



HALEY WARD®

Precast Specialties, LLC

PZSITE2025-00017

Major Adjustment to Site Plan

City Commission Meeting

November 3, 2025

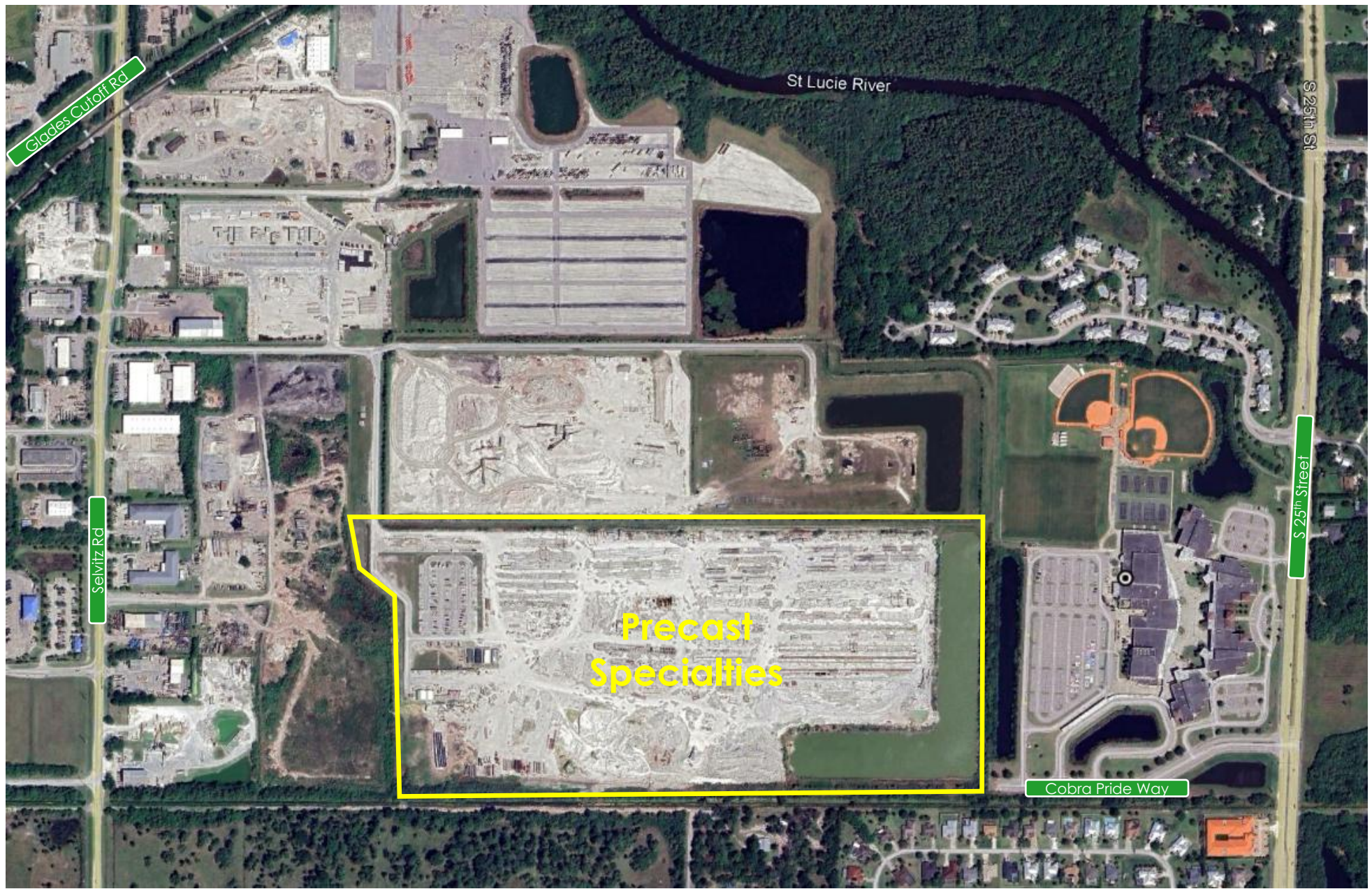


Site Data

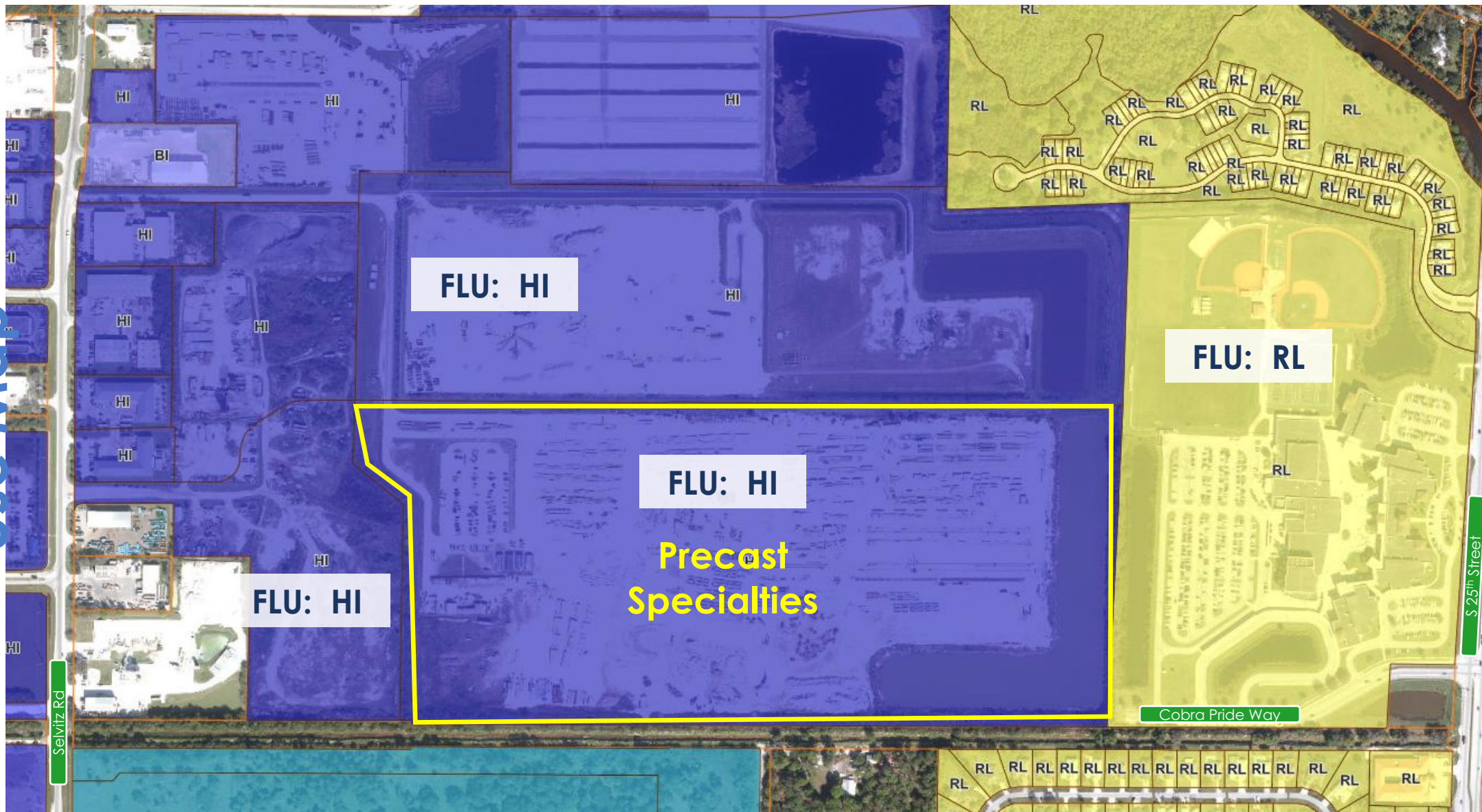
- **Overall land size:**
 - 75 acres
- **Current Use:**
 - Existing concrete plant.
 - Concrete is currently delivered daily to the site for manufacturing of structural, utility and stormwater infrastructure
- **Current Future Land Use:**
 - Heavy Industrial
- **Current Zoning:**
 - Heavy Industrial Zoning (I-3)
- **Operation**
 - Site has been operating since 2017.



