



THE SUNRISE CITY
FORT PIERCE
PLANNING DEPARTMENT
Florida

Arianna Hilliard
WGI, Inc.
2035 Vista Parkway
West Palm Beach, FL 33411

Subject: Major Site Plan: Innovative Development (PZSITE2025-00009)
Sunrise Village Apartments – 3000 Okeechobee Rd.
Technical Review Committee comments for April 17, 2025, TRC Meeting

City of Fort Pierce Planning Department

Application **requires resubmittal** for the following reasons:

1. The site plan should reflect the square footage of each building
2. The 106-unit apartment complex requires 159 regular parking spaces. The justification statement for parking reduction is not sufficient, therefore, Planning does not support the reduction. In lieu of reduced parking and aligning with the proposed innovative community design, consideration should be given to adding additional property amenities such as basketball or pickleball court, sand volleyball court, splash pad, etc.
3. The site plan does not reflect the mail kiosk location

Advisory Comments

4. Sign permits shall be filed separately during the permit process



TO : Kerry Driver, Senior Planner

FROM : Venetia Barnes, Stormwater Engineer *VB*

THRU : Mark Zrallack, P.E., City Engineer *MZ*

RE : Site Plan – Sunrise Village Apartments – 3000 Okeechobee Road

DATE : April 15, 2025

This is to advise you that we have completed the review of the following documents as received by this office on April 4, 2025:

- | | |
|---|--|
| <input checked="" type="checkbox"/> Site Plan | <input type="checkbox"/> Building Construction Plans |
| <input type="checkbox"/> Test Reports & Related Documents | <input type="checkbox"/> Certificate of Completion |
| <input type="checkbox"/> Record Drawings | <input type="checkbox"/> Permits from applicable Local, State & Federal Agencies |
| <input type="checkbox"/> Clearances from all applicable Local, State and Federal Agencies | |

Based on our reviews and appropriate site final inspection, we

- | | | |
|---|---|------------------------------|
| <input checked="" type="checkbox"/> Recommend | <input type="checkbox"/> Do Not Recommend | |
| <input checked="" type="checkbox"/> Site Plan | <input type="checkbox"/> DPCR | <input type="checkbox"/> C/O |

Developer, Owner, Engineer, Contractor and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

- See attached for advisory comments

ADVISORY COMMENTS

1. The project shall have all State and Federal permits in place prior to conducting any land clearing operations as the submitted Environmental Assessment Report indicates that wetlands are present on the site as well as possible threatened species.
2. Okeechobee Road is a St. Lucie County roadway, verification by the County of possible required roadway improvements shall be provided by the County.
3. The drainage plan was reviewed conceptually and will be reviewed in depth at time Building Permit application.
4. Prior to issuance of a Certificate of Occupancy, a final inspection shall be scheduled with this department and the following shall be submitted to the City Engineer:
 - a. A certificate of completion signed and sealed by the engineer of record.
 - b. Two copies of certified as-builts.
 - c. Signed and sealed density test with location map of test areas.
 - d. A maintenance plan and agreement signed by the owner and/or operating entity shall be notarized and submitted to the City Engineer. The agreement shall include the operation and maintenance of all stormwater facilities and shall ensure the stormwater management system has a plan for the removal of nuisance and invasive exotics or other vegetation to ensure no re-growth of the same.

MZ/VB/vb



THE SUNRISE CITY
FORT PIERCE
ENGINEERING
DEPARTMENT

Florida

TO : Kerry Driver, Senior Planner

FROM : Venetia Barnes, Stormwater Engineer 

THRU : Mark Zrallack, P.E., City Engineer 

RE : Site Plan – Sunrise Village Apartments – 3000 Okeechobee Road

DATE : April 16, 2025 REVISED

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| <input type="checkbox"/> Clearances from all applicable Local, State and Federal Agencies | |

Based on our reviews and appropriate site final inspection, we

- Recommend Do Not Recommend

- Site Plan DPCR C/O

Developer, Owner, Engineer, Contractor and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

- See attached for engineering comments

ENGINEERING COMMENTS:

1. Provide a 5-foot sidewalk along South 31st Street to provide site connectivity to the existing Okeechobee Road sidewalk.
2. The City of Fort Pierce Code of Ordinances specifies that roadways classified as “local” shall have a minimum right-of-way width of 60-feet. South 31st Street has a substandard right-of-way width of 35-feet. Therefore, it is requested that the applicant provide a 12.5-foot right-of-way donation, which is half of the required 25-feet as a part of the site plan approval process.

ADVISORY COMMENTS:

1. The project shall have all State and Federal permits in place prior to conducting any land clearing operations as the submitted Environmental Assessment Report indicates that wetlands are present on the site as well as possible threatened species.
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MZ/VB/vb



BUILDING DEPARTMENT
TECHNICAL REVIEW COMMITTEE (TRC)
COMMENT FORM

Meeting Date: 4/17/25
Property Address: PZSITE 2025 00009 Minor Site Plan Sunrise Village Apartments 3000 Okeechobee Rd.

Please be advised that the project may trigger the requirements indicated below:

- 1. Building Official or his representative has no comment at the time of this meeting, but reserves the submission of comments upon completion of the official plan review.
2. Pre-construction meeting with the City's Building Department is requested.
3. All new construction or alterations shall meet the requirements of the Florida Building Code 8th Edition.
4. Building Permit required.
5. Signed and sealed construction drawings required.
6. Must meet the following Accessibility requirements:
- Accessible route
- Handicapped parking spaces
- Means of egress
7. Change of Use required
- Shall include a signed and sealed Life Safety Plan
- Shall include a signed and sealed comprehensive drawing, detailing how the building and MEC elements will comply with the Florida Building Code requirements.
8. Property exists in Special Flood Hazard Area. All Federal and State requirements shall be addressed.
9. Flood Development Permit required.
10. Final plat and approved parcel ID's required to submit or DPCR and building permit review.
11. Open permits, requiring attention exist.
12. Shall meet the Fire Prevention Code:
- Sprinkler system is required.
- Smoke alarm system is required.
15. Other

Additional Comments/Requirements: Permits required

Empty rectangular box for additional comments or requirements.

Building Official's or Representative's Signature _____ Date: 4/15/25

Handwritten signature of the Building Official or Representative.



Technical Review Committee meeting

April 17, 2025

Case #: PZSITE2025-00009

Planner: City of Ft. Pierce Planning Department.

3000 Okeechobee Rd, Ft. Pierce (Sunrise Village Apartments).

Site Plan

Comments:

Regarding the development of this project, the total added dwelling units upon the City of Fort Pierce is anticipated at 106. While the frequency and exact type of calls cannot be predicted at this time, it should be presumed that calls for service will arise from within this project, once it is completed and occupied by the intended users. A table is included below, showing the predicted needs for additional police officers based on the proposed development.

Please also ensure the walking paths around the lake area are illuminated so that use at night is protected by proper illumination and undesired activities are discouraged. Consider options such as pedestrian scale lighting solutions to ensure the pathways are illuminated but light trespass is minimized to not disturb the surroundings. In addition, ensure the sightlines around the pathways are preserved to maximize natural surveillance. Proper selection and maintenance of landscaping around the area is key.

Thank you for your attention and consideration.



THE SUNRISE CITY
FORT PIERCE
POLICE DEPARTMENT
"In Honor We Serve"

Florida

Current population of Ft Pierce (2021 Census)		47927
Current total of Officers Ft Pierce PD (FY24)		141
Current rate of Officers per 1000 population		2.9
Number of proposed housing units		106
Average number of people per household	x	2.5
total proposed population increase		265
	/1000	0.265
	x	2.9
Additional Officers Necessary		0.77

Officer Damian Spotts

Crime Prevention Practitioner

Fort Pierce Police Department.





Fort Pierce Utilities Authority
Water/Wastewater Engineering
1701 South 37th Street
Fort Pierce, FL 34947
772.466.1600 Ext 3473

Technical Review Committee Meeting

TECHNICAL REVIEW PROJECT: PZSITE2025-00009

Site Plan - Sunrise Village Apartments - 3000 Okeechobee Road

W/WW Engineering: Approved as noted,

Water and sewer services from FPUA are accessible for this site. Kindly submit three comprehensive sets of utility construction plans, accompanied by a completed plan review application and a commercial service application, to the Water and Wastewater Engineering Department for assessment. Submissions should be directed to 1701 S 37th Street, Fort Pierce, Florida.

For additional details or assistance, please contact John Biggs at 772-466-1600 ext. 3474.

Electric Engineering: FPUA Electric & Gas Engineering has reviewed the application. **Approved.**

New pad mount transformer lead time is up to 52 weeks.

Please contact Eric Meyer for electric customer requirements and project coordination. Before work begins.

Eric Meyer, P.E.

Supervising Engineer

Fort Pierce Utilities Authority

emeyer@fpu.com

(772) 466-1600 ext. 6305

Gas: We are in the process of reviewing your application for your transformative 106-unit affordable multi-family housing project at Sunrise Village. We commend Blue Sky Communities and Carteret Management for your steadfast commitment to creating sustainable and high-quality housing solutions for the Fort Pierce community.

We are particularly excited about the potential integration of natural gas into your development. Given your focus on affordability and positive community impact, natural gas provides a compelling energy solution. Fort Pierce Utilities Authority is ready to support Sunrise



Our mission is to provide our customers with economical, reliable, and friendly service in a continuous effort to enhance the quality of life in our community.





Village with our readily available natural gas infrastructure, conveniently located near your development site.

Heating water, drying clothes, and cooking with natural gas can reduce utility costs by up to 30% compared to electric-only solutions. This translates into significant savings for the future residents of Sunrise Village, aligning perfectly with your goal to assist families earning at or below 60% of the area's median income.

Additionally, by choosing natural gas, your project can significantly reduce its total electrical load, potentially lowering electrical infrastructure costs by tens of thousands of dollars—an advantage that cannot be overlooked.

To further streamline your development, we are pleased to offer comprehensive support, including the installation of necessary gas infrastructure—gas mains and services—**at no cost to the project**. We will also provide water heaters tailored to your specific needs, enhancing both cost savings and operational efficiency.

Fort Pierce Utilities Authority is eager to partner with you on this initiative. We are confident that integrating natural gas into Sunrise Village will not only reduce costs but also contribute to the long-term sustainability and success of the community.

Please feel free to contact me directly to discuss this opportunity further or to arrange a meeting with our team.

Thank you for considering this energy-efficient path forward. We look forward to supporting your efforts to redefine affordable housing in Fort Pierce.

Billy Dupre

Business Development Representative - Gas Operations - Fort Pierce Utilities Authority

1701 S 37th Street

Fort Pierce FL 34947

C: 772-216-3498

O: 772-466-1600 X4705

F: 772-468-2413

FPUAnet Fiber: FPUAnet **Approves**. Fiber Internet Service – **Available**.



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Contact Eric Peters at (772) 468-1697 or peters@fpu.com for **Fiber Internet** requirements.



Developer
Letter.pdf



Our mission is to provide our customers with economical, reliable, and friendly service in a continuous effort to enhance the quality of life in our community.





Fort Pierce Utilities Authority
FPUAnet Communications
500 Boston Avenue (PO Box 3191)
Fort Pierce, FL 34950 (34948)

Dear Developer,

I'm reaching out on behalf of **FPUAnet**, the City of Fort Pierce's municipal fiber internet provider, to introduce how we can support your next development project with fast, reliable, and cost-effective connectivity built for long-term growth.

Here's why developers like you choose **FPUAnet**:

• **Scalable Fiber Infrastructure**

Our fiber network is designed to evolve with the needs of Fort Pierce, ensuring your properties have the bandwidth to support future technologies, smart building systems, and high-demand applications.

• **Gigabit Speeds at Every Site**

Whether it's residential, commercial, or mixed-use, we deliver **consistent gigabit speeds** across our service area—ensuring your tenants and buyers enjoy fast, seamless internet.

• **Community-Wide Coverage**

We don't just serve high-density areas—we extend fiber access to underserved neighborhoods, helping developers meet connectivity requirements across all project types and locations.

• **Cost-Effective & Developer-Friendly**

With **competitive pricing** and a **community-first model**, FPUAnet offers lower rates than private ISPs—helping keep your project costs in check, with no hidden fees or profit-driven markups.

On top of that, **our dedicated local support team is available 24/7**, giving you and your buyers reliable access to real people who know the area and the network inside and out.

I'd love to discuss how we can help meet your project's specific connectivity needs. Please feel free to reach me directly at peters@fpu.com or **772-468-1697**.

Looking forward to partnering with you.

Best regards,
Eric Peters
On behalf of FPUAnet



Our mission is to provide our customers with economical, reliable and friendly service in a continuous effort to enhance the quality of life in our community.

772.466.1600

www.fpu.com





BUREAU OF FIRE PREVENTION

SITE PLAN REVIEW

TO: Site Plan Applicant

SITE PLAN: 3000 Okeechobee Road PZSITE2025-00009

REVIEW DATE: 4/7/2025

PLANNER: KERRY DRIVER

REVIEWED BY: Lt Jesse Almand

Site Plan Approved with conditions: _____

Site Plan Requires Re-submittal: X

The Following Conditions/Revisions Are Necessary:

- 1. Please submit a completed application for Development/Site Plan Review (St. Lucie County Fire District Development & Site Plan Review Application). This form is available on-line at <https://www.slcfcd.com>.**
- 2. Fire District review fees are due at the time of submittal. An abbreviated fee schedule is included on the application form.**
- 3. Please provide an electronic revised copy of the site plan if applicable (pdf format).**
- 4. Please provide written acknowledgement of the conditions/revisions provided.**
- 5. A separate review and permit is required for Underground Fire Mains connected to standpipes or sprinkler systems.**
- 6. Fire department access roads provided in accordance with 18.2.3 shall be provided at the start of a project and shall be maintained throughout construction. (NFPA 16.1.4). Surface. Fire department access roads shall be designed and maintained to**

"Our Family Serving Yours"

5160 N.W. Milner Drive, Port St. Lucie, Florida 34983-3392

Telephone: (772) 621-3400 Fax: (772) 621-3400

www.slcfcd.com



support the imposed loads of fire apparatus and shall be provided with an all-weather driving surface. (NFPA 1.18.2.3.5.2)

7. **Electronic security gates must have an access control key switch on the control panel to allow for Fire Department entry in an emergency. Manual security gates that will be locked require a Knox lock. All security gates shall maintain a clear width of 12 feet when open and provide a means to open the gates manually upon loss of power. (SLCFD Resolution 740-23)**
8. **Per the St. Lucie County Fire District Fire Prevention Code Resolution 740-23, at least 13 feet 6 inches nominal vertical clearance shall be provided and maintained over the full width of all means of access (including, but not limited to trees, canopies, etc.)**
9. **The Fire District reserves the right for future comments at the site plan & building construction phase.**
10. **Fire apparatus access roads shall be provided such that any portion of the facility or any portion of an exterior wall of the first story of the building is located not more than 150 ft from fire apparatus access roads as measured by an approved route around the exterior of the building or facility. NFPA 1 18.2.3.2.2. (*Installation of a sprinkler system will be required if this distance requirement is not met.*)**
11. **Where buildings are protected throughout with an approved automatic sprinkler system that is installed in accordance with NFPA 13, NFPA 13R, or NFPA 13D, the distance in 18.2.3.2.2 shall be permitted to be increased to 450 ft (137 m). (NFPA 1 18.2.3.2.2.1)**
12. **Please provide a truck circulation detail.**
13. **Be advised: Dimensions of largest vehicle are as follows: 38 tons or 77,000 lbs, 47.5 ft. total length, 21.5 ft. wheel base, 10.5 ft. total width, 41.5 degree turning radius. (SLCFD Resolution 740-23)**
14. **Minimum roadway pavement width (two-way traffic) shall be twenty (20) ft. (SLCFD Resolution 740-23)**

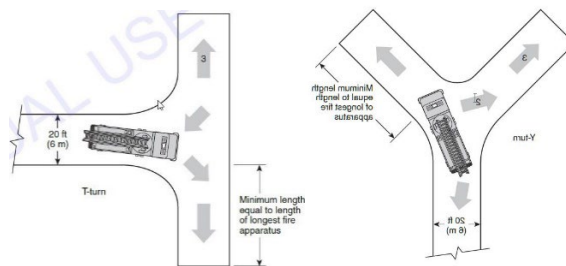
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www.slcfd.com



15. Minimum roadway pavement width (one-way traffic) shall be twelve (12) ft. (SLCFD Resolution 740-23)
16. Fire apparatus access roads connecting to roadways shall be provided with curb cuts extending at least 2 ft (0.61 m) beyond each edge of the fire apparatus access road. (NFPA 1 18.2.3.5.3.3)
17. The angle of approach and departure for any means of fire apparatus access road shall not exceed 1 ft drop in 20 ft (0.3 m drop in 6 m) or the design limitations of the fire apparatus of the fire department, and shall be subject to approval by the AHJ. (NFPA 1 18.2.3.5.6.2)
18. A fire department access road shall extend to within 50 ft (15 m) of at least one exterior door that can be opened from the outside and that provides access to the interior of the building. (NFPA 1.18.2.3.2.1)
19. Dead-end roadways serving commercial or residential occupancies must include a cul-de-sac when the roadway length exceeds one hundred-fifty (150) feet. "Y" or "T" type turnaround arrangements are permitted. The minimum length must be equal to the length of the longest fire apparatus. (SLCFD Resolution 740-23)



20. Fire hydrants (shall be) are provided for buildings other than detached one-and-two-family dwellings IAW both of the following 1) The maximum distance to a fire hydrant from the closest point in the building shall not exceed 400 feet. 2) The maximum distance between fire hydrants shall not exceed 500 feet. NFPA 1:18.5.3. Please provide fire flow calculations for hydrants.
21. Fire Hydrants (shall be) are provided for detached one- and two-family dwellings IAW both of the following: 1) The maximum distance to a fire hydrant from the

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closet point on the building shall not exceed 600 feet. 2) The maximum distance between fire hydrants shall not exceed 800 feet. NFPA 1:18.5.2.

22. An approved water supply capable of supplying the required fire flow for fire protection (shall be) is identified to all premises upon which facilities, buildings, or portions of buildings which are to be constructed or moved into the jurisdiction. The approved water supply shall be in accordance with NFPA 1:18.4.
23. Fire department connections shall be located on the street side of buildings and shall be located and arranged so that hose lines can be readily attached to the inlets without interference from any nearby objects, including buildings, fences, landscaping, or other fire department connections. The locations of connections shall be based upon the access requirements of the fire department.
24. The distance allowed between the fire department connection and a fire hydrant shall be no more than one hundred fifty (150) feet as a vehicle travels.
25. Where underground water mains and hydrants are to be provided, they shall be installed, completed, and in service prior to commencing construction work on any structure. It is not intended to prohibit the construction of non-combustible structure foundation elements such as foundations and footings prior to the completion of underground water mains and hydrants (NFPA 1 16.4.3.1.3).
26. The minimum size of water mains for supplying water for firefighting purposes shall be six (6) inches. b. The minimum size of water mains supplying hydrants on a dead end main shall be eight (8) inches. c. The maximum number of hydrants located on a dead end main shall be one (1). d. Grid or Tee systems shall be supplied by a minimum of an eight (8) inch looped main. Exceptions may be granted based on the capacity of the water distribution system but in no case shall the main size be less than six (6) inches. e. The minimum size water main(s) shall be determined by the needed fire flow as established by the Fire Marshal and based on the current Insurance Service Office (ISO) requirements.
27. Hydrants shall be located no more than 12ft. from the curb of roadways or from the edge of payment. Clearances of three feet (3 ft.) shall be maintained around the circumference of hydrants. A clear space of not less than five feet (5ft.) shall be provided in front of each hydrant connection having a diameter greater than 2 ½ inches. The center of hose outlet shall be not less than 18 inches above final grade. (SLCFD Fire Prevention Code Resolution 740-23).

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Telephone: (772) 621-3400 Fax: (772) 621-3400

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ST. LUCIE COUNTY FIRE DISTRICT
Community Risk Reduction Division
Office of the Fire Marshal



Telephone: (772) 621-3322
Fax: (772) 621-3604

28. Site Plans submitted in accordance with this Fire Prevention Code shall include the size, layout, and offsite connections for the water distribution system and the location of all existing and proposed fire hydrants within one thousand (1,000) feet of the proposed project.

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Telephone: (772) 621-3400 Fax: (772) 621-3400

www.slcfcd.com

April 15, 2025

PROJECT: Sunrise Village Apartments
REF: PZSITE2025-00009
TO: Kerry Driver
FROM: Grant Chambers

The following comments are offered by SLC PW - Engineering:

1. A traffic analysis including turn lane analysis is required at the cost of the applicant. The County and City have adopted the TPO's standard methodology for traffic analysis. Please coordinate with Kori Benton in the County's Planning department.
2. Additional Right-of-Way may be required if turn lanes are required.

Cc: Alicia Rosenthal

COMPONENTS OF CONTRACT PLANS SET
BUS SHELTER PLANS

CITY OF PORT ST. LUCIE
STATE OF FLORIDA
CONCEPT BUS SHELTER PLANS
FOR
US 1 TRANSIT CORRIDOR BUS SHELTERS
CPSL NO. 20130119

A DETAILED INDEX APPEARS ON THE
KEY SHEET OF EACH COMPONENT

INDEX OF BUS SHELTER PLANS

SHEET NO.	SHEET DESCRIPTION
1	KEY SHEET
2	SUMMARY OF PAY ITEMS
3	PROJECT LAYOUT
4	GENERAL NOTES
5-6	BUS SHELTER DETAILS
7	SLAB FOUNDATION DETAIL
8-23	SITE PLAN
24	SOIL BORING LOCATION MAP
25-32	REPORT OF SOIL BORINGS

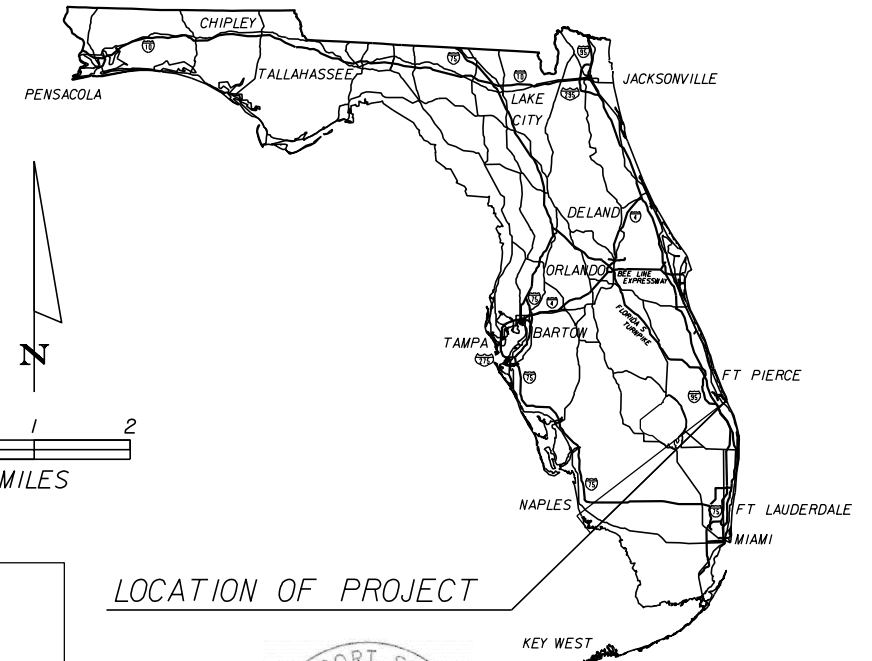
GOVERNING STANDARDS AND SPECIFICATIONS:
Florida Department of Transportation, 2015 Design Standards and revised Index Drawings as appended herein, and 2015 Standard Specifications for Road and Bridge Construction, as amended by Contract Documents.

For Design Standards click on the "Design Standards" link at the following web site:
<http://www.dot.state.fl.us/rddesign/>

For the Standard Specifications for Road and Bridge Construction click on the "Specifications" link at the following web site:
<http://www.dot.state.fl.us/specificationsoffice/>

CONCEPT PLANS PREPARED BY:
KIMLEY-HORN AND ASSOCIATES, INC.
1920 WEKIVA WAY, SUITE 200
WEST PALM BEACH, FLORIDA 33411
(561) 845-0665 PHONE
(561) 863-8175 FAX

KEY SHEET REVISIONS	
DATE	DESCRIPTION



LOCATION OF PROJECT



James E. Angstadt, P.E.
Interim Public Works Director

CLIENT:

CITY OF PORT ST. LUCIE
PUBLIC WORKS DEPARTMENT
~~PATRICIA ROEDLING, P.E.~~
121 SW PORT ST. LUCIE BLVD
PORT ST. LUCIE, FLORIDA 34984
PHONE (772) 871-5177

BUS SHELTER SHOP DRAWINGS
TO BE SUBMITTED TO:
KELLY T. SCHWARZ, P.E.
KIMLEY-HORN AND ASSOCIATES, INC.
1920 WEKIVA WAY, SUITE 200
WEST PALM BEACH, FLORIDA 33411

PLANS PREPARED BY:
KIMLEY-HORN AND ASSOCIATES, INC.
1920 WEKIVA WAY, SUITE 200
WEST PALM BEACH, FLORIDA 33411
(561) 845-0665 PHONE
(561) 863-8175 FAX

CONTRACT NO. C9084
VENDOR NO. VF-560-885-615-001
CERTIFICATE OF AUTHORIZATION NO. 696

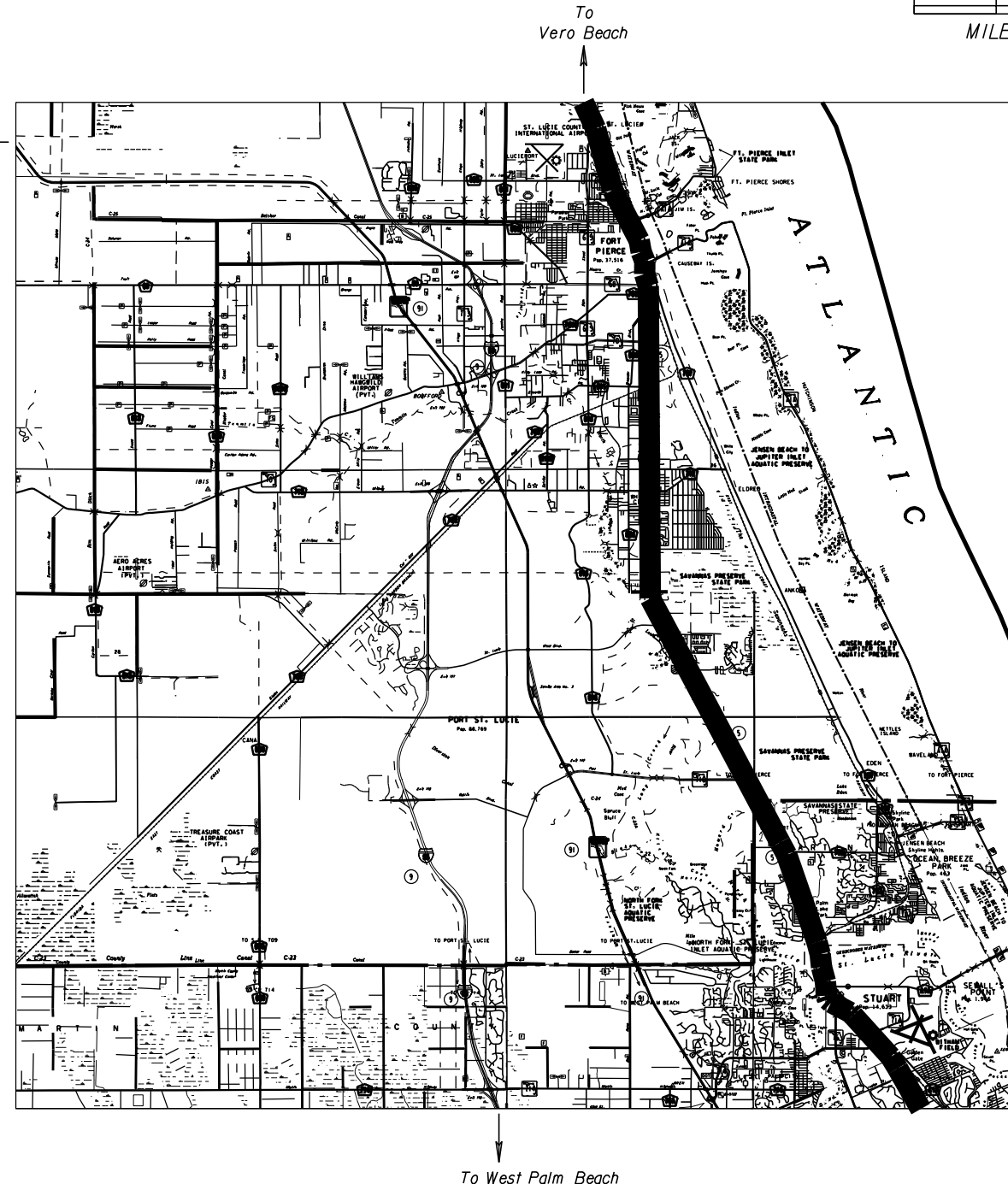
NOTE: THE SCALE OF THESE PLANS MAY
HAVE CHANGED DUE TO REPRODUCTION.

100% SUBMITTAL

ROADWAY PLANS
ENGINEER OF RECORD: KELLY T. SCHWARZ, P.E.

