

VICINITY MAP SCALE: 1:1,000

PARCEL ID #:	LEGAL DESCRIPTION
2410-503-0041-020-4	2410-503-0041-020-4
2410-503-0012-010-8	2410-503-0012-010-8
2410-503-0041-020-4	2410-503-0041-020-4
2410-503-0034-000-6	2410-503-0034-000-6
2410-503-0019-010-8	2410-503-0019-010-8
2410-503-0019-005-5	2410-503-0019-005-5
2410-503-0013-003-3	2410-503-0013-003-3
2410-503-0036-010-3	2410-503-0036-010-3

**PROJECT NAME:** KINGS LANDING

**OWNERSHIP:** AUDUBON DEVELOPMENT INC  
PO BOX 961  
PALM BEACH, FL 33480-0961  
ORB 5296 PG. 2970

**FUTURE LAND USE:** CBD

**ZONING:** PD

**LAND SIZE:** 307,744 S.F. (7.06 ACRES)

PROVIDER OF UTILITIES:	F.I.R.M. PANEL:
WATER: FPUA	12111C0179K
WASTEWATER: FPUA	CITY OF FORT PIERCE
IRRIGATION: FPUA	120286
SOLID WASTE: AUTHORIZED AUTHORITY	ZONE X

BUILDING DATA	DETAILS
<b>HOTEL:</b>	HOTEL ROOMS: 148 UNITS
	MEETING ROOMS: 3,000 SF
	SUNDRIES: 450 SF
	ADMIN: 1,900 SF
	FITNESS: 3,500 SF
	RESTAURANT: 5,500 SF
<b>BUILDING A:</b>	RETAIL: 6,350 SF
<b>BUILDING B:</b>	PARKING GARAGE: 485 STALLS
	RETAIL: 13,550 SF
	RESTAURANT: 9,400 SF
	CONDO: 106 UNITS
<b>BUILDING C:</b>	RETAIL: 6,250 SF

**STORMWATER DRAINAGE:**  
STORMWATER RUNOFF FROM THE PROPOSED PROJECT WILL BE COLLECTED IN A SERIES OF INLETS AND PIPES AND CONVEYED TO INTERCONNECTED DRY RETENTION PONDS AND UNDERGROUND CHAMBERS. THE SYSTEM WILL PROVIDE TREATMENT AND ATTENUATION IN ACCORDANCE WITH THE CITY OF FORT PIERCE AND SOUTH FLORIDA WATER MANAGEMENT DISTRICT CRITERIA PRIOR TO DISCHARGING TO MOORE'S CREEK. THE MODIFIED PORTION OF AVENUE B WILL CONTINUE TO DRAIN TO THE CITY OF FP STORM SEWER SYSTEM.

**SOLID WASTE:**  
BASED ON THE INTENDED USE OF THE BUILDING, THIS PROJECT WILL UTILIZE A DUMPSTER AREA FOR SOLID WASTE AND RECYCLABLE ITEMS.

**HAZARDOUS WASTE:**  
ANY AND ALL HAZARDOUS OR TOXIC MATERIALS GENERATED OR USED OR STORED ON SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

**FIRE PROTECTION:**  
ALL HYDRANT WITHIN 1000' ARE SHOWN.

**LANDSCAPE:**  
REFER TO LANDSCAPE PLAN BY OTHERS.

**ACCESSIBILITY AND ADA COMPLIANCE:**  
ALL SIDEWALKS AND RAMPS WILL MEET FDOT AND ADA REQUIREMENTS.

**WELL FIELD PROTECTION:**  
THE SUBJECT PARCEL IS NOT LOCATED WITHIN 1000 FEET OF A PUBLIC WATER SUPPLY WELL.

NO OFF-STREET PARKING IS REQUIRED IN THE DOWNTOWN BUSINESS AND ENTERTAINMENT DISTRICT	PROPOSED PARKING	ON/OFF-STREET PARKING	TOTAL PARKING PROVIDED
	485 SPACES	31 SPACES	516 SPACES

SITE AREA DATA	307,744 S.F.	7.06 AC	100.00%
<b>IMPERVIOUS DATA</b>	123,844 S.F.	2.84 AC	40.24%
PROPOSED PAVEMENT	43,495 S.F.	1.00 AC	14.13%
PROPOSED BUILDINGS	49,900 S.F.	1.15 AC	16.21%
PROPOSED WALKS/PATH PAVERS	28,849 S.F.	0.66 AC	9.37%
TOWER AREA	1,600 S.F.	0.04 AC	0.52%
<b>PERVIOUS DATA</b>	183,900 S.F.	4.22 AC	59.76%
OPEN SPACE	176,228 S.F.	4.05 AC	57.26%
PROPOSED DRY DETENTION	7,672 S.F.	0.18 AC	2.49%

REV	DATE	DESCRIPTION	BY	CHK
		DRAWING ISSUE STATUS		

**NOT FOR CONSTRUCTION**

**HALEY WARD**  
ENGINEERING | ENVIRONMENTAL | SURVEYING  
LAND PLANNING | INTERIOR DESIGN  
10250 Village Parkway, Suite 201  
Port Saint Lucie, Florida 34987  
772.462.2455  
WWW.HALEYWARD.COM

**PROJECT:** KINGS LANDING  
FORT PIERCE, FLORIDA

**DATE:** 8/6/2025  
**SCALE:** AS SHOWN

**DRAWN BY:** J.J.L.  
**DESIGNED BY:** J.J.L.  
**CHECKED BY:** DCB

**PROJECT NO.:** 25-114 HD KING - WARE R12.DWG  
**DRAWING NO.:**

**MAJOR SITE PLAN AMENDMENT**

**DAVID C. BAGGETT, P.E. (DATE)**  
#81375  
10250 SW VILLAGE PARKWAY - SUITE 201  
PORT SAINT LUCIE, FL 34987  
772.462.2455