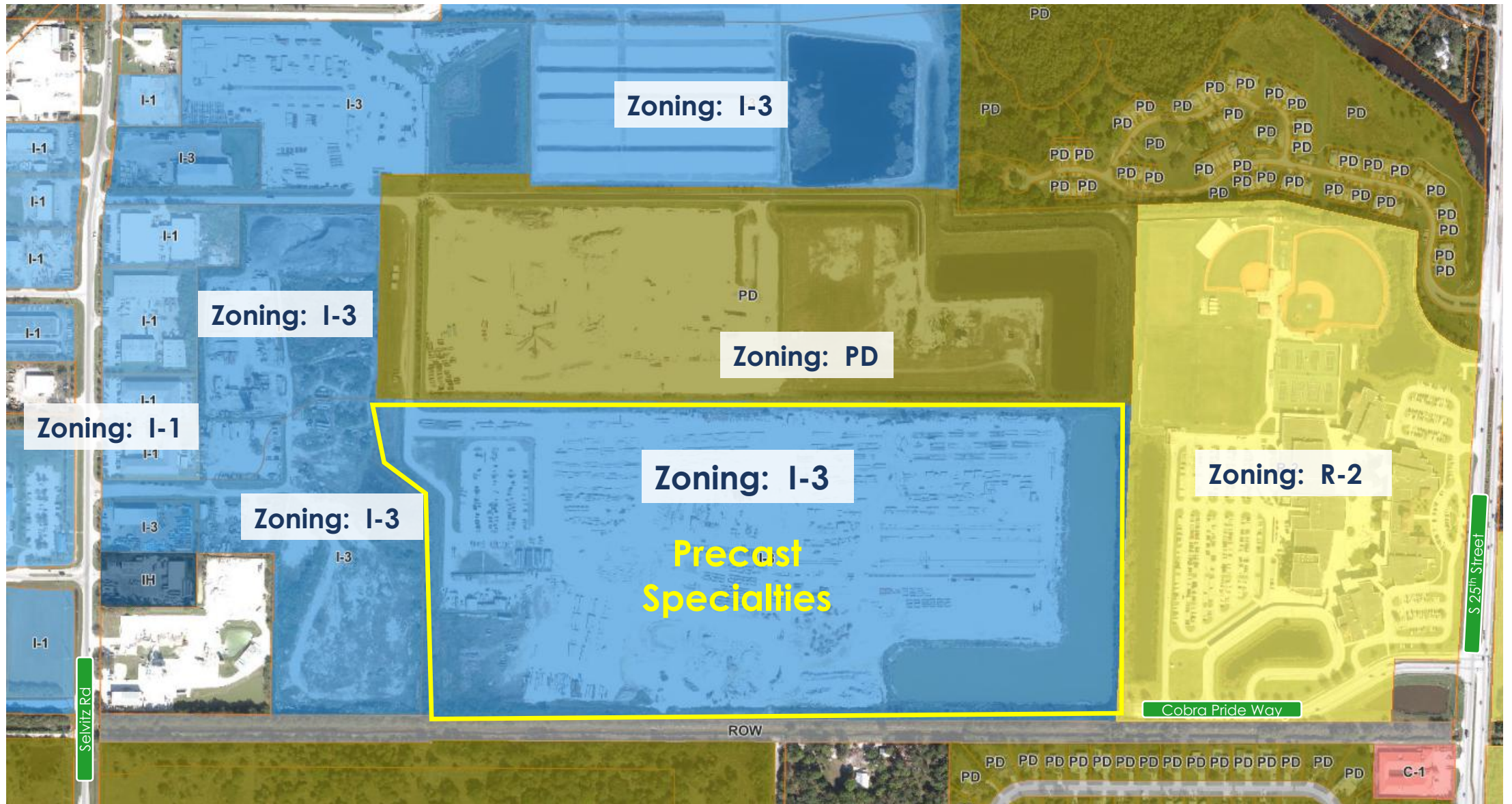
Aerial Map



Future Land Use Map



Zoning Map





Proposed Development

Phased Development

- Phase 1:
 - Construction of a batch plant and 800 sf dispatch office with associated site improvements.
- Phase 2:
 - Additional of 41,100 sf office / workshops, parking lot, water and sewer extensions to serve the phase 2 building and other associated site improvements.



