

SITE DATA

EXISTING LAND USE	MXD	FLOOD ZONE	X
EXISTING ZONING	PD	UTILITY PROVIDER	FPUA
SITE ACREAGE	122.80		
PARCEL IDENTIFICATION NUMBERS	2432-211-0006-000-3, 2432-211-0005-000-6, 2432-343-0001-000-4		

60' ROW DATA	48,591 SF	1.12 AC
80' ROW DATA	65,132 SF	1.50 AC
POD 1 DATA	3,789,686 SF	87.00 AC
DWELLING UNITS	286	
DU/AC	3.3	
OPEN SPACE/PERVIOUS	20% MIN	
POD 3 DATA	824,693 SF	18.93 AC
POD 4 DATA	193,101 SF	4.43 AC
POD 5 DATA	427,983 SF	9.83 AC

OPEN SPACE CALCULATIONS		
REQUIRED (20%)	17.40 AC	
LAKES	14 AC	MINIMUM
LANDSCAPE AREA	3 AC	MINIMUM
OTHER	0.40 AC	MINIMUM

OPEN SPACE TABLE		(20% REQUIRED)
TRACT	TOTAL AREA BY USE (AC)	PROVIDED (%)
COMMON/OPEN SPACE	9.47	10.57%
RECREATION SPACE	2.51	2.80%
LANDSCAPE BUFFERS	4.47	4.99%
DRAINAGE EASEMENTS	0.77	0.86%
LME	3.94	4.39%
LAKES	14.10	15.74%
PRESERVE	3.08	3.44%
TOTAL AREA	38.34	42.79%

IMPERVIOUS SPACE TABLE		
TRACT	AREA (AC)	PROVIDED (%)
LOTS - SINGLE FAMILY	38.71	43.20%
ROADWAY ROW	12.56	14.02%
TOTAL AREA	51.27	57.21%

ASPHALT	5.44	6.07%
CONCRETE	1.16	1.30%

LEGAL DESCRIPTION

POD 1
 A PARCEL OF LAND LYING IN THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 32; THENCE ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER OF SECTION 32, NORTH 00°04'35" EAST, A DISTANCE OF 1327.48 FEET TO THE SOUTH LINE OF THE NORTH HALF OF SAID SOUTHWEST QUARTER OF SECTION 32; THENCE ALONG SAID SOUTH LINE, NORTH 89°57'34" EAST, A DISTANCE OF 50.00 FEET TO THE EAST RIGHT-OF-WAY LINE OF SELVITZ ROAD AS RECORDED IN PLAT BOOK 21, PAGES 11 AND 11A, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, SAID RIGHT-OF-WAY LINE BEING 50.00 FEET EAST OF, AS MEASURED AT RIGHT ANGLES TO, AND PARALLEL WITH THE WEST LINE OF SAID SOUTHWEST QUARTER OF SECTION 32; THENCE CONTINUE ALONG SAID SOUTH LINE, NORTH 89°57'34" EAST, A DISTANCE OF 607.47 FEET TO THE WEST LINE OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 32 AND TO THE POINT OF BEGINNING; THENCE DEPARTING SAID WEST LINE, NORTH 00°02'26" WEST, A DISTANCE OF 75.95 FEET; THENCE SOUTH 89°56'18" EAST, A DISTANCE OF 657.50 FEET TO THE EAST LINE OF THE WEST HALF OF SAID SOUTHWEST QUARTER OF SECTION 32; THENCE ALONG SAID EAST LINE, NORTH 00°01'02" WEST, A DISTANCE OF 1208.49 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF THE NORTH ST. LUCIE RIVER WATER CONTROL DISTRICT CANAL NO. 101, SAID RIGHT-OF-WAY LINE BEING 42.50 FEET SOUTH OF, AS MEASURED AT RIGHT ANGLES TO, AND PARALLEL WITH THE NORTH LINE OF SAID SOUTHWEST QUARTER OF SECTION 32; THENCE ALONG SAID SOUTH RIGHT-OF-WAY LINE, THENCE SOUTH 89°57'58" EAST, A DISTANCE OF 1287.83 FEET, TO THE WEST RIGHT-OF-WAY LINE CHRISTENSEN ROAD, SAID RIGHT-OF-WAY LINE BEING 25.00 FEET WEST OF, AS MEASURED AT RIGHT ANGLES TO, AND PARALLEL WITH THE EAST LINE OF SAID SOUTHWEST QUARTER OF SECTION 32; THENCE ALONG SAID WEST RIGHT-OF-WAY LINE, SOUTH 00°06'41" EAST, A DISTANCE OF 2559.70 FEET TO THE NORTH RIGHT-OF-WAY LINE OF THE NORTH ST. LUCIE RIVER WATER CONTROL DISTRICT CANAL NO. 102, SAID RIGHT-OF-WAY LINE BEING 46.00 FEET NORTH OF, AS MEASURED AT RIGHT ANGLES TO, AND PARALLEL WITH THE SOUTH LINE OF SAID SOUTHWEST QUARTER OF SECTION 32; THENCE ALONG SAID NORTH RIGHT-OF-WAY LINE, SOUTH 89°53'07" WEST, A DISTANCE OF 1292.03 FEET TO THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SOUTHWEST QUARTER OF SECTION 32; THENCE ALONG SAID WEST LINE, NORTH 00°01'02" WEST, A DISTANCE OF 616.88 FEET TO THE SOUTH LINE OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 32; THENCE ALONG SAID SOUTH LINE, SOUTH 89°55'21" WEST, A DISTANCE OF 658.01 FEET TO THE WEST LINE OF SAID NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 32; THENCE ALONG SAID WEST LINE, NORTH 00°01'46" EAST, A DISTANCE OF 663.31 FEET TO THE POINT OF BEGINNING.
CONTAINING: 87.00 ACRES OR 3,789,686 SQUARE FEET MORE OR LESS.

80' ROW
 A PARCEL OF LAND LYING IN THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 32; THENCE ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER OF SECTION 32, NORTH 00°04'35" EAST, A DISTANCE OF 1327.48 FEET TO THE SOUTH LINE OF THE NORTH HALF OF SAID SOUTHWEST QUARTER OF SECTION 32; THENCE ALONG SAID SOUTH LINE, NORTH 89°57'34" EAST, A DISTANCE OF 50.00 FEET TO THE EAST RIGHT-OF-WAY LINE OF SELVITZ ROAD AS RECORDED IN PLAT BOOK 21, PAGES 11 AND 11A, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, SAID RIGHT-OF-WAY LINE BEING 50.00 FEET EAST OF, AS MEASURED AT RIGHT ANGLES TO, AND PARALLEL WITH THE WEST LINE OF SAID SOUTHWEST QUARTER OF SECTION 32 AND TO THE POINT OF BEGINNING; THENCE ALONG SAID EAST RIGHT-OF-WAY LINE, NORTH 00°04'35" EAST, A DISTANCE OF 80.00 FEET; THENCE DEPARTING SAID EAST RIGHT-OF-WAY LINE, NORTH 89°57'34" EAST, A DISTANCE OF 607.30 FEET; THENCE SOUTH 00°02'26" EAST, A DISTANCE OF 80.00 FEET TO THE AFORESAID SOUTH LINE OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 32; THENCE ALONG SAID SOUTH LINE, SOUTH 89°57'34" WEST, A DISTANCE OF 607.47 FEET TO THE POINT OF BEGINNING.
CONTAINING: 1.115 ACRES OR 48,591 SQUARE FEET MORE OR LESS.

60' ROW
 A PARCEL OF LAND LYING IN THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 32; THENCE ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER OF SECTION 32, NORTH 00°04'35" EAST, A DISTANCE OF 1327.48 FEET TO THE SOUTH LINE OF THE NORTH HALF OF SAID SOUTHWEST QUARTER OF SECTION 32; THENCE ALONG SAID SOUTH LINE, NORTH 89°57'34" EAST, A DISTANCE OF 50.00 FEET TO THE EAST RIGHT-OF-WAY LINE OF SELVITZ ROAD AS RECORDED IN PLAT BOOK 21, PAGES 11 AND 11A, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, SAID RIGHT-OF-WAY LINE BEING 50.00 FEET EAST OF, AS MEASURED AT RIGHT ANGLES TO, AND PARALLEL WITH THE WEST LINE OF SAID SOUTHWEST QUARTER OF SECTION 32; THENCE ALONG SAID EAST RIGHT-OF-WAY LINE, NORTH 00°04'35" EAST, A DISTANCE OF 730.47 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE ALONG SAID EAST RIGHT-OF-WAY LINE, NORTH 00°04'35" EAST, A DISTANCE OF 60.00 FEET; THENCE DEPARTING SAID EAST RIGHT-OF-WAY LINE, SOUTH 89°59'17" EAST, A DISTANCE OF 1085.50 FEET; THENCE SOUTH 00°00'43" WEST, A DISTANCE OF 60.00 FEET; THENCE NORTH 89°59'17" WEST, A DISTANCE OF 1085.57 FEET TO THE POINT OF BEGINNING.
CONTAINING: 1.495 ACRES OR 65,132 SQUARE FEET MORE OR LESS.

TRAFFIC STATEMENT

DRAINAGE STATEMENT

THE PROPOSED DRAINAGE SYSTEM WILL CONSIST OF A NETWORK OF PIPES AND CATCH BASINS INTERCONNECTING THE ROADWAYS TO THE PROPOSED ONSITE LAKES. WATER QUALITY WILL BE ACHIEVED WITHIN THE LAKE.

AS THE OVERALL PROPERTY IS DEVELOPED LAKES AND DITCHES WILL BE CONSTRUCTED TO PROVIDE SUFFICIENT ATTENUATION OF RUN-OFF AT VARIOUS STAGES OF THE PROJECT UNTIL THE OVERALL LAKE AND DRAINAGE SYSTEM IS COMPLETE.

THE PROJECT OUTFALL LOCATION IS THE NORTH ST. LUCIE WATER CONTROL DISTRICT LOCATED NORTH OF THE PROJECT SITE.

PROJECT TEAM

OWNER/CLIENT:
 SELVITZ I/II/III
 631 US HWY 1, SUITE 409
 NORTH PALM BEACH, FL 33408
 561.653.1104

AGENT/LANDSCAPE ARCHITECT/PLANNER:
 COTLEUR & HEARING, INC.
 1934 COMMERCE LANE, SUITE 1
 JUPITER, FL 33458
 561.515.4450

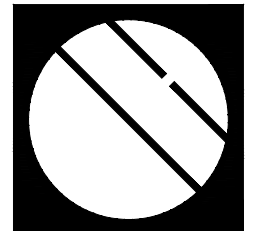
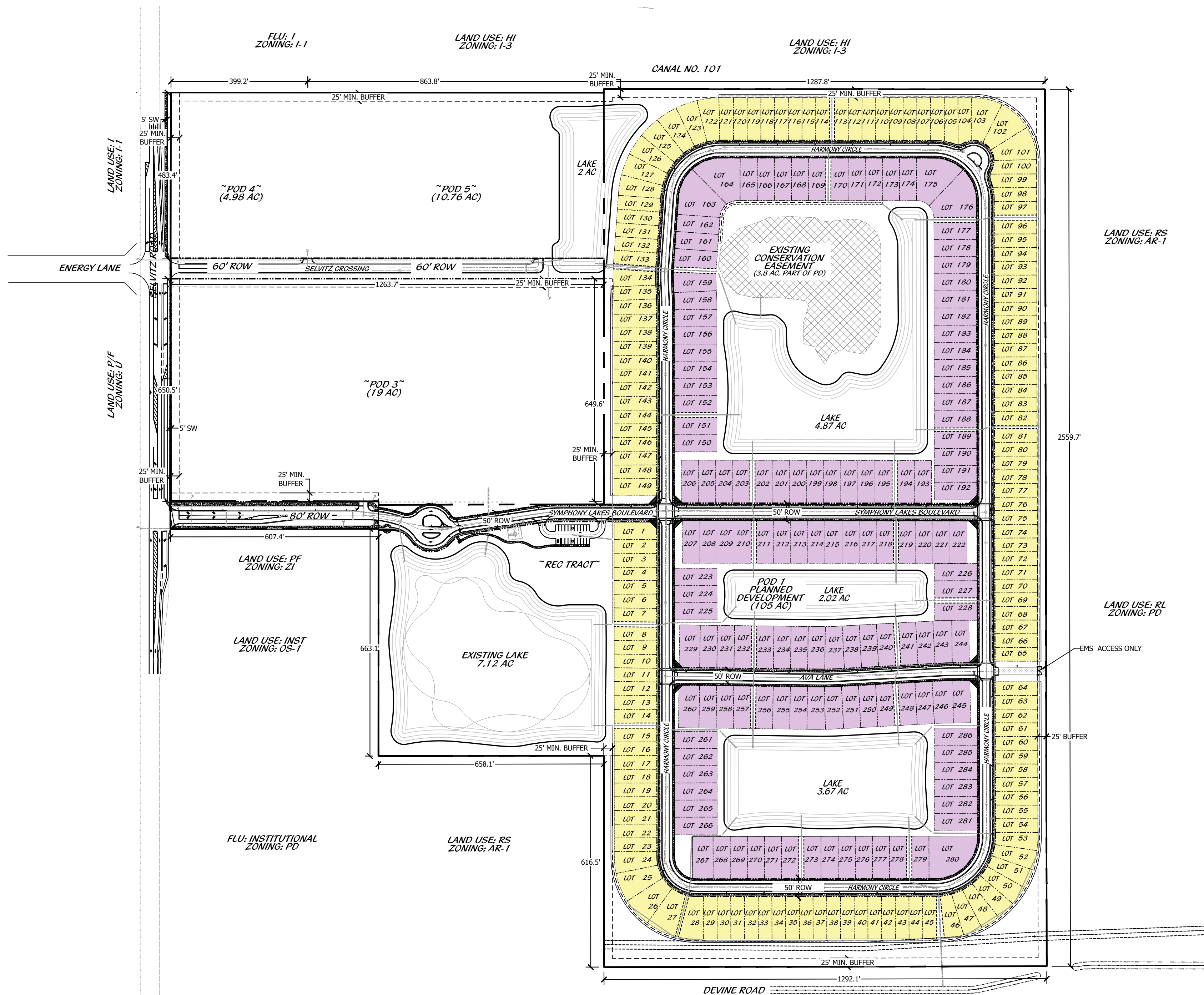
TRAFFIC:
 MACKENZIE ENGINEERING AND PLANNING
 1172 SW 30TH ST, SUITE 500
 PALM CITY, FL 34910
 772.286.8030

