Sections 120.569(1), and 120.60(3), Fla. Stat., following is notice of the opportunities which may be available for administrative hearing or judicial review when the substantial interests of a party are determined by an agency. Please note that this Notice of Rights is not intended to provide legal advice. Not all the legal proceedings detailed below may be an applicable or appropriate remedy. You may wish to consult an attorney regarding your legal rights.

### **RIGHT TO REQUEST ADMINISTRATIVE HEARING**

A person whose substantial interests are or may be affected by the South Florida Water Management District's (SFWMD or District) action has the right to request an administrative hearing on that action pursuant to Sections 120.569 and 120.57, Fla. Stat. Persons seeking a hearing on a District decision which does or may determine their substantial interests shall file a petition for hearing with the District Clerk within 21 days of receipt of written notice of the decision, unless one of the following shorter time periods apply: 1) within 14 days of the notice of consolidated intent to grant or deny concurrently reviewed applications for environmental resource permits and use of sovereign submerged lands pursuant to Section 373.427, Fla. Stat.; or 2) within 14 days of service of an Administrative Order pursuant to Subsection 373.119(1), Fla. Stat. "Receipt of written notice of agency decision" means receipt of either written notice through mail, or electronic mail, or posting that the District has or intends to take final agency action, or publication of notice that the District has or intends to take final agency action. Any person who receives written notice of a SFWMD decision and fails to file a written request for hearing within the timeframe described above waives the right to request a hearing on that decision.

### **Filing Instructions**

The Petition must be filed with the Office of the District Clerk of the SFWMD. Filings with the District Clerk may be made by mail, hand-delivery or facsimile. **Filings by e-mail will not be accepted.** Any person wishing to receive a clerked copy with the date and time stamped must provide an additional copy. A petition for administrative hearing is deemed filed upon receipt during normal business hours by the District Clerk at SFWMD headquarters in West Palm Beach, Florida. Any document received by the office of the SFWMD Clerk after 5:00 p.m. shall be filed as of 8:00 a.m. on the next regular business day. Additional filing instructions are as follows:

- Filings by mail must be addressed to the Office of the SFWMD Clerk, P.O. Box 24680, West Palm Beach, Florida 33416.
- Filings by hand-delivery must be delivered to the Office of the SFWMD Clerk. **Delivery of a petition to the SFWMD's security desk does not constitute filing. To ensure proper filing, it will be necessary to request the SFWMD's security officer to contact the Clerk's office.** An employee of the SFWMD's Clerk's office will receive and file the petition.
- Filings by facsimile must be transmitted to the SFWMD Clerk's Office at (561) 682-6010. Pursuant to Subsections 28-106.104(7), (8) and (9), Fla. Admin. Code, a party who files a document by facsimile represents that the original physically signed document will be retained by that party for the duration of that proceeding and of any subsequent appeal or subsequent proceeding in that cause. Any party who elects to file any document by facsimile shall be responsible for any delay, disruption, or interruption of the electronic signals and accepts the full risk that the document may not be properly filed with the clerk as a result. The filing date for a document filed by facsimile shall be the date the SFWMD Clerk receives the complete document.

### **Initiation of an Administrative Hearing**

Pursuant to Rules 28-106.201 and 28-106.301, Fla. Admin. Code, initiation of an administrative hearing shall be made by written petition to the SFWMD in legible form and on 8 and 1/2 by 11 inch white paper. All petitions shall contain:

1. Identification of the action being contested, including the permit number, application number, District file number or any other SFWMD identification number, if known.
2. The name, address and telephone number of the petitioner and petitioner's representative, if any.
3. An explanation of how the petitioner's substantial interests will be affected by the agency determination.
4. A statement of when and how the petitioner received notice of the SFWMD's decision.
5. A statement of all disputed issues of material fact. If there are none, the petition must so indicate.
6. A concise statement of the ultimate facts alleged, including the specific facts the petitioner contends warrant reversal or modification of the SFWMD's proposed action.
7. A statement of the specific rules or statutes the petitioner contends require reversal or modification of the SFWMD's proposed action.
8. If disputed issues of material fact exist, the statement must also include an explanation of how the alleged facts relate to the specific rules or statutes.
9. A statement of the relief sought by the petitioner, stating precisely the action the petitioner wishes the SFWMD to take with respect to the SFWMD's proposed action.

A person may file a request for an extension of time for filing a petition. The SFWMD may, for good cause, grant the request. Requests for extension of time must be filed with the SFWMD prior to the deadline for filing a petition for hearing. Such requests for extension shall contain a certificate that the moving party has consulted with all other parties concerning the extension and that the SFWMD and any other parties agree to or oppose the extension. A timely request for extension of time shall toll the running of the time period for filing a petition until the request is acted upon.

If the District takes action with substantially different impacts on water resources from the notice of intended agency decision, the persons who may be substantially affected shall have an additional point of entry pursuant to Rule 28-106.111, Fla. Admin. Code, unless otherwise provided by law.

### **Mediation**

The procedures for pursuing mediation are set forth in Section 120.573, Fla. Stat., and Rules 28-106.111 and 28-106.401-.405, Fla. Admin. Code. The SFWMD is not proposing mediation for this agency action under Section 120.573, Fla. Stat., at this time.

### **RIGHT TO SEEK JUDICIAL REVIEW**

Pursuant to Sections 120.60(3) and 120.68, Fla. Stat., a party who is adversely affected by final SFWMD action may seek judicial review of the SFWMD's final decision by filing a notice of appeal pursuant to Florida Rule of Appellate Procedure 9.110 in the Fourth District Court of Appeal or in the appellate district where a party resides and filing a second copy of the notice with the SFWMD Clerk within 30 days of rendering of the final SFWMD action.



**PROJECT EVALUATION:**

**PROJECT SITE DESCRIPTION:**

Please see the Location Map Exhibit 1.0. The site is located at the southwest intersection of State Road 70 (Okeechobee Road) and McNeil Road in the City of Ft. Pierce.

The project is part of a previously permitted storm water management system serving four parcels. Parcels 1 and 2 are developed as a Golden Corral restaurant and Hurricane Car Wash. Parcels 3 and 4 are currently undeveloped. The existing water management system consists of site grading, inlets, storm culverts and swales that direct runoff to a 0.51 acre dry detention pond located within Parcel 4. The detention pond discharges into the NSLRWCD Canal No. 38 via an existing control structure.

**PROJECT BACKGROUND:**

The original site (7.56 acres) was initially under single ownership (Fender). The site was divided into four parcels: Parcel 1 (Golden Corral - 2.58 acres) was retained by the original owner and developed; Parcel 2 (Hurricane Car Wash - 0.96 acre) was sold and developed; Parcels 3 and 4 (Harbor Federal - Parcel 3 (1.23 acres) and Parcel 4 (2.79 acres)) were sold and remain undeveloped except for the common surface water management system. Prior to the sale of the parcels, while under single ownership, a surface water management system was developed to serve the entire site. When the parcels were sold, the maintenance and use of the common surface water management system was described in recorded agreements. Both the Golden Corral and Hurricane Car Wash sites were developed under the assumption that each parcel complied with the requirements of the No Notice General Permit for Activities in Uplands (40E-400.315 FAC).

On February 23, 2006 the District authorized (Application 050627-1) the expansion of the Golden Corral building to the north and parking expansion to the south. The expansion of the Golden Corral does not appear to have been constructed. This permit has since expired.

CenterState Bank acquired the undeveloped parcel, which includes the pond, and is proposing construction of a branch office on a portion of the undeveloped parcel. The single family lot was not included in the design of the stormwater management system and is not included in this application.