Adjacent Neighbors



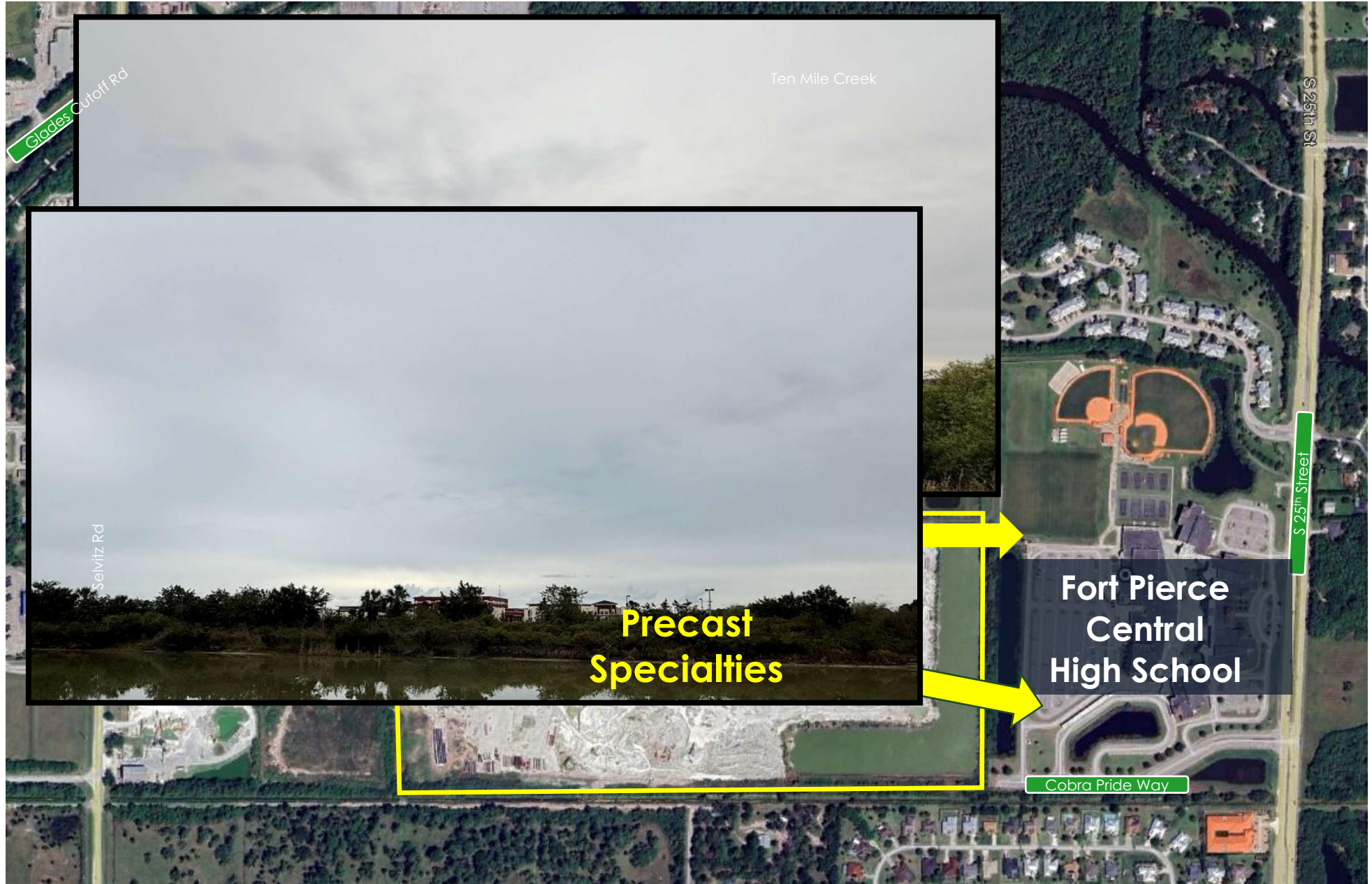
Adjacent Neighbor North



**DS Eakins
Concrete Recycling**



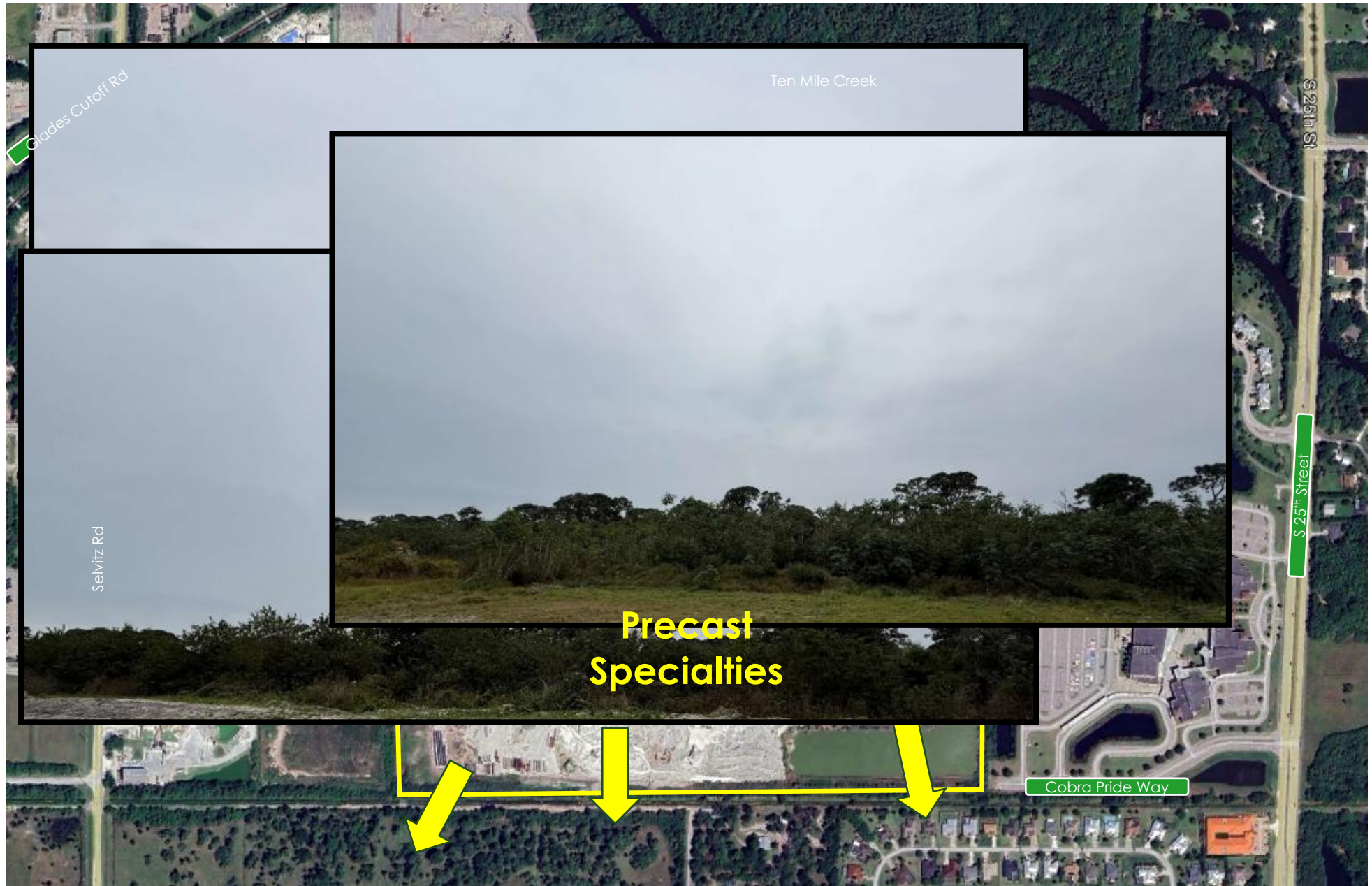
Adjacent Neighbor East



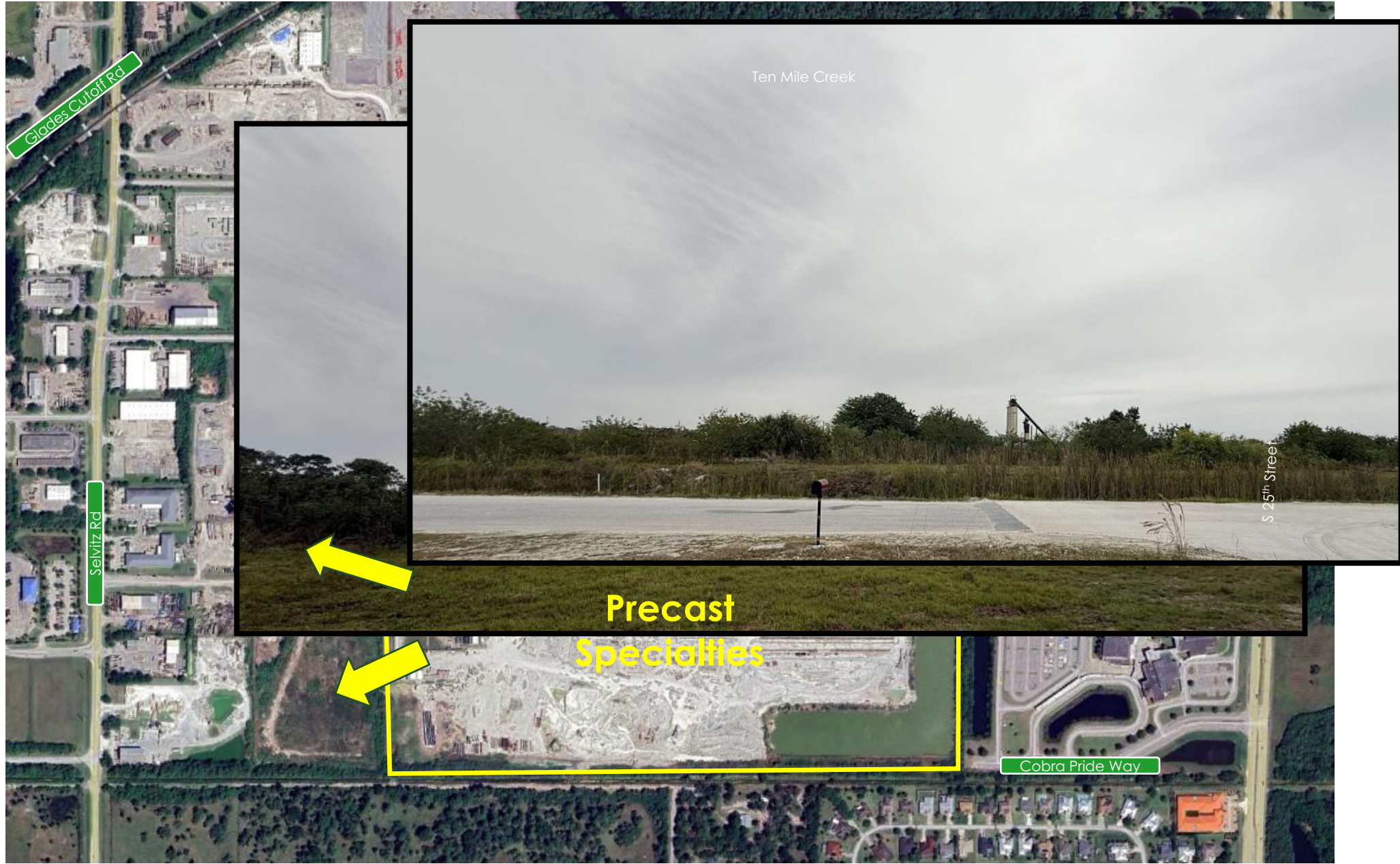
Precast Specialties

Fort Pierce Central High School

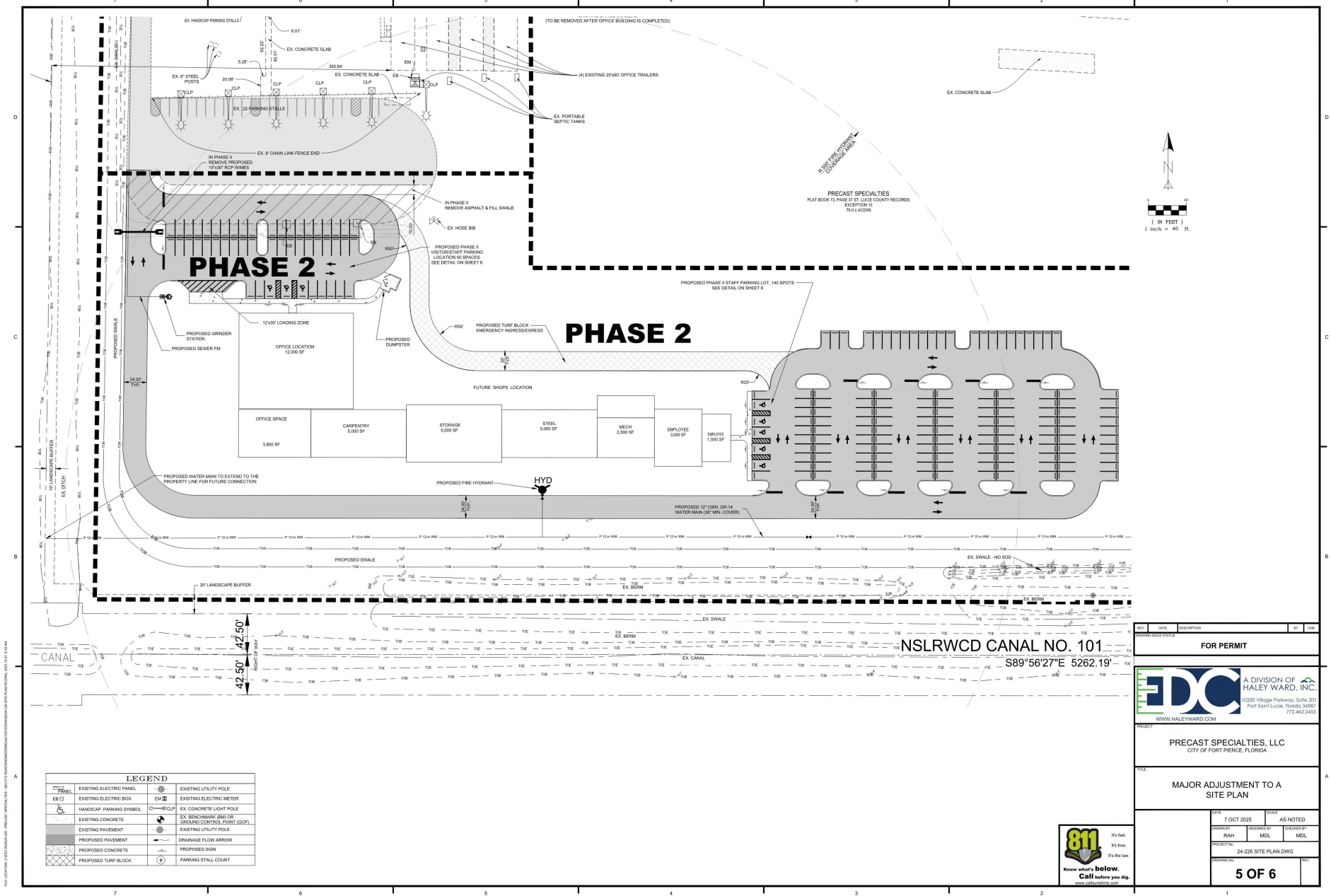
Adjacent Neighbor South



Adjacent Neighbor West

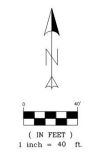


Proposed Site Plan Amendment Phase 2



LEGEND

	EXISTING ELECTRIC PANEL		EXISTING UTILITY POLE
	EXISTING ELECTRIC BOX		EXISTING ELECTRIC METER
	HANDICAP PARKING SYMBOL		EXISTING CONCRETE
	EXISTING PAVEMENT		EXISTING UTILITY POLE
