

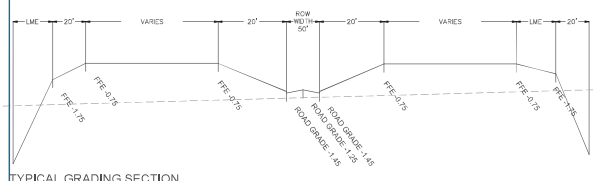
**LEGEND:**

	PROPERTY LINE
	PROPOSED LOT LINES
	PROPOSED UTILITY/DRAINAGE EASEMENT
	PROPOSED STORMWATER MANAGEMENT
	PROPOSED ASPHALT
	PROPOSED CONCRETE
	PROPOSED DRAINAGE STRUCTURES
	PROPOSED STORMWATER PIPE
	PROPOSED SPOT ELEVATION
	EXISTING SPOT ELEVATION
	EXISTING TOPOGRAPHY LINE

- NOTES:**
- SHOWN ELEVATIONS ARE HIGHER ELEVATIONS.
  - BUILDING PADS TO BE LEFT 1/2" ABOVE GRADES SHOWN FOR FINISH FLOOR MINIMUM.
  - 1/2" BELOW GRADES SHOWN FOR CROWN FOR ROADWAYS MINIMUM.

**Basin Information**

Lake control	= 12.00
10 year 72 hour stage	= 14.82
Top of bank elevation	= 15.50
100 year 72 hour stage (Zero Discharge)	= 16.65
Minimum FFE	= 17.00
10 year 24 hours stage	= 14.82
Minimum road elevation	= 15.25



- CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS FROM CONSTRUCTION SITE AND DISPOSE PER LOCAL ORDINANCES.
  - THESE PLANS REFLECT CONDITIONS KNOWN DURING PLAN DEVELOPMENT. IN THE EVENT THAT ACTUAL PHYSICAL CONDITIONS PREVENT THE APPLICATION OF THESE STANDARDS OR THE PROGRESSION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION OF AFFECTED AREA.
  - THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, STORM DRAINAGE, UTILITIES, AND OTHER FACILITIES TO REMAIN AND SHALL REPAIR ANY DAMAGES DUE TO HIS/HER CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST TO THE OWNER.
  - NOTIFY SUNSHINE STATE ONE CALL (1-800-432-4770) OR (811) PRIOR TO CONSTRUCTION.
  - THE CONTRACTOR SHALL NOT ENCROACH ONTO PRIVATE PROPERTY WITHOUT EASEMENTS NECESSARY FOR COMPLETION OF THE WORK.
- THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL, AND DISPOSAL OF LITTER WITHIN THE PROJECT LINE WITHIN THE CITY'S RIGHT-OF-WAY IN ACCORDANCE WITH CITY CODE, SECTION 41.08 (G)

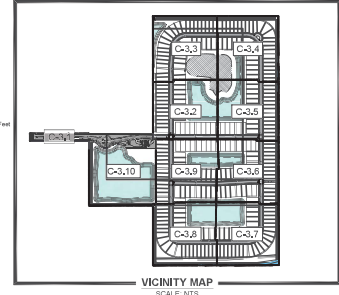
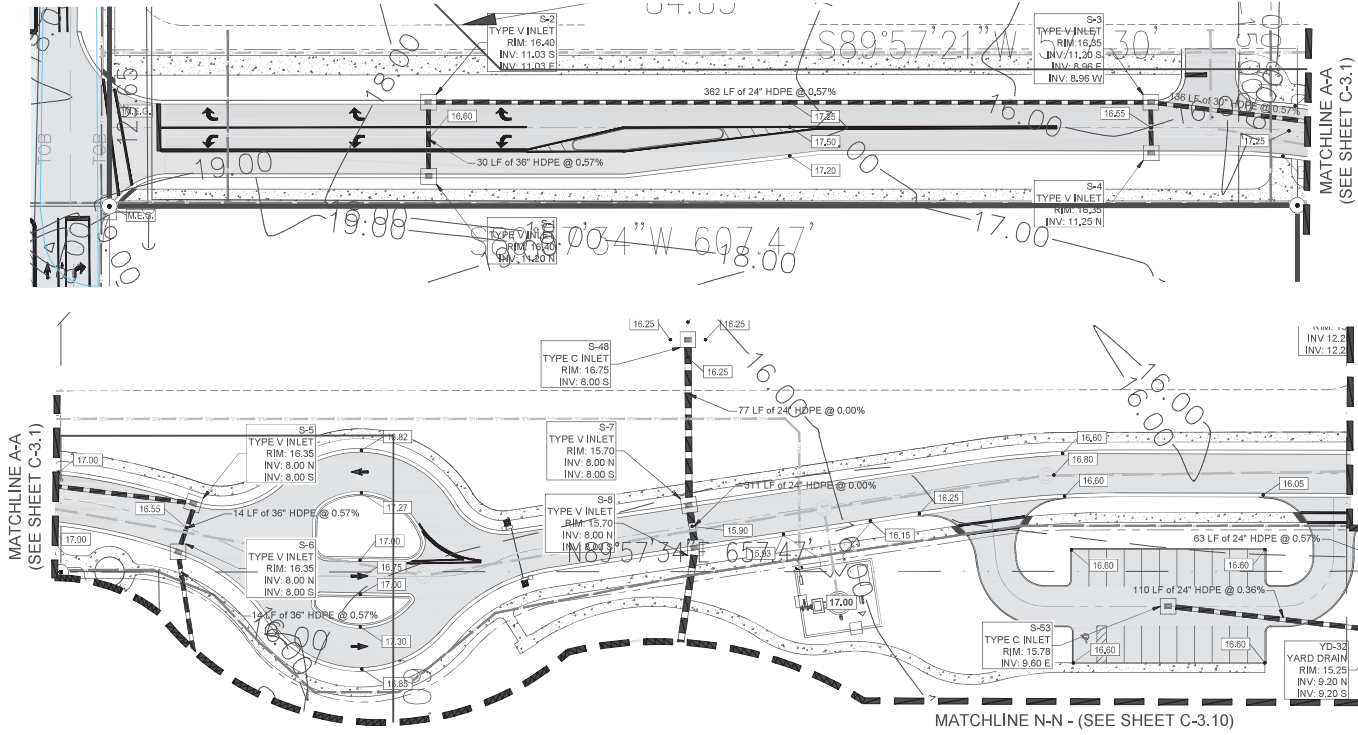
**Mills, Short & Associates**  
 WEBSITE: www.jdmillsandassociates.com  
 PHONE: 772.226.7282  
 C.A. # 20068  
 790 SW 4th Ave., Suite 200  
 Vero Beach, Florida 32902

ISSUE	DATE	COMMENTS

SCALE	SEE SHEET
APPROVED BY	JWM
CHECKED BY	JWM
DRAWN BY	DCC

**SYMPHONY LAKES**  
 SELVITZ ROAD  
 CITY OF FORT PIERCE, FL 34981  
 DATE: 10-02-2024  
 SHEET NO. C-3.0

PROJ. NO. 24-1600  
 DATE: 10-02-2024  
 SHEET NO. C-3.0



**LEGEND:**

- PROPERTY LINE
- - - - - PROPOSED LOT LINES
- - - - - PROPOSED UTILITY/DRAINAGE EASEMENT
- - - - - PROPOSED STORMWATER MANAGEMENT
- ▭ PROPOSED ASPHALT
- ▭ PROPOSED CONCRETE
- ▭ PROPOSED DRAINAGE STRUCTURES
- ▭ PROPOSED STORMWATER PIPE
- 16.60 PROPOSED SPOT ELEVATION
- 17.00 EXISTING SPOT ELEVATION
- EXISTING TOPOGRAPHY LINE

- DRAINAGE AND GRADING NOTES:**
- ELEVATIONS SHOWN HEREON ARE IN FEET, REFERENCED TO NAVD 88.
  - TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS.
  - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON THE RECORDS OF ST. LUKE COUNTY AND THE VARIOUS APPLICABLE UTILITY COMPANIES. THE INFORMATION IS NOT TO BE RELIED ON AS EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES TO REQUEST EXACT FIELD LOCATION OF UTILITIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
  - ANY CONDITIONS NOT ALLOWING WATER TO FLOW AS SHOWN SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD FOR RESOLUTION.
  - CONTRACTOR SHALL REVIEW PROPOSED GRADES TO ENSURE COMPATIBILITY WITH CHANGES IN ELEVATION WITHIN THE PROPOSED PLAN.
  - THE STORM WATER DRAINAGE DESIGN IS INTENDED TO CONTAIN ALL REQUIRED SITE STORM WATER RUNOFF AND DISCHARGE INTO AN APPROVED STORM WATER SYSTEM. CONTRACTOR SHALL NOTIFY ENGINEER, SHOULD THE ADJACENT PROPERTY GRADES VARY FROM THOSE SHOWN ON THE PLAN AND CHANGE THE INTENT OF STORMWATER DESIGN.
  - ON-SITE EXCAVATED MATERIAL TO BE USED FOR ON-SITE PURPOSES ONLY. IF MATERIAL IS TO BE HAULED OFF-SITE, MINING PERMIT MAY BE REQUIRED. CONTRACTOR TO CONTACT ENGINEER OF RECORD IF MATERIAL IS TO BE HAULED OFF-SITE.
  - CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES.
  - FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE SPECIFICATIONS AND LOCAL JURISDICTIONAL AGENCY.
  - CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
  - ELEVATIONS SHOWN AT CURB LINE ARE EDGE OF PAVEMENT UNLESS OTHERWISE SPECIFIED.
  - ALL CUT OR FILL SLOPES SHALL BE 4:1 V OR FLATTER UNLESS OTHERWISE NOTED.
  - ALL DISTURBED AREAS ARE TO BE SODED AND/OR STABILIZED. CONTRACTOR SHALL RE-GRADE RAINFALL WASHOUTS WHERE THEY OCCUR UNTIL ADEQUATE STABILIZATION OCCURS.
  - ALL SLOPES OF LAKE BANKS SHALL BE SODED WITH FLORATAM
- FLOOD ZONE:  
THE SUBJECTED PROPERTY IS LOCATED IN FLOOD ZONE "X" PER F.J.R.M. PANEL NO. 1206C014J DATED 9/26/2023

