



DEVELOPMENT REVIEW

Property Information

Property address or Location Okeechobee Rd
Parcel ID #(s) 2419-122-0001-040-6 & 2419-122-0001-050-9
Project description Flex Space (wholesale trade / warehouse freight)

Application Type

Site Plan Conditional Use w/New Construction Conceptual Development Plan
 Minor Amendment Major Amendment

Site Information

Non-Residential: Proposed Sq. Ft.: 39,450 Sq Ft Site Acreage: 3.57 Acres
Residential: Proposed Units: _____ Proposed Sq. Ft.: _____ Site Acreage: _____


St. Lucie Kings, LLC

Property Owner(s)
101 Pugliese Way
Street Address
Delray Beach FL 33444
City State Zip
561-454-1625
Phone Number
azurita@puglieseco.com
Email Address

HJA Design Studio

Applicant/Representative, Title, Company
50 SE Ocean Blvd., Suite 101
Street Address
Stuart FL 34994
City State Zip
772-678-7200
Phone Number
erika@hjadstudio.com
Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

St. Lucie Kings, LLC
By:  VP
Property Owner(s) Signature(s) DAVID CLORAN, VICE PRESIDENT

APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS
CALL 772.467.3737 OR E-MAIL PLANNING_DL@CITYOFFORTPIERCE.COM
For more information, please refer to the website:
<https://www.cityoffortpierce.com/971/Application-Submittal-for-Technical-Rev1>

General Information

- Incomplete application packets will not be accepted.
- In-take meetings are required for application submittals.
- Site plan approval is valid for one (1) year following City Commission approval. To maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date.
- Fee Schedule - <https://www.cityoffortpierce.com/DocumentCenter/View/2620/Fee-Schedule->
- Public Notice Fees - <https://www.cityoffortpierce.com/DocumentCenter/View/8818/Public-Notice-Fees->



Site Plan submittal requirements:

Submit one (1) original & three (3) hard copies and one (1) CD or Flash Drive of the following. Additional copies will be required of subsequent submittals.

- Complete application
- Warranty Deed
- SLC Property Record Card
- Detailed project description
- General location map (see Section 125-313)
- Survey (see Section 125-313)
- Site Plan (see Section 125-313)
- Landscaping Plan (see Section 123-37)
- Conceptual Drainage Plan (see Section 125-313)
- Environmental Impact Report
- N/A Beach/Dune System protection plan, if applicable (see Section 125-313)
- Lighting Plan (see Section 125-313)
- Design Review submittals (see Design Review application)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)



DESIGN REVIEW

Property Information

Property address or Location Okeechobee Rd
 Parcel ID #(s) 2419-122-0001-040-6 & 2419-122-0001-050-9
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 VP
 Property Owner(s) Signature(s)

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Design Review Application Checklist (City Code of Ordinances 125-314)

Submittal for Administrative Approval

- a. A survey (1" = 30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of section 123-66, location of bordering streets and, if applicable, wetlands and beaches.
- b. A site analysis study to include a discussion of specimen trees and other natural vegetation, access, significant topography, wetlands, buffers, setbacks, views, orientation, the surrounding built environment, and other site features that may influence design elements.
- c. A draft written narrative describing the design intent of the project, its goals, and objectives and how it reflects the site analysis study results.
- d. Context photographs of neighboring uses and architectural styles.
- e. Photographs and/or drawings of architectural buildings or objects that serve as a precedent for the proposed building design. Models should be taken from local exemplary buildings, either existing or demolished. Documentation of such buildings is available in the city's planning department.
- f. Photographs of all existing structures located on the property. If existing structures on the property are more than fifty (50) years of age, documentation of these structures with data from the Florida Master Site File form is also required.
- g. Conceptual site plan (to scale) showing proposed location of all buildings, structures, parking areas, signs and landscaping.
- h. Landscape plan, at the same scale as the site plan. The planning director or designee may request enlarged plans of detailed planting areas. Planting schedule with sizes of proposed plantings must be included.
- i. Accurate color rendering of proposed signs showing dimensions, type of lettering, materials and actual color samples that demonstrates cohesiveness with the project design.
- j. Exterior elevations showing architectural character, external architectural features, and streetscape of the proposed development, including materials, colors, shadow lines and landscaping. The street elevation shall encompass the entire proposed project and generally identify the major elements of the adjacent two (2) properties on either side of the site. If the adjacent properties are vacant or underutilized, a diagram shall be provided that identifies the mass and form that is allowable under current zoning. If the street elevation must be drawn at such a scale as to render architectural details of the building unreadable, drawings of individual buildings at a larger scale should be provided as well.
- k. Design review concurrent with conceptual development plan procedure according to subsection 125-313 is also available.

Submittal for Board Approval

- ✓a. A written narrative describing how the project conforms to administrative approval and design review guidelines of this section.
- ✓b. A final site plan meeting the requirements of section 125-313.
- ✓c. A final site lighting plan that meets the requirements of subsection 125-313(d)(8).
- ✓d. A final landscape plan that meets the requirements of articles II and III of chapter 123.
- ✓e. Final floor plans and elevation drawings (1/8" = 1'-0" minimum scale), as detailed under administrative approval, showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- ✓f. A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.



CONCURRENCY CAPACITY ANALYSIS

I. Site Data:

	Existing Use	Future Land Use	Zoning
North			
South			
East			
West			

	Future Land Use	Zoning Classification	Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage	Total Acreage	Flood Zone
Current					
**Proposed					AE / X

II. Public Facilities Information:

A. Potable Water:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.125 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day
**Proposed Zoning/FLU	Total gallons per day
**Change in Demand	Total gallons per day

B. Wastewater:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.1 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day
**Proposed Zoning/FLU	Total gallons per day
**Change in Demand	Total gallons per day

C. Parks and Recreation (Residential Classifications Only): (Du x 2.6 = persons + 44,227 = population /LOS)				
Park Type	LOS	Existing Population Park Demand	Proposed Population Park Demand	Change in Demand
Regional	20 acres per 1,000 people			
Urban District	5 acres per 1,000 people			
Community	2.5 acres per 1,000 people			
Neighborhood	1.36 acres per 1,000 people			

D. Public Schools (Residential Classifications Only): Single Family: (du x 0.405 = students/70% K-8/30% High) Multi-family: (du x 0.207 = students/70% K-8/30% High)		
	K-8	High
School Name		
City		
Distance		
Current Zoning/FLU	Enrollment	
**Proposed Zoning/FLU	Enrollment	
**Change in Demand		

E. Solid Waste: Residential (2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units)	
Demand Analysis	Maximum
Current Zoning/FLU	
**Proposed Zoning/FLU	
*Change in Demand	

F. Stormwater:
Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year – 1 day storm event)

NON-RESIDENTIAL DATA					
Type(s) specify	Phase	Square footage	Acres	Expecting beginning date	Expected completion date

- A. Indicate whether the proposed project will be eliminating any existing recreational facilities. If yes, detail the number and type being eliminated. Yes No
- B. 1. Does this application involve demolition or re-use of any structure(s)? Yes No
If yes, what is the size of the structure(s) to be demolished or re-used? _____
2. What is the current use of the structure to be demolished or re-used? _____
3. Are you claiming trip credits for the demolition or re-use of a structure(s) at the site? Yes No
If yes, provide estimates of credits for each previous use at the site. (Attach sheet with calculations)

C. Exemptions Requested:

** Complete section if requesting a change in zoning, future land use, or expanding

Project Description

4646 Okeechobee Road

Parcel Control Numbers: 2419-122-0001-040-6 & 2419-122-0001-050-9

This is a request for a Conditional Use Approval with new construction to allow a flex space for wholesale trade and warehouse freight uses proposed for the development of the 3.57 acres property located off SR 70 / Okeechobee Road, east of I-95 and west of the Renaissance Business Park alongside Five Mile Creek in the City of Fort Pierce. The site has a zoning and land use of General Commercial. The parcel is accessed off Okeechobee Road through an existing shared access easement within the existing gas station and self-storage sites.

Recent economic studies have shown that there is a demand for small-to medium-sized flex spaces where growing businesses can have offices, workshops, and warehouse space all in one location. The following list includes selected uses limited to the Conditional Uses to be requested to the City of Ft. Pierce for this approval.

- Light Industrial Service/Manufacturing
- Warehouse and Freight
- Environmental Research and Education Facilities
- Day Care Center (Adult/Child)
- Medical Facilities
- Social Service Institution
- Building Maintenance Facilities and Services
- Microbrewery
- Marine-Related Industrial
- Vehicle Storage

The proposed site plan is compiled of three small warehouse buildings with a gross floor area of 39,450 square feet. There is over 30% of open space provided which includes the required landscape buffers and dry retention areas. Adequate parking and loading spaces are proposed to fit the needs for an array of uses listed above. In addition, a trash compactor and dumpers will be located on site to meet the needs of the proposed flex space complex.

Prepared By:
Doug Marek, Esq.
DOUG MAREK, P.A.
101 Pineapple Grove Way, Suite 200
Delray Beach, Florida 33444
561 454-1610

Property ID: 2419-122-0001-040-6
2419-122-0001-050-9

WARRANTY DEED

THIS WARRANTY DEED is made as of the 9th day of March 2021 by FLORIDA TAX LIEN ASSETS IV, LLC, a Florida limited liability company, whose post office address is 2055 US Highway 1, Vero Beach, FL 32960 ("Grantor") to ST. LUCIE KINGS, LLC, a Florida limited liability company whose post office address is 101 Pugliese's Way, 2nd Floor, Delray Beach, FL 33444 ("Grantee").

GRANTOR, IN CONSIDERATION of Ten Dollars and other good and valuable considerations, the receipt and sufficiency of which are hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto Grantee all that land as described in Exhibit A attached hereto, situate in St. Lucie County, Florida.

SUBJECT TO easements, restrictions, and reservations of record, taxes for the year 2021 and thereafter (a lien which is not yet due and payable).

TOGETHER WITH all tenements, hereditaments and appurtenances thereto belonging or in anywise pertaining.

TO HAVE and to hold the same in fee simple forever.

AND, Grantor hereby covenants with Grantee that Grantor is lawfully seized of said land in fee simple, that Grantor has good, right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2021 (a lien which is not yet due and payable).

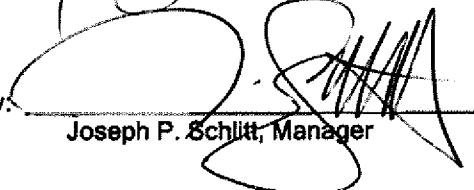
IN WITNESS WHEREOF, Grantor has signed and sealed these presents the day and year first above written.


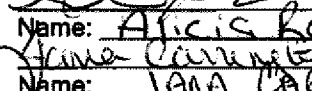
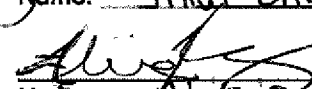
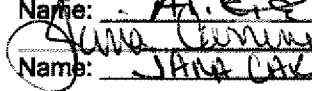
Signed, sealed and delivered in the presence of:

FLORIDA TAX LIEN ASSETS IV, LLC, a Florida limited liability company

By: Kite Tax Lien Capital, LLC, a Florida limited liability company

By: 
Kelly P. Kite, Jr., Manager


By: 
Joseph P. Schlitt, Manager


Name: Alicia Benz

Name: Jana Carlington

Name: Alicia Benz

Name: Jana Carlington

STATE OF FLORIDA
COUNTY OF INDIAN RIVER

I hereby certify that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgements, appeared by means of ✓ physical presence or ___ on line notarization, Kelly P. Kite, Jr., as manager of Kite Tax Lien Capital, LLC, a Florida limited liability company, the managing member of FLORIDA TAX LIEN ASSETS IV, LLC, who is personally known to me or produced _____ as identification.

WITNESS, my hand and official seal in the County and State aforesaid this 8th day of March 2021.




Notary Public

STATE OF FLORIDA
COUNTY OF INDIAN RIVER

I hereby certify that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgements, appeared by means of ✓ physical presence or ___ on line notarization, Joseph P. Schlitt, as manager of Kite Tax Lien Capital, LLC, a Florida limited liability company, the managing member of FLORIDA TAX LIEN ASSETS IV, LLC, who is personally known to me or produced _____ as identification.

WITNESS, my hand and official seal in the County and State aforesaid this 8th day of March 2021.



Notary Public

1832-002 *

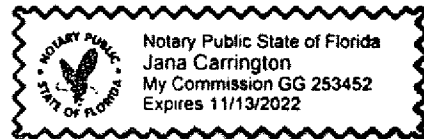


EXHIBIT A
Legal Description

Parcel 1:

A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE NORTH 01°20'45" EAST, ALONG THE EAST LINE OF SECTION 18, TOWNSHIP 35 SOUTH, RANGE 40 EAST, A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA; S.R. 70); THENCE SOUTH 52°29'55" WEST, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 2,102.04 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 55°45'47" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 210.34 FEET; THENCE SOUTH 52°29'33" WEST ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 71.28 FEET; THENCE NORTH 37°30'27" WEST, A DISTANCE OF 73.78 FEET; THENCE NORTH 37°30'14" WEST, A DISTANCE OF 114.06 FEET; THENCE NORTH 37°29'33" WEST, A DISTANCE OF 33.20 FEET; THENCE SOUTH 52°29'33" WEST, A DISTANCE OF 185.54 FEET; THENCE NORTH 37°24'29" WEST, A DISTANCE OF 337.95 FEET; THENCE NORTH 52°35'31" EAST, A DISTANCE OF 149.75 FEET; THENCE SOUTH 37°24'29" EAST, A DISTANCE OF 101.01 FEET; THENCE NORTH 52°26'19" EAST, A DISTANCE OF 84.86 FEET; THENCE NORTH 76°15'19" EAST, A DISTANCE OF 109.98 FEET TO A POINT ON THE ARC OF A CIRCULAR CURVE TO THE LEFT AT WHICH A RADIAL LINE BEARS NORTH 72°27'31" EAST; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 85.00 FEET AND A CENTRAL ANGLE OF 10°43'05", A DISTANCE OF 15.90 FEET TO A POINT OF TANGENCY; THENCE SOUTH 28°15'34" EAST, A DISTANCE OF 42.13 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE TO THE LEFT; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 85.00 FEET AND A CENTRAL ANGLE OF 72°51'03", A DISTANCE OF 108.08 FEET TO A POINT OF TANGENCY; THENCE NORTH 78°53'23" EAST, A DISTANCE OF 69.88 FEET TO A POINT ON THE ARC OF A CIRCULAR CURVE TO THE LEFT AT WHICH A RADIAL LINE BEARS NORTH 46°34'59" EAST; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 443.72 FEET AND A CENTRAL ANGLE OF 04°34'37", A DISTANCE OF 35.44 FEET TO A POINT OF TANGENCY; THENCE SOUTH 47°59'38" EAST, A DISTANCE OF 11.05 FEET; THENCE SOUTH 44°53'31" EAST, A DISTANCE OF 203.42 FEET TO THE POINT OF BEGINNING.

LESS A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE NORTH 01°20'45" EAST ALONG THE EAST LINE OF SECTION 18, TOWNSHIP 35 SOUTH, RANGE 40 EAST, FOR A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA S.R. 70); THENCE SOUTH 52°29'55" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 2102.04 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND; THENCE SOUTH 55°45'47" WEST FOR A DISTANCE OF 210.34 FEET; THENCE SOUTH 52°29'33" WEST FOR A DISTANCE OF 71.28 FEET; THENCE NORTH 37°30'27" WEST FOR A DISTANCE OF 73.78 FEET; THENCE NORTH 01°22'19" WEST FOR A DISTANCE OF 267.30 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 14°31'16" WEST, HAVING A RADIUS OF 85.00 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 36.54 FEET THROUGH A CENTRAL ANGLE OF 24°37'53" TO A POINT OF TANGENCY; THENCE NORTH 78°53'23" EAST FOR A DISTANCE OF 69.88 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 46°34'59" WEST, HAVING A RADIUS OF 443.72 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 35.19 FEET THROUGH A CENTRAL ANGLE OF 04°32'39"; THENCE SOUTH 47°59'38" EAST FOR A DISTANCE OF 11.05 FEET; THENCE SOUTH 44°53'31" EAST FOR A DISTANCE OF 203.42 FEET TO THE POINT OF BEGINNING.

Parcel 2:

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Via Email and FedEx

February 1, 2023

Kevin Freeman
Planning Director
City of Fort Pierce Planning Department
100 N. U.S. Highway 1
Fort Pierce, FL 34950

RE: 4646 Okeechobee Road – Development Review Application – PCN: 2419-122-0001-040-6 & 2419-122-0001-050-9

Dear Kevin,

Please accept this letter and the attached documents as our request for the above mentioned parcel which is a partially constructed site where some underground and paving was begun but stopped prior to completion. This site is a portion of the Portofino Landings Master Plan off of Okeechobee Road.

This parcel is made up of two platted lots totaling 3.57 acres. The proposed site plan is compiled of three small flex space warehouse buildings with a gross floor area of 39,450 square feet. There is over 30% of open space provided which includes the required landscape buffers and dry retention areas.

Enclosed, please find the submittal material for a portion of the Portofino Landings site as reference above. The following items are included as per the application requirements:

1. An executed application form
2. Payment for the application fee will be submitted after invoicing.
3. Warranty Deed
4. SLC Property Record Card
5. Project Narrative
6. General Location Map
7. Survey
8. Conceptual Site Plan showing the conceptual drainage overlaid on an aerial
9. Landscape Plan
10. Environmental Impact Report
11. Lighting Plan
12. Traffic Impact Report
13. Final Floor Plans and Elevation Drawings per the Design Review Submittal requirements

We look forward to discussing this project with you. Thank you for your assistance with this application.

Sincerely,


Michael Houston
President, HJA Design Studio

March 28, 2022
City of Fort Pierce Planning Department
100 N. U.S. Highway 1
Fort Pierce, FL 34950

St. Lucie Kings, LLC
101 Pugliese Way
Delray Beach, FL 33444

RE: 4646 Okeechobee Road Undeveloped 3.56 acre portion at Portofino Landings

Please be advised that St. Lucie Kings, LLC hereby authorizes HJA Design Studio, LLC to act as its agent relative to the above referenced project and approval process, and to submit any applications or related materials with respect thereto.

Sincerely,

St. Lucie Kings, LLC

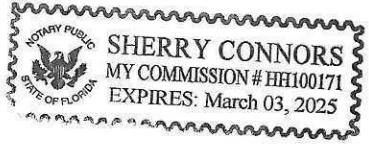
By:  VP
David Cloran, Vice President

Date: 3/24/22

STATE OF FLORIDA
COUNTY OF PALM BEACH

The foregoing instrument was acknowledged before me this 24th day of MARCH 2022
by David Cloran, as Vice President of St. Lucie Kings, LLC., a Florida Limited Liability Company,
on behalf of
the company who is personally known to me.

Signature 
Sherry Connors
Notary Public-State of Florida
My Commission Expires 03/03/2025



Property Identification

Site Address: OKEECHOBEE RD
 Sec/Town/Range: 19/35S/40E
 Parcel ID: 2419-122-0001-040-6
 Jurisdiction: Fort Pierce

Use Type: 1000
 Account #: 175561
 Map ID: 24/19N
 Zoning: General Co

Ownership

ST LUCIE KINGS LLC
 101 Puglieses WAY Fl 2
 Delray Beach, FL 33444

Legal Description

19 35 40 FROM NE COR OF SEC RUN N 01 20 45 E ALG E LI OF SEC 357.81 FT TO N RD R/W LI OF OKEE RD, TH S 52 29 55 W ALG NLY R/W LI 2102.04 FT TO POB; TH S 55 45 47 W 210.34 FT, TH S 52 29 33 W 71.28, TH N 37 30 05 W 221.20 FT, TH S 52 29 33 W 185.54 FT, TH S 37 30 09 E 341.13 FT, TH N 52 35 31 E 149.75 FT, TH S 37 42 29 E 101.01 FT, N 52 26 19 E 84.86 FT, TH N 76 15 19 E 109.98 FT, TH S 28 15 34 E 42.13 FT TO CURVE CONC NE, R OF 85 FT, TH SELY ALG ARC 108.08 FT, TH N 78 53 23 E 69.88 FT TO WLY R/W OF CANAL # 29 AND CURVE CONC NE, R OF 443.73 FT, TH SELY ALG ARC 35.44 FT, TH S 47 59 38 W 11.05 FT, TH S 44 53 31 E 203.42 FT TO POB LESS THAT PARCEL MPDAF: 19 35 40 FROM NE COR OF SEC RUN N 01 20 45 E ALG E LI OF SEC 357.81 FT TO N RD R/W LI OF OKEE RD, TH S 52 29 55 W ALG NLY R/W LI 2102.04 FT TO POB; TH S 55 45 47 W 210.34 FT, TH S 52 29 33 W 71.28, TH N 37 30 27 W 73.78', TH N 01 22 19 W 267.30', TO CURVE CONC NE, R OF 85 FT, TH SELY ALG ARC 108.08 FT, TH N 78 53 23 E 69.88 FT TO WLY R/W OF CANAL # 29 AND CURVE CONC NE, R OF 443.73 FT, TH SELY ALG ARC 35.44 FT, TH S 47 59 38 W 11.05 FT, TH S 44 53 31 E 203.42 FT TO POB (2.19 AC)



Total Areas

Finished/Under Air (SF):	0
Gross Sketched Area (SF):	0
Land Size (acres):	2.19
Land Size (SF):	95,396.4

Current Values

Just/Market Value:	\$543,800
Assessed Value:	\$543,800
Exemptions:	\$0
Taxable Value:	\$543,800

Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Building Design Wind Speed

Occupancy Category	I	II	III
Speed	140	150	160

Sources/links:

Taxes for this parcel: [SLC Tax Collector's Office](#)

Download TRIM for this parcel: [Download PDF](#)

Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
Mar 8, 2021	4570 / 1698	0137	WD	Florida Tax Lien Assets IV LLC	\$560,000
Jul 26, 2018	4162 / 0302	0311	TD	Floridian Properties and Investments LLC	\$1,062,900
Jul 25, 2011	3336 / 0357	0001	WD	Prime Homes At Portofino Land	\$339,000
Jul 19, 2011	3313 / 0015	0311	WD	Portofino Landings CDD	\$0
Jan 30, 2006	3254 / 1039	XX03	SP	Portofino Landings CDD	\$0
Jan 30, 2006	2483 / 1661	XX02	SP	2890 Inc	\$5,100,000

Building Information (1 of 1)

Finished Area: 0 SF
 Gross Sketched Area: 0 SF

Exterior Data

View:	Roof Cover:	Roof Structure:
Building Type:	Year Built: N/A	Frame:
Grade:	Effective Year: N/A	Primary Wall:
Story Height:	No. Units: 0	Secondary Wall:

Interior Data

Bedrooms: 0	Electric:	Primary Int Wall:
Full Baths: 0	Heat Type:	Avg Hgt/Floor: 0
Half Baths: 0	Heat Fuel:	Primary Floors:
A/C %: 0%	Heated %: N/A%	Sprinkled %: 0%



Image
or
Sketch
unavailable
for display

Sketch Area Legend

Sub Area	Description	Area	Fin. Area	Perimeter
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Special Features and Yard Items

Type	Qty	Units	Year Blt
ASP2 LOW	1	72444	2005

Current Year Values

Current Values Breakdown


Building:	\$256,700
Land:	\$287,100
Just/Market:	\$543,800
Ag Credit:	\$0
Save Our Homes or 10% Cap:	\$0
Assessed:	\$543,800
Exemption(s):	\$0
Taxable:	\$543,800

Current Year Exemption Value Breakdown

Current Year Special Assessment Breakdown

Start Year	AssessCode	Units	Description	Amount
2012	0041	28.9	Fort Pierce Stormwater Charge	\$1,994.10
Start Year	AssessCode	Units	Description	Amount
2013	0054	2.19	North St. Lucie Water Management District	\$45.44

Start Year	AssessCode	Units	Description	Amount
2018	4060	9940.83	Portofino Landings CDD	\$9,940.83

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office .

Historical Values

Year	Just/Market	Assessed	Exemptions	Taxable
2022	\$543,800	\$543,800	\$0	\$543,800
2021	\$352,700	\$352,700	\$0	\$352,700
2020	\$353,500	\$353,500	\$0	\$353,500
2019	\$354,300	\$354,300	\$0	\$354,300

Permits

Number	Issue Date	Description	Amount	Fee
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Notice: This does not necessarily represent all the permits for this property.
 Click the following link to check for additional permit data in Fort Pierce

All information is believed to be correct at this time, but is subject to change and is provided without any warranty.
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Property Identification

Site Address: OKEECHOBEE RD
 Sec/Town/Range: 19/35S/40E
 Parcel ID: 2419-122-0001-050-9
 Jurisdiction: Fort Pierce

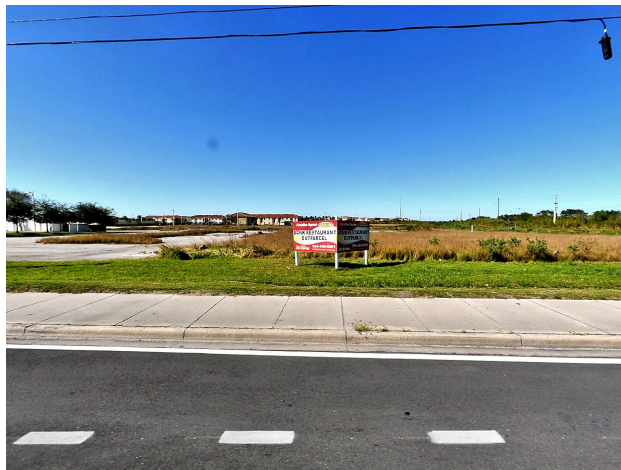
Use Type: 1000
 Account #: 176141
 Map ID: 24/19N
 Zoning: General Co

Ownership

ST LUCIE KINGS LLC
 101 Puglieses WAY Fl 2
 Delray Beach, FL 33444

Legal Description

19 35 40 FROM NE COR OF SEC RUN N 01 20 45 E ALG E LI OF SEC 357.81 FT TO N RD R/W LI OF OKEE RD, TH S 52 29 55 W ALG NLY R/W LI 2102.04 FT TO POB; TH S 55 45 47 W 210.34 FT, TH S 52 29 33 W 71.28, TH N 37 30 27 W 73.78', TH N 01 22 19 W 267.30', TO CURVE CONC NE, R OF 85 FT, TH SELY ALG ARC 108.08 FT, TH N 78 53 23 E 69.88 FT TO WLY R/W OF CANAL # 29 AND CURVE CONC NE, R OF 443.73 FT, TH SELY ALG ARC 35.44 FT, TH S 47 59 38 W 11.05 FT, TH S 44 53 31 E 203.42 FT TO POB (1.31 AC)



Current Values

Just/Market Value: \$300,100
 Assessed Value: \$300,100
 Exemptions: \$0
 Taxable Value: \$300,100

Total Areas

Finished/Under Air (SF): 0
 Gross Sketched Area (SF): 0
 Land Size (acres): 1.31
 Land Size (SF): 57,064

Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Building Design Wind Speed

Occupancy Category	I	II	III
Speed	140	150	160

Sources/links:

Taxes for this parcel: SLC Tax Collector's Office
 Download TRIM for this parcel: Download PDF

Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
Mar 8, 2021	4570 / 1698	0137	WD	Florida Tax Lien Assets IV LLC	\$560,000
Jul 26, 2018	4162 / 0302	0311	TD	Floridian Properties and Investments LLC	\$1,062,900
Jul 25, 2011	3336 / 0361	0001	WD	Prime Homes At Portofino Land	\$218,000
Jul 19, 2011	3313 / 0015	0311	WD	Portofino Landings CDD	\$0

Building Information (1 of 1)

Finished Area: 0 SF

Gross Sketched Area: 0 SF

Exterior Data

View:	Roof Cover:	Roof Structure:
Building Type:	Year Built: N/A	Frame:
Grade:	Effective Year: N/A	Primary Wall:

Story Height:

No. Units: 0

Secondary Wall:

Interior Data

Bedrooms: 0

Electric:

Primary Int Wall:

Full Baths: 0

Heat Type:

Avg Hgt/Floor: 0

Half Baths: 0

Heat Fuel:

Primary Floors:

A/C %: 0%

Heated %: N/A%

Sprinkled %: 0%



Image or Sketch unavailable for display

Sketch Area Legend

Sub Area	Description	Area	Fin. Area	Perimeter
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Special Features and Yard Items

Type	Qty	Units	Year Blt
ASP2 LOW	1	25731	2005

Current Year Values

Current Values Breakdown

Building:	\$91,200
Land:	\$208,900
Just/Market:	\$300,100
Ag Credit:	\$0
Save Our Homes or 10% Cap:	\$0
Assessed:	\$300,100
Exemption(s):	\$0
Taxable:	\$300,100

Current Year Exemption Value Breakdown

Current Year Special Assessment Breakdown

Start Year	AssessCode	Units	Description	Amount
2012	0041	10.2	Fort Pierce Stormwater Charge	\$703.80
Start Year	AssessCode	Units	Description	Amount
2013	0054	1.31001	North St. Lucie Water Management District	\$27.18

Start Year	AssessCode	Units	Description	Amount
2018	4060	5946.34	Portofino Landings CDD	\$5,946.34

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office [📄](#).

Historical Values

Year	Just/Market	Assessed	Exemptions	Taxable
2022	\$300,100	\$300,100	\$0	\$300,100
2021	\$198,300	\$198,300	\$0	\$198,300
2020	\$198,600	\$198,600	\$0	\$198,600
2019	\$198,900	\$198,900	\$0	\$198,900

Permits

Number	Issue Date	Description	Amount	Fee
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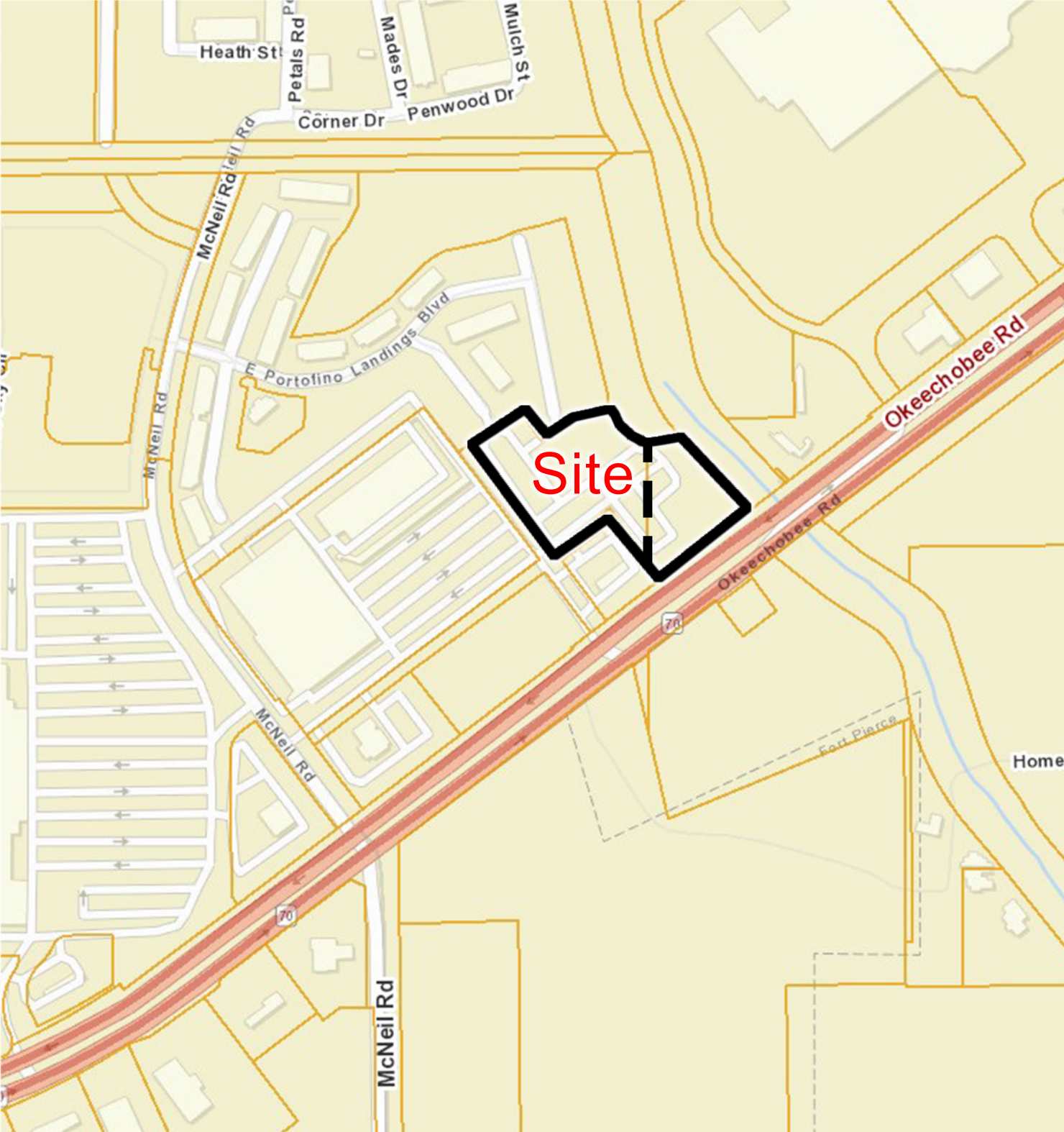
Notice: This does not necessarily represent all the permits for this property.
 Click the following link to check for additional permit data in Fort Pierce

All information is believed to be correct at this time, but is subject to change and is provided without any warranty.
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4646 Okeechobee Road

Location Map

Fort Pierce, FL



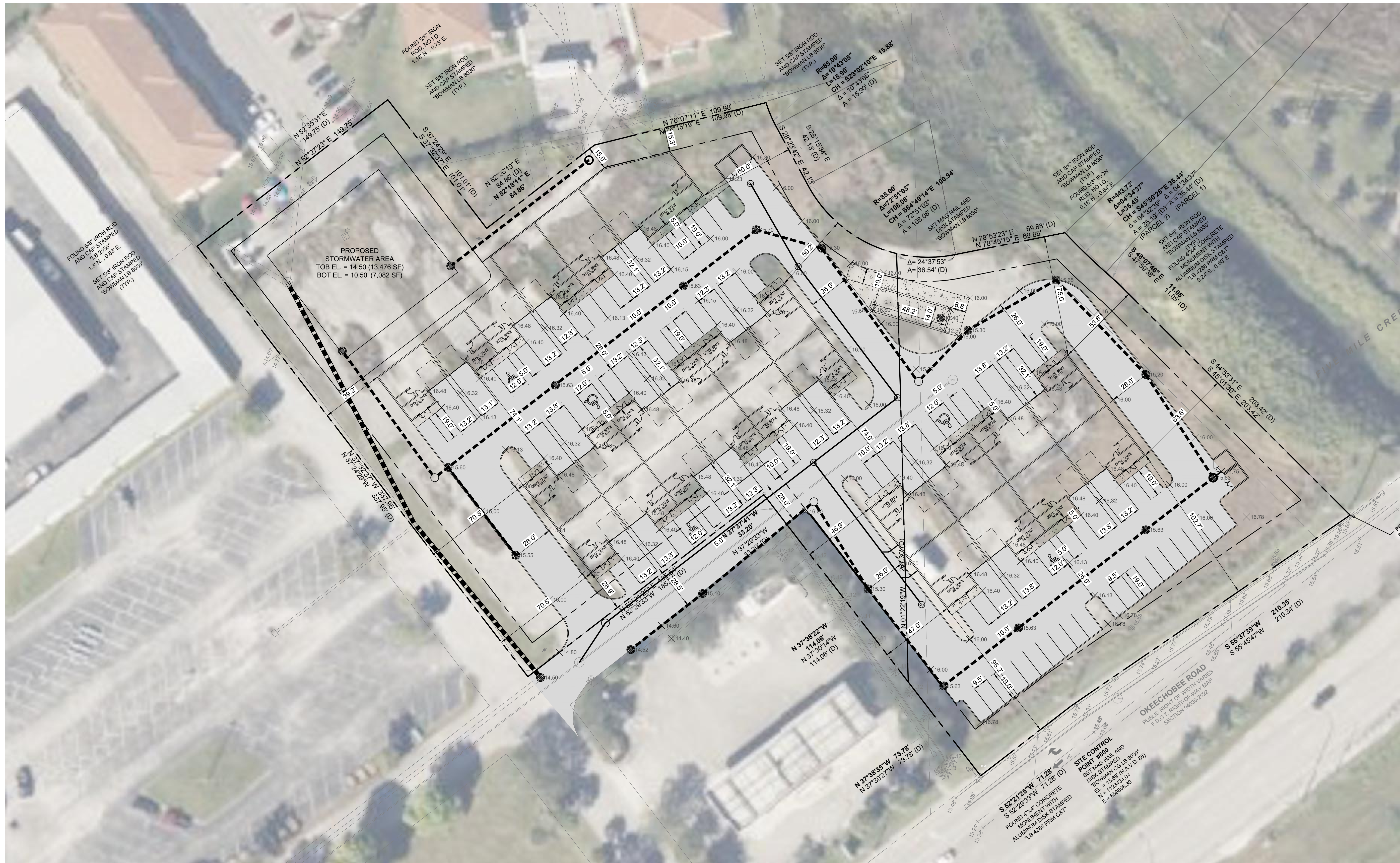
Prepared by:



North

Date:03/25/22

Project #: 2022-07



GENERAL NOTES

- ALL BUILDING, PARKING AND ACCESS AREAS SHALL DOCUMENT COMPLIANCE WITH THE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- PROPOSED LIGHT FIXTURES SHALL BE SHIELDED TO MINIMIZE EXCESS GLARE TO ADJACENT RESIDENTIAL AREAS AND ROADWAYS IN ACCORDANCE WITH SECTION 3.208 OF ARTICLE 3.
- MAXIMUM INCIDENTAL LIGHT SPILLAGE ONTO NEARBY RESIDENTIAL PARCELS SHALL BE 0.2 FOOT CANDLES AS MEASURED 8 FEET ABOVE AVERAGE GRADE AT THE PROPERTY LINE OF THE RECEIVING PARCEL.
- ALL SIGNS SHALL BE IN ACCORDANCE WITH AHJ APPLICABLE CODES AND ORDINANCES IN EFFECT AT THE TIME OF PERMIT APPLICATION.

OWNER
 ALEJANDRO ZURITA
 LAND AMERICA 225 LLC
 101 PUGLIESES WAY
 DELRAY BEACH, FL 33444
 PHONE: (561) 441-4203
 AZURITA@PUGLIESECO.COM

SURVEYOR
 RICHARD BARNES, PSM
 BOWMAN
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 PHONE: (772) 283-1413
 RBARNES@BOWMAN.COM

CIVIL ENGINEER
 LISA LEONARD, PE
 BOWMAN
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 PHONE: (772) 283-1413
 LLEONARD@BOWMAN.COM

LANDSCAPE ARCHITECT
 ERIKA BEITLER
 HJA DESIGN STUDIO
 50 EAST OCEAN BLVD., SUITE 101
 STUART, FL 34994
 PHONE: (772) 678-7200
 ERIKA@HJASTUDIO.COM

SITE DATA

TOTAL SITE AREA	155,352 SF	3.57 AC	(100%)
IMPERVIOUS AREA	97,818 SF	2.25 AC	(63%)
BUILDING FOOTPRINT	33,112 SF	0.76 AC	(21%)
PAVEMENT/CONCRETE	64,706 SF	1.49 AC	(42%)
PERVIOUS AREA	57,534 SF	1.32 AC	(37%)
OPEN SPACE	38,045 SF	0.87 AC	(24%)
STORMWATER AREA	19,489 SF	0.45 AC	(13%)

CURRENT ZONING: GENERAL COMMERCIAL (GC)
 FUTURE LAND USE: COMMERCIAL GENERAL (C-3)
 EXISTING USE: VACANT COMMERCIAL
 PROPOSED USE: FLEX SPACE (WHOLE SALE TRADE / WAREHOUSE & FREIGHT)

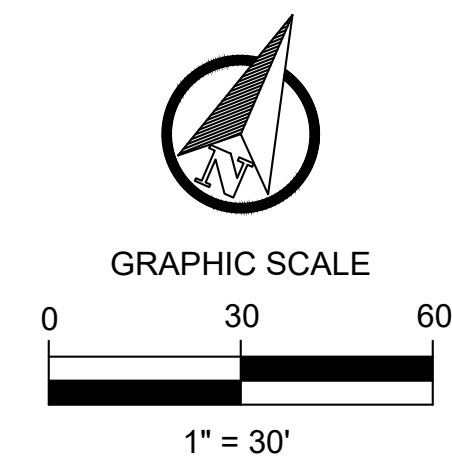
PARKING CALCULATIONS

SIZE, USE & RATE	REQUIRED	PROVIDED
39,450 SF WAREHOUSE @ 1 SPACE PER 600 SF	65	63
ACCESSIBLE SPACES @ 51-75 TOTAL SPACES	3	5
LOADING SPACE REQUIREMENT 32' X 14.50'	2	27



THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY BOWMAN CONSULTING GROUP, LTD. SHALL BE WITHOUT LIABILITY TO BOWMAN CONSULTING GROUP, LTD.

NOTE:
 ALL ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD).



PLAN STATUS		
DATE	DESCRIPTION	
	MU DESIGN	GMB CHKD
	GC DRAWN	
	SCALE: 1" = 30'	
	JOB No. 010595	
	DATE: DECEMBER 2022	
	FILE No. FT PIERCE SSS	
	C1	
	SHEET	

Landscape Data

Landscape Strip Adjacent to Public R.O.W

Ten (10) feet wide minimum landscape Strip.
One (1) tree for each three hundred (300) square feet of required landscaped area.

Portofino Landings (West): 523 LF x 10 = 5,230 sf

Trees Required: (5,230 sf / 300) = 17 Trees
Trees Provided: = 17 Trees

Okeechobee Road (South): 282 LF x 10 = 2,820 sf

Trees Required: (2,820 sf / 300) = 9 Trees
Trees Provided: = 9 Trees

Landscape Strip Adjacent to Other Property

Ten (10) feet wide minimum landscape Strip.
One (1) tree for each three hundred (200) square feet of required landscaped area.
Fence/Vegetated screening required where VUA abuts residentially zoned property.

Portofino Landings (North): 682 LF x 10 = 6,820 sf

Trees Required: (6,820 sf / 300) = 23 Trees
Trees Provided: = 23 Trees
(17 Trees + 18 Palms (3:1))

Five Mile Creek (East): 250 LF x 10 = 2,500 sf

Trees Required: (2,500 sf / 300) = 8 Trees
Trees Provided: = 8 Trees

Sea Lion Real Estate (West): 221 LF x 10 = 2,210 sf

Trees Required: (2,210 sf / 300) = 7 Trees
Trees Provided: = 9 Trees (Existing)

Interior Vehicular Use Areas

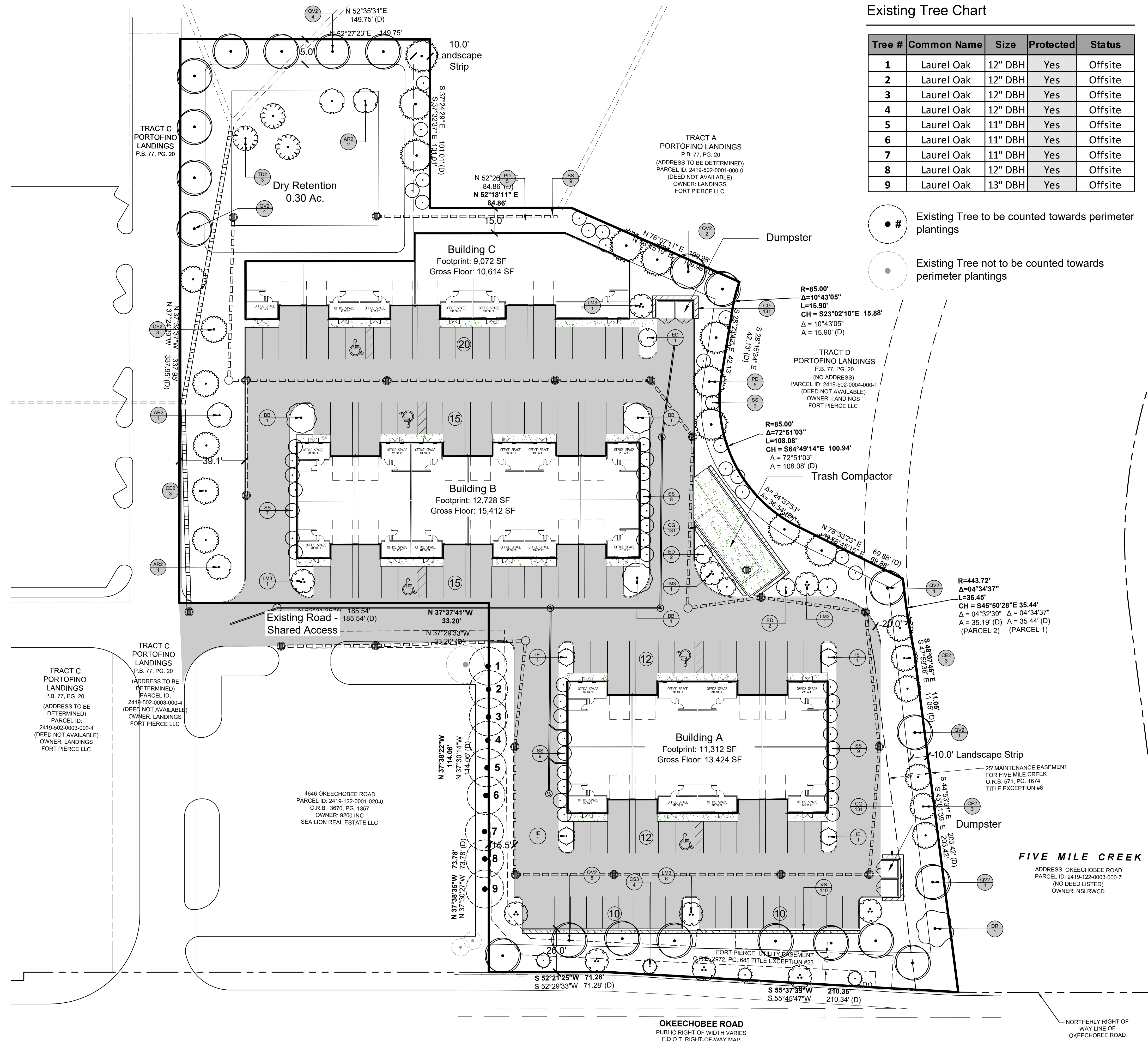
Vehicular use areas that are four thousand (4,000) or more square feet in size shall have at least one square foot of interior landscaping for each fifteen (15) square feet of vehicular use area. One tree for each one hundred (100) square feet of required landscaped area. Each separate landscaped area shall be curbed and contain a minimum of one hundred (100) square feet of area and shall be at least ten (10) feet wide and ten (10) feet deep exclusive of curbing in all locations.

Vehicular Use Area: 53,424 sf

Landscape Area Required: (53,424 sf / 15 sf) = 3,562 sf
Landscape Area Provided: = 16,890 sf
Trees Required: (3,562 LF / 100) = 36 Trees
Trees Provided: = 36 Trees
(25 Trees + 33 Palms (3:1))

Fort Pierce Landscape Notes

- Plant materials shall meet or exceed the standards for Florida No. 1 as set out in the most current edition of "Grades and Standards for Nursery Plants Part 1 and Part 2," State of Florida, Department of Agriculture, Tallahassee.
- All trees required by this article (excluding palms that are exempt from the grades and standards) shall have a Florida No. 1 or better "Grades and Standards" certification tag attached at time of delivery through final inspection.
- Grass sod shall be clean and free of weeds, pests and diseases.
- Planting soil for all landscaped areas shall consist of existing soil mixed with fifty (50) per cent recycled top soil. Such planting soil shall be generally indigenous to the locale, free of debris, roots, clay, stones, plants or other foreign materials. The planting soil shall extend to an appropriate depth so as to eliminate any hindrance to planting operations or detriment to good plant growth. Compliance with these soil requirements shall be verified as part of the final inspection.
- Landscaped areas shall be covered in their entirety with shrubs, ground cover, turf, or three (3) inches of bulk organic mulch or other suitable material which permits percolation and is approved by the department.
- Do not place any soil or mulch over the root ball. If stakes or guide wires are used to support a tree, the wire must be covered with protective material where it is in contact with the tree and the stakes or guide wires must be removed after one year.
- All landscaping must be protected from vehicular and pedestrian traffic by the installation of curbing, wheel stops or other protective devices along the perimeter of any landscaping which adjoins vehicular use areas or sidewalks. These protective devices shall have a minimum height of six (6) inches above grade.
- No parking, display of vehicles or outside storage or display of merchandise is permitted in or over any required landscape area, nor are vehicles permitted to overhang any required landscaped area.
- To minimize traffic hazards at street or driveway intersections, all landscaping installations must provide unobstructed views.
- No irrigation system placed on city right-of-way will be the responsibility of the property owner who shall relocate, replace or repair the system as appropriate in the event it is damaged due to permitted construction in the right-of-way.
- Prior to issuance of certificate of occupancy, final landscape installation shall be certified as complete and in conformance to the approved landscape plan by submission of a certification letter by a landscape architect.
- Property owners shall maintain all required landscaping so that it continues to present a healthy, neat and orderly appearance free of refuse and debris.
- Vegetation required shall be replaced with equivalent vegetation if it is not living. All trees for which credit is awarded and which subsequently die shall be replaced by the same number of living trees.
- Maintenance shall include sufficient weeding, watering, fertilizing, pruning, mowing, edging, mulching and other horticultural practices so as to assure that the landscaping continues to maintain a healthy, neat and orderly appearance.
- No person shall, directly or indirectly, cut down, substantially alter, destroy, remove, relocate, damage or authorize any such act involving a protected tree situated on land within the city, without first obtaining a tree removal permit.
- Removal, trimming, pruning or alteration of any tree or vegetation in an existing utility easement or public right-of-way, provided such work is done by or under the control of the operating utility company and said company has received all necessary licenses or permits to provide utility service within the easement.
- This plan has been designed to meet the tree planting requirements contained within the FPL document entitled "Plant the Right Tree in the Right Place". For existing or proposed utilities, no tree shall be planted where it could, at a mature height conflict with overhead power lines.
 - Large trees (height at maturity of more than 30') shall be planted no closer than a horizontal distance of 30' from the nearest overhead power line.
 - Medium height trees (height at maturity between 20' and 30') shall be offset at least 20' and small trees (height at maturity of less than 20') require no offset.
 - No tree shrubs, hedges or vines shall be planted within 5' of an existing or proposed utility pole, guy wire or pad-mounted transformer.
 - Palms should be planted at a distance equal to or greater than the average frond length plus two (2) feet from power lines.



Existing Tree Chart

Tree #	Common Name	Size	Protected	Status
1	Laurel Oak	12" DBH	Yes	Offsite
2	Laurel Oak	12" DBH	Yes	Offsite
3	Laurel Oak	12" DBH	Yes	Offsite
4	Laurel Oak	12" DBH	Yes	Offsite
5	Laurel Oak	11" DBH	Yes	Offsite
6	Laurel Oak	11" DBH	Yes	Offsite
7	Laurel Oak	11" DBH	Yes	Offsite
8	Laurel Oak	12" DBH	Yes	Offsite
9	Laurel Oak	13" DBH	Yes	Offsite

- # Existing Tree to be counted towards perimeter plantings
- Existing Tree not to be counted towards perimeter plantings

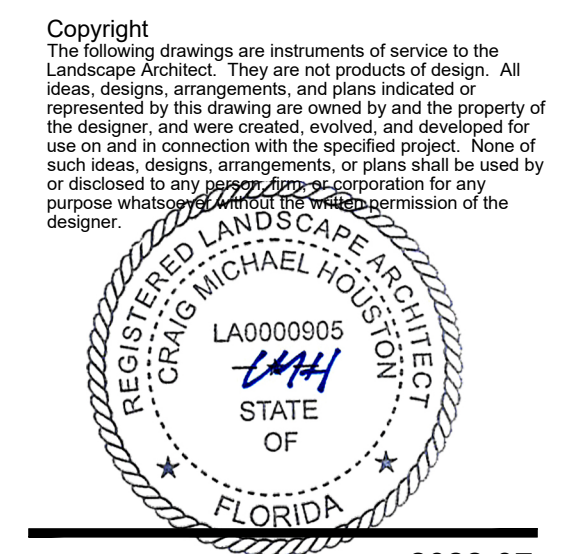


50 E. Ocean Blvd., Suite 101
Stuart, Florida 34994

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LA 0000905

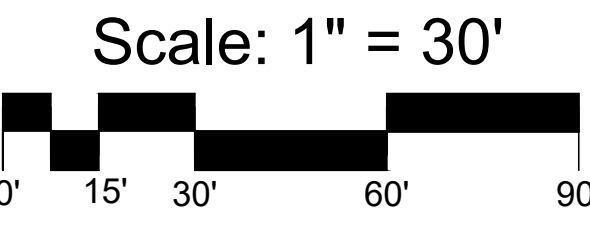
4646 Okeechobee Rd. Commercial
 City of Fort Pierce
 Florida
Landscape Plan



Job No. 2022-07
 Drawn By EB
 Checked By MH
 Approved By MH
 Submittal Dates 02-01-23

Revision Dates

LP-1



Landscape Notes / Specifications

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO ALL THE REQUIREMENTS STATED UNDER DIVISION 1 - GENERAL REQUIREMENTS AND CONDITIONS AS WELL AS THE SPECIFIC CRITERIA OUTLINED HEREIN AND ON THE LANDSCAPE DRAWINGS INCLUDING ADDENDA AS MAY BE ISSUED BY THE OWNER.

2. THE SCOPE OF WORK FOR THE LANDSCAPE CONTRACTOR FOR THIS PROJECT SHALL INCLUDE THE PROVISION OF ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO COMPLETE ALL TASKS ASSOCIATED WITH THE LANDSCAPE AND IRRIGATION INSTALLATION AS SHOWN ON THE DRAWINGS OR NOTED HEREIN. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE GENERAL CONTRACTOR REASONABLE ACCESS TO POWER AND POTABLE WATER SOURCES AS REQUIRED.

3. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING ALL WORK INCLUDING DELIVERY, STORAGE AND DISPOSAL OF THEIR MATERIALS IS PERFORMED IN COMPLIANCE WITH APPLICABLE JURISDICTIONAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS ASSOCIATED WITH THE WORK.

4. THE LANDSCAPE CONTRACTOR SHALL ASSIGN A QUALIFIED PROJECT MANAGER AND FIELD SUPERVISOR TO WORK DIRECTLY WITH THE LANDSCAPE ARCHITECT AND SUPERVISE THE WORK AT ALL TIMES THROUGH FINAL OWNER ACCEPTANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT PROJECT MANAGER HAS A COMPLETE, CURRENT SET OF DOCUMENTS ON-SITE AT ALL TIMES.

5. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH EXISTING SITE CONDITIONS AND NOTIFYING THE OWNER IN WRITING OF ANY CONCERNS PRIOR TO COMMENCEMENT OF WORK. THIS EVALUATION SHOULD INCLUDE, BUT IS NOT LIMITED TO, VERIFICATION OF SURFACE AND SUBSURFACE UTILITIES, GRADES, DIMENSIONS AND SOIL CONDITIONS.

6. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH PROJECT PLANS AND SCOPES OF WORK RELATED TO ASSOCIATED TRADES TO BE PERFORMED BY OTHERS IN ORDER TO IDENTIFY KEY COORDINATION ITEMS INCLUDING, BUT NOT LIMITED TO, SITE ACCESS, MATERIAL STORAGE, SCHEDULING AND SEQUENCING OF WORK. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL SITE ISSUES WITH THE GENERAL CONTRACTOR.

7. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT WORK, MATERIALS AND EQUIPMENT FROM DAMAGE DUE TO THEIR ACTIVITIES. THE LANDSCAPE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSON OR PROPERTY THAT MAY OCCUR AS A RESULT OF THE EXECUTION OF THEIR WORK.

8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE AREA, MATERIALS AND EQUIPMENT WITHIN THE LIMITS OF WORK IN A SAFE, NEAT AND ORDERLY MANNER. EXCESS MATERIALS AND DEBRIS ARE TO BE REMOVED FROM THE WORK AREA NO LESS THAN WEEKLY OR AS DIRECTED BY THE GENERAL CONTRACTOR.

9. THE LANDSCAPE CONTRACTOR SHOULD TAKE PRECAUTIONS TO PROTECT ALL EXISTING PARKING LOTS, CURBS AND UTILITIES FROM DAMAGE. THIS APPLIES NOT ONLY TO THE AREA WITHIN THE LIMITS OF WORK BUT ALSO ALONG ANY LOCAL ACCESS ROADS.

10. THE LANDSCAPE CONTRACTOR SHALL PROVIDE ALL NECESSARY SAFETY MEASURES DURING CONSTRUCTION OPERATIONS TO PROTECT THE PUBLIC ACCORDING TO ALL APPLICABLE CODES AND RECOGNIZE LOCAL PRACTICES.

11. THE LANDSCAPE CONTRACTOR SHALL COORDINATE WITH GENERAL CONTRACTOR TO ENSURE THAT TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES (SILT FENCE, ORANGE GEO FENCE AND/OR OTHER MEASURES) ARE INSTALLED PRIOR TO BEGINNING EXCAVATION.

12. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL PLANT MATERIALS AND THE PLANTING AREAS UNTIL FINAL ACCEPTANCE BY THE OWNER.

13. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE AGRONOMIC EVALUATION OF SOIL CHARACTERISTICS. EVALUATION MUST INCLUDE CHEMICAL ANALYSIS BY A QUALIFIED AGRICULTURAL SOILS TESTING LABORATORY (CERTIFIED IN THE STATE OF FLORIDA). SOIL SAMPLE SHOULD BE TAKEN IMMEDIATELY FOLLOWING COMPLETION OF ROUGH GRADING ACTIVITIES AND SHOULD BE COLLECTED AT A RATE ON ONE SAMPLE FOR EACH 5,000 SQUARE FEET OF IMPACTED AREA, OR A TOTAL OF SIX, WHICHEVER IS GREATER. AT A MINIMUM THE CHEMICAL ANALYSIS OF THE SOIL SHOULD CONSIDER THE FOLLOWING:

- A. PERCENTAGE OF ORGANIC MATTER
- B. SALINITY
- C. PH
- D. LIME CONTENT
- E. MINERAL NUTRIENTS INCLUDING CONCENTRATIONS OF NITROGEN, PHOSPHOROUS, POTASSIUM, CALCIUM, MAGNESIUM, IRON, ZINC, MANGANESE, COPPER, SULFUR, AND MOLYBDENUM.
- F. POTENTIAL HAZARDS OR IMPEDIMENTS FOR PLANT GROWTH INCLUDING SALINITY, SODIUM CHLORIDE, BORON, IMPAIRED SOIL STRUCTURE OR DRAINAGE.
- F. SAND FRACTION ANALYSIS AS A PERCENTAGE PASSING THROUGH 1", 1/2", AND NO. 200 SIEVES
- H. PERCOLATION RATE IN INCHES PER HOUR.

THE ANALYSIS SHOULD ALSO INCLUDE SPECIFIC RECOMMENDATIONS TO THE OWNER FOR ANY AMENDMENTS AND BACKFILL MIXES FOR OPTIMAL PLANT GROWTH TO BE MADE TO THE SOILS PRIOR TO PLANTING. THE CONTRACTOR SHOULD INCLUDE THE COST FOR SOIL AMENDMENTS. THE CONTRACTOR IS TO PROVIDE THE OWNER WITH COPIES OF ALL SOIL TESTING RESULTS. SUBMITTAL DOCUMENTATION MUST ALSO CONTAIN A GRAPHIC SITE PLAN DEPICTING LOCATIONS FROM WHICH EACH SAMPLE WAS DRAWN.

14. THE LANDSCAPE CONTRACTORS BASE BID FOR SOIL PREPARATION IS TO INCLUDE THE FOLLOWING WITH THE UNDERSTANDING THAT MIX DESIGN MAY NEED TO BE ADJUSTED BASED ON OUTCOME OF AGRONOMIC TESTING:

- A. TREES: 100% SITE SOIL WITH 5LB TRIPLE SUPER PHOSPHATE PER CU. YD.
- B. SHRUBS: 100% SITE SOIL WITH OSMOOTE CONTROLLER RELEASE FERTILIZER (14-14-14) PER MANUFACTURER'S RECOMMENDATION.
- C. THE SOILS TEST RESULTS TAKE PRECEDENCE OVER THE ITEMS NOTED IN A AND B ABOVE.

15. SHOULD OWNER AND LANDSCAPE CONTRACTOR AGREE WITH THE RECOMMENDATION OF THE TESTING AGENCY TO FURTHER AMEND THE SOILS THE CONTRACTOR'S CONTRACT WILL BE ADJUSTED ACCORDINGLY. THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT SAMPLES OF AMENDED SOILS TO BE RE-TESTED TO CONFIRM COMPLIANCE WITH RECOMMENDATIONS FOLLOWING THE SAME PROCEDURES AS THE ORIGINAL TESTS.

16. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE QUANTITIES OF EACH PLANT MATERIAL REQUIRED TO ADEQUATELY COVER THE AREA SHOWN ON THE LANDSCAPE PLANS AT THE PRESCRIBED SPACING AND NOTIFYING THE OWNER IMMEDIATELY OF ANY PERCEIVED DISCREPANCIES FOR RESOLUTION. THE PLANT SPACING CONTROLS BED LAYOUT, NOT THE PLAN QUANTITY FOR THAT PARTICULAR BED.

FINE GRADING NOTES

1. FINISHED GRADE IN PLANTING AREAS SHALL BE HELD 3" BELOW THE FINISHED ELEVATIONS SHOWN FOR ALL ADJACENT HARDCAPE SURFACES.
2. ALL FILL REQUIRED SHALL BE CLEAN, WELL DRAINING SOIL. FILL SHALL BE CLEAN AND FREE OF ALL MATERIAL HARMFUL TO PLANT GROWTH AND DELETERIOUS MATERIAL SUCH AS ROCKS (LARGER THAN 2" DIA.), COMPACTED CLAY, ROADBED OR SURFACING MATERIAL, MUCK, ROOTS AND BRANCHES, ETC.
3. THE LANDSCAPE CONTRACTOR IS TO ENSURE THAT THEIR WORK DOES NOT ADVERSELY IMPACT ESTABLISHED OR PROJECTED DRAINAGE PATTERNS.

INSTALLATION NOTES

1. PLANT AND LANDSCAPE MATERIALS SHALL CONFORM TO THE STANDARDS FOR FLORIDA NO. 1, AS GIVEN IN THE GRADES AND STANDARDS FOR NURSERY PLANTS, PARTS I & II, AS PREPARED BY THE FLORIDA DEPT. OF AGRICULTURE AND CONSUMER SERVICES.
2. A 3" THICK LAYER OF ORGANIC NON-COMPRESSED MULCH SHALL BE APPLIED TO ALL LANDSCAPE AND PLANTING AREAS.
3. ALL EXOTIC VEGETATION TO BE REMOVED FROM THE SITE PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
4. THIS PLAN HAS BEEN DESIGNED TO MEET WITH THE TREE PLANTING REQUIREMENTS CONTAINED WITHIN THE FPL DOCUMENT ENTITLED "PLANT THE RIGHT TREE IN THE RIGHT PLACE."
5. FOR EXISTING OR PROPOSED UTILITIES, NO TREE SHALL BE PLANTED WHERE IT COULD, AT MATURE HEIGHT, CONFLICT WITH OVERHEAD POWER LINES. LARGE TREES (HEIGHT AT MATURITY OF MORE THAN THIRTY (30) FEET) SHALL BE PLANTED NO CLOSER THAN A HORIZONTAL DISTANCE OF THIRTY (30) FEET FROM THE NEAREST OVERHEAD POWER LINE. MEDIUM HEIGHT TREE (HEIGHT AT MATURITY BETWEEN TWENTY (20) AND THIRTY (30) FEET) SHALL BE OFFSET AT LEAST TWENTY (20) FEET AND SMALL TREES (HEIGHT AT MATURITY OF LESS THAN (20) FEET) REQUIRE NO OFFSET.
6. NO TREE, SHRUBS, HEDGES OR VINES SHALL BE PLANTED WITHIN FIVE (5) FEET OF ANY EXISTING OR PROPOSED UTILITY POLE, GUY WIRE OR PAD MOUNTED TRANSFORMER. PALMS SHOULD BE PLANTED AT A DISTANCE EQUAL TO OR GREATER THAN THE AVERAGE FRONT LENGTH PLUS TWO (2) FEET FROM POWER LINES.
7. WETLAND BUFFERS, BUFFER PROTECTION AREAS, AND UPLAND PRESERVE AREAS SHALL BE PROTECTED FROM EXCAVATION, CONSTRUCTION, AND OTHER BUILDING MAINTENANCE ACTIVITIES.
8. TREES TO REMAIN DURING CONSTRUCTION SHALL BE PROTECTED AND BARRICADED. SEE TREE PROTECTION NOTE.
9. FERTILIZER SHALL BE COMPLETE WITH APPROXIMATELY THE FOLLOWING RATIO: 3N-13P-3K (+MG FOR PALMS ONE Y).
10. TREES AND PALMS ARE TO BE PLANTED IN ACCORDANCE TO LANDSCAPE PLAN. GOOD HORTICULTURAL PRACTICES MUST BE OBSERVED.
11. TREES AND PALMS ARE TO BE PLANTED IN THE RIGHT-OF-WAY (ROW) AT A MINIMUM OF FOUR (4) FEET FROM BACK OF CURB AT LOCATIONS IDENTIFIED ON THE LANDSCAPE PLAN. AWARDED BIDDER SHALL STAKE AND/OR PAINT PLANTING LOCATIONS IN THE FIELD. UPON APPROVAL BY THE CUSTOMER, THESE AREAS SHALL BE SPRAYED WITH AN APPROVED HERBICIDE AND MAINTAINED WEED-FREE FOR THE DURATION OF THE PROJECT.
12. EXCAVATE PLANTING HOLES WITH VERTICAL SIDES. DO NOT DISTURB SOIL AT BOTTOM OF PLANTING HOLES. MAKE EXCAVATIONS TWICE AS WIDE AS THE ROOT BALL DIAMETER AND SLIGHTLY LESS (TWO INCHES) THAN THE DISTANCE BETWEEN THE TOP-MOST ROOT IN THE ROOT BALL AND THE BOTTOM OF THE ROOT BALL. ALTERNATIVELY, EXCAVATE THE HOLE SLIGHTLY WIDER THAN THE ROOT BALL AND PLACE THE ROOT BALL IN THE HOLE SO THE TOP-MOST ROOT IS EVEN WITH OR SLIGHTLY (2 INCHES) HIGHER THAN THE SURROUNDING LANDSCAPE GRADE. THEN, LOOSEN THE SURROUNDING SOIL OUT TO A DIAMETER EQUAL TO TWICE THE DIAMETER OF THE ROOT BALL. FINALLY, PUSH THE LOOSENEED SOIL TOWARD THE ROOT BALL TO FILL THE HOLE.

IF WATER FILLS THE BOTTOM OF THE PLANTING HOLE, ADD SOIL TO THE BOTTOM OF THE HOLE UNTIL THE WATER IS COVERED. PACK THIS ADDED SOIL FIRMLY. PLACE THE ROOT BALL ON THIS PACKED SOIL. SOIL NOT IN WATER. NO PART OF THE ROOT BALL SHALL BE PLACED IN WATER. IF NECESSARY, BRING IN SOIL SIMILAR TO SITE SOIL TO COVER THE SIDES OF THE ROOT BALL, CREATING A RAISED MOUND. THE DIAMETER OF THE MOUND (I.E. THE OUTER DIAMETER) CREATED SHALL BE AT LEAST SIX TIMES THE DIAMETER OF THE ROOT BALL.

WHEN PLANTING ON A SLOPE, THE TOP-MOST MAIN ROOT IN THE ROOT BALL SHALL BE EVEN WITH THE GRADE ON THE UPHILL SIDE OF THE TREE. SITE SOIL WILL NEED TO BE ADDED ON THE DOWNHILL SIDE TO COVER THE SIDES OF THE ROOT BALL AND TO CONSTRUCT THE SOIL BERM TO HOLD WATER. THE AMOUNT OF SOIL ADDED ON THE DOWNHILL SIDE WILL DEPEND ON THE SLOPE AND SIZE OF THE ROOT BALL.

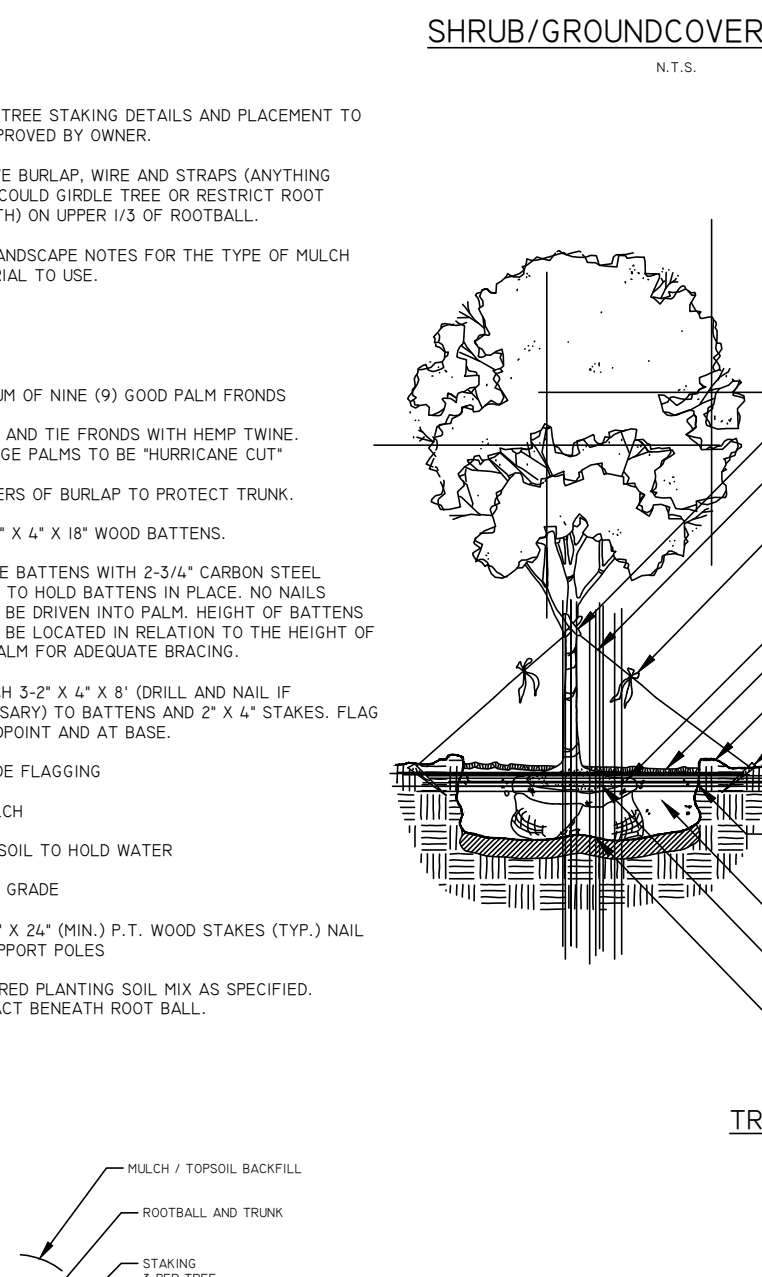
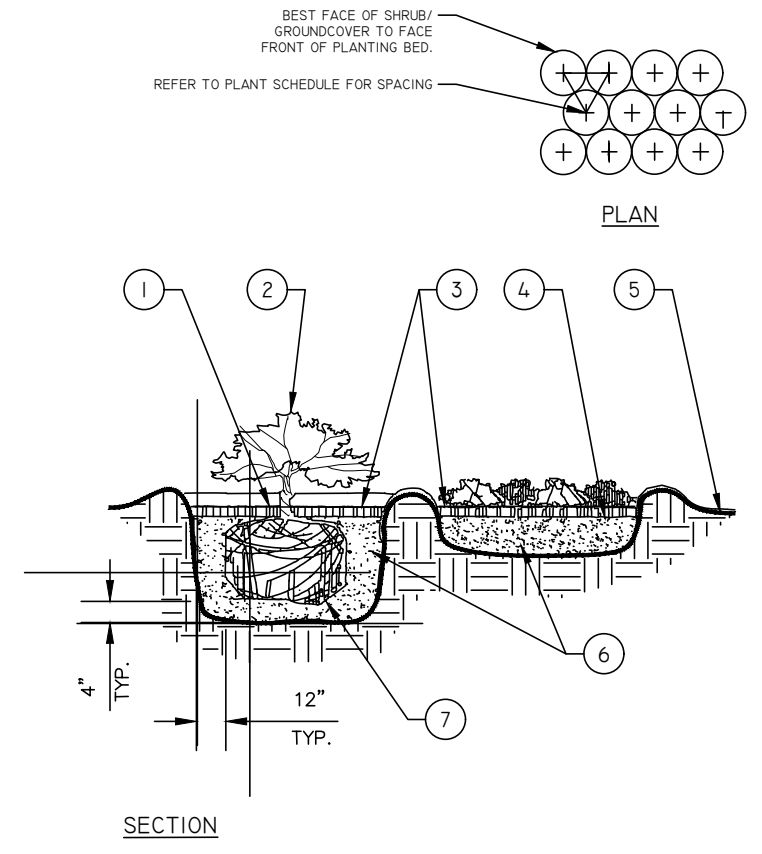
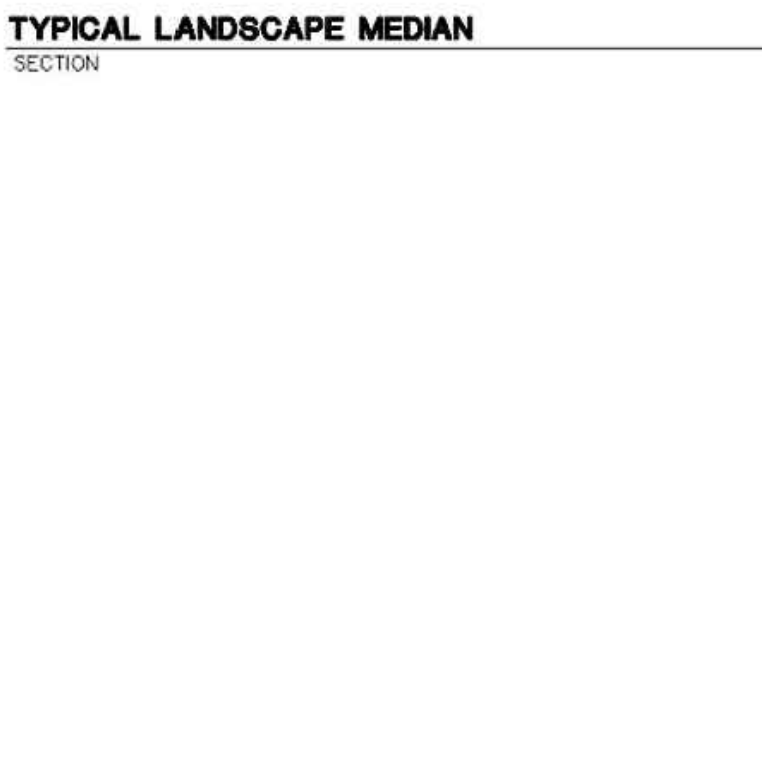
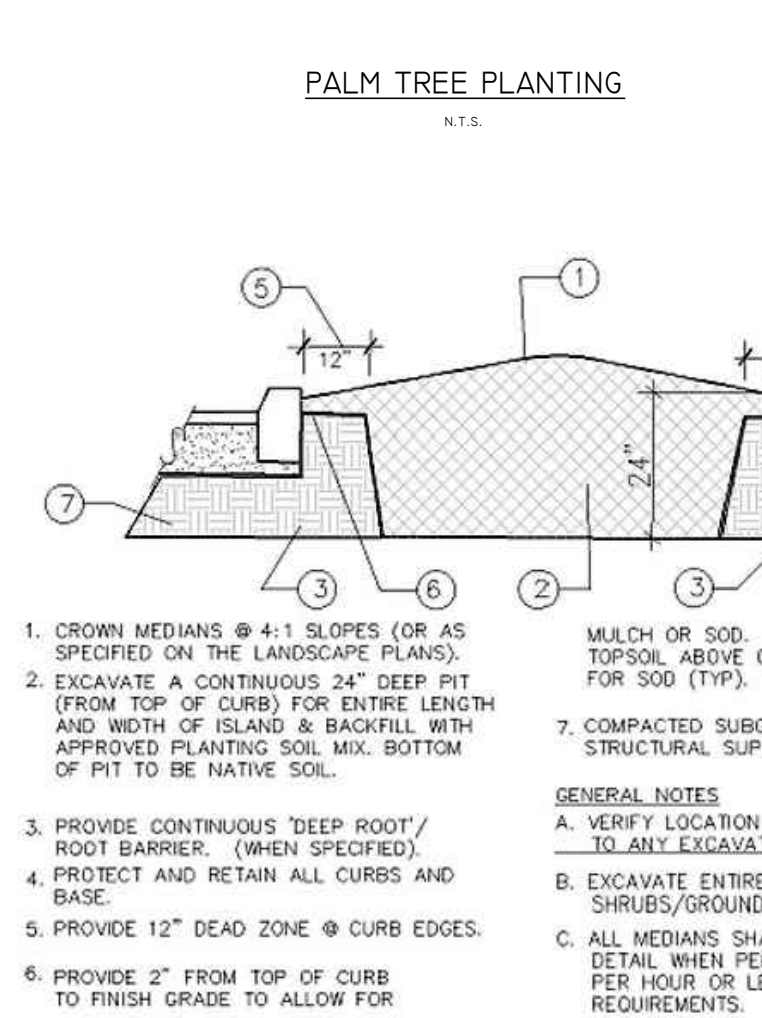
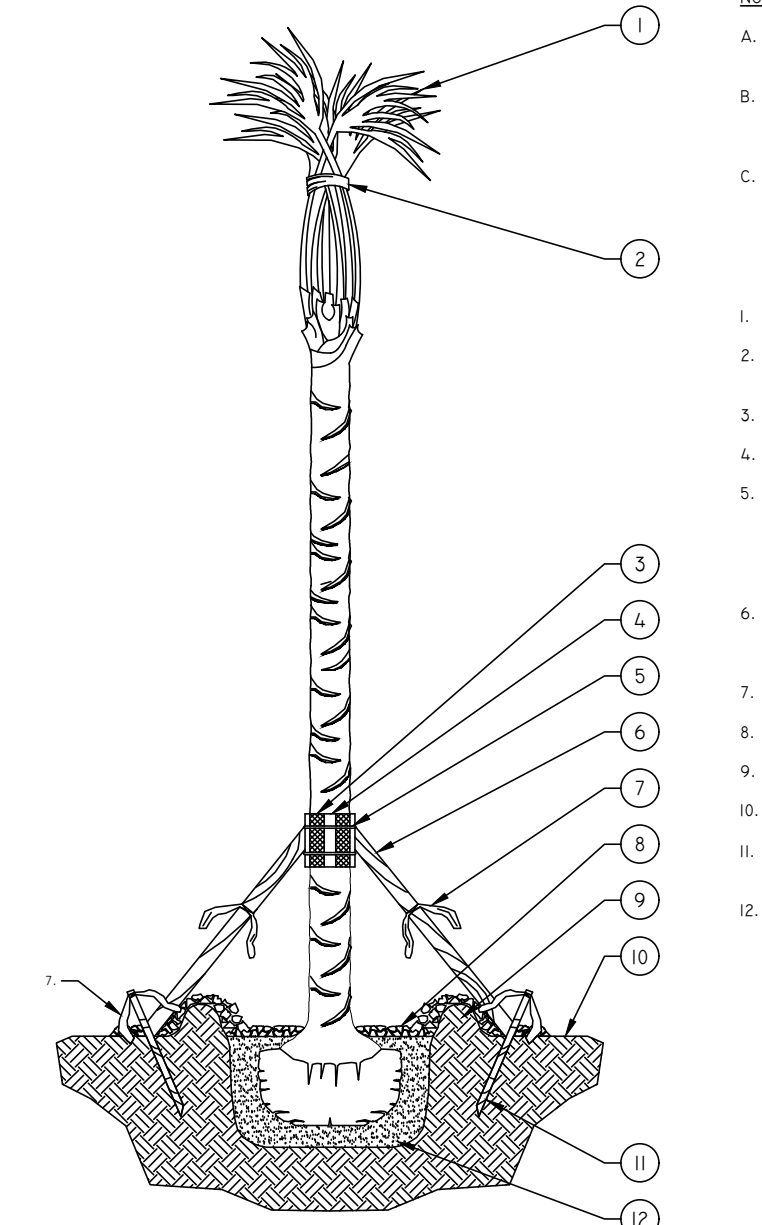
13. REMOVE ALL WOOD, PLASTIC, OR GRO-BAGS FROM THE ROOT BALL. SET PLANTS IN CENTER OF HOLES WITH THE TOP-MOST ROOT IN THE ROOT BALL AT THE SAME HEIGHT OR SLIGHTLY (2 INCHES) HIGHER THAN FINISHED LANDSCAPE GRADES AND PLUMB THE TREE SO THE TRUNK IS VERTICAL. BACKFILL FIELD SOIL AROUND SIDES OF ROOT MASS AND WORK EACH LAYER TO SETTLE AND ELIMINATE VOIDS AND AIR POCKETS. MATERIAL MUST BE WATERED IN AS PLANTED. PROVIDE APPROXIMATELY 5 GALLONS OF WATER PER INCH OF TRUNK CALIPER TO THE ROOT BALL ONCE ALL BACKFILL IS FILLED IN AROUND THE ROOT BALL.
14. PROVIDE A 2.3" HIGH SOIL BERM AROUND THE EDGE OF ROOT BALL TO FORM A SHALLOW SAUCER TO COLLECT WATER. THE WATERING SAUCER, REGARDLESS OF HOLE SIZE, IS TO BE AT EDGE OF ROOT BALL. ALTERNATIVELY, COBRA EDGING IS TO BE INSTALLED AT THE EDGE OF THE ROOT BALL.