	PROPOSED PAVEMENT		DRAINAGE FLOW ARROW
	PROPOSED CONCRETE		PROPOSED SIGN
	PROPOSED TURF BLOCK		PARKING STALL COUNT



REV.	DATE	DESCRIPTION	BY	CHK.
FOR PERMIT				

EDC A DIVISION OF
HALEY WARD, INC.
10250 Village Parkway, Suite 201
Fort Saint Lucie, Florida 34987
772-462-2455
WWW.HALEYWARD.COM

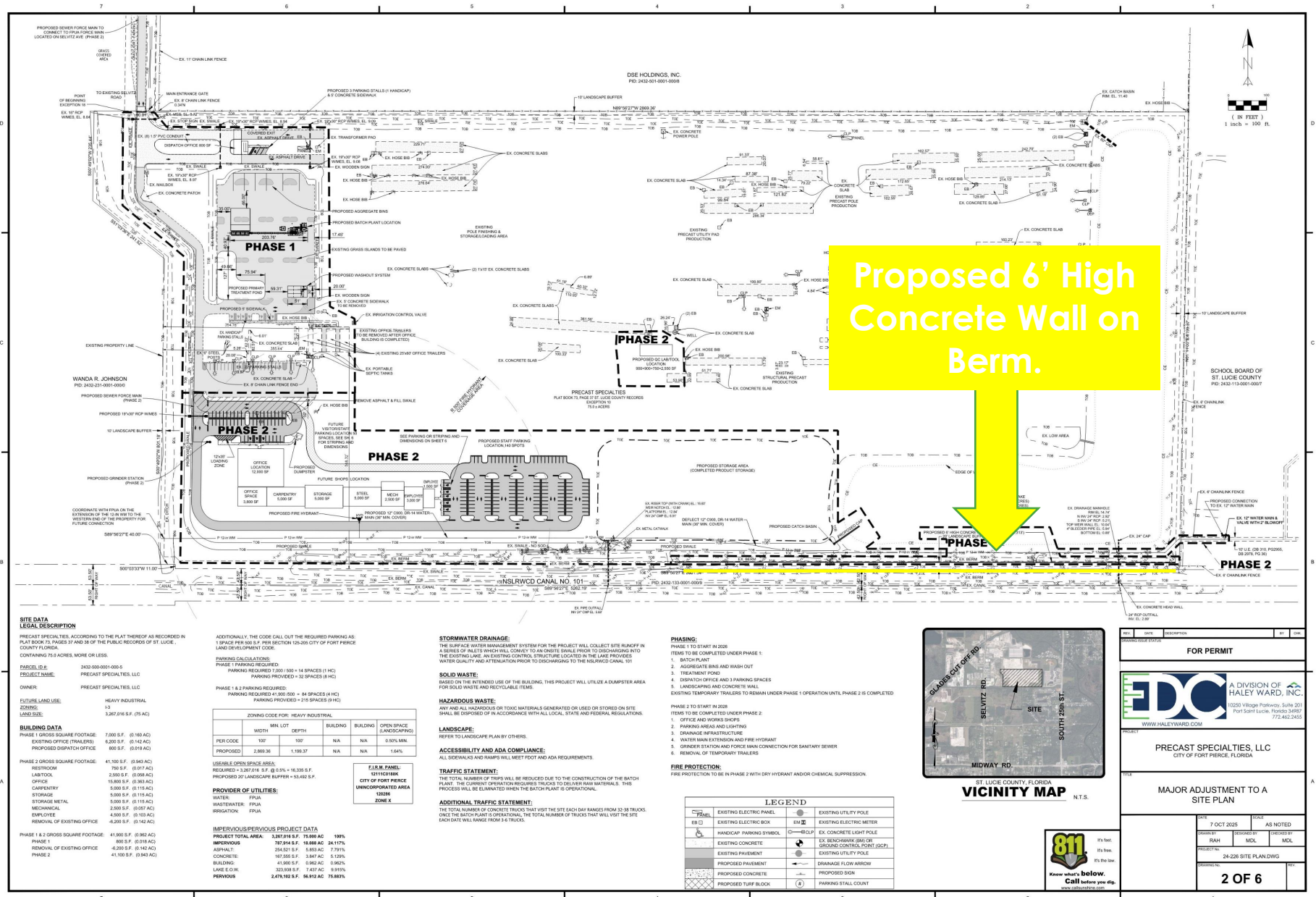
PRECAST SPECIALTIES, LLC
CITY OF FORT PIERCE, FLORIDA

**MAJOR ADJUSTMENT TO A
SITE PLAN**

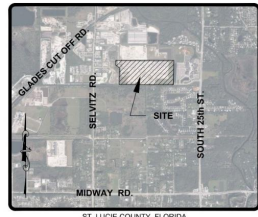
DATE	7 OCT 2025	SCALE	AS NOTED
DRAWN BY	RAH	CHECKED BY	MDL
PROJECT NO.	24-226 SITE PLAN.DWG		
5 OF 6			



Overall Proposed Site Plan Amendment



Proposed 6' High Concrete Wall on Berm.



