



CONDITIONAL USE – NO NEW CONSTRUCTION

Property Information

Property address or Location

2210 Orange

Parcel ID #(s)

2409-602-0010-000-2

Project description

Conditional Use Review to convert use to Day Care Facility

Site Information

Building Size: 7711 Parking Spaces: 32

ARS HOLDINGS OF FLORIDA LLC

Property Owner(s)

930-3 Malabar Road se

Street Address

PALM BAY FL 32907

City State Zip

321.432.0675

Phone Number

shahankoor@gmail.com

Email Address

Lany and Claudel Romuls

Applicant/Representative, Title, Company

5991 NW BAYNARD DR

Street Address

PORT ST LUCIE FL 34986

City State Zip

Phone Number

lanyvalsaint@yahoo.com

Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

Ankur Shah

August 14, 2024

Property Owner(s) Signature(s)

APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS

CALL 772.467.3737 OR E-MAIL PLANNING_DL@CITYOFFORTPIERCE.COM

For more information, please refer to the website:

<https://www.cityoffortpiece.com/971/Application-Submittal-for-Technical-Rev>

General Information

- **Incomplete application packets will not be accepted.**
- In-take meetings are required for application submittals.
- Conditional Use approval is valid for one (1) year following City Commission approval.
- Fee Schedule - <https://www.cityoffortpierce.com/DocumentCenter/View/2620/Fee-Schedule->
- Public Notice Fees - <https://www.cityoffortpierce.com/DocumentCenter/View/8818/Public-Notice-Fees->



Submittal Requirements:

Submit one (1) original & three (3) hard copies and one (1) CD or Flash Drive of the following. Additional copies will be required of subsequent submittals.

- As-built Survey
- Floor Plan of Existing Buildings
- Site plan, to scale, including existing improvements and proposed parking, driveways, landscaping & storm drainage
- Lighting Plan
- Complete Application

The application for conditional use with the application for site plan review, when not exempt in accordance with the requirements of section 125-236, shall be reviewed as a unit in accordance with the requirements of section 125-313 except that:

1. The City Commission shall hold a public hearing in accordance with the provisions of section 125-38 prior to acting on the application for conditional use.
2. In permitting a conditional use or the modification of an existing conditional use, the city commission may impose, in addition to those standards and requirements expressly specified in this chapter, any condition which it finds to be necessary to protect the best interest of the surrounding property of the city.



Re: Conditional Use Review

To whom this may concern:

My name is Lany Romulus, I represent the company New Elite Academy. We are looking to purchase this property at 2210 Orange Ave to transition into a childcare center. We have provided services in the local area for over 6 years previously as King's Kids Academy of Learning and for the past 4 years as New Elite Academy. We have also held an extensive waitlist for children in our community seeking childcare. Unfortunately, we have turned away many families due to not being able to accommodate more children in our current location. This new property will add additional childcare services to Fort Pierce with a greater capacity of approximately 152 children to service more families in Fort Pierce. Our goal with this location is to bring in the needed childcare services our area has been requesting as the city continues to develop. According to the Early Learning Coalition of Saint Lucie County, there is a great need for programs to offer infant and toddler slots, many families remain without service due to lack of slots in our county. We are also seeking a contract with East coast Migrant Headstart, who also stated they have a waitlist of over thirty children in Fort Pierce that they would like to place in partnering with a program like ours in a facility that we are projecting to have. This proposed location will be able to accommodate thirty-two infants (6 weeks old- 18 months), sixty toddlers (18 months to 35 months old), and 60 (3 to 5 years old). We will also be creating thirty full time positions, twenty-four teachers, and six other accessory staff (2 Assistant directors, two cooks, and two float staff). The purposed site will have eight large classrooms to accommodate the children we serve in our program. Our hours of operation will be 5:00 a.m. to 6:00 p.m. as we serve parents that work in the hospital (Lawnwood) and Pursuit Boats.

We are looking to close this property before January 2025, so all required updates, inspections, and licensing can take place so we can open for services by August 2025. I came upon this property on sell through a commercial property search engine. We decided to put an offer on this property as it provided us with the opportunity to build out a program design that fits our needs, to offer safety and quality childcare. We have gained some milestones in obtaining our vision working with a group of engineers with designs and layout of the proposed center at 2210 Orange Ave. Project interior buildout is projecting 4 to 8 months, kitchen build out timeframe project 10-12 weeks, playground installation project from 2 days to 8 weeks depending on availability of products, and classroom materials are already being purchased and stored for new location. We are not considering any changes to the parking lot, as our programs will require the parents to park their vehicles and escort their child into the building to sign in and sign out daily. We understand we may have higher volumes of traffic in and out of our parking lot at these brackets of time periods (8:00 a.m. to 9:00 a.m. and 4:00 p.m. to 5:30 p.m.). We feel that we have an adequate number of parking spaces to accommodate this level of traffic.



We will enforce strict rules, so parents are aware of the severity of adequate parking lot safety and preschool requirements.

Our team is led by Mr. Claudel Romulus, my husband. He has led a real estate project previously and is a key component in making sure we are in communication with all assigned contractors to work on this project. Bates Security is responsible for installing the fire safety system. TaylorMade Fire Systems is responsible for ensuring the sprinkler system is installed and up to code. We have LIS Architecture, Engineering, Construction Management working on our facility designs interior and exterior, ready to provide changes as requirements to get conditional use approved. We are in the search for contractors to start the project as soon we have sole ownership of the property.

According to the Vice President of LIS Architecture, Engineering, Construction Management, Carlos Sobrin:

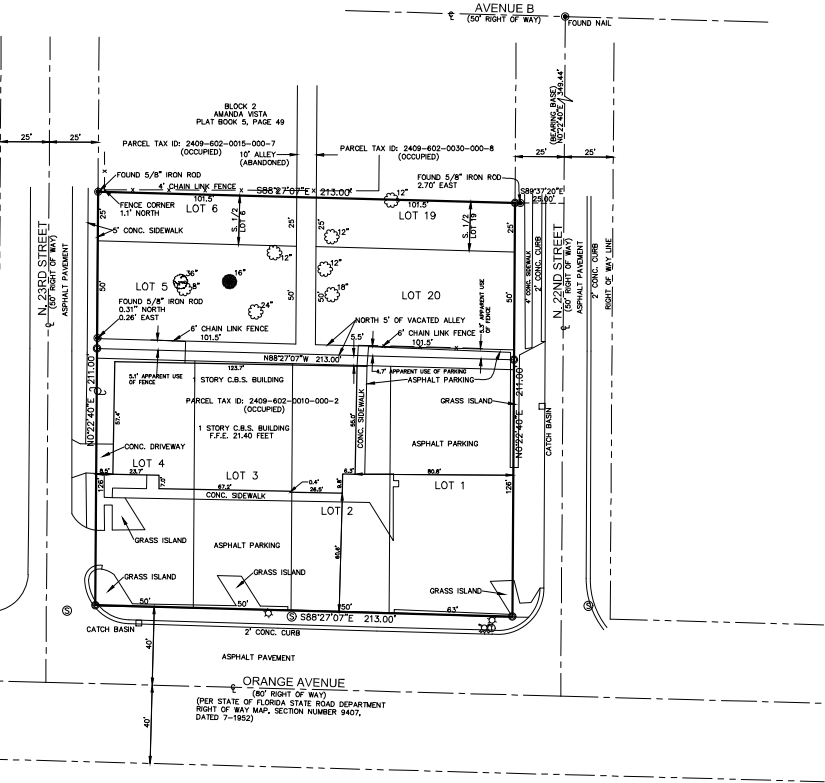
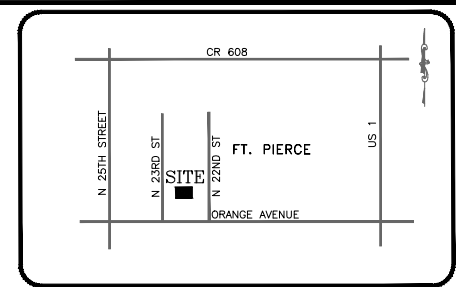
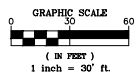
The project consists of the conversion of an existing convenience store to a daycare facility. Modifications to include Architectural, Electrical, Plumbing and limited Structural modifications for the accommodation of additional classrooms with adjoining restrooms. A defined entry will feature a reception area with an administrative office. A main hallway provides central access to eight classrooms with a kitchen, pantry, and storage area located towards the rear of the building. New interior finishes and lighting will be proposed throughout to create an inviting, fun environment for the children. The proposed hallway will terminate at a new rear egress door which will provide secure access to an exterior playground to be fenced in around the perimeter of the north portion of the property.

The exterior building will be re-branded with new signage and exterior wall-pack light fixtures for security purposes. No work is proposed to the existing site. Traffic circulation will remain as is. No changes are proposed to the existing parking and paved areas. The playground will be mulched to not disturb the current pervious area.

In closing we would like to share our school philosophy. We are invested in providing a nurturing and educational environment that promotes children's holistic development. This includes instilling important values such as good manners, caring, sharing, patience, responsibility, communication, and teamwork, as well as offering preschool activities that target specific areas of development. Our school emphasizes the importance of compliance with state regulations and promoting healthy habits through policies such as the candy-free zone. Overall, we prioritize the well-being and development of the children in our care. Thank you in advance for your time and this opportunity.

Sincerely,

Lany Romulus Owner/ Director



- LEGEND**
- OR.S. - OFFICIAL RECORDS BOOK
 - CL - CENTERLINE
 - PL - PLAT
 - (M) - MEASURED
 - (D) - DEED
 - (C) - CALCULATED
 - LB - LOCKED BUSINESS
 - CONC. - CONCRETE
 - C.M.P. - CORRUGATED METAL PIPE
 - INV - INVERT
 - E - ELEVATION
 - F.F.E. - FINISH FLOOR ELEVATION
 - PULE - PUBLIC UTILITY EASEMENT
 - D.E. - DRAINAGE EASEMENT
 - OHL - OVERHEAD UTILITY LINE
 - W.P.P. - WOOD POWER POLE
 - CON. ANCHOR - CONCRETE ANCHOR
 - C.C.R. - CERTIFIED CORNER RECORD
 - LP - LIGHT POLE
 - EM - ELECTRIC METER
 - LD - IDENTIFICATION
 - TR - TRAFFIC SIGNAL BOX
 - M.E.S. - METERED END SECTION
 - FR - FIBER OPTIC CABLE
 - ROSE - HIGH DENSITY POLY ETHYLENE PIPE
 - OT - OAK TREE
 - R.C.P. - REINFORCED CONCRETE PIPE
 - OR - SET 5/8" IRON ROD & CAP
 - ST - STAMPS 1/2" T805
 - MT - MANGO TREE
 - OT - OAK TREE
 - PT - PINE TREE
 - SM - SANITARY MANHOLE

DESCRIPTION

LOT 5, AND THE SOUTH HALF OF LOT 6, AND ALL OF THE LOT 20, AND SOUTH HALF OF LOT 19, BLOCK 2, ALAMANDA VISTA, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 5, PAGE 49 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA TOGETHER WITH VACATED ALLEY LYING BETWEEN SAID LOTS, AND THE NORTH 5 FEET OF VACATED ALLEY LYING ADJACENT TO SAID LOTS 5 AND 20.

TOGETHER WITH:

LOTS 1, 2, 3, AND 4, BLOCK 2 OF ALAMANDA VISTA SUBDIVISION, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 5, PAGE 49 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, LESS THE SOUTH 5 FEET THEREOF FOR ORANGE AVENUE.

- SURVEYOR'S NOTES**
- THIS SURVEY MAP OR THE COPIES THEREOF, EXCEPT THOSE WITH ELECTRONIC SIGNATURE AND ELECTRONIC SEAL, ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
 - HORIZONTAL RELATIONSHIPS, AS SHOWN HEREON, ARE BASED ON THE FLORIDA STATE PLANE COORDINATE GRID, EAST ZONE, USING THE NORTH AMERICAN DATUM OF 1983 WITH THE 2011 ADJUSTMENT (NAD83 2011).
 - THE CENTERLINE OF N. 2ND STREET IS ASSUMED TO BEAR NORTH 00°22'40" EAST AND ALL OTHER BEARINGS SHOWN HEREON ARE RELATIVE THERETO.
 - THE HORIZONTAL LOCATION OF NON-DIMENSIONED FEATURES ARE PLOTTED TO SCALE, UNLESS NOTED OTHERWISE.
 - SYMBOLS SHOWN WITHIN THIS DRAWING ARE NOT SCALE DEPENDENT.
 - DESCRIPTION SHOWN HEREON PROVIDED BY CLIENT.
 - FIELD SURVEY LAST CONDUCTED ON OCTOBER 7, 2021.
 - OVERALL PARCEL CONTAINS 44,934 SQUARE FEET OR 1.03 ACRES, MORE OR LESS.
 - ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
 - LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
 - UNDERGROUND IMPROVEMENTS, IF ANY, WERE NOT LOCATED, EXCEPT AS SHOWN.
 - LIMITS OF WETLANDS, IF ANY, UNDER GOVERNMENT JURISDICTION, WERE NOT DETERMINED AS PART OF THIS SURVEY.
 - BY GRAPHIC PLOTTING ONLY, SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A FLOOD ZONE DESIGNATION OF "X", ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) ON FLOOD INSURANCE RATE MAP (FIRM) PANEL NUMBER 12111C0178J, HAVING AN EFFECTIVE DATE OF FEBRUARY 16, 2012. THIS INFORMATION SHOULD BE CONFIRMED WITH THE APPROPRIATE AGENCY PRIOR TO CONSTRUCTION.
 - TREE SIZES, AS SHOWN ADJACENT TO TREE SYMBOLS, WERE TAKEN AT BREAST HEIGHT AND ARE IN INCHES OF A FOOT.

CERTIFIED TO
ARS HOLDINGS OF FLORIDA LLC

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE BOUNDARY SURVEY, AS SHOWN HEREON, IS A TRUE AND CORRECT REPRESENTATION OF A FIELD SURVEY MADE UNDER MY DIRECTION AND CHARGE AND SAID SURVEY IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THAT SAID SURVEY COMPLIES WITH THE APPLICABLE STANDARDS OF PRACTICE FOR SURVEYS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

CIVILSURV DESIGN GROUP, INC.

BY: BRIAN C. KIERNAN
PROFESSIONAL SURVEYOR & MAPPER
FLORIDA REGISTRATION NO. 6101

DATE OF SIGNATURE _____

REVISIONS

CIVILSURV
DESIGN GROUP, INC.
444 7TH LANE S.W., VERO BEACH, FL 32982 TEL: 772-932-5204

DATE: 10/11/21
SCALE: 1"=30'
PROJECT NO.: 21015
JOB NUMBER: 76.6

FIELD BOOK(s): BS7
DRAWN BY: BK
CHECKED BY: SW
APP'D/DATE: _____

BOUNDARY SURVEY
109 NORTH 22ND STREET
FT. PIERCE, FLORIDA

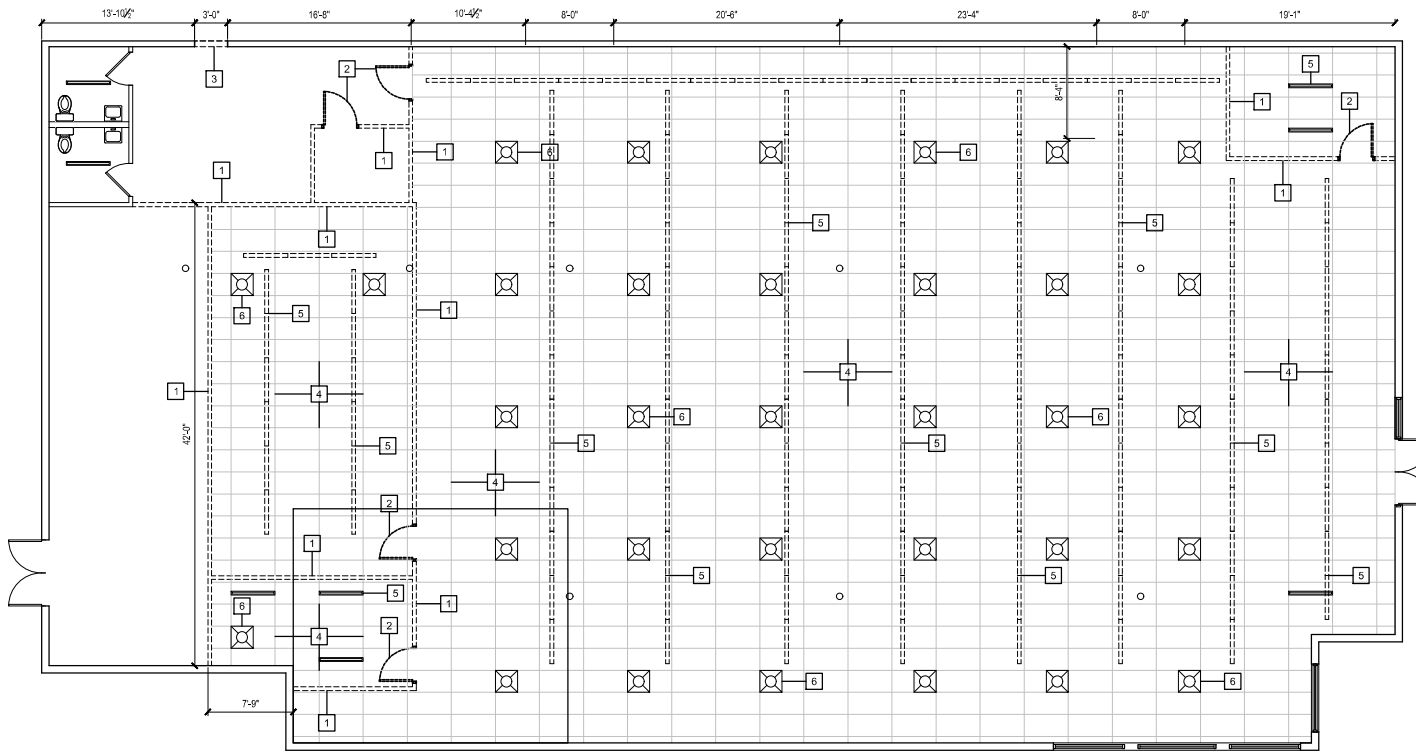
SHEET NO.
1
OF
1

GENERAL DEMOLITION NOTES

1. G.C. TO SECURE BUILDING AS REQUIRED AGAINST WEATHER INTRUSION AND VANDALISM AT THE END OF EACH DAY.
2. G.C. SHALL CLEAN UP CONSTRUCTION DEBRIS AND PLACE IN DUMPSTER FOR REMOVAL.
3. G.C. TO COORDINATE WITH THE OWNER FOR ANY SALVAGEABLE FURNISHINGS OR EQUIPMENT TO BE REUSED AFTER BUILDING RENOVATION.
4. G.C. TO CONFIRM BUILDING APRON AND SIDEWALK IS IN COMPLIANCE WITH 2010 STANDARDS FOR ACCESSIBLE DESIGN. G.C. TO PREP FOR COMPLIANCE RENOVATION AS REQUIRED.
 - 4.1. SIDEWALK SHALL NOT EXCEED 5% RUNNING SLOPE; 2% CROSS SLOPE
 - 4.2. CURB RAMP SHALL NOT EXCEED 8.3% RUNNING SLOPE; 2% CROSS SLOPE
5. G.C. TO COORDINATE WITH THE OWNER FOR ANY SALVAGEABLE FURNISHINGS OR EQUIPMENT TO BE REUSED AFTER BUILDING RENOVATION.

DEMOLITION PLAN NOTES

- 1 REMOVE EXISTING INTERIOR WALL.
- 2 REMOVE INTERIOR DOORS.
- 3 REMOVE PORTION OF EXISTING EXTERIOR WALL.
- 4 REMOVE EXISTING CEILING GRID.
- 5 REMOVE EXISTING STRIP CEILING LIGHTS.
- 6 REMOVE EXISTING VENT GRILLS.



1 Demolition Floor Plan
Scale: 3/16"=1'-0"

ARCHITECT/ENGINEER
LIS ARCHITECTURE
 ENGINEERING
 21450 W. BAYVIEW BLVD
 SUITE 100
 PALM BEACH, FL 33411
 PHONE: (561) 366-1234
 FAX: (561) 366-1235
 WWW: LISARCHITECTURE.COM

CLIENT NAME
JABERS MARKET, LLC
 ANKUR SHAH
 9903 MALABAR ROAD SE
 PALM BAY, FL 32907

PROJECT NAME
JABERS MARKET
 CONDITIONAL USE FOR A DAYCARE
 2210 Orange Ave
 Ft. Pierce, FL 34950

SHEET TITLE
Demolition Floor Plan

SEAL
 HAROLD DANIEL HUTTER III
 P.L.L.C. ARCHT 13

RELEASE	DATE
PROJECT NO.	2024-109
ISSUE DATE	07-29-24
DRAWN	CHECKED
SHEET NO.	D100

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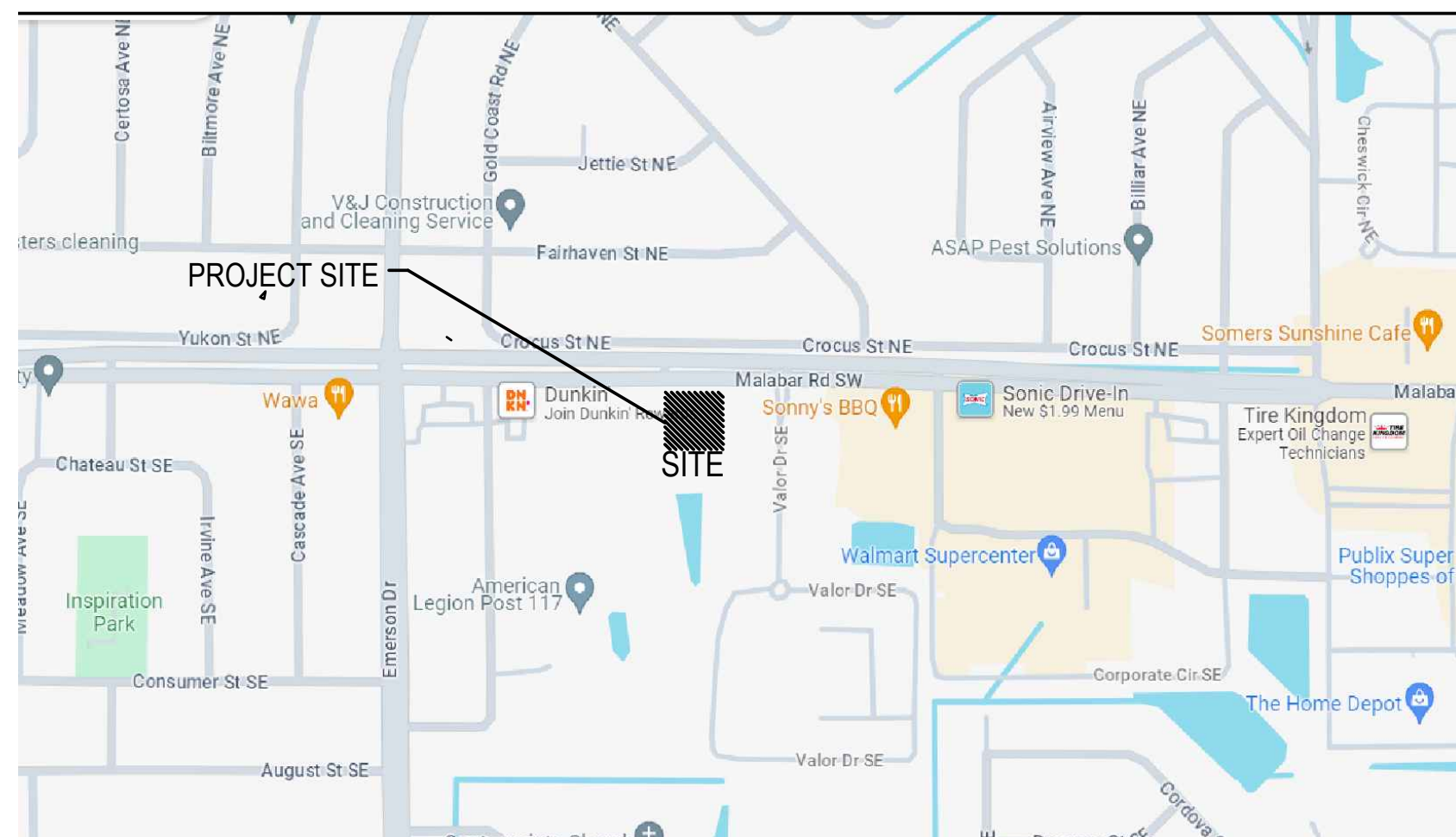
CONDITINAL USE FOR: DAYCARE

2210 ORANGE AVE
FORT PIERCE, FL 34950

ABBREVIATIONS

ABV	ABOVE
AFF	ABOVE FINISHED FLOOR
A/C	AIR CONDITIONING
ARCH	ARCHITECTURAL
@	AT
BLK	BLOCK(ING)
BOT	BOTTOM
BLDG	BUILDING
CLG	CEILING
C	CENTER LINE
CIRC	CIRCUIT
CLR	CLEAR
COL	COLUMN
CONC	CONCRETE
CMU	CONCRETE MASONRY UNIT
CONST	CONSTRUCTION
CONT	CONTINUOUS
CTR	COUNTER
DTL	DETAIL
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DWG	DRAWING
EA	EACH
ELEV	ELEVATION
EQ	EQUAL
EQPT	EQUIPMENT
EXIST	EXISTING
EXP	EXPOSED
EXT	EXTERIOR
EIFS	EXTERIOR INUL. FINISH SYSTEM
FT(')	FEET, FOOT
FIN	FINISH(ED)
FL	FLOOR(ING)
FD	FLOOR DRAIN
FLUR	FLUORESCENT
F.R.	FIRE RATED
F.E.	FIRE EXTINGUISHER
GWB	GYPSUM WALL BOARD
HDW	HARDWARE
HDWD	HARDWOOD
HVAC	HEATING/VENTILATION/AIR CONDITIONING
HM	HOLLOW METAL
IN(')	INCH
ID	INSIDE DIAMETER
INSUL	INSULATION
INT	INTERIOR
LL	LANDLORD
MANUF	MANUFACTURE(R)
MFG	MANUFACTURE(R)
MECH	MECHANICAL
MISC	MISCELLANEOUS
M.R.	MOISTURE RESISTANT
MULL	MULLION
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
NUM	NUMBER
OFF	OFFICE
OC	ON CENTER(S)
OPNG	OPENING
OPH	OPPOSITE HAND
OD	OUTSIDE DIAMETER
PNT	PAINT(ED)
P-LAM	PLASTIC LAMINATE
PLWD	PLYWOOD
POL	POLISHED
PROJ	PROJECT
P	PLATE
RE	REFERENCE
REF	REFRIGERATOR
REM	REMOVE(D)ABLE
REQ'D	REQUIRED
REV	REVISION(S) REVISÉ
RM	ROOM
RO	ROUGH OPENING
RD	ROUND
SCH	SCHEDULE
SEC	SECTION
SHT	SHEET
SIM	SIMILAR
SC	SOLID CORE
SPEC	SPECIFICATION(S)
SS	STAINLESS STEEL
STO	STORAGE
STRUCT	STRUCTURAL
SUSP	SUSPENDED
TEL	TELEPHONE
TYP	TYPICAL
THRU	THROUGH
VCT	VINYL COMPOSITION TILE
VEST	VESTIBULE
W/	WITH
W/O	WITHOUT
WD	WOOD
WDB	WOOD BASE

JURISDICTION AUTHORITY	
CITY OF CLERMONT, FL	
ADOPTED CODES	
BUILDING CODE:	2023 FLORIDA BUILDING CODE - EXISTING BUILDING - 8TH ED.
ELECTRICAL:	2020 NATIONAL ELECTRICAL CODE (NEC) - NFPA 70
PLUMBING:	2023 FLORIDA BUILDING CODE, PLUMBING, 8TH ED.
MECHANICAL:	2023 FLORIDA BUILDING CODE, MECHANICAL, 8TH ED.
FIRE:	2023 FLORIDA FIRE PREVENTION CODE (NFPA 1 & NFPA 101, 7TH ED.)
GAS:	2023 FLORIDA BUILDING CODE, GAS, 8TH ED.
ENERGY:	2023 FLORIDA BUILDING CODE, ENERGY CONSERVATION, 8TH ED.
ACCESSIBILITY:	2023 FLORIDA BUILDING CODE, ACCESSIBILITY, 8TH ED. 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
NEW BUILDING AND CONSTRUCTION DATA	
OCCUPANCY CLASSIFICATION:	GROUP F-1 - MODERATE HAZARD FACTORY - INDUSTRIAL
CONSTRUCTION TYPE:	TYPE V-B, SPRINKLERED
(IBC TABLE 600)	
MAX HEIGHT AND AREA ALLOWABLE:	HEIGHT = 0'-0" TOTAL AREA = 0 SQ FT
(IBC TABLE 500)	
ACTUAL HEIGHT AND AREA:	HEIGHT = 0'-0" TOTAL AREA = 7,487 SQ FT
SEISMIC ZONE:	0



Vicinity Map
SCALE: N.T.S.



Project Description

THESE PLANS INDICATE THE PROPOSAL FOR A DAYCARE IN AN EXISTING BUILDING. MODIFICATIONS TO INCLUDE ARCHITECTURAL, STRUCTURAL AND ELECTRICAL DRAWINGS FOR EXPANSION OF ADDITIONAL ROOMS AND RESTROOMS.

Note

1. "Site shall comply with the Florida Building Code 8th Edition (2023) Accessibility" and 2. "Separate permits are required for the following if applicable. Construction trailers, sales centers, dumpster enclosures, lift stations, swimming pools, playground equipment, retaining walls, entry wall features, access gates, site lighting, generators, fences, grease traps, fire alarm and fire sprinkler, etc."