**PROPOSED PROJECT:**

The applicant is proposing the construction of a 3,933 sf building and supporting infrastructure for a banking facility on the corner of SR-70 and McNeil Road in Fort Pierce. The existing master surface water management system was previously developed for the Golden Corral and revised to include the three other parcels. The master system serves the 7.56 acres that consists of the Golden Corral (2.58 acre Parcel 1), Car Wash (0.96 acre Parcel 2), and CenterState Bank (1.23 acres Parcel 3 and 2.79 acres Parcel 4). All four parcels drain into the dry detention system located in Parcel 4.

CenterState Bank will own and maintain the dry detention system located within Parcel 4 consistent with previous permit conditions for the owner of Parcel 4. Please see special conditions.

The project was originally designed using the NGVD 1929 vertical datum. This application uses the NAVD 1988 vertical datum. The convert from NAVD to NGVD in this area add approximately 1.5 ft. to the NAVD value.

**LAND USE:**

The previously permitted land use table represents existing construction. Total Project land use table

**LAND USE:**

includes the design assumptions for the entire 7.56 acres.

**Construction****Project:**

|                     | Previously Permitted | This Phase  | Total Project |       |
|---------------------|----------------------|-------------|---------------|-------|
| Building Coverage   | .22                  | .09         | 1.17          | acres |
| Dry Detention Areas | .51                  |             | .51           | acres |
| Impervious          | 1.66                 | .63         | 4.41          | acres |
| Pervious            | .48                  | .48         | 1.47          | acres |
| <b>Total:</b>       | <b>2.87</b>          | <b>1.20</b> | <b>7.56</b>   |       |

**WATER QUANTITY :****Discharge Rate :**

The proposed project is consistent with the land use and site grading assumptions from the design of the master surface water management system. Therefore, the surface water management system for this project has not been designed to limit discharge for the design event to a specified rate.

The existing water management system discharges to the NSLRWCD canal #38 through a previously permitted control structure. The system discharges through a 3" diameter orifice up to and including the 25-yr. 3-day design storm event.

No new or modified discharge facilities are proposed by this application.

Discharge Storm Frequency : 25 YEAR-3 DAY

Design Rainfall : 10.2 inches

**Finished Floors :**

Building Storm Frequency : 100 YEAR-3 DAY

Design Rainfall : 12.9 inches

**Parking Lot Design :**

Parking Lot Storm Frequency : 10 YEAR-1 DAY

Design Rainfall : 6 inches

**WATER QUALITY :**

No adverse water quality impacts are anticipated as a result of the proposed project. The existing storm water management system was previously designed and permitted to provide water quality treatment equivalent to 2.5 inches times the percent imperviousness.

**WETLANDS:**

There are no wetlands or other surface waters located within or affected by the proposed project.

It is suggested that the permittee retain the services of a Professional Engineer registered in the State of Florida for periodic observation of construction of the surface water management (SWM) system. This will facilitate the completion of construction completion certification Form #0881 which is required pursuant to Section 10 of the Basis of Review for Environmental Resource Permit Applications within the South Florida Water Management District, and Rule 40E-4361(2), Florida Administrative Code (F.A.C.).

Pursuant to Chapter 40E-4 F.A.C., this permit may not be converted from the construction phase to the operation phase until certification of the SWM system is submitted to and accepted by this District. Rule 40E-4.321(7) F.A.C. states that failure to complete construction of the SWM system and obtain operation phase approval from the District within the permit duration shall require a new permit authorization unless a permit extension is granted.

For SWM systems permitted with an operating entity who is different from the permittee, it should be noted that until the permit is transferred to the operating entity pursuant to Rule 40E-1.6107, F.A.C., the permittee is liable for compliance with the terms of this permit.

The permittee is advised that the efficiency of a SWM system will normally decrease over time unless the system is periodically maintained. A significant reduction in flow capacity can usually be attributed to partial blockages of the conveyance system. Once flow capacity is compromised, flooding of the project may result. Maintenance of the SWM system is required to protect the public health, safety and the natural resources of the state. Therefore, the permittee must have periodic inspections of the SWM system performed to ensure performance for flood protection and water quality purposes. If deficiencies are found, it is the responsibility of the permittee to correct these deficiencies in a timely manner.

**RELATED CONCERNS:**

**Water Use Permit Status:**

The applicant has indicated that potable water from Fort Pierce Utilities Authority will be used meet the projects irrigation requirements. The applicant has indicated that dewatering is not required for construction of this project.

This permit does not release the permittee from obtaining all necessary Water Use authorization(s) prior to the commencement of activities which will require such authorization, including construction dewatering and irrigation, unless the work qualifies for a No-Notice Short-Term Dewatering permit pursuant to Chapter 40E-20.302(3) or is exempt pursuant to Section 40E-2.051, FAC.

**CERP:**

The proposed project is not located within or adjacent to a Comprehensive Everglades Restoration Project component.

**Potable Water Supplier:**

Fort Pierce Utilities Authority.

**Waste Water System/Supplier:**

Fort Pierce Utilities Authority.

**Right-Of-Way Permit Status:**

A District Right-of-Way Permit is not required for this project.

**DRI Status:**

This project is not a DRI.

**Historical/Archeological Resources:**

No information has been received that indicates the presence of archaeological or historical resources in the project area or indicating that the project will have any effect upon significant historic properties listed, or eligible for listing in the National Register of Historic Places.

This permit does not release the permittee from compliance with any other agencies' requirements in the event that historical and/or archaeological resources are found on the site.

**DEO/CZM Consistency Review:**

The District has not received a finding of inconsistency from the Florida Department of Environmental Protection or other commenting agencies regarding the provisions of the federal Coastal Zone Management Plan.

**Third Party Interest:**

No third party has contacted the District with concerns about this application.

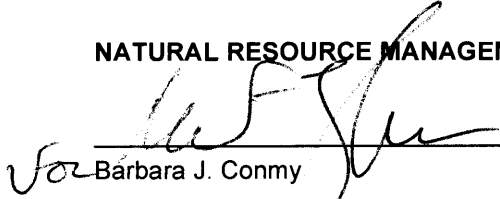
**Enforcement:**

There has been no enforcement activity associated with this application.

**STAFF REVIEW:**

**DIVISION APPROVAL:**

**NATURAL RESOURCE MANAGEMENT:**

  
\_\_\_\_\_  
Barbara J. Conmy

DATE: 7/17/13

**SURFACE WATER MANAGEMENT:**

  
\_\_\_\_\_  
Hugo A. Carter, P.E.