VICINITY MAP

SITE DATA
LEGAL DESCRIPTION
 PRECAST SPECIALTIES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 79, PAGES 27 AND 28 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.
 CONTAINING 25.4 ACRES, MORE OR LESS.
 PARCEL ID #: 2432-001-0001-0005
 PROJECT NAME: PRECAST SPECIALTIES, LLC
 OWNER: PRECAST SPECIALTIES, LLC
 FUTURE LAND USE: HEAVY INDUSTRIAL
 ZONING: I-3
 LAND SIZE: 3.87016 SF (0.08 AC)

BUILDING DATA
 PHASE 1 GROSS SQUARE FOOTAGE: 7,000 S.F. (0.160 AC)
 EXISTING OFFICE (TRAILERS): 8,200 S.F. (0.182 AC)
 PROPOSED DISPATCH OFFICE: 900 S.F. (0.018 AC)
 PHASE 2 GROSS SQUARE FOOTAGE: 41,160 S.F. (0.942 AC)
 RESTROOM: 750 S.F. (0.017 AC)
 LAB/TOOL: 2,300 S.F. (0.053 AC)
 OFFICE: 19,800 S.F. (0.453 AC)
 CARPENTRY: 5,000 S.F. (0.115 AC)
 STORAGE: 5,000 S.F. (0.115 AC)
 STORAGE METAL: 2,800 S.F. (0.064 AC)
 MECHANICAL: 4,000 S.F. (0.092 AC)
 EMPLOYEE: 4,200 S.F. (0.142 AC)
 REMOVAL OF EXISTING OFFICE
 PHASE 1 & 2 GROSS SQUARE FOOTAGE: 41,860 S.F. (0.962 AC)
 PHASE 1: 800 S.F. (0.018 AC)
 REMOVAL OF EXISTING OFFICE: 4,200 S.F. (0.142 AC)
 PHASE 2: 41,160 S.F. (0.942 AC)

PARKING CALCULATIONS
 PHASE 1 PARKING REQUIRED: PARKING REQUIRED 7,200 / 500 = 14 SPACES (1 HC)
 PHASE 2 PARKING REQUIRED: PARKING PROVIDED 32 SPACES (4 HC)
 PHASE 1 & 2 PARKING REQUIRED: 41,800 / 500 = 84 SPACES (4 HC)
 PARKING PROVIDED: 32 SPACES (4 HC)

ZONING CODE FOR: HEAVY INDUSTRIAL	MIN. LOT		BUILDING DEPTH	BUILDING	OPEN SPACE (LANDSCAPING)
	WIDTH	DEPTH			
PER CODE	100'	100'	N/A	N/A	0.50% MIN.
PROPOSED	2,889.36'	1,199.37'	N/A	N/A	1.54%

USEABLE OPEN SPACE AREA
 REQUIRED = 3,207.918 S.F. @ 0.5% = 16,339 S.F.
 PROPOSED 20' LANDSCAPE BUFFER = 53,492 S.F.

PROVIDER OF UTILITIES:
 WATER: FPUA
 WASTEWATER: FPUA
 IRRIGATION: FPUA

EM/EM/EM PANEL:
 DEFINITION: CITY OF FORT PIERCE UNINCORPORATED AREA ZONE X

STORMWATER DRAINAGE:
 THE SURFACE WATER MANAGEMENT SYSTEM FOR THE PROJECT WILL COLLECT SITE RAINFALL IN A SERIES OF INLETS WHICH WILL CONVEY TO AN ONSITE SWALE PRIOR TO DISCHARGING INTO THE EXISTING LAKE. AN EXISTING CONTROL STRUCTURE LOCATED IN THE LAKE PROVIDES WATER QUALITY AND ATTENUATION PRIOR TO DISCHARGING TO THE NSLRWCD CANAL 101

SOLID WASTE:
 BASED ON THE INTENDED USE OF THE BUILDING, THIS PROJECT WILL UTILIZE A DUMPSTER AREA FOR SOLID WASTE AND RECYCLABLE ITEMS.

HAZARDOUS WASTE:
 ANY AND ALL HAZARDOUS OR TOXIC MATERIALS GENERATED OR USED OR STORED ON SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

LANDSCAPE:
 REFER TO LANDSCAPE PLAN BY OTHERS.

ACCESSIBILITY AND ADA COMPLIANCE:
 ALL SIDEWALKS AND RAMPS WILL MEET FOOT AND ADA REQUIREMENTS.

TRAFFIC STATEMENT:
 THE TOTAL NUMBER OF TRIPS WILL BE REDUCED DUE TO THE CONSTRUCTION OF THE BATCH PLANT. THE CURRENT OPERATION REQUIRES TRUCKS TO DELIVER RAW MATERIALS. THIS PROCESS WILL BE ELIMINATED WHEN THE BATCH PLANT IS OPERATIONAL.

ADDITIONAL TRAFFIC STATEMENT:
 THE TOTAL NUMBER OF CONCRETE TRUCKS THAT VISIT THE SITE EACH DAY RANGES FROM 15-30 TRUCKS. ONCE THE BATCH PLANT IS OPERATIONAL, THE TOTAL NUMBER OF TRUCKS THAT WILL VISIT THE SITE EACH DAY WILL RANGE FROM 3-4 TRUCKS.

PHASING:
 PHASE 1 TO START IN 2028
 ITEMS TO BE COMPLETED UNDER PHASE 1:
 1. BATCH PLANT
 2. AGGREGATE BINS AND WASH OUT
 3. TREATMENT POND
 4. DISPATCH OFFICE AND FINISHING SPACES
 5. LANDSCAPING AND CONCRETE WALL
 EXISTING TRAILERS TO REMAIN UNDER PHASE 1 OPERATION UNTIL PHASE 2 IS COMPLETED

PHASE 2 TO START IN 2029
 ITEMS TO BE COMPLETED UNDER PHASE 2:
 1. OFFICE AND WORKS SHOPS
 2. PARKING AREAS AND LIGHTING
 3. DRAINAGE INFRASTRUCTURE
 4. WATER MAIN EXTENSION AND FIRE HYDRANT
 5. GREASER STATION AND FORCE MAIN CONNECTION FOR SANITARY SEWER
 6. REMOVAL OF TEMPORARY TRAILERS

FIRE PROTECTION:
 FIRE PROTECTION TO BE IN PHASE 2 WITH DRY HYDRANT AND/OR CHIMNEY SUPPRESSION

LEGEND

	EXISTING ELECTRIC PANEL		EXISTING UTILITY POLE
	EXISTING ELECTRIC BOX		EXISTING ELECTRIC METER
	EXISTING CONCRETE		EX. CONCRETE LIGHT POLE
	EXISTING PAVEMENT		EX. RESERVOIR/ RUNOFF CONTROL POINT (RCP)
	PROPOSED PAVEMENT		EXISTING UTILITY POLE
	PROPOSED CONCRETE		DRAINAGE FLOW ARROW
	PROPOSED TURF BLOCK		PROPOSED SIGN
			PARKING STALL COUNT

FOR PERMIT

EDC A DIVISION OF **HALEY WARD, INC.**
 10225 Village Parkway, Suite 201
 Fort Pierce, Florida 34989
 772.462.2455
 WWW.HALEYWARD.COM