SURVEYOR:
 LIDBERG LAND SURVEYING
 675 WEST INDIANTOWN RD, SUITE 200
 JUPITER, FL 33458
 561.746.8454

ENVIRONMENTAL:
 ADVANCED RESTORATION ECOLOGY
 2933 NE ROBERTA ST
 JENSON BEACH, FL 34957
 772.242.7200

ENGINEER:
 MILLS SHORT & ASSOCIATES
 700 22ND PLACE
 VERO BEACH, FL 32960
 772.226.7282

TOTAL UNITS
 (40'X125') 286 DU
 (50'X125') 149 LOTS
 137 LOTS



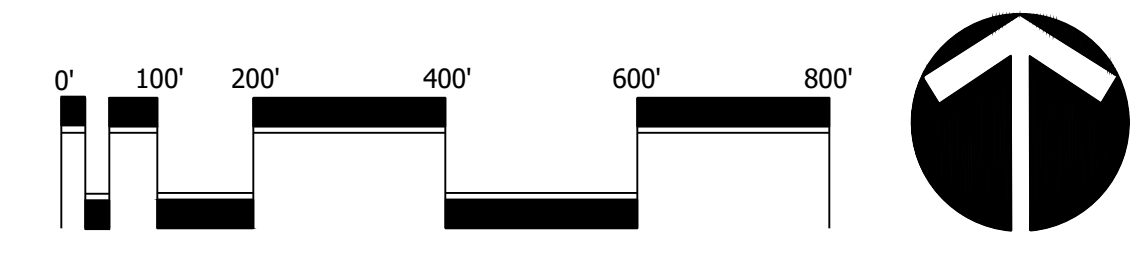
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SYMPHONY LAKES

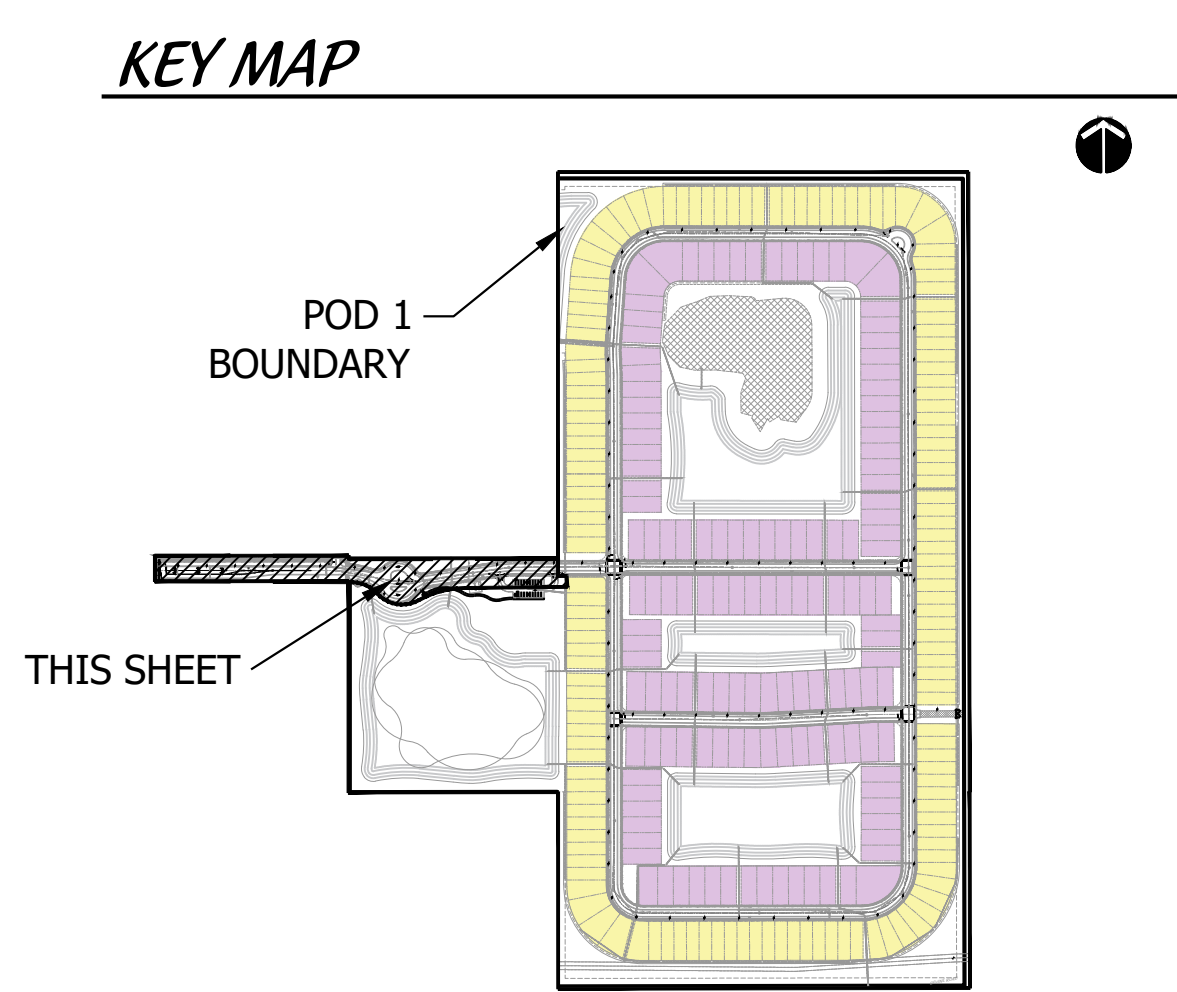
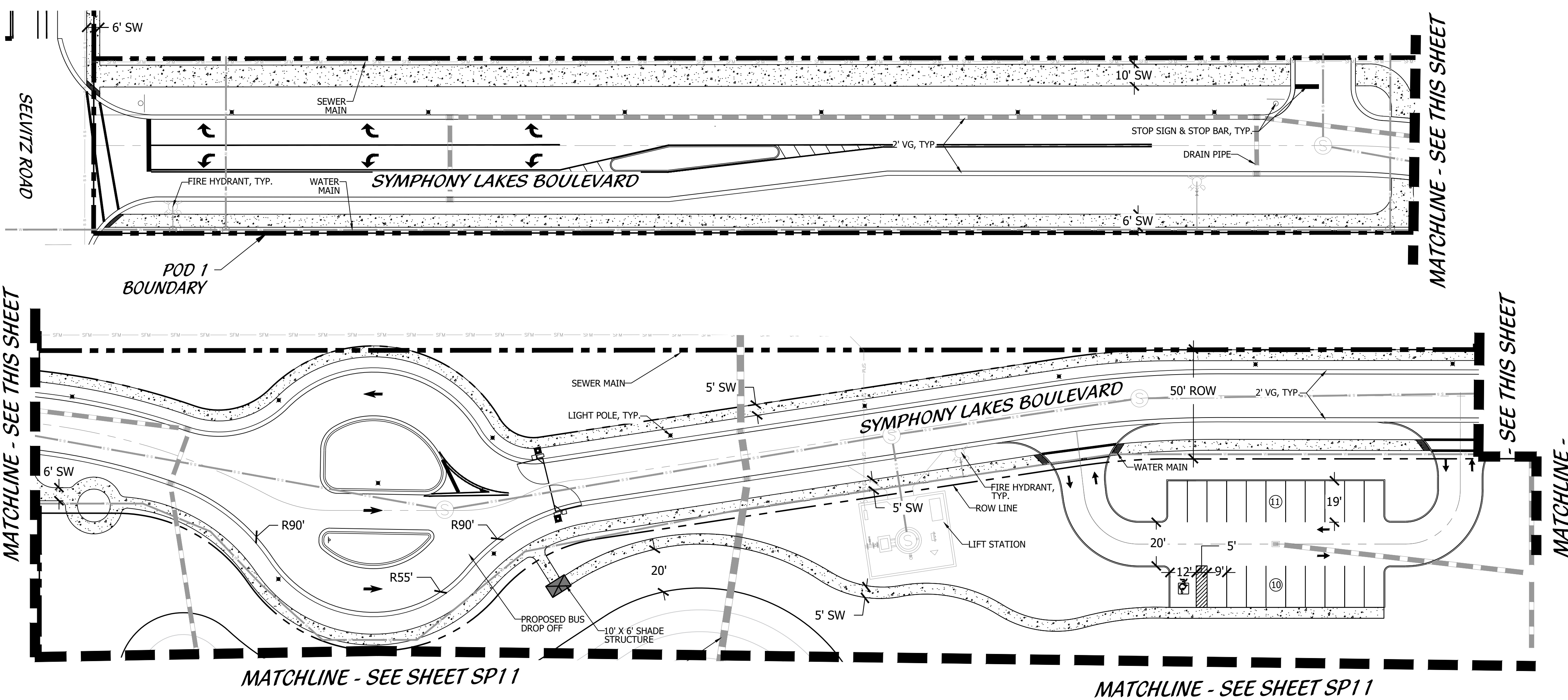
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PLANNED DEVELOPMENT FINAL SITE PLAN



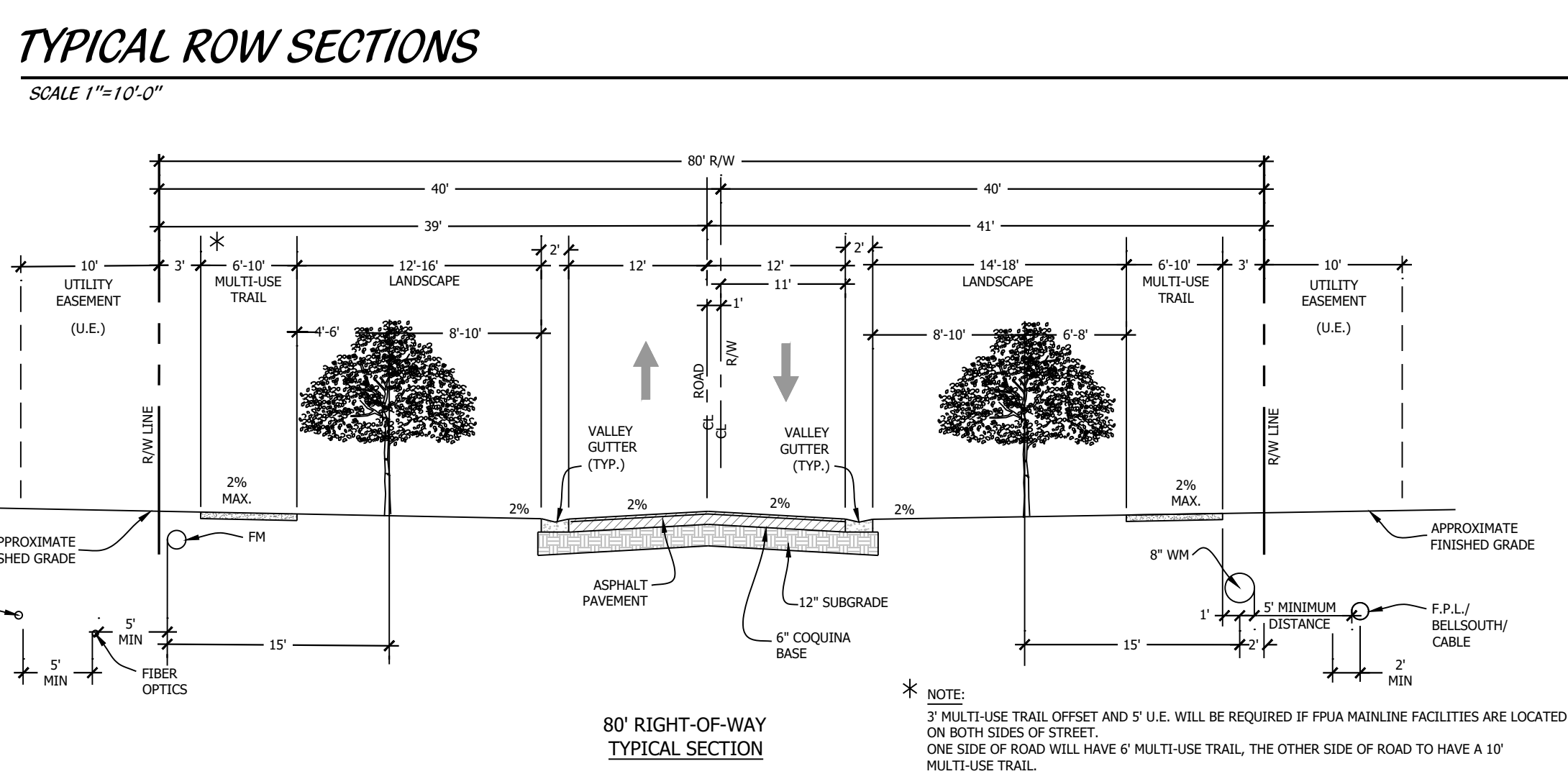
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LEGEND