15. BROADCAST OVER THE ROOT BALL AND BACKFILL SOIL, AT THE RECOMMENDED RATE, A BROAD-SPECTRUM PRE-EMERGENT HERBICIDE PRIOR TO MULCHING.
16. APPLY A CONTROLLED-RELEASE FERTILIZER TO THE SOIL SURFACE UNDER THE MULCH AT 1LB NITROGEN PER 1000 FT². PRIOR TO MULCHING. NO OTHER AMENDMENTS ARE NECESSARY.
17. ON TREES UP TO 4" CALIPER, APPLY A THREE (3) -INCH LAYER OF MULCH TO AN EIGHT (8) -FOOT DIAMETER CIRCULAR AREA AROUND THE TRUNK. ON LARGER CALIPER TREES, APPLY A TWO (2) -FOOT DIAMETER MULCH AREA FOR EACH INCH OF TRUNK CALIPER. NO MULCH SHALL BE APPLIED TO THE INNER HALF OF THE ROOT BALL SURFACE.
18. TREES AND PALMS ARE TO BE SECURED BY AWARDED BIDDER AS SHOWN IN EXHIBITS A-C. (NOTE: STAKING IS OPTIONAL FOR MORE PROTECTED LOCATIONS).
19. A REPRESENTATIVE WILL INSPECT TREES AND PALMS DURING INSTALLATION. MATERIAL THAT IS IN SHOCK OR HAS BEEN DAMAGED DURING INSTALLATION SHALL BE REPLACED BY AWARDED BIDDER WITHIN FIVE (5) WORKING DAYS FROM NOTIFICATION.
20. REMOVE FROM WORK SITE ALL EXCESS MATERIALS (E.G., SOIL, DEBRIS AND EQUIPMENT) DAILY THROUGH DURATION OF PROJECT. DAMAGES RESULTING FROM INSTALLATION SHALL BE REPAIRED BY AWARDED BIDDER.
21. PRUNING: IF THERE IS A DOUBLE LEADER IN THE TOP HALF OF THE TREE, SHORTEN ONE, BY ABOUT ONE-HALF, BACK TO A LIVE BRANCH THAT POINTS AWAY FROM THE TREE AND IS AT LEAST ONE-THIRD THE DIAMETER OF THE CUT LEADER. REMOVE BROKEN PORTIONS OF DAMAGED BRANCHES BACK TO A LIVE LATERAL BRANCH.

21. PRUNING: IF THERE IS A DOUBLE LEADER IN THE TOP HALF OF THE TREE, SHORTEN ONE, BY ABOUT ONE-HALF, BACK TO A LIVE BRANCH THAT POINTS AWAY FROM THE TREE AND IS AT LEAST ONE-THIRD THE DIAMETER OF THE CUT LEADER. REMOVE BROKEN PORTIONS OF DAMAGED BRANCHES BACK TO A LIVE LATERAL BRANCH.
22. REMOVE ALL STRING OR WIRE WRAPPED AROUND THE TRUNK. REMOVE ALL STRAPS, ROPE AND STRING USED TO LIFT THE ROOT BALL. REMOVE ALL BURLAP AND WIRE FROM THE TOP OF THE ROOT BALL.

ACCEPTANCE NOTES

1. INSPECTION TO DETERMINE ACCEPTANCE OF PLANTED AREAS WILL BE MADE BY THE CUSTOMER REPRESENTATIVE UPON AWARDED BIDDER'S REQUEST. PROVIDE NOTIFICATION A MINIMUM OF FIVE (5) WORKING DAYS BEFORE REQUESTED INSPECTION DATE.
- PLANTED AREAS WILL BE ACCEPTED PROVIDED ALL REQUIREMENTS, INCLUDING MAINTENANCE, HAVE BEEN SATISFIED AND PLANT MATERIALS ARE IN A HEALTHY, VIGOROUS CONDITION.
2. THE CUSTOMER REPRESENTATIVE WILL PREPARE A "PUNCH LIST" OF THOSE ITEMS, WHICH MUST BE CORRECTED BEFORE RE-INSPECTION FOR FINAL ACCEPTANCE. THE REPRESENTATIVE WILL DETERMINE AN APPROPRIATE TIME PERIOD FOR CORRECTIONS. AWARDED BIDDER MUST REQUEST RE-INSPECTION TWO (2) WORKING DAYS IN ADVANCE.



TREES	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	NATIVE
	AR2	4	Florida Flame Red Maple / <i>Acer rubrum</i> 'Florida Flame'	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
	BB	3	Shady Lady Black Olive / <i>Bucida buceras</i> 'Shady Lady'	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	No
	CE2	12	Green Buttonwood / <i>Conocarpus erectus</i>	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
	CS3	4	Silver Buttonwood / <i>Conocarpus erectus sericeus</i>	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
	DR	1	Royal Poinciana / <i>Delonix regia</i>	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	No
	ED	5	Japanese Blueberry Tree / <i>Elaeocarpus decipiens</i> TM	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	No
	IE	4	Eagleston Holly / <i>Ilex x attenuata</i> 'Eagleston'	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
	LM3	10	Lavender Crape Myrtle / <i>Lagerstroemia</i> x 'Muskogee'	2.5" DBH, 12' Ht. x 5' Spr. Min., Multi-trunk, 5' ct.	No
	PD	10	Slash Pine / <i>Pinus elliottii</i> densa	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
	QV2	21	Southern Live Oak / <i>Quercus virginiana</i>	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
	TD2	3	Bald Cypress / <i>Taxodium distichum</i>	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
PALMS	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	NATIVE
	SS	51	Cabbage Palmetto / <i>Sabal palmetto</i>	30% @ 12' ct., 35% @ 15' ct., 35% @ 18' ct., Stagger Hts. within groups	Yes

SHRUB SCHEDULE			
SHRUB AREAS	QTY	COMMON / BOTANICAL NAME	SPACING
CG	131	Small Leaf Clusia / <i>Clusia guttifera</i>	3 gal., 24" Ht. min., Full 24" o.c.
VS	106	Sandankwa Viburnum / <i>Viburnum suspensum</i>	3 gal., 24" Ht. min., Full 24" o.c.



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4646 Okeechobee Rd. Commercial
 Florida
 City of Fort Pierce
 Landscape Specifications



Job No. 2022-07
 Drawn By EB
 Checked By MH
 Approved By MH
 Submittal Dates 02-01-23

Revision Dates

LP-2

EW Consultants, Inc.

Natural Resource Management, Wetland, and Environmental Permitting Services



4646 OKEECHOBEE ROAD

ENVIRONMENTAL ASSESSMENT

Prepared For:

LAND AMERICA

Prepared By:

EW CONSULTANTS, INC.

December 2022

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1000 SE MONTEREY COMMONS BOULEVARD, STE 208 STUART, FL 34996
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I. INTRODUCTION –

This Environmental Assessment Report details the land covers present on a piece of improved land located at 4646 Okeechobee Road in the City of Fort Pierce, Florida. In particular, this report focuses on the potential listed species which may be found within the open grassed areas of the subject site.

The 3.57-acre project site is located north of and adjacent to Okeechobee Road, just east of McNeill Road, and south of the Portofino Landings project (see Figure 1 in Appendix A, Location Map). It lies within Section 19, Township 35S, Range 40E, as shown on Figure 2 in Appendix A, USGS Quadrangle Map.

II. GENERAL PROPERTY DESCRIPTION –

Based on a December 2022 site visit conducted by staff from EW Consultants, Inc., the majority of the property is improved (paved parking lot) with no vertical construction. There are open areas of mowed grass generally located along the eastern portions of the property, as well as within the parking lot islands. The northwestern portion of the site includes a small portion of the Portofino Landings project (parking spaces and a dumpster).

The project site is bounded by Okeechobee Road to the south, commercial development to the west (a Shell gas station and a Tractor Supply store), the Portofino Landings multi-family residential project to the north, and Fivemile Creek (a North St. Lucie River Water Control District canal) to the east. Figure 3 in Appendix A is a 2021 aerial photo of the subject property and immediate surroundings.

III. SOIL TYPES –

A Soils Report produced by the United States Department of Agriculture/Natural Resources Conservation Service is provided in Appendix B of this report. Any natural soil types are likely heavily altered due to the improvement of the project site from past development activities.

IV. EXISTING LAND COVER TYPES –

The land cover types on the subject property have been classified in accordance with the Florida Land Use & Cover Classifications System developed by the Florida Department of Transportation. The site has one land cover type: #192 - Inactive Lands with Street Patterns but without Structures. This land cover consists of the paved remnant parking lot on-site as well as the grassed areas to the east. Grasses consist mainly of ruderal species such as cogon grass, Bahia, Bermuda, smutgrass, guinea grass, limpo grass, Spanish needles, ragweed, rattlebox, bushy broomsedge, among others. Along the north property line is a black chain-link fence with Brazilian pepper and green buttonwood bushes at its base. There are no intact native wetland or upland habitat on-site.

Figure 4 in Appendix A provides an aerial view and nomenclature for the land cover type described.

V. SPECIMEN NATIVE TREES

There are no mature native tree species on the subject site; therefore there are no native trees which meet the City’s protection standards. Planted laurel oaks exists adjacent to the project site in the southwest portion of the property. These trees are part of the landscaping for the adjacent Shell gas station.

VI. LISTED SPECIES DISCUSSION

During the field assessment of the property in December of 2022, observations were made for the presence or potential presence of listed fauna. Although the site is largely developed/paved, the open grassed areas with sandy soils provide potential foraging and burrowing habitat for state threatened gopher tortoise.

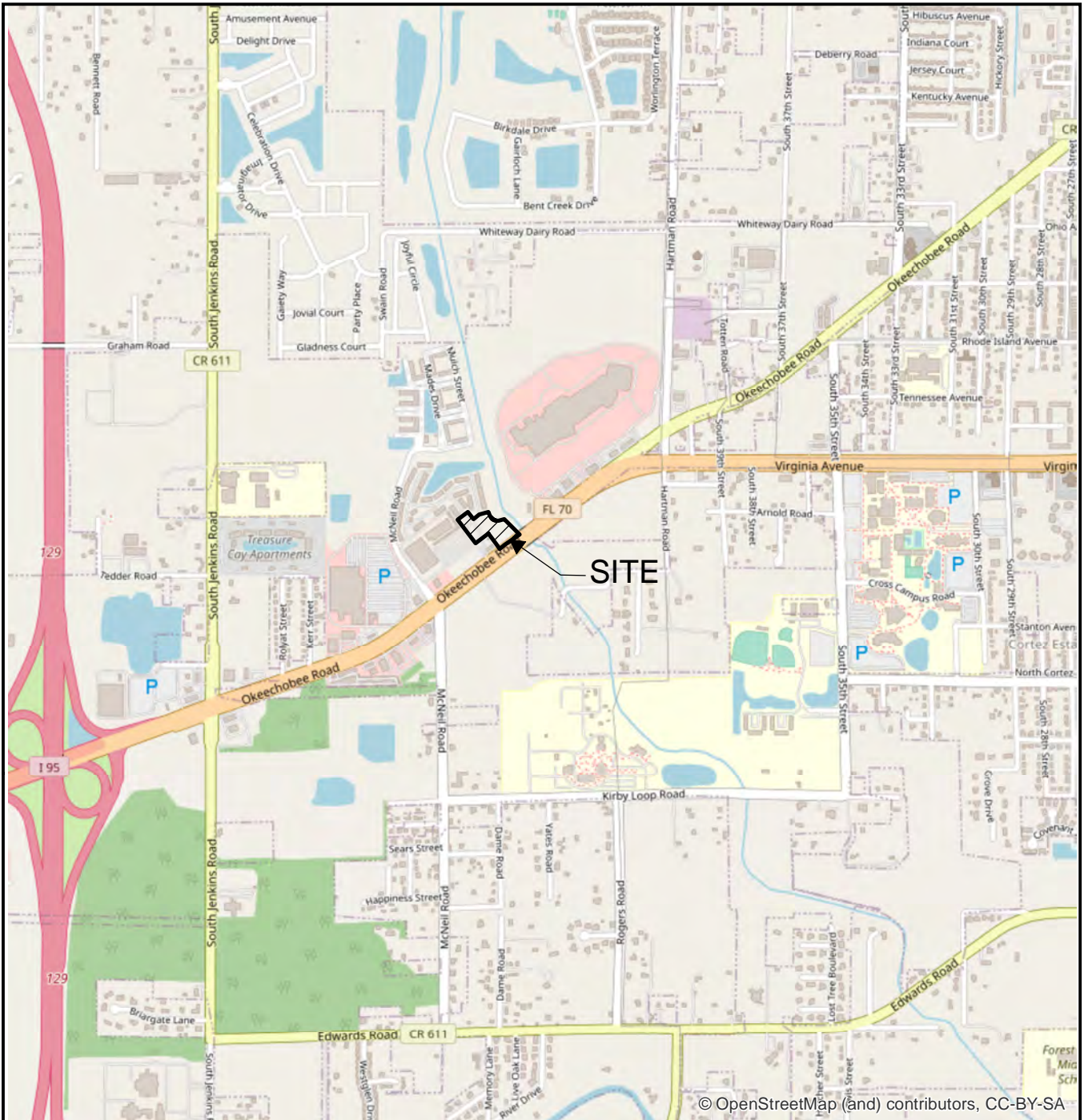
No potentially occupied burrows of this species were observed during the recent site visit. This survey is valid for 90 days and must be updated prior to land alteration activities.

Non-listed species observed on and near the site included a snipe flushed from the high grass, black vultures in-flight, and an osprey observed perched on top of a powerline pole on the east side of Fivemile Creek northeast of the project site. No other wildlife species were observed on-site at the time of the field reconnaissance in December 2022.


APPENDIX A

Maps and Figures:

- Figure 1: Location Map
- Figure 2: USGS Quadrangle Map
- Figure 3: 2021 Aerial Photograph
- Figure 4: Land Cover/FLUCCS Map



LEGEND

 - SITE (3.6+/- AC)

0 2,000 Feet



**4646 OKEECHOBEE ROAD
LOCATION**



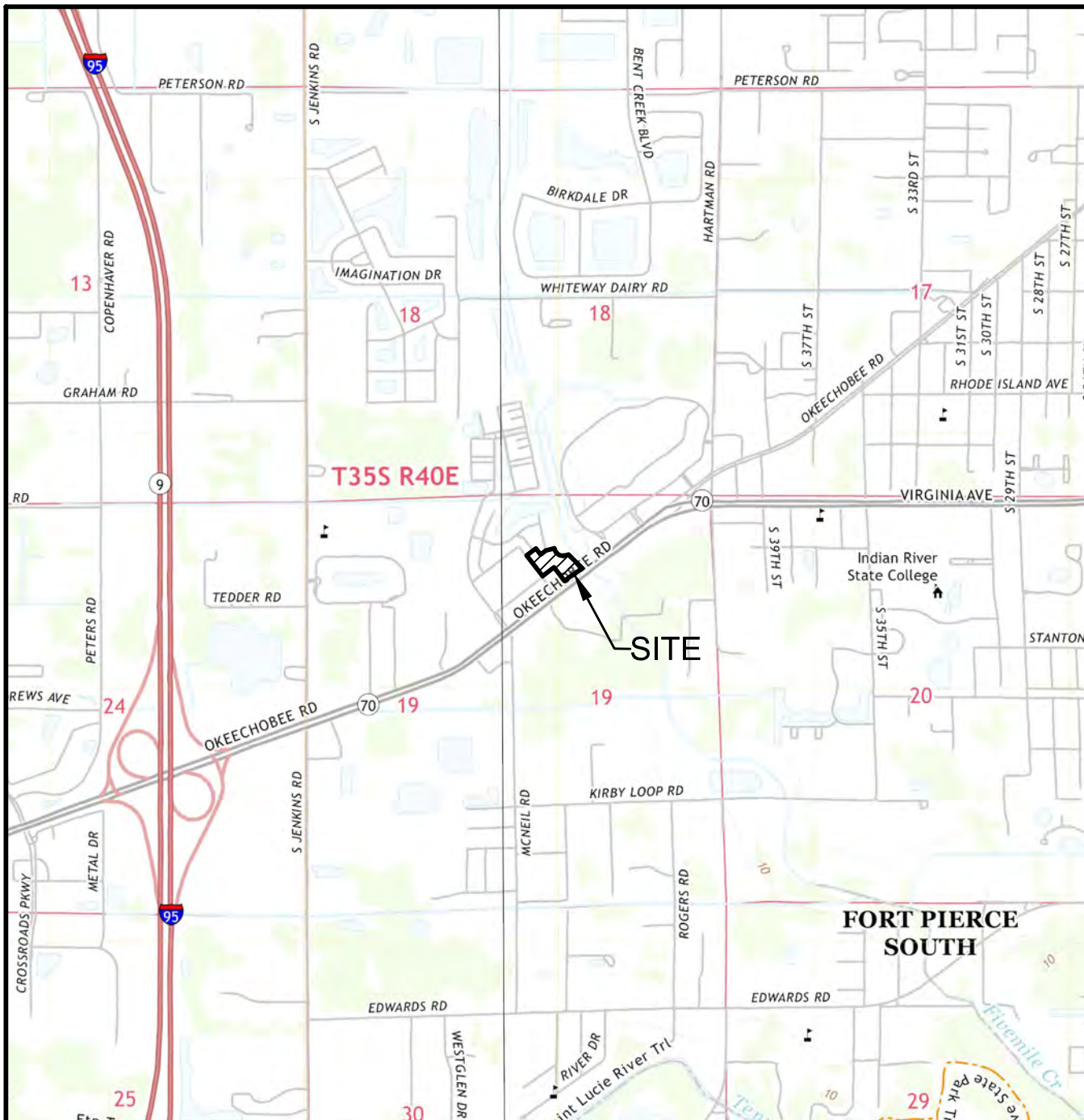
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DEC 2022

FIGURE

1



USGS QUAD MAP "FORT PIERCE", SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, CITY OF FORT PIERCE, ST LUCIE COUNTY, FLORIDA LATITUDE 27°25'24.50" LONGITUDE -80d22'22.78"

LEGEND

 - SITE (3.6± AC)



4646 OKEECHOBEE ROAD

QUAD MAP

4646 Okeechobee Rd.dwg QUAD



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DEC 2022

FIGURE

2



FDOT AERIALS DATED 2021

0 200
SCALE IN FEET



4646 OKEECHOBEE ROAD

AERIAL

4646 Okeechobee Rd.dwg AERIAL



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DEC 2022

FIGURE

3



FDOT AERIALS DATED 2021

LEGEND
192 - INACTIVE LAND WITH STREET PATTERNS BUT
WITHOUT STRUCTURES (3.6± AC)



4646 OKEECHOBEE ROAD FLUCCS



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DEC 2022
FIGURE
4

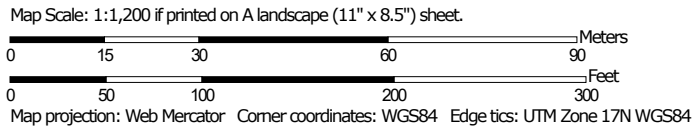
APPENDIX B

NRCS Custom Soils Report

Soil Map—St. Lucie County, Florida
(4646 OKEECHOBEE ROAD)




Soil Map may not be valid at this scale.





MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

Transportation



Rails



Interstate Highways



US Routes



Major Roads

Background



Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: St. Lucie County, Florida

Survey Area Data: Version 16, Sep 2, 2022

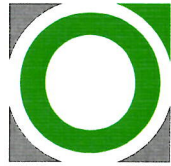
Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jan 18, 2022—Jan 30, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
38	Riviera fine sand, 0 to 2 percent slopes	3.5	98.8%
55	Winder loamy sand	0.0	1.2%
Totals for Area of Interest		3.6	100.0%



O'ROURKE
ENGINEERING & PLANNING

TRAFFIC ANALYSIS

FOR

4646 Okeechobee

Prepared for:


**Mr. Alejandro Zurita
Land America, LLC
C/O Pugliese Company
Pugliese Corporate Center
101 Pugliese's Way, Suite 200
Delray Beach, FL 33444**

Prepared by:

**O'Rourke Engineering & Planning
22 SE Seminole Street
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December 16, 2022

SR22121.0

<p>Prepared by: O'Rourke Engineering & Planning Certificate of Authorization: #26869 22 SE Seminole Street Stuart, Florida 34994 772-781-7918</p>	<p>Professional Engineer</p>  <p>Susan E. O'Rourke, P.E. Date signed and sealed: 12/16/2022 License #: 42684</p>
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O'ROURKE
ENGINEERING & PLANNING

December 16, 2022

Mr. Alejandro Zurita
Land America, LLC
C/O Pugliese Company
Pugliese Corporate Center
101 Pugliese's Way, Suite 200
Delray Beach, FL 33444

Re: 4646 Okeechobee

Dear Mr. Zurita:

O'Rourke Engineering & Planning has completed the analysis of the proposed warehouse development located west of McNeil Road and north of Okeechobee Road in Ft. Pierce, St. Lucie County, Florida. The steps in the analysis and the ensuing results are presented herein.

It has been a pleasure working with you. If you have any questions or comments, please give me a call.

Respectfully submitted,

O'Rourke Engineering & Planning

Susan E. O'Rourke, P.E.
Registered Civil Engineer

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INTRODUCTION

O'Rourke Engineering & Planning was retained to prepare a traffic analysis for the proposed warehouse development located west of McNeil Road and north of Okeechobee Road in Ft. Pierce, St. Lucie County, Florida. The purpose of this report is to determine the project's impact on the surrounding roadway system.

In order to make the determination that the project complies with County Concurrency Guidelines, the following analytical steps were taken:

- summary of the project
- summary of existing lane geometries
- summary of the existing traffic volumes
- assessment of project traffic
- determination of impact area
- summary of buildout cumulative traffic volumes
- summary of levels of service with the project traffic added

Each of these steps is outlined herein.

PROJECT DESCRIPTION

The proposed development located west of McNeil Road and north of Okeechobee Road in Ft. Pierce, St. Lucie County, Florida, will consist of a 39,450 square foot Warehouse on approximately 3.57 acres. The site is currently vacant. The project location is shown in **Figure 1**.

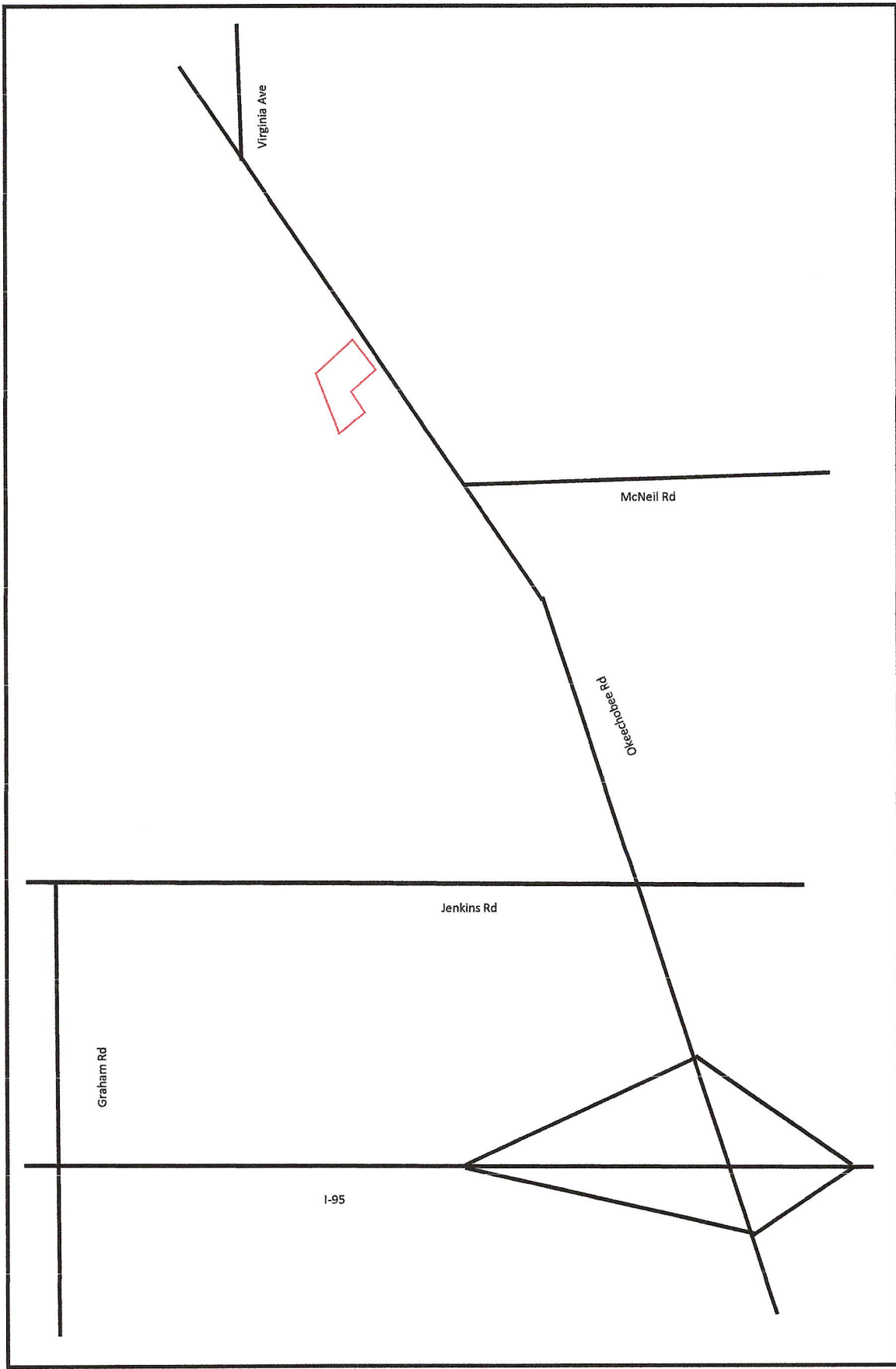



Figure 1
Project Location
4646 Okeechobee

Legend

 = Project Location



22 SE Seminole Street
Stuart, FL, 34994

Date:



NTS

Job Number:

EXISTING CONDITIONS

The study area is defined as the roadways upon which the project has an impact of 3% of the level of service capacity of the roadway and 1% on the adjacent link. Once the project traffic was assigned, the study area was refined based on the impact percentages.

The study area roadways were defined in terms of existing lane geometrics and existing traffic volumes.

Existing Lane Geometrics and Traffic Control

The study area was reviewed to determine the existing number and type of lanes, and the traffic control along the roadway. Each roadway is described below.

- Okeechobee Road is a multi-lane divided arterial roadway with an east/west alignment. It is four-lane divided west of Kings Highway and east of Virginia Avenue. It is six-lane divided from Rolyat Street to Virginia Avenue and from Kings Highway to I-95. There is an eight-lane divided section from east of I-95 to Rolyat Street. There are numerous extended turn lanes and freeway auxiliary lanes.

Existing Traffic Volumes/ Service Volume

Traffic volumes were obtained from the St. Lucie County TPO Traffic Counts and Level of Service Report 2022 and FDOT. The count data along with the number of lanes and the associated peak hour/peak direction service volumes will be summarized in the upcoming sections of the report. The service volumes were developed based on the functional classification contained in the County Comprehensive Plan and the St. Lucie County Traffic Counts and Level of Service Report. The St. Lucie 2022 Level of Service Report was used to establish capacity. This document is included in **Appendix B**.

PROJECT TRAFFIC

To estimate future traffic generated by the development, the ITE Trip Generation, 11th Edition trip rates were applied to Warehouse. These calculations are shown in **Tables 1a, 1b, and 1c**.

Trip generation reference material are included in the latter half of Appendix B.

As shown, the project will generate 101 net new daily trips. There will be 7 net new AM peak hour trips with 5 entering the project and 2 trips exiting the project. There will be 7 net new PM peak hour trips with 2 trips entering the project and 5 trips exiting the project.

PROJECT DISTRIBUTION/ ASSIGNMENT/IMPACT

The project traffic was distributed by general geographic direction and then assigned to the roadway network.

Distribution/ Assignment – This general distribution led to an assignment of trips based on the anticipated ultimate destinations and the roadway paths used to reach those destinations. The project assignment is shown in **Figure 2**.

Impact – **Tables 2a and 2b** summarize the project impact as a percent of service volume capacity. Significant is defined as 1% or more on an adjacent link and 3% or more on all other links. As shown, the project is insignificant on the links.

Table 1 - Trip Generation

Table 1a: Daily

Land Use	ITE Code	Intensity	Units	Trip Generation Rate	Directional Split		Net New Trips		
					In	Out	In	Out	Total
Warehousing	150	39,450	Sft	$T = 1.58(X) + 38.29$	50%	50%	51	50	101
TOTAL		39,450					51	50	101

Source: ITE 11th Edition Trip Generation Rates

Table 1b: AM Peak Hour

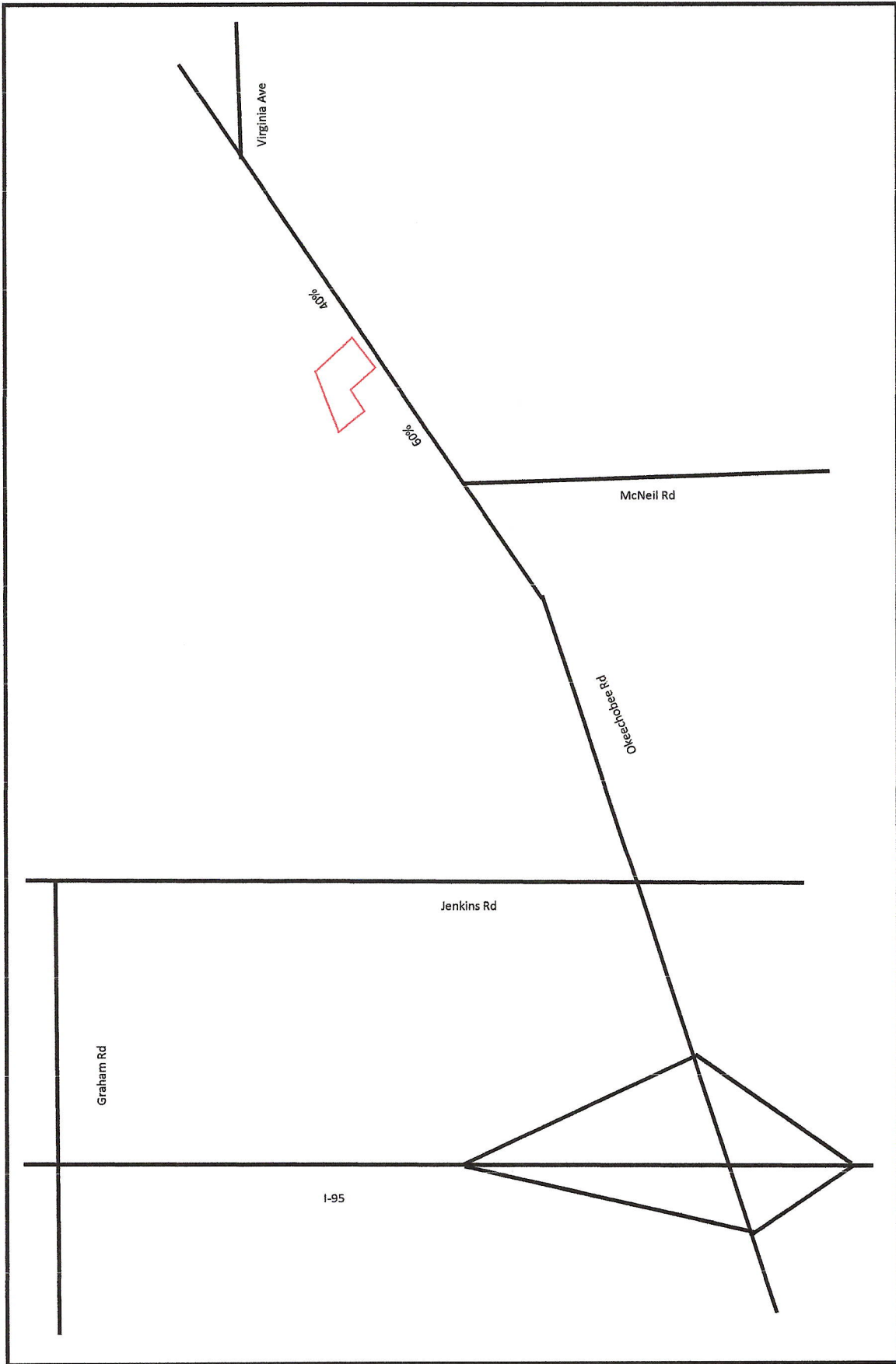
Land Use	ITE Code	Intensity	Units	Trip Generation Rate	Directional Split		Net New Trips		
					In	Out	In	Out	Total
Warehousing	150	39,450	Sft	$T = 0.17(X)$	77%	23%	5	2	7
TOTAL		39,450					5	2	7

Source: ITE 11th Edition Trip Generation Rates

Table 1c: PM Peak Hour

Land Use	ITE Code	Intensity	Units	Trip Generation Rate	Directional Split		Net New Trips		
					In	Out	In	Out	Total
Warehousing	150	39,450	Sft	$T = 0.18(X)$	28%	72%	2	5	7
TOTAL		39,450					2	5	7

Source: ITE 11th Edition Trip Generation Rates



<p>Figure 2 Percent Assignment 4646 Okeechobee</p>	<p>Legend = Project Location</p> 	 <p>O'ROURKE ENGINEERING & PLANNING 22 SE Seminole Street Stuart, FL 34994</p> <p>NTS Job Number: _____ Date: _____</p>
---	---	---

TABLE 2a - Project Percent Impact - AM

Segment	From	To	Lanes	Direction	IN/OUT	Greater than 3% (1% on Adjacent Links) (2)	Peak Hour Service Capacity (E+C) (1)	Project Volume Peak Direction	% Project of Capacity-Peak Hour	Project Percent Assignment
Okeechobee Rd	McNeil Rd	Project Access	8LD	EB	IN	NO	3,170	3	0.09%	60%
	McNeil Rd	Project Access	8LD	WB	OUT	NO	3,170	1	0.03%	60%
	Project Access	Virginia Ave	6LD	EB	OUT	NO	3,170	1	0.03%	40%
	Project Access	Virginia Ave	6LD	WB	IN	NO	3,170	2	0.06%	40%

(1) St. Lucie TPO LOS 2022

(2) According to the Guidelines prepared by the TPO and modified by the City and County

Two-Way: 7
 Net In: 5
 Net Out: 2

TABLE 2b - Project Percent Impact - PM

Segment	From	To	Lanes	Direction	IN/OUT	Greater than 3% (1% on Adjacent Links) (2)	Peak Hour Service Capacity (E+C) (1)	Project Volume Peak Direction	% Project of Capacity-Peak Hour	Project Percent Assignment
Okeechobee Rd	McNeil Rd	Project Access	8LD	EB	IN	NO	3,170	1	0.03%	60%
	McNeil Rd	Project Access	8LD	WB	OUT	NO	3,170	3	0.09%	60%
	Project Access	Virginia Ave	6LD	EB	OUT	NO	3,170	2	0.06%	40%
	Project Access	Virginia Ave	6LD	WB	IN	NO	3,170	1	0.03%	40%

(1) St. Lucie TPO LOS 2022

(2) According to the Guidelines prepared by the TPO and modified by the City and County

Two-Way: 7
 Net In: 2
 Net Out: 5

OTHER PROJECT TRAFFIC/GROWTH RATE

Traffic volumes on Okeechobee were grown using a 3-year historical growth rate of 4.07%. The growth rate was calculated using available FDOT data from 2018 to 2021, at the link of Okeechobee Road from McNeil Road to Virginia Avenue. The growth rate was applied out 3 years to estimate 2025 traffic. Committed traffic from approved but unbuilt projects were also included as background traffic.

Details of the growth rate calculation and background projects are included in **Appendix C**.

LINK ANALYSIS / REVIEW

The adjacent link of Okeechobee Road was not significant but was analyzed further to ensure it will meet concurrency. **Tables 3a and 3b** summarize the results of the link analysis. As shown, the roadway will operate at acceptable levels of service at project buildout.

TABLE 3a - Link Analysis - AM

Segment	From	To	Direction	IN/OUT	Greater than 3% (1% on Adjacent Links)	AADT 2020	2020 Peak Hour Directional Volumes	Growth Rate (2)	2025 AM Peak Hour + Growth	AM Peak Hour Committed Projects Directional	2025 Growth + Committed Peak Direction	Peak Hour Service Capacity (1)	Project Volume Peak Direction	Total Traffic (Peak Direction)	% Project of Capacity-Peak Hour	Does Project Satisfy Concurrency?	Project Percent Assignment
Okeechobee Rd	McNeil Rd	Project Access	EB	IN	NO	29,519	1,550	4.07%	1,892	143	2,035	3,170	3	2,038	0.09%	YES	60%
	McNeil Rd	Project Access	WB	OUT	NO	29,519	1,550	4.07%	1,892	65	1,958	3,170	1	1,958	0.03%	YES	60%
	Project Access	Virginia Ave	EB	OUT	NO	29,519	1,550	4.07%	1,892	143	2,035	3,170	1	2,036	0.03%	YES	40%
	Project Access	Virginia Ave	WB	IN	NO	29,519	1,550	4.07%	1,892	65	1,957	3,170	2	1,959	0.06%	YES	40%

(1) St. Lucie County 2022 Traffic Counts and LOS Report

(2) Area wide growth rate calculated from FDOT Historical AADT

Two-Way: 7
 Net In: 5
 Net Out: 2
 Years Grown: 5

TABLE 3b - Link Analysis - PM

Segment	From	To	Direction	IN/OUT	Greater than 3% (1% on Adjacent Links)	AADT 2020	2020 Peak Hour Directional Volumes	Growth Rate (2)	2025 PM Peak Hour + Growth	PM Peak Hour Committed Projects Directional	2025 Growth + Committed Peak Direction	Peak Hour Service Capacity (1)	Project Volume Peak Direction	Total Traffic (Peak Direction)	% Project of Capacity-Peak Hour	Does Project Satisfy Concurrency?	Project Percent Assignment
Okeechobee Rd	McNeil Rd	Project Access	EB	IN	NO	29,519	1,618	4.07%	1,975	109	2,084	3,170	1	2,085	0.03%	YES	60%
	McNeil Rd	Project Access	WB	OUT	NO	29,519	1,618	4.07%	1,975	165	2,140	3,170	3	2,143	0.09%	YES	60%
	Project Access	Virginia Ave	EB	OUT	NO	29,519	1,618	4.07%	1,975	109	2,084	3,170	2	2,086	0.06%	YES	40%
	Project Access	Virginia Ave	WB	IN	NO	29,519	1,618	4.07%	1,975	165	2,140	3,170	1	2,141	0.03%	YES	40%

(1) St. Lucie County 2022 Traffic Counts and LOS Report

(2) Area wide growth rate calculated from FDOT Historical AADT

Two-Way: 7
 Net In: 2
 Net Out: 5
 Years Grown: 5

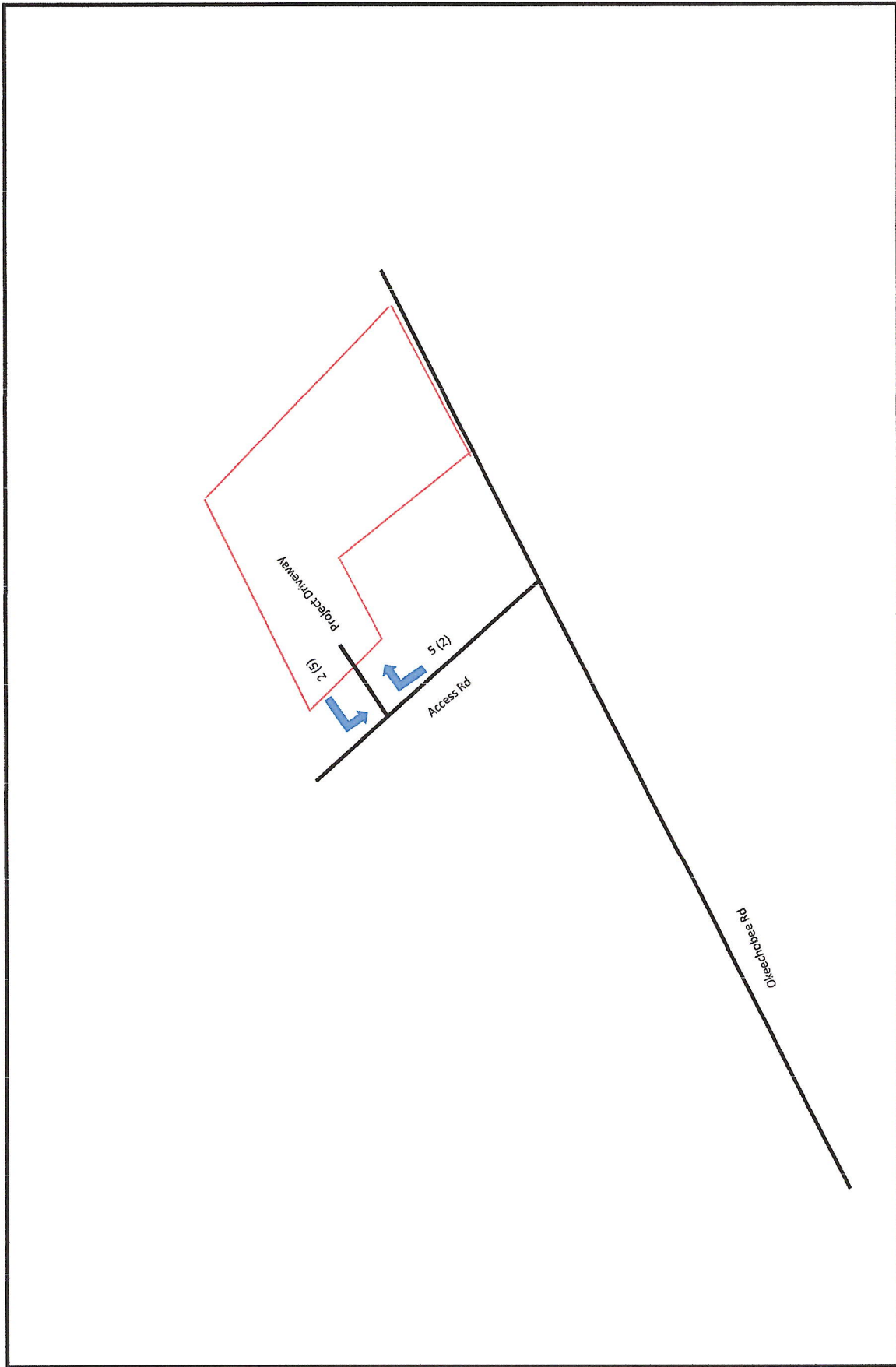
DRIVEWAY ANALYSIS

The project takes access from an existing access road with existing full access to Okeechobee Road. The project volumes are shown on **Figure 3**.

The existing access road already provides a right-turn lane and left-turn lane. Therefore, additional turn lane analysis is not required.

CONCLUSION

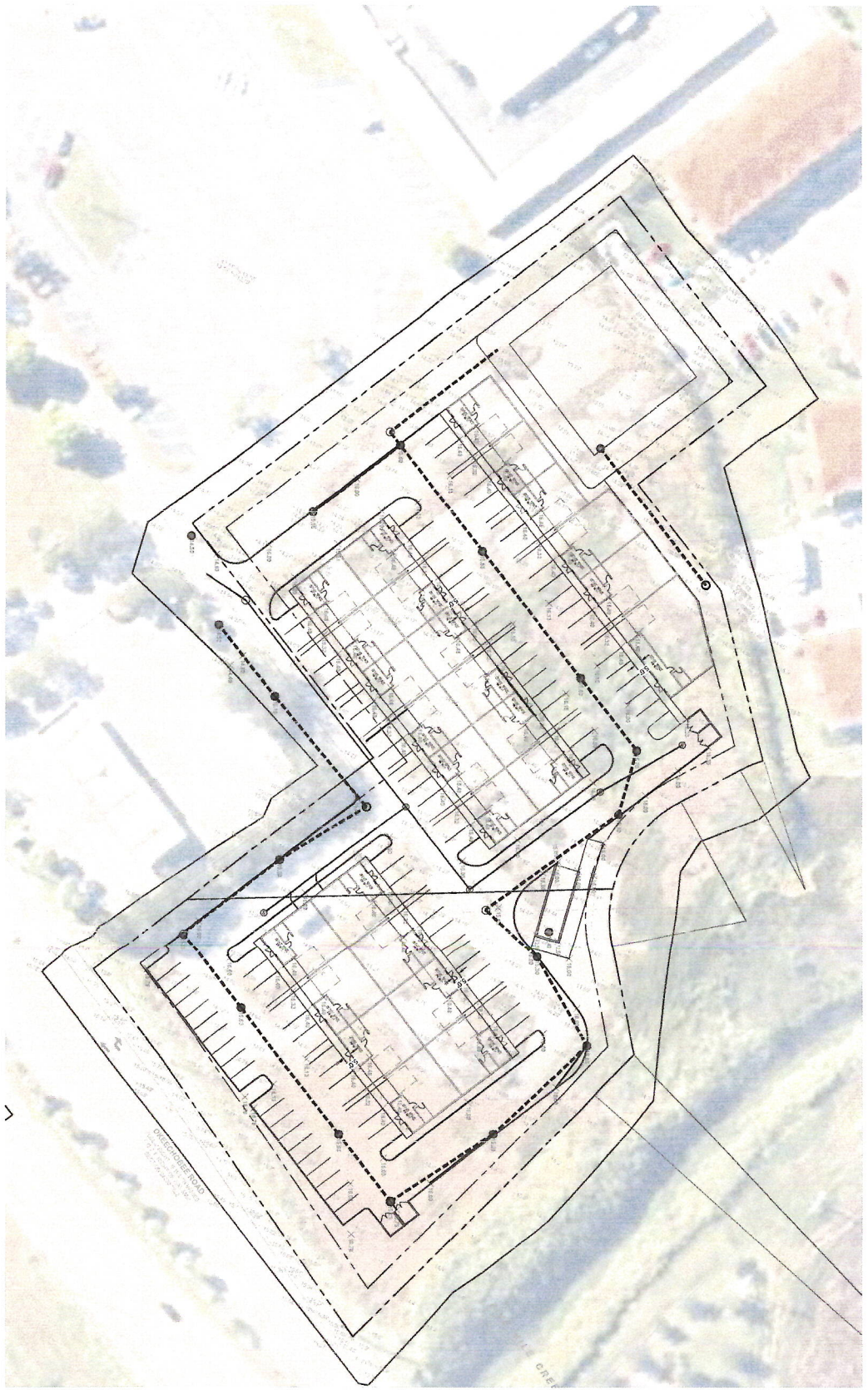
The 4646 Okeechobee with 101 daily trips, 7 net AM peak hour trips and 7 net PM peak hour trips will have an insignificant impact on the network. All links and intersections operate at acceptable levels of service. Therefore, the project meets the requirements for concurrency.



 NTS Job Number:	 O'ROURKE ENGINEERING & PLANNING 22 SE Seminole Street Stuart, FL 34994 Date:	 Legend = Project Location XX (XX) = AM (PM) Driveway Volumes	Figure 3 Driveway Volumes 4646 Okeechobee
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APPENDIX A

SITE PLAN



SITE DATA

TOTAL SITE AREA	16,522 SF	0.37 AC	(100%)
IMPERVIOUS FOOTPRINT	3,110 SF	0.07 AC	(19%)
PAVEMENT/CONCRETE	8,493 SF	1.94 AC	(47%)
PERVIOUS AREA	5,742 SF	1.29 AC	(35%)
STORMWATER AREA	4,422 SF	1.01 AC	(27%)
STORMWATER AREA	19,449 SF	0.45 AC	(9%)

CURRENT ZONING: GENERAL COMMERCIAL (C-3)
FUTURE LAND USE: COMMERCIAL GENERAL (C-3)
PROPOSED USE: FLEX SPACE (WALK-SCALE TRUCK/WAREHOUSE & FRODO)

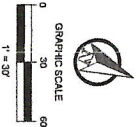
PARKING CALCULATIONS

SIZE TRUCK & TRAILER	REQUIRED	PROVIDED
30,420 SF WAREHOUSE @ 1 SPACE PER 400 SF	65	63
ACCESSIBLE SPACES @ 2.5% TOTAL SPACES	3	5
LOADING SPACES (RECOMMENDATION OF 2% TRUCK)	2	21



811
 PROJECT NO. 010525-0001
 PROJECT NAME: KINGS HIGHWAY CONCEPTUAL SITE PLAN
 DATE: 08/20/2011
 DRAWN BY: J. J. JENSEN
 CHECKED BY: M. J. JENSEN
 PROJECT LOCATION: 301 SE Ocean Blvd., Suite 301, Stuart, Florida 34994

NOTE:
 ALL EXISTING SPACING REFERENCED TO PERMITS
 ALL DIMENSIONS SHOWN IN FEET AND INCHES



PROJECT NO.	010525-0001
PROJECT NAME	KINGS HIGHWAY CONCEPTUAL SITE PLAN
DATE	08/20/2011
DRAWN BY	J. J. JENSEN
CHECKED BY	M. J. JENSEN
SCALE	AS SHOWN
DATE	08/20/2011
PROJECT LOCATION	301 SE Ocean Blvd., Suite 301, Stuart, Florida 34994

PROJECT NO.
 010525-0001

PROJECT NAME
 KINGS HIGHWAY CONCEPTUAL SITE PLAN

CITY OF FORT PIERCE

FLORIDA

Bowman Consulting Group, Ltd., Inc.
 301 SE Ocean Blvd., Suite 301
 Stuart, Florida 34994
 Phone: (772) 263-1410
 Fax: (772) 226-7881
 www.bowman.com
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 BOARD OF PROFESSIONAL ENGINEERS, STATE OF FLORIDA

EX 5

APPENDIX B

ST. LUCIE COUNTY TPO TRAFFIC COUNTS AND LEVEL OF SERVICE REPORT 2022

Traffic Counts and Level of Service Report 2022

Roadway Name	Location	STATION ID	2022 AADT *	Last Physical Count Year	Pk Hr Service Capacity	AM Pk Hr Pk Dir		PM Pk Hr Pk Dir		
						Volume	LOS	V/C	Volume	LOS
OAKRIDGE DR	MOUNTWELL ST to OAKLYN ST	621	6,950	2019	700	432	C	376	C	0.537
OHIO AVE	SUNRISE BLVD to COLONIAL RD	686	3,600	2022	540	213	C	208	C	0.385
OHIO AVE	COLONIAL RD to US 1	686	3,600	2022	750	213	C	208	C	0.277
OKEECHOBEE RD	OKEECHOBEE C.L. to BLUEFIELD RD	687	11,342	2020	1,580	592	B	637	B	0.403
OKEECHOBEE RD	BLUEFIELD RD to CARLTON RD	687	11,342	2020	2,000	592	B	637	B	0.319
OKEECHOBEE RD	CARLTON RD to SNEED RD	940039	7,535	2020	2,100	370	B	362	B	0.172
OKEECHOBEE RD	IDEAL HOLDING RD to HEADER CANAL RD	940039	7,535	2020	2,100	370	B	362	B	0.172
OKEECHOBEE RD	SNEED RD to IDEAL HOLDING RD	940039	7,535	2020	2,100	370	B	362	B	0.172
OKEECHOBEE RD	HEADER CANAL RD to MIDWAY RD	940039	7,535	2020	2,450	370	B	362	B	0.148
OKEECHOBEE RD	MIDWAY RD to SHINN RD	940039	7,535	2020	3,110	370	B	362	B	0.116
OKEECHOBEE RD	SHINN RD to MCCARTY RD	940195	6,920	2020	3,240	376	B	376	B	0.116
OKEECHOBEE RD	MCCARTY RD to FLORIDA'S TURNPIKE	940025	8,360	2020	3,240	401	B	416	B	0.128
OKEECHOBEE RD	FLORIDA'S TURNPIKE to KINGS HWY	940025	8,360	2020	2,100	401	C	416	C	0.198
OKEECHOBEE RD	KINGS HWY to CROSSROADS PKWY	940748	21,934	2020	4,240	1,058	C	1,116	C	0.263
OKEECHOBEE RD	CROSSROADS PKWY to I-95	940106	26,526	2020	4,240	1,282	C	1,310	C	0.309
OKEECHOBEE RD	I-95 to JENKINS RD	940029	31,865	2020	4,240	2,082	C	1,801	C	0.425
OKEECHOBEE RD	JENKINS RD to MCNEIL RD	940029	31,865	2020	4,040	2,082	C	1,801	C	0.446
OKEECHOBEE RD	MCNEIL RD to VIRGINIA AVE	940742	29,519	2020	3,170	1,550	C	1,618	C	0.51
OKEECHOBEE RD	VIRGINIA AVE to HARTMAN RD	688	12,094	2019	2,100	665	C	704	C	0.335
OKEECHOBEE RD	HARTMAN RD to 35TH ST	688	12,094	2019	1,630	665	C	704	C	0.432
OKEECHOBEE RD	35TH ST to 33RD ST	689	16,610	2019	1,630	901	D	881	D	0.54
OKEECHOBEE RD	33RD ST to 25TH ST	689	16,610	2019	1,630	901	D	881	D	0.54
OKEECHOBEE RD	25TH ST to GEORGIA AVE	690	13,247	2019	1,630	762	D	724	C	0.444
OKEECHOBEE RD	GEORGIA AVE to DELAWARE AVE	690	13,247	2019	1,710	762	C	724	C	0.423
OLD DIXIE HWY	US 1 to SR A1A NORTH	691	150	2022	790	11	C	10	C	0.013

* NOTE: A six digit number in the "STATION ID" column identifies segment counted by FDOT

* Volumes shown were adjusted using FDOT Seasonal Factors

* AADT = Annual Average Daily Traffic (volumes for both directions where applicable)

* NOTE: If the Last Count Year is older than the year of the report, the AADT is projected from historical traffic count data.

* Counts with an ID format of 6 digits have data extracted from FDOT count stations.

APPENDIX C

**GROWTH RATE
&
BACKGROUND TRAFFIC**

<i>Roadway</i>	<i>Location</i>	<i>2018 AADT</i>	<i>2021 AADT</i>
Okeechobee Rd	SW of Virginia Ave	31500	35500
	Total:	31500	35500

Growth Rate 4.07%

FLORIDA DEPARTMENT OF TRANSPORTATION
 TRANSPORTATION STATISTICS OFFICE
 2021 HISTORICAL AADT REPORT

COUNTY: 94 - ST.LUCIE

SITE: 0742 - SR 70/OKBEEHOBEE RD - SW OF SR 70/VIRGINIA AVE (COUNTY 742)

YEAR	AADT	DIRECTION 1	DIRECTION 2	*K FACTOR	D FACTOR	T FACTOR
2021	35500	C	W 17000	9.00	50.90	11.40
2020	29500	F	W 15500	9.00	51.30	4.60
2019	30500	C	W 16000	9.00	51.00	4.60
2018	31500	C	W 15000	9.00	51.30	4.60
2017	31500	C	W 16000	9.00	50.90	12.00
2016	26000	C	W 10500	9.00	50.90	12.00
2015	26500	C	W 15000	9.00	51.00	12.00
2014	30000	C	W 15000	9.00	50.80	6.10
2013	27000	C	W 14500	9.00	50.80	3.80
2012	33000	C	W 16500	9.00	56.80	3.80
2008	32500	C	W 16000	10.45	58.06	6.70
2007	31500	C	W 16500	10.31	58.74	7.40
2006	35500	C	W 17000	10.73	65.89	5.00

AADT FLAGS: C = COMPUTED; E = MANUAL ESTIMATE; F = FIRST YEAR ESTIMATE
 S = SECOND YEAR ESTIMATE; T = THIRD YEAR ESTIMATE; R = FOURTH YEAR ESTIMATE
 V = FIFTH YEAR ESTIMATE; 6 = SIXTH YEAR ESTIMATE; X = UNKNOWN

*K FACTOR: STARTING WITH YEAR 2011 IS STANDARD, PRIOR YEARS ARE K30 VALUES

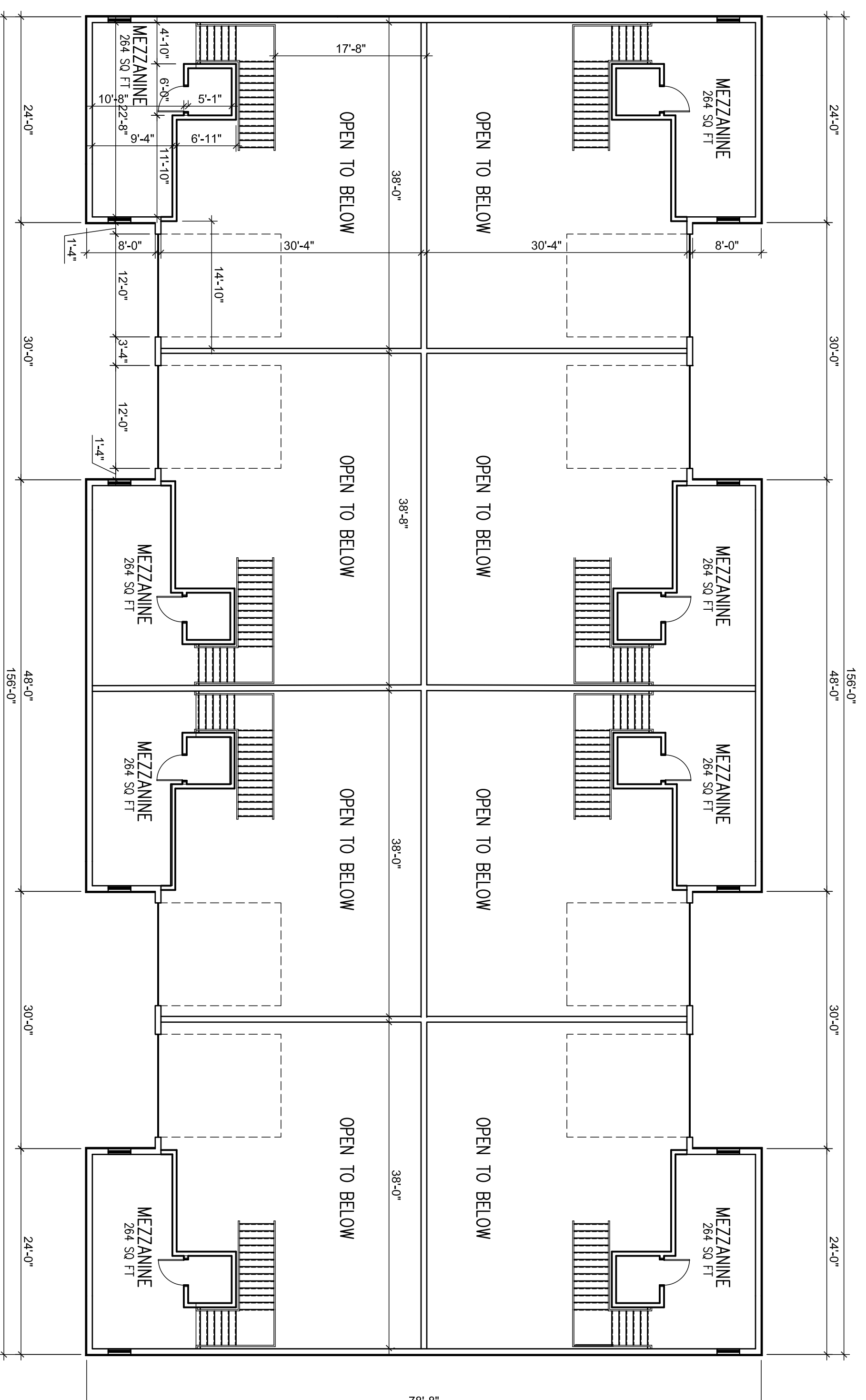
AREA A

8 Units

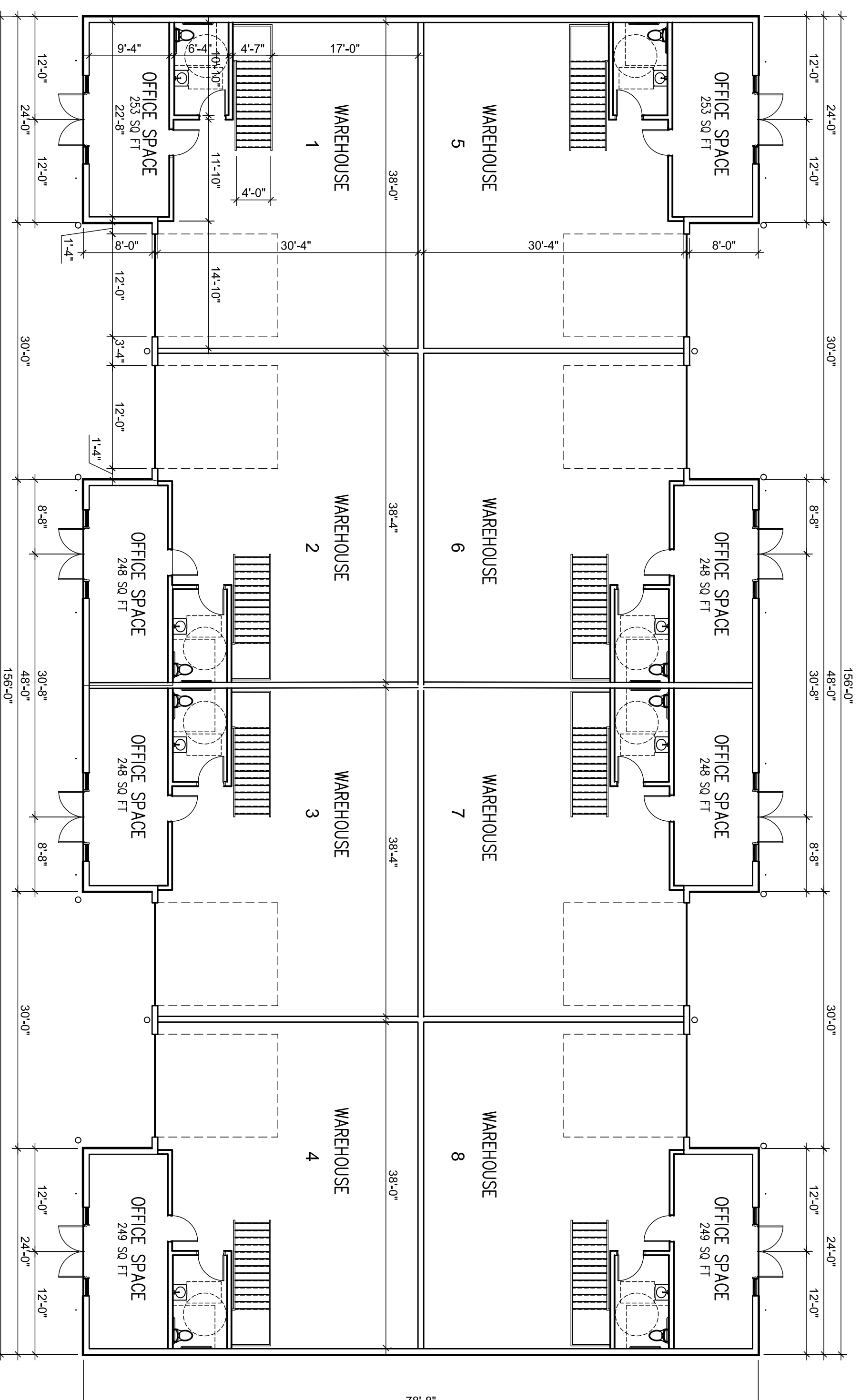
Total Ground Floor = Office 1,986 sf + Warehouse/Bathroom 9,316 sf = 11,312 sf
 Total Building = 11,312 Ground Floor + 2,112 Mezzanine = 13,424 sf

NOTES A:

- BUILDING OCCUPANCY: STORAGE GROUP S-2
- OCCUPANT LOAD: OFFICE = 1,986 SF /100 = 20 OCCUPANTS
- STORAGE SPACE = 11,428 SF /500 = 22.8 OCCUPANTS
- CALCULATED TOTAL OCCUPANT LOAD = 42.8 OCCUPANTS
- ANTICIPATED ACTUAL OCCUPANT LOAD = 19 OCCUPANTS
- CONSTRUCTION TYPE: TYPE IIB
- ALL PROPOSED ENCLOSED PORTIONS OF THE BUILDING SHALL BE FIRE SPRINKLER PROTECTED
- BUILDING SQUARE FOOTAGE: TOTAL - 13,424 SF
- BUILDING FOOTPRINT: TOTAL - 11,312 SF



MEZZANINE FLOOR PLAN - BUILDING A
 SCALE: 3/32" = 1'-0"



GROUND FLOOR PLAN - BUILDING A
 SCALE: 1/16" = 1'-0"

Symbol	Date	By	Revisions

Seal

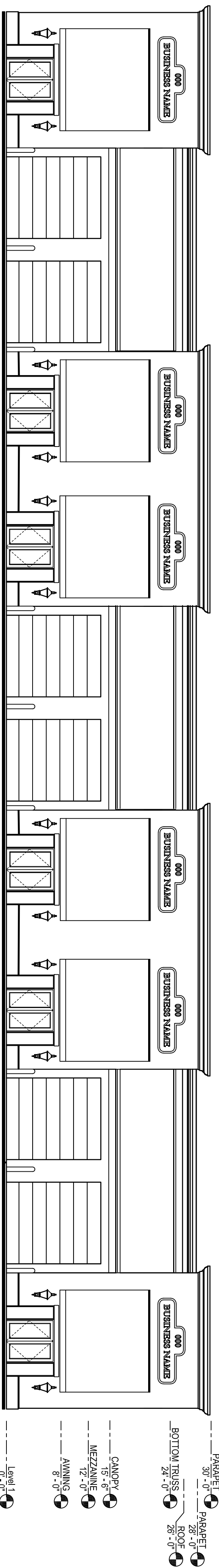
GOOD & EDWARD DESIGN STUDIOS
 30901 Stagecoach Blvd
 Evergreen, CO 80439

321-271-0748
 GoodEdward.com

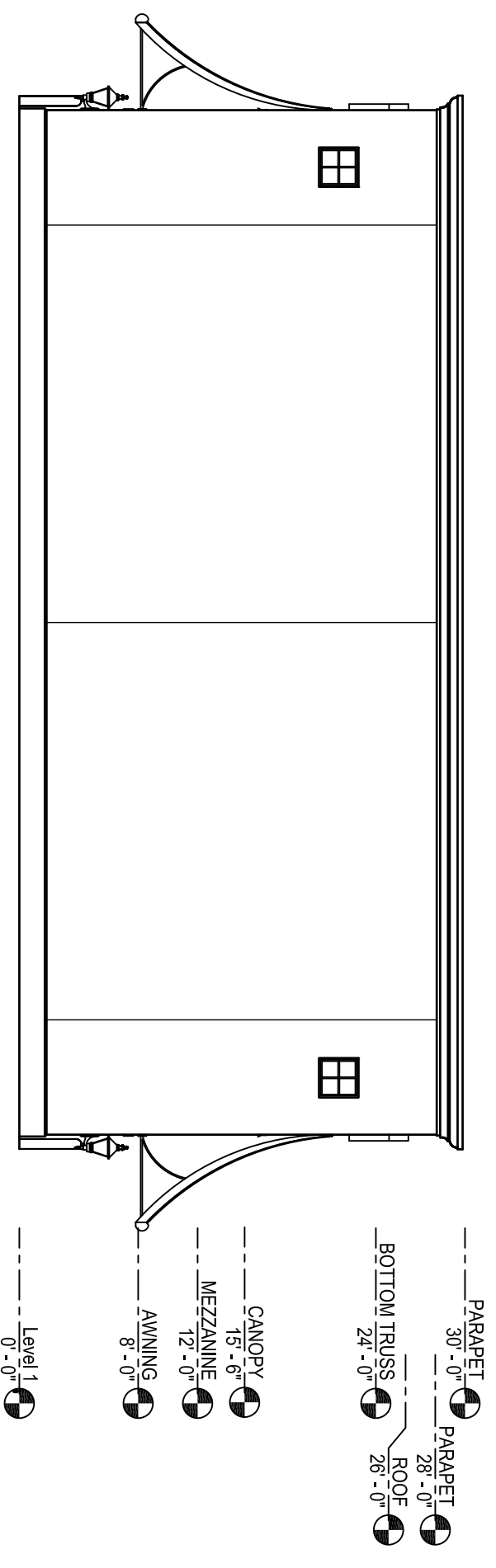
FLOOR PLAN
 BUILDING A
 4646 OKEECHOBEE
 FT PIERCE, FLORIDA

Sheet Title	Job No.
FLOOR PLAN BUILDING A	
Date	Drawn By
11/26/22	
Scale	Sheet No.
3/32" = 1'-0"	

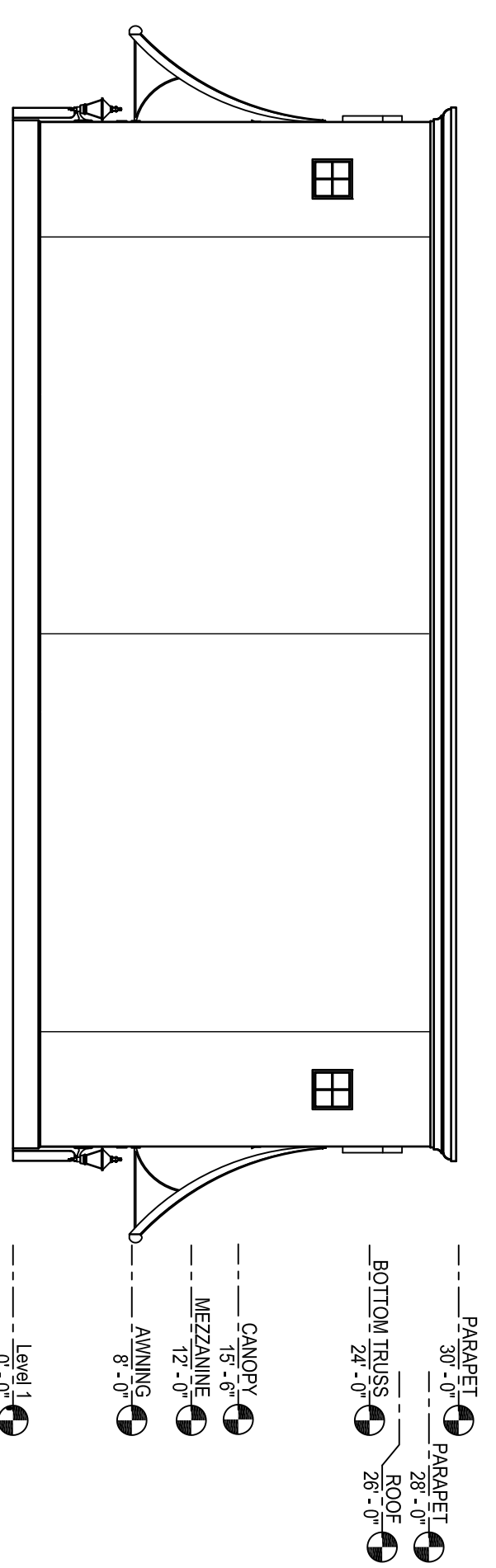
A1



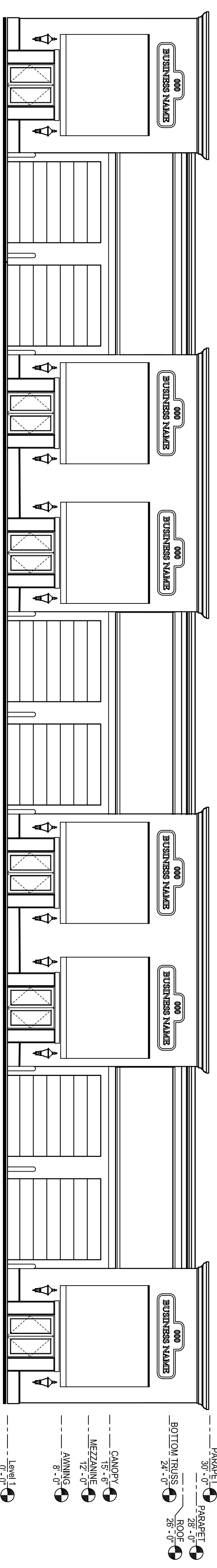
FRONT ELEVATION - BUILDING B
SCALE: 3/32" = 1'-0"



RIGHT ELEVATION - BUILDING B
SCALE: 3/32" = 1'-0"



LEFT ELEVATION - BUILDING B
SCALE: 3/32" = 1'-0"



REAR ELEVATION - BUILDING B
SCALE: 3/32" = 1'-0"

Symbol	Date	By	Revisions

Seal

GOOD & EDWARD DESIGN STUDIOS
30901 Stagecoach Blvd
Evergreen, CO 80439
321-271-0748
GoodEdward.com

Sheet Title	ELEVATIONS BUILDING B
Project	4646 OKEECHOBEE FT PIERCE, FLORIDA
Scale	3/32" = 1'-0"
Date	11/26/22
Job No.	
Drawn By	
Sheet No.	