PROJECT: PRECAST SPECIALTIES, LLC
 CITY OF FORT PIERCE, FLORIDA

FILE: MAJOR ADJUSTMENT TO A
 SITE PLAN

DATE	BY	REVISION
7 OCT 2025	RAH	AS NOTED

DESIGNED BY: RAH
 CHECKED BY: MDL
 PROJECT NO: 24-226 SITE PLAN DWG
 SHEET NO: 2 OF 6

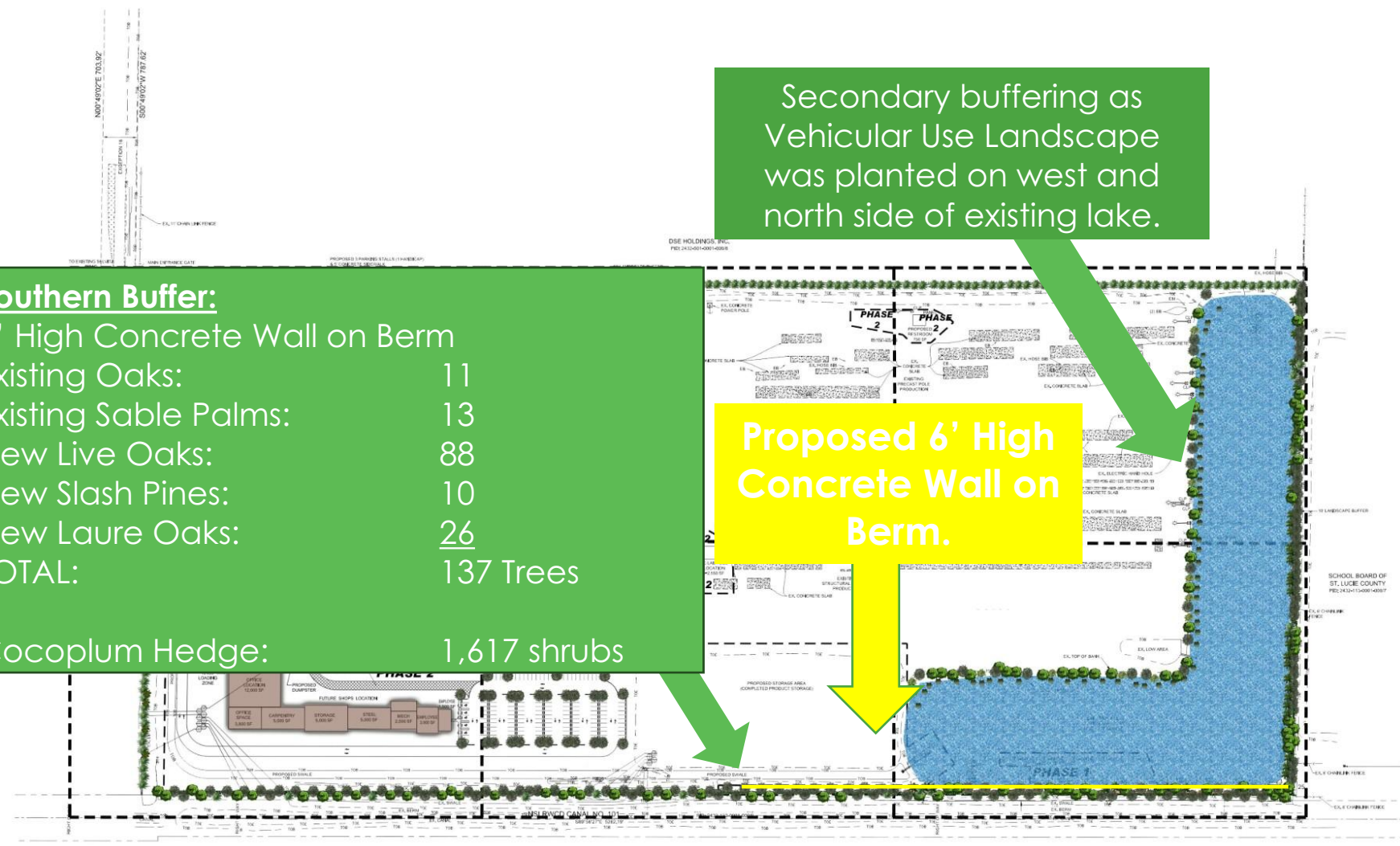
811 Know what's below. Call before you dig. www.811.com

Proposed Buffering

Southern Buffer:
 6' High Concrete Wall on Berm
 Existing Oaks: 11
 Existing Sable Palms: 13
 New Live Oaks: 88
 New Slash Pines: 10
 New Laure Oaks: 26
 TOTAL: 137 Trees
 Cocoplum Hedge: 1,617 shrubs

Secondary buffering as Vehicular Use Landscape was planted on west and north side of existing lake.

Proposed 6' High Concrete Wall on Berm.



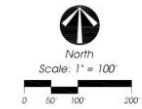
Jeffrey W. Smith, RLA
 Florida Registration Number: 11 0901633

Job No.	24-0503
Drawn By	JWS
Submital Dates	3-24-2025 7-17-2025
Revision Dates	
Comments #1	7-17-2025

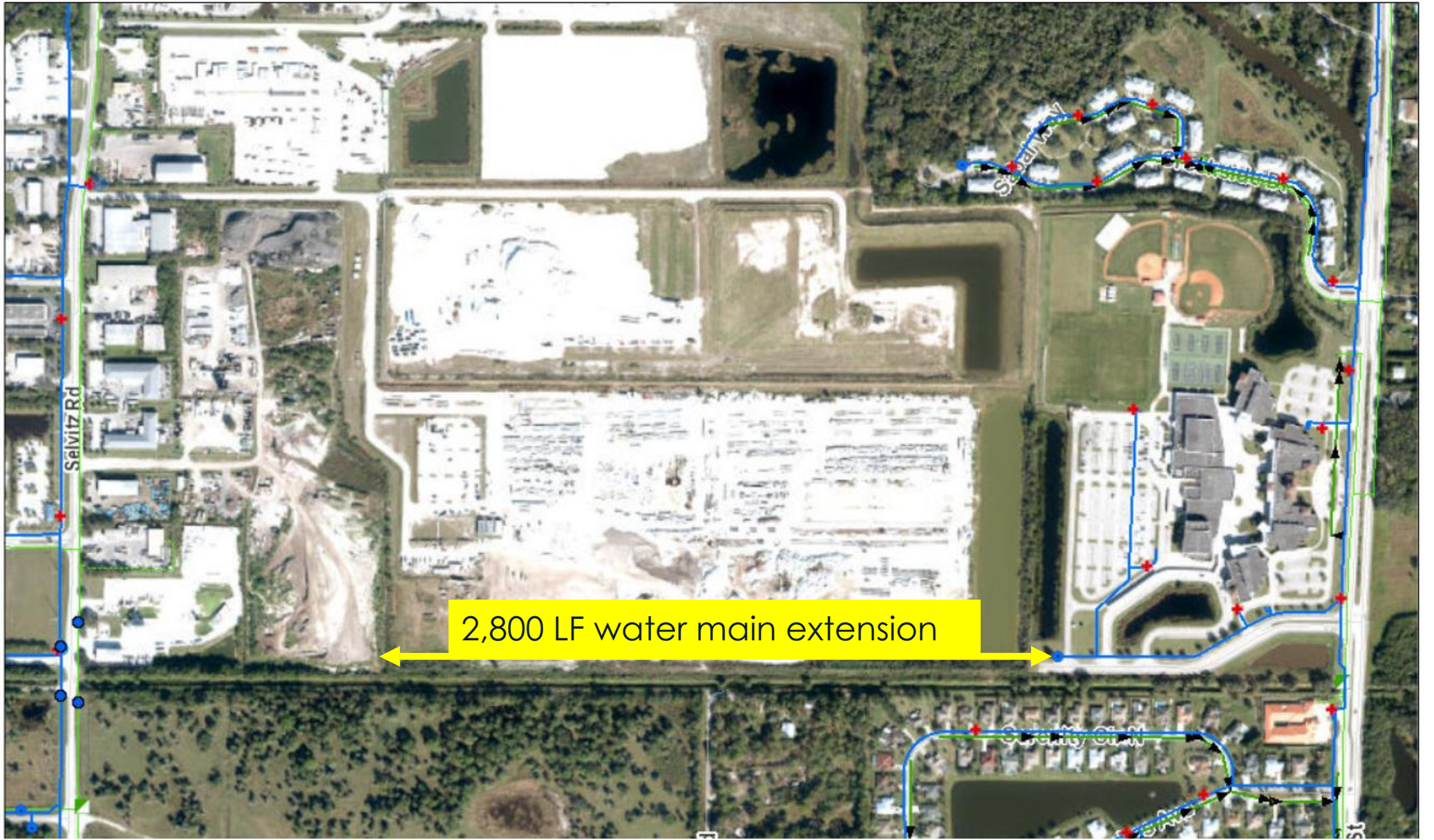
These drawings are the property of the Engineer and shall not be used for any other projects except by written permission from the Engineer. Report any discrepancies immediately to the landscape architect.