DATE: July 16, 2013

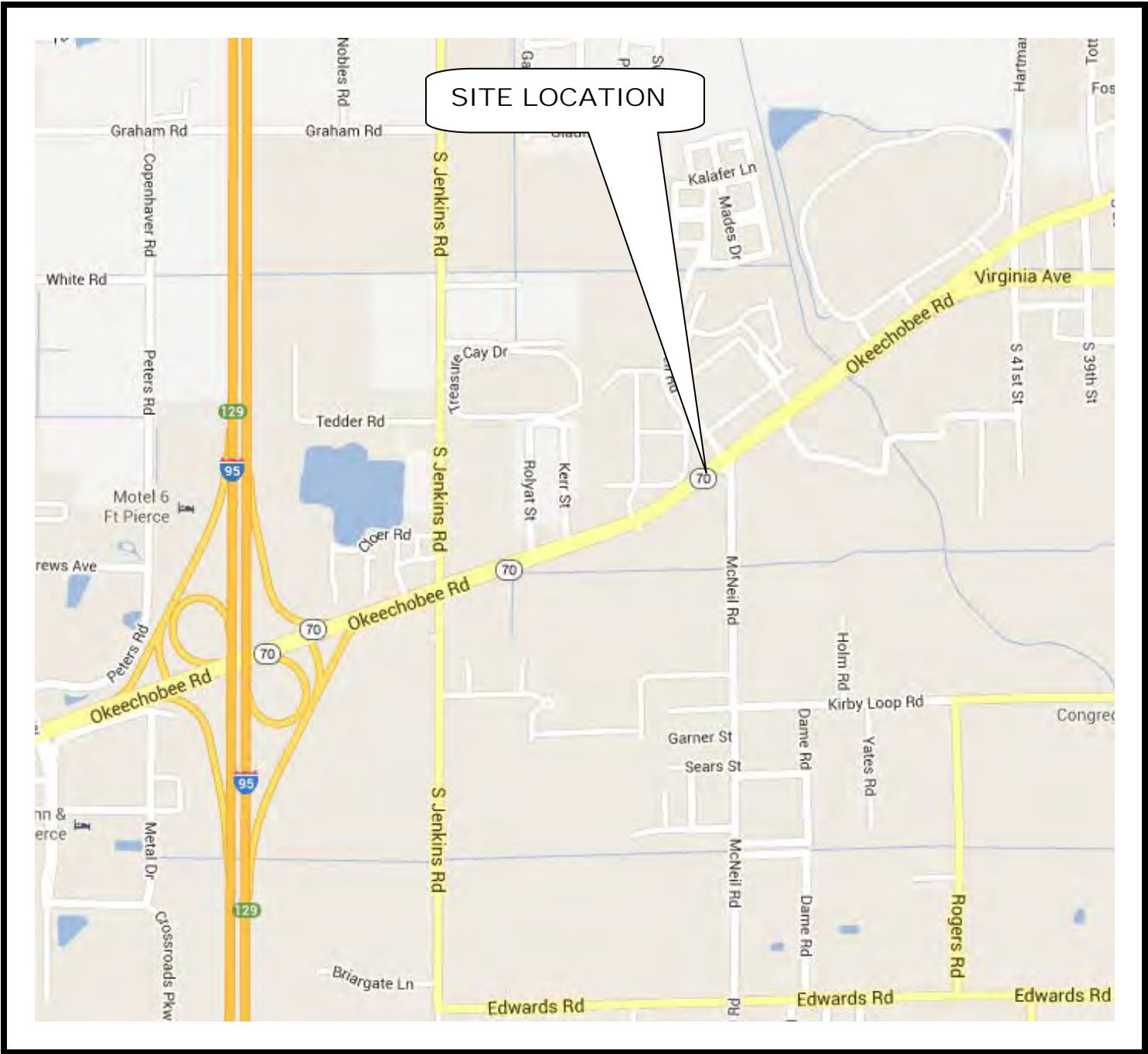
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# **Table of Contents for Staff Report Exhibits**

## **Center State Bank - Fort Pierce Branch**

### **Application 130613-7**

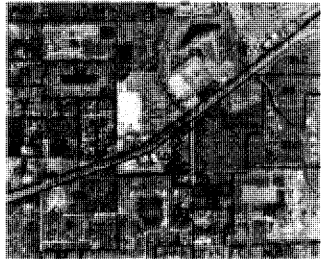
- 1 Location Map
- 2.0 Construction Plans (10 sheets)



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CENTERSTATE BANK-FORT PIERCE  
LOCATION MAP

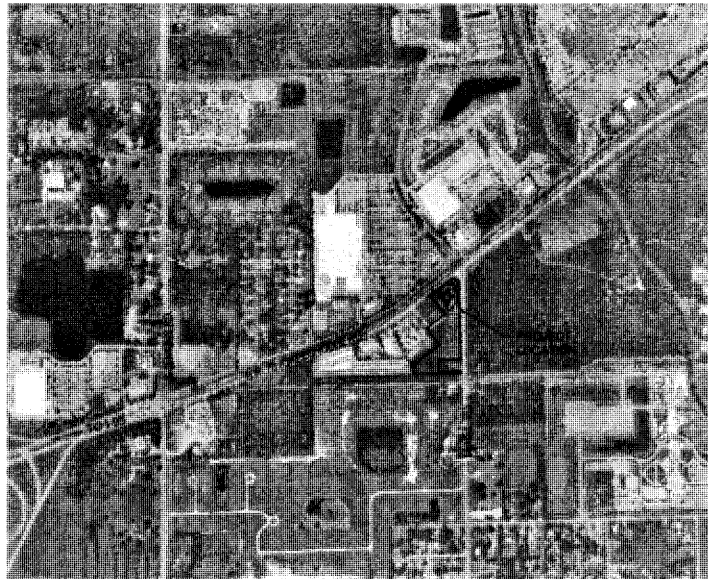
# CenterState Bank - Fort Pierce Branch CONSTRUCTION PLANS FORT PIERCE, FLORIDA



ZONING MAP  
NOT TO SCALE



FUTURE LAND USE MAP  
NOT TO SCALE



VICINITY MAP  
1" = 50'

### SHEET INDEX

|           |                                       |
|-----------|---------------------------------------|
| S-1 - S-3 | BOUNDARY & TOPOGRAPHIC SURVEY         |
| C-1       | SITE PLAN                             |
| C-2       | PAVING GRADING AND DRAINAGE PLAN      |
| C-3       | OVERALL DRAINAGE PLAN                 |
| C-4       | UTILITY PLAN                          |
| C-5       | SECTIONS & PROFILES                   |
| C-6       | PAVING, GRADING, AND DRAINAGE DETAILS |
| C-7       | GENERAL UTILITY NOTES AND DETAILS     |
| C-8       | WATER AND WASTEWATER DETAILS          |
| C-9       | SEDIMENTATION & EROSION CONTROL PLAN  |