**SP-102**

**KINGS LANDING FUTURE DEVELOPMENT PARCELS**  
(NO SITE PLAN PROPOSED AT THIS TIME)

**AVENUE "B"**  
(TROPICAL AVENUE)  
55.0' RIGHT-OF-WAY

**LEGAL DESCRIPTION**  
PARCEL A:  
BEING A PARCEL OF LAND LYING IN BLOCK "A", ACCORDING TO AARON LEE'S MAP OF FORT PIERCE, AS RECORDED IN PLAT BOOK 1, PAGE 189 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF LOT 8, BLOCK F, OF SAID AARON LEE'S MAP OF FORT PIERCE, PROCEED NORTH 18°44'11" WEST ALONG THE WEST LINE OF BLOCK F AND THE EAST RIGHT-OF-WAY LINE OF NORTH 2ND STREET FORMERLY KNOWN AS PINE STREET, AS SHOWN ON SAID AARON LEE'S MAP OF FORT PIERCE AND BEING A 60.00-FOOT-WIDE PUBLIC RIGHT-OF-WAY, A DISTANCE OF 254.22 FEET TO THE SOUTHWEST CORNER OF LOT 2 OF SAID MAP OF FORT PIERCE, SAID CORNER BEING THE POINT OF BEGINNING, THENCE NORTH 18°44'11" WEST, ALONG THE WEST LINE OF LOTS 2 AND 1 AND EAST RIGHT-OF-WAY LINE OF SAID 2ND STREET A DISTANCE OF 69.41 FEET TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF THE ADJUSTED NORTH 2ND STREET, THENCE NORTH 32°17'09" WEST, ALONG SAID EAST RIGHT-OF-WAY LINE, A DISTANCE OF 371.24 FEET TO A POINT ON THE 3.50-FOOT-WIDE CONCRETE BULKHEAD BOUNDING MOORE'S CREEK; THENCE ALONG SAID BULKHEAD THE FOLLOWING (5) COURSES AND DISTANCES: NORTH 56°42'22" EAST, A DISTANCE OF 44.68 FEET; THENCE NORTH 65°10'23" EAST, A DISTANCE OF 179.28 FEET; THENCE NORTH 74°04'13" EAST, A DISTANCE OF 71.16 FEET; THENCE NORTH 63°51'02" EAST, A DISTANCE OF 224.31 FEET; THENCE NORTH 81°33'56" EAST, A DISTANCE OF 20.83 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF INDIAN RIVER DRIVE (A VARIABLE-WIDTH RIGHT-OF-WAY), AS SHOWN ON THE STATE OF FLORIDA STATE ROAD DEPARTMENT RIGHT-OF-WAY MAP SECTION 94500, LAST REVISED OCTOBER 5, 1960, THENCE SOUTH 18°43'54" EAST, ALONG SAID WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 491.42 FEET TO A POINT ON THE EASTERLY PROLONGATION OF THE SOUTHERLY LINE OF SAID LOT 2, AND LOT 3, SAID BLOCK F; THENCE SOUTH 71°18'49" WEST, ALONG SAID EASTERLY PROLONGATION, AND THE SOUTH LINE OF SAID LOT 3, AND 2, A DISTANCE OF 457.21 FEET TO THE POINT OF BEGINNING.

CONTAINING 5.266 ACRES (229,381.98 SQUARE FEET), MORE OR LESS.

TOGETHER WITH PARCEL C (WEST):  
A PARCEL OF LAND BEING LOTS 5 AND 6 OF BLOCK "E", PORTIONS OF LOTS 7 AND 8 OF BLOCK "E", A PORTION OF AVENUE "B" AS SHOWN ON AARON LEE'S MAP OF FORT PIERCE, AS RECORDED IN PLAT BOOK 1, PAGE 189 TOGETHER WITH LOT 1 AND THE WEST 3.50 FEET OF LOT 2 OF THE NEW SUBDIVISION BLOCK "E" OF AARON LEE'S MAP OF FORT PIERCE, AS RECORDED IN PLAT BOOK 1, PAGE 192, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