P.E. NO. 71507

FISCAL YEAR	SHEET NO.
15	1



CITY OF PORT ST. LUCIE PROJECT MANAGER: CLYDE CUFFY

Pay Item Number ⁽¹⁾	Pay Item Description ⁽¹⁾	Unit	Total Quantity
101-1	Mobilization	LS	1
102-1	Maintenance of Traffic	LS	1
104-10-3	Sediment Barrier	LF	131
104-18	Inlet Protection System	EA	11
110-1-1	Clearing and Grubbing	AC	0.35
120-1	Regular Excavation	CY	169
120-6	Embankment	CY	176
400-11	Class NS Concrete - Gravity Wall	CY	12.8
430-174-215	Pipe Culvert Optional Material (SD, Elliptical/Arch, 15")	LF	12
430-984-623	Mitered End Section (SD, Elliptical/Arch, 15")	EA	2
515-1-2	Pipe Handrail - Guiderail (Aluminum)	LF	82
519-78	Bollards	EA	12
522-1	Concrete Sidewalk and Driveways, 4" Thick	SY	429
522-4	Bus Shelter Pad - Concrete	SY	186
527-2	Detectable Warnings	SF	82
570-1-2	Performance Turf	SY	534
635-2-11	Pull & Splice Box	EA	16
700-1-51	Single Post Sign (Relocate, Up to 12 SF)	AS	13
751-36-13	Bicycle Rack (F&I, Medium)	EA	16
751-35-12	Bus Shelter (F&I, 50-100 Feet)	EA	14
751-35-13	Bus Shelter (F&I, 101-150 Feet)	EA	2
751-37	Trash Receptacle	EA	16
751-38-11	Bench (F&I, Aluminum)	EA	16
CUSTOM	Remove Existing Bench	EA	5
CUSTOM	Swale Liner (Install Only)	LF	86
CUSTOM	As-Built Survey	LS	1

PAY ITEM NOTES

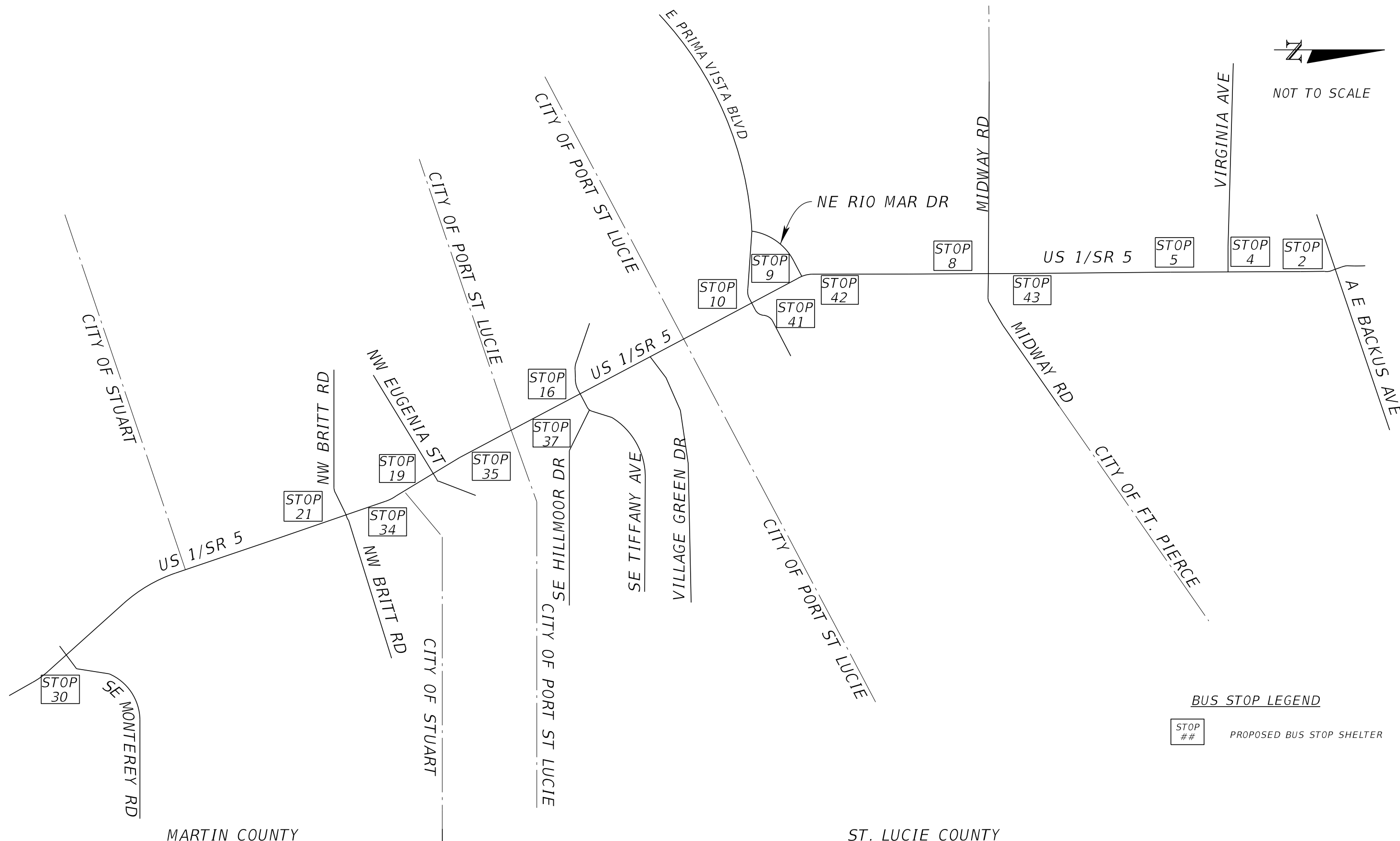
- PAY ITEM NO. 110-1-1 - INCLUDES ALL CLEARING AND GRUBBING, INCLUDING THE TRIMMING AND REMOVAL OF EXISTING TREES
- PAY ITEM NO. 522-4 - BUS SHELTER PAD, CONCRETE- SHALL INCLUDE PAYMENT FOR ALL REINFORCING STEEL, CONDUIT, EXCAVATION, HAUL AND DISPOSAL OF EXCAVATED MATERIAL FROM THE STATION SITE. AS WELL AS SAWCUTS, HARDSCAPE DETAILING AND CONCRETE FINISH WORK.
- PAY ITEM NO. 570-1-2 - INCLUDES THE COST OF SOD AND UNDERLYING SAND LAYER SHOWN IN THE SWALE LINER DETAIL. SWALE LINER MATERIAL PROVIDED BY THE CITY OF PORT ST. LUCIE.

(1) Pay Item Number and Description from FDOT Basis of Estimates 2014 Edition

REVISIONS				Kimley-Horn and Associates, Inc. Certificate Of Authorization No. 696 Kelly T Schwarz, P.E. P.E. License No. 71507 1920 Wekiva Way, Suite 200 West Palm Beach, Florida 33411	CITY OF PORT ST. LUCIE 121 S.W. PORT ST. LUCIE BLVD PORT ST. LUCIE, FL 34984		SUMMARY OF PAY ITEMS	SHEET NO. 2
DATE	DESCRIPTION	DATE	DESCRIPTION		ROAD NO.	COUNTY		
						ST. LUCIE		



NOT TO SCALE



BUS STOP LEGEND

STOP ## PROPOSED BUS STOP SHELTER

MARTIN COUNTY

ST. LUCIE COUNTY

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

Kimley-Horn and Associates, Inc.
 Certificate Of Authorization No. 696
 Kelly T Schwarz, P.E.
 P.E. License No. 71507
 1920 Wekiva Way, Suite 200
 West Palm Beach, Florida 33411

CITY OF PORT ST. LUCIE
 121 S.W. PORT ST. LUCIE BLVD
 PORT ST. LUCIE, FL 34984

ROAD NO.	COUNTY
	ST. LUCIE

PROJECT LAYOUT

SHEET NO.
3

1. LOCATION, ELEVATION, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES, AND OTHER FEATURES ARE SHOWN IN ACCORDANCE WITH THE BEST INFORMATION AVAILABLE AT TIME OF THE PREPARATION OF THE PLANS BUT DO NOT PURPORT TO BE ABSOLUTELY CORRECT.
2. THE CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATION, AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES, AND OTHER FEATURES AFFECTING HIS/HER WORK AND SHALL COMPLY WITH ALL STATE, COUNTY, AND LOCAL ORDINANCES AND OBTAIN ANY NECESSARY WORK PERMITS THAT MAY BE REQUIRED PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL PROVIDE AT LEAST 2 BUSINESS DAYS NOTICE TO THE VARIOUS UTILITY COMPANIES, IN ORDER TO LOCATE AND IDENTIFY THEIR EXISTING UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, AS ESTABLISHED BY THE "UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT."
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OF THE COORDINATION OF CONSTRUCTION SCHEDULING BETWEEN THE CONTRACTOR AND ALL UTILITY AGENCIES.

NOTE:
THIS INCLUDES MEETING WITH UTILITY AGENCIES PRIOR TO THE PRE-CONSTRUCTION CONFERENCE TO ADJUST THEIR SCHEDULES TO COINCIDE WITH THE CONTRACTORS CONSTRUCTION SCHEDULE.
5. MAINTENANCE OF TRAFFIC WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE APPROVED BY THE GOVERNING AGENCY PRIOR TO ITS IMPLEMENTATION.
6. OVERALL CLEAN-UP SHALL BE ACCOMPLISHED BY THE CONTRACTOR IN ACCORDANCE WITH THE LOCAL JURISDICTION OR FDOT STANDARDS. ANY AND ALL EXPENSES INCURRED FOR THIS WORK SHALL BE INCLUDED IN THE UNIT PRICE BID FOR OTHER ITEMS.
7. ALL SIDEWALK RAMPS SHALL BE BUILT PER THE LATEST FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS AT THE TIME OF BID.
8. SIDEWALK AND BUS PAD CROSS SLOPES SHALL NOT EXCEED 2% POSITIVE OR NEGATIVE GRADE. ALL SIDEWALK AND BUS PAD AREAS EXCEEDING 2% DURING CONSTRUCTION WILL BE REMOVED AND REPLACED AT NO ADDITIONAL COST TO THE OWNER.
9. ALL EXISTING DRAINAGE STRUCTURES ARE TO REMAIN UNLESS OTHERWISE NOTED.
10. THE CONTRACTOR IS REQUIRED TO SAW CUT EXISTING PAVEMENT AND PROVIDE EXPANSION MATERIAL WHERE NECESSARY TO PROVIDE A UNIFORM CONSTRUCTION JOINT FOR ALL AREAS REQUIRING WIDENING OR CURB CONSTRUCTION. THE COST ASSOCIATED WITH SAW CUTTING AND INSTALLING EXPANSION JOINT FILLER (1/2") WILL BE INCIDENTAL TO THE ADJACENT WORK.
11. BENCHMARK DATUM IS FLORIDA STATE PLANE COORDINATE SYSTEM (EAST ZONE 901) NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD '88).
12. ALL SIDEWALK PLACED OUTSIDE THE SHELTER PAD SHALL BE 4" THICK UNLESS OTHERWISE NOTED.

13. ALL EXISTING SIGNS WITHIN THE PROJECT LIMITS SHALL REMAIN UNLESS OTHERWISE NOTED.
14. UTILITY OWNERS:

COMPANIES	CONTACT	PHONE NUMBER
AT&T/T	GREG JACOBSON	813-342-0512
COMCAST BOCA DELRAY	TONY SPRINGSTEEL	772-692-9010
CITY OF FT. PIERCE	TRACY TELLE	772-467-3776
FT. PIERCE UTILITY AUTHORITY	VALERIE SCHULTE	772-466-1600 EXT 3402
LEVEL 3 COMMUNICATIONS	NETWORK RELATIONS	877-366-8344 EXT 2
MCI	CHUCK CZUMAK	941-906-6703
AT&T/DISTRIBUTION	MARK GUTIERREZ	772-460-4443
SPRINT NEXTEL	MARK CALDWELL	321-287-9942
FLORIDA POWER AND LIGHT	TRACY STERN	800-868-9554
CITY GAS COMPANY OF FLORIDA	RON MULLER	321-638-3424
CITY OF PORT ST. LUCIE	MIKE LEPELLETIER/PAUL JOHNSON	772-873-6424/772-871-5182
MARTIN COUNTY BOARD OF COMMISSIONERS	DAMIAN BONO	772-288-5528
CITY OF STUART	DAVE TYLER	772-288-5377
TECO PEOPLES GAS	YVONNE GOLDMAN	954-453-0824



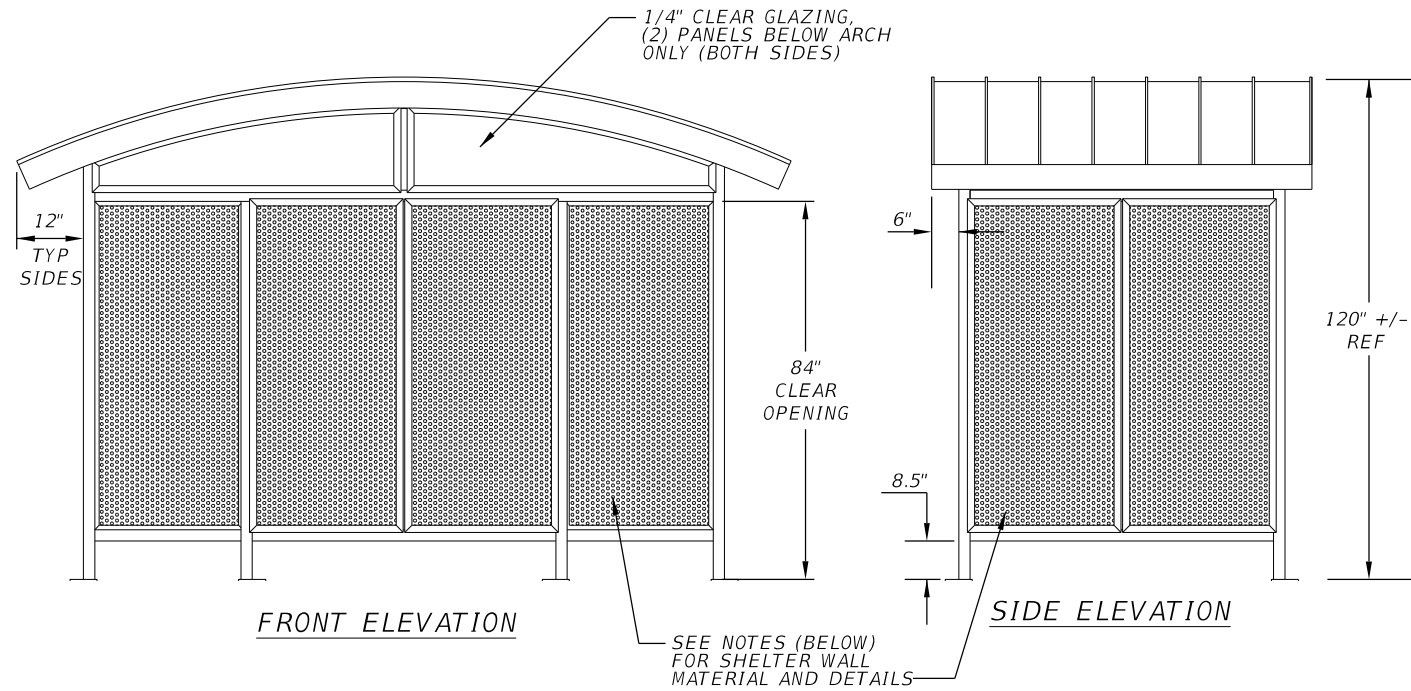
TRAFFIC CONTROL PLAN

1. THE CONTRACTOR SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN THE LATEST VERSIONS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND 600 SERIES OF THE FDOT DESIGN STANDARDS AT ALL TIMES.
2. INSTALL ADVANCE WARNING SIGNS AND BARRICADES IN ACCORDANCE WITH THE 600 SERIES OF THE STANDARD INDEX.
3. EXISTING POSTED SPEED SHALL REMAIN DURING CONSTRUCTION. TRAFFIC SHALL BE MAINTAINED ON PAVED SURFACES AT ALL TIMES.
4. EXISTING SIDEWALK WILL BE CLOSED AS NECESSARY TO ACCOMMODATE CONSTRUCTION. CONTRACTOR WILL PLACE NECESSARY SIDEWALK CLOSURE SIGNAGE IN ACCORDANCE WITH STANDARD INDEX 660.
5. FLAGGING OPERATIONS MAY BE USED WHEN CONSTRUCTION ACTIVITIES OCCUR IN AREAS WHERE OTHER OPERATIONS ARE NOT POSSIBLE. WORK SHALL BE PERFORMED IN ACCORDANCE WITH INDEX 600 SERIES.

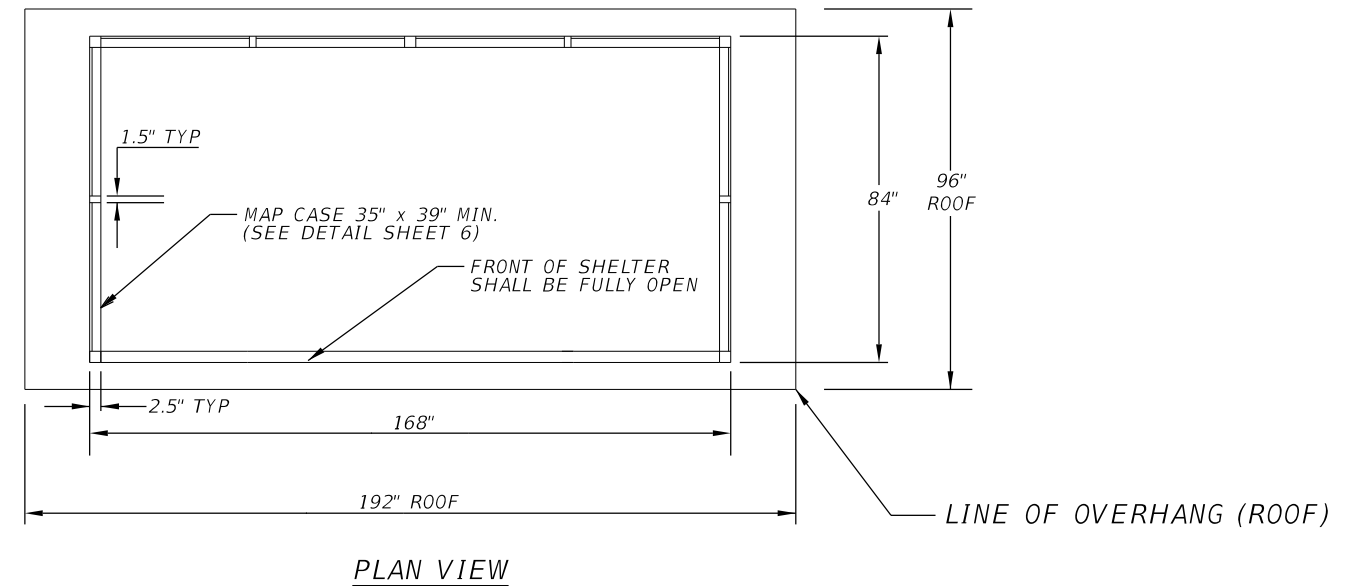
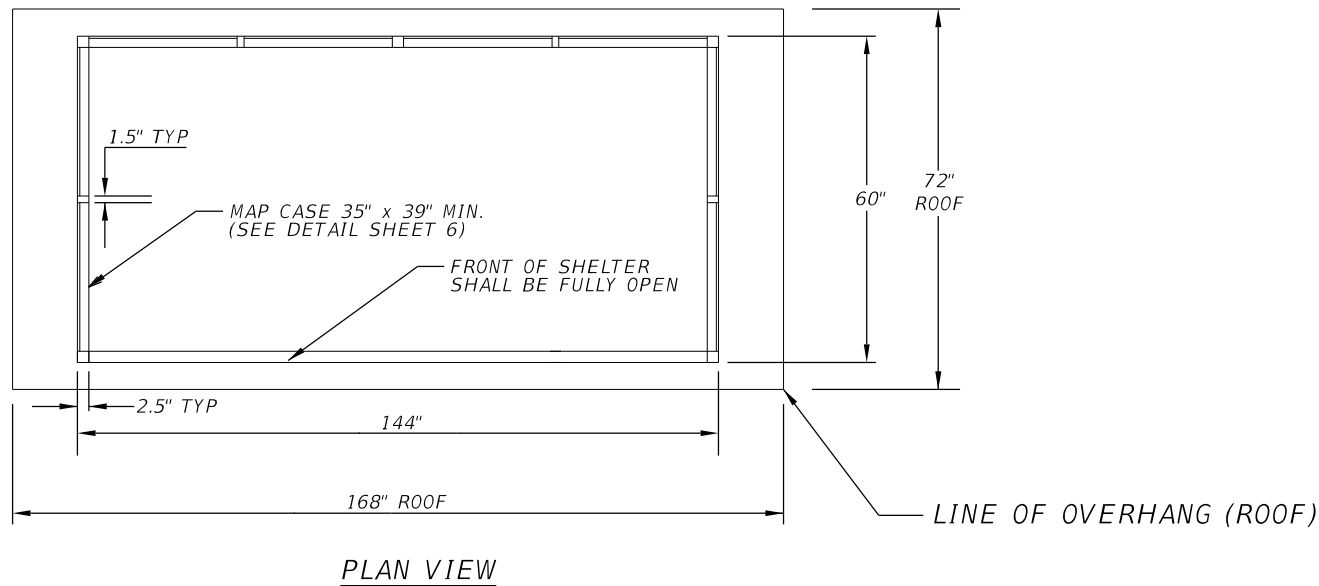
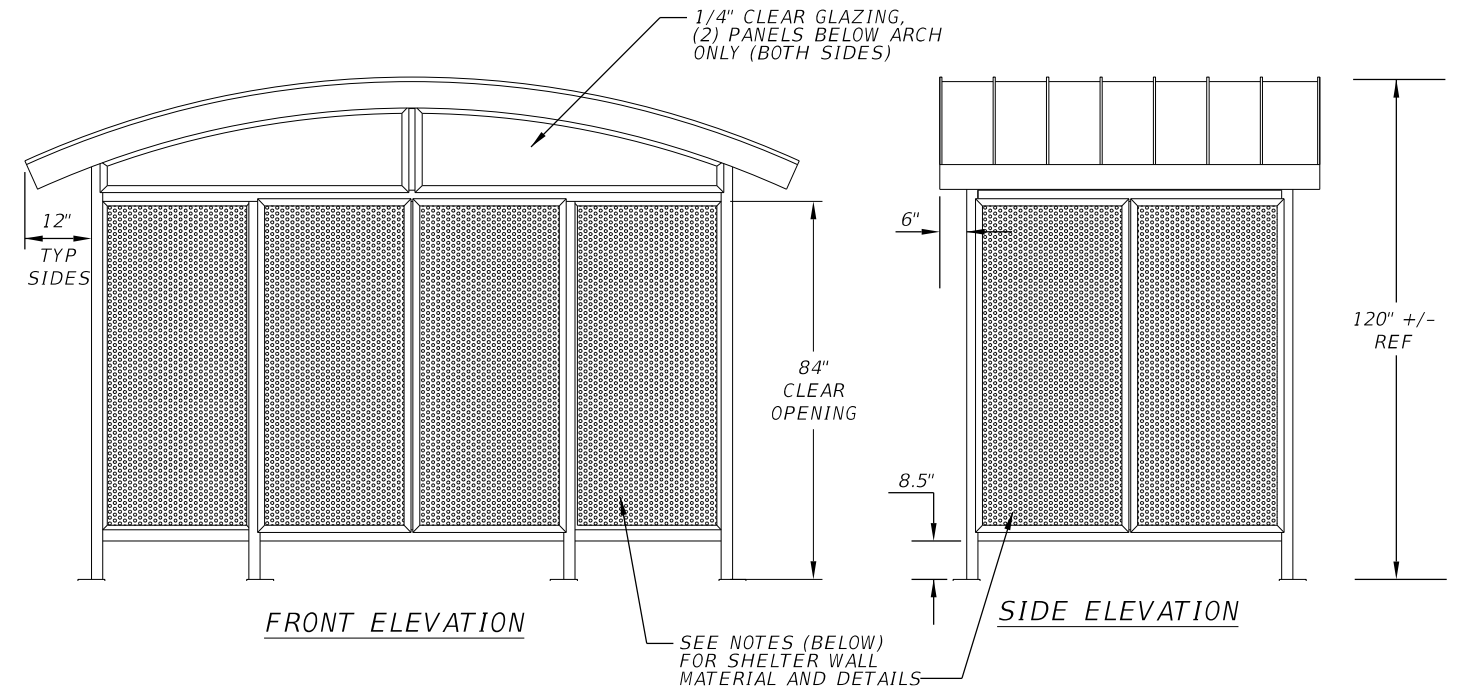
SITE / STOP	ALONG ROADWAY	DESIGN SPEED (MPH)
BENTON BUILDING / STOP 2	SR 5 / US 1	45
K-MART PLAZA / STOP 4	SR 5 / US 1	45
SABAL PALM PLAZA / STOP 5	SR 5 / US 1	45
MIDWAY ROAD NORTH / STOP 43	SR 5 / US 1	45
MIDWAY ROAD SOUTH / STOP 8	SR 5 / US 1	45
RIO MAR NORTH / STOP 42	SR 5 / US 1	45
RIO MAR SOUTH / STOP 9	SR 5 / US 1	45
PRIMA VISTA CROSSINGS / STOP 41	E PRIMA VISTA BOULEVARD	35
CHASE BANK / STOP 10	S ENTRADA AVENUE	25
CVS PHARMACY / STOP 16	SR 5 / US 1	45
TC MEDICAL CENTER / STOP 37	SE HILLMORE DRIVE	30
CRACKER BARREL / STOP 35	SR 5 / US 1	45
LOWES & BJ / STOP 19	SR 5 / US 1	45
PINEAPPLE COMMONS / STOP 34	SR 5 / US 1	45
BRITT ROAD / STOP 21	SR 5 / US 1	45
STUART CENTER / STOP 30	SR 5 / US 1	45

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DATE	DESCRIPTION	DATE	DESCRIPTION		ROAD NO.	COUNTY		
						ST. LUCIE		

5' X 12' BUS SHELTER



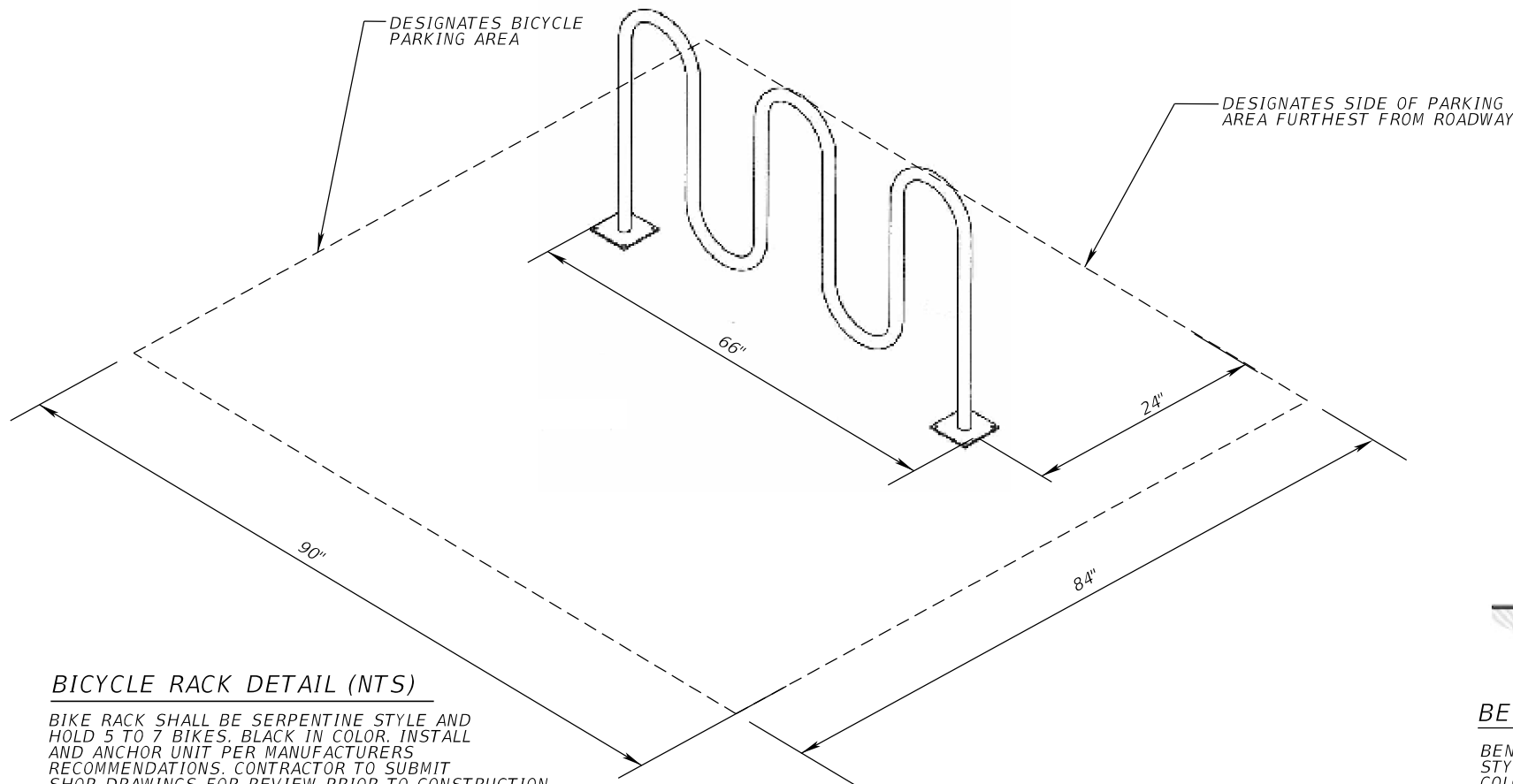
7' X 14' BUS SHELTER



NOTES FOR BOTH SIZE SHELTERS

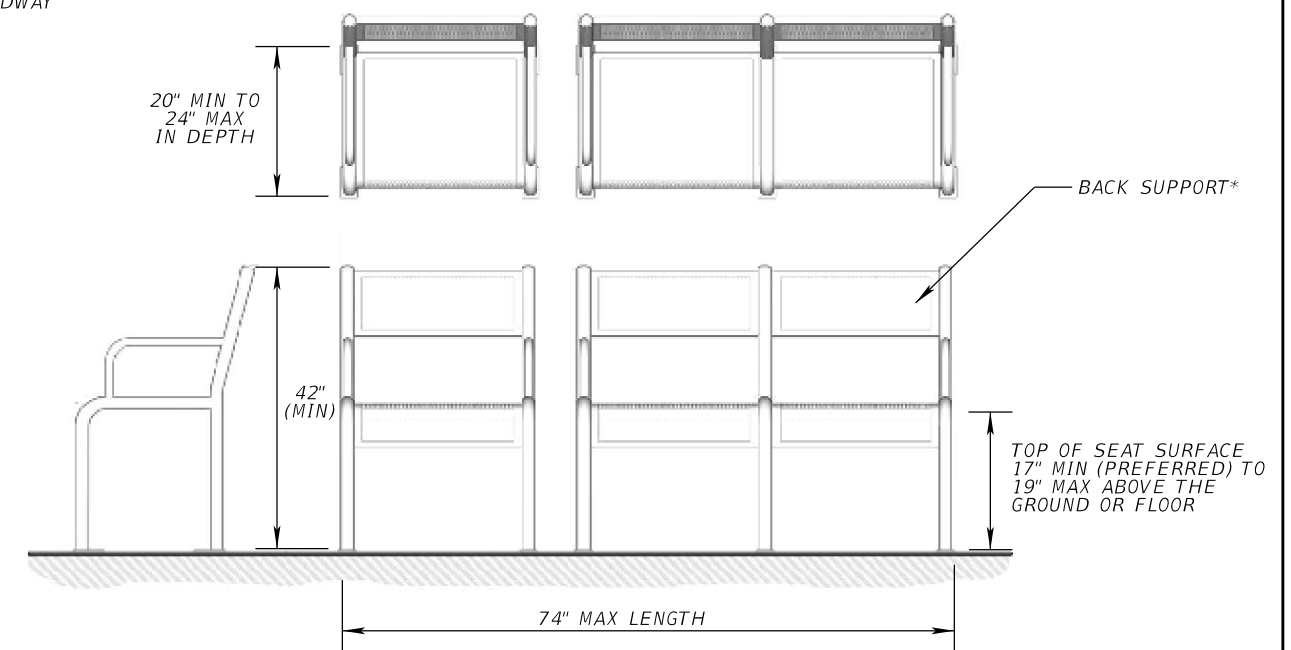
1. BUS SHELTER SHALL BE A REVERSE BARRELL VAULT ROOF AS MANUFACTURED BY DUO-GUARD INDUSTRIES, INC (OR APPROVED EQUAL).
2. ALUMINUM FINISH TO BE CLEAR ANODIZED.
3. ROOF TO BE 0.032 ALUMINUM METAL STANDING SEAM PANS, "STONE WHITE" COLOR.
4. SHELTER SHALL HAVE PERFORATED PANELS ON THE BACK AND BOTH SIDES AND FULLY OPEN ON THE FRONT. PANEL WALL GLAZING TO BE 0.125 CLEAR ANODIZED PERFORATED ALUMINUM WITH 1/4" HOLES ON 3/8" STAGGERED CENTERS.
5. PRE-WIRED, PER THE MANUFACTURER FOR FUTURE ELECTRICAL SERVICE (SEE SLAB FOUNDATION DETAIL SHEET).
6. A 35" X 39" MINIMUM MAP DISPLAY TO BE MOUNTED ON SIDEWALL OF SHELTER.
7. PLEASE REFER TO SHEET 7 FOR BUS SHELTER PAD DETAILS.