June 2013

**CenterState Bank**

855 21st Street  
VERO BEACH, FL 32960

TEL (772) 299-8860

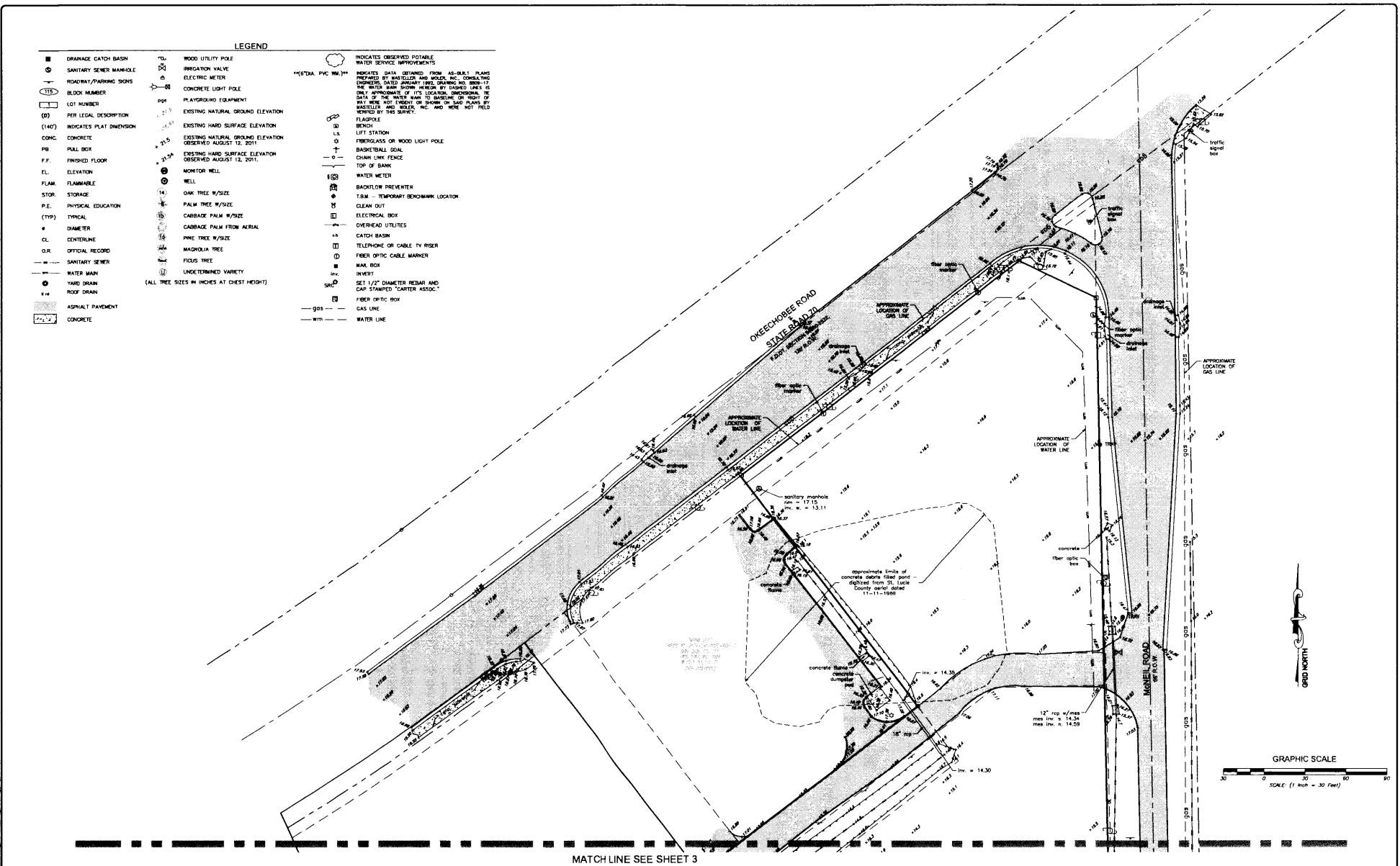
FAX (772) 299-8858

**CARTER ASSOCIATES, INC.**  
CONSULTING ENGINEERS AND LAND SURVEYORS  
1708 21st STREET, VERO BEACH, FL 32960  
TEL: (772) 562-4191 FAX: (772) 562-7190

JOHN H. BLUM DATE  
FLORIDA LICENSE NO. 45813  
CARTER ASSOCIATES INC. COA 206 / LB 206







MATCH LINE SEE SHEET 3

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**CENTERSTATE BANK**  
 855 21ST STREET  
 VERO BEACH, FLORIDA 32960  
 TEL: 772-299-6860 FAX: 772-299-6956

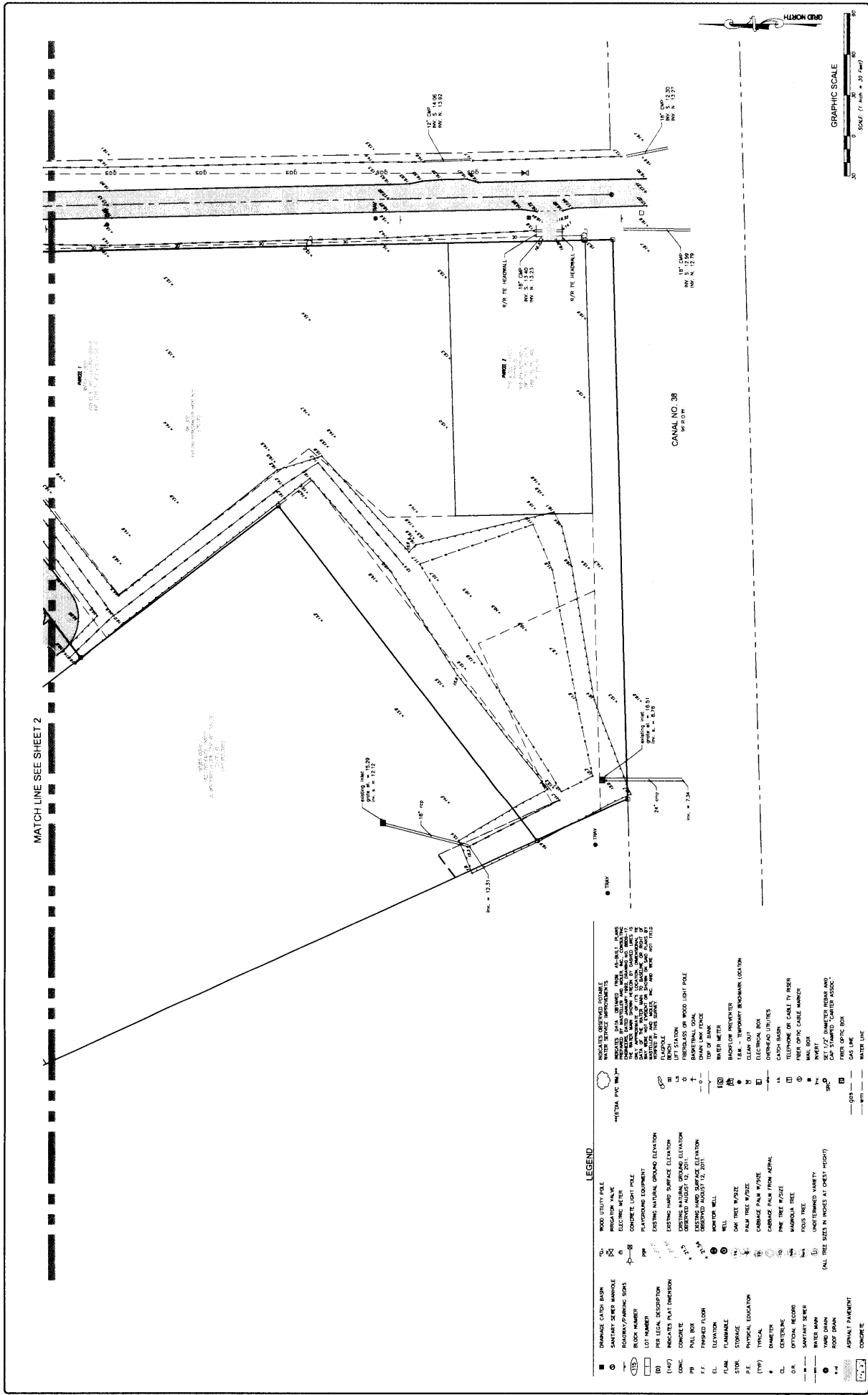
**CAI** CONSULTING ENGINEERS AND LAND SURVEYORS  
 1708 21st STREET, VERO BEACH, FL 32960  
 TEL: (772) 962-4191 FAX: (772) 962-7180

THIS SURVEY CONSISTS OF 3 SHEETS.  
 ONE IS NOT VALID WITHOUT THE OTHERS.