Contact Information

OWNER:	Mr. ANKUR SHAH JABERS MARKET, LLC 930-3 MALABAR ROAD SE SHAHANKOOR@GMAIL.COM PHONE: 321-432-0675
ARCHITECT:	LIS ARCHITECTURE 2572 WEST STATE ROAD 426 SUITE 2064, OVIEDO, FL 32765 PHONE: 321-244-0402 CONTACT: H. DANIEL HUTTER R.A. NCARB
MECHANICAL & ELECTRICAL ENGINEER:	LIS ENGINEERING 2572 WEST STATE ROAD 426 SUITE 2064, OVIEDO, FL 32765 PHONE: 321-244-0402 CONTACT: CLARK STILLWELL
BUILDING DEPARTMENT:	CITY OF CLERMONT, FL 685 WEST MONTROSE STREET CLERMONT, FL 34761 PHONE: 352-394-4081

General Notes

- ALL WORK WILL COMPLY WITH LOCAL, STATE, AND NATIONAL CODES RELATED TO THIS PROJECT.
- THE WRITTEN DIMENSIONS PREVAIL ON THE CONSTRUCTION DOCUMENTS. DO NOT SCALE THESE DRAWINGS. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. IF ANY DISCREPANCY OCCURS, THE CONTRACTOR IS REQUIRED TO NOTIFY THE OWNER IN WRITING BEFORE PROCEEDING WITH ANY WORK AFFECTED BY THE DISCREPANCY.
- CONTRACTORS TO SECURE ALL PERMITS AND REQUIRED INSPECTIONS NECESSARY TO OBTAIN A CERTIFICATE OF OCCUPANCY, AND OCCUPATIONAL LICENSES.
- ALL MATERIALS TO BE SECURED ON SITE IN LOCKED CONTAINERS.
- EACH CONTRACTOR AND SUBCONTRACTOR IS EXPECTED TO REVIEW ALL CONTRACT DOCUMENTS AND SITE CONDITIONS PRIOR TO ISSUED BID. CHANGE ORDERS WILL NOT BE APPROVED FOR FAILURE TO DO SO.
- PRODUCTS SPECIFIED OR OTHERWISE INDICATED IN THE CONTRACT DOCUMENTS SHALL NOT BE SUBSTITUTED WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER.
- THIS CONTRACTOR SHALL COORDINATE ALL TRADES REQUIRED TO COMPLETE THIS PROJECT AS REQUIRED TO ACTIVATE THE USE OF THE FACILITY AS PLANNED.
- THE CONTRACTOR SHALL HAVE INSTALLATION INSTRUCTIONS FOR ALL EQUIPMENT AND APPLIANCES ON SITE AT TIME OF INSPECTION.
- ALL DIMENSIONS ARE TO FACE OF STUD, FACE OF MASONRY AND CENTERLINE OF COLUMNS UNLESS OTHERWISE NOTED.
- ANYWHERE THE TERM PROVIDE OR INSTALL IS USED, IT SHALL MEAN PROVIDE AND INSTALL UNLESS OTHERWISE NOTED.
- DO NOT SCALE THE DRAWINGS.

SHEET INDEX:

SHEET #	TITLE	SUBMISSION DATE									
		PERMIT	06	07	08	09	10	11	12	13	14
GENERAL											
T100	COVER SHEET	X									
	SURVEY	X									
C100	SITE PLAN	X									
C101	SITE PHOTOMETRY PLAN	X									
ARCHITECTURAL											
D100	DEMOLITION PLAN	X									
A100	ARCHITECTURAL FLOOR PLAN	X									
A101	REFLECTED CEILING PLAN	X									
A400	EXTERIOR BUILDING ELEVATIONS	X									

This item has been digitally signed and sealed by Harold Daniel Hutter III on the date adjacent to the seal.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

ARCHITECT ENGINEER
LIS
ARCHITECTURE
ENGINEERING
CA NO: 6853 LB1057
2572 West State Road, 426
Suite 2064, Oviedo, FL 32765
Phone: (321) 244-0402
Facsimile: (321) 244-9419

CLIENT NAME
JABERS MARKET, LLC
ANKUR SHAH
930-3 MALABAR ROAD SE
PALM BAY, FL 32909

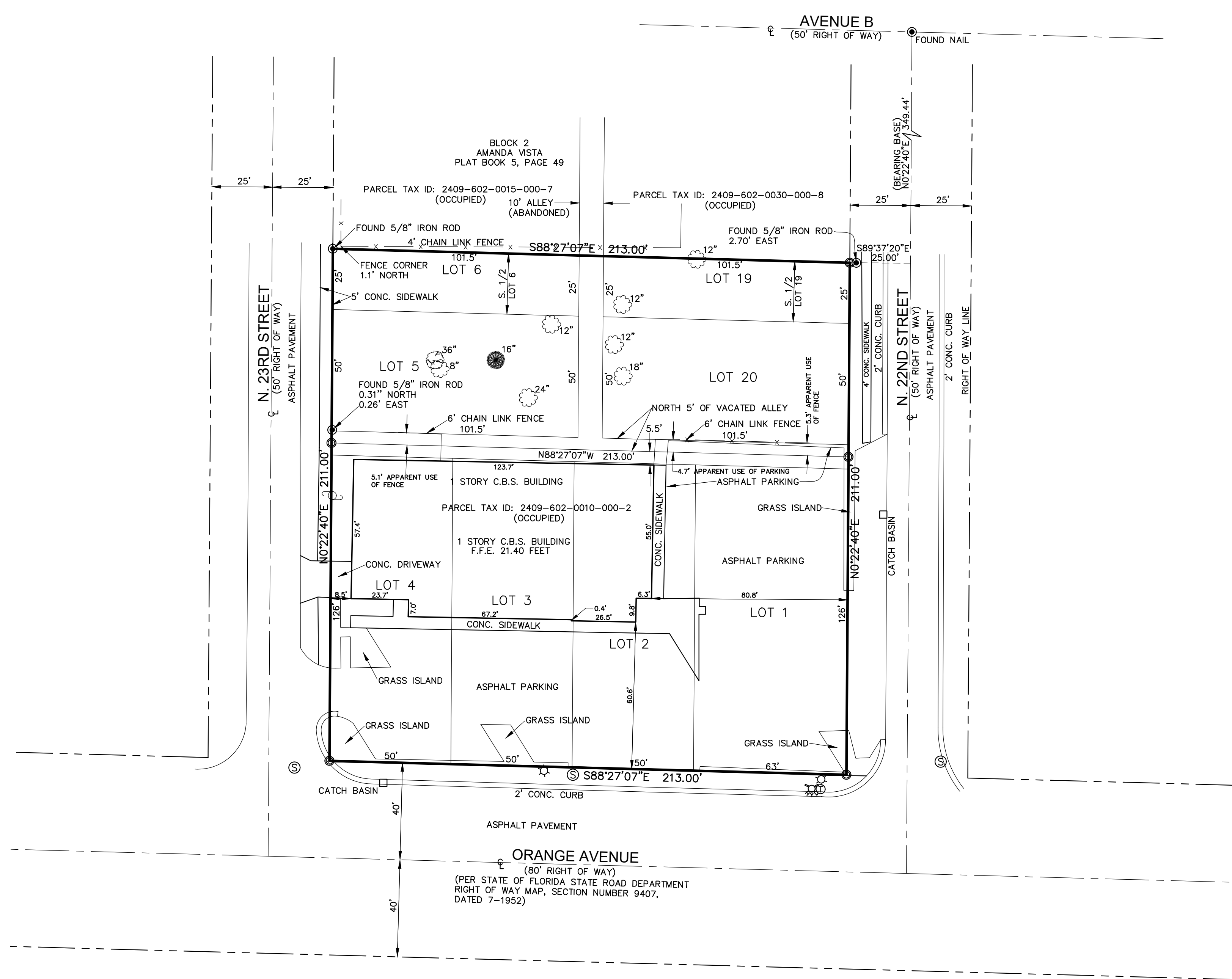
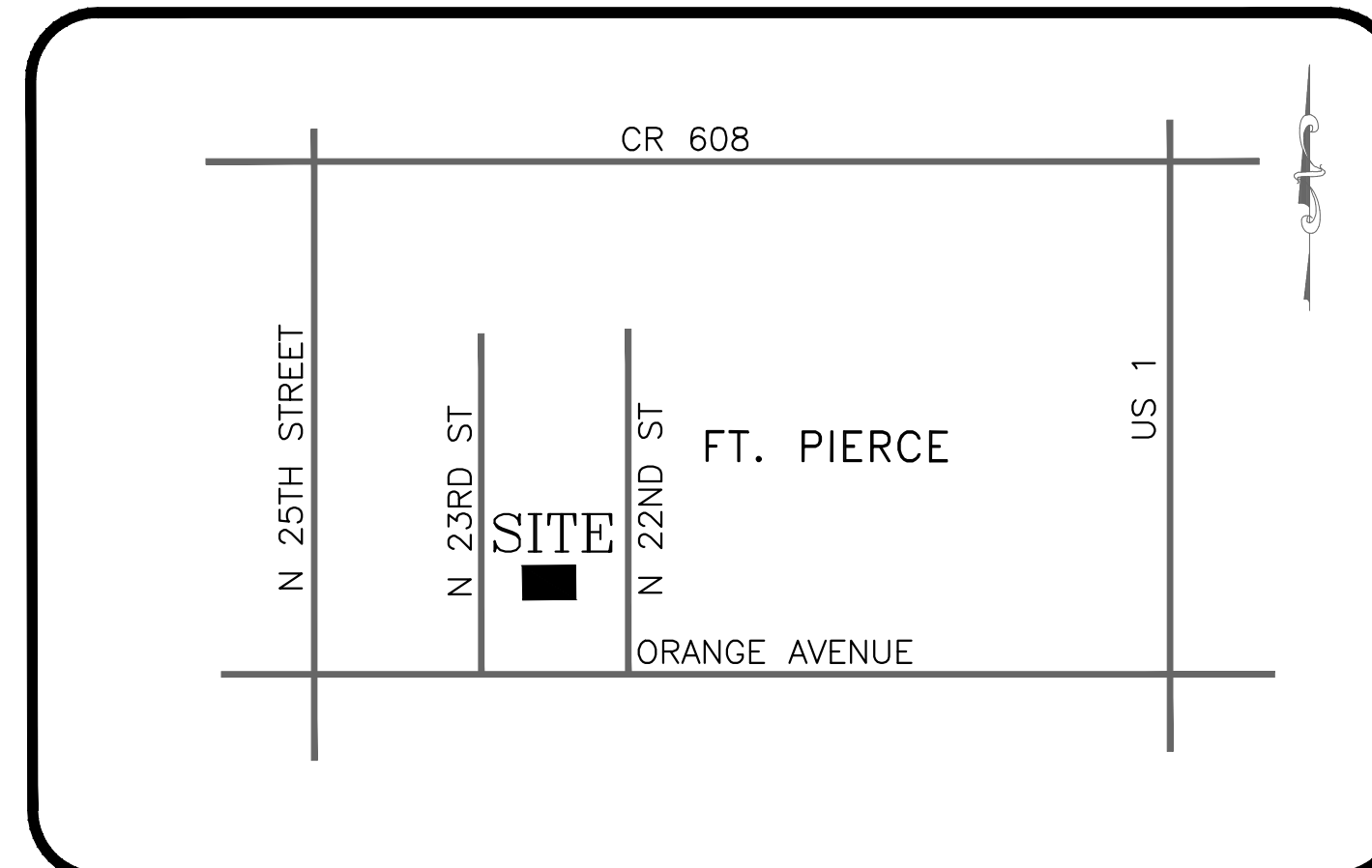
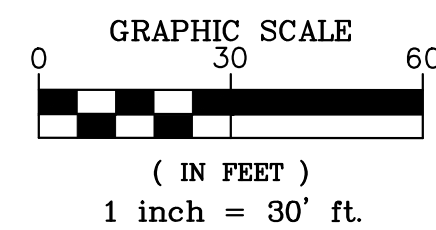
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FL LIC: AR89913

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Cover Sheet



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 - C.R. - CATV RISER
 - F.O.C.P. - FIBER OPTIC CABLE PEDESTAL
 - H.D.P.E. - HIGH DENSITY POLY ETHYLENE PIPE
 - O.T. - OAK TREE
 - R.C.P. - REINFORCED CONCRETE PIPE
 - S.I.R. - SET 5/8" IRON ROD & CAP
 - S.T. - STAMPED "LB 7805"
 - M.T. - MANGO TREE
 - P.T. - PINE TREE
 - S.M. - SANITARY MANHOLE

DESCRIPTION

LOT 5, AND THE SOUTH HALF OF LOT 6, AND ALL OF THE LOT 20, AND SOUTH HALF OF LOT 19, BLOCK 2, ALAMANDA VISTA, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 5, PAGE 49 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA; TOGETHER WITH VACATED ALLEY LYING BETWEEN SAID LOTS, AND THE NORTH 5 FEET OF VACATED ALLEY LYING ADJACENT TO SAID LOTS 5 AND 20.

TOGETHER WITH:

LOTS 1, 2, 3, AND 4, BLOCK 2 OF ALAMANDA VISTA SUBDIVISION, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 5, PAGE 49, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, LESS THE SOUTH 5 FEET THEREOF FOR ORANGE AVENUE.

SURVEYOR'S NOTES

1. THIS SURVEY MAP OR THE COPIES THEREOF, EXCEPT THOSE WITH ELECTRONIC SIGNATURE AND ELECTRONIC SEAL, ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. HORIZONTAL RELATIONSHIPS, AS SHOWN HEREON, ARE BASED ON THE FLORIDA STATE PLANE COORDINATE GRID, EAST ZONE, USING THE NORTH AMERICAN DATUM OF 1983 WITH THE 2011 ADJUSTMENT (NSRS 2011).
3. THE CENTERLINE OF N. 2ND STREET IS ASSUMED TO BEAR NORTH 00°22'40" EAST AND ALL OTHER BEARINGS SHOWN HEREON ARE RELATIVE THERETO.
4. THE HORIZONTAL LOCATION OF NON-DIMENSIONED FEATURES ARE PLOTTED TO SCALE, UNLESS NOTED OTHERWISE.
5. SYMBOLS SHOWN WITHIN THIS DRAWING ARE NOT SCALE DEPENDENT.
6. DESCRIPTION SHOWN HEREON PROVIDED BY CLIENT.
7. FIELD SURVEY LAST CONDUCTED ON OCTOBER 7, 2021.
8. OVERALL PARCEL CONTAINS 44,934 SQUARE FEET OR 1.03 ACRES, MORE OR LESS.
9. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
10. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
11. UNDERGROUND IMPROVEMENTS, IF ANY, WERE NOT LOCATED, EXCEPT AS SHOWN.
12. LIMITS OF WETLANDS, IF ANY, UNDER GOVERNMENT JURISDICTION, WERE NOT DETERMINED AS PART OF THIS SURVEY.
13. BY GRAPHIC PLOTTING ONLY, SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A FLOOD ZONE DESIGNATION OF "X", ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) ON FLOOD INSURANCE RATE MAP (FIRM) PANEL NUMBER 12111C0178J, HAVING AN EFFECTIVE DATE OF FEBRUARY 16, 2012. THIS INFORMATION SHOULD BE CONFIRMED WITH THE APPROPRIATE AGENCY PRIOR TO CONSTRUCTION.
14. TREE SIZES, AS SHOWN ADJACENT TO TREE SYMBOLS, WERE TAKEN AT BREST HEIGHT AND ARE IN INCHES OF A FOOT.

CERTIFIED TO

ARS HOLDINGS OF FLORIDA LLC

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE BOUNDARY SURVEY, AS SHOWN HEREON, IS A TRUE AND CORRECT REPRESENTATION OF A FIELD SURVEY MADE UNDER MY DIRECTION AND CHARGE AND SAID SURVEY IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THAT SAID SURVEY COMPLIES WITH THE APPLICABLE STANDARDS OF PRACTICE FOR SURVEYS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

CIVLSURY DESIGN GROUP, INC.

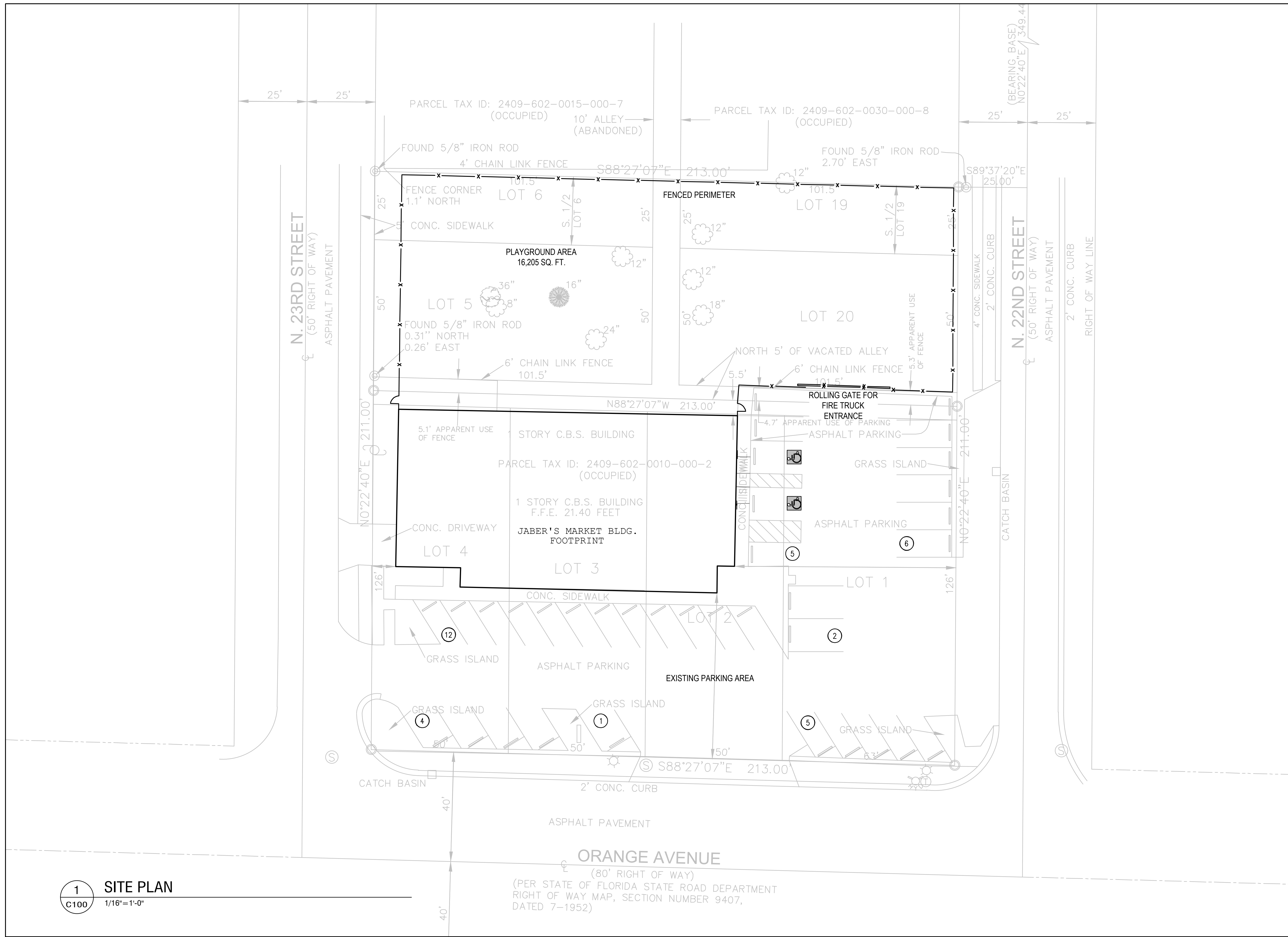
BY: BRIAN C. KIERNAN _____ DATE OF SIGNATURE _____
 PROFESSIONAL SURVEYOR & MAPPER
 FLORIDA REGISTRATION NO. 6101

CIVLSURY
 CIVILSURVY DESIGN GROUP, INC.
 444 4TH LANE S.W., VERO BEACH, FL 32962 TEL: 772-323-2244

REVISIONS				
DATE:	10/11/21	FIELD BOOK(S):	857	
SCALE:	1"=30'	DRAWN BY:	BK	
PROJECT NO.:	109 N. 22ND ST. BNDY. ADDITIONAL	CHECKED BY:	SW	
		LS NUMBER:	7605	

BOUNDARY SURVEY
109 NORTH 22ND STREET
FT. PIERCE, FLORIDA

SHEET NO.
 1
 OF
 1



1 SITE PLAN
C100 1/16"=1'-0"

ORANGE AVENUE
(80' RIGHT OF WAY)
(PER STATE OF FLORIDA STATE ROAD DEPARTMENT
RIGHT OF WAY MAP, SECTION NUMBER 9407,
DATED 7-1952)

ARCHITECT/ENGINEER
LIS
ARCHITECTURE
ENGINEERING
CA NO: 6853 LB1057
2572 West State Road 426
Suite 208, Ocala, FL 32765
Phone: (352) 244-0402
Facsimile: (352) 244-9419

CLIENT NAME
JABERS MARKET, LLC
ANKUR SHAH
930-3 MALABAR ROAD SE
PALM BAY, FL 32907

PROJECT NAME
JABERS MARKET
CONDITIONAL USE FOR A DAYCARE
2210 Orange Ave
Ft Pierce, FL 34950

SHEET TITLE
Site Plan

SEAL
HAROLD DANIEL HUTTER III
FL LIC: AR98913

RELEASE	DATE

PROJECT NO.
2024-109

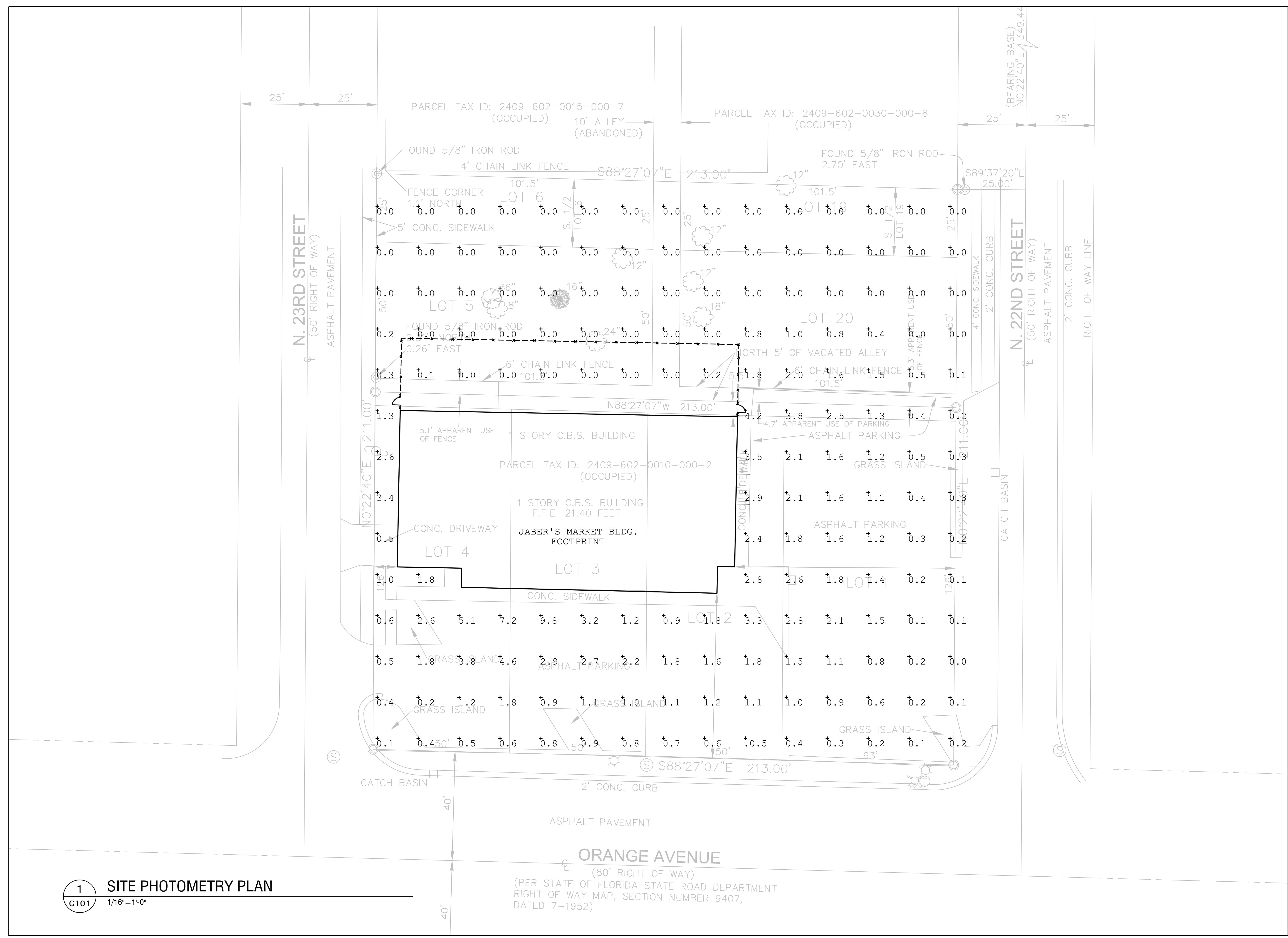
ISSUE DATE
07-29-24

DRAWN _____ CHECKED _____

SHEET NO.
C100

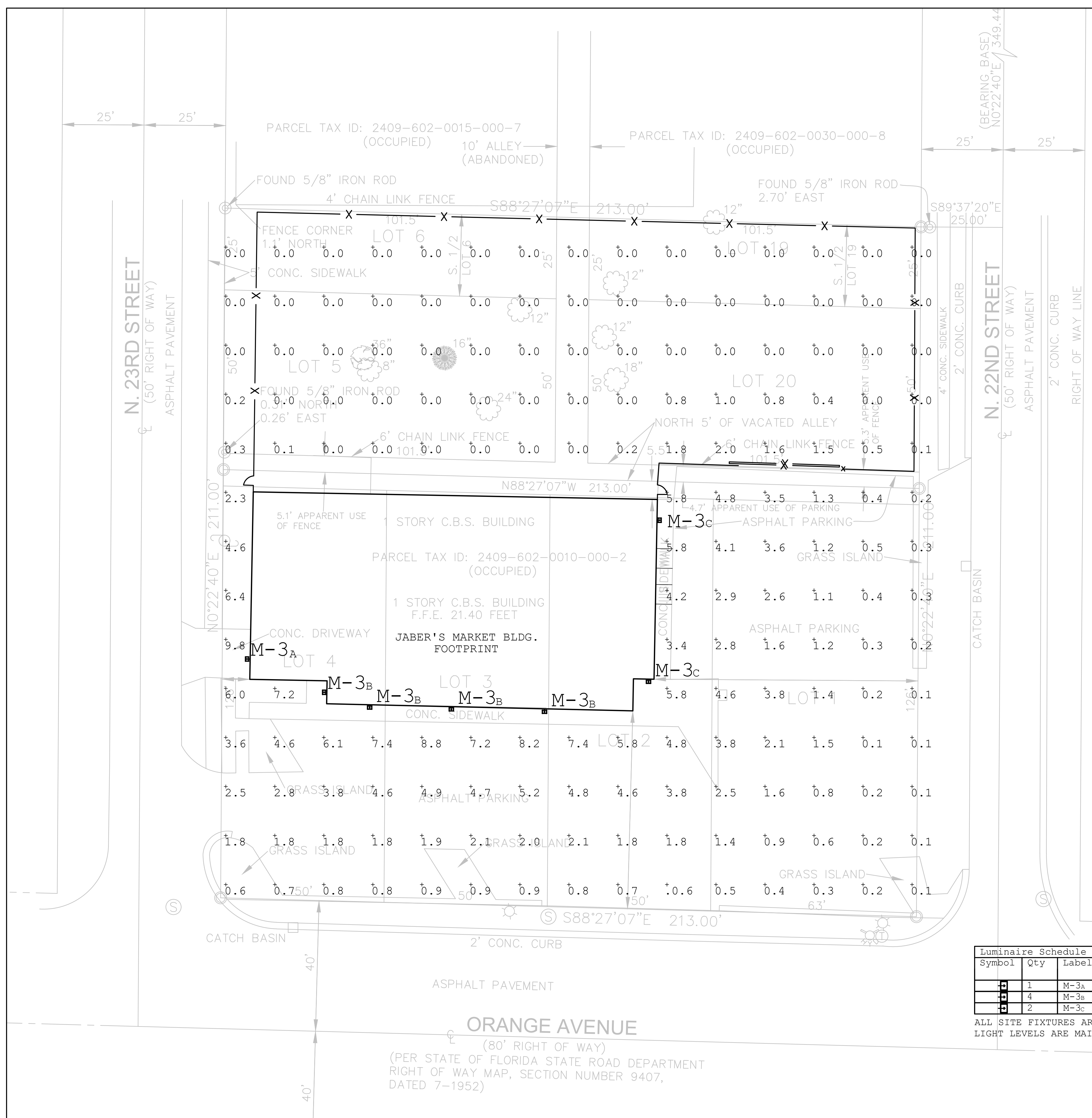
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1 SITE PHOTOMETRY PLAN
 C101 1/16"=1'-0"

ORANGE AVENUE
 (80' RIGHT OF WAY)
 (PER STATE OF FLORIDA STATE ROAD DEPARTMENT
 RIGHT OF WAY MAP, SECTION NUMBER 9407,
 DATED 7-1952)



WPLED20Y

DESCRIPTION
LED 20 Watt Wallpaks

SPECIFICATIONS

Dark Sky Approved:
The International Dark Sky Association has approved this product as a full cutoff, fully shielded luminaire.

Finish:
Chip and fade resistant polyester powder coat finish.

For use on LEED Buildings:
IDA Dark Sky Approval means that this fixture can be used to achieve LEED Credits for Light Pollution Reduction.