L-7 of 8
 Sheet of

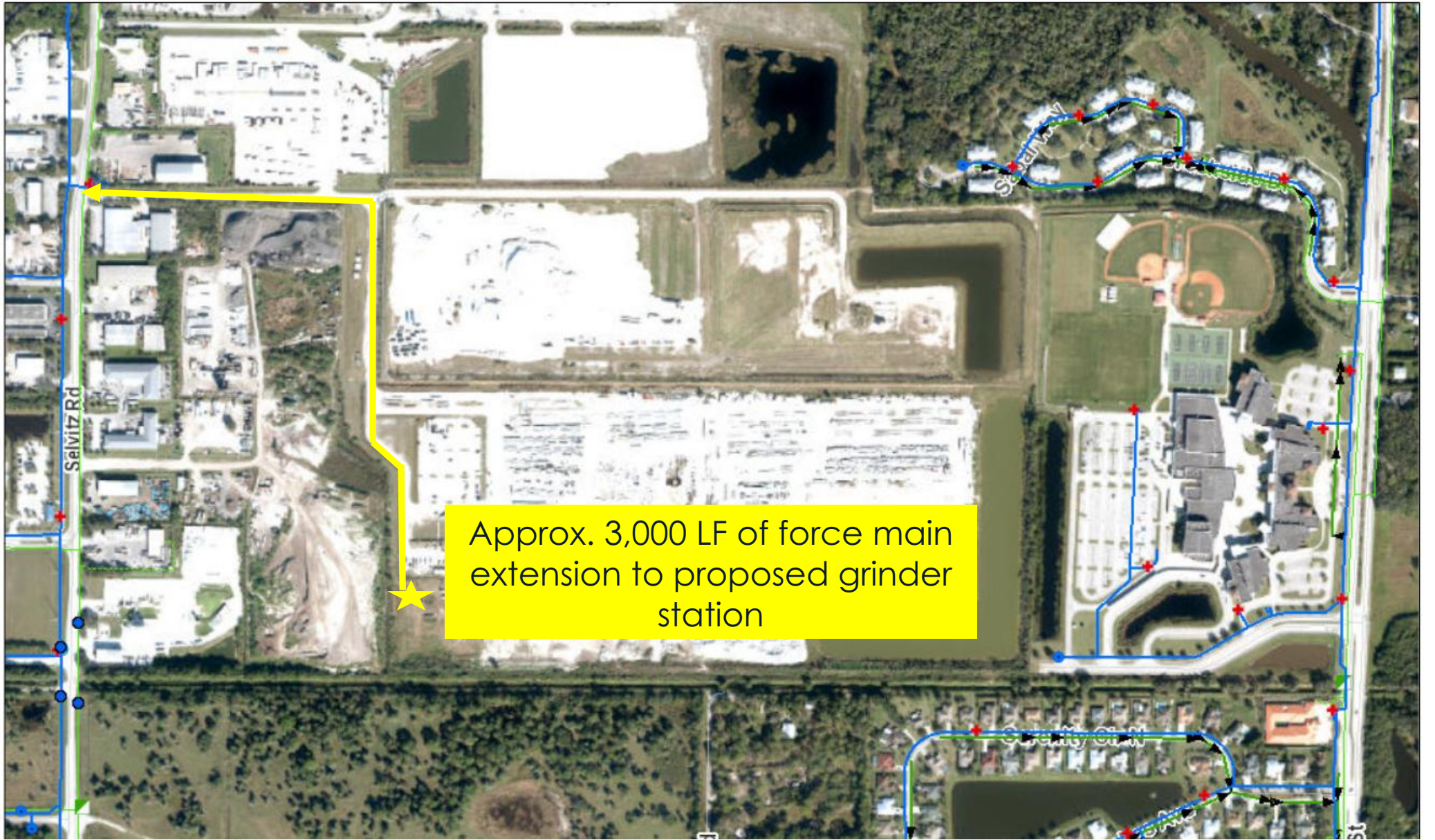
Landscape Plan



Proposed Water Main Extension (Ph 2)



Proposed Sanitary Connection (Ph 2)

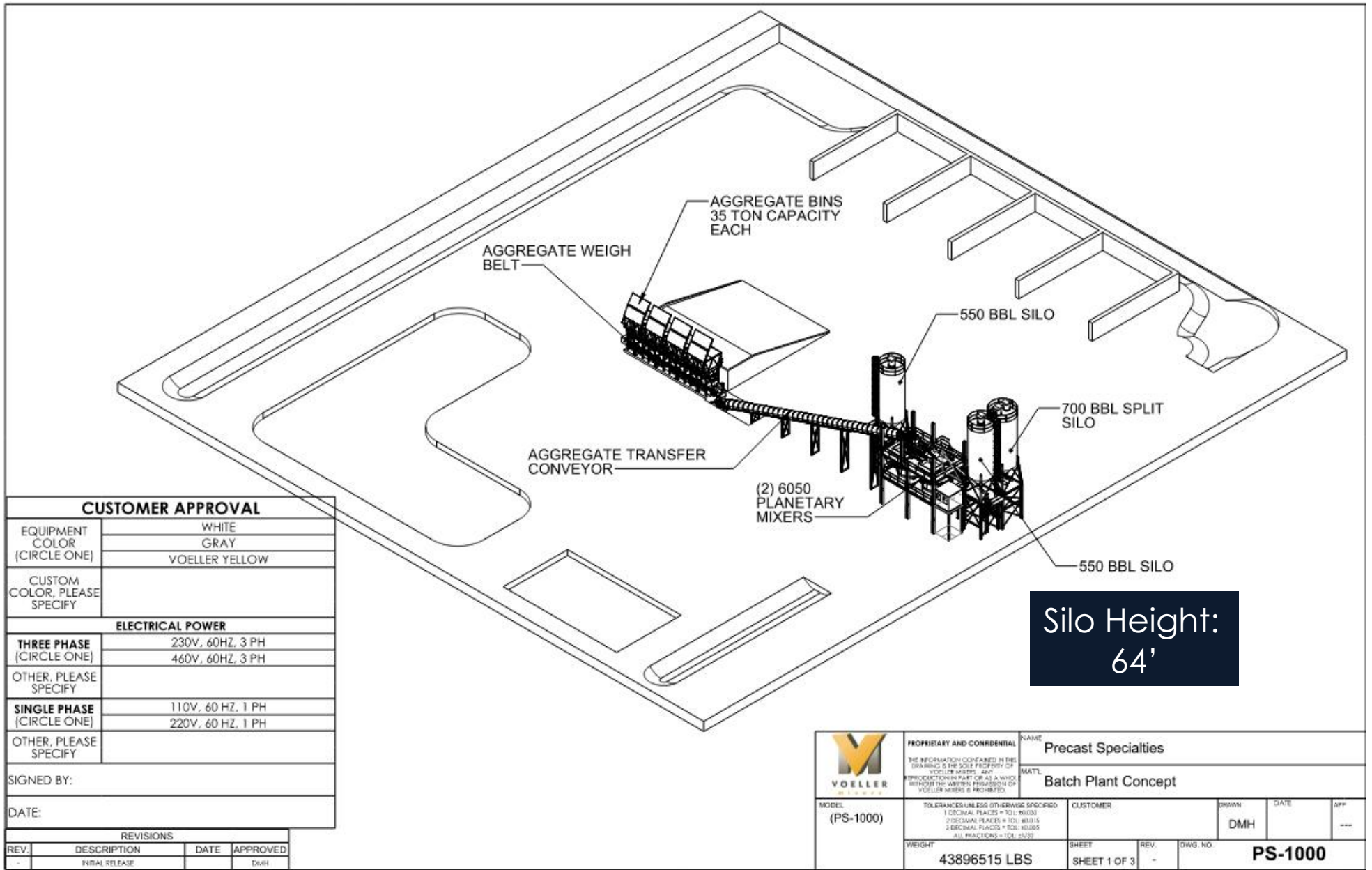


Proposed Development Schedule

Phase 1	Start by:	Completed by:
Batch Plant	January 2026	December 2027
Aggregate Bins / Wash Out	January 2026	December 2027
Treatment Pond	January 2026	December 2027
Dispatch Office / 3 Parking Spaces	January 2026	December 2027
Landscaping Wall	January 2026	December 2027