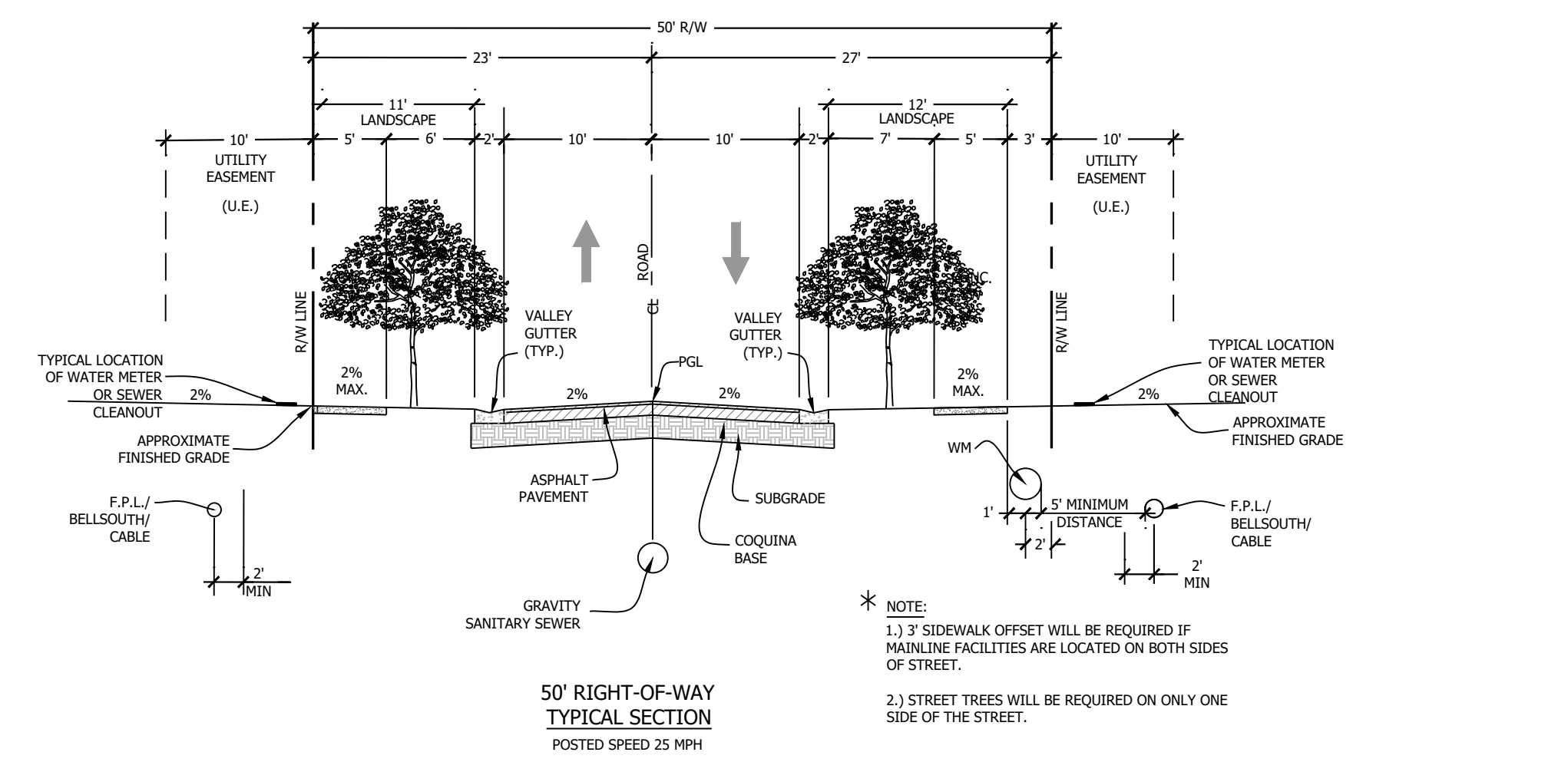
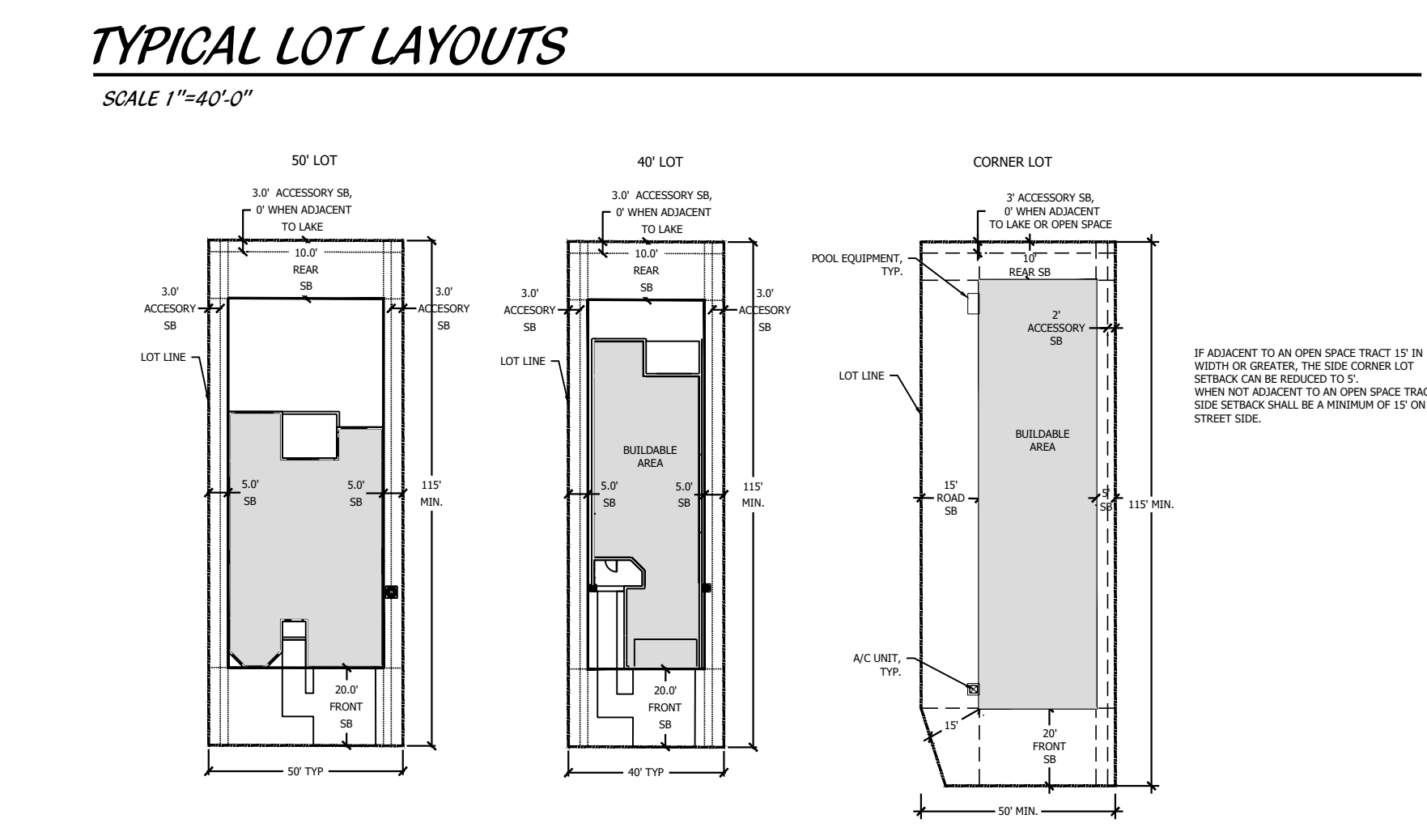
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LS	LANDSCAPE SETBACK		DO NOT ENTER
SB	SETBACK		PEDESTRIAN CROSSING
SW	SIDEWALK		STREET LIGHT
TYP	TYPICAL		PRESERVE
DE	DRAINAGE EASEMENT		



DEVELOPMENT STANDARDS DATA

Table 1. DEVELOPMENT USED AND STANDARDS

DEVELOPMENT STANDARD	SINGLE FAMILY
PRIMARY STRUCTURE	
Minimum Lot Width	40'
Minimum Lot Depth	115'
Maximum Lot Depth	None
Maximum Building Lot Coverage	80%
Maximum Impervious Lot Coverage	80%
Minimum Open Space	20%
Minimum Front Setback (Front Loaded)	18'
Minimum Front Setback (Side Loaded)	10'
Minimum Side Setback (Internal Lot) (May be 0' on a zero-lot-line provided that minimum building separation of 10' is maintained between units)	5'
Minimum Side Setback (Front-Entry)	15'
Minimum Side Setback (Corner Lot) If adjacent to open space tract 15' in width or greater	0'
Minimum Rear Setback (Corner Lot)	10'
Minimum Rear Setback (Internal Lot)	10'
ACCESSORY STRUCTURES	
Minimum Rear Setback If adjacent to open space, lake or common area tract 25' or wider	0'
Minimum Side Setback (Internal Lot)	2' (2' from property line)
Minimum Side Setback (Corner Lot)	15'



PLANNED DEVELOPMENT FINAL SITE PLAN

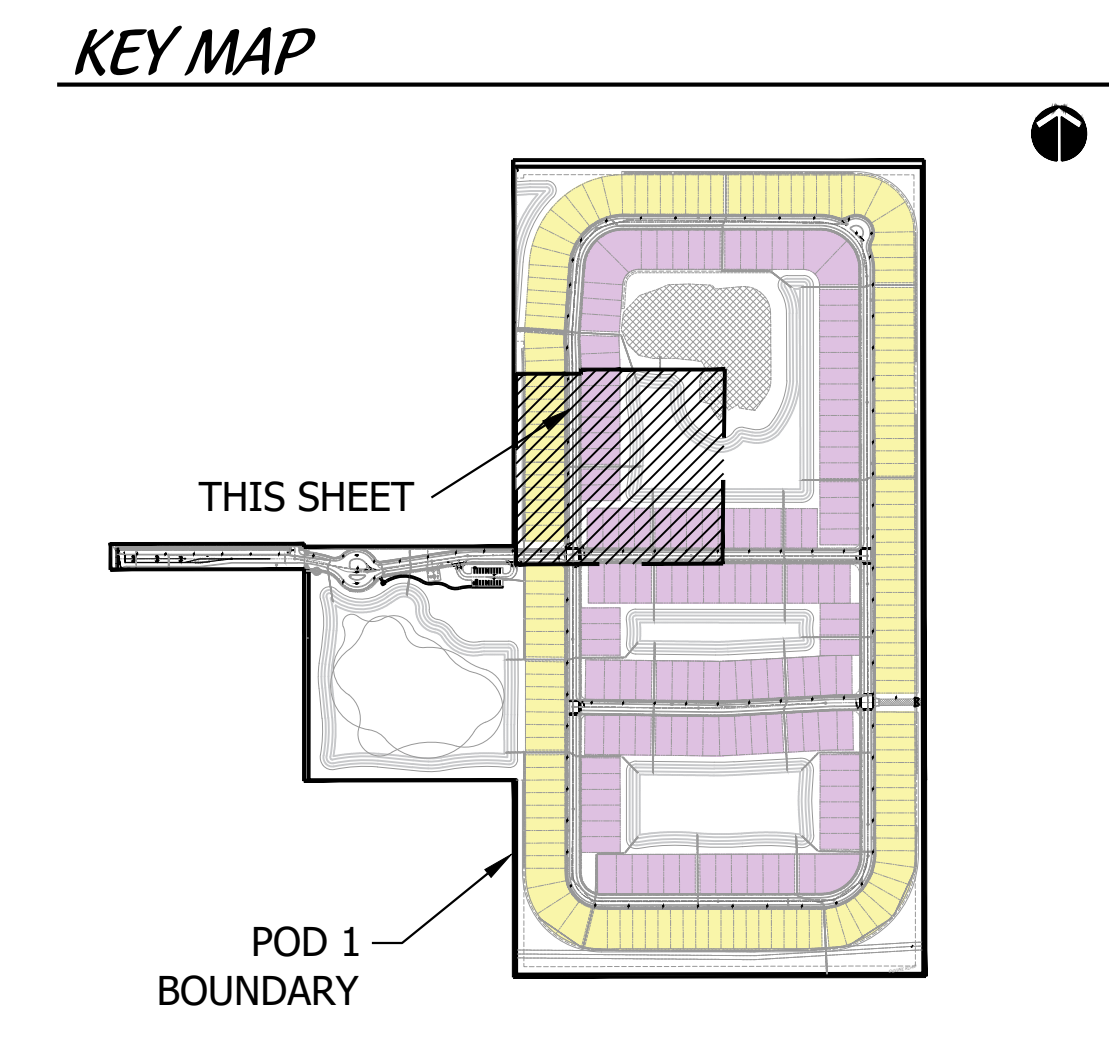
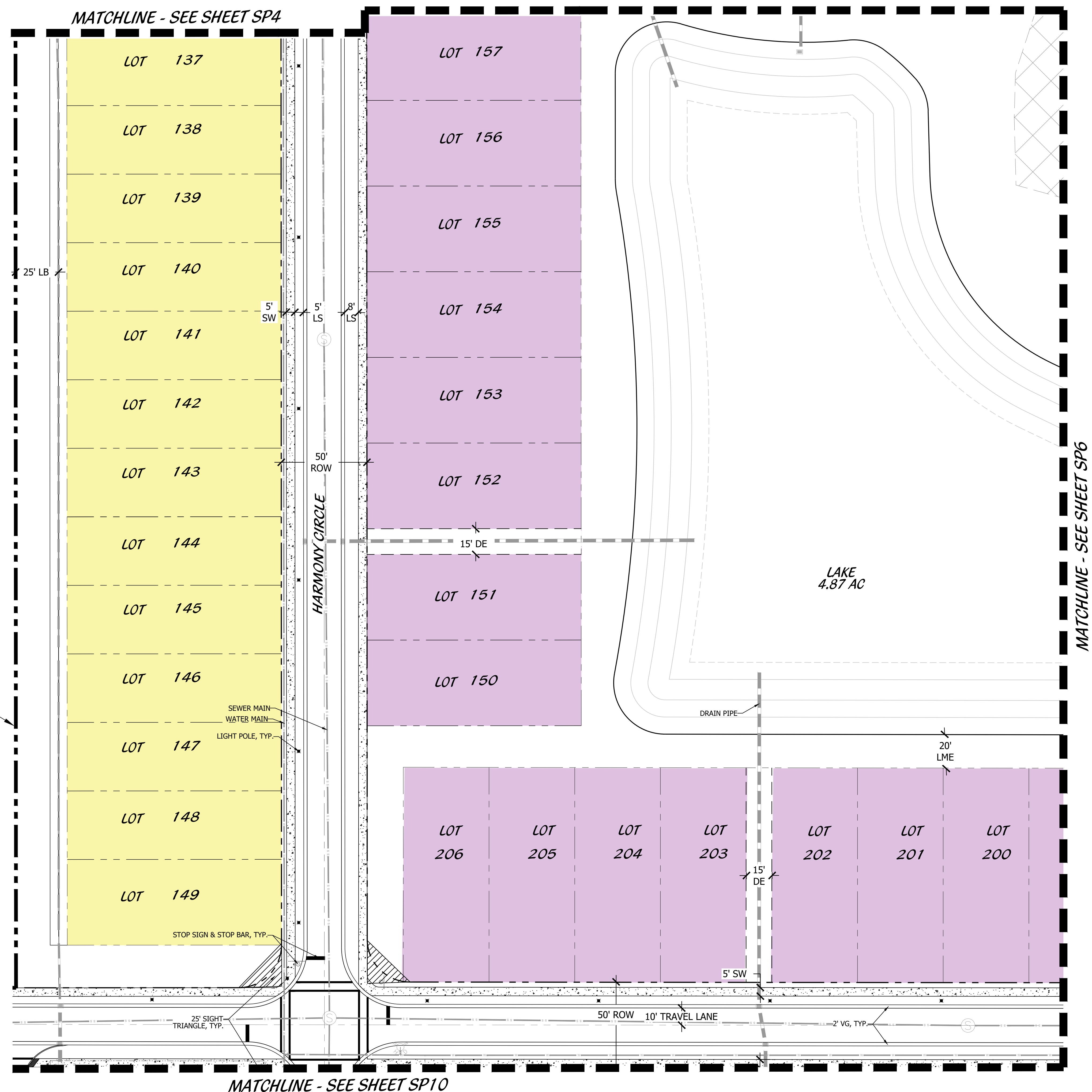
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North

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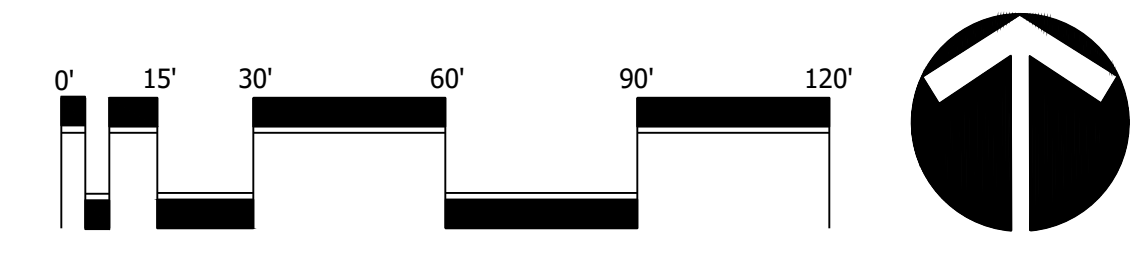
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APPROVED	LAH
JOB NUMBER	21-1214
DATE	07-21-25
REVISIONS	



LEGEND

LB	LANDSCAPE BUFFER	STOP SIGN
LS	LANDSCAPE SETBACK	DO NOT ENTER
SB	SETBACK	PEDESTRIAN CROSSING
SW	SIDEWALK	STREET LIGHT
TYP	TYPICAL	PRESERVE
DE	DRAINAGE EASEMENT	

**PLANNED DEVELOPMENT
FINAL SITE PLAN**



Scale: 1" = 30'-0"