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DATE	DESCRIPTION	DATE	DESCRIPTION		ROAD NO.	COUNTY		
					ST. LUCIE			



BICYCLE RACK DETAIL (NTS)

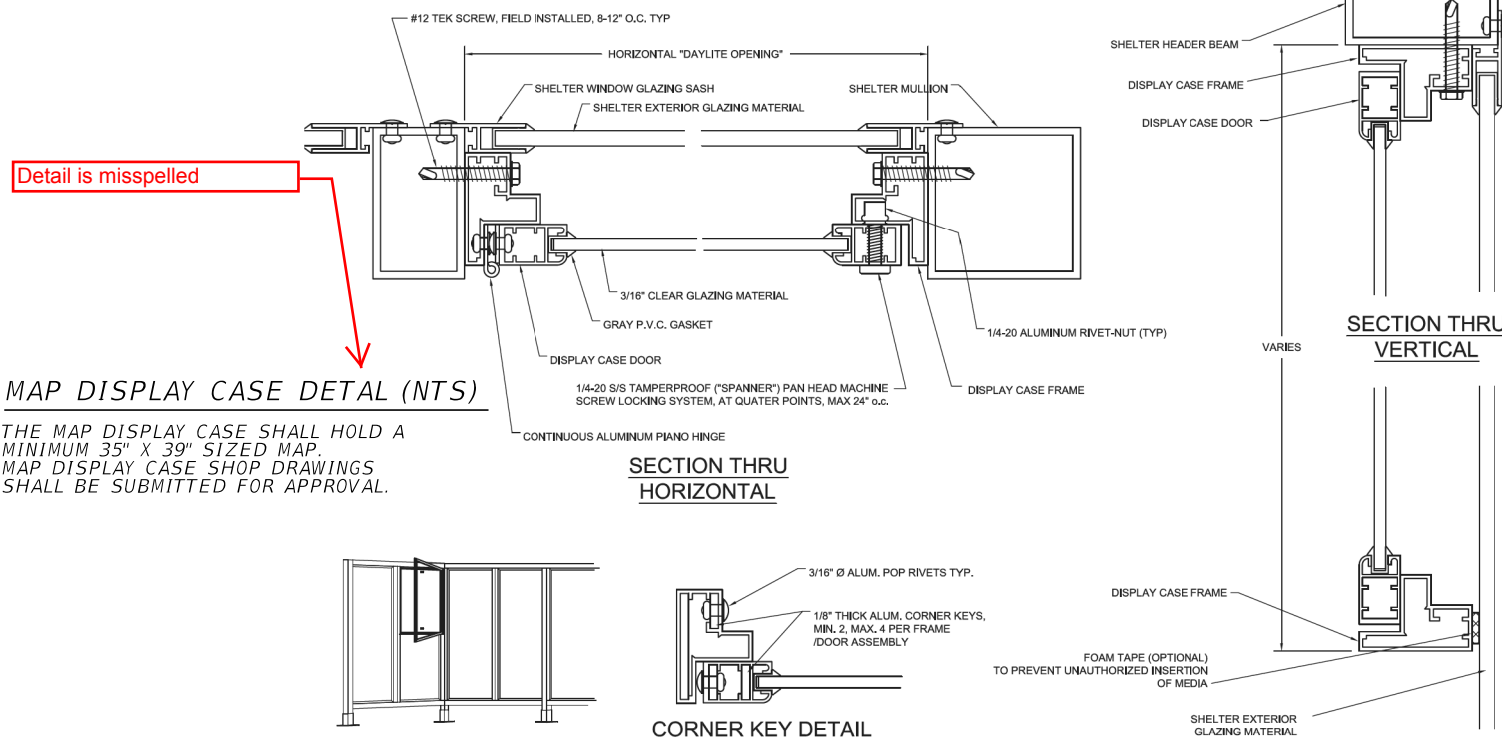
BIKE RACK SHALL BE SERPENTINE STYLE AND HOLD 5 TO 7 BIKES. BLACK IN COLOR. INSTALL AND ANCHOR UNIT PER MANUFACTURERS RECOMMENDATIONS. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR REVIEW PRIOR TO CONSTRUCTION.



BENCH DETAIL (NTS)

BENCH SHALL BE AN ALUMNIUM THREE SEAT DIVIDED HOOP STYLE, BENCH SHALL PROVIDE FOR BACK SUPPORT. FINISH COLOR TO MATCH THE SHELTER. INSTALL PER MANUFACTURER'S RECOMMENDATIONS, UNIT MUST BE ANCHORED. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR REVIEW PRIOR TO CONSTRUCTION.

*BACK SUPPORT SHALL EXTEND FROM A POINT 2" (MAX) ABOVE THE SEAT SURFACE TO A POINT 18" (MIN) ABOVE THE SEAT SURFACE. BACK SUPPORT SHALL BE 2.5" (MAX) FROM THE REAR EDGE OF THE SEAT MEASURED HORIZONTALLY.



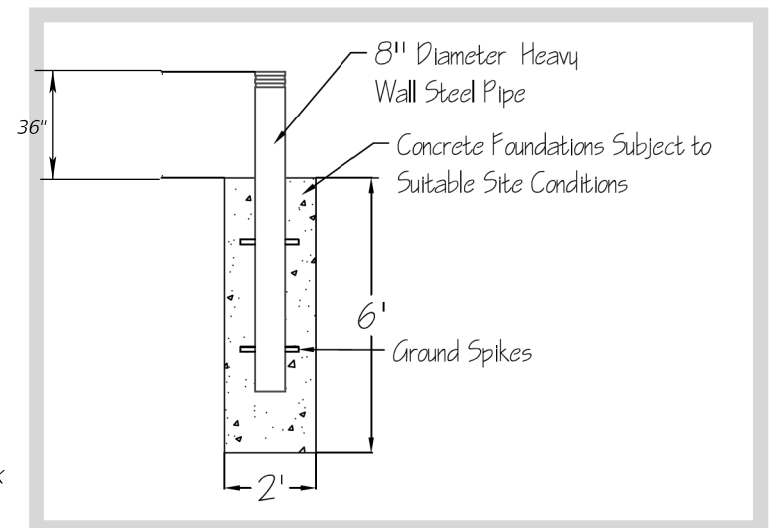
MAP DISPLAY CASE DETAL (NTS)

THE MAP DISPLAY CASE SHALL HOLD A MINIMUM 35" X 39" SIZED MAP. MAP DISPLAY CASE SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL.



TRASH RECEPTACLE DETAIL (NTS)

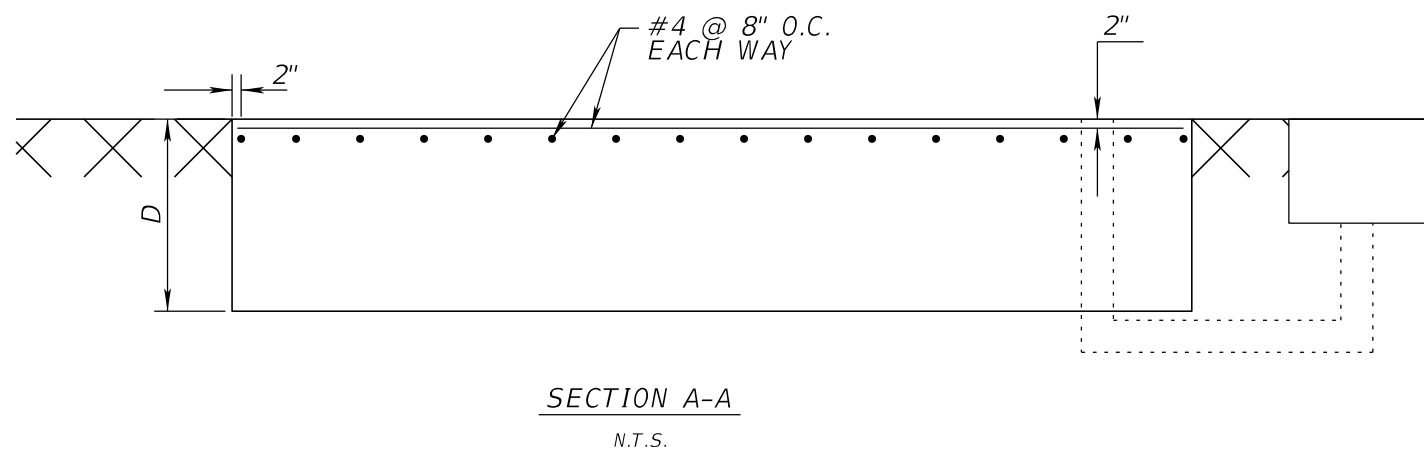
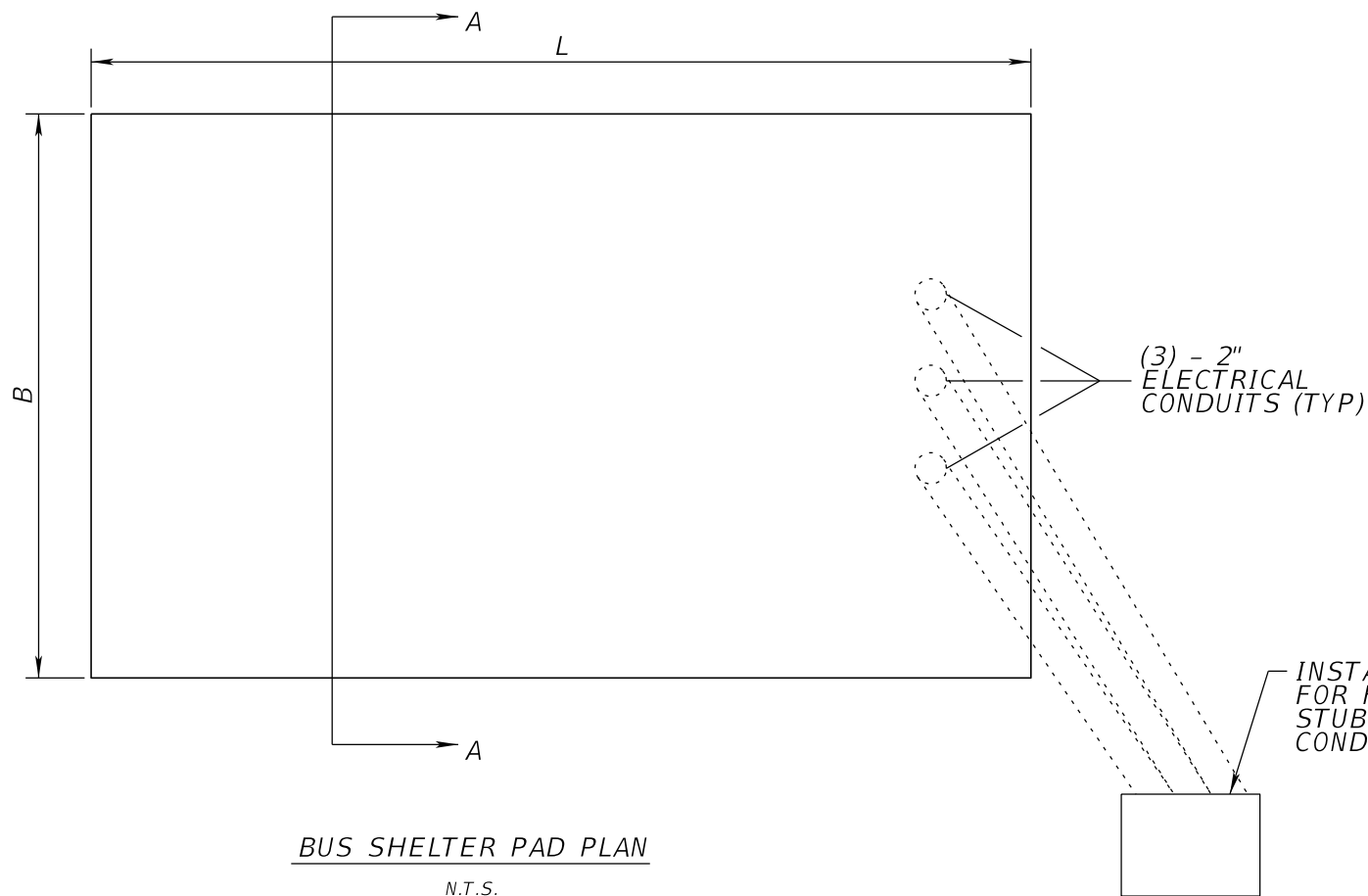
TRASH RECEPTACLE SHALL BE 32 GALLON WITH A BLACK POWDER COAT FINISH. THE TRASH RECEPTACLE SHALL BE MODEL R32DR WITH MODEL R32L LINER, MODEL R32FC LID AND SURFACE MOUNT KIT AS MANUFACTURED BY BELSON PRODUCTS. SHOP DRAWINGS FOR THE TRASH RECEPTACLE SHALL BE SUBMITTED FOR APPROVAL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS, UNIT MUST BE ANCHORED.



BOLLARD DETAIL (NTS)

SHOP DRAWINGS FOR BOLLARDS SHALL BE SUBMITTED FOR APPROVAL.

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DATE	DESCRIPTION	DATE	DESCRIPTION		ROAD NO.	COUNTY		
						ST. LUCIE		



	B (IN)	L (IN)	D (IN)
5' X 12' BUS SHELTER	84	168	12
7' X 14' BUS SHELTER	108	192	12

NOTE:
CONTRACTOR TO SUBMIT SHOP DRAWINGS OF ANCHOR BOLT SPECIFICATIONS AND SIZE TO KIMLEY-HORN AND ASSOCIATES PRIOR TO MATERIAL FABRICATION OR BUS SHELTER INSTALLATION.

GENERAL NOTES AND SPECIFICATIONS

PART 1 - GENERAL

1.01 PROJECT IDENTIFICATION: BUS SHELTER CONCRETE PAD PREPARED BY KIMLEY-HORN AND ASSOCIATES, INC. BASED ON THE FOLLOWING INFORMATION:

NOMINAL WIND SPEED: 116 MPH
 ULTIMATE WIND SPEED: 150 MPH
 WIND PRESSURE: 33.3 PSF
 EXPOSURE B
 RISK CATEGORY 1

PART 2 - WORK ELEMENTS / SPECIFICATIONS

2.01 GENERAL DESCRIPTION: THE WORK OF THIS CONTRACT INCLUDES CONCRETE AND STEEL.

2.02 WORK STANDARDS:

- A. ALL WORK TO BE PERFORMED PER ACI 224, ACI 546, AND PRODUCT MANUFACTURER'S SPECIFICATIONS UNLESS OTHERWISE NOTED ON PLANS. REFER ANY CONFLICTS BETWEEN ACI SPECIFICATIONS AND MANUFACTURER'S SPECIFICATIONS TO THE ENGINEER FOR RESOLUTION.
- B. WELDING: PERFORMED BY AN AWS CERTIFIED WELDER AND IN COMPLIANCE WITH AWS D.1.1. ALL WELD SIZES SHALL BE THE MAXIMUM ALLOWED BY MATERIAL BEING WELDED WITH E 70XX ELECTRODE.

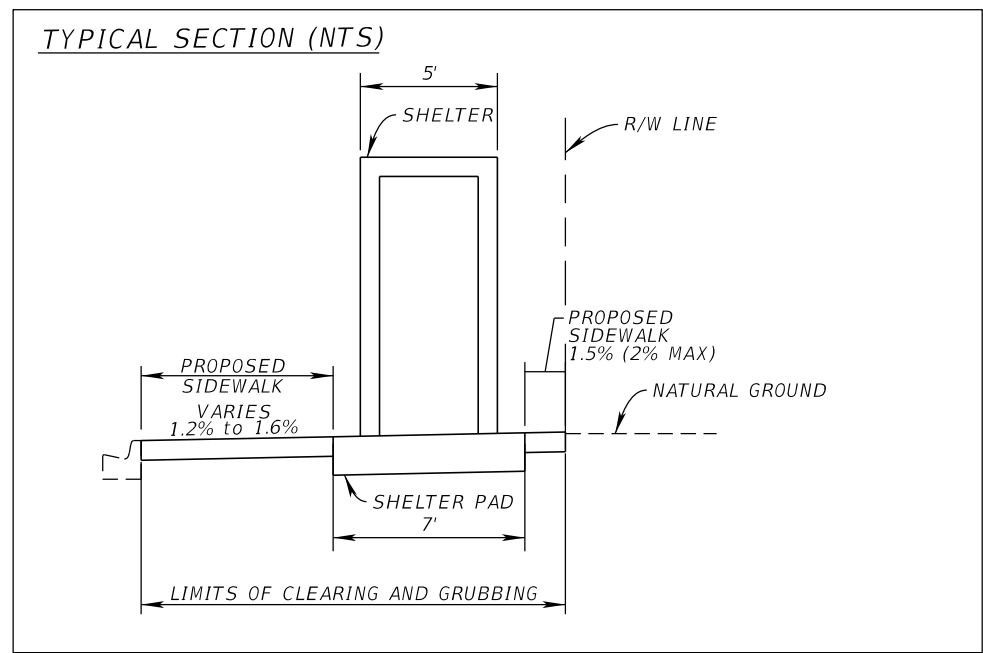
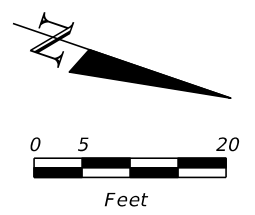
2.03 REINFORCED CONCRETE

- A. ALL CONCRETE MATERIALS, PLACING AND HANDLING SHALL BE IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE PUBLICATIONS ACI 301 AND ACI 318.
- B. CURING OF CONCRETE SHALL BE IN STRICT ACCORDANCE WITH ACI 301 PROVISIONS.
- C. ALL STRUCTURAL CONCRETE SHALL BE HIGH EARLY STRENGTH (MINIMUM 4000 PSI IN 12 HOURS)
- D. WATER SHALL NOT BE ADDED TO CONCRETE AT THE JOBSITE UNLESS SPECIFIC AUTHORIZATION IS INDICATED ON THE DELIVERY TICKET. NOTIFY ENGINEER OF TOTAL QUANTITY OF WATER ADDED TO ANY TRUCK. REPEAT NECESSARY TESTING IF WATER IS ADDED AFTER INITIAL SAMPLING.
- E. ALL ANCHOR BOLTS SHALL BE ACCURATELY SET WITHIN A TOLERANCE OF +/- 1/16 INCH IN BOTH ELEVATION AND LOCATION.
- F. ALL CONCRETE SHALL BE PLACED IN THE DRY. ALL FORMS SHALL BE FREE OF STANDING WATER.
- G. ALL CONCRETE SHALL BE VIBRATED IN PLACE IN ACCORDANCE WITH ACI RECOMMENDED PRACTICES. NO PLACING OF CONCRETE WILL BE COMMENCED UNLESS THERE ARE TWO OPERABLE CONCRETE VIBRATORS ON THE JOB SITE.
- H. CONCRETE COVER OVER REINFORCING STEEL SHALL BE AS FOLLOWS, U.O.N.:
 CONCRETE CAST AGAINST EARTH 3 IN.
 ALL OTHER CONCRETE 2 IN.
- I. PROVIDE 3/4 INCH CHAMFERS ON ALL EXPOSED EDGES, EXCEPT AS OTHERWISE NOTED.
- J. ANY TIES, STRAPS OR OTHER METALLIC FORMWORK ITEMS SHALL BE REMOVED TO A DEPTH OF 1-1/2 INCHES MINIMUM BELOW FINISHED CONCRETE SURFACE. CONCRETE SHALL BE REPAIRED IN ACCORDANCE WITH ACI 301.
- K. FORMED SURFACES SHALL RECEIVE A SMOOTH-FORM FINISH IN ACCORDANCE WITH ACI 301. OFFSET BETWEEN ADJACENT PIECES OF FORMWORK FACING MATERIAL SHALL NOT EXCEED "CLASS A" TOLERANCE REQUIREMENTS OF ACI 117 (I.E. 1/8 INCH MAX. OFFSET).
- L. SLAB SURFACES SHALL RECEIVE A TROWELED FINISH IN ACCORDANCE WITH ACI 301. FINISH TOLERANCES SHALL BE IN ACCORDANCE WITH "VERY FLAT" CLASSIFICATION REQUIREMENTS OF ACI 117 (I.E. 1/8 INCH MAX. IN 10 FEET).
- M. WHERE A NONSLIP FINISH IS REQUIRED, GIVE THE SURFACE A BROOM FINISH OR DRY-SHAKE APPLICATION OF FINELY CRUSHED ABRASIVE PARTICLES.
- N. COORDINATE SIZE, TYPE AND LOCATION OF ALL PENETRATIONS, CONDUIT, CHAMFERS AND EMBEDDED ITEMS PRIOR TO CONCRETE PLACEMENT.
- O. DO NOT IMPOSE SERVICE LOADS ON CONCRETE ELEMENTS UNTIL THE CONCRETE HAS REACHED ITS SPECIFIED MINIMUM COMPRESSIVE STRENGTH.

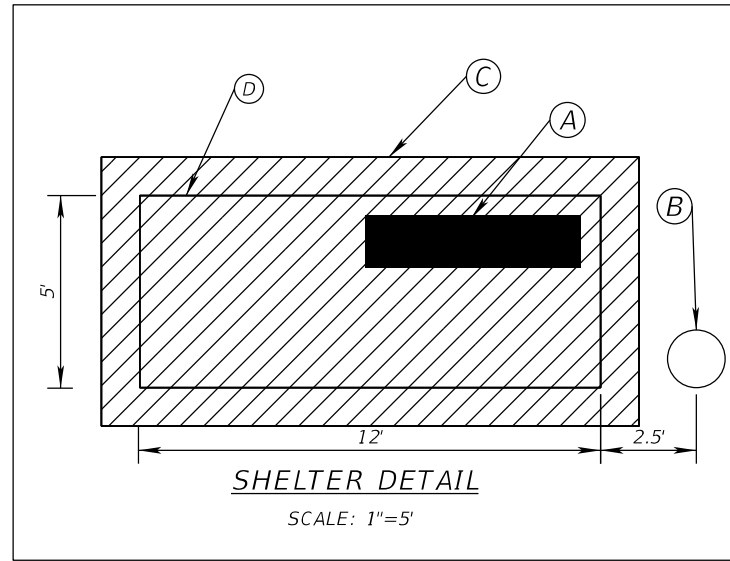
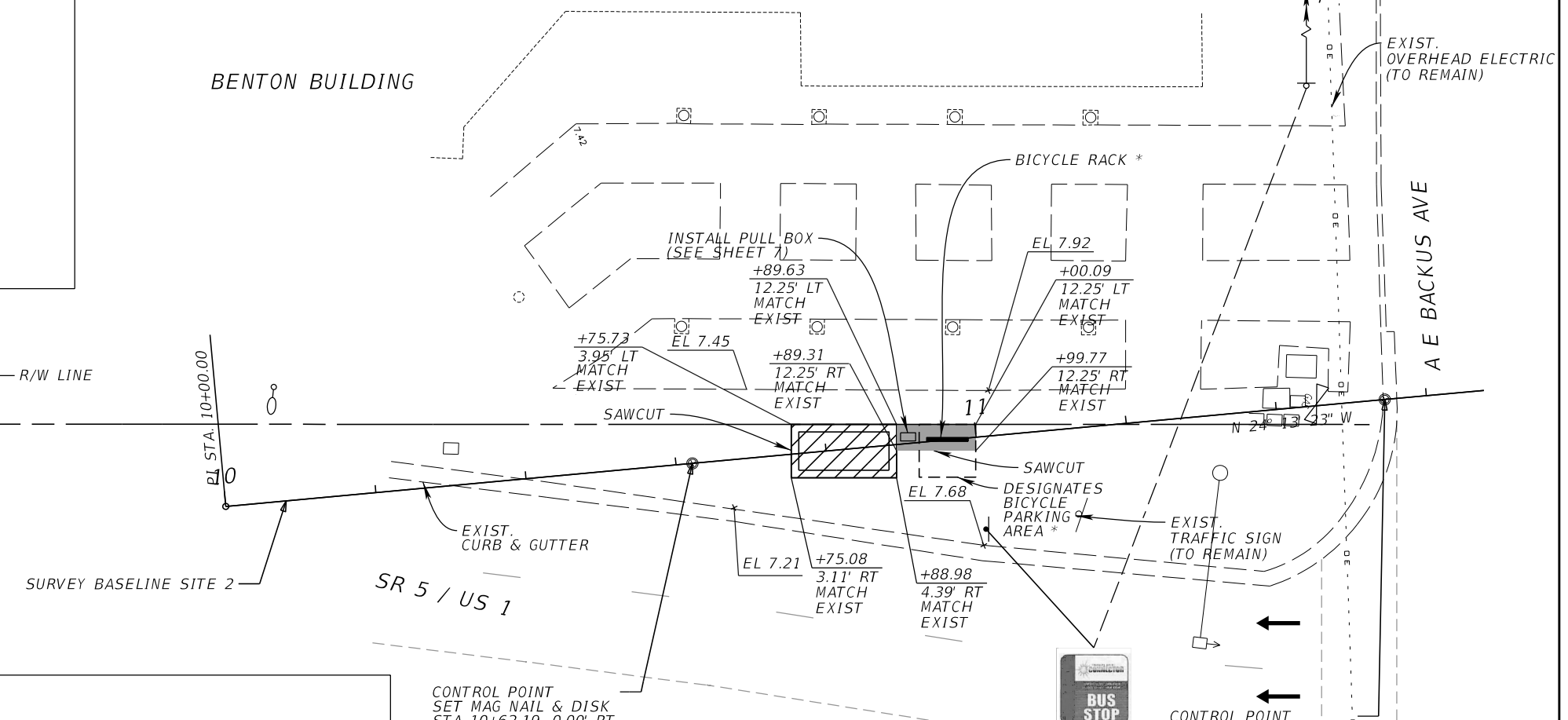
2.04 REINFORCING STEEL

- A. REINFORCING STEEL SHALL BE OF DOMESTIC MANUFACTURE AND IN ACCORDANCE WITH ASTM A615 WITH SUPPLEMENT, GRADE 60; MAXIMUM WORKING STRESS OF 24,000 PSI.
- B. TOLERANCES FOR REINFORCING BAR FABRICATION SHALL CONFORM TO THE CURRENT CRSI MANUAL OF STANDARD PRACTICE.
- C. ALL REINFORCING STEEL SHALL BE UNCOATED (BLACK) DEFORMED BARS AND SHALL BE FREE FROM LOOSE RUST, SCALE OR OTHER COATINGS.
- D. ALL REINFORCING STEEL SHALL BE ACCURATELY PLACED, RIGIDLY SUPPORTED AND FIRMLY TIED IN PLACE WITH BAR SUPPORTS AND SPACERS. VERIFY THAT PLACEMENT OF REINFORCING STEEL WILL NOT CONFLICT WITH SUBSEQUENT INSTALLATION OF ANCHOR BOLTS, FASTENERS OR FIELD-DRILLED COMPONENTS.
- E. UNLESS OTHERWISE NOTED, LAP BOTTOM STEEL OVER STRUCTURAL SUPPORTS AND TOP STEEL AT MIDSPAN.
- F. ALL LAP LENGTHS SHALL BE IN ACCORDANCE WITH ACI 318, ACI 530 AND CRSI STANDARD PRACTICES, U.O.N.
- G. HOOK DISCONTINUOUS ENDS OF ALL TOP BARS AND ALL BARS IN WALLS U.O.N.
- H. ACI STANDARD HOOKS SHALL BE USED AS A MINIMUM, U.O.N.
- I. ALL DIMENSIONS PERTAINING TO LOCATION OF REINFORCING BARS ARE TO CENTERLINE OF BARS EXCEPT WHERE THE CLEAR DIMENSION IS SHOWN TO FACE OF CONCRETE.
- J. SUBMIT SHOP DRAWINGS TO ENGINEER FOR REVIEW PRIOR TO FABRICATING REINFORCING STEEL. DO NOT REPRODUCE THE STRUCTURAL DRAWINGS FOR USE AS PLACING DRAWINGS OR SHOP DRAWINGS.
- K. PROVIDE CONSTRUCTION JOINTS IN ACCORDANCE WITH ACI 318 AND SUBMIT DRAWINGS SHOWING LOCATIONS AND DIRECTION OF POUR FOR ENGINEER'S REVIEW. PROVIDE KEYWAYS AND ADEQUATE DOWELS AT ALL CONSTRUCTION JOINTS.
- L. PROVIDE REINFORCING STEEL ERECTOR WITH A SET OF STRUCTURAL DRAWINGS FOR FIELD USE. INSPECT REINFORCING STEEL PLACEMENT FROM SHOP DRAWINGS.

REVISIONS				Kimley-Horn and Associates, Inc. Certificate Of Authorization No. 696 Arnoldo A. Artiles, P.E. P.E. License No. 70645 1920 Wekiva Way, Suite 200 West Palm Beach, Florida 33411	STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION			SHEET NO. 7
DATE	DESCRIPTION	DATE	DESCRIPTION		ROAD NO.	COUNTY	FINANCIAL PROJECT ID	



BENTON BUILDING



- SHELTER DETAIL KEY LEGEND**
- (A) THREE SEAT DIVIDED HOOPSTYLE BENCH. SEE SHEET 6 FOR DETAILS.
 - (B) 32 GALLON STEEL TRASH RECEPTACLE. SEE SHEET 6 FOR DETAILS.
 - (C) LIMITS OF BUS SHELTER PAD. SEE SLAB FOUNDATION DETAIL (SHEET 6).
 - (D) LIMITS OF BUS SHELTER. SEE BUS SHELTER DETAILS (SHEET 5).