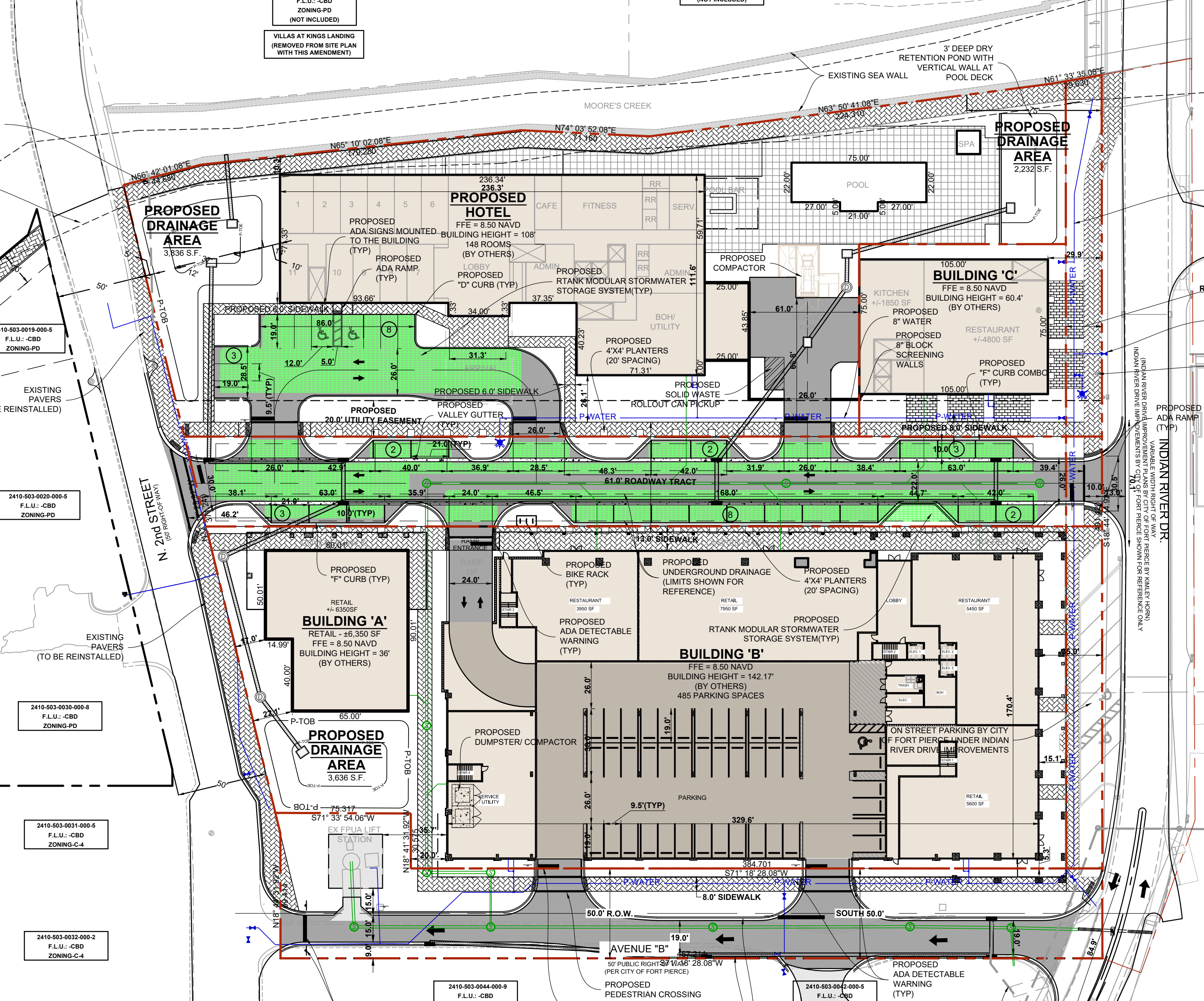
COMMENCING AT THE SOUTHWEST CORNER OF LOT 8, BLOCK F, OF SAID AARON LEE'S MAP OF FORT PIERCE, PROCEED SOUTH 71°18'49" WEST, ALONG THE EASTERLY PROLONGATION OF THE SOUTH LINE OF BLOCK "E" AND ALONG SAID SOUTH LINE, A DISTANCE OF 310.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE ALONG SAID SOUTH BLOCK LINE SOUTH 71°25'01" WEST, A DISTANCE OF 8.93 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF THE FLORIDA EAST COAST RAILROAD AS SHOWN ON THE STATION MAP, SOUTHERN SYSTEM STATION 12714+90.7 TO STATION 12716+90.0, DATED SEPTEMBER 5, 1944; THENCE NORTH 18°21'33" WEST, ALONG SAID EASTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 400.00 FEET TO A POINT ON THE NORTH LINE OF LOT 7, SAID BLOCK "E"; SAID NORTH LINE ALSO BEING THE SOUTH RIGHT-OF-WAY LINE OF AVENUE "B", BEING FORMERLY KNOWN AS TROPICAL AVENUE AS SHOWN ON AFOREMENTIONED AARON LEE'S MAP OF FORT PIERCE (A 65.00-FOOT-WIDE RIGHT-OF-WAY); THENCE SOUTH 71°18'49" WEST, A DISTANCE OF 42.46 FEET; THENCE NORTH 18°49'01" WEST, A DISTANCE OF 65.00 FEET; THENCE NORTH 71°18'49" EAST, A DISTANCE OF 40.00 FEET; THENCE NORTH 18°49'01" WEST, A DISTANCE OF 72.51 FEET TO A POINT ON THE SOUTH TOP OF BANK OF MOORE'S CREEK; THENCE ALONG SAID SOUTH TOP OF BANK THE FOLLOWING (4) COURSES AND DISTANCES: NORTH 49°07'24" EAST, A DISTANCE OF 64.50 FEET; THENCE NORTH 33°59'39" EAST, A DISTANCE OF 76.44 FEET; THENCE NORTH 31°09'29" EAST, A DISTANCE OF 92.08 FEET; THENCE NORTH 01°55'54" EAST, A DISTANCE OF 14.97 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE ADJUSTED 2ND STREET (A 60.00-FOOT-WIDE PUBLIC RIGHT-OF-WAY); THENCE SOUTH 32°17'09" EAST, ALONG SAID WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 320.88 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF 2ND STREET AS SHOWN ON AFOREMENTIONED AARON LEE'S MAP OF FORT PIERCE; THENCE SOUTH 18°44'11" EAST, ALONG SAID WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 8.92 FEET TO A POINT ON THE SOUTHERLY LINE OF LOT 1, SAID BLOCK "E"; THENCE SOUTH 71°18'49" WEST, ALONG SAID SOUTHERLY LINE, A DISTANCE OF 146.50 FEET TO A POINT OF INTERSECTION WITH A LINE LYING AND BEING 3.50 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF LOT 2, SAID BLOCK "E"; THENCE SOUTH 18°44'11" EAST, A DISTANCE OF 50.00 FEET TO THE SOUTH LINE OF SAID LOT 2, SAID LINE ALSO BEING THE NORTH LINE OF LOT 3, SAID BLOCK "E"; THENCE SOUTH 71°18'49" WEST, ALONG SAID NORTH LOT LINE, A DISTANCE OF 3.50 FEET TO SAID LOT 3; THENCE SOUTH 18°44'11" EAST, ALONG THE WEST LINE OF LOTS 3 AND 4 AND THE SOUTHERLY PROLONGATION THEREOF, A DISTANCE OF 115.00 FEET TO A POINT ON A LINE LYING AND

BEING 15.00 FEET SOUTH OF AND PARALLEL WITH THE NORTHERLY RIGHT-OF-WAY LINE OF CHURCH STREET, FORMERLY KNOWN AS PALM TERRACE ON THE AFOREMENTIONED AARON LEE'S MAP OF FORT PIERCE (A 50.00-FOOT-WIDE RIGHT-OF-WAY LINE, THENCE SOUTH 71°18'49" WEST, ALONG SAID PARALLEL LINE, A DISTANCE OF 100.00 FEET TO A POINT OF INTERSECTION WITH THE NORTHERLY PROLONGATION OF THE WEST LINE OF LOT 9, SAID BLOCK "E"; THENCE SOUTH 18°44'11" EAST, ALONG SAID PROLONGATED LINE AND WEST LINE OF LOT 9 A DISTANCE OF 185.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 1.799 ACRES (78,381.87 SQUARE FEET), MORE OR LESS.

S71° 25' 01.46"W  
8.930

571° 25' 01.46"W  
8.930



**STORMWATER DRAINAGE:**  
STORMWATER RUNOFF FROM THE PROPOSED PROJECT WILL BE COLLECTED IN A SERIES OF INLETS AND PIPES AND CONVEYED TO INTERCONNECTED DRY RETENTION PONDS AND UNDERGROUND CHAMBERS. THE SYSTEM WILL PROVIDE TREATMENT AND ATTENUATION IN ACCORDANCE WITH THE CITY OF FORT PIERCE AND SOUTH FLORIDA WATER MANAGEMENT DISTRICT CRITERIA PRIOR TO DISCHARGING TO MOORE'S CREEK. THE MODIFIED PORTION OF AVENUE B WILL CONTINUE TO DRAIN TO THE CITY OF FP STORM SEWER SYSTEM.