A6

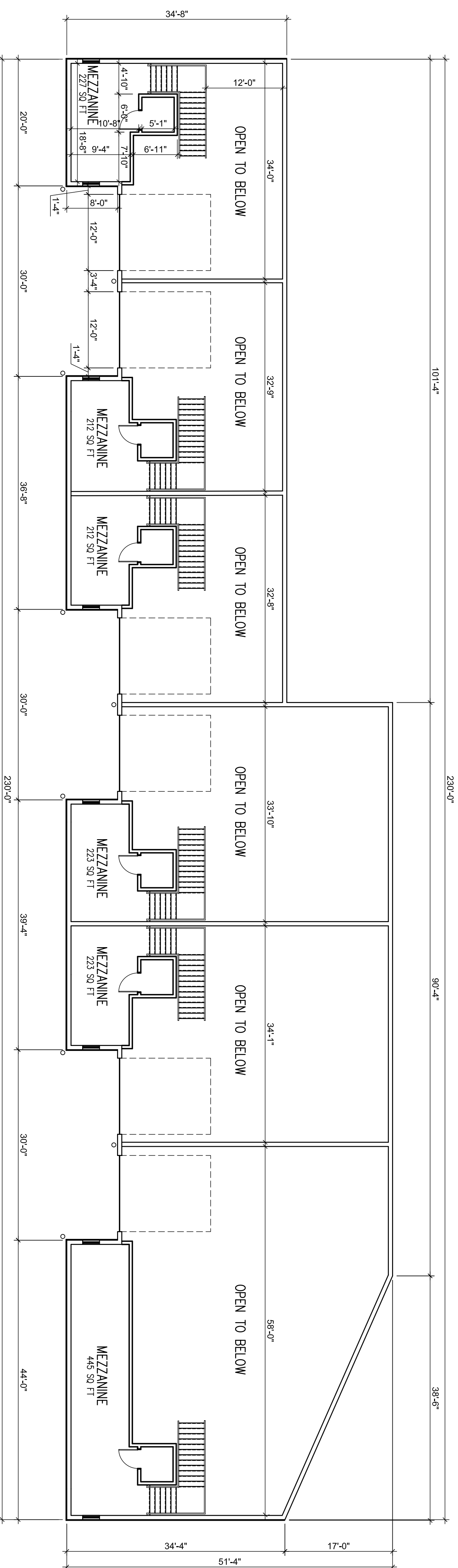
AREA C

6 Units

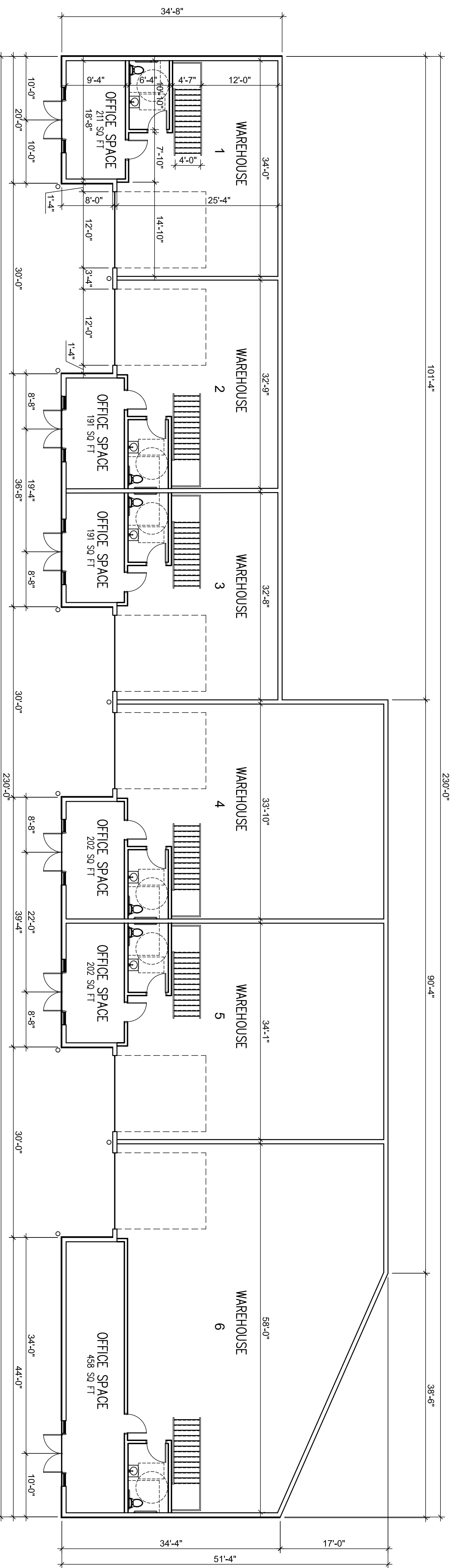
Total Ground Floor = Office 1,455 sf + Warehouse/Bathroom 7,617 sf = 9,072 sf
 Total Building = 9,072 Ground Floor + 1,542 Mezzanine = 10,614 sf

NOTES C:

- BUILDING OCCUPANCY: STORAGE GROUP S-2
- OCCUPANT LOAD:
- OFFICE = 1,455 SF / 100 = 14.6 OCCUPANTS
- STORAGE SPACE = 9,159 SF / 500 = 18.3 OCCUPANTS
- CALCULATED TOTAL OCCUPANT LOAD = 32.9 OCCUPANTS
- ANTICIPATED ACTUAL OCCUPANT LOAD = 12 OCCUPANTS
- CONSTRUCTION TYPE: TYPE IIB
- ALL PROPOSED ENCLOSED PORTIONS OF THE BUILDING SHALL BE FIRE SPRINKLER PROTECTED
- BUILDING SQUARE FOOTAGE:
- TOTAL - 10,614 SF
- BUILDING FOOTPRINT:
- TOTAL - 9,072 SF



MEZZANINE FLOOR PLAN - BUILDING C
 SCALE: 3/32" = 1'-0"



FLOOR PLAN - BUILDING C
 SCALE: 3/32" = 1'-0"

Symbol	Date	By	Revisions

Seal

GOOD & EDWARD DESIGN STUDIOS
 30901 Stagecoach Blvd
 Evergreen, CO 80439
 321-271-0748
 GoodEdward.com

Sheet Title		Job No.	
FLOOR PLAN BUILDING C			
Project			
4646 OKEECHOBEE			
FT PIERCE, FLORIDA			
Scale	3/32" = 1'-0"		
Date	11/26/22		
Sheet No.			

A7

Delivery Transmittal

To:	City of Fort Pierce Planning & Engineering Depts.	From:	HJA Design Studio
C/O:	Planning Department	Date:	November 12, 2024
Phone:	772-467-3729	Ref #:	TRC No. 23-07000006
Re:	4600 Okeechobee Rd AKA Okeechobee Road Flex Space Resubmittal Package	CC:	Development Team

- Via Fed Ex
 Via US Mail
 Via E-Transmittal
 Via Hand Delivery
 Via Package Pick Up

Comments:

Please see the attached documents pertaining to the above referenced project.

If you have any questions or concerns, please feel free to contact us at 772-678-7200.



Hand Delivered
November 12, 2024

Kev Freeman
Planning Director
City of Fort Pierce
100 N. U.S. Highway 1
Fort Pierce, FL 34950

Re: 4600 Okeechobee Road – Resubmittal Project#: 23-0700006

Dear Kev,

On behalf of St. Lucie Kings, LLC and following the August 21st staff meeting, we are pleased to resubmit the application materials for the referenced project, located along Okeechobee Road in Fort Pierce, Florida.

Enclosed, you will find one copy of the documents, three sets of plans as requested, and a digital copy of the revised materials for your review

1. Design Review Application
2. Development Review Application
3. Location Map
4. Project Description/Narrative
5. Site Plan
6. Lighting Plan
7. Landscape Plan
8. Architectural Drawings
9. 3D Renderings
10. Color board containing color samples of exterior finishes
11. Property Record Card
12. Warranty Deed

We look forward to working with you to complete this project. If you have any questions or need any additional information, please do not hesitate to contact our office at 772-678-7200. Thank you.

Sincerely,



Erika Beitler
Project Manager
HJA Design Studio, LLC

cc: St. Lucie Kings, LLC
Development Team



DESIGN REVIEW

Property Information

Property address or Location 4600-4650 Okeechobee Road, Fort Pierce, FL 34947

Parcel ID #(s) 2419-122-0001-040-6 & 2419-122-0002-050-9

Project description Flex Space (wholesale trade / warehouse and freight)

ST. LUCIE KINGS, LLC

Property Owner(s)

101 Pugliese Way, Suite 200

Street Address

Delray Beach FL 33444

City State Zip

561-454-1642

Phone Number

dbrink@puglieseco.com

Email Address

HJA Design Studio, LLC

Applicant/Representative, Title, Company

3500 SW Corporate Parkway, Suite 203

Street Address

Palm City FL 34990

City State Zip

772-678-7200

Phone Number

erika@hjadstudio.com

Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

10/02/2024

Property Owner(s) Signature(s)

ST. LUCIE KINGS, LLC, By David Cloran, it's Authorized Agent

APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS

CALL 772.467.3737 OR E-MAIL PLANNING_DL@CITYOFFORTPIERCE.COM

For more information, please refer to the website:

<https://www.cityoffortpierce.com/971/Application-Submittal-for-Technical-Rev>

Design Review Application Checklist **(City Code of Ordinances 125-314)**

Submittal for Administrative Approval

- a. A survey (1" = 30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of section 123-66, location of bordering streets and, if applicable, wetlands and beaches.
- b. A site analysis study to include a discussion of specimen trees and other natural vegetation, access, significant topography, wetlands, buffers, setbacks, views, orientation, the surrounding built environment, and other site features that may influence design elements.
- c. A draft written narrative describing the design intent of the project, its goals, and objectives and how it reflects the site analysis study results.
- d. Context photographs of neighboring uses and architectural styles.
- e. Photographs and/or drawings of architectural buildings or objects that serve as a precedent for the proposed building design. Models should be taken from local exemplary buildings, either existing or demolished. Documentation of such buildings is available in the city's planning department.
- f. Photographs of all existing structures located on the property. If existing structures on the property are more than fifty (50) years of age, documentation of these structures with data from the Florida Master Site File form is also required.
- g. Conceptual site plan (to scale) showing proposed location of all buildings, structures, parking areas, signs and landscaping.
- h. Landscape plan, at the same scale as the site plan. The planning director or designee may request enlarged plans of detailed planting areas. Planting schedule with sizes of proposed plantings must be included.
- i. Accurate color rendering of proposed signs showing dimensions, type of lettering, materials and actual color samples that demonstrates cohesiveness with the project design.
- j. Exterior elevations showing architectural character, external architectural features, and streetscape of the proposed development, including materials, colors, shadow lines and landscaping. The street elevation shall encompass the entire proposed project and generally identify the major elements of the adjacent two (2) properties on either side of the site. If the adjacent properties are vacant or underutilized, a diagram shall be provided that identifies the mass and form that is allowable under current zoning. If the street elevation must be drawn at such a scale as to render architectural details of the building unreadable, drawings of individual buildings at a larger scale should be provided as well.
- k. Design review concurrent with conceptual development plan procedure according to subsection 125-313 is also available.

Submittal for Board Approval

- a. A written narrative describing how the project conforms to administrative approval and design review guidelines of this section.
- b. A final site plan meeting the requirements of section 125-313.
- c. A final site lighting plan that meets the requirements of subsection 125-313(d)(8).
- d. A final landscape plan that meets the requirements of articles II and III of chapter 123.
- e. Final floor plans and elevation drawings (1/8" = 1'-0" minimum scale), as detailed under administrative approval, showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- f. A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.



DEVELOPMENT REVIEW

Property Information

Property address or Location 4600-4650 Okeechobee Road, Fort Pierce, FL 34947

Parcel ID #(s) 2419-122-0001-040-6 & 2419-122-0002-050-9

Project description Flex Space (wholesale trade / warehouse and freight)

Application Type

- Site Plan Minor Site Plan Innovative Residential Development
 Minor Amendment Major Amendment Conditional Use w/New Construction

Site Information

Non-Residential: Proposed Sq. Ft.: 36,790 Site Acreage: 3.57

Residential: Proposed Units: _____ Proposed Sq. Ft.: _____ Site Acreage: _____

ST. LUCIE KINGS, LLC

Property Owner(s)

101 Pugliese Way, Suite 200

Street Address

Delray Beach FL 33444

City State Zip

561-454-1642

Phone Number

dbrink@puglieseco.com

Email Address

HJA Design Studio, LLC

Applicant/Representative, Title, Company

3500 SW Corporate Parkway, Suite 203

Street Address

Palm City FL 34990

City State Zip

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Phone Number

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Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

10/02/2024

Property Owner(s) Signature(s) ST. LUCIE KINGS, LLC, By David Cloran, it's Authorized Agent Date

APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS

CALL 772.467.3737 OR E-MAIL PLANNING@CITYOFFORTPIERCE.COM

For more information, please refer to the website:

<https://www.cityoffortpierce.com/971/Application-Submittal-for-Technical-Rev>

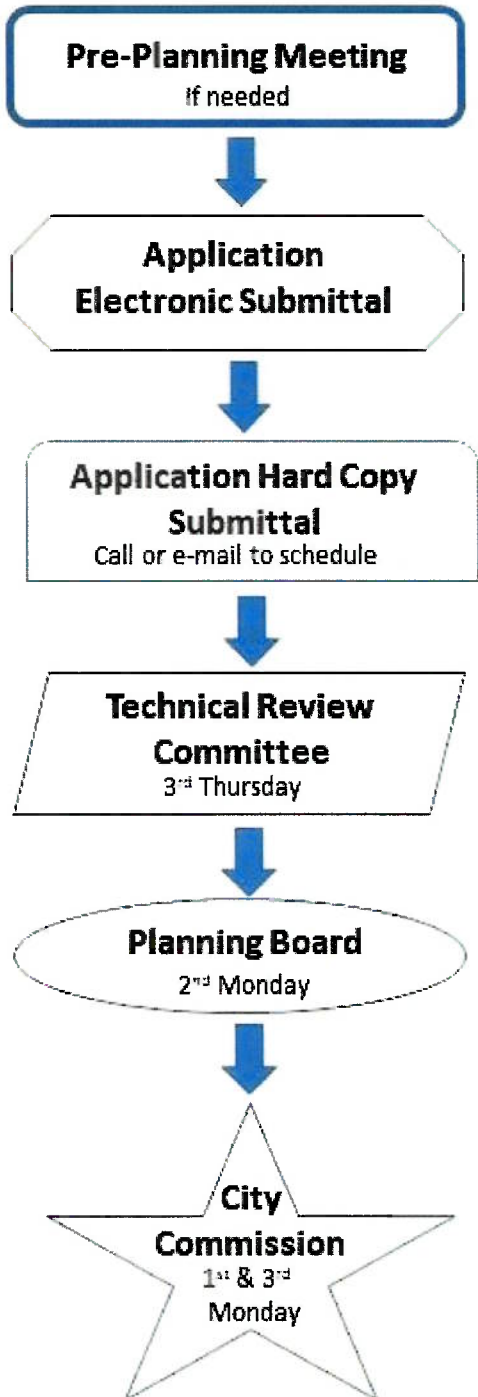
General Information

- **Incomplete application packets will not be accepted.**
- Appointments are required for application hard copy submittals.
- Site plan approval is valid for one (1) year following City Commission approval. To maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date.
- Fee Schedule - <https://www.cityoffortpierce.com/DocumentCenter/View/2620/Fee-Schedule->
- Public Notice Fees - <https://www.cityoffortpierce.com/DocumentCenter/View/8818/Public-Notice-Fees->

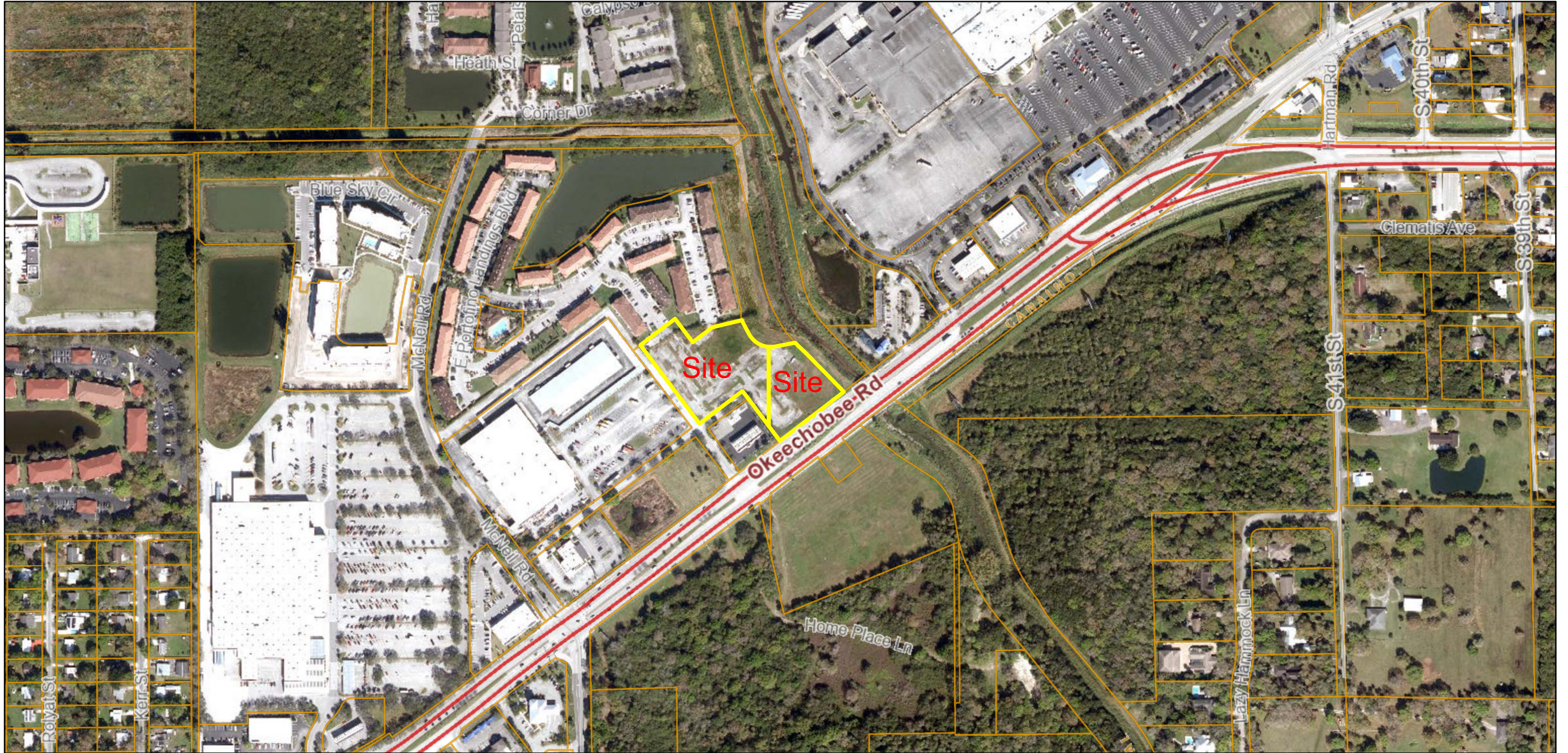
Site Plan submittal requirements:

Submit one (1) original, one (1) hard copy and one (1) Flash Drive of the following. Additional copies will be required of subsequent submittals.

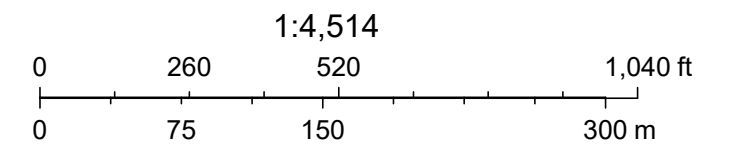
- Complete application
- Warranty Deed
- SLC Property Record Card
- Detailed project description
- General location map (see Section 125-313)
- Survey (see Section 125-313)
- Site Plan (see Section 125-313)
- Landscaping Plan (see Section 123-37)
- Conceptual Drainage Plan (see Section 125-313)
- Environmental Impact Report
- Beach/Dune System protection plan, if applicable (see Section 125-313)
- Lighting Plan (see Section 125-313)
- Design Review submittals (see Design Review application)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)



4600 Okeechobee Road



9/24/2024



Prepared By:
Doug Marek, Esq.
DOUG MAREK, P.A.
101 Pineapple Grove Way, Suite 200
Delray Beach, Florida 33444
561 454-1610

Property ID: 2419-122-0001-040-6
2419-122-0001-050-9

WARRANTY DEED

THIS WARRANTY DEED is made as of the 9th day of March 2021 by FLORIDA TAX LIEN ASSETS IV, LLC, a Florida limited liability company, whose post office address is 2055 US Highway 1, Vero Beach, FL 32960 ("Grantor") to ST. LUCIE KINGS, LLC, a Florida limited liability company whose post office address is 101 Pugliese's Way, 2nd Floor, Delray Beach, FL 33444 ("Grantee").

GRANTOR, IN CONSIDERATION of Ten Dollars and other good and valuable considerations, the receipt and sufficiency of which are hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto Grantee all that land as described in Exhibit A attached hereto, situate in St. Lucie County, Florida.

SUBJECT TO easements, restrictions, and reservations of record, taxes for the year 2021 and thereafter (a lien which is not yet due and payable).

TOGETHER WITH all tenements, hereditaments and appurtenances thereto belonging or in anywise pertaining.

TO HAVE and to hold the same in fee simple forever.


AND, Grantor hereby covenants with Grantee that Grantor is lawfully seized of said land in fee simple, that Grantor has good, right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2021 (a lien which is not yet due and payable).

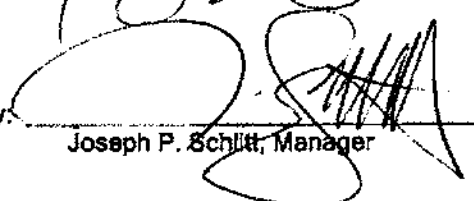
IN WITNESS WHEREOF, Grantor has signed and sealed these presents the day and year first above written.


Signed, sealed and delivered in the presence of:

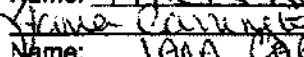
FLORIDA TAX LIEN ASSETS IV, LLC, a Florida limited liability company

By: Kite Tax Lien Capital, LLC, a Florida limited liability company


By: 
Kelly P. Kite, Jr., Manager

By: 
Joseph P. Schlitt, Manager


Name: Alicia Benz


Name: JANA CARLINGTON



Name: Alicia Benz


Name: JANA CARLINGTON

STATE OF FLORIDA
COUNTY OF INDIAN RIVER

I hereby certify that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgements, appeared by means of ✓ physical presence or on line notarization, Kelly P. Kite, Jr., as manager of Kite Tax Lien Capital, LLC, a Florida limited liability company, the managing member of FLORIDA TAX LIEN ASSETS IV, LLC, who is personally known to me or produced _____ as identification.

WITNESS, my hand and official seal in the County and State aforesaid this 8th day of March 2021.

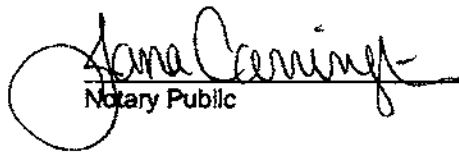


Notary Public

STATE OF FLORIDA
COUNTY OF INDIAN RIVER

I hereby certify that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgements, appeared by means of ✓ physical presence or on line notarization, Joseph P. Schlitt, as manager of Kite Tax Lien Capital, LLC, a Florida limited liability company, the managing member of FLORIDA TAX LIEN ASSETS IV, LLC, who is personally known to me or produced _____ as identification.

WITNESS, my hand and official seal in the County and State aforesaid this 8th day of March 2021.



Notary Public

1832-002 *

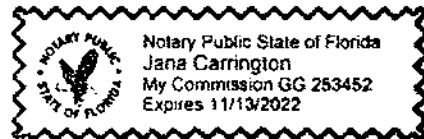


EXHIBIT A
Legal Description

Parcel 1:

A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE NORTH 01°20'45" EAST, ALONG THE EAST LINE OF SECTION 18, TOWNSHIP 35 SOUTH, RANGE 40 EAST, A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA; S.R. 70); THENCE SOUTH 52°29'55" WEST, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 2,102.04 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 55°45'47" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 210.34 FEET; THENCE SOUTH 52°29'33" WEST ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 71.28 FEET; THENCE NORTH 37°30'27" WEST, A DISTANCE OF 73.78 FEET; THENCE NORTH 37°30'14" WEST, A DISTANCE OF 114.06 FEET; THENCE NORTH 37°29'33" WEST, A DISTANCE OF 33.20 FEET; THENCE SOUTH 52°29'33" WEST, A DISTANCE OF 185.54 FEET; THENCE NORTH 37°24'29" WEST, A DISTANCE OF 337.95 FEET; THENCE NORTH 52°35'31" EAST, A DISTANCE OF 149.75 FEET; THENCE SOUTH 37°24'29" EAST, A DISTANCE OF 101.01 FEET; THENCE NORTH 52°26'19" EAST, A DISTANCE OF 84.86 FEET; THENCE NORTH 76°15'19" EAST, A DISTANCE OF 109.98 FEET TO A POINT ON THE ARC OF A CIRCULAR CURVE TO THE LEFT AT WHICH A RADIAL LINE BEARS NORTH 72°27'31" EAST; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 85.00 FEET AND A CENTRAL ANGLE OF 10°43'05", A DISTANCE OF 15.90 FEET TO A POINT OF TANGENCY; THENCE SOUTH 28°15'34" EAST, A DISTANCE OF 42.13 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE TO THE LEFT; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 85.00 FEET AND A CENTRAL ANGLE OF 72°51'03", A DISTANCE OF 108.08 FEET TO A POINT OF TANGENCY; THENCE NORTH 78°53'23" EAST, A DISTANCE OF 69.88 FEET TO A POINT ON THE ARC OF A CIRCULAR CURVE TO THE LEFT AT WHICH A RADIAL LINE BEARS NORTH 46°34'59" EAST; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 443.72 FEET AND A CENTRAL ANGLE OF 04°34'37", A DISTANCE OF 35.44 FEET TO A POINT OF TANGENCY; THENCE SOUTH 47°59'38" EAST, A DISTANCE OF 11.05 FEET; THENCE SOUTH 44°53'31" EAST, A DISTANCE OF 203.42 FEET TO THE POINT OF BEGINNING.

LESS A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE NORTH 01°20'45" EAST ALONG THE EAST LINE OF SECTION 18, TOWNSHIP 35 SOUTH, RANGE 40 EAST, FOR A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA S.R. 70); THENCE SOUTH 52°29'55" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 2102.04 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND; THENCE SOUTH 55°45'47" WEST FOR A DISTANCE OF 210.34 FEET; THENCE SOUTH 52°29'33" WEST FOR A DISTANCE OF 71.28 FEET; THENCE NORTH 37°30'27" WEST FOR A DISTANCE OF 73.78 FEET; THENCE NORTH 01°22'19" WEST FOR A DISTANCE OF 267.30 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 14°31'16" WEST, HAVING A RADIUS OF 85.00 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 36.54 FEET THROUGH A CENTRAL ANGLE OF 24°37'53" TO A POINT OF TANGENCY; THENCE NORTH 78°53'23" EAST FOR A DISTANCE OF 69.88 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 46°34'59" WEST, HAVING A RADIUS OF 443.72 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 35.19 FEET THROUGH A CENTRAL ANGLE OF 04°32'39"; THENCE SOUTH 47°59'38" EAST FOR A DISTANCE OF 11.05 FEET; THENCE SOUTH 44°53'31" EAST FOR A DISTANCE OF 203.42 FEET TO THE POINT OF BEGINNING.

Parcel 2:

A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE NORTH 01°20'45" EAST ALONG THE EAST LINE OF SECTION 18, TOWNSHIP 35 SOUTH, RANGE 40 EAST, FOR A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA S.R. 70); THENCE SOUTH 52°29'55" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 2102.04 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND; THENCE SOUTH 55°45'47" WEST FOR A DISTANCE OF 210.34 FEET; THENCE SOUTH 52°29'33" WEST FOR A DISTANCE OF 71.28 FEET; THENCE NORTH 37°30'27" WEST FOR A DISTANCE OF 73.78 FEET; THENCE NORTH 01°22'19" WEST FOR A DISTANCE OF 267.30 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 14°31'16" WEST, HAVING A RADIUS OF 85.00 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 36.54 FEET THROUGH A CENTRAL ANGLE OF 24°37'53" TO A POINT OF TANGENCY; THENCE NORTH 78°53'23" EAST FOR A DISTANCE OF 69.88 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 46°34'59" WEST, HAVING A RADIUS OF 443.72 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 35.19 FEET THROUGH A CENTRAL ANGLE OF 04°32'39"; THENCE SOUTH 47°59'38" EAST FOR A DISTANCE OF 11.05 FEET; THENCE SOUTH 44°53'31" EAST FOR A DISTANCE OF 203.42 FEET TO THE POINT OF BEGINNING.

Project Description

4600 Okeechobee Road

Project Overview

The proposed development, located in Fort Pierce, Florida, encompasses a total site area of 155,352 square feet (3.57 acres). The project aims to transform a currently vacant commercial lot into a functional flex space designed for wholesale trade, warehouse, and freight operations. The development will feature two primary buildings, extensive landscaping, and necessary infrastructure to support its intended use.

Site Layout and Design

The site plan outlines the following key components:

1. Buildings:

- **Building A:** A one-story structure with a total area of 21,915 square feet, including 3,357 square feet of office space and 18,558 square feet of warehouse space.
- **Building B:** A one-story structure with a total area of 14,875 square feet, including 2,288 square feet of office space and 12,569 square feet of warehouse space.

2. Parking and Accessibility:

- A total of 91 parking spaces are provided, exceeding the required 85 spaces. This includes 55 spaces for warehouse use, 30 spaces for office use, 4 accessible spaces, and 2 (35'X12') loading spaces.
- Accessible parking spaces and signage are strategically placed to ensure compliance with ADA standards.

3. Landscaping:

- The site includes a total landscape area of 48,676 square feet (1.12 acres), which constitutes 31% of the total site area. This exceeds the required open space of 31,070 square feet (0.71 acres).
- Landscape buffers of varying widths (10 to 25 feet) are incorporated along the property boundaries to enhance aesthetic appeal and provide screening.

4. Infrastructure and Utilities:

- The site plan includes provisions for utility easements, drainage easements, and maintenance easements to ensure proper functionality and compliance with local regulations. The existing utility easements that conflict with buildings and other development will be abandoned and re-recorded in new locations.
- A proposed detention area is designed to manage stormwater runoff effectively.

5. Circulation and Access:

- Main access points will be from existing drive aisles that are part of the current development as cross-access easements over these drive aisles are already in place.
- The site features well-defined vehicular and pedestrian circulation paths, including concrete sidewalks, paver walkways, and designated crosswalks.

- Directional arrows, stop bars, and signage are included to facilitate safe and efficient traffic flow within the site.

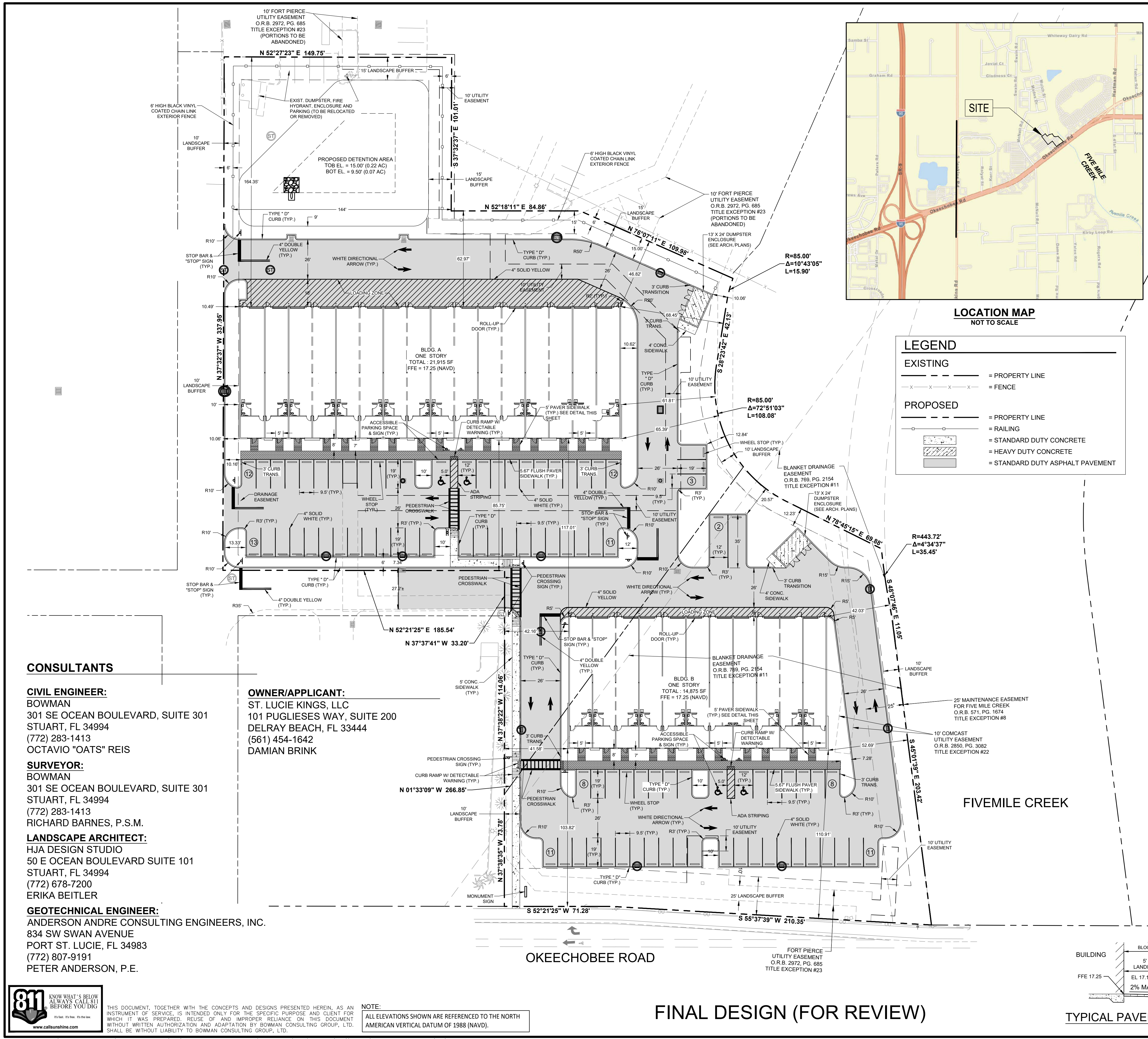
Compliance and Regulations

The project adheres to the following zoning and regulatory requirements:

- **Zoning:** The site is zoned as Commercial General (C-3) with a future land use designation of General Commercial (GC).
- **Setbacks:** The provided setbacks exceed the minimum requirements, ensuring adequate spacing and compliance with local codes.
- **Building Height:** The proposed building height is 30 feet, well within the maximum allowable height of 65 feet.

Conclusion

This project aims to create a functional and aesthetically pleasing flex light industrial space that meets the needs of wholesale trade and warehouse operations while adhering to local regulations and environmental considerations. The thoughtful design and strategic layout ensure that the development will be a valuable addition to the Fort Pierce community, providing economic benefits and enhancing the area's commercial infrastructure. On behalf of the owner, ST. LUCIE KINGS, LLC, HJA Design Studio, LLC respectfully requests your review and approval of this project.



SITE DATA

TOTAL SITE AREA	155,352 SF / 3.57 AC
GENERAL LAND USE	GENERAL COMMERCIAL (GC)
EXISTING ZONING	COMMERCIAL GENERAL (C-3)
EXISTING USE	VACANT COMMERCIAL
PROPOSED USE	FLEX SPACE (WHOLE SALE TRADE / WAREHOUSE & FREIGHT)
BUILDING COVERAGE	36,790 SF
MAXIMUM BUILDING HEIGHT	65'
PROPOSED BUILDING HEIGHT	30'
PARCEL CONTROL NUMBER	3323-640-0003-010-1

OPEN SPACE

REQUIRED	31,070 SF	0.71 AC	20%
PROVIDED	48,676 SF	1.12 AC	31%
TOTAL LANDSCAPE AREA	48,676 SF	1.12 AC	31%

SET BACKS

	REQUIRED (MIN.)	PROVIDED
FRONT	25'	103.82'
SIDE	10'	42.03'
REAR	15'	46.82'

LANDSCAPE AREA

TOTAL LANDSCAPE AREA	48,676 SF	1.12 AC	31%
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IMPERVIOUS AREA

BUILDING COVERAGE	36,790 SF	0.85 AC	24%
VEHICULAR USE AREA HEIGHT	5,033 SF	0.11 AC	3%
PAVERS/WALKS/DUMPSTER	5,033 SF	0.11 AC	3%
TOTAL	106,675 SF	2.45 AC	69%

BUILDING DATA

BUILDING	OFFICE	WAREHOUSE	TOTAL
BUILDING A	3,357 SF / 15%	18,558 SF	21,915 SF
BUILDING B	2,288 SF / 15%	12,569 SF	14,857 SF
TOTAL	5,645 SF / 15%	31,127 SF	36,772 SF

PARKING REQUIREMENTS (9.5' X 19')

WAREHOUSE	OFFICE	ACCESSIBLE SPACES	LOADING SPACES	TOTAL PARKING SPACES
1 SPACE PER 600 SF (31,127/600)	1 SPACE PER 200 SF (200 SF PER BAY) (5,645/200)	76 - 100 SPACES	4 SPACES	85 SPACES
52 SPACES	28 SPACES	4 SPACES	1 SPACES	85 SPACES
55 SPACES	30 SPACES	4 SPACES	2 SPACES	91 SPACES

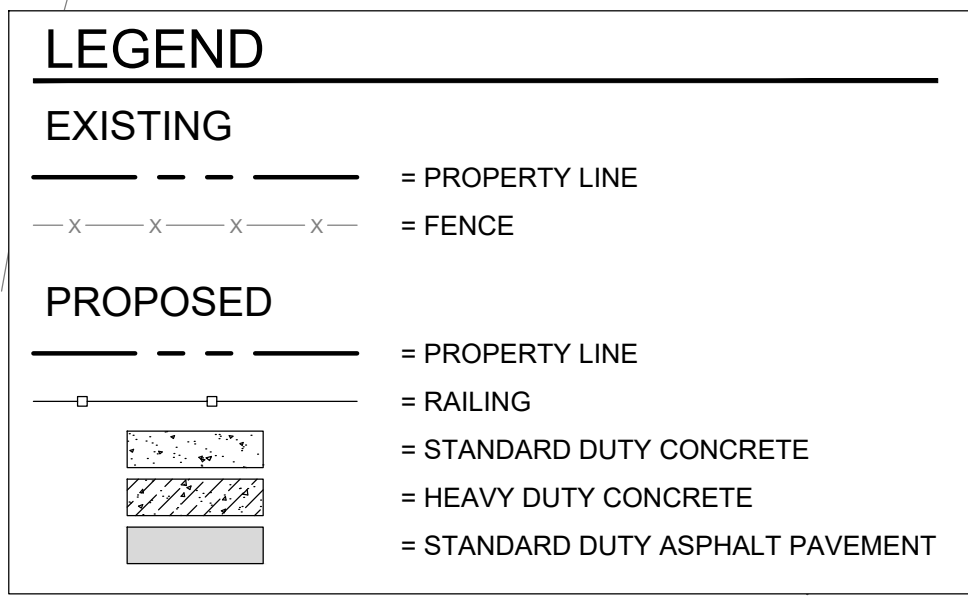
TOTAL INCLUDES ACCESSIBLE SPACES & 2 LOADING SPACES

LEGAL DESCRIPTION
PARCEL 1:
 A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE NORTH 01°20'45" EAST, ALONG THE EAST LINE OF SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, FOR A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA S.R. 70); THENCE SOUTH 52°29'55" WEST, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 2,102.04 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND; THENCE SOUTH 55°45'47" WEST FOR A DISTANCE OF 210.34 FEET; THENCE SOUTH 52°29'55" WEST FOR A DISTANCE OF 71.28 FEET; THENCE NORTH 37°30'27" WEST FOR A DISTANCE OF 73.78 FEET; THENCE NORTH 01°22'19" WEST FOR A DISTANCE OF 267.30 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 14°31'16" WEST, HAVING A RADIUS OF 85.00 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 36.54 FEET THROUGH A CENTRAL ANGLE OF 24°37'53" TO A POINT OF TANGENCY; THENCE NORTH 78°53'23" EAST FOR A DISTANCE OF 69.88 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 46°34'59" WEST, HAVING A RADIUS OF 443.72 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 35.19 FEET THROUGH A CENTRAL ANGLE OF 04°34'37" TO A POINT OF TANGENCY; THENCE SOUTH 47°59'38" EAST FOR A DISTANCE OF 11.05 FEET; THENCE SOUTH 44°53'31" EAST, A DISTANCE OF 203.42 FEET TO THE POINT OF BEGINNING.

PARCEL 2:
 A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE NORTH 01°20'45" EAST ALONG THE EAST LINE OF SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, FOR A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA S.R. 70); THENCE SOUTH 52°29'55" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 2,102.04 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND; THENCE SOUTH 55°45'47" WEST FOR A DISTANCE OF 210.34 FEET; THENCE SOUTH 52°29'55" WEST FOR A DISTANCE OF 71.28 FEET; THENCE NORTH 37°30'27" WEST FOR A DISTANCE OF 73.78 FEET; THENCE NORTH 01°22'19" WEST FOR A DISTANCE OF 267.30 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 14°31'16" WEST, HAVING A RADIUS OF 85.00 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 36.54 FEET THROUGH A CENTRAL ANGLE OF 24°37'53" TO A POINT OF TANGENCY; THENCE NORTH 78°53'23" EAST FOR A DISTANCE OF 69.88 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 46°34'59" WEST, HAVING A RADIUS OF 443.72 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 35.19 FEET THROUGH A CENTRAL ANGLE OF 04°34'37" TO A POINT OF TANGENCY; THENCE SOUTH 47°59'38" EAST FOR A DISTANCE OF 11.05 FEET; THENCE SOUTH 44°53'31" EAST FOR A DISTANCE OF 203.42 FEET TO THE POINT OF BEGINNING.

GENERAL NOTES

- THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL, AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA FROM THE EDGE OF PAVEMENT TO THE PROPERTY LINE WITHIN THE CITY'S RIGHT-OF-WAY IN ACCORDANCE WITH CITY CODE, SECTION 41.08(G).
- AIR CONDITIONING AND OTHER EQUIPMENT LOCATED ON THE ROOF SHALL BE SCREENED AND CANNOT BE VISIBLE FROM AN ELEVATION THAT IS HORIZONTAL TO THE LOCATION OF THE ROOF EQUIPMENT.



LOCATION MAP
NOT TO SCALE

CONSULTANTS

CIVIL ENGINEER:
BOWMAN
 301 SE OCEAN BOULEVARD, SUITE 301
 STUART, FL 34994
 (772) 283-1413
 OCTAVIO "OATS" REIS

SURVEYOR:
BOWMAN
 301 SE OCEAN BOULEVARD, SUITE 301
 STUART, FL 34994
 (772) 283-1413
 RICHARD BARNES, P.S.M.

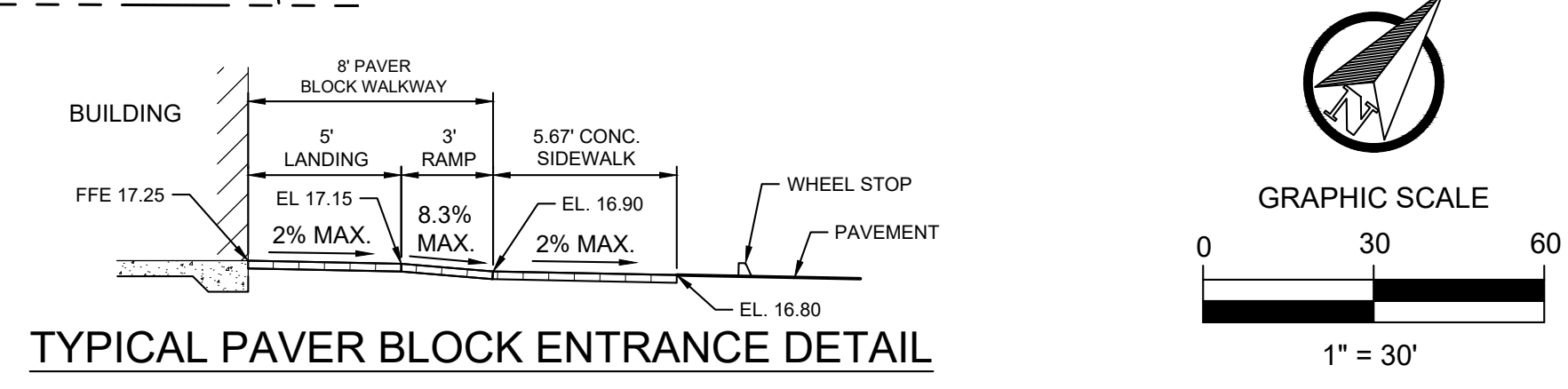
LANDSCAPE ARCHITECT:
HJA DESIGN STUDIO
 50 E OCEAN BOULEVARD SUITE 101
 STUART, FL 34994
 (772) 678-7200
 ERIKA BEITLER

GEOTECHNICAL ENGINEER:
ANDERSON ANDRE CONSULTING ENGINEERS, INC.
 834 SW SWAN AVENUE
 PORT ST. LUCIE, FL 34983
 (772) 807-9191
 PETER ANDERSON, P.E.

OWNER/APPLICANT:
ST. LUCIE KINGS, LLC
 101 PUGLIESES WAY, SUITE 200
 DELRAY BEACH, FL 33444
 (561) 454-1642
 DAMIAN BRINK

NOTE:
 ALL ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD).

FINAL DESIGN (FOR REVIEW)



THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY BOWMAN CONSULTING GROUP, LTD. SHALL BE WITHOUT LIABILITY TO BOWMAN CONSULTING GROUP, LTD.



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 © Bowman Consulting Group, Ltd.

4600 FLEX SPACE
 SITE PLAN
 FLORIDA
 FORT PIERCE

PROJECT NO
 010894-01-001

OCTAVIO "OATS" REIS
 LICENSE NO. 42503

PLAN STATUS

DATE	DESCRIPTION
BK DESIGN	RO DRAWN
	GMB CHKD

SCALE: 1" = 30'

JOB No. 010894
 DATE October 2024
 FILE No. 010894-HCP

SP1
 SHEET



Saint Lucie County
Property Appraiser
Michelle Franklin CFA

Report generated: Tuesday, September 24, 2024

Parcel Report



Parcel

PARCELNO: 2419-122-0001-040-6

Property ID: 175561

Owner1: ST LUCIE KINGS LLC

SiteAddress: 4650 OKEECHOBEE RD

Owner

Owner1: ST LUCIE KINGS LLC

Owner2:

Owner3:

MailingAddress: 101 Puglieses WAY, Unit Fl 2 Delray Beach, FL 33444-3761

Overview

PrimaryLandUse: 1000 - Vac Comm

DistrictGroup: 0022 - Fort Pierce

Subdivision: Metes and Bounds

Just/Market Value: \$491,500

FinishedArea:

Acres: 2.19

TotalArea: 95,396.4

Legal Description

LegalDescription: 19 35 40 FROM NE COR OF SEC RUN N 01 20 45 E ALG E LI OF SEC 357.81 FT TO N RD R/W LI OF OKEE RD, TH S 52 29 55 W ALG NLY R/W LI 2102.04 FT TO POB; TH S 55 45 47 W 210.34 FT, TH S 52 29 33 W 71.28, TH N 37 30 05 W 221.20 FT, TH S 52 29 33 W 185.54 FT, TH S 37 30 09 E 341.13 FT, TH N 52 35 31 E 149.75 FT, TH S 37 42 29 E 101.01 FT, N 52 26 19 E 84.86 FT, TH N 76 15 19 E 109.98 FT, TH S 28 15 34 E 42.13 FT TO CURVE CONC NE, R OF 85 FT, TH SELY ALG ARC 108.08 FT, TH N 78 53 23 E 69.88 FT TO WLY R/W OF CANAL # 29 AND CURVE CONC NE, R OF 443.73 FT, TH SELY ALG ARC 35.44 FT, TH S 47 59 38 W 11.05 FT, TH S 44 53 31 E 203.42 FT TO POB LESS THAT PARCEL MPDAF: 19 35 40 FROM NE COR OF SEC RUN N 01 20 45 E ALG E LI OF SEC 357.81 FT TO N RD R/W LI OF OKEE RD, TH S 52 29 55 W ALG NLY R/W LI 2102.04 FT TO POB; TH S 55 45 47 W 210.34 FT, TH S 52 29 33 W 71.28, TH N 37 30 27 W 73.78', TH N 01 22 19 W 267.30', TO CURVE CONC NE, R OF 85 FT, TH SELY ALG ARC 108.08 FT, TH N 78 53 23 E 69.88 FT TO WLY R/W OF CANAL # 29 AND CURVE CONC NE, R OF 443.73 FT, TH SELY ALG ARC 35.44 FT, TH S 47 59 38 W 11.05 FT, TH S 44 53 31 E 203.42 FT TO POB (2.19 AC)

Value History

Year	Just/Market Value	Building Value	Land Value	SFYI Value	Assessed Value	Exemption Amount	County Taxable	Save Our Home OR 10% Cap Differential	Ag Credit
2024	\$491,500	\$0	\$491,500	\$0	\$347,391	\$0	\$347,391	\$144,109	\$0
2023	\$491,500	\$0	\$491,500	\$0	\$315,810	\$0	\$315,810	\$175,690	\$0
2022	\$287,100	\$0	\$30,400	\$256,700	\$287,100	\$0	\$287,100	\$0	\$0
2021	\$352,700	\$0	\$300,500	\$52,200	\$352,700	\$0	\$352,700	\$0	\$0

Tax Links

[SLC Tax Collector's Office taxes for this parcel](#)

[Download TRIM notice for this parcel](#)

Special Assessments

Description	Start Year	Units	Amount
Portofino Landings CDD	2018	9,940.83	9,940.83
North St. Lucie Water Management District	2013	2.19	52.56
Fort Pierce Stormwater Charge	2012	28.9	1,994.1

Improvements

Building Sequence: 1

Bedrooms: 0

Bathrooms: 0

Building Type: -

Story Height:

No of Living Units:

Total Finished Area: 0

Gross Sketched Area: 0

Year Built:

Effective Year:

Primary Roof Cover:

Primary Roof Structure:

Primary Wall:

A/C %: 0

Land Lines

Line Number	Units	Unit Type
1	95,396.4	SqFt

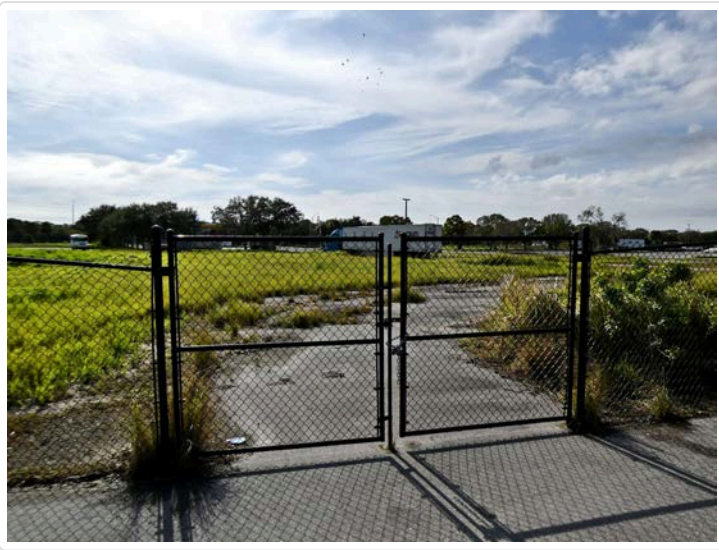
Permits

Permit Number	Issue Date	Description
23-5023	01/21/2024	Fence

Sales History

Sale Date	Sale Price	Sale Code	Deed Type	Grantor	Book Page	View Document
03/07/2021	\$560,000	0137	WD	Florida Tax Lien Assets IV LLC	4570-1698	Clerk of Courts
07/26/2018	\$1,062,900	0311	TXDEED	Floridian Properties and Investments LLC	4162-302	Clerk of Courts
07/25/2011	\$339,000	0001	WD	Prime Homes At Portofino Land	3336-357	Clerk of Courts
07/19/2011	\$0	0311	WD	Portofino Landings CDD	3313-15	Clerk of Courts
01/29/2006	\$0	XX03	SPWD	Portofino Landings CDD	3254-1039	Clerk of Courts
01/29/2006	\$5,100,000	XX02	SPWD	2890 Inc	2483-1661	Clerk of Courts

Photos



v2023-08-17



**Saint Lucie County
Property Appraiser
Michelle Franklin CFA**

Report generated: Tuesday, September 24, 2024

Parcel Report



Parcel

PARCELNO: 2419-122-0001-050-9

Property ID: 176141

Owner1: ST LUCIE KINGS LLC

SiteAddress: 4600 OKEECHOBEE RD

Owner

Owner1: ST LUCIE KINGS LLC

Owner2:

Owner3:

MailingAddress: 101 Puglieses WAY, Unit Fl 2 Delray Beach, FL 33444-3761

Overview

PrimaryLandUse: 1000 - Vac Comm

DistrictGroup: 0022 - Fort Pierce

Subdivision: Metes and Bounds

Just/Market Value: \$357,100

FinishedArea:

Acres: 1.31

TotalArea: 57,064

Legal Description

LegalDescription: 19 35 40 FROM NE COR OF SEC RUN N 01 20 45 E ALG E LI OF SEC 357.81 FT TO N RD R/W LI OF OKEE RD, TH S 52 29 55 W ALG NLY R/W LI 2102.04 FT TO POB; TH S 55 45 47 W 210.34 FT, TH S 52 29 33 W 71.28, TH N 37 30 27 W 73.78, TH N 01 22 19 W 267.30, TO CURVE CONC NE, R OF 85 FT, TH SELY ALG ARC 108.08 FT, TH N 78 53 23 E 69.88 FT TO WLY R/W OF CANAL # 29 AND CURVE CONC NE, R OF 443.73 FT, TH SELY ALG ARC 35.44 FT, TH S 47 59 38 W 11.05 FT, TH S 44 53 31 E 203.42 FT TO POB (1.31 AC)

Value History

Year	Just/Market Value	Building Value	Land Value	SFYI Value	Assessed Value	Exemption Amount	County Taxable	Save Our Home OR 10% Cap Differential	Ag Credit
2024	\$357,100	\$0	\$357,100	\$0	\$252,769	\$0	\$252,769	\$104,331	\$0
2023	\$357,100	\$0	\$357,100	\$0	\$229,790	\$0	\$229,790	\$127,310	\$0
2022	\$208,900	\$0	\$117,700	\$91,200	\$208,900	\$0	\$208,900	\$0	\$0
2021	\$198,300	\$0	\$179,800	\$18,500	\$198,300	\$0	\$198,300	\$0	\$0

Tax Links

[SLC Tax Collector's Office taxes for this parcel](#)

[Download TRIM notice for this parcel](#)

Special Assessments

Description	Start Year	Units	Amount
Portofino Landings CDD	2018	5,946.34	5,946.34
North St. Lucie Water Management District	2013	1.31	31.44
Fort Pierce Stormwater Charge	2012	10.2	703.8

Improvements

Building Sequence: 1

Bedrooms: 0

Bathrooms: 0

Building Type: -

Story Height:

No of Living Units:

Total Finished Area: 0

Gross Sketched Area: 0

Year Built:

Effective Year:

Primary Roof Cover:

Primary Roof Structure:

Primary Wall:

A/C %: 0

Land Lines

Line Number	Units	Unit Type
1	57,064	SqFt

Sales History

Sale Date	Sale Price	Sale Code	Deed Type	Grantor	Book Page	View Document
03/07/2021	\$560,000	0137	WD	Florida Tax Lien Assets IV LLC	4570-1698	Clerk of Courts
07/26/2018	\$1,062,900	0311	TXDEED	Floridian Properties and Investments LLC	4162-302	Clerk of Courts
07/25/2011	\$218,000	0001	WD	Prime Homes At Portofino Land	3336-361	Clerk of Courts
07/19/2011	\$0	0311	WD	Portofino Landings CDD	3313-15	Clerk of Courts

Photos



Landscape Data

Landscape Strip Adjacent to Public R.O.W

Ten (10) feet wide minimum landscape Strip.
 One (1) tree for each three hundred (300) square feet of required landscaped area.

Portofino Landings (West): 315 LF x 10 = 3,150 sf
 Trees Required: (3,150 sf / 300) = 11 Trees
 Trees Provided: = 11 Trees
 (9 Trees + 6 Palms (3:1))

Okeechobee Road (South): 282 LF x 10 = 2,820 sf
 Trees Required: (2,820 sf / 300) = 9 Trees
 Trees Provided: = 15 Trees

Landscape Strip Adjacent to Other Property

Vehicular use, building, retention/detention areas adjacent to other property
 Ten (10) feet wide minimum landscape Strip.
 One (1) tree for each three hundred (200) square feet of required landscaped area.
 Fence/Vegetated screening required where VUA abuts residentially zoned property.

Portofino Landings (North): 678 LF x 10 = 6,780 sf
 Trees Required: (6,780 sf / 300) = 23 Trees
 Trees Provided: = 29 Trees
 (23 Trees + 18 Palms (3:1))

Five Mile Creek (East): 250 LF x 10 = 2,500 sf
 Trees Required: (2,500 sf / 300) = 8 Trees
 Trees Provided: = 8 Trees

Sea Lion Real Estate (West): 221 LF x 10 = 2,210 sf
 Trees Required: (2,210 sf / 300) = 7 Trees
 Trees Provided: = 9 Trees (Existing)

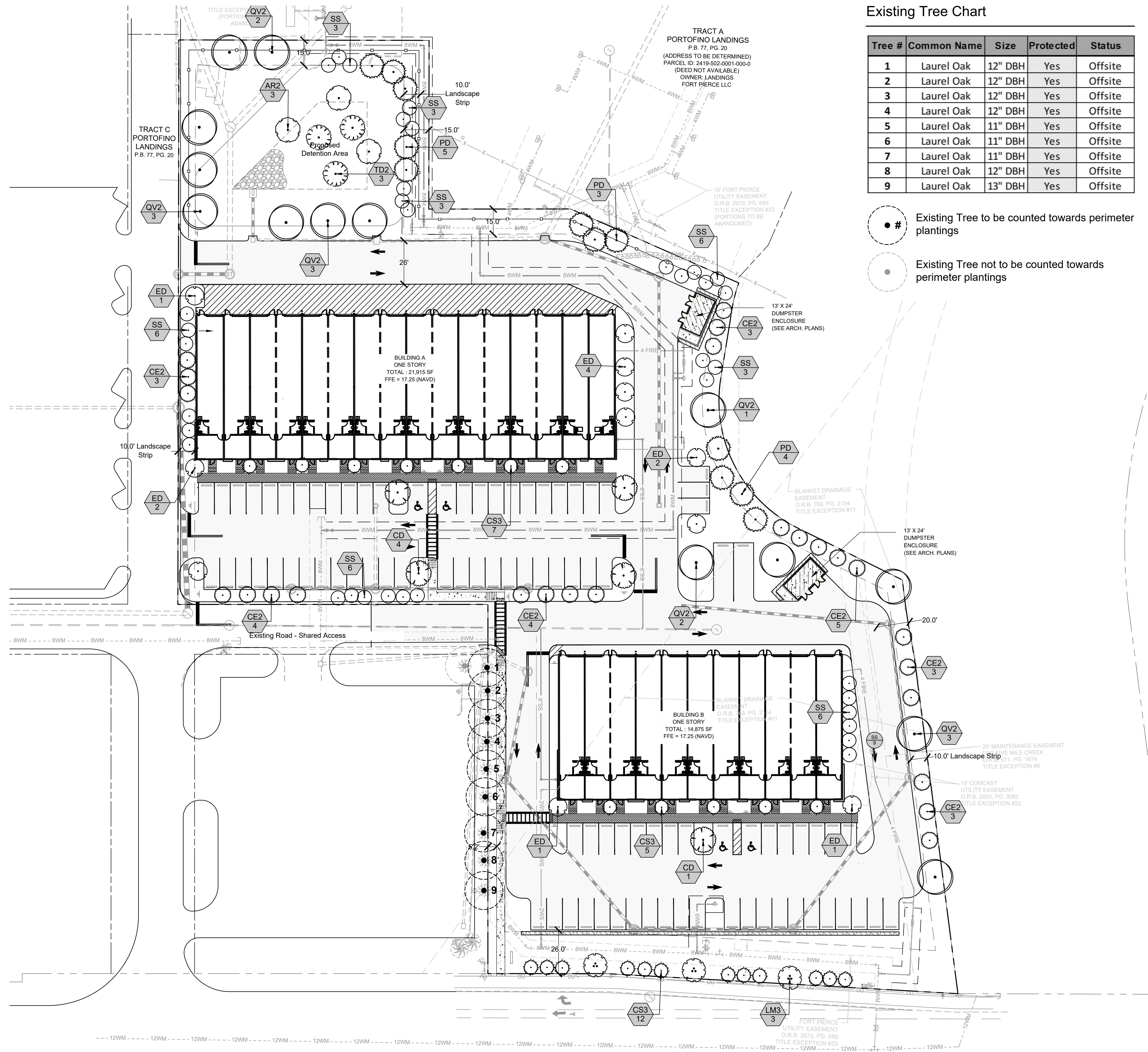
Interior Vehicular Use Areas

Vehicular use areas that are four thousand (4,000) or more square feet in size shall have at least one square foot of interior landscaping for each fifteen (15) square feet of vehicular use area. One tree for each one hundred (100) square feet of required landscaped area. Each separate landscaped area shall be curbed and contain a minimum of one hundred (100) square feet of area and shall be at least ten (10) feet wide and ten (10) feet deep exclusive of curbing in all locations.

Vehicular Use Area: 64,852 sf
 Landscape Area Required: (64,852 sf / 15 sf) = 4,323 sf
 Landscape Area Provided: = 16,890 sf
 Trees Required: (4,323 SF / 100) = 43 Trees
 Trees Provided: = 45 Trees
 (41 Trees + 12 Palms (3:1))

Fort Pierce Landscape Notes

- Plant materials shall meet or exceed the standards for Florida No. 1 as set out in the most current edition of "Grades and Standards for Nursery Plants Part 1 and Part 2," State of Florida, Department of Agriculture, Tallahassee.
- All trees required by this article (excluding palms that are exempt from the grades and standards) shall have a Florida No. 1 or better "Grades and Standards" certification tag attached at time of delivery through final inspection.
- Grass sod shall be clean and free of weeds, pests and diseases.
- Planting soil for all landscaped areas shall consist of existing soil mixed with fifty (50) per cent recycled top soil. Such planting soil shall be generally indigenous to the locale, free of debris, roots, clay, stones, plants or other foreign materials. The planting soil shall extend to an appropriate depth so as to eliminate any hindrance to planting operations or detriment to good plant growth. Compliance with these soil requirements shall be verified as part of the final inspection.
- Landscaped areas shall be covered in their entirety with shrubs, ground cover, turf, or three (3) inches of bulk organic mulch or other suitable material which permits percolation and is approved by the department.
- Do not place any soil or mulch over the root ball. If stakes or guide wires are used to support a tree, the wire must be covered with protective material where it is in contact with the tree and the stakes or guide wires must be removed after one year.
- All landscaping must be protected from vehicular and pedestrian traffic by the installation of curbing, wheel stops or other protective devices along the perimeter of any landscaping which adjoins vehicular use areas or sidewalks. These protected devices shall have a minimum height of six (6) inches above grade.
- No parking, display of vehicles or outside storage or display of merchandise is permitted in or over any required landscape area, nor are vehicles permitted to overhang any required landscaped area.
- To minimize traffic hazards at street or driveway intersections, all landscaping installations must provide unobstructed views.
- Any irrigation system placed on city right-of-way will be the responsibility of the property owner who shall relocate, replace or repair the system as appropriate in the event it is damaged due to permitted construction in the right-of-way.
- Prior to issuance of certificate of occupancy, final landscape installation shall be certified as complete and in conformance to the approved landscape plan by submission of a certification letter by a landscape architect.
- Property owners shall maintain all required landscaping so that it continues to present a healthy, neat and orderly appearance free of refuse and debris.
- Vegetation required shall be replaced with equivalent vegetation if it is not living. All trees for which credit is awarded and which subsequently die shall be replaced by the same number of living trees.
- Maintenance shall include sufficient weeding, watering, fertilizing, pruning, mowing, edging, mulching and other horticultural practices so as to assure that the landscaping continues to maintain a healthy, neat and orderly appearance.
- No person shall, directly or indirectly, cut down, substantially alter, destroy, remove, relocate, damage or authorize any such act involving a protected tree situated on land within the city, without first obtaining a tree removal permit.
- Removal, trimming, pruning or alteration of any tree or vegetation in an existing utility easement or public right-of-way, provided such work is done by or under the control of the operating utility company and said company has received all necessary licenses or permits to provide utility service within the easement.
- This plan has been designed to meet the tree planting requirements contained within the FPL document entitled "Plant the Right Tree in the Right Place". For existing or proposed utilities, no tree shall be planted where it could, at a mature height conflict with overhead power lines.
 - Large trees (height at maturity of more than 30') shall be planted no closer than a horizontal distance of 30' from the nearest overhead power line.
 - Medium height trees (height at maturity between 20' and 30') shall be offset at least 20' and small trees (height at maturity of less than 20') require no offset.
 - No tree shrubs, hedges or vines shall be planted within 5' of an existing or proposed utility pole, guy wire or pad-mounted transformer.
 - Palms should be planted at a distance equal to or greater than the average frond length plus two (2) feet from power lines.



Existing Tree Chart

Tree #	Common Name	Size	Protected	Status
1	Laurel Oak	12" DBH	Yes	Offsite
2	Laurel Oak	12" DBH	Yes	Offsite
3	Laurel Oak	12" DBH	Yes	Offsite
4	Laurel Oak	12" DBH	Yes	Offsite
5	Laurel Oak	11" DBH	Yes	Offsite
6	Laurel Oak	11" DBH	Yes	Offsite
7	Laurel Oak	11" DBH	Yes	Offsite
8	Laurel Oak	12" DBH	Yes	Offsite
9	Laurel Oak	13" DBH	Yes	Offsite

- # Existing Tree to be counted towards perimeter plantings
- Existing Tree not to be counted towards perimeter plantings



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 Stuart, Florida 34994

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 LA 0000905

Florida

4600 Okeechobee Road

City of Fort Pierce
 Landscape Plan

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 The following drawings are instruments of service to the Landscape Architect. They are not products of design. All ideas, designs, arrangements, and plans indicated or represented by this drawing are owned by and the property of the designer, and were created, evolved, and developed for use on and in connection with the specified project. None of such ideas, designs, arrangements, or plans shall be used by or disclosed to any person, firm, or corporation for any purpose whatsoever without the written permission of the designer.

Job No. 2022-07
 Drawn By EB
 Checked By MH
 Approved By MH
 Submittal Dates 02-01-23

Revision Dates 10-30-24

Scale: 1" = 30'



LP-1

Landscape Notes / Specifications

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO ALL THE REQUIREMENTS STATED UNDER DIVISION 1 - GENERAL REQUIREMENTS AND CONDITIONS AS WELL AS THE SPECIFIC CRITERIA OUTLINED HEREIN AND ON THE LANDSCAPE DRAWINGS INCLUDING ADDENDA AS MAY BE ISSUED BY THE OWNER.

2. THE SCOPE OF WORK FOR THE LANDSCAPE CONTRACTOR FOR THIS PROJECT SHALL INCLUDE THE PROVISION OF ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO COMPLETE ALL TASKS ASSOCIATED WITH THE LANDSCAPE AND IRRIGATION INSTALLATION AS SHOWN ON THE DRAWINGS OR NOTED HEREIN. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE GENERAL CONTRACTOR REASONABLE ACCESS TO POWER AND POTABLE WATER SOURCES AS REQUIRED.

3. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING ALL WORK INCLUDING DELIVERY, STORAGE AND DISPOSAL OF THEIR MATERIALS IS PERFORMED IN COMPLIANCE WITH APPLICABLE JURISDICTIONAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS ASSOCIATED WITH THE WORK.

4. THE LANDSCAPE CONTRACTOR SHALL ASSIGN A QUALIFIED PROJECT MANAGER AND FIELD SUPERVISOR TO WORK DIRECTLY WITH THE LANDSCAPE ARCHITECT AND SUPERVISE THE WORK AT ALL TIMES THROUGH FINAL OWNER ACCEPTANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT PROJECT MANAGER HAS A COMPLETE, CURRENT SET OF DOCUMENTS ON-SITE AT ALL TIMES.

5. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH EXISTING SITE CONDITIONS AND NOTIFYING THE OWNER IN WRITING OF ANY CONCERNS PRIOR TO COMMENCEMENT OF WORK. THIS EVALUATION SHOULD INCLUDE, BUT IS NOT LIMITED TO, VERIFICATION OF SURFACE AND SUBSURFACE UTILITIES, GRADES, DIMENSIONS AND SOIL CONDITIONS.

6. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH PROJECT PLANS AND SCOPES OF WORK RELATED TO ASSOCIATED TRADES TO BE PERFORMED BY OTHERS IN ORDER TO IDENTIFY KEY COORDINATION ITEMS INCLUDING, BUT NOT LIMITED TO, SITE ACCESS, MATERIAL STORAGE, SCHEDULING AND SEQUENCING OF WORK. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL SITE ISSUES WITH THE GENERAL CONTRACTOR.

7. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT WORK, MATERIALS AND EQUIPMENT FROM DAMAGE DUE TO THEIR ACTIVITIES. THE LANDSCAPE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSON OR PROPERTY THAT MAY OCCUR AS A RESULT OF THE EXECUTION OF THEIR WORK.

8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE AREA, MATERIALS AND EQUIPMENT WITHIN THE LIMITS OF WORK IN A SAFE, NEAT AND ORDERLY MANNER. EXCESSIVE MATERIALS AND DEBRIS ARE TO BE REMOVED FROM THE WORK AREA NO LESS THAN WEEKLY OR AS DIRECTED BY THE GENERAL CONTRACTOR.

9. THE LANDSCAPE CONTRACTOR MUST TAKE PRECAUTIONS TO PROTECT ALL EXISTING SITE ROADS, PARKING LOTS, CURBS AND UTILITIES FROM DAMAGE. THIS APPLIES NOT ONLY TO THE AREA WITHIN THE LIMITS OF WORK BUT ALSO ALONG ANY LOCAL ACCESS ROADS.

10. THE LANDSCAPE CONTRACTOR SHALL PROVIDE ALL NECESSARY SAFETY MEASURES DURING CONSTRUCTION OPERATIONS TO PROTECT THE PUBLIC ACCORDING TO ALL APPLICABLE CODES AND RECOGNIZE LOCAL PRACTICES.

11. THE LANDSCAPE CONTRACTOR SHALL COORDINATE WITH GENERAL CONTRACTOR TO ENSURE THAT TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES (SILT FENCE, ORANGE GEO FENCE AND/OR OTHER MEASURES) ARE INSTALLED PRIOR TO BEGINNING EXCAVATION.

12. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL PLANT MATERIALS AND THE PLANTING AREAS UNTIL FINAL ACCEPTANCE BY THE OWNER.

13. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE AGRONOMIC EVALUATION OF SOIL CHARACTERISTICS. EVALUATION MUST INCLUDE CHEMICAL ANALYSIS BY A QUALIFIED AGRICULTURAL SOILS TESTING LABORATORY (CERTIFIED IN THE STATE OF FLORIDA). SOIL SAMPLE SHOULD BE TAKEN IMMEDIATELY FOLLOWING COMPLETION OF FINISH GRADING ACTIVITIES AND SHOULD BE COLLECTED AT A RATE ON ONE SAMPLE FOR EACH 5,000 SQUARE FEET OF IMPACTED AREA, OR A TOTAL OF SIX, WHICHEVER IS GREATER. AT A MINIMUM THE CHEMICAL ANALYSIS OF THE SOIL SHOULD CONSIDER THE FOLLOWING:

- A. PERCENTAGE OF ORGANIC MATTER
- B. SALINITY
- C. PH
- D. LIME CONTENT
- E. MINERAL NUTRIENTS INCLUDING CONCENTRATIONS OF NITROGEN, PHOSPHOROUS, POTASSIUM, CALCIUM, MAGNESIUM, IRON, ZINC, MANGANESE, COPPER, SULFUR, AND MOLYBDENUM.
- F. POTENTIAL HAZARDS OR IMPEDIMENTS FOR PLANT GROWTH INCLUDING SALINITY, SODIUM CHLORIDE, BORON, IMPAIRED SOIL STRUCTURE OR DRAINAGE.
- F. SAND FRACTION ANALYSIS AS A PERCENTAGE PASSING THROUGH 1', AND NO. 200 SIEVES
- H. PERCOLATION RATE IN INCHES PER HOUR.

THE ANALYSIS SHOULD ALSO INCLUDE SPECIFIC RECOMMENDATIONS TO THE OWNER FOR ANY AMENDMENTS AND BACKFILL MIXES FOR OPTIMAL PLANT GROWTH TO BE MADE TO THE SOILS PRIOR TO PLANTING. THE CONTRACTOR SHOULD INCLUDE THE COST FOR SOIL AMENDMENTS. THE CONTRACTOR IS TO PROVIDE THE OWNER WITH COPIES OF ALL SOIL TESTING RESULTS. SUBMITTAL DOCUMENTATION MUST ALSO CONTAIN A GRAPHIC SITE PLAN DEPICTING LOCATIONS FROM WHICH EACH SAMPLE WAS DRAWN.

14. THE LANDSCAPE CONTRACTORS BARE BID FOR SOIL PREPARATION IS TO INCLUDE THE FOLLOWING WITH THE UNDERSTANDING THAT MIX DESIGN MAY NEED TO BE ADJUSTED BASED ON OUTCOME OF AGRONOMIC TESTING:

- A. TREES: 100% SITE SOIL WITH 5LB TRIPLE SUPER PHOSPHATE PER CU. YD.
- B. SHRUBS: 100% SITE SOIL WITH OSMOCOTE CONTROLLER RELEASE FERTILIZER (14-14-14) PER MANUFACTURER'S RECOMMENDATION.
- C. THE SOILS TEST RESULTS TAKE PRECEDENCE OVER THE ITEMS NOTED IN A AND B ABOVE.

15. SHOULD OWNER AND LANDSCAPE CONTRACTOR AGREE WITH THE RECOMMENDATION OF THE TESTING AGENCY TO FURTHER AMEND THE SOILS THE CONTRACTOR'S CONTRACT WILL BE ADJUSTED ACCORDINGLY. THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT SAMPLES OF AMENDED SOILS TO BE RE-TESTED TO CONFIRM COMPLIANCE WITH RECOMMENDATIONS FOLLOWING THE SAME PROCEDURES AS THE ORIGINAL TESTS.

16. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE QUANTITIES OF EACH PLANT MATERIAL REQUIRED TO ADEQUATELY COVER THE AREA SHOWN ON THE LANDSCAPE PLANS AT THE PRESCRIBED SPACING AND NOTIFYING THE OWNER IMMEDIATELY OF ANY PERCEIVED DISCREPANCIES FOR RESOLUTION. THE PLANT SPACING CONTROLS BED LAYOUT, NOT THE PLAN QUANTITY FOR THAT PARTICULAR BED.

FINE GRADING NOTES

1. FINISHED GRADE IN PLANTING AREAS SHALL BE HELD 3" BELOW THE FINISHED ELEVATIONS SHOWN FOR ALL ADJACENT HARDCAPE SURFACES.

2. ALL FILL REQUIRED SHALL BE CLEAN, WELL DRAINING SOIL. FILL SHALL BE CLEAN AND FREE OF ALL MATERIAL HARMFUL TO PLANT GROWTH AND DELETERIOUS MATERIAL. SUCH AS ROCKS (LARGER THAN 2" DIA.), COMPACTED CLAY, ROADBED OR SURFACING MATERIAL, MUCK, ROOTS AND BRANCHES, ETC.

3. THE LANDSCAPE CONTRACTOR IS TO ENSURE THAT THEIR WORK DOES NOT ADVERSELY IMPACT ESTABLISHED OR PROJECTED DRAINAGE PATTERNS.

INSTALLATION NOTES

1. PLANT AND LANDSCAPE MATERIALS SHALL CONFORM TO THE STANDARDS FOR FLORIDA NO. 1, AS GIVEN IN THE GRADES AND STANDARDS FOR NURSERY PLANTS, PARTS I & II, AS PREPARED BY THE FLORIDA DEPT. OF AGRICULTURE AND CONSUMER SERVICES.

2. A 3" THICK LAYER OF ORGANIC NON-CYPRUSS MULCH SHALL BE APPLIED TO ALL LANDSCAPE AND PLANTING AREAS.

3. ALL EXOTIC VEGETATION TO BE REMOVED FROM THE SITE PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

4. THIS PLAN HAS BEEN DESIGNED TO MEET WITH THE TREE PLANTING REQUIREMENTS CONTAINED WITHIN THE FPL DOCUMENT ENTITLED "PLANT THE RIGHT TREE IN THE RIGHT PLACE."

5. FOR EXISTING OR PROPOSED UTILITIES, NO TREE SHALL BE PLANTED WHERE IT COULD, AT MATURE HEIGHT, CONFLICT WITH OVERHEAD POWER LINES. LARGE TREES (HEIGHT AT MATURITY OF MORE THAN THIRTY (30) FEET) SHALL BE PLANTED NO CLOSER THAN A HORIZONTAL DISTANCE OF THIRTY (30) FEET FROM THE NEAREST OVERHEAD POWER LINE. MEDIUM HEIGHT TREE (HEIGHT AT MATURITY BETWEEN TWENTY (20) AND THIRTY (30) FEET) SHALL BE OFFSET AT LEAST TWENTY (20) FEET AND SMALL TREES (HEIGHT AT MATURITY OF LESS THAN (20) FEET) REQUIRE NO OFFSET.

6. NO TREE, SHRUBS, HEDGES OR VINES SHALL BE PLANTED WITHIN FIVE (5) FEET OF ANY EXISTING OR PROPOSED UTILITY POLE, GUY WIRE OR PAD MOUNTED TRANSFORMER. PALMS SHOULD BE PLANTED AT A DISTANCE EQUAL TO OR GREATER THAN THE AVERAGE FRONT LENGTH PLUS TWO (2) FEET FROM POWER LINES.

7. WETLAND BUFFERS, BUFFER PROTECTION AREAS, AND UPLAND PRESERVE AREAS SHALL BE PROTECTED FROM EXCAVATION, CONSTRUCTION, AND OTHER BUILDING MAINTENANCE ACTIVITIES.