Gaskets:
High Temperature Silicone

IESNA LM-79:
RAB LED luminaires comply with the IESNA LM-79 testing procedure, which measures performance qualities of LED luminaires to allow for a true comparison of luminaires regardless of the light source.

Patents:
The WPLED20 design is protected under patents pending in the U.S., Canada, China, Taiwan and Mexico.

UL Listing:
Suitable for wet locations. Suitable for mounting within 4' of the ground.

Warranty:
RAB LED fixtures give you peace of mind because both the fixture and light engine components are backed by RAB's 5 Year Warranty. For more information,

Color Accuracy:
74 CRI

Driver:
Automatic Voltage Sensing Driver for 120 - 277 volts

ORDERING INFORMATION

LED Lamp supplied with fixture	Total Watts	Lamp Type	Lamp Base	Ballast	Starting Amps/ Operating Amps	120V	208V	240V	277V	Input Watts	LAMP ANSI Lumens	Initial Hours	Lamp Hours
20	20	Light Emitting Diode	Therm	Constant Current	0.5	0.5	0.5	0.125	0.125	22	N/A	704	50000

Factory Installed Options
Add suffix to Catalog Number

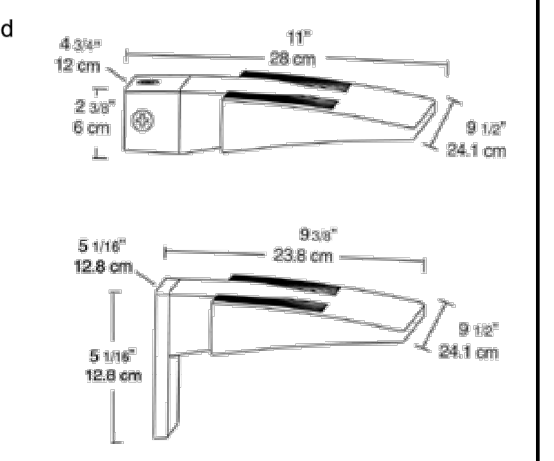
Note: Specifications may change without notice

RAB Lighting, Inc. • 170 Ludlow Ave • Northvale, NJ 07647 • Tel: 888 RAB-1000 • Fax: 888 RAB-1232 • www.rabweb.com
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CLIENT NAME: _____
DATE: _____
TYPE: _____

DIMENSIONS



Symbol	Qty	Label	Arrangement	Luminaire Lumens	LLF	CCT	Luminaire Watts	Mounting Height	Description
M-3A	1	M-3A	SINGLE	986	0.900	4000K	22	7	WPLED20Y @ 7' A.F.G.
M-3B	4	M-3B	SINGLE	986	0.900	4000K	22	10	WPLED20Y @ 10' A.F.G.
M-3C	2	M-3C	SINGLE	986	0.900	4000K	22	12	WPLED20Y @ 12' A.F.G.

ALL SITE FIXTURES ARE NEW
LIGHT LEVELS ARE MAINTAINED FOOT-CANDLES, INITIAL LEVELS ARE SLIGHTLY HIGHER

1
C101

SITE PHOTOMETRY PLAN

1/16"=1'-0"

ARCHITECT ENGINEER

LIS

ARCHITECTURE
ENGINEERING

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CLIENT NAME

JABERS MARKET, LLC

ANKUR SHAH
930-3 MALABAR ROAD SE
PALM BAY, FL 32907

PROJECT NAME

JABERS MARKET

CONDITIONAL USE FOR A DAYCARE

2210 Orange Ave
Ft Pierce, FL 34950

SHEET TITLE

Site Photometry Plan

SEAL

ROBERT WAYNE CASE
FLORIDA PE #44643

RELEASE DATE

--	--

PROJECT NO.

2024-109

ISSUE DATE

07-29-24

DRAWN CHECKED

--	--

SHEET NO.

C101

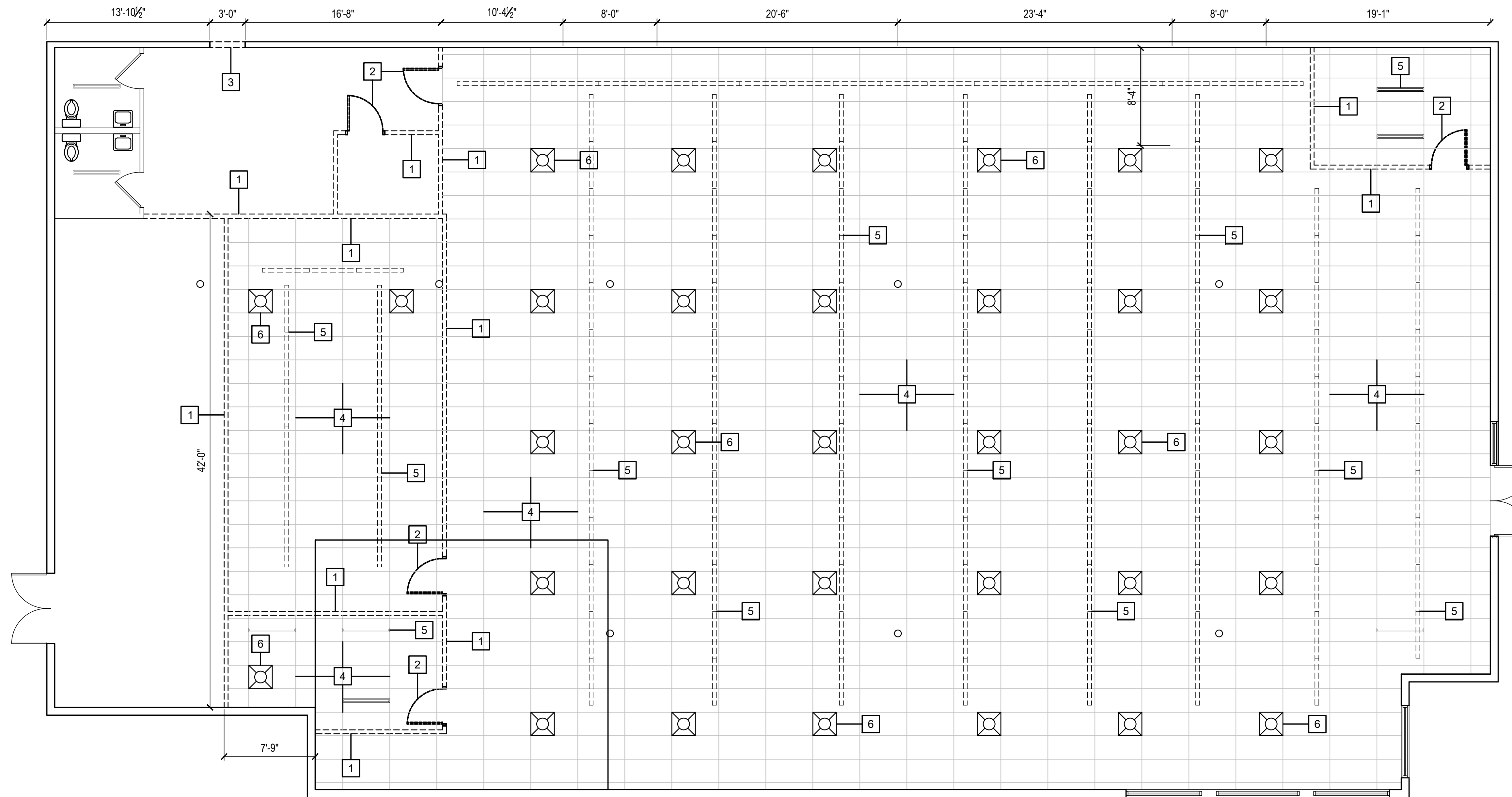
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GENERAL DEMOLITION NOTES

1. G.C. TO SECURE BUILDING AS REQUIRED AGAINST WEATHER INTRUSION AND VANDALISM AT THE END OF EACH DAY.
2. G.C. SHALL CLEAN UP CONSTRUCTION DEBRIS AND PLACE IN DUMPSTER FOR REMOVAL.
3. G.C. TO COORDINATE WITH THE OWNER FOR ANY SALVAGEABLE FURNISHINGS OR EQUIPMENT TO BE REUSED AFTER BUILDING RENOVATION.
4. G.C. TO CONFIRM BUILDING APRON AND SIDEWALK IS IN COMPLIANCE WITH 2010 STANDARDS FOR ACCESSIBLE DESIGN. G.C. TO PREP FOR COMPLIANCE RENOVATION AS REQUIRED.
 - 4.1. SIDEWALK: SHALL NOT EXCEED 5% RUNNING SLOPE; 2% CROSS SLOPE
 - 4.2. CURB RAMP: SHALL NOT EXCEED 8.3% RUNNING SLOPE; 2% CROSS SLOPE
5. G.C. TO COORDINATE WITH THE OWNER FOR ANY SALVAGEABLE FURNISHINGS OR EQUIPMENT TO BE REUSED AFTER BUILDING RENOVATION.

DEMOLITION PLAN NOTES

- 1 REMOVE EXISTING INTERIOR WALL.
- 2 REMOVE INTERIOR DOORS.
- 3 REMOVE PORTION OF EXISTING EXTERIOR WALL.
- 4 REMOVE EXISTING CEILING GRID.
- 5 REMOVE EXISTING STRIP CEILING LIGHTS.
- 6 REMOVE EXISTING VENT GRILLS.



1 Demolition Floor Plan
Scale: 3/16"=1'-0"

ARCHITECT ENGINEER
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CLIENT NAME
JABERS MARKET, LLC
 ANKUR SHAH
 930-3 MALABAR ROAD SE
 PALM BAY, FL 32907

PROJECT NAME
JABERS MARKET
 CONDITIONAL USE FOR A DAYCARE
 2210 Orange Ave
 Ft. Pierce, FL 34950

SEAL
 HAROLD DANIEL HUTTER III
 FL LIC. AR98913

RELEASE	DATE

PROJECT NO. 2024-109

ISSUE DATE 07-29-24

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SHEET NO. **D100**

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Demolition Floor Plan

FLOOR PLAN NOTES

DIMENSIONS:

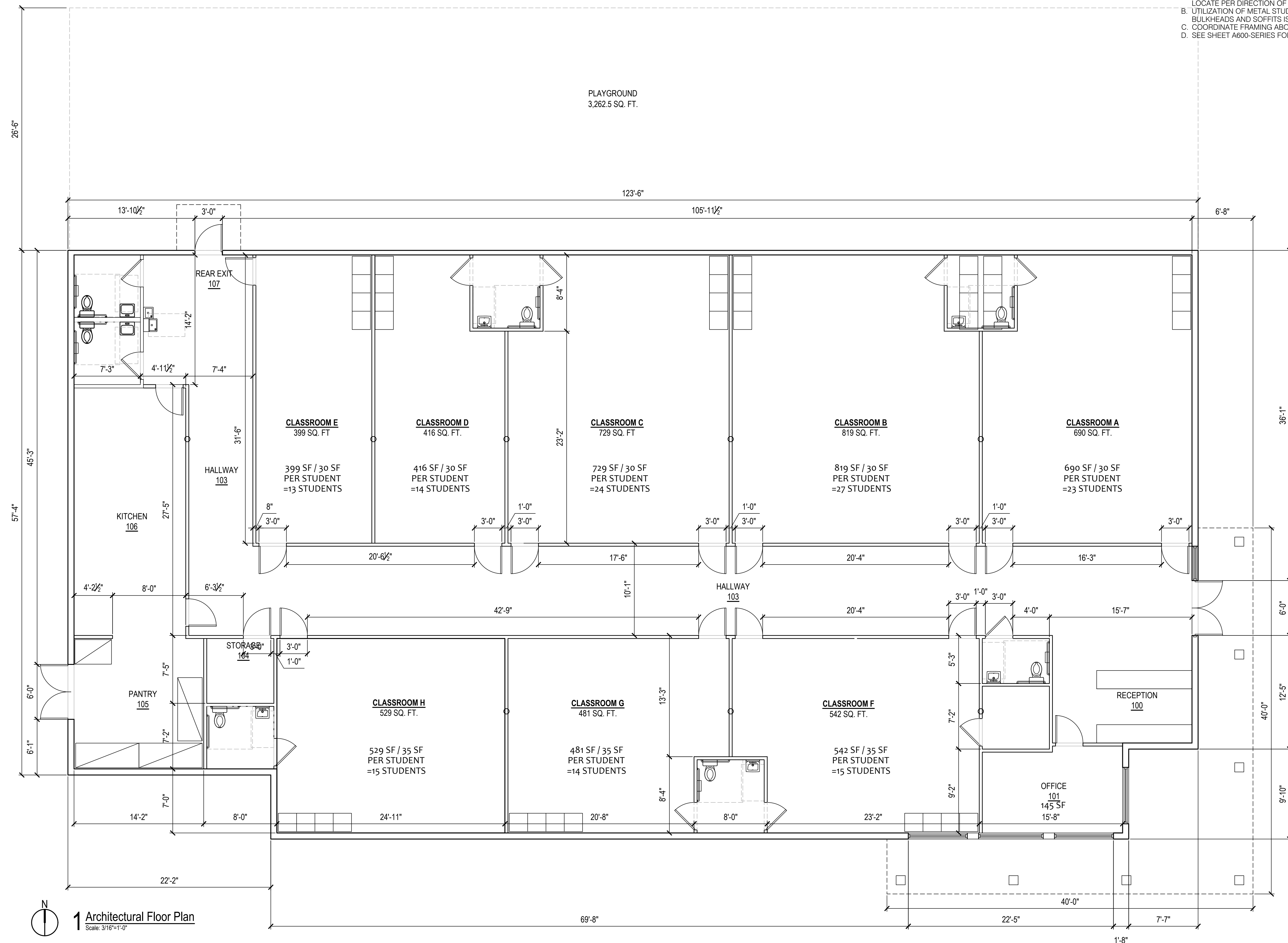
- A. ALL DIMENSIONS ARE FROM INSIDE FACE OF EXISTING TO REMAIN TO FACE OF STUD.
- B. DIMENSIONS NOTED AS "CLEAR" OR "HOLD" ARE MIN. REQ'D. NET CLEARANCE FROM FACE OF WALL FINISH.

WINDOWS / DOORS:

- A. ALL DOOR AND WINDOW OPENING DIMENSIONS ARE TO ROUGH OPENING
- B. TYPICAL 4" RETURN ON DOORS, U.N.O.

GENERAL:

- A. PROVIDE FIRE EXTINGUISHERS - 10 LB. ABC - TO COMPLY WITH LOCAL FIRE CODE. LOCATE PER DIRECTION OF FIRE MARSHALL OR LOCAL AUTHORIZING AGENT.
- B. UTILIZATION OF METAL STUDS ON NON-BEARING INTERIOR PARTITIONS, BULKHEADS AND SOFFITS IS ACCEPTABLE.
- C. COORDINATE FRAMING ABOVE CEILING WITH HVAC DUCT WORK.
- D. SEE SHEET A600-SERIES FOR ENLARGED PLANS (RESTROOMS AND SERVICE AREA).



ARCHITECT ENGINEER

LIS

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CLIENT NAME

JABERS MARKET, LLC

ANKUR SHAH
930-3 MALABAR ROAD SE
PALM BAY, FL 32907

PROJECT NAME

JABERS MARKET
CONDITIONAL USE FOR A DAYCARE
2210 Orange Ave
Ft Pierce, FL 34950

SHEET TITLE

Architectural Floor Plan

SEAL

HAROLD DANIEL HUTTNER III
FL LIC. AR98913

RELEASE	DATE

PROJECT NO. 2024-109




ISSUE DATE 07-29-24

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SHEET NO. **A100**

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SYMBOL LEGEND

- ACOU1 ← CEILING SPECIFICATION
- 9'-4" ← CEILING HEIGHT
-  1'-0" X 8'-0" LIGHT FIXTURE
- 8 2'-0" X 2'-0" RECESSED FIXTURE
-  WALL OR CEILING MOUNTED EMERGENCY LIGHT FIXTURE
-  CEILING MOUNTED EXIT SIGN / LIGHT COMBO

REFLECTED CEILING PLAN NOTES:

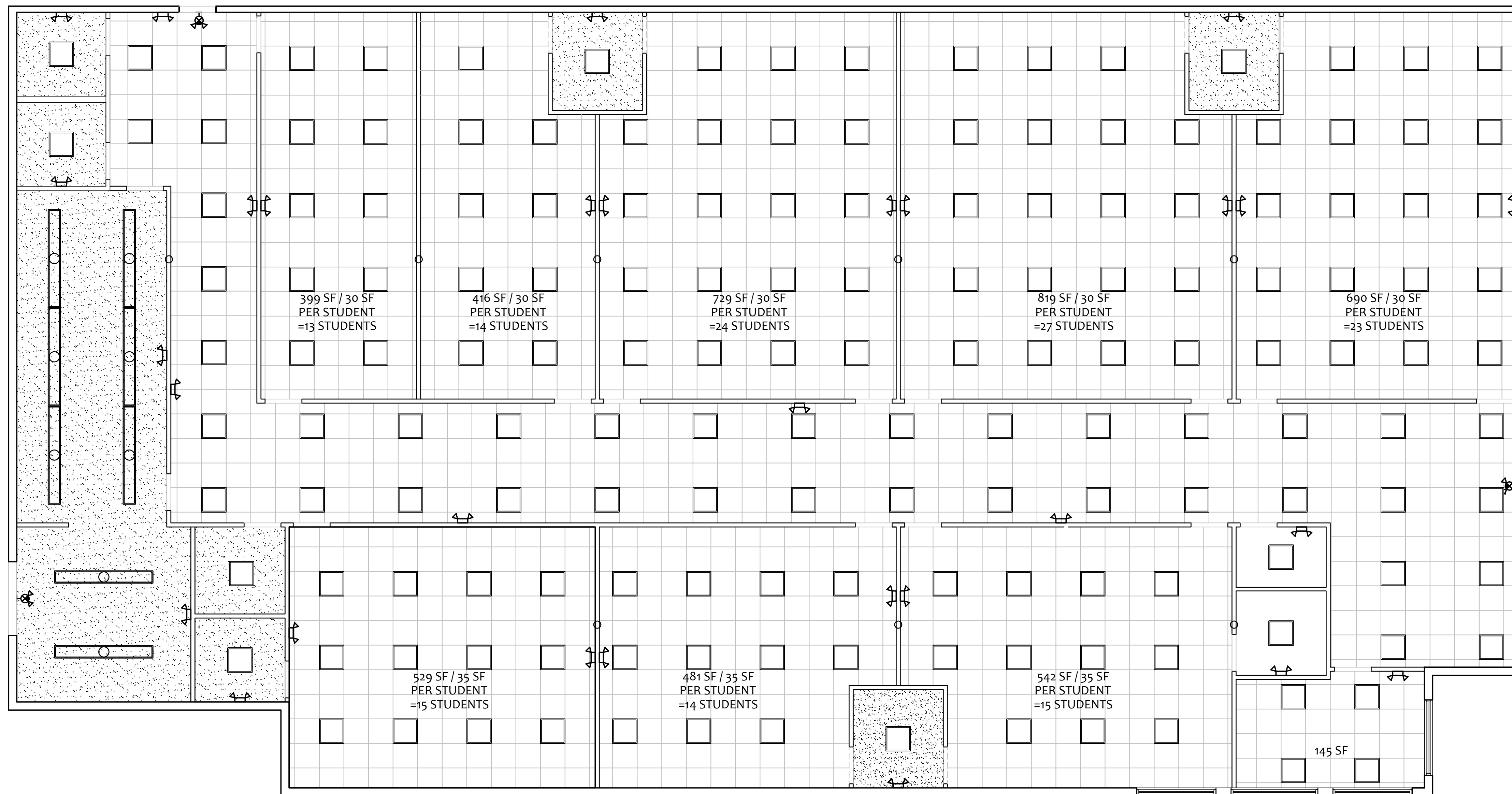
- DIMENSIONS:**
A. ALL DIMENSIONS ARE TO FINISH FACE U.N.O.
- CEILING FINISHES:**
A. REFER TO FINISH SCHEDULE
- SUSPENDED CEILING:**
A. ACOUSTICAL PANEL INSTALLATION: INSTALL ACOUSTICAL PANELS WITH EDGES IN CLOSE CONTACT WITH METAL SUPPORTS AND IN TRUE ALIGNMENT.
B. ALLOWABLE VARIATIONS FROM FLAT AND LEVEL SURFACE: 1/8" IN 10'-0" MAX.
C. ALLOWABLE VARIATIONS FROM PLUMB OF GRID MEMBERS: AS CAUSED BY ECCENTRIC LOADS, 2" MAX.
D. INSTALL SYSTEM AFTER MAJOR CEILING WORK IS COMPLETE. COORDINATE LOCATIONS OF HANGERS WITH RELATED WORK.
- LIGHTING:**
A. CONFIRM LIGHTING FIXTURE QUANTITIES WITH SUPPLIER
B. EMERGENCY AND NORMAL LIGHTING MARKED WITH 'NL'; SUBSCRIPT SHALL OPERATE CONTINUOUSLY. PROVIDE UNSWITCHED HOT TO NORMAL AND EMERGENCY BALLAST.
C. CONTRACTOR SHALL FIELD VERIFY CEILING TYPE AND PROVIDE PROPER MOUNTING HARDWARE.
D. ALL LIGHT FIXTURES SHALL BE SUPPLIED WITH LAMPS.

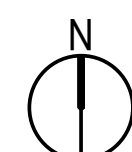
SPECIFICATIONS:

- DIVISION 9: FINISHES**
- SECTION 9C: SUSPENDED CEILING**
1. SCOPE: FURNISH AND INSTALL ACOUSTICAL TILE PANELS WITH SUSPENSION SYSTEM
 2. PERFORMANCE: GRID SHALL BE INSTALLED AS SHOWN AND IN STRICT ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS. LEVEL ACCURATELY AND HANG FROM #9 GAGE ANNEALED WIRE NOT OVER 4' O.C. PROVIDE HOLD-DOWN CLIPS. COOPERATE IN FITTING AROUND AIR CONDITIONING AND VENTILATION OUTLETS.

GENERAL NOTES:

- 1.) CEILING GRID SHALL BE SUPPORTED FROM STRUCTURAL MEMBERS ONLY. GRID SHALL NOT BE SUPPORTED FROM OTHER TRADES WORK.
- 2.) COORDINATE GRID INSTALLATION WITH LOCATION OF MECHANICAL EQUIPMENT AS INDICATED ON MECHANICAL AND ELECTRICAL SHEETS.
- 3.) HANGER WIRES FOR GRID SHALL BE INSTALLED AT NO MORE THAN 48" O.C. AND AT EACH CORNER OF LAY-IN LIGHT FIXTURES. SEE ELECTRICAL SHEETS FOR FIXTURE LOCATIONS.
- 4.) CEILING GRID SHOULD BE CENTERED AT EACH ROOM



 **1 Reflected Ceiling Plan**
Scale: 3/16"=1'-0"

21430 Palm Beach Blvd
Palm Beach, FL 33480
Phone: (239) 693-9244
Facsimile: (239) 693-9228

LIS
ARCHITECT ENGINEER

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Phone: (321) 244-0402
Facsimile: (321) 244-9419

CLIENT NAME
JABERS MARKET, LLC
ANKUR SHAH
PALM BAY, FL 32907

PROJECT NAME
JABERS MARKET
CONDITIONAL USE FOR A DAYCARE
2210 Orange Ave
Ft Pierce, FL 34950

SHEET TITLE
Reflected Ceiling Plan

SEAL

HAROLD DANIEL HUTTER III
FL LIC. AR98913

RELEASE	DATE

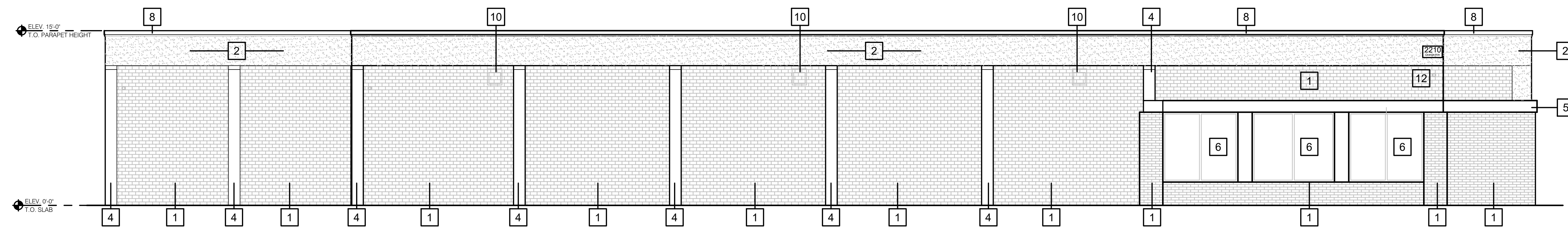
PROJECT NO. 2024-109

ISSUE DATE 07-29-24

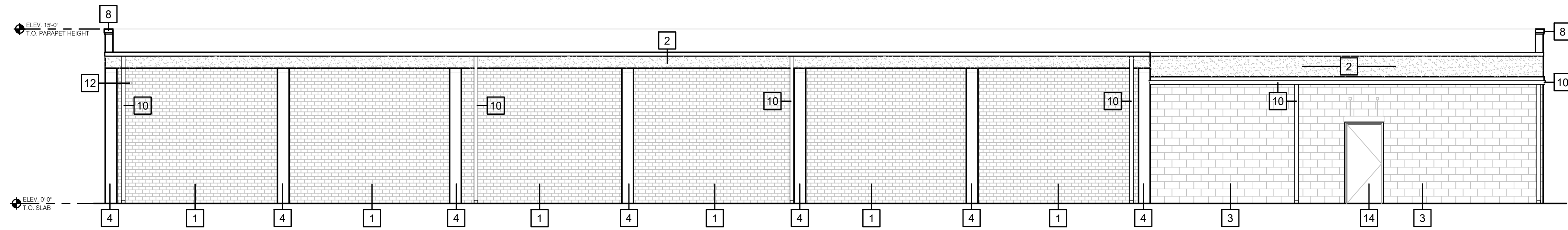
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SHEET NO. **A101**

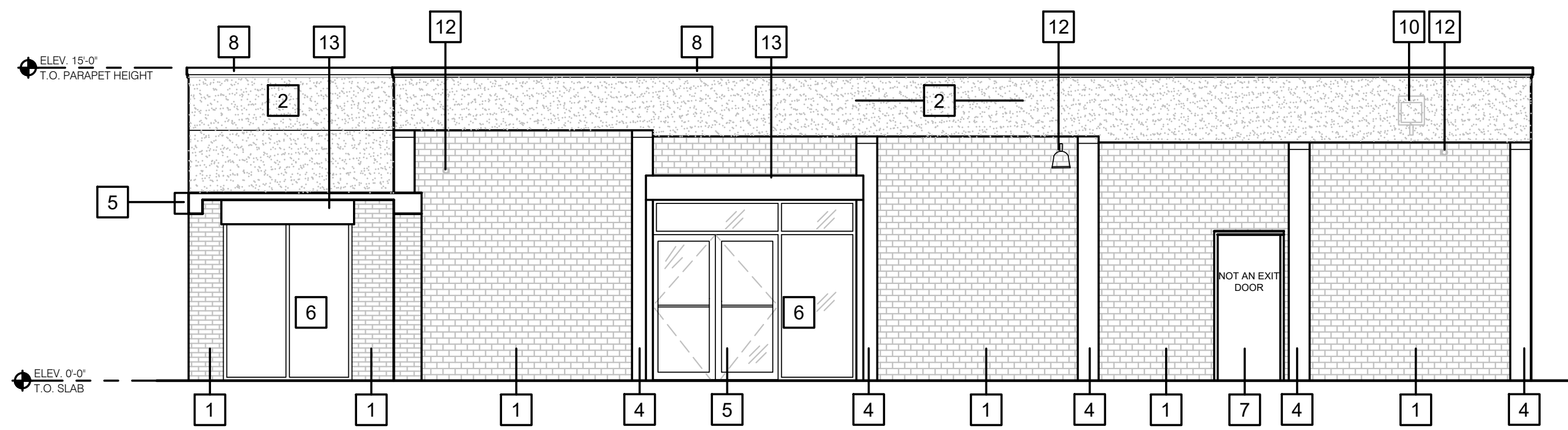
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1 South (front) Elevation
Scale: 3/16"=1'-0"

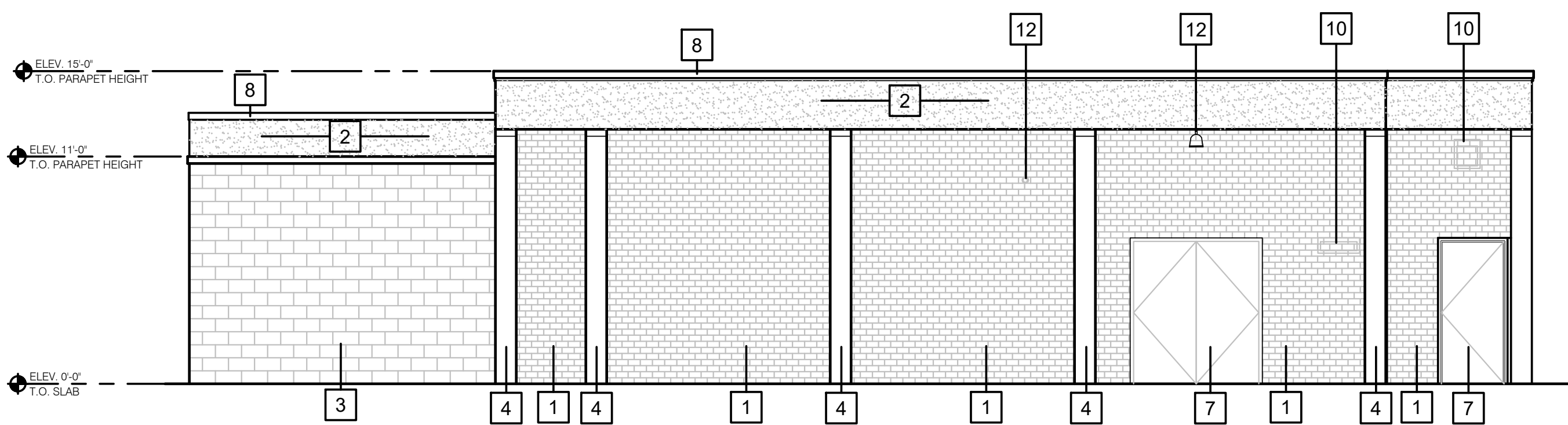


2 North (rear) Elevation
Scale: 3/16"=1'-0"



3 East (entrance) Elevation
Scale: 3/16"=1'-0"

- EXTERIOR ELEVATION NOTES**
- 1 PAINTED BRICK WALL
 - 2 PAINTED STUCCO
 - 3 PAINTED CMU WALL
 - 4 EXISTING PAINTED PILASTER
 - 5 EXISTING STOREFRONT DOOR
 - 6 EXISTING STOREFRONT WINDOW
 - 7 EXISTING PAINTED DOOR
 - 8 EXISTING METAL PARAPET COPING
 - 9 EXISTING ENTRANCE CANOPY
 - 10 EXISTING GUTTER AND DOWNSPOUT
 - 11 EXISTING WALL-PACK FLOOD LIGHT
 - 12 EXISTING SECURITY CAMERA
 - 13 ROLL-UP GATE
 - 14 NEW REAR DOOR AND CANOPY



