



THE SUNRISE CITY
FORT PIERCE
PLANNING DEPARTMENT
Florida

TO: Richard D. Chess, MBA City Manager

THROUGH: Kevin Freeman, Planning Director

FROM: Kerry C. Driver, Senior Planner

RE: **Conditional Use: w New Construction**
1606 Surfside Drive

BOARD DATE: October 6, 2025

STAFF REPORT

Owner: Damian & Dawn Martinez
1710 Bay Drive
Miami Beach, FL 33141

Applicant: James Conroy
J Conroy LLC
50 NE Dixie Hgwy Unit A-2
Stuart, FL 34994

Applicant's Request: Approval of Conditional Use: with New Construction

Location(s): 1610 Surfside Drive

Parcel ID: 2412-501-0131-000-6

Future Land Use: Hutchinson Island Residential (HIR)

Current Zoning: Single-family Low Density (R-1)

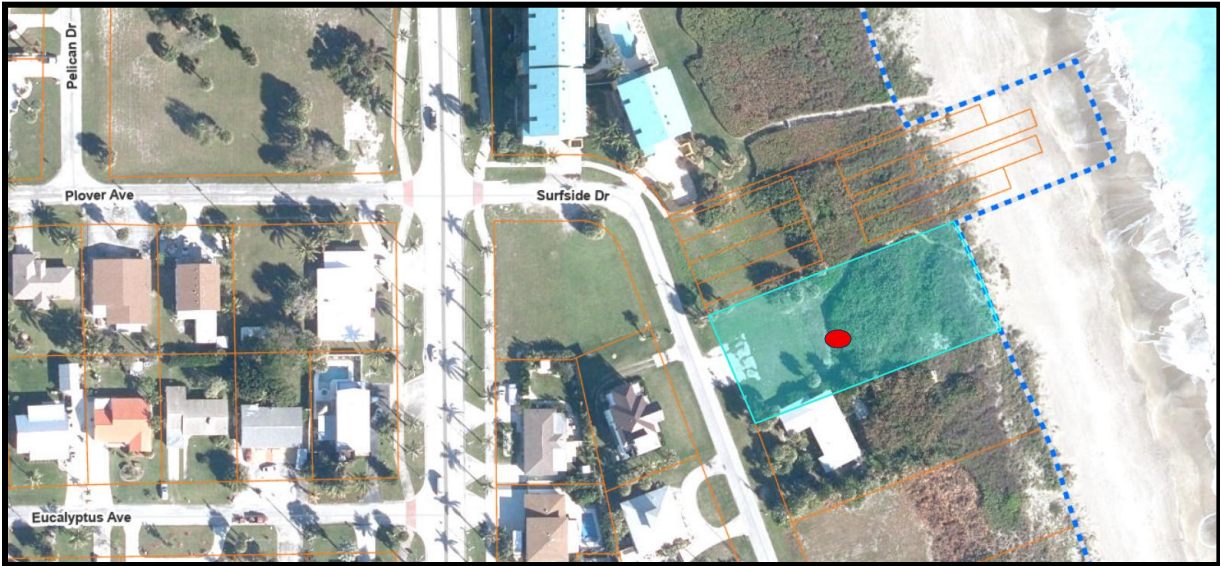
Surrounding FLU

North	East	South	West
HIR	N/A	RL	HIR

Surrounding Zoning

North	East	South	West
R-A4	N/A	R-1	R-4A

Site Location:



Site area = 0.54 +/- acres

Utilities:

FPUA

- Water service is available to serve the residence
- Wastewater is not currently available at this location
- Approved for Electric & Gas

Staff Analysis:

Request

In accordance with city code Article V Sections 125-235: Conditional Uses, the applicant is requesting the review and approval of a Conditional Use with New Construction to develop a 35' height multi-level single-family residence. According to Article V Section 124-191 Single-family low-density zone (R-1), no building shall exceed a height of 28 feet above grade, except that conditional uses with buildings that have a maximum height of 35 feet above grade may be approved.