CONTROL POINT
SET MAG NAIL & DISK
STA 10+62.19, 0.00' RT
EL 7.36
N = 1133422.9520
E = 874343.4800

CONTROL POINT
SET MAG NAIL & DISK
STA 11+54.46, 0.00' RT
EL 7.66
N = 1133507.1040
E = 874305.6200

LEGEND:

- BUS SHELTER AND FOUNDATION PAD SEE DETAIL THIS SHEET
- CONSTRUCT 4" THICK CONCRETE SIDEWALK
- * SEE BICYCLE RACK DETAIL (SHEET 6)

STOP 2: BENTON BUILDING

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DATE	DESCRIPTION	DATE	DESCRIPTION		ROAD NO.	COUNTY		8
					ST. LUCIE			

LEGEND:



BUS SHELTER AND FOUNDATION PAD
SEE DETAIL THIS SHEET



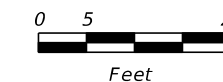
CONSTRUCT 4" THICK CONCRETE SIDEWALK



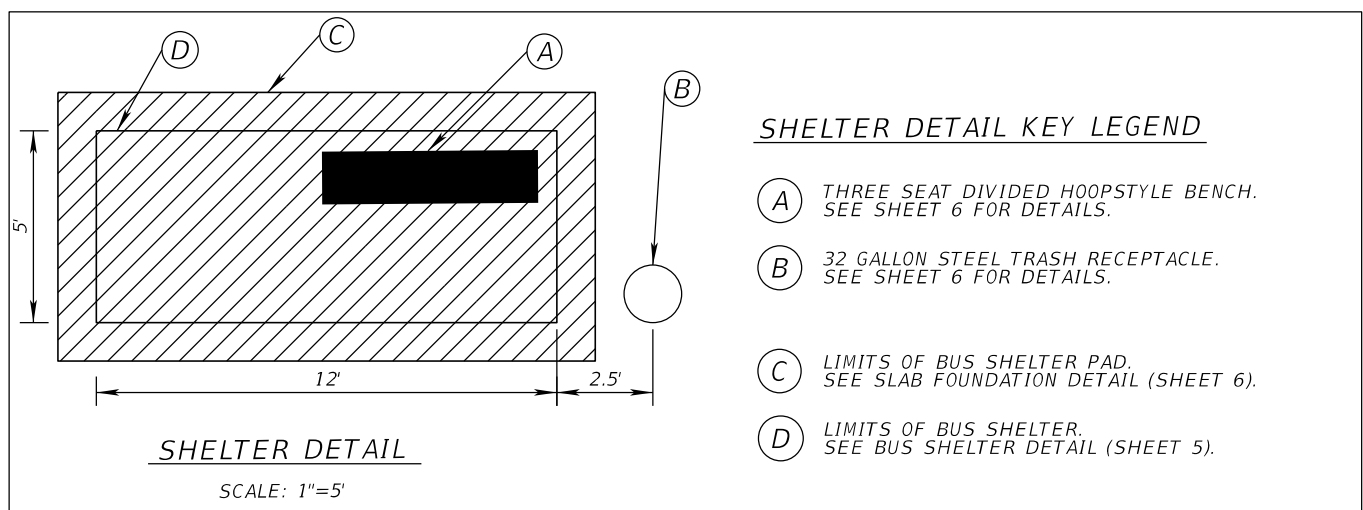
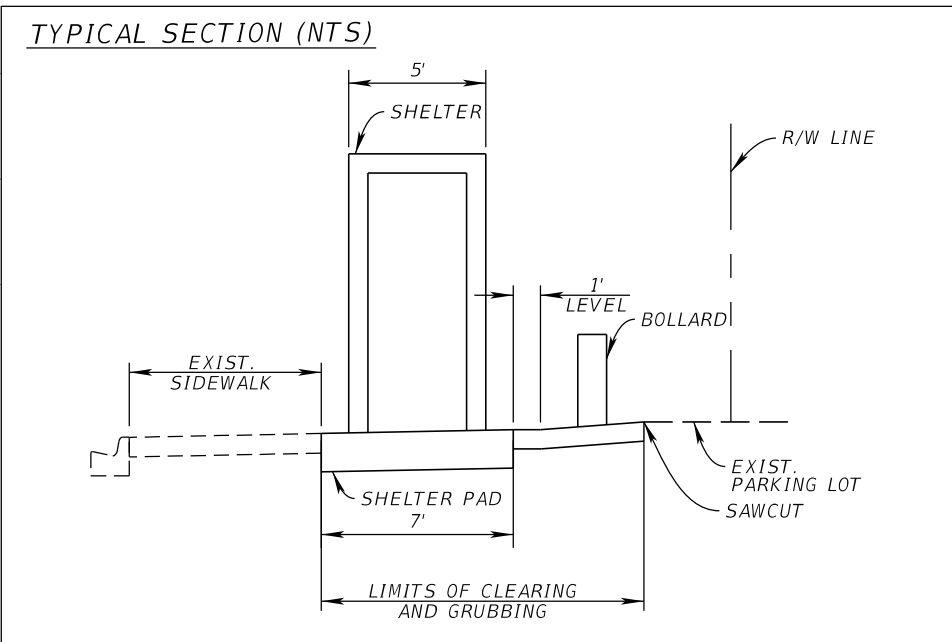
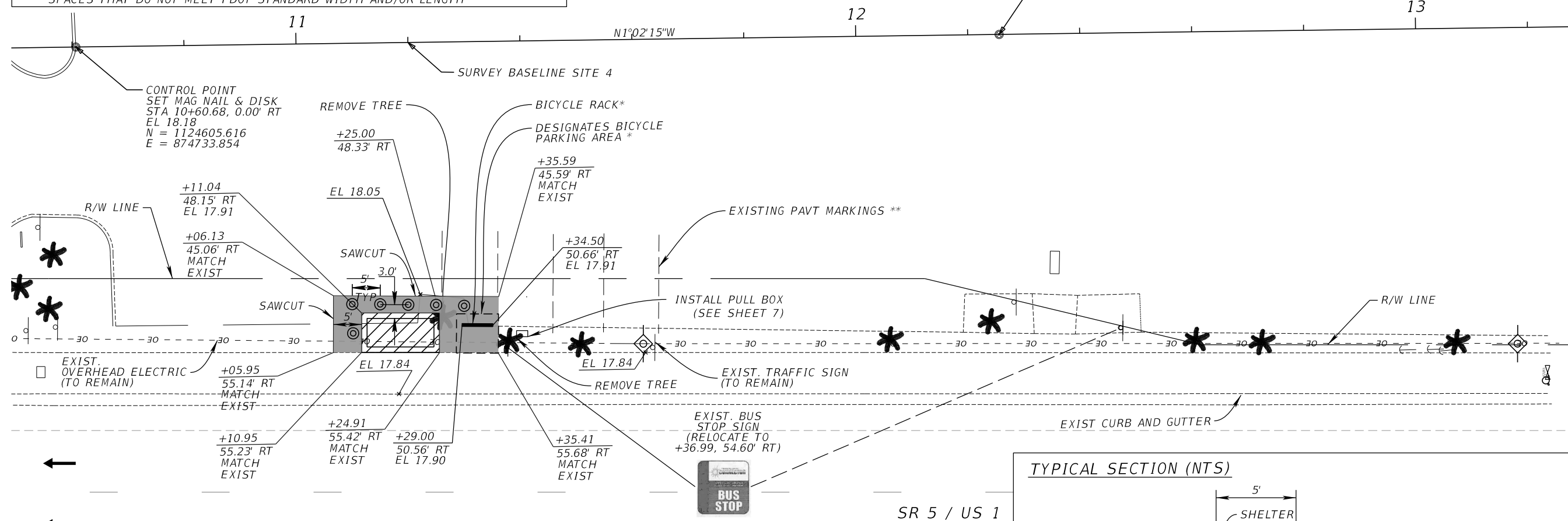
BOLLARDS; SPACED AT 5 FEET ON CENTER; SEE DETAIL SHEET 6

* SEE BICYCLE RACK DETAIL (SHEET 6)

** REFURBISH ANY DAMAGED PAVEMENT MARKINGS AND STRIPE OUT ANY PARKING SPACES THAT DO NOT MEET FDOT STANDARD WIDTH AND/OR LENGTH



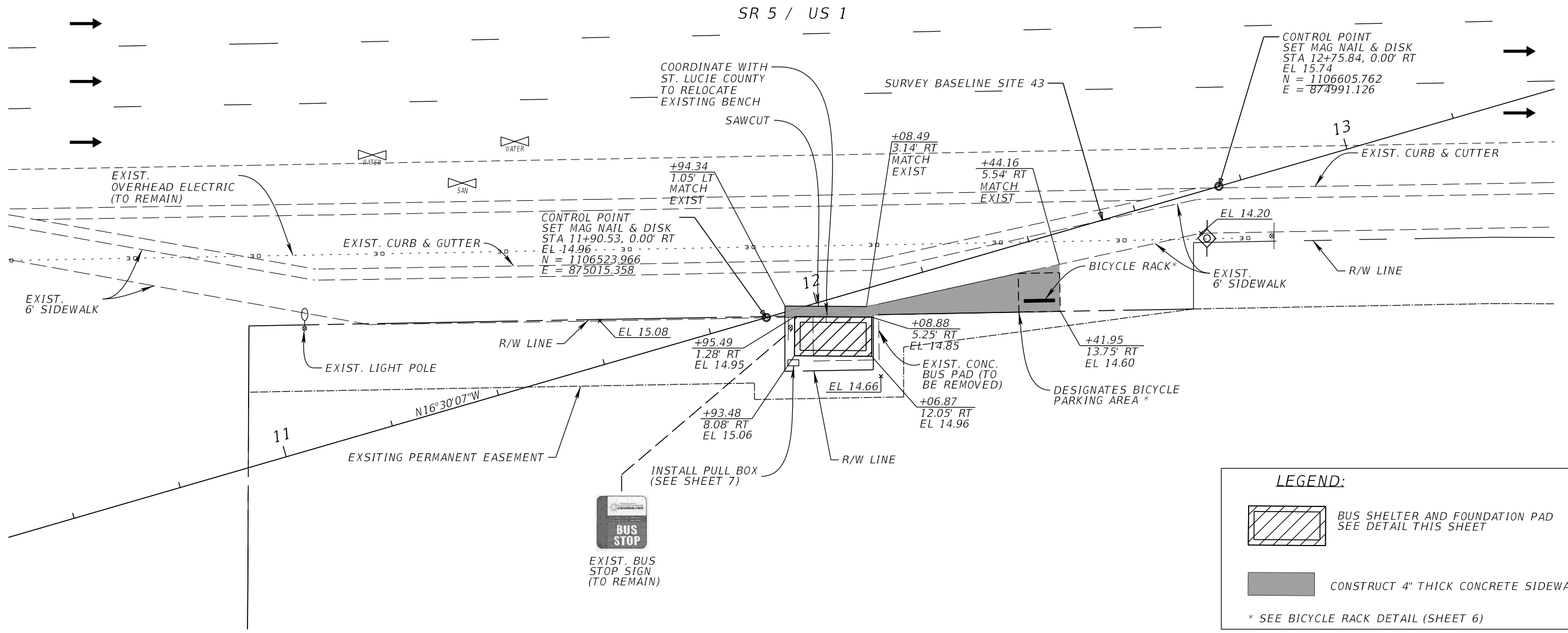
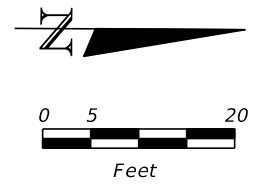
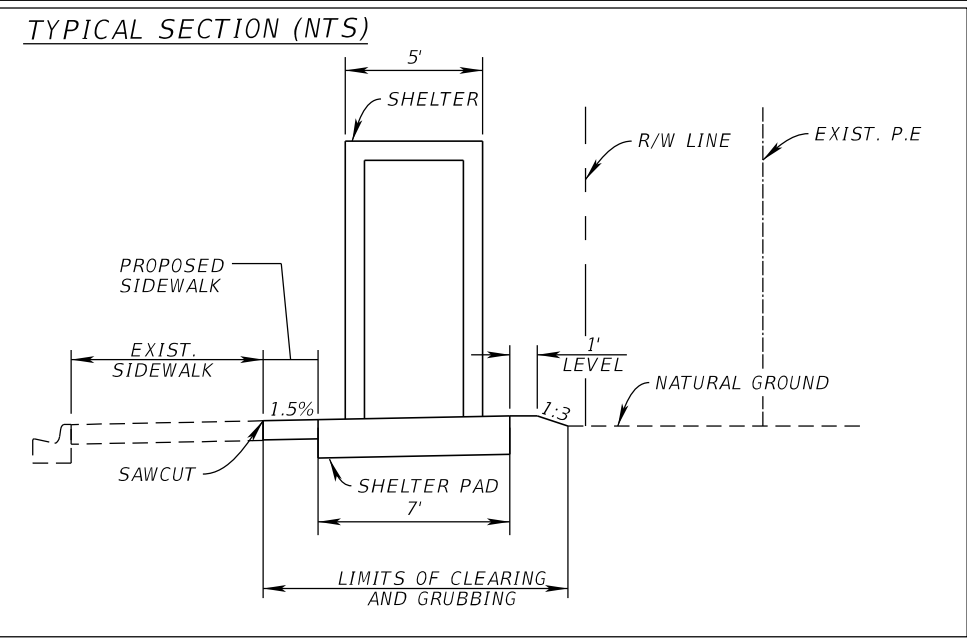
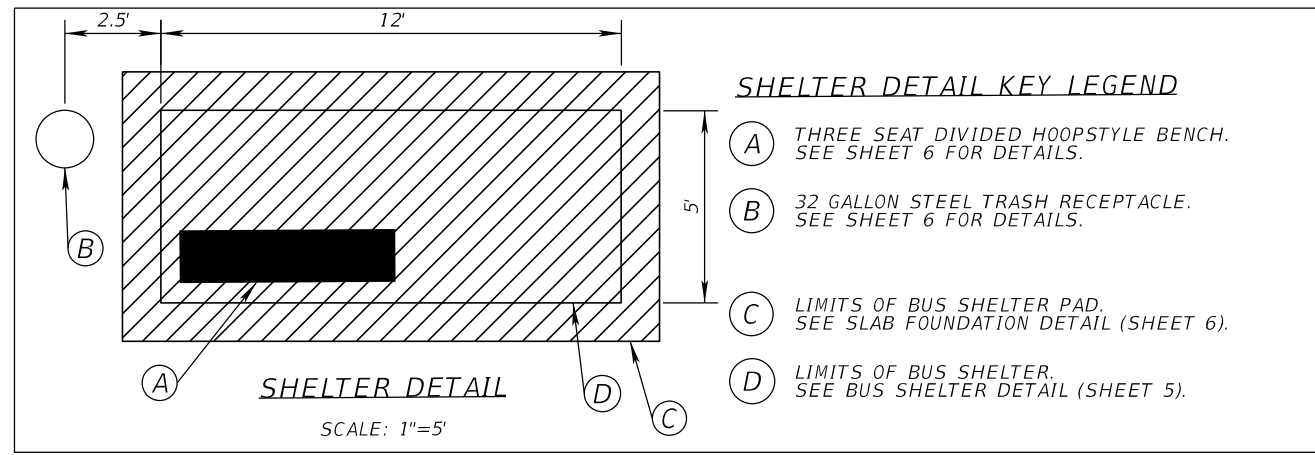
CONTROL POINT
SET MAG NAIL & DISK
STA 12+25.62, 0.00' RT
EL 17.74
N = 1124770.533
E = 874730.867



- SHELTER DETAIL KEY LEGEND**
- (A) THREE SEAT DIVIDED HOOPSTYLE BENCH. SEE SHEET 6 FOR DETAILS.
 - (B) 32 GALLON STEEL TRASH RECEPTACLE. SEE SHEET 6 FOR DETAILS.
 - (C) LIMITS OF BUS SHELTER PAD. SEE SLAB FOUNDATION DETAIL (SHEET 6).
 - (D) LIMITS OF BUS SHELTER. SEE BUS SHELTER DETAIL (SHEET 5).

STOP 4: K-MART PLAZA

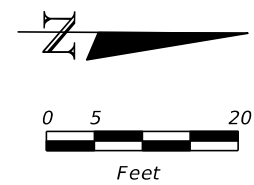
REVISIONS				Kimley-Horn and Associates, Inc. Certificate Of Authorization No. 696 Kelly T Schwarz, P.E. P.E. License No. 71507 1920 Wekiva Way, Suite 200 West Palm Beach, Florida 33411	CITY OF PORT ST. LUCIE 121 S.W. PORT ST. LUCIE BLVD PORT ST. LUCIE, FL 34984		SHEET NO. 9
DATE	DESCRIPTION	DATE	DESCRIPTION		ROAD NO.	COUNTY	
					ST. LUCIE		



STOP 43: MIDWAY RD NORTH

REVISIONS				Kimley-Horn and Associates, Inc. Certificate Of Authorization No. 696 Kelly T Schwarz, P.E. P.E. License No. 71507 1920 Wekiva Way, Suite 200 West Palm Beach, Florida 33411	CITY OF PORT ST. LUCIE 121 S.W. PORT ST. LUCIE BLVD PORT ST. LUCIE, FL 34984		SHEET NO. 11
DATE	DESCRIPTION	DATE	DESCRIPTION		ROAD NO.	COUNTY	
					ST. LUCIE		

SITE PLAN

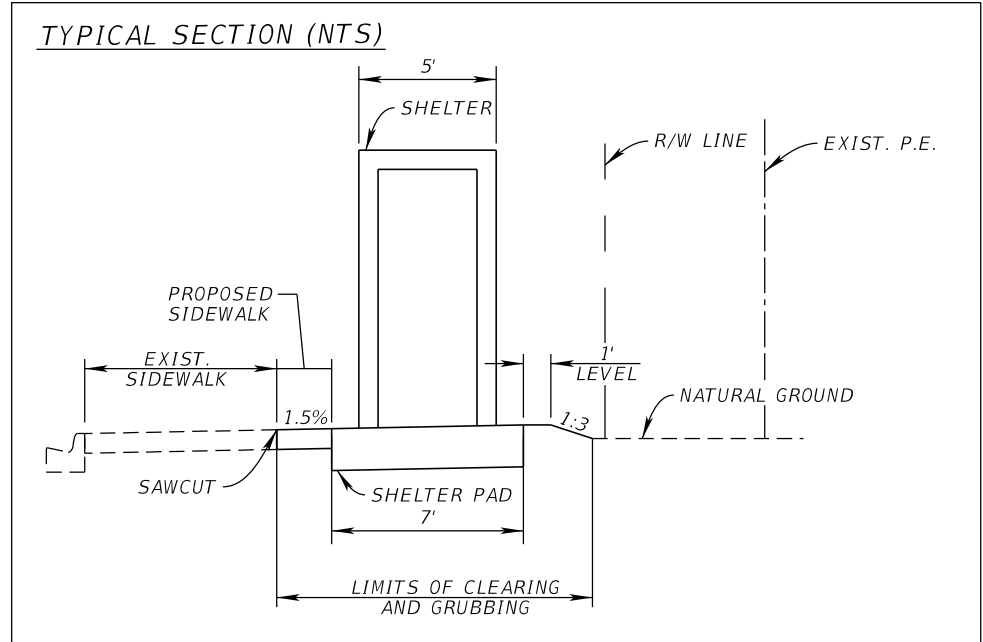
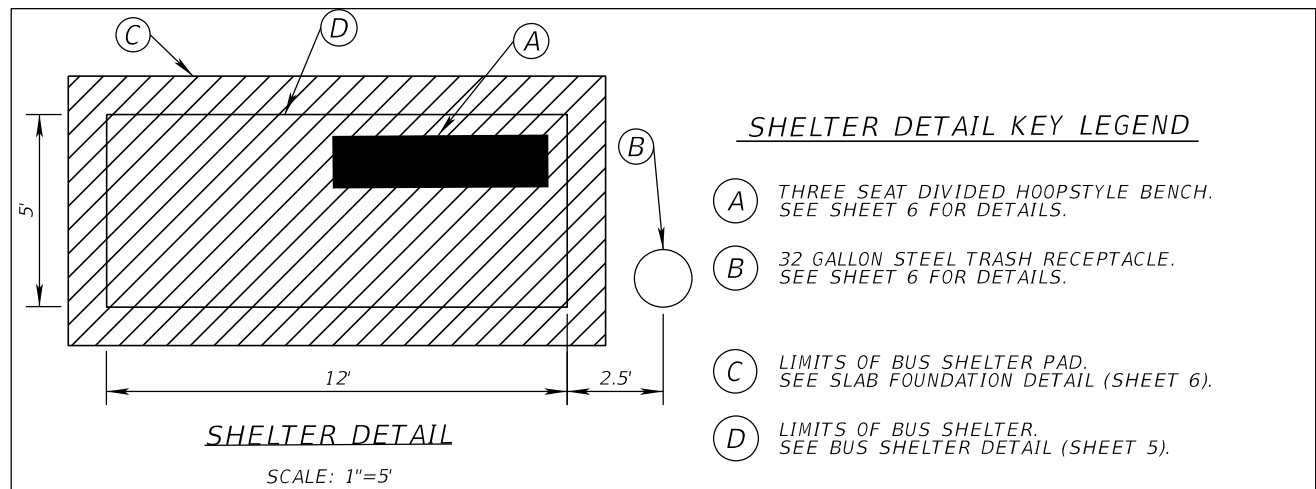
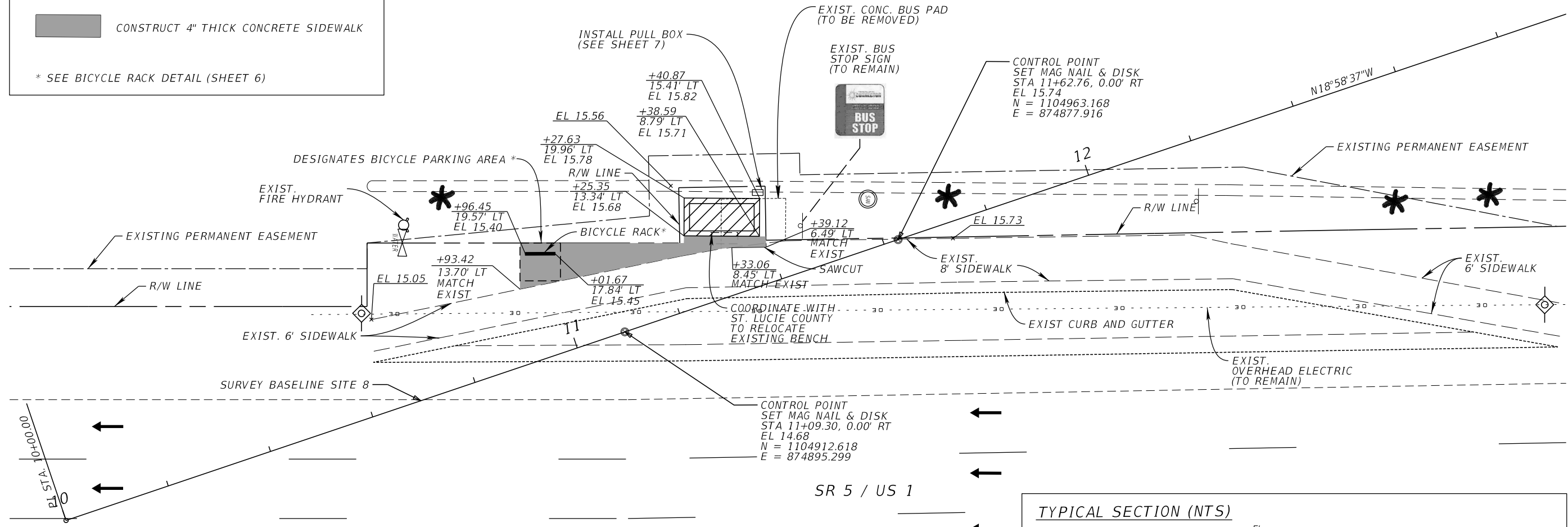


LEGEND:

BUS SHELTER AND FOUNDATION PAD
SEE DETAIL THIS SHEET

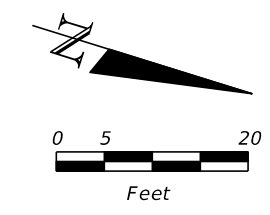
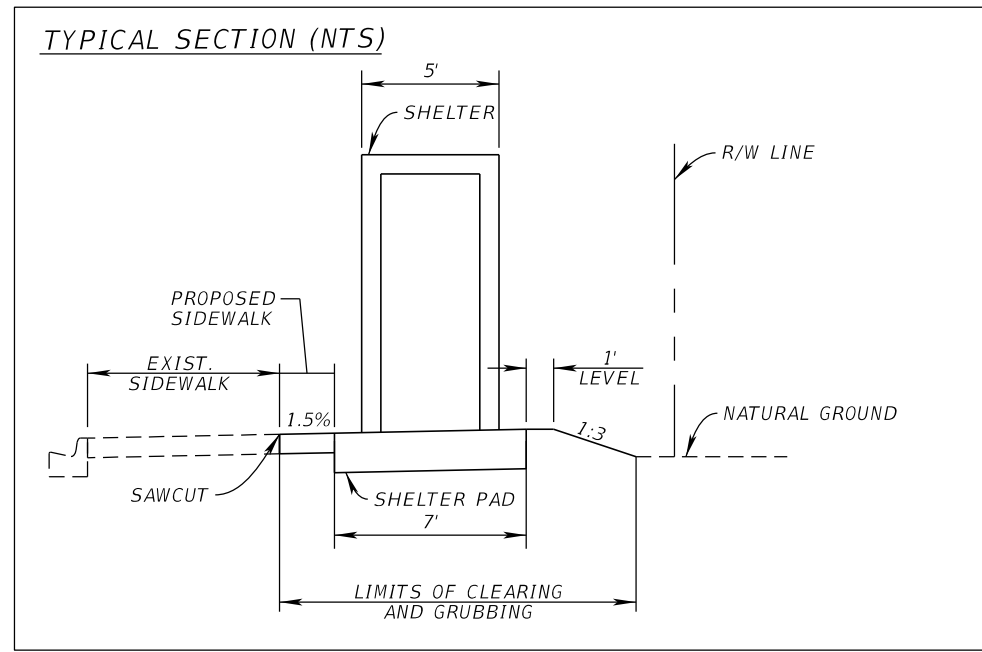
CONSTRUCT 4" THICK CONCRETE SIDEWALK

* SEE BICYCLE RACK DETAIL (SHEET 6)

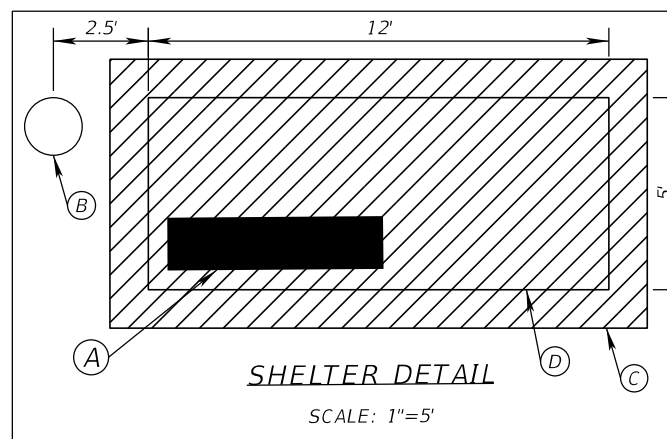
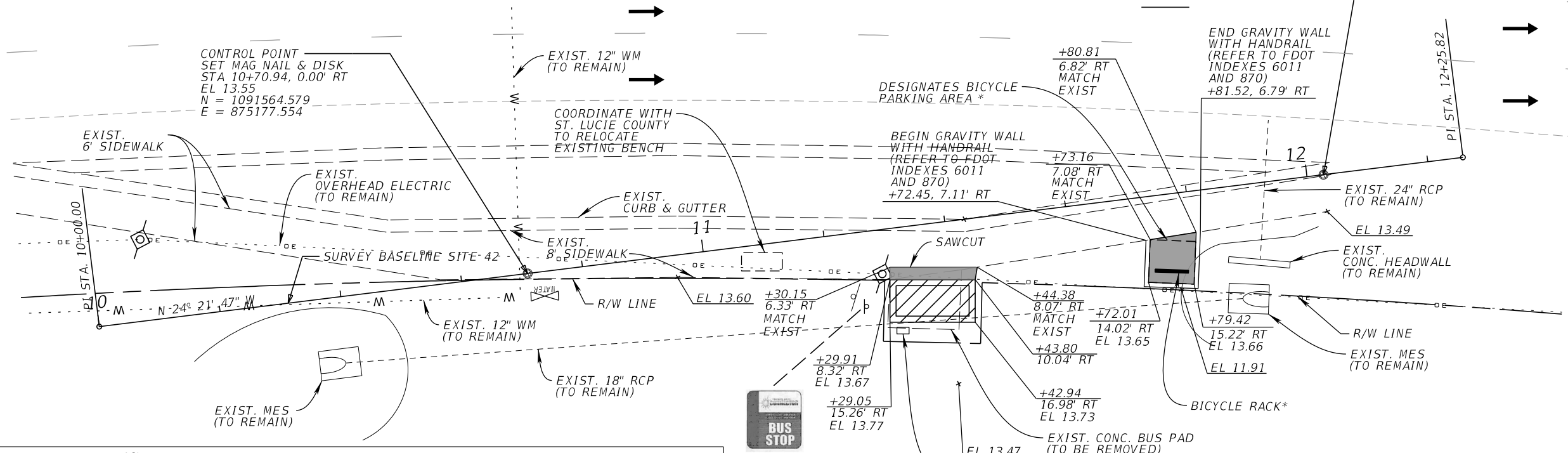


STOP 8: MIDWAY RD SOUTH

REVISIONS				Kimley-Horn and Associates, Inc. Certificate of Authorization No. 696 Kelly T Schwarz, P.E. P.E. License No. 71507 1920 Wekiva Way, Suite 200 West Palm Beach, Florida 33411	CITY OF PORT ST. LUCIE 121 S.W. PORT ST. LUCIE BLVD PORT ST. LUCIE, FL 34984	ROAD NO.	COUNTY	SHEET NO.
DATE	DESCRIPTION	DATE	DESCRIPTION					
							ST. LUCIE	12



SR 5 / US 1



- SHELTER DETAIL KEY LEGEND**
- (A) THREE SEAT DIVIDED HOOPSTYLE BENCH. SEE SHEET 6 FOR DETAILS.
 - (B) 34 GALLON STEEL TRASH RECEPTACLE. BLACK POWDER COAT FINISH. SURFACE MOUNT. INSTALL PER MANUFACTURER'S RECOMMENDATIONS, UNIT MUST BE ANCHORED.
 - (C) LIMITS OF BUS SHELTER PAD. SEE SLAB FOUNDATION DETAIL (SHEET 6).
 - (D) LIMITS OF BUS SHELTER. SEE BUS SHELTER DETAIL (SHEET 5).

LEGEND:

- BUS SHELTER AND FOUNDATION PAD SEE DETAIL THIS SHEET
- CONSTRUCT 4" THICK CONCRETE SIDEWALK

* SEE BICYCLE RACK DETAIL (SHEET 6)

STOP 42: RIO MAR NORTH

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

Kimley-Horn and Associates, Inc.
 Certificate Of Authorization No. 696
 Kelly T Schwarz, P.E.
 P.E. License No. 71507
 1920 Wekiva Way, Suite 200
 West Palm Beach, Florida 33411



CITY OF PORT ST. LUCIE
 121 S.W. PORT ST. LUCIE BLVD
 PORT ST. LUCIE, FL 34984

ROAD NO.	COUNTY
	ST. LUCIE

SITE PLAN

SHEET NO.
13

LEGEND:

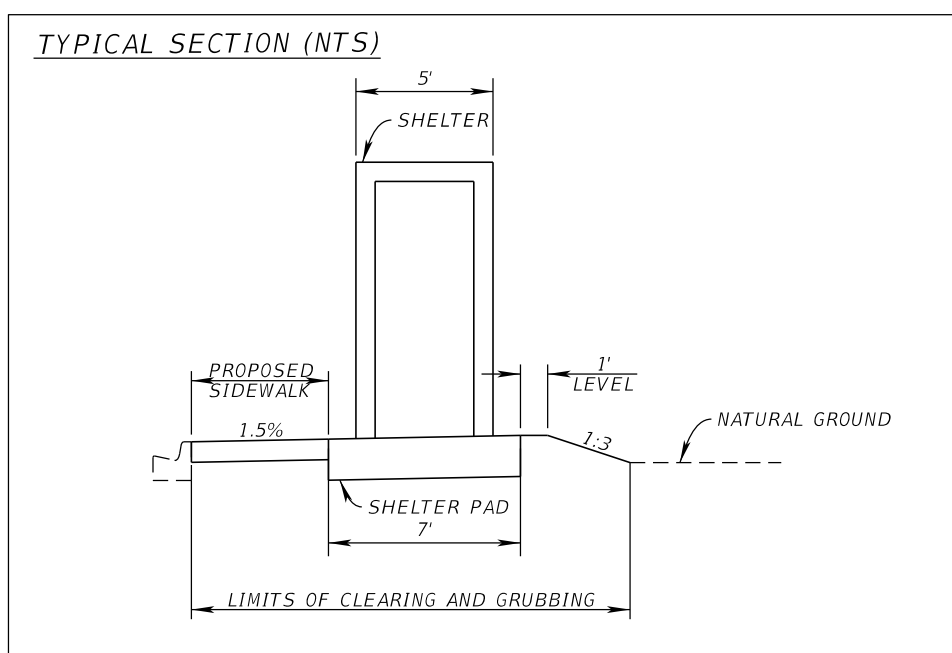
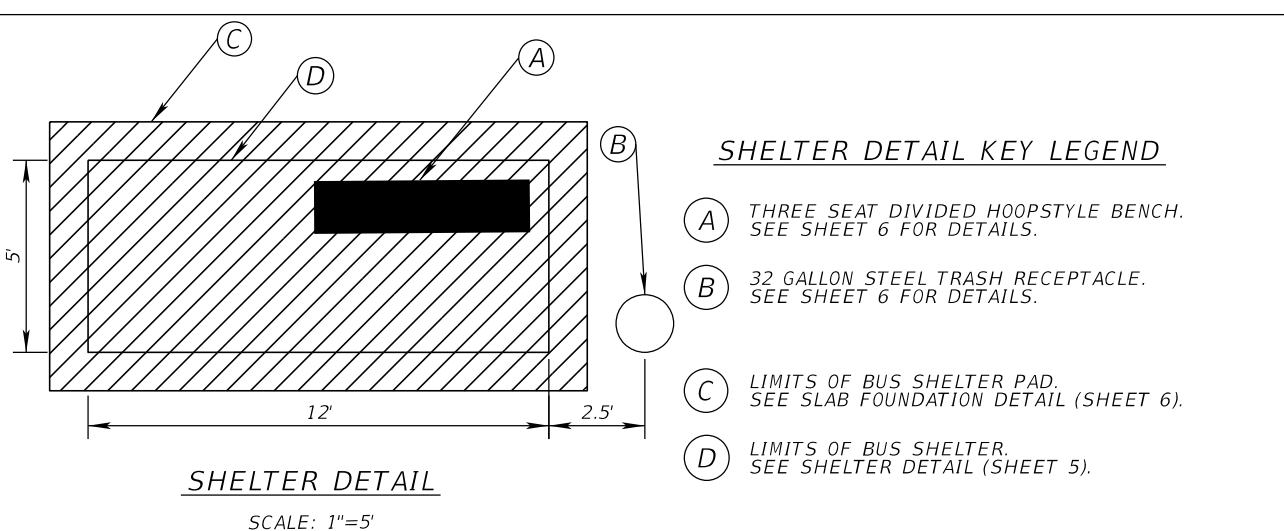
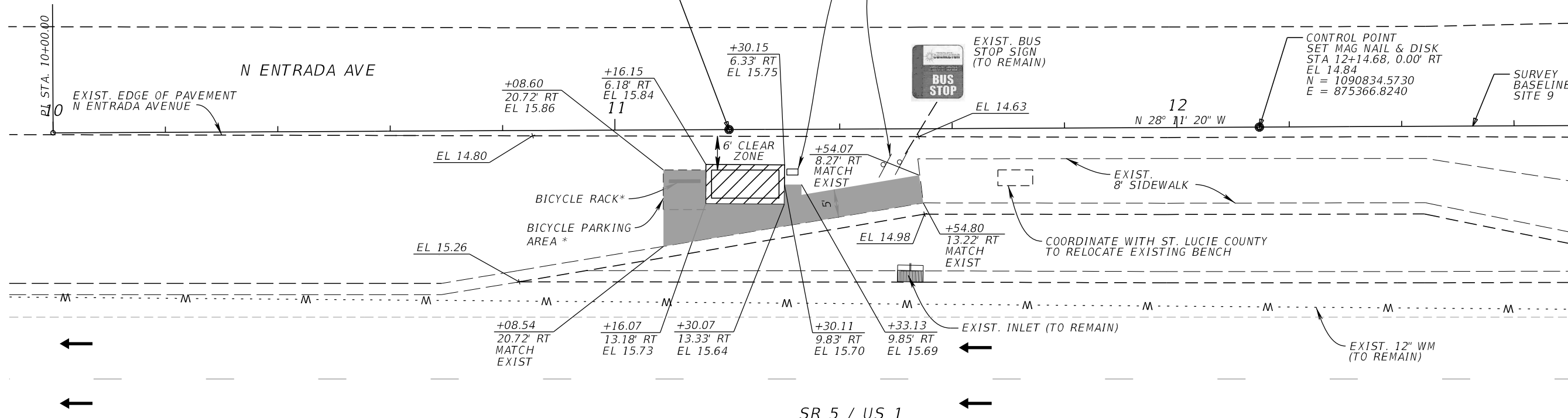
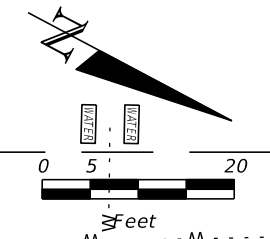
-  BUS SHELTER AND FOUNDATION PAD
SEE DETAIL THIS SHEET
-  CONSTRUCT 4" THICK CONCRETE SIDEWALK