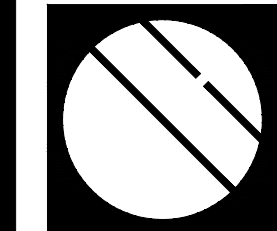
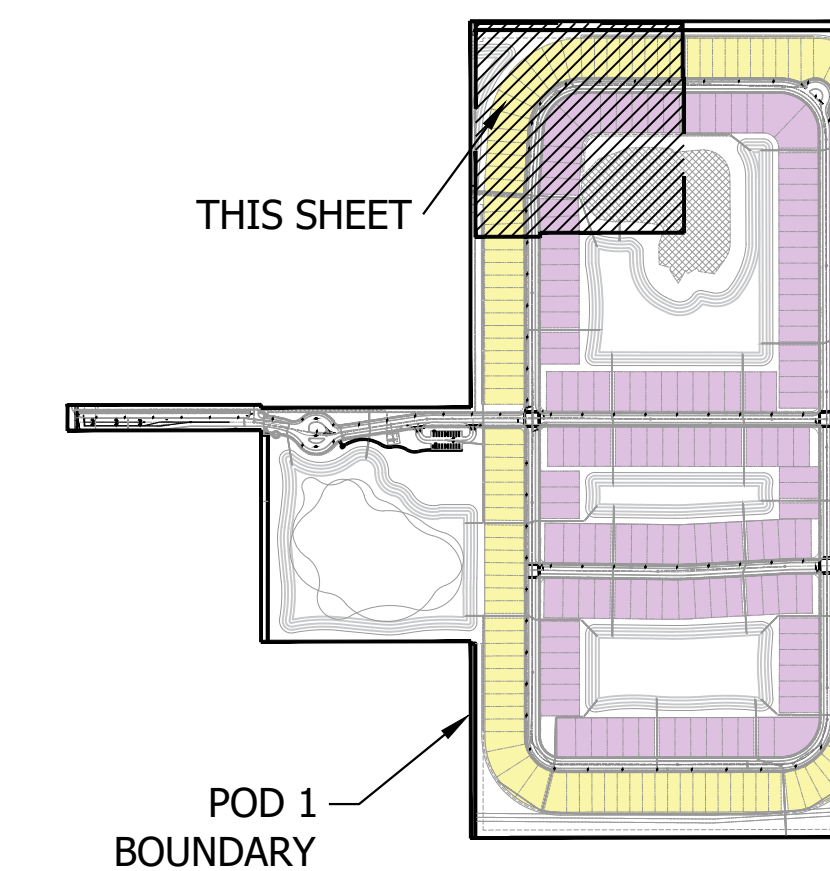
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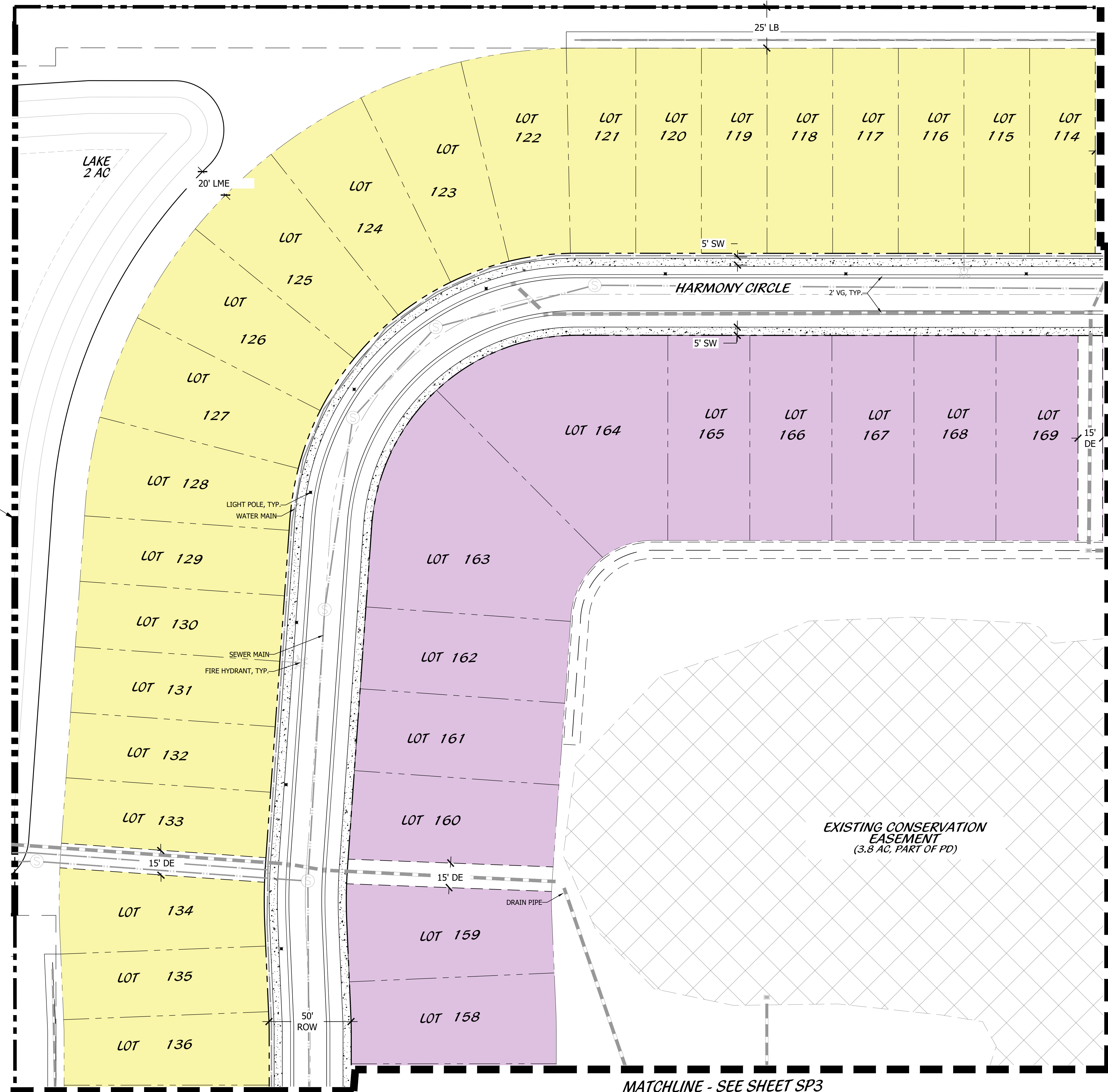
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POD 1 BOUNDARY



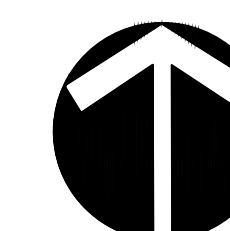
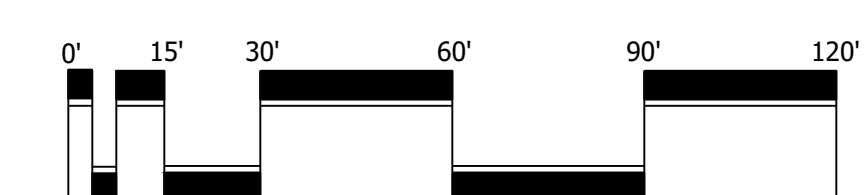
MATCHLINE - SEE SHEET SP5

MATCHLINE - SEE SHEET SP3

LEGEND

- | | | |
|-----|-------------------|---------------------|
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| SB | SETBACK | PEDESTRIAN CROSSING |
| SW | SIDEWALK | STREET LIGHT |
| TYP | TYPICAL | PRESERVE |
| DE | DRAINAGE EASEMENT | |

PLANNED DEVELOPMENT FINAL SITE PLAN



Scale: 1" = 30'-0"

North

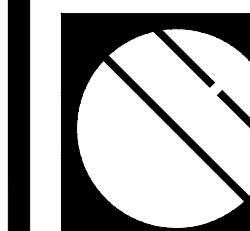
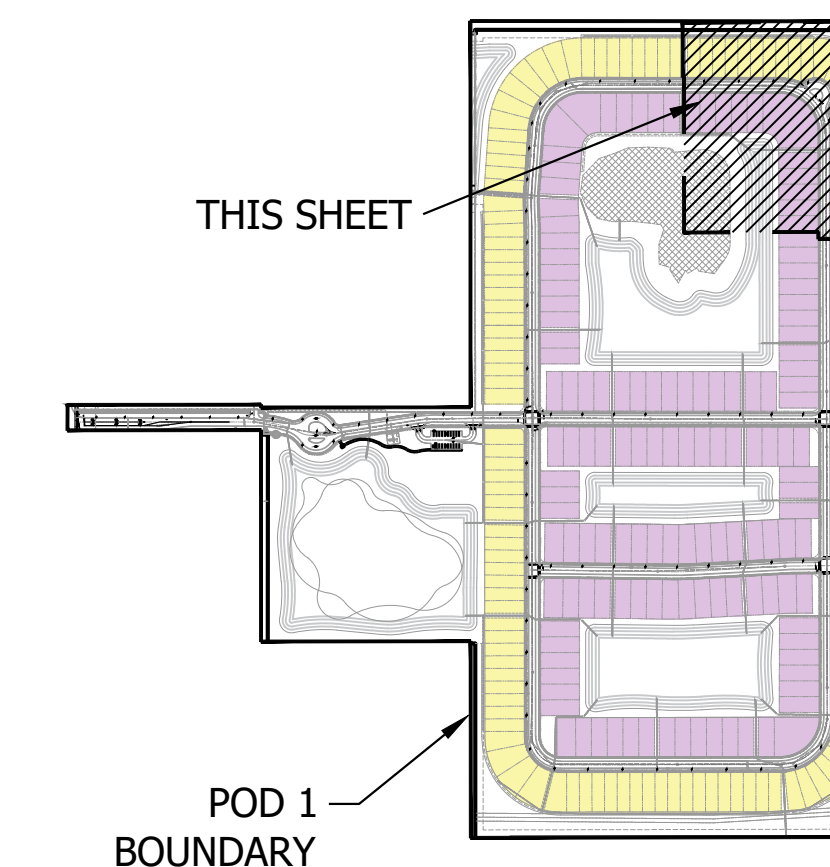
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APPROVED	LAH
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SHEET SP4 OF 12

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CANAL NO. 101

KEY MAP

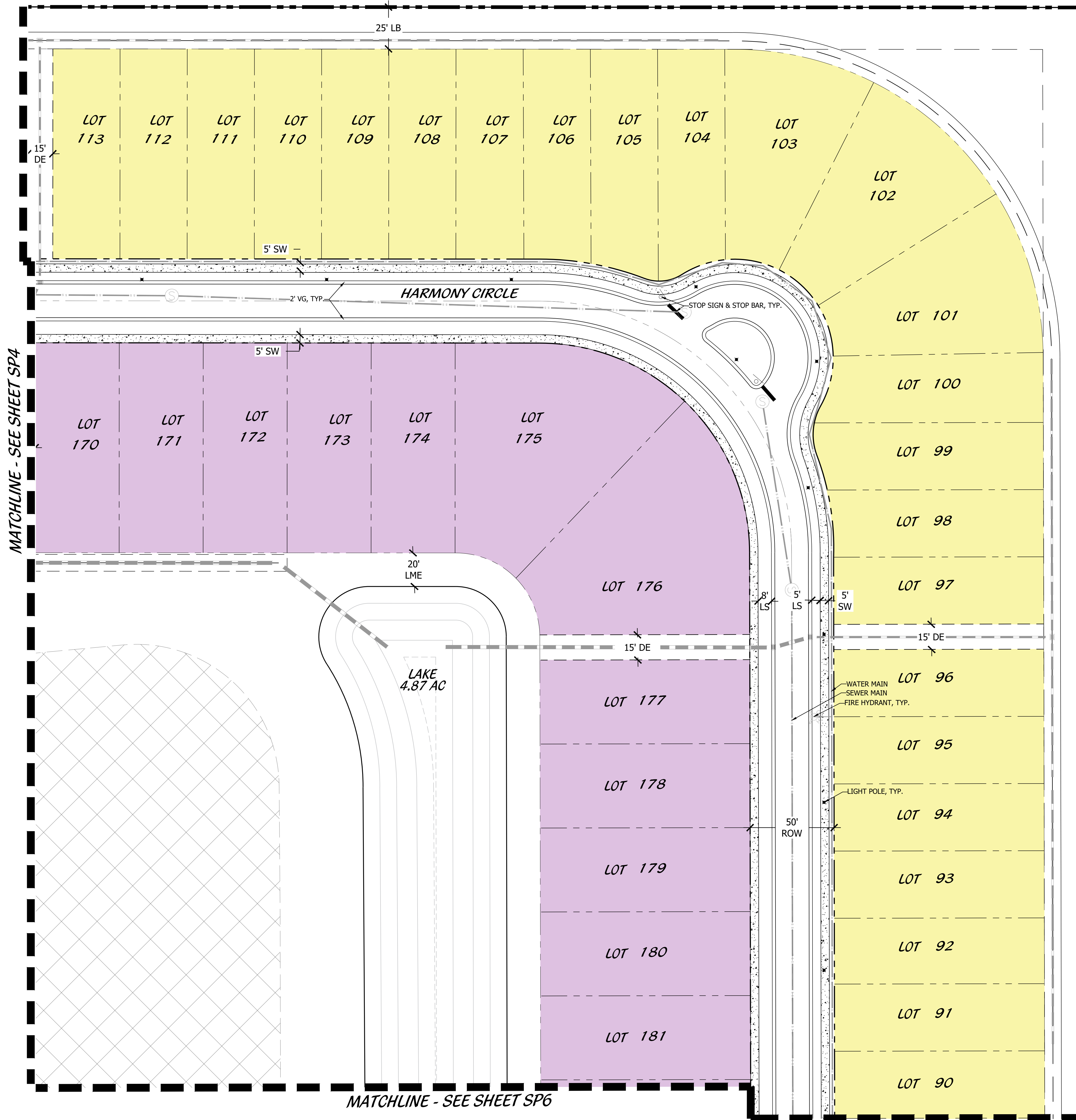


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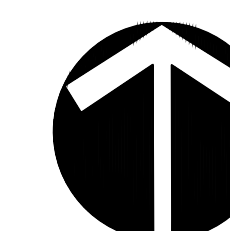
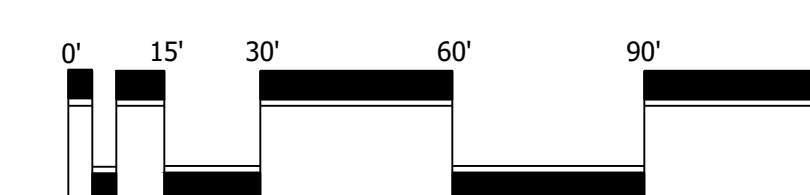
CHRISTENSEN ROAD

POD 1 BOUNDARY

LEGEND

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|-----|-------------------|--|---------------------|
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| LS | LANDSCAPE SETBACK | | DO NOT ENTER |
| SB | SETBACK | | PEDESTRIAN CROSSING |
| SW | SIDEWALK | | STREET LIGHT |
| TYP | TYPICAL | | PRESERVE |
| DE | DRAINAGE EASEMENT | | |