8. TREES TO REMAIN DURING CONSTRUCTION SHALL BE PROTECTED AND BARRICADED. SEE TREE PROTECTION NOTE.

9. FERTILIZER SHALL BE COMPLETE WITH APPROXIMATELY THE FOLLOWING RATIO: 3N-13P-3K (+Mg FOR PALMS ONE Y)

10. TREES AND PALMS ARE TO BE PLANTED IN ACCORDANCE TO LANDSCAPE PLAN. GOOD HORTICULTURAL PRACTICES MUST BE OBSERVED.

11. TREES AND PALMS ARE TO BE PLANTED IN THE RIGHT-OF-WAY (ROW) AT A MINIMUM OF FOUR (4) FEET FROM BACK OF CURB AT LOCATIONS IDENTIFIED ON THE LANDSCAPE PLAN. AWARDED BIDDER SHALL STAKE AND/OR PAINT PLANTING LOCATIONS IN THE FIELD. UPON APPROVAL BY THE CUSTOMER, THESE AREAS SHALL BE SPRAYED WITH AN APPROVED HERBICIDE AND MAINTAINED WEED-FREE FOR THE DURATION OF THE PROJECT.

12. EXCAVATE PLANTING HOLES WITH VERTICAL SIDES. DO NOT DISTURB SOIL AT BOTTOM OF PLANTING HOLES. MAKE EXCAVATIONS TWICE AS WIDE AS THE ROOT BALL DIAMETER AND SLIGHTLY LESS (TWO INCHES) THAN THE DISTANCE BETWEEN THE TOP-MOST ROOT IN THE ROOT BALL AND THE BOTTOM OF THE ROOT BALL. ALTERNATIVELY, EXCAVATE THE HOLE SLIGHTLY WIDER THAN THE ROOT BALL AND PLACE THE ROOT BALL IN THE HOLE SO THE TOP-MOST ROOT IS EVEN WITH OR SLIGHTLY (2 INCHES) HIGHER THAN THE SURROUNDING LANDSCAPE GRADE. THEN, LOOSEN THE SURROUNDING SOIL OUT TO A DIAMETER EQUAL TO TWICE THE DIAMETER OF THE ROOT BALL. FINALLY, PUSH THE LOOSENED SOIL TOWARD THE ROOT BALL TO FILL THE HOLE.

IF WATER FILLS THE BOTTOM OF THE PLANTING HOLE, ADD SOIL TO THE BOTTOM OF THE HOLE UNTIL THE WATER IS COVERED. PACK THIS ADDED SOIL FIRMLY. PLACE THE ROOT BALL ON THIS PACKED SOIL. DO NOT IN WATER. NO PART OF THE ROOT BALL SHALL BE PLACED IN WATER. IF NECESSARY, BRING IN SOIL SIMILAR TO SITE SOIL TO COVER THE SIDES OF THE ROOT BALL, CREATING A RAISED MOUND. THE BASE OF THE MOUND (IE THE OUTER DIAMETER) CREATED SHALL BE AT LEAST SIX TIMES THE DIAMETER OF THE ROOT BALL.

WHEN PLANTING ON A SLOPE, THE TOP-MOST MAIN ROOT IN THE ROOT BALL SHALL BE EVEN WITH THE GRADE ON THE UPHILL SIDE OF THE TREE. SITE SOIL WILL NEED TO BE ADDED ON THE DOWNHILL SIDE TO COVER THE SIDES OF THE ROOT BALL AND TO CONSTRUCT THE SOIL BERM TO HOLD WATER. THE AMOUNT OF SOIL ADDED ON THE DOWNHILL SIDE WILL DEPEND ON THE SLOPE AND SIZE OF THE ROOT BALL.

13. REMOVE ALL WOOD, PLASTIC, OR GRO-BAGS FROM THE ROOT BALL. SET PLANTS IN CENTER OF THE HOLE WITH TOP-MOST ROOT IN THE ROOT BALL AT THE SAME HEIGHT OR SLIGHTLY (2 INCHES) HIGHER THAN FINISHED LANDSCAPE GRADES AND PLUMB THE TREE SO THE TRUNK IS VERTICAL. BACKFILL FIELD SOIL AROUND SIDES OF ROOT BALL AND WORK EACH LAYER TO SETTLE AND ELIMINATE VOIDS AND AIR POCKETS. MATERIAL MUST BE WATERED IN AS PLANTED. PROVIDE APPROXIMATELY 5 GALLONS OF WATER PER INCH OF TRUNK CALIPER TO THE ROOT BALL ONCE ALL BACKFILL IS FILLED IN AROUND THE ROOT BALL.

14. PROVIDE A 2.5" HIGH SOIL BERM AROUND THE EDGE OF ROOT BALL TO FORM A SHALLOW SAUCER TO COLLECT WATER. THE WATERING SAUCER, REGARDLESS OF HOLE SIZE, IS TO BE AT EDGE OF ROOT BALL. ALTERNATIVELY, COBRA EDGING IS TO BE INSTALLED AT THE EDGE OF THE ROOT BALL.

15. BROADCAST OVER THE ROOT BALL AND BACKFILL SOIL, AT THE RECOMMENDED RATE, A BROAD-SPECTRUM PRE-EMERGENT HERBICIDE PRIOR TO MULCHING.

16. APPLY A CONTROLLED-RELEASE FERTILIZER TO THE SOIL SURFACE UNDER THE MULCH AT 1LB NITROGEN PER 1000 FT². PRIOR TO MULCHING. NO OTHER AMENDMENTS ARE NECESSARY.

17. ON TREES UP TO 4" CALIPER, APPLY A THREE (3) -INCH LAYER OF MULCH TO AN EIGHT (8) -FOOT DIAMETER CIRCULAR AREA AROUND THE TRUNK. ON LARGER CALIPER TREES, APPLY A TWO (2) -FOOT DIAMETER MULCH AREA FOR EACH INCH OF TRUNK CALIPER. NO MULCH SHALL BE APPLIED TO THE INNER HALF OF THE ROOT BALL SURFACE.

18. TREES AND PALMS ARE TO BE SECURED BY AWARDED BIDDER AS SHOWN IN EXHIBITS A-C. (NOTE: STAKING IS OPTIONAL FOR MORE PROTECTED LOCATIONS).

19. A REPRESENTATIVE WILL INSPECT TREES AND PALMS DURING INSTALLATION. MATERIAL THAT IS IN SHOCK OR HAS BEEN DAMAGED DURING INSTALLATION SHALL BE REPLACED BY AWARDED BIDDER WITHIN FIVE (5) WORKING DAYS FROM NOTIFICATION.

20. REMOVE FROM WORK SITE ALL EXCESS MATERIALS (E.G., SOIL, DEBRIS AND EQUIPMENT) DAILY THROUGH DURATION OF PROJECT. DAMAGES RESULTING FROM INSTALLATION SHALL BE REPAIRED BY AWARDED BIDDER.

21. PRUNING: IF THERE IS A DOUBLE LEADER IN THE TOP HALF OF THE TREE, SHORTEN ONE, BY ABOUT ONE-HALF, BACK TO A LIVE BRANCH THAT POINTS AWAY FROM THE TREE AND IS AT LEAST ONE-THIRD THE DIAMETER OF THE CUT LEADER. REMOVE BROKEN PORTIONS OF DAMAGED BRANCHES BACK TO A LIVE LATERAL BRANCH.

21. PRUNING: IF THERE IS A DOUBLE LEADER IN THE TOP HALF OF THE TREE, SHORTEN ONE, BY ABOUT ONE-HALF, BACK TO A LIVE BRANCH THAT POINTS AWAY FROM THE TREE AND IS AT LEAST ONE-THIRD THE DIAMETER OF THE CUT LEADER. REMOVE BROKEN PORTIONS OF DAMAGED BRANCHES BACK TO A LIVE LATERAL BRANCH.

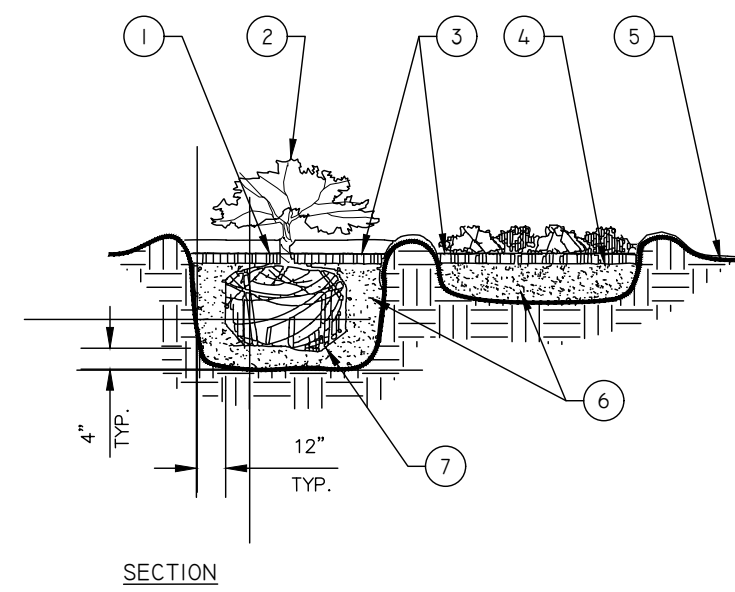
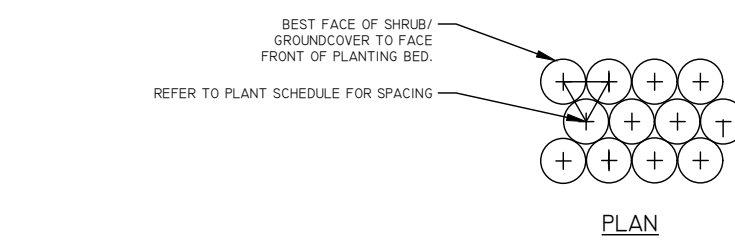
22. REMOVE ALL STRING OR WIRE WRAPPED AROUND THE TRUNK. REMOVE ALL STRAPS, ROPE AND STRING USED TO LIFT THE ROOT BALL. REMOVE ALL BURLAP AND WIRE FROM THE TOP OF THE ROOT BALL.

ACCEPTANCE NOTES

1. INSPECTION TO DETERMINE ACCEPTANCE OF PLANTED AREAS WILL BE MADE BY THE CUSTOMER REPRESENTATIVE UPON AWARDED BIDDER'S REQUEST. PROVIDE NOTIFICATION A MINIMUM OF FIVE (5) WORKING DAYS BEFORE REQUESTED INSPECTION DATE.

PLANTED AREAS WILL BE ACCEPTED PROVIDED ALL REQUIREMENTS, INCLUDING MAINTENANCE, HAVE BEEN SATISFIED AND PLANT MATERIALS ARE IN A HEALTHY, VIGOROUS CONDITION.

2. THE CUSTOMER REPRESENTATIVE WILL PREPARE A "PUNCH LIST" OF THOSE ITEMS, WHICH MUST BE CORRECTED BEFORE RE-INSPECTION FOR FINAL ACCEPTANCE. THE REPRESENTATIVE WILL DETERMINE AN APPROPRIATE TIME PERIOD FOR CORRECTIONS. AWARDED BIDDER MUST REQUEST RE-INSPECTION TWO (2) WORKING DAYS IN ADVANCE.

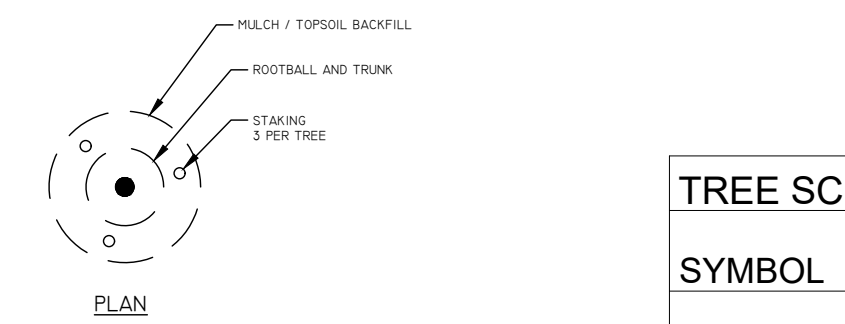


SHRUB/GROUNDCOVER PLANTING

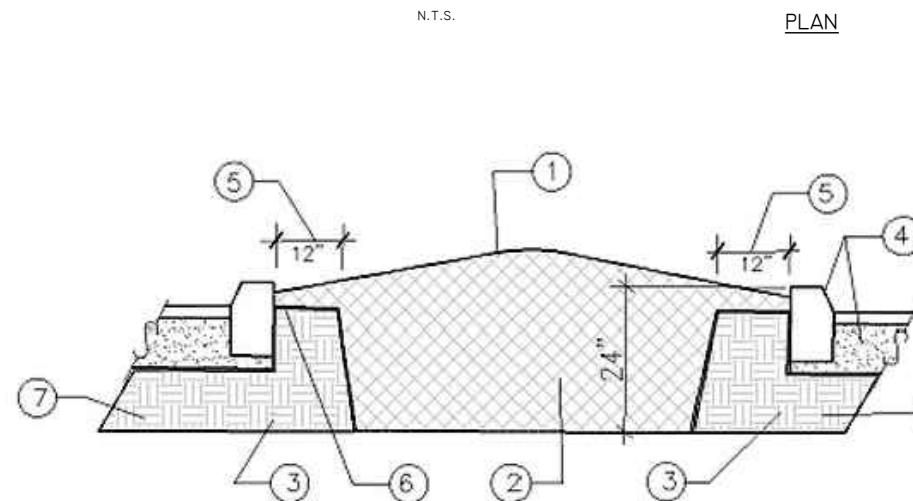
- NOTES:
- A. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.
 - B. REMOVE BURLAP, WIRE AND STRAPS (ANYTHING THAT COULD GIRDLE TREE OR RESTRICT ROOT GROWTH) ON UPPER 1/3 OF ROOTBALL.
 - C. SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.

- I. MINIMUM OF NINE (9) GOOD PALM FRONDS
- II. PRUNE AND TIP FRONDS WITH HEEP TWINE. CABBAGE PALMS TO BE MURRICANE CUT
- III. 5 LAYERS OF BURLAP TO PROTECT TRUNK.
- IV. FIVE 2" X 4" X 18" WOOD BATTENS.
- V. SECURE BATTENS WITH 2-3/4" CARBON STEEL BANDS TO HOLD BATTENS IN PLACE. NO NAILS SHALL BE DRIVEN INTO PALM. HEIGHT OF BATTENS SHALL BE LOCATED IN RELATION TO THE HEIGHT OF THE PALM FOR ADEQUATE BRACING.
- VI. ATTACH 3/2" X 4" X 8" (DRILL AND NAIL IF NECESSARY) TO BATTENS AND 2" X 4" STAKES. FLAG AT MIDPOINT AND AT BASE.
- VII. PROVIDE FLAGGING
- VIII. 3" MULCH
- IX. BERM SOIL TO HOLD WATER
- X. FINISH GRADE
- XI. 2" X 4" X 24" (MIN.) P.T. WOOD STAKES (TYP.) NAIL TO SUPPORT POLES.
- XII. PREPARED PLANTING SOIL MIX AS SPECIFIED. COMPACT BENEATH ROOT BALL.

TREE PLANTING DETAIL



PALM TREE PLANTING



- 1. CROWN MEDIANS @ 4:1 SLOPES (OR AS SPECIFIED ON THE LANDSCAPE PLANS).
- 2. EXCAVATE A CONTINUOUS 24" DEEP PIT (FROM TOP OF CURB) FOR ENTIRE LENGTH AND WIDTH OF ISLAND & BACKFILL WITH APPROVED PLANTING SOIL MIX. BOTTOM OF PIT TO BE NATIVE SOIL.
- 3. PROVIDE CONTINUOUS "DEEP ROOT"/ ROOT BARRIER. (WHEN SPECIFIED).
- 4. PROTECT AND RETAIN ALL CURBS AND BASE.
- 5. PROVIDE 12" DEAD ZONE @ CURB EDGES.
- 6. PROVIDE 2" FROM TOP OF CURB TO FINISH GRADE.
- 7. COMPACTED SUBGRADE TO REMAIN FOR STRUCTURAL SUPPORT OF CURB SYSTEM (TYP).

TYPICAL LANDSCAPE MEDIAN



TREE SCHEDULE

SYMBOL	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	NATIVE
TREES					
●	AR2	3	Florida Flame Red Maple / <i>Acer rubrum</i> 'Florida Flame'	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
●	CD	5	Pigeon Plum / <i>Coccoloba diversifolia</i>	12' HT. x 6' Spr. Min,	Yes
●	CE2	25	Green Buttonwood / <i>Conocarpus erectus</i>	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
●	CS3	24	Silver Buttonwood / <i>Conocarpus erectus sericeus</i>	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
●	ED	11	Japanese Blueberry Tree / <i>Elaeocarpus decipiens</i> TM	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	No
●	LM3	3	Lavender Crape Myrtle / <i>Lagerstroemia x 'Muskogee'</i>	2.5" DBH, 12' Ht. x 5' Spr. Min., Multi-trunk, 5' ct.	No
●	PD	12	Slash Pine / <i>Pinus elliotii densa</i>	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
●	QV2	14	Southern Live Oak / <i>Quercus virginiana</i>	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
●	TD2	3	Bald Cypress / <i>Taxodium distichum</i>	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
PALMS					
●	SS	36	Cabbage Palmetto / <i>Sabal palmetto</i>	30% @ 12' ct., 35% @ 15' ct., 35% @ 18' ct., Stagger Hts. within groups	Yes

CODE	QTY	COMMON / BOTANICAL NAME	SIZE	SPACING
SHRUB SCHEDULE				
SHRUB AREAS				
CG	52	Small Leaf Clusia / <i>Clusia guttifera</i>	3 gal., 24" Ht. min., Full	24" o.c.
VS	118	Sandankwa Viburnum / <i>Viburnum suspensum</i>	3 gal., 24" Ht. min., Full	24" o.c.



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Landscape Specifications

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Job No.	2022-07
Drawn By	EB
Checked By	MH
Approved By	MH
Submittal Dates	02-01-23
Revision Dates	10-30-24

LP-2

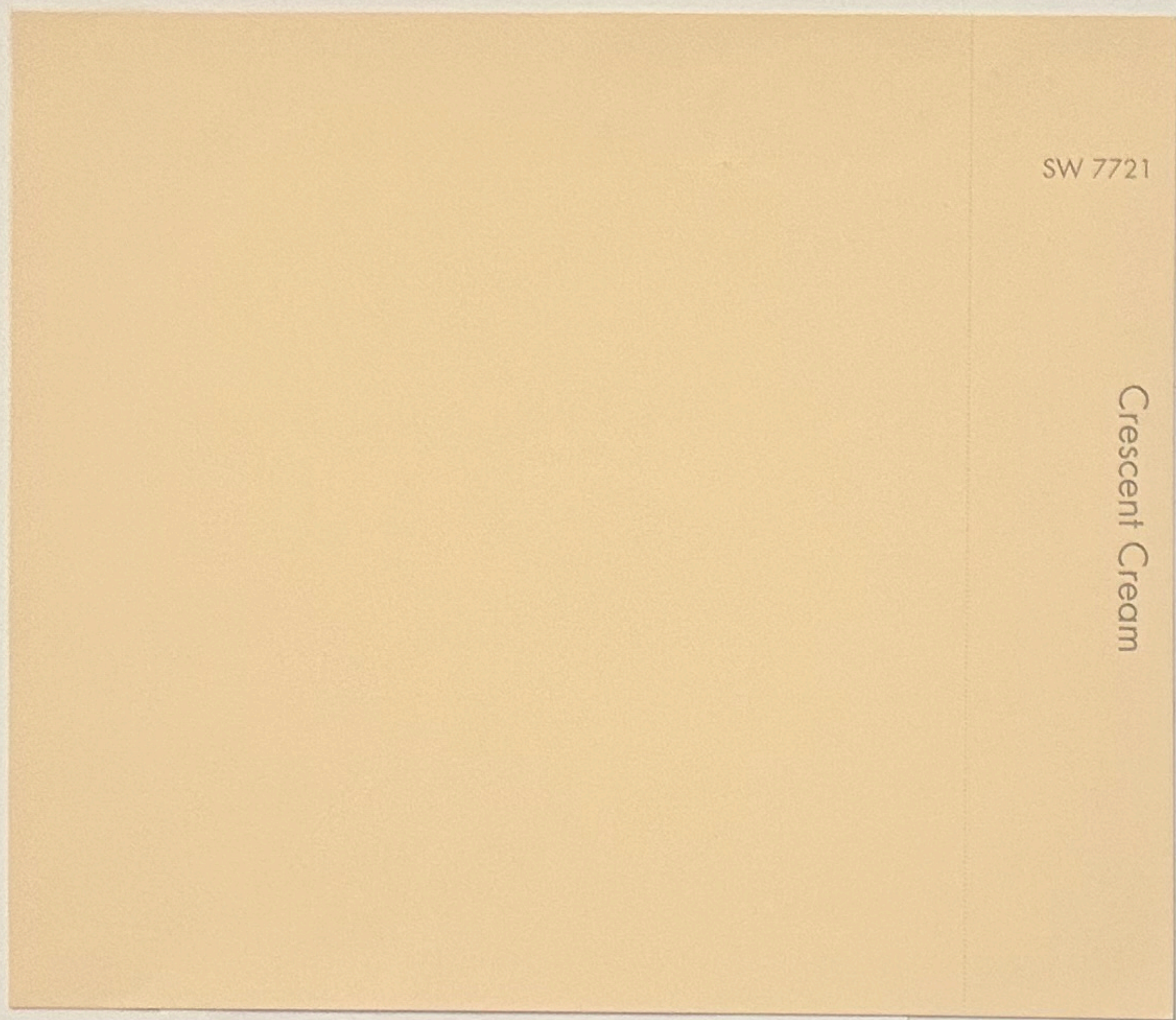


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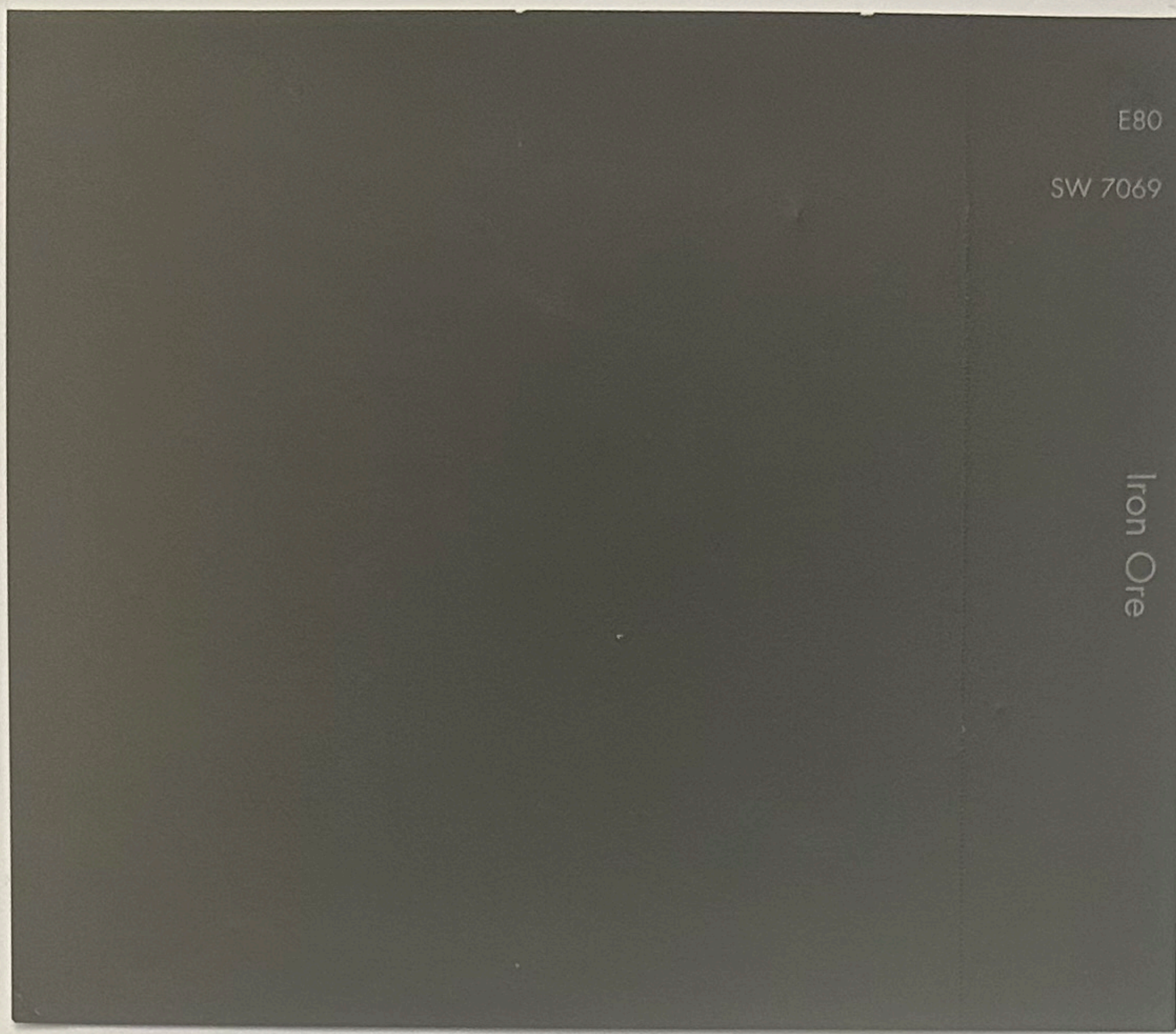
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SW 7721

Crescent Cream

SW 7721 – CRESCENT CREAM

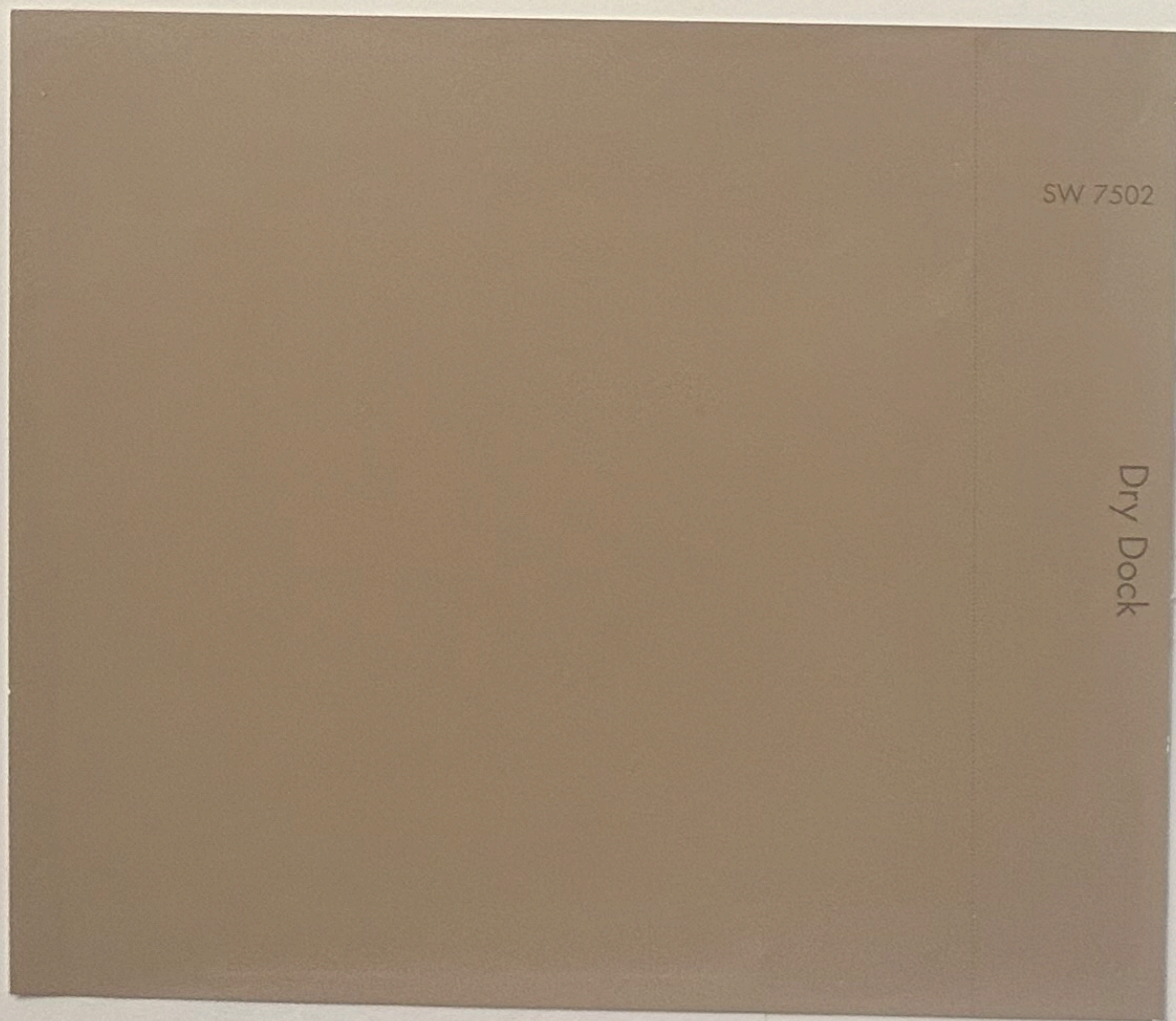


E80

SW 7069

Iron Ore

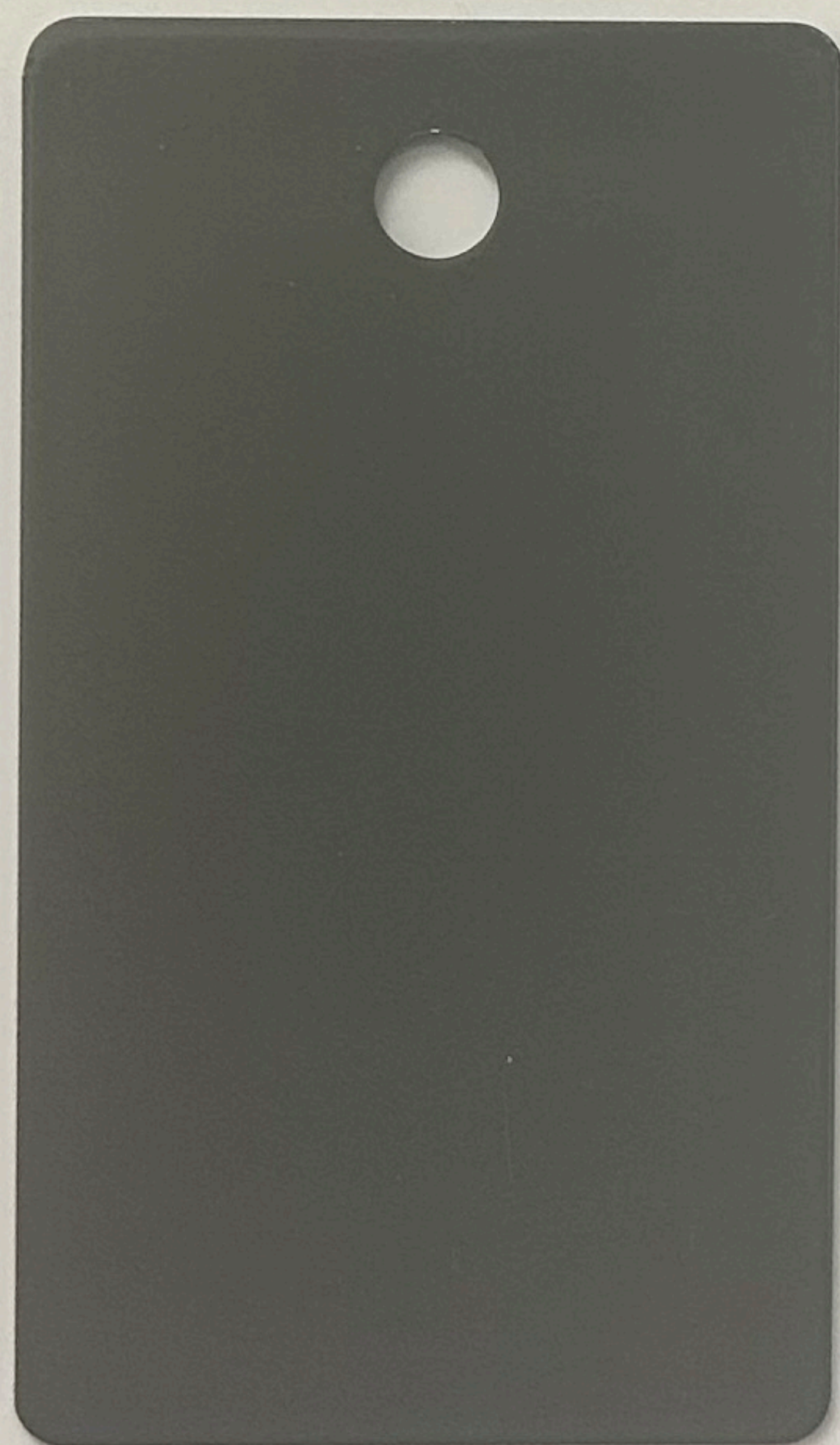
SW 7069 – IRON ORE



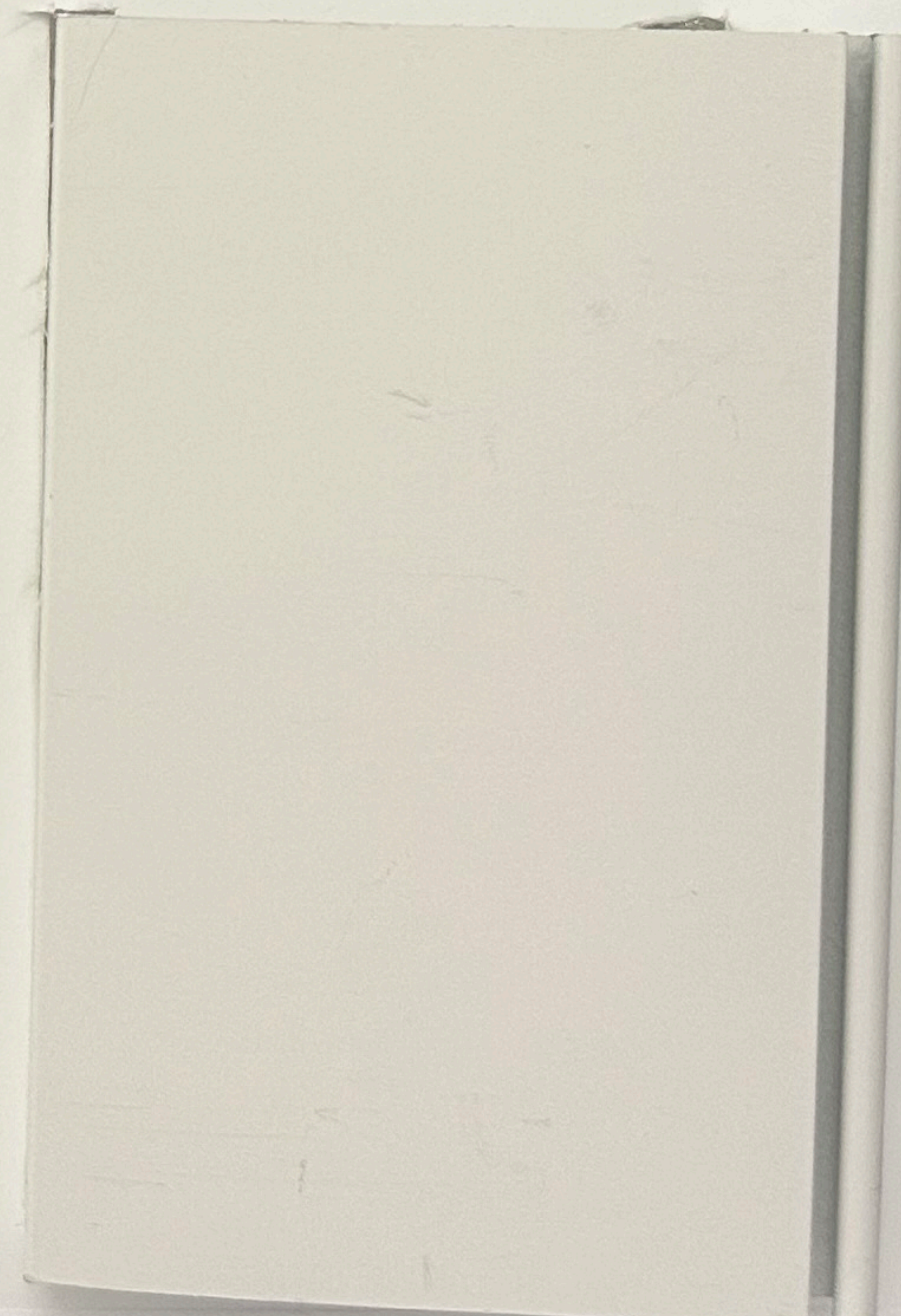
SW 7502

Dry Dock

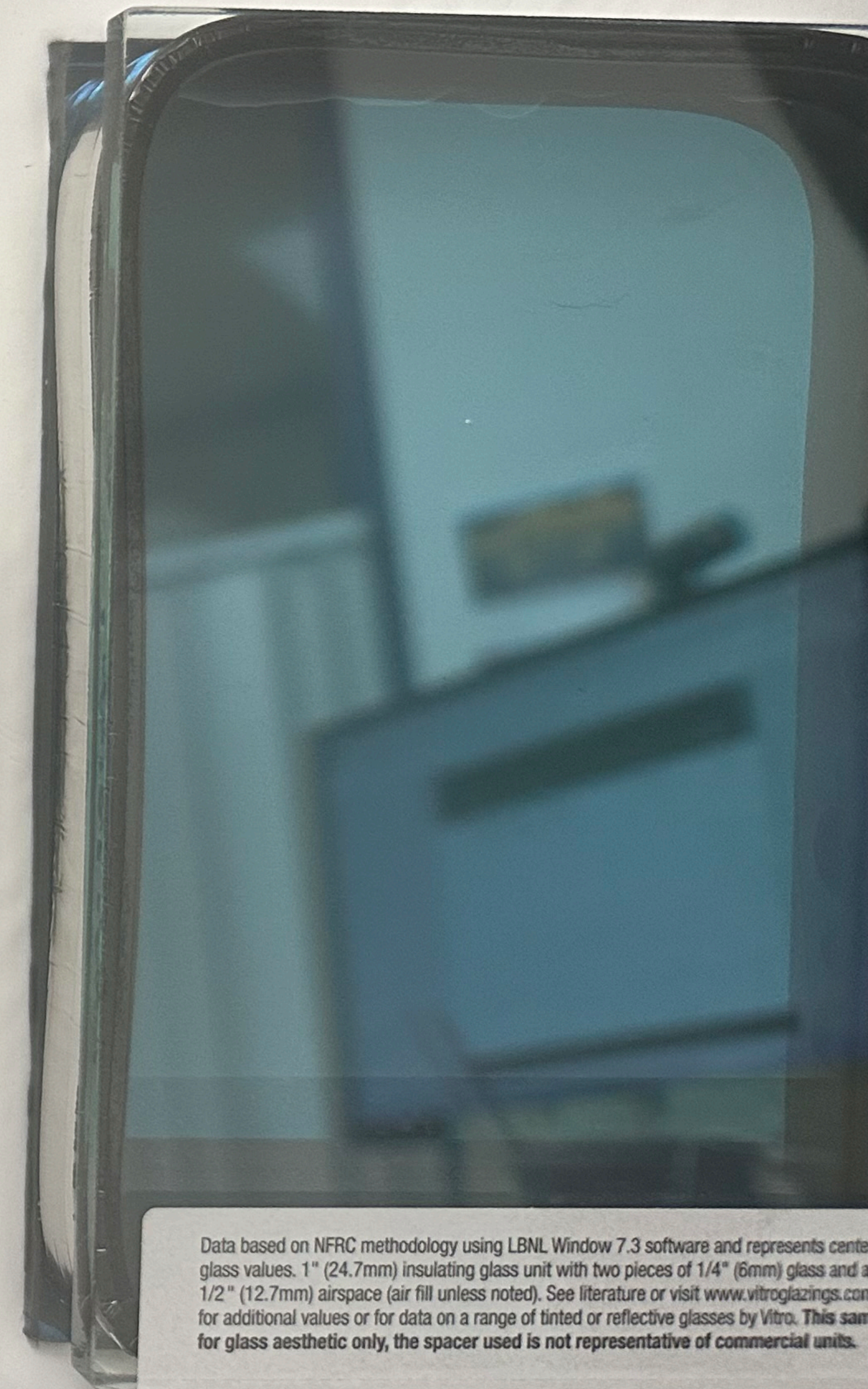
SW 7502 – DRY DOCK



GRAY POWDER COAT USED FOR ALUMINUM CANOPY



WHITE ALUMINUM FINISH TO BE USED FOR STOREFRONT WINDOWS



Data based on NFRC methodology using LBNL Window 7.3 software and represents center glass values. 1" (24.7mm) insulating glass unit with two pieces of 1/4" (6mm) glass and a 1/2" (12.7mm) airspace (air fill unless noted). See literature or visit www.vitroglazings.com for additional values or for data on a range of tinted or reflective glasses by Vitro. This sample for glass aesthetic only, the spacer used is not representative of commercial units.

GRAY TINTED IMPACT GLASS

EXTERIOR PAINT COLORS

TWO FLEX WAREHOUSE BUILDINGS

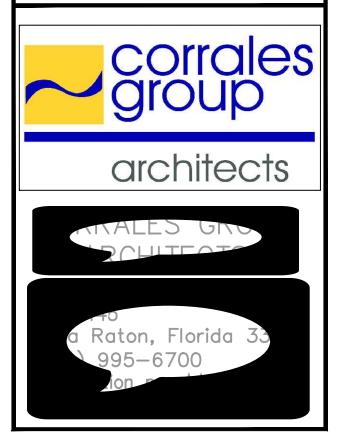
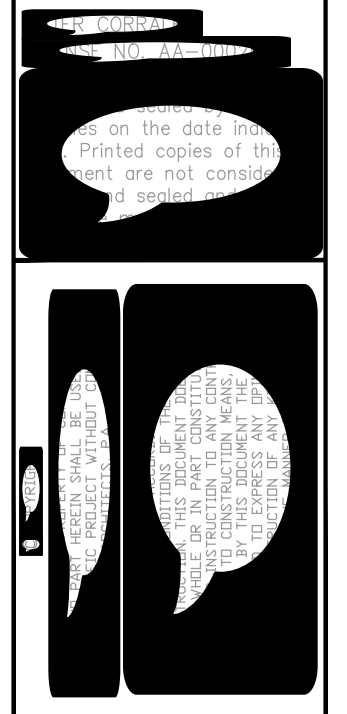
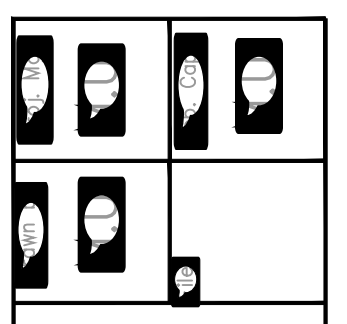
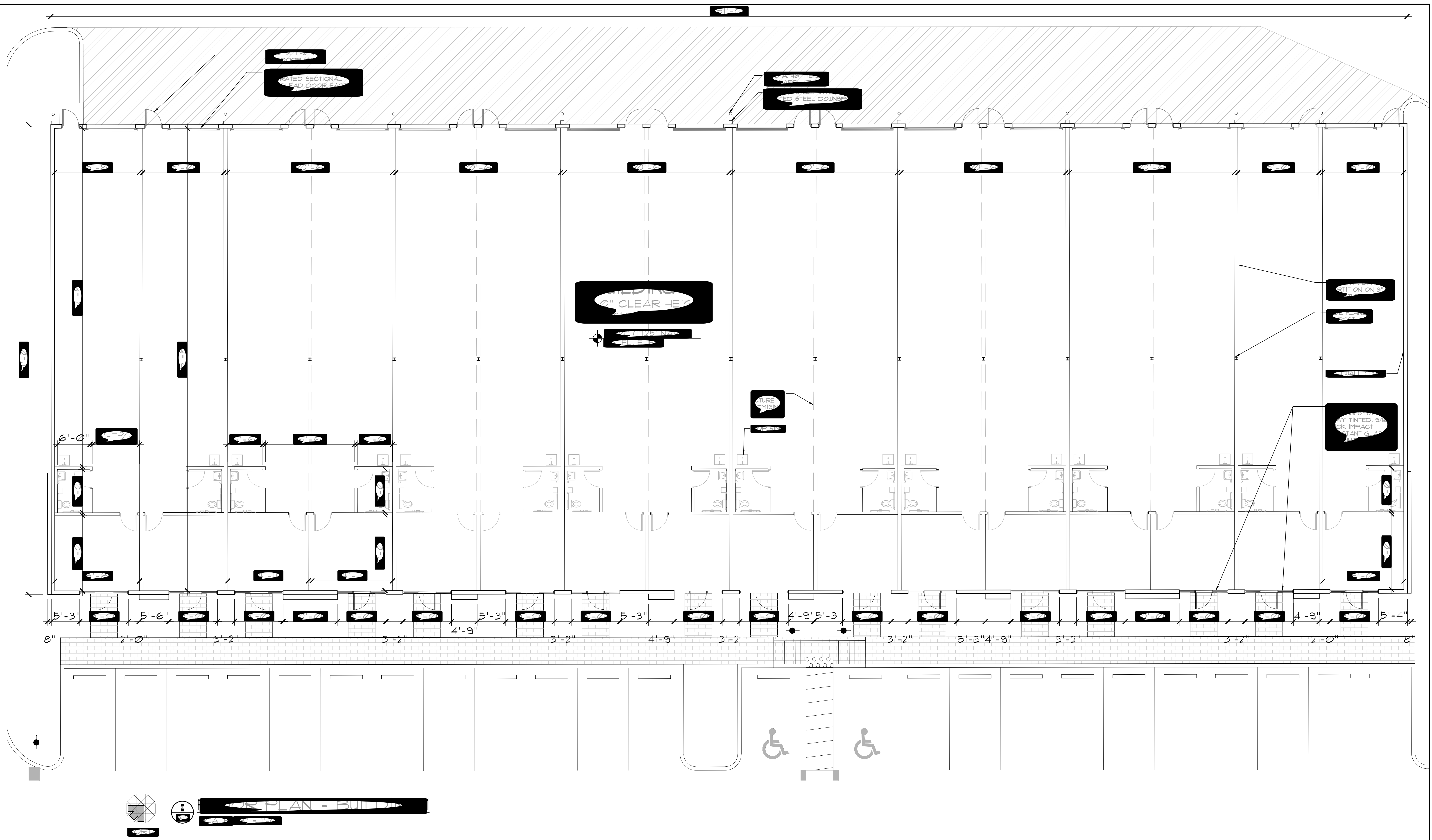
LOCATED AT

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PREPARED FOR

PUGLIESE CREATE VENTURES

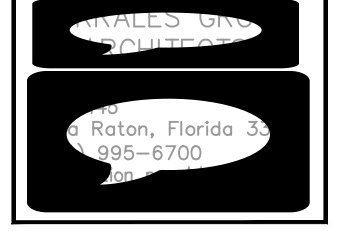
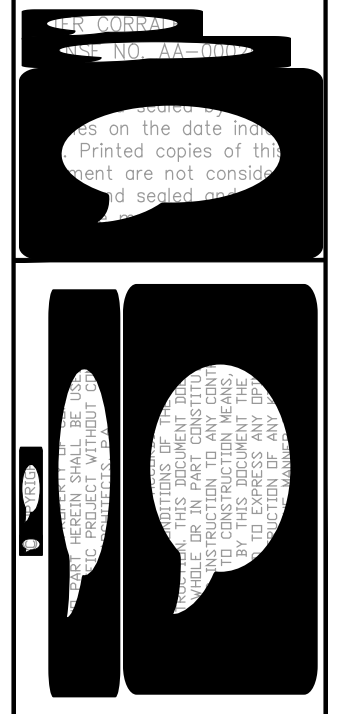
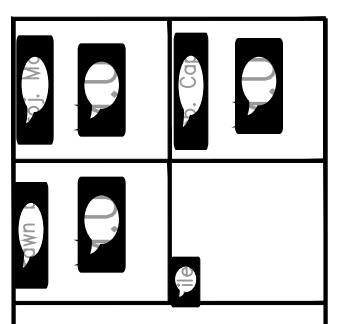
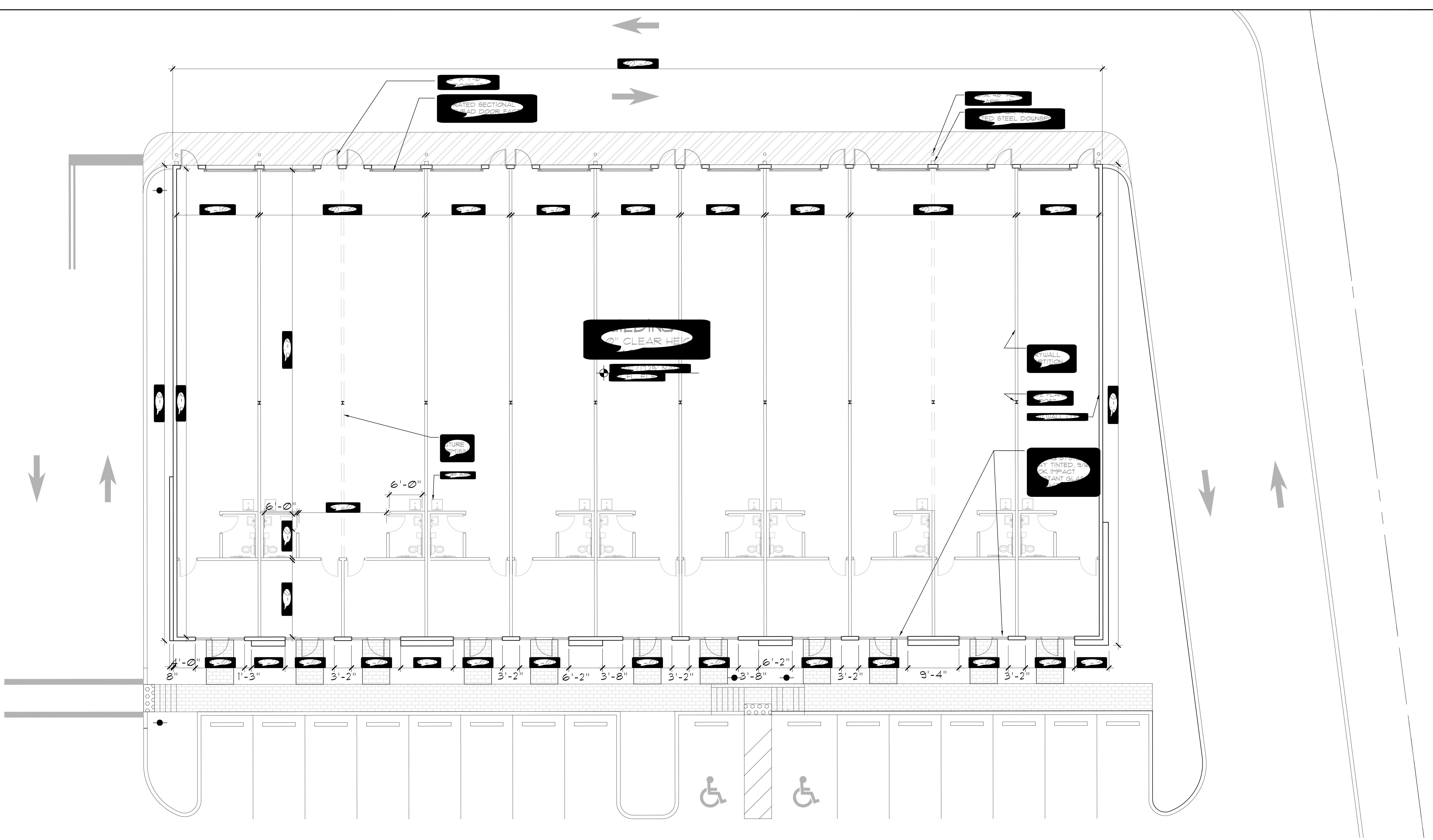
<p>OBJECTIVE</p>	<p>GENERAL NOTES</p>	<p>LOCATION</p>	<p>DATE ANALYSIS</p>	<p>DRAWING INFORMATION</p>
<p>1. ALL WORK SHALL TO COMPLY WITH ALL LOCAL, STATE, & NATIONAL REGULATIONS HAVING JURISDICTION OVER THIS PROJECT.</p> <p>2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH BUILDING STANDARD PRACTICE OF CARE AND IN A QUALITY WORKMANSHIP LIKE MANNER.</p> <p>3. THE TERMS "NOT PART OF CONTRACT" OR "NOT IN CONTRACT (NIC)" DO NOT PRECLUDE OTHER WORK ASSOCIATED WITH THE CONTRACT WHICH MUST OCCUR IN THE VICINITY OF THE AREA OR THROUGH THE SPACE.</p> <p>4. ANY DISCREPANCIES WITHIN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING BEFORE BIDDING.</p> <p>5. BEFORE COMMENCING WORK, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. ANY DISCREPANCY BETWEEN EXISTING CONDITIONS AND THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING PRIOR TO BIDDING.</p> <p>6. IF FIELD CONDITIONS NECESSITATE ANY CHANGES OR MODIFICATIONS, THE CHANGES OR MODIFICATIONS MUST BE APPROVED BY THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.</p> <p>7. ALL CHANGE ORDERS MUST BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH ANY WORK. FAILURE TO FOLLOW THIS STEP MIGHT RESULT IN NON-PAYMENT.</p> <p>8. THE GENERAL CONTRACTOR SHALL ESTABLISH ALL ITEMS WHICH REQUIRE IMMEDIATE PROCESSING DUE TO LONG LEAD ORDERING TIME. A LIST OF THESE ITEMS SHALL BE SUBMITTED TO THE ARCHITECT WITHIN ONE WEEK AFTER THE CONTRACT IS AWARDED.</p> <p>9. THE GENERAL CONTRACTOR SHALL SUBMIT A CONSTRUCTION SCHEDULE TO THE OWNER TEN (10) DAYS AFTER THE AWARD OF THE CONTRACT.</p> <p>10. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL CLEAN-UP, INCLUDING BUT NOT LIMITED TO THE CLEANING OF ALL INTERIOR GLASS SURFACES.</p> <p>11. SUB CONTRACTOR SHALL SUBMIT SHOP DRAWINGS THROUGH THE GENERAL CONTRACTOR. ONCE CHECKED, THE GENERAL CONTRACTOR SHALL SUBMIT THE SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL BEFORE PROCEEDING WITH ANY FABRICATION OR INSTALLATION.</p> <p>12. ALL MATERIALS SHALL BE DELIVERED IN AMPLE QUANTITIES TO PREVENT DELAY OF WORK.</p> <p>13. MANUFACTURER'S DIRECTIONS FOR APPLICATION, INSTALLATION AND METHODS SHALL BE FOLLOWED AND ARE HEREWITH MADE APART OF THE CONSTRUCTION DOCUMENTS.</p> <p>14. ALL WOOD IN CONTACT WITH MASONRY TO BE PRESSURE TREATED.</p> <p>15. ALL PENETRATIONS PASSING THROUGH FIRE RATED PARTITION ASSEMBLIES ARE TO BE PROTECTED.</p> <p>16. DOWNSPOUTS ARE TO BE CONNECTED TO RAIN WATER LEADERS AND UNDERGROUND DRAINAGE SYSTEM UNLESS OTHERWISE NOTED.</p> <p>17. UPON COMPLETION OF THE JOB, THE CONTRACTOR WILL PROVIDE THE TENANT AND LANDLORD WITH: A. RELEASE OF LIENS FOR ALL SUB-CONTRACTORS B. AS-BUILT PLANS C. A FINAL RELEASE OF LIENS FROM THE GENERAL CONTRACTOR D. THE ORIGINAL BUILDING PERMIT PLANS WITH THE ORIGINAL INSPECTOR'S SIGNATURES.</p> <p>18. PROVIDE ONE CERTIFIED 2A-10BC FIRE EXTINGUISHER FOR EACH 3000 SQUARE FEET AND WITH A MAXIMUM TRAVEL DISTANCE TO REACH OF 15 FEET. TOP NOT TO EXCEED 5 FEET ABOVE THE FLOOR.</p> <p>19. CONTRACTOR SHALL PROVIDE OWNER WITH 1 YEAR WARRANTY ON ALL MATERIALS, SYSTEMS AND EQUIPMENT AND 15 YEAR MANUFACTURER'S WARRANTY ON THE TPO ROOFING SYSTEM.</p> <p>20. FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS AND SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING IN A MANNER ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION. SUCH IDENTIFICATION SHALL BE ABOVE ANY DECORATIVE CEILING AND IN CONCEALED SPACES. SUGGESTED WORDING FOR FIRE AND SMOKE BARRIERS: "FIRE AND SMOKE BARRIER-PROTECT ALL OPENINGS".</p> <p>21. SLIP RESISTANCE: FLOORING FINISH MATERIAL (INCLUDING BUT NOT LIMITED TO TILE, POLISHED FINISHES, VCT, ETC.) SHALL MEET ANSI/AFSI B-101.1 AND SHALL PROVIDE 0.6 SCOF (STATIC COEFFICIENT OF FRICTION) FOR FLAT SURFACES AND 0.8 SCOF FOR RAMPS. SUBMIT PRODUCT DOCUMENTATION AND MATERIAL SAMPLE FOR REVIEW.</p> <p>22. THE BLDG. SHALL BE PROVIDED WITH AN E.S.F.R. AUTOMATIC FIRE-EXTINGUISHING SYSTEM THROUGH OUT AS REQUIRED BY FBC 2010 903.3.11 NFPA 13. FIRE SPRINKLER DRAWINGS ARE NOT PART OF THIS SUBMITTAL AND SHALL BE SUBMITTED BY SPRINKLER CONTRACTOR UNDER SEPARATE PERMIT APPLICATION.</p>	<p>1. ALL WORK SHALL TO COMPLY WITH ALL LOCAL, STATE, & NATIONAL REGULATIONS HAVING JURISDICTION OVER THIS PROJECT.</p> <p>2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH BUILDING STANDARD PRACTICE OF CARE AND IN A QUALITY WORKMANSHIP LIKE MANNER.</p> <p>3. THE TERMS "NOT PART OF CONTRACT" OR "NOT IN CONTRACT (NIC)" DO NOT PRECLUDE OTHER WORK ASSOCIATED WITH THE CONTRACT WHICH MUST OCCUR IN THE VICINITY OF THE AREA OR THROUGH THE SPACE.</p> <p>4. 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DRAWING AUTHOR</p> <p>9. DRAWING REVIEWER</p> <p>10. DRAWING APPROVER</p> <p>11. DRAWING REVISIONS</p> <p>12. DRAWING NOTES</p> <p>13. DRAWING LEGEND</p> <p>14. DRAWING INDEX</p> <p>15. DRAWING TITLES</p> <p>16. DRAWING SCHEDULE</p> <p>17. DRAWING LIST</p> <p>18. DRAWING INDEX</p> <p>19. DRAWING TITLES</p> <p>20. DRAWING SCHEDULE</p> <p>21. DRAWING LIST</p> <p>22. DRAWING INDEX</p>
				<p>Architect's Group, Inc.</p> <p>Corporate Blvd. #100</p> <p>Fort Pierce, FL 34947</p> <p>Phone: (888) 444-1111</p> <p>Fax: (888) 444-1112</p> <p>Website: www.architectsgroup.com</p> <p>A-0</p>



SCHMATIC SITE PLAN
 SMALL BAY WAREHOUSES
 4600 OKECHEEBEE ROAD
 IN
 FORT PIERCE, FLORIDA
 PREPARED FOR
 PUGLIESE CREATIVE VENTURES

FLOOR PLAN

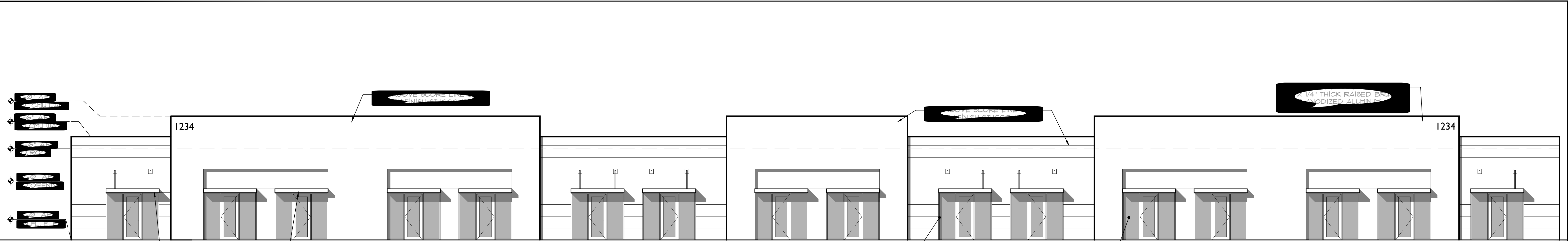
A-2



SCHEMATIC SITE PLAN
 SMALL BAY WAREHOUSES
 4600 OKEECHOBEE ROAD
 IN
 FORT PIERCE, FLORIDA
 PREPARED FOR
 PUGLIESE CREATIVE VENTURES

FLOOR PLAN

A-3



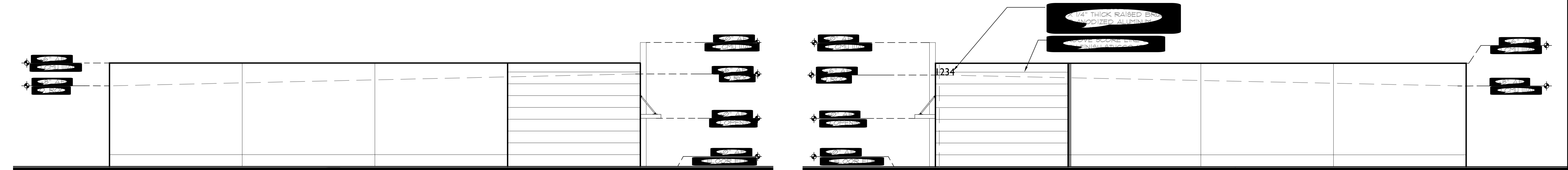
1234

1234

1/4" THICK RAISED BR...
MODIFIED ALUMINUM

3/16" THICK IMPACT RESISTANT

ELEVATION (B1)



1/4" THICK RAISED BR...
MODIFIED ALUMINUM

1234

ELEVATION (B1)

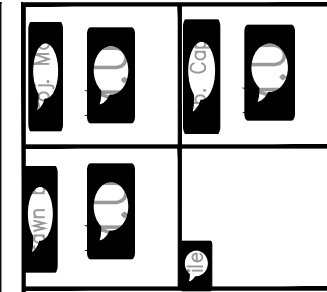
ELEVATION (B1)



300US STEEL STEEL GU...
20 GA KYNAR

RAL OVERHEAD DOOR...
EMEL WHITE PAINT

ELEVATION (B1)



on the date
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are not con
signed

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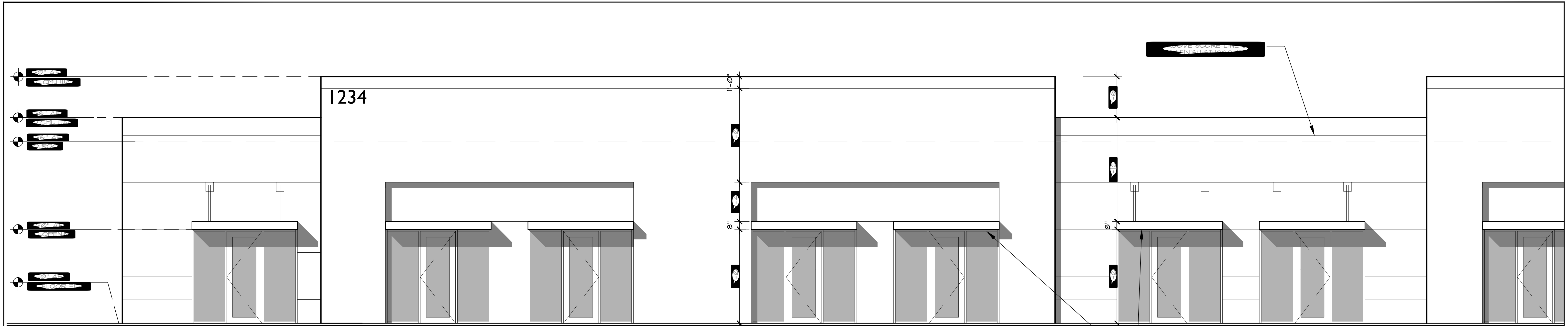
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Fort Pierce, Florida
985-6700

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SMALL BAY WAREHOUSES
4600 OKEECHOBEE ROAD
IN
FORT PIERCE, FLORIDA
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PUGLIESE CREATIVE VENTURES

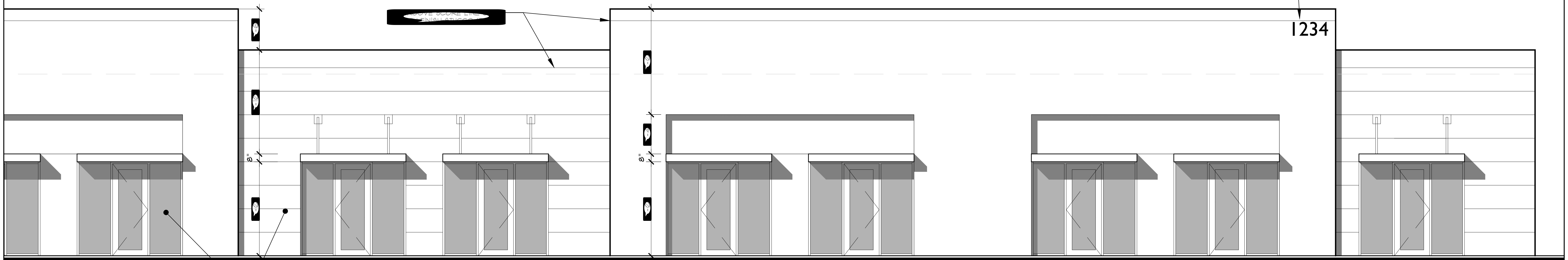
ELEVATIONS

A-4



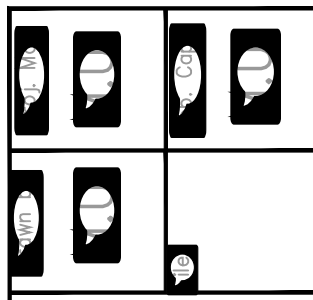
1234

1-6" THICK IMPACT RESISTANT GLASS



1234

1-6" THICK IMPACT RESISTANT GLASS



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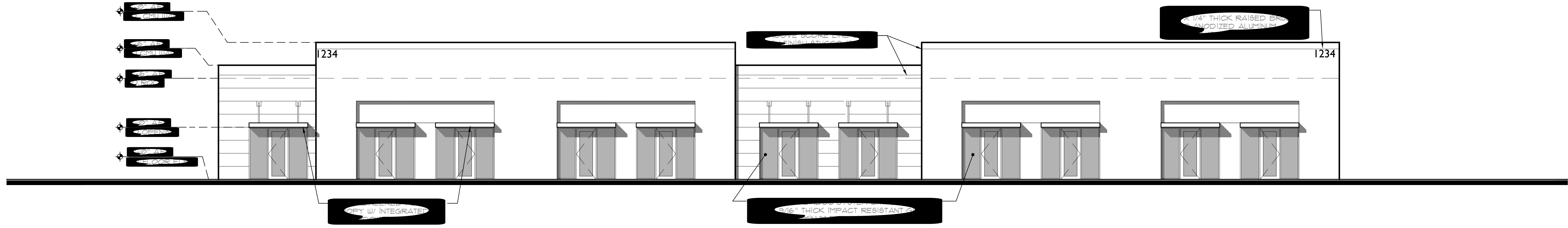


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Fenton, Florida
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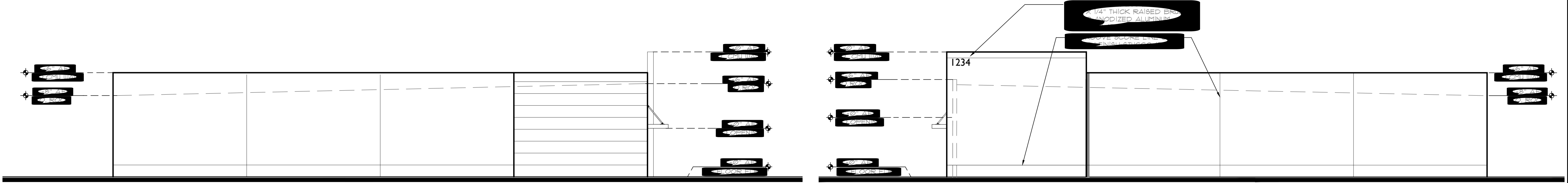
SCHMATIC SITE PLAN
SMALL BAY WAREHOUSES
4600 OKEECHOBEE ROAD
IN
FORT PIERCE, FLORIDA
PREPARED FOR
PUGLIESE CREATIVE VENTURES

ELEVATIONS

A-5

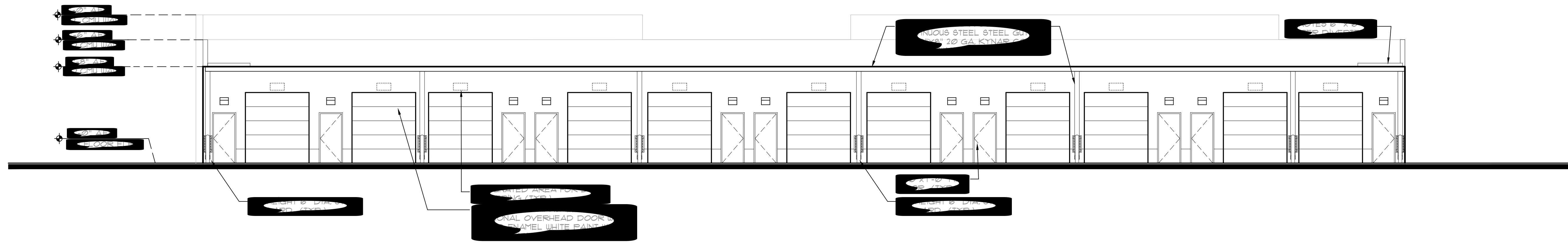


ELEVATION (B)

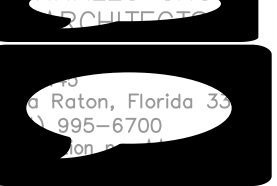
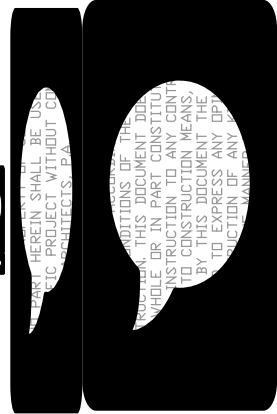
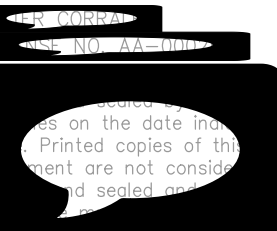
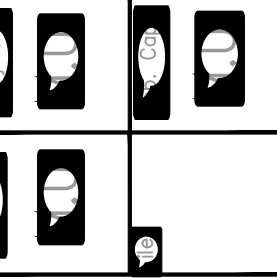


ELEVATION (B)

ELEVATION (B)



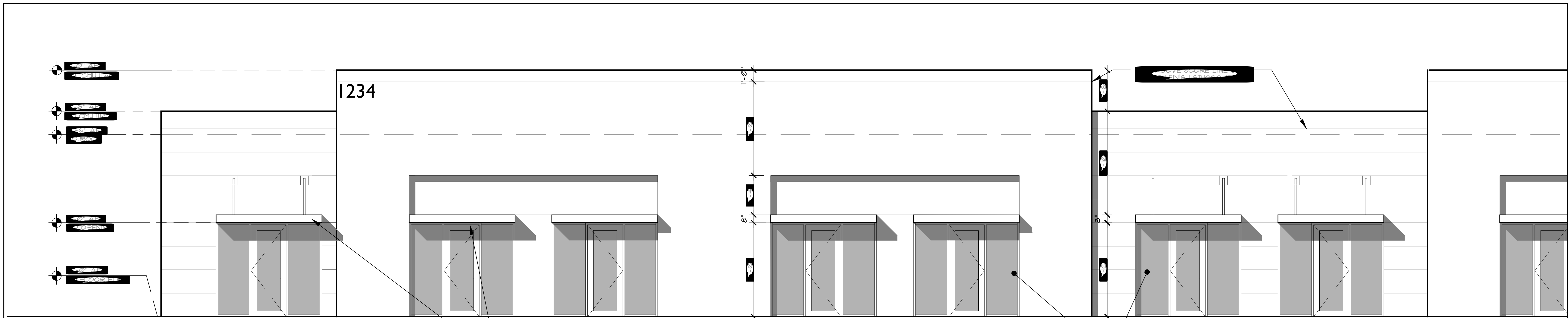
ELEVATION (B)



SCHMATIC SITE PLAN
 SMALL BAY WAREHOUSES
 4600 OKEECHOBEE ROAD
 IN
 FORT PIERCE, FLORIDA
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 PUGLIESE CREATIVE VENTURES

ELEVATIONS

A-6



1234

1/2" THICK IMPACT RESISTANT

1/2" THICK IMPACT RESISTANT



1234

1/2" THICK IMPACT RESISTANT

1/2" THICK IMPACT RESISTANT

architects

 Fort Pierce, Florida

 888-670-0000

 Schematic Site Plan

 Small Bay Warehouses

 4600 Okeechobee Road

 In

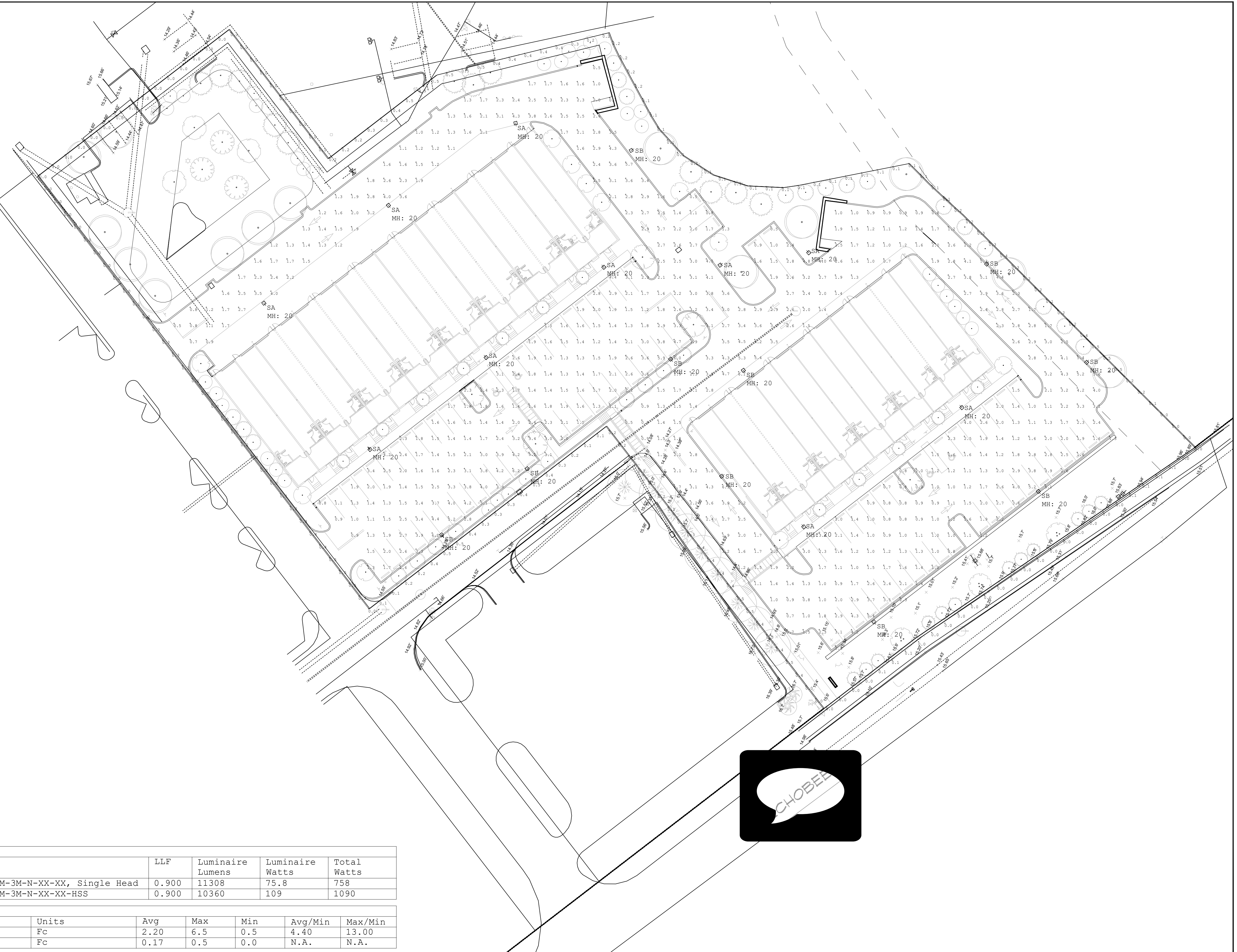
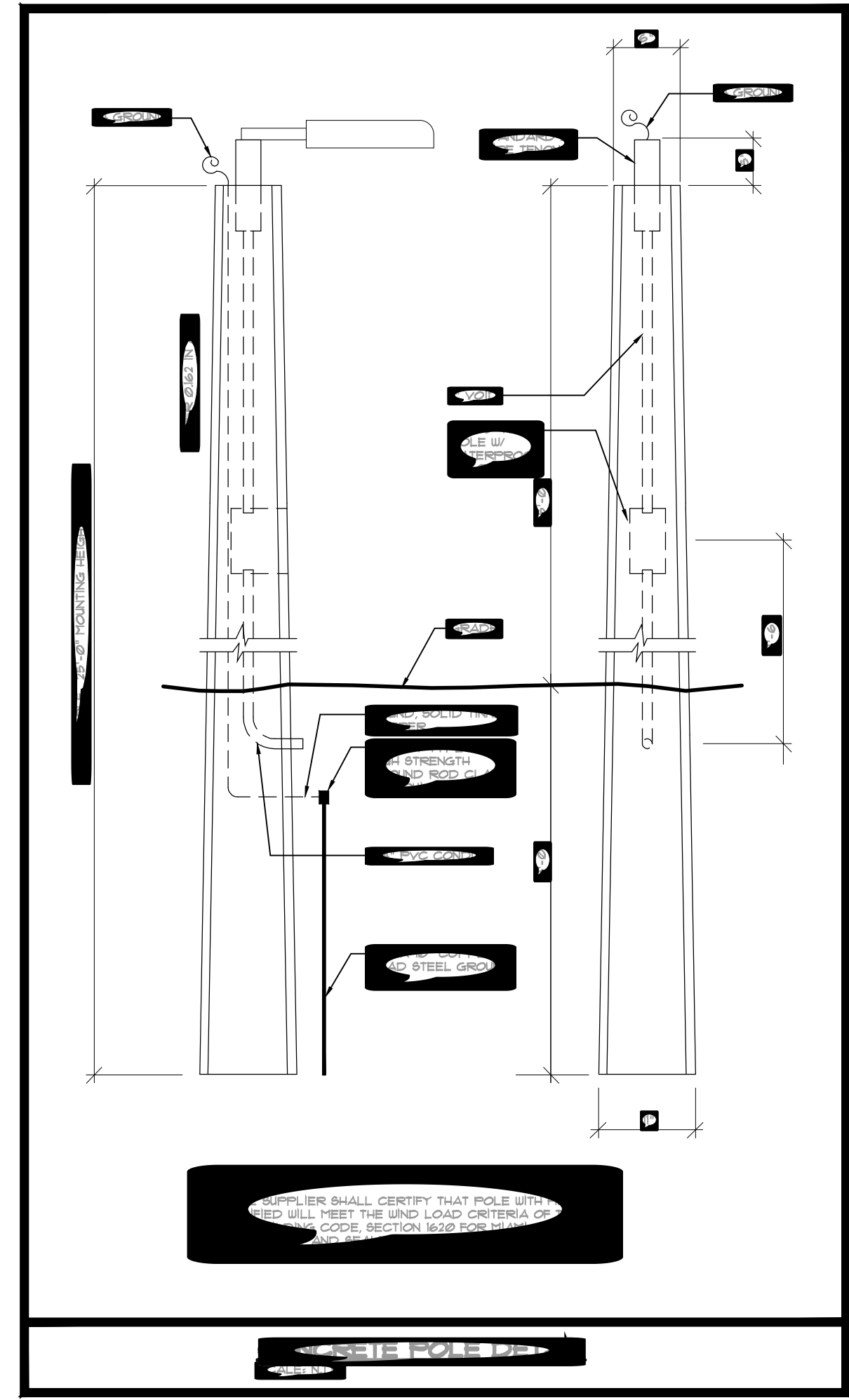
 Fort Pierce, Florida

 Prepared for

 Pugliese Creative Ventures

 ELEVATIONS

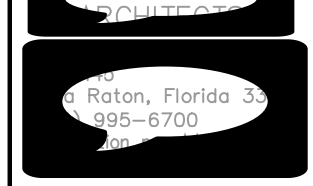
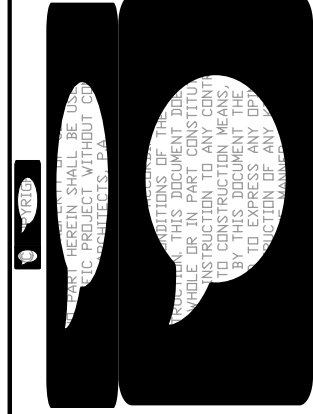
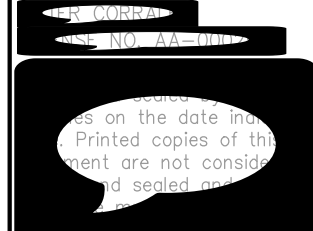
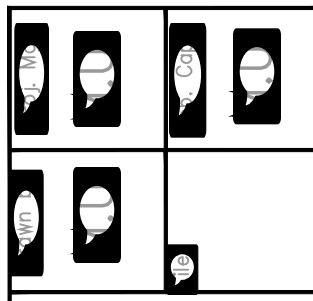
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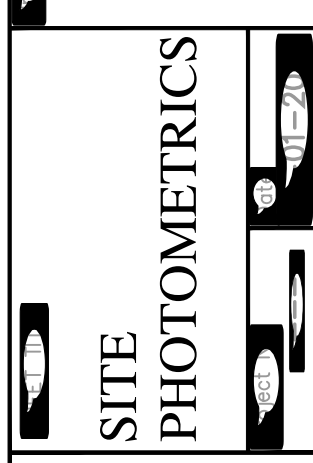
Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
SA	10	SA	Single	Xtra Light VNTS-10000L-40K-DIM-3M-N-XX-XX, Single Head	0.900	11308	75.8	758
SB	10	SB	Single	Xtra Light VNTS-15000L-40K-DIM-3M-N-XX-XX-HSS	0.900	10360	109	1090

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
Parking and Drive Lanes	Illuminance	Fc	2.20	6.5	0.5	4.40	13.00	
Property Line	Illuminance	Fc	0.17	0.5	0.0	N.A.	N.A.	