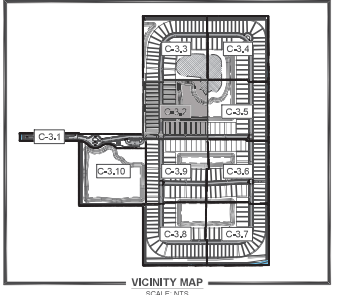
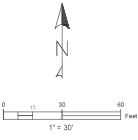
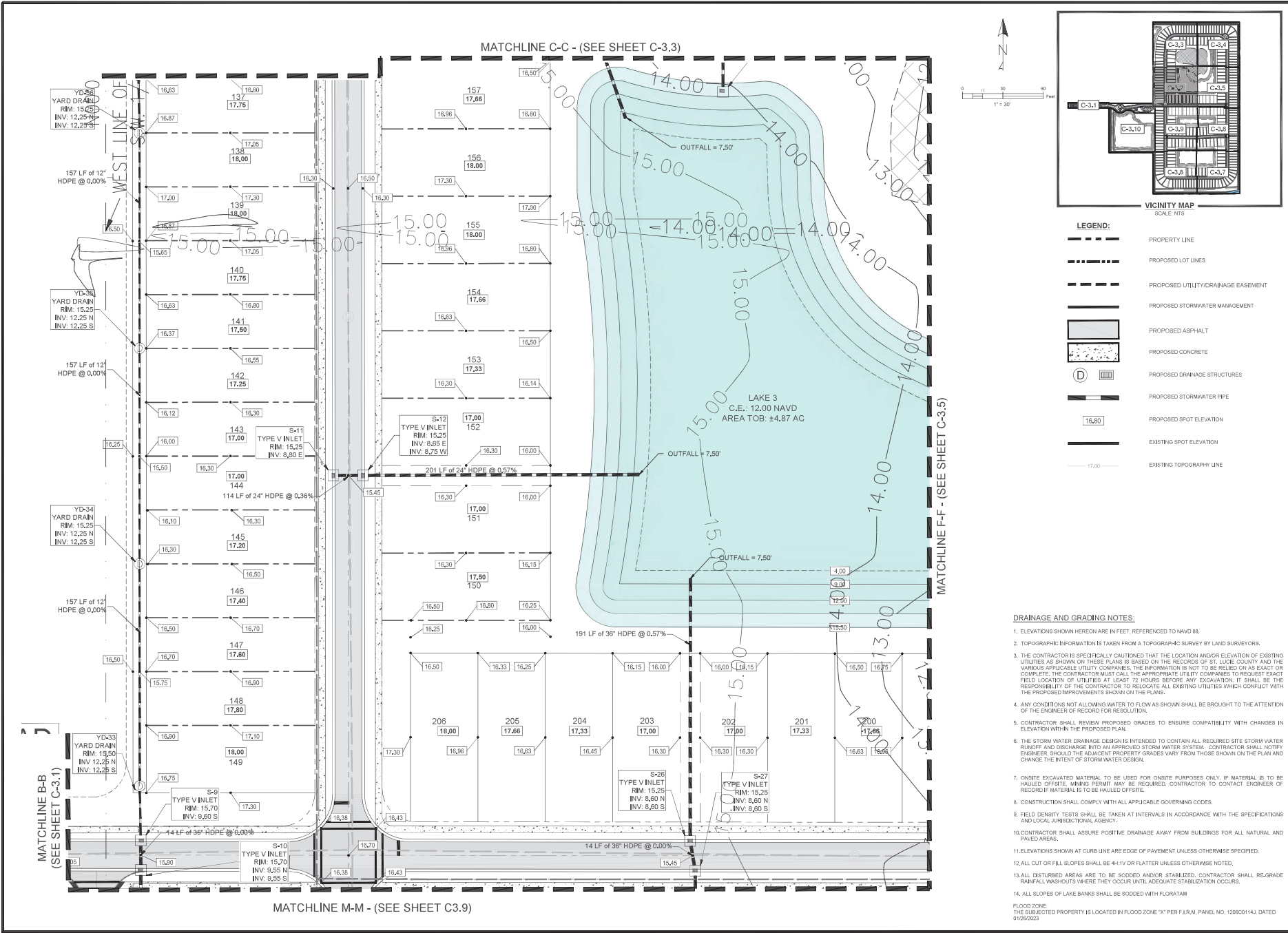
**Mills, Short & Associates**  
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 C.A. # 20088  
 180 Selvitz Road, Suite 200  
 Vero Beach, Florida 32909

ISSUE	DATE	COMMENTS

SYMPHONY LAKES	SCALE: SEE SHEET
SELVITZ ROAD	DESIGNED BY: JWM
CITY OF FORT PIERCE, FL 34981	CHECKED BY: JWM
PAVING GRADING & DRAINAGE PLAN	DATE: 10/23/2024
	DRAWN BY: DCC

PROJ. NO.	24-1800
DATE	10/23/2024
SHEET NO.	

**C-3.1**



- LEGEND:**
- PROPERTY LINE
  - PROPOSED LOT LINES
  - PROPOSED UTILITY/DRAINAGE EASEMENT
  - PROPOSED STORMWATER MANAGEMENT
  - PROPOSED ASPHALT
  - PROPOSED CONCRETE
  - PROPOSED DRAINAGE STRUCTURES
  - PROPOSED STORMWATER PIPE
  - PROPOSED SPOT ELEVATION
  - EXISTING SPOT ELEVATION
  - EXISTING TOPOGRAPHY LINE

- DRAINAGE AND GRADING NOTES:**
1. ELEVATIONS SHOWN HEREON ARE IN FEET, REFERENCED TO NAVD 88.
  2. TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS.
  3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON THE RECORDS OF ST. LOUIS COUNTY AND THE VARIOUS APPLICABLE UTILITY COMPANIES. THE INFORMATION IS NOT TO BE RELIED ON AS EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES TO REQUEST EXACT FIELD LOCATION OF UTILITIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
  4. ANY CONDITIONS NOT ALLOWING WATER TO FLOW AS SHOWN SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD FOR RESOLUTION.
  5. CONTRACTOR SHALL REVIEW PROPOSED GRADES TO ENSURE COMPATIBILITY WITH CHANGES IN ELEVATION WITHIN THE PROPOSED PLAN.
  6. THE STORM WATER DRAINAGE DESIGN IS INTENDED TO CONTAIN ALL REQUIRED SITE STORM WATER RUNOFF AND DISCHARGE INTO AN APPROVED STORM WATER SYSTEM. CONTRACTOR SHALL NOTIFY ENGINEER SHOULD THE ADJACENT PROPERTY GRADES VARY FROM THOSE SHOWN ON THE PLAN AND CHANGE THE INTENT OF STORM WATER DESIGN.
  7. ON-SITE EXCAVATED MATERIAL TO BE USED FOR ON-SITE PURPOSES ONLY. IF MATERIAL IS TO BE HAULED OFF-SITE, MINING PERMIT MAY BE REQUIRED. CONTRACTOR TO CONTACT ENGINEER OF RECORD IF MATERIAL IS TO BE HAULED OFF-SITE.
  8. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES.
  9. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE SPECIFICATIONS AND LOCAL JURISDICTIONAL AGENCY.
  10. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
  11. ELEVATIONS SHOWN AT CURB LINE ARE EDGE OF PAVEMENT UNLESS OTHERWISE SPECIFIED.
  12. ALL CUT OR FILL SLOPES SHALL BE 4H:1V OR FLATTER UNLESS OTHERWISE NOTED.
  13. ALL DISTURBED AREAS ARE TO BE SODED AND/OR STABILIZED. CONTRACTOR SHALL RE-GRADE RAINFALL WASHOUTS WHERE THEY OCCUR UNTIL ADEQUATE STABILIZATION OCCURS.
  14. ALL SLOPES OF LAKE BANKS SHALL BE SODED WITH FLORITAM
- FLOOD ZONE:  
THE SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE "X" PER F.J.R.M. PANEL NO. 1206C014J DATED 9/25/2023