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 DRAWN BY: DMM  
 APP'D BY: FSC  
 PLOT BY: KIM MOONAN  
 FILE NAME: 12-14E.dwg  
 REF #  
 F.B. & PG.: 173WP-1+

**BOUNDARY & TOPOGRAPHIC SURVEY**  
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 5000 OKEECHOBEE ROAD  
 FORT PIERCE, FLORIDA 34947-5426  
**TOPOGRAPHIC SURVEY**

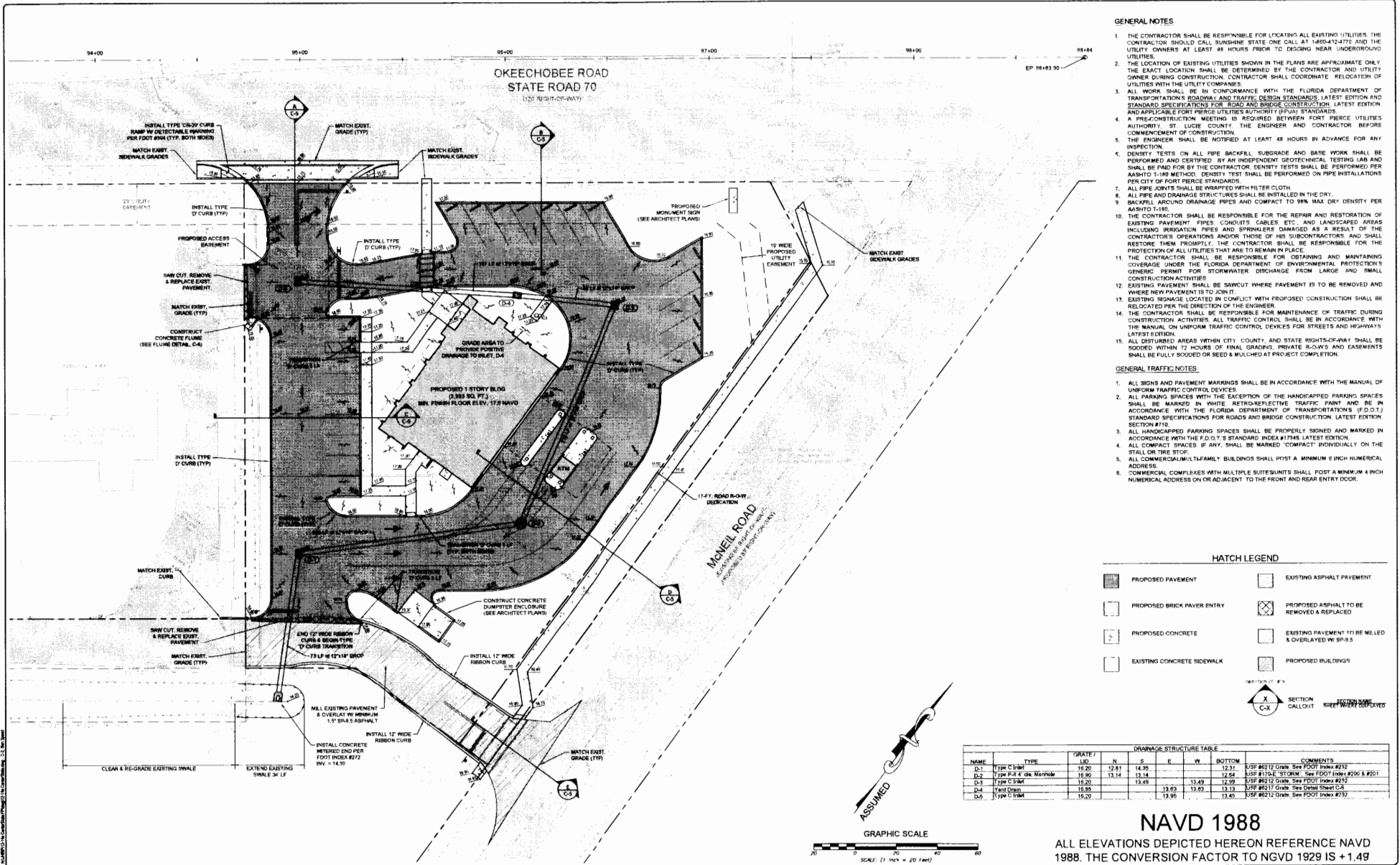
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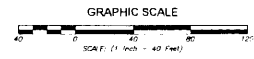
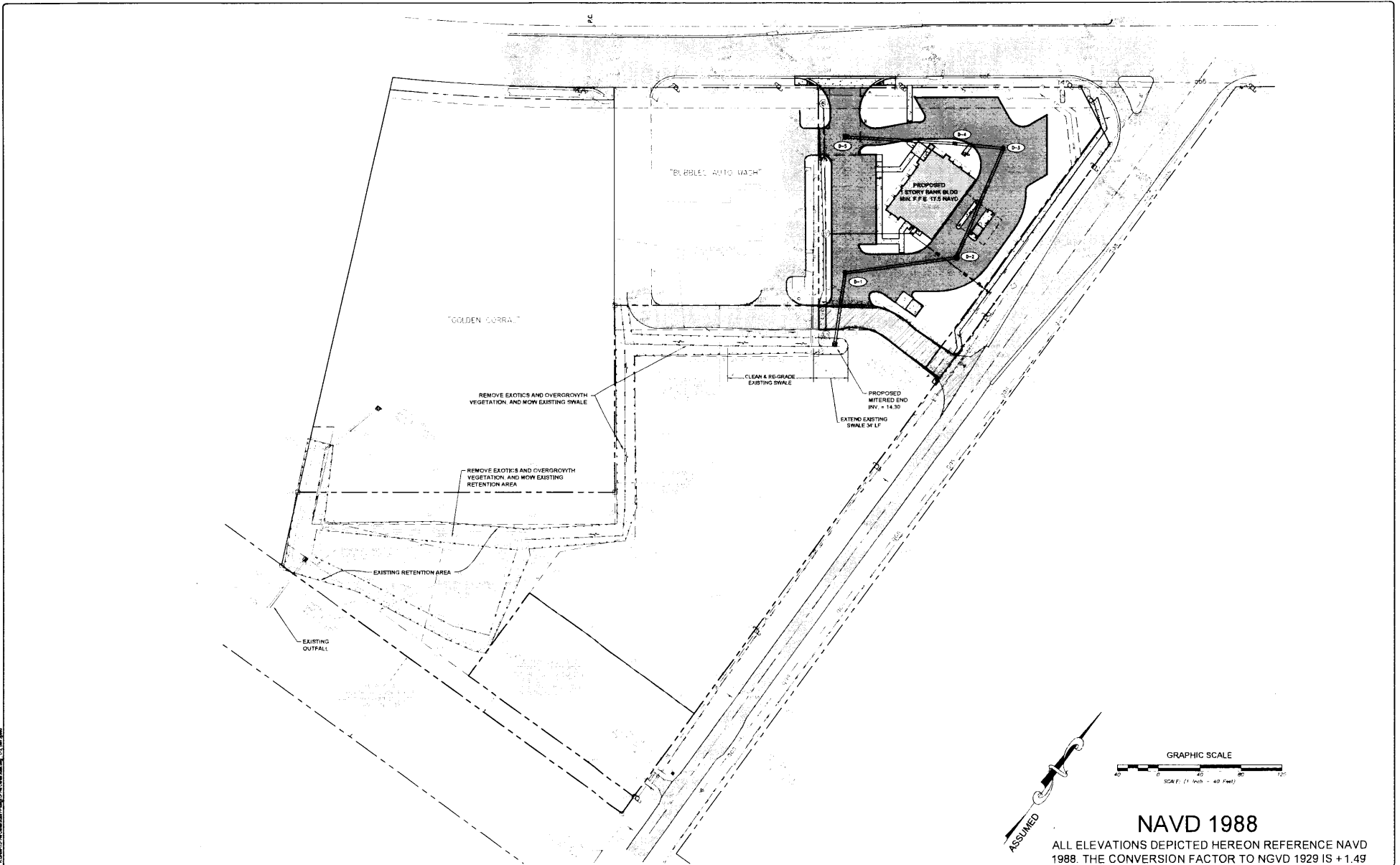
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| <b>BOUNDARY &amp; TOPOGRAPHIC SURVEY</b><br>SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST<br>FORT PIERCE, FLORIDA 34947-5428<br><b>TOPOGRAPHIC SURVEY</b>       |   |
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| THIS SURVEY CONSISTS OF 3 SHEETS.<br>ONE IS NOT VALID WITHOUT THE OTHERS.  |   |
| <b>CARTER ASSOCIATES, INC.</b><br>CONSULTING ENGINEERS AND LAND SURVEYORS<br>1708 21st STREET, VERO BEACH, FL 32960<br>TEL: (772) 865-4191 FAX: (772) 862-7180 |   |
| <b>CENTERSTATE BANK</b><br>855 21ST STREET<br>VERO BEACH, FLORIDA 32960<br>TEL: 772-229-6660 FAX: 772-229-6668   |   |
| NO. 1<br>REVISION  | BY DATE                                   |