4646 OKEECHOBEE SITE LIGHTING FIXTURE SCHEDULE									
TYPE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LAMPS		VOLTS	MOUNTING	REMARKS	INPUT WATTS
				Qty	Type				
SA	XTRALIGHT	VNTS-10000L-40K-DIM-3M-N-XX-XX	LED SITE LUMINAIRE	1	LED INCLUDED	XX	POLE		76W
SB	XTRALIGHT	VNTS-15000L-40K-DIM-3M-N-XX-XX-HSS	LED SITE LUMINAIRE WITH HOUSE SHIELD	1	LED INCLUDED	XX	POLE		110W



SCHMATIC SITE PLAN
SMALL BAY WAREHOUSES
4600 OKEECHOBEE ROAD
IN
FORT PIERCE, FLORIDA
PREPARED FOR
PUGLIESE CREATIVE VENTURES



A-8

Submitted by Genesis Lighting Job Name: 4646 OKEECHOBEE Catalog Number: VNTS-1000L-40K-DIM-3M-N-XX-XX Type: SA GENLIGHT24-64006

VIENTO AREA LUMINARE

PROJECT INFORMATION

Project Name: _____ Type: _____
 Catalog #: _____ Date: _____

APPLICATIONS

- Area Lighting
- Auto Dealerships & Sales Lots
- Street Lighting
- Parks & Recreation Areas
- Safety & Security

APPROVALS

- ETL Listed
- Complies with UL 1598 and CSA C22.2
- Suitable for wet locations
- 3G Vibration Rated
- IP66 Rated
- BAA Compliant
- RoHS Compliant
- ATL (Atoll) tested www.ata-labs.com
- Select models DLC Qualified. For a complete list of DLC Qualified products visit: www.xtralight.com/dlc or qual.decsignlight.org

FEATURES

- Lumen packages ranging from 5000L to 35000L
- Outstanding photometric performance results in excellent uniformity, optimal pole spacing and lower power density
- Low profile architectural design offers a contemporary appearance with excellent light output
- Enhanced foot candles delivered utilizing multiple optical options
- Full cut-off optics with zero uplight

CONSTRUCTION

- Thermal management achieved with a one-piece die-cast aluminum has integral heat sink fins and a hinged electrical compartment
- Thermoseal powder coat, available in bronze, white or custom colors (consult factory)
- IP66, precision molded, polycarbonate optics providing impact resistance and UV stabilization
- Upgraded door to provide better protection from water intrusion

ELECTRICAL

- Voltage: 120-277V or 347-480V AC input
- Driver: Class 1 constant current, calibrated to lumen package (0.9V dimming standard)
- Surge Protection: 20kA standard
- Operating temperature: -40°C to +50°C (-40°F to +122°F)

PHOTOMETRIC DATA

SIZE	MODEL	OPTICS	3000K LUMENS EFFICACY	4000K LUMENS EFFICACY	5000K LUMENS EFFICACY	WATTAGE	BUG RATING
S Small	5000L	2M	5418 151	5644 156	5559 154	36	B2-UO-G2
		3M	5113 142	5326 148	5246 146		B1-UO-G3
		4M	5054 140	5265 146	5186 144		B1-UO-G3
		5S	5172 144	5387 149	5306 147		B3-UO-G2
	10000L	2M	11533 152	12014 158	11834 156	76	B3-UO-G3
		3M	10855 143	11307 149	11127 147		B2-UO-G2
		4M	10765 142	11214 148	11046 146		B2-UO-G4
		5S	10005 145	10464 151	10292 149		B4-UO-G3
	15000L	2M	15802 145	16460 152	16213 149	109	B3-UO-G3
		3M	15022 139	15725 145	15413 143		B3-UO-G3
		4M	14911 137	15532 143	15299 140		B3-UO-G5
		5S	15252 141	15887 146	15649 145		B4-UO-G3
18000L	2M	18315 142	19078 147	18792 144	129	B3-UO-G3	
	3M	17256 135	17925 139	17654 137		B3-UO-G3	
	4M	17270 134	17990 139	17720 137		B3-UO-G5	
	5S	17461 135	18189 141	17916 139		B3-UO-G3	
15000L	2M	15802 146	16460 152	16213 150	108	B3-UO-G3	
	3M	15022 139	15748 144	15413 143		B3-UO-G3	
	4M	14911 138	15532 143	15299 142		B3-UO-G5	
	5S	15252 141	15887 146	15649 145		B4-UO-G3	
20000L	2M	23067 152	24028 158	23668 156	152	B3-UO-G3	
	3M	21709 143	22614 149	22275 147		B3-UO-G3	
	4M	21531 142	22428 148	22092 146		B3-UO-G5	
	5S	22011 145	22928 151	22584 149		B4-UO-G3	
25000L	2M	25861 144	26939 149	26535 147	180	B4-UO-G4	
	3M	23574 131	24556 136	24188 134		B4-UO-G3	
	4M	23645 131	24630 136	24261 135		B5-UO-G4	
	5S	24347 135	25362 141	24981 139		B5-UO-G3	
30000L	2M	31540 144	32646 151	32156 148	217	B4-UO-G4	
	3M	29674 137	30910 142	30446 140		B4-UO-G4	
	4M	29881 139	3126 144	30659 143		B4-UO-G5	
	5S	30148 139	31404 145	30933 143		B5-UO-G4	
35000L	2M	35492 143	36971 148	36416 146	240	B4-UO-G4	
	3M	33668 135	35071 141	34545 139		B4-UO-G3	
	4M	33458 134	34852 140	34329 138		B4-UO-G5	
	5S	34491 138	35896 144	35348 142		B5-UO-G4	

ORDER LOGIC

SIZE: S Small, M Medium, L Large
 MODEL: 5000L, 10000L, 15000L, 18000L, 20000L, 25000L, 30000L, 35000L
 CCT: 30K, 40K, 50K
 DRIVER: DIM, DIM+D, DIM+D+V, DIM+D+V+V, DIM+D+V+V+V
 OPTICS: 2M, 3M, 4M, 5S
 ORIENTATION: N, L, R
 FINISH: BZ, WH, CC
 CONTROLS: HSS, ASP, NEMA, 7 Pin Twist-Lock, Receptacle
 OPTIONS: HSS, ASP, NEMA, 7 Pin Twist-Lock, Receptacle

1. Custom CCT available from 2700K - 6500K
 2. Some models may not be available with DIM+D (Dim to off)
 3. The 8" Type V Square (left) option is not available with L, Left or R, Right orientations
 4. Provide the desired BAA number for custom colors
 5. The ASP Adjustable Slip Filter Cord Whip must be paired with the Adjustable Slip Filter accessory (sold separately)
 6. Photocut not included

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Submitted by Genesis Lighting Job Name: 4646 OKEECHOBEE Catalog Number: VNTS-1000L-40K-DIM-3M-N-XX-XX Type: SA GENLIGHT24-64006

VIENTO AREA LUMINARE

PROJECT INFORMATION

Project Name: _____ Type: _____
 Catalog #: _____ Date: _____

APPLICATIONS

- Area Lighting
- Auto Dealerships & Sales Lots
- Street Lighting
- Parks & Recreation Areas
- Safety & Security

APPROVALS

- ETL Listed
- Complies with UL 1598 and CSA C22.2
- Suitable for wet locations
- 3G Vibration Rated
- IP66 Rated
- BAA Compliant
- RoHS Compliant
- ATL (Atoll) tested www.ata-labs.com
- Select models DLC Qualified. For a complete list of DLC Qualified products visit: www.xtralight.com/dlc or qual.decsignlight.org

FEATURES

- Lumen packages ranging from 5000L to 35000L
- Outstanding photometric performance results in excellent uniformity, optimal pole spacing and lower power density
- Low profile architectural design offers a contemporary appearance with excellent light output
- Enhanced foot candles delivered utilizing multiple optical options
- Full cut-off optics with zero uplight

CONSTRUCTION

- Thermal management achieved with a one-piece die-cast aluminum has integral heat sink fins and a hinged electrical compartment
- Thermoseal powder coat, available in bronze, white or custom colors (consult factory)
- IP66, precision molded, polycarbonate optics providing impact resistance and UV stabilization
- Upgraded door to provide better protection from water intrusion

ELECTRICAL

- Voltage: 120-277V or 347-480V AC input
- Driver: Class 1 constant current, calibrated to lumen package (0.9V dimming standard)
- Surge Protection: 20kA standard
- Operating temperature: -40°C to +50°C (-40°F to +122°F)

PHOTOMETRIC DATA

SIZE	MODEL	OPTICS	3000K LUMENS EFFICACY	4000K LUMENS EFFICACY	5000K LUMENS EFFICACY	WATTAGE	BUG RATING
S Small	5000L	2M	5418 151	5644 156	5559 154	36	B2-UO-G2
		3M	5113 142	5326 148	5246 146		B1-UO-G3
		4M	5054 140	5265 146	5186 144		B1-UO-G3
		5S	5172 144	5387 149	5306 147		B3-UO-G2
	10000L	2M	11533 152	12014 158	11834 156	76	B3-UO-G3
		3M	10855 143	11307 149	11127 147		B2-UO-G2
		4M	10765 142	11214 148	11046 146		B2-UO-G4
		5S	10005 145	10464 151	10292 149		B4-UO-G3
	15000L	2M	15802 145	16460 152	16213 149	109	B3-UO-G3
		3M	15022 139	15725 145	15413 143		B3-UO-G3
		4M	14911 137	15532 143	15299 140		B3-UO-G5
		5S	15252 141	15887 146	15649 145		B4-UO-G3
18000L	2M	18315 142	19078 147	18792 144	129	B3-UO-G3	
	3M	17256 135	17925 139	17654 137		B3-UO-G3	
	4M	17270 134	17990 139	17720 137		B3-UO-G5	
	5S	17461 135	18189 141	17916 139		B3-UO-G3	
15000L	2M	15802 146	16460 152	16213 150	108	B3-UO-G3	
	3M	15022 139	15748 144	15413 143		B3-UO-G3	
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SIZE: S Small, M Medium, L Large
 MODEL: 5000L, 10000L, 15000L, 18000L, 20000L, 25000L, 30000L, 35000L
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 6. Photocut not included

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Submitted by Genesis Lighting Job Name: 4646 OKEECHOBEE Catalog Number: VNTS-1000L-40K-DIM-3M-N-XX-XX Type: SA GENLIGHT24-64006

VIENTO AREA LUMINARE

PROJECT INFORMATION

Project Name: _____ Type: _____
 Catalog #: _____ Date: _____

APPLICATIONS

- Area Lighting
- Auto Dealerships & Sales Lots
- Street Lighting
- Parks & Recreation Areas
- Safety & Security

APPROVALS

- ETL Listed
- Complies with UL 1598 and CSA C22.2
- Suitable for wet locations
- 3G Vibration Rated
- IP66 Rated
- BAA Compliant
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- ATL (Atoll) tested www.ata-labs.com
- Select models DLC Qualified. For a complete list of DLC Qualified products visit: www.xtralight.com/dlc or qual.decsignlight.org

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- Enhanced foot candles delivered utilizing multiple optical options
- Full cut-off optics with zero uplight

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 DRIVER: DIM, DIM+D, DIM+D+V, DIM+D+V+V, DIM+D+V+V+V
 OPTICS: 2M, 3M, 4M, 5S
 ORIENTATION: N, L, R
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Submitted by Genesis Lighting Job Name: 4646 OKEECHOBEE Catalog Number: VNTS-1000L-40K-DIM-3M-N-XX-XX Type: SA GENLIGHT24-64006

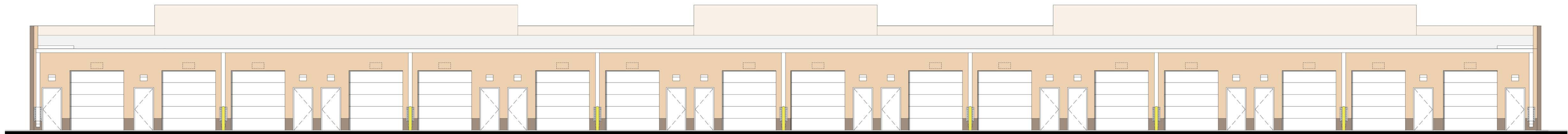


1 NORTH ELEVATION (BLDG.1)
 A-10 SCALE: 1/8" = 1'-0"







2 EAST ELEVATION (BLDG.1)
 A-10 SCALE: 1/8" = 1'-0"

3 WEST ELEVATION (BLDG.1)
 A-10 SCALE: 1/8" = 1'-0"



4 SOUTH ELEVATION (BLDG.1)
 A-10 SCALE: 1/8" = 1'-0"

BUILDING PAINT LEGEND	
	SW 1121 - CRESCENT CREAM (MAIN FIELD)
	SW 7502 - DRY DOCK (ACCENTS / BANDS / DOWNSPOUTS)
	SW 1069 - IRON ORE (WALL CANOPY)
	SW 4084 - SAFETY YELLOW (BOLLARDS)

Proj. Mgr.	M.U.
Drawn by	M.U.
File:	

PETER CORRALES
 LICENSE NO. AA-0002519
 This item has been digitally signed and sealed by Peter Corrales on the date indicated here. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

COMMISSIONER
 STATE OF FLORIDA
 P.A. AND NOTARY PUBLIC
 CORRALES GROUP ARCHITECTS P.A.
 2300 CORPORATE BLVD. N.W., SUITE 145
 BOCA RATON, FLORIDA 33431
 (561) 995-6700
 CORPORATION NO. AA-0002519
 ARCHITECT NO. AR-0009125

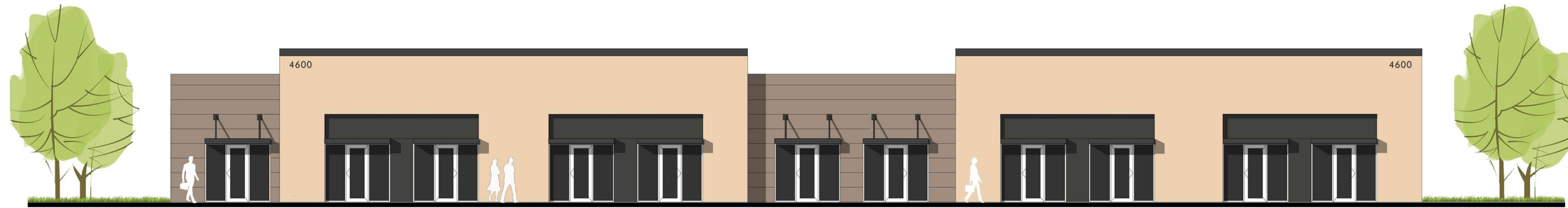
REVISIONS:

corrales group
 architects
 CORRALES GROUP ARCHITECTS
 2300 Corporate Blvd. N.W., Suite 145
 Boca Raton, Florida 33431
 (561) 995-6700
 Corporation no. AA-0002519
 Architect no. AR-0009125

Project
 SCHEMATIC SITE PLAN
 SMALL BAY WAREHOUSES
 4600 OKEECHOBEE ROAD
 IN
 FORT PIERCE, FLORIDA
 PREPARED FOR
 PUGLIESE CREATIVE VENTURES

SHEET TITLE
 BLDG.1 - COLORED ELEVATIONS
 Project No. _____ Date 04-01-2024

Sheet No. **A-10** of 1
 Sheet 10 of 1



1 NORTH ELEVATION (BLDG.2)
 A-11 SCALE: 1/8" = 1'-0"



2 EAST ELEVATION (BLDG.2)
 A-11 SCALE: 1/8" = 1'-0"

3 WEST ELEVATION (BLDG.2)
 A-11 SCALE: 1/8" = 1'-0"



4 SOUTH ELEVATION (BLDG.2)
 A-11 SCALE: 1/8" = 1'-0"

BUILDING PAINT LEGEND	
	SW 7121 - CRESCENT CREAM (MAIN FIELD)
	SW 7502 - DRY DOCK (ACCENTS / BANDS / DOWNPOUTS)
	SW 7063 - IRON ORE (WALL CANOPY)
	SW 4004 - SAFETY YELLOW (BOLLARDS)

Proj. Mgr.	M.U.	Job. Capt.	M.U.
Drawn by	M.U.	File:	

PETER CORRALES
 LICENSE NO. AA-0002519
 This item has been digitally signed and sealed by Peter Corrales on the date indicated here. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

COMMISSIONER
 THIS DOCUMENT IS THE PROPERTY OF CORRALES GROUP ARCHITECTS, P.A. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE INDICATED HEREON. IT IS TO BE KEPT IN CONFIDENCE AND NOT REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CORRALES GROUP ARCHITECTS, P.A. ANY UNAUTHORIZED USE OF THIS DOCUMENT IS PROHIBITED AND WILL BE SUBJECT TO LEGAL ACTION. THE USER OF THIS DOCUMENT AGREES TO HOLD CORRALES GROUP ARCHITECTS, P.A. HARMLESS FROM ANY AND ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM SUCH UNAUTHORIZED USE.

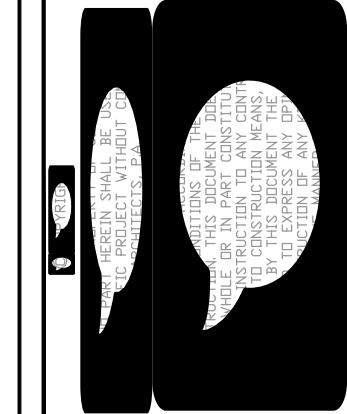
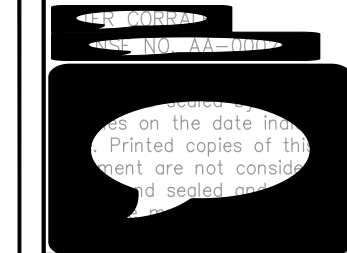
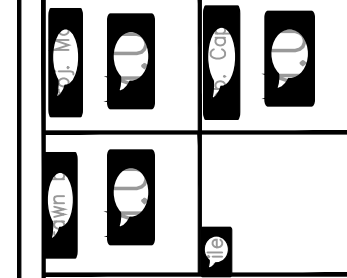
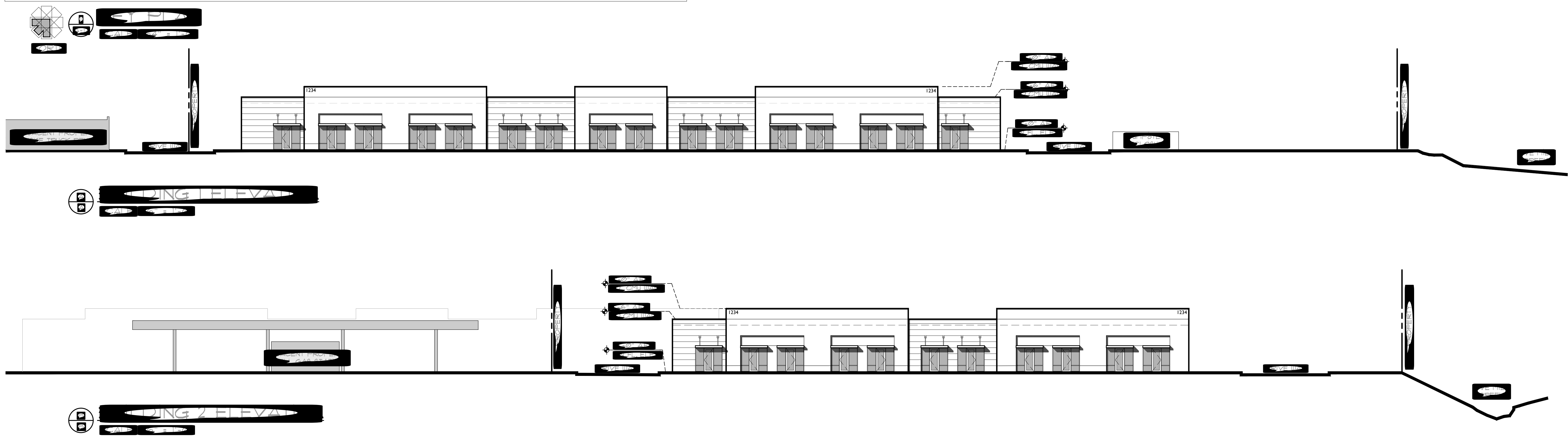
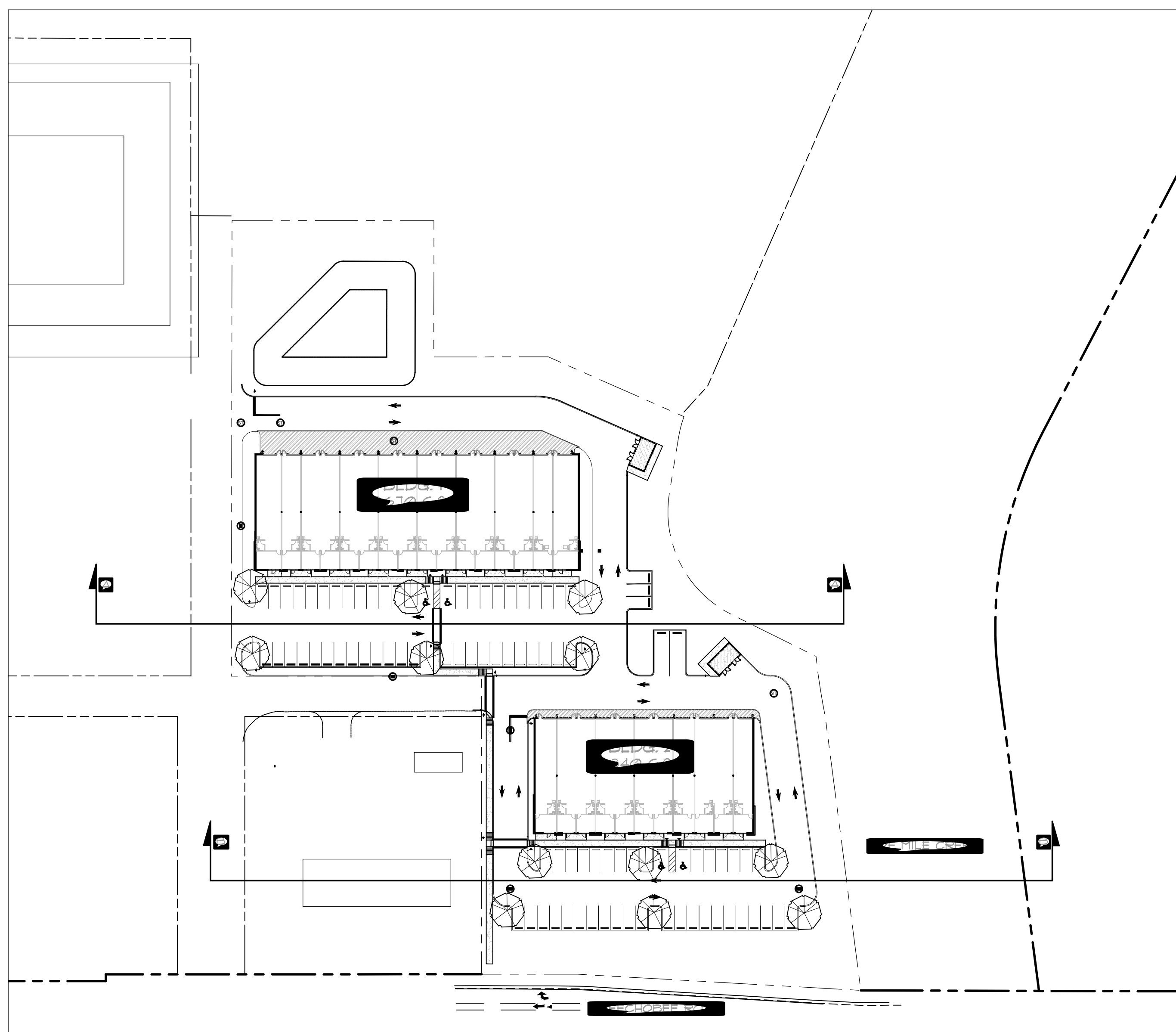
REVISIONS:

corrales group
 architects

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 Corporation no. AA-0002519
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SCHEMATIC SITE PLAN
 SMALL BAY WAREHOUSES
 4600 OKEECHOBEE ROAD
 IN
 FORT PIERCE, FLORIDA
 PREPARED FOR
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SHEET TITLE	BLDG.2 - COLORED ELEVATIONS	Date	04-01-2024
Project No.		Sheet No.	11 of 1





 corrales group architects

Ft. Pierce, Florida
 888-670-0000

SCHEMATIC SITE PLAN
 SMALL BAY WAREHOUSES
 4000 OKEECHOBEE ROAD
 IN
 FORT PIERCE, FLORIDA
 PREPARED FOR
 PUGLIESE CREATIVE VENTURES

ELEVATIONS

A-12

Delivery Transmittal

To:	City of Fort Pierce Planning & Engineering Depts.	From:	HJA Design Studio
C/O:	Planning Department	Date:	March 12, 2025
Phone:	772-467-3729	Ref #:	TRC No. 23-07000006
Re:	4600 Okeechobee Rd AKA Okeechobee Road Flex Space Resubmittal Package	CC:	Development Team

Via Fed Ex

Via US Mail

Via E-Transmittal

Via Hand Delivery

Via Package Pick Up

Comments:

Please see the attached documents pertaining to the above referenced project.

If you have any questions or concerns, please feel free to contact us at 772-678-7200.

Hand Delivered
March 13, 2025

Kevin Freeman
Planning Director
City of Fort Pierce
100 N. U.S. Highway 1
Fort Pierce, FL 34950

Re: 4600 Okeechobee Road – Resubmittal Project#: 23-0700006

Dear Kevin,

On behalf of St. Lucie Kings, LLC, we are pleased to resubmit the application materials for the referenced project, located along Okeechobee Road in Fort Pierce, Florida.

Enclosed, you will find one copy of the documents, three sets of plans as requested, and a digital copy of the revised materials for your review:

1. Comment Response Letter
2. Traffic Report
3. Environmental Assessment
4. Site Plan
5. Landscape Plan
6. Landscape Maintenance Agreement
7. Survey
8. Fire Truck Exhibit
9. Fire Hydrant Exhibits

We look forward to working with you to complete this project. If you have any questions or need any additional information, please do not hesitate to contact our office at 772-678-7200. Thank you.

Sincerely,



Erika Beitler
Project Manager
HJA Design Studio, LLC

CC: St. Lucie Kings, LLC
Development Team

Via Email
March 12, 2025

Kevin Freeman
Director of Planning
100 N. U.S. Highway 1
Fort Pierce, FL 34950

Re: Site Plan (Development and Design Review) & Conditional Use – Okeechobee Road Flex Space Resubmittal & Response to 01/09/2025 Staff Report

Project Number: 23-07000006
Date of Staff Report: 01/09/2025

Dear Key,

Please find our responses to the February 20, 2025 staff report below.

City of Fort Pierce Planning Department

1. A Unity of Title with the St. Lucie County Clerk of Courts and a Parcel Combination with the St. Lucie County Property Appraiser shall be provided.
RESPONSE: We have elected to forgo the lot combination and unity of title during site plan review process. These documents will be provided to the City prior to the issuance of the building permit for vertical construction.
2. After completion of the Unity of Title and Lot Combination, please submit a General Address Request Form for the newly created Parcel ID and for each proposed building and residential unit.
RESPONSE: An address request will be submitted prior to submitting the building permit for vertical construction.
3. A notarized Landscape Maintenance Agreement is required
RESPONSE: Please see attached draft with additional legalese to address ownership and apply to future owners. Once staff has reviewed and approved the Agreement, we will send the City an executed version.

Fort Pierce Engineering Department

1. Design Review submittal requires a 1"=30' minimum scale survey. (Code Section 125-313)
RESPONSE: Acknowledged, the property survey has been provided with this resubmittal.
2. Development Review requires Environmental Impact Report and Traffic Impact Report.
RESPONSE: Please see attached Environmental Impact Report and revised Traffic Impact Analysis.
3. The Site Data information identifies incorrect parcel numbers and incorrect area.
RESPONSE: Acknowledged, Parcel numbers and total site number have been updated accordingly.

4. Provide a note on the site plan that the development adheres to the standards specified in the City of Fort Pierce Code of Ordinances Sections 119 and 125.
RESPONSE: Acknowledged, a note has been added to the site plan.

5. Ensure updated dumpster enclosure detail is included.
RESPONSE: Acknowledged, the dumpster enclosures have been updated and the detail has been included with the site plan.

6. Show separate pedestrian access to the dumpsters.
RESPONSE: Acknowledged, the site plan has been revised to accommodate pedestrian access to each dumpster enclosure location.

7. Extend new asphalt to connection with ingress/egress roadway (N/S/W connection).
RESPONSE: Acknowledged, the proposed asphalt has been extended to the N/S/W connection.

8. Relocate all plantings from within the limits of the proposed detention area.
RESPONSE: All planting have been removed from the proposed detention area. See revised landscape plan, Sheet LP-1.

9. The Portofino Landings plat shows the Ingress/Egress easements (Tract C) on Parcel 3. The Warranty Deed for Parcels 2419-122-001-040-6 and 2419-122-0001-050-9 at OR Book 4570 Page 1698 notes that the property is subject to easements, restrictions, and reservations of record. Please provide documentation that these easements have been vacated and that the SLC Fire District is agreeable to the termination of the access.
RESPONSE: Per discussions during a meeting with staff and SLCFD, the existing paved connection is not in use and currently fenced off with no access. Ingress/egress and internal circulation is the responsibility of the adjacent property.

10. General Note 1 generally does not apply as there is no adjacent City Right-of-Way. The Property Owner will be responsible to provide pickup, removal, and disposal of litter and maintenance of the area in coordination and compliance with existing ingress/egress easements with adjacent property owners.
RESPONSE: Acknowledged, General Note 1 has been revised per the comment above.

Advisory Comments:

- a. Prior to DPCR approval the two parcels of land shall be combined into one parcel by filing of a Unity of Title or other acceptable means.
RESPONSE: We have elected to forgo the lot combination and unity of title during site plan review process. These documents will be provided to the City prior to the issuance of the building permit for vertical construction.

- b. The drainage plan will be fully reviewed when building plans are submitted.
RESPONSE: Acknowledged and understood.

St. Lucie County Fire District

1. Please submit a completed application for Development/Site Plan Review (St. Lucie County Fire District Development & Site Plan Review Application). This form is available on-line at <https://www.slcfd.com>
RESPONSE: Acknowledged separate SLCFD development and site plan review application will be submitted under separate cover.
2. Fire District review fees are due at the time of submittal. An abbreviated fee schedule is included on the application form.
RESPONSE: Acknowledged and understood.
3. Please send the Fire District electronic plans for the site and buildings.
RESPONSE: Acknowledged a revised site plan and building footprints will be provide with the application Submittal.
4. A separate review and permit is required for Underground Fire Mains connected to standpipes or sprinkler systems.
RESPONSE: Acknowledged and understood.
5. Fire department access roads provided in accordance with 18.2.3 shall be provided at the start of a project and shall be maintained throughout construction. (NFPA 116.1.4). Surface. Fire department access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be provided with an all-weather driving surface. (NFPA 1.18.2.3.5.2.5)
RESPONSE: Acknowledged, an Autoturn Truck exhibit will be provided with the site plan application demonstrating site access throughout the site.
6. Security gates must either be manned 24 hour/day or provide an access control key switch on the control panel to allow for Fire Department entry in an emergency. Security gates must maintain a clear width of 12 feet when open and provide a means to open the gates manually upon loss of power.
RESPONSE: Acknowledged, no gates are proposed for this development.
7. Per the St. Lucie County Fire District Fire Prevention Code Resolution 690-20. At Least 13 feet 6 inches nominal vertical clearance shall be provided and maintained over the full width of all means of access. Including, but not limited to trees, canopies, etc.
RESPONSE: Acknowledged and understood. Vertical Clearance will be provided throughout the approved site fire access route.
8. The Fire District reserves the right for future comments at the site plan & building construction phase.
RESPONSE: Acknowledged and understood.
9. FD access roads (shall be) are provided such that any portion of an unsprinklered facility or exterior wall is located not more than 150' from FD access roads as measured by an approved route around the exterior of the building or facility. (450' for NFPA 13, 13D, 13R sprinklered protected buildings).
RESPONSE: Acknowledged, this site does not propose fire sprinklers, however each building is located within 150' of an approved FD access road.

10. Be advised: Dimensions of largest vehicle are as follows: 38 tons or 77k lbs, 47.5 ft. total length, 21.5 ft. wheel base, 10.5 ft. total width, 41.5 degree turning radius.

RESPONSE: Acknowledged and understood.

11. Minimum roadway pavement width (two-way traffic) shall be twenty (20) ft. Minimum roadway pavement width (one-way traffic) shall be twelve (12) ft.

RESPONSE: Acknowledged and understood.

12. Fire hydrants (shall be) are provided for buildings other than detached one-and-two-family dwellings IAW both of the following 1) The maximum distance to a fire hydrant from the closest point in the building shall not exceed 400 feet. 2) The maximum distance between fire hydrants shall not exceed 500 feet. NFPA 1:18.5.3. Please provide fire flow calculations for hydrants.

RESPONSE: Acknowledged a fire hydrant coverage exhibit will be provided with the site plan application.

13. An approved water supply capable of supplying the required fire flow for fire protection (shall be) is identified to all premises upon which facilities, buildings, or portions of buildings which are to be constructed or moved into the jurisdiction. The approved water supply shall be in accordance with NFPA 1:18.4. See "Needed NFPA Fire Flow Calculator Spreadsheet".

RESPONSE: Acknowledged, an approved water supply spreadsheet will be provided under separate cover.

14. Fire department connections shall be located on the street side of buildings and shall be located and arranged so that hose lines can be readily attached to the inlets without interference from any nearby objects, including buildings, fences, landscaping, or other fire department connections. The location of connections shall be based upon the access requirements of the fire department.

RESPONSE:

15. The distance allowed between the fire department connection and a fire hydrant shall be no more than one hundred fifty (150) feet as a vehicle travels.

RESPONSE: Acknowledged and understood.

16. Minimum Size of Water Mains

The minimum size of water mains for supplying water for firefighting purposes shall be six (6) inches. b. The minimum size of water mains supplying hydrants on a dead end main shall be eight (8) inches. c. The maximum number of hydrants located on a dead end main shall be one (1). d. Grid or Tee systems shall be supplied by a minimum of an eight (8) inch looped main. Exceptions may be granted based on the capacity of the water distribution system but in no case shall the main size be less than six (6) inches. e. The minimum size water main(s) shall be determined by the needed fire flow as established by the Fire Marshal and based on the current Insurance Service Office (ISO) requirements.

RESPONSE: Acknowledged and understood.

17. Provide the fire district the Pre-Construction Site Checklist Affidavit. This affidavit shall include the pre-construction fire protection plan, pre-construction fire department access roads, and pre-construction on-site credible water supply for your development and or project (the affidavit can be found at <http://www.slcf.com/182/Applications-Permits> under fire permits.

RESPONSE: Per previous discussions the pre-construction checklist is not required for this development.

18. Site Plans submitted in accordance with this Fire Prevention Code shall include the location of all existing and proposed fire hydrants within one thousand (1,000) feet of the proposed project.

RESPONSE: Acknowledge, a separate exhibit has been provide with he site plan application submittal.

Florida Department of Transportation

The Okeechobee Road Flex Space applicant should contact FDOT to request an access Pre-Application meeting to evaluate proposed connections. Additional comments may be forthcoming.

1. Larry Hymowitz
Planning Specialist, Policy and Mobility Planning Section
954-777-4663 larry.hymowitz@dot.state.fl.us

RESPONSE: Acknowledged.

Thank you for your attention to this matter. We look forward to working with you on this exciting project. Following your review of the application please let us know if you need any additional copies or have any questions. Thank you for your assistance with this application.

Sincerely,



Erika Beitler
Project Manager

c.c. Development Team

Okeechobee Flex
Project № 25011.03 , v1.1
February 17, 2025

Traffic Impact Analysis
St. Lucie County
Florida

Prepared for:

Land America, LLC
101 Pugliese's Way, Suite 200
Delray Beach, FL 33444

Prepared by:



Formerly O'Rourke Engineering & Planning

3725 SE Ocean Boulevard, Suite 201
Stuart, Florida 34996
www.trafficmobility.com
(772) 781-7918

PROFESSIONAL ENGINEERING CERTIFICATION

I hereby certify that I am a Professional Engineer properly registered in the State of Florida practicing with Traffic & Mobility Consultants LLC, a corporation authorized to operate as an engineering business, CA-30024, by the State of Florida Department of Professional Regulation, Board of Professional Engineers, and that I have prepared or approved the evaluations, findings, opinions, conclusions, or technical advice attached hereto for:

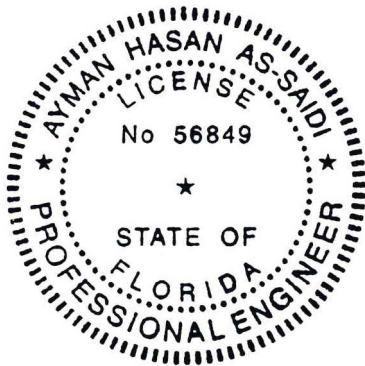
PROJECT: Okeechobee Flex

LOCATION: St. Lucie County, Florida

CLIENT: Land America, LLC

I hereby acknowledge that the procedures and references used to develop the results contained in these computations are standard to the professional practice of Transportation Engineering as applied through professional judgment and experience.

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY



ON THE DATE ADJACENT TO THE SEAL

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

TRAFFIC & MOBILITY CONSULTANTS LLC
3101 MAGUIRE BOULEVARD, SUITE 265
ORLANDO, FLORIDA 32803

CERTIFICATE OF AUTHORIZATION CA-30024

Ayman As-Saidi, P.E. № 56849

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INTRODUCTION

Traffic & Mobility Consultants, formerly O'Rourke Engineering & Planning, was retained to prepare a traffic analysis for the proposed warehouse development located west of McNeil Road and north of Okeechobee Road in Ft. Pierce, St. Lucie County, Florida. The purpose of this report is to determine the project's impact on the surrounding roadway system.

In order to make the determination that the project complies with County Concurrency Guidelines, the following analytical steps were taken:

- summary of the project
- summary of existing lane geometries
- summary of the existing traffic volumes
- assessment of project traffic
- determination of impact area
- summary of buildout cumulative traffic volumes
- summary of levels of service with the project traffic added

Each of these steps is outlined herein.


PROJECT DESCRIPTION

The proposed development located west of McNeil Road and north of Okeechobee Road in Ft. Pierce, St. Lucie County, Florida, will consist of a 36,790 square foot Warehouse on approximately 3.57 acres. The site is currently vacant. The project location is shown in **Figure 1**.



Figure 1
Project Location
 Okeechobee Flex

Legend

 = Project Location

TMC Traffic & Mobility CONSULTANTS
 Formerly O'Rourke Engineering & Planning
 3725 SE Ocean Blvd, Suite 201
 Stuart, FL 34996

NTS
 Job Number: 25011.03
 Date: 1/29/2025

EXISTING CONDITIONS

The study radius of area of influence is defined by the total daily trips. The project generates 96 daily trips. Therefore, the study area is limited to the directly accessed link and the roadways upon which the project has an impact of 5% of the level of service capacity of the roadway. Once the project traffic was assigned, the study area was refined based on the impact percentages.

The study area roadways were defined in terms of existing lane geometrics and existing traffic volumes.

Existing Lane Geometrics and Traffic Control

The study area was reviewed to determine the existing number and type of lanes, and the traffic control along the roadway. Each roadway is described below.

- Okeechobee Road is a multi-lane divided arterial roadway with an east/west alignment. It has a context classification of C3C adjacent to the project and is a six-lane divided roadway from Rolyat Street to Virginia Avenue.

Existing Traffic Volumes/ Service Volume

Traffic volumes were obtained from the St. Lucie County TPO Traffic Counts and Level of Service Report 2024 and FDOT. The count data along with the number of lanes and the associated peak hour/peak direction service volumes will be summarized in the upcoming sections of the report. The service volumes were developed based on the functional classification contained in the County Comprehensive Plan and the St. Lucie County Traffic Counts and Level of Service Report. The St. Lucie 2024 Level of Service Report was used to establish capacity. This document is included in **Appendix B**.

PROJECT TRAFFIC

To estimate future traffic generated by the development, the ITE Trip Generation, 11th Edition trip rates were applied to Warehouse. These calculations are shown in **Tables 1a, 1b, and 1c**.

Trip generation reference material is included in the latter half of Appendix B.

As shown, the project will generate 96 net new daily trips. There will be 6 net new AM peak hour trips with 5 trip entering the project and 1 trip exiting the project. There will be 7 net new PM peak hour trips with 2 trips entering the project and 5 trips exiting the project.

PROJECT DISTRIBUTION/ ASSIGNMENT/IMPACT

The project traffic was distributed by general geographic direction and then assigned to the roadway network.

Distribution/ Assignment – This general distribution led to an assignment of trips based on the anticipated ultimate destinations and the roadway paths used to reach those destinations. The project assignment is shown in **Figure 2**.

Impact – **Tables 2a and 2b** summarize the project impact as a percent of service volume capacity. Significant is defined as the directly accessed link and an impact of 5% or more on all other links. As shown, there are no roadways impacted by 5% or more.

Table 1 - Trip Generation

Table 1a: Daily

Land Use	ITE Code	Intensity	Units	Trip Generation Rate	Directional Split		Net New Trips		
					In	Out	In	Out	Total
Warehousing	150	36,790	Sft	$T = 1.58(X) + 38.29$	50%	50%	48	48	96
TOTAL		36,790					48	48	96

Source: ITE 11th Edition Trip Generation Rates

Table 1b: AM Peak Hour

Land Use	ITE Code	Intensity	Units	Trip Generation Rate	Directional Split		Net New Trips		
					In	Out	In	Out	Total
Warehousing	150	36,790	Sft	$T = 0.17(X)$	77%	23%	5	1	6
TOTAL		36,790					5	1	6

Source: ITE 11th Edition Trip Generation Rates

Table 1c: PM Peak Hour


Land Use	ITE Code	Intensity	Units	Trip Generation Rate	Directional Split		Net New Trips		
					In	Out	In	Out	Total
Warehousing	150	36,790	Sft	$T = 0.18(X)$	28%	72%	2	5	7
TOTAL		36,790					2	5	7

Source: ITE 11th Edition Trip Generation Rates



Figure 2
Project Distribution
 Okeechobee Flex

Legend

 = Project Location

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 Date: 1/29/2025

TABLE 2a - Project Percent Impact - AM

Segment	From	To	Lanes	Direction	IN/OUT	Greater than 3% (1% on Adjacent Links)	Peak Hour Service Capacity (E+C) ⁽¹⁾	Project Volume Peak Direction	% Project of Capacity-Peak Hour	Project Percent Assignment
Okeechobee Rd	McNeil Rd	Project Access	6LD	EB	IN	NO	2,680	3	0.11%	60%
	McNeil Rd	Project Access	6LD	WB	OUT	NO	2,680	1	0.04%	60%
	Project Access	Virginia Ave	6LD	EB	OUT	NO	2,680	0	0.00%	40%
	Project Access	Virginia Ave	6LD	WB	IN	NO	2,680	2	0.07%	40%

(1) St. Lucie TPO LOS 2024 & FDOT 2023 Q/LOS Tables

Two-Way: 6
 Net In: 5
 Net Out: 1

TABLE 2b - Project Percent Impact - PM

Segment	From	To	Lanes	Direction	IN/OUT	Greater than 3% (1% on Adjacent Links)	Peak Hour Service Capacity (E+C) ⁽¹⁾	Project Volume Peak Direction	% Project of Capacity-Peak Hour	Project Percent Assignment
Okeechobee Rd	McNeil Rd	Project Access	6LD	EB	IN	NO	2,680	1	0.04%	60%
	McNeil Rd	Project Access	6LD	WB	OUT	NO	2,680	3	0.11%	60%
	Project Access	Virginia Ave	6LD	EB	OUT	NO	2,680	2	0.07%	40%
	Project Access	Virginia Ave	6LD	WB	IN	NO	2,680	1	0.04%	40%

(1) St. Lucie TPO LOS 2024 & FDOT 2023 Q/LOS Tables

Two-Way: 7
 Net In: 2
 Net Out: 5

OTHER PROJECT TRAFFIC/GROWTH RATE

Traffic volumes on Okeechobee Road were grown using a historical growth rate of 4.08%. The growth rate was calculated using available FDOT data from 2018 to 2023, at the link of Okeechobee Road from McNeil Road to Virginia Avenue. The growth rate was applied 5 years to estimate 2028 traffic. Committed traffic from approved but unbuilt projects were also included as background traffic.

Details of the growth rate calculation and background projects are included in **Appendix C**.

LINK ANALYSIS / REVIEW

The adjacent link of Okeechobee Road was analyzed further to ensure it will meet concurrency. **Tables 3a and 3b** summarize the results of the link analysis. As shown, the roadway will operate at acceptable levels of service at project buildout.

TABLE 3a - Link Analysis - AM

Segment	From	To	Direction	IN/OUT	Greater than 3% (1% on Adjacent Links)	AAAT 2023	2023 Peak Hour Directional Volumes	Growth Rate (2)	2028 AM Peak Hour + Growth	AM Peak Hour Committed Projects Directional	2028 Growth + Committed Peak Direction	Peak Hour Service Capacity (1)	Project Volume Peak Direction	Total Traffic (Peak Direction)	% Project of Capacity- Peak Hour	Does Project Satisfy Concurrency?	Project Percent Assignment
Okeechobee Rd	McNeil Rd	Project Access	EB	IN	NO	29,519	1,645	4.08%	2,009	256	2,265	2,680	3	2,268	0.11%	YES	60%
	McNeil Rd	Project Access	WB	OUT	NO	29,519	1,106	4.08%	1,351	154	1,505	2,680	1	1,506	0.04%	YES	60%
	Project Access	Virginia Ave	EB	OUT	NO	29,519	1,645	4.08%	2,009	256	2,265	2,680	0	2,265	0.00%	YES	40%
	Project Access	Virginia Ave	WB	IN	NO	29,519	1,106	4.08%	1,351	154	1,505	2,680	2	1,507	0.07%	YES	40%

(1) St. Lucie TPO LOS 2024 & FDOT 2023 Q/LOS Tables

(2) 5-year historical growth rate calculated from FDOT Historical AADT

Two-Way: 6
 Net In: 5
 Net Out: 1
 Years Grown: 5

TABLE 3b - Link Analysis - PM

Segment	From	To	Direction	IN/OUT	Greater than 3% (1% on Adjacent Links)	AAAT 2023	2023 Peak Hour Directional Volumes	Growth Rate (2)	2028 PM Peak Hour + Growth	PM Peak Hour Committed Projects Directional	2028 Growth + Committed Peak Direction	Peak Hour Service Capacity (1)	Project Volume Peak Direction	Total Traffic (Peak Direction)	% Project of Capacity- Peak Hour	Does Project Satisfy Concurrency?	Project Percent Assignment
Okeechobee Rd	McNeil Rd	Project Access	EB	IN	NO	29,519	1,517	4.08%	1,853	215	2,068	2,680	1	2,069	0.04%	YES	60%
	McNeil Rd	Project Access	WB	OUT	NO	29,519	1,638	4.08%	2,001	283	2,284	2,680	3	2,287	0.11%	YES	60%
	Project Access	Virginia Ave	EB	OUT	NO	29,519	1,517	4.08%	1,853	215	2,068	2,680	2	2,070	0.07%	YES	40%
	Project Access	Virginia Ave	WB	IN	NO	29,519	1,638	4.08%	2,001	283	2,284	2,680	1	2,285	0.04%	YES	40%

(1) St. Lucie TPO LOS 2024 & FDOT 2023 Q/LOS Tables

(2) 5-year historical growth rate calculated from FDOT Historical AADT

Two-Way: 7
 Net In: 2
 Net Out: 5
 Years Grown: 5

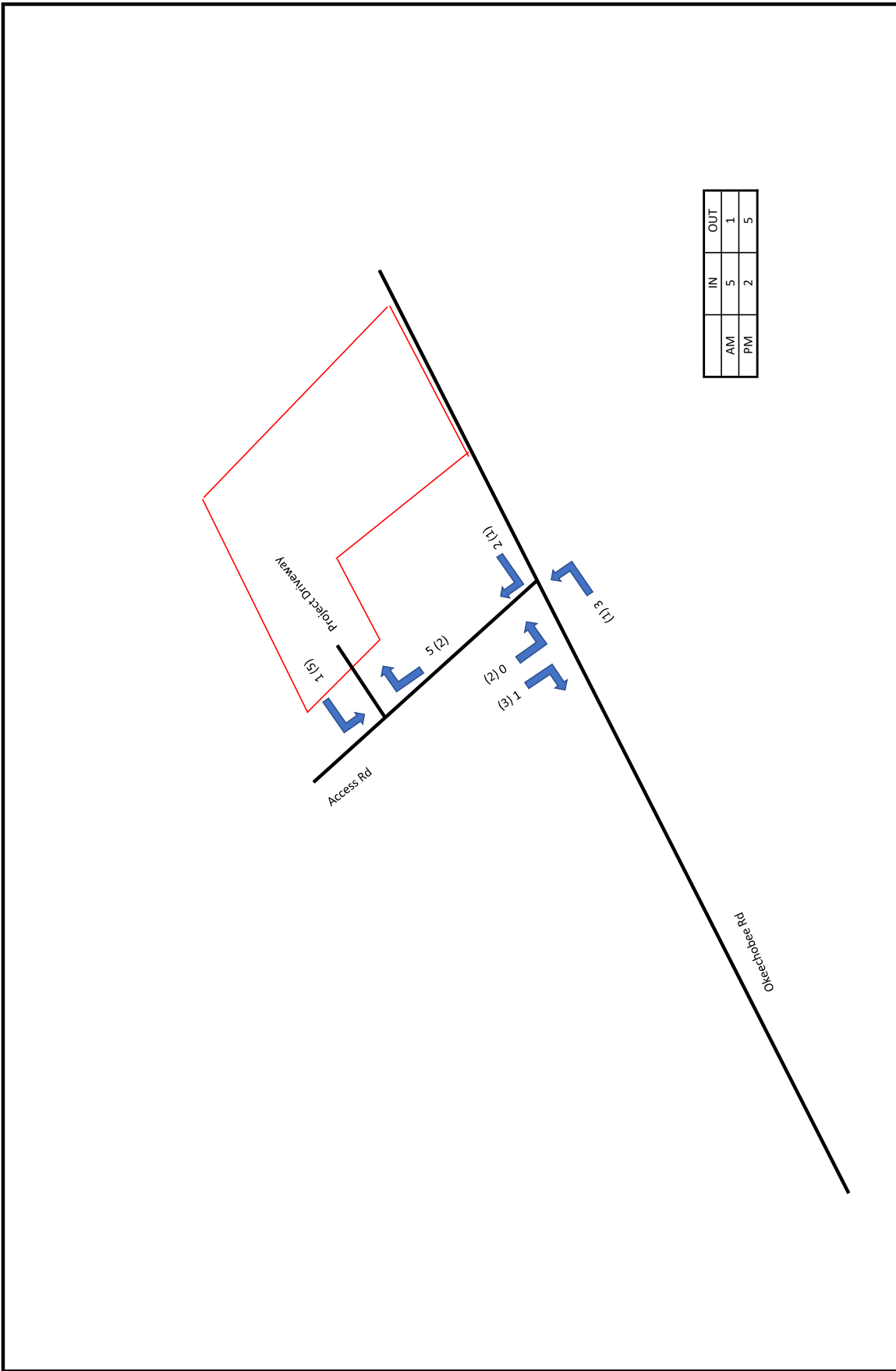
DRIVEWAY ANALYSIS

The project takes access from an existing access road with existing full access to Okeechobee Road. The project volumes are shown on **Figure 3**.

The existing access road already provides a right-turn lane and left-turn lane. Therefore, additional turn lane analysis is not required.

CONCLUSION

The Okeechobee Flex with 96 daily trips, 6 net AM peak hour trips and 7 net PM peak hour trips will have an insignificant impact on the network. All links and intersections operate at acceptable levels of service. Therefore, the project meets the requirements for concurrency.





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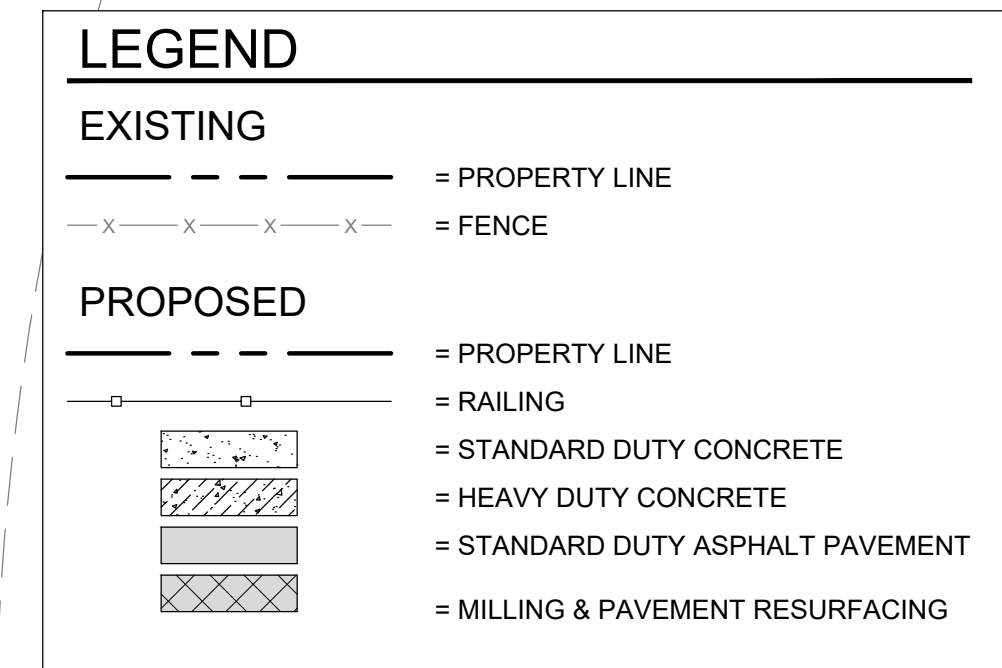
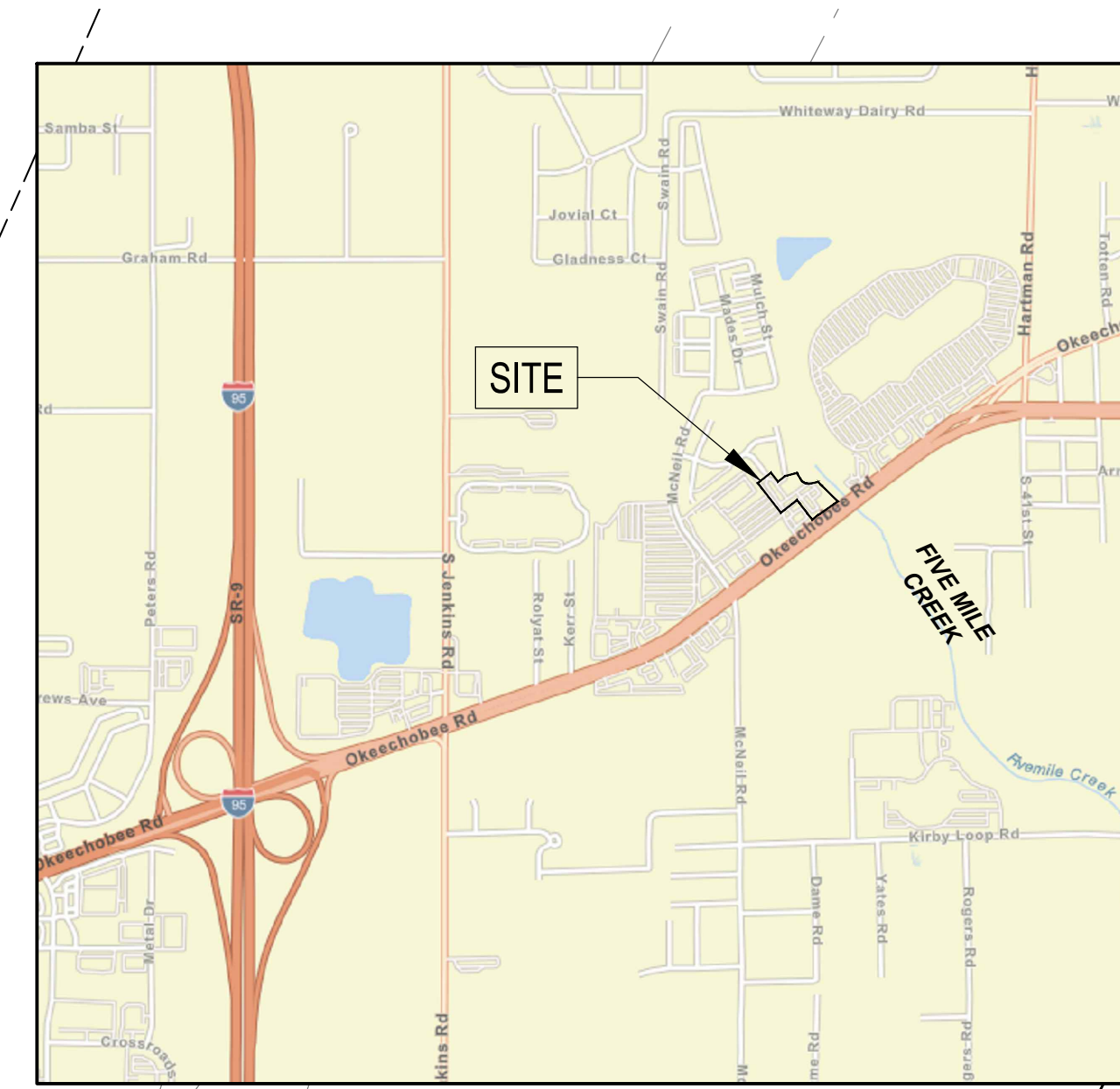
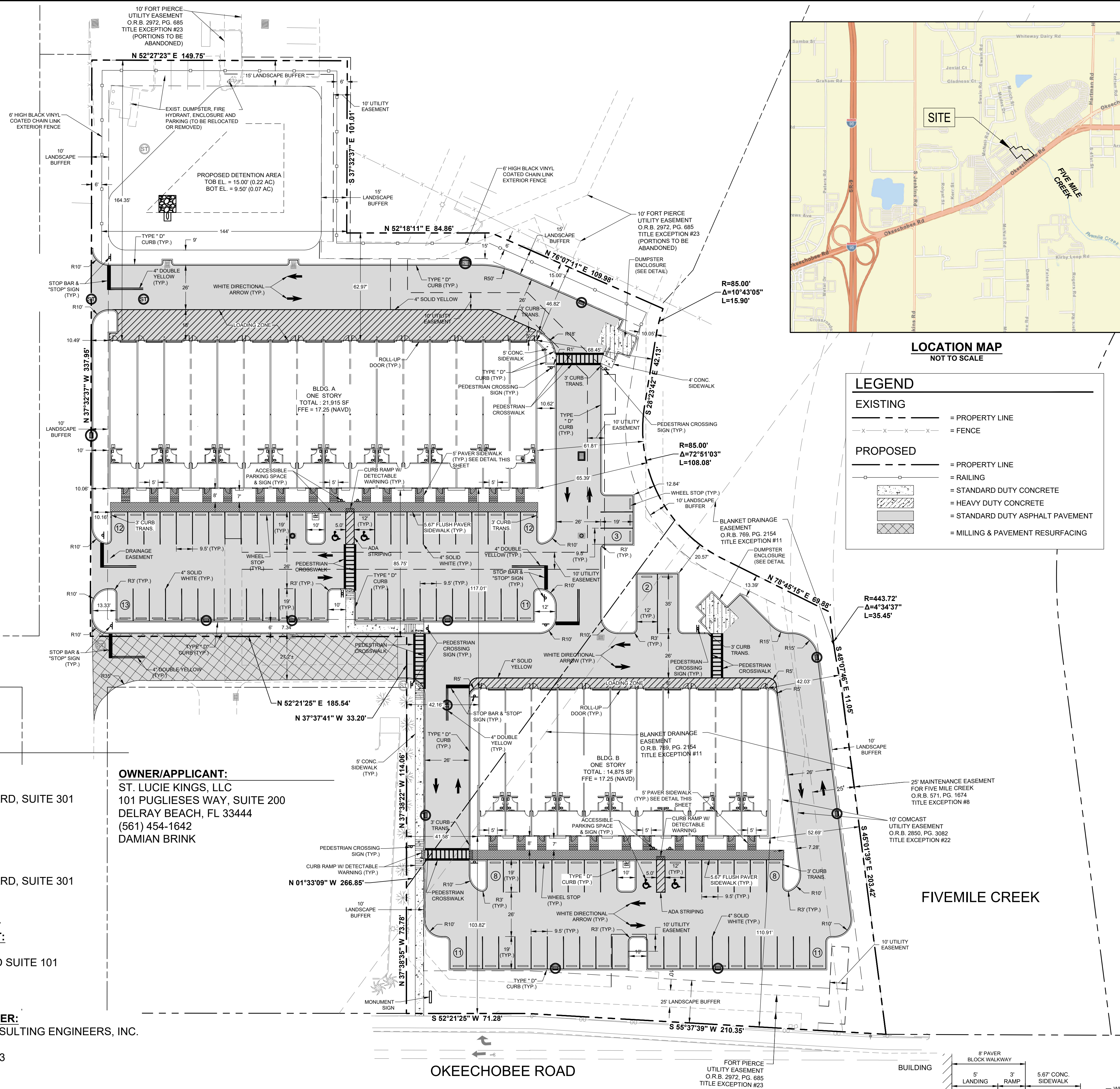


Legend
= Project Location
XX (XX) = AM (PM) Driveway Volumes

Figure 3
Driveway Volumes
Okeechobee Flex

APPENDIX A

SITE PLAN



SITE DATA

TOTAL SITE AREA	155,352 SF / 3.57 AC
FUTURE LAND USE	GENERAL COMMERCIAL (GC)
EXISTING ZONING	COMMERCIAL GENERAL (C-3)
EXISTING USE	VACANT COMMERCIAL
PROPOSED USE	FLEX SPACE (WHOLE SALE TRADE / WAREHOUSE & FREIGHT)
BUILDING COVERAGE	36,790 SF
MAXIMUM BUILDING HEIGHT	30'
PROPOSED BUILDING HEIGHT	30'
PARCEL CONTROL NUMBER	2419-122-0001-050-9
	2419-122-0001-040-6

OPEN SPACE

REQUIRED	31,070 SF	0.71 AC	20%
PROVIDED	47,933 SF	1.10 AC	31%
TOTAL LANDSCAPE AREA	47,933 SF	1.10 AC	31%

SET BACKS

FRONT	25'	103.82'
SIDE	10'	42.03'
REAR	15'	46.82'

LANDSCAPE AREA

TOTAL LANDSCAPE AREA	47,933 SF	1.10 AC	31%
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IMPERVIOUS AREA

BUILDING COVERAGE	36,790 SF	0.85 AC	24%
VEHICULAR USE AREA	61,960 SF	1.42 AC	40%
PAVERS/WALKS/DUMPSTER	8,669 SF	0.19 AC	5%
TOTAL	107,419 SF	2.46 AC	69%

BUILDING DATA

	OFFICE	WAREHOUSE	TOTAL
BUILDING A	3,357 SF / 15%	18,558 SF	21,915 SF
BUILDING B	2,306 SF / 15%	12,569 SF	14,875 SF
TOTAL	5,663 SF / 15%	31,127 SF	36,790 SF

PARKING REQUIREMENTS (9.5' X 19')

WAREHOUSE	REQUIRED	PROVIDED	
1 SPACE PER 600 SF (31,127/600)	52 SPACES	55 SPACES	
OFFICE	REQUIRED	PROVIDED	
1 SPACE PER 200 SF (200 SF PER BAY) (5,663/200)	28 SPACES	30 SPACES	
ACCESSIBLE SPACES	76 - 100 SPACES	4 SPACES	4 SPACES
LOADING SPACES	2 SPACES	4 SPACES	4 SPACES
TOTAL PARKING SPACES	85 SPACES	91 SPACES	91 SPACES

TOTAL INCLUDES ACCESSIBLE SPACES & 2 LOADING SPACES

LEGAL DESCRIPTION

PARCEL 1:
A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE NORTH 01°20'45" EAST, ALONG THE EAST LINE OF SECTION 18, TOWNSHIP 35 SOUTH, RANGE 40 EAST, A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA S.R. 70); THENCE SOUTH 52°29'55" WEST, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 2,102.04 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 85°45'47" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 210.34 FEET; THENCE SOUTH 52°29'33" WEST ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 71.28 FEET; THENCE NORTH 37°30'27" WEST, A DISTANCE OF 73.78 FEET; THENCE NORTH 37°30'14" WEST, A DISTANCE OF 114.06 FEET; THENCE NORTH 37°29'33" WEST, A DISTANCE OF 33.20 FEET; THENCE SOUTH 52°29'33" WEST, A DISTANCE OF 185.54 FEET; THENCE NORTH 37°24'29" EAST, A DISTANCE OF 537.95 FEET; THENCE NORTH 52°35'31" EAST, A DISTANCE OF 149.75 FEET; THENCE SOUTH 37°24'29" EAST, A DISTANCE OF 101.01 FEET; THENCE NORTH 52°28'19" EAST, A DISTANCE OF 84.86 FEET; THENCE NORTH 76°15'19" EAST, A DISTANCE OF 109.98 FEET TO A POINT OF TANGENCY; THENCE NORTH 76°15'19" EAST, A DISTANCE OF 69.88 FEET TO A POINT ON THE ARC OF A CIRCULAR CURVE TO THE LEFT AT WHICH A RADIAL LINE BEARS NORTH 72°27'31" EAST; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 85.00 FEET AND A CENTRAL ANGLE OF 10°43'05", A DISTANCE OF 15.90 FEET TO A POINT OF TANGENCY; THENCE SOUTH 28°15'34" EAST, A DISTANCE OF 42.13 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE TO THE LEFT; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 85.00 FEET AND A CENTRAL ANGLE OF 72°51'03", A DISTANCE OF 108.98 FEET TO A POINT OF TANGENCY; THENCE NORTH 78°53'23" EAST, A DISTANCE OF 69.88 FEET TO A POINT ON THE ARC OF A CIRCULAR CURVE TO THE LEFT AT WHICH A RADIAL LINE BEARS NORTH 46°34'59" EAST; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 443.72 FEET AND A CENTRAL ANGLE OF 04°34'37", A DISTANCE OF 35.44 FEET TO A POINT OF TANGENCY; THENCE SOUTH 47°59'38" EAST, A DISTANCE OF 11.05 FEET; THENCE SOUTH 44°53'31" EAST, A DISTANCE OF 203.42 FEET TO THE POINT OF BEGINNING.

LESS A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE NORTH 01°20'45" EAST ALONG THE EAST LINE OF SECTION 18, TOWNSHIP 35 SOUTH, RANGE 40 EAST, FOR A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA S.R. 70); THENCE SOUTH 52°29'55" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 2,102.04 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND; THENCE SOUTH 55°45'47" WEST FOR A DISTANCE OF 210.34 FEET; THENCE SOUTH 52°29'33" WEST FOR A DISTANCE OF 71.28 FEET; THENCE NORTH 37°30'27" WEST FOR A DISTANCE OF 73.78 FEET; THENCE NORTH 01°22'19" WEST FOR A DISTANCE OF 267.30 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 14°31'16" WEST, HAVING A RADIUS OF 85.00 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 36.54 FEET THROUGH A CENTRAL ANGLE OF 24°37'53" TO A POINT OF TANGENCY; THENCE NORTH 78°53'23" EAST FOR A DISTANCE OF 69.88 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 46°34'59" WEST, HAVING A RADIUS OF 443.72 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 35.19 FEET THROUGH A CENTRAL ANGLE OF 04°32'39"; THENCE SOUTH 47°59'38" EAST FOR A DISTANCE OF 11.05 FEET; THENCE SOUTH 44°53'31" EAST FOR A DISTANCE OF 203.42 FEET TO THE POINT OF BEGINNING.

PARCEL 2:
A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE NORTH 01°20'45" EAST ALONG THE EAST LINE OF SECTION 18, TOWNSHIP 35 SOUTH, RANGE 40 EAST, FOR A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA S.R. 70); THENCE SOUTH 52°29'55" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 2,102.04 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND; THENCE SOUTH 55°45'47" WEST FOR A DISTANCE OF 210.34 FEET; THENCE SOUTH 52°29'33" WEST FOR A DISTANCE OF 71.28 FEET; THENCE NORTH 37°30'27" WEST FOR A DISTANCE OF 73.78 FEET; THENCE NORTH 01°22'19" WEST FOR A DISTANCE OF 267.30 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 14°31'16" WEST, HAVING A RADIUS OF 85.00 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 36.54 FEET THROUGH A CENTRAL ANGLE OF 24°37'53" TO A POINT OF TANGENCY; THENCE NORTH 78°53'23" EAST FOR A DISTANCE OF 69.88 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 46°34'59" WEST, HAVING A RADIUS OF 443.72 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 35.19 FEET THROUGH A CENTRAL ANGLE OF 04°32'39"; THENCE SOUTH 47°59'38" EAST FOR A DISTANCE OF 11.05 FEET; THENCE SOUTH 44°53'31" EAST FOR A DISTANCE OF 203.42 FEET TO THE POINT OF BEGINNING.

GENERAL NOTES

- PROPOSED DEVELOPMENT SHALL ADHERE TO THE STANDARDS SPECIFIED IN THE CITY OF FORT PIERCE CODE OF ORDINANCES SECTIONS 119 AND 125.
- THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL, AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA IN COORDINATION AND COMPLIANCE WITH EXISTING INGRESS/EGRESS EASEMENTS WITH ADJACENT PROPERTY OWNERS.
- AIR CONDITIONING AND OTHER EQUIPMENT LOCATED ON THE ROOF SHALL BE SCREENED AND CANNOT BE VISIBLE FROM AN ELEVATION THAT IS HORIZONTAL TO THE LOCATION OF THE ROOF EQUIPMENT.

CONSULTANTS

CIVIL ENGINEER:
BOWMAN
301 SE OCEAN BOULEVARD, SUITE 301
STUART, FL 34994
(772) 283-1413
OCTAVIO "OATS" REIS

SURVEYOR:
BOWMAN
301 SE OCEAN BOULEVARD, SUITE 301
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(772) 283-1413
RICHARD BARNES, P.S.M.

LANDSCAPE ARCHITECT:
HJA DESIGN STUDIO
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ERIKA BEITLER

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834 SW SWAN AVENUE
PORT ST. LUCIE, FL 34983
(772) 807-9191
PETER ANDERSON, P.E.

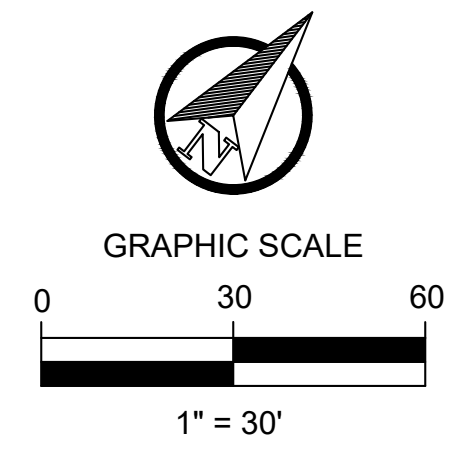
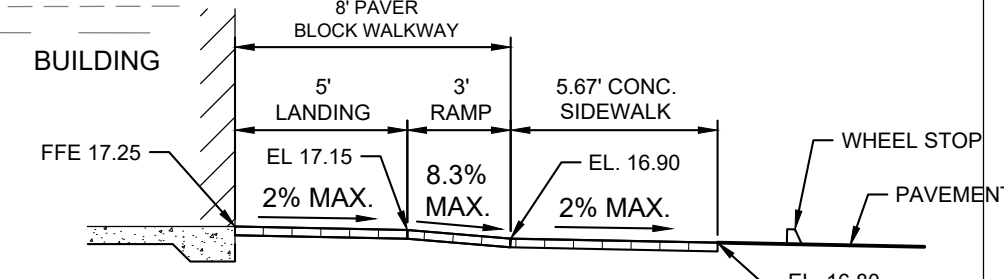
OWNER/APPLICANT:
ST. LUCIE KINGS, LLC
101 PUGLIESES WAY, SUITE 200
DELRAY BEACH, FL 33444
(561) 454-1642
DAMIAN BRINK



THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY BOWMAN CONSULTING GROUP, LTD. SHALL BE WITHOUT LIABILITY TO BOWMAN CONSULTING GROUP, LTD.

NOTE:
ALL ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD).