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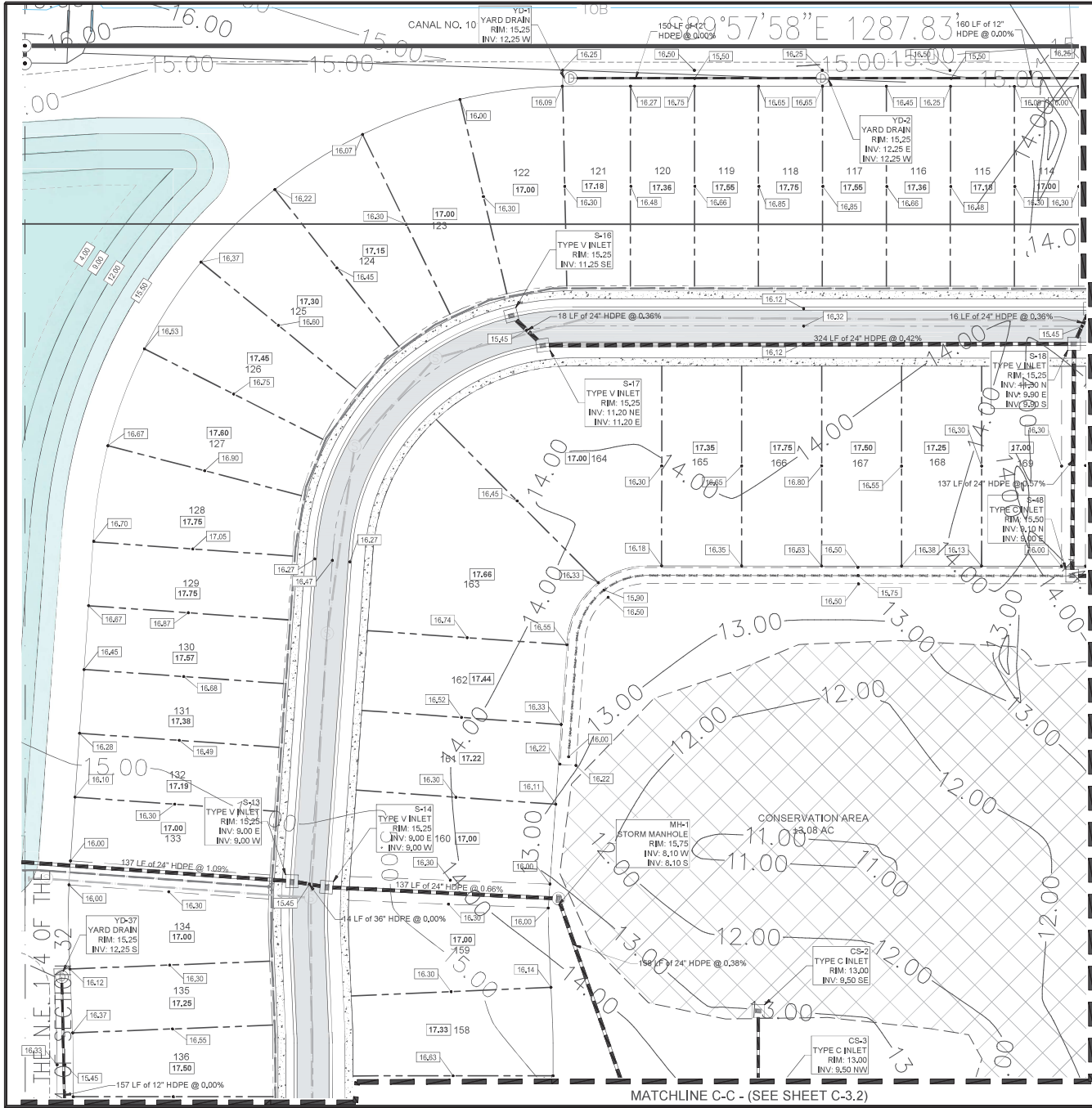
ISSUE	DATE	COMMENTS

APPROVED BY	SCALE	SEE SHEET
JWM	AS SHOWN	DCC

**SYMPHONY LAKES**  
 SELVITZ ROAD  
 CITY OF FORT PIERCE, FL 34981  
 PAVING GRADING & DRAINAGE PLAN

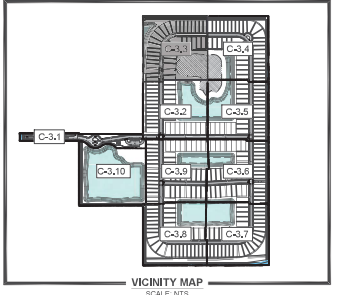
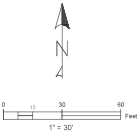
PROJ. NO.	24-1800
DATE	10-03-2024
SHEET NO.	

**C-3.2**



MATCHLINE D-D - (SEE SHEET C-3.4)

MATCHLINE C-C - (SEE SHEET C-3.2)



- LEGEND:**
- PROPERTY LINE
  - PROPOSED LOT LINES
  - PROPOSED UTILITY/DRAINAGE EASEMENT
  - PROPOSED STORMWATER MANAGEMENT
  - PROPOSED ASPHALT
  - PROPOSED CONCRETE
  - PROPOSED DRAINAGE STRUCTURES
  - PROPOSED STORMWATER PIPE
  - PROPOSED SPOT ELEVATION
  - EXISTING SPOT ELEVATION
  - EXISTING TOPOGRAPHY LINE

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  14. ALL SLOPES OF LAKE BANKS SHALL BE SODED WITH FLOTTAM.
- FLOOD ZONE:**  
THE SUBJECTED PROPERTY IS LOCATED IN FLOOD ZONE "X" PER F.J.R.M. PANEL NO. 1206C014J, DATED 9/25/2023

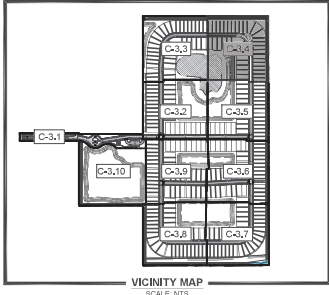
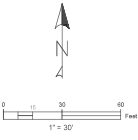
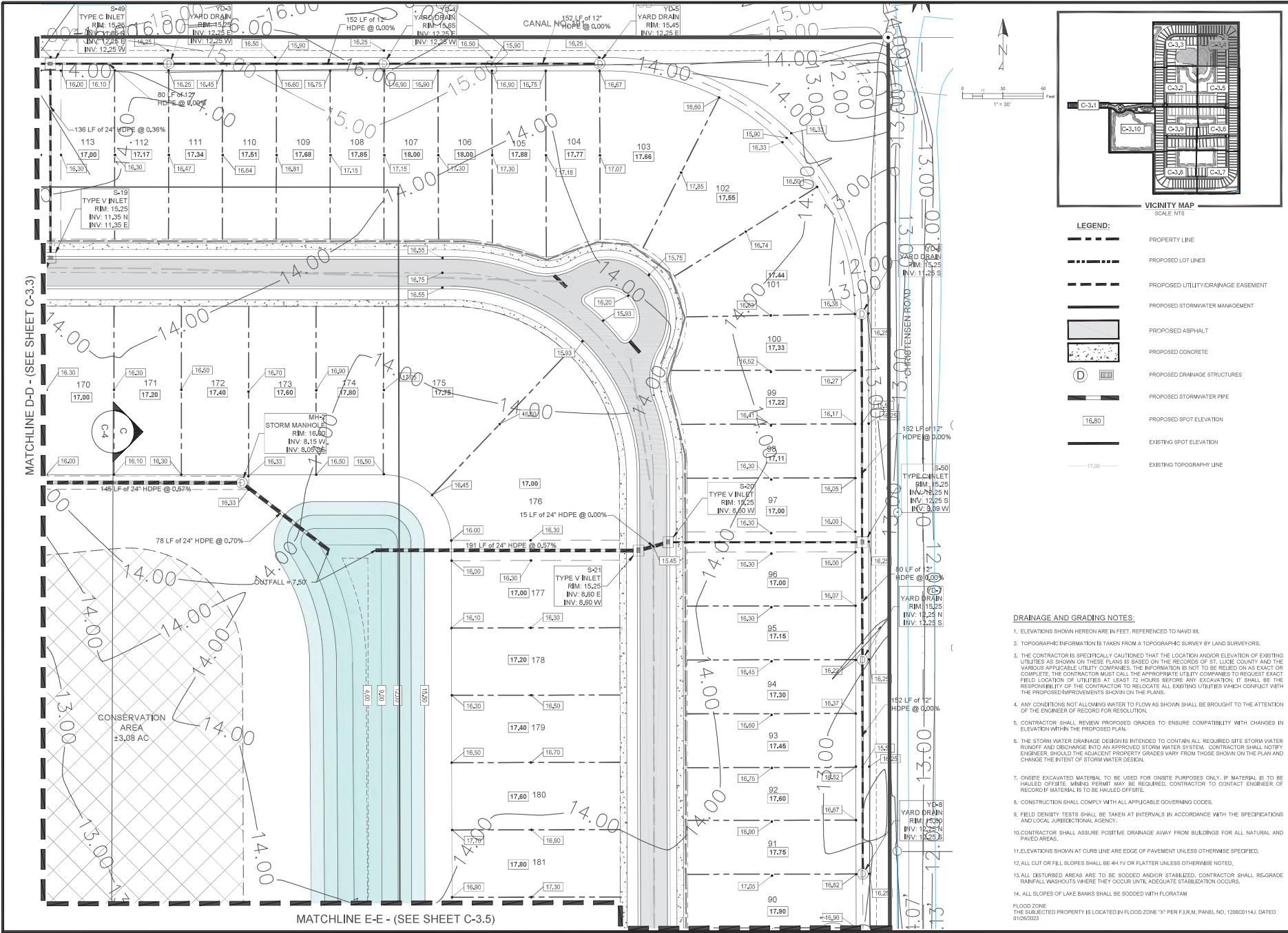
**Mills, Short & Associates**  
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 PHONE: 772.226.7282  
 C.A. # 20088