4 West (side) Elevation
Scale: 3/16"=1'-0"

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FLOOR PLAN NOTES

DIMENSIONS:

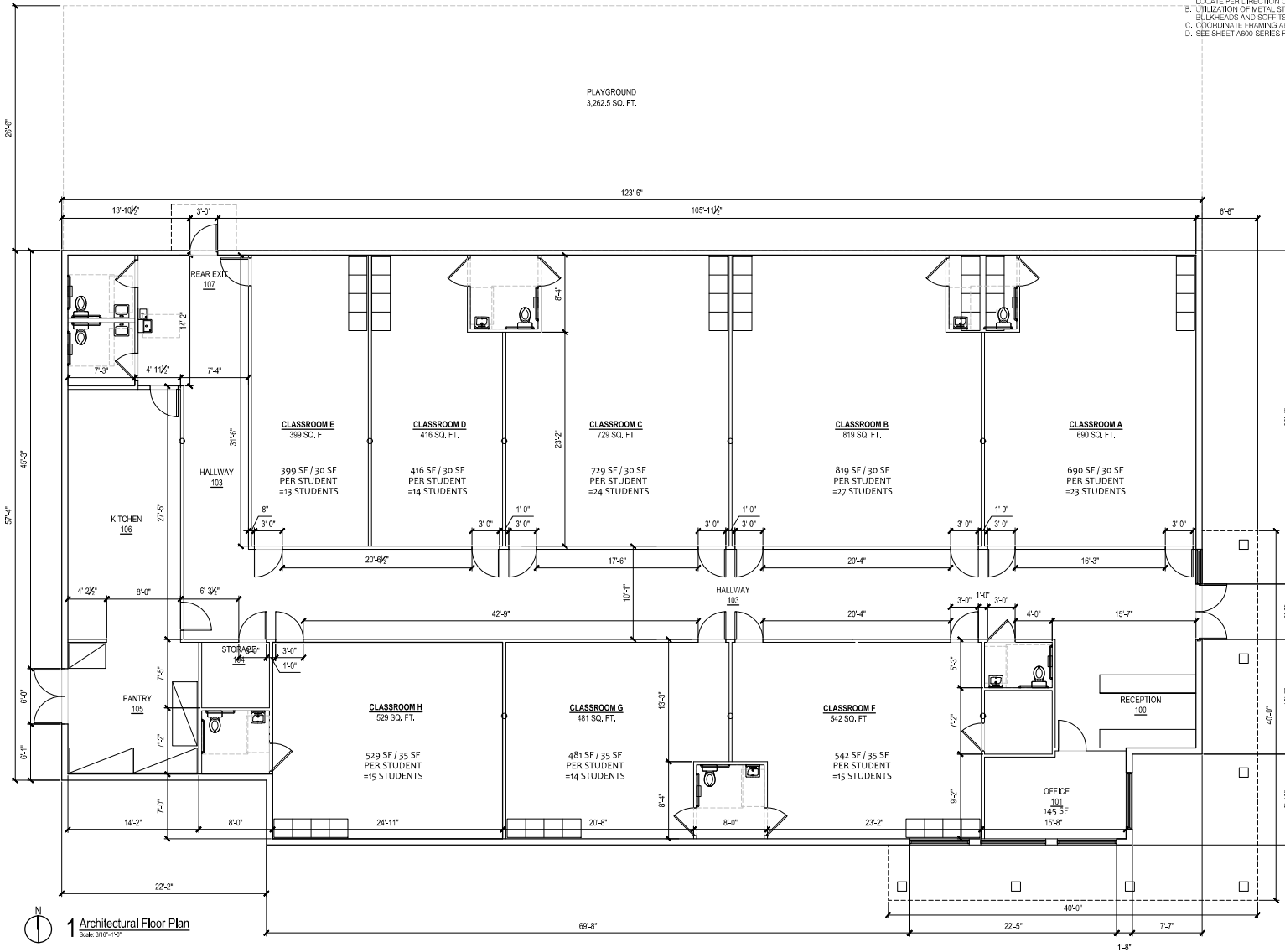
- A. ALL DIMENSIONS ARE FROM INSIDE FACE OF EXISTING TO REMAIN TO FACE OF STUD.
- B. DIMENSIONS NOTED AS 'CLEAR' OR 'HOLD' ARE MIN. REQ'D. NET CLEARANCE FROM FACE OF WALL FINISH.

WINDOWS / DOORS:

- A. ALL DOOR AND WINDOW OPENING DIMENSIONS ARE TO ROUGH OPENING.
- B. TYPICAL 4" RETURN ON DOORS, U.N.C.

GENERAL:

- A. PROVIDE FIRE EXTINGUISHERS - 10 LB. ABC - TO COMPLY WITH LOCAL FIRE CODE. LOCATE PER DIRECTION OF THE MARSHALL OR LOCAL AUTHORIZING AGENT.
- B. UTILIZATION OF METAL STUDS ON NON-BEARING INTERIOR PARTITIONS, BULKHEADS AND SOFFITS IS ACCEPTABLE.
- C. COORDINATE FRAMES ABOVE CEILING WITH HVAC DUCT WORK.
- D. SEE SHEET A600-SERIES FOR ENLARGED PLANS (RESTROOMS AND SERVICE AREA).



ARCHITECT / DESIGNER
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 Fax: (561) 983-0001
 lisarchitect.com

CLIENT NAME
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 ANKUR SHAH
 9803 MALABAR ROAD SE
 PALM BAY, FL 32907

PROJECT NAME
CONDITIONAL USE FOR A DAYCARE
 2210 Orange Ave
 Ft. Pierce, FL 34950

ARCHITECT
 HAROLD DANIEL HULTER III
 P.L.L.C. A088613







RELEASE DATE
 PROJECT NO. 2024-109
 ISSUE DATE 07-29-24
 DRAWN CHECKED
 SHEET NO. A100

Architectural Floor Plan

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1 Architectural Floor Plan
 Scale: 3/16"=1'-0"

SYMBOL LEGEND

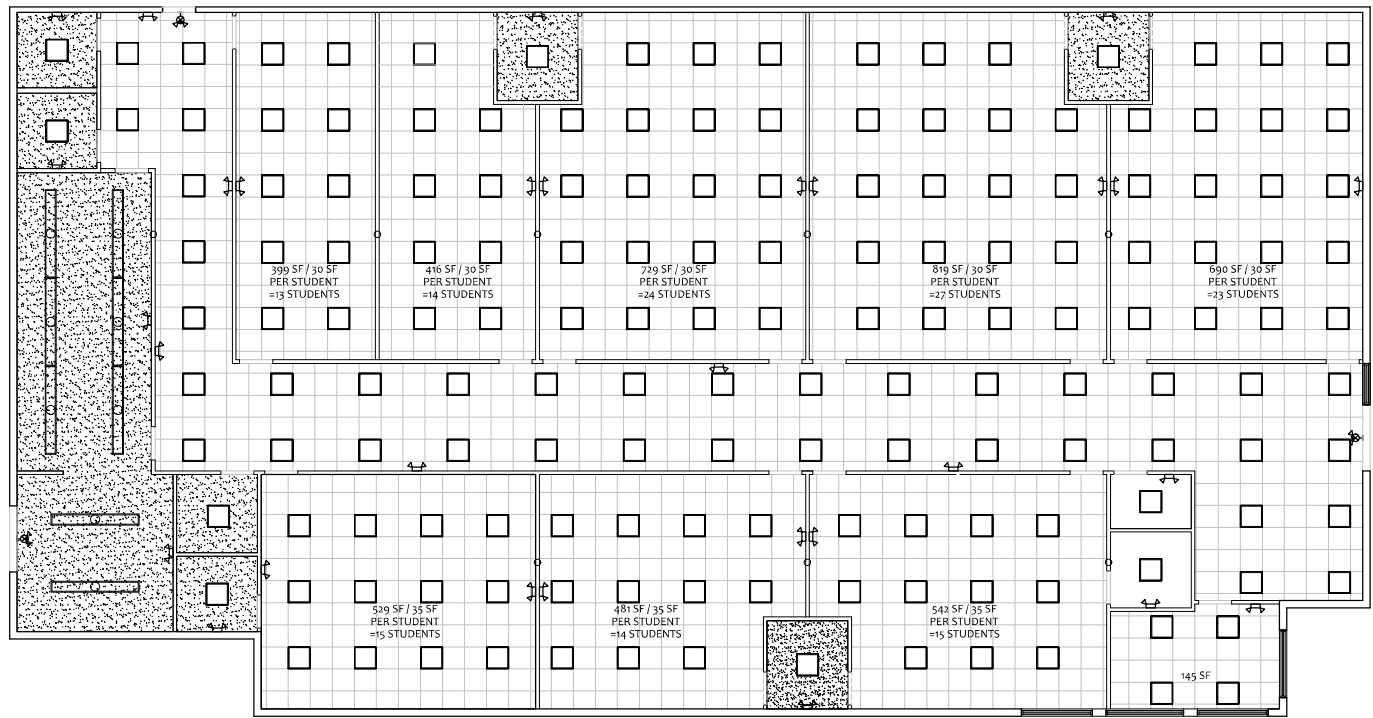
-  CEILING SPECIFICATION
-  CEILING HEIGHT
-  1'-0" X 6'-0" LIGHT FIXTURE
-  2'-0" X 2'-0" RECESSED FIXTURE
-  WALL OR CEILING MOUNTED EMERGENCY LIGHT FIXTURE
-  CEILING MOUNTED EXIT SIGN / LIGHT COMBO

REFLECTED CEILING PLAN NOTES:

- DIMENSIONS:**
A. ALL DIMENSIONS ARE TO FINISH FACE UNLESS NOTED OTHERWISE.
- CEILING FINISHES:**
A. REFER TO FINISH SCHEDULE
- SUSPENDED CEILING:**
A. ACOUSTICAL PANEL INSTALLATION: INSTALL ACOUSTICAL PANELS WITH EDGES IN CLOSE CONTACT WITH METAL SUPPORTS AND IN TRUE ALIGNMENT.
B. ALLOWABLE VARIATIONS FROM FLAT AND LEVEL SURFACE: 1/8" IN 10'-0" MAX.
C. ALLOWABLE VARIATIONS FROM PLUMB OF GRID MEMBERS: AS CAUSED BY ECCENTRIC LOADS: 2" MAX.
D. INSTALL SYSTEM AFTER MAJOR CEILING WORK IS COMPLETE. COORDINATE LOCATIONS OF HANGERS WITH RELATED WORK.
- LIGHTING:**
A. CONFIRM LIGHTING FIXTURE QUANTITIES WITH SUPPLIER.
B. EMERGENCY AND NORMAL LIGHTING MARKED WITH 'N'; SUBSCRIPT SHALL OPERATE CONTINUOUSLY. PROVIDE UNMATCHED HOT TO NORMAL AND EMERGENCY BALLAST.
C. CONTRACTOR SHALL FIELD VERIFY CEILING TYPE AND PROVIDE PROPER MOUNTING HARDWARE.
D. ALL LIGHT FIXTURES SHALL BE SUPPLIED WITH LAMPS.

SPECIFICATIONS:

- DIVISION 9: FINISHES**
- SECTION 90: SUSPENDED CEILING**
1. SUPPLY, FURNISH AND INSTALL ACOUSTICAL TILE PANELS WITH SUSPENSION SYSTEM PERFORMED. GRID SHALL BE INSTALLED AS SHOWN AND IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. LEVEL ACCURATELY AND HANG FROM #9 GAGE ANNEALED WIRE NOT OVER 4" O.C. PROVIDE HOLD-DOWN CLIPS, COOPERATE IN FITTING AROUND AIR CONDITIONING AND VENTILATION OUTLETS.
- GENERAL NOTES:**
1. CEILING GRID SHALL BE SUPPORTED FROM STRUCTURAL MEMBERS ONLY. GRID SHALL NOT BE SUPPORTED FROM OTHER TRADES WORK.
 2. COORDINATE GRID INSTALLATION WITH LOCATION OF MECHANICAL EQUIPMENT AS INDICATED ON MECHANICAL AND ELECTRICAL SHEETS.
 3. HANGER WIRES FOR GRID SHALL BE INSTALLED AT NO MORE THAN 48" O.C. AND AT EACH CORNER OF LAY-IN LIGHT FIXTURES. SEE ELECTRICAL SHEETS FOR FIXTURE LOCATIONS.
 4. CEILING GRID SHOULD BE CENTERED AT EACH ROOM.



 1 Reflected Ceiling Plan
Scale: 3/16"=1'-0"

ARCHITECT / ENGINEER
LIS ARCHITECTURE
ENGINEERING
7450 N.W. 11th St.
Suite 100
Miami, FL 33150
Phone: (781) 324-0404
Fax: (781) 324-0405

CLIENT NAME
JABERS MARKET, LLC
ANURU SHAH
9803 MALABAR ROAD SE
PALM BAY, FL 32907

PROJECT NAME
JABERS MARKET
CONDITIONAL USE FOR A DAYCARE
2210 Orange Ave
FT. PIERCE, FL 34950

DESIGNER
HAROLD DANIEL HUTTER III
FL LIC. AR88613

RELEASE	DATE

PROJECT NO. 2024-109

ISSUE DATE 07-29-24

DRAWN BY | CHECKED BY

SHEET NO. **A101**

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Reflected Ceiling Plan

November 26, 2024

City of Fort Pierce
Planning Department
100 N. U.S. Highway 1
Fort Pierce, FL 34950

RE: New Elite Academy
2210 Orange Avenue
Fort Pierce, FL 34950

LIS Project No. 2024-109
Project #: PZCON2024-00002

Subj: Response to Technical Review Committee Comments from November 21, 2024, TRC Meeting

Planning –
Conditions:

1. Playground area should provide ample shading (illustration required)
 - a. Covered area
 - b. Trees

Response: The designated playground area is currently shaded by tree canopy. Please reference the T100 Cover sheet with a current google earth photo of the property. We have also outlined the tree canopy on sheet C100.

2. Provide illustration of how traffic will flow for pick-up and drop-off.

Response: There are (12) designated drop-off parking spaces along the south side of the building with a dedicated sidewalk to the front door. Another (5) parking spaces with (2) ADA parking stalls and ramp are located on the east side of the building for over-flow and accessibility. All other parking stalls are for faculty and non-drop-off designated parking. Please refer to sheet C100 for illustration. The designated drop-off parking stalls and operation will be provided within the parent handbook for each student. We have provided directional arrows for the traffic flow based on closure of the N 22nd street curb-cut.

Advisory Comments

1. Sign permits will be required.

Response: Will Comply. Please reference sheet T100 for “Conditional Use Requirements For Permits” notes.

Engineering –

Conditional Use: Do Not Recommend Approval

1. Removal of the existing asphalt overlay into the N 22nd Street Right of Way is required.

Response: Please reference sheet C100 for notes to remove existing curb-cut overlay and extend sidewalk and curb along N 22nd street “right of way”.

2. Should a driveway connection to N 22nd Street be required, the applicant shall submit an application for a driveway permit.

Architecture - Engineering – Interiors

Response: Not applicable. Existing N 22nd street curb-cut to be abandoned.

- Continuation of the N 22nd Street sidewalk is required along the limits of the property.
Response: Please reference sheet C100 for notes to extend the sidewalk, curbing features along the limit of the property as requested.

Building –

- Building Official or his representative has no comments at the time of this meeting but reserves the submission of comments upon completion of the official plan review.
Response: Acknowledged.
- All new construction or alterations shall meet the requirements of the Florida Building Code 8th Edition.
Response: Please reference sheet T100 adopted code information for current 2023 FBC 8th edition.
- Building Permit required.
Response: Please refer to sheet T100 “Conditional Use Requirements For Permits” notes.
- Signed and sealed construction drawings required.
Response: Submitted sheets for this Conditional Use Permit have been digitally signed and sealed. New plans for subsequent submittals will be signed and sealed by a design professional licensed and registered in the state of Florida.
- Must meet the following Accessibility requirements
 - Accessible route
 - Handicapped parking spaces
 - Means of egress**Response: Please reference added LS100 Life Safety Plan sheet which addresses these items. Please refer to sheet C100 for accessible route and handicap parking space and ramp location which are currently in compliance with ADA Accessibility requirements.**
- Change of Use required
 - Shall include a signed and sealed Life Safety Plan
 - Shall include a signed and sealed comprehensive drawing, detailing how the building and MEC elements will comply with the Florida Building Code requirements**Response: Please reference added sheet LS100 Life Safety Plan (signed and sealed) for this submittal.**

Police Department –

- Please ensure the lighting of the property meets or exceeds the standards set forth by city code. Please also ensure security fencing features are designed to prevent unauthorized intrusions. Consider CPTED style fencing which reinforces the territory while allowing for natural surveillance.
Response: Please reference sheet T100 for added Fort Pierce Police Department note.

St. Lucie County department of Planning, PW/Engineering, and Transportation Planning Organization did not provide comments. No response applicable.

Fort Pierce Utilities Authority –

W/WW Engineering: This location is currently connected to FPUA water and sewer. At the time of the building permit submittals, FPUA will work with the applicant to address any modification to services if required or to address any additional fees that may be required.

Response: Acknowledged. Will address at time of subsequent Building submittal.

Electric Engineering: FPUA Electric & Gas Engineering has reviewed the application.

Approved

Gas: Approved

FPUAnet Fiber: FPUAnet Approves

St. Lucie County Fire District –

Site Plan Requires RE-submittal

The Following Conditions/Revisions are Necessary:

1. Please submit a completed application for Development/Site Plan Review (St. Lucie County Fire District Development & Site Plan Review Application). This form is available on-line at <https://www.slcfcd.com>.

Response: The owner of New Elite Academy will submit application.

2. Fire District review fees are due at the time of submittal. An abbreviated fee schedule is included on the application form.

Response: The owner of New Elite Academy will provide payment.

3. Please provide an electronic revised copy of the site plan (pdf format).

Response: Please refer to revised sheet C100 attached to the resubmittal.

4. Please provide written acknowledgement of the conditions/revisions provided

Response: Acknowledged.

5. A separate review and permit is required for Underground Fire Mains connected to standpipes or sprinkler systems.

Response: Acknowledged. Will submit at appropriate time based on proposed scope of work.

6. The Fire District reserves the right for future comments at the site plan & building construction phase.

Response: Acknowledged.

7. Be advised, although there is no new construction planned for this project it will be subject to a New Business Inspection and a Change of Occupancy Review. The project will have to meet all of the Occupancy requirements at that time to be in compliance with the currently adopted version of the Florida Fire Prevention Code

Response: Please reference note #6 under the “Conditional Use Requirements For Permits” notes on sheet T100.

Please let me know if you have any further questions or concerns regarding the resubmittal drawings of the Conditional Use Permit for this project. I can be reached at 321-244-0402 during typical business hours.

Regards,

Carlos Sobrin

Carlos Sobrin
Vice President

CONDITIONAL USE FOR: DAYCARE

2210 ORANGE AVE
FORT PIERCE, FL 34950

NEW ELITE ACADEMY

ABBREVIATIONS

ABV	ABOVE
AFF	ABOVE FINISHED FLOOR
A/C	AIR CONDITIONING
ARCH	ARCHITECTURAL
@	AT
BLK	BLOCK(ING)
BOT	BOTTOM
BLDG	BUILDING
CLG	CEILING
CL	CENTER LINE
CIRC	CIRCUIT
CLR	CLEAR
COL	COLUMN
CONC	CONCRETE
CMU	CONCRETE MASONRY UNIT
CONST	CONSTRUCTION
CONT	CONTINUOUS
CTR	COUNTER
DTL	DETAIL
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DWG	DRAWING
EA	EACH
ELEV	ELEVATION
EQ	EQUAL
EQPT	EQUIPMENT
EXIST	EXISTING
EXP	EXPOSED
EXT	EXTERIOR
EIFS	EXTERIOR INUL. FINISH SYSTEM
FT(')	FEET, FOOT
FIN	FINISHED
FL	FLOOR(ING)
FD	FLOOR DRAIN
FLUR	FLUORESCENT
F.R.	FIRE RATED
F.E.	FIRE EXTINGUISHER
GWB	GYPSUM WALL BOARD
HDW	HARDWARE
HDWD	HARDWOOD
HVAC	HEATING/VENTILATION/AIR CONDITIONING
HM	HOLLOW METAL
IN(')	INCH
ID	INSIDE DIAMETER
INSUL	INSULATION
INT	INTERIOR
LL	LANDLORD
MANUF	MANUFACTURE(R)
MFG	MANUFACTURE(R)
MECH	MECHANICAL
MISC	MISCELLANEOUS
M.R.	MOISTURE RESISTANT
MULL	MULLION
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
NUM	NUMBER
OFF	OFFICE
OC	ON CENTER(S)
OPNG	OPENING
OPH	OPPOSITE HAND
OD	OUTSIDE DIAMETER
PNT	PAINTED
PLAM	PLASTIC LAMINATE
PLWD	PLYWOOD
POL	POLISHED
PROJ	PROJECT
P	PLATE
RE	REFERENCE
REF	REFRIGERATOR
REM	REMOVE(D)ABLE
REQ'D	REQUIRED
REV	REVISION(S) REVISÉ
RM	ROOM
RO	ROUGH OPENING
RD	ROUND
SCH	SCHEDULE
SEC	SECTION
SHT	SHEET
SIM	SIMILAR
SC	SOLID CORE
SPEC	SPECIFICATION(S)
SS	STAINLESS STEEL
STO	STORAGE
STRUCT	STRUCTURAL
SUSP	SUSPENDED
TEL	TELEPHONE
TYP	TYPICAL
THRU	THROUGH
VCT	VINYL COMPOSITION TILE
VEST	VESTIBULE
W/	WITH
W/O	WITHOUT
WDB	WOOD
WDB	WOOD BASE

Project Description

THESE PLANS INDICATE THE PROPOSAL FOR A DAYCARE IN AN EXISTING BUILDING. MODIFICATIONS TO INCLUDE ARCHITECTURAL, STRUCTURAL AND ELECTRICAL AND PLUMBING DESIGN FOR EXPANSION OF ADDITIONAL ROOMS AND RESTROOMS.

Conditional Use Requirements For Permits:

1. CHANGE OF USE REQUIRED.
2. BUILDING PERMIT REQUIRED.
3. SEPARATE SIGN PERMITS FOR ANY PROPOSED BUILDING AND SITE SIGNAGE.
4. A SEPARATE REVIEW AND PERMIT IS REQUIRED FOR UNDERGROUND FIRE MAINS CONNECTED TO STANDPIPES OR SPRINKLER SYSTEMS.
5. SITE LIGHTING TO MEET CURRENT CITY STANDARDS.
6. THE PROJECT WILL BE SUBJECT TO A NEW BUSINESS INSPECTION AND CHANGE OF OCCPANCY REQUIREMENTS AT THE TIME TO BE IN COMPLIANCE WITH THE CURRENT ADOPTED VERSION OF THE FLORIDA FIRE PREVENTION CODE.

FORT PIERCE POLICE DEPARTEMENT NOTE:

PLEASE ENSURE THE LIGHTING OF THE PROPERTY MEETS OR EXCEEDS THE STANDARDS SET FORTH BY THE CITY AND ENSURE SECURITY FENCING FEATURES ARE DESIGNED TO PREVENT UNAUTHORIZED INTRUSIONS. CONSIDER FENCING WHICH REINFORCES THE TERRITORY WHILE ALLOWING FOR NATURAL SURVEILLANCE.

Note

1. "Site shall comply with the Florida Building Code 8th Edition (2023) Accessibility" and 2. "Separate permits are required for the following if applicable. Construction trailers, sales centers, dumpster enclosures, lift stations, swimming pools, playground equipment, retaining walls, entry wall features, access gates, site lighting, generators, fences, grease traps, fire alarm and fire sprinkler, etc."

General Notes

1. ALL WORK WILL COMPLY WITH LOCAL, STATE, AND NATIONAL CODES RELATED TO THIS PROJECT.
2. THE WRITTEN DIMENSIONS PREVAIL ON THE CONSTRUCTION DOCUMENTS. DO NOT SCALE THESE DRAWINGS. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. IF ANY DISCREPANCY OCCURS, THE CONTRACTOR IS REQUIRED TO NOTIFY THE OWNER IN WRITING BEFORE PROCEEDING WITH ANY WORK AFFECTED BY THE DISCREPANCY.
3. CONTRACTORS TO SECURE ALL PERMITS AND REQUIRED INSPECTIONS NECESSARY TO OBTAIN A CERTIFICATE OF OCCUPANCY, AND OCCUPATIONAL LICENSES.
4. ALL MATERIALS TO BE SECURED ON SITE IN LOCKED CONTAINERS.
5. EACH CONTRACTOR AND SUBCONTRACTOR IS EXPECTED TO REVIEW ALL CONTRACT DOCUMENTS AND SITE CONDITIONS PRIOR TO ISSUED BID. CHANGE ORDERS WILL NOT BE APPROVED FOR FAILURE TO DO SO.
6. PRODUCTS SPECIFIED OR OTHERWISE INDICATED IN THE CONTRACT DOCUMENTS SHALL NOT BE SUBSTITUTED WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER.
7. THIS CONTRACTOR SHALL COORDINATE ALL TRADES REQUIRED TO COMPLETE THIS PROJECT AS REQUIRED TO ACTIVATE THE USE OF THE FACILITY AS PLANNED.
8. THE CONTRACTOR SHALL HAVE INSTALLATION INSTRUCTIONS FOR ALL EQUIPMENT AND APPLIANCES ON SITE AT TIME OF INSPECTION.
12. ALL DIMENSIONS ARE TO FACE OF STUD, FACE OF MASONRY AND CENTERLINE OF COLUMNS UNLESS OTHERWISE NOTED.
13. ANYWHERE THE TERM PROVIDE OR INSTALL IS USED, IT SHALL MEAN PROVIDE AND INSTALL UNLESS OTHERWISE NOTED.
14. DO NOT SCALE THE DRAWINGS.



Area Map
SCALE: N.T.S.



Vicinity Map
SCALE: N.T.S.



SHEET INDEX:

SHEET #	TITLE	SUBMISSION DATE	
		COND. USE	DATE
T100	COVER SHEET	X	
C100	SURVEY	X	
C101	SITE PLAN	X	
C101	SITE PHOTOMETRY PLAN	X	
ARCHITECTURAL			
D100	DEMOLITION PLAN	X	
LS100	LIFE SAFETY PLAN	X	
A100	ARCHITECTURAL FLOOR PLAN	X	
A101	REFLECTED CEILING PLAN	X	
A400	EXTERIOR BUILDING ELEVATIONS	X	

JURISDICTION AUTHORITY

CITY OF FORT PIERCE
100 N U.S. HIGHWAY 1
FORT PIERCE, FL 34950

ADOPTED CODES

BUILDING CODE: 2023 FLORIDA BUILDING CODE - EXISTING BUILDING - 8TH ED.
ELECTRICAL: 2020 NATIONAL ELECTRICAL CODE (NEC) - NFPA 70
PLUMBING: 2023 FLORIDA BUILDING CODE, PLUMBING, 8TH ED.
MECHANICAL: 2023 FLORIDA BUILDING CODE, MECHANICAL, 8TH ED.
FIRE: 2023 FLORIDA FIRE PREVENTION CODE (NFPA 1 & NFPA 101, 7TH ED.
GAS: 2023 FLORIDA BUILDING CODE, GAS, 8TH ED
ENERGY: 2023 FLORIDA BUILDING CODE, ENERGY CONSERVATION, 8TH ED
ACCESSIBILITY: 2023 FLORIDA BUILDING CODE, ACCESSIBILITY, 8TH ED
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

EXISTING BUILDING AND CONSTRUCTION DATA

OCCUPANCY CLASSIFICATION: GROUP E - DAYCARE
CONSTRUCTION TYPE: TYPE II-B, SPRINKLERED
ACTUAL HEIGHT AND AREA: HEIGHT = 15'-0" TOTAL AREA = 7,487 SQ FT

OCCUPANCY TABULATION

TOTAL OCCUPANCY 150 PERSONS. (8) CLASSROOMS

PARKING TABULATION

PARKING REQUIRED: (8) CLASSROOMS X 2 = 16 PARKING SPACES.
TOTAL PARKING PROVIDED = 35 SPACES WITH (2) ADA SPACES INCLUDED.