**SOLID WASTE:**  
BASED ON THE INTENDED USE OF THE BUILDING, THIS PROJECT WILL UTILIZE A DUMPSTER AREA FOR SOLID WASTE AND RECYCLABLE ITEMS.

**HAZARDOUS WASTE:**  
ANY AND ALL HAZARDOUS OR TOXIC MATERIALS GENERATED OR USED OR STORED ON SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

**FIRE PROTECTION:**  
ALL HYDRANT WITHIN 1000' ARE SHOWN.

**LANDSCAPE:**  
REFER TO LANDSCAPE PLAN BY OTHERS.

**ACCESSIBILITY AND ADA COMPLIANCE:**  
ALL SIDEWALKS AND RAMPS WILL MEET FDOT AND ADA REQUIREMENTS.

**WELL FIELD PROTECTION:**  
THE SUBJECT PARCEL IS NOT LOCATED WITHIN 1000 FEET OF A PUBLIC WATER SUPPLY WELL.

ZONING CODE FOR: PD (PLANNED DEVELOPMENT)		YARD SETBACKS		FRONT	REAR	SIDE	CORNER
PER CODE	10'	10'	5'	N/A			
PROPOSED	17'	10'	5'	N/A			

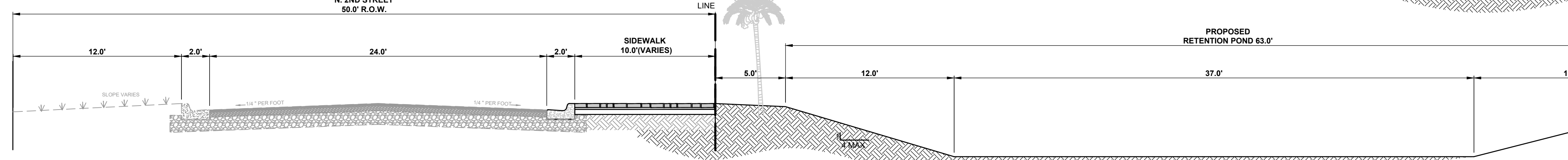
**811**  
It's fast.  
It's free.  
It's the law.  
Know what's below.  
Call before you dig.  
www.callbeforeyoudig.com

DESCRIPTION	FOUND (YES/NO)	AGENCY CONTACT INFORMATION	MANAGEMENT PLAN (YES/NO)	RELOCATION PLAN (YES/NO)
<b>WETLANDS</b>	--			
<b>RARE HABITAT</b>	--			
<b>THREATENED SPECIES</b>	--			
<b>ENDANGERED SPECIES</b>	--			
<b>SPECIES OF SPECIAL CONCERN</b>	--			
<b>INVASIVE/EXOTIC VEGETATION</b>	--			

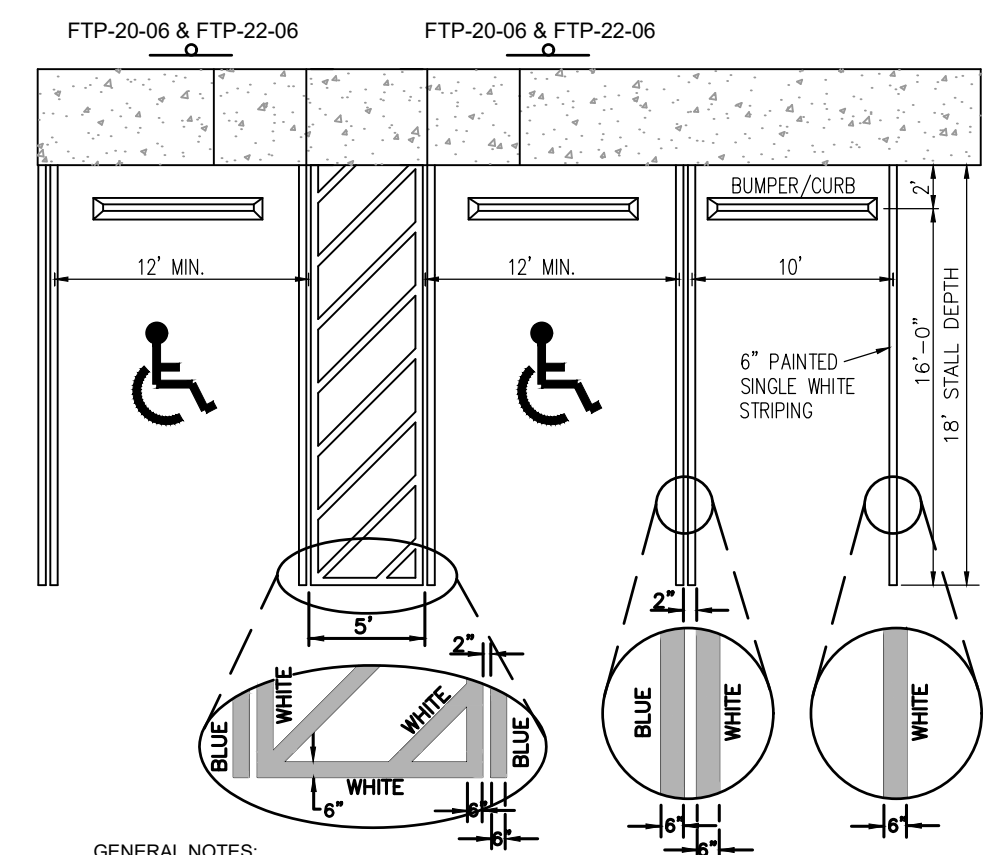
**VERTICAL DATUM NOTE:**  
ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D.88) AND ARE GIVEN IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED.  
\*GENERAL ACCEPTED CONVERSION: NAVD + 1.475 = NGVD

**NOTE:**  
THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL, AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA FROM THE EDGE OF PAVEMENT TO THE PROPERTY LINE WITHIN THE RIGHT-OF-WAY