PLANNED DEVELOPMENT FINAL SITE PLAN



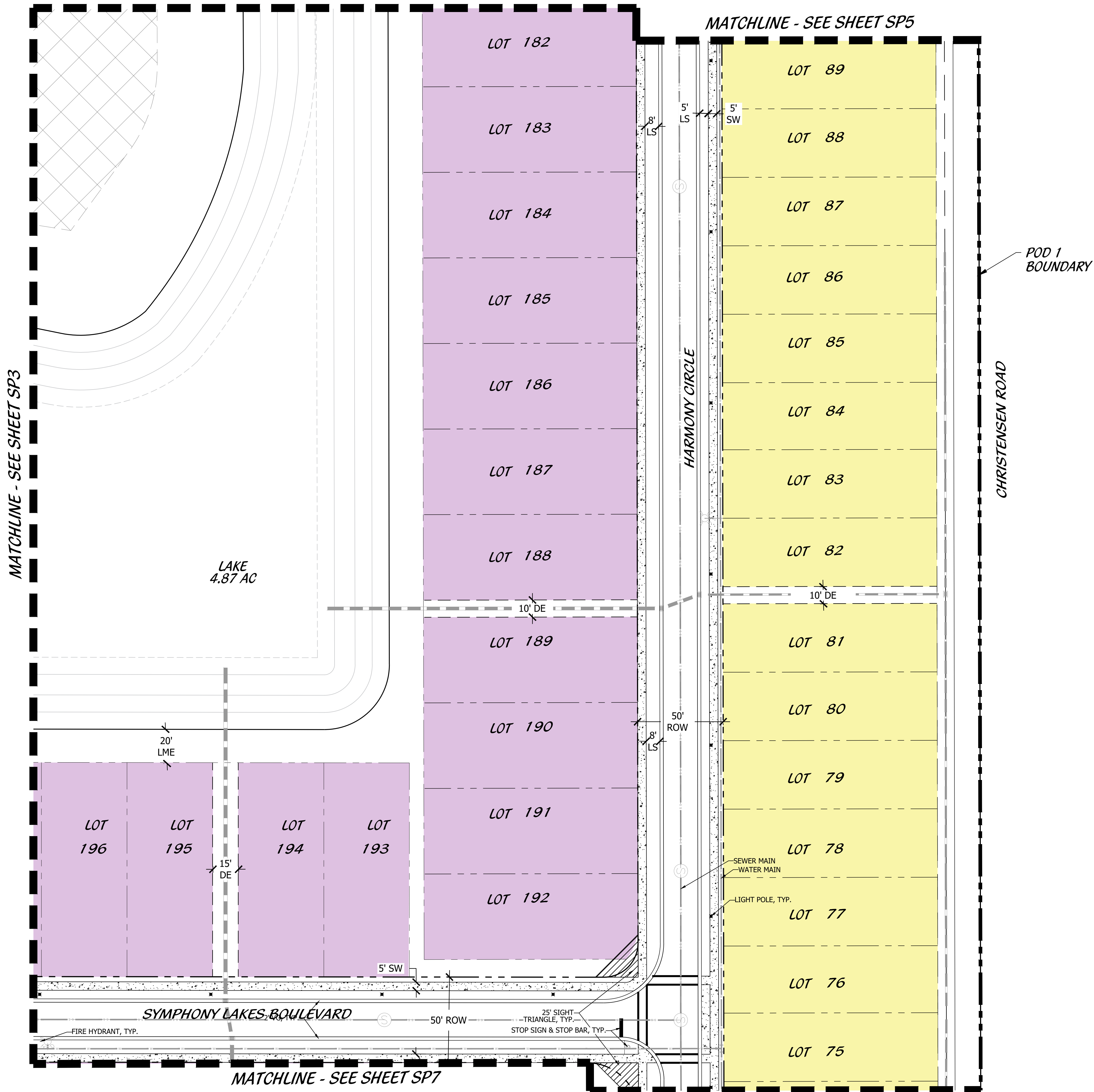
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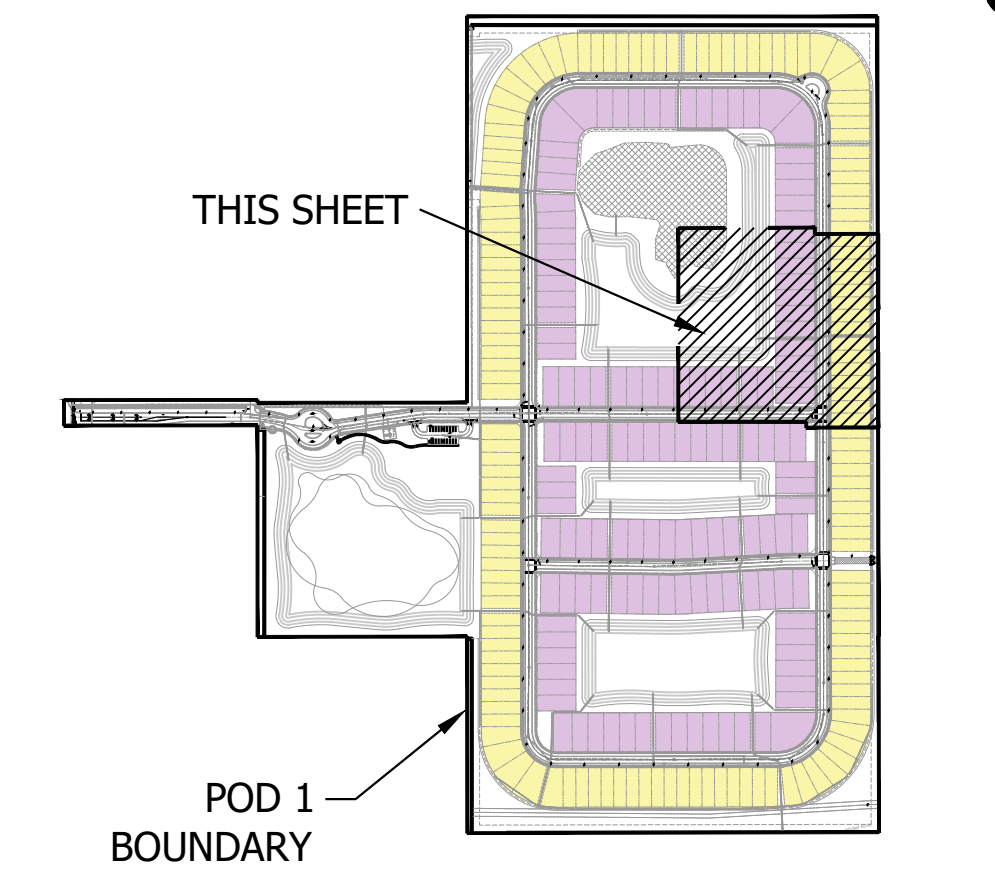
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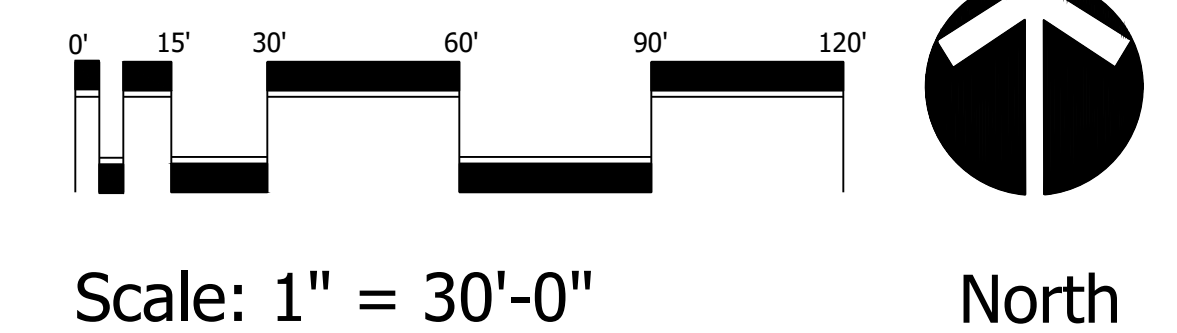
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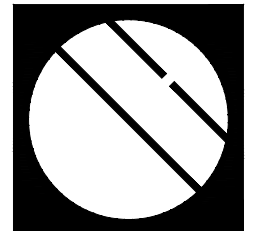
LEGEND

LB	LANDSCAPE BUFFER	STOP SIGN
LS	LANDSCAPE SETBACK	DO NOT ENTER
SB	SETBACK	PEDESTRIAN CROSSING
SW	SIDEWALK	STREET LIGHT
TYP	TYPICAL	PRESERVE
DE	DRAINAGE EASEMENT	

PLANNED DEVELOPMENT
FINAL SITE PLAN



Scale: 1" = 30'-0"



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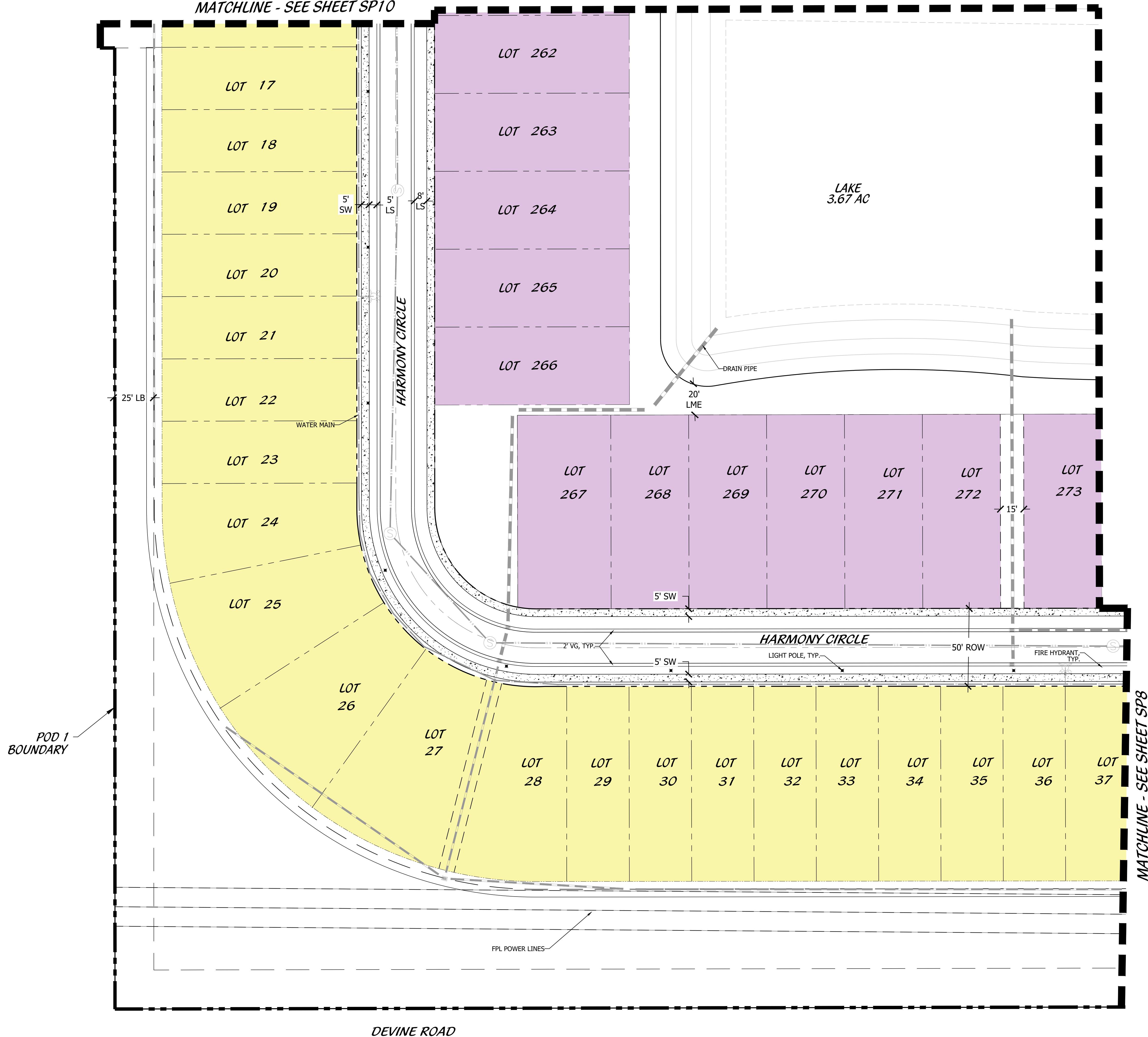
SYMPHONY LAKES

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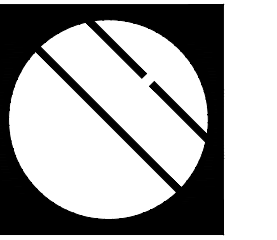
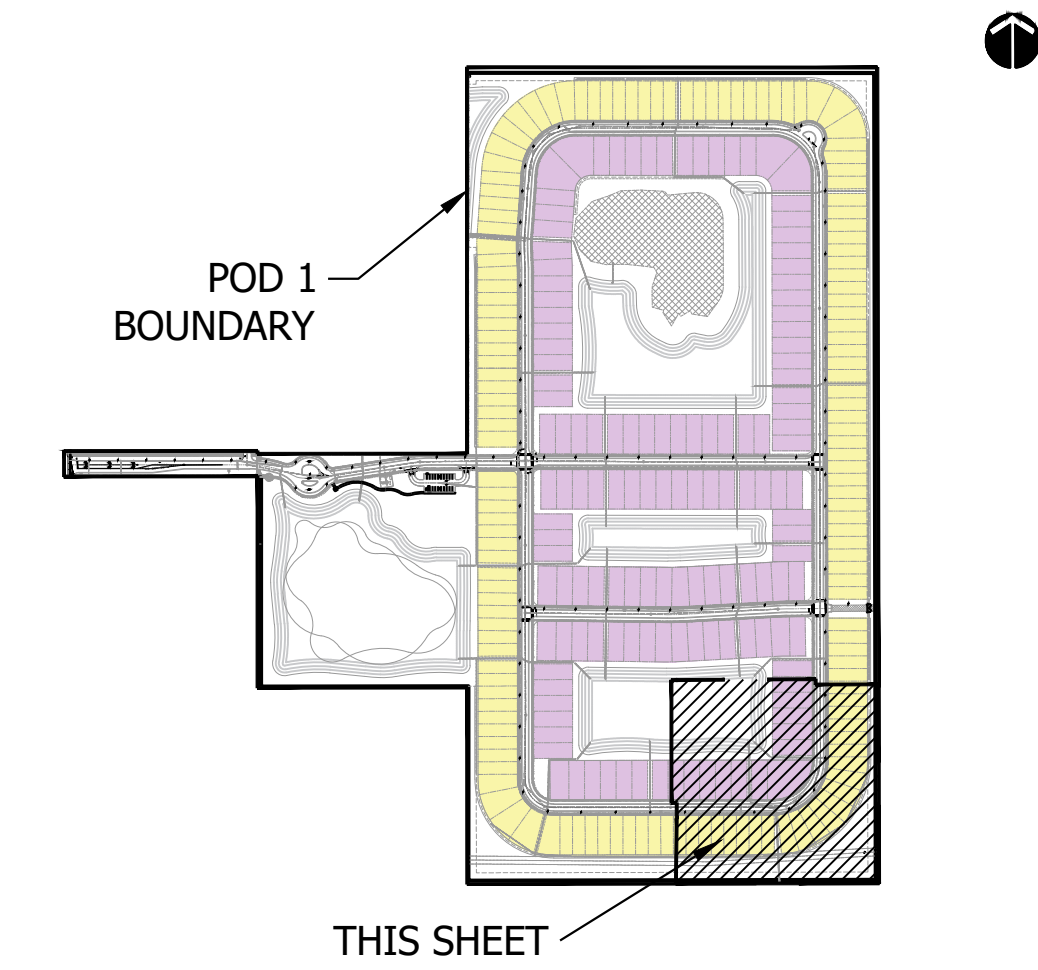
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APPROVED	LAH
JOB NUMBER	21-1214
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MATCHLINE - SEE SHEET SP10