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**NAVD 1988**

ALL ELEVATIONS DEPICTED HEREON REFERENCE NAVD 1988. THE CONVERSION FACTOR TO NGVD 1929 IS + 1.49

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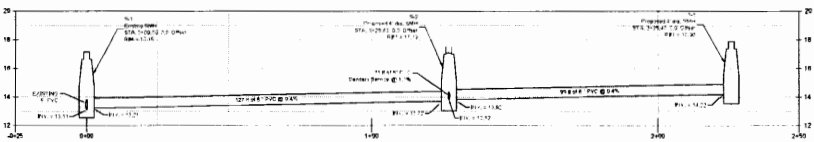
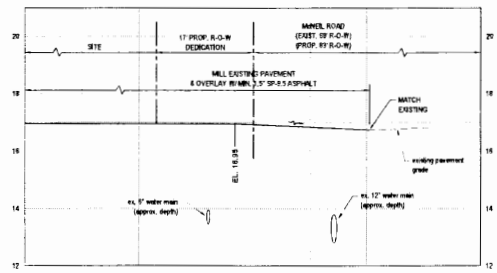
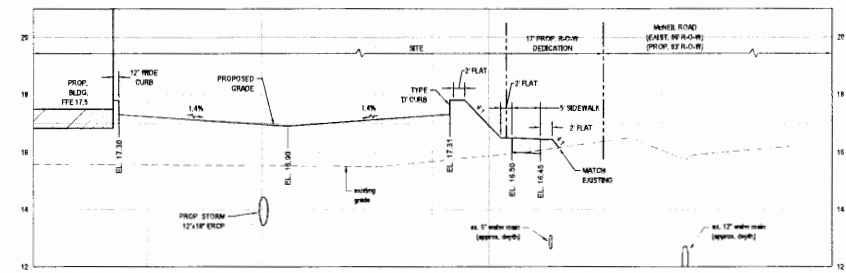
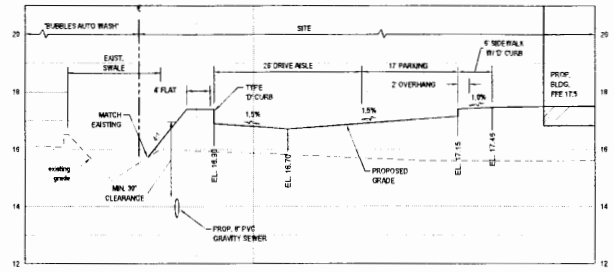
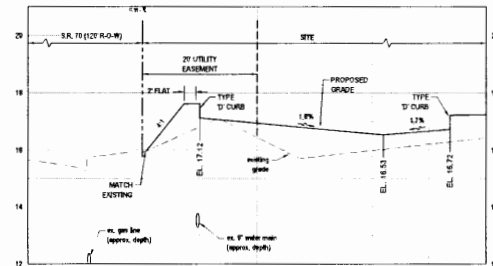
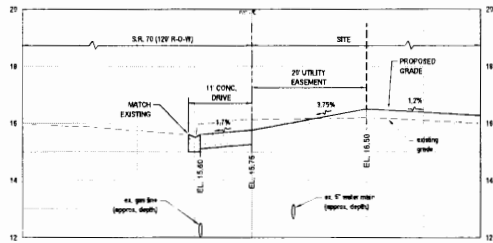
**CenterState Bank**  
855 21st Street  
Vero Beach, Florida 32980  
TEL (772) 299-6852

**CAI** Consulting Engineers and Land Surveyors  
1708 21st STREET, VERO BEACH, FL 32960  
TEL: (772) 562-4191 FAX: (772) 562-7180

DATE: June 2013  
PROJ # 12-146  
DRAWN BY: BGS  
APPD BY: JHB  
PLOT BY: Ben Speed  
FILE NAME: 12-146 CenterState.dwg  
REF # F.B. & PG.  
SIGNATURE DATE: COA 295 / LB 295

**CenterState Bank**  
Fort Pierce, Florida  
Fort Pierce Branch  
**Overall Drainage Plan**

SHEET  
**C-3**  
Dwg #



NAVD 1988  
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1988. THE CONVERSION FACTOR TO NGVD 1929 IS +1.49

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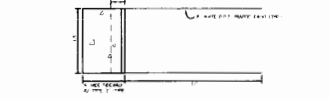
**CenterState Bank**  
855 21st Street  
Vero Beach, Florida 32960  
TEL: (772) 299-5899

**CARTER ASSOCIATES, INC.**  
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1708 21st STREET, VERO BEACH, FL 32960  
TEL: (772) 562-4191 FAX: (772) 562-7180

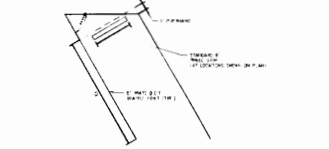
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**CenterState Bank**  
Fort Pierce, Florida  
Fort Pierce Branch  
Sections & Profiles

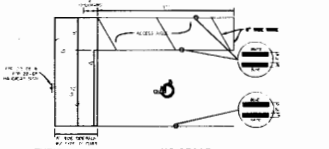
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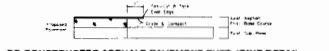
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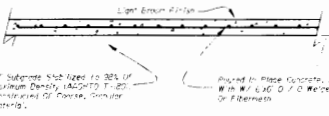
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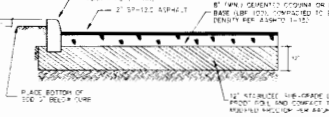
TYPICAL HANDICAP PARKING SPACE W ACCESSIBLE DETAIL PER FDOT #17348 NOT TO SCALE