LEGEND	
	EXISTING METER
	PROPOSED SIGN
	PROPOSED MITERED END SECTION
	HANDICAP PARKING SYMBOL
	EXISTING CONCRETE
	EXISTING PAVEMENT
	PROPOSED CONCRETE
	PROPOSED PAVEMENT
	EXISTING UTILITY POLE
	PROPOSED DRAINAGE INLET
	EXIST. DRAINAGE INLET
	EXISTING STREET LIGHT
	PROPOSED LIGHT POLE (SINGLE)
	DRAINAGE FLOW ARROW
	PROPOSED LIGHT POLE (DOUBLE)
	PARKING STALL COUNT
	EXISTING DRAINAGE
	PROPOSED DRAINAGE PIPE



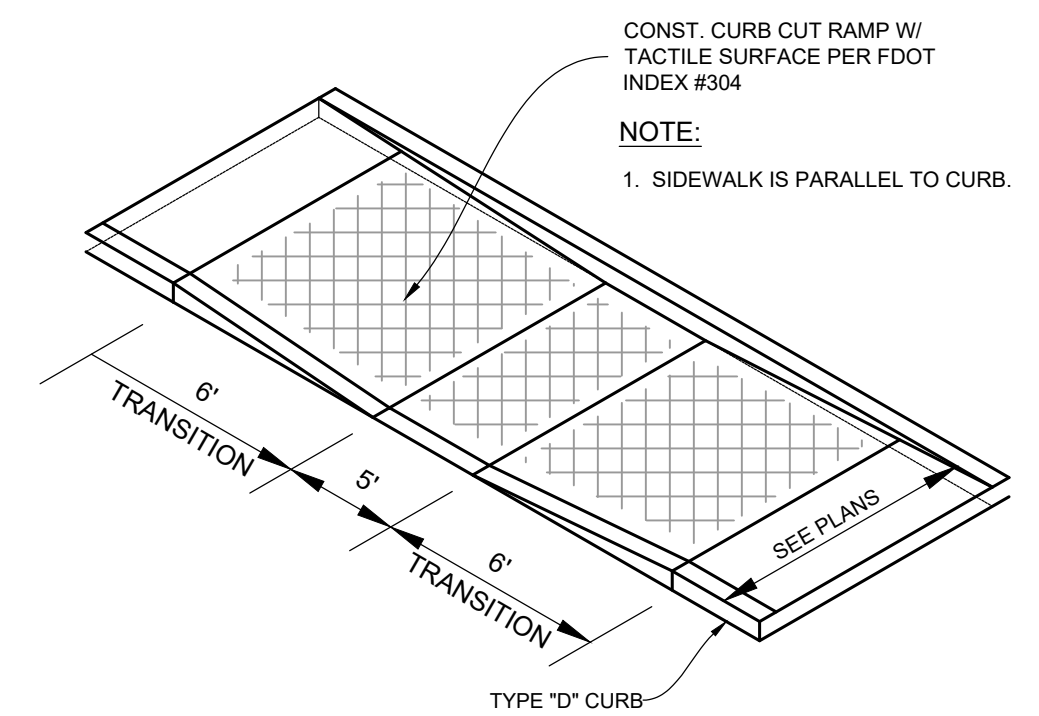
**N 2ND STREET CROSS SECTION**  
SCALE: 1:5



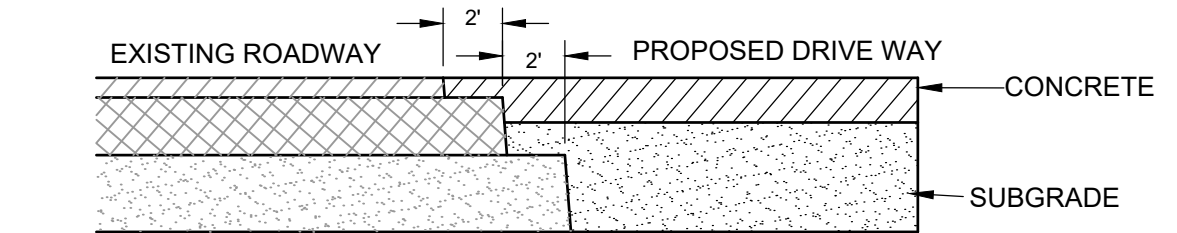
**GENERAL NOTES:**  
 A) ALL PARKING SPACES WITH EXCEPTION OF HANDICAPPED PARKING SPACES SHALL BE MARKED IN WHITE, RETRO-REFLECTIVE TRAFFIC PAINT AND BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2010 SECTION 710.  
 B) ALL HANDICAPPED PARKING SPACES SHALL BE PROPERLY SIGNED AND STRIPED IN ACCORDANCE WITH THE FDOT STANDARD INDEX 17346, FY 2017-18.  
 C) ALL COMPACT SPACES SHALL BE MARKED "COMPACT" ON THE STALL OR TIRE STOP.

- NOTES:**
- FTP 20-06: TOP PORTION SHALL HAVE REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER. BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
  - FTP 21-06: TOP PORTION SHALL HAVE REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER. BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
  - FTP 20-06 IS FOR USE IN AREAS WHERE SPACE IS LIMITED.
  - FTP 22-06 IS SUPPLEMENTAL PANEL FOR THE FTP 20-06 & FTP 21-06 SIGNS. HEIGHT SHALL BE 7 FEET MEASURED FROM THE GROUND OR SIDEWALK TO THE BOTTOM OF "PERMIT ONLY" SIGN OR 8 FEET TO THE BOTTOM OF "FINE" SIGN.
  - REFER TO FDOT INDEX No. 711-001 FOR PAVEMENT MARKING DETAILS & FDOT INDEX No. 700-102 SIGN DETAILS PER THE LATEST FDOT DESIGN STANDARDS.