KEY MAP



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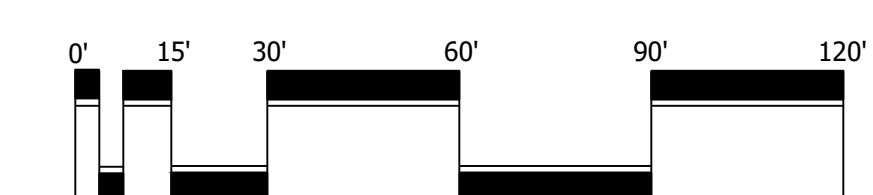
SYMPHONY LAKES

Ft. Pierce, Florida

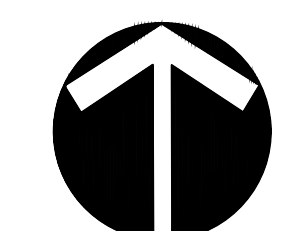
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LS	LANDSCAPE SETBACK	DO NOT ENTER
SB	SETBACK	PEDESTRIAN CROSSING
SW	SIDEWALK	STREET LIGHT
TYP	TYPICAL	PRESERVE
DE	DRAINAGE EASEMENT	

PLANNED DEVELOPMENT FINAL SITE PLAN



Scale: 1" = 30'-0"



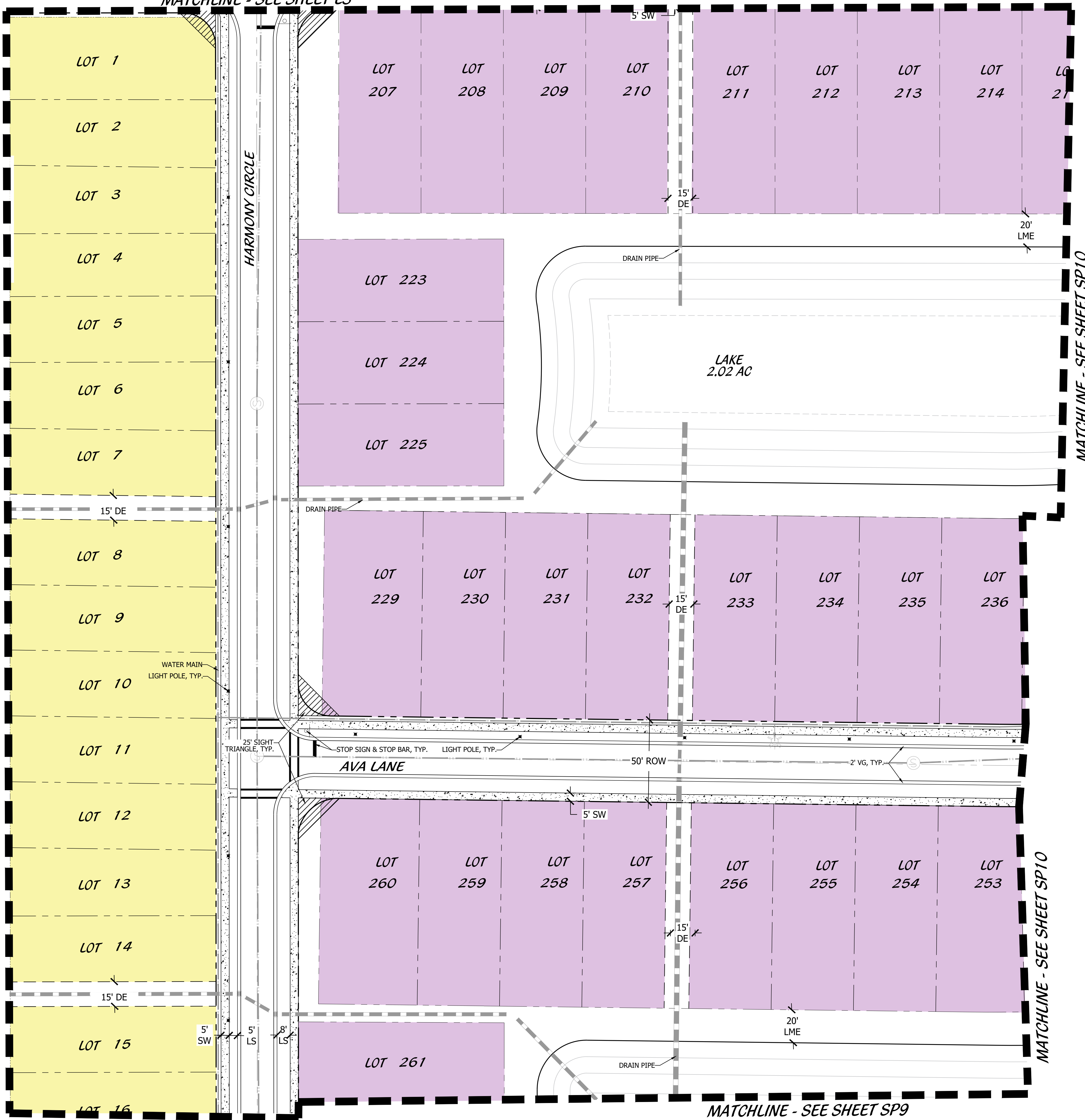
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DRAWN	PRP
APPROVED	LAH
JOB NUMBER	21-1214
DATE	07-21-25
REVISIONS	

SHEET SP9 OF 12

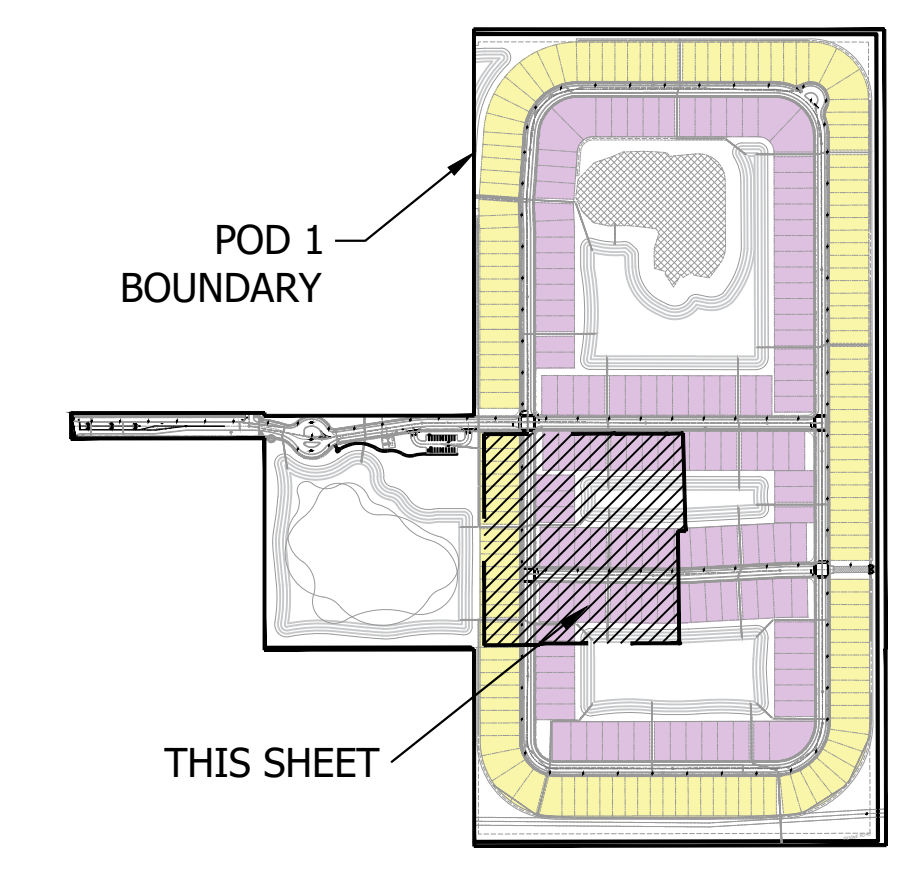
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MATCHLINE - SEE SHEET L3

MATCHLINE - SEE SHEET SP11



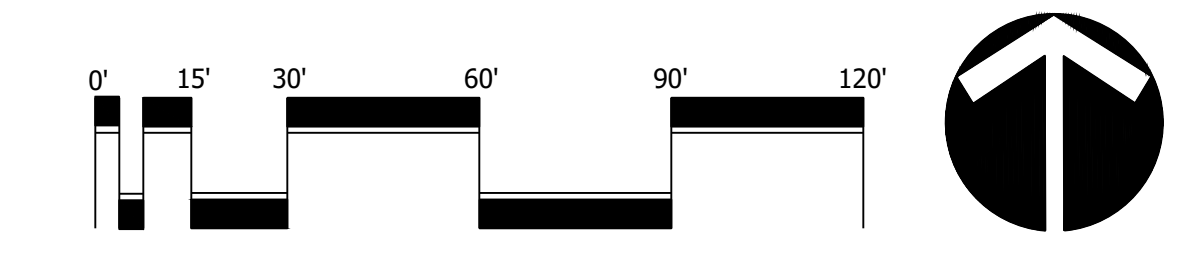
KEY MAP



LEGEND

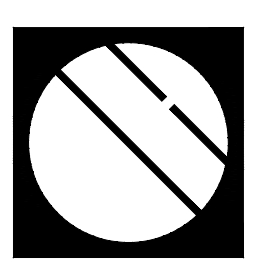
- | | | |
|-----|-------------------|---------------------|
| LB | LANDSCAPE BUFFER | STOP SIGN |
| LS | LANDSCAPE SETBACK | DO NOT ENTER |
| SB | SETBACK | PEDESTRIAN CROSSING |
| SW | SIDEWALK | STREET LIGHT |
| TYP | TYPICAL | PRESERVE |
| DE | DRAINAGE EASEMENT | |

PLANNED DEVELOPMENT FINAL SITE PLAN



Scale: 1" = 30'-0"

North



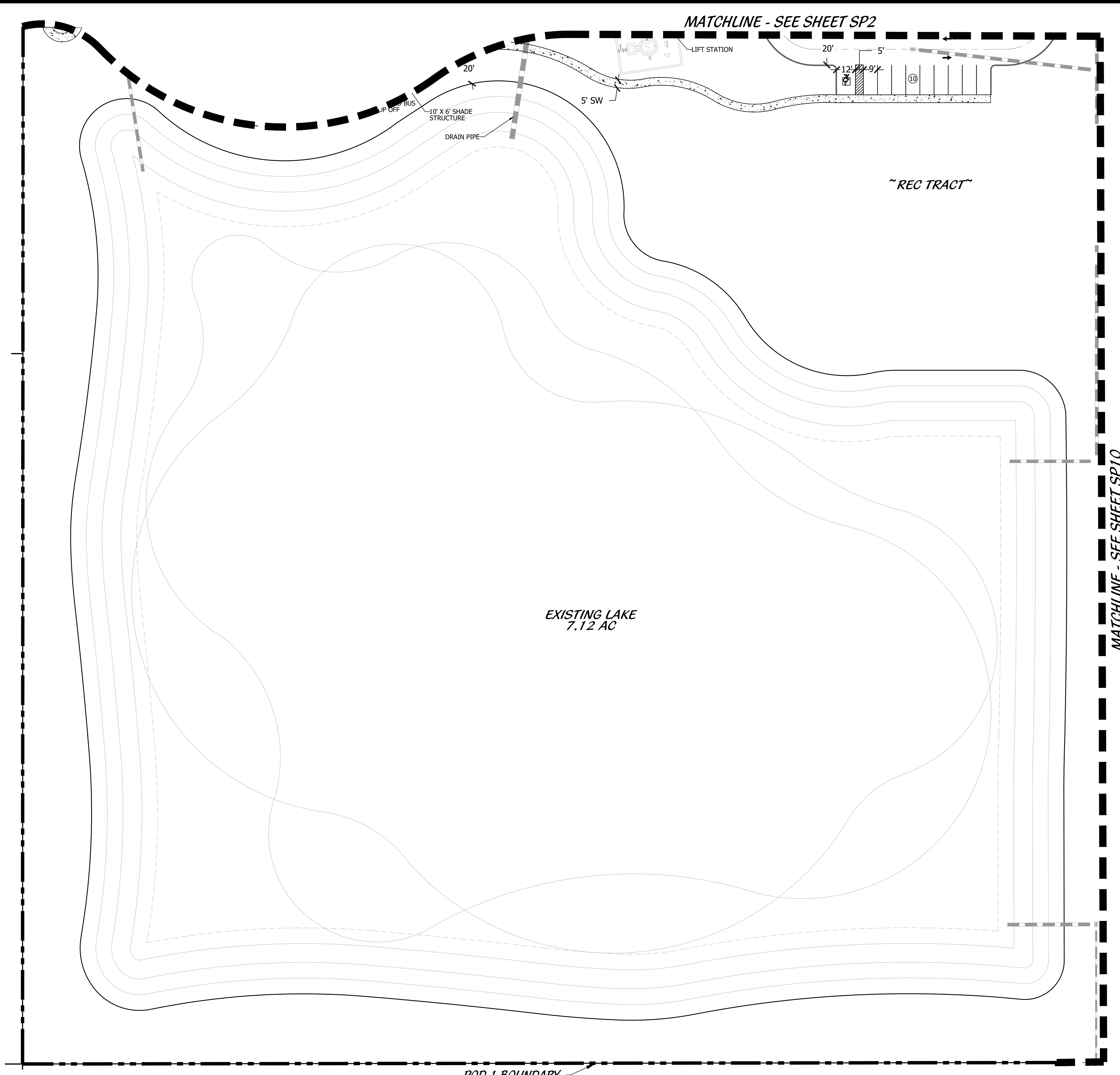
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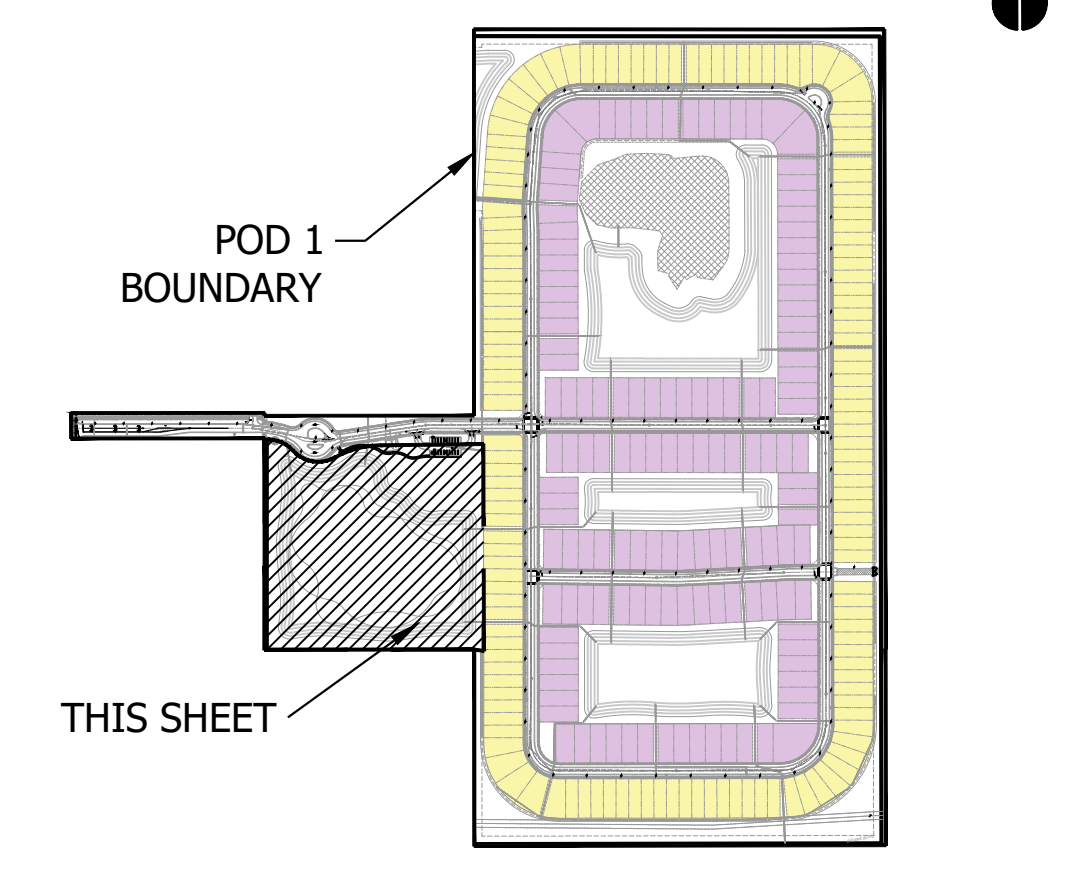
SYMPHONY LAKES