This item has been digitally signed and sealed by Harold Daniel Hutter III on the date adjacent to the seal.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Contact Information

OWNER: Mr. ANKUR SHAH
JABERS MARKET, LLC
930-3 MALABAR ROAD SE
SHAHANKOOOR@GMAIL.COM
PHONE: 321-432-0675

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2572 WEST STATE ROAD 426 SUITE 2064,
OVIEDO, FL 32765
PHONE: 321-244-0402
CONTACT: H. DANIEL HUTTER R.A. NCARB

MECHANICAL & ELECTRICAL ENGINEER: LIS ENGINEERING
2572 WEST STATE ROAD 426 SUITE 2064,
OVIEDO, FL 32765
PHONE: 321-244-0402
CONTACT: CLARK STILWELL

PLANNING DEPARTMENT: CITY OF FORT PIERCE
100 N U.S. HIGHWAY 1
FORT PIERCE, FL 34950
PHONE: 772-467-3737

ARCHITECTURE
ENGINEERING

LIS

CA NO: 6863 LB1057
2572 West State Road 426
Suite 2064 Oviedo, FL 32765
Phone: (321) 244-0402
Facsimile: (321) 244-9419

CLIENT NAME
JABERS MARKET, LLC
ANKUR SHAH
930-3 MALABAR ROAD SE
PALM BAY, FL 32907

PROJECT NAME
NEW ELITE ACADEMY
CONDITIONAL USE FOR A DAYCARE
2210 Orange Ave
Ft Pierce, FL 34950

SEAL
HAROLD DANIEL HUTTER III
FL LIC. AR98913

RELEASE DATE

PROJECT NO.
2024-109

ISSUE DATE
07-29-24

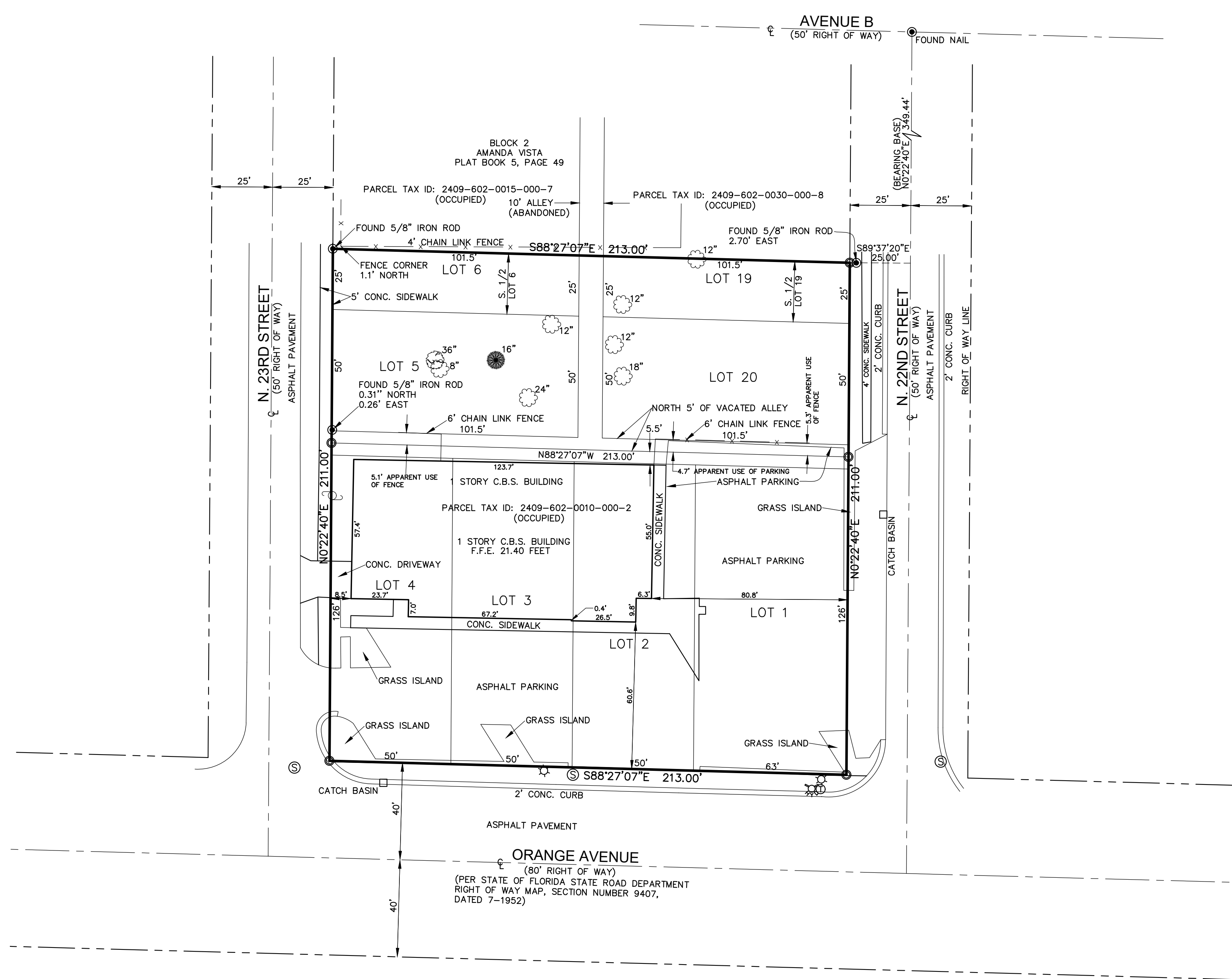
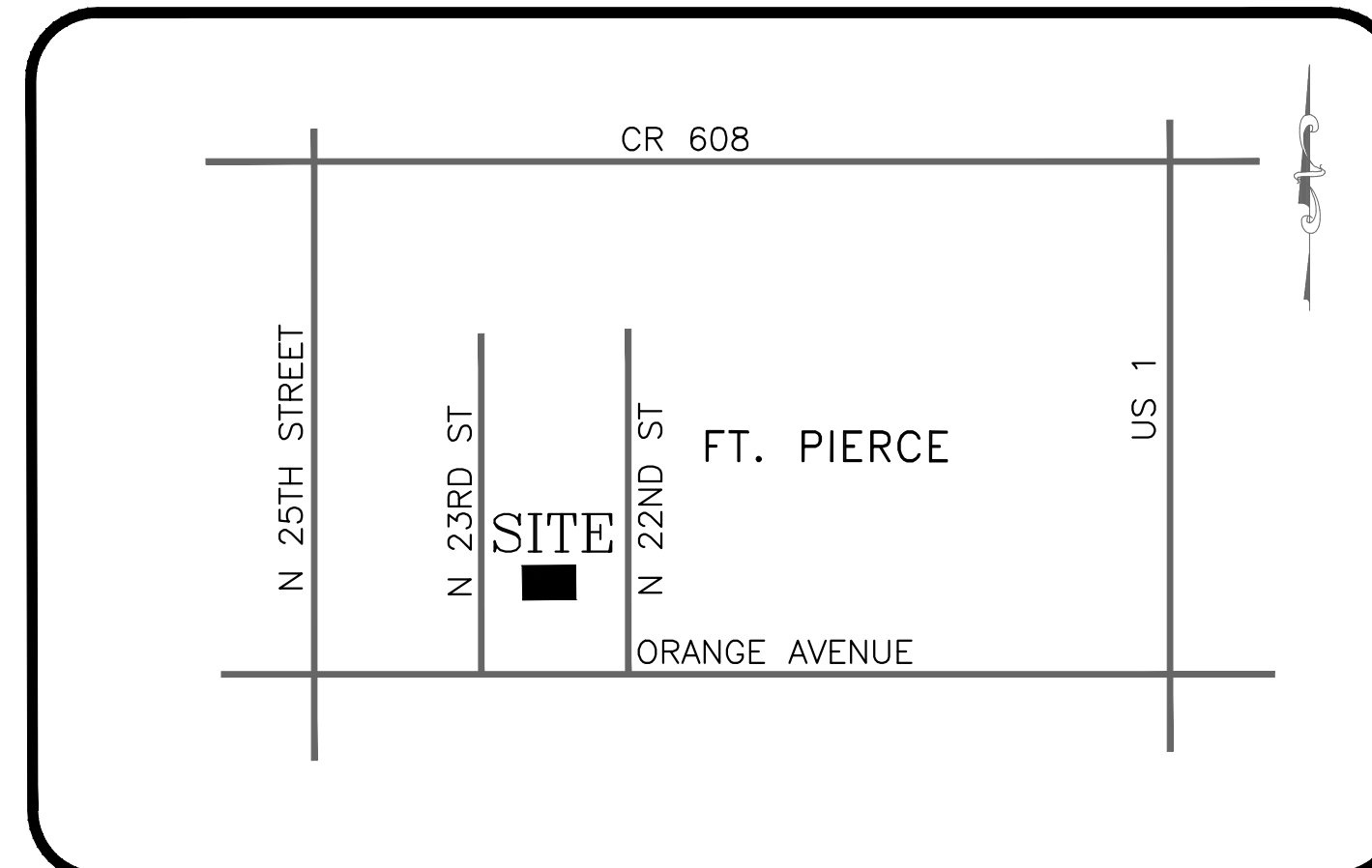
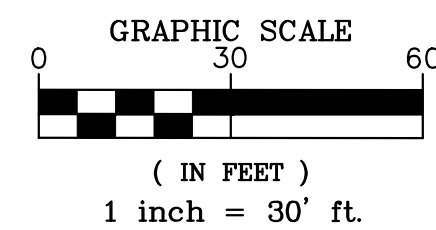
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SHEET NO.

T100

Cover Sheet

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- LEGEND**
- O.R.B. - OFFICIAL RECORDS BOOK
 - CL - CENTERLINE
 - PL - PLAT
 - M - MEASURED
 - D - DEED
 - C - CALCULATED
 - L.B. - LICENSED BUSINESS
 - CONC. - CONCRETE
 - C.M.P. - CORRUGATED METAL PIPE
 - INV - INVERT
 - EL - ELEVATION
 - F.F.E. - FINISH FLOOR ELEVATION
 - P.U.E. - PUBLIC UTILITY EASEMENT
 - D.E. - DRAINAGE EASEMENT
 - O.H.U. - OVERHEAD UTILITY LINE
 - W.P.P. - WOOD POWER POLE
 - G.A. - GUY ANCHOR
 - C.C.R. - CERTIFIED CORNER RECORD
 - L.P. - LIGHT POLE
 - E.M. - ELECTRIC METER
 - I.D. - IDENTIFICATION
 - T.S.B. - TRAFFIC SIGNAL BOX
 - M.E.S. - MITERED END SECTION
 - C.R. - CATV RISER
 - F.O.C.P. - FIBER OPTIC CABLE PEDESTAL
 - H.D.P.E. - HIGH DENSITY POLY ETHYLENE PIPE
 - O.T. - OAK TREE
 - R.C.P. - REINFORCED CONCRETE PIPE
 - S.I.R. - SET 5/8" IRON ROD & CAP
 - S.T. - STAMPED "LB 7805"
 - M.T. - MANGO TREE
 - P.T. - PINE TREE
 - S.M. - SANITARY MANHOLE

DESCRIPTION

LOT 5, AND THE SOUTH HALF OF LOT 6, AND ALL OF THE LOT 20, AND SOUTH HALF OF LOT 19, BLOCK 2, ALAMANDA VISTA, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 5, PAGE 49 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA; TOGETHER WITH VACATED ALLEY LYING BETWEEN SAID LOTS, AND THE NORTH 5 FEET OF VACATED ALLEY LYING ADJACENT TO SAID LOTS 5 AND 20.

TOGETHER WITH:

LOTS 1, 2, 3, AND 4, BLOCK 2 OF ALAMANDA VISTA SUBDIVISION, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 5, PAGE 49, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, LESS THE SOUTH 5 FEET THEREOF FOR ORANGE AVENUE.

SURVEYOR'S NOTES

1. THIS SURVEY MAP OR THE COPIES THEREOF, EXCEPT THOSE WITH ELECTRONIC SIGNATURE AND ELECTRONIC SEAL, ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. HORIZONTAL RELATIONSHIPS, AS SHOWN HEREON, ARE BASED ON THE FLORIDA STATE PLANE COORDINATE GRID, EAST ZONE, USING THE NORTH AMERICAN DATUM OF 1983 WITH THE 2011 ADJUSTMENT (NSRS 2011).
3. THE CENTERLINE OF N. 2ND STREET IS ASSUMED TO BEAR NORTH 00°22'40" EAST AND ALL OTHER BEARINGS SHOWN HEREON ARE RELATIVE THERETO.
4. THE HORIZONTAL LOCATION OF NON-DIMENSIONED FEATURES ARE PLOTTED TO SCALE, UNLESS NOTED OTHERWISE.
5. SYMBOLS SHOWN WITHIN THIS DRAWING ARE NOT SCALE DEPENDENT.
6. DESCRIPTION SHOWN HEREON PROVIDED BY CLIENT.
7. FIELD SURVEY LAST CONDUCTED ON OCTOBER 7, 2021.
8. OVERALL PARCEL CONTAINS 44,934 SQUARE FEET OR 1.03 ACRES, MORE OR LESS.
9. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
10. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
11. UNDERGROUND IMPROVEMENTS, IF ANY, WERE NOT LOCATED, EXCEPT AS SHOWN.
12. LIMITS OF WETLANDS, IF ANY, UNDER GOVERNMENT JURISDICTION, WERE NOT DETERMINED AS PART OF THIS SURVEY.
13. BY GRAPHIC PLOTTING ONLY, SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A FLOOD ZONE DESIGNATION OF "X", ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) ON FLOOD INSURANCE RATE MAP (FIRM) PANEL NUMBER 12111C0178J, HAVING AN EFFECTIVE DATE OF FEBRUARY 16, 2012. THIS INFORMATION SHOULD BE CONFIRMED WITH THE APPROPRIATE AGENCY PRIOR TO CONSTRUCTION.
14. TREE SIZES, AS SHOWN ADJACENT TO TREE SYMBOLS, WERE TAKEN AT BREST HEIGHT AND ARE IN INCHES OF A FOOT.

CERTIFIED TO

ARS HOLDINGS OF FLORIDA LLC

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE BOUNDARY SURVEY, AS SHOWN HEREON, IS A TRUE AND CORRECT REPRESENTATION OF A FIELD SURVEY MADE UNDER MY DIRECTION AND CHARGE AND SAID SURVEY IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THAT SAID SURVEY COMPLIES WITH THE APPLICABLE STANDARDS OF PRACTICE FOR SURVEYS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

CIVLSURY DESIGN GROUP, INC.

BY: BRIAN C. KIERNAN _____ DATE OF SIGNATURE _____
 PROFESSIONAL SURVEYOR & MAPPER
 FLORIDA REGISTRATION NO. 6101

BOUNDARY SURVEY
109 NORTH 22ND STREET
FT. PIERCE, FLORIDA

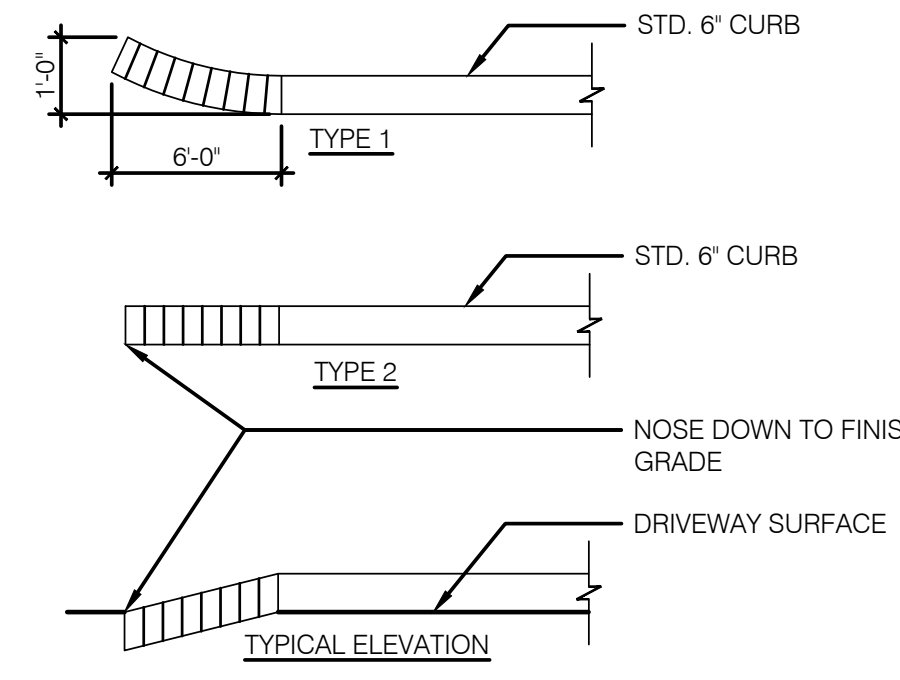
REVISIONS

FIELD BOOK(S): 857
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 CHECKED BY: SW

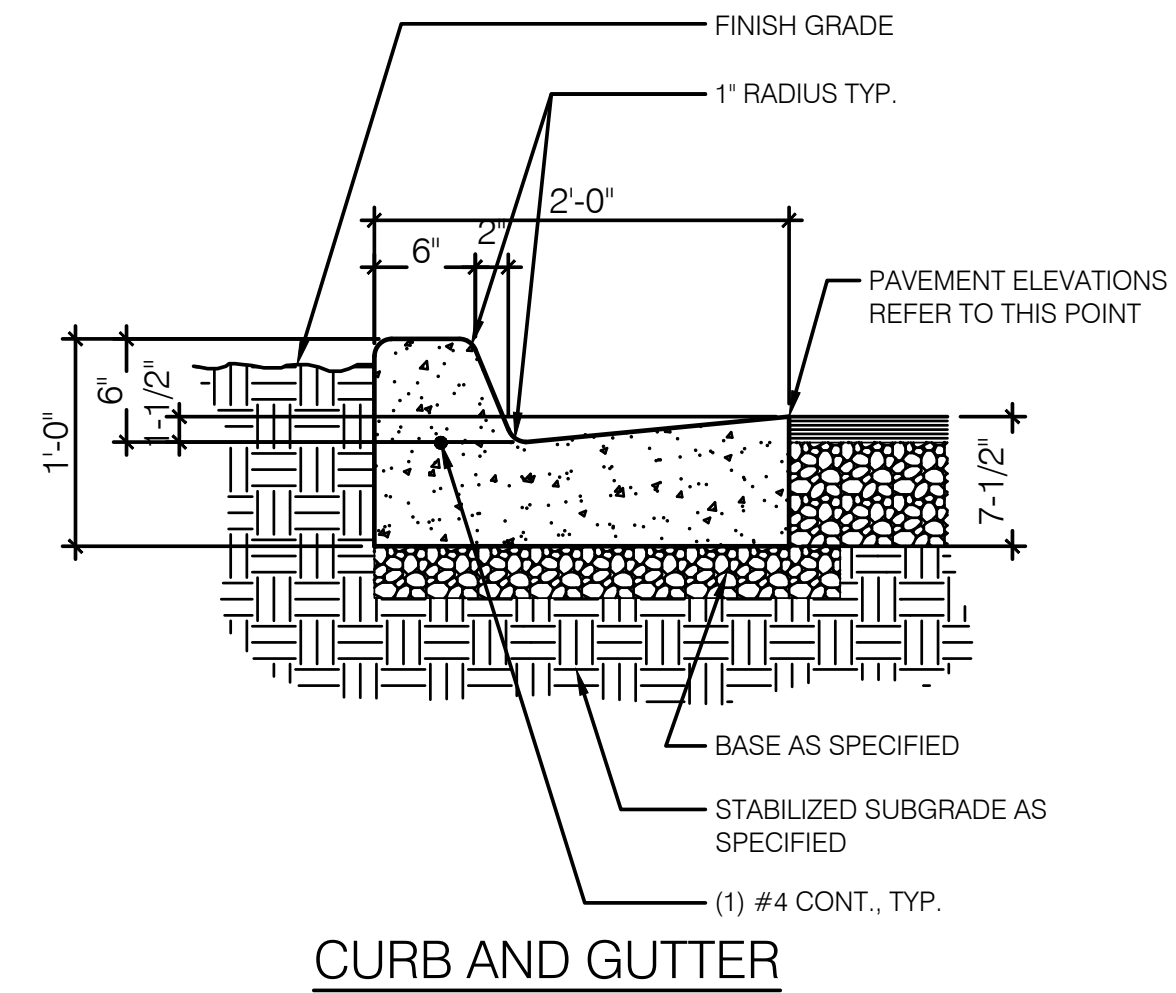
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 US NUMBER: 7805

SHEET NO.
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 1

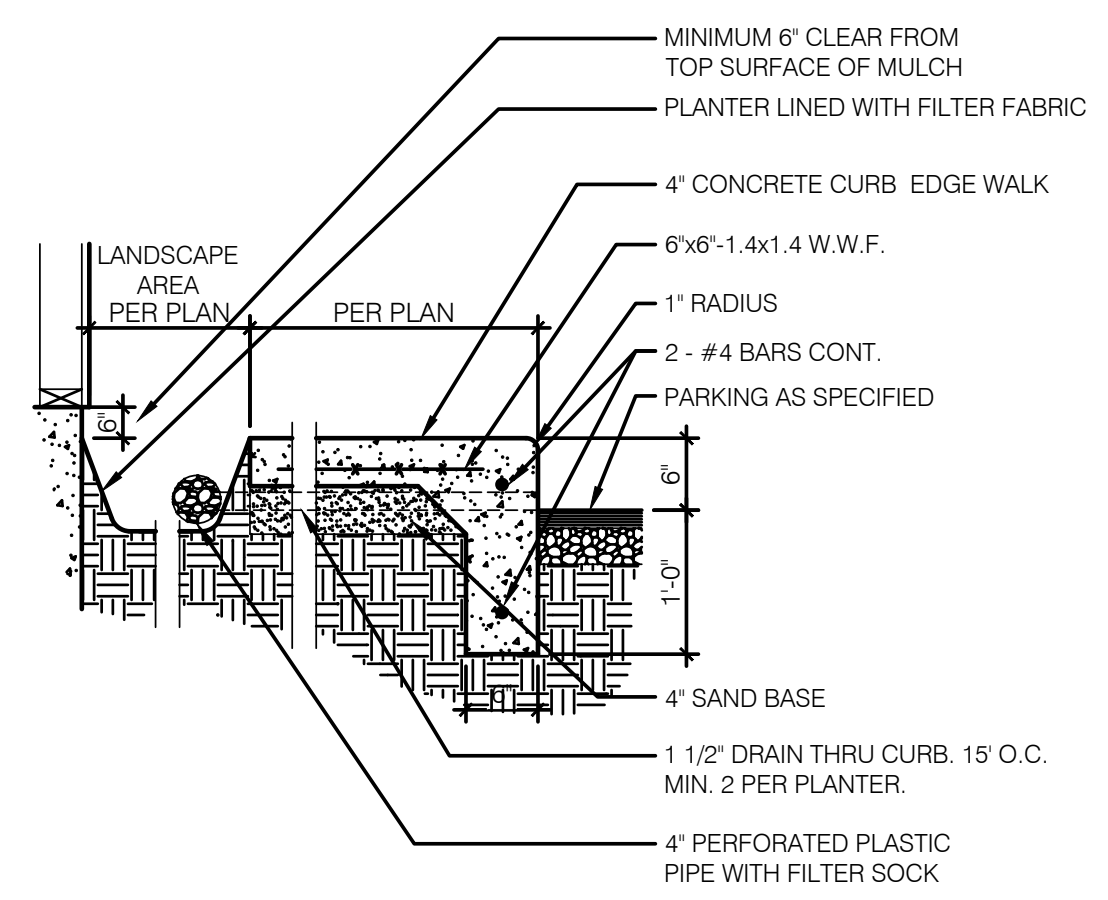
CIVILSURVY
 CIVILSURVY DESIGN GROUP, INC.
 444 4TH LANE S.W., VERO BEACH, FL 32962 TEL: 772-323-2244



1 CONCRETE CURB DETAIL
SCALE: N.T.S.



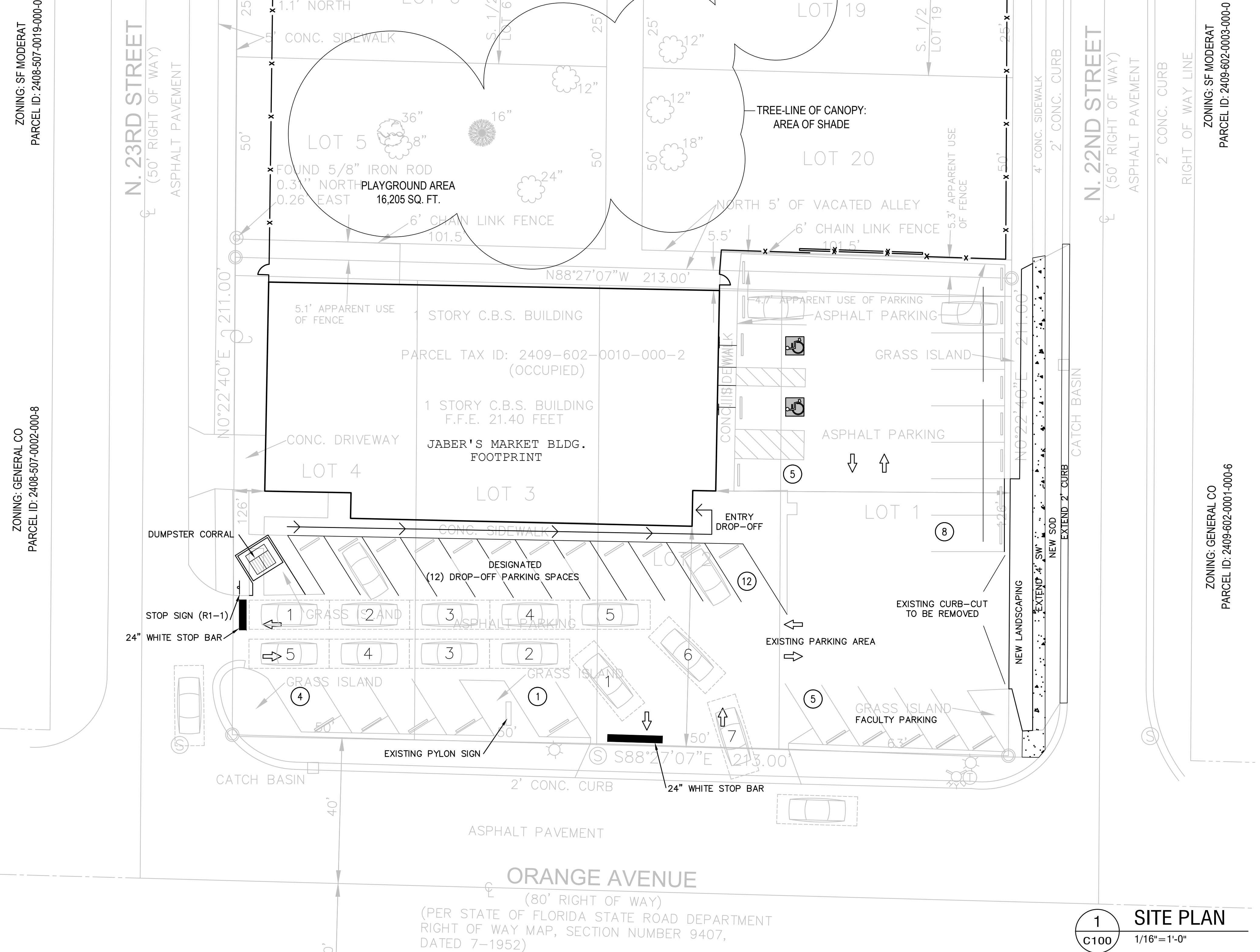
2 CURB AND GUTTER DETAIL
SCALE: N.T.S.



3 CONCRETE SIDEWALK DETAIL
SCALE: N.T.S.

ZONING: SF MODERAT
PARCEL ID: 2408-507-0019-000-0

ZONING: GENERAL CO
PARCEL ID: 2408-507-0002-000-8



This item has been digitally signed and sealed by Harold Daniel Hutter III on the date adjacent to the seal.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



1 SITE PLAN
C100 1/16"=1'-0"

ARCHITECT ENGINEER
LIS
ARCHITECTURE
ENGINEERING
CA NO. 6853 LB1057
2572 West State Road, 406
Suite 200
Palm Bay, FL 32909
Phone: (329) 244-0402
Facsimile: (321) 244-9419

CLIENT NAME
JABERS MARKET, LLC
ANKUR SHAH
930-3 MALABAR ROAD SE
PALM BAY, FL 32907

PROJECT NAME
NEW ELITE ACADEMY
CONDITIONAL USE FOR A DAYCARE
2210 Orange Ave
FL 32909, FL 34950

SEAL
HAROLD DANIEL HUTTER III
FL LIC. AR89913

RELEASE DATE

PROJECT NO. 2024-109

ISSUE DATE 07-29-24

DRAWN CHECKED

SHEET NO.

C100


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ORANGE AVENUE
(80' RIGHT OF WAY)
(PER STATE OF FLORIDA STATE ROAD DEPARTMENT
RIGHT OF WAY MAP, SECTION NUMBER 9407,
DATED 7-1952)

RAB LIGHTING
WPLED20Y

DESCRIPTION
 LED 20 Watt Wallpacks

SPECIFICATIONS
Dark Sky Approved:
 The International Dark Sky Association has approved this product as a full cutoff, fully shielded luminaire.
Finish:
 Chip and fade resistant polyester powder coat finish.
For use on LEED Buildings:
 IDA Dark Sky Approval means that this fixture can be used to achieve LEED Credits for Light Pollution Reduction.
Gaskets:
 High Temperature Silicone
IESNA LM-79:
 RAB LED luminaires comply with the IESNA LM-79 testing procedure, which measures performance qualities of LED luminaires to allow for a true comparison of luminaires regardless of the light source.
Patents:
 The WPLED20 design is protected under patents pending in the U.S., Canada, China, Taiwan and Mexico.
UL Listing:
 Suitable for wet locations. Suitable for mounting within 4' of the ground.
Warranty:
 RAB LED fixtures give you peace of mind because both the fixture and light engine components are backed by RAB's 5 Year Warranty. For more information,
Color Accuracy:
 74 CRI
Driver:
 Automatic Voltage Sensing Driver for 120 - 277 volts



JOB NAME: _____
 DATE: _____
 TYPE: _____

DRIVER RELIABILITY:
 MIL Spec 217F results based on UL certified testing lab results in 122F ambient temperatures indicate mean time between failures of greater than 90,000 hrs

Fixture Efficacy:
 32 Lumens per Watt

Green Technology:
 RAB LEDs are Mercury and UV free.