FINAL DESIGN (FOR REVIEW) TYPICAL PAVER BLOCK ENTRANCE DETAIL



Bowman
PROFESSIONAL SURVEYORS AND MAPPERS, CERTIFICATE NO. LB. 8030
BOARD OF PROFESSIONAL ENGINEERS, CERTIFICATE OF AUTHORIZATION NO. 39492

Bowman Consulting Group, Ltd., Inc.
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www.bowman.com
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FLORIDA

4600 FLEX SPACE

SITE PLAN

PROJECT NO
010894-01-001

OCTAVIO "OATS" REIS
LICENSE NO. 42503

PLAN STATUS

DATE	DESCRIPTION
BK DESIGN	RO DRAWN
	GMB CHKD

SCALE: 1" = 30'

JOB No. 010894

DATE January 2025

FILE No. 010894-HCP

SP1

SHEET

APPENDIX B

**ST. LUCIE COUNTY TPO TRAFFIC COUNTS AND LEVEL OF SERVICE REPORT 2024
&
FDOT 2023 Q/LOS TABLES**

Traffic Counts and Level of Service Report 2024

Roadway Name	Location	STATION ID	2024 AADT *	Last Physical Count Year	Pk Hr Service Capacity	AM Pk Hr Pk Dir			PM Pk Hr Pk Dir		
						Volume	LOS	V/C	Volume	LOS	V/C
OKEECHOBEE RD	BLUEFIELD RD to CARLTON RD	687	9,900	2024	2,000	536	B	0.27	542	B	0.27
OKEECHOBEE RD	CARLTON RD to SNEED RD	940039	9,696	2023							
OKEECHOBEE RD	IDEAL HOLDING RD to HEADER CANAL RD	940039	9,696	2023							
OKEECHOBEE RD	SNEED RD to IDEAL HOLDING RD	940039	9,696	2023							
OKEECHOBEE RD	HEADER CANAL RD to MIDWAY RD	940039	9,696	2023							
OKEECHOBEE RD	MIDWAY RD to SHINN RD	940039	9,696	2023							
OKEECHOBEE RD	SHINN RD to MCCARTY RD	940195	7,267	2023							
OKEECHOBEE RD	MCCARTY RD to FLORIDA'S TURNPIKE	940025	10,118	2023							
OKEECHOBEE RD	FLORIDA'S TURNPIKE to KINGS HWY	940025	10,118	2023							
OKEECHOBEE RD	KINGS HWY to CROSSROADS PKWY	940748	24,489	2023							
OKEECHOBEE RD	CROSSROADS PKWY to I-95	940106	26,459	2023							
OKEECHOBEE RD	I-95 to JENKINS RD	940029	33,776	2023							
OKEECHOBEE RD	JENKINS RD to MCNEIL RD	940029	33,776	2023							
OKEECHOBEE RD	MCNEIL RD to VIRGINIA AVE	940742	32,311	2023							
OKEECHOBEE RD	VIRGINIA AVE to HARTMAN RD	688	13,178	2023	2,100	681	C	0.32	672	C	0.32
OKEECHOBEE RD	HARTMAN RD to 35TH ST	688	13,178	2023	1,630	681	C	0.42	672	C	0.41
OKEECHOBEE RD	35TH ST to 33RD ST	689	15,615	2023	1,630	813	D	0.50	778	D	0.48
OKEECHOBEE RD	33RD ST to 25TH ST	689	15,615	2023	1,630	813	D	0.50	778	D	0.48
OKEECHOBEE RD	25TH ST to GEORGIA AVE	690	11,736	2023	1,630	680	C	0.42	603	C	0.37
OKEECHOBEE RD	GEORGIA AVE to DELAWARE AVE	690	11,736	2023	1,710	680	C	0.40	603	C	0.35
OLD DIXIE HWY	US 1 to SR A1A NORTH	691	436	2022	790	68	C	0.09	64	C	0.08
OLD DIXIE HWY	SR A1A NORTH to ST LUCIE BLVD	948521	1,820	2023	750	85	C	0.11	85	C	0.11
OLD DIXIE HWY	ST LUCIE BLVD to INDRIO RD	227	1,785	2022	790	145	C	0.18	106	C	0.13
OLD DIXIE HWY	INDRIO RD to INDIAN RIVER C.L.	948523	1,495	2023	870	70	C	0.08	70	C	0.08
OLEANDER AVE	BEACH AVE to KITTERMAN RD	692	2,997	2021	540	173	C	0.32	196	C	0.36
OLEANDER AVE	KITTERMAN RD to MIDWAY RD	141	6,174	2021	750	359	C	0.48	359	C	0.48
OLEANDER AVE	MIDWAY RD to WEATHERBEE RD	139	6,049	2023	750	342	C	0.46	345	C	0.46
OLEANDER AVE	WEATHERBEE RD to BELL AVE	139	6,049	2023	540	342	D	0.63	345	D	0.64
OLEANDER AVE	BELL AVE to FARMER'S MARKET RD	240	9,400	2024	540	465	D	0.86	461	D	0.85
OLEANDER AVE	FARMER'S MARKET RD to EDWARDS RD	240	9,400	2024	750	465	D	0.62	461	D	0.61
OLEANDER AVE	EDWARDS RD to WISTERIA AVE	505	9,200	2024	750	590	D	0.79	518	D	0.69
OLEANDER AVE	WISTERIA AVE to GARDENIA AVE	505	9,200	2024	540	590	F	1.09	518	D	0.96

* **NOTE:** A six digit number in the "STATION ID" column identifies segment counted by FDOT. FDOT count stations use standard K and D factors to determine peak hour values. Peak hour data is not available for locations on State roads due to differences in data availability, LOS Methodologies, and service level thresholds. Please refer to FDOT sources for detailed data on FDOT traffic counts.

* Volumes shown were adjusted using FDOT Seasonal Factors

* AADT = Annual Average Daily Traffic (volumes for both directions where applicable)

* **NOTE:** If the Last Count Year is older than the year of the report, the AADT is projected from historical traffic count data.

C3C & C3R

Motor Vehicle Arterial Generalized Service Volume Tables

Peak Hour Directional

Peak Hour Two-Way

AADT



(C3C-Suburban Commercial)

	B	C	D	E
1 Lane	*	760	1,070	**
2 Lane	*	1,520	1,810	**
3 Lane	*	2,360	2,680	**
4 Lane	*	3,170	3,180	**

	B	C	D	E
2 Lane	*	1,380	1,950	**
4 Lane	*	2,760	3,290	**
6 Lane	*	4,290	4,870	**
8 Lane	*	5,760	5,780	**

	B	C	D	E
2 Lane	*	15,300	21,700	**
4 Lane	*	30,700	36,600	**
6 Lane	*	47,700	54,100	**
8 Lane	*	64,000	64,200	**



(C3R-Suburban Residential)

	B	C	D	E
1 Lane	*	970	1,110	**
2 Lane	*	1,700	1,850	**
3 Lane	*	2,620	2,730	**

	B	C	D	E
2 Lane	*	1,760	2,020	**
4 Lane	*	3,090	3,360	**
6 Lane	*	4,760	4,960	**

	B	C	D	E
2 Lane	*	19,600	22,400	**
4 Lane	*	34,300	37,300	**
6 Lane	*	52,900	55,100	**

Adjustment Factors

The peak hour directional service volumes should be adjusted by multiplying by 1.2 for one-way facilities
 The AADT service volumes should be adjusted by multiplying 0.6 for one way facilities
 2 Lane Divided Roadway with an Exclusive Left Turn Lane(s): Multiply by 1.05
 2 lane Undivided Roadway with No Exclusive Left Turn Lane(s): Multiply by 0.80

Exclusive right turn lane(s): Multiply by 1.05
 Multilane Undivided Roadway with an Exclusive Left Turn Lane(s): Multiply by 0.95
 Multilane Roadway with No Exclusive Left Turn Lane(s): Multiply by 0.75
 Non-State Signalized Roadway: Multiply by 0.90

This table does not constitute a standard and should be used only for general planning applications. The table should not be used for corridor or intersection design, where more refined techniques exist.

* Cannot be achieved using table input value defaults.

** Not applicable for that level of service letter grade. For the automobile mode, volumes greater than level of service D become F because intersection capacities have been reached.

COUNTY: 94
 STATION: 0742
 DESCRIPTION: SR 70/OKEECHOBEE RD - SW OF SR 70/VIRGINIA AVE (CO
 START DATE: 05/02/2023
 START TIME: 1200

TIME	DIRECTION: E					DIRECTION: W					COMBINED TOTAL	
	1ST	2ND	3RD	4TH	TOTAL	1ST	2ND	3RD	4TH	TOTAL		
0000	31	27	23	18	99	31	18	18	19	86	185	
0100	24	16	9	16	65	23	10	8	10	51	116	
0200	17	17	22	6	62	11	15	10	14	50	112	
0300	11	8	10	21	50	16	19	12	12	59	109	
0400	15	25	31	24	95	28	10	41	56	135	230	
0500	29	41	75	91	236	36	75	79	123	313	549	
0600	123	147	179	271	720	161	227	280	225	893	1613	
0700	222	308	430	474	1434	233	230	302	274	1039	2473	
0800	377	364	312	335	1388	264	266	289	244	1063	2451	
0900	255	302	272	289	1118	246	240	234	229	949	2067	
1000	273	292	260	292	1117	229	260	274	279	1042	2159	
1100	275	221	270	291	1057	262	240	304	286	1092	2149	
1200	286	301	323	307	1217	321	291	286	285	1183	2400	
1300	302	272	284	327	1185	294	308	288	317	1207	2392	
1400	277	302	299	288	1166	313	284	296	287	1180	2346	
1500	354	333	379	347	1413	362	386	378	357	1483	2896	
1600	331	405	341	357	1434	347	364	407	387	1505	2939	
1700	333	387	407	390	1517	413	431	342	337	1523	3040	
1800	329	341	287	289	1246	285	274	264	275	1098	2344	
1900	254	243	226	203	926	250	249	207	202	908	1834	
2000	208	189	184	200	781	216	202	192	183	793	1574	
2100	143	147	114	101	505	146	150	99	131	526	1031	
2200	120	127	106	71	424	107	66	55	48	276	700	
2300	79	55	56	33	223	58	41	46	25	170	393	
24-HOUR TOTALS:					19478						18624	38102

PEAK VOLUME INFORMATION

	DIRECTION: E		DIRECTION: W		COMBINED DIRECTIONS	
	HOUR	VOLUME	HOUR	VOLUME	HOUR	VOLUME
A.M.	730	1645	730	1106	730	2751
P.M.	1700	1517	1630	1638	1645	3057
DAILY	730	1645	1630	1638	1645	3057

APPENDIX C

GROWTH RATE
&
BACKGROUND TRAFFIC

FLORIDA DEPARTMENT OF TRANSPORTATION
TRANSPORTATION STATISTICS OFFICE
2023 HISTORICAL AADT REPORT

COUNTY: 94 - ST.LUCIE

SITE: 0742 - SR 70/OKEECHOBEE RD - SW OF SR 70/VIRGINIA AVE (COUNTY 742)

YEAR	AADT		DIRECTION 1	DIRECTION 2	*K FACTOR	D FACTOR	T FACTOR
2023	37000	C	E 19000	W 18000	9.00	51.60	11.40
2022	33500	C	E 17000	W 16500	9.00	51.40	11.40
2021	35500	C	E 18500	W 17000	9.00	50.90	11.40
2020	29500	F	E 14000	W 15500	9.00	51.30	4.60
2019	30500	C	E 14500	W 16000	9.00	51.00	4.60
2018	31500	C	E 16500	W 15000	9.00	51.30	4.60
2017	31500	C	E 15500	W 16000	9.00	50.90	12.00
2016	26000	C	E 15500	W 10500	9.00	50.90	12.00
2015	26500	C	E 11500	W 15000	9.00	51.00	12.00
2014	30000	C	E 15000	W 15000	9.00	50.80	6.10
2013	27000	C	E 12500	W 14500	9.00	50.80	3.80
2012	33000	C	E 16500	W 16500	9.00	56.80	3.80
2008	32500	C	E 16500	W 16000	10.45	58.06	6.70

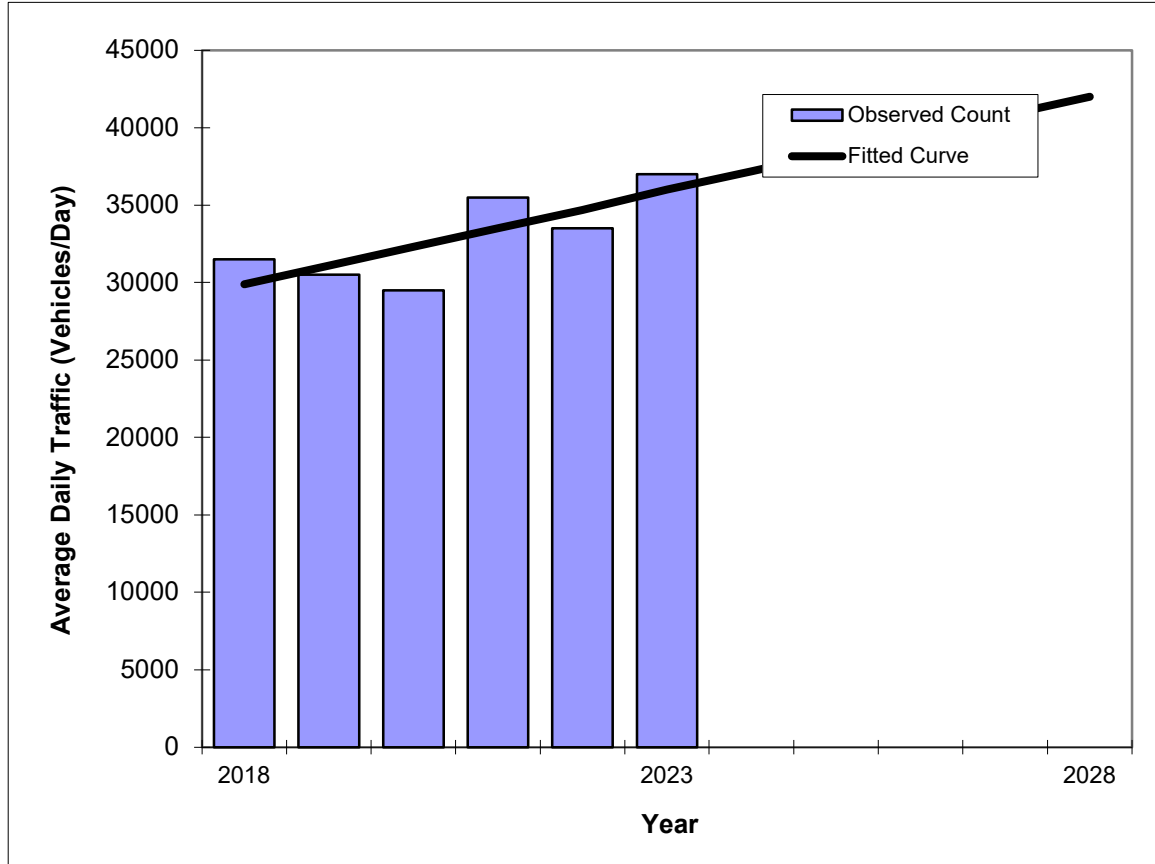
AADT FLAGS: C = COMPUTED; E = MANUAL ESTIMATE; F = FIRST YEAR ESTIMATE
S = SECOND YEAR ESTIMATE; T = THIRD YEAR ESTIMATE; R = FOURTH YEAR ESTIMATE
V = FIFTH YEAR ESTIMATE; 6 = SIXTH YEAR ESTIMATE; X = UNKNOWN

*K FACTOR: STARTING WITH YEAR 2011 IS STANDARDK, PRIOR YEARS ARE K30 VALUES

Traffic Trends - V2.0

PIN#	973215-1
Location	1

County:	St. Lucie (94)
Station #:	0
Highway:	0



Year	Traffic (ADT/AADT)	
	Count*	Trend**
2018	31500	29900
2019	30500	31100
2020	29500	32300
2021	35500	33500
2022	33500	34700
2023	37000	36000
2025 Opening Year Trend		
2025	N/A	38400
2026 Mid-Year Trend		
2026	N/A	39600
2028 Design Year Trend		
2028	N/A	42000
TRANPLAN Forecasts/Trends		

** Annual Trend Increase:	1,214
Trend R-squared:	59.72%
Trend Annual Historic Growth Rate:	4.08%
Trend Growth Rate (2023 to Design Year):	3.33%
Printed:	29-Jan-25
Straight Line Growth Option	

*Axle-Adjusted

AM APPROVED PROJECTS			Ferrell Communities						Creekside						Whispering Oaks					
Road Name	From	To	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W
Okeechobee Rd	McNeil Rd	Virginia Ave	15%	398	27	OUT	21	6	30%	2,233	169	OUT	126	43	2%	56	4	OUT	3	1
				2,655	181		In	42		7,443	564		In	143		2,806	212		In	45
				Daily	Two-Way		Out	139		Daily	Two-Way		Out	421		Daily	Two-Way		Out	167

AM APPROVED PROJECTS			Viva at Treasure Coast West						Viva at Treasure Coast East						3000 Virginia					
Road Name	From	To	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W
Okeechobee Rd	McNeil Rd	Virginia Ave	40%	599	37	OUT	28	9	40%	558	35	OUT	26	8	45%	1,072	60	IN	14	46
				1,498	92		In	22		1,396	87		In	21		2,383	134		In	32
				Daily	Two-Way		Out	70		Daily	Two-Way		Out	66		Daily	Two-Way		Out	102

AM APPROVED PROJECTS			Project Hunt					Kings Highway Warehouse					Woodspring Suites Ft Pierce							
Road Name	From	To	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W
Okeechobee Rd	McNeil Rd	Virginia Ave	9%	86	9	OUT	2	8	3%	153	20	OUT	10	10	40%	360	22	OUT	10	12
				956	101		In	84		5,100	683		In	342		899	54		In	30
				Daily	Two-Way		Out	17		Daily	Two-Way		Out	341		Daily	Two-Way		Out	24

AM APPROVED PROJECTS			Jenkins Waypoint / Resurrection Life					Project Hurricane						
Road Name	From	To	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W
Okeechobee Rd	McNeil Rd	Virginia Ave	10%	332	21	OUT	16	5	40%	169	19	OUT	5	14
				3,318	209		In	53		422	48		In	36
				Daily	Two-Way		Out	156		Daily	Two-Way		Out	12

AM APPROVED PROJECTS			SUM Daily		SUM 2 Way		SUM Directional N/E		SUM Directional S/W		Two Way		Directional N/E		Directional S/W	
Road Name	From	To	Residential	Non-Residential	Residential	Non-Residential	Residential	Non-Residential	Residential	Non-Residential	Double Count	Net 2 Way	Double Count	Net	Double Count	Net
Okeechobee Rd	McNeil Rd	Virginia Ave	5,249	767	353	70	235	26	119	44	-14	410	-5	256	-9	154

PM APPROVED PROJECTS			Ferrell Communities						Creekside						Whispering Oaks					
Road Name	From	To	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W
Okeechobee Rd	McNeil Rd	Virginia Ave	15%	398	29	OUT	11	17	30%	2,233	205	OUT	77	128	2%	56	5	OUT	2	3
				2,655	190		In	116		7,443	682		In	426		2,806	266		In	172
				Daily	Two-Way		Out	74		Daily	Two-Way		Out	256		Daily	Two-Way		Out	94

PM APPROVED PROJECTS			Viva at Treasure Coast West						Viva at Treasure Coast East						3000 Virginia					
Road Name	From	To	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W
Okeechobee Rd	McNeil Rd	Virginia Ave	40%	599	46	OUT	17	29	40%	558	44	OUT	16	28	45%	1,072	79	IN	50	29
				1,498	116		In	73		1,396	109		In	69		2,383	175		In	110
				Daily	Two-Way		Out	43		Daily	Two-Way		Out	40		Daily	Two-Way		Out	65

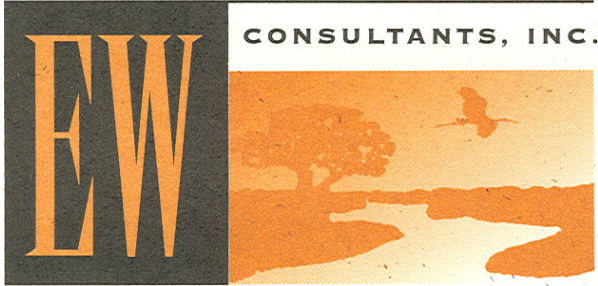
PM APPROVED PROJECTS			Project Hunt						Kings Highway Warehouse						Woodspring Suites Ft Pierce					
Road Name	From	To	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W
Okeechobee Rd	McNeil Rd	Virginia Ave	9%	86	10	OUT	8	3	3%	153	20	OUT	6	14	40%	360	25	OUT	12	13
				956	114		In	29		5,100	674		In	458		899	62		In	32
				Daily	Two-Way		Out	85		Daily	Two-Way		Out	216		Daily	Two-Way		Out	30

PM APPROVED PROJECTS			Jenkins Waypoint / Resurrection Life						Project Hurricane					
Road Name	From	To	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W
Okeechobee Rd	McNeil Rd	Virginia Ave	10%	332	27	OUT	10	17	40%	169	24	OUT	15	9
				3,318	274		In	172		422	60		In	23
				Daily	Two-Way		Out	102		Daily	Two-Way		Out	37

PM APPROVED PROJECTS			SUM Daily		SUM 2 Way		SUM Directional N/E		SUM Directional S/W		Two Way		Directional N/E		Directional S/W	
Road Name	From	To	Residential	Non-Residential	Residential	Non-Residential	Residential	Non-Residential	Residential	Non-Residential	Double Count	Net 2 Way	Double Count	Net	Double Count	Net
Okeechobee Rd	McNeil Rd	Virginia Ave	5,249	767	435	79	183	41	252	38	-16	498	-8	215	-8	283

EW Consultants, Inc.

Natural Resource Management, Wetland, and Environmental Permitting Services



4646 OKEECHOBEE ROAD

ENVIRONMENTAL ASSESSMENT

Prepared For:

LAND AMERICA

Prepared By:

EW CONSULTANTS, INC.

December 2022

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I. INTRODUCTION –

This Environmental Assessment Report details the land covers present on a piece of improved land located at 4646 Okeechobee Road in the City of Fort Pierce, Florida. In particular, this report focuses on the potential listed species which may be found within the open grassed areas of the subject site.

The 3.57-acre project site is located north of and adjacent to Okeechobee Road, just east of McNeill Road, and south of the Portofino Landings project (see Figure 1 in Appendix A, Location Map). It lies within Section 19, Township 35S, Range 40E, as shown on Figure 2 in Appendix A, USGS Quadrangle Map.

II. GENERAL PROPERTY DESCRIPTION –

Based on a December 2022 site visit conducted by staff from EW Consultants, Inc., the majority of the property is improved (paved parking lot) with no vertical construction. There are open areas of mowed grass generally located along the eastern portions of the property, as well as within the parking lot islands. The northwestern portion of the site includes a small portion of the Portofino Landings project (parking spaces and a dumpster).

The project site is bounded by Okeechobee Road to the south, commercial development to the west (a Shell gas station and a Tractor Supply store), the Portofino Landings multi-family residential project to the north, and Fivemile Creek (a North St. Lucie River Water Control District canal) to the east. Figure 3 in Appendix A is a 2021 aerial photo of the subject property and immediate surroundings.

III. SOIL TYPES –

A Soils Report produced by the United States Department of Agriculture/Natural Resources Conservation Service is provided in Appendix B of this report. Any natural soil types are likely heavily altered due to the improvement of the project site from past development activities.

IV. EXISTING LAND COVER TYPES –

The land cover types on the subject property have been classified in accordance with the Florida Land Use & Cover Classifications System developed by the Florida Department of Transportation. The site has one land cover type: #192 - Inactive Lands with Street Patterns but without Structures. This land cover consists of the paved remnant parking lot on-site as well as the grassed areas to the east. Grasses consist mainly of ruderal species such as cogon grass, Bahia, Bermuda, smutgrass, guinea grass, limpo grass, Spanish needles, ragweed, rattlebox, bushy broomsedge, among others. Along the north property line is a black chain-link fence with Brazilian pepper and green buttonwood bushes at its base. There are no intact native wetland or upland habitat on-site.

Figure 4 in Appendix A provides an aerial view and nomenclature for the land cover type described.

V. SPECIMEN NATIVE TREES

There are no mature native tree species on the subject site; therefore there are no native trees which meet the City's protection standards. Planted laurel oaks exists adjacent to the project site in the southwest portion of the property. These trees are part of the landscaping for the adjacent Shell gas station.

VI. LISTED SPECIES DISCUSSION

During the field assessment of the property in December of 2022, observations were made for the presence or potential presence of listed fauna. Although the site is largely developed/paved, the open grassed areas with sandy soils provide potential foraging and burrowing habitat for state threatened gopher tortoise.

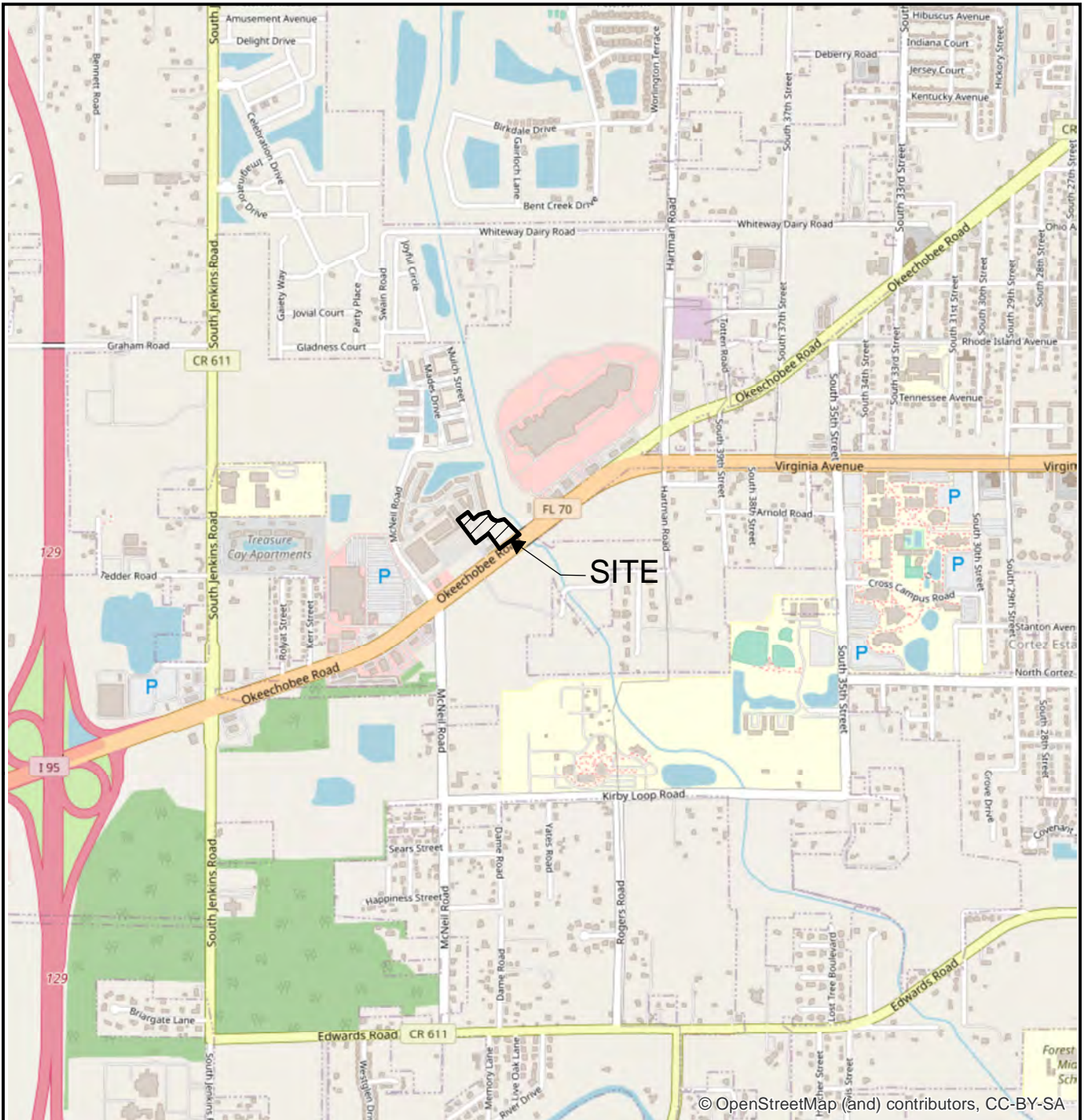
No potentially occupied burrows of this species were observed during the recent site visit. This survey is valid for 90 days and must be updated prior to land alteration activities.

Non-listed species observed on and near the site included a snipe flushed from the high grass, black vultures in-flight, and an osprey observed perched on top of a powerline pole on the east side of Fivemile Creek northeast of the project site. No other wildlife species were observed on-site at the time of the field reconnaissance in December 2022.


APPENDIX A

Maps and Figures:

- Figure 1: Location Map
- Figure 2: USGS Quadrangle Map
- Figure 3: 2021 Aerial Photograph
- Figure 4: Land Cover/FLUCCS Map



LEGEND

 - SITE (3.6+/- AC)



**4646 OKEECHOBEE ROAD
LOCATION**



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DEC 2022

FIGURE

1



USGS QUAD MAP "FORT PIERCE", SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, CITY OF FORT PIERCE, ST LUCIE COUNTY, FLORIDA LATITUDE 27°25'24.50" LONGITUDE -80d22'22.78"

LEGEND

 - SITE (3.6± AC)



4646 OKEECHOBEE ROAD

QUAD MAP

4646 Okeechobee Rd.dwg QUAD



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DEC 2022

FIGURE

2



FDOT AERIALS DATED 2021

0 200
SCALE IN FEET



4646 OKEECHOBEE ROAD

AERIAL

4646 Okeechobee Rd.dwg AERIAL



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DEC 2022

FIGURE

3



FDOT AERIALS DATED 2021

LEGEND
192 - INACTIVE LAND WITH STREET PATTERNS BUT
WITHOUT STRUCTURES (3.6± AC)



4646 OKEECHOBEE ROAD FLUCCS



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DEC 2022
FIGURE
4

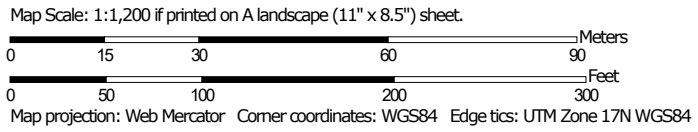
APPENDIX B

NRCS Custom Soils Report

Soil Map—St. Lucie County, Florida
(4646 OKEECHOBEE ROAD)




Soil Map may not be valid at this scale.




MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

Transportation



Rails



Interstate Highways



US Routes



Major Roads

Background



Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: St. Lucie County, Florida

Survey Area Data: Version 16, Sep 2, 2022

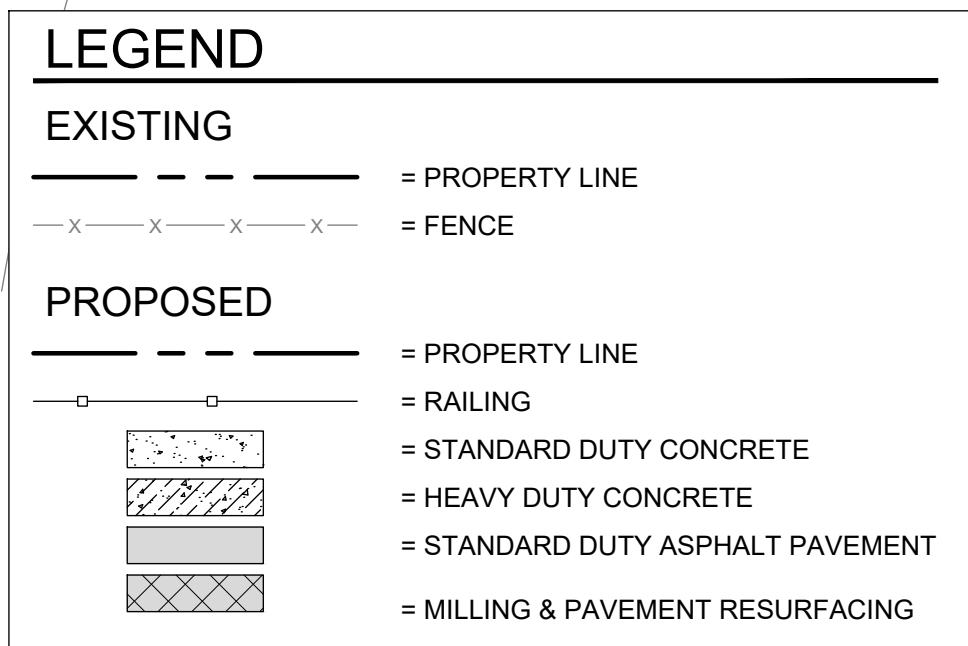
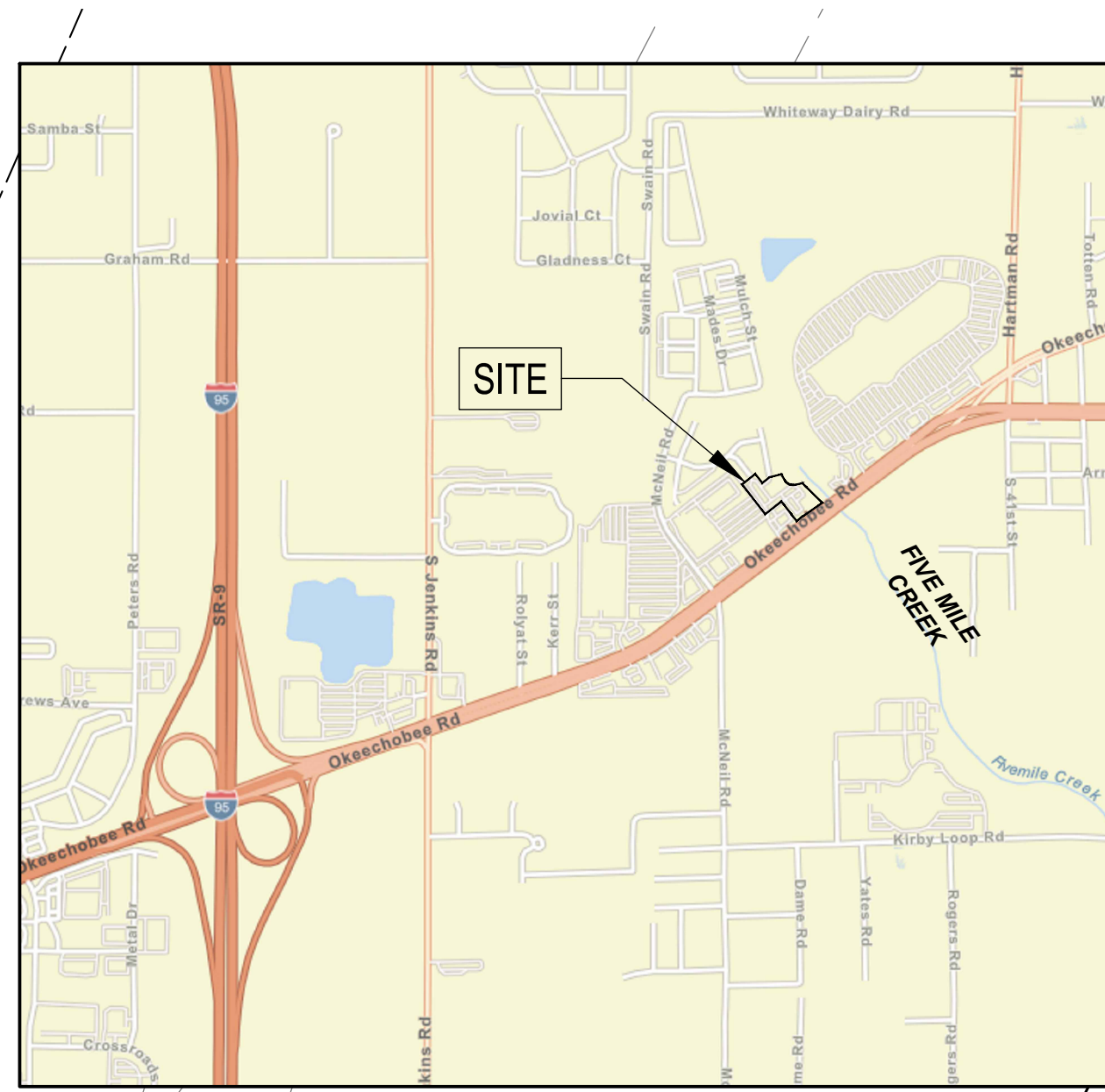
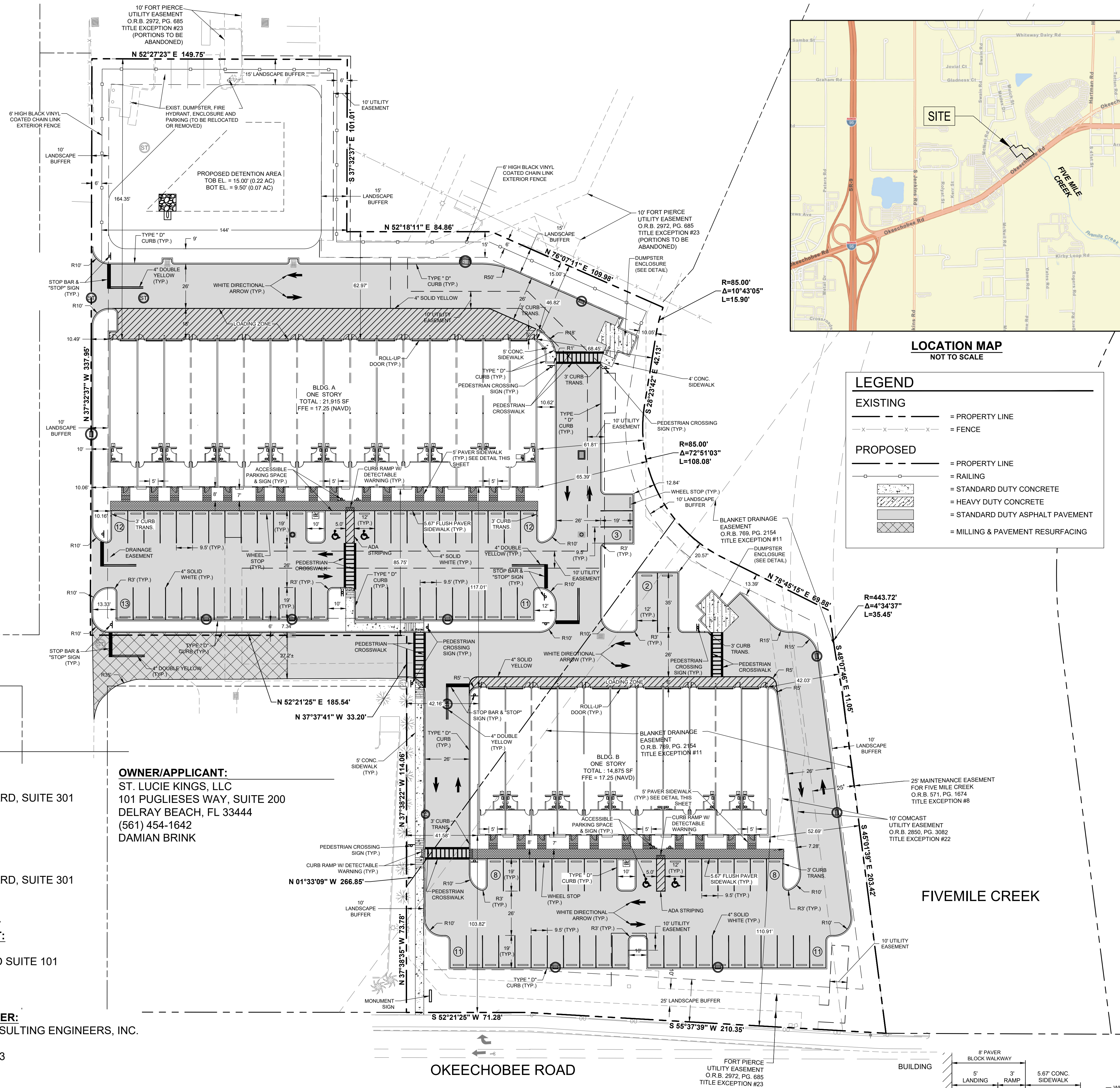
Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jan 18, 2022—Jan 30, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
38	Riviera fine sand, 0 to 2 percent slopes	3.5	98.8%
55	Winder loamy sand	0.0	1.2%
Totals for Area of Interest		3.6	100.0%



SITE DATA

TOTAL SITE AREA	155,352 SF / 3.57 AC
GENERAL LAND USE	GENERAL COMMERCIAL (GC)
EXISTING ZONING	COMMERCIAL GENERAL (C-3)
EXISTING USE	VACANT COMMERCIAL
PROPOSED USE	FLEX SPACE (WHOLE SALE TRADE / WAREHOUSE & FREIGHT)
BUILDING COVERAGE	36,790 SF
MAXIMUM BUILDING HEIGHT	30'
PROPOSED BUILDING HEIGHT	30'
PARCEL CONTROL NUMBER	2419-122-0001-050-9
	2419-122-0001-040-6

OPEN SPACE

REQUIRED	31,070 SF	0.71 AC	20%
PROVIDED	47,933 SF	1.10 AC	31%
TOTAL LANDSCAPE AREA	47,933 SF	1.10 AC	31%

SET BACKS

	REQUIRED (MIN.)	PROVIDED
FRONT	25'	103.82'
SIDE	10'	42.03'
REAR	15'	46.82'

LANDSCAPE AREA

TOTAL LANDSCAPE AREA	47,933 SF	1.10 AC	31%
----------------------	-----------	---------	-----

IMPERVIOUS AREA

BUILDING COVERAGE	36,790 SF	0.85 AC	24%
VEHICULAR USE AREA	61,960 SF	1.42 AC	40%
PAVERS/WALKS/DUMPSTER	8,669 SF	0.19 AC	5%
TOTAL	107,419 SF	2.46 AC	69%

BUILDING DATA

BUILDING	OFFICE	WAREHOUSE	TOTAL
BUILDING A	3,357 SF / 15%	18,558 SF	21,915 SF
BUILDING B	2,306 SF / 15%	12,569 SF	14,875 SF
TOTAL	5,663 SF / 15%	31,127 SF	36,790 SF

PARKING REQUIREMENTS (9.5' X 19')

WAREHOUSE	REQUIRED	PROVIDED
1 SPACE PER 600 SF (31,127/600)	52 SPACES	55 SPACES
OFFICE	REQUIRED	PROVIDED
1 SPACE PER 200 SF (200 SF PER BAY) (5,663/200)	28 SPACES	30 SPACES
ACCESSIBLE SPACES	76 - 100 SPACES	4 SPACES
LOADING SPACES	1 SPACES	4 SPACES
TOTAL PARKING SPACES	85 SPACES	91 SPACES

TOTAL INCLUDES ACCESSIBLE SPACES & 2 LOADING SPACES

LEGAL DESCRIPTION

PARCEL 1:
A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE NORTH 01°20'45" EAST, ALONG THE EAST LINE OF SECTION 18, TOWNSHIP 35 SOUTH, RANGE 40 EAST, A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA S.R. 70); THENCE SOUTH 52°29'55" WEST, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 2,102.04 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 85°45'47" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 210.34 FEET; THENCE SOUTH 52°29'33" WEST ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 71.28 FEET; THENCE NORTH 37°30'27" WEST, A DISTANCE OF 73.78 FEET; THENCE NORTH 37°30'14" WEST, A DISTANCE OF 114.06 FEET; THENCE NORTH 37°29'33" WEST, A DISTANCE OF 33.20 FEET; THENCE SOUTH 52°29'33" WEST, A DISTANCE OF 185.54 FEET; THENCE NORTH 37°24'29" EAST, A DISTANCE OF 537.95 FEET; THENCE NORTH 52°35'31" EAST, A DISTANCE OF 149.75 FEET; THENCE SOUTH 37°24'29" EAST, A DISTANCE OF 101.01 FEET; THENCE NORTH 52°28'19" EAST, A DISTANCE OF 84.96 FEET; THENCE NORTH 78°15'19" EAST, A DISTANCE OF 109.98 FEET TO A POINT ON THE ARC OF A CIRCULAR CURVE TO THE LEFT AT WHICH A RADIAL LINE BEARS NORTH 72°27'31" EAST; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 85.00 FEET AND A CENTRAL ANGLE OF 10°43'05", A DISTANCE OF 15.90 FEET TO A POINT OF TANGENCY; THENCE SOUTH 28°15'34" EAST, A DISTANCE OF 42.13 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE TO THE LEFT; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 85.00 FEET AND A CENTRAL ANGLE OF 72°51'03", A DISTANCE OF 108.98 FEET TO A POINT OF TANGENCY; THENCE NORTH 78°53'23" EAST, A DISTANCE OF 69.88 FEET TO A POINT ON THE ARC OF A CIRCULAR CURVE TO THE LEFT AT WHICH A RADIAL LINE BEARS NORTH 46°34'59" EAST; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 443.72 FEET AND A CENTRAL ANGLE OF 04°34'37", A DISTANCE OF 35.44 FEET TO A POINT OF TANGENCY; THENCE SOUTH 47°59'38" EAST, A DISTANCE OF 11.05 FEET; THENCE SOUTH 44°53'31" EAST, A DISTANCE OF 203.42 FEET TO THE POINT OF BEGINNING.

LESS A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE NORTH 01°20'45" EAST ALONG THE EAST LINE OF SECTION 18, TOWNSHIP 35 SOUTH, RANGE 40 EAST, FOR A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA S.R. 70); THENCE SOUTH 52°29'55" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 2,102.04 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND; THENCE SOUTH 55°45'47" WEST FOR A DISTANCE OF 210.34 FEET; THENCE SOUTH 52°29'33" WEST FOR A DISTANCE OF 71.28 FEET; THENCE NORTH 37°30'27" WEST FOR A DISTANCE OF 73.78 FEET; THENCE NORTH 01°22'19" WEST FOR A DISTANCE OF 267.30 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 14°31'16" WEST, HAVING A RADIUS OF 85.00 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 38.54 FEET THROUGH A CENTRAL ANGLE OF 24°37'53" TO A POINT OF TANGENCY; THENCE NORTH 78°53'23" EAST FOR A DISTANCE OF 69.88 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 46°34'59" WEST, HAVING A RADIUS OF 443.72 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 35.19 FEET THROUGH A CENTRAL ANGLE OF 04°32'39"; THENCE SOUTH 47°59'38" EAST FOR A DISTANCE OF 11.05 FEET; THENCE SOUTH 44°53'31" EAST FOR A DISTANCE OF 203.42 FEET TO THE POINT OF BEGINNING.

PARCEL 2:
A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE NORTH 01°20'45" EAST ALONG THE EAST LINE OF SECTION 18, TOWNSHIP 35 SOUTH, RANGE 40 EAST, FOR A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA S.R. 70); THENCE SOUTH 52°29'55" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 2,102.04 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND; THENCE SOUTH 55°45'47" WEST FOR A DISTANCE OF 210.34 FEET; THENCE SOUTH 52°29'33" WEST FOR A DISTANCE OF 71.28 FEET; THENCE NORTH 37°30'27" WEST FOR A DISTANCE OF 73.78 FEET; THENCE NORTH 01°22'19" WEST FOR A DISTANCE OF 267.30 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 14°31'16" WEST, HAVING A RADIUS OF 85.00 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 38.54 FEET THROUGH A CENTRAL ANGLE OF 24°37'53" TO A POINT OF TANGENCY; THENCE NORTH 78°53'23" EAST FOR A DISTANCE OF 69.88 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 46°34'59" WEST, HAVING A RADIUS OF 443.72 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 35.19 FEET THROUGH A CENTRAL ANGLE OF 04°32'39"; THENCE SOUTH 47°59'38" EAST FOR A DISTANCE OF 11.05 FEET; THENCE SOUTH 44°53'31" EAST FOR A DISTANCE OF 203.42 FEET TO THE POINT OF BEGINNING.

GENERAL NOTES

- PROPOSED DEVELOPMENT SHALL ADHERE TO THE STANDARDS SPECIFIED IN THE CITY OF FORT PIERCE CODE OF ORDINANCES SECTIONS 119 AND 125.
- THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL, AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA IN COORDINATION AND COMPLIANCE WITH EXISTING INGRESS/EGRESS EASEMENTS WITH ADJACENT PROPERTY OWNERS.
- AIR CONDITIONING AND OTHER EQUIPMENT LOCATED ON THE ROOF SHALL BE SCREENED AND CANNOT BE VISIBLE FROM AN ELEVATION THAT IS HORIZONTAL TO THE LOCATION OF THE ROOF EQUIPMENT.

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PETER ANDERSON, P.E.

OWNER/APPLICANT:
ST. LUCIE KINGS, LLC
101 PUGLIESES WAY, SUITE 200
DELRAY BEACH, FL 33444
(561) 454-1642
DAMIAN BRINK

NOTE:
ALL ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD).



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FLORIDA

4600 FLEX SPACE

SITE PLAN

PROJECT NO
010894-01-001

OCTAVIO "OATS" REIS
LICENSE NO. 42503

PLAN STATUS

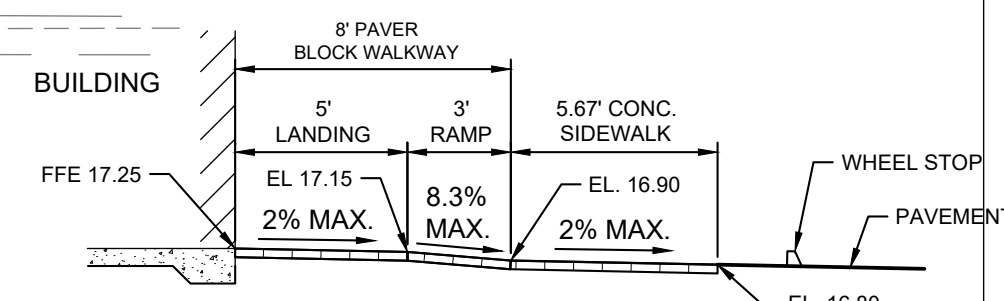
DATE	DESCRIPTION
BK DESIGN	RO DRAWN
	GMB CHKD

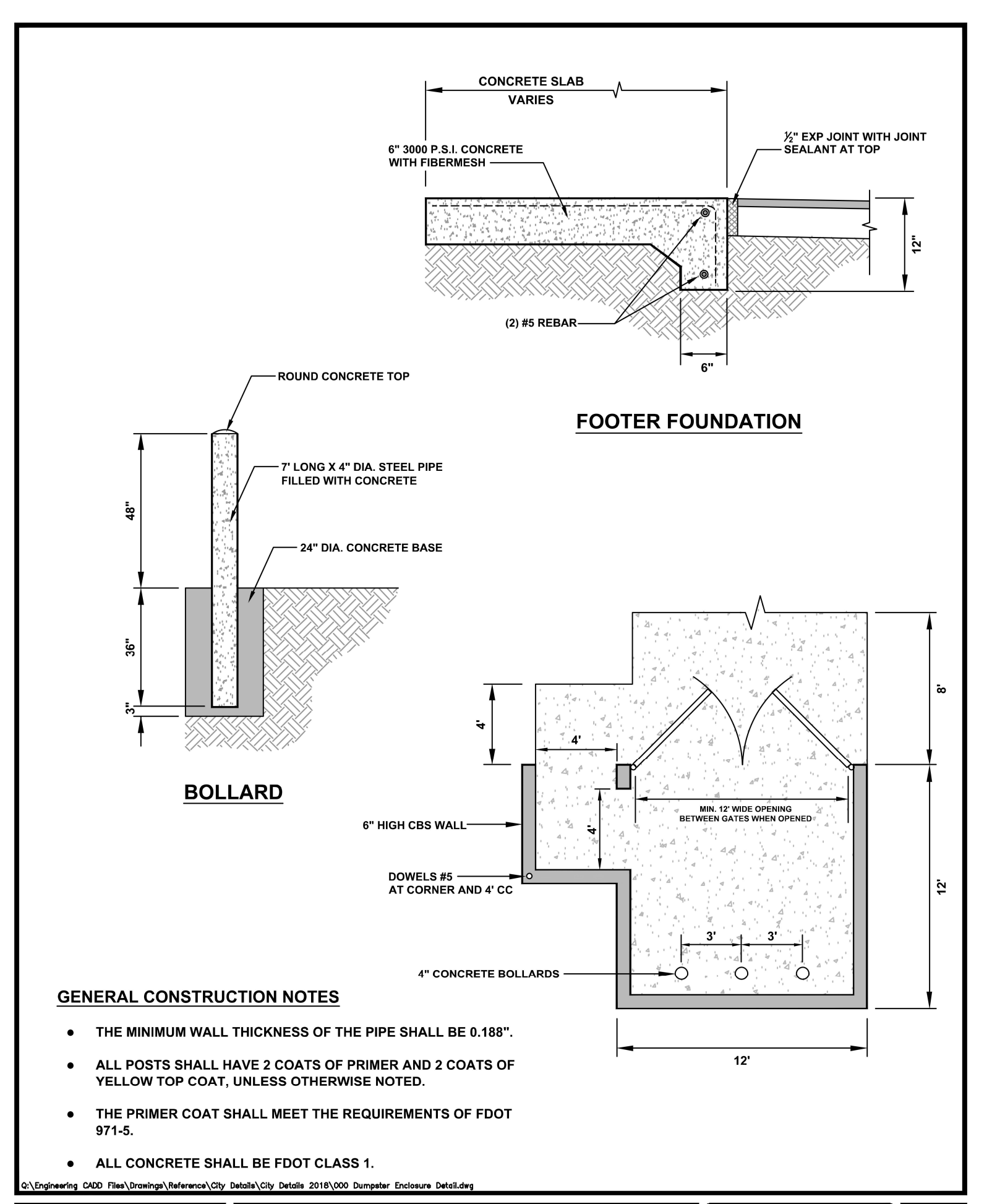
GRAPHIC SCALE

0 30 60
1" = 30'

JOB No.	010894
DATE	March 2025
FILE No.	010894-HCP
SHEET	SP1

FINAL DESIGN (FOR REVIEW) TYPICAL PAVER BLOCK ENTRANCE DETAIL

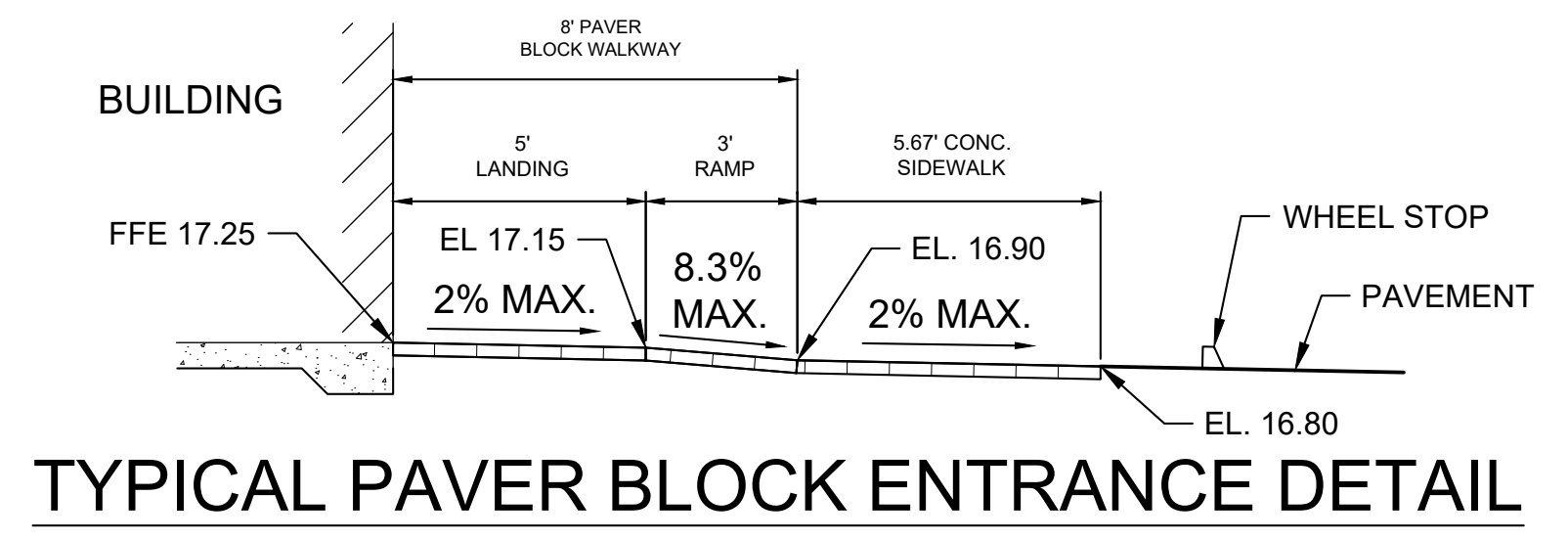




GENERAL CONSTRUCTION NOTES

- THE MINIMUM WALL THICKNESS OF THE PIPE SHALL BE 0.188\"/>

	DUMPSTER ENCLOSURE DETAIL	DATE: MAY 2022	SHEET
		SCALE: N.T.S.	
		DRAWN: DJS/MNR	



TYPICAL PAVER BLOCK ENTRANCE DETAIL

811 KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG
www.callsunshine.com

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY BOWMAN CONSULTING GROUP, LTD. SHALL BE WITHOUT LIABILITY TO BOWMAN CONSULTING GROUP, LTD.

NOTE:
ALL ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD).

FINAL DESIGN (FOR REVIEW)

Bowman Consulting Group, Ltd., Inc.
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Stuart, Florida 34994
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4600 FLEX SPACE
SITE PLAN
FLORIDA
FORT PIERCE

PROJECT NO
010894-01-001

OCTAVIO "OATS" REIS
LICENSE NO. 42503

PLAN STATUS		
DATE	DESCRIPTION	

BK DESIGN	RO DRAWN	GMB CHKD
SCALE: 1" = 30'		
JOB No. 010894		
DATE March 2025		
FILE No. 010894-HCP		
SP2		
SHEET		

Landscape Data

Landscape Strip Adjacent to Public R.O.W

Ten (10) feet wide minimum landscape Strip.
One (1) tree for each three hundred (300) square feet of required landscaped area.

Portofino Landings (West): 315 LF x 10 = 3,150 sf
 Trees Required: (3,150 sf / 300) = 11 Trees
 Trees Provided: = 11 Trees
 (9 Trees + 6 Palms (3:1))

Okeechobee Road (South): 282 LF x 10 = 2,820 sf
 Trees Required: (2,820 sf / 300) = 9 Trees
 Trees Provided: = 15 Trees

Landscape Strip Adjacent to Other Property

Vehicular use, building, retention/detention areas adjacent to other property
 Ten (10) feet wide minimum landscape Strip.
 One (1) tree for each three hundred (200) square feet of required landscaped area.
 Fence/Vegetated screening required where VUA abuts residentially zoned property.

Portofino Landings (North): 678 LF x 10 = 6,780 sf
 Trees Required: (6,780 sf / 300) = 23 Trees
 Trees Provided: = 29 Trees
 (23 Trees + 18 Palms (3:1))

Five Mile Creek (East): 250 LF x 10 = 2,500 sf
 Trees Required: (2,500 sf / 300) = 8 Trees
 Trees Provided: = 8 Trees

Sea Lion Real Estate (West): 221 LF x 10 = 2,210 sf
 Trees Required: (2,210 sf / 300) = 7 Trees
 Trees Provided: = 9 Trees (Existing)

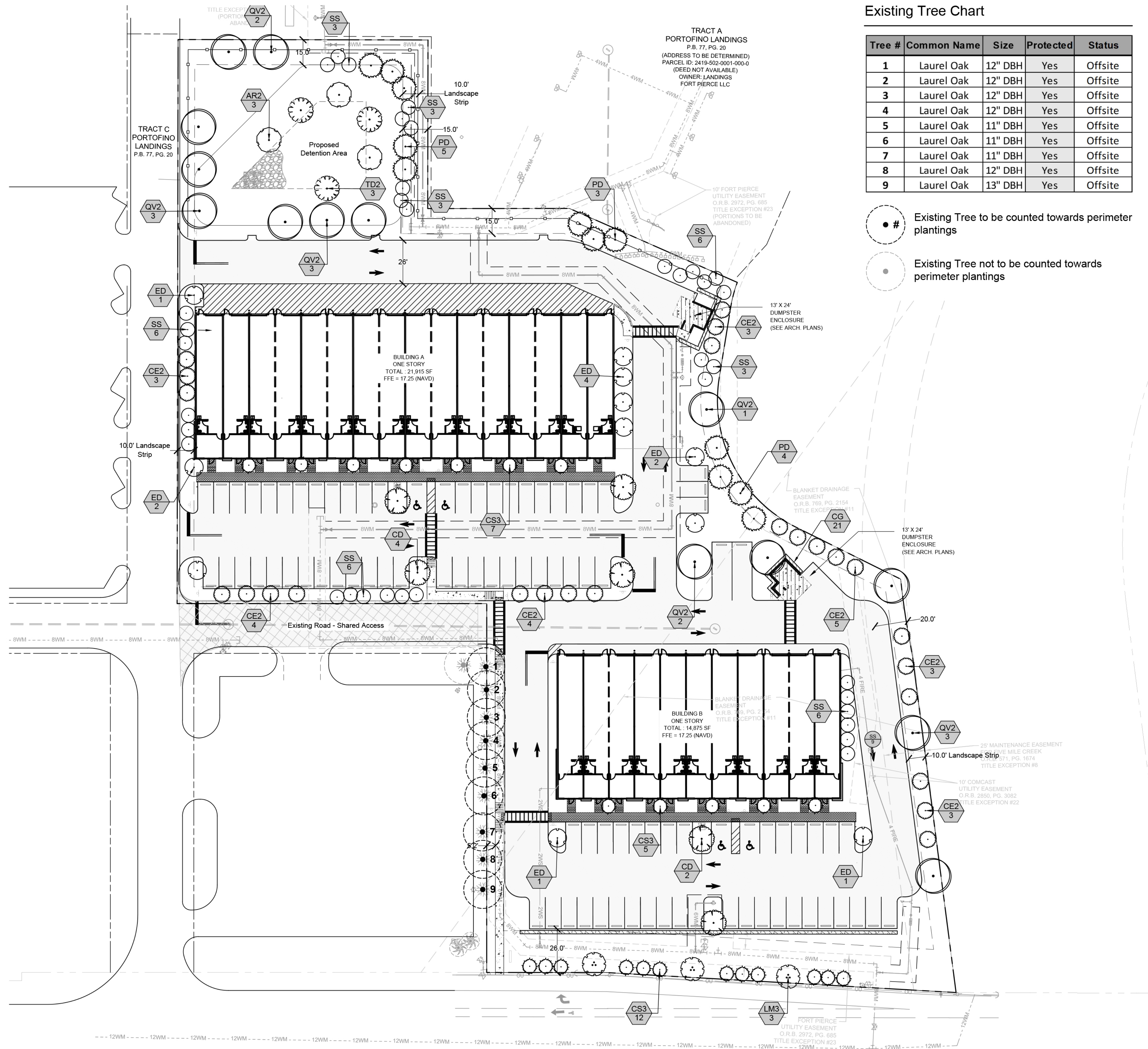
Interior Vehicular Use Areas

Vehicular use areas that are four thousand (4,000) or more square feet in size shall have at least one square foot of interior landscaping for each fifteen (15) square feet of vehicular use area. One tree for each one hundred (100) square feet of required landscaped area. Each separate landscaped area shall be curbed and contain a minimum of one hundred (100) square feet of area and shall be at least ten (10) feet wide and ten (10) feet deep exclusive of curbing in all locations.

Vehicular Use Area: 64,852 sf
 Landscape Area Required: (64,852 sf / 15 sf) = 4,323 sf
 Landscape Area Provided: = 16,890 sf
 Trees Required: (4,323 SF / 100) = 43 Trees
 Trees Provided: = 45 Trees
 (41 Trees + 12 Palms (3:1))

Fort Pierce Landscape Notes

- Plant materials shall meet or exceed the standards for Florida No. 1 as set out in the most current edition of "Grades and Standards for Nursery Plants Part 1 and Part 2," State of Florida, Department of Agriculture, Tallahassee.
- All trees required by this article (excluding palms that are exempt from the grades and standards) shall have a Florida No. 1 or better "Grades and Standards" certification tag attached at time of delivery through final inspection.
- Grass sod shall be clean and free of weeds, pests and diseases.
- Planting soil for all landscaped areas shall consist of existing soil mixed with fifty (50) per cent recycled top soil. Such planting soil shall be generally indigenous to the locale, free of debris, roots, clay, stones, plants or other foreign materials. The planting soil shall extend to an appropriate depth so as to eliminate any hindrance to planting operations or detriment to good plant growth. Compliance with these soil requirements shall be verified as part of the final inspection.
- Landscaped areas shall be covered in their entirety with shrubs, ground cover, turf, or three (3) inches of bulk organic mulch or other suitable material which permits percolation and is approved by the department.
- Do not place any soil or mulch over the root ball. If stakes or guide wires are used to support a tree, the wire must be covered with protective material where it is in contact with the tree and the stakes or guide wires must be removed after one year.
- All landscaping must be protected from vehicular and pedestrian traffic by the installation of curbing, wheel stops or other protective devices along the perimeter of any landscaping which adjoins vehicular use areas or sidewalks. These protected devices shall have a minimum height of six (6) inches above grade.
- No parking, display of vehicles or outside storage or display of merchandise is permitted in or over any required landscape area, nor are vehicles permitted to overhang any required landscaped area.
- To minimize traffic hazards at street or driveway intersections, all landscaping installations must provide unobstructed views.
- Any irrigation system placed on city right-of-way will be the responsibility of the property owner who shall relocate, replace or repair the system as appropriate in the event it is damaged due to permitted construction in the right-of-way.
- Prior to issuance of certificate of occupancy, final landscape installation shall be certified as complete and in conformance to the approved landscape plan by submission of a certification letter by a landscape architect.
- Property owners shall maintain all required landscaping so that it continues to present a healthy, neat and orderly appearance free of refuse and debris.
- Vegetation required shall be replaced with equivalent vegetation if it is not living. All trees for which credit is awarded and which subsequently die shall be replaced by the same number of living trees.
- Maintenance shall include sufficient weeding, watering, fertilizing, pruning, mowing, edging, mulching and other horticultural practices so as to assure that the landscaping continues to maintain a healthy, neat and orderly appearance.
- No person shall, directly or indirectly, cut down, substantially alter, destroy, remove, relocate, damage or authorize any such act involving a protected tree situated on land within the city, without first obtaining a tree removal permit.
- Removal, trimming, pruning or alteration of any tree or vegetation in an existing utility easement or public right-of-way, provided such work is done by or under the control of the operating utility company and said company has received all necessary licenses or permits to provide utility service within the easement.
- This plan has been designed to meet the tree planting requirements contained within the FPL document entitled "Plant the Right Tree in the Right Place". For existing or proposed utilities, no tree shall be planted where it could, at a mature height conflict with overhead power lines.
 - Large trees (height at maturity of more than 30') shall be planted no closer than a horizontal distance of 30' from the nearest overhead power line.
 - Medium height trees (height at maturity between 20' and 30') shall be offset at least 20' and small trees (height at maturity of less than 20') require no offset.
 - No tree shrubs, hedges or vines shall be planted within 5' of an existing or proposed utility pole, guy wire or pad-mounted transformer.
 - Palms should be planted at a distance equal to or greater than the average frond length plus two (2) feet from power lines.



Existing Tree Chart

Tree #	Common Name	Size	Protected	Status
1	Laurel Oak	12" DBH	Yes	Offsite
2	Laurel Oak	12" DBH	Yes	Offsite
3	Laurel Oak	12" DBH	Yes	Offsite
4	Laurel Oak	12" DBH	Yes	Offsite
5	Laurel Oak	11" DBH	Yes	Offsite
6	Laurel Oak	11" DBH	Yes	Offsite
7	Laurel Oak	11" DBH	Yes	Offsite
8	Laurel Oak	12" DBH	Yes	Offsite
9	Laurel Oak	13" DBH	Yes	Offsite

- # Existing Tree to be counted towards perimeter plantings
- Existing Tree not to be counted towards perimeter plantings



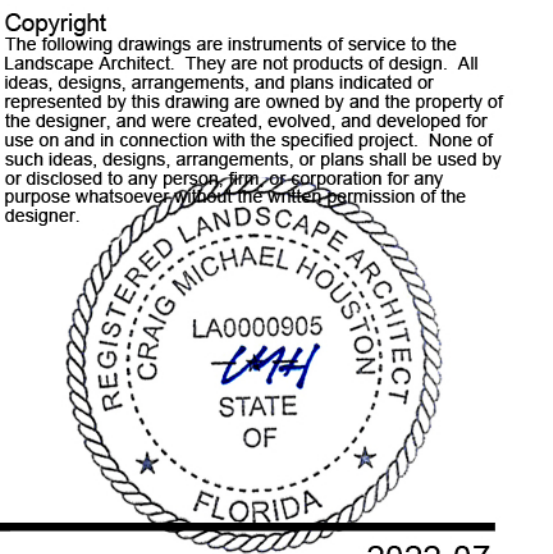
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 LA 0000905

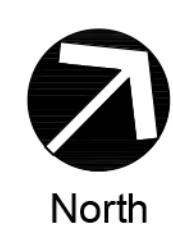
Florida

4600 Okeechobee Road
 City of Fort Pierce
 Landscape Plan



Job No. 2022-07
 Drawn By EB
 Checked By MH
 Approved By MH
 Submittal Dates 02-01-23
 Revision Dates 10-30-24
 02-20-25

Scale: 1" = 30'



LP-1

Landscape Notes / Specifications

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO ALL THE REQUIREMENTS STATED UNDER DIVISION 1 - GENERAL REQUIREMENTS AND CONDITIONS AS WELL AS THE SPECIFIC CRITERIA OUTLINED HEREIN AND ON THE LANDSCAPE DRAWINGS INCLUDING ADDENDA AS MAY BE ISSUED BY THE OWNER.

2. THE SCOPE OF WORK FOR THE LANDSCAPE CONTRACTOR FOR THIS PROJECT SHALL INCLUDE THE PROVISION OF ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO COMPLETE ALL TASKS ASSOCIATED WITH THE LANDSCAPE AND IRRIGATION INSTALLATION AS SHOWN ON THE DRAWINGS OR NOTED HEREIN. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE GENERAL CONTRACTOR REASONABLE ACCESS TO POWER AND POTABLE WATER SOURCES AS REQUIRED.

3. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING ALL WORK INCLUDING DELIVERY, STORAGE AND DISPOSAL OF THEIR MATERIALS IS PERFORMED IN COMPLIANCE WITH APPLICABLE JURISDICTIONAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS ASSOCIATED WITH THE WORK.

4. THE LANDSCAPE CONTRACTOR SHALL ASSIGN A QUALIFIED PROJECT MANAGER AND FIELD SUPERVISOR TO WORK DIRECTLY WITH THE LANDSCAPE ARCHITECT AND SUPERVISE THE WORK AT ALL TIMES THROUGH FINAL OWNER ACCEPTANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT PROJECT MANAGER HAS A COMPLETE, CURRENT SET OF DOCUMENTS ON-SITE AT ALL TIMES.

5. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH EXISTING SITE CONDITIONS AND NOTIFYING THE OWNER IN WRITING OF ANY CONCERNS PRIOR TO COMMENCEMENT OF WORK. THIS EVALUATION SHOULD INCLUDE, BUT IS NOT LIMITED TO, VERIFICATION OF SURFACE AND SUBSURFACE UTILITIES, GRADES, DIMENSIONS AND SOIL CONDITIONS.

6. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH PROJECT PLANS AND SCOPES OF WORK RELATED TO ASSOCIATED TRADES TO BE PERFORMED BY OTHERS IN ORDER TO IDENTIFY KEY COORDINATION ITEMS INCLUDING, BUT NOT LIMITED TO, SITE ACCESS, MATERIAL STORAGE, SCHEDULING AND SEQUENCING OF WORK. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL SITE ISSUES WITH THE GENERAL CONTRACTOR.

7. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT WORK, MATERIALS AND EQUIPMENT FROM DAMAGE DUE TO THEIR ACTIVITIES. THE LANDSCAPE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSON OR PROPERTY THAT MAY OCCUR AS A RESULT OF THE EXECUTION OF THEIR WORK.

8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE AREA, MATERIALS AND EQUIPMENT WITHIN THE LIMITS OF WORK IN A SAFE, NEAT AND ORDERLY MANNER. EXCESS MATERIALS AND DEBRIS ARE TO BE REMOVED FROM THE WORK AREA NO LESS THAN WEEKLY OR AS DIRECTED BY THE GENERAL CONTRACTOR.

9. THE LANDSCAPE CONTRACTOR MUST TAKE PRECAUTIONS TO PROTECT ALL EXISTING SITE ROADS, PARKING LOTS, CURBS AND UTILITIES FROM DAMAGE. THIS APPLIES NOT ONLY TO THE AREA WITHIN THE LIMITS OF WORK BUT ALSO ALONG ANY LOCAL ACCESS ROADS.

10. THE LANDSCAPE CONTRACTOR SHALL PROVIDE ALL NECESSARY SAFETY MEASURES DURING CONSTRUCTION OPERATIONS TO PROTECT THE PUBLIC ACCORDING TO ALL APPLICABLE CODES AND RECOGNIZE LOCAL PRACTICES.

11. THE LANDSCAPE CONTRACTOR SHALL COORDINATE WITH GENERAL CONTRACTOR TO ENSURE THAT TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES (SILT FENCE, ORANGE GEO FENCE AND/OR OTHER MEASURES) ARE INSTALLED PRIOR TO BEGINNING EXCAVATION.

12. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL PLANT MATERIALS AND THE PLANTING AREAS UNTIL FINAL ACCEPTANCE BY THE OWNER.

13. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE AGRONOMIC EVALUATION OF SOIL CHARACTERISTICS. EVALUATION MUST INCLUDE CHEMICAL ANALYSIS BY A QUALIFIED AGRICULTURAL SOILS TESTING LABORATORY (CERTIFIED IN THE STATE OF FLORIDA). SOILS SAMPLE SHOULD BE TAKEN IMMEDIATELY FOLLOWING COMPLETION OF FINISH GRADING ACTIVITIES AND SHOULD BE COLLECTED AT A RATE ON ONE SAMPLE FOR EACH 5,000 SQUARE FEET OF IMPACTED AREA, OR A TOTAL OF SIX, WHICHEVER IS GREATER. AT A MINIMUM THE CHEMICAL ANALYSIS OF THE SOIL SHOULD CONSIDER THE FOLLOWING:

A. PERCENTAGE OF ORGANIC MATTER
 B. SALINITY
 C. PH
 D. LIME CONTENT
 E. MINERAL NUTRIENTS INCLUDING CONCENTRATIONS OF NITROGEN, PHOSPHOROUS, POTASSIUM, CALCIUM, MAGNESIUM, IRON, ZINC, MANGANESE, COPPER, SULFUR, AND MOLYBDENUM.
 F. POTENTIAL HAZARDS OR IMPEDIMENTS FOR PLANT GROWTH INCLUDING SALINITY, SODIUM CHLORIDE, BORON, IMPAIRED SOIL STRUCTURE OR DRAINAGE.
 G. SAND FRACTION ANALYSIS AS A PERCENTAGE PASSING THROUGH 1', and NO. 200 SIEVES
 H. PERCOLATION RATE IN INCHES PER HOUR.

THE ANALYSIS SHOULD ALSO INCLUDE SPECIFIC RECOMMENDATIONS TO THE OWNER FOR ANY AMENDMENTS AND BACKFILL MIXES FOR OPTIMAL PLANT GROWTH TO BE MADE TO THE SOILS PRIOR TO PLANTING. THE CONTRACTOR SHOULD INCLUDE THE COST FOR SOIL AMENDMENTS. THE CONTRACTOR IS TO PROVIDE THE OWNER WITH COPIES OF ALL SOIL TESTING RESULTS. SUBMITTAL DOCUMENTATION MUST ALSO CONTAIN A GRAPHIC SITE PLAN DEPICTING LOCATIONS FROM WHICH EACH SAMPLE WAS DRAWN.

14. THE LANDSCAPE CONTRACTORS BASE BID FOR SOIL PREPARATION IS TO INCLUDE THE FOLLOWING WITH THE UNDERSTANDING THAT MIX DESIGN MAY NEED TO BE ADJUSTED BASED ON OUTCOME OF AGRONOMIC TESTING:

A. TREES: 100% SITE SOIL WITH 5LB. TRIPLE SUPER PHOSPHATE PER CU. YD.
 B. SHRUBS: 100% SITE SOIL WITH OSMOCOTE CONTROLLER RELEASE FERTILIZER (14-14-14) PER MANUFACTURER'S RECOMMENDATION.
 C. THE SOILS TEST RESULTS TAKE PRECEDENCE OVER THE ITEMS NOTED IN A AND B ABOVE.

15. SHOULD OWNER AND LANDSCAPE CONTRACTOR AGREE WITH THE RECOMMENDATION OF THE TESTING AGENCY TO FURTHER AMEND THE SOILS THE CONTRACTOR'S CONTRACT WILL BE ADJUSTED ACCORDINGLY. THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT SAMPLES OF AMENDED SOILS TO BE RE-TESTED TO COMPLY WITH COMPLIANCE WITH RECOMMENDATIONS FOLLOWING THE SAME PROCEDURES AS THE ORIGINAL TESTS.

16. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE QUANTITIES OF EACH PLANT MATERIAL REQUIRED TO ADEQUATELY COVER THE AREA SHOWN ON THE LANDSCAPE PLANS AT THE PRESCRIBED SPACING AND NOTIFYING THE OWNER IMMEDIATELY OF ANY PERCEIVED DISCREPANCIES FOR RESOLUTION. THE PLANT SPACING CONTROLS BED LAYOUT, NOT THE PLAN QUANTITY FOR THAT PARTICULAR BED.

FINE GRADING NOTES

1. FINISHED GRADE IN PLANTING AREAS SHALL BE HELD 3" BELOW THE FINISHED ELEVATIONS SHOWN FOR ALL ADJACENT HARDCAPE SURFACES.
 2. ALL FILL REQUIRED SHALL BE CLEAN, WELL DRAINING SOIL. FILL SHALL BE CLEAN AND FREE OF ALL MATERIAL HARMFUL TO PLANT GROWTH AND DELETERIOUS MATERIAL. SUCH AS ROCKS (LARGER THAN 2" DIA.), COMPACTED CLAY, ROADBED OR SURFACING MATERIAL, MUCK, ROOTS AND BRANCHES, ETC.
 3. THE LANDSCAPE CONTRACTOR IS TO ENSURE THAT THEIR WORK DOES NOT ADVERSELY IMPACT ESTABLISHED OR PROJECTED DRAINAGE PATTERNS.