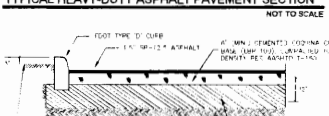
RE-CONSTRUCTED ASPHALT PAVEMENT BUTT JOINT DETAIL NOT TO SCALE



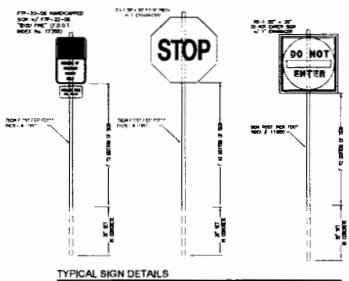
CONCRETE PAVEMENT SECTION NOT TO SCALE



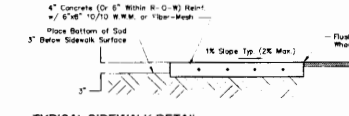
TYPICAL HEAVY-DUTY ASPHALT PAVEMENT SECTION NOT TO SCALE



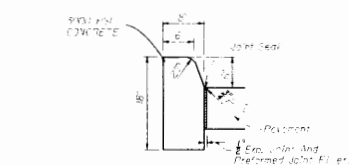
TYPICAL LIGHT-DUTY ASPHALT PAVEMENT SECTION NOT TO SCALE



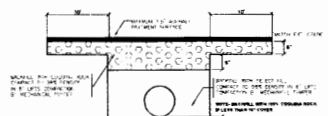
TYPICAL SIGN DETAILS NOT TO SCALE



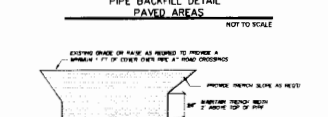
TYPICAL SIDEWALK DETAIL NOT TO SCALE



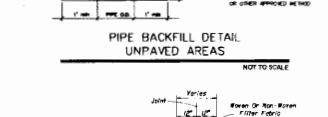
TYPE 'D' VERTICAL CURB PER FDOT #300 NOT TO SCALE



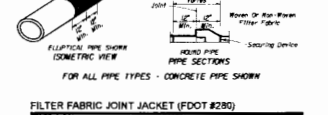
PIPE BACKFILL DETAIL PAVED AREAS NOT TO SCALE



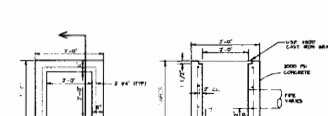
PIPE BACKFILL DETAIL UNPAVED AREAS NOT TO SCALE



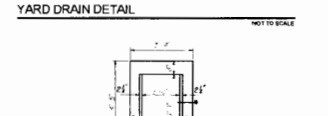
FILTER FABRIC JOINT JACKET (FDOT #280) NOT TO SCALE



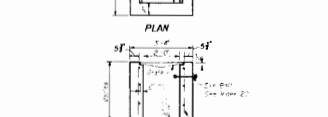
REBORN CURB DETAIL NOT TO SCALE



YARD DRAIN DETAIL NOT TO SCALE



CONCRETE FLUME DETAIL NOT TO SCALE



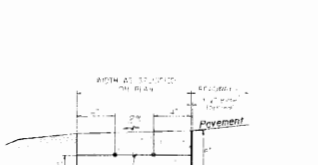
FOOT TYPE 'C' INLET (FDOT #232) NOT TO SCALE

- GENERAL NOTES:**
- The site plan is provided to assist Contractors in developing bids. All above grade features which are the Engineer's design, may conflict with the proposed installation. Have been shown to the extent known. The Contractor is advised that all underground features may be indicated on the plans. The Contractor shall investigate himself with the project site and determine the effect of all existing conditions prior to submitting a bid.
  - The locations of off site property lines shown on the plans are approximate and shown for informational purposes only. Actual lines shall be established in the field by the Contractor when needed.
  - All materials and workmanship shall meet or exceed Fort Pierce Utilities Authority (FPUA) and City of Fort Pierce Engineering Department standards and shall be subject to the inspection and approval of the City of Fort Pierce Utility and City of Fort Pierce Engineering Departments.
  - The Contractor shall notify the FPUA at (772) 466-1600 at least 48 hours prior to commencement of construction.
  - The Contractor shall verify all required right-of-way permits from the St. Lucie County and FDOT for all construction activities within St. Lucie County and FDOT right-of-way.
  - The locations of existing utilities as plotted on these plans are approximate only and are made available to assist contractors in developing their bids. The utilities are from documentation obtained from the Engineer and shall be verified by the Contractor prior to installation of the proposed site utilities. The Contractor shall contact Sunshine State One - Call of Florida, Inc. at 811 to provide underground location of utilities sufficiently in advance of the proposed installation to prevent delay of the project. The Contractor shall provide relocation or support of existing utilities as required.

**FORT PIERCE UTILITIES AUTHORITY**  
 3300 Olivebree Road  
 Ft. Pierce, FL 34947  
 (772) 562-9301

**ST. LUCIE COUNTY**  
 2300 Virginia Avenue  
 Fort Pierce, FL 34982  
 (772) 462-1307

- Shop drawings of all fabricated structures, mechanical and electrical components and piping shall be submitted to the Engineer for approval. No items shall be manufactured or ordered to the project without shop drawings having been reviewed and approved by the Owner's Engineer. All materials shall be new, unused, and in good working order. Materials shall not contain means of deterioration due to excessive storage periods or rough handling. A pre-construction conference will not be scheduled prior to City of Fort Pierce approval of the shop drawings.
- Any change or deviation from the plans shall be approved by Engineer prior to the construction of said change or deviation.
- The Contractor shall submit one set of record drawings to the Engineer indicating any and all changes or deviations from the original plans.



REBORN CURB DETAIL NOT TO SCALE



CONCRETE FLUME DETAIL NOT TO SCALE



FOOT TYPE 'C' INLET (FDOT #232) NOT TO SCALE

**NAVD 1988**  
 ALL ELEVATIONS DEPICTED HEREON REFERENCE NAVD 1988. THE CONVERSION FACTOR TO NGVD 1929 IS + 1.49

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 Vero Beach, Florida 32960

TEL: (772) 294-6800 FAX: (772) 294-6858

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JOHN H. BLUM, P.E.  
 FLORIDA LICENSE NO. 45911  
 CARTER ASSOCIATES, INC.

SIGNATURE DATE: \_\_\_\_\_  
 CDA 205 / LB 205

DATE: June 2013  
 PROJ. # 12-144  
 DRAWN BY: BOS  
 APP'D BY: JMB  
 PLOTTED BY: Ben Speed  
 FILE NAME: 12-144 Center State Details.dwg  
 REF. # F.B. & P.G.

**CenterState Bank**  
 Fort Pierce, Florida  
 Fort Pierce Branch

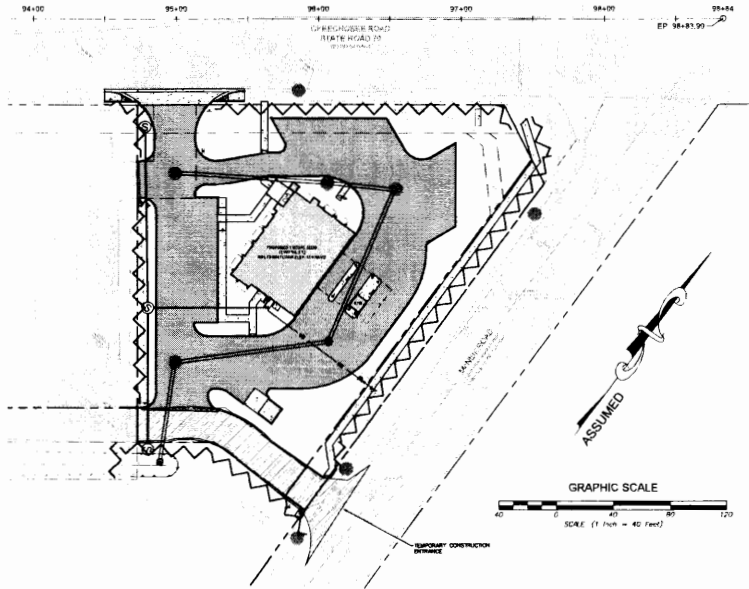
**Paving, Grading, and Drainage Details**