Ft. Pierce, Florida

DESIGNED	PRP
DRAWN	PRP
APPROVED	LAH
JOB NUMBER	21-1214
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REVISIONS	



KEY MAP

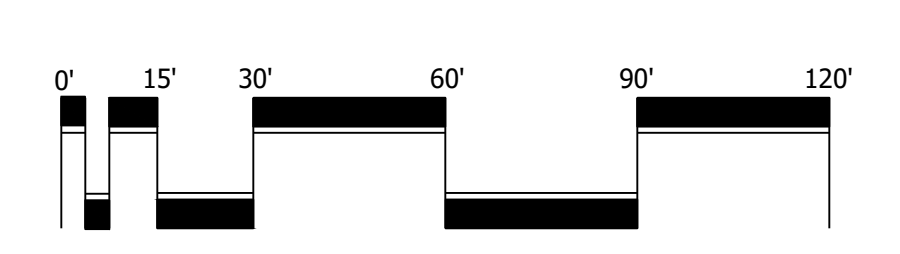


LEGEND

LB	LANDSCAPE BUFFER	STOP SIGN
LS	LANDSCAPE SETBACK	DO NOT ENTER
SB	SETBACK	PEDESTRIAN CROSSING
SW	SIDEWALK	STREET LIGHT
TYP	TYPICAL	PRESERVE
DE	DRAINAGE EASEMENT	

*NOTE:
SEPARATE SITE PLAN APPLICATION WILL BE
SUBMITTED FOR AMENITY REC TRACT 1

**PLANNED DEVELOPMENT
FINAL SITE PLAN**



Scale: 1" = 30'-0"



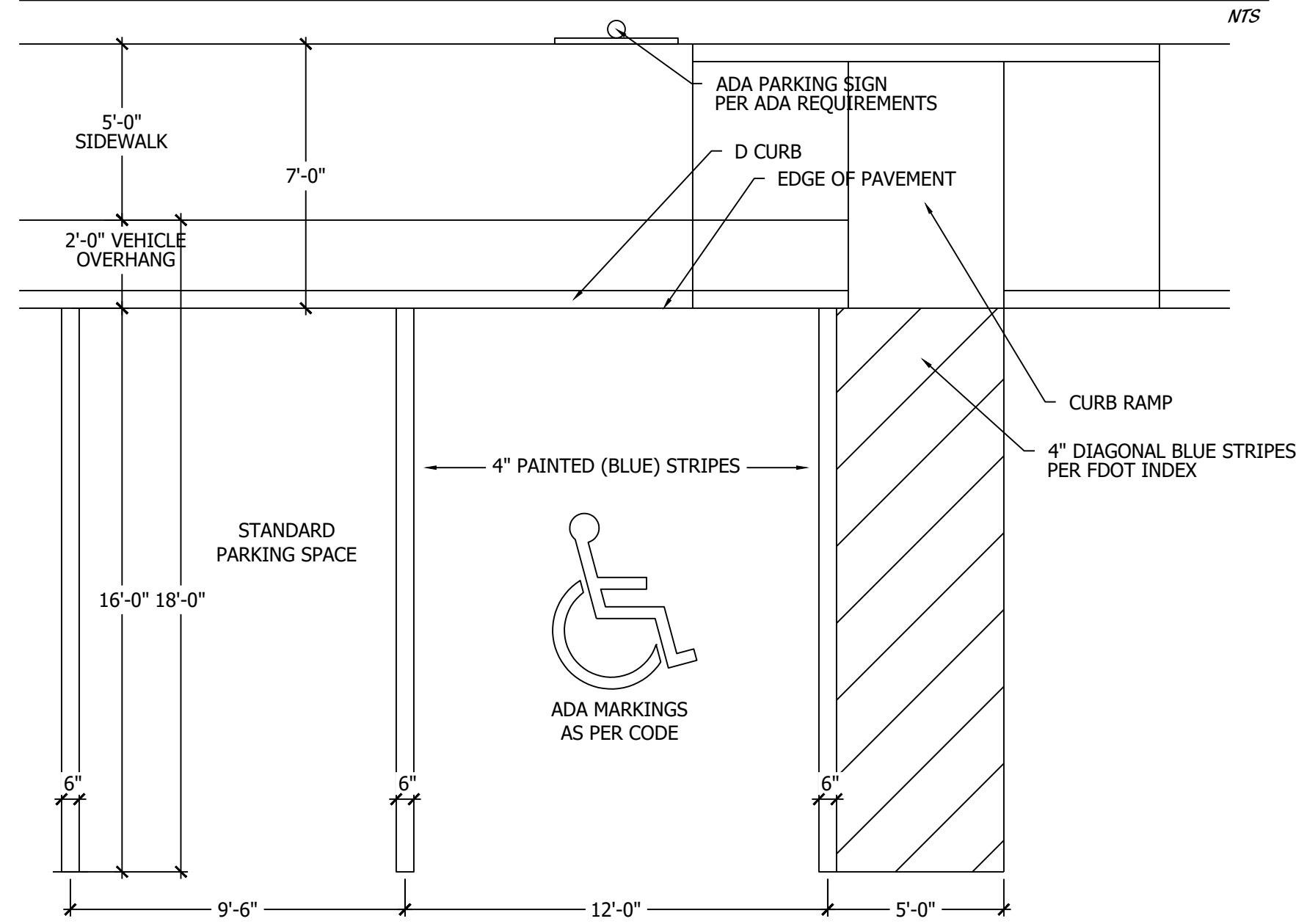
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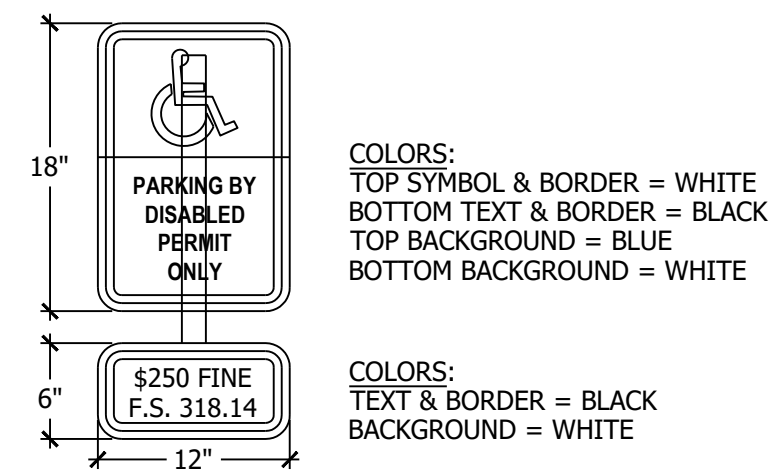
Ft. Pierce, Florida

DESIGNED	PRP
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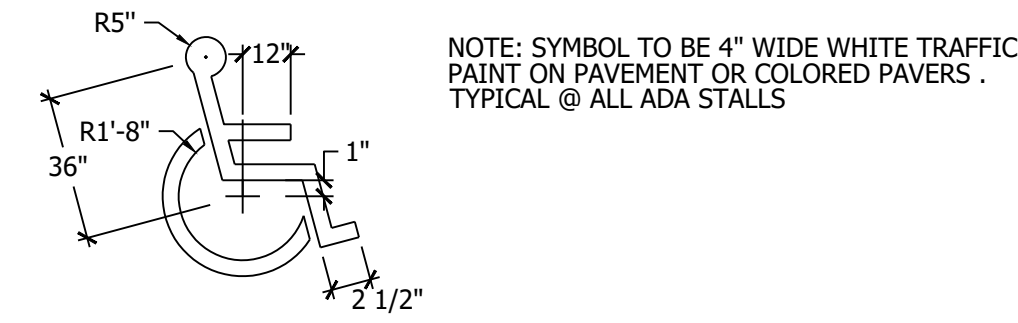
STANDARD AND ADA PARKING DETAIL