ISSUE	DATE	COMMENTS

APPROVED BY	SCALE	SEE SHEET
JWM		

**SYMPHONY LAKES**  
 SELVITZ ROAD  
 CITY OF FORT PIERCE, FL 34981  
 PAVING GRADING & DRAINAGE PLAN  
 DRAWN BY: JWM  
 CHECKED BY: JWM  
 DATE: 10-03-2024  
 SHEET NO.: DCC

PROJ. NO.: 24-1600  
 DATE: 10-03-2024  
 SHEET NO.: **C-3.3**



**LEGEND:**

- PROPERTY LINE
- PROPOSED LOT LINES
- PROPOSED UTILITY/DRAINAGE EASEMENT
- PROPOSED STORMWATER MANAGEMENT
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED DRAINAGE STRUCTURES
- PROPOSED STORMWATER PIPE
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- EXISTING TOPOGRAPHY LINE

- DRAINAGE AND GRADING NOTES:**
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  - ALL SLOPES OF LAKE BANKS SHALL BE SODED WITH FLORITAM
- FLOOD ZONE:  
THE SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE "X" PER F.J.R.M. PANEL NO. 1206C014J. DATED 9/29/2023

**Mills, Short & Associates**  
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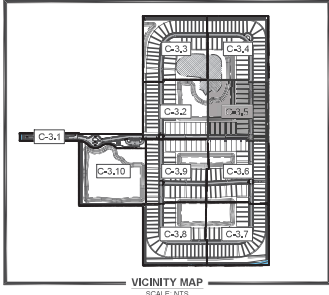
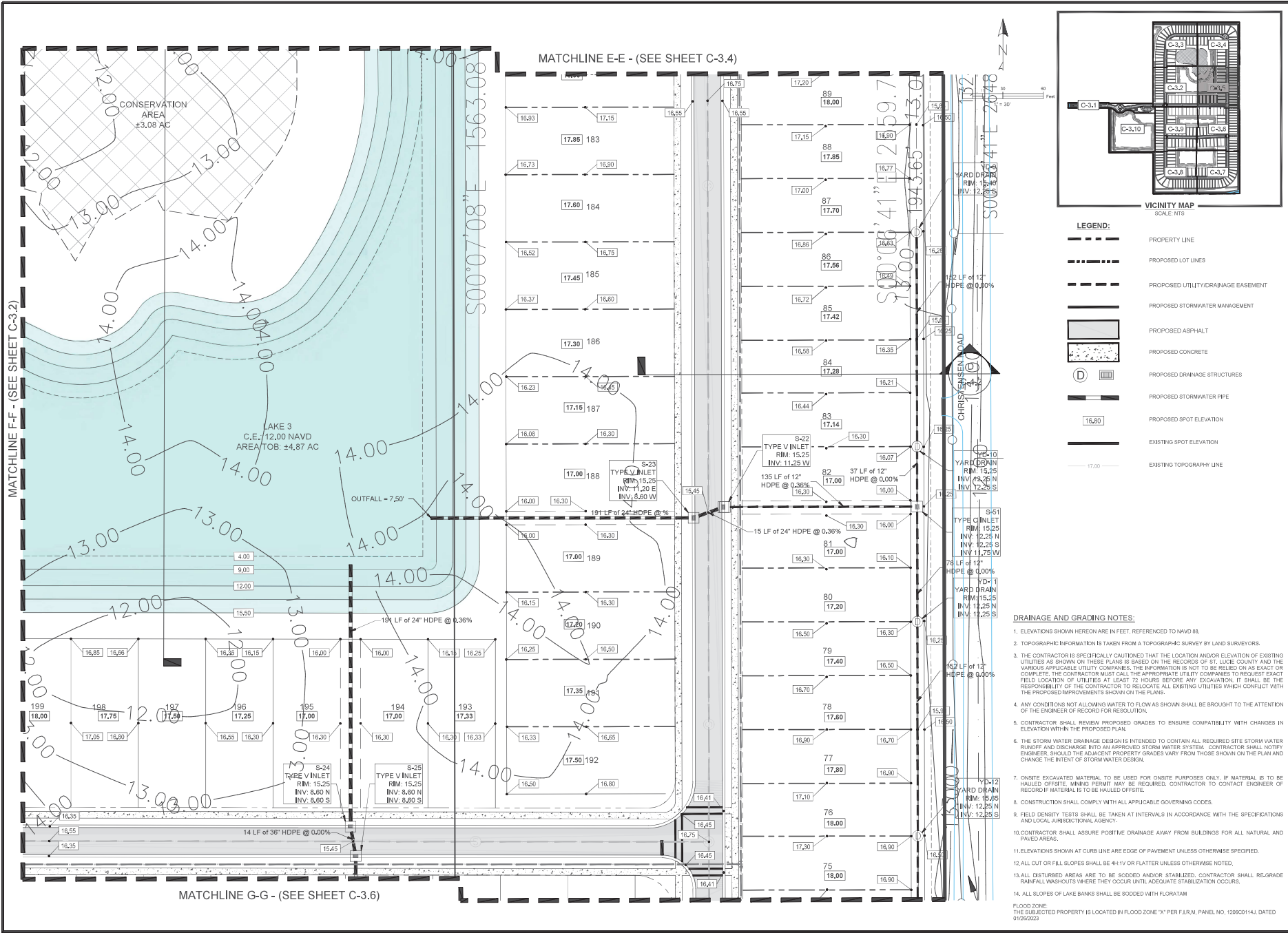
ISSUE	DATE	COMMENTS

SCALE	SEE SHEET
APPROVED BY	JWM
DESIGNED BY	JWM
DRAWN BY	JWM
CHECKED BY	DCC

**SYMPHONY LAKES**  
 SELVITZ ROAD  
 CITY OF FORT PIERCE, FL 34981  
 PAVING GRADING & DRAINAGE PLAN

PROJ. NO.	24-1600
DATE	10-03-2024
SHEET NO.	

**C-3.4**



**LEGEND:**

- PROPERTY LINE
- PROPOSED LOT LINES
- PROPOSED UTILITY/DRAINAGE EASEMENT
- PROPOSED STORMWATER MANAGEMENT
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED DRAINAGE STRUCTURES
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  - ALL SLOPES OF LAKE BANKS SHALL BE SODED WITH FLORITAM
- FLOOD ZONE:  
THE SUBJECTED PROPERTY IS LOCATED IN FLOOD ZONE "X" PER F.J.R.M. PANEL NO. 1206C0114J DATED 9/19/2023

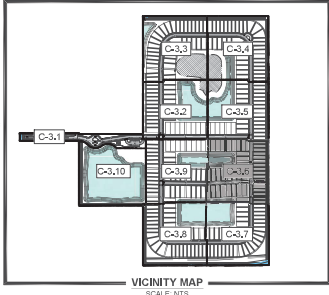
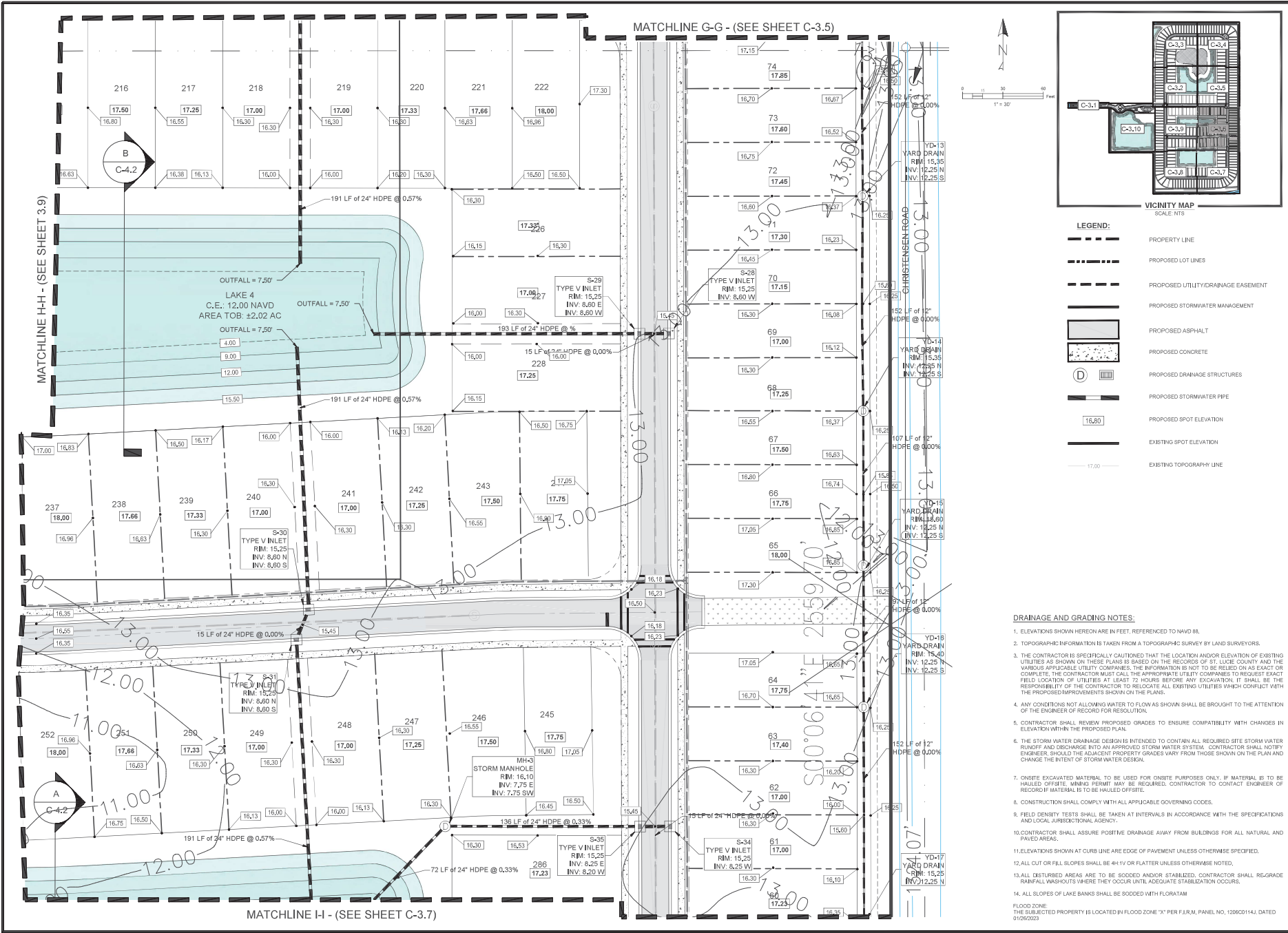
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ISSUE	DATE	COMMENTS