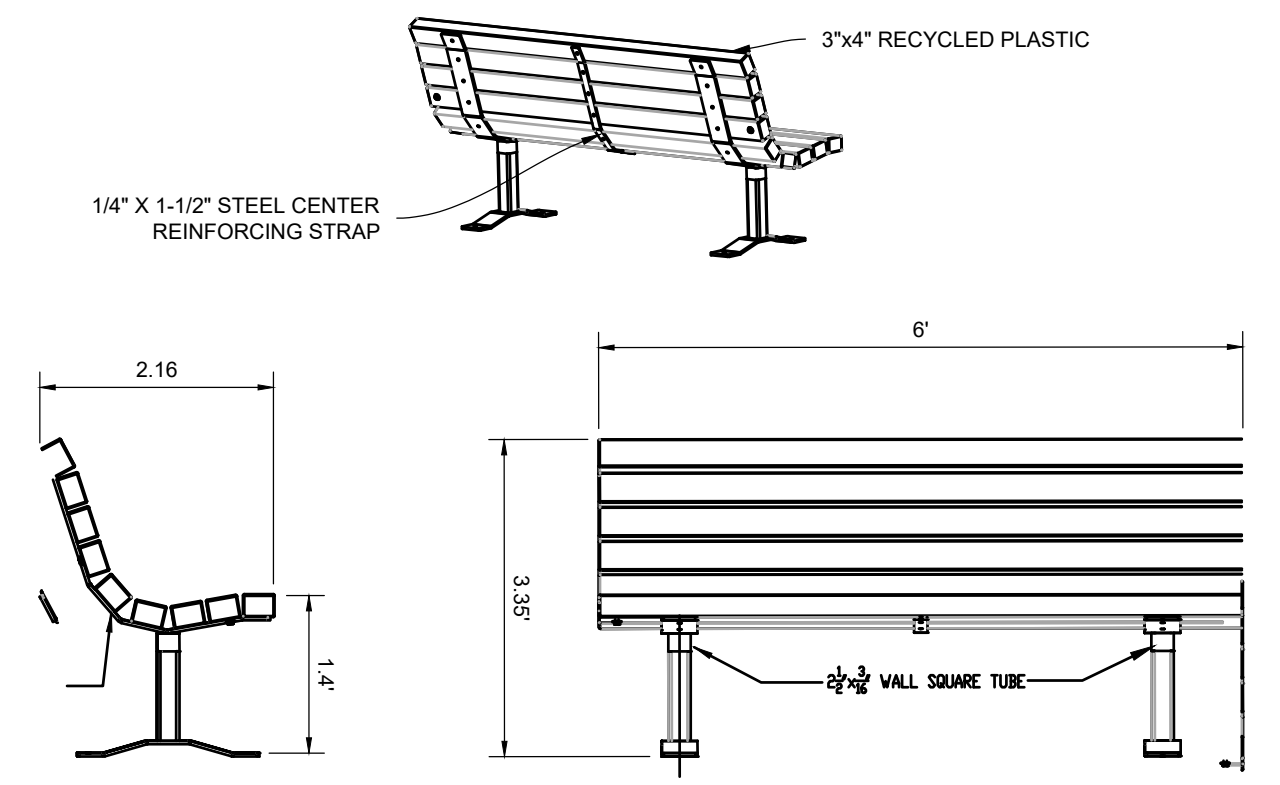
**HANDICAP AND TYPICAL PARKING DETAIL**  
NTS