* SEE BICYCLE RACK DETAIL (SHEET 6)

CONTROL POINT
SET MAG NAIL & DISK
STA 11+20.30, 0.00' RT
EL 14.89
N = 1090751.3850
E = 875411.4080

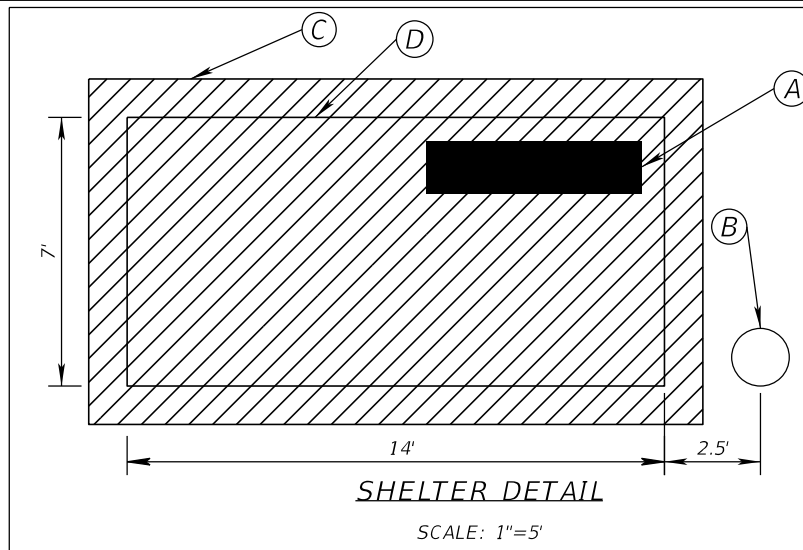
INSTALL PULL BOX
(SEE SHEET 7)

EXIST. TRAFFIC
SIGN (TO REMAIN)



STOP 9: RIO MAR SOUTH

REVISIONS				Kimley-Horn and Associates, Inc. Certificate Of Authorization No. 696 Kelly T Schwarz, P.E. P.E. License No. 71507 1920 Wekiva Way, Suite 200 West Palm Beach, Florida 33411	CITY OF PORT ST. LUCIE 121 S.W. PORT ST. LUCIE BLVD PORT ST. LUCIE, FL 34984		SHEET NO. 14
DATE	DESCRIPTION	DATE	DESCRIPTION		ROAD NO.	COUNTY	
					ST. LUCIE		



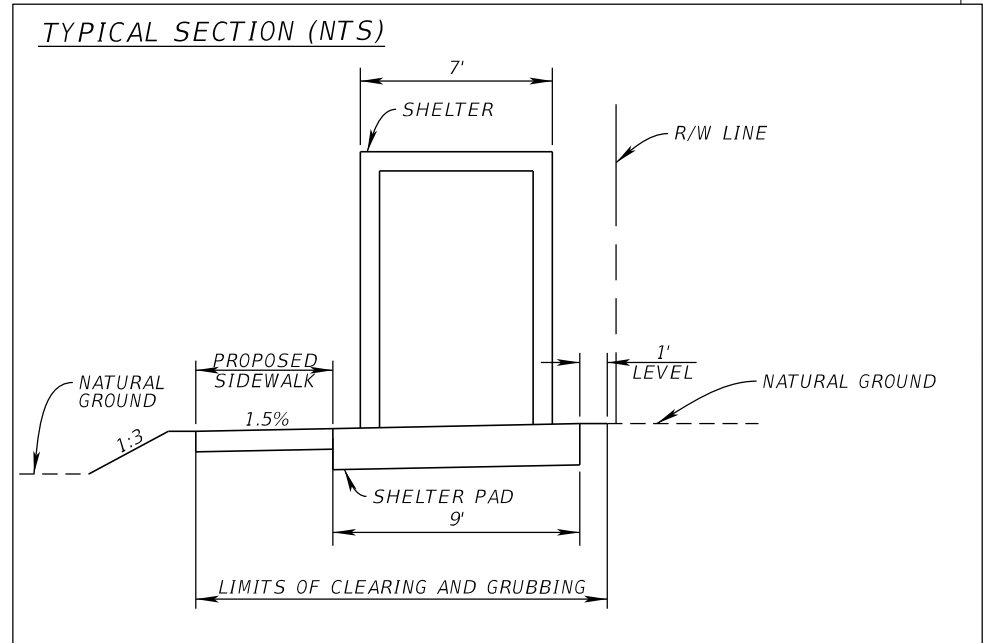
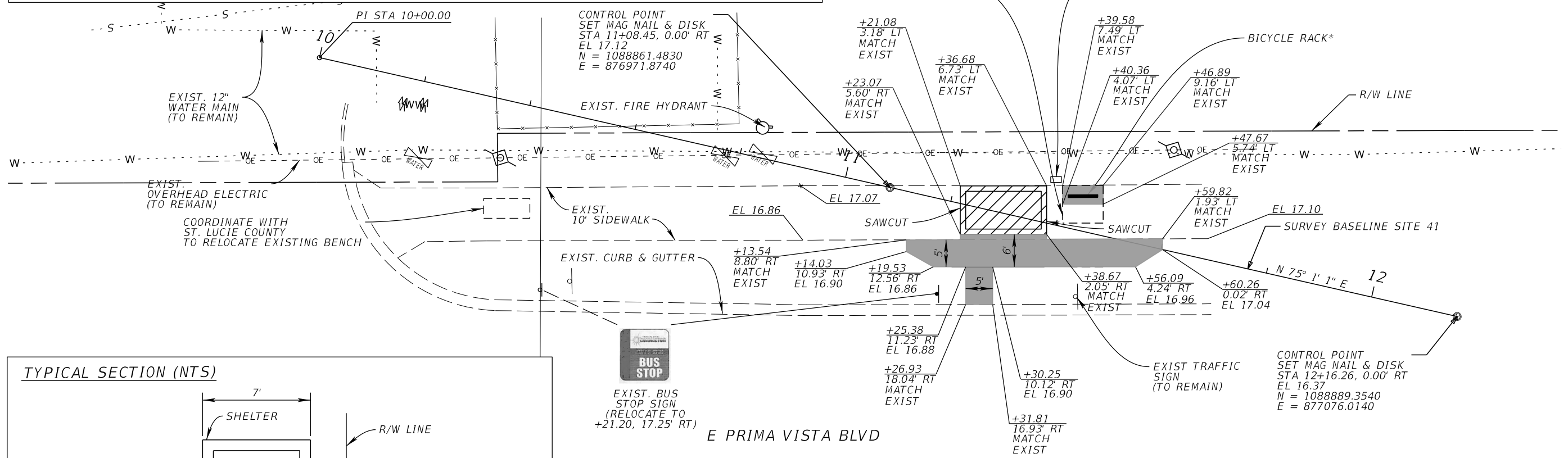
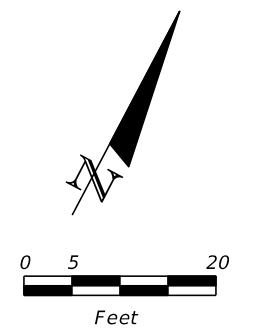
SHELTER DETAIL KEY LEGEND

- (A) THREE SEAT DIVIDED HOOPSTYLE BENCH. SEE SHEET 6 FOR DETAILS.
- (B) 32 GALLON STEEL TRASH RECEPTACLE. SEE SHEET 6 FOR DETAILS.
- (C) LIMITS OF BUS SHELTER PAD. SEE SLAB FOUNDATION DETAIL (SHEET 6).
- (D) LIMITS OF BUS SHELTER. SEE BUS SHELTER DETAIL (SHEET 5).

LEGEND:

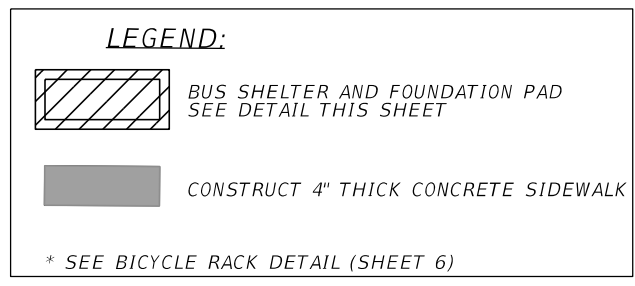
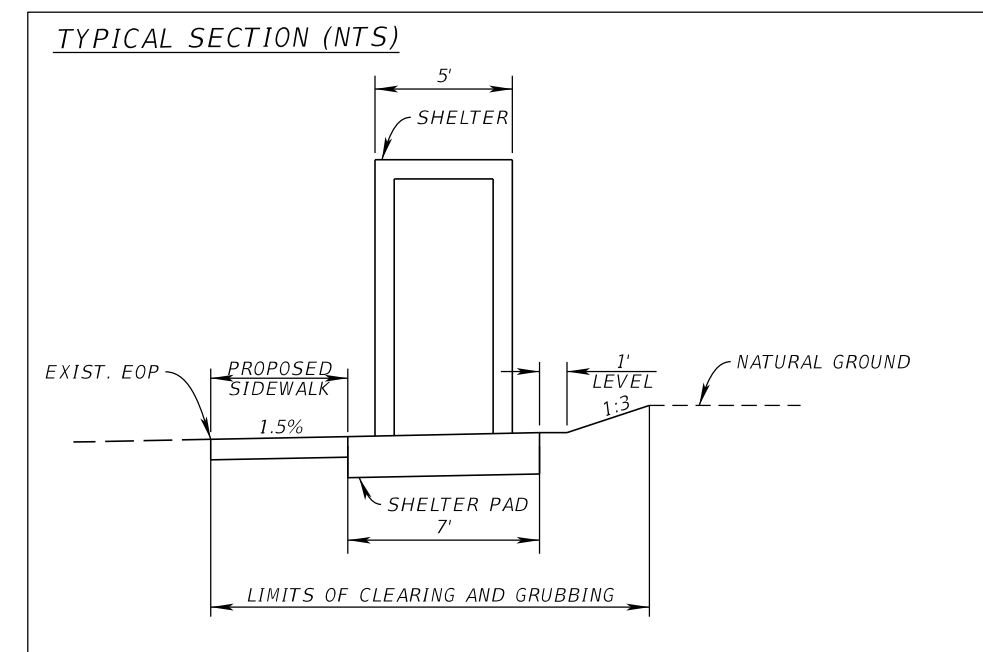
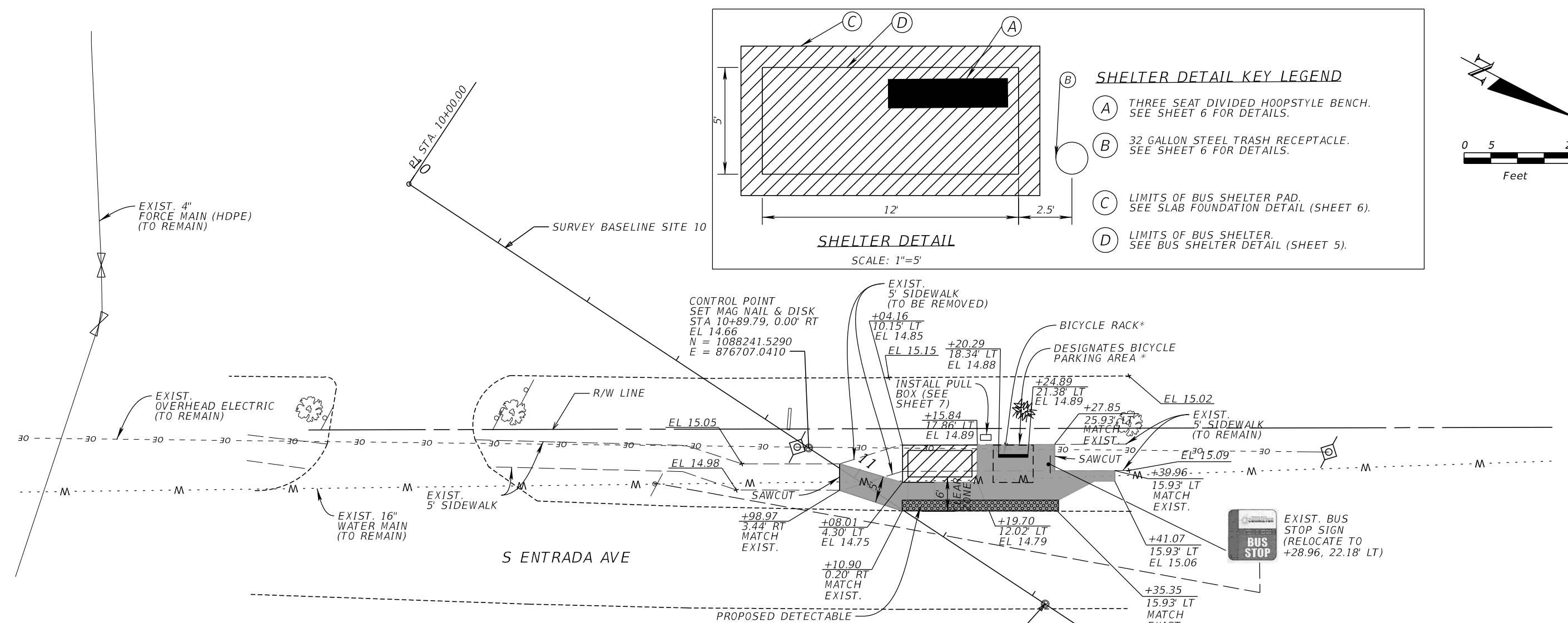
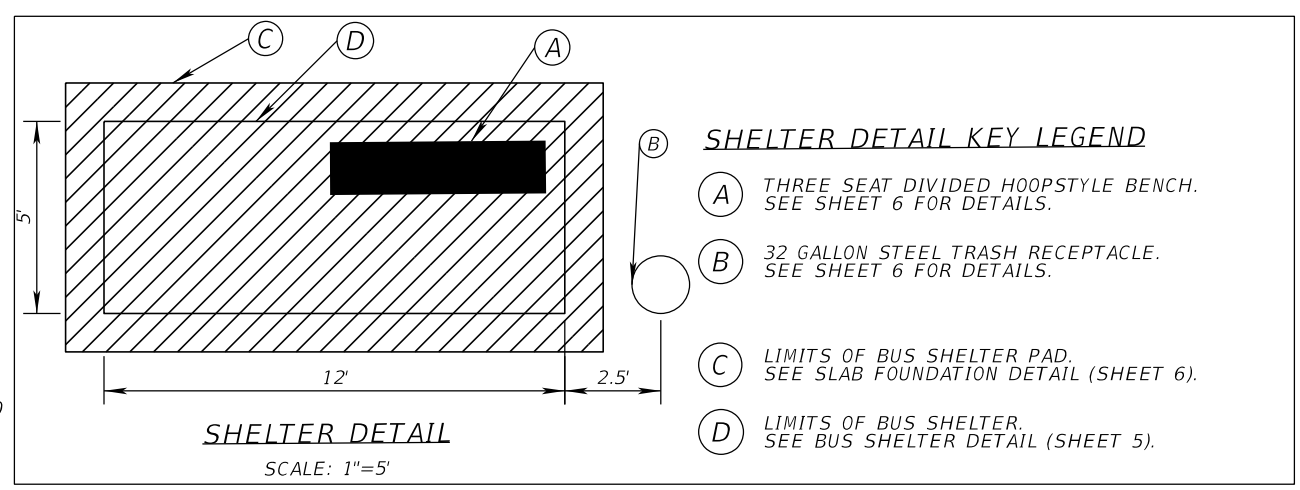
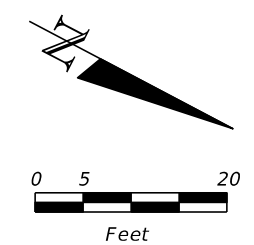
- BUS SHELTER AND FOUNDATION PAD SEE DETAIL THIS SHEET
- CONSTRUCT 4" THICK CONCRETE SIDEWALK

* SEE BICYCLE RACK DETAIL (SHEET 6)



STOP 41: PRIMA VISTA CROSSINGS

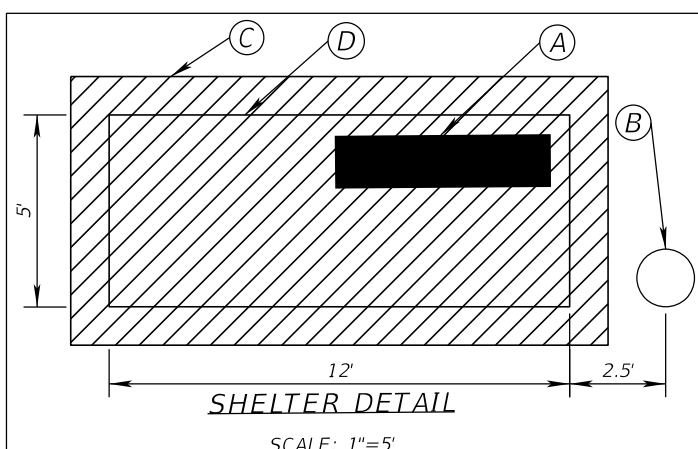
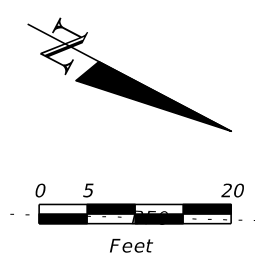
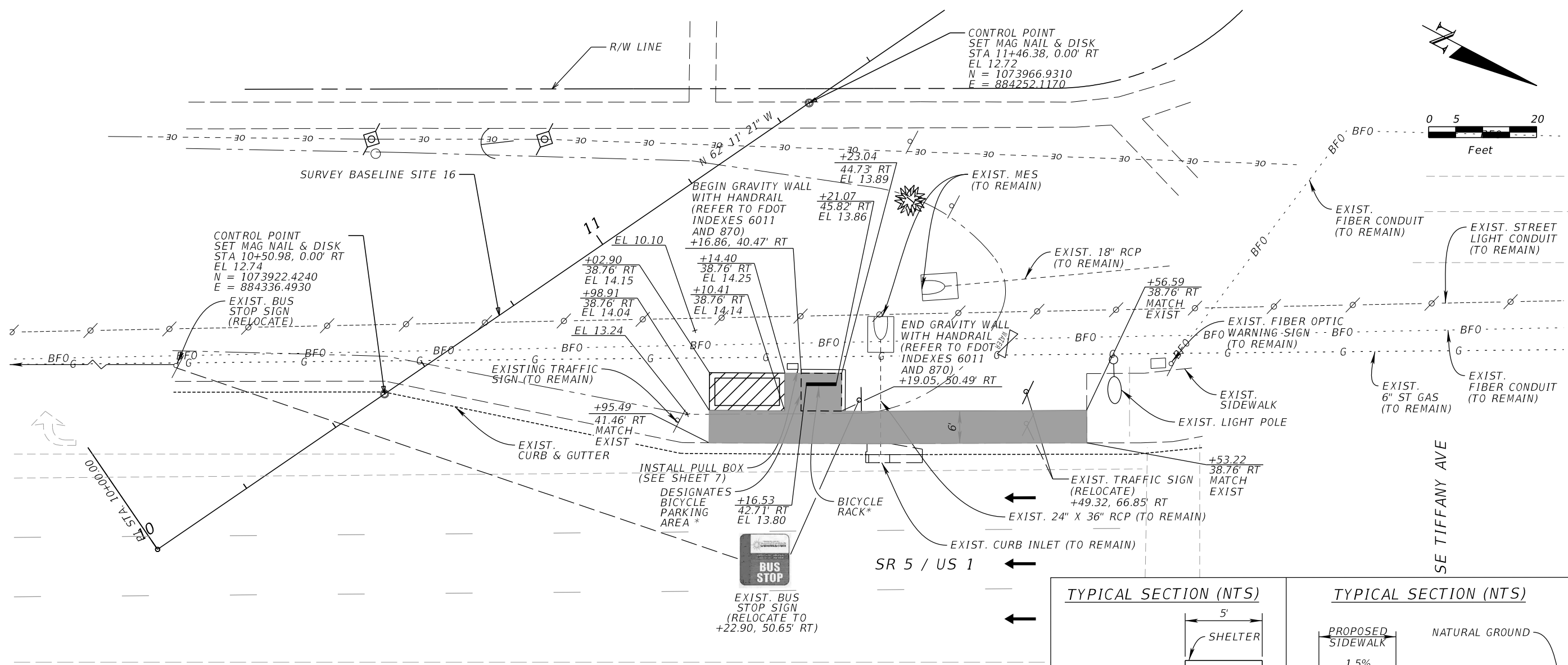
REVISIONS				Kimley-Horn and Associates, Inc. Certificate Of Authorization No. 696 Kelly T Schwarz, P.E. P.E. License No. 71507 1920 Wekiva Way, Suite 200 West Palm Beach, Florida 33411	CITY OF PORT ST. LUCIE 121 S.W. PORT ST. LUCIE BLVD PORT ST. LUCIE, FL 34984		SHEET NO. 15
DATE	DESCRIPTION	DATE	DESCRIPTION		ROAD NO.	COUNTY	
					ST. LUCIE		



STOP 10: CHASE BANK

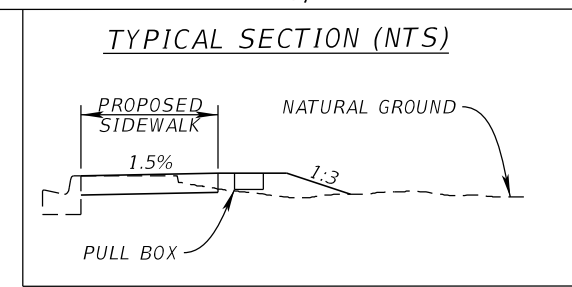
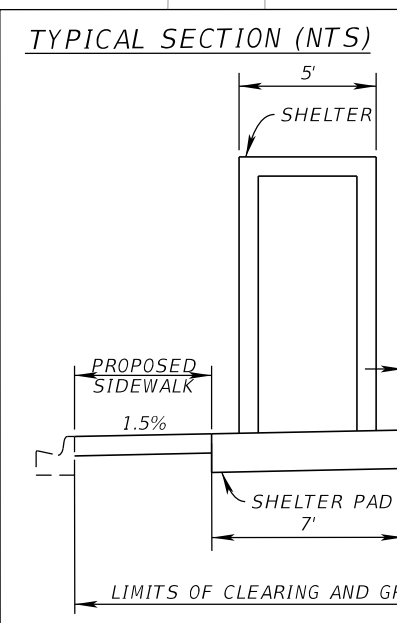
REVISIONS				Kimley-Horn and Associates, Inc. Certificate Of Authorization No. 696 Kelly T Schwarz, P.E. P.E. License No. 71507 1920 Wekiva Way, Suite 200 West Palm Beach, Florida 33411	CITY OF PORT ST. LUCIE 121 S.W. PORT ST. LUCIE BLVD PORT ST. LUCIE, FL 34984		SHEET NO. 16
DATE	DESCRIPTION	DATE	DESCRIPTION		ROAD NO.	COUNTY	
					ST. LUCIE		

SITE PLAN



- SHELTER DETAIL KEY LEGEND**
- (A) THREE SEAT DIVIDED HOOPSTYLE BENCH. SEE SHEET 6 FOR DETAILS.
 - (B) 32 GALLON STEEL TRASH RECEPTACLE. SEE SHEET 6 FOR DETAILS.
 - (C) LIMITS OF BUS SHELTER PAD. SEE SLAB FOUNDATION DETAIL (SHEET 6).
 - (D) LIMITS OF BUS SHELTER. SEE BUS SHELTER DETAIL (SHEET 5).

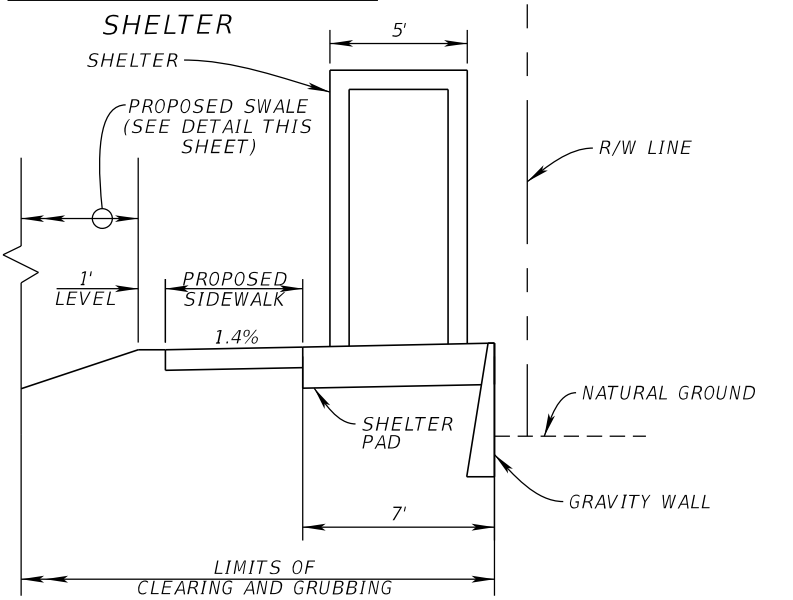
- LEGEND:**
- BUS SHELTER AND FOUNDATION PAD SEE DETAIL THIS SHEET
 - CONSTRUCT 4\"/>
- * SEE BICYCLE RACK DETAIL (SHEET 6)



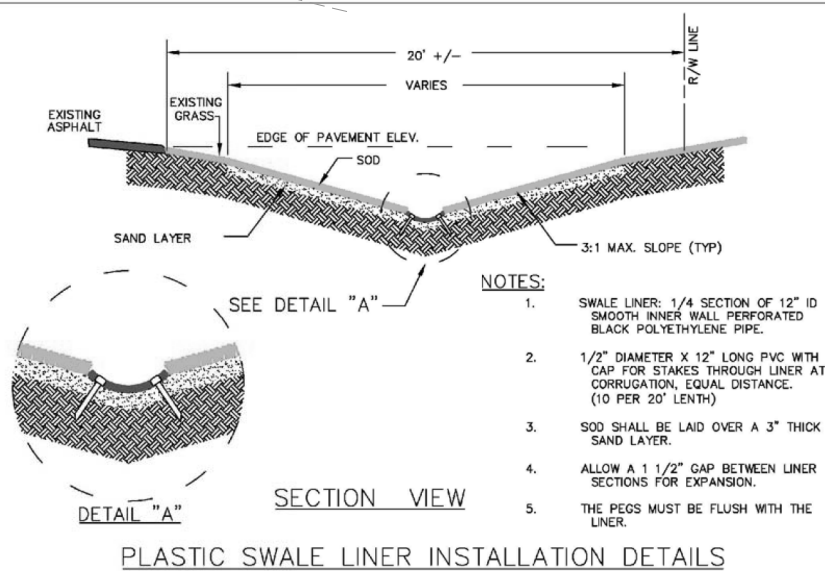
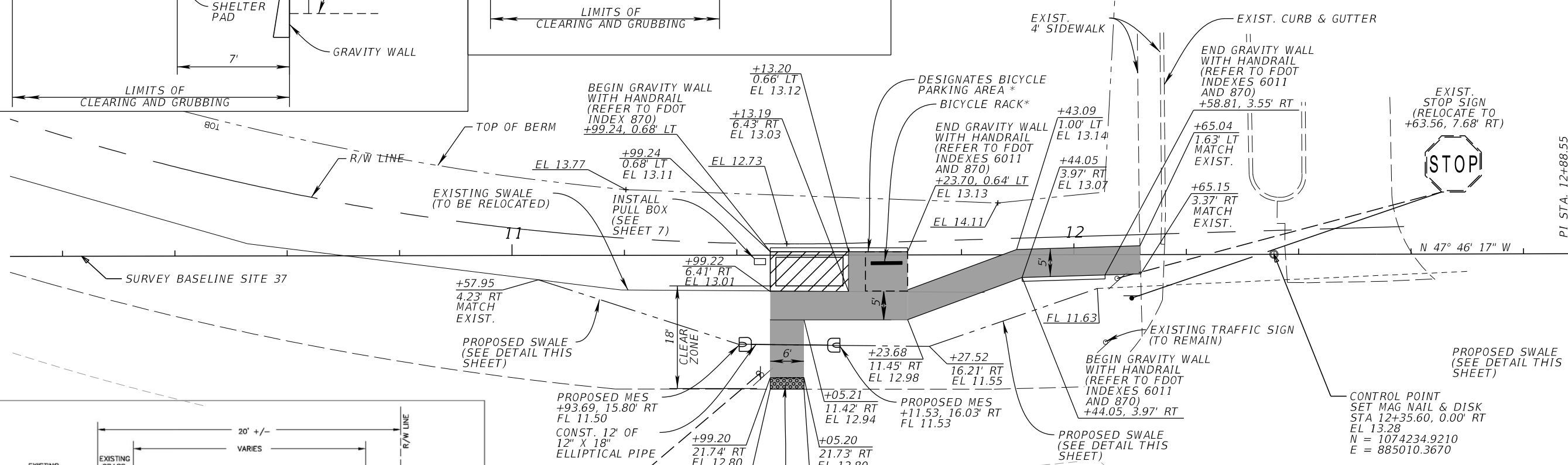
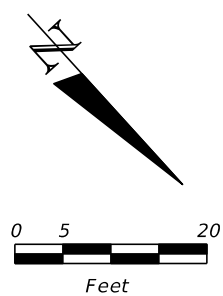
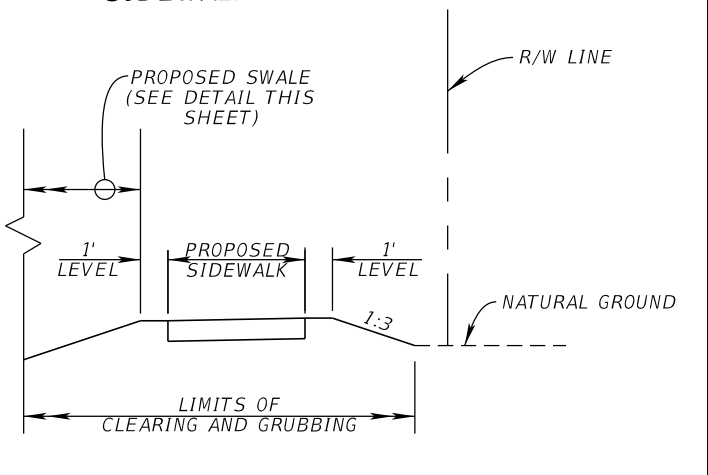
STOP 16: CVS PHARMACY

REVISIONS				Kimley-Horn and Associates, Inc. Certificate of Authorization No. 696 Kelly T Schwarz, P.E. P.E. License No. 71507 1920 Wekiva Way, Suite 200 West Palm Beach, Florida 33411	CITY OF PORT ST. LUCIE 121 S.W. PORT ST. LUCIE BLVD PORT ST. LUCIE, FL 34984		SHEET NO. 17
DATE	DESCRIPTION	DATE	DESCRIPTION		ROAD NO.	COUNTY	
					ST. LUCIE		

TYPICAL SECTION (NTS)



TYPICAL SECTION (NTS)

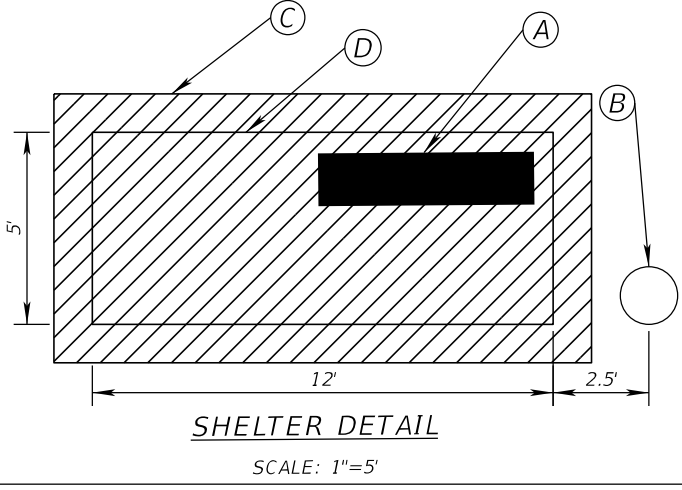


- NOTES:**
1. SWALE LINER: 1/4 SECTION OF 12" ID SMOOTH INNER WALL PERFORATED BLACK POLYETHYLENE PIPE.
 2. 1/2" DIAMETER X 12" LONG PVC WITH CAP FOR STAKES THROUGH LINER AT CORRUGATION, EQUAL DISTANCE. (10 PER 20' LENGTH)
 3. SOD SHALL BE LAID OVER A 3" THICK SAND LAYER.
 4. ALLOW A 1 1/2" GAP BETWEEN LINER SECTIONS FOR EXPANSION.
 5. THE PEGS MUST BE FLUSH WITH THE LINER.