SCALE	SEE SHEET

**SYMPHONY LAKES**  
 SELVITZ ROAD  
 CITY OF FORT PIERCE, FL 34981  
 PAVING GRADING & DRAINAGE PLAN  
 DRAWN BY: JWM  
 CHECKED BY: JWM  
 APPROVED BY: JWM

PROJ. NO. 24-1800  
 DATE 10-23-2024  
 SHEET NO. C-3.5



- LEGEND:**
- PROPERTY LINE
  - PROPOSED LOT LINES
  - PROPOSED UTILITY/DRAINAGE EASEMENT
  - PROPOSED STORMWATER MANAGEMENT
  - PROPOSED ASPHALT
  - PROPOSED CONCRETE
  - PROPOSED DRAINAGE STRUCTURES
  - PROPOSED STORMWATER PIPE
  - PROPOSED SPOT ELEVATION
  - EXISTING SPOT ELEVATION
  - EXISTING TOPOGRAPHY LINE

- DRAINAGE AND GRADING NOTES:**
1. ELEVATIONS SHOWN HEREON ARE IN FEET, REFERENCED TO NAVD 88.
  2. TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS.
  3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON THE RECORDS OF ST. LOUIS COUNTY AND THE VARIOUS APPLICABLE UTILITY COMPANIES. THE INFORMATION IS NOT TO BE RELIED ON AS EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES TO REQUEST EXACT FIELD LOCATION OF UTILITIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
  4. ANY CONDITIONS NOT ALLOWING WATER TO FLOW AS SHOWN SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD FOR RESOLUTION.
  5. CONTRACTOR SHALL REVIEW PROPOSED GRADDES TO ENSURE COMPATIBILITY WITH CHANGES IN ELEVATION WITHIN THE PROPOSED PLAN.
  6. THE STORM WATER DRAINAGE DESIGN IS INTENDED TO CONTAIN ALL REQUIRED SITE STORM WATER RUNOFF AND DISCHARGE INTO AN APPROVED STORM WATER SYSTEM. CONTRACTOR SHALL NOTIFY ENGINEER SHOULD THE ADJACENT PROPERTY GRADDES VARY FROM THOSE SHOWN ON THE PLAN AND CHANGE THE INTENT OF STORM WATER DESIGN.
  7. ONSITE EXCAVATED MATERIAL TO BE USED FOR ONSITE PURPOSES ONLY. IF MATERIAL IS TO BE HAULED OFFSITE, MINING PERMIT MAY BE REQUIRED. CONTRACTOR TO CONTACT ENGINEER OF RECORD IF MATERIAL IS TO BE HAULED OFFSITE.
  8. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES.
  9. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE SPECIFICATIONS AND LOCAL JURISDICTIONAL AGENCY.
  10. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
  11. ELEVATIONS SHOWN AT CURB LINE ARE EDGE OF PAVEMENT UNLESS OTHERWISE SPECIFIED.
  12. ALL CUT OR FILL SLOPES SHALL BE 4H:1V OR FLATTER UNLESS OTHERWISE NOTED.
  13. ALL DISTURBED AREAS ARE TO BE SODED AND/OR STABILIZED. CONTRACTOR SHALL RE-GRADE RAINFALL WASHOUTS WHERE THEY OCCUR UNTIL ADEQUATE STABILIZATION OCCURS.
  14. ALL SLOPES OF LAKE BANKS SHALL BE SODED WITH FLORATAM
- FLOOD ZONE:  
THE SUBJECTED PROPERTY IS LOCATED IN FLOOD ZONE: "X" PER F.J.R.M. PANEL NO. 1206C0114J, DATED 01/05/2023

**Mills, Short & Associates**  
 WEBSITE: www.jdmillsandshort.com  
 PHONE: 773.226.7282  
 C.A. # 20088  
 1800 Saltz Road, Suite 200  
 Vero Beach, Florida 32909

ISSUE	DATE	COMMENTS

SCALE	SEE SHEET

**SYMPHONY LAKES**  
 SELVITZ ROAD  
 CITY OF FORT PIERCE, FL 34981  
 PAVING GRADING & DRAINAGE PLAN  
 DRAWN BY: JWM  
 CHECKED BY: JWM  
 APPROVED BY: JWM  
 DATE: 7/17/2025

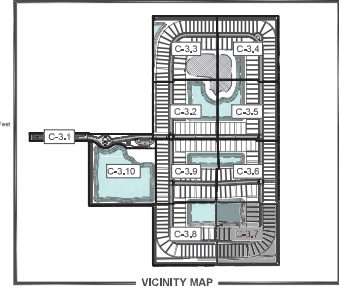
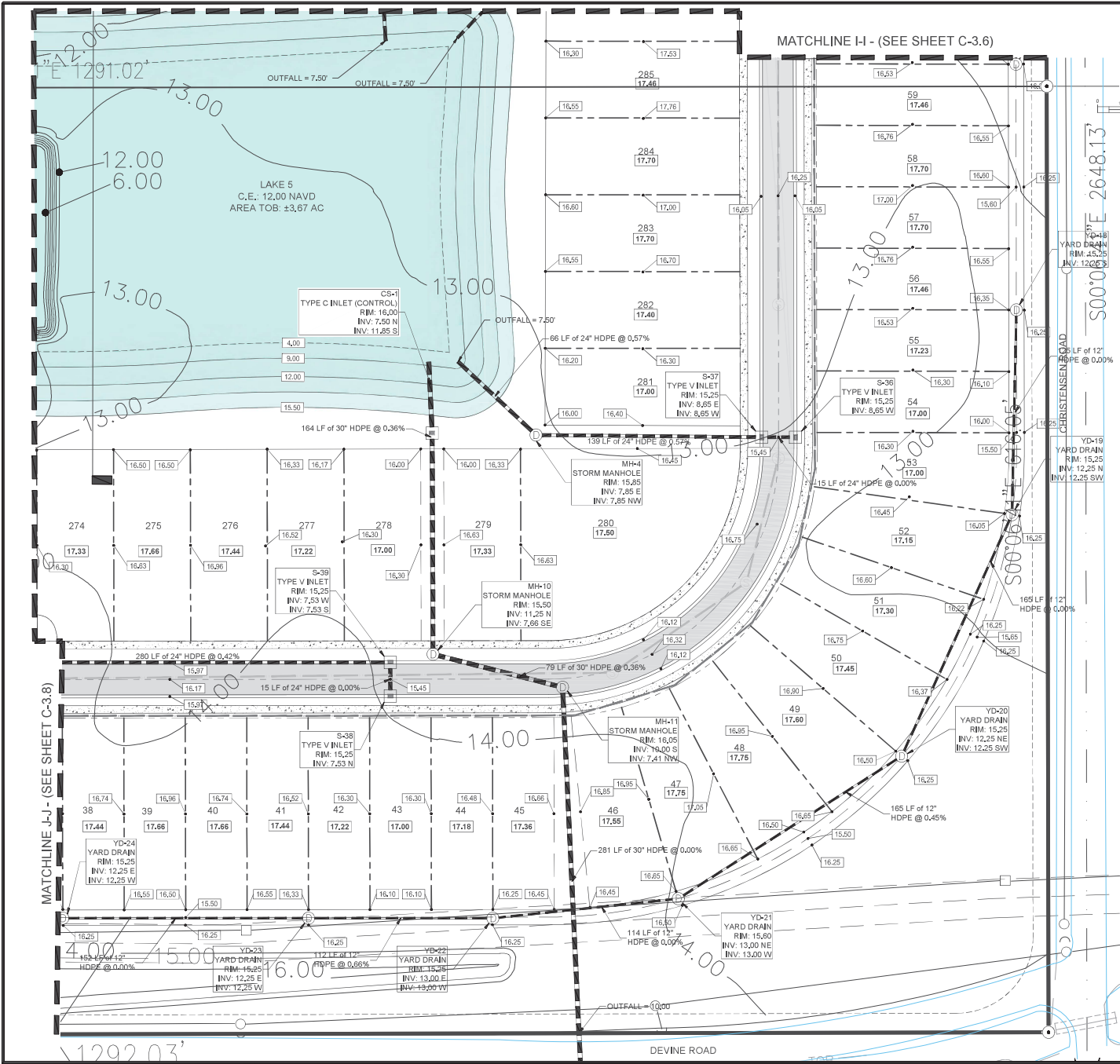
PROJ. NO.	24-1800
DATE	10-03-2024
SHEET NO.	