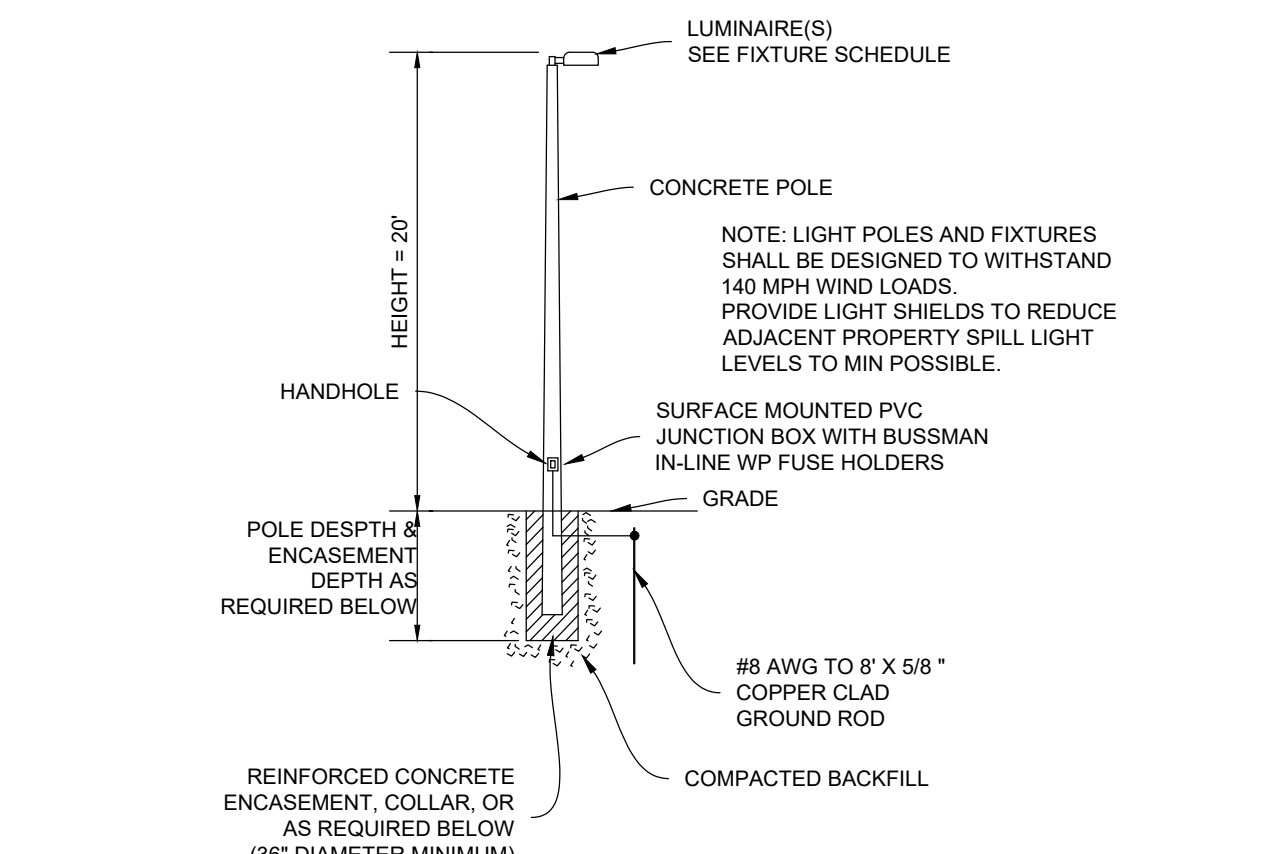
**HANDICAP RAMP DETAIL**  
NTS



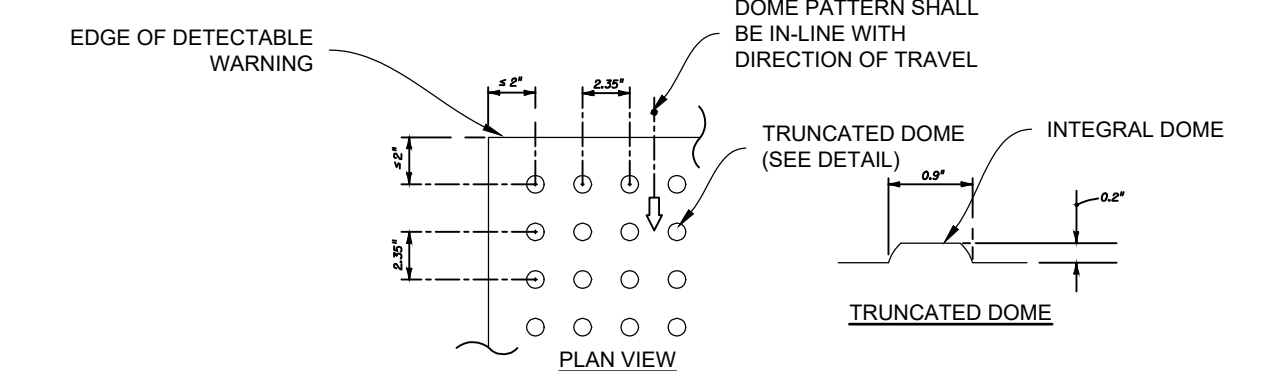
**MATERIAL BENCHING DETAIL (TO EXISTING ROADWAY)**  
NTS



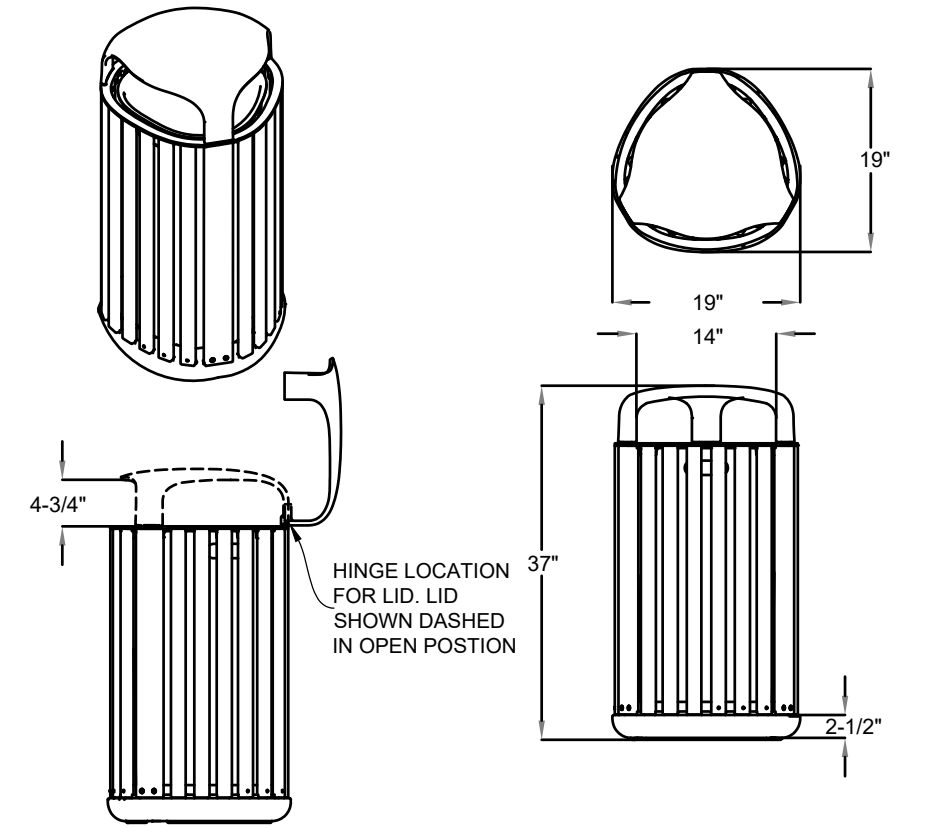
**6' CONTOUR BENCH DETAIL**  
NTS



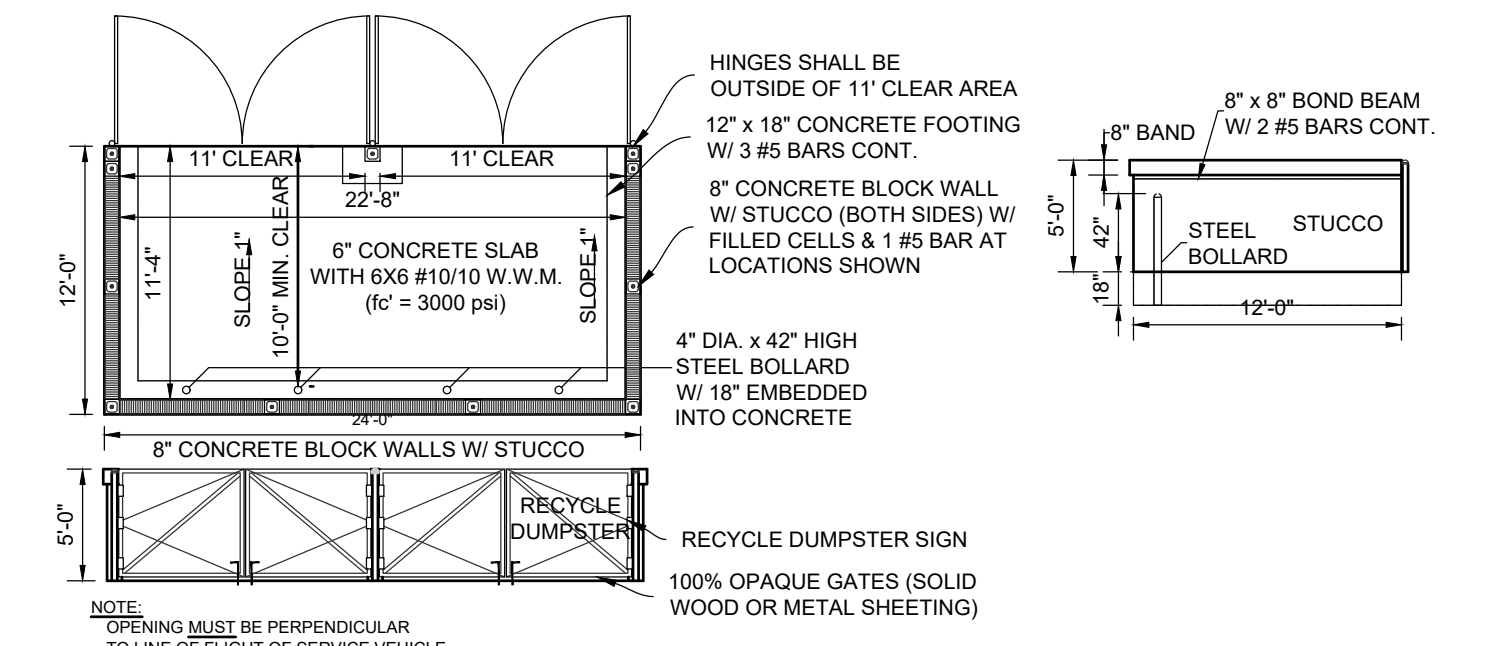
**LIGHTING DETAIL**  
NTS



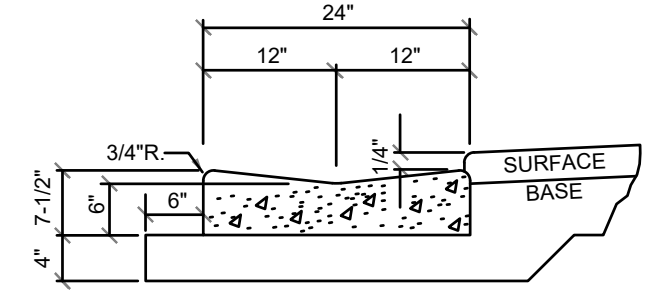
**DETECTABLE WARNING SURFACE DETAIL**  
NTS



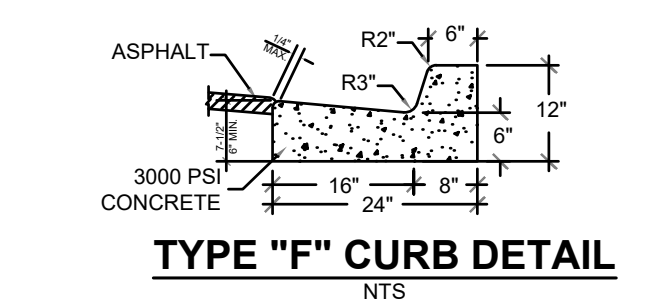