Heatsink:
 Integral cast aluminum mounting pad and external fins for optimal heat sinking to ensure cool operation with maximum LED life and light output.

Housing:
 Precision die cast aluminum housing, lens frame and mounting plate.

IESNA LM-79 & IESNA LM-80 Testing:
 RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

LED Light Engine:
 Two Multi-chip 10W high output long life LED Driver: Constant Current, Class 2

Light Color:
 2754 K (Warm White)

Total Harmonic Distortion:
 THD = 8.1%

Two Mounting Options:
 Junction Box with 5 Conduit Entry Points and Threaded Plugs for surface mounting plus Cover Plate for mounting over 4" recessed junction box included with WPLED20

Color:
 Bronze

Weight:
 6.1

ORDERING INFORMATION

Lamp	Total Watts	Lamp Type	Lamp Base	Ballast	Starting Amps/ Operating Amps	Input Watts	LAMP Initial Lumens	Lamp Hours
20	20	Light Emitting Diode	Therm at	Constant Current	0.5 0.5 0.5 0.125	22	N/A 704	50000

Factory Installed Options
 Add suffix to Catalog Number
 Photocontrol for 277V (P#2)
 Diode nk
 Photocontrol for 120V (PC)

Note: Specifications may change without notice
RAB Lighting, Inc. • 170 Ludlow Ave • Northvale, NJ 07647 • Tel: 888 RAB-1000 • Fax: 888 RAB-1232 • www.rabweb.com
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Luminaire Schedule

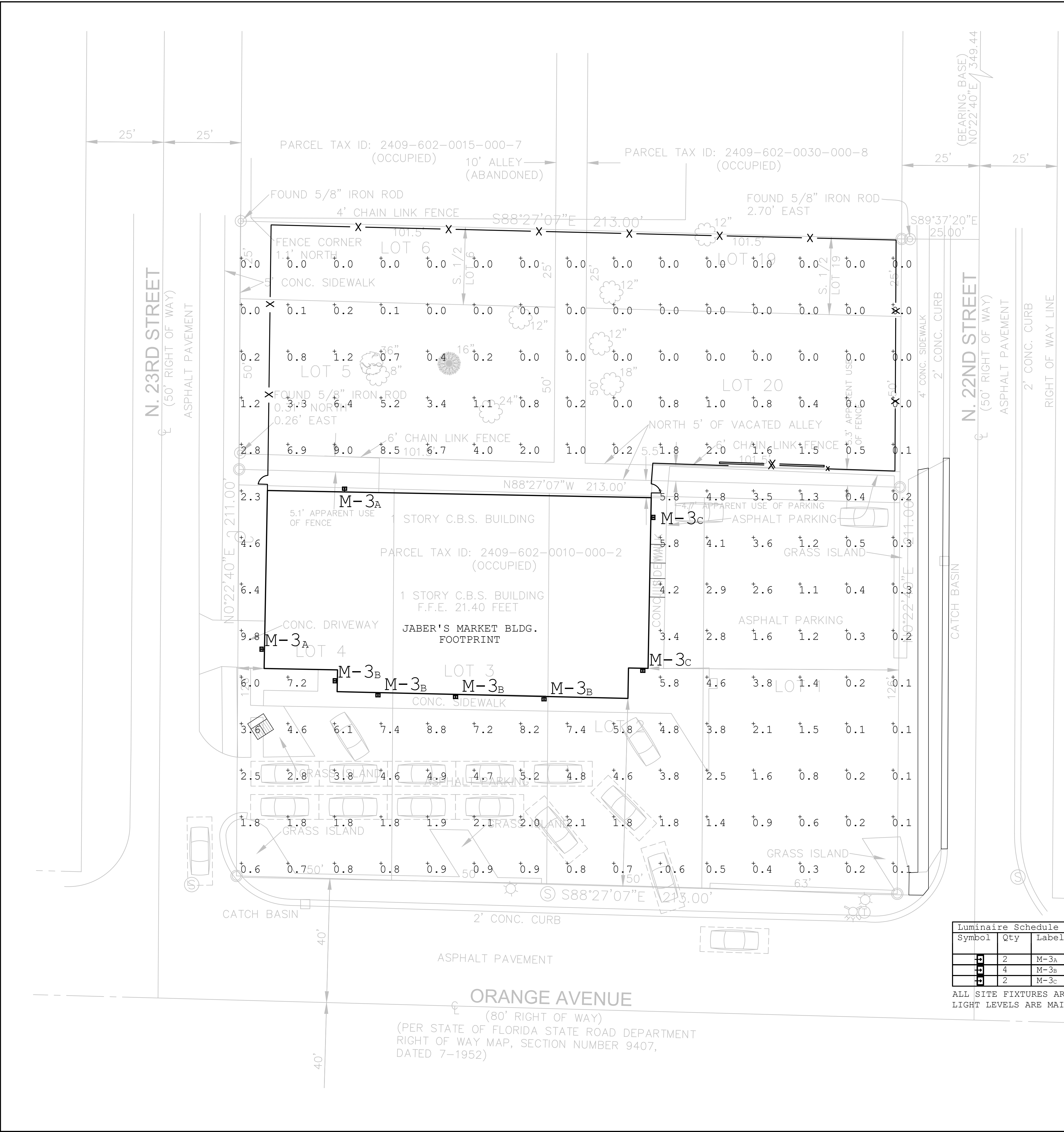
Symbol	Qty	Label	Arrangement	Luminaire Lumens	LLF	CCT	Luminaire Watts	Mounting Height	Description
Ⓜ-3A	2	M-3A	SINGLE	986	0.900	4000K	22	7	WPLED20Y @ 7' A.F.G.
Ⓜ-3B	4	M-3B	SINGLE	986	0.900	4000K	22	10	WPLED20Y @ 10' A.F.G.
Ⓜ-3C	2	M-3C	SINGLE	986	0.900	4000K	22	12	WPLED20Y @ 12' A.F.G.

ALL SITE FIXTURES ARE NEW
 LIGHT LEVELS ARE MAINTAINED FOOT-CANDLES, INITIAL LEVELS ARE SLIGHTLY HIGHER

1
C101
SITE PHOTOMETRY PLAN
 1/16"=1'-0"

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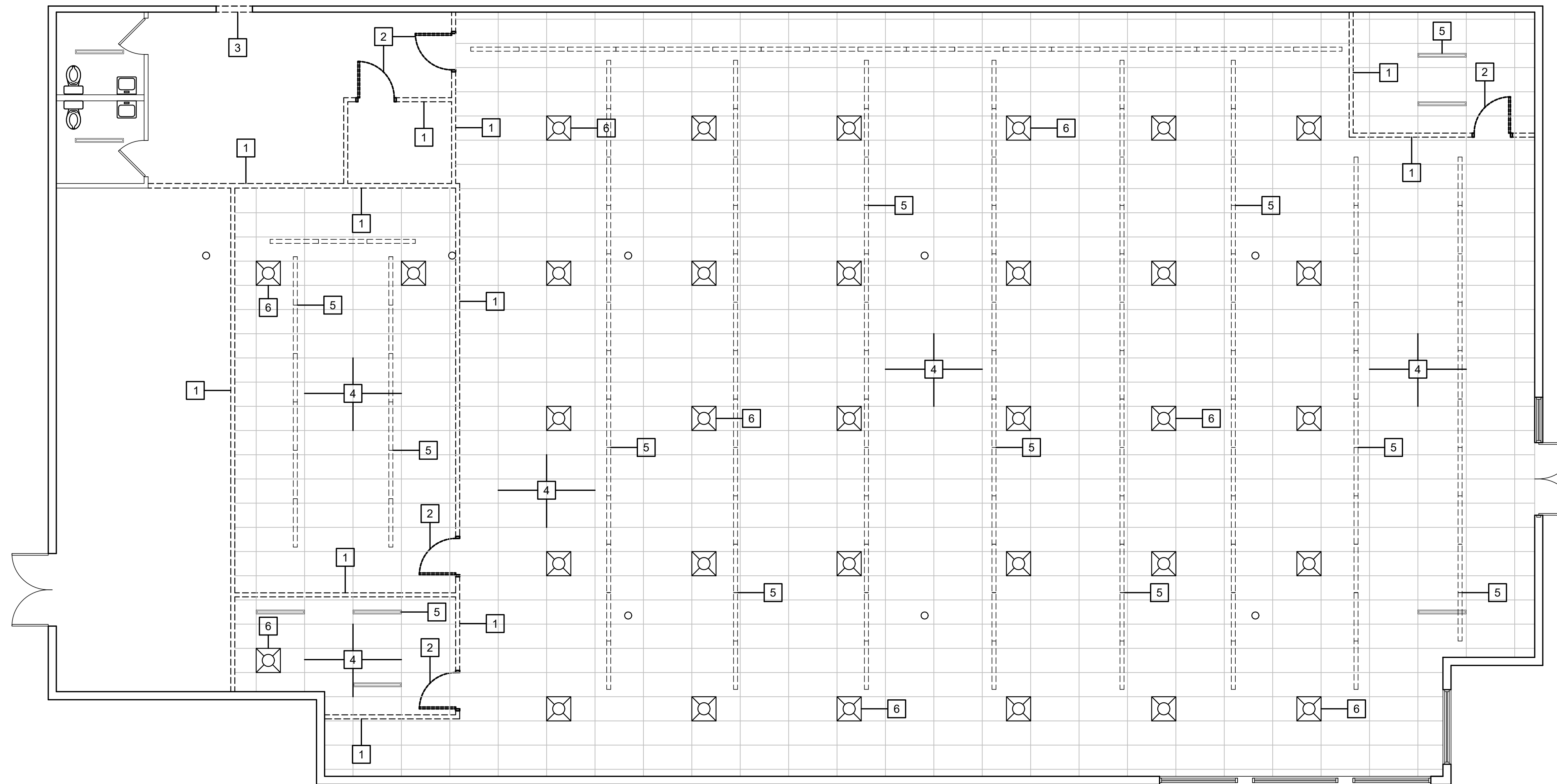


GENERAL DEMOLITION NOTES

1. G.C. TO SECURE BUILDING AS REQUIRED AGAINST WEATHER INTRUSION AND VANDALISM AT THE END OF EACH DAY.
2. G.C. SHALL CLEAN UP CONSTRUCTION DEBRIS AND PLACE IN DUMPSTER FOR REMOVAL.
3. G.C. TO COORDINATE WITH THE OWNER FOR ANY SALVAGEABLE FURNISHINGS OR EQUIPMENT TO BE REUSED AFTER BUILDING RENOVATION.
4. G.C. TO CONFIRM BUILDING APRON AND SIDEWALK IS IN COMPLIANCE WITH 2010 STANDARDS FOR ACCESSIBLE DESIGN. G.C. TO PREP FOR COMPLIANCE RENOVATION AS REQUIRED.
 - 4.1. SIDEWALK: SHALL NOT EXCEED 5% RUNNING SLOPE; 2% CROSS SLOPE
 - 4.2. CURB RAMP: SHALL NOT EXCEED 8.3% RUNNING SLOPE; 2% CROSS SLOPE
5. G.C. TO COORDINATE WITH THE OWNER FOR ANY SALVAGEABLE FURNISHINGS OR EQUIPMENT TO BE REUSED AFTER BUILDING RENOVATION.

DEMOLITION PLAN NOTES

- 1 REMOVE EXISTING INTERIOR WALL.
- 2 REMOVE INTERIOR DOORS.
- 3 REMOVE PORTION OF EXISTING EXTERIOR WALL.
- 4 REMOVE EXISTING CEILING GRID.
- 5 REMOVE EXISTING STRIP CEILING LIGHTS.
- 6 REMOVE EXISTING VENT GRILLS.



1 Demolition Floor Plan
Scale: 3/16"=1'-0"

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 FL LIC: AR98913

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Demolition Floor Plan

FIRE RESISTANCE

MATERIAL CONSTRUCTION (FBC 708) RATINGS- TYPE V-B CONSTRUCTION
SINGLE OCCUPANCY BUILDING

BUILDING ELEMENT	REQUIRED	PROVIDED
STRUCTURAL FRAME INCLUDING COLUMNS, GIRDERS, TRUSSES	0	0
BEARING WALLS	2	2
EXTERIOR INTERIOR	0	0
NONBEARING WALLS AND PARTITIONS	0	0
EXTERIOR (FBC TABLE 602 - 20 FEET, IB, GROUP M)	0	0
NONBEARING WALLS AND PARTITIONS	0	1
FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	0	NA
ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	0	0

FIRE DOOR - CONT

TYPE OF ASSEMBLY	REQUIRED ASSEMBLY RATING	MIN FIRE DOOR AND FIRE SHUTTER ASSEMBLY RATING
FIRE BARRIERS HAVING A RECID	1	1
FIRE RESISTANCE RATING OF 1 HR. SHUT, EXIT ENCLOSURE AND EXIT PASSAGEWAY WALLS	1	34
OTHER FIRE BARRIERS	1/2	1/3
FIRE PARTITIONS	1	34
CORRIDOR WALLS	3	11/2
OTHER FIRE PARTITIONS	2	11/2
EXTERIOR WALLS	2	11/2

PLUMBING, MINIMUM FACILITIES (FBC TABLE 403.1)

FIXTURE TYPE	REQUIRED	PROVIDED
WATER CLOSETS	1 PER 75	2
LAVATORIES	1 PER 200	2

INTERIOR FINISHES (FBC 803)

CLASSIFICATION (FBC 803.1)
CLASS A: FLAME SPREAD INDEX 0-25, SMOKE-DEVELOPED INDEX 0-450
CLASS B: FLAME SPREAD INDEX 26-75, SMOKE-DEVELOPED INDEX 0-450
CLASS C: FLAME SPREAD INDEX 76-200, SMOKE-DEVELOPED INDEX 0-450

OCCUPANCY ASSEMBLY A-2, SPRINKLERED (FBC 803.3)
VERTICAL EXITS AND EXIT PASSAGEWAYS - CLASS A

OCCUPANCY ASSEMBLY A-2, SPRINKLERED (NFPA 101 13.3.2.2)
INTERIOR WALL AND CEILING FINISH MATERIALS COMPLYING WITH SECTION 10.2 SHALL BE CLASS A OR CLASS B IN ALL CORRIDORS AND LOBBIES.

MEANS OF EGRESS (FBC 1004 - 1005)

EGRESS WIDTH PER OCCUPANT - SPRINKLERED (FBC TABLE 1005.1)
STAIRWAYS (INCHES PER OCCUPANT) 0.3
OTHER EGRESS COMPONENTS (INCHES PER OCCUPANT) 0.2

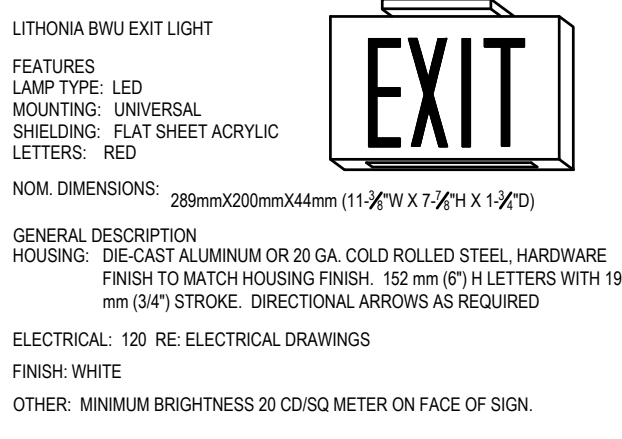
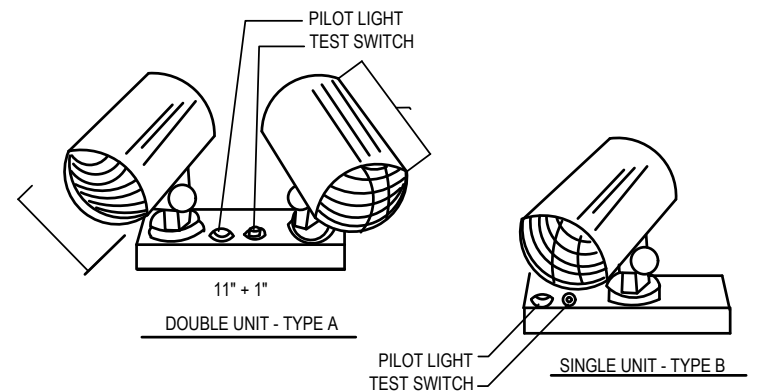
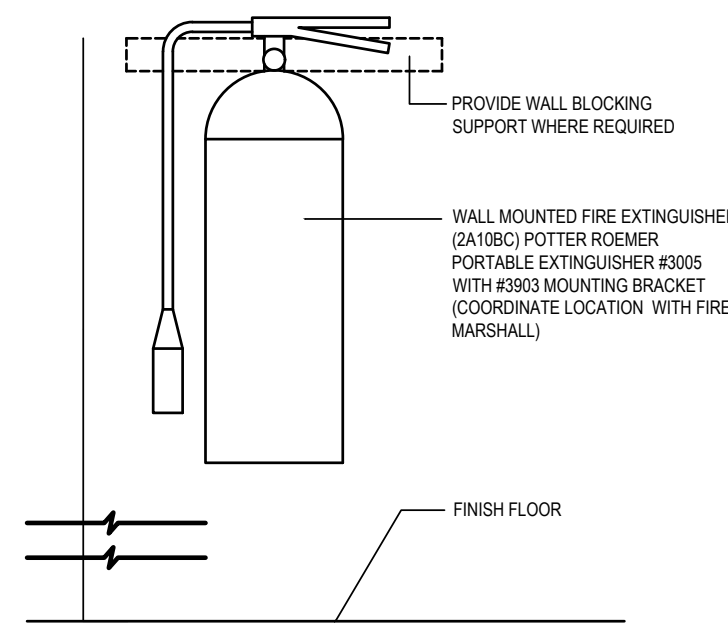
EXIT ACCESS TRAVEL DISTANCE (FBC TABLE 1016.2)
ASSEMBLY OCCUPANCY, SPRINKLERED 75 FEET
CORRIDOR WIDTH (FBC 1016.2) 44 INCHES
DEAD-END CORRIDOR LENGTH (FBC 1016.4) 20 FEET
MAXIMUM LENGTH 32 INCHES
MINIMUM CLEAR WIDTH 32 INCHES
SIZE OF DOORS (FBC 1008.1) 34 INCHES
MINIMUM CLEAR WIDTH 32 INCHES
STAIRWAY WIDTH (FBC 1008.1) 44 INCHES
MINIMUM CLEAR WIDTH 44 INCHES

MEANS OF EGRESS (NFPA 101)

TRAVEL DISTANCE TO EXISTS - EXISTS SHALL BE ARRANGED SO THAT THE TOTAL LENGTH OF TRAVEL FROM ANY POINT TO REACH AN EXIT SHALL NOT EXCEED (NFPA 101 13.2.6.2) 200 FEET

COMMON PATH OF TRAVEL - A COMMON PATH OF TRAVEL SHALL BE PERMITTED FOR THE FIRST 20 FT. FROM ANY POINT WHERE THE COMMON PATH SERVES ANY NUMBER OF OCCUPANTS, AND FOR THE FOR THE FIRST 75 FT. FROM ANY POINT WHERE THE COMMON PATH SERVES NOT MORE THAN 50 OCCUPANTS (NFPA 101 13.2.6.1) (FBC 1016.9)

NUMBER OF EXITS AND CONTINUITY (FBC 1016)
OCCUPANT LOAD MIN NUMBER OF EXITS MORE THAN 1,500 2
PROVIDED (EXISTING) 3



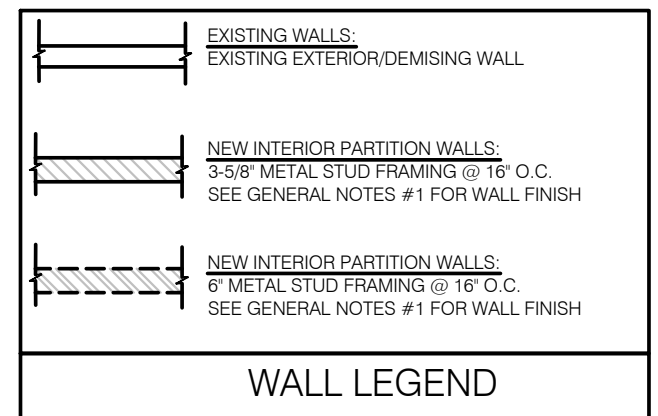
- LUMINAIRE REQUIREMENTS**
- ALUMINUM FINISHED CHANNEL MOUNTING BASE WITH TEST SWITCH AND PILOT OR HIGH RATE INDICATING LIGHT.
 - CYLINDERS FOR LIGHTS AND BATTERY AND CHARGER SHALL BE PAINTED, MATTIE WHITE AND SHALL BE FULLY ADJUSTABLE.
 - BATTERY SHALL BE MAINTENANCE FREE NICKEL CADMIUM WITH FULL 5 YEAR WARRANTY.
 - UNIT SHALL HAVE AUTOMATIC TWO RATE CHARGER.
 - SWITCHING AND CONTROLS - COMPLETELY SOLID STATE WITH AUTO TRANSFER AND LOW VOLTAGE CUTOFF TEST SWITCH AND HIGH RATE INDICATING LIGHT.
 - 9 WATT TUNGSTEN HALOGEN LAMP.

EXIT SIGNAGE

Scale: N.T.S.

OCCUPANT LOAD SCHEDULE
(2018 NFPA 101 TABLE 7.3.1.2)

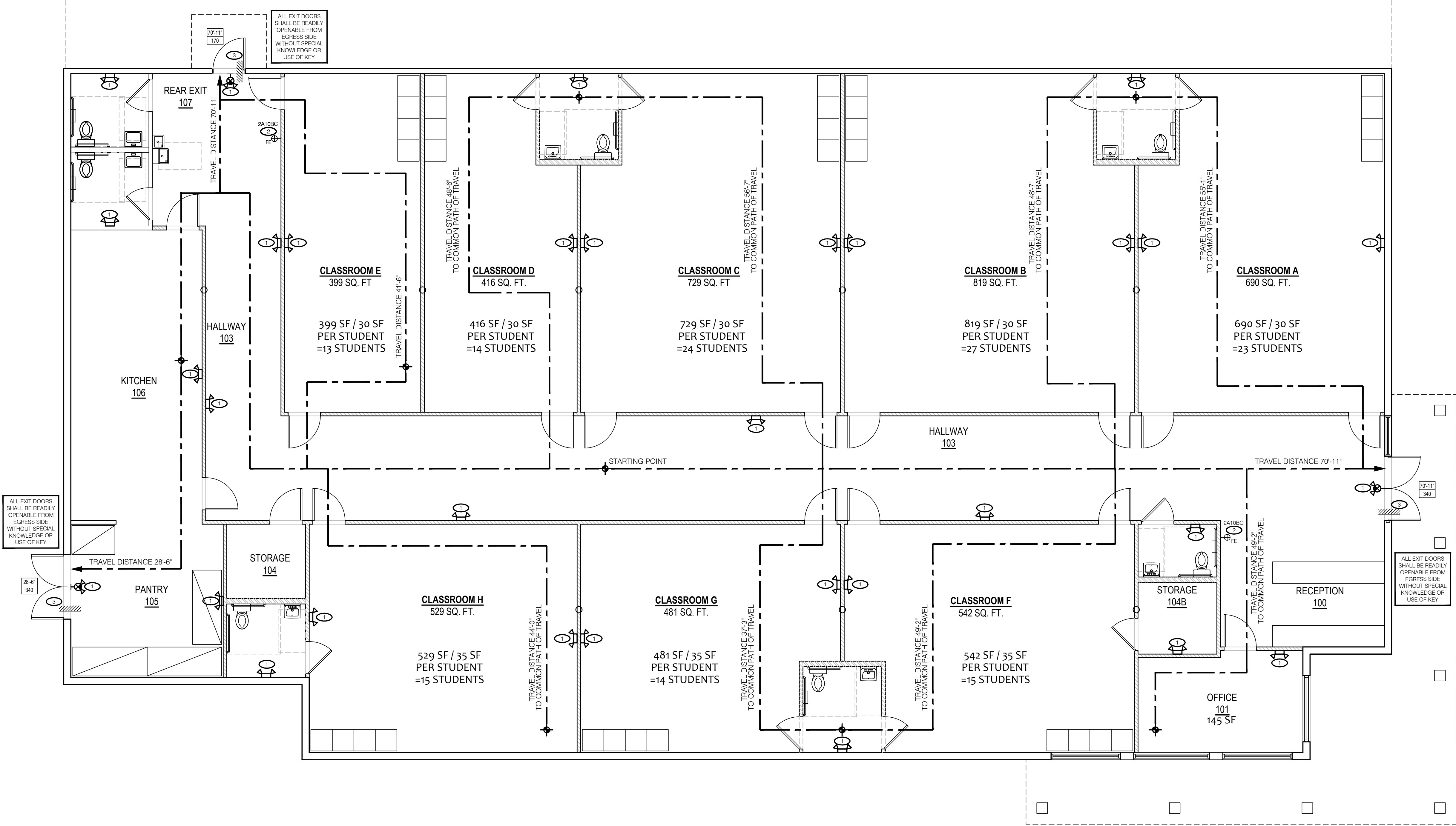
SPACE NAME	TYPE OF SPACE	AREA (SF)	SF OCCUPANT	TOTAL
CLASSROOMS	DAYCARE	4,695 SF	7/35 NET SF	125
OFFICE/RECEPTION	BUSINESS	325 SF	7/150 NET SF	3
KITCHEN	KITCHEN/CAFETERIA	345 SF	7/200 GROSS	2
STORAGE/PANTRY	STORAGE	335 SF	1/300	2
RESTROOMS	RESTROOMS	420 SF	N/A	-
HALLWAY	CORRIDOR	~1,487 SF	N/A	-
FACULTY	1/21 RATIO	N/A	1/12	11
TOTAL (GROSS)	N/A	~7,487 SF	N/A	150



LEGEND

SYMBOL	DESCRIPTION
[Symbol]	EXIT LIGHT/EMERGENCY COMBO
[Symbol]	EMERGENCY LIGHT
[Symbol]	MAXIMUM EGRESS PATH
[Symbol]	FIRE EXTINGUISHER, WALL MOUNTED (F.E.) RE: NFPA
[Symbol]	MOST REMOTE POINT
[Symbol]	EGRESS DISTANCE (FEET)
[Symbol]	EGRESS CAPACITY (PEOPLE)

- EXIT AND/OR EMERGENCY LIGHTING
- FIRE EXTINGUISHER (PER LOCAL CODE) TO BE FURNISHED AND INSTALLED BY CONTRACTOR. SEE DETAIL THIS SHEET CALS1.0
- CONFIRM LEVEL TRANSITION AND LANDING COMPLIES WITH F.A.C. CODE



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CONDITIONAL USE FOR A DAYCARE