LEGEND:

- BUS SHELTER AND FOUNDATION PAD SEE DETAIL THIS SHEET
- CONSTRUCT 4" THICK CONCRETE SIDEWALK

* SEE BICYCLE RACK DETAIL (SHEET 6)



- SHELTER DETAIL KEY LEGEND**
- (A) THREE SEAT DIVIDED HOOPSTYLE BENCH. SEE SHEET 6 FOR DETAILS.
 - (B) 32 GALLON STEEL TRASH RECEPTACLE. SEE SHEET 6 FOR DETAILS.
 - (C) LIMITS OF BUS SHELTER PAD. SEE SLAB FOUNDATION DETAIL (SHEET 6).
 - (D) LIMITS OF BUS SHELTER. SEE BUS SHELTER DETAIL (SHEET 5).

CITY OF PORT ST. LUCIE ENGINEERING DEPARTMENT 121 S.W. PORT ST. LUCIE BLVD. PORT ST. LUCIE FL 34984	LINER DETAIL EXHIBIT "K"	DESIGNED BY: KELLY T. SCHWARZ, P.E.	DRAWN BY:
--	-----------------------------	--	-----------

STOP 37: TC MEDICAL CENTER

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

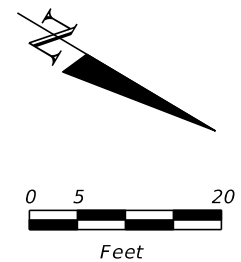
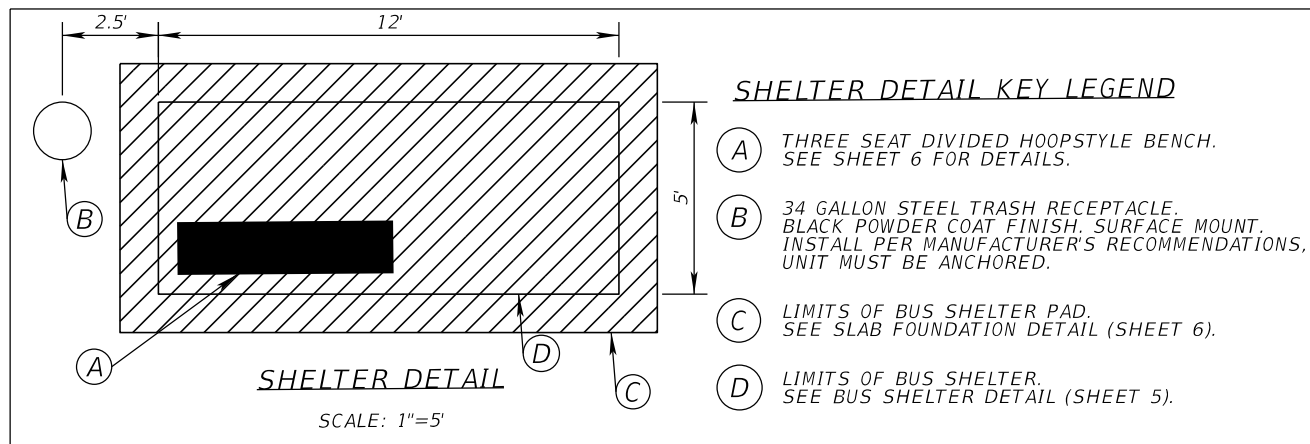
Kimley-Horn and Associates, Inc.
Certificate Of Authorization No. 696
Kelly T Schwarz, P.E.
P.E. License No. 71507
1920 Wekiva Way, Suite 200
West Palm Beach, Florida 33411

CITY OF PORT ST. LUCIE
121 S.W. PORT ST. LUCIE BLVD
PORT ST. LUCIE, FL 34984

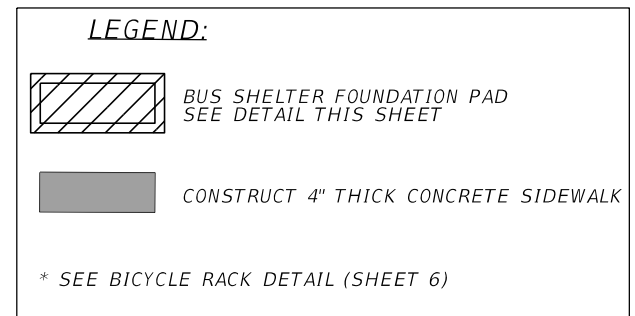
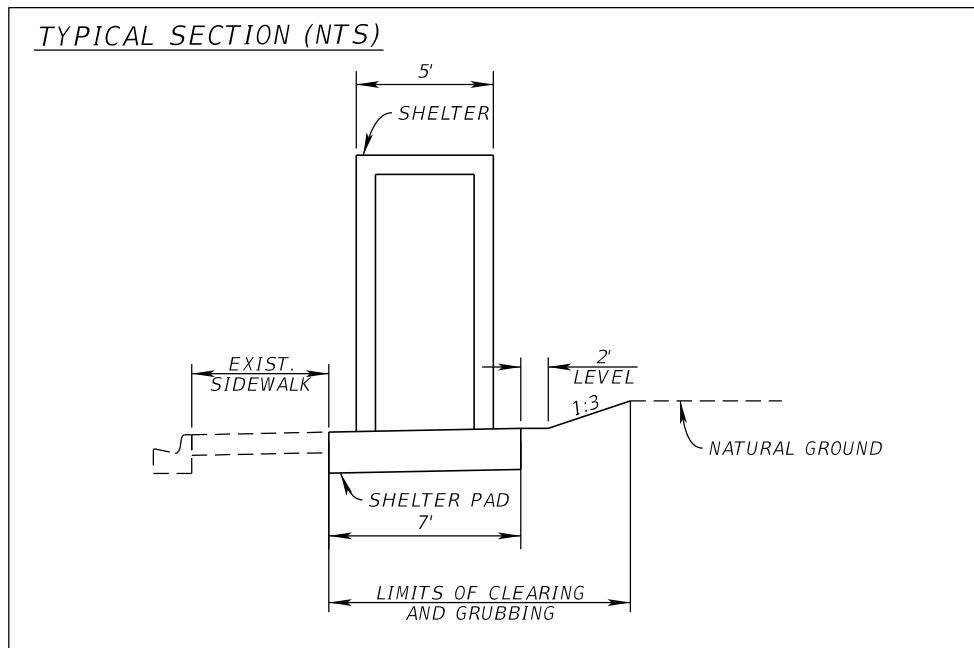
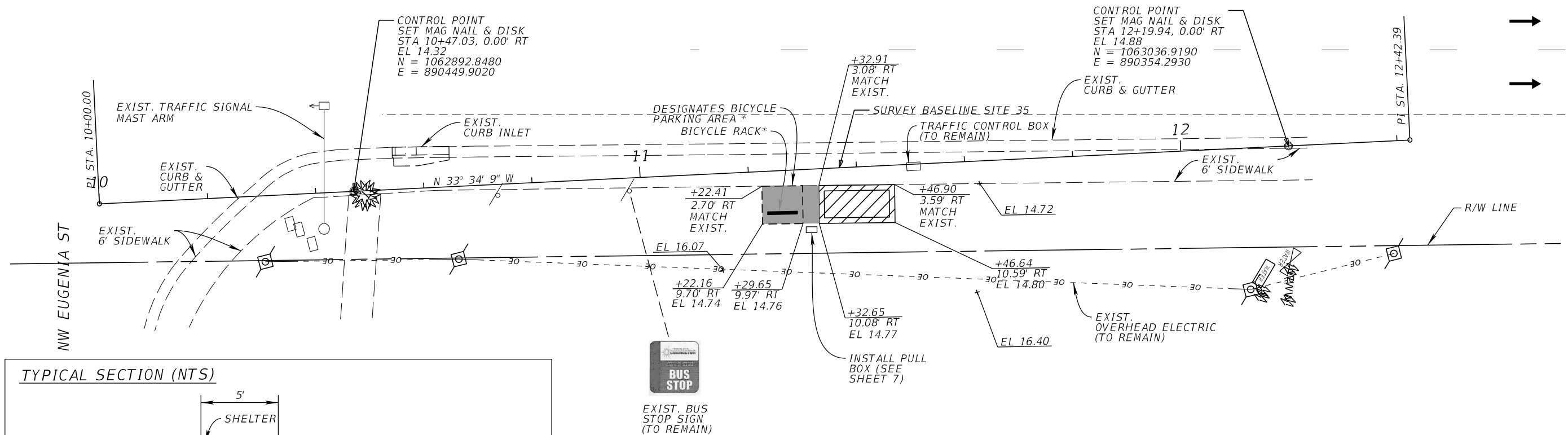
ROAD NO.	COUNTY
	ST. LUCIE

SITE PLAN

SHEET NO.
18



SR 5 / US 1



STOP 35: CRACKER BARREL

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

Kimley-Horn and Associates, Inc.
 Certificate Of Authorization No. 696
 Kelly T Schwarz, P.E.
 P.E. License No. 71507
 1920 Wekiva Way, Suite 200
 West Palm Beach, Florida 33411

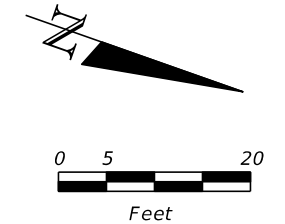
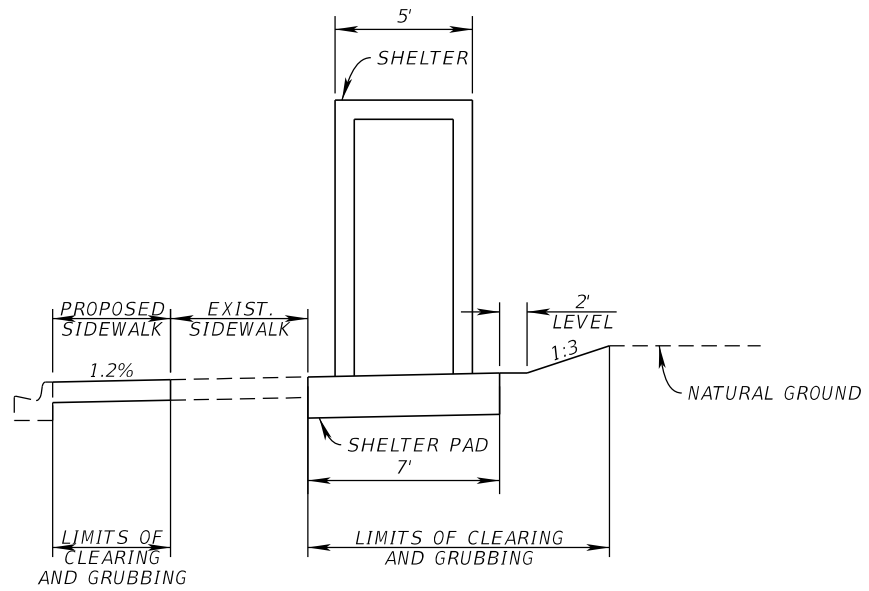
CITY OF PORT ST. LUCIE
 121 S.W. PORT ST. LUCIE BLVD
 PORT ST. LUCIE, FL 34984

ROAD NO.	COUNTY
	ST. LUCIE

SITE PLAN

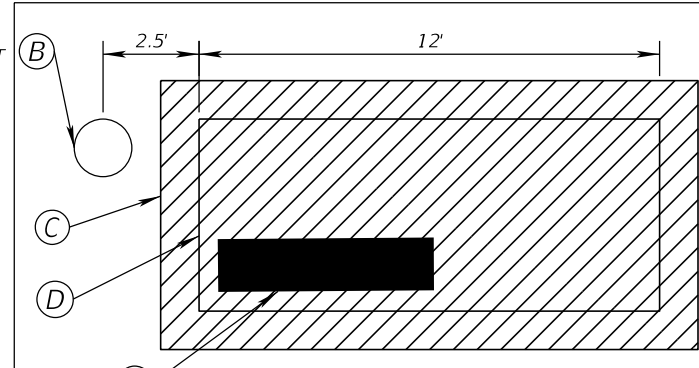
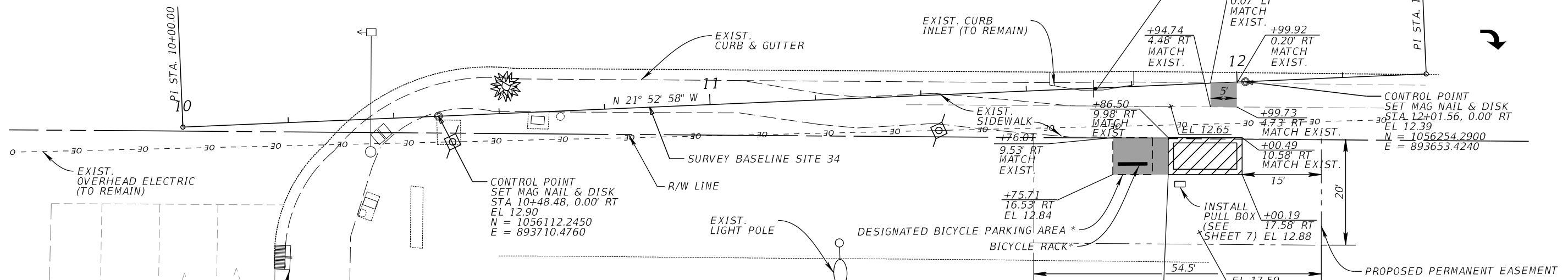
SHEET NO.
19

TYPICAL SECTION (NTS)



SR 5 / US 1

EXIST. BUS STOP SIGN (RELOCATE TO +73.09, 0.13' RT)



SHELTER DETAIL

SCALE: 1"=5'

SHELTER DETAIL KEY LEGEND

- (A) THREE SEAT DIVIDED HOOPSTYLE BENCH. SEE SHEET 6 FOR DETAILS.
- (B) 32 GALLON STEEL TRASH RECEPTACLE. SEE SHEET 6 FOR DETAILS.
- (C) LIMITS OF BUS SHELTER PAD. SEE SLAB FOUNDATION DETAIL (SHEET 6).
- (D) LIMITS OF BUS SHELTER. SEE BUS SHELTER DETAIL (SHEET 5).

LEGEND:

- BUS SHELTER FOUNDATION PAD SEE DETAIL THIS SHEET
- CONSTRUCT 4" THICK CONCRETE SIDEWALK
- * SEE BICYCLE RACK DETAIL (SHEET 6)

STOP 34: PINEAPPLE COMMONS

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

Kimley-Horn and Associates, Inc.
 Certificate of Authorization No. 696
 Kelly T Schwarz, P.E.
 P.E. License No. 71507
 1920 Wekiva Way, Suite 200
 West Palm Beach, Florida 33411

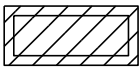
CITY OF PORT ST. LUCIE
 121 S.W. PORT ST. LUCIE BLVD
 PORT ST. LUCIE, FL 34984


ROAD NO.	COUNTY
	ST. LUCIE

SITE PLAN

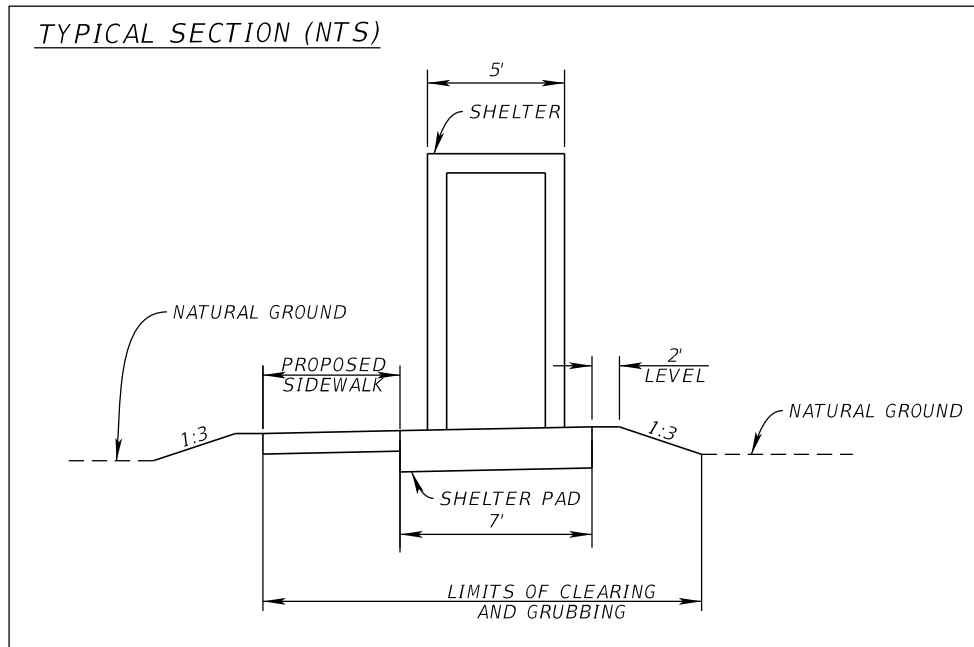
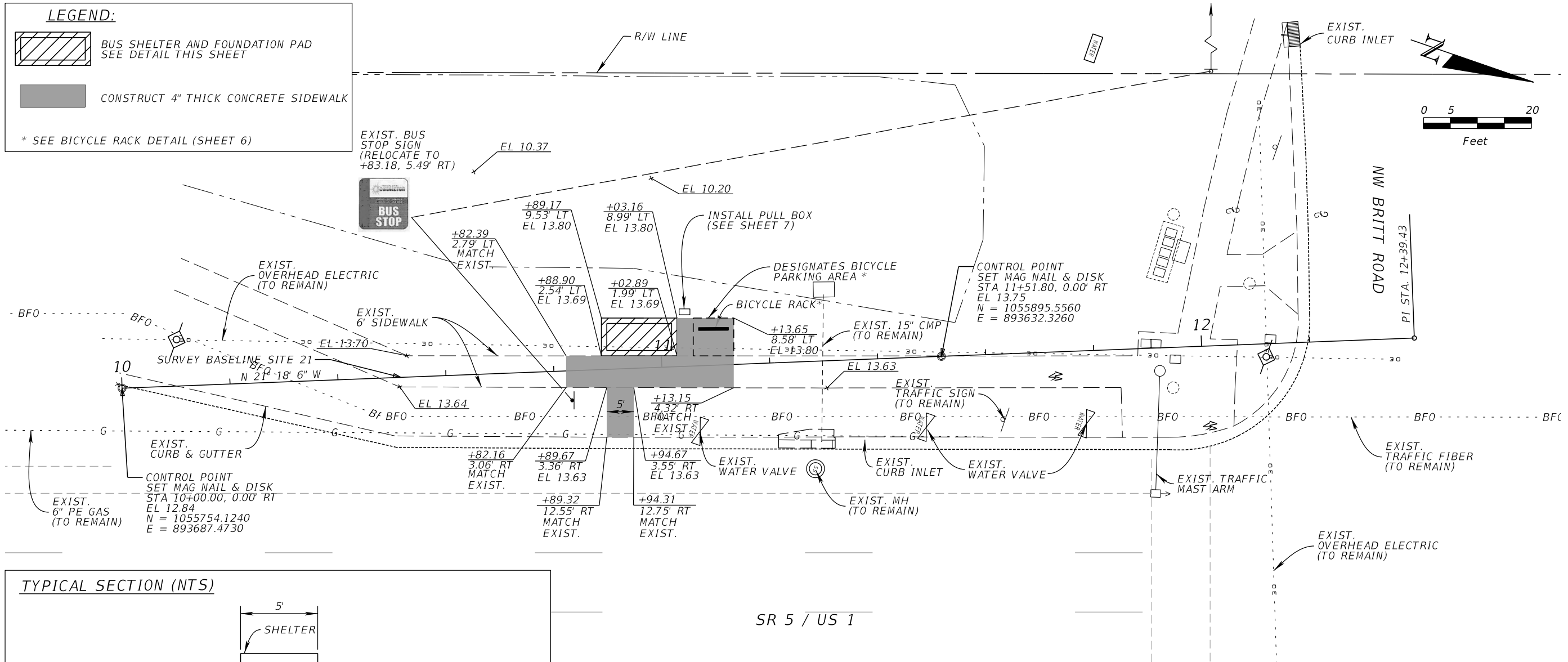
SHEET NO.
21

LEGEND:

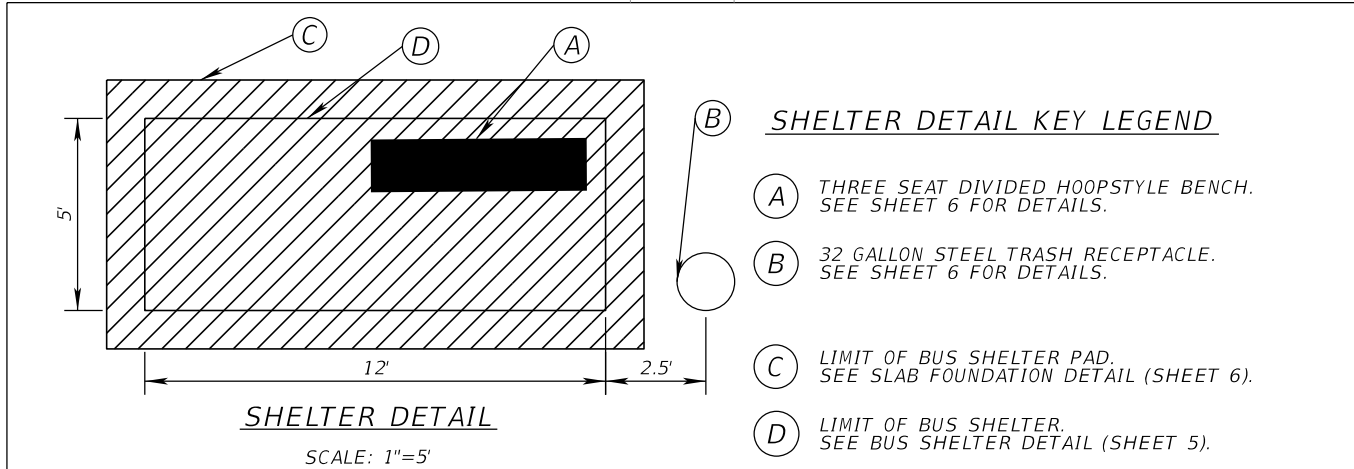
 BUS SHELTER AND FOUNDATION PAD
SEE DETAIL THIS SHEET

 CONSTRUCT 4" THICK CONCRETE SIDEWALK

* SEE BICYCLE RACK DETAIL (SHEET 6)

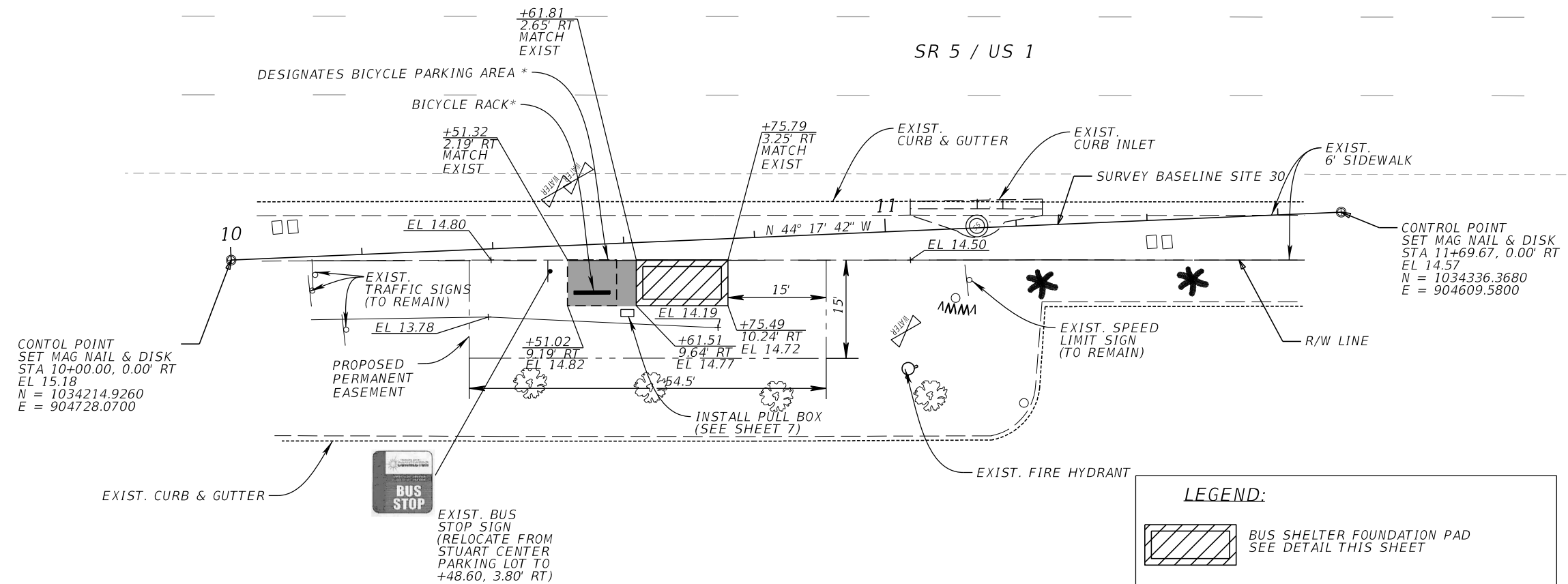
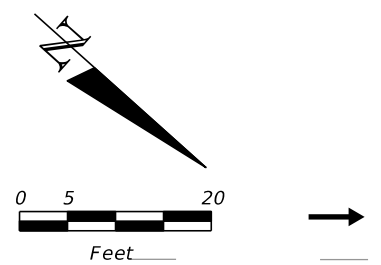


SR 5 / US 1



STOP 21: BRITT ROAD

REVISIONS				Kimley-Horn and Associates, Inc. Certificate of Authorization No. 696 Kelly T Schwarz, P.E. P.E. License No. 71507 1920 Wekiva Way, Suite 200 West Palm Beach, Florida 33411	CITY OF PORT ST. LUCIE 121 S.W. PORT ST. LUCIE BLVD PORT ST. LUCIE, FL 34984	ROAD NO. COUNTY		SHEET NO.
DATE	DESCRIPTION	DATE	DESCRIPTION					
							ST. LUCIE	22

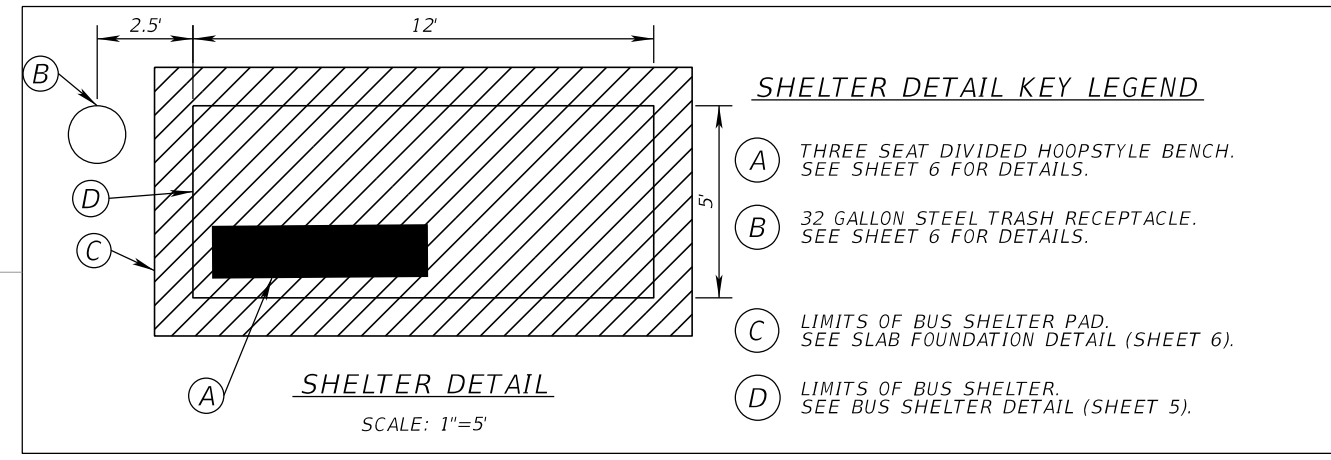
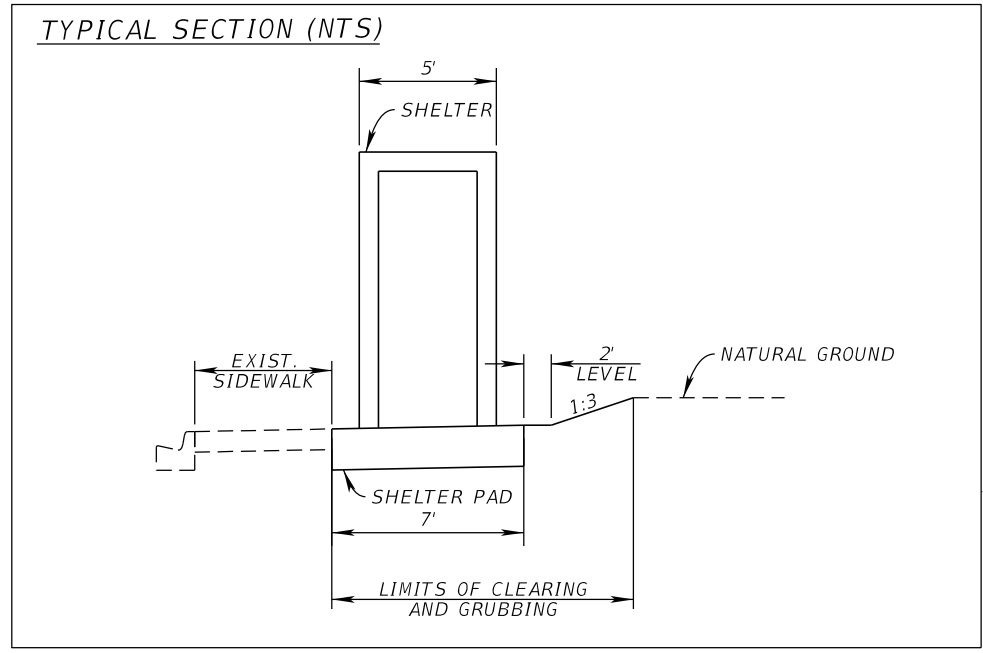