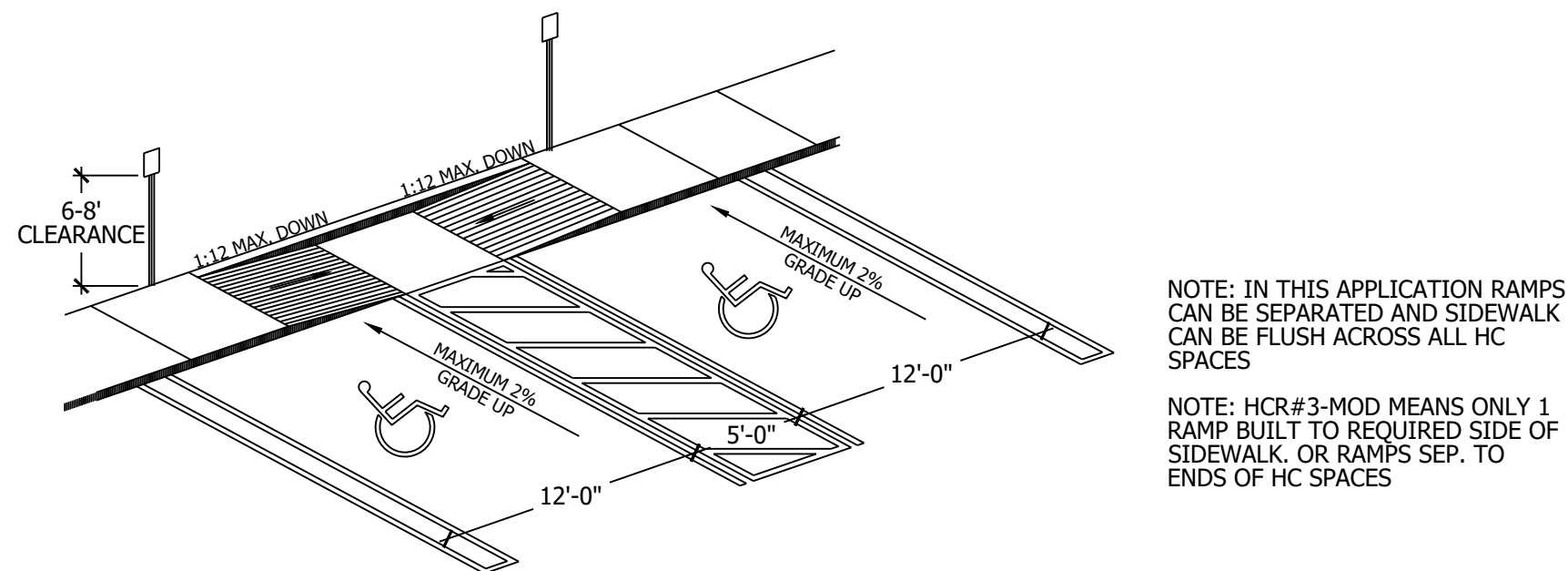
ADA SIGN DETAIL



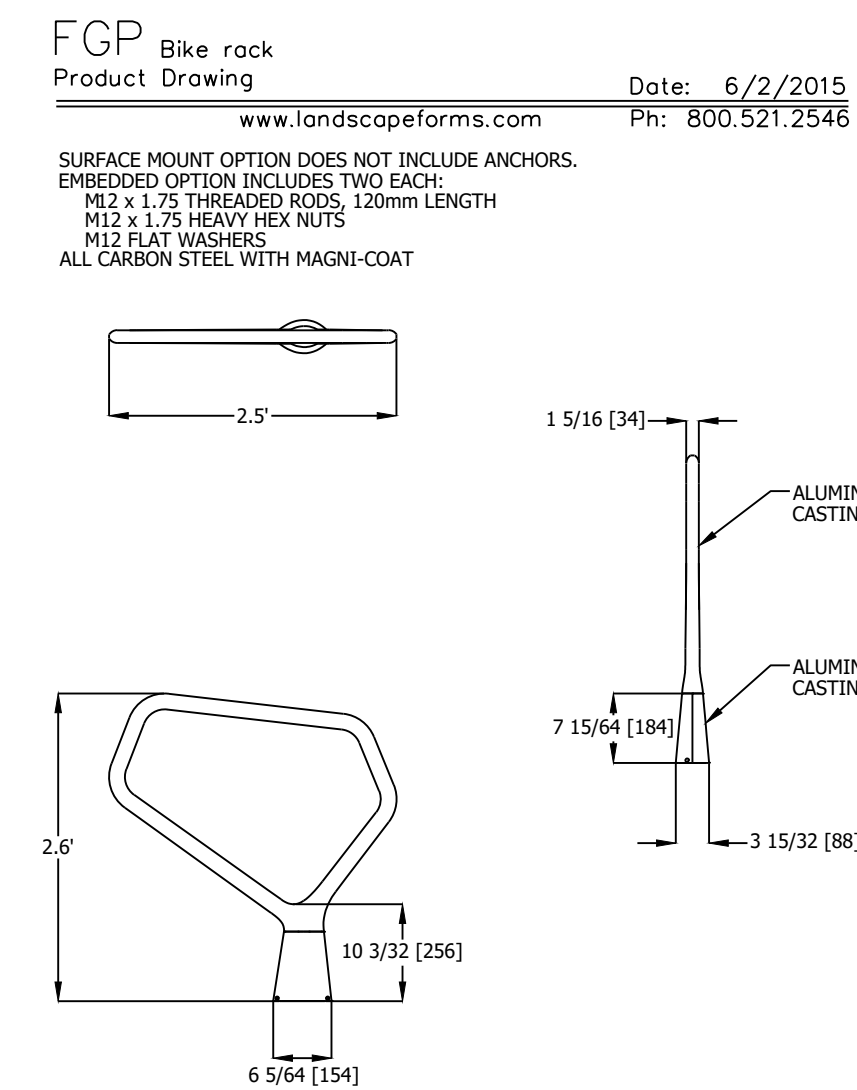
ADA SYMBOL DETAIL



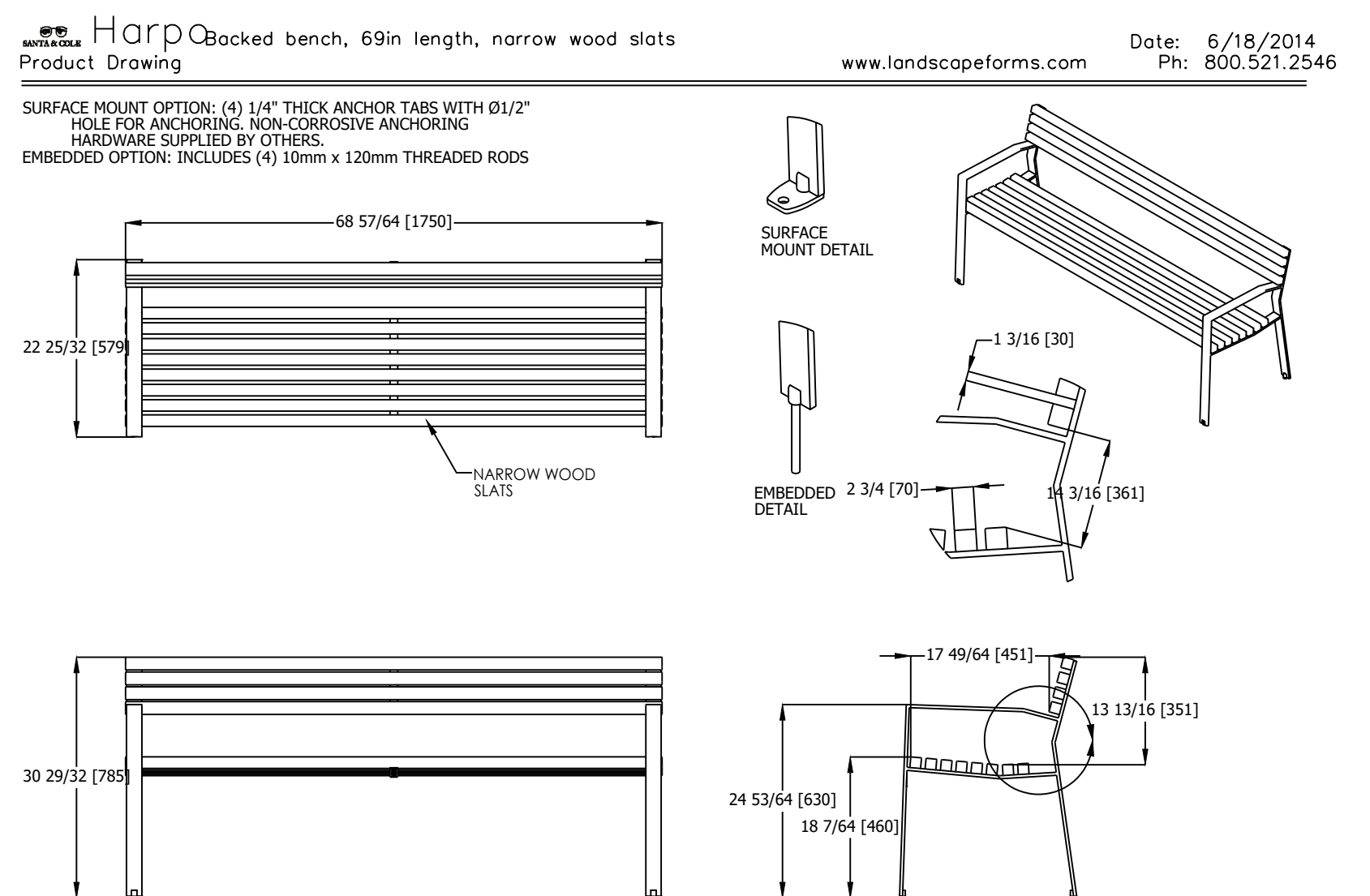
ADA RAMP DETAIL



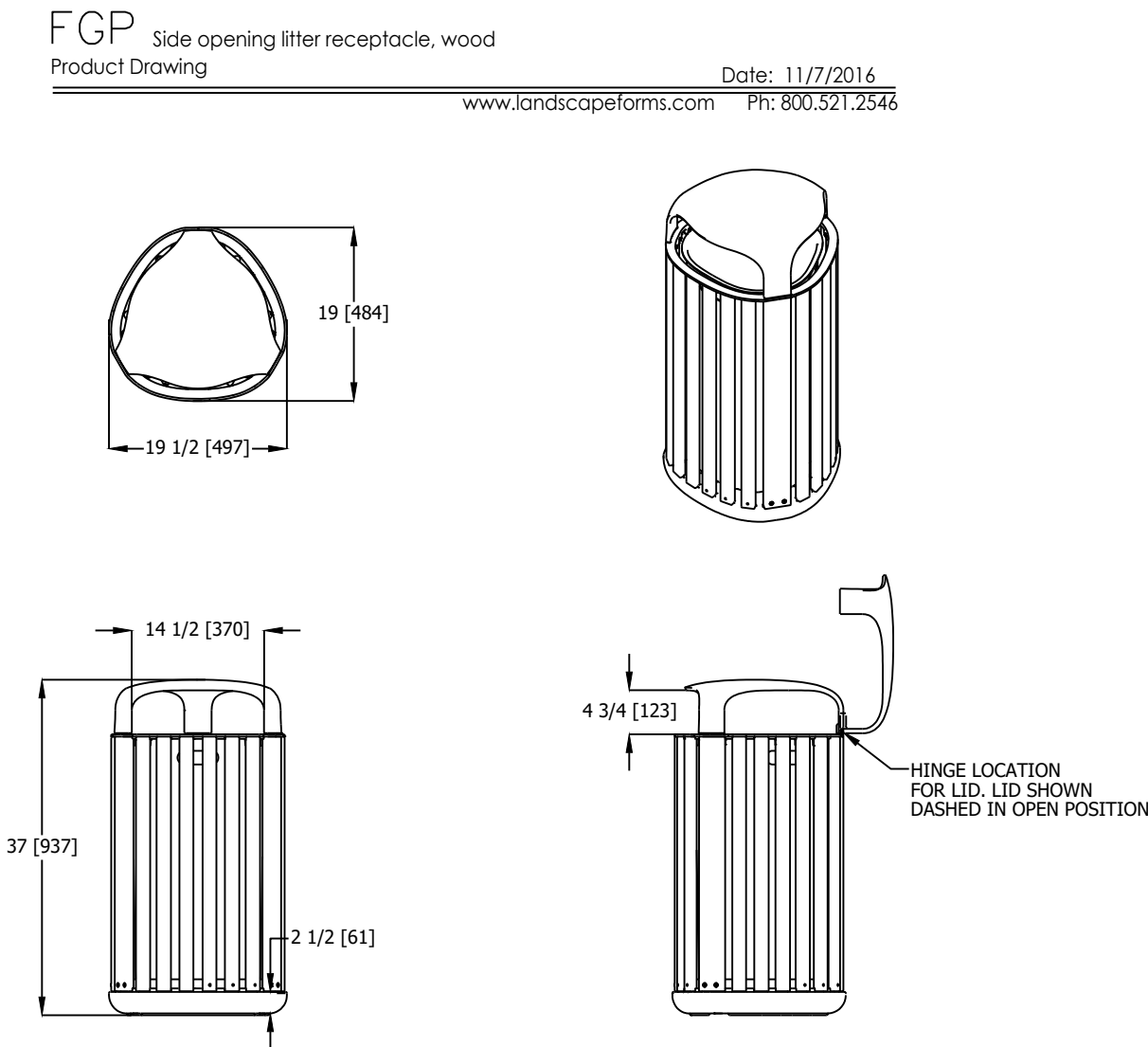
BIKE RACK DETAIL



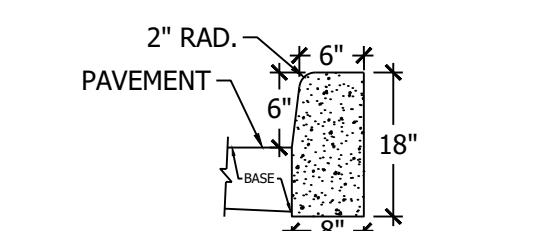
BENCH DETAIL



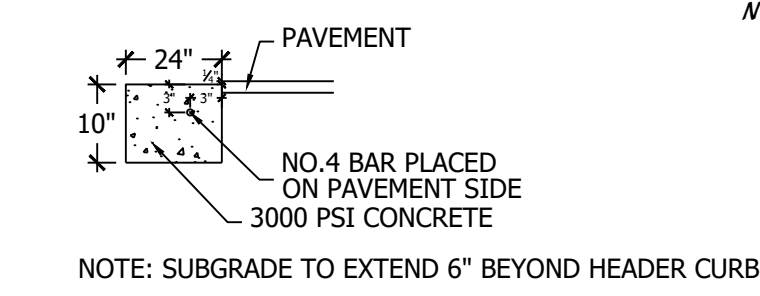
RECEPTACLE DETAIL



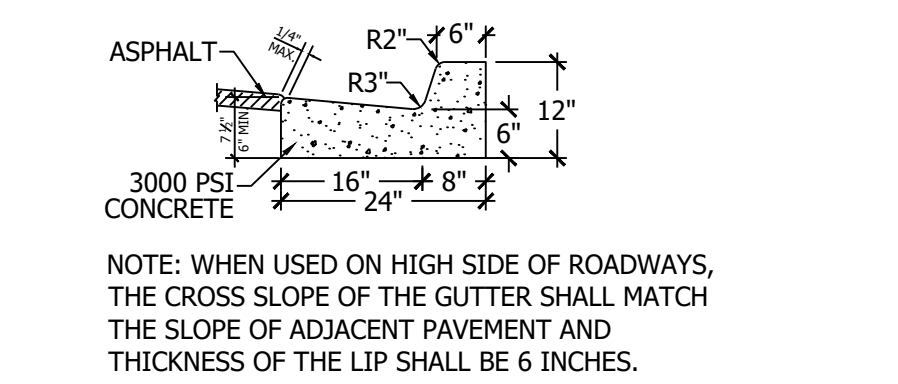
D CURB DETAIL



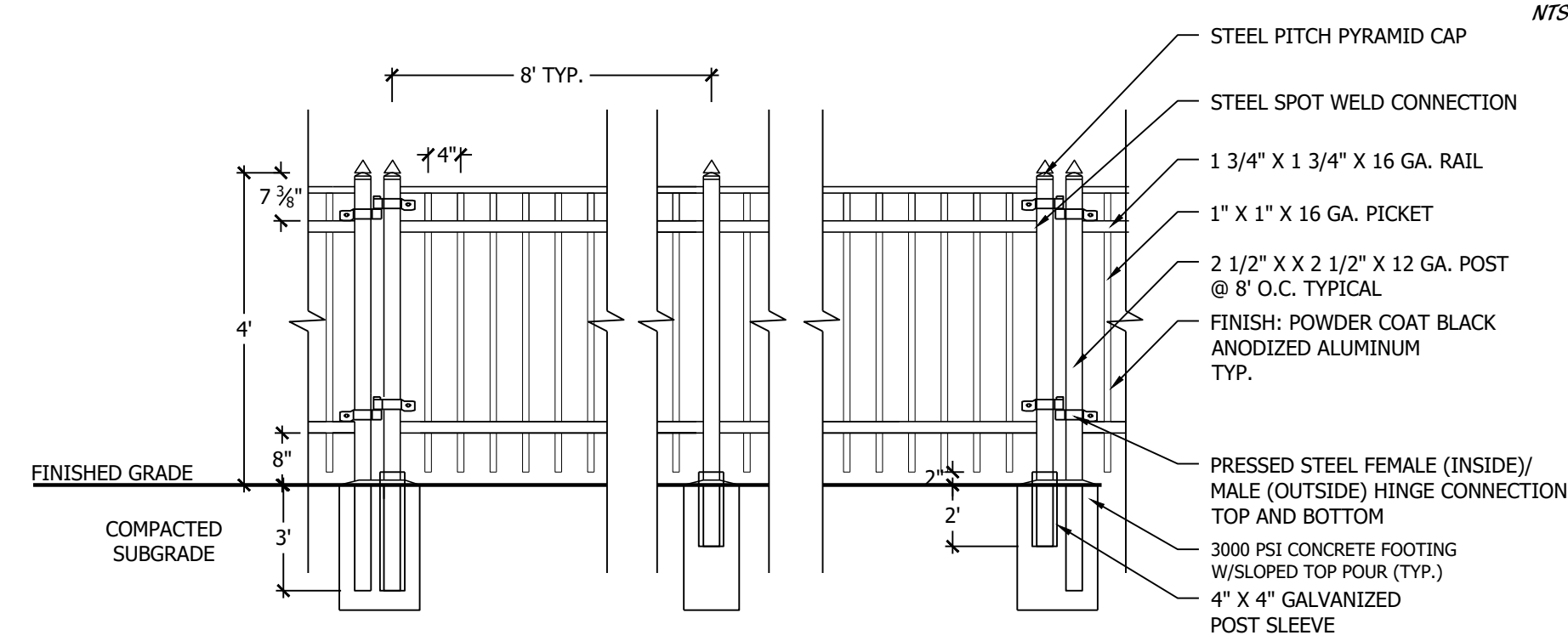
HEADER CURB DETAIL



F CURB DETAIL



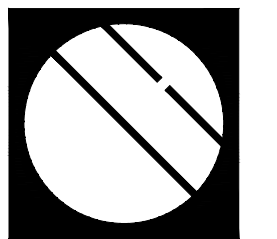
DECORATIVE FENCE / EMERGENCY ACCESS GATE DETAIL



CANOPY DETAIL



NOTE: SHADE SYSTEMS PLAYMORE SINGLE POST OFFSET HIP ROOF SHADE STRUCTURE, CUSTOM, SIZED 6' X 10'
 COLORS:
 BASE COLOR: TELE-GRAY
 FABRIC COLOR: OLIVE



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SYMPHONY LAKES

Ft. Pierce, Florida

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**PLANNED DEVELOPMENT
 FINAL SITE DETAILS**

SHEET SP12 of 12
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