**C-3.6**

TIME: 5:10 PM

DATE: 7/17/2025

FILE: C:\Users\jdmills\My Documents\Projects\24-1600 Saltz Road\CADD\CHH Sheets\C2 OVERALL GRADING AND DRAINAGE PLAN.dwg



- LEGEND:**
- PROPERTY LINE
  - PROPOSED LOT LINES
  - PROPOSED UTILITY/DRAINAGE EASEMENT
  - PROPOSED STORMWATER MANAGEMENT
  - PROPOSED ASPHALT
  - PROPOSED CONCRETE
  - PROPOSED DRAINAGE STRUCTURES
  - PROPOSED STORMWATER PIPE
  - PROPOSED SPOT ELEVATION
  - EXISTING SPOT ELEVATION
  - EXISTING TOPOGRAPHY LINE

- DRAINAGE AND GRADING NOTES:**
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  4. ANY CONDITIONS NOT ALLOWING WATER TO FLOW AS SHOWN SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD FOR RESOLUTION.
  5. CONTRACTOR SHALL REVIEW PROPOSED GRADES TO ENSURE COMPATIBILITY WITH CHANGES IN ELEVATION WITHIN THE PROPOSED PLAN.
  6. THE STORM WATER DRAINAGE DESIGN IS INTENDED TO CONTAIN ALL REQUIRED SITE STORM WATER RUNOFF AND DISCHARGE INTO AN APPROVED STORM WATER SYSTEM. CONTRACTOR SHALL NOTIFY ENGINEER SHOULD THE ADJACENT PROPERTY GRADES VARY FROM THOSE SHOWN ON THE PLAN AND CHANGE THE INTENT OF STORMWATER DESIGN.
  7. ON-SITE EXCAVATED MATERIAL TO BE USED FOR ON-SITE PURPOSES ONLY. IF MATERIAL IS TO BE HAULED OFF-SITE, MINING PERMIT MAY BE REQUIRED. CONTRACTOR TO CONTACT ENGINEER OF RECORD IF MATERIAL IS TO BE HAULED OFF-SITE.
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  10. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
  11. ELEVATIONS SHOWN AT CURB LINE ARE EDGE OF PAVEMENT UNLESS OTHERWISE SPECIFIED.
  12. ALL CUT OR FILL SLOPES SHALL BE 4:1 V OR FLATTER UNLESS OTHERWISE NOTED.
  13. ALL DISTURBED AREAS ARE TO BE SOGGED AND/OR STABILIZED. CONTRACTOR SHALL RE-GRADE RAINFALL WASHOUTS WHERE THEY OCCUR UNTIL ADEQUATE STABILIZATION OCCURS.
  14. ALL SLOPES OF LAKE BANKS SHALL BE SOGGED WITH FLORITAM
- FLOOD ZONE:  
THE SUBJECTED PROPERTY IS LOCATED IN FLOOD ZONE: "X" PER F.J.R.M. PANEL NO. 1206C014J, DATED 9/25/2023

**Mills, Short & Associates**  
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 C.A. # 20088  
 1800 S.W. 15th Ave., Suite 200  
 Vero Beach, Florida 32909

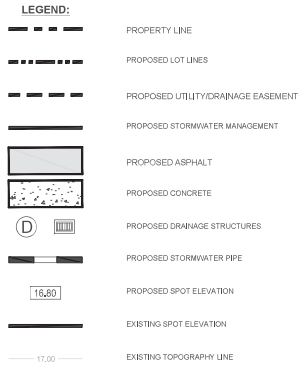
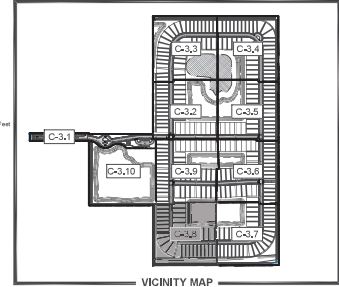
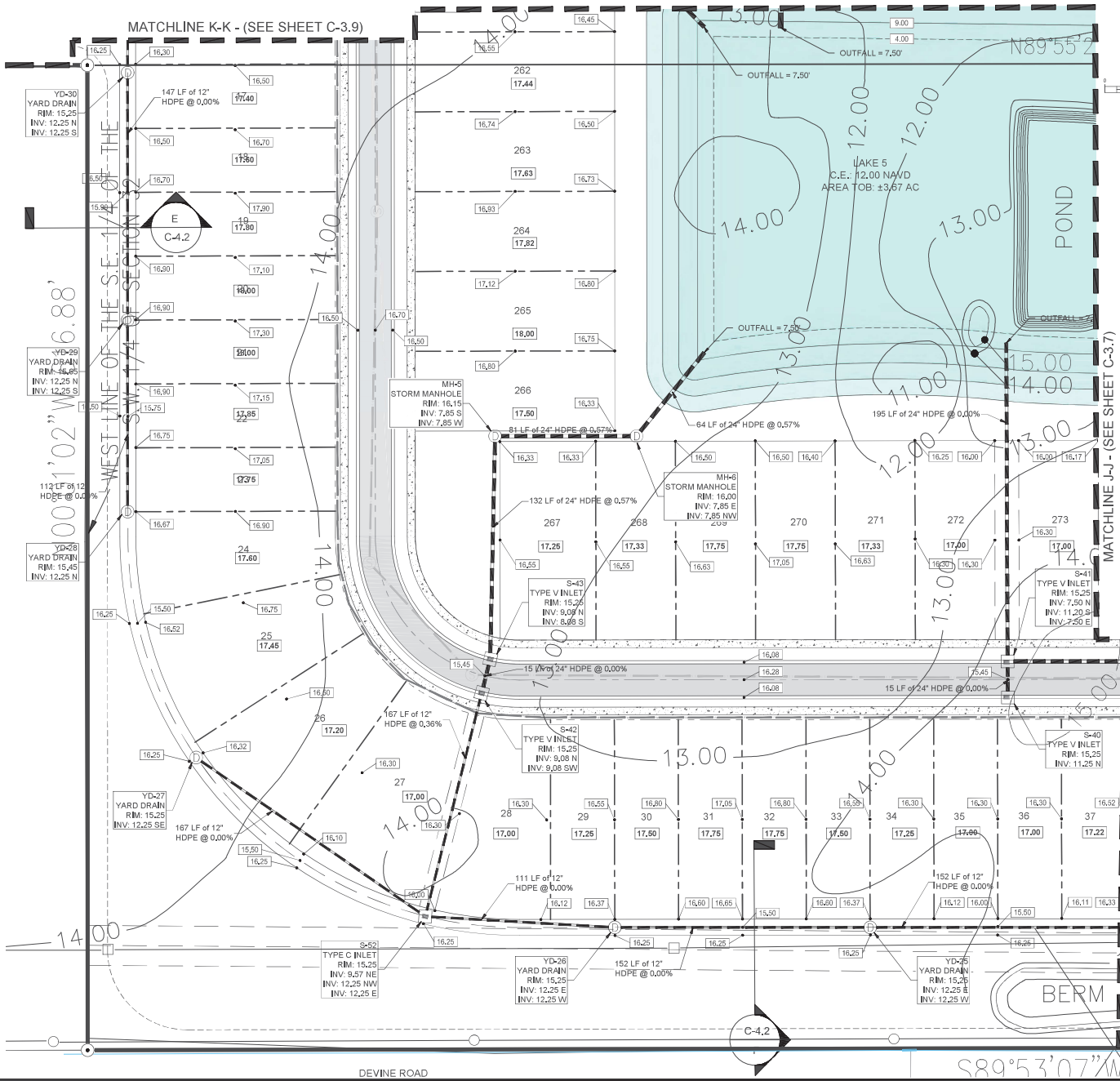
ISSUE	DATE	COMMENTS

SCALE: SEE SHEET
APPROVED BY: JWM
DESIGNED BY: JWM
CHECKED BY: JWM
DRAWN BY: DCC

**SYMPHONY LAKES**  
 SELVITZ ROAD  
 CITY OF FORT PIERCE, FL 34981  
 PAVING GRADING & DRAINAGE PLAN

PROJ. NO. 24-1600  
 DATE 10-23-2024  
 SHEET NO.