LEGEND:

BUS SHELTER FOUNDATION PAD
SEE DETAIL THIS SHEET

CONSTRUCT 4" THICK CONCRETE SIDEWALK

* SEE BICYCLE RACK DETAIL (SHEET 6)



DENNY'S

STOP 30: STUART CENTER

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

Kimley-Horn and Associates, Inc.
Certificate Of Authorization No. 696
Kelly T Schwarz, P.E.
P.E. License No. 71507
1920 Wekiva Way, Suite 200
West Palm Beach, Florida 33411

CITY OF PORT ST. LUCIE
121 S.W. PORT ST. LUCIE BLVD
PORT ST. LUCIE, FL 34984

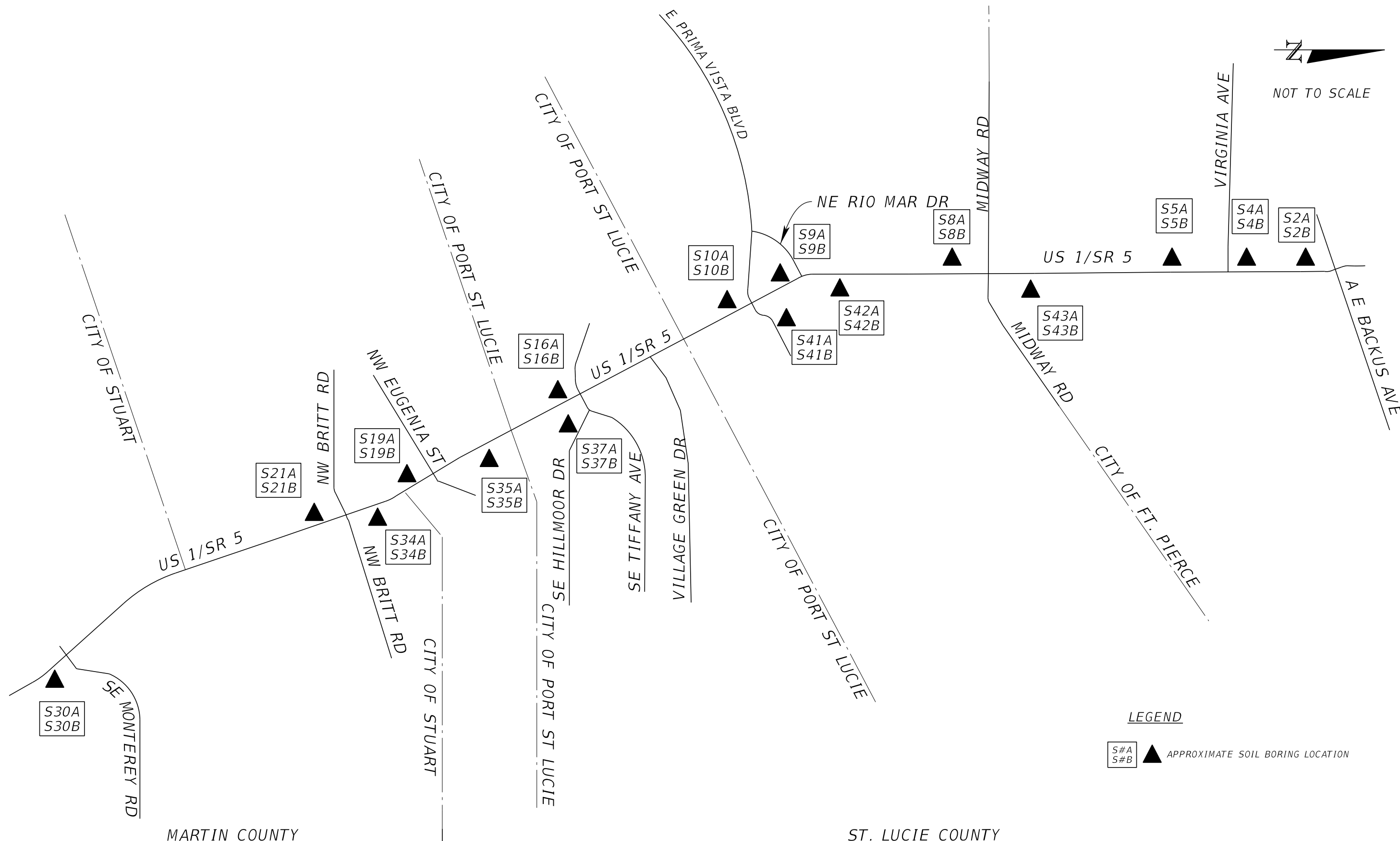
ROAD NO.	COUNTY
	ST. LUCIE

SITE PLAN

SHEET NO.
23



NOT TO SCALE



LEGEND

S#A S#B ▲ APPROXIMATE SOIL BORING LOCATION

MARTIN COUNTY

ST. LUCIE COUNTY

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

Kimley-Horn and Associates, Inc.
 Certificate Of Authorization No. 696
 Kelly T Schwarz, P.E.
 P.E. License No. 71507
 1920 Wekiva Way, Suite 200
 West Palm Beach, Florida 33411

CITY OF PORT ST. LUCIE
 121 S.W. PORT ST. LUCIE BLVD
 PORT ST. LUCIE, FL 34984

ROAD NO.	COUNTY
	ST. LUCIE

SOIL BORING LOCATION MAP

SHEET NO.
24

BOARD MEMBERS

Dr. Donna Mills, *Chairman*
DISTRICT #3
Troy Ingersoll, *Vice Chairman*
DISTRICT #5
Debbie Hawley
DISTRICT #1
Terissa Aronson
DISTRICT #2
Jennifer Richardson
DISTRICT #4



SUPERINTENDENT

Dr. Jon R. Prince
9461 Brandywine Lane
Port St. Lucie, FL 34986
772.429.3600
www.stlucieschools.org



April 30, 2025

City of Fort Pierce
Planning Department
100 N. U.S. Highway 1
Fort Pierce, FL 34950

Subject: Site Plan Review – Sunrise Village

Dear Planning Department,

St. Lucie Public Schools has reviewed the site plan submission for the proposed Sunrise Village development. We appreciate the opportunity to provide feedback during this stage of the planning process.

One important consideration we would like to bring to your attention is the potential location of a school bus stop. The current plan does not indicate a location for the bus stop which would direct the bus stop to be placed near Okeechobee Road. We have significant concerns due to the high volume of traffic on this roadway. For the safety and efficiency of student transportation, we respectfully request that the bus stop be located within the development.

A potential solution could be to incorporate a roundabout or similar traffic-calming design within the development that would allow school buses to enter, safely pick up and drop off students, and exit without disrupting traffic flow along Okeechobee Road.

Additionally, we ask that provisions be made for parking in the vicinity of the bus stop. Many of our parents prefer to wait with or for their children at the stop, and adequate parking will be essential to ensure both convenience and safety.

We appreciate your attention to this matter and look forward to continued collaboration to ensure the safe and effective integration of school transportation needs into the Sunrise Village development.

Sincerely,

A handwritten signature in blue ink that reads 'Nicole Fogarty'.

Nicole Fogarty
Director of Growth Management, Land Acquisitions & Intergovernmental Relations

Cc: Arianna Hilliard, Planner, WGI



THE SUNRISE CITY

FORT PIERCE
PLANNING DEPARTMENT
Florida

TO: Technical Review Committee

THROUGH: Kevin Freeman, Planning Director

FROM: Kerry Driver, Senior Planner

RE: **Major Site Plan (Innovative) – PZSITE2025-00009**
3000 Okeechobee Rd.

TRC DATE: **April 17, 2025**

Resubmittal for Sunrise Village Apartments 3000 Okeechobee Rd.
Resubmittal date: May 22, 2025

The above referenced project is being resubmitted for your review and comments. The applicant is requesting a Major Site Plan (Innovative Design) for Sunrise Village Apartments, located at 3000 Okeechobee Rd., Parcel ID: 2417-504-0020-0001-6.

Please send all comments to kdriver@cityoffortpierces.com, planning@cityoffortpierces.com and/or through interoffice mail to the Planning Department

Thank you,
Kerry



THE SUNRISE CITY
FORT PIERCE
PLANNING DEPARTMENT
Florida

To: Arianna Hillard, WGI, Inc.

From: Kerry C. Driver, Senior Planner

Re: **Project#: PZSITE2025-00009** – Major Site Plan: Innovative Development
Sunrise Village Apartments – 3000 Okeechobee Rd.

Meeting Date: **Technical Review Committee meeting Thursday, April 17, 2025**
Resubmittal comments 6/24/25

City of Fort Pierce Planning Department

Advisory Comments:

1. Prior to the issuance of the Certificate of Occupancy, the city's approved Landscape Maintenance Agreement must be notarized and submitted
2. Sign permits shall be filed separately during the permit process



BUREAU OF FIRE PREVENTION
SITE PLAN REVIEW

TO: Site Plan Applicant

SITE PLAN: 3000 Okeechobee Road PZSITE2025-00009

REVIEW DATE: 4/7/2025, 6/10/2025

PLANNER: KERRY DRIVER

REVIEWED BY: Lt Jesse Almand

Site Plan Approved with conditions: X

Site Plan Requires Re-submittal: _____

The Following Conditions/Revisions Are Necessary:

- ~~1. Please submit a completed application for Development/Site Plan Review (St. Lucie County Fire District Development & Site Plan Review Application). This form is available on-line at <https://www.slcfcd.com>. Received 5/23/2025~~
- ~~2. Fire District review fees are due at the time of submittal. An abbreviated fee schedule is included on the application form. Received 6/10/2025~~
- ~~3. Please provide an electronic revised copy of the site plan if applicable (pdf format).~~
- ~~4. Please provide written acknowledgement of the conditions/revisions provided. Received 6/9/2025~~
- ~~5. A separate review and permit is required for Underground Fire Mains connected to standpipes or sprinkler systems.~~
- ~~6. Fire department access roads provided in accordance with 18.2.3 shall be provided at the start of a project and shall be maintained throughout construction. (NFPA 1-16.1.4). Surface. Fire department access roads shall be designed and maintained to~~

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Telephone: (772) 621-3400 Fax: (772) 621-3400

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~~support the imposed loads of fire apparatus and shall be provided with an all-weather driving surface. (NFPA 1.18.2.3.5.2)~~

- ~~7. Electronic security gates must have an access control key switch on the control panel to allow for Fire Department entry in an emergency. Manual security gates that will be locked require a Knox lock. All security gates shall maintain a clear width of 12 feet when open and provide a means to open the gates manually upon loss of power. (SLCFD Resolution 740-23)~~
- ~~8. Per the St. Lucie County Fire District Fire Prevention Code Resolution 740-23, at least 13 feet 6 inches nominal vertical clearance shall be provided and maintained over the full width of all means of access (including, but not limited to trees, canopies, etc.)~~
- ~~9. The Fire District reserves the right for future comments at the site plan & building construction phase.~~
- ~~10. Fire apparatus access roads shall be provided such that any portion of the facility or any portion of an exterior wall of the first story of the building is located not more than 150 ft from fire apparatus access roads as measured by an approved route around the exterior of the building or facility. NFPA 1 18.2.3.2.2. (Installation of a sprinkler system will be required if this distance requirement is not met.)~~
- ~~11. Where buildings are protected throughout with an approved automatic sprinkler system that is installed in accordance with NFPA 13, NFPA 13R, or NFPA 13D, the distance in 18.2.3.2.2 shall be permitted to be increased to 450 ft (137 m). (NFPA 1 18.2.3.2.2.1)~~
- ~~12. Please provide a truck circulation detail.~~
- ~~13. Be advised: Dimensions of largest vehicle are as follows: 38 tons or 77,000 lbs, 47.5 ft. total length, 21.5 ft. wheel base, 10.5 ft. total width, 41.5 degree turning radius. (SLCFD Resolution 740-23)~~
- ~~14. Minimum roadway pavement width (two-way traffic) shall be twenty (20) ft. (SLCFD Resolution 740-23)~~

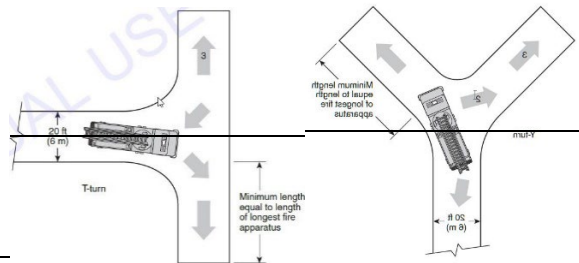
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15. ~~Minimum roadway pavement width (one-way traffic) shall be twelve (12) ft. (SLCFD Resolution 740-23)~~
16. ~~Fire apparatus access roads connecting to roadways shall be provided with curb cuts extending at least 2 ft (0.61 m) beyond each edge of the fire apparatus access road. (NFPA 1-18.2.3.5.3.3)~~
17. ~~The angle of approach and departure for any means of fire apparatus access road shall not exceed 1 ft drop in 20 ft (0.3 m drop in 6 m) or the design limitations of the fire apparatus of the fire department, and shall be subject to approval by the AHJ. (NFPA 1-18.2.3.5.6.2)~~
18. ~~A fire department access road shall extend to within 50 ft (15 m) of at least one exterior door that can be opened from the outside and that provides access to the interior of the building. (NFPA 1-18.2.3.2.1)~~
19. ~~Dead-end roadways serving commercial or residential occupancies must include a cul-de-sac when the roadway length exceeds one hundred fifty (150) feet. "Y" or "T" type turnaround arrangements are permitted. The minimum length must be equal to the length of the longest fire apparatus. (SLCFD Resolution 740-23)~~



20. ~~Fire hydrants (shall be) are provided for buildings other than detached one and two-family dwellings IAW both of the following 1) The maximum distance to a fire hydrant from the closest point in the building shall not exceed 400 feet. 2) The maximum distance between fire hydrants shall not exceed 500 feet. NFPA 1-18.5.3. Please provide fire flow calculations for hydrants.~~
21. ~~Fire Hydrants (shall be) are provided for detached one and two-family dwellings IAW both of the following: 1) The maximum distance to a fire hydrant from the~~

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~~closet point on the building shall not exceed 600 feet. 2) The maximum distance between fire hydrants shall not exceed 800 feet. NFPA 1:18.5.2.~~

- ~~22. An approved water supply capable of supplying the required fire flow for fire protection (shall be) is identified to all premises upon which facilities, buildings, or portions of buildings which are to be constructed or moved into the jurisdiction. The approved water supply shall be in accordance with NFPA 1:18.4.~~
- ~~23. Fire department connections shall be located on the street side of buildings and shall be located and arranged so that hose lines can be readily attached to the inlets without interference from any nearby objects, including buildings, fences, landscaping, or other fire department connections. The locations of connections shall be based upon the access requirements of the fire department.~~
- ~~24. The distance allowed between the fire department connection and a fire hydrant shall be no more than one hundred fifty (150) feet as a vehicle travels.~~
- ~~25. Where underground water mains and hydrants are to be provided, they shall be installed, completed, and in service prior to commencing construction work on any structure. It is not intended to prohibit the construction of non-combustible structure foundation elements such as foundations and footings prior to the completion of underground water mains and hydrants (NFPA 1 16.4.3.1.3).~~
- ~~26. The minimum size of water mains for supplying water for firefighting purposes shall be six (6) inches. b. The minimum size of water mains supplying hydrants on a dead end main shall be eight (8) inches. c. The maximum number of hydrants located on a dead end main shall be one (1). d. Grid or Tee systems shall be supplied by a minimum of an eight (8) inch looped main. Exceptions may be granted based on the capacity of the water distribution system but in no case shall the main size be less than six (6) inches. e. The minimum size water main(s) shall be determined by the needed fire flow as established by the Fire Marshal and based on the current Insurance Service Office (ISO) requirements.~~
- ~~27. Hydrants shall be located no more than 12ft. from the curb of roadways or from the edge of payment. Clearances of three feet (3 ft.) shall be maintained around the circumference of hydrants. A clear space of not less than five feet (5ft.) shall be provided in front of each hydrant connection having a diameter greater than 2 ½ inches. The center of hose outlet shall be not less than 18 inches above final grade. (SLCFD Fire Prevention Code Resolution 740-23).~~

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www.slcfd.com

ST. LUCIE COUNTY FIRE DISTRICT
Community Risk Reduction Division
Office of the Fire Marshal



Telephone: (772) 621-3322
Fax: (772) 621-3604

~~28. Site Plans submitted in accordance with this Fire Prevention Code shall include the size, layout, and offsite connections for the water distribution system and the location of all existing and proposed fire hydrants within one thousand (1,000) feet of the proposed project.~~

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Telephone: (772) 621-3400 Fax: (772) 621-3400

www.slcfcd.com

BOARD MEMBERS

Dr. Donna Mills, *Chairman*
DISTRICT #3
Troy Ingersoll, *Vice Chairman*
DISTRICT #5
Debbie Hawley
DISTRICT #1
Terissa Aronson
DISTRICT #2
Jennifer Richardson
DISTRICT #4



SUPERINTENDENT

Dr. Jon R. Prince
9461 Brandywine Lane
Port St. Lucie, FL 34986
772.429.3600
www.stlucieschools.org



June 6, 2025

City of Fort Pierce
Planning Department
100 N. U.S. Highway 1
Fort Pierce, FL 34950

Subject: Updated Site Plan Review – Sunrise Village

Dear Planning Department,

Following our recent meeting and review of the newly submitted site plan for Sunrise Village, we appreciate the revision showing the proposed school bus stop located further away from Okeechobee Road. Based on this updated layout, St. Lucie Public Schools will be able to accommodate the bus stop by situating it just west of the development's entrance, heading south westbound. This adjustment provides a safer pick-up and drop-off area for students and minimizes direct impact from the high-traffic conditions along Okeechobee Road.

While this revised location is acceptable, we would like to reiterate that our preference remains for the bus stop to be placed within the development itself. An internal location would allow school buses to enter, load and unload students safely, and exit without disrupting the traffic flow on adjacent roadways. It would also allow for better access for parents who often wait with or for their children.

We thank you for your continued collaboration and consideration of student safety in the planning of this project.

Sincerely,

A handwritten signature in blue ink that reads 'Nicole Fogarty'.

Nicole Fogarty
Director of Growth Management, Land Acquisitions & Intergovernmental Relations

Cc: Arianna Hilliard, WGI
Adam Schildmeier, WGI
Jerrod Purser, WGI
Ash Leyva, Blue Sky Communities



THE SUNRISE CITY
FORT PIERCE
ENGINEERING
DEPARTMENT

FORT PIERCE
Florida

To : Kerry Driver, Senior Planner

FROM : Venetia Barnes, Stormwater Engineer

THRU : Mark Zrallack, P.E., City Engineer

RE : Site Plan – Sunrise Village Apartments – 3000 Okeechobee Road

DATE : July 21, 2025

This is to advise you that we have completed the review of the following documents received by this office on July 18, 2025:

- | | |
|---|--|
| <input checked="" type="checkbox"/> Site Plan | <input type="checkbox"/> Building Construction Plans |
| <input type="checkbox"/> Test Reports & Related Documents | <input type="checkbox"/> Certificate of Completion |
| <input type="checkbox"/> Record Drawings | <input type="checkbox"/> Permits from applicable Local, State & Federal Agencies |
| <input type="checkbox"/> Clearances from all applicable Local, State and Federal Agencies | |

Based on our reviews and appropriate site final inspection, we

Recommend Do Not Recommend

Site Plan DPCR C/O

Developer, Owner, Engineer, Contractor and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

See attached for conditions of approval comments

ENGINEERING APPROVAL CONDITIONS:

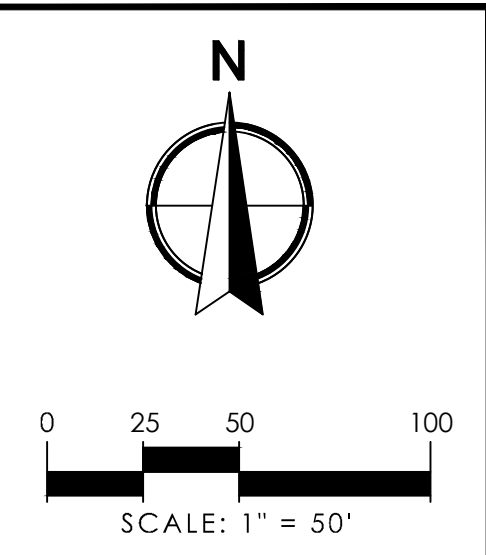
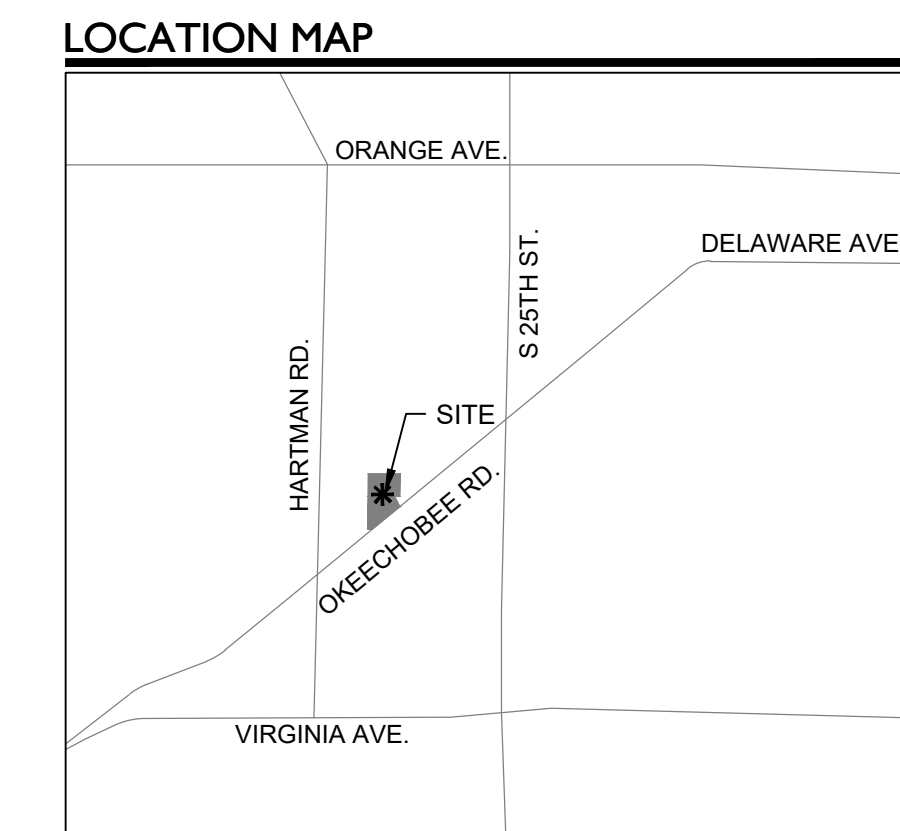
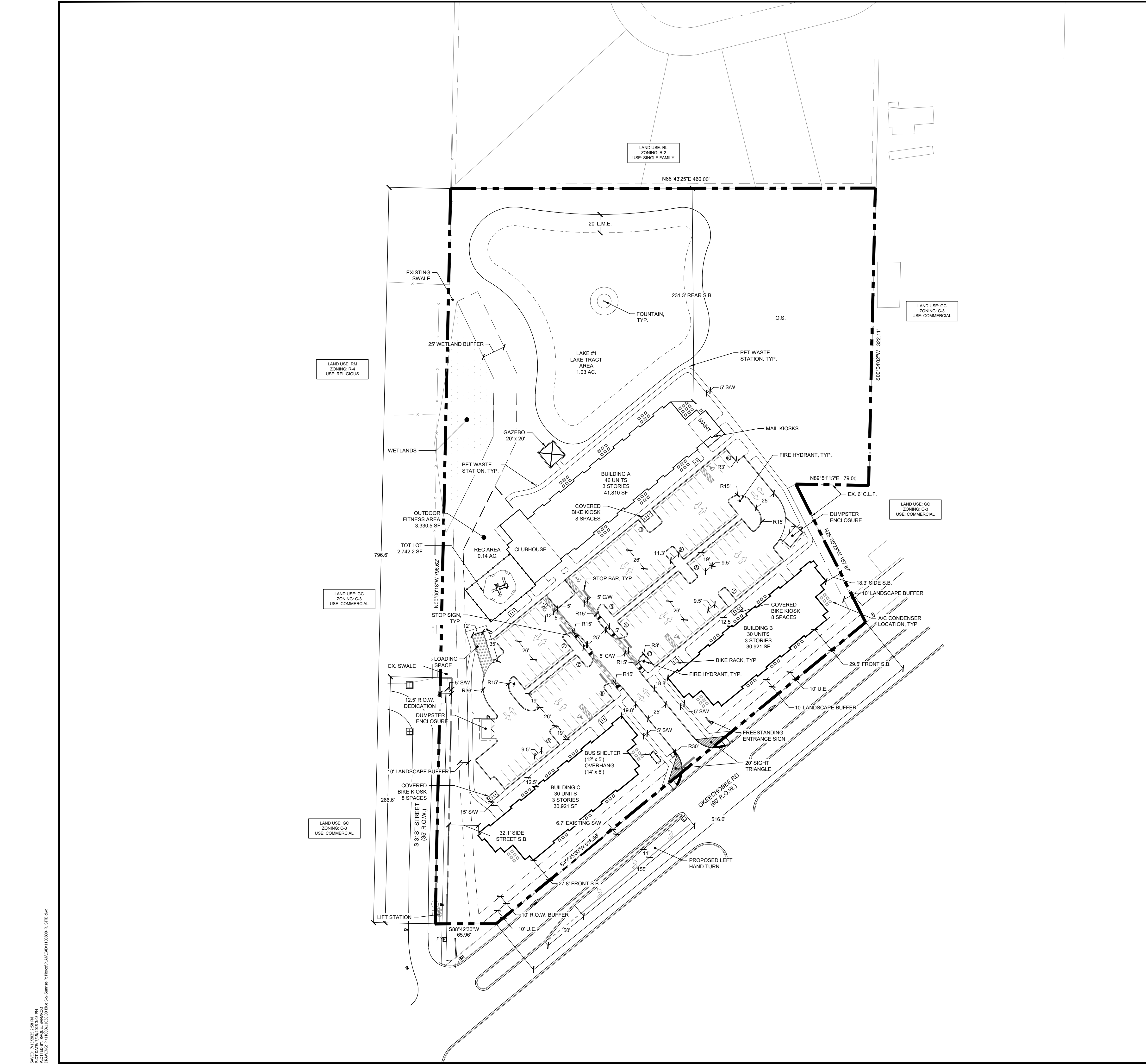
As provided in the revised site plan layout submitted on Friday, July 18th, the following are approved conditions:

1. A 5-foot sidewalk along South 31st Street to provide site connectivity to the existing Okeechobee Road sidewalk.
2. A 12.5-foot right-of-way donation, which is half of the required 25-feet as a part of the site plan approval process. The City of Fort Pierce Code of Ordinances specifies that roadways classified as "local" shall have a minimum right-of-way width of 60-feet. South 31st Street has a substandard right-of-way width of 35-feet. Therefore, it was requested that the applicant provide the 12.5 feet-right-of-way donation.

ADVISORY COMMENTS:

1. The project shall have all State and Federal permits in place prior to conducting any land clearing operations as the submitted Environmental Assessment Report indicates that wetlands are present on the site as well as possible threatened species.
2. Okeechobee Road is a St. Lucie County roadway, verification by the County of possible required roadway improvements shall be provided by the County.
3. The drainage plan was reviewed conceptually and will be reviewed in depth at time Building Permit application.
4. Prior to issuance of a Certificate of Occupancy, a final inspection shall be scheduled with this department and the following shall be submitted to the City Engineer:
 - a. A certificate of completion signed and sealed by the engineer of record.
 - b. Two copies of certified as-builts.
 - c. Signed and sealed density test with location map of test areas.
 - d. A maintenance plan and agreement signed by the owner and/or operating entity shall be notarized and submitted to the City Engineer. The agreement shall include the operation and maintenance of all stormwater facilities and shall ensure the stormwater management system has a plan for the removal of nuisance and invasive exotics or other vegetation to ensure no re-growth of the same.

MZ/VB/vb



SITE DATA

APPLICATION NAME	SUNRISE VILLAGE
EXISTING FUTURE LAND USE	RM
EXISTING ZONING DISTRICT	R-4
SEC 17	TOWN 355
PROPERTY CONTROL NUMBER(S)	RANGE 40E 2417-504-0020-001-6
EXISTING USE	VACANT
PROPOSED USE	MULTIFAMILY
GROSS SITE AREA	6.80 AC.
ROW DEDICATION	0.08 AC.
NET SITE AREA	6.72 AC.
TOTAL UNITS PROPOSED	106 DU
PROPOSED GROSS DENSITY	15.6 DU/AC.
STANDARD PARKING REQUIREMENT	159 SPACES
TOTAL PARKING PROVIDED	106 SPACES
ACCESSIBLE PARKING PROVIDED	5 SPACES
BICYCLE SPACES REQUIRED	11 SPACES
BICYCLE SPACES PROPOSED	42 SPACES
COVERED BIKE SPACES	24 SPACES
EXTERIOR BIKE SPACES	18 SPACES
MAX BUILDING HEIGHT	45'
PROPOSED BUILDING HEIGHT	3 STORIES (45')
REC PROVIDED	0.14 AC.
PROPOSED LAKE TRACT AREA	(15.2%) 1.03 AC.
MAX. BUILDING LOT COVERAGE	(50%) 3.4 AC.
PROPOSED BUILDING LOT COVERAGE	(12.5%) 0.85 AC.
MIN. OPEN SPACE REQUIREMENT	(25%) 1.7 AC.
PROPOSED OPEN SPACE	(62.1%) 4.23 AC.

PROPERTY DEVELOPMENT REGULATION CHART

R-4 MF	MIN. LOT SIZE	MIN. LOT WIDTH	MIN. LOT DEPTH	MAX. LOT COVERAGE	MIN. BUILDING YARDS				MAX. BLDG. HEIGHT
					FRONT	SIDE CORNER	SIDE	REAR	
REQUIRED	0.1 AC.	75'	90'	50%	25'	15'	10'	20'	45'
PROPOSED	6.80 AC.	516.6'	796.6'	12.5%	27.8'	32.1'	18.3'	231.3'	45' (3 STORIES)

- LEGEND**
- AC. = ACRES
 - ADT = AVERAGE DAILY TRIPS
 - C.L. = CENTER LINE
 - C.L.F. = CHAIN LINK FENCE
 - C/W = CROSSWALK
 - D.E. = DRAINAGE EASEMENT
 - D.U. = DWELLING UNITS
 - EX. = EXISTING
 - FLU = FUTURE LAND USE
 - INC. = INCOMPATIBILITY
 - L.A.E. = LIMITED ACCESS EASEMENT
 - L.M.E. = LAKE MAINTENANCE EASEMENT
 - L.M.A.E. = LAKE MAINTENANCE ACCESS EASEMENT
 - L.S.E. = LIFT STATION EASEMENT
 - O.R.B. = OFFICIAL RECORD BOOK
 - O.S. = OPEN SPACE
 - P.B. = PLAT BOOK
 - PDR = PROPERTY DEVELOPMENT REGULATIONS
 - PG. = PAGE
 - R = RADIUS
 - ROW = RIGHT-OF-WAY
 - R/W = RIGHT-OF-WAY
 - S.B. = SETBACK
 - S.F. = SQUARE FEET
 - S/W = SIDEWALK
 - T.B.A. = TO BE ABANDONED
 - TYP = TYPICAL
 - U.E. = UTILITY EASEMENT
 - ULDC = UNIFIED LAND DEVELOPMENT CODE
 - W = WORKFORCE HOUSING UNIT
 - WH = WORKFORCE HOUSING
 - T.B.R. = TO BE RELEASED

NO.	DATE	REVISION
1	2025-05-15	RESUBMITTAL

CERT NO. 6091

WGI INC. 2035 VISTA PARKWAY, WEST PALM BEACH, FLORIDA 33411

PRELIMINARY

NOT FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.