Future Land Use & Zoning

The Hutchinson Island Residential (HIR) designation is intended for parcels that are best suited for residential development on Hutchinson Island. This future land use category allows single-family detached and attached units, duplexes and multifamily residences at densities ranging up to eight dwelling units per acre. Limited public uses and commercial uses that are compatible with the surrounding development shall also be allowed. The previous "Medium Density Residential Hutchinson Island (Rmhi)" has been renamed.

The subject site has a zoning district classification of the Single-family Low Density (R-1) district which is primarily intended to provide for areas of single-family dwellings with an average net density of less than four units per acre for conventional developments. Regulations for the district are designed to promote sound neighborhoods and accommodate compatible nonresidential uses. Water and sewer service should be available.

Conditional Uses

According to Article V, Sec. 125-235, the purpose of the conditional use process is to allow, when desirable, uses that would not be appropriate generally or without restriction throughout the particular zoning district, but which, if controlled as to number, area, location or relation to the neighborhood, would not adversely affect the public health, safety, comfort, good order, appearance, convenience and the general welfare.

Design Review

The applicant is proposing to develop a single-family, multi-level residential unit to the height of 35 feet above grade level. The ground floor will be designated for indoor and outdoor parking. The second floor will offer a great room, raised and covered decks on the east-end, an elevated pool and spa. The third floor will offer an office, open and covered decks, and a balcony on the west end. An elevator servicing all three (3) floors will be provided. The flat roof single-family residence color features will include black and dark brown window and door frames and China white as the primary color.

Staff consider that the request is in line with other building heights in the area and takes account of potential flooding. Therefore, the proposal would not adversely affect public health, safety, comfort, good order, appearance, convenience and the general welfare of the area.

Height

Sec. 103-204 Grade, minimum floor

Minimum floor grade for residential buildings shall be 16 inches for slab construction and 24 inches for wood floor construction above the crown of the road grade.

Sec. 125-157 (1) c. 3. Calculation of height

- (i) Maximum structure height shall be calculated from the established FEMA base flood elevation to the highest point of the roof excluding non-habitable architectural design elements of the structure.

Parking

The single-family residence offers ample onsite parking, which includes enclosed garages.

Landscaping

The proposed developed land has fully grown native trees on the east-end of the property that will remain. In addition to those trees, which provides a barrier for privacy between the residence and the beach, the owner proposes to plan 20 additional trees and over 300 shrubs and groundcovers.

Traffic Impact Statement

The single-family residence will have no negative impact on the traffic.

Lighting

The exterior of the home will consist of eight (8) marker lights and six (6) LED path lights. The lights will be placed surrounding the home, providing a well illuminated and secure outdoor experience.

Technical Review Committee

All affected departments have reviewed the proposed Conditional Use: With New Construction with regard to the requirements of the City Code. Findings from the review by corresponding departments and the associated responses by the applicant are provided with the staff's supporting documents.

Property Owner Response Summary

A total of 50 notifications of the proposal were mailed to the owners of property located within 500 feet of the subject property. As of September 12, 2025, there have been two (2) response by adjacent property owners regarding the request. An update will be provided to the City Commission at the public hearing.

Planning Board Recommendation

The Planning Board, at their September 8, 2025, meeting, voted 7-0 to recommend approval of the request with the three (3) conditions:

1. Driveway construction shall comply with the City of Fort Pierce Code of Ordinances Standard Driveway Detail and be comprised of concrete brick pavers or concrete per Section 32-9
2. Prior to issuance of final certificate of occupancy, the City issued Landscape Maintenance Agreement shall be notarized and submitted for filing
3. The proposed landscape plan has improvements including trees within the City's right-of-way. Acknowledgement that any capital improvements deemed necessary by the city; homeowner's landscape other than sod will be removed without replacement.

Staff Recommendation:

The proposed application meets the minimum standards of the City's Code Section 125-235. Therefore, Staff recommends that the City Commission **APPROVE** the subject Conditional Use: With New Construction subject to the noted three Conditions, **in addition to condition:**

4. During the turtle nesting and hatching season, from March 1 through October 31, all exterior artificial light fixtures shall be mounted as low as feasibly possible and shielded so that the source of

light is not directly visible from the beach and does not directly or indirectly illuminate areas seaward of the primary dune and otherwise be in compliance with Sec. 16-82 of the Code of Ordinances regulating lighting on the beach and Sea Turtle protection