INSTALLATION NOTES

1. PLANT AND LANDSCAPE MATERIALS SHALL CONFORM TO THE STANDARDS FOR FLORIDA NO. 1, AS GIVEN IN THE GRADES AND STANDARDS FOR NURSERY PLANTS, PARTS I & II, AS PREPARED BY THE FLORIDA DEPT. OF AGRICULTURE AND CONSUMER SERVICES.
 2. A 3" THICK LAYER OF ORGANIC NON-CYPRUSS MULCH SHALL BE APPLIED TO ALL LANDSCAPE AND PLANTING AREAS.
 3. ALL EXOTIC VEGETATION TO BE REMOVED FROM THE SITE PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 4. THIS PLAN HAS BEEN DESIGNED TO MEET WITH THE TREE PLANTING REQUIREMENTS CONTAINED WITHIN THE FPL DOCUMENT ENTITLED "PLANT THE RIGHT TREE IN THE RIGHT PLACE."

5. FOR EXISTING OR PROPOSED UTILITIES, NO TREE SHALL BE PLANTED WHERE IT COULD, AT MATURE HEIGHT, CONFLICT WITH OVERHEAD POWER LINES. LARGE TREES (HEIGHT AT MATURITY OF MORE THAN THIRTY (30) FEET) SHALL BE PLANTED NO CLOSER THAN A HORIZONTAL DISTANCE OF THIRTY (30) FEET FROM THE NEAREST OVERHEAD POWER LINE. MEDIUM HEIGHT TREE (HEIGHT AT MATURITY BETWEEN TWENTY (20) AND THIRTY (30) FEET) SHALL BE OFFSET AT LEAST TWENTY (20) FEET AND SMALL TREES (HEIGHT AT MATURITY OF LESS THAN (20) FEET) REQUIRE NO OFFSET.
 6. NO TREE, SHRUBS, HEDGES OR VINES SHALL BE PLANTED WITHIN FIVE (5) FEET OF ANY EXISTING OR PROPOSED UTILITY POLE, GUY WIRE OR PAD MOUNTED TRANSFORMER. PALMS SHOULD BE PLANTED AT A DISTANCE EQUAL TO OR GREATER THAN THE AVERAGE FRONT LENGTH PLUS TWO (2) FEET FROM POWER LINES.
 7. WETLAND BUFFERS, BUFFER PROTECTION AREAS, AND UPLAND PRESERVE AREAS SHALL BE PROTECTED FROM EXCAVATION, CONSTRUCTION, AND OTHER BUILDING MAINTENANCE ACTIVITIES.
 8. TREES TO REMAIN DURING CONSTRUCTION SHALL BE PROTECTED AND BARRICADED. SEE TREE PROTECTION NOTE.

9. FERTILIZER SHALL BE COMPLETE WITH APPROXIMATELY THE FOLLOWING RATIO: 3N-13P-6K (+MG FOR PALMS ONE Y)
 10. TREES AND PALMS ARE TO BE PLANTED IN ACCORDANCE TO LANDSCAPE PLAN. GOOD HORTICULTURAL PRACTICES MUST BE OBSERVED.
 11. TREES AND PALMS ARE TO BE PLANTED IN THE RIGHT-OF-WAY (ROW) AT A MINIMUM OF FOUR (4) FEET FROM BACK OF CURB AT LOCATIONS IDENTIFIED ON THE LANDSCAPE PLAN. AWARDED BIDDER SHALL STAKE AND/OR PAINT PLANTING LOCATIONS IN THE FIELD. UPON APPROVAL BY THE CUSTOMER, THESE AREAS SHALL BE SPRAYED WITH AN APPROVED HERBICIDE AND MAINTAINED WEED-FREE FOR THE DURATION OF THE PROJECT.
 12. EXCAVATE PLANTING HOLES WITH VERTICAL SIDES. DO NOT DISTURB SOIL AT BOTTOM OF PLANTING HOLES. MAKE EXCAVATIONS TWICE AS WIDE AS THE ROOT BALL DIAMETER AND SLIGHTLY LESS (TWO INCHES) THAN THE DISTANCE BETWEEN THE TOP-MOST ROOT IN THE ROOT BALL AND THE BOTTOM OF THE ROOT BALL. ALTERNATIVELY, EXCAVATE THE HOLE SLIGHTLY WIDER THAN THE ROOT BALL AND PLACE THE ROOT BALL IN THE HOLE SO THE TOP-MOST ROOT IS EVEN WITH OR SLIGHTLY (2 INCHES) HIGHER THAN THE SURROUNDING LANDSCAPE GRADE. THEN, LOOSEN THE SURROUNDING SOIL OUT TO A DIAMETER EQUAL TO TWICE THE DIAMETER OF THE ROOT BALL. FINALLY, PUSH THE LOOSENED SOIL TOWARD THE ROOT BALL TO FILL THE HOLE.

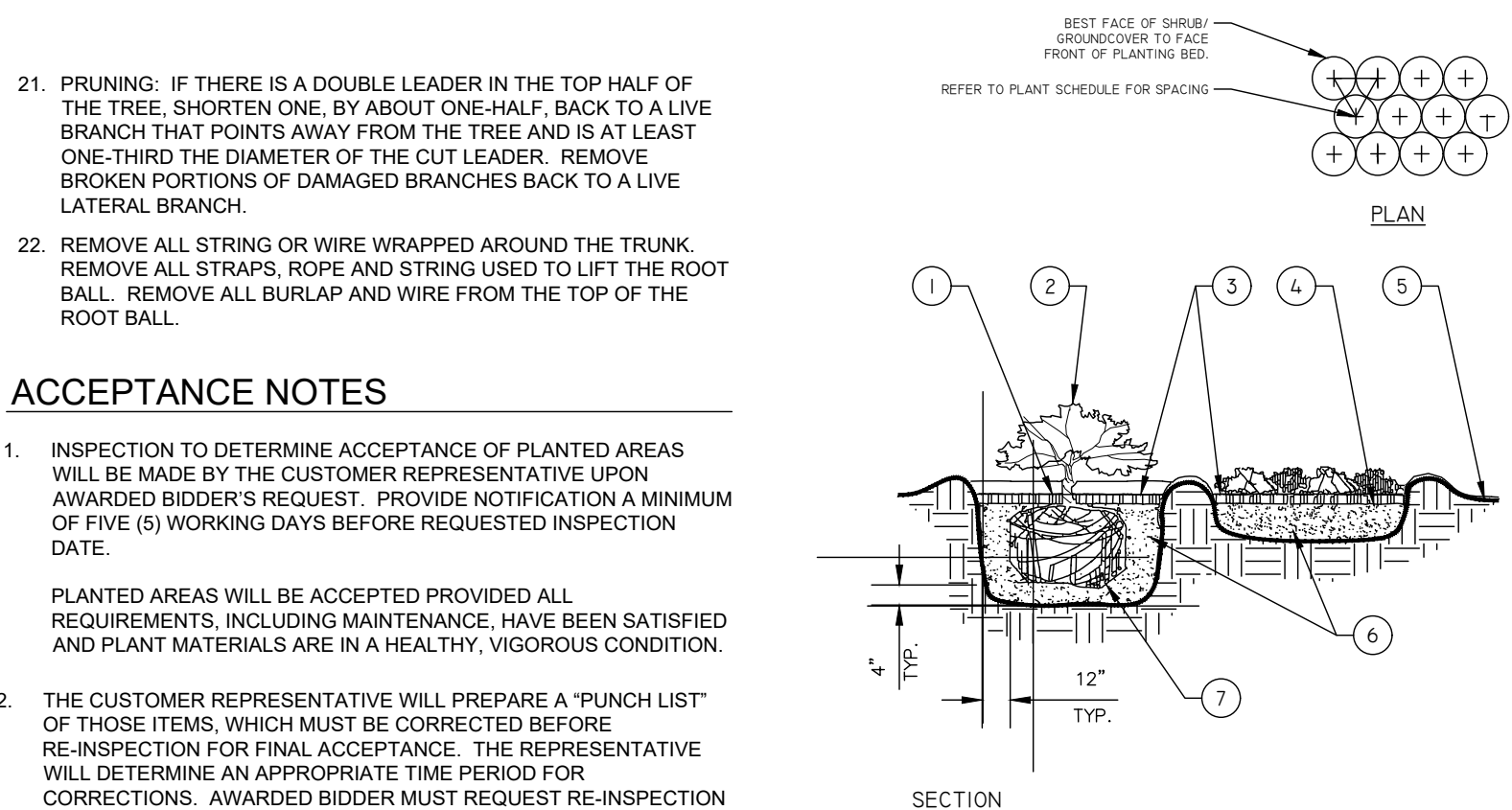
IF WATER FILLS THE BOTTOM OF THE PLANTING HOLE, ADD SOIL TO THE BOTTOM OF THE HOLE UNTIL THE WATER IS COVERED. PACK THIS ADDED SOIL FIRMLY. PLACE THE ROOT BALL ON THIS PACKED SOIL. DO NOT IN WATER. NO PART OF THE ROOT BALL SHALL BE PLACED IN WATER. IF NECESSARY, BRING IN SOIL SIMILAR TO SITE SOIL TO COVER THE SIDES OF THE ROOT BALL, CREATING A RAISED MOUND. AT THE BASE OF THE MOUND (I.E. THE OUTER DIAMETER) CREATED SHALL BE AT LEAST SIX TIMES THE DIAMETER OF THE ROOT BALL.

WHEN PLANTING ON A SLOPE, THE TOP-MOST MAIN ROOT IN THE ROOT BALL SHALL BE EVEN WITH THE GRADE ON THE UPHILL SIDE OF THE TREE. SITE SOIL WILL NEED TO BE ADDED ON THE DOWNHILL SIDE TO COVER THE SIDES OF THE ROOT BALL AND TO CONSTRUCT THE SOIL BERM TO HOLD WATER. THE AMOUNT OF SOIL ADDED ON THE DOWNHILL SIDE WILL DEPEND ON THE SLOPE AND SIZE OF THE ROOT BALL.

13. REMOVE ALL WOOD, PLASTIC, OR GRO-BAGS FROM THE ROOT BALL. SET PLANTS IN CENTER OF THE HOLE WITH TOP-MOST ROOT IN THE ROOT BALL AT THE SAME HEIGHT OR SLIGHTLY (2 INCHES) HIGHER THAN FINISHED LANDSCAPE GRADES AND PLUMB THE TREE SO THE TRUNK IS VERTICAL. BACKFILL FIELD SOIL AROUND SIDES OF ROOT BALL AND WORK EACH LAYER TO SETTLE AND ELIMINATE VOIDS AND AIR POCKETS. MATERIAL MUST BE WATERED IN AS PLANTED. PROVIDE APPROXIMATELY 5 GALLONS OF WATER PER INCH OF TRUNK CALIPER TO THE ROOT BALL ONCE ALL BACKFILL IS FILLED IN AROUND THE ROOT BALL.

14. PROVIDE A 2.5" HIGH SOIL BERM AROUND THE EDGE OF ROOT BALL TO FORM A SHALLOW SAUCER TO COLLECT WATER. THE WATERING SAUCER, REGARDLESS OF HOLE SIZE, IS TO BE AT EDGE OF ROOT BALL. ALTERNATIVELY, COBRA EDGING IS TO BE INSTALLED AT THE EDGE OF THE ROOT BALL.

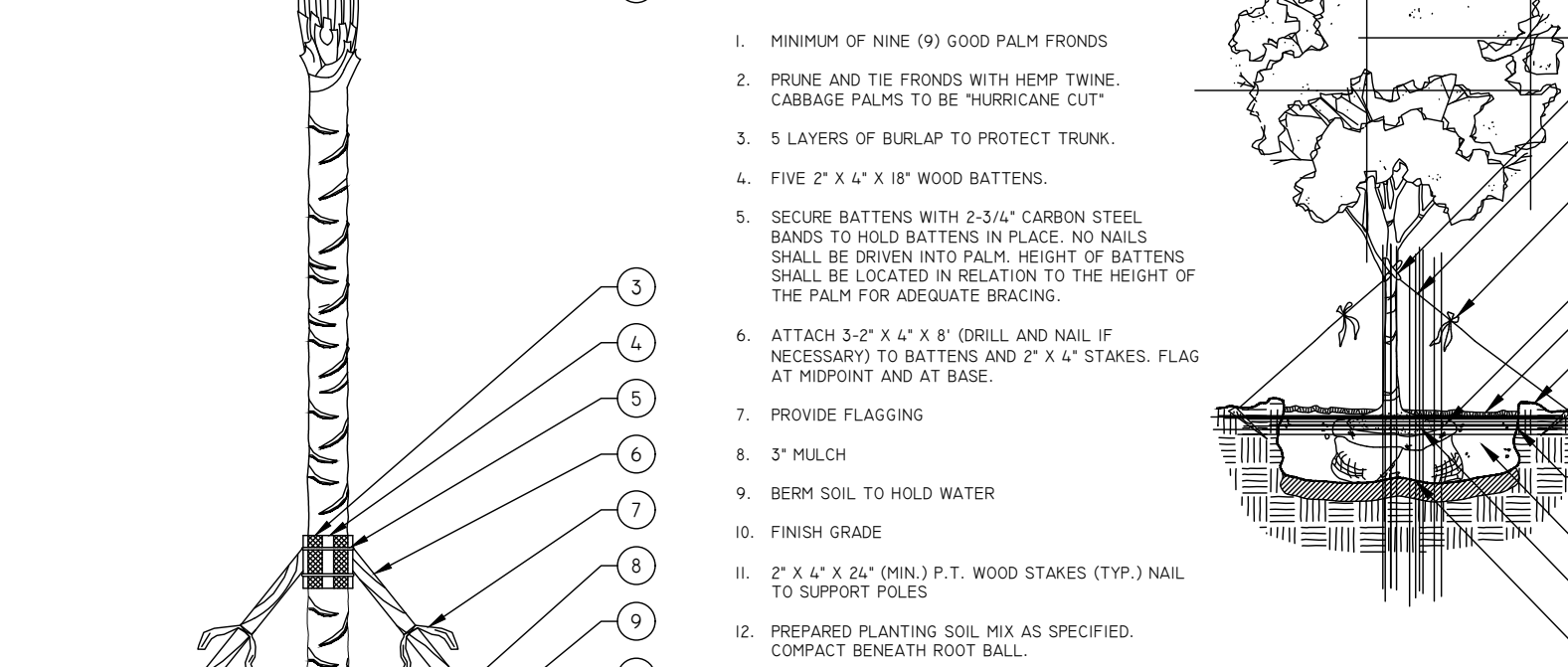
15. BROADCAST OVER THE ROOT BALL AND BACKFILL SOIL, AT THE RECOMMENDED RATE. A BROAD-SPECTRUM PRE-EMERGENT HERBICIDE PRIOR TO MULCHING.
 16. APPLY A CONTROLLED-RELEASE FERTILIZER TO THE SOIL SURFACE UNDER THE MULCH AT 1LB. NITROGEN PER 1000 FT². PRIOR TO MULCHING. NO OTHER AMENDMENTS ARE NECESSARY.
 17. ON TREES UP TO 4" CALIPER, APPLY A THREE (3) -INCH LAYER OF MULCH TO AN EIGHT (8) -FOOT DIAMETER CIRCULAR AREA AROUND THE TRUNK. ON LARGER CALIPER TREES, APPLY A TWO (2) -FOOT DIAMETER MULCH AREA FOR EACH INCH OF TRUNK CALIPER. NO MULCH SHALL BE APPLIED TO THE INNER HALF OF THE ROOT BALL SURFACE.
 18. TREES AND PALMS ARE TO BE SECURED BY AWARDED BIDDER AS SHOWN IN EXHIBITS A-C. (NOTE: STAKING IS OPTIONAL FOR MORE PROTECTED LOCATIONS).
 19. A REPRESENTATIVE WILL INSPECT TREES AND PALMS DURING INSTALLATION. MATERIAL THAT IS IN SHOCK OR HAS BEEN DAMAGED DURING INSTALLATION SHALL BE REPLACED BY AWARDED BIDDER WITHIN FIVE (5) WORKING DAYS FROM NOTIFICATION.
 20. REMOVE FROM WORK SITE ALL EXCESS MATERIALS (E.G., SOIL, DEBRIS AND EQUIPMENT) DAILY THROUGH DURATION OF PROJECT. DAMAGES RESULTING FROM INSTALLATION SHALL BE REPAIRED BY AWARDED BIDDER.
 21. PRUNING: IF THERE IS A DOUBLE LEADER IN THE TOP HALF OF THE TREE, SHORTEN ONE, BY ABOUT ONE-HALF, BACK TO A LIVE BRANCH THAT POINTS AWAY FROM THE TREE AND IS AT LEAST ONE-THIRD THE DIAMETER OF THE CUT LEADER. REMOVE BROKEN PORTIONS OF DAMAGED BRANCHES BACK TO A LIVE LATERAL BRANCH.



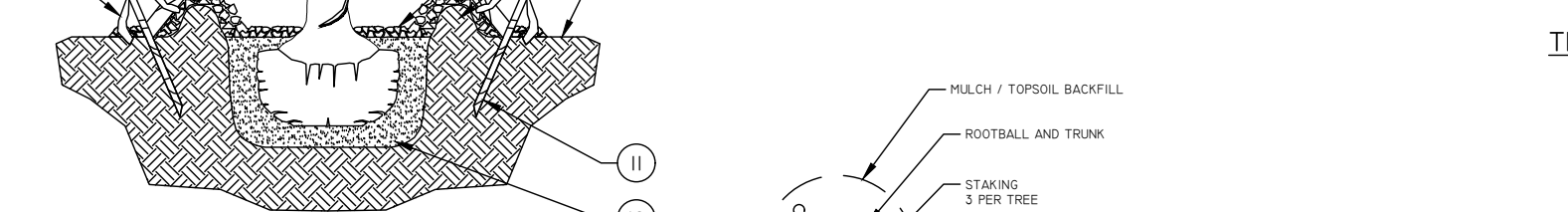
ACCEPTANCE NOTES

1. INSPECTION TO DETERMINE ACCEPTANCE OF PLANTED AREAS WILL BE MADE BY THE CUSTOMER REPRESENTATIVE UPON AWARDED BIDDER'S REQUEST. PROVIDE NOTIFICATION A MINIMUM OF FIVE (5) WORKING DAYS BEFORE REQUESTED INSPECTION DATE.
 PLANTED AREAS WILL BE ACCEPTED PROVIDED ALL REQUIREMENTS, INCLUDING MAINTENANCE, HAVE BEEN SATISFIED AND PLANT MATERIALS ARE IN A HEALTHY, VIGOROUS CONDITION.
 2. THE CUSTOMER REPRESENTATIVE WILL PREPARE A "PUNCH LIST" OF THOSE ITEMS, WHICH MUST BE CORRECTED BEFORE RE-INSPECTION FOR FINAL ACCEPTANCE. THE REPRESENTATIVE WILL DETERMINE AN APPROPRIATE TIME PERIOD FOR CORRECTIONS. AWARDED BIDDER MUST REQUEST RE-INSPECTION TWO (2) WORKING DAYS IN ADVANCE.

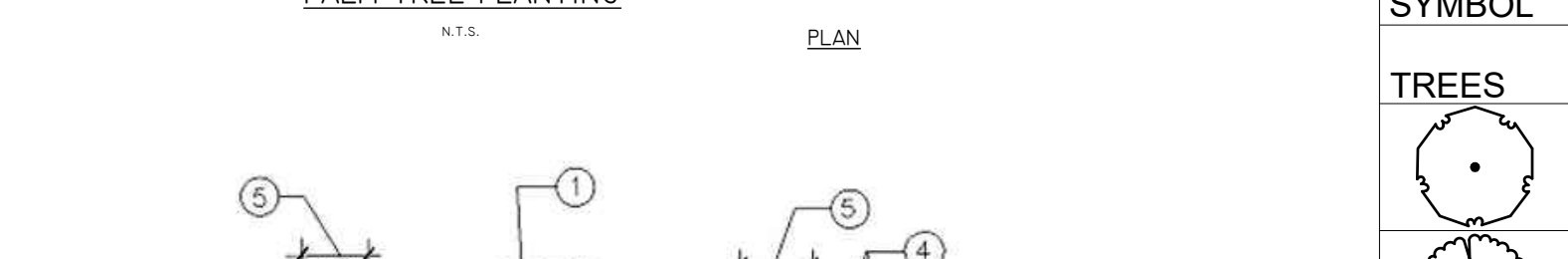
SHRUB/GROUNDCOVER PLANTING



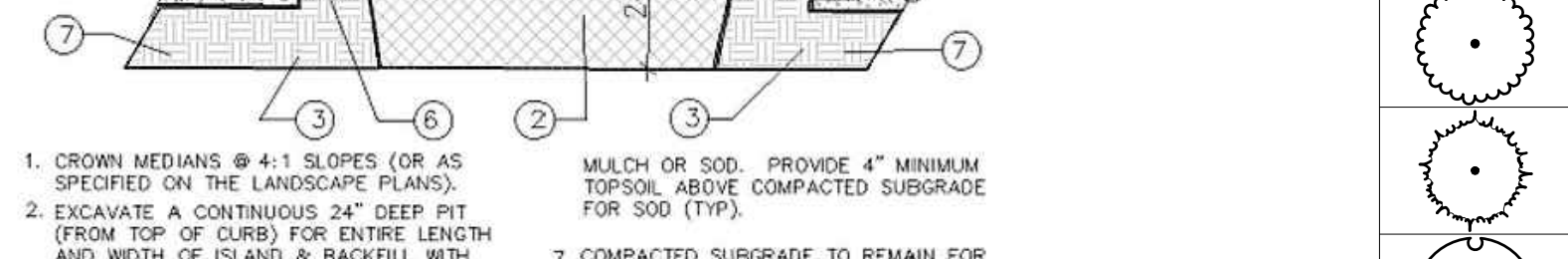
TREE PLANTING DETAIL



PALM TREE PLANTING



TYPICAL LANDSCAPE MEDIAN



TREE SCHEDULE

SYMBOL	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	NATIVE
TREES					
	AR2	3	Florida Flame Red Maple / <i>Acer rubrum</i> 'Florida Flame'	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
	CD	6	Pigeon Plum / <i>Coccoloba diversifolia</i>	12' HT. x 6' Spr. Min.	Yes
	CE2	25	Green Buttonwood / <i>Conocarpus erectus</i>	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
	CS3	24	Silver Buttonwood / <i>Conocarpus erectus sericeus</i>	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
	ED	11	Japanese Blueberry Tree / <i>Elaeocarpus decipiens</i> TM	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	No
	LM3	3	Lavender Crape Myrtle / <i>Lagerstroemia x 'Muskogee'</i>	2.5" DBH, 12' Ht. x 5' Spr. Min., Multi-trunk, 5' ct.	No
	PD	12	Slash Pine / <i>Pinus elliottii densa</i>	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
	QV2	14	Southern Live Oak / <i>Quercus virginiana</i>	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
	TD2	3	Bald Cypress / <i>Taxodium distichum</i>	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
PALMS					
	SS	36	Cabbage Palmetto / <i>Sabal palmetto</i>	30% @ 12' ct., 35% @ 15' ct., 35% @ 18' ct., Stagger Hts. within groups	Yes

SHRUB SCHEDULE

CODE	QTY	COMMON / BOTANICAL NAME	SIZE	SPACING
SHRUB AREAS				
CG	52	Small Leaf Clusia / <i>Clusia guttifera</i>	3 gal., 24" Ht. min., Full	24" o.c.
VS	118	Sandankwa Viburnum / <i>Viburnum suspensum</i>	3 gal., 24" Ht. min., Full	24" o.c.



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 LA 0000905

4600 Okeechobee Road
 City of Fort Pierce
 Landscape Specifications



Copyright
 The following drawings are instruments of service to the Landscape Architect. They are not products of design. All ideas, designs, arrangements, and plans indicated or represented by this drawing are owned by and the property of the designer, and were created, evolved, and developed for use on and in connection with the specified project. None of such ideas, designs, arrangements, or plans shall be used by or disclosed to any person without the prior written permission of the designer.

Job No. 2022-07
 Drawn By EB
 Checked By MH
 Approved By MH
 Submittal Dates 02-01-23
 Revision Dates 10-30-24
 02-20-25

LP-2

LANDSCAPE MAINTENANCE AGREEMENT

Parcel Number(s):

Project Name:

Project Address:

THIS agreement ("Agreement"), made this _____ by and between _____, hereinafter referred to as the "ST. LUCIE KINGS, LLC" of the following property and the City of Fort Pierce, hereinafter referred to as the "Agency." "Owner" shall mean the person of entity that holds fee simple title to the Property (as such term is defined below) from time to time.

WHEREAS, ST. LUCIE KINGS, LLC is the owner of the following real property ("Property"), described in the attached Exhibit "A" (Legal Description and Location Map) and is vested with full authority to execute deeds, mortgages, and other covenants, such as this Agreement, and does hereby covenant with the Agency and agree as follows:

1. The Owner shall provide for adequate long-term maintenance of all landscape facilities and landscaping located on the Property and shown in the drawing attached hereto as Exhibit "B" ("Landscape Plans"). The Owner shall ensure that all approved landscaping per the Landscape Plan is installed, irrigated, and maintained in accordance with approved design standards, rules and regulations and applicable laws. The Owner shall perform all landscape maintenance activities at the Property in perpetuity in accordance with section 123-7 of the City Code of Ordinances ("Applicable Code"), in order that it continues to present a healthy, neat, and orderly appearance to the public free of refuse and debris, in conformity with the following requirements:
 - a. Vegetation required by this article shall be replaced with equivalent or better vegetation if it is not living. All trees for which credit is awarded and which subsequently die shall be replaced by the same or greater number of living trees according to the standards established in the Applicable Code.
 - b. Maintenance shall include sufficient weeding, watering, fertilizing, pruning, mowing, edging, mulching and other horticultural practices to ensure that the landscaping continues to maintain a healthy, neat, and orderly appearance.

2. If, upon inspection, the Agency finds that the Owner has failed to perform the preventative maintenance activities at the Property in accordance with the Applicable Code, the Agency may order the work performed within 30 days by written notice sent to the Owner's mailing address at 101 Pugliese's Way, 2nd Floor, Delray Beach, FL 33444, which may be changed by providing written notice of such change to the Agency. In the event the work is not performed within the specified time, the Owner agrees to allow the Agency, upon reasonable notice, to enter the Property to perform the preventative maintenance activities on the landscaping in accordance with the Applicable Code, this Agreement and in a manner so as to minimize interference with the use and enjoyment of the Property by the Owner and its occupants, guests, licensees and invitees. This provision shall not be construed to: (a) allow the Agency to modify existing structures or erect any structure of a permanent nature on the Property without first obtaining written approval of the Owner; (b) to control how the Owner may use the Property so long as the landscaping is being maintained in accordance with the Applicable Code; or (c) to enter upon the Property without first providing notice to the Owner. Any work performed by the Agency for the benefit of the landscaping on the Property of Owner which disturbs or damages the Property of Owner shall require Agency to repair or replace the Property to the condition it was in prior to the disturbance or damage.

3. The Agency is under no obligation to maintain, or repair said landscaping or landscape facilities, and in no event shall this Agreement be construed to impose any such obligation on the Agency. The Owner shall reimburse the Agency upon demand the reasonable costs incurred by the Agency pursuant to paragraph two (2) above.
4. The Owner shall grant to the Agency or its agent(s) or contractor(s) the right of entry on the Property at reasonable times and in a reasonable manner for the purpose of inspecting, operating, installing, constructing, reconstructing, maintaining or repairing the landscaping or landscaping facilities at the Property, provided the same is undertaken in a manner to minimize interference with the use and enjoyment of the Property by Owner and its occupants, guests, licensees and invitees and otherwise in compliance with this Agreement.
5. If the Owner fails to pay the Agency for the expenses incurred pursuant to paragraph two (2) above, then, after forty-five (45) days following Owner's receipt of Agency's invoice (including all supporting documentation), the Agency may exercise any legal remedies it has to collect said expenses from the Owner, including through appropriate legal action and, in the event Agency is successful in such legal action, the Owner shall be liable for the reasonable expenses of collection, court costs, and attorney fees.
6. The Owner and the Owner's heirs, administrators, executors, assigns and any other successor in interest shall indemnify and hold harmless the Agency and its officers, agents and employees for any and all damages, accidents, casualties, occurrences, claims or attorney's fees which might arise or be asserted, in whole or in part, against the Agency from the Owner's failure to perform the landscape maintenance activities of at the Property in accordance with the Applicable Code. In the event a claim is asserted against the Agency, its officers, agents, or employees as a result of such failure, the Agency shall notify the Owner and the Owner shall defend at Owner's expense any suit based on such claim. If any action is brought against the Agency, its officers, agents or employees, as a result of such failure to maintain, the Agency shall not settle any claims without Owner's prior written consent. Owner may defend any such action or may agree to resolve any such claim, in its sole discretion. If a judgment is rendered against Agency as a result of Owner's failure to maintain the landscape in accordance with the Applicable Code then Owner shall pay all costs and expenses in connection therewith. Owner's liability under this Agreement shall not exceed Owner's equity interest in the Property. Nothing herein shall constitute a contractual obligation of the Agency to indemnify, defend or hold harmless in any fashion the Owner from any claims arising from any failure of Owner to carry out its maintenance obligations as required by the Applicable Code.
7. No waiver of any provision of this Agreement shall affect the right of any party thereafter to enforce such a provision or to exercise any right or remedy available. This Agreement embodies the entire agreement and understanding between the parties hereto with respect to the subject matter of this Agreement and supersedes all prior and contemporaneous agreements and understandings relative to such subject matter. This Agreement may not be amended or altered except by a writing signed by all parties to this Agreement at the time of the Agreement or alteration. This Agreement shall be governed by and construed in

accordance with the laws of the State of Florida and the applicable laws of the United States of America. Any action or proceeding under or in connection with this Agreement shall be brought in St. Lucie County, Florida. This Agreement inures, is for the benefit of, and is binding upon each Party's respective predecessors, successors, assigns, affiliates, divisions, subsidiaries, members, partners, insurers, reinsurers, their former, current and future shareholders, directors, officers, trustees, receivers, employees, agents, attorneys, volunteers, representatives, their heirs, executors, administrators, successors and assigns, as well as any persons or entities claiming through one or more of them, any benefit of this Agreement. If any provision of this Agreement or the application thereof to any person or circumstance shall, for any reason and to any extent, be invalid or unenforceable, then neither the remainder of this Agreement nor the application of such provision to the other persons or circumstances shall be affected thereby, but rather shall be enforced to the greatest extent permitted by law. All signatories hereto hereby warrant, represent and affirm that they have the authority to enter into this Agreement.

This Agreement is signed by the parties' duly authorized representatives as of the day first written above.

Business Name

By: _____
Property Owners Signature

Owners Name:

**STATE OF FLORIDA
COUNTY OF ST. LUCIE**

The foregoing instrument was acknowledged before me by physical presence this _____ day of _____ by _____ on behalf of said corporation who is ____ personally known by me or ____ has produced _____ as identification.

[SEAL]

Notary Public Signature

My Commission Expires:

EXHIBIT A

Legal Description & Location Map

PARCEL 1:

A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE NORTH 01°20'45" EAST, ALONG THE EAST LINE OF SECTION 18, TOWNSHIP 35 SOUTH, RANGE 40 EAST, A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA; S.R. 70); THENCE SOUTH 52°29'55" WEST, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 2,102.04 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 55°45'47" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 210.34 FEET; THENCE SOUTH 52°29'33" WEST ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 71.28 FEET; THENCE NORTH 37°30'27" WEST, A DISTANCE OF 73.78 FEET; THENCE NORTH 37°30'14" WEST, A DISTANCE OF 114.06 FEET; THENCE NORTH 37°29'33" WEST, A DISTANCE OF 33.20 FEET; THENCE SOUTH 52°29'33" WEST, A DISTANCE OF 185.54 FEET; THENCE NORTH 37°24'29" WEST, A DISTANCE OF 337.95 FEET; THENCE NORTH 52°35'31" EAST, A DISTANCE OF 149.75 FEET; THENCE SOUTH 37°24'29" EAST, A DISTANCE OF 101.01 FEET; THENCE NORTH 52°26'19" EAST, A DISTANCE OF 84.86 FEET; THENCE NORTH 76°15'19" EAST, A DISTANCE OF 109.98 FEET TO A POINT ON THE ARC OF A CIRCULAR CURVE TO THE LEFT AT WHICH A RADIAL LINE BEARS NORTH 72°27'31" EAST; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 85.00 FEET AND A CENTRAL ANGLE OF 10°43'05", A DISTANCE OF 15.90 FEET TO A POINT OF TANGENCY; THENCE SOUTH 28°15'34" EAST, A DISTANCE OF 42.13 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE TO THE LEFT; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 85.00 FEET AND A CENTRAL ANGLE OF 72°51'03", A DISTANCE OF 108.08 FEET TO A POINT OF TANGENCY; THENCE NORTH 78°53'23" EAST, A DISTANCE OF 69.88 FEET TO A POINT ON THE ARC OF A CIRCULAR CURVE TO THE LEFT AT WHICH A RADIAL LINE BEARS NORTH 46°34'59" EAST; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 443.72 FEET AND A CENTRAL ANGLE OF 04°34'37", A DISTANCE OF 35.44 FEET TO A POINT OF TANGENCY; THENCE SOUTH 47°59'38" EAST, A DISTANCE OF 11.05 FEET; THENCE SOUTH 44°53'31" EAST, A DISTANCE OF 203.42 FEET TO THE POINT OF BEGINNING.

LESS A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

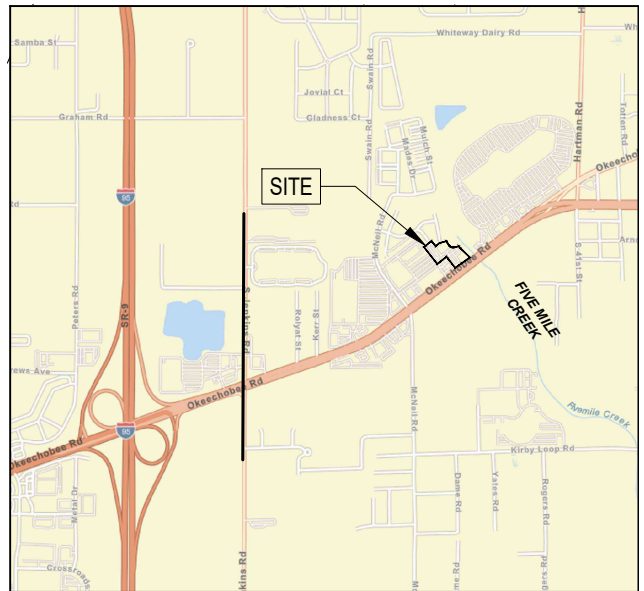
COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE NORTH 01°20'45" EAST ALONG THE EAST LINE OF SECTION 18, TOWNSHIP 35 SOUTH, RANGE 40 EAST, FOR A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA S.R. 70); THENCE SOUTH 52°29'55" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 2102.04 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND; THENCE SOUTH 55°45'47" WEST FOR A DISTANCE OF 210.34 FEET; THENCE SOUTH 52°29'33" WEST FOR A DISTANCE OF 71.28 FEET; THENCE NORTH 37°30'27" WEST FOR A DISTANCE OF 73.78 FEET; THENCE NORTH 01°22'19" WEST FOR A DISTANCE OF 267.30 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 14°31'16" WEST, HAVING A RADIUS OF 85.00 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 36.54 FEET THROUGH A CENTRAL ANGLE OF 24°37'53" TO A POINT OF TANGENCY; THENCE NORTH 78°53'23" EAST FOR A DISTANCE OF 69.88 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 46°34'59" WEST, HAVING A RADIUS OF 443.72 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 35.19 FEET THROUGH A CENTRAL ANGLE OF 04°32'39"; THENCE SOUTH 47°59'38" EAST FOR A DISTANCE OF 11.05 FEET; THENCE SOUTH 44°53'31" EAST FOR A DISTANCE OF 203.42 FEET TO THE POINT OF BEGINNING.

PARCEL 2:

A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE NORTH 01°20'45" EAST ALONG THE EAST LINE OF SECTION 18, TOWNSHIP 35 SOUTH, RANGE 40 EAST, FOR A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA S.R. 70); THENCE SOUTH 52°29'55" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 2102.04 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND; THENCE SOUTH 55°45'47" WEST FOR A DISTANCE OF 210.34 FEET; THENCE SOUTH 52°29'33" WEST FOR A DISTANCE OF 71.28 FEET; THENCE NORTH 37°30'27" WEST FOR A DISTANCE OF 73.78 FEET; THENCE NORTH 01°22'19" WEST FOR A DISTANCE OF 267.30 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 14°31'16" WEST, HAVING A RADIUS OF 85.00 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 36.54 FEET THROUGH A CENTRAL ANGLE OF 24°37'53" TO A POINT OF TANGENCY; THENCE NORTH 78°53'23" EAST FOR A DISTANCE OF 69.88 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 46°34'59" WEST, HAVING A RADIUS OF 443.72 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 35.19 FEET THROUGH A CENTRAL ANGLE OF 04°32'39"; THENCE SOUTH 47°59'38" EAST FOR A DISTANCE OF 11.05 FEET; THENCE SOUTH 44°53'31" EAST FOR A DISTANCE OF 203.42 FEET TO THE POINT OF BEGINNING.

LOCATION MAP



Landscape Data

Landscape Strip Adjacent to Public R.O.W

One (1) tree wide minimum landscape strip
 One (1) tree wide minimum landscape strip
 Portland Landings (West): 315' L x 10 = 3,150 SF
 Trees Required: (3,150 SF / 300) = 11 Trees
 (8 Trees + 3 Palms (3:1))
 Okeechobee Road (South): 282' L x 10 = 2,820 SF
 Trees Required: (2,820 SF / 300) = 9 Trees
 Trees Provided: = 15 Trees

Landscape Strip Adjacent to Other Property

Portland Landings (North): 678' L x 10 = 6,780 SF
 Trees Required: (6,780 SF / 300) = 23 Trees
 Trees Provided: = 20 Trees
 (3 Trees + 18 Palms (3:1))
 Five Mile Creek (East): 250' L x 10 = 2,500 SF
 Trees Required: (2,500 SF / 300) = 8 Trees
 Trees Provided: = 8 Trees
 Seal Lion Real Estate (West): 221' L x 10 = 2,210 SF
 Trees Required: (2,210 SF / 300) = 7 Trees
 Trees Provided: = 9 Trees (Existing)

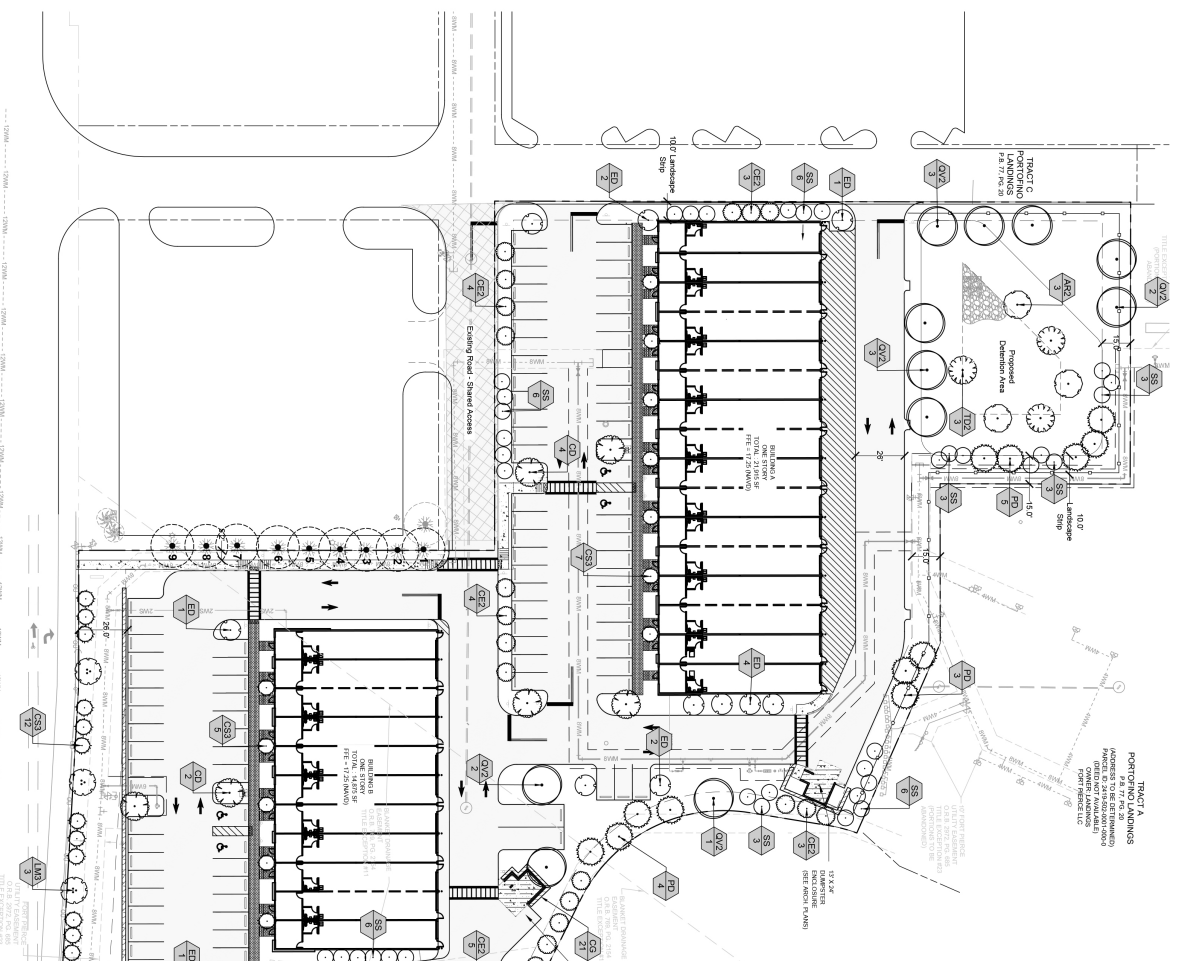
Interior Vehicular Use Areas

Vehicular use areas that are four thousand (4,000) or more square feet in size shall have at least one square foot of interior landscaping for each three (3) square feet of vehicular use area. Each separate landscaped area shall be a minimum of one hundred (100) square feet of area and shall be at least ten (10) feet wide and ten (10) feet deep exclusive of curbing in all locations.

Vehicular Use Area: 64,852 SF
 Landscape Area Required: (64,852 SF / 15 SF) = 4,323 SF
 Trees Required: (4,323 SF / 100) = 43 Trees
 Trees Provided: = 45 Trees
 (41 Trees + 12 Palms (3:1))

Fort Pierce Landscape Notes

1. Street landscape shall be consistent with the standards set forth in the Fort Pierce Ordinance, Chapter 17, Section 17.01, and the Fort Pierce Ordinance, Chapter 17, Section 17.02.
2. The trees selected for planting shall be native to the area and shall be of a species that is resistant to the pests and diseases common to the area.
3. Grasses and other plants shall be of a species that is resistant to the pests and diseases common to the area.
4. Trees used for all landscape areas shall consist of existing trees and new trees. The 100% tree replacement rule shall apply to all landscape areas.
5. The trees selected for planting shall be of a species that is resistant to the pests and diseases common to the area.
6. The trees selected for planting shall be of a species that is resistant to the pests and diseases common to the area.
7. The trees selected for planting shall be of a species that is resistant to the pests and diseases common to the area.
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18. The trees selected for planting shall be of a species that is resistant to the pests and diseases common to the area.
19. The trees selected for planting shall be of a species that is resistant to the pests and diseases common to the area.
20. The trees selected for planting shall be of a species that is resistant to the pests and diseases common to the area.



Existing Tree Chart


Tree #	Common Name	Size	Protected	Status
1	Laurel Oak	12" DBH	Yes	Offsite
2	Laurel Oak	12" DBH	Yes	Offsite
3	Laurel Oak	12" DBH	Yes	Offsite
4	Laurel Oak	12" DBH	Yes	Offsite
5	Laurel Oak	11" DBH	Yes	Offsite
6	Laurel Oak	11" DBH	Yes	Offsite
7	Laurel Oak	11" DBH	Yes	Offsite
8	Laurel Oak	12" DBH	Yes	Offsite
9	Laurel Oak	13" DBH	Yes	Offsite



4600 Okeechobee Road


City of Fort Pierce
Landscape Plan

Florida

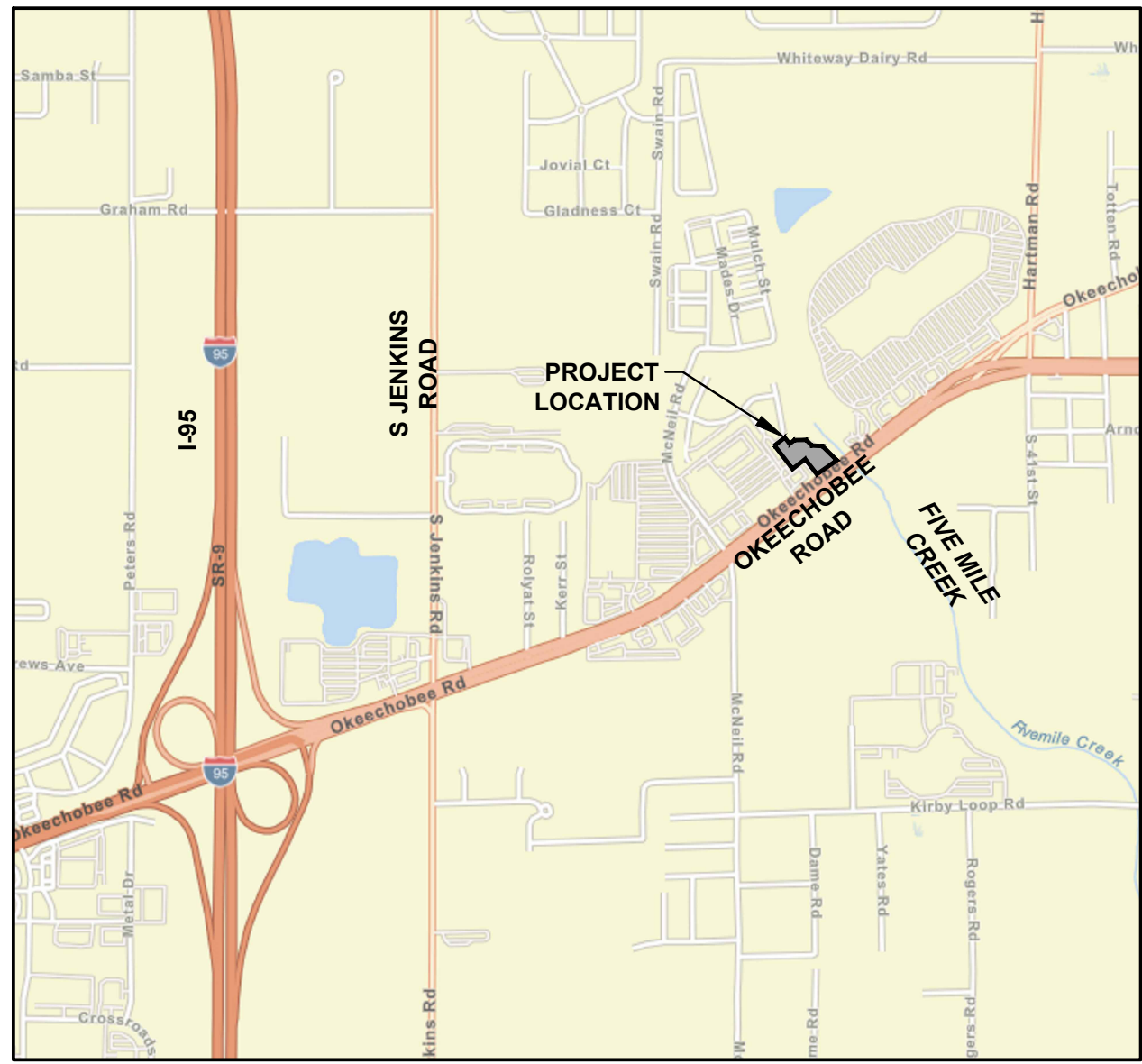


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 LA 0000905

Job No. 2023-07
 Drawn By: EB
 Checked By: MH
 Approved By: MH
 Submittal Date: 02-01-23
 Revision Dates: 02-20-23



ALTA / NSPS LAND TITLE SURVEY BOUNDARY AND TOPOGRAPHIC SURVEY SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST FORT PIERCE, ST. LUCIE COUNTY, FLORIDA



**LOCATION MAP
NOT TO SCALE**

TITLE COMMITMENT:

OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
COMMITMENT NUMBER: 1019660
COMMITMENT DATE: FEBRUARY 16, 2021 @ 11:00 P.M.

SCHEDULE B-II EXCEPTIONS:

EXCEPTIONS 1 THROUGH 5 ARE STANDARD EXCEPTIONS - NO COMMENT

6. RESTRICTIONS, COVENANTS, CONDITIONS AND EASEMENTS AS SET FORTH IN THE DECLARATION OF RESTRICTIONS, RECORDED IN OFFICIAL RECORDS BOOK 560, PAGE 1624, AMENDED IN OFFICIAL RECORD BOOK 874, PAGE 812; AS AFFECTED BY ABOLISHMENT OF COVENANTS AND RESTRICTIONS RECORDED IN OFFICIAL RECORD BOOK 2483, PAGE 1648, WHICH PARTIALLY ABOLISHES CERTAIN RESTRICTIONS IMPOSED ON PROPERTY. **ABOLISHED BY 2483/1648, AFFECTS - NOTHING TO PLOT**
7. EASEMENTS WITH COVENANTS AND RESTRICTIONS AFFECTING LAND, AS SET FORTH IN INSTRUMENT RECORDED IN OFFICIAL RECORDS BOOK 560, PAGE 1630; AS AFFECTED BY AMENDMENT RECORDED IN OFFICIAL RECORDS BOOK 560, PAGE 1651; OFFICIAL RECORD BOOK 874, PAGE 816; AS AFFECTED BY ABOLISHMENT OF COVENANTS AND RESTRICTIONS RECORDED IN OFFICIAL RECORD BOOK 2483, PAGE 1648, WHICH PARTIALLY ABOLISHES CERTAIN RESTRICTIONS IMPOSED ON PROPERTY. **ABOLISHED BY 2483/1648, AFFECTS - NOTHING TO PLOT**
8. EASEMENT GRANTED TO THE NORTH ST. LUCIE RIVER WATER CONTROL DISTRICT RECORDED JANUARY 14, 1988 IN OFFICIAL RECORDS BOOK 571, PAGE 1674. **AFFECTS AS PLOTTED**
9. EASEMENT AGREEMENT WITH SOUTHERN BELL TELEPHONE AND TELEGRAPH COMPANY RECORDED MARCH 4, 1988 IN OFFICIAL RECORDS BOOK 577, PAGE 1338. **DOES NOT AFFECT**
10. TERMS, CONDITIONS, PROVISIONS AND EASEMENTS AS SET FORTH IN THE RECIPROCAL EASEMENT AGREEMENT RECORDED SEPTEMBER 27, 1990 IN OFFICIAL RECORD BOOK 709, PAGE 1026. **DOES NOT AFFECT**
11. TERMS AND CONDITIONS OF THE GRANT OF DRAINAGE EASEMENT TO AMERICAN VENTURE CAPITAL CORPORATION, RECORDED DECEMBER 30, 1991 IN OFFICIAL RECORDS BOOK 769, PAGE 2154. **AFFECTS THE EASTERN PORTION - BLANKET DRAINAGE**
12. CROSS-EASEMENT AGREEMENT BY AND BETWEEN AMERICAN VENTURE CAPITAL CORPORATION AND APPLE SOUTH, INC., A GEORGIA CORPORATION, RECORDED DECEMBER 13, 1993 IN OFFICIAL RECORD BOOK 874, PAGE 801. **DOES NOT AFFECT**
13. DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED IN OFFICIAL RECORD BOOK 1067, PAGE 2856; AS AFFECTED BY ABOLISHMENT OF COVENANTS AND RESTRICTIONS RECORDED IN OFFICIAL RECORD BOOK 2483, PAGE 1648, WHICH PARTIALLY ABOLISHES CERTAIN RESTRICTIONS IMPOSED ON PROPERTY. **DOES NOT AFFECT**
14. RESTRICTIONS AS SET FORTH IN THE SPECIAL WARRANTY DEED FROM WAL-MART STORES EAST, INC., A DELAWARE CORPORATION TO 2890, INC., A FLORIDA CORPORATION, RECORDED AUGUST 13, 2002 IN OFFICIAL RECORDS BOOK 1566, PAGE 1437. **AFFECTS - BLANKET**
15. TERMS, CONDITIONS AND PROVISIONS AS SET FORTH IN THE ACCESS EASEMENT FROM WAL-MART STORES EAST, INC., A DELAWARE CORPORATION TO 2890, INC., A FLORIDA CORPORATION, RECORDED AUGUST 13, 2002 IN OFFICIAL RECORDS BOOK 1566, PAGE 1449 AND RECORDED IN OFFICIAL RECORD BOOK 1709, PAGE 889. **DOES NOT AFFECT**
16. ACCESS EASEMENT FROM PRIME HOMES AT PORTOFINO LANDINGS, LTD., A FLORIDA LIMITED PARTNERSHIP, TO 2890, INC., A FLORIDA CORPORATION, FOR VEHICLE INGRESS AND EGRESS, RECORDED SEPTEMBER 8, 2006 IN OFFICIAL RECORD BOOK 2653, PAGE 277. **DOES NOT AFFECT**
17. NOTICE OF ESTABLISHMENT OF THE PORTOFINO LANDINGS COMMUNITY DEVELOPMENT DISTRICT RECORDED IN OFFICIAL RECORD BOOK 2739, PAGE 681, TOGETHER FINAL JUDGMENT RECORDED IN OFFICIAL RECORD BOOK 2803, PAGE 2251, WHICH INCLUDES PROVISIONS FOR ASSESSMENTS. **DOES NOT AFFECT**
18. EASEMENTS GRANTED TO BELLSOUTH TELECOMMUNICATIONS, INC., RECORDED MAY 18, 2007 IN OFFICIAL RECORDS BOOK 2819, PAGE 2731 AND RECORDED IN OFFICIAL RECORDS BOOK 2819, PAGE 2737. **DOES NOT AFFECT**
19. DECLARATION OF CONSENT TO IMPOSITION OF SPECIAL ASSESSMENTS RECORDED JUNE 18, 2007 IN OFFICIAL RECORDS BOOK 2836, PAGE 929. **NOT A SURVEY MATTER**
20. NOTICE OF LIEN OF RECORD OF THE PORTOFINO LANDINGS COMMUNITY DEVELOPMENT DISTRICT RECORDED JUNE 18, 2007 IN OFFICIAL RECORD BOOK 2836, PAGE 932, WHICH INCLUDES A PROVISION FOR SPECIAL ASSESSMENTS; AS AMENDED IN OFFICIAL RECORDS BOOK 3251, PAGE 2188. **NOT A SURVEY MATTER**
21. TRUE-UP AGREEMENT WITH THE PORTOFINO LANDINGS COMMUNITY DEVELOPMENT DISTRICT RECORDED JUNE 20, 2007 IN OFFICIAL RECORDS BOOK 2838, PAGE 2, RE-RECORDED IN OFFICIAL RECORD BOOK 2856, PAGE 2629. **NOT A SURVEY MATTER**
22. GRANT OF EASEMENT TO COMCAST OF COLORADO/FLORIDA RECORDED JULY 17, 2007 IN OFFICIAL RECORDS BOOK 2850, PAGE 2822. **AFFECTS AS PLOTTED**
23. EASEMENT GRANTED TO THE CITY OF FORT PIERCE FOR THE USE AND BENEFIT OF THE FORT PIERCE UTILITIES AUTHORITY RECORDED MAY 13, 2008 IN OFFICIAL RECORDS BOOK 2972, PAGE 685. **AFFECTS AS PLOTTED**
24. NOTICE OF WATERWASTEWATER SUPPLY AGREEMENT WITH THE FORT PIERCE UTILITIES AUTHORITY RECORDED AUGUST 13, 2009 IN OFFICIAL RECORDS BOOK 3117, PAGE 2792. **AFFECTS - NOT A SURVEY MATTER**

LEGAL DESCRIPTION: (PER TITLE COMMITMENT)

PARCEL 1:

A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE NORTH 01°20'45" EAST, ALONG THE EAST LINE OF SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA S.R. 70); THENCE SOUTH 52°29'55" WEST, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 2,102.04 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 55°45'47" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 210.34 FEET; THENCE SOUTH 52°29'33" WEST ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 71.28 FEET; THENCE NORTH 37°30'27" WEST, A DISTANCE OF 73.78 FEET; THENCE NORTH 37°30'14" WEST, A DISTANCE OF 114.06 FEET; THENCE NORTH 37°29'33" WEST, A DISTANCE OF 33.20 FEET; THENCE SOUTH 52°29'33" WEST, A DISTANCE OF 185.54 FEET; THENCE NORTH 37°24'29" WEST, A DISTANCE OF 337.95 FEET; THENCE NORTH 52°35'31" EAST, A DISTANCE OF 149.75 FEET; THENCE SOUTH 37°24'29" EAST, A DISTANCE OF 101.01 FEET; THENCE NORTH 52°26'19" EAST, A DISTANCE OF 84.86 FEET; THENCE NORTH 76°15'19" EAST, A DISTANCE OF 109.98 FEET TO A POINT ON THE ARC OF A CIRCULAR CURVE TO THE LEFT AT WHICH A RADIAL LINE BEARS NORTH 72°27'31" EAST; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 85.00 FEET AND A CENTRAL ANGLE OF 10°43'05", A DISTANCE OF 15.90 FEET TO A POINT OF TANGENCY; THENCE SOUTH 28°15'34" EAST, A DISTANCE OF 42.13 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE TO THE LEFT; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 85.00 FEET AND A CENTRAL ANGLE OF 72°51'03", A DISTANCE OF 108.08 FEET TO A POINT OF TANGENCY; THENCE NORTH 78°53'23" EAST, A DISTANCE OF 69.88 FEET TO A POINT ON THE ARC OF A CIRCULAR CURVE TO THE LEFT AT WHICH A RADIAL LINE BEARS NORTH 46°34'59" WEST; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 443.72 FEET AND A CENTRAL ANGLE OF 04°34'37", A DISTANCE OF 35.44 FEET TO A POINT OF TANGENCY; THENCE SOUTH 47°59'38" EAST, A DISTANCE OF 11.05 FEET; THENCE SOUTH 44°53'31" EAST, A DISTANCE OF 203.42 FEET TO THE POINT OF BEGINNING.

LESS A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE NORTH 01°20'45" EAST ALONG THE EAST LINE OF SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, FOR A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA S.R. 70); THENCE SOUTH 52°29'55" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 2102.04 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND; THENCE SOUTH 55°45'47" WEST FOR A DISTANCE OF 210.34 FEET; THENCE SOUTH 52°29'33" WEST FOR A DISTANCE OF 71.28 FEET; THENCE NORTH 37°30'27" WEST FOR A DISTANCE OF 73.78 FEET; THENCE NORTH 01°22'19" WEST FOR A DISTANCE OF 267.30 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 14°31'16" WEST, HAVING A RADIUS OF 85.00 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 36.54 FEET THROUGH A CENTRAL ANGLE OF 24°37'53" TO A POINT OF TANGENCY; THENCE NORTH 78°53'23" EAST FOR A DISTANCE OF 69.88 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 46°34'59" WEST, HAVING A RADIUS OF 443.72 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 35.19 FEET THROUGH A CENTRAL ANGLE OF 04°32'39"; THENCE SOUTH 47°59'38" EAST FOR A DISTANCE OF 11.05 FEET; THENCE SOUTH 44°53'31" EAST FOR A DISTANCE OF 203.42 FEET TO THE POINT OF BEGINNING.

PARCEL 2:

A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE NORTH 01°20'45" EAST ALONG THE EAST LINE OF SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, FOR A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA S.R. 70); THENCE SOUTH 52°29'55" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 2102.04 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND; THENCE SOUTH 55°45'47" WEST FOR A DISTANCE OF 210.34 FEET; THENCE SOUTH 52°29'33" WEST FOR A DISTANCE OF 71.28 FEET; THENCE NORTH 37°30'27" WEST FOR A DISTANCE OF 73.78 FEET; THENCE NORTH 01°22'19" WEST FOR A DISTANCE OF 267.30 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 14°31'16" WEST, HAVING A RADIUS OF 85.00 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 36.54 FEET THROUGH A CENTRAL ANGLE OF 24°37'53" TO A POINT OF TANGENCY; THENCE NORTH 78°53'23" EAST FOR A DISTANCE OF 69.88 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 46°34'59" WEST, HAVING A RADIUS OF 443.72 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 35.19 FEET THROUGH A CENTRAL ANGLE OF 04°32'39"; THENCE SOUTH 47°59'38" EAST FOR A DISTANCE OF 11.05 FEET; THENCE SOUTH 44°53'31" EAST FOR A DISTANCE OF 203.42 FEET TO THE POINT OF BEGINNING.

LEGEND

ALTA = AMERICAN LAND TITLE ASSOCIATION		= BACKFLOW PREVENTER		= SIGN
A.P.U. = APPARENT PHYSICAL USE		= BIKE LANE		= SITE CONTROL POINT
CCR = CERTIFIED CORNER RECORD		= CERTIFIED CORNER RECORD		= BOLLARD
CH = CHORD BEARING AND DISTANCE		= CHORD BEARING AND DISTANCE		= STORM MANHOLE
(D) = DEED DATA		= DEED DATA		= WATER VALVE
EL. = ELEVATION		= ELEVATION		= OAK TREE WITH DIAMETER
F.D.O.T. = FLORIDA DEPARTMENT OF TRANSPORTATION		= FLORIDA DEPARTMENT OF TRANSPORTATION		= PALM TREE WITH DIAMETER
G.P.S. = GLOBAL POSITIONING SYSTEM		= GLOBAL POSITIONING SYSTEM		= SET 5/8" IRON ROD AND CAP STAMPED "BOWMAN CG LB 8030"
.I.D. = IDENTIFICATION		= IDENTIFICATION		= SET MAG NAIL AND DISK STAMPED "BOWMAN CG LB 8030"
INV. = INVERT		= INVERT		= FOUND IRON ROD
L = ARC LENGTH		= ARC LENGTH		= FOUND CONCRETE MONUMENT
LB = LICENSED BUSINESS		= LICENSED BUSINESS		= SECTION CORNER
LTD. = LIMITED		= LIMITED		
N.A.V.D. = NORTH AMERICAN VERTICAL DATUM		= NORTH AMERICAN VERTICAL DATUM		
NSLRWCD = NORTH ST. LUCIE RIVER WATER CONTROL DISTRICT		= NORTH ST. LUCIE RIVER WATER CONTROL DISTRICT		
NSPS = NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS		= NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS		
O.R.B. = OFFICIAL RECORDS BOOK		= OFFICIAL RECORDS BOOK		
P.B. = PLAT BOOK		= PLAT BOOK		
PG. = PAGE		= PAGE		
P.O.C. = POINT OF COMMENCEMENT		= POINT OF COMMENCEMENT		
PVC = POLYVINYL CHLORIDE PIPE		= POLYVINYL CHLORIDE PIPE		
R = RADIUS		= RADIUS		
RCP = REINFORCED CONCRETE PIPE		= REINFORCED CONCRETE PIPE		
R.T.K. = REAL TIME KINEMATIC		= REAL TIME KINEMATIC		
TYP = TYPICAL		= TYPICAL		
x14.52 = EXISTING ELEVATION		= EXISTING ELEVATION		
		= OVERHEAD UTILITY LINE		
		= RISER		

SURVEYOR'S NOTES:

1. THIS IS A BOUNDARY AND TOPOGRAPHIC SURVEY AS DEFINED IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE. SAID SURVEY MEETS THE "STANDARDS OF PRACTICE" FOR SURVEYING AND MAPPING, AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE (F.A.C.), PURSUANT TO SECTION 472.027, FLORIDA STATUTES. THE BOUNDARY SURVEY SHOWN HEREON WAS PREPARED UTILIZING THE TITLE COMMITMENT AS PROVIDED BY THE CLIENT.
2. THE COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERENCED TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, TRANSVERSE MERCATOR PROJECTION, EAST ZONE, NORTH AMERICAN DATUM OF 1983 (NAD83 / 2011 ADJUSTMENT). THIS REFERENCE WAS ESTABLISHED BY USING A TRIMBLE R-12 GPS RECEIVER WITH THE VRS NETWORK AND VERIFIED BY MULTIPLE OCCUPATIONS ON THE NATIONAL GEODETIC SURVEY CONTROL POINT "GCY":
 - "GCY"
 - PID: AA7679
 - FOUND SURVEY DISK SET IN TOP OF CONCRETE MONUMENT STAMPED "GCY 1993"
 - NORTHING: 1,124,362.57
 - EASTING: 861,826.45
3. THE BEARING BASIS SHOWN HEREON REFERS TO THE OBSERVED BEARING OF SOUTH 64°03'06" WEST BETWEEN SITE CONTROL POINTS #801 AND #802.
 - "BMX-020"
 - FOUND F.D.O.T. BRASS DISK AT THE NORTHEAST END OF A CONCRETE STRUCTURE OVER 5 MILE CREEK ON OKEECHOBEE ROAD (STATE ROAD 70), MARK IS STAMPED "9496 X 020".
 - ELEVATION - 4.45' (N.A.V.D. 88)
4. THIS SURVEY WAS PERFORMED UTILIZING R.T.K.-G.P.S. PROCEDURES AND TRADITIONAL SURVEY PROCEDURES WITH MULTIPLE MEASUREMENTS ON PROJECT CONTROL POINTS AND HAS A STATISTICAL HORIZONTAL AND VERTICAL POSITIONAL PRECISION OF LESS THAN 0.10 FEET.
5. ALL DISTANCE SHOWN HEREON ARE IN U.S. SURVEY FEET AND DECIMALS THEREOF AND ARE MEASURED DISTANCES UNLESS OTHERWISE NOTED.
6. APPARENT PHYSICAL USES:
 - #1) THERE ARE UTILITIES LYING WITHIN THE SOUTH PROPERTY LINE THAT ARE NOT IN AN EASEMENT.
 - #2) THERE ARE SEWER STRUCTURES AND UNDERGROUND LINES CROSSING THE PROPERTY.
7. THE IMAGERY SHOWN HEREON, DATED 2018, WAS OBTAINED FROM THE LABINS.ORG DATABASE AND IS FOR INFORMATIONAL PURPOSES ONLY.
8. THIS SURVEY IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OR ELECTRONIC SIGNATURE OF A FLORIDA LICENSED SURVEYOR.
9. ADDITIONS OR DELETIONS TO THIS SURVEY MAP OR REPORT BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY OF PARTIES.
10. TABLE "A" ITEM 3: THE LANDS BOUND BY THIS SURVEY ARE LOCATED WITHIN AN AREA HAVING FLOOD ZONE DESIGNATION "AE" AND "X" PER THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 12111C0186J, DATED 2/16/2012.
11. TABLE "A" ITEM 6: NO ZONING REPORT WAS PROVIDED.
12. TABLE "A" ITEM 7A: THERE ARE NO BUILDINGS LOCATED ON THE PROPERTY.
13. TABLE "A" ITEM 9: THERE ARE 4 IDENTIFIABLE PARKING SPACES.
14. TABLE "A" ITEM 16: THERE IS NO OBSERVABLE EVIDENCE OF CURRENT EARTH MOVING WORK.
15. TABLE "A" ITEM 17: THERE IS NO OBSERVABLE EVIDENCE OF CHANGES TO RIGHT-OF-WAY. THERE IS NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

SURVEYOR'S CERTIFICATION:

TO: PUGLIESE CREATIVE VENTURES
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1 THROUGH 5, 6(B), 7(A), 7(B)(1), 8, 9, 11, 13, 16, 17 AND 19 OF TABLE A THEREOF.

PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT PROPER FIELD PROCEDURES, INSTRUMENTATION AND ADEQUATE SURVEY PERSONNEL WERE EMPLOYED IN ORDER TO ACHIEVE RESULTS COMPARABLE TO THOSE OUTLINED IN THE "MINIMUM ANGLE, DISTANCE AND CLOSURE REQUIREMENTS FOR SURVEY MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALTA/NSPS LAND TITLE SURVEYS."

ALSO

I FURTHER CERTIFY, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT THE BOUNDARY AND TOPOGRAPHIC SURVEY SHOWN HEREON WAS PREPARED IN ACCORDANCE WITH THE "STANDARDS OF PRACTICE" FOR SURVEYING AND MAPPING IN THE STATE OF FLORIDA AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

RICHARD E. BARNES, JR.
FLORIDA SURVEYOR AND MAPPER
REGISTRATION NO. 5173

MARCH 24, 2021
DATE OF LAST FIELDWORK

BOWMAN CONSULTING GROUP, LTD., INC.
FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER 8030
(LB 8030 = LICENSED BUSINESS NUMBER 8030)

Bowman
CONSULTING

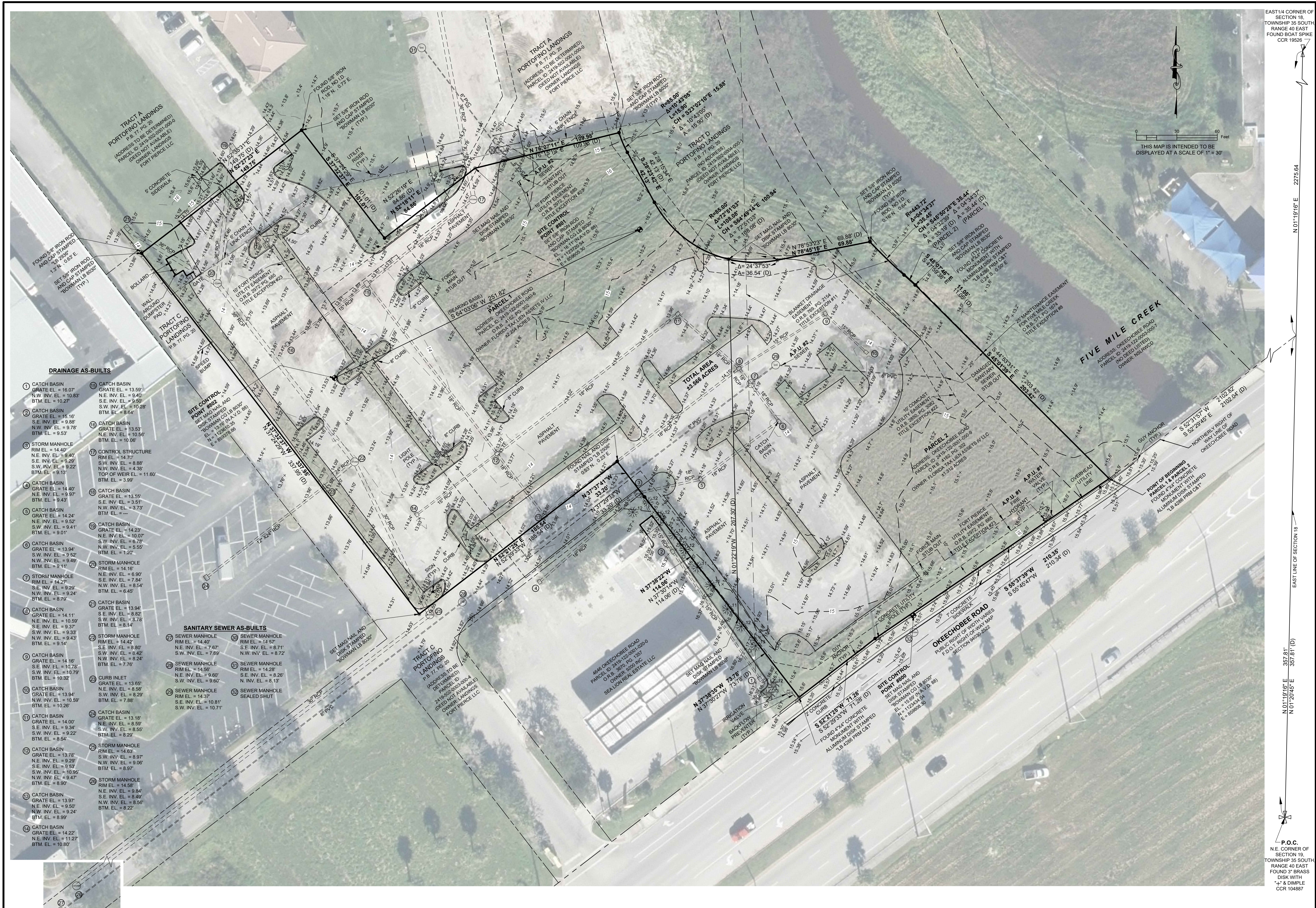
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PROFESSIONAL SURVEYORS AND MAPPERS, CERTIFICATE NO. LB 8030
BOARD OF PROFESSIONAL ENGINEERS, CERTIFICATE OF AUTHORIZATION NO. 39462

OKEECHOBEE ROAD
ALTA / NSPS LAND TITLE
BOUNDARY AND TOPOGRAPHIC SURVEY
FLORIDA
ST. LUCIE COUNTY

PROJECT NO
030028-04-001

PLAN STATUS

DATE	DESCRIPTION
FIELD BOOK 21-207	PAGE 40-41
FIELD CREW:	JS, AA
D.A.L. DRAWN	R.E.B. CHKD
N/A	N/A
N/A	N/A
JOB No. 030028-04-001	
DATE: MARCH 24, 2021	
FILE No. 030028-04-001 ALTA	



EAST 1/4 CORNER OF SECTION 18, TOWNSHIP 35 SOUTH, RANGE 40 EAST, FOUND BOAT SPIKE CCR 19526

THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1" = 30'

0 30 60 Feet

EAST LINE OF SECTION 18 N 01°19'16" E 2275.64'

N 01°19'16" E 357.81'

N 01°20'45" E 357.81' (D)

P.O.C. NE CORNER OF SECTION 18, TOWNSHIP 35 SOUTH, RANGE 40 EAST, FOUND 3" BRASS DISK WITH 1/2" DIMPLE CCR 104887

- DRAINAGE AS-BUILTS**
- 1 CATCH BASIN GRATE EL = 16.07' N.W. INV. EL = 10.83' BTM. EL = 10.27'
 - 2 CATCH BASIN GRATE EL = 15.16' S.E. INV. EL = 9.98' N.W. INV. EL = 9.78' BTM. EL = 9.53'
 - 3 STORM MANHOLE RIM EL = 14.40' N.E. INV. EL = 9.40' S.W. INV. EL = 9.29' BTM. EL = 9.22'
 - 4 CATCH BASIN GRATE EL = 14.40' N.E. INV. EL = 9.97' BTM. EL = 9.43'
 - 5 CATCH BASIN GRATE EL = 14.24' N.E. INV. EL = 9.52' S.W. INV. EL = 9.41' BTM. EL = 9.01'
 - 6 CATCH BASIN GRATE EL = 13.94' S.W. INV. EL = 9.52' N.W. INV. EL = 9.49' BTM. EL = 9.11'
 - 7 STORM MANHOLE RIM EL = 14.27' S.E. INV. EL = 9.29' N.W. INV. EL = 9.24' BTM. EL = 8.79'
 - 8 CATCH BASIN GRATE EL = 14.11' N.E. INV. EL = 10.59' S.E. INV. EL = 9.37' S.W. INV. EL = 9.33' N.W. INV. EL = 9.43' BTM. EL = 9.14'
 - 9 CATCH BASIN GRATE EL = 14.16' S.E. INV. EL = 10.73' S.W. INV. EL = 10.79' BTM. EL = 10.32'
 - 10 CATCH BASIN GRATE EL = 13.94' N.W. INV. EL = 10.59' BTM. EL = 10.26'
 - 11 CATCH BASIN GRATE EL = 14.00' S.E. INV. EL = 9.34' S.W. INV. EL = 9.22' BTM. EL = 8.54'
 - 12 CATCH BASIN GRATE EL = 13.78' N.E. INV. EL = 9.29' S.E. INV. EL = 9.53' S.W. INV. EL = 10.95' N.W. INV. EL = 9.47' BTM. EL = 8.90'
 - 13 CATCH BASIN GRATE EL = 13.97' N.E. INV. EL = 9.50' N.W. INV. EL = 9.24' BTM. EL = 8.99'
 - 14 CATCH BASIN GRATE EL = 14.22' N.E. INV. EL = 11.27' BTM. EL = 10.80'
 - 15 CATCH BASIN GRATE EL = 13.59' N.E. INV. EL = 9.40' S.E. INV. EL = 9.50' S.W. INV. EL = 10.26' BTM. EL = 8.64'
 - 16 CATCH BASIN GRATE EL = 13.53' N.E. INV. EL = 10.56' BTM. EL = 10.06'
 - 17 CONTROL STRUCTURE RIM EL = 14.70' S.W. INV. EL = 8.88' N.W. INV. EL = 4.38' TOP OF WEIR EL = 11.60' BTM. EL = 3.99'
 - 18 CATCH BASIN GRATE EL = 13.55' S.E. INV. EL = 3.51' N.W. INV. EL = 3.73' BTM. EL = ---
 - 19 CATCH BASIN GRATE EL = 14.23' N.E. INV. EL = 10.07' S.W. INV. EL = 6.78' N.W. INV. EL = 5.55' BTM. EL = 1.20'
 - 20 STORM MANHOLE RIM EL = 14.16' N.E. INV. EL = 9.90' S.E. INV. EL = 7.84' N.W. INV. EL = 8.54' BTM. EL = 6.45'
 - 21 CATCH BASIN GRATE EL = 13.94' S.E. INV. EL = 8.82' S.W. INV. EL = 8.78' BTM. EL = 8.14'
 - 22 STORM MANHOLE RIM EL = 14.40' N.E. INV. EL = 7.67' S.W. INV. EL = 8.42' BTM. EL = 7.76'
 - 23 SEWER MANHOLE RIM EL = 14.56' N.E. INV. EL = 9.60' S.W. INV. EL = 9.60'
 - 24 CATCH BASIN GRATE EL = 13.65' N.E. INV. EL = 8.58' S.W. INV. EL = 8.29' BTM. EL = 7.88'
 - 25 STORM MANHOLE RIM EL = 14.58' N.E. INV. EL = 8.59' S.W. INV. EL = 8.55' N.W. INV. EL = 8.56' BTM. EL = 8.22'
 - 26 STORM MANHOLE RIM EL = 14.58' N.E. INV. EL = 9.84' S.E. INV. EL = 8.49' N.W. INV. EL = 8.56' BTM. EL = 8.22'
 - 27 SEWER MANHOLE RIM EL = 14.47' N.E. INV. EL = 7.67' S.W. INV. EL = 7.69'
 - 28 SEWER MANHOLE RIM EL = 14.56' N.E. INV. EL = 9.60' S.W. INV. EL = 9.60'
 - 29 CATCH BASIN GRATE EL = 13.18' N.E. INV. EL = 8.59' S.W. INV. EL = 8.55' BTM. EL = 8.29'
 - 30 STORM MANHOLE RIM EL = 14.63' S.W. INV. EL = 9.96' BTM. EL = 8.97'
 - 31 SEWER MANHOLE RIM EL = 14.28' N.E. INV. EL = 8.26' N.W. INV. EL = 8.13'
 - 32 SEWER MANHOLE SEALED SHUT
 - 33 SEWER MANHOLE RIM EL = 14.47' N.E. INV. EL = 14.57' S.E. INV. EL = 8.71' N.W. INV. EL = 8.72'
 - 34 SEWER MANHOLE RIM EL = 14.28' N.E. INV. EL = 8.26' N.W. INV. EL = 8.13'
 - 35 SEWER MANHOLE RIM EL = 14.37' S.E. INV. EL = 10.81' S.W. INV. EL = 10.71'
- SANITARY SEWER AS-BUILTS**
- 27 SEWER MANHOLE RIM EL = 14.47' N.E. INV. EL = 7.67' S.W. INV. EL = 7.69'
 - 28 SEWER MANHOLE RIM EL = 14.56' N.E. INV. EL = 9.60' S.W. INV. EL = 9.60'
 - 29 CATCH BASIN GRATE EL = 13.18' N.E. INV. EL = 8.59' S.W. INV. EL = 8.55' BTM. EL = 8.29'
 - 30 STORM MANHOLE RIM EL = 14.63' S.W. INV. EL = 9.96' BTM. EL = 8.97'
 - 31 SEWER MANHOLE RIM EL = 14.28' N.E. INV. EL = 8.26' N.W. INV. EL = 8.13'
 - 32 SEWER MANHOLE SEALED SHUT
 - 33 SEWER MANHOLE RIM EL = 14.47' N.E. INV. EL = 14.57' S.E. INV. EL = 8.71' N.W. INV. EL = 8.72'
 - 34 SEWER MANHOLE RIM EL = 14.28' N.E. INV. EL = 8.26' N.W. INV. EL = 8.13'
 - 35 SEWER MANHOLE RIM EL = 14.37' S.E. INV. EL = 10.81' S.W. INV. EL = 10.71'

Bowman CONSULTING
 PROFESSIONAL SURVEYORS AND MAPPERS, CERTIFICATE NO. LB 8093
 BOARD OF PROFESSIONAL ENGINEERS, CERTIFICATE OF AUTHORIZATION NO. 39492

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FLORIDA
ST. LUCIE COUNTY

OKEECHOBEE ROAD
ALTA / NSPS LAND TITLE
BOUNDARY AND TOPOGRAPHIC SURVEY

PROJECT NO
 030028-04-001

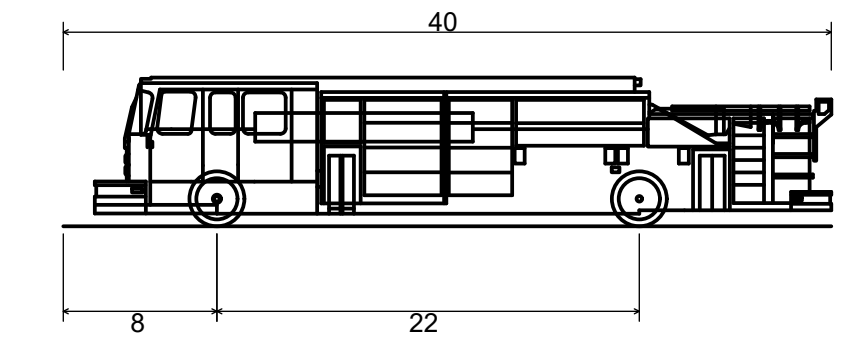
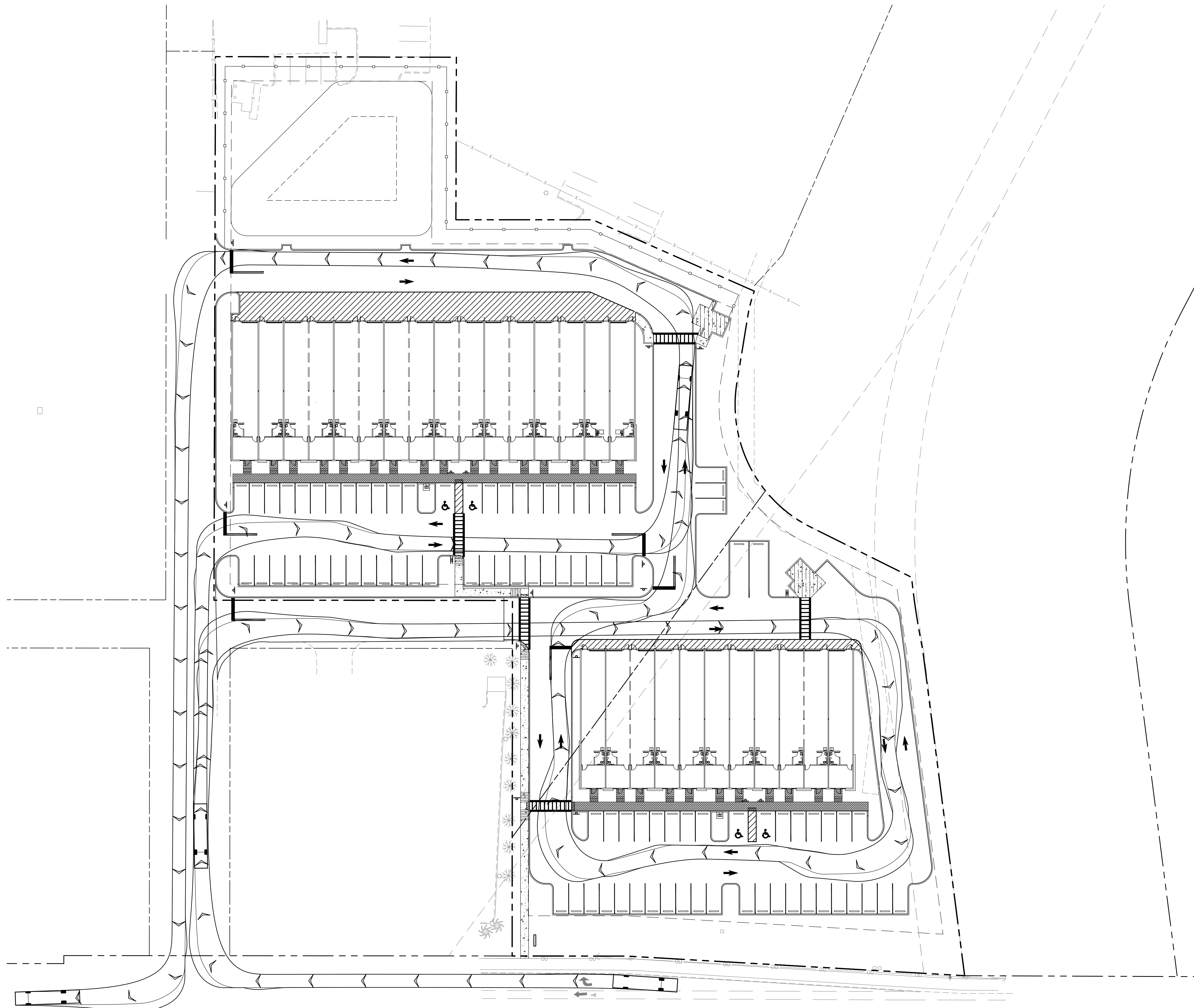
PLAN STATUS

DATE	DESCRIPTION
FIELD BOOK	PAGE
21-207	40-41
FIELD CREW:	JS, AA
D.A.L.	R.E.B.
DRAWN	CHKD
SCALE	H: N/A
	V: N/A
JOB No.	030028-04-001
DATE:	MARCH 24, 2021
FILE No.	030028-04-001 ALTA

SHEET 1 OF 1

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY BOWMAN CONSULTING GROUP, LTD., INC. SHALL BE WITHOUT LIABILITY TO BOWMAN CONSULTING GROUP, LTD.