PREPARED UNDER THE SUPERVISION OF WGI, INC. ON 2025-07-15

INITIAL SUBMITTAL FEBRUARY 21, 2025

SUNRISE VILLAGE
CITY OF FORT PIERCE, FL

SITE PLAN

SHEET
SP-1
1 OF 1
11038.00

SW: 7/11/2025 2:28 PM
 PLOTTED BY: RAQUEL SANCHEZ
 DRAWING: P11038.00 SITE PLAN



To: Kori Benton, AICP
Planning Manager
St. Lucie County Planning and Development Services

From: Alex Memering, P.E.
Kimley-Horn and Associates, Inc. ARM

Date: July 11, 2025

Re: **Sunrise village**
Final Review of Turn Lane Analysis

Kimley-Horn has reviewed the traffic impact analysis (revised January 2025) prepared by Truckin Traffic, LLC. related to the above-mentioned project. The proposed development consists of 106 affordable housing units. The site is generally located in the northeast quadrant of Okeechobee Road and S 31st street in the city of Fort Pierce.

A left turn lane is warranted at the intersection of Okeechobee Road and the project driveway, however a right turn lane is not warranted at this location

Thank you for the opportunity to assist Saint Lucie County in reviewing this project. Please contact us if you have any questions or need additional information.

PUBLIC HEARING

A CONDITIONAL USE application
has been received for this property.

For more information:
(772) 407-3737



PUBLIC HEARING

A CONDITIONAL USE application
has been received for this property.

For more information:
(772) 467-3737





August 7, 2025

Kerry Driver, Senior Planner
City of Fort Pierce
Planning Department
kdriver@cityoffortpierce.com

RE: Sunrise Village - Major Site Plan: Innovative Development (PZSITE2025-00009)

Ms. Driver,

Please accept this letter as a formal clarification of the PZSITE2025-00009 Density Request.

The subject site is eligible for up to 17 dwelling units per acre based on the density bonus allowances in the code. For clarification, the Applicant is requesting approval of a gross density of 15.6 dwelling units per acre for 106 multifamily units.

If you have any questions, please contact me at 561-537-4533 or Jerrod.Purser@wginc.com.

Sincerely,

WGI, Inc.

A handwritten signature in blue ink, appearing to read 'Jerrod Purser', is written in a cursive style.

Jerrod Purser, PLA
Senior Project Manager

Owner1	Owner2	Mailing Address 1	Mailing City State Zip
ST LUCIE COUNTY		2300 Virginia AVE	Fort Pierce; FL 34982-5632
Alicia Mondono	Marcos David Quintanilla Avilla	2408 S 15th ST	Fort Pierce; FL 34982-3626
Jose P Garcia		117 Hartman RD	Fort Pierce; FL 34947-3401
Bilmer G Serrano	Tamara Serrano	3112 Yellowstone CIR	Fort Pierce; FL 34945-5705
FP34A LLC		3225 McLeod DR; Unit Ste 100	Las Vegas; NV 89121-2257
Christina M Perez		1210 S 33rd St	Fort Pierce; FL 34947-6311
Iglesia de Dios Pentecostal Movimiento Intl		PO Box 1575	Fort Pierce; FL 34954-1575
ABC CLASSIC RESTORATION CORP		2906 Okeechobee RD	Fort Pierce; FL 34947-4615
Arrow Investment Group LLC		4512 N Flagler DR; Unit Ste 206	West Palm Beach; FL 33407-3900
St Lucie Habitat for Humanity Inc		702 S 6th ST	Fort Pierce; FL 34950-8342
Open Door House of Prayer Inc		1312 S 33rd ST	Fort Pierce; FL 34947-6314
Green Keel Holdings LLC		1503 Boston AVE	Fort Pierce; FL 34950-3927
Annie M Widlan		243 23rd ST	Okeechobee; FL 34974-0540
Juan G Soto	Azucena Z Soto	7800 W Oakland Park BLVD; Unit Ste 109	Sunrise; FL 33351-1121
Charles William Pitts (LF EST)		5303 Palmetto AVE	Fort Pierce; FL 34982-7270
Sanco LLC		901 Bermuda Gardens Rd	Delray Beach; FL 33483-6420
Metis Properties LLC		94 SW Palm Cove DR	Palm City; FL 34990-4322
Pfeiffer 1614 S 30th St LLC		3560 Cypress ST	Palm Beach Gardens; FL 33410-5646
Jose Suero		1066 Anna ST	Elizabeth; NJ 07201-1464
Jillian Alexa Rae Peralta	Chadrack M Britton	1605 S 29th ST	Fort Pierce; FL 34947-6948
Adrian Morales	Jorge L Morales	1011 Grandview BLVD	Fort Pierce; FL 34982-4323
Lucia Rodriguez	Pedro Rodriguez	1505 S 29th ST	Fort Pierce; FL 34947-6946
Robert I Hayes	Carol O Hayes	201 Rosewood Dr	Fort Pierce; FL 34949-8327
ID 2911 LLC		18651 SW 39th ST	Miramar; FL 33029-2703
Richard F Haisley (TR)	Jimmie Anne Haisley (TR)	3015 Okeechobee RD	Fort Pierce; FL 34947-4616
Robert Hernandez Jr		1610 S 30th ST	Fort Pierce; FL 34947-6911
Kenneth G Cheatham		1612 S 30th St	Fort Pierce; FL 34947-6911
Maricela Z Loreda		1703 S 30th ST	Fort Pierce; FL 34947-6912
Richard F Haisley (TR)	Jimmie A Haisley (TR)	3015 Okeechobee RD	Fort Pierce; FL 34947-4616
Oziel Andrade		7002 Deer Park AVE	Fort Pierce; FL 34951-1819
Lucero Carrillo-Moctezuma	Aaron Garcia Gamez	1704 S 31st ST	Fort Pierce; FL 34947-6922
Savanna Concierge LLC		105 Orange AVE	Fort Pierce; FL 34950-4346

William Schuck		1413 S 28th ST	Fort Pierce; FL 34947-6940
Noe Bautista		1501 S 28th St	Fort Pierce; FL 34947
Hilda Garcia (LF EST)		1505 S 28th ST	Fort Pierce; FL 34947-6975
Dorothy N Guettler		1511 S 28th St	Fort Pierce; FL 34947
Rogelio Fernandez	Maria Fernandez	1506 S 29th St	Fort Pierce; FL 34947-6945
Virginia Leitner	c/o Jesse L Davis	1546 Pulitzer Rd	Fort Pierce; FL 34945-4425
El Brava LLC		4718 Fountains Dr S	Lake Worth; FL 33467
Caraf Land 2829 LLC		7844 NW 178th ST	Hialeah; FL 33015-3649
Church of the Nazarene of the New Jerusalem Inc		407 Florida AVE	Fort Pierce; FL 34950-8360
Isabel G Izquierdo		3102 Louisiana AVE; Unit Apt B	Fort Pierce; FL 34947-7281
Justin T Dixon		2410 Avenue D	Fort Pierce; FL 34950-2756
Isabel G Izquierdo		3102 Louisiana AVE; Unit Apt A	Fort Pierce; FL 34947-7281
Vincent A Peso	Azucena J Villar	1103 Hemlock CIR	Fort Pierce; FL 34947-7237
Francis C Wiley		1105 Hemlock CIR	Fort Pierce; FL 34947-7237
Jeremy Green		1107 Hemlock CIR	Fort Pierce; FL 34947-7237
Jeanne Arias		223 N 2nd ST	Fort Pierce; FL 34950-4433
Mary A Glaze		1118 Hemlock CIR	Fort Pierce; FL 34947-7236
Samuel T Andrews	Stephanie L Andrews	1120 Hemlock CIR	Fort Pierce; FL 34947-7236
Celia Lexine		1122 Hemlock CIR	Fort Pierce; FL 34947-7236
Courtney J Davis		702 N 23rd St	Fort Pierce; FL 34950
Candice Rivers		2148 Landsmere Dr SE	Mableton; GA 30126-2970
Vickey L Walker	Richard Walker Jr	1104 Hemlock CIR	Fort Pierce; FL 34947-7236
EDF Inc		8390 Currency DR	Riviera Beach; FL 33404-1747
Ornie L Patterson (LF EST)		1119 Hemlock CIR	Fort Pierce; FL 34947-7237
Ruby Dennard		3355 Juanita AVE	Fort Pierce; FL 34946-7112
613 Homes LLC		PO Box 740963	Boynton Beach; FL 33474-0963
Anastacio Reyes	Maria C Reyes	1602 S 29th St	Fort Pierce; FL 34947-6947
Candyland Properties Of St Lucie LLC		442 SE Starflower AVE	Port St Lucie; FL 34983-4516
Community United Methodist Church		3114 Okeechobee Rd	Fort Pierce; FL 34947-4619
Leobardo Mata	Rosa Barajas	1010 S 9th ST	Fort Pierce; FL 34950-9328
TRIPLE D VENTURES LLC		3803 Eleven Mile RD	Fort Pierce; FL 34945-2541
Phantaja Francis		2450 SW 7th ST	Fort Lauderdale; FL 33312-2216



August 12, 2025

Dear Property Owner:

The property owner of **Arrow Investment Group, LLC** is requesting approval of an **innovative development major site plan**, for 106-unit apartment buildings. The proposed name is Sunrise Village Apartments, and it is located at 3000 Okeechobee Road., Parcel ID 2417-504-0020-001-6.

Legal description: COLLIER'S S/D BLK D ALL BLK D-LESS S 27 FT AND SELY 7 FT FOR RD R/W AND LESS THAT PART MPDAF: BEG INT OF SE COR OF BLK D AND NLY RD R/W LI OF OKEEC RD RUN N 28 00 23 W 167.87 FT, TH N 89 51 15 E 79 FT TO E LI OF BLK D, TH S 00 04 02 W ALG E LI 148.41 FT TO NLY RD R/W LI OF OKEEC RD AND POB- (6.86 AC)

The property has a zoning classification of Medium Density Residential (R-4) and a future land use designation of Medium Density Residential (RM).

A public hearing is scheduled before the **City Commission** of the City of Fort Pierce, Florida, at their meeting on **Tuesday, September 2, 2025**, which begins at **5:05 p.m.**, in the City Hall Commission Chambers, 100 North U.S. Highway 1, Fort Pierce, Florida. You are provided with the opportunity to attend the public hearing and to speak in favor of, or in opposition to, the requested **Major Site Plan: Innovative Community Development with affordable housing** application. If you have any inquiries, or would like to review the complete application, please dial (772) 467-3739 or email kdriver@cityoffortpiece.com. Furthermore, published agenda packets for each City Commission meeting are provided a few days in advance at the following web address: <http://cityoffortpiece.com/223/Agendas-Minutes>.

Sincerely,

Kerry C. Driver
Senior Planner

DRAFT



CITY OF FORT PIERCE PLANNING BOARD

Planning Board Minutes

OF THE REGULAR MEETING OF THE FORT PIERCE CITY PLANNING BOARD HELD ON MONDAY, **AUGUST 11, 2025**, IN FORT PIERCE CITY HALL, COMMISSION CHAMBERS, 100 NORTH US HIGHWAY 1, FORT PIERCE, FLORIDA.

1. **CALL TO ORDER**

2. **PLEDGE OF ALLEGIANCE**

3. **ROLL CALL**

Ms. Clemons entered the meeting at 4:01 PM.

Present: Nichelle Clemons; Christopher Widing; Clayton Johnson; Justine Carter; Ryan Collins; Anton Kreisl, Chair

Absent: Alexander Edwards

Staff Present: Kev Freeman, Planning Director
Vennis Gilmore, Historic Preservation Planner/Senior Planner
Kerry Driver, Senior Planner
Alicia Rosenthal, Planning and Development Organizer

4. **CONSIDERATION OF ABSENCES**

Me. Edwards was excused.

5. **APPROVAL OF MINUTES**

- a. Minutes from the July 14, 2025 meeting

Motion was made by Ryan Collins, and seconded by Justine Carter to approve the minutes from the July 14, 2025, meeting.

AYE: Clayton Johnson, Justine Carter, Ryan Collins, Nichelle Clemons, Christopher Widing, Chair Anton Kreisl

Passed

6. NEW BUSINESS

a. PZANN2025-00001

Annexation

MRM Ventures

Parcel ID: 2421-233-0001-000-2

Mr. Gilmore gave an overview of the annexation, at or near the northeast corner of South 25th Street and Cortez Boulevard. He stated the annexation is for one (1) parcel into the City, with a City Future Land Use of RL, Residential Low-Density, and a City zoning of R-2, Single Family Intermediate Zone. Mr. Gilmore said the approximate 8.25 acre property has a St. Lucie County Future Land Use Designation of RU, Residential Urban, and a St. Lucie County Zoning designation of RS-4, Residential, Single-Family – 4/du. Mr. Gilmore said the current taxable value of the property is approximately \$839,500 and the maximum build out potential is an increase of 12 residential units. He concluded that staff recommended that the Planning Board recommend approval of the proposed annexation to the City Commission.

Motion was made by Nichelle Clemons, and seconded by Ryan Collins to forward a recommendation of approval of the annexation to the City Commission.

AYE: Ryan Collins, Nichelle Clemons, Christopher Widing, Clayton Johnson, Justine Carter, Chair Anton Kreisl

Passed

b. PD2024-00007

Zoning Atlas Map Amendment

Cornerstone Master Planned Development

2721 S. Jenkins Road

Mr. Gilmore stated the request is for a Zoning Atlas Map Amendment of two (2) parcels of land to change the Zoning classification from General Commercial Zone (C-3) to Pulte-Cornerstone Planned Development (PD) with an associated Master Development Plan.

He stated the application proposes a 250-unit fee-simple single-family residential community with a range of home sizes, a range of designs, and amenities including a linear park, pocket park, pool, recreational playground and a public art identity feature.

Mr. Gilmore reviewed the history of the parcel. He said on November 3, 2008, the City Commission approved a site plan to construct a 383,605-square-foot commercial development consisting of eight (8) buildings by the name of Newberry Fields. On December 9, 2024, the Planning Board reviewed and recommended approval of the concurrent application for a Future Land Use Amendment of the subject property. The applicant requested to change the Future Land Use from GC, General Commercial to RM, Medium Density Residential.

Mr. Gilmore showed the landscape plan, and reviewed the PD benefits and the traffic analysis. He also stated a Signal Warrant Analysis was prepared at the request of the St. Lucie County Public Works/Engineering department by Traffic & Mobility Consultants. He

noted the analysis was submitted to St. Lucie County on August 5, 2025, for consideration of a traffic signal.

Mr. Freeman explained what was going on behind the scenes with the application. He said there are two interested parties, including the applicant and the neighboring property owner to the north, who is proposing commercial development on the property in the future. The neighboring property owner to the north has requested that St. Lucie County consider full access from Jenkins Road to his property and the residential property. Negotiations are being taken between both parties and St. Lucie County. The city requested input from St. Lucie County to settle out what they would be allowed to do there. The city is dependent on St. Lucie County either agreeing or not agreeing to full access to the neighboring commercial property.

Leslie Olson, Principal of the District Planning Group, introduced the team working on the Master Planned Development. She said the parcel is located southeast of Okeechobee Road and I-95, and across the street from Avalon Crossing and Wawa on Jenkins Road. She stated they are working closely with the commercial property owner just to the north.

Lee Dobbins of the Dean Mead Law Firm, gave an update on the project process, and he noted the applicant plans to come back in September 2025 for the Final Planned Development, which will include the Planned Development Agreement.

Ms. Olson continued with her presentation. She said the site has great access to the state's intermodal system and visibility from I-95. The project will incorporate a tall sculptural piece of art welcoming you to the City of Fort Pierce at the SW corner of the parcel.

Ms. Olson noted the change in the Future Land Use will generate 88% less traffic than in the former Future Land Use. She said the site design is a grid pattern for walkability, including tree-lined streets and nature trails.

Ms. Olson stated the north entrance, closest to Okeechobee Road, would be shared with the commercial property owner to the north. She highlighted that they are advocating for full access to the northern site. She stated a second entrance to the south is being added that aligns with Independence Classical Academy, where a traffic signal is also needed. Ms. Olson said the developer will be contributing to the cost of the traffic signalization. She noted they will be providing both north and south-bound turning lanes at both entrances. Ms. Olson showed the location of the bus stop, and said the school bus would pull into the commercial site to the north, swing to the south into the development and then do a right turn-out.

Ms. Olson showed the phasing plan and said they plan to start from the south and work north.

Mr. Widing asked if the School Board of St. Lucie County liked the bus stop location and if the location was set in stone. Chair Kreisler asked if the location of the bus stop is contingent on the access agreement with the neighbor to the north. He also asked if there was a back-up plan if the agreement did not work. Ms. Olson said there is another way to re-route the bus. Ms. Clemons stated she was concerned that the bus stop is located in phase 2 of construction as opposed to phase 1, which has the majority of the residential units. Ms. Olson said the phasing line could be adjusted to include the bus stop in phase 1.

Mr. Johnson asked if semi-trucks would go through the residential neighborhood if the commercial entity entered through its own property. He also asked about time limits for access. Ms. Olson said the site has been designed so no houses would face the northern road where commercial trucks can go back and forth. Ms. Olson said the intent was to have some access to the commercial property as well, so the trucks could do a right in and right

out. She said it has not been negotiated yet between the contract buyer, Pulte, and the owner of the commercial property on how that will work. Mr. Johnson asked if there was any potential impact on the bus stop and commercial vehicles. Ms. Olson said the bus stop is tucked away in a pocket park area and there is no need for children to walk on the road. The site is small and will not create that much traffic. Mr. Johnson asked if there would be a stipulation for a wall or fencing to separate the residential and commercial parcels or only landscape buffers. Ms. Olson said they are only proposing landscape buffers.

Ms. Carter asked if the site had to be designed the way it is in order for commercial and bus stop access to occur. Ms. Olson said the bus stop location is the best and most efficient location on the site, and it allows the bus to do a right in and right out.

Mr. Collins asked if there was any insight into the deviation of the site from commercial to residential. Ms. Olson said she believes it is the market economy.

Chair Kreisl asked if there was a berm or wall planned for the buffer on the west side, along I-95. Ms. Olson said a wall is planned with landscaping on either side. She noted that the city will be allowed to use the wall for public art.

Luke Lambert, Traffic Consultant, provided information on the traffic signalization issue. He stated the Cornerstone Pulte project is looking at two access points on Jenkins Road. The northern access will have a cross-access easement to the commercial parcel. The southern access is across from the Independence Classical Academy. Mr. Lambert said the Independence Classical Academy submitted an application for a signal warrant. The county reviewed the application and warranted a traffic signal for a single hour. He stated, on behalf of Pulte, an analysis was done on the school, church and the residential component and the analysis showed a signal was warranted based on the school's impact. Mr. Lambert noted Pulte would contribute to the cost of the signal.

Chair Kreisl asked if the signaling access had been determined. Mr. Lambert said they are still waiting to hear from St. Lucie County.

Ken Simigran, owner of commercial property just to the north of Cornerstone, said he used to own the 50 acres of land called Newberry Fields, which he sold to Pulte. He said the original intent was to make a Master Planned Retail Development, which is why the cross access exists. Mr. Simigran stated the county asked that the commercial property restrict access to a right in and right out only. Mr. Simigran said everyone has worked together to activate cross access. He highlighted that full access is critical for customers to go north or south on Jenkins Road.

Chair Kreisl asked if there were any obstacles to the way the access is going to work. Mr. Simigran said there are no issues and both Pulte and the city have worked hard at getting everyone aligned. He said Panda Express is sitting on the sidelines watching to see if the full access gets approved or if it gets approved with the condition that St. Lucie County can change the access in the future.

Mr. Freeman said, outside of the comments the city is likely to get from the county, he is looking for a determination from the Planning Board to support a full-access driveway for the commercial development, so the city can provide the county with how the development can proceed. He noted, ultimately, it is the country's decision whether full access will be granted. Mr. Freeman said an agreement has been reached between both parties, and it settles issues with the parties involved and the school district to ensure the bus stop is in the correct location.

Board discussion ensued on sidewalks, road widening, traffic and moving the bus stop

location to Phase 1 of construction. Ms. Olson said she would show the optional bus stop location to the school board. Luke Lambert stated Jenkins Road is planned to be widened to a four (4) lane roadway.

Motion was made by Christopher Widing, and seconded by Justine Carter to forward a recommendation of approval of the Master Plan Development with the following 15 conditions.

1. A Final PD shall be required prior to any development activities with the Master Site Plan by HJA Design Studio, Job No. 2024-31, 06.13.2025.
2. The minimum Open Space shall be 20% of the Final PD site area.
3. The maximum density shall be 5 dwelling units per acre of the Final PD site area.
4. The Final PD plan shall conform to the requirements of the City Code of Ordinances unless alternate standards are approved through the Planned Development Agreement.
5. A Gopher Tortoise Survey shall be submitted within ninety (90) days of land clearing to ensure that all Gopher Tortoises are accounted for and undisturbed.
6. If required by the USFWS (US Fish and Wildlife Service), a Wood Stork foraging Habitat Assessment shall be carried out on site within ninety (90) days of land clearing.
7. After approval of the Final PD Site Plan, a detailed stormwater and drainage plan and statement shall be submitted at the time of Building Permit.
8. The Final PD site plan shall be in unified control and property ownership. All land intended to be included in the planned development shall be under the legal control of the applicant.
9. The Final PD site plan shall include a general description of the buildings and streetscapes including standards for height, building coverage, parking areas, and public improvements proposed for the development.
10. The Final PD site plan shall include all agreements, provisions and covenants which govern the use, maintenance, and continued protection of the planned development and any of its common open space or other shared areas. This material shall include material which binds successors in title to any commitments concerning completion of the project and its maintenance and operation.
11. If the applicant intends to phase out the project, please include a development phasing schedule indicating:

The approximate date when construction of the project is expected to begin.

The number of phases in which the project will be built and the approximate date when construction of each phase can be expected to begin and completed.

A general description of the buildings and streetscapes including standards for height, building coverage, parking areas, and public improvements proposed for each phase of the development.

12. The Final PD site plan shall contain the following information, at minimum: a. A Landscape and irrigation plan per section 123-4 of the City Ordinance. b. Proposed lot lines and other divisions of land for management, use or allocation purposes. c. The location, size and height of present and proposed buildings and structures. d. The location and size of all areas proposed to be conveyed, dedicated, or reserved for streets, parks, playgrounds, public and semi-public buildings, and similar uses. e. The existing and proposed vehicular circulation system, including off-street parking, and loading areas. f. The pedestrian circulation system, including its interrelationships with the vehicular circulation system, within the development to adjacent streets, showing all curb cuts and sidewalks. g. The existing and proposed utility systems, including sanitary sewers, storm sewers and water, electric and gas lines. h. The proposed buffering treatment of the perimeter of the planned development, refuse stations, storage areas,

or loading areas, including materials and techniques used such as screens, fences, and walls

13. A Unity of Title with the St. Lucie County Clerk of Courts and a Parcel Combination with the St. Lucie County Property Appraiser shall be completed prior to the issuance of any Building Permit.
14. Contact the Florida Department of Transportation (FDOT) to ensure appropriate noise attenuation measures are implemented to eliminate the potential for traffic noise intrusion into the residential development. Enhancements to minimize interior noise, such as but not limited to double-glazed glass windows, sound absorptive insulation, and door treatments that meet HUD specifications for all units shall be incorporated into the residential units prior to granting a certificate of occupancy.
15. Adjust phasing line before the Final PD to include the north access and bus option with sidewalks completed and roadway access from the developed part of phase 1.

AYE: Ryan Collins, Nichelle Clemons, Christopher Widing, Clayton Johnson, Justine Carter, Chair Anton Kreisl

Passed

c. **PZCON2025-00007**
Conditional Use
Live Oak Detox Center
912 Avenue I

Mr. Gilmore stated the application is to increase the occupancy of an existing Detox Facility from fourteen (14) to sixteen (16) clients. The subject site is approximately 0.56 acres and the property currently consists of a one-story, 8-bedroom, 5-bathroom detox facility built in 1987. The existing future land use (FLU) designation is Medium Density Residential (RM), and the zoning classification is Medium Density Residential Zone (R-4).

Mr. Gilmore noted the site currently does not meet the required parking requirements with eight (8) parking spaces and one (1) handicap parking space. He noted the City Commission approved the Conditional Use for fourteen (14) clients on February 16, 2016. He said the approval was contingent upon either providing the necessary parking spaces or pursuing the option of payment in lieu of parking.

Mr. Gilmore said Live Oak Detox is a licensed, short-term residential detoxification facility offering medically monitored withdrawal services in a structured, secure environment. Mr. Gilmore explained the Live Oak Detox Facility will always employ a maximum of six (6) staff on-site. He said licensed nurses and behavioral health technicians will work in rotating shifts to ensure 24/7 supervision and care. All transportation to and from the facility is provided by the facility staff. Visitors are restricted and only allowed under exceptional circumstances. At peak staffing (with the proposed 16-client capacity), the number of vehicles will remain within the existing parking capacity.

Mr. Gilmore showed the site plan, floor plan and front elevation.

Chair Kreisl asked what the parking requirements would be today and how many parking spaces would need to be added. Mr. Freeman stated transportation is provided by staff. He noted that if the number of staff is not increased, parking will not need to be increased. Mr. Gilmore stated the parking code requirement is 1.5 spaces per bed.

Cody Neely, Applicant, stated Live Oak Detox was not his company in 2016. He said the building has eight (8) rooms and can accommodate 16 clients. He also mentioned there is a half parking spot that can accommodate a small vehicle or motorcycle.

Chair Kreisl stated he was concerned about the parking, and he asked about the maximum number of staff. Mr. Neely said the business follows staffing guidelines by the Department of Children and Families. He said none of the residents drive and there is no visitation. He noted that the facility is short term and parking six (6) cars is not a true concern. Mr. Freeman suggested adding the condition that parking is restricted to staff only. Ms. Clemons said the parking restriction is restraining vendors from delivering supplies. Board discussion ensued about adding a parking condition of approval.

Motion was made by Clayton Johnson, and seconded by Justine Carter to forward a recommendation of approval of the Conditional Use to the City Commission with the following condition:

1. Additional parking requirements are waived if the use and business are maintained.

AYE: Nichelle Clemons, Christopher Widing, Clayton Johnson, Justine Carter, Ryan Collins, Chair Anton Kreisl

Passed

d. **PZSITE2025-00009**
Major Site Plan and Innovative Community Development
Sunrise Village Apartments
3000 Okeechobee Road

Ms. Driver gave an overview of the application and said the three (3) multi-level, multifamily buildings are proposed to offer community amenities and resources, unique architectural designs, enhanced landscaping and transit-oriented design features.

The proposed development is located on a parcel of approximately 6.87 acres. The future land use of the parcel is Medium Density Residential, RM, and the zoning is Medium Density Residential, R-4. Ms. Driver showed the site plan, floor plan, elevations, and landscape plan.

Chair Kreisl asked if the fire district commented about not having secondary access, and he asked about the sidewalk and right-of-way conditions of approval. Ms. Driver stated the fire district wanted a turn around.

Jerrod Purser, Planner from WGI, stated there is a 12.5-foot right-of-way dedication that the Engineering department requested along the west property line to Nebraska Avenue and a 5-foot sidewalk connection on the east side to Okeechobee Road.

Chair Kreisl asked if a left turn was being proposed onto Okeechobee Road. He also asked if the St. Lucie County school board commented on the length of distance the bus has to travel. Mr. Purser said their preference was a bus stop on Okeechobee Road, but the school district expressed they would like the bus to come in to the site and circulate down to the bus shelter.

Ms. Carter asked why the buildings were so close to the main road versus a lake, pond or landscaping being closer to the road. She stated she had concerns about traffic noise. Mr. Purser said they wanted to create a streetscape element with the landscaping instead of a huge parking lot up against the main road. He also noted it is part of meeting the innovative design criteria. Mr. Freeman said the design is a normal urban planning design process.

Chair Kreisl asked for a more significant landscape buffer, so the buildings are not exposed

as much from the street view. Mr. Purser said there are relocated sable palms and taller trees on the frontage. Mr. Purser noted that as part of the innovative design, the materials of the building are block exterior with some other materials included that are more durable and will provide a sound barrier.

Chair Kreisl asked about phasing and Ms. Carter asked about a playground and a dog park.

Mr. Johnson asked if there were any concerns with traffic going eastbound coming onto Okeechobee Road from 31st Street without having a second entry or exit.

Adam Schildmeier, Civil Engineer from WGI, stated there were no concerns shown in the traffic study that was conducted. He highlighted that the traffic signals at 25th Street and 33rd Street break up the traffic and there is a protected median on Okeechobee Road.

Chair Kreisl asked if the property was rezoned from commercial and if there was any recent history on the parcel, being that all the frontage parcels on Okeechobee Road are commercial.

Ms Carter asked staff to consider brick and stone materials to help with noise.

Mr. Widing said having a pond at the back of the community can become a functional gathering place for the residents to enjoy.

Ash Leyva, Vice-President of Blue Sky Communities and developer of Sunrise Village, stated that an environmental impact study is required, as part of their funding process. He explained one aspect of the study is noise. He highlighted the buildings and materials were analyzed for sound, and the findings were below 70 decibels, which is considered noise.

Motion was made by Nichelle Clemons, and seconded by Christopher Widing to forward a recommendation of approval of the site plan to the City Commission with the following (7) seven conditions:

1. Prior to issuance of final certificate of occupancy, a Landscape Maintenance Agreement shall be approved and shall acknowledge the following:
 - a. All approved landscaping shall be installed, irrigated, and maintained in perpetuity in accordance with section 123-7 of the City Code of Ordinances, in order that it continues to present a healthy, neat, and orderly appearance free of refuse and debris, in conformity with the following requirements:
 - i. Vegetation required by this article shall be replaced with equivalent or better vegetation if it is not living. All trees for which credit is awarded, and which subsequently die shall be replaced by the same or greater number of living trees according to the standards established in this article
 - ii. Maintenance shall include sufficient weeding, watering, fertilizing, pruning, mowing, edging, mulching and other horticultural practices to ensure that the landscaping continues to maintain a healthy, neat, and orderly appearance
2. A 5-foot sidewalk along S. 31st Street to provide site connectivity to the existing Okeechobee Road sidewalk.
3. A 12.5 ft. right-of-way donation on S. 31st Street.
4. Prior to the CO, a maintenance plan and agreement signed by the owner and/or operating entity shall be notarized and submitted to the City Engineer. The agreement shall include the operation and maintenance of all stormwater facilities and shall ensure the stormwater management system has a plan for the removal of nuisance and invasive exotics or other vegetation to ensure no re-growth of the same.
5. Sign permits shall be filed separately during the permit process.
6. An updated Environmental Assessment shall be required prior to land clearing and

development.

7. Prior to the issuance of any site clearing permits, the applicant shall provide a Tree Mitigation Survey and coordinate with the City of Fort Pierce Arborist for the required mitigation of the City's regulated trees proposed to be removed as a result of its site development/construction activity.

AYE: Christopher Widing, Clayton Johnson, Justine Carter, Ryan Collins, Nichelle Clemons, Chair Anton Kreisl

Passed

7. **COMMENTS FROM THE PUBLIC**

There were no comments from the public.

8. **DIRECTOR'S REPORT**

Mr. Freeman stated the first outreach meeting to update the Comprehensive Plan was held, and the second outreach meeting is October 9, 2025. He said city residents and businesses can take a survey on the city's website and make comments on what they would like to see in the future.

Mr. Freeman said he will be doing a full analysis and preparing a memo to the Planning Board and City Commission relating to State Senate Bill 108. He said it is an unusual bill that initially dealt with rebuilding quicker after hurricanes. Within the bill there is an element that if a city or county is within a certain radius of a hurricane, there are provisions that restrict any changes, within a certain time period, to the comprehensive plan or zoning regulations which are more restrictive than those already in place. He noted this has a significant impact on the direction the city is moving.

Mr. Freeman said he would also be doing a full analysis, based on the contents of the changes to the Live Local Act, involving development on church properties. He said the process will have to be determined by the City Commission.

Mr. Freeman said there was an update from the government lobbyist representative at the City Commission day meeting on August 11, 2025, regarding upcoming bills and direction from the state. Mr. Freeman said there may be more legislation coming through that involves planning.

9. **BOARD COMMENTS**

There were no comments from the Board.

10. **ADJOURNMENT**