Phase 2	Start by:	Completed by:
Office / Workshops	January 2028	December 2030
Parking Lots & Lighting	January 2028	December 2030
Water Main Extension / Hydrant	January 2028	December 2030
Grinder Station / Force Main	January 2028	December 2030
Removal of Temp. Trailers	January 2028	December 2030

Batch Plant Concept



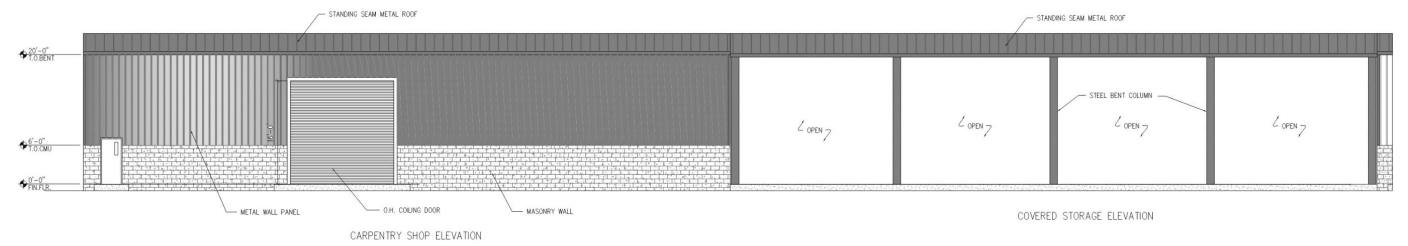
Phase 2 Elevations



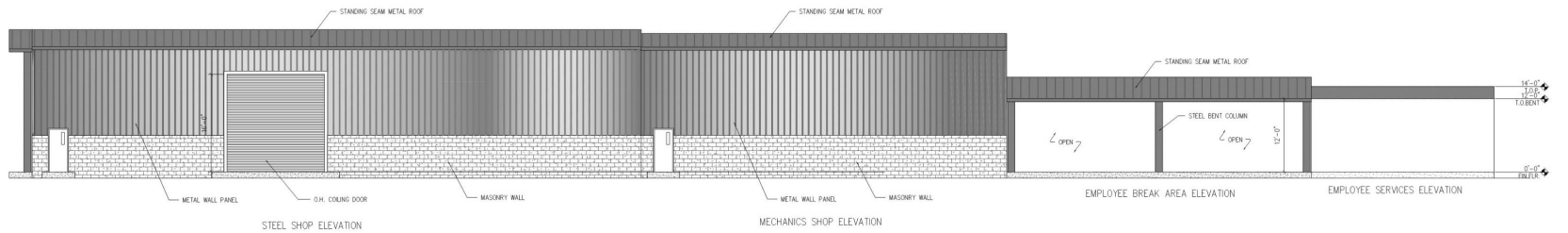
Phase 2 Elevations



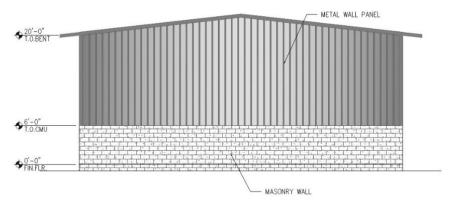
01 OVERALL SOUTH ELEVATION
SCALE: 1/16"=1'-0"



02 PARTIAL SOUTH ELEVATION
SCALE: 1/8"=1'-0"



03 PARTIAL SOUTH ELEVATION
SCALE: 1/8"=1'-0"



04 CARPENTRY WEST ELEVATION
SCALE: 1/8"=1'-0"

ENGR.		DATE	NEW CONSTRUCTION FOR:		APPROVED DATE	SHEET NO.	W.O.P.
CHECKED		DATE	PRECAST SPECIALTIES, LLC		-	-	P-16-
1:31:25	COLOR LEGEND	A.C.	3898 SELVITZ ROAD		 Pre-Cast Specialties, LLC 3898 SELVITZ ROAD, FORT PIERCE, FL 34981 PHONE: 888-791-4340 FAX: 888-791-1194		
DATE	DESCRIPTION	BY	DRAWN	DATE			
REVISIONS		M.R.	05.15.2023				

Phase 2 Elevations



ENGR. DATE		NEW CONSTRUCTION FOR:		APPROVED DATE	SHEET NO.	WORK
CHECKED DATE		PRECAST SPECIALTIES, LLC			P-16-	
1.31.25	COLOR LEGEND	A.S.	3898 SELVITZ ROAD			
DATE	DESCRIPTION	BY	CITY OF FORT PIERCE			
			ST. LUCIE COUNTY, FLORIDA	Fort-Cast Specialties, LLC 3898 SELVITZ ROAD, FORT PIERCE, FL 34981 PHONE: 884-781-8540 FAX: 884-781-1184		
REVISIONS		DATE	DESCRIPTION			

Proposed Conditions

1. The timetable of development shall be such:

Phase 1	Start by:	Completed by:
Batch Plant	January 2026	December 2027
Aggregate Bins / Wash Out	January 2026	December 2027
Treatment Pond	January 2026	December 2027
Dispatch Office / 3 Parking Spaces	January 2026	December 2027
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RESPONSE: Acknowledged.

Proposed Conditions

2. The full calculation and proposed tree mitigation shall be approved by the City arborist prior to commencement of Phase 1.

RESPONSE: Acknowledged.

3. The property owner shall be responsible for maintenance of the trees through a landscape maintenance agreement. This responsibility includes the replacement of unhealthy and dead trees. The property owner shall submit to an on-site inspection of the planted / preserved vegetation 12 months after the issuance of the Phase 1 first certification of occupancy. If it is determined that the planted vegetation is dead, diseased or otherwise not in compliance with provisions of this Code or the original approved tree mitigation plan, the property owner shall be provided notice and directed to correct any such deficiencies and replace all noncompliant materials within 60 days.

RESPONSE: Acknowledged.

4. No use shall exceed the applicable City of Fort Pierce standards for noise.

RESPONSE: Acknowledged.

Proposed Conditions

5. The hours of operation of the facility shall be limited to: Monday – Friday between 6:30 a.m. to 8:00 p.m., Saturday from 7:00 a.m. to 8:00 p.m., Sunday – No operation. Quiet hours 11:00 p.m. to 7:00 a.m.

RESPONSE: Acknowledged.

6. The applicant shall implement the Heavy-Duty White Sound ® Smart Reversing system alarm, or similar, to reduce, as far as practicable, the noise impacts of reversing trucks and other equipment prior to completion of the Batch Plant within Phase 1.

RESPONSE: Acknowledged. This has already been addressed and are installed on equipment.

(Continue to next side)

Proposed Conditions

7. Prior to commencement of Phase 1, the applicant shall coordinate the approval of an Erosion and Sediment Control Plan with the City Engineer. The Plan shall relate to the sequence of construction of the development site, including stripping and clearing; rough grading; construction of utilities; infrastructure, and buildings; and final grading and landscaping. Sequencing shall identify the expected date on which clearing will begin, the estimated duration of exposure of cleared areas, areas of clearing, installation of temporary erosion and sediment control measures, and establishment of permanent vegetation. All erosion and sediment control measures necessary to meet the objectives of the City Code of Ordinances shall be maintained and in place throughout all phases of construction and after completion of development of the site.

RESPONSE: Acknowledged.

8. All applicable State and Federal Permits shall be obtained before commencement of development.

RESPONSE: Acknowledged.



Summary

Phased Development

- Phase 1:
 - Construction of a batch plant and 800 sf dispatch office with associated site improvements.
- Phase 2:
 - Additional of 41,100 sf office / workshops, parking lot, water and sewer extensions to serve the phase 2 building and other associated site improvements.





Questions





HALEY WARD®

Precast Specialties, LLC

PZSITE2025-00017

Major Adjustment to Site Plan

City Commission Meeting

November 3, 2025