Cad file name: P:\030028 - Pugliese Company\030028-04-001 (SUR) - 4646 Okeechobee Rd Ft Pierce\Survey\Topo Boundary\030028-04-001 ALTA.dwg 4/8/2021



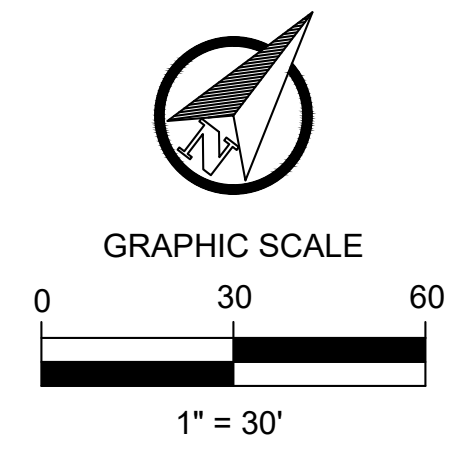
Pumper Fire Truck
 Overall Length 40.000ft
 Overall Width 8.167ft
 Overall Body Height 7.745ft
 Min Body Ground Clearance 0.656ft
 Track Width 8.167ft
 Lock-to-lock time 5.00s
 Max Wheel Angle 45.00°



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NOTE:
 ALL ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD).

FINAL DESIGN (FOR REVIEW)



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FLORIDA

4600 FLEX SPACE
 FIRE TRUCK PATH
 FORT PIERCE

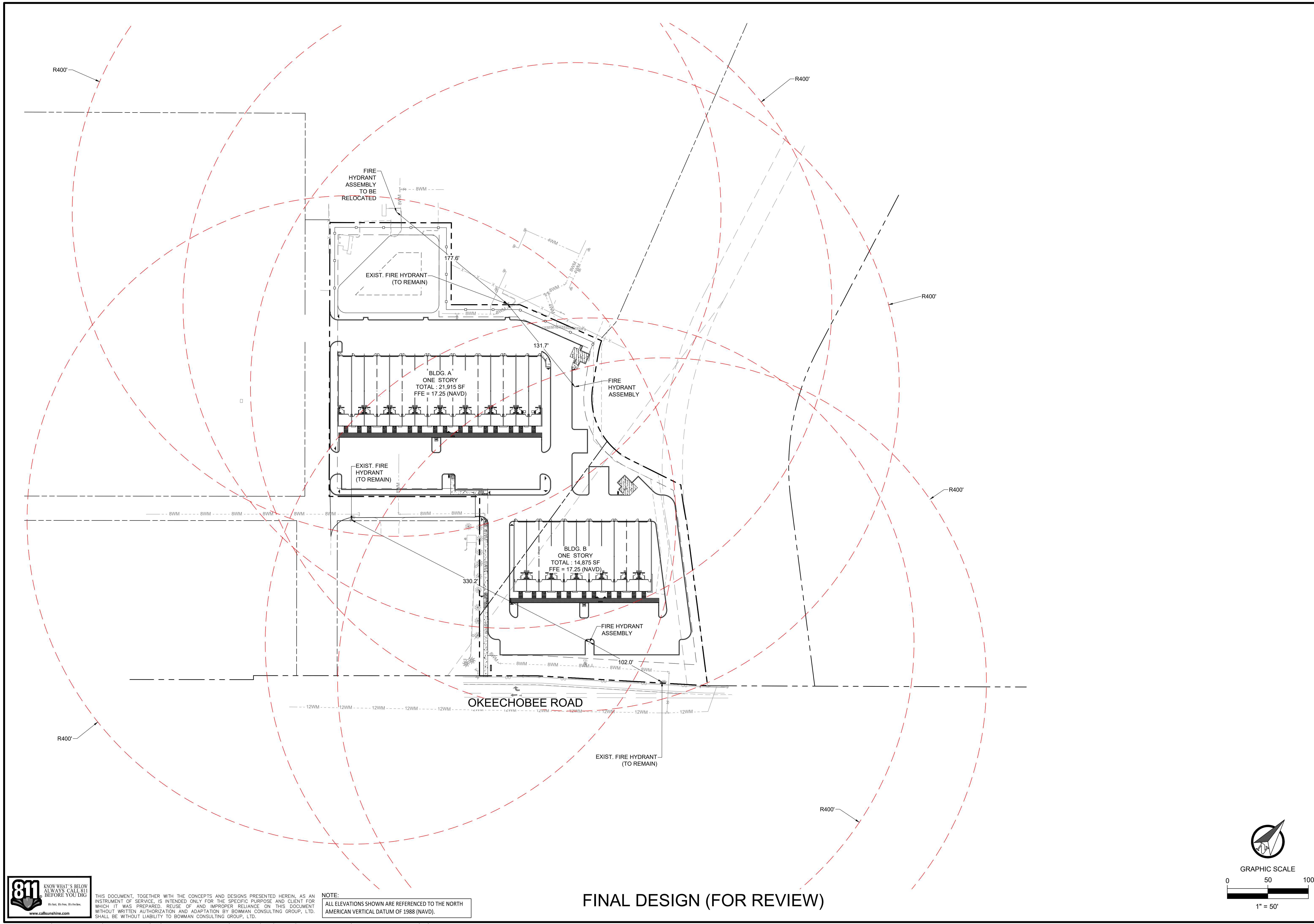
PROJECT NO
 010894-01-001

OCTAVIO "OATS" REIS
 LICENSE NO. 42503

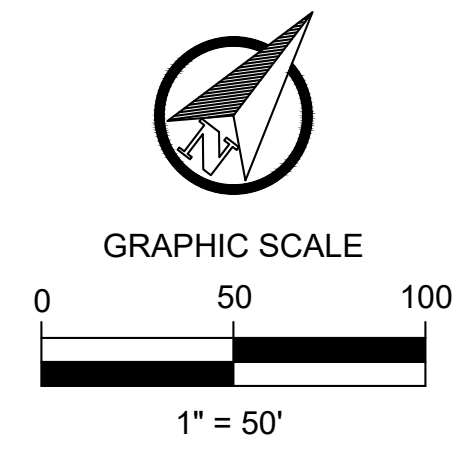
PLAN STATUS		
DATE	DESCRIPTION	
BK DESIGN	RO DRAWN	GMB CHKD

SCALE: 1" = 30'
 JOB No. 010894
 DATE March 2025
 FILE No. 010894-VHTR

SHEET **EX1**



FINAL DESIGN (FOR REVIEW)



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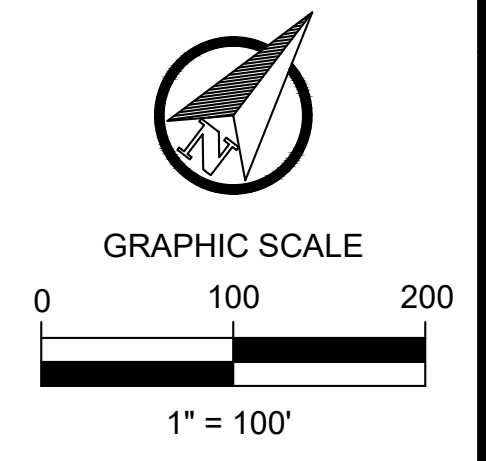
PLAN STATUS		
DATE	DESCRIPTION	
BK DESIGN	RO DRAWN	GMB CHKD
SCALE: 1" = 50'		
JOB No. 010894		
DATE March 2025		
FILE No. 010894-FH-COV		
SHEET		EX1



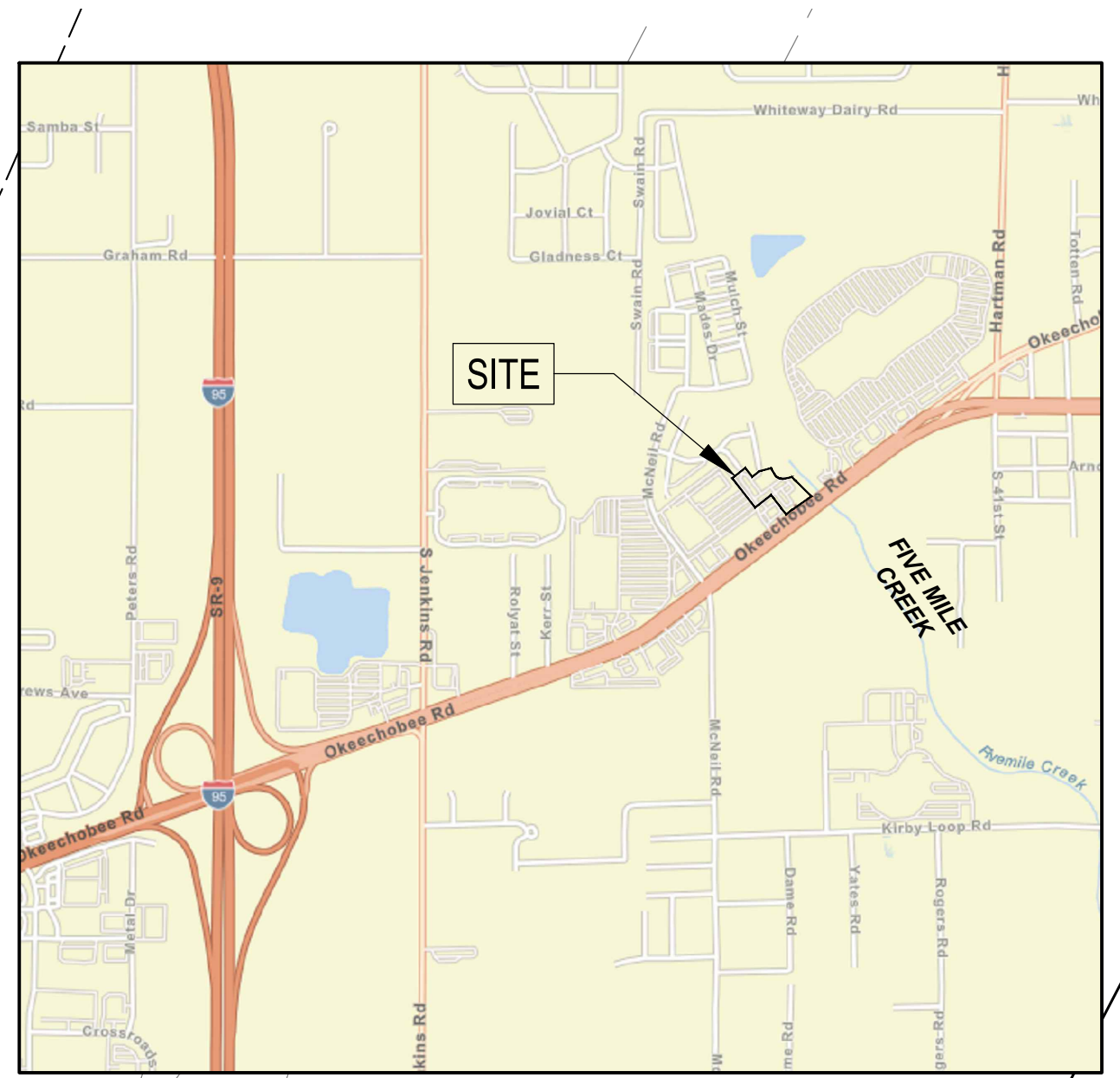
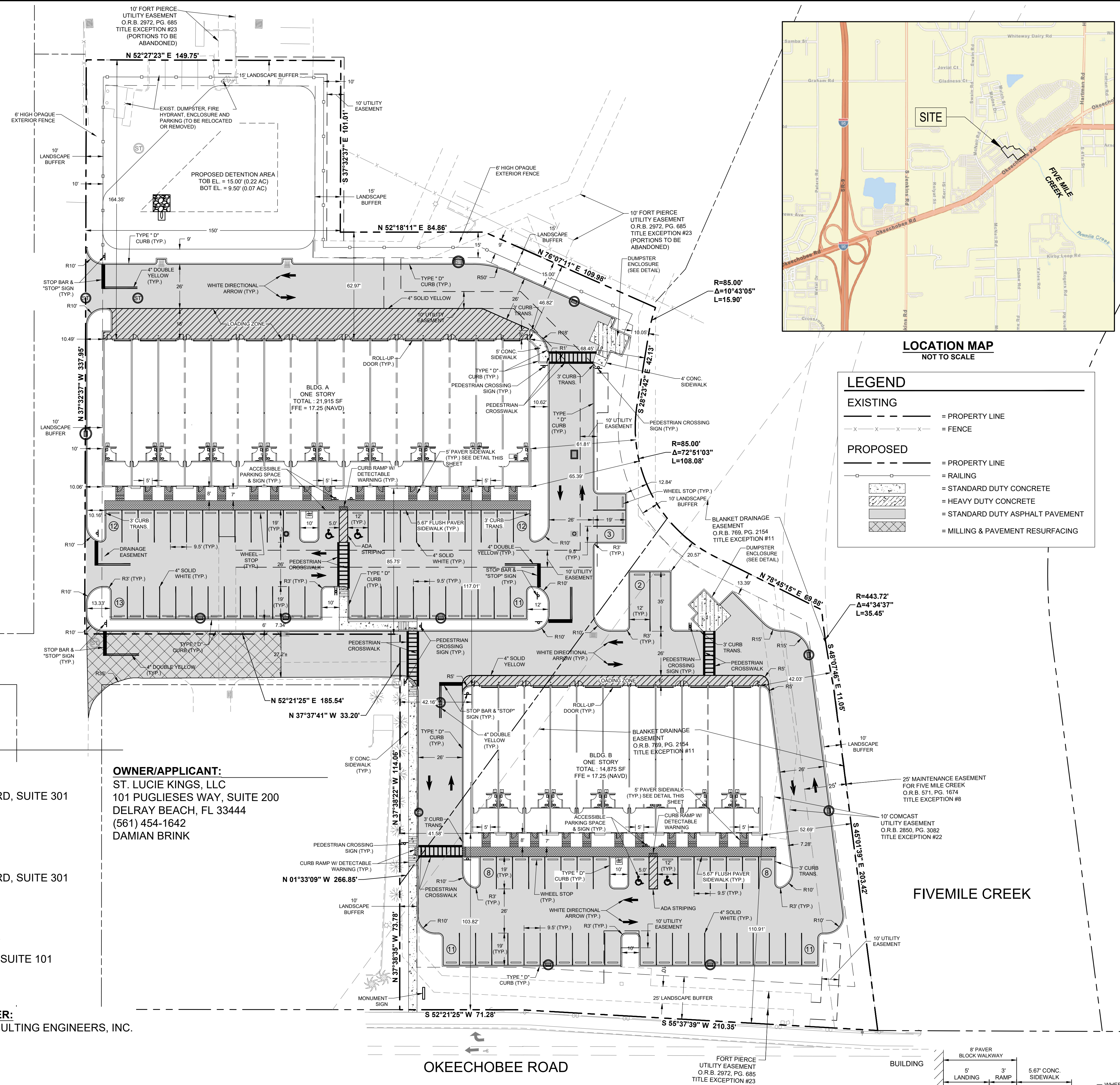
THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY BOWMAN CONSULTING GROUP, LTD. SHALL BE WITHOUT LIABILITY TO BOWMAN CONSULTING GROUP, LTD.

NOTE:
ALL ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD).

FINAL DESIGN (FOR REVIEW)



PLAN STATUS		
DATE	DESCRIPTION	
BK DESIGN	RO DRAWN	GMB CHKD
SCALE: 1" = 100'		
JOB No. 010894		
DATE February 2025		
FILE No. 010894-FH-1000		



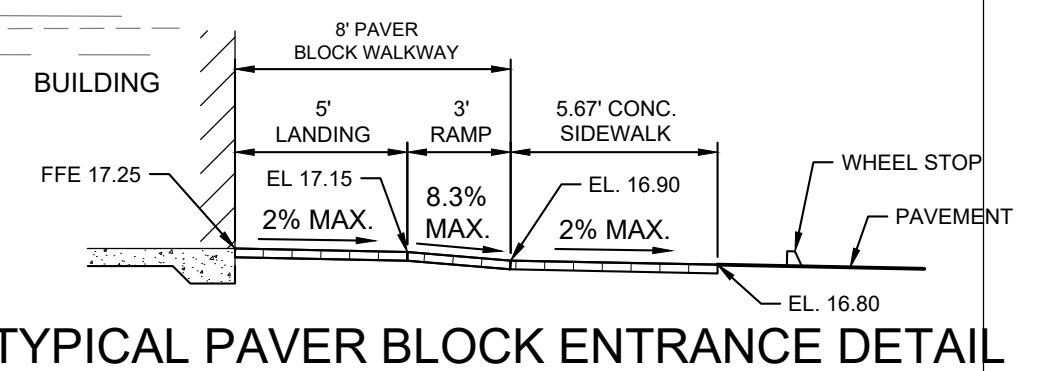
LEGEND

EXISTING

- = PROPERTY LINE
- X-X-X-X- = FENCE

PROPOSED

- = PROPERTY LINE
- = RAILING
- [Pattern] = STANDARD DUTY CONCRETE
- [Pattern] = HEAVY DUTY CONCRETE
- [Pattern] = STANDARD DUTY ASPHALT PAVEMENT
- [Pattern] = MILLING & PAVEMENT RESURFACING



SITE DATA

TOTAL SITE AREA	155,352 SF / 3.57 AC
FUTURE LAND USE	GENERAL COMMERCIAL (GC)
EXISTING ZONING	COMMERCIAL GENERAL (C-3)
EXISTING USE	VACANT COMMERCIAL
PROPOSED USE	FLEX SPACE (WHOLE SALE TRADE / WAREHOUSE & FREIGHT)
BUILDING COVERAGE	36,790 SF
MAXIMUM BUILDING HEIGHT	65'
PROPOSED BUILDING HEIGHT	30'
PARCEL CONTROL NUMBER	2419-122-0001-050-9
	2419-122-0001-040-6

OPEN SPACE

REQUIRED	31,070 SF	0.71 AC	20%
PROVIDED	47,933 SF	1.10 AC	31%
TOTAL LANDSCAPE AREA	47,933 SF	1.10 AC	31%

SET BACKS

REQUIRED (MIN.)	PROVIDED
FRONT	25'
REAR	15'
LEFT	10'
RIGHT	10'

LANDSCAPE AREA

TOTAL LANDSCAPE AREA	47,933 SF	1.10 AC	31%
----------------------	-----------	---------	-----

IMPERVIOUS AREA

BUILDING COVERAGE	36,790 SF	0.85 AC	24%
VEHICULAR USE AREA	61,960 SF	1.42 AC	40%
PAVERS/WALKS/DUMPS	8,669 SF	0.19 AC	5%
TOTAL	107,419 SF	2.46 AC	69%

BUILDING DATA

	OFFICE	WAREHOUSE	TOTAL
BUILDING A	3,357 SF / 15%	18,558 SF	21,915 SF
BUILDING B	2,306 SF / 15%	12,569 SF	14,875 SF
TOTAL	5,663 SF / 15%	31,127 SF	36,790 SF

PARKING REQUIREMENTS (9.5' X 19')

	REQUIRED	PROVIDED
WAREHOUSE	52 SPACES	55 SPACES
OFFICE	28 SPACES	30 SPACES
ACCESSIBLE SPACES	4 SPACES	4 SPACES
LOADING SPACES	85 SPACES	91 SPACES
TOTAL PARKING SPACES	169 SPACES	179 SPACES

LEGAL DESCRIPTION

PARCEL 1:

A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE NORTH 01°20'45" EAST, ALONG THE EAST LINE OF SECTION 18, TOWNSHIP 35 SOUTH, RANGE 40 EAST, A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA S.R. 70); THENCE SOUTH 52°29'55" WEST, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 210.04 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 55°45'47" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 210.34 FEET; THENCE SOUTH 52°29'33" WEST ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 71.28 FEET; THENCE NORTH 37°30'27" WEST, A DISTANCE OF 73.78 FEET; THENCE NORTH 37°30'14" WEST, A DISTANCE OF 114.06 FEET; THENCE NORTH 37°29'33" WEST, A DISTANCE OF 33.20 FEET; THENCE SOUTH 52°29'33" WEST, A DISTANCE OF 185.54 FEET; THENCE NORTH 37°24'29" EAST, A DISTANCE OF 537.95 FEET; THENCE NORTH 52°35'31" EAST, A DISTANCE OF 149.75 FEET; THENCE SOUTH 37°24'29" EAST, A DISTANCE OF 101.01 FEET; THENCE NORTH 52°28'19" EAST, A DISTANCE OF 84.86 FEET; THENCE NORTH 76°15'19" EAST, A DISTANCE OF 109.98 FEET TO A POINT OF TANGENCY; THENCE NORTH 76°15'19" EAST, A DISTANCE OF 69.88 FEET TO A POINT ON THE ARC OF A CIRCULAR CURVE TO THE LEFT AT WHICH A RADIAL LINE BEARS NORTH 72°27'31" EAST; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 85.00 FEET AND A CENTRAL ANGLE OF 10°43'05", A DISTANCE OF 15.90 FEET TO A POINT OF TANGENCY; THENCE SOUTH 28°15'34" EAST, A DISTANCE OF 42.13 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE TO THE LEFT; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 85.00 FEET AND A CENTRAL ANGLE OF 72°51'03", A DISTANCE OF 108.98 FEET TO A POINT OF TANGENCY; THENCE NORTH 78°53'23" EAST, A DISTANCE OF 89.88 FEET TO A POINT ON THE ARC OF A CIRCULAR CURVE TO THE LEFT AT WHICH A RADIAL LINE BEARS NORTH 46°34'59" EAST; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 443.72 FEET AND A CENTRAL ANGLE OF 04°34'37", A DISTANCE OF 35.44 FEET TO A POINT OF TANGENCY; THENCE SOUTH 47°59'38" EAST, A DISTANCE OF 11.05 FEET; THENCE SOUTH 44°53'31" EAST, A DISTANCE OF 203.42 FEET TO THE POINT OF BEGINNING.

PARCEL 2:

A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE NORTH 01°20'45" EAST ALONG THE EAST LINE OF SECTION 18, TOWNSHIP 35 SOUTH, RANGE 40 EAST, FOR A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA S.R. 70); THENCE SOUTH 52°29'55" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 210.04 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND; THENCE SOUTH 55°45'47" WEST FOR A DISTANCE OF 210.34 FEET; THENCE SOUTH 52°29'33" WEST FOR A DISTANCE OF 71.28 FEET; THENCE NORTH 37°30'27" WEST FOR A DISTANCE OF 73.78 FEET; THENCE NORTH 37°30'14" WEST FOR A DISTANCE OF 114.06 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 14°31'16" WEST, HAVING A RADIUS OF 85.00 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 38.54 FEET THROUGH A CENTRAL ANGLE OF 24°37'53" TO A POINT OF TANGENCY; THENCE NORTH 78°53'23" EAST FOR A DISTANCE OF 89.88 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 46°34'59" WEST, HAVING A RADIUS OF 443.72 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 35.19 FEET THROUGH A CENTRAL ANGLE OF 04°32'39"; THENCE SOUTH 47°59'38" EAST FOR A DISTANCE OF 11.05 FEET; THENCE SOUTH 44°53'31" EAST FOR A DISTANCE OF 203.42 FEET TO THE POINT OF BEGINNING.

CONSULTANTS

CIVIL ENGINEER:
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 301 SE OCEAN BOULEVARD, SUITE 301
 STUART, FL 34994
 (772) 283-1413
 OCTAVIO "OATS" REIS

SURVEYOR:
BOWMAN
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 STUART, FL 34994
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 RICHARD BARNES, P.S.M.

LANDSCAPE ARCHITECT:
HJA DESIGN STUDIO
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 ERIKA BEITLER

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 PETER ANDERSON, P.E.

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 DELRAY BEACH, FL 33444
 (561) 454-1642
 DAMIAN BRINK

NOTE:
 ALL ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD).

FINAL DESIGN (FOR REVIEW)

Bowman
 PROFESSIONAL SURVEYORS AND MAPPERS CERTIFICATE NO. LB 8030
 BOARD OF PROFESSIONAL ENGINEERS, CERTIFICATE OF AUTHORIZATION NO. 39492

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FLORIDA

4600 FLEX SPACE

SITE PLAN

PROJECT NO
 010894-01-001

OCTAVIO "OATS" REIS
 LICENSE NO. 42503

PLAN STATUS	
DATE	DESCRIPTION
BK DESIGN	RO DRAWN
	GMB CHKD

SCALE: 1" = 30'

JOB No. 010894

DATE June 2025

FILE No. 010894-HCP

SP1

SHEET

Landscape Data

Landscape Strip Adjacent to Public R.O.W

Ten (10) feet wide minimum landscape Strip.
 One (1) tree for each three hundred (300) square feet of required landscaped area.

Portofino Landings (West): 315 LF x 10 = 3,150 sf
 Trees Required: (3,150 sf / 300) = 11 Trees
 Trees Provided: = 11 Trees
 (9 Trees + 6 Palms (3:1))

Okeechobee Road (South): 282 LF x 10 = 2,820 sf
 Trees Required: (2,820 sf / 300) = 9 Trees
 Trees Provided: = 15 Trees

Landscape Strip Adjacent to Other Property

Vehicular use, building, retention/detention areas adjacent to other property
 Ten (10) feet wide minimum landscape Strip.
 One (1) tree for each three hundred (200) square feet of required landscaped area.
 Fence/Vegetated screening required where VUA abuts residentially zoned property.

Portofino Landings (North): 678 LF x 10 = 6,780 sf
 Trees Required: (6,780 sf / 300) = 23 Trees
 Trees Provided: = 31 Trees
 (24 Trees + 22 Palms (3:1))

Five Mile Creek (East): 250 LF x 10 = 2,500 sf
 Trees Required: (2,500 sf / 300) = 8 Trees
 Trees Provided: = 8 Trees

Sea Lion Real Estate (West): 221 LF x 10 = 2,210 sf
 Trees Required: (2,210 sf / 300) = 7 Trees
 Trees Provided: = 9 Trees (Existing)

Interior Vehicular Use Areas

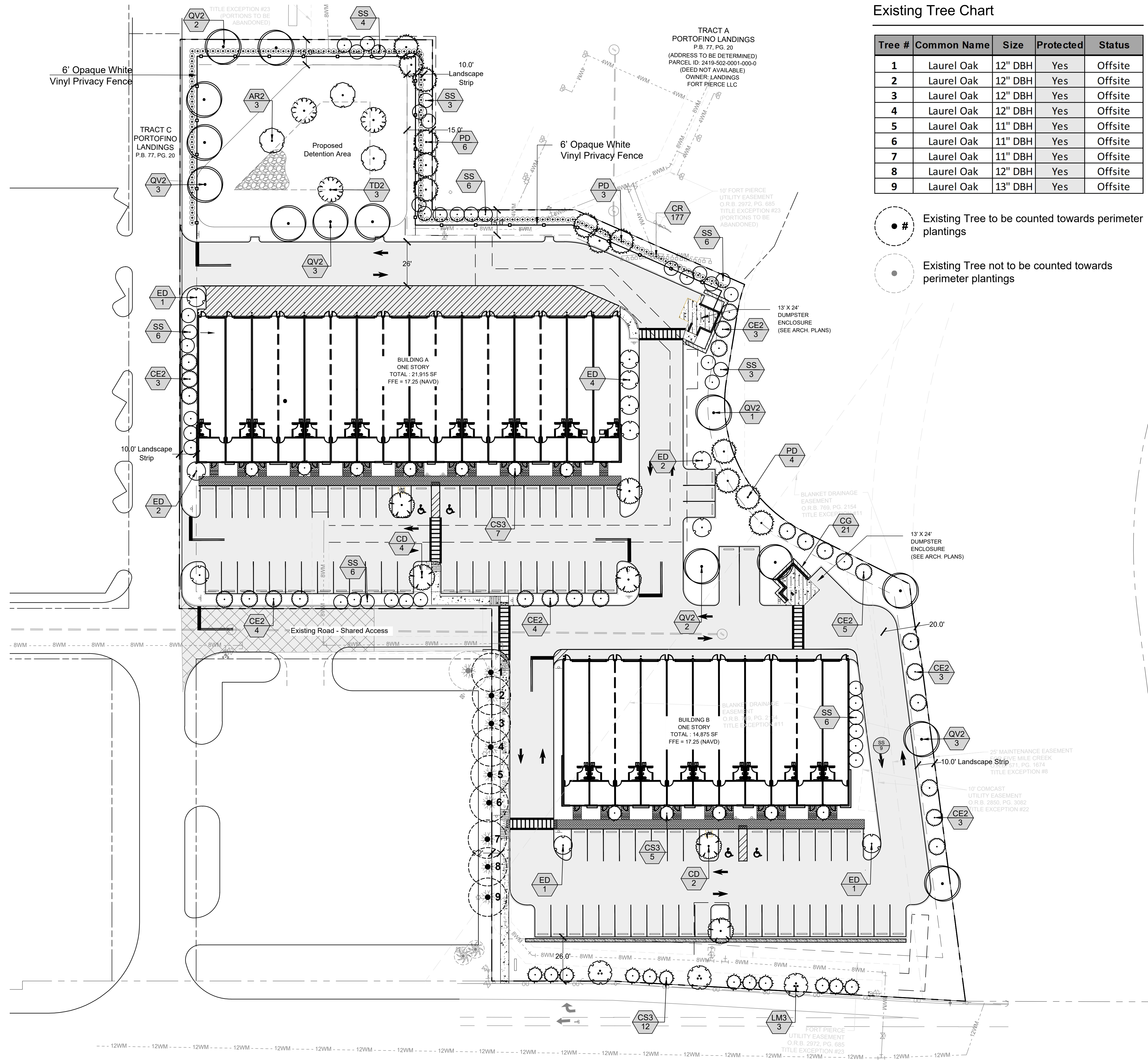
Vehicular use areas that are four thousand (4,000) or more square feet in size shall have at least one square foot of interior landscaping for each fifteen (15) square feet of vehicular use area. One tree for each one hundred (100) square feet of required landscaped area. Each separate landscaped area shall be curbed and contain a minimum of one hundred (100) square feet of area and shall be at least ten (10) feet wide and ten (10) feet deep exclusive of curbing in all locations.

Vehicular Use Area: 64,852 sf
 Landscape Area Required: (64,852 sf / 15 sf) = 4,323 sf
 Landscape Area Provided: = 16,890 sf
 Trees Required: (4,323 SF / 100) = 43 Trees
 Trees Provided: = 45 Trees
 (41 Trees + 12 Palms (3:1))

Total Required Trees: 101 Trees
Total Provided Trees: 119 Trees
 Existing Trees: 9 Trees
 Trees: 102 Trees
 Palms: 40 Palms @ 3:1

Fort Pierce Landscape Notes

- Plant materials shall meet or exceed the standards for Florida No. 1 as set out in the most current edition of "Grades and Standards for Nursery Plants Part 1 and Part 2", State of Florida, Department of Agriculture, Tallahassee.
- All trees required by this article (excluding palms that are exempt from the grades and standards) shall have a Florida No. 1 or better "Grades and Standards" certification tag attached at time of delivery through final inspection.
- Grass sod shall be clean and free of weeds, pests and diseases.
- Planting soil for all landscaped areas shall consist of existing soil mixed with fifty (50) per cent recycled top soil. Such planting soil shall be generally indigenous to the locale, free of debris, roots, clay, stones, plants or other foreign materials. The planting soil shall extend to an appropriate depth so as to eliminate any hindrance to planting operations or detriment to good plant growth. Compliance with these soil requirements shall be verified as part of the final inspection.
- Landscaped areas shall be covered in their entirety with shrubs, ground cover, turf, or three (3) inches of bulk organic mulch or other suitable material which permits percolation and is approved by the department.
- Do not place any soil or mulch over the root ball. If stakes or guide wires are used to support a tree, the wire must be covered with protective material where it is in contact with the tree and the stakes or guide wires must be removed after one year.
- All landscaping must be protected from vehicular and pedestrian traffic by the installation of curbing, wheel stops or other protective devices along the perimeter of any landscaping which adjoins vehicular use areas or sidewalks. These protected devices shall have a minimum height of six (6) inches above grade.
- No parking, display of vehicles or outside storage or display of merchandise is permitted in or over any required landscape area, nor are vehicles permitted to overhang any required landscaped area.
- To minimize traffic hazards at street or driveway intersections, all landscaping installations must provide unobstructed views.
- Any irrigation system placed on city right-of-way will be the responsibility of the property owner who shall relocate, replace or repair the system as appropriate in the event it is damaged due to permitted construction in the right-of-way.
- Prior to issuance of certificate of occupancy, final landscape installation shall be certified as complete and in conformance to the approved landscape plan by submission of a certification letter by a landscape architect.
- Property owners shall maintain all required landscaping so that it continues to present a healthy, neat and orderly appearance free of refuse and debris.
- Vegetation required shall be replaced with equivalent vegetation if it is not living. All trees for which credit is awarded and which subsequently die shall be replaced by the same number of living trees.
- Maintenance shall include sufficient weeding, watering, fertilizing, pruning, mowing, edging, mulching and other horticultural practices so as to assure that the landscaping continues to maintain a healthy, neat and orderly appearance.
- No person shall, directly or indirectly, cut down, substantially alter, destroy, remove, relocate, damage or authorize any such act involving a protected tree situated on land within the city, without first obtaining a tree removal permit.
- Removal, trimming, pruning or alteration of any tree or vegetation in an existing utility easement or public right-of-way, provided such work is done by or under the control of the operating utility company and said company has received all necessary licenses or permits to provide utility service within the easement.
- This plan has been designed to meet the tree planting requirements contained within the FPL document entitled "Plant the Right Tree in the Right Place". For existing or proposed utilities, no tree shall be planted where it could, at a mature height conflict with overhead power lines.
 - Large trees (height at maturity of more than 30') shall be planted no closer than a horizontal distance of 30' from the nearest overhead power line.
 - Medium height trees (height at maturity between 20' and 30') shall be offset at least 20' and small trees (height at maturity of less than 20') require no offset.
 - No tree shrubs, hedges or vines shall be planted within 5' of an existing or proposed utility pole, guy wire or pad-mounted transformer.
 - Palms should be planted at a distance equal to or greater than the average frond length plus two (2) feet from power lines.



Existing Tree Chart

Tree #	Common Name	Size	Protected	Status
1	Laurel Oak	12" DBH	Yes	Offsite
2	Laurel Oak	12" DBH	Yes	Offsite
3	Laurel Oak	12" DBH	Yes	Offsite
4	Laurel Oak	12" DBH	Yes	Offsite
5	Laurel Oak	11" DBH	Yes	Offsite
6	Laurel Oak	11" DBH	Yes	Offsite
7	Laurel Oak	11" DBH	Yes	Offsite
8	Laurel Oak	12" DBH	Yes	Offsite
9	Laurel Oak	13" DBH	Yes	Offsite

- # Existing Tree to be counted towards perimeter plantings
- Existing Tree not to be counted towards perimeter plantings

Scale: 1" = 30'



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 LA 0000905

Florida
 City of Fort Pierce
 4600 Okeechobee Road
 Landscape Plan



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Job No. 2022-07
 Drawn By EB
 Checked By MH
 Approved By MH
 Submittal Dates 02-01-23

Revision Dates 10-30-24
 02-20-25 06-24-25

LP-1

Landscape Notes / Specifications

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO ALL THE REQUIREMENTS STATED UNDER DIVISION 1 - GENERAL REQUIREMENTS AND CONDITIONS AS WELL AS THE SPECIFIC CRITERIA OUTLINED HEREIN AND ON THE LANDSCAPE DRAWINGS INCLUDING ADDENDA AS MAY BE ISSUED BY THE OWNER.

2. THE SCOPE OF WORK FOR THE LANDSCAPE CONTRACTOR FOR THIS PROJECT SHALL INCLUDE THE PROVISION OF ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO COMPLETE ALL TASKS ASSOCIATED WITH THE LANDSCAPE AND IRRIGATION INSTALLATION AS SHOWN ON THE DRAWINGS OR NOTED HEREIN. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE GENERAL CONTRACTOR REASONABLE ACCESS TO POWER AND POTABLE WATER SOURCES AS REQUIRED.

3. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING ALL WORK INCLUDING DELIVERY, STORAGE AND DISPOSAL OF THEIR MATERIALS IS PERFORMED IN COMPLIANCE WITH APPLICABLE JURISDICTIONAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS ASSOCIATED WITH THE WORK.

4. THE LANDSCAPE CONTRACTOR SHALL ASSIGN A QUALIFIED PROJECT MANAGER AND FIELD SUPERVISOR TO WORK DIRECTLY WITH THE LANDSCAPE ARCHITECT AND SUPERVISE THE WORK AT ALL TIMES THROUGH FINAL OWNER ACCEPTANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT PROJECT MANAGER HAS A COMPLETE, CURRENT SET OF DOCUMENTS ON-SITE AT ALL TIMES.

5. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH EXISTING SITE CONDITIONS AND NOTIFYING THE OWNER IN WRITING OF ANY CONCERNS PRIOR TO COMMENCEMENT OF WORK. THIS EVALUATION SHOULD INCLUDE, BUT IS NOT LIMITED TO, VERIFICATION OF SURFACE AND SUBSURFACE UTILITIES, GRADES, DIMENSIONS AND SOIL CONDITIONS.

6. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH PROJECT PLANS AND SCOPES OF WORK RELATED TO ASSOCIATED TRADES TO BE PERFORMED BY OTHERS IN ORDER TO IDENTIFY KEY COORDINATION ITEMS INCLUDING, BUT NOT LIMITED TO, SITE ACCESS, MATERIAL STORAGE, SCHEDULING AND SEQUENCING OF WORK. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL SITE ISSUES WITH THE GENERAL CONTRACTOR.

7. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT WORK MATERIALS AND EQUIPMENT FROM DAMAGE DUE TO THEIR ACTIVITIES. THE LANDSCAPE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSON OR PROPERTY THAT MAY OCCUR AS A RESULT OF THE EXECUTION OF THEIR WORK.

8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE AREA, MATERIALS AND EQUIPMENT WITHIN THE LIMITS OF WORK IN A SAFE, NEAT AND ORDERLY MANNER. EXCESS MATERIALS AND DEBRIS ARE TO BE REMOVED FROM THE WORK AREA NO LESS THAN WEEKLY OR AS DIRECTED BY THE GENERAL CONTRACTOR.

9. THE LANDSCAPE CONTRACTOR MUST TAKE PRECAUTIONS TO PROTECT ALL EXISTING PARKING LOTS, CURBS AND UTILITIES FROM DAMAGE. THIS APPLIES NOT ONLY TO THE AREA WITHIN THE LIMITS OF WORK BUT ALSO ALONG ANY LOCAL ACCESS ROADS.

10. THE LANDSCAPE CONTRACTOR SHALL PROVIDE ALL NECESSARY SAFETY MEASURES DURING CONSTRUCTION OPERATIONS TO PROTECT THE PUBLIC ACCORDING TO ALL APPLICABLE CODES AND RECOGNIZE LOCAL PRACTICES.

11. THE LANDSCAPE CONTRACTOR SHALL COORDINATE WITH GENERAL CONTRACTOR TO ENSURE THAT TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES (SILT FENCE, ORANGE GEO FENCE AND/OR OTHER MEASURES) ARE INSTALLED PRIOR TO BEGINNING EXCAVATION.

12. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL PLANT MATERIALS AND THE PLANTING AREAS UNTIL FINAL ACCEPTANCE BY THE OWNER.

13. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE AGRONOMIC EVALUATION OF SOIL CHARACTERISTICS. EVALUATION MUST INCLUDE CHEMICAL ANALYSIS BY A QUALIFIED AGRICULTURAL SOILS TESTING LABORATORY (CERTIFIED IN THE STATE OF FLORIDA). SOIL SAMPLE SHOULD BE TAKEN IMMEDIATELY FOLLOWING COMPLETION OF FINISH GRADING ACTIVITIES AND SHOULD BE COLLECTED AT A RATE ON ONE SAMPLE FOR EACH 5,000 SQUARE FEET OF IMPACTED AREA, OR A TOTAL OF SIX, WHICHEVER IS GREATER. AT A MINIMUM THE CHEMICAL ANALYSIS OF THE SOIL SHOULD CONSIDER THE FOLLOWING:

A. PERCENTAGE OF ORGANIC MATTER
 B. SALINITY
 C. PH
 D. LIME CONTENT
 E. MINERAL NUTRIENTS INCLUDING CONCENTRATIONS OF NITROGEN, PHOSPHOROUS, POTASSIUM, CALCIUM, MAGNESIUM, IRON, ZINC, MANGANESE, COPPER, SULFUR, AND MOLYBDENUM.
 F. POTENTIAL HAZARDS OR IMPEDIMENTS FOR PLANT GROWTH INCLUDING SALINITY, SODIUM CHLORIDE, BORON, IMPAIRED SOIL STRUCTURE OR DRAINAGE.
 G. SAND FRACTION ANALYSIS AS A PERCENTAGE PASSING THROUGH 1/2", 1/4", AND NO. 200 SIEVES.
 H. PERCOLATION RATE IN INCHES PER HOUR.

THE ANALYSIS SHOULD ALSO INCLUDE SPECIFIC RECOMMENDATIONS TO THE OWNER FOR ANY AMENDMENTS AND BACKFILL MIXES FOR OPTIMAL PLANT GROWTH TO BE MADE TO THE SOIL PRIOR TO PLANTING. THE CONTRACTOR SHOULD INCLUDE THE COST FOR SOIL AMENDMENTS. THE CONTRACTOR IS TO PROVIDE THE OWNER WITH COPIES OF ALL SOIL TESTING RESULTS. SUBMITTAL DOCUMENTATION MUST ALSO CONTAIN A GRAPHIC SITE PLAN DEPICTING LOCATIONS FROM WHICH EACH SAMPLE WAS DRAWN.

14. THE LANDSCAPE CONTRACTORS BASE BID FOR SOIL PREPARATION IS TO INCLUDE THE FOLLOWING WITH THE UNDERSTANDING THAT MIX DESIGN MAY NEED TO BE ADJUSTED BASED ON OUTCOME OF AGRONOMIC TESTING:

A. TREES: 100% SITE SOIL WITH 5LB. TRIPLE SUPER PHOSPHATE PER CU. YD.
 B. SHRUBS: 100% SITE SOIL WITH OSMOOSMOTIC CONTROLLER RELEASE FERTILIZER (14-14-14) PER MANUFACTURER'S RECOMMENDATION.
 C. THE SOILS TEST RESULTS TAKE PRECEDENCE OVER THE ITEMS NOTED IN A AND B ABOVE.

15. SHOULD OWNER AND LANDSCAPE CONTRACTOR AGREE WITH THE RECOMMENDATION OF THE TESTING AGENCY TO FURTHER AMEND THE SOILS THE CONTRACTOR'S CONTRACT WILL BE ADJUSTED ACCORDINGLY. THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT SAMPLES OF AMENDED SOILS TO BE RE-TESTED TO COMPLY WITH COMPLIANCE WITH RECOMMENDATIONS FOLLOWING THE SAME PROCEDURES AS THE ORIGINAL TESTS.

16. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE QUANTITIES OF EACH PLANT MATERIAL REQUIRED TO ADEQUATELY COVER THE AREA SHOWN ON THE LANDSCAPE PLANS AT THE PRESCRIBED SPACING AND NOTIFYING THE OWNER IMMEDIATELY OF ANY PERCEIVED DISCREPANCIES FOR RESOLUTION. THE PLANT SPACING CONTROLS BED LAYOUT, NOT THE PLAN QUANTITY FOR THAT PARTICULAR BED.

FINE GRADING NOTES

1. FINISHED GRADE IN PLANTING AREAS SHALL BE HELD 3" BELOW THE FINISHED ELEVATIONS SHOWN FOR ALL ADJACENT HARDCAPE SURFACES.

2. ALL FILL REQUIRED SHALL BE CLEAN, WELL DRAINING SOIL. FILL SHALL BE CLEAN AND FREE OF ALL MATERIAL HARMFUL TO PLANT GROWTH AND DELETERIOUS MATERIAL SUCH AS ROCKS (LARGER THAN 2" DIA.), COMPACTED CLAY, ROADBED OR SURFACING MATERIAL, MUCK, ROOTS AND BRANCHES, ETC.

3. THE LANDSCAPE CONTRACTOR IS TO ENSURE THAT THEIR WORK DOES NOT ADVERSELY IMPACT ESTABLISHED OR PROJECTED DRAINAGE PATTERNS.

INSTALLATION NOTES

1. PLANT AND LANDSCAPE MATERIALS SHALL CONFORM TO THE STANDARDS FOR FLORIDA NO. 1, AS GIVEN IN THE GRADES AND STANDARDS FOR NURSERY PLANTS, PARTS I & II, AS PREPARED BY THE FLORIDA DEPT. OF AGRICULTURE AND CONSUMER SERVICES.

2. A 3" THICK LAYER OF ORGANIC NON-CYRESS MULCH SHALL BE APPLIED TO ALL LANDSCAPE AND PLANTING AREAS.

3. ALL EXOTIC VEGETATION TO BE REMOVED FROM THE SITE PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

4. THIS PLAN HAS BEEN DESIGNED TO MEET WITH THE TREE PLANTING REQUIREMENTS CONTAINED WITHIN THE FPL DOCUMENT ENTITLED "PLANT THE RIGHT TREE IN THE RIGHT PLACE."

5. FOR EXISTING OR PROPOSED UTILITIES, NO TREE SHALL BE PLANTED WHERE IT COULD, AT MATURE HEIGHT, CONFLICT WITH OVERHEAD POWER LINES. LARGE TREES (HEIGHT AT MATURITY OF MORE THAN THIRTY (30) FEET) SHALL BE PLANTED NO CLOSER THAN A HORIZONTAL DISTANCE OF THIRTY (30) FEET FROM THE NEAREST OVERHEAD POWER LINE. MEDIUM HEIGHT TREE (HEIGHT AT MATURITY BETWEEN TWENTY (20) AND THIRTY (30) FEET) SHALL BE OFFSET AT LEAST TWENTY (20) FEET AND SMALL TREES (HEIGHT AT MATURITY OF LESS THAN (20) FEET) REQUIRE NO OFFSET.

6. NO TREE, SHRUBS, HEDGES OR VINES SHALL BE PLANTED WITHIN FIVE (5) FEET OF ANY EXISTING OR PROPOSED UTILITY POLE, GUY WIRE OR PAD MOUNTED TRANSFORMER. PALMS SHOULD BE PLANTED AT A DISTANCE EQUAL TO OR GREATER THAN THE AVERAGE FRONT LENGTH PLUS TWO (2) FEET FROM POWER LINES.

7. WETLAND BUFFERS, BUFFER PROTECTION AREAS, AND UPLAND PRESERVE AREAS SHALL BE PROTECTED FROM EXCAVATION, CONSTRUCTION, AND OTHER BUILDING MAINTENANCE ACTIVITIES.

8. TREES TO REMAIN DURING CONSTRUCTION SHALL BE PROTECTED AND BARRICADED. SEE TREE PROTECTION NOTE.

9. FERTILIZER SHALL BE COMPLETE WITH APPROXIMATELY THE FOLLOWING RATIO: 30-30-30 (X100 FOR PALMS ONE Y).

10. TREES AND PALMS ARE TO BE PLANTED IN ACCORDANCE TO LANDSCAPE PLAN. GOOD HORTICULTURAL PRACTICES MUST BE OBSERVED.

11. TREES AND PALMS ARE TO BE PLANTED IN THE RIGHT-OF-WAY (ROW) AT A MINIMUM OF FOUR (4) FEET FROM BACK OF CURB AT LOCATIONS IDENTIFIED ON THE LANDSCAPE PLAN. AWARDED BIDDER SHALL STAKE AND/OR PAINT PLANTING LOCATIONS IN THE FIELD. UPON APPROVAL BY THE CUSTOMER, THESE AREAS SHALL BE SPRAYED WITH AN APPROVED HERBICIDE AND MAINTAINED WEED-FREE FOR THE DURATION OF THE PROJECT.

12. EXCAVATE PLANTING HOLES WITH VERTICAL SIDES. DO NOT DISTURB SOIL AT BOTTOM OF PLANTING HOLES. MAKE EXCAVATIONS TWICE AS WIDE AS THE ROOT BALL DIAMETER AND SLIGHTLY LESS (TWO INCHES) THAN THE DISTANCE BETWEEN THE TOP-MOST ROOT IN THE ROOT BALL AND THE BOTTOM OF THE ROOT BALL. ALTERNATIVELY, EXCAVATE THE HOLE SLIGHTLY WIDER THAN THE ROOT BALL AND PLACE THE ROOT BALL IN THE HOLE SO THE TOP-MOST ROOT IS EVEN WITH OR SLIGHTLY (2 INCHES) HIGHER THAN THE SURROUNDING LANDSCAPE GRADE. THEN, LOOSEN THE SURROUNDING SOIL OUT TO A DIAMETER EQUAL TO TWICE THE DIAMETER OF THE ROOT BALL. FINALLY, PUSH THE LOOSENED SOIL TOWARD THE ROOT BALL TO FILL THE HOLE.

IF WATER FILLS THE BOTTOM OF THE PLANTING HOLE, ADD SOIL TO THE BOTTOM OF THE HOLE UNTIL THE WATER IS COVERED. PACK THIS ADDED SOIL FIRMLY. PLACE THE ROOT BALL ON THIS PACKED SOIL, NOT IN WATER. NO PART OF THE ROOT BALL SHALL BE PLACED IN WATER. IF NECESSARY, BRING IN SOIL SIMILAR TO SITE SOIL TO COVER THE SIDES OF THE ROOT BALL, CREATING A RAISED MOUND. THE BASE OF THE MOUND (I.E. THE OUTER DIAMETER) CREATED SHALL BE AT LEAST SIX TIMES THE DIAMETER OF THE ROOT BALL.

WHEN PLANTING ON A SLOPE, THE TOP-MOST MAIN ROOT IN THE ROOT BALL SHALL BE EVEN WITH THE GRADE ON THE UPHILL SIDE OF THE TREE. SITE SOIL WILL NEED TO BE ADDED ON THE DOWNHILL SIDE TO COVER THE SIDES OF THE ROOT BALL AND TO CONSTRUCT THE SOIL BERM TO HOLD WATER. THE AMOUNT OF SOIL ADDED ON THE DOWNHILL SIDE WILL DEPEND ON THE SLOPE AND SIZE OF THE ROOT BALL.

13. REMOVE ALL WOOD, PLASTIC, OR GRO-BAGS FROM THE ROOT BALL. SET PLANTS IN CENTER OF THE TOP-MOST ROOT IN THE ROOT BALL AT THE SAME HEIGHT OR SLIGHTLY (2 INCHES) HIGHER THAN FINISHED LANDSCAPE GRADES AND PLUMB THE TREE SO THE TRUNK IS VERTICAL. BACKFILL FIELD SOIL AROUND SIDES OF ROOT BALL AND WORK EACH LAYER TO SETTLE AND ELIMINATE VOIDS AND AIR POCKETS. MATERIAL MUST BE WATERED IN AS PLANTED. PROVIDE APPROXIMATELY 5 GALLONS OF WATER PER INCH OF TRUNK CALIPER TO THE ROOT BALL ONCE ALL BACKFILL IS FILLED IN AROUND THE ROOT BALL.

14. PROVIDE A 2.5' HIGH SOIL BERM AROUND THE EDGE OF ROOT BALL TO FORM A SHALLOW SAUCER TO COLLECT WATER. THE WATERING SAUCER, REGARDLESS OF HOLE SIZE, IS TO BE AT EDGE OF ROOT BALL. ALTERNATIVELY, COBRA EDGING IS TO BE INSTALLED AT THE EDGE OF THE ROOT BALL.

15. BROADCAST OVER THE ROOT BALL AND BACKFILL SOIL, AT THE RECOMMENDED RATE, A BROAD-SPECTRUM PRE-EMERGENT HERBICIDE PRIOR TO MULCHING.

16. APPLY A CONTROLLED-RELEASE FERTILIZER TO THE SOIL SURFACE UNDER THE MULCH AT 1LB. NITROGEN PER 1000 FT2. PRIOR TO MULCHING. NO OTHER AMENDMENTS ARE NECESSARY.

17. ON TREES UP TO 4" CALIPER, APPLY A THREE (3) -INCH LAYER OF MULCH TO AN EIGHT (8) -FOOT DIAMETER CIRCULAR AREA AROUND THE TRUNK. ON LARGER CALIPER TREES, APPLY A TWO (2) -FOOT DIAMETER MULCH AREA FOR EACH INCH OF TRUNK CALIPER. NO MULCH SHALL BE APPLIED TO THE INNER HALF OF THE ROOT BALL SURFACE.

18. TREES AND PALMS ARE TO BE SECURED BY AWARDED BIDDER AS SHOWN IN EXHIBITS A.C. (NOTE: STAKING IS OPTIONAL FOR MORE PROTECTED LOCATIONS).

19. A REPRESENTATIVE WILL INSPECT TREES AND PALMS DURING INSTALLATION. MATERIAL THAT IS IN SHOCK OR HAS BEEN DAMAGED DURING INSTALLATION SHALL BE REPLACED BY AWARDED BIDDER WITHIN FIVE (5) WORKING DAYS FROM NOTIFICATION.

20. REMOVE FROM WORK SITE ALL EXCESS MATERIALS (E.G., SOIL, DEBRIS AND EQUIPMENT) DAILY THROUGH DURATION OF PROJECT. DAMAGES RESULTING FROM INSTALLATION SHALL BE REPAIRED BY AWARDED BIDDER.

21. PRUNING: IF THERE IS A DOUBLE LEADER IN THE TOP HALF OF THE TREE, SHORTEN ONE, BY ABOUT ONE-HALF, BACK TO A LIVE BRANCH THAT POINTS AWAY FROM THE TREE AND IS AT LEAST ONE-THIRD THE DIAMETER OF THE CUT LEADER. REMOVE BROKEN PORTIONS OF DAMAGED BRANCHES BACK TO A LIVE LATERAL BRANCH.

21. PRUNING: IF THERE IS A DOUBLE LEADER IN THE TOP HALF OF THE TREE, SHORTEN ONE, BY ABOUT ONE-HALF, BACK TO A LIVE BRANCH THAT POINTS AWAY FROM THE TREE AND IS AT LEAST ONE-THIRD THE DIAMETER OF THE CUT LEADER. REMOVE BROKEN PORTIONS OF DAMAGED BRANCHES BACK TO A LIVE LATERAL BRANCH.

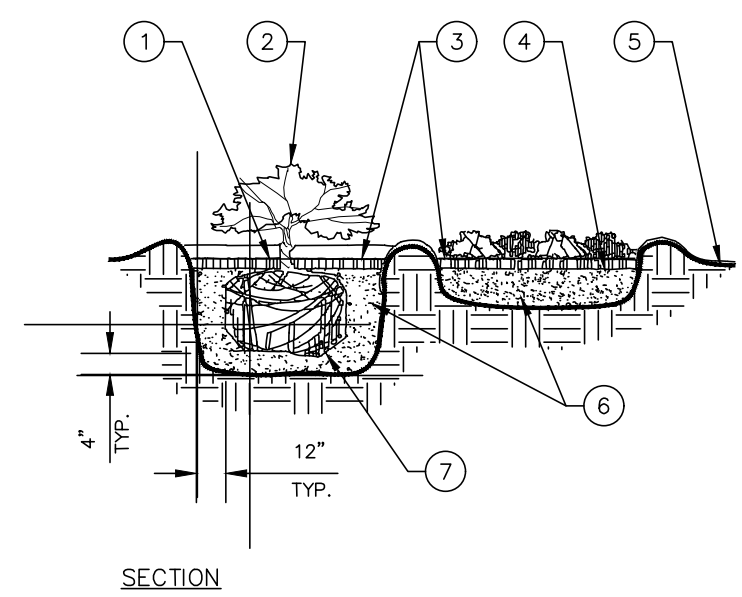
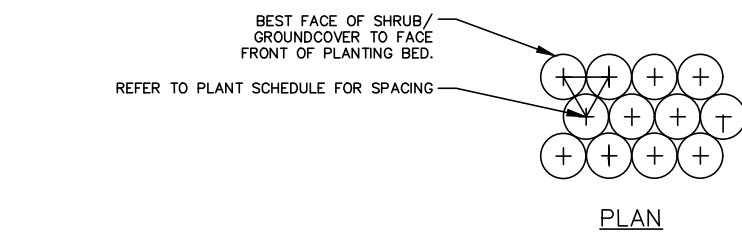
22. REMOVE ALL STRING OR WIRE WRAPPED AROUND THE TRUNK. REMOVE ALL STRAPS, ROPE AND STRING USED TO LIFT THE ROOT BALL. REMOVE ALL BURLAP AND WIRE FROM THE TOP OF THE ROOT BALL.

ACCEPTANCE NOTES

1. INSPECTION TO DETERMINE ACCEPTANCE OF PLANTED AREAS WILL BE MADE BY THE CUSTOMER REPRESENTATIVE UPON AWARDED BIDDER'S REQUEST. PROVIDE NOTIFICATION A MINIMUM OF FIVE (5) WORKING DAYS BEFORE REQUESTED INSPECTION DATE.

PLANTED AREAS WILL BE ACCEPTED PROVIDED ALL REQUIREMENTS, INCLUDING MAINTENANCE, HAVE BEEN SATISFIED AND PLANT MATERIALS ARE IN A HEALTHY, VIGOROUS CONDITION.

2. THE CUSTOMER REPRESENTATIVE WILL PREPARE A "PUNCH LIST" OF THOSE ITEMS, WHICH MUST BE CORRECTED BEFORE RE-INSPECTION FOR FINAL ACCEPTANCE. THE REPRESENTATIVE WILL DETERMINE AN APPROPRIATE TIME PERIOD FOR CORRECTIONS. AWARDED BIDDER MUST REQUEST RE-INSPECTION TWO (2) WORKING DAYS IN ADVANCE.

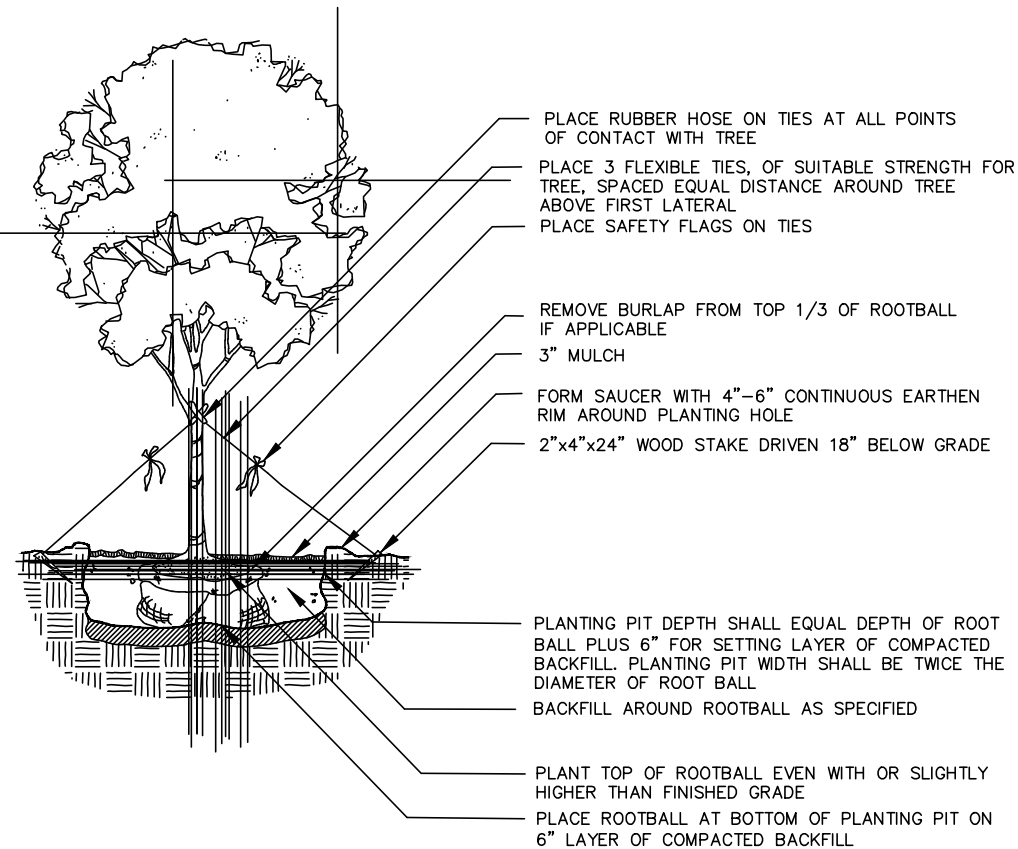


SHRUB / GROUND COVER PLANTING

NOTES:

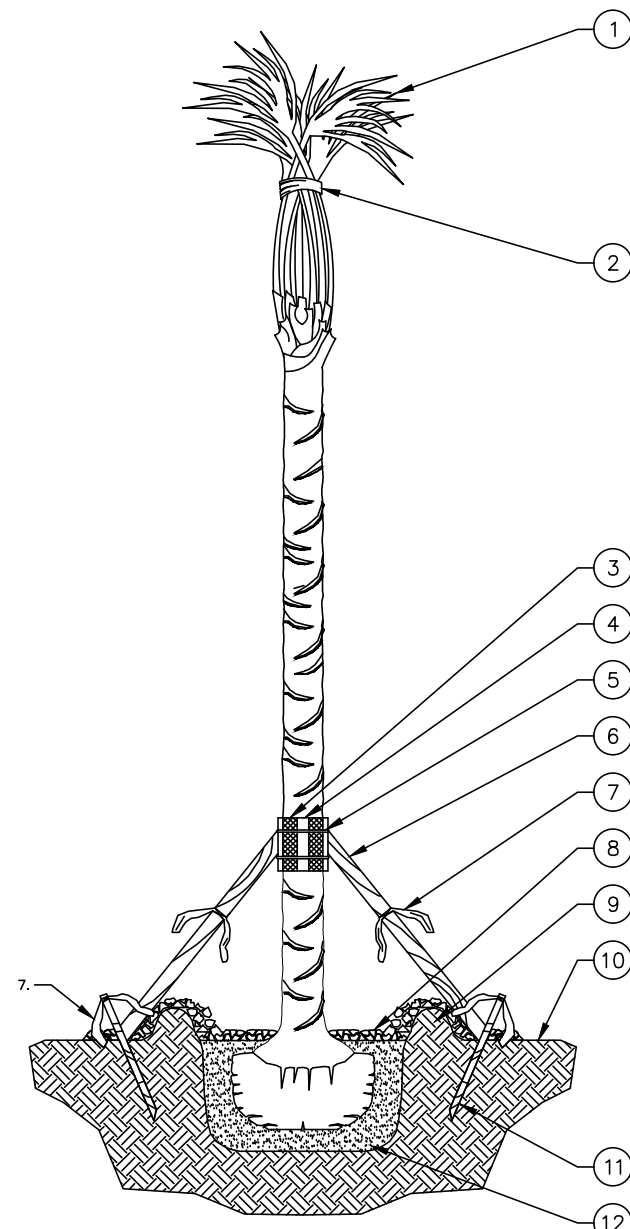
- A. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.
- B. REMOVE BURLAP, WIRE AND STRAPS (ANYTHING THAT COULD GRIEVE TREE OR RESTRICT ROOT GROWTH) ON UPPER 1/3 OF ROOTBALL.
- C. SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.

1. MINIMUM OF NINE (9) GOOD PALM FRONDS
2. PRUNE AND TRIM FRONDS WITH HEMP TWINE. CABBAGE PALMS TO BE "HURRICANE CUT"
3. 5 LAYERS OF BURLAP TO PROTECT TRUNK.
4. FIVE 2" x 4" x 16" WOOD BATTENS.
5. SECURE BATTENS WITH 2-3/4" CARBON STEEL BANDS TO HOLD BATTENS IN PLACE. NO NAILS SHALL BE DRIVEN INTO PALM. HEIGHT OF BATTENS SHALL BE LOCATED IN RELATION TO THE HEIGHT OF THE PALM FOR ADEQUATE BRACING.
6. ATTACH 3-2" x 4" x 8" DRILL AND NAIL IF NECESSARY TO BATTENS AND 2" x 4" STAKES. FLAG AT MIDPOINT AND AT BASE.
7. PROVIDE FLAGGING
8. 3" MULCH
9. BERM SOIL TO HOLD WATER
10. FINISH GRADE
11. 2" x 4" x 24" (MIN.) P.T. WOOD STAKES (TYP.) NAIL TO SUPPORT POLES
12. PREPARED PLANTING SOIL MIX AS SPECIFIED. COMPACT BENEATH ROOT BALL.



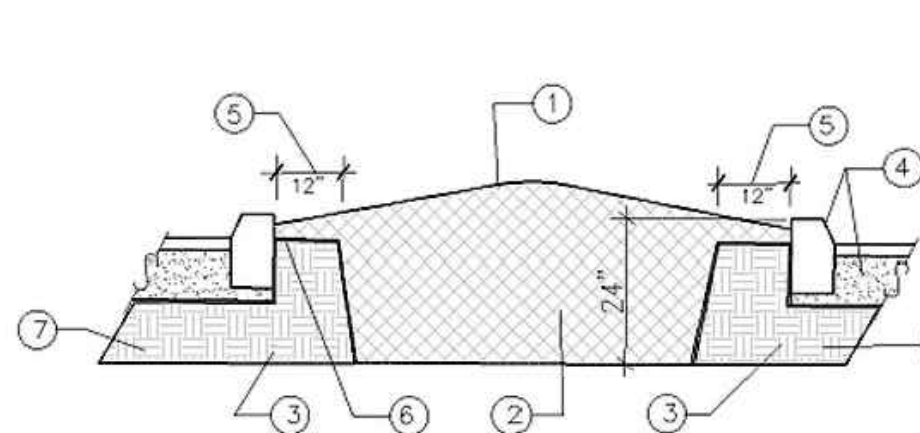
TREE PLANTING DETAIL

N.T.S.



PALM TREE PLANTING

PLAN



1. CROWN MEDIANS @ 4:1 SLOPES (OR AS SPECIFIED ON THE LANDSCAPE PLANS).
2. EXCAVATE A CONTINUOUS 24" DEEP PIT (FROM TOP OF CURB) FOR ENTIRE LENGTH AND WIDTH OF ISLAND & BACKFILL WITH APPROVED PLANTING SOIL MIX. BOTTOM OF PIT TO BE NATIVE SOIL.
3. PROVIDE CONTINUOUS "DEEP ROOT"/ ROOT BARRIER. (WHEN SPECIFIED).
4. PROTECT AND RETAIN ALL CURBS AND BASE.
5. PROVIDE 12" DEAD ZONE @ CURB EDGES.
6. PROVIDE 2" FROM TOP OF CURB TO FINISH GRADE TO ALLOW FOR MULCH OR SOIL.
7. COMPACTED SUBGRADE TO REMAIN FOR STRUCTURAL SUPPORT OF CURB SYSTEM (TYP).

GENERAL NOTES:
 A. VERIFY LOCATION OF ALL UTILITIES PRIOR TO ANY EXCAVATION ACTIVITY.
 B. EXCAVATE ENTIRE AREA UNDER ALL SHRUBS/GROUNDCOVER/TREES.
 C. ALL MEDIANS SHALL UTILIZE POOR DRAINAGE DETAIL WHEN PERCOLATION RATES ARE 2" PER HOUR OR LESS OR DO NOT MEET LOCAL REQUIREMENTS.

TYPICAL LANDSCAPE MEDIAN

SECTION

N.T.S.

TREE SCHEDULE

SYMBOL	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	NATIVE
TREES					
	AR2	3	Florida Flame Red Maple / <i>Acer rubrum</i> 'Florida Flame'	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
	CD	6	Pigeon Plum / <i>Coccoloba diversifolia</i>	12' HT. x 6' Spr. Min,	Yes
	CE2	25	Green Buttonwood / <i>Conocarpus erectus</i>	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
	CS3	24	Silver Buttonwood / <i>Conocarpus erectus sericeus</i>	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
	ED	11	Japanese Blueberry Tree / <i>Elaeocarpus decipiens</i> TM	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	No
	LM3	3	Lavender Crape Myrtle / <i>Lagerstroemia x 'Muskogee'</i>	2.5" DBH, 12' Ht. x 5' Spr. Min., Multi-trunk, 5' ct.	No
	PD	13	Slash Pine / <i>Pinus elliottii densa</i>	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
	QV2	14	Southern Live Oak / <i>Quercus virginiana</i>	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
	TD2	3	Bald Cypress / <i>Taxodium distichum</i>	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
PALMS					
	SS	40	Cabbage Palmetto / <i>Sabal palmetto</i>	30% @ 12' ct., 35% @ 15' ct., 35% @ 18' ct., Stagger Hts. within groups	Yes

SHRUB SCHEDULE

CODE	QTY	COMMON / BOTANICAL NAME	SIZE	SPACING
SHRUB AREAS				
CG	52	Small Leaf Clusia / <i>Clusia guttifera</i>	3 gal., 24" Ht. min., Full	24" o.c.
VS	118	Sandankwa Viburnum / <i>Viburnum suspensum</i>	3 gal., 24" Ht. min., Full	24" o.c.

PLANT SCHEDULE

CODE	QTY	COMMON / BOTANICAL NAME	SIZE	NATIVE
SHRUBS				
CR	177	Red Tip Coco Plum / <i>Chrysobalanus icaco</i> 'Red Tip'	3 Gal, 36" Ht. Full	Yes



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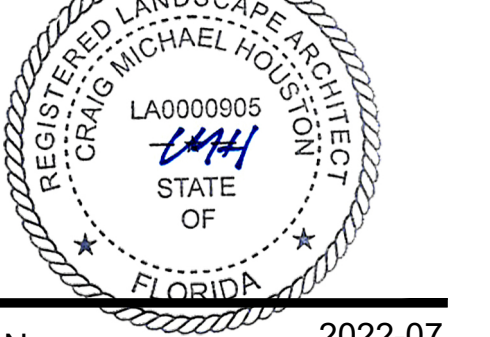
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Landscape Specifications

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LP-2