**SHEET**  
**C-6**  
 Dwg. #

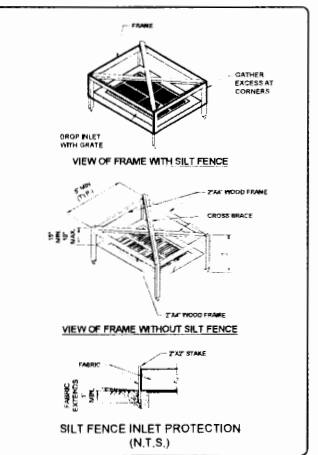
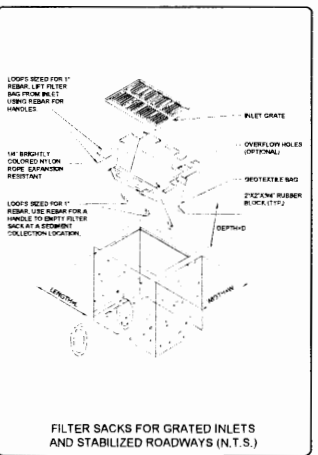
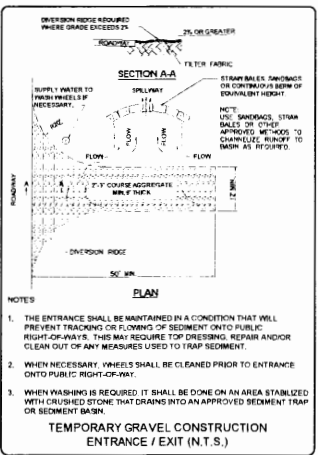
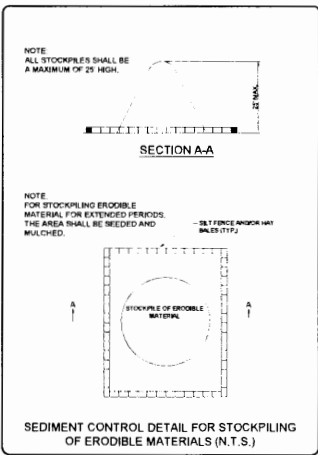
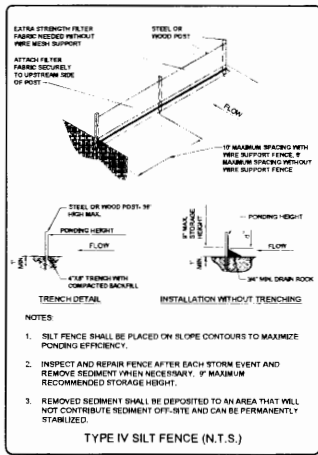
**EROSION CONTROL NOTES**

- Sediment basins and traps, perimeter dikes, sediment barriers and other measures intended to trap sediment shall be constructed as first step in any land disturbing activity and shall be made functional before up-slope land disturbance takes place.
- All sediment control measures are to be adjusted to meet field conditions at the time of construction and be constructed prior to any grading or disturbance of existing surface material on balance of site. Perimeter sediment barriers shall be constructed to prevent sediment or trash from flowing or floating on to adjacent properties.
- Permanent or temporary soil stabilization shall be applied to denuded areas within seven (7) days after final grade is reached on any portion of the site. Temporary soil stabilization shall be applied within seven (7) days to denuded areas that may not be at final grade but will remain undisturbed for longer than 30 days. Permanent stabilization shall be applied to areas that are to be left undisturbed for more than one year.
- During construction of the project, soil stock piles shall be stabilized, covered or contained with sediment trapping measures. The applicant is responsible for the temporary protection and permanent stabilization of all soil stockpiles on site as well as soil intentionally transported from the project site.
- A permanent vegetative cover shall be established on denuded areas not otherwise permanently stabilized.
- After any significant rainfall, sediment control structures will be inspected for integrity. Any damaged devices shall be corrected immediately.
- Concentrated runoff shall not flow down cut or fill slopes unless contained within an adequate temporary or permanent channel, flume, slope drain structure or approved control.
- Sediment will be prevented from entering any storm water system, ditch or channel. All storm water inlets that are made operable during construction shall be protected so that sediment-laden water cannot enter the conveyance system without first being filtered or otherwise treated to remove sediment.
- When work in a live watercourse is performed, precautions shall be taken to minimize encroachment, control sediment transport and stabilize the work area to the greatest extent possible during construction.
- Periodic inspection and maintenance of all sediment control structures must be provided to ensure intended purpose is accomplished. The developer, owner and/or contractor shall be continually responsible for all sediment controls. Sediment control measures shall be in working condition at the end of each working day.
- Where construction vehicle access routes intersect paved public roads, provisions shall be made to minimize the transport of sediment by tracking onto the paved surface. Where sediment is transported onto a public road surface with curbs and gutters, the road shall be cleared thoroughly at the end of each day. Sediment shall be removed from the road by shoveling or sweeping and transported to a sediment control disposal area. Street washing shall be allowed only after sediment is removed in this manner. This provision shall apply to individual subdivision lots as well as to larger land disturbing activities.
- All temporary erosion and sediment control measures shall be removed within 30 days after final site stabilization or after the temporary measures are no longer needed.
- Properties and waterways downstream from construction sites shall be protected from sediment deposition and erosion at all times during construction.
- Erosion control design and construction shall follow the requirements in index numbers 101, 102 and 103 of F.O.D.T. Roadway and Traffic Design Standards and county permits.
- Contractor is responsible for all surface water discharges, rainfall run off or dewatering activities.
- Contractor must incorporate all BMP's necessary to meet or exceed state water quality and SWPPP requirements.
- The Sedimentation & Erosion Control Plan is a minimum guideline only. Additional BMP's may be necessary at contractor's expense.
- NOI to be posted on site.
- Dewatering activities:
  - Discharge must not exceed state water quality standards.
  - Contractor must have a transferable SWPPP/Consumptive Use Permit known as a "Noticed General Permit For Short Term Construction De-Watering".
  - No hydraulic pumps may be used for dewatering unless approved by the water management district for that area.
  - No turbid discharge. Turbidity readings are required once a week and must be reported to the project engineer.

**LEGEND**



NOTE: ALL EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL ALL STABILIZATION METHODS HAVE BEEN COMPLETED. ALL PVIOUS AREAS DISTURBED BY CONSTRUCTION SHALL BE SOODED OR SEEDED & MULCHED.



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**CenterState Bank**  
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JON H. Egan, P.E.  
 FLORIDA LICENSE NO. 48811  
 CARTER ASSOCIATES, INC.

SIGNATURE DATE  
 COA 205 / LB 205

DATE: June 2013  
 PROJ # 12-14a  
 DRAWN BY: BOS  
 APPO BY: JHS  
 PLOT BY: Ben Speed  
 FILE NAME: 12-14a CenterState.dwg  
 REV # F.B. & PG.

**CenterState Bank**  
 Fort Pierce, Florida  
 Fort Pierce Branch  
**Sedimentation & Erosion Control Plan**

SHEET  
**C-9**  
 Draw #

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**Application No:** 130613-7

**Permit No:** 56-02366-P-02

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- X North St Lucie River Water Control District
- X St. Lucie County Engineer
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Mark Satterlee, AICP, Director

DRDD

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07/22/2013

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Ft Pierce FL 34945

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