2210 Orange Ave
Ft Pierce, FL 34950

SHEET TITLE

Architectural Floor Plan

SEAL

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FL LIC. AR98913

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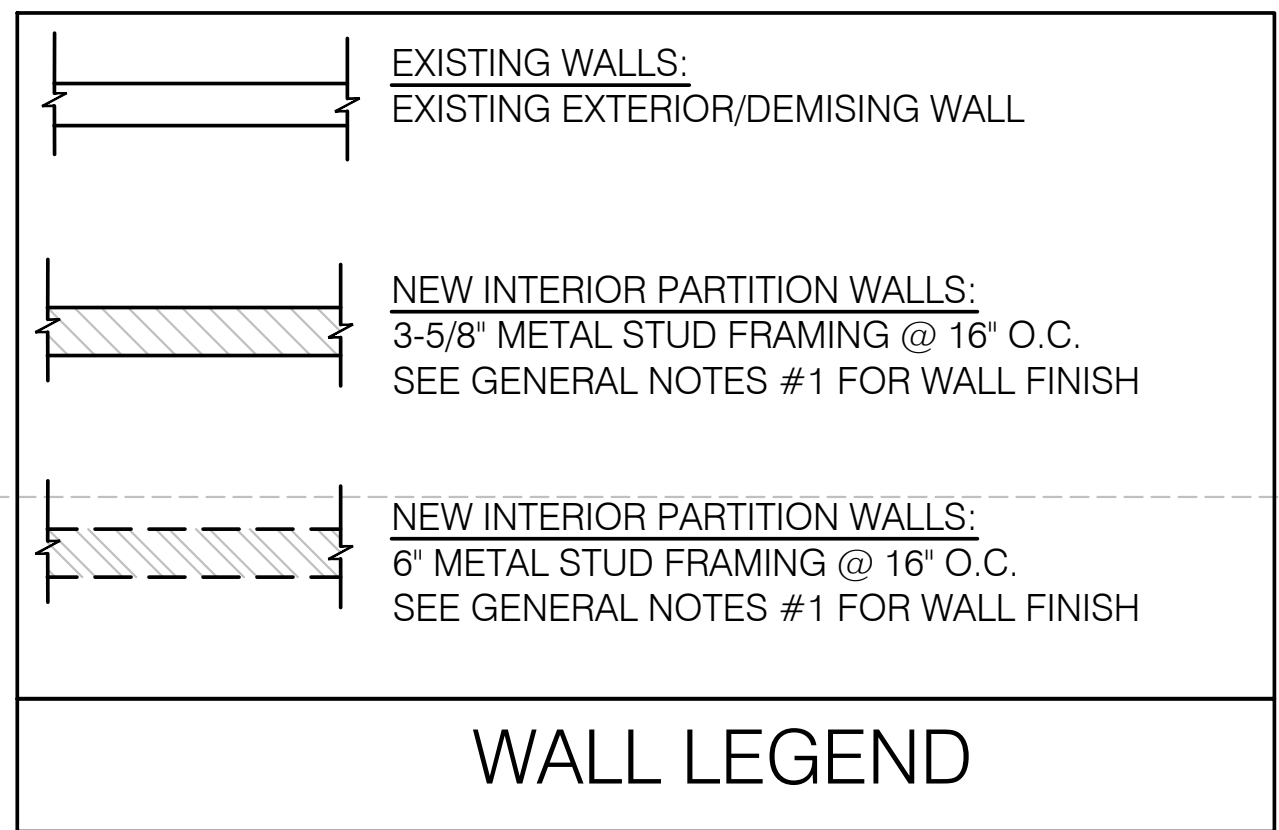
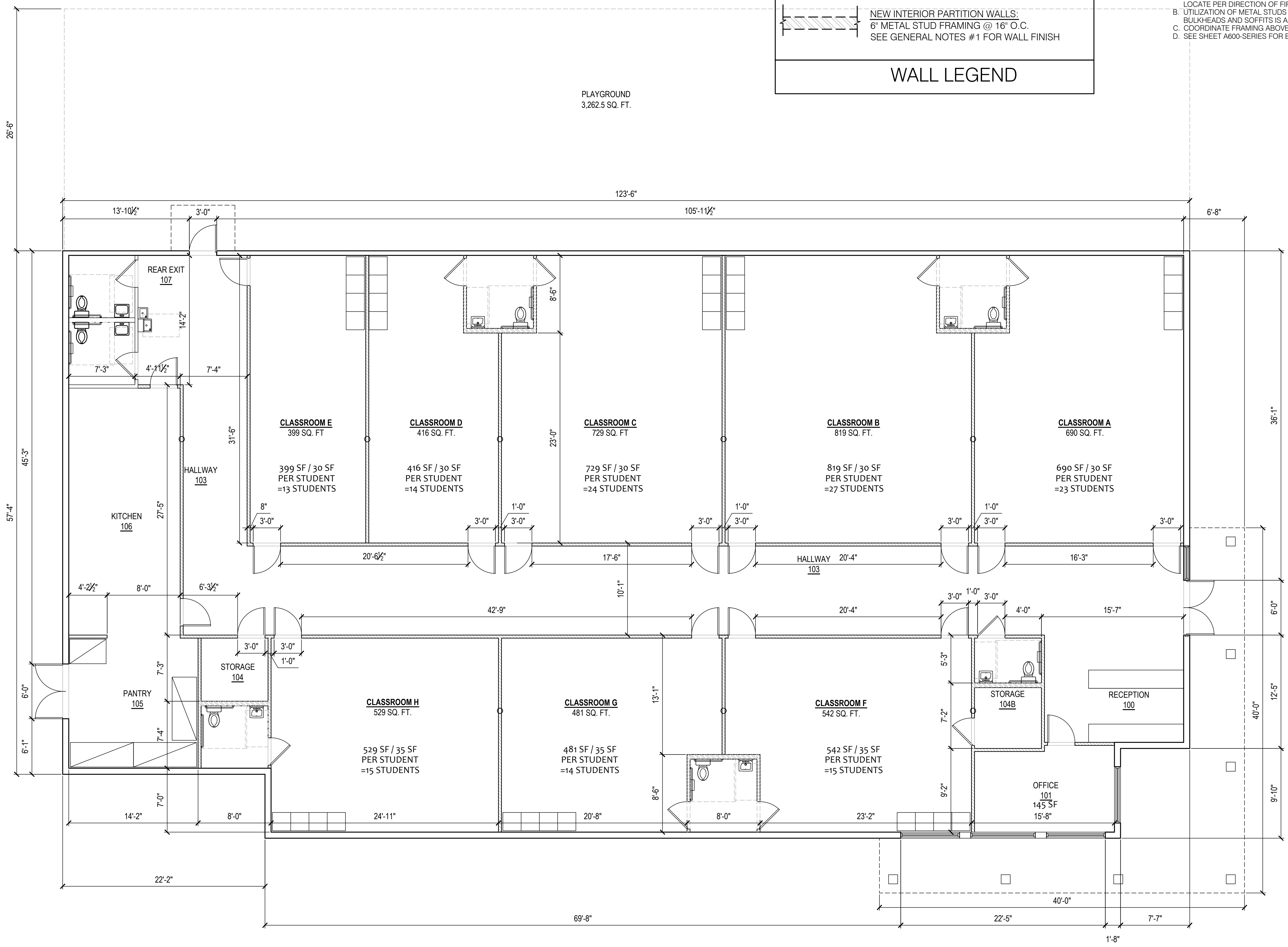
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FLOOR PLAN NOTES

DIMENSIONS:
 A. ALL DIMENSIONS ARE FROM INSIDE FACE OF EXISTING TO REMAIN TO FACE OF STUD.
 B. DIMENSIONS NOTED AS "CLEAR" OR "HOLD" ARE MIN. REQ'D. NET CLEARANCE FROM FACE OF WALL FINISH.

WINDOWS / DOORS:
 A. ALL DOOR AND WINDOW OPENING DIMENSIONS ARE TO ROUGH OPENING
 B. TYPICAL 4" RETURN ON DOORS, U.N.O.

GENERAL:
 A. PROVIDE FIRE EXTINGUISHERS - 10 LB. ABC - TO COMPLY WITH LOCAL FIRE CODE. LOCATE PER DIRECTION OF FIRE MARSHALL OR LOCAL AUTHORIZING AGENT.
 B. UTILIZATION OF METAL STUDS ON NON-BEARING INTERIOR PARTITIONS, BULKHEADS AND SOFFITS IS ACCEPTABLE.
 C. COORDINATE FRAMING ABOVE CEILING WITH HVAC DUCT WORK.
 D. SEE SHEET A600-SERIES FOR ENLARGED PLANS (RESTROOMS AND SERVICE AREA).

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 Facsimile: (321) 244-9419

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1 Architectural Floor Plan
 Scale: 3/16"=1'-0"

SYMBOL LEGEND

- ACOU1 ← CEILING SPECIFICATION
- 9'-4" ← CEILING HEIGHT
-  1'-0" X 8'-0" LIGHT FIXTURE
-  2'-0" X 2'-0" RECESSED FIXTURE
-  WALL OR CEILING MOUNTED EMERGENCY LIGHT FIXTURE
-  CEILING MOUNTED EXIT SIGN / LIGHT COMBO

REFLECTED CEILING PLAN NOTES:

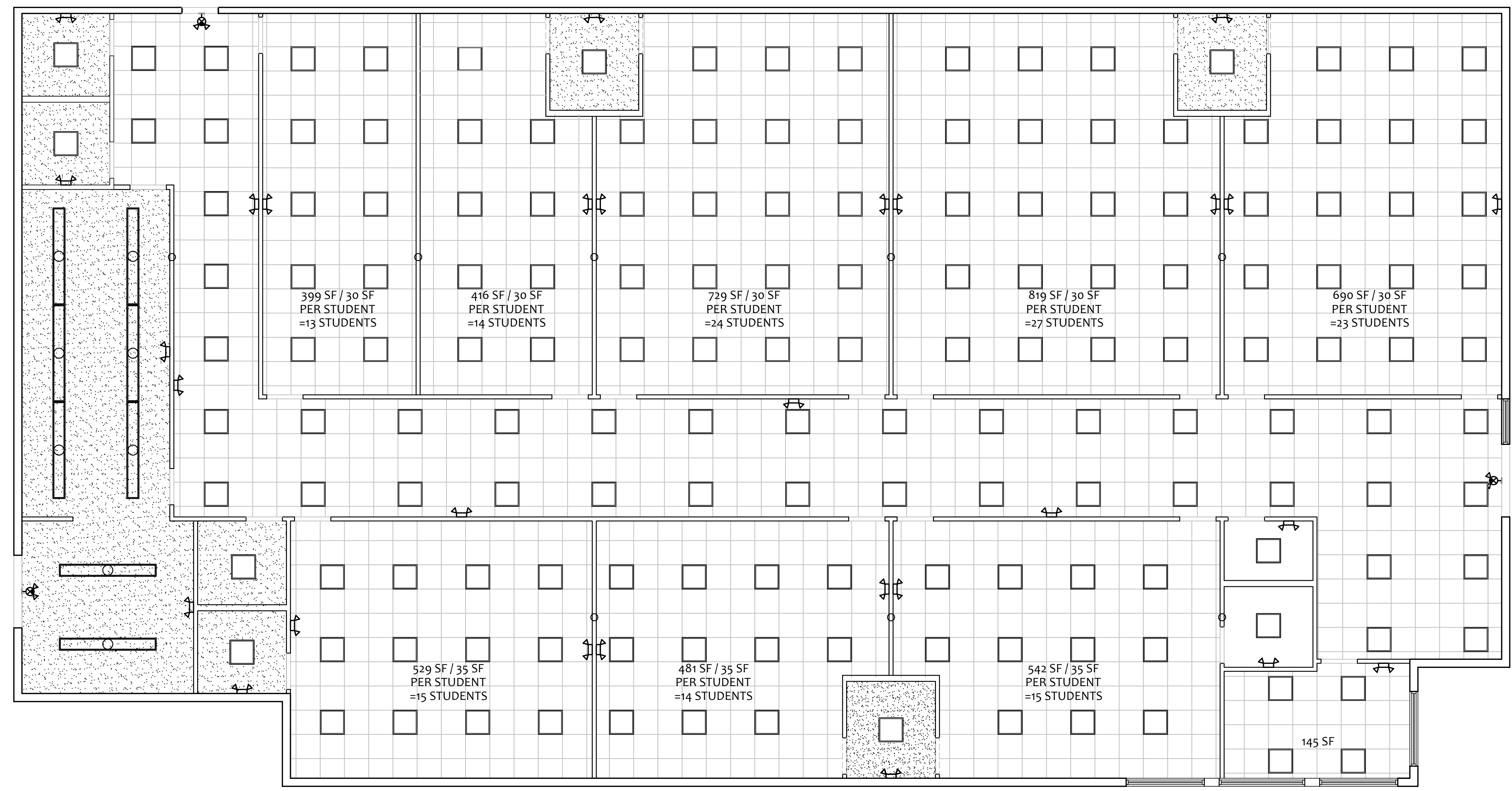
- DIMENSIONS:**
A. ALL DIMENSIONS ARE TO FINISH FACE U.N.O.
- CEILING FINISHES:**
A. REFER TO FINISH SCHEDULE
- SUSPENDED CEILING:**
A. ACOUSTICAL PANEL INSTALLATION: INSTALL ACOUSTICAL PANELS WITH EDGES IN CLOSE CONTACT WITH METAL SUPPORTS AND IN TRUE ALIGNMENT.
B. ALLOWABLE VARIATIONS FROM FLAT AND LEVEL SURFACE: 1/8" IN 10'-0" MAX.
C. ALLOWABLE VARIATIONS FROM PLUMB OF GRID MEMBERS: AS CAUSED BY ECCENTRIC LOADS, 2" MAX.
D. INSTALL SYSTEM AFTER MAJOR CEILING WORK IS COMPLETE. COORDINATE LOCATIONS OF HANGERS WITH RELATED WORK.
- LIGHTING:**
A. CONFIRM LIGHTING FIXTURE QUANTITIES WITH SUPPLIER
B. EMERGENCY AND NORMAL LIGHTING MARKED WITH 'NL'; SUBSCRIPT SHALL OPERATE CONTINUOUSLY. PROVIDE UNSWITCHED HOT TO NORMAL AND EMERGENCY BALLAST.
C. CONTRACTOR SHALL FIELD VERIFY CEILING TYPE AND PROVIDE PROPER MOUNTING HARDWARE.
D. ALL LIGHT FIXTURES SHALL BE SUPPLIED WITH LAMPS.

SPECIFICATIONS:

- DIVISION 9: FINISHES**
- SECTION 9C: SUSPENDED CEILING**
- SCOPE: FURNISH AND INSTALL ACOUSTICAL TILE PANELS WITH SUSPENSION SYSTEM
 - PERFORMANCE: GRID SHALL BE INSTALLED AS SHOWN AND IN STRICT ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS. LEVEL ACCURATELY AND HANG FROM #9 GAGE ANNEALED WIRE NOT OVER 4" O.C. PROVIDE HOLD-DOWN CLIPS. COOPERATE IN FITTING AROUND AIR CONDITIONING AND VENTILATION OUTLETS.

GENERAL NOTES:

- CEILING GRID SHALL BE SUPPORTED FROM STRUCTURAL MEMBERS ONLY. GRID SHALL NOT BE SUPPORTED FROM OTHER TRADES WORK.
- COORDINATE GRID INSTALLATION WITH LOCATION OF MECHANICAL EQUIPMENT AS INDICATED ON MECHANICAL AND ELECTRICAL SHEETS.
- HANGER WIRES FOR GRID SHALL BE INSTALLED AT NO MORE THAN 48" O.C. AND AT EACH CORNER OF LAY-IN LIGHT FIXTURES. SEE ELECTRICAL SHEETS FOR FIXTURE LOCATIONS.
- CEILING GRID SHOULD BE CENTERED AT EACH ROOM



1 Reflected Ceiling Plan
Scale: 3/16"=1'-0"

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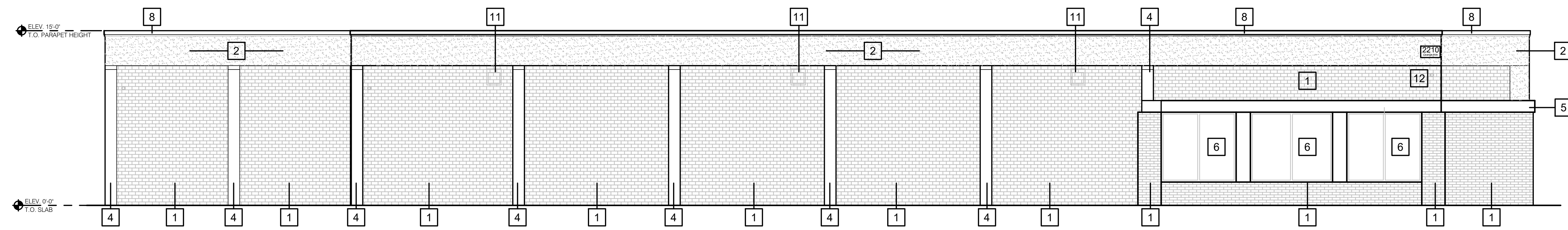
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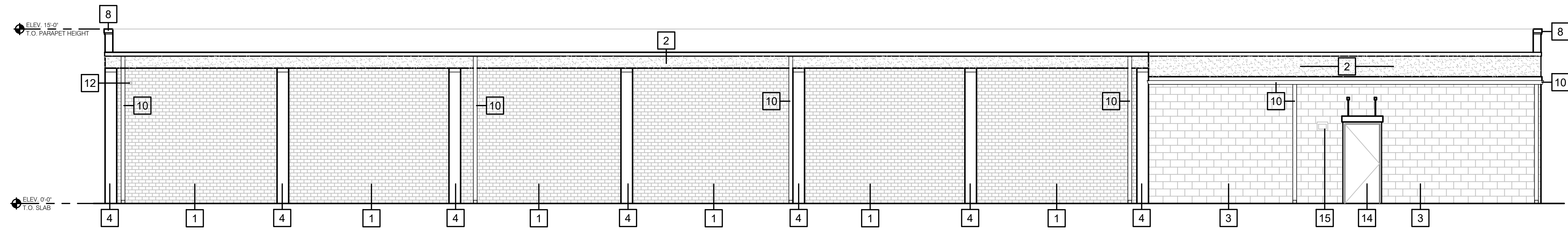
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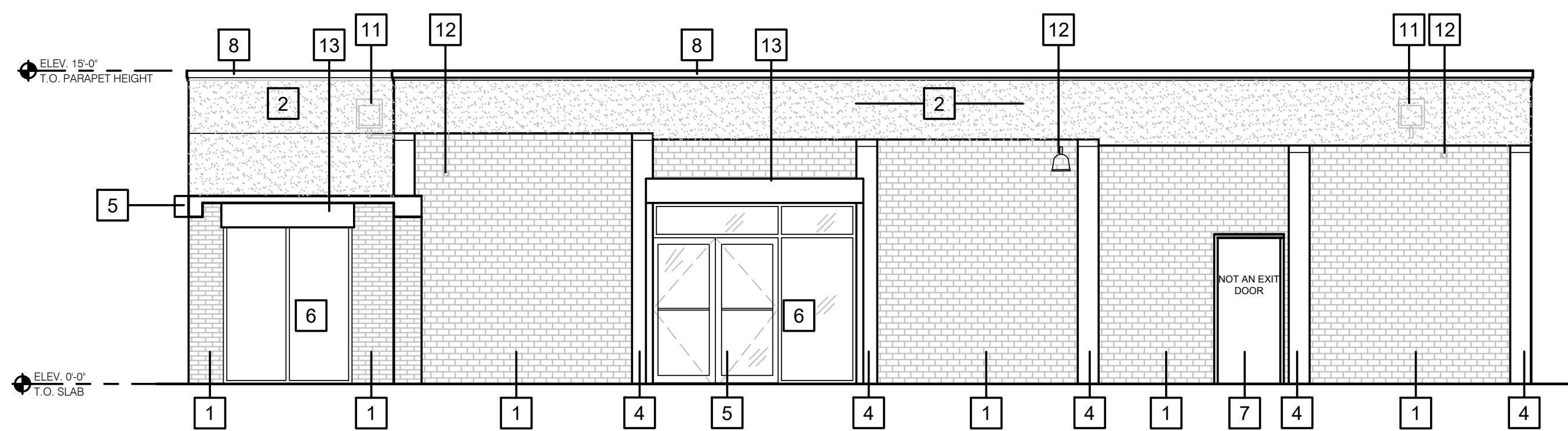
SHEET TITLE
Reflected Ceiling Plan



1 South (front) Elevation
Scale: 3/16"=1'-0"



2 North (rear) Elevation
Scale: 3/16"=1'-0"

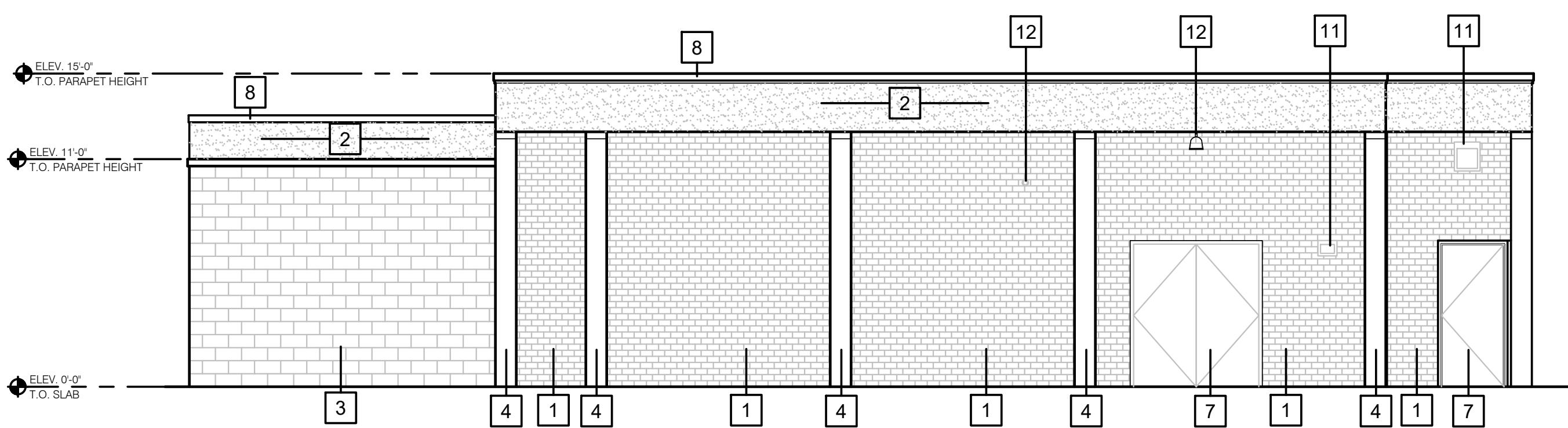


3 East (entrance) Elevation
Scale: 3/16"=1'-0"

- EXTERIOR ELEVATION NOTES**
- 1 PAINTED BRICK WALL
 - 2 PAINTED STUCCO
 - 3 PAINTED CMU WALL
 - 4 EXISTING PAINTED PILASTER
 - 5 EXISTING STOREFRONT DOOR
 - 6 EXISTING STOREFRONT WINDOW
 - 7 EXISTING PAINTED DOOR
 - 8 EXISTING METAL PARAPET COPING
 - 9 EXISTING ENTRANCE CANOPY
 - 10 EXISTING GUTTER AND DOWNSPOUT
 - 11 EXISTING WALL-PACK FLOOD LIGHT
 - 12 EXISTING SECURITY CAMERA
 - 13 ROLL-UP GATE
 - 14 NEW REAR DOOR AND CANOPY
 - 15 NEW SECURITY WALL PACK FLOOD LIGHT

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4 West (side) Elevation
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Property Identification

Site Address: 2210 ORANGE AVE
 Sec/Town/Range: 09/35S/40E
 Parcel ID: 2409-602-0010-000-2
 Jurisdiction: Fort Pierce

Use Type: 1100
 Account #: 21697
 Map ID: 24/09N
 Zoning: General Co

Ownership

ARS HOLDINGS OF FLORIDA LLC
 2210 Orange AVE
 Fort Pierce, FL 34950-3798

Legal Description

ALAMANDA VISTA S/D BLK 2 LOTS 1, 2, 3 AND 4-LESS ST- AND S 5 FT OF VAC ALLEY ADJ ON N, LOT 5, S 1/2 OF LOT 6, S 1/2 OF LOT 19 AND ALL LOT 20 AND VAC 10 FT ALLEY LYG BTW SD LOTS AND N 5 FT OF VAC ALLEY ADJ ON S (1.03 AC - 44,943 SF)

Current Values

Just/Market Value: \$752,200
 Assessed Value: \$732,693
 Exemptions: \$0
 Taxable Value: \$732,693



Total Areas

Finished/Under Air (SF): 7,711
 Gross Sketched Area (SF): 7,765
 Land Size (acres): 1.03
 Land Size (SF): 44,943

Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Taxes for this parcel: SLC Tax Collector's Office
 Download TRIM for this parcel: [Download PDF](#)

Building Design Wind Speed

Occupancy Category	I	II	III
Speed	140	150	160

Sources/links:

Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
Sep 10, 2020	4479 / 0458	0003	WD	Oceana Recovery LLC	\$12,700
Sep 10, 2020	4479 / 0433	0130	WD	Oceana Recovery LLC	\$577,400
Nov 16, 2015	3815 / 2887	0002	WD	Fairview Terr Mobile Home Park	\$370,000
Nov 21, 2003	1851 / 0126	XX00	WD	Amera Corp	\$377,500
Dec 4, 1991	0766 / 1935	XX00	WD	McGuire Virginia	\$220,000

Building Information (1 of 1)

Finished Area: 7,711 SF

Gross Sketched Area: 7,765 SF

Exterior Data

View: Roof Cover: Mod Bitumun Roof Structure: BarJst/Rigid
 Building Type: STRL Year Built: 1958 Frame:
 Grade: Y_D Effective Year: 1990 Primary Wall: Brk/Masonry

Story Height: 1 Story

No. Units: 1

Secondary Wall:

Interior Data

Bedrooms: 0

Electric: AVERAGE

Primary Int Wall:

Full Baths: 0

Heat Type: FredHotAir

Avg Hgt/Floor: 0

Half Baths: 0

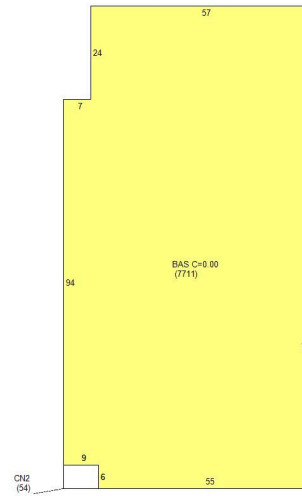
Heat Fuel: ELEC

Primary Floors: Vinyl Tiles

A/C %: 100%

Heated %: 100%

Sprinkled %: 0%



Sketch Area Legend

Sub Area	Description	Area	Fin. Area	Perimeter
BAS	BASE AREA	7711	7711	376
CN2	CANOPY	54	0	30

Special Features and Yard Items

Type	Qty	Units	Year Blt
CEMENT CURB	1	180	1958
CONCRETE LOW	1	750	1977
CHAINLINK 6'	1	120	1985
ASP2 LOW	1	17800	2000

Current Year Values


Current Values Breakdown

Building and SFYI:	\$430,900
Land:	\$321,300
Just/Market:	\$752,200
Ag Credit:	\$0
Save Our Homes or 10% Cap:	\$19,507
Assessed:	\$732,693
Exemption(s):	\$0
Taxable:	\$732,693

Current Year Exemption Value Breakdown

Current Year Special Assessment Breakdown

Start Year	AssessCode	Units	Description	Amount
1999	0041	12.1	Fort Pierce Stormwater Charge	\$834.90

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office .

Historical Values

Year	Just/Market	Assessed	Exemptions	Taxable
2024	\$752,200	\$732,693	\$0	\$732,693
2023	\$751,000	\$666,085	\$0	\$666,085
2022	\$677,200	\$605,532	\$0	\$605,532
2021	\$450,000	\$450,000	\$0	\$450,000

Permits

Number	Issue Date	Description	Amount	Fee
F91-001451	Nov 14, 1991	Alterations/Remodeling	\$50,000	\$50,000
CR2002-17	Sep 5, 2002	Alterations/Remodeling	\$0	\$50
CA2002-6	May 29, 2003	Commercial New Construction	\$65,000	\$1,025
DI2003-13	May 23, 2003	Demolition	\$0	\$100
RF2003-240	Jun 24, 2003	Roof	\$11,500	\$240
FE2006226	Jan 4, 2007	Chainlink Fence	\$1,865	\$100
BP09-47	Jan 15, 2009	Alterations/Remodeling	\$300	\$50
BP09-150	Feb 27, 2009	Alterations/Remodeling	\$15,000	\$375
BP02-1731	Nov 5, 2015	Interior Office Buildout	\$0	\$367
BP03-3263	Nov 5, 2015	Demolition	\$0	\$367
BP15-0779	Apr 7, 2015	Air Conditioning Only	\$6,700	\$162
BP16-2517	Sep 28, 2016		\$4,200	\$0
BP17-3862	Feb 16, 2018		\$50,000	\$0

Notice: This does not necessarily represent all the permits for this property.
 Click the following link to check for additional permit data in Fort Pierce

All information is believed to be correct at this time, but is subject to change and is provided without any warranty.
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DMJA

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AND ASSOCIATES, INC.

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AND PLANNERS

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Fort Myers, Florida 33901
PHONE: (239) 337-5525
FAX (239) 337-4494

L.A. LICENSE: LC 000063

PROJECT INFORMATION:

**NEW ELITE
ACADEMY**

2210 Orange Ave
Ft Pierce, FL 34950

PREPARED FOR:
**LANEY ROMULUS
1907 OKEECHOBEE
ROAD
FORT PIERCE
FLORIDA 34950
NEWELITEACADEMY@OUTLOOK.COM
772-448-8623**

CONSULTANT:

DESIGN PROFESSIONAL:

GREGORY J. DISERIO, RLA
FLA NO 840 DATE:
STATE OF FLORIDA

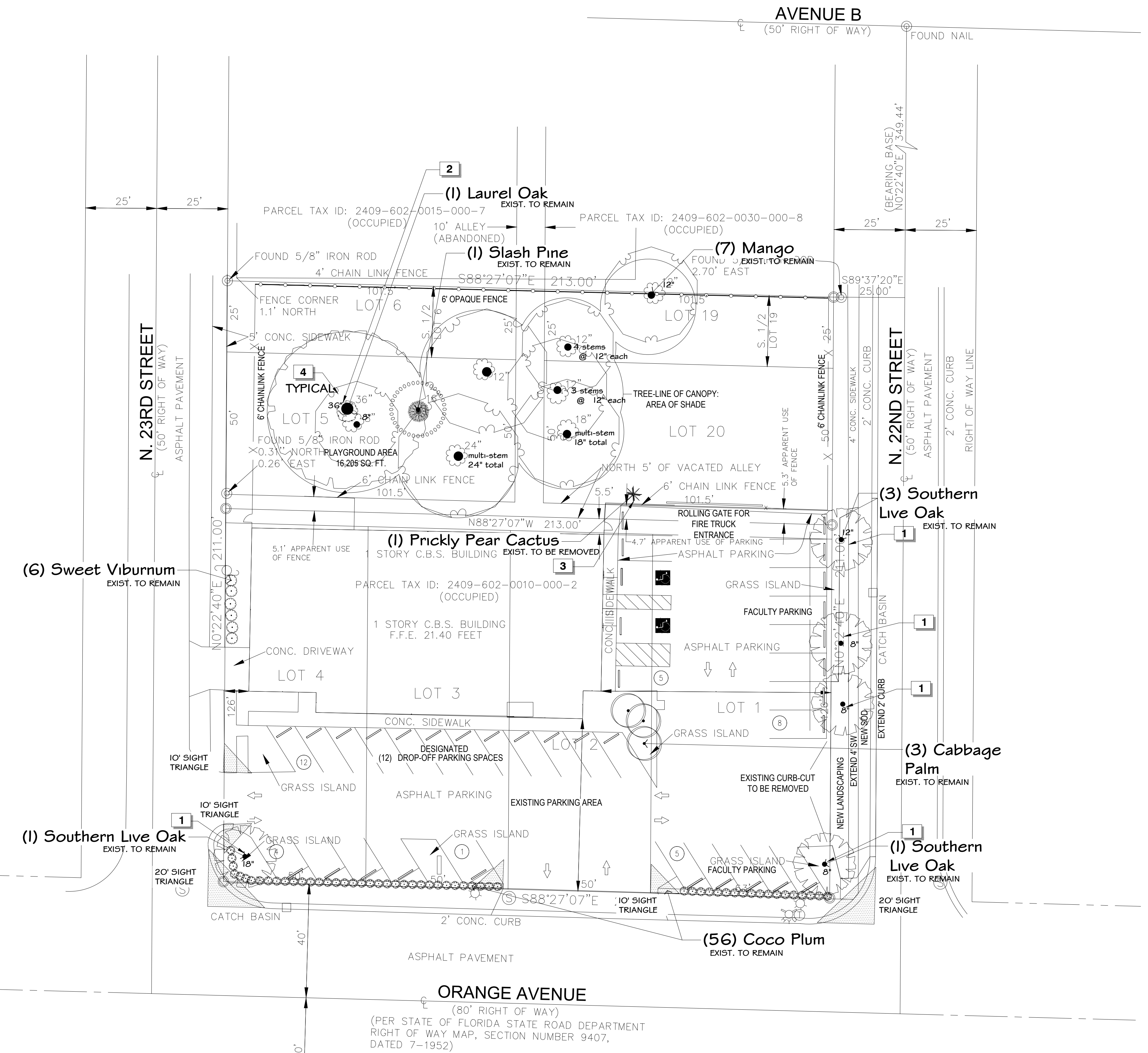
PROJECT NO: 224248
PROJECT MGR: Greg Diserio
FILE NAME: NEW ELITE LS
DESIGNER: GJD
CAD TECTE: GJD
CHECKED BY: GJD
ISSUED FOR:
**PERMIT REVIEW
CONDITIONAL USE**

ISSUED DATE: DEC 10, 2024
REVISIONS:

SHEET TITLE:
**EXIST.
LANDSCAPE &
CALCULATIONS**

SHEET NUMBER:
L - 1

AVENUE B
(50' RIGHT OF WAY)



SITE DATA
ZONING: COMMERCIAL

DEVELOPMENT SITE AREA TOTAL:
45,088 S.F. (-1.03 AC.)