**C-3.7**



- DRAINAGE AND GRADING NOTES:**
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  - ON-SITE EXCAVATED MATERIAL TO BE USED FOR ON-SITE PURPOSES ONLY. IF MATERIAL IS TO BE HAULED OFF-SITE, MINING PERMIT MAY BE REQUIRED. CONTRACTOR TO CONTACT ENGINEER OF RECORD IF MATERIAL IS TO BE HAULED OFF-SITE.
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THE SUBJECTED PROPERTY IS LOCATED IN FLOOD ZONE "X" PER F.J.R.M. PANEL NO. 1206C014J, DATED 9/05/2023

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 WEBSITE: www.jdmillsassociates.com  
 PHONE: 772.226.7282  
 C.A. # 20088  
 180 S.W. 11th St., Suite 200  
 Vero Beach, Florida 32902

ISSUE	DATE	COMMENTS

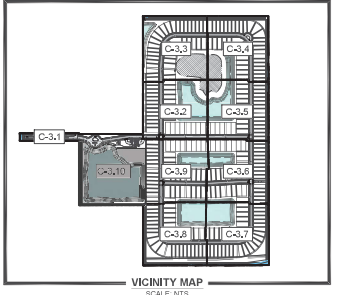
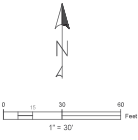
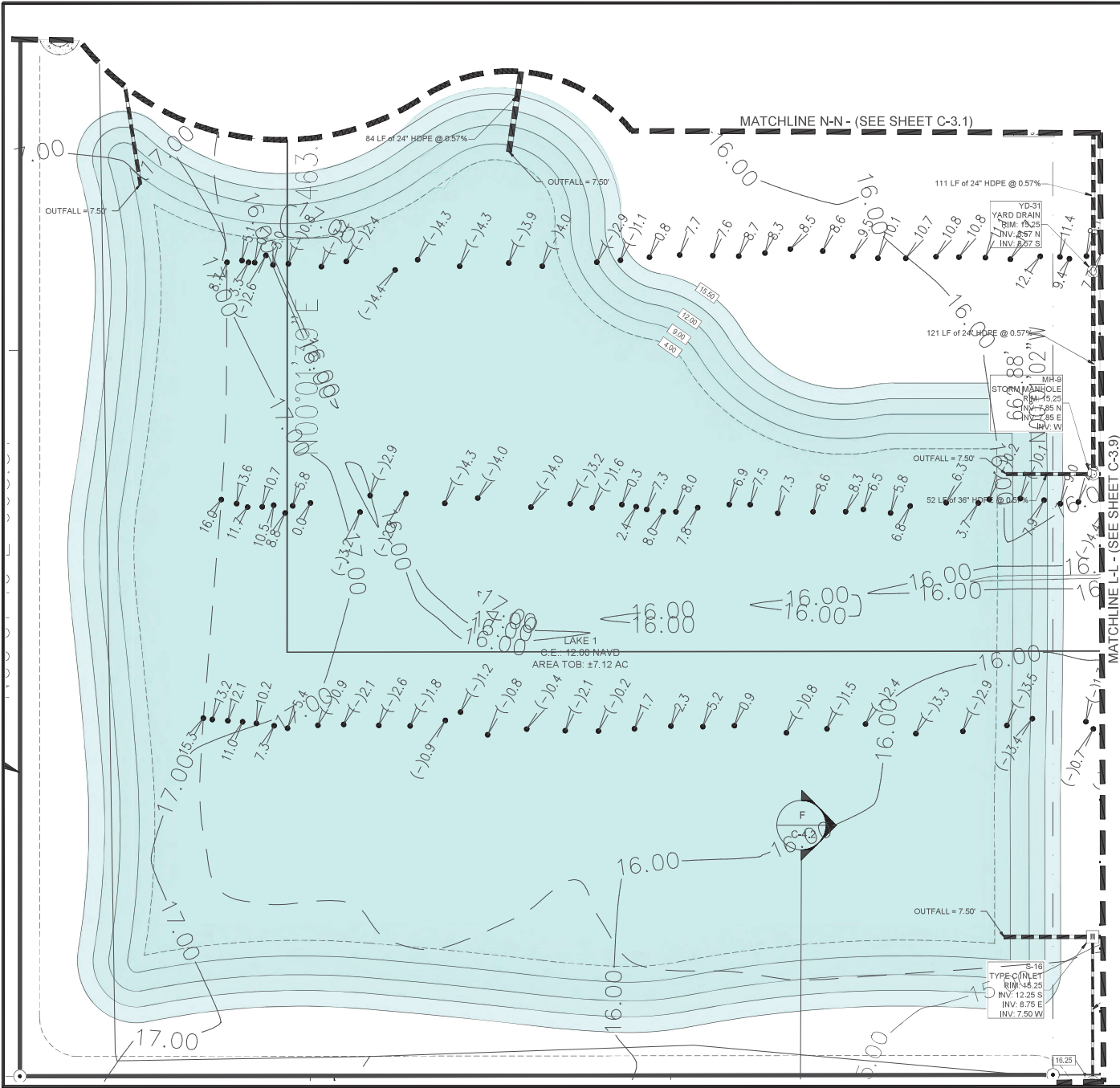
SCALE	SEE SHEET

**SYMPHONY LAKES**  
 SELVITZ ROAD  
 CITY OF FORT PIERCE, FL 34981  
 PAVING GRADING & DRAINAGE PLAN  
 DRAWN BY: JWM  
 CHECKED BY: JWM  
 APPROVED BY: JWM

PROJ. NO.	24-1600
DATE	10-23-2024
SHEET NO.	

**C-3.8**





**LEGEND:**

	PROPERTY LINE
	PROPOSED LOT LINES
	PROPOSED UTILITY/ DRAINAGE EASEMENT
	PROPOSED STORMWATER MANAGEMENT
	PROPOSED ASPHALT
	PROPOSED CONCRETE
	PROPOSED DRAINAGE STRUCTURES
	PROPOSED STORMWATER PIPE
	PROPOSED SPOT ELEVATION
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- FLOOD ZONE:  
THE SUBJECTED PROPERTY IS LOCATED IN FLOOD ZONE "X" PER F.J.R.M. PANEL NO. 1206C014J, DATED 9/29/2023

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 C.A. # 20068  
 190 S.W. 11th St., Suite 200  
 Vero Beach, Florida 32902

ISSUE	DATE	COMMENTS

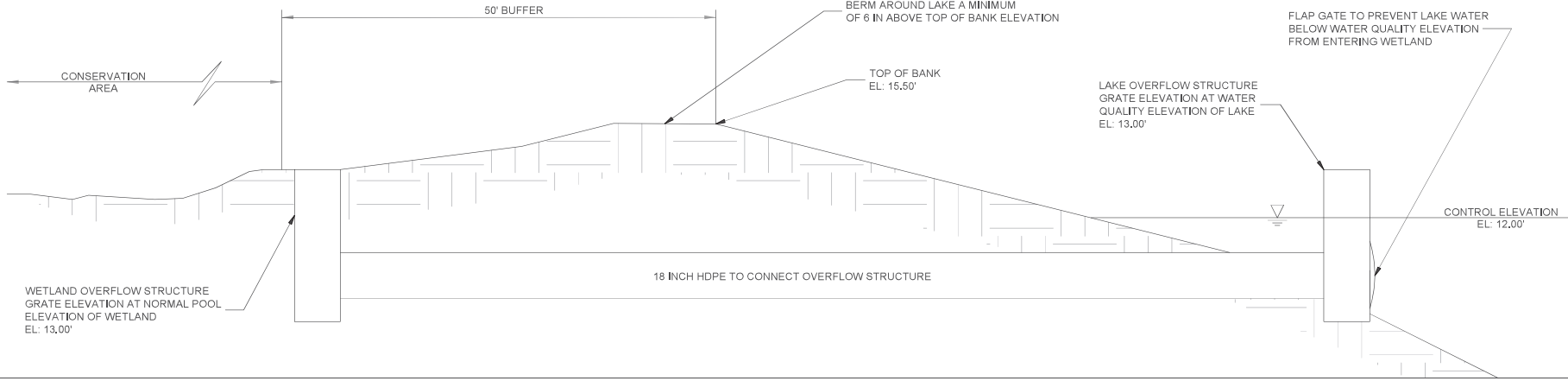
APPROVED BY	JWM	SCALE	SEE SHEET
DRAWN BY	JWM		
CHECKED BY	JWM		

**SYMPHONY LAKES**  
 SELVITZ ROAD  
 CITY OF FORT PIERCE, FL 34981  
 PAVING GRADING & DRAINAGE PLAN

PROJ. NO.	24-1600
DATE	10-23-2024
SHEET NO.	

**C-3.10**





TYPICAL LAKE TO WETLAND OVERFLOW STRUCTURE DETAIL  
N.T.S.