**RECEPTACLE DETAIL**  
NTS



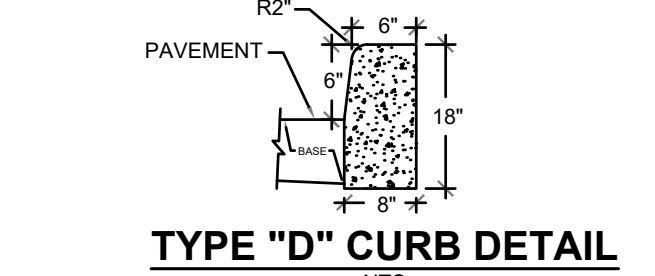
**TYPICAL 24' X 12' DUMPSTER DETAIL**  
NTS



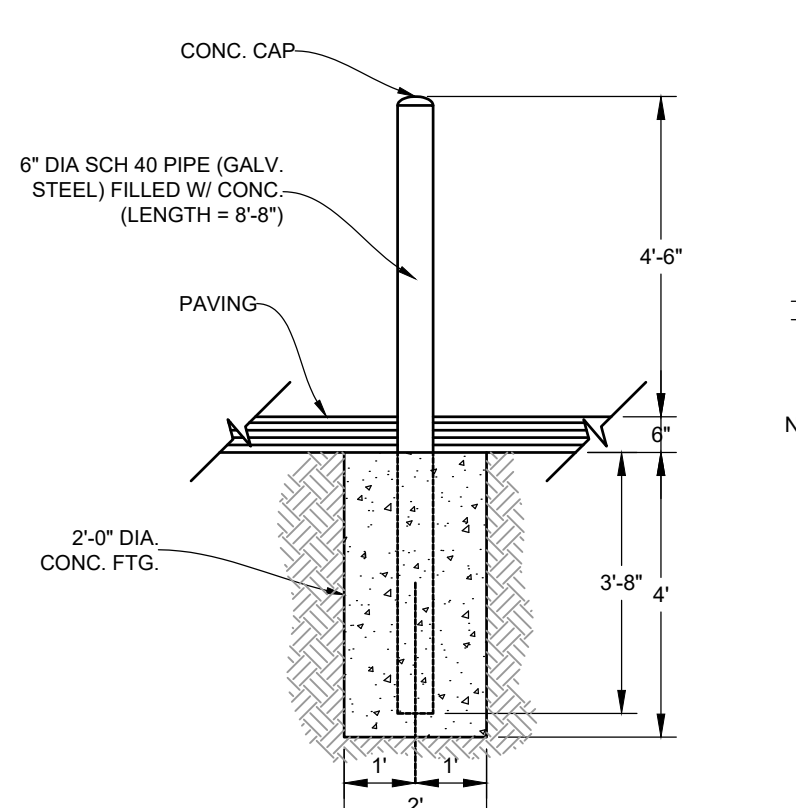
**VALLEY GUTTER DETAIL**  
NTS



**TYPE "F" CURB DETAIL**  
NTS



**TYPE "D" CURB DETAIL**  
NTS



**BOLLARD DETAIL**  
NTS

FILE LOCATION: Z:\E0C\20250514\_KANSIS LANDING MAIN SITE\_BILL WARE\ENGINEERING\DRAWINGS\25-114\_HRD KING\_WARE\1722.DWG, 2025.05.06, 12:58 PM

7

6

5

4

3