PARKING AND VEHICLE USE AREA
16,042 S.F. OF PAVED VEHICLE USE AREA (V.U.A.) MIN. 1 S.F. OF LANDSCAPE AREA PER 15 S.F. OF V.U.A.
16,042 / 15 = 1,069 S.F. OF LANDSCAPED AREA REQUIRED AND 1,100 S.F. PROVIDED, PER HATCHING. ONE TREE PER 100 S.F. OF LANDSCAPED AREA REQUIRED:
1,069 / 100 OF LANDSCAPED AREA EQUALS 11 TREES REQUIRED AND 11 PROVIDED, LABELED AS PARKING (P).

GENERAL LANDSCAPE NOTES

- THE QUALITY OF ALL PLANT MATERIAL WILL MEET THE STANDARDS FOR FLORIDA GRADE NO. 1 (OR BETTER), AS GOVERNED IN "GRADES AND STANDARDS FOR NURSERY PLANTS".
- ALL PLANTED TREES AND PALMS WILL HAVE A 3" DEEP SAUCER CONSTRUCTED FROM THE TRUNK OF THE TREE OR PALM. MINIMUM OF 4" DIAMETER.
- ALL PLANTING BEDS SHALL BE COVERED WITH A 3" MINIMUM DEPTH OF MULCH AND SHALL BE WEED FREE. MULCH SHALL BE GRADE B OR BETTER. CONTRACTOR SHALL REMOVE ANY VEGETATIVE GROWTH AND APPLY A PRE-EMERGENT WEED KILLER PER SPECIFICATIONS PRIOR TO MULCHING.
- ANY AND ALL EXOTIC VEGETATION INCLUDING: EARLEAF ACACIA, WOMAN'S TONGUE, BISHOPWOOD, AUSTRALIAN PINE, CARROTWOOD, ROSEWOOD, AIR POTATO, MURRAY RED GUM, WEEPING FIG, CUBAN LAUREL FIG, JAPANESE CLIMBING FERN, OLD WORD CLIMBING FERN, MELALEUCA, DOWNY ROSE MYRTLE, CHINESE TALLOW, BRAZILIAN PEPPER, FLORIDA HOLLY, TROPICAL SODA APPLE, JAVA PLUM, ROSE APPLE, CORK TREE AND WEDELIA. ON THE PROPERTY SHALL BE COMPLETELY REMOVED AND DISPOSED OF OFF SITE BY THE CONTRACTOR. THE SITE SHALL BE MAINTAINED FREE OF INVASIVE EXOTIC VEGETATION IN PERPETUITY.
- THE HEIGHT OF ALL TREES, PALMS, AND SHRUBS LOCATED WITHIN THE BUFFER AREAS MUST BE MEASURED FROM THE PARKING LOT GRADE OF THE PROJECT SITE. ALL OTHER PLANTS ARE MEASURED FROM THE FINAL GRADE IN WHICH THEY RESIDE. TREE AND SHRUB HEIGHTS MAY NOT BE LESS THAN THE MINIMUM REQUIREMENTS SET FORTH IN LEE COUNTY LDC SECTION 10-420(C) AND 10-420(D). TREE CALIPER SHALL BE MEASURED ACCORDING TO THE Florida Grades and Standards for Nursery Stock, AS PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH THE LOCATIONS OF ALL UTILITIES AND ALL SITE CONDITIONS PRIOR TO THE START OF LANDSCAPE INSTALLATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE TAKEOFFS. PLANT LIST IS PROVIDED FOR REFERENCE ONLY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR LANDSCAPE MAINTENANCE UNTIL FINAL ACCEPTANCE AND IN COMPLIANCE WITH SPECIFICATIONS.
- CONTRACTOR SHALL REMOVE ALL TAGS, TAPE AND SUPPORTS (EXCEPT STAKING GUYS) FROM ALL PLANTINGS PRIOR TO FINAL ACCEPTANCE.
- ALL AREAS OF THE SITE NOT PLANTED SHALL BE SODDED IN ACCORDANCE WITH PLANS. REFER TO ENGINEERING PLANS FOR ADDITIONAL SPECIFICATIONS.
- THE REQUIRED PLANTINGS SHALL BE IRRIGATED IN ACCORDANCE WITH LDC REQUIREMENTS. REFER TO CONSTRUCTION DOCUMENTS FOR COMPLETE IRRIGATION PLANS.
- THE PARKING LOTS SHALL BE SLEEVED FOR IRRIGATION BY THE LANDSCAPE CONTRACTOR. COORDINATE WITH CIVIL ENGINEERING PLANS.
- ALL BASE ROCK SHALL BE REMOVED FROM LANDSCAPE PARKING ISLANDS.
- PLANS PREPARED FOR CONDITIONAL USE AND SITE APPROVAL.

EXISTING TREE MAINTENANCE NOTES

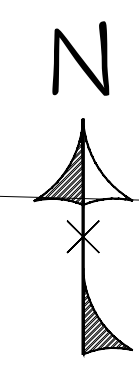
CODE	DESCRIPTION	DETAIL
1	PRUNE TREE SUCKERS AND LOWER BRANCHES FOR CLEARANCE	
2	PRUNE ALL DEAD OR BROKEN LIMBS.	
3	VEGETATION TO BE REMOVED	
4	TYPICAL: EXISTING TREES WITHIN PLAY AREA TO BE INSPECTED AND MAINTAINED BY A CERTIFIED ARBORIST UNDER THE MAINTENANCE CONTRACT. FREQUENCY OF INSPECTIONS SHALL BE DESIGNATED BY THE ARBORIST	

- Landscaping shall be installed in accordance with the approved landscape plan, including all specified conditions to a particular landscape approval, and inspected prior to issuance of a certificate of occupancy. Such inspection shall include verification that planting soil meets specified composition and depth requirements. In the event there are any changes to the approved landscape plan, such changes must be reviewed and approved by the department and noted on the plan prior to notification for the final inspection for a certificate of occupancy.
- Landscaped areas shall be covered in their entirety with shrubs, ground cover, turf, or three inches of bulk organic mulch or other suitable material which permits percolation and is approved by the department. Where mulch is used, it must be protected from washing out of the planting bed. Inorganic mulch, such as gravel or rock, should only be used where washouts occur. The final inspection prior to issuance of certificate of occupancy, shall include verification that any mulch is installed at the requisite depth.
- Trees which are balled and burlaped must have the burlap removed or folded down at the time of the planting. All twine or rope must be removed. If wire baskets are used, the upper rows must be cut before planting. Remove all soil from above the root flare and plant the tree so the top of the root ball is ten percent above the landscape soil. Do not place any soil or mulch over the root ball. If stakes or guide wires are used to support a tree, the wire must be covered with protective material where it is in contact with the tree and the stakes or guide wires must be removed after one year.
- All landscaping required by the city must be protected from vehicular and pedestrian traffic by the installation of curbing, wheel stops or other protective devices along the perimeter of any landscaping which adjoins vehicular use areas or sidewalks. These protected devices shall have a minimum height of six inches above grade.
- No parking, display of vehicles or outside storage or display of merchandise is permitted in or over any required landscape area, nor are vehicles permitted to overhang any required landscaped area.
- Soil, except for planting soil, in which required landscape is to be installed must be generally indigenous to the locale. Soil must be loose, friable, and free of limestone and other construction materials, road base material, rocks, weeds, grasses, hard pan, clay or other debris. PH shall be adjusted where necessary to be compatible with the plant species being installed. Soil shall be slightly swaled to retain surface stormwater. Backfill soil material shall be thoroughly watered in and around plant root balls to prevent any air pockets. The use of amended and enriched soils may be required by the department where necessary to increase the water retention capabilities of soil in order to reduce the amount of watering needed to meet the landscaping water requirement. Final inspection of required landscape prior to issuance of the certificate of occupancy shall include PH testing to verify compatibility with permitted plantings.
- To minimize traffic hazards at street or driveway intersections, all landscaping installations must provide unobstructed views as required in section 125-308.
- Any irrigation system placed on city right-of-way will be the responsibility of the property owner who shall relocate, replace or repair the system as appropriate in the event it is damaged due to permitted construction in the right-of-way.
- Prior to issuance of certificate of occupancy, final landscape installation shall be certified as complete and in conformance to the approved landscape plan by submission of a certification letter by a landscape architect.

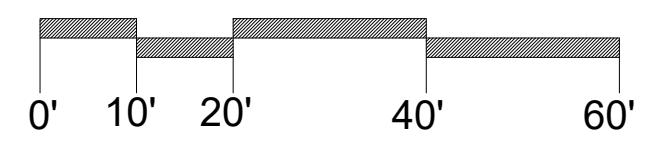
Sec. 123-6. Landscape maintenance agreement.

In those instances where the landscape plan requires review pursuant to section 125-313, the property owner shall provide a landscape maintenance agreement to the planning department for approval. The agreement shall be attached to the landscape plan and shall note that all approved landscaping shall be installed, irrigated, and maintained in perpetuity in accordance with section 123-7, in order that it continues to present a healthy, neat, and orderly appearance free of refuse and debris, in conformity with the following requirements:

- Vegetation required by this article shall be replaced with equivalent or better vegetation if it is not living. All trees for which credit is awarded and which subsequently die shall be replaced by the same or greater number of living trees according to the standards established in this article.
- Maintenance shall include sufficient weeding, watering, fertilizing, pruning, mowing, edging, mulching and other horticultural practices to ensure that the landscaping continues to maintain a healthy, neat, and orderly appearance.



SCALE 1" = 20'



PLAN SCALE REDUCED WHEN PRINTED 11x17

EXISTING LANDSCAPE & CALCULATIONS



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L.A. LICENSE: LC C000063

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CONSULTANT:

DESIGN PROFESSIONAL:

GREGORY J. DISERIO, RLA
RLA NO. 840 DATE:
STATE OF FLORIDA

PROJECT NO.	224248
PROJECT MGR.	Greg Diserio
FILE NAME:	NEW ELITE LS
DESIGNER:	GJD
CAD TECH:	GJD
CHECKED BY:	GJD
ISSUED FOR:	PERMIT REVIEW CONDITIONAL USE

ISSUED DATE: DEC 10, 2024
REVISIONS:

SHEET TITLE:
**LANDSCAPE
PLAN**

SHEET NUMBER:
L - 2

PLANT SCHEDULE				
SYMBOL	CODE	QTY	COMMON / BOTANICAL NAME	SIZE
TREES				
	SAB SA2	2	Cabbage Palm Sabal palmetto NATIVE	10'-16' clear trunk
	TAB HET	1	Pink Tabebuia Tabebuia heterophylla	12' HT., 2.5" CAL., 5' SPR
EXISTING TREES				
	SAB SAB	3	Cabbage Palm Sabal palmetto NATIVE - SIZE AS NOTED	EXISTING 10'-16' CT
	QUE LAU	1	Laurel Oak Quercus laurifolia NATIVE - EXISTING TREE SIZE AS NOTED	EXISTING TO REMAIN
	MAN IND	7	Mango Mangifera indica EXISTING TREE - SIZE AS NOTED	EXISTING TO REMAIN
	PIN DE2	1	Slash Pine Pinus elliottii densa NATIVE - SIZE AS NOTED	EXISTING TO REMAIN
	QUE VIR	5	Southern Live Oak Quercus virginiana NATIVE - SIZE AS NOTED	EXISTING TO REMAIN
SHRUBS				
	Chr ic2	124	Coco Plum Chrysobalanus icaco NATIVE	3 gal., 24" ht
	Ixo nor	1	Nora Grant Pink Ixora Ixora coccinea 'Nora Grant'	3 gal., 24" ht
EXISTING SHRUBS				
	Chr ica	56	Coco Plum Chrysobalanus icaco NATIVE - EXISTING	EXISTING TO REMAIN
	Vib odo	6	Sweet Viburnum Viburnum odoratissimum EXISTING TO REMAIN	Existing - 36" ht
EXISTING TO BE REMOVED				
	Opu aus	1	Prickly Pear Cactus Opuntia austrina EXISTING TO BE REMOVED	4'-6' HT
GROUND COVERS				
	Tri dwf	82	Florida Gamagrass Tripsacum floridanum NATIVE	1 Gal., 12" Ht., Full 24" o.c.
	Ern lit	65	Golden Creeper Ernodea littoralis NATIVE	1 Gal., 12" Ht., Full 24" o.c.

NOTES:

CONTRACTOR SHALL SOD ALL DISTURBED AREAS WITH BAHIA SOD.

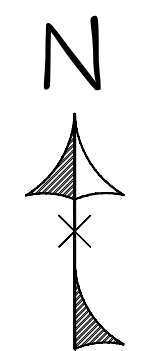
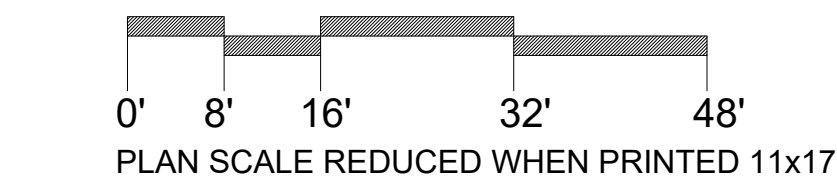
ALL PLANTINGS TO BE MULCHED WITH 3" DARK BROWN ORGANIC
MULCH GRADE B OR BETTER. CYPRESS MULCH PROHIBITED.

CONTRACTOR RESPONSIBLE FOR VERIFICATION OF QUANTITIES
AT TIME OF BIDDING.

CONTRACTOR RESPONSIBLE FOR SOD AND MULCH QUANTITIES.

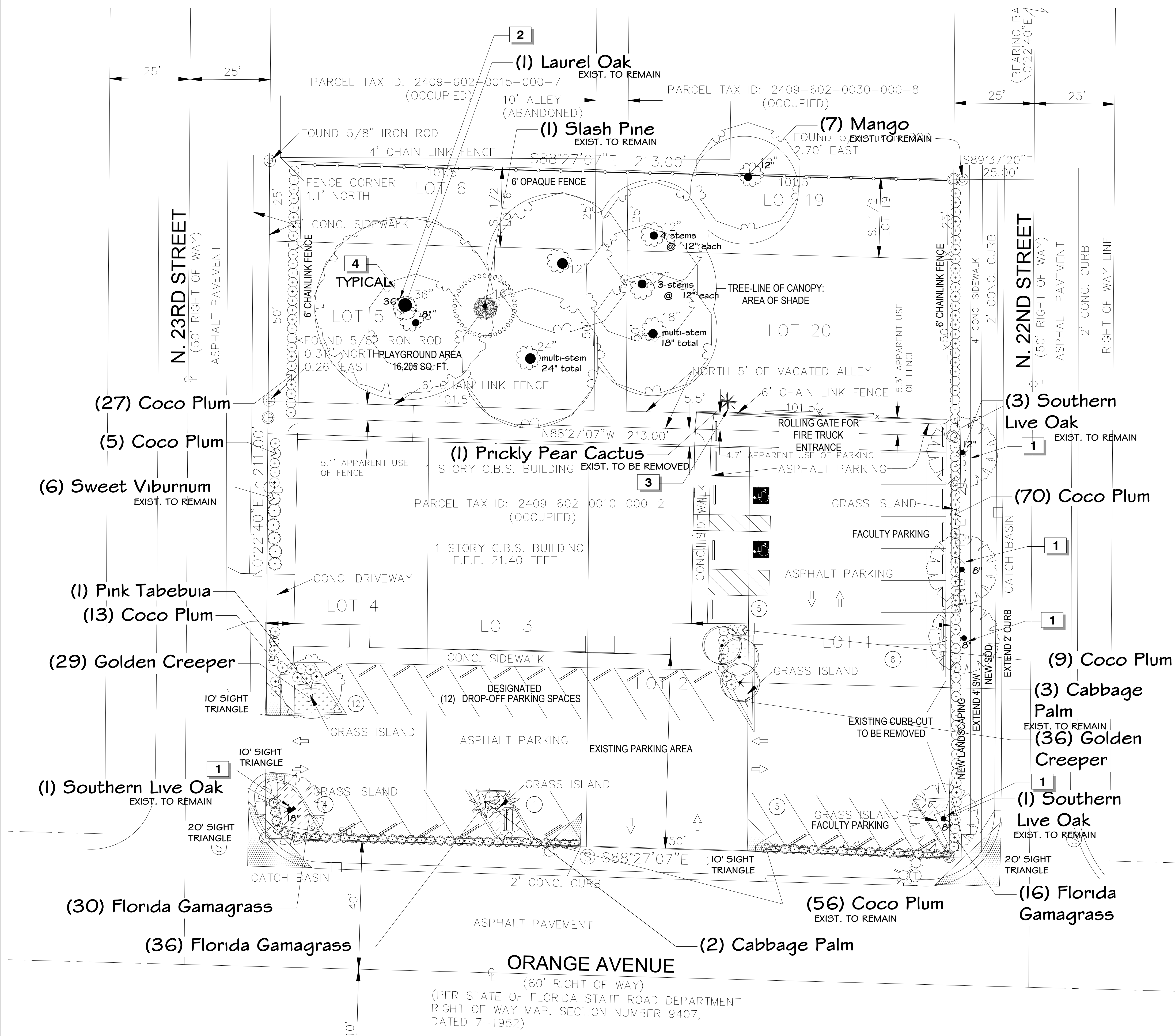
ALL PLANTINGS SHALL BE IRRIGATED PER THE LDC. IRRIGATION PLAN
TO BE SUBMITTED AT TIME OF SITE PERMITTING.

SCALE 1" = 16'

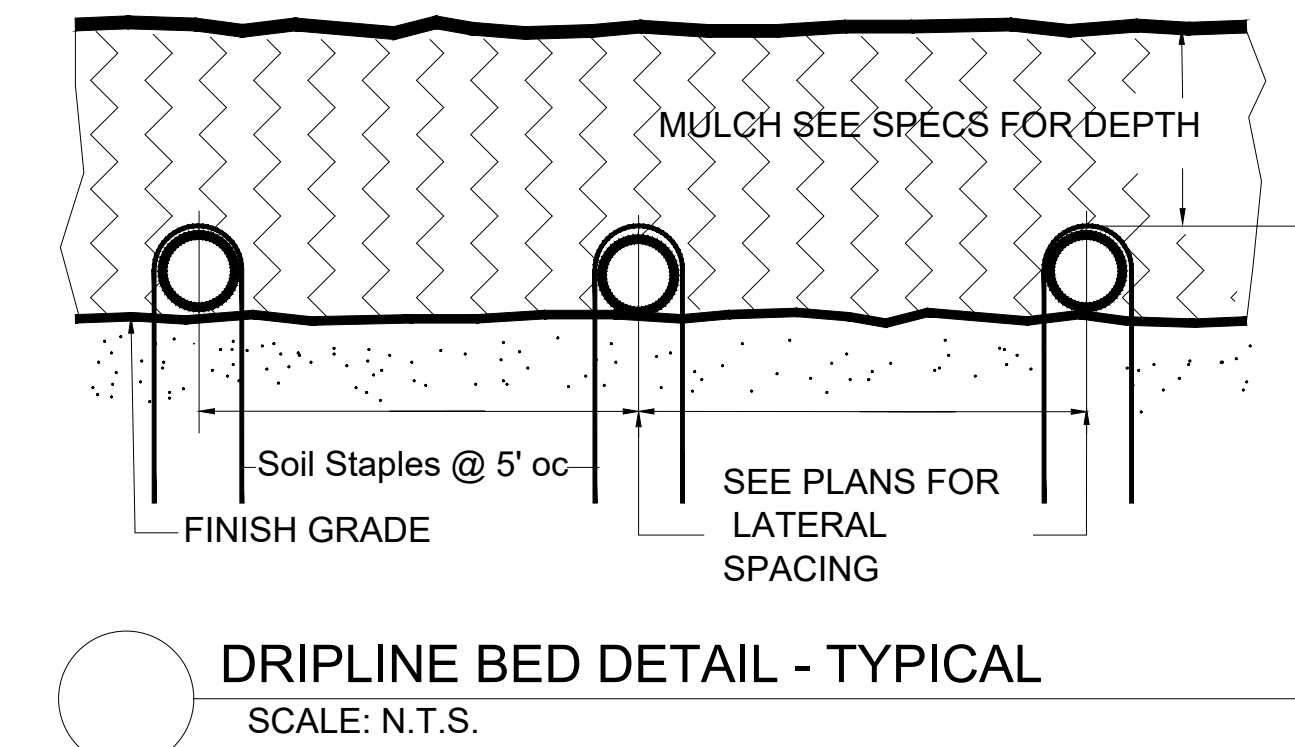
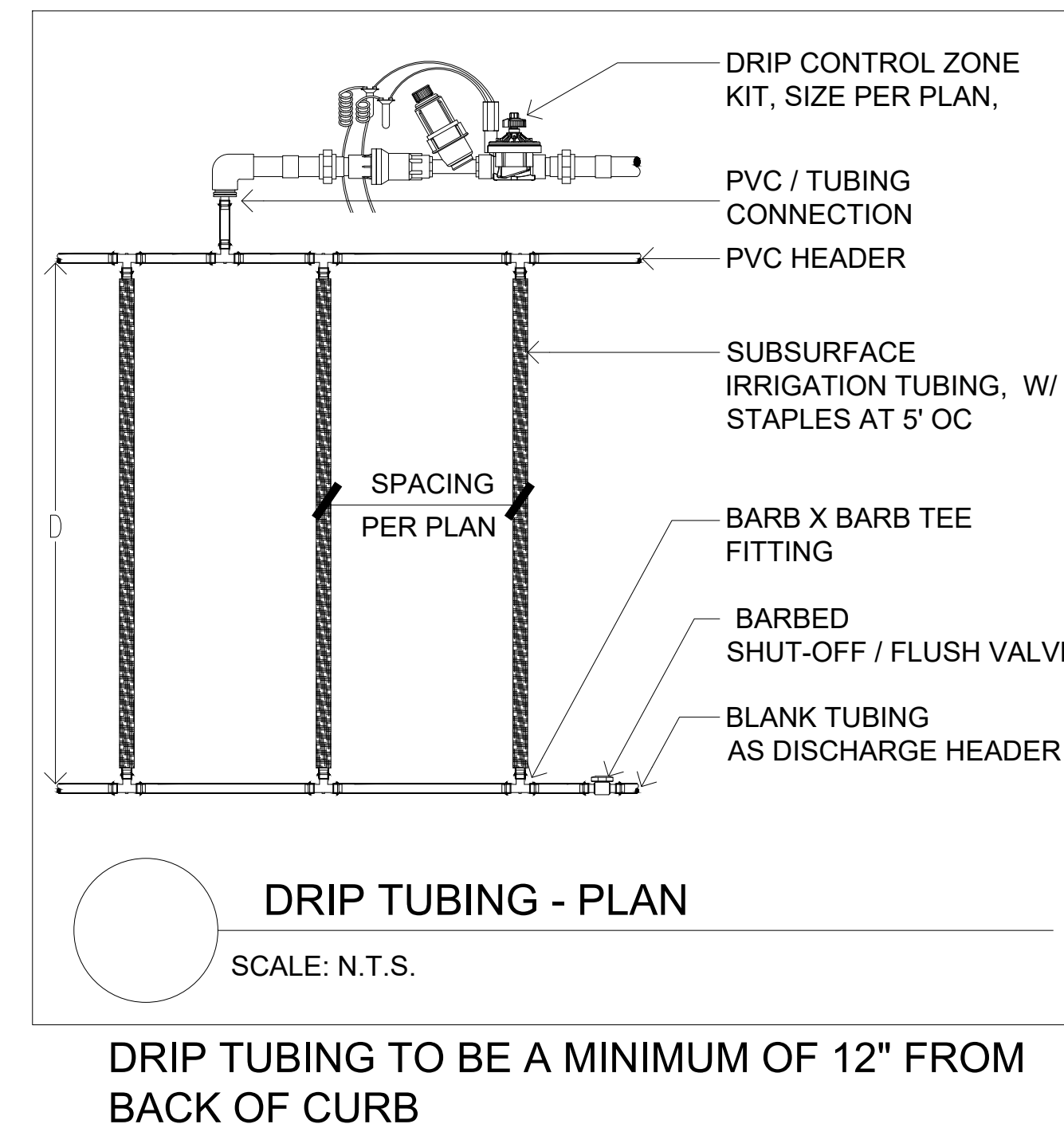
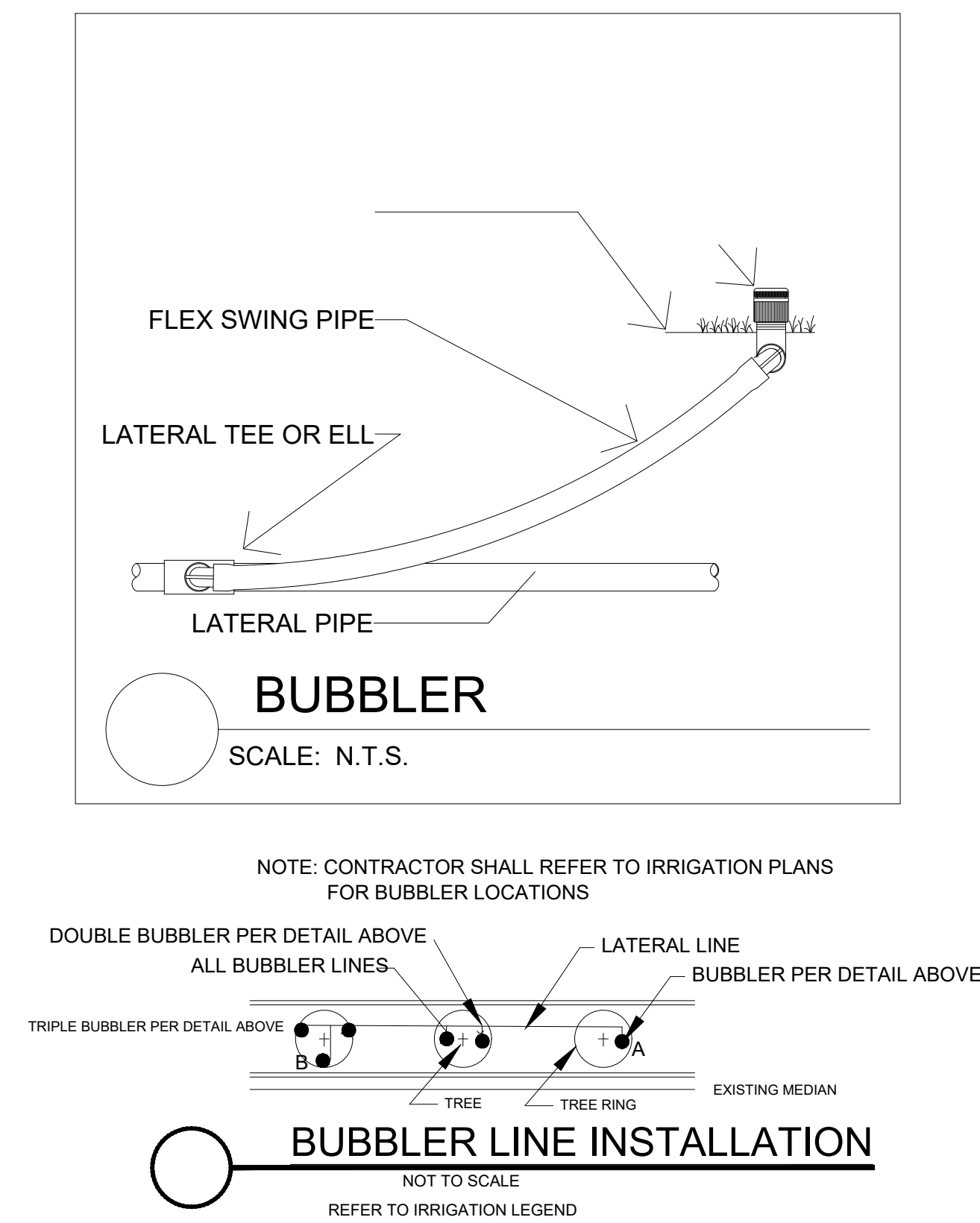