- NOTES:
1. WETLAND STRUCTURE SHALL HAVE A 12 INCH DEEP SUMP BELOW THE INVERT OF THE PIPE
  2. DITCH BOTTOM INLET STRUCTURES SHALL CONFORM TO FDOT STANDARD PLAN 425-652
  3. WETLANDS WITHOUT NP OR SWW RESORCED USE THE AVERAGE PERIMETER ELEVATION OF THE JURISDICTIONAL LINE FOR THE OVERFLOW STRUCTURE GRATE ELEVATION

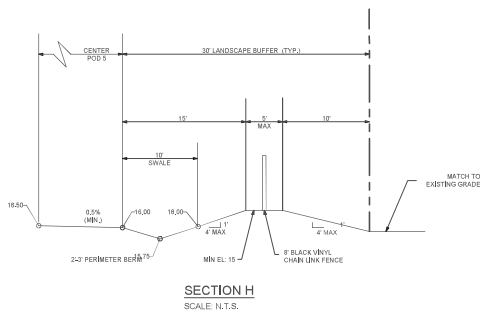
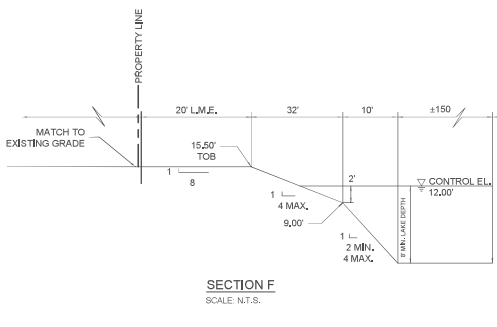
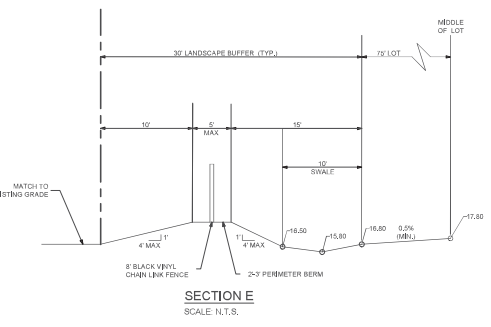
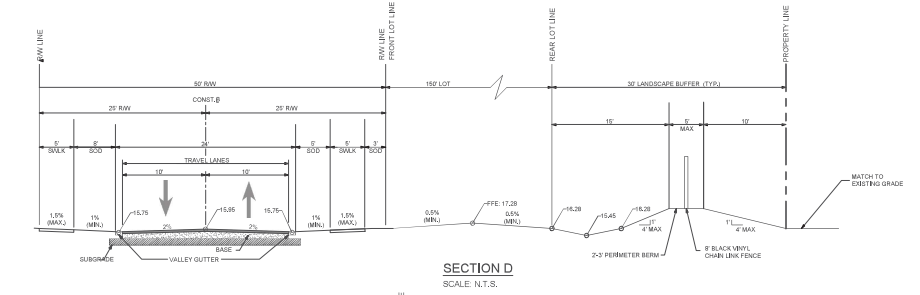
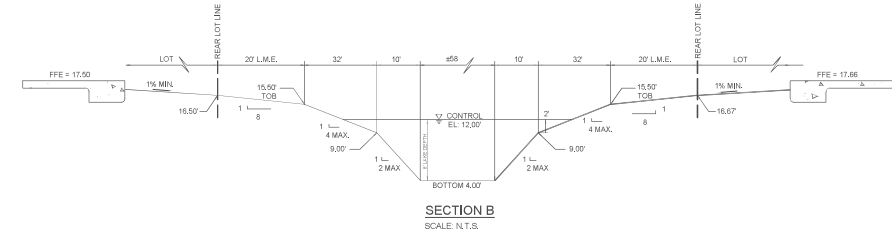
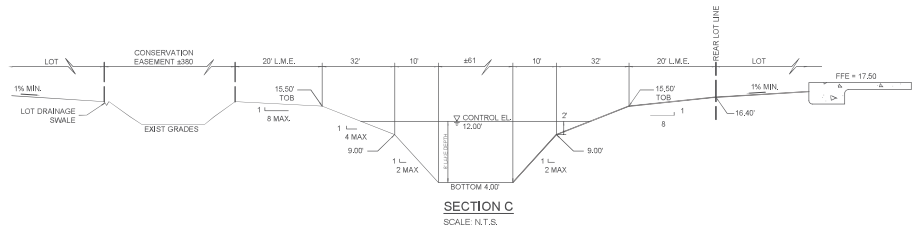
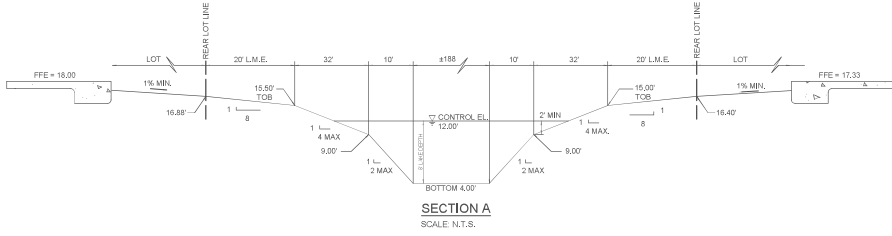
**SYMPHONY LAKES**  
SELVITZ ROAD  
CITY OF FORT PIERCE, FL 34981  
PAVING GRADING AND DRAINAGE DETAILS  
DRAWN BY: DCC  
CHECKED BY: JWM  
APPROVED BY: JWM  
SCALE: SEE SHEET

PROJ. NO. 24-1600  
DATE 10.02.2024  
SHEET NO.

**C-4.2**

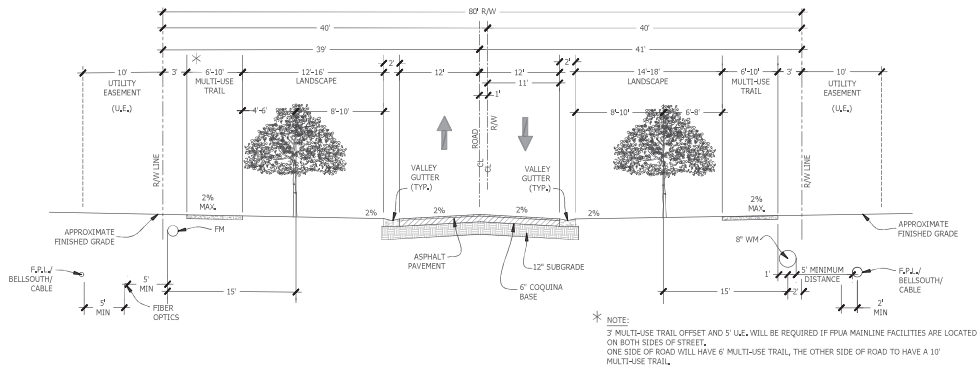
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ISSUE	DATE	COMMENTS

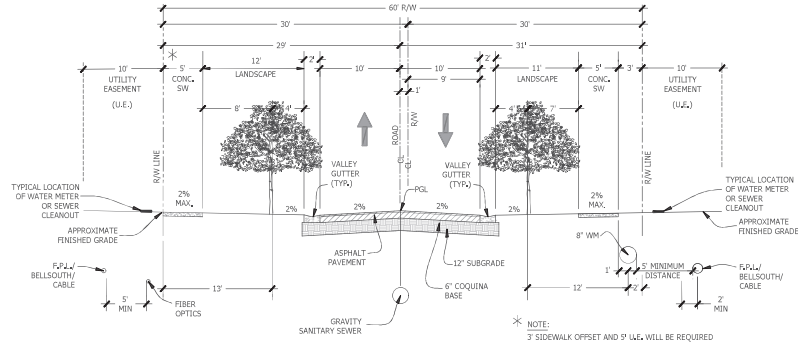


ISSUE	DATE	COMMENTS

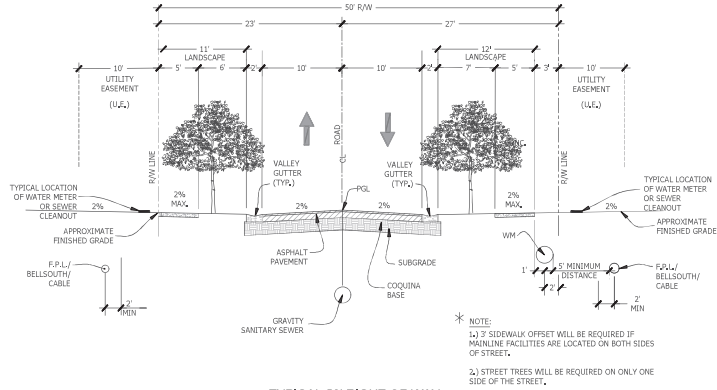
SCALE: SEE SHEET	APPROVED BY: JWM
SCALE: SEE SHEET	CHIEFED BY: JWM
SCALE: SEE SHEET	EXAMINER: DCC



TYPICAL 80' RIGHT OF WAY  
SCALE: N.T.S.



TYPICAL 60' RIGHT OF WAY  
SCALE: N.T.S.



TYPICAL 50' RIGHT OF WAY  
SCALE: N.T.S.

ISSUE	DATE	COMMENTS

PROJECT NO.	24-1800
DATE	10-02-2024
SHEET NO.	C-4.4
PROJECT NAME	SYMPHONY LAKES
LOCATION	SELVITZ ROAD CITY OF FORT PIERCE, FL 34981
DESIGNED BY	JWM
CHECKED BY	JWM
APPROVED BY	JWM
SCALE	SEE SHEET
TYPICAL CROSS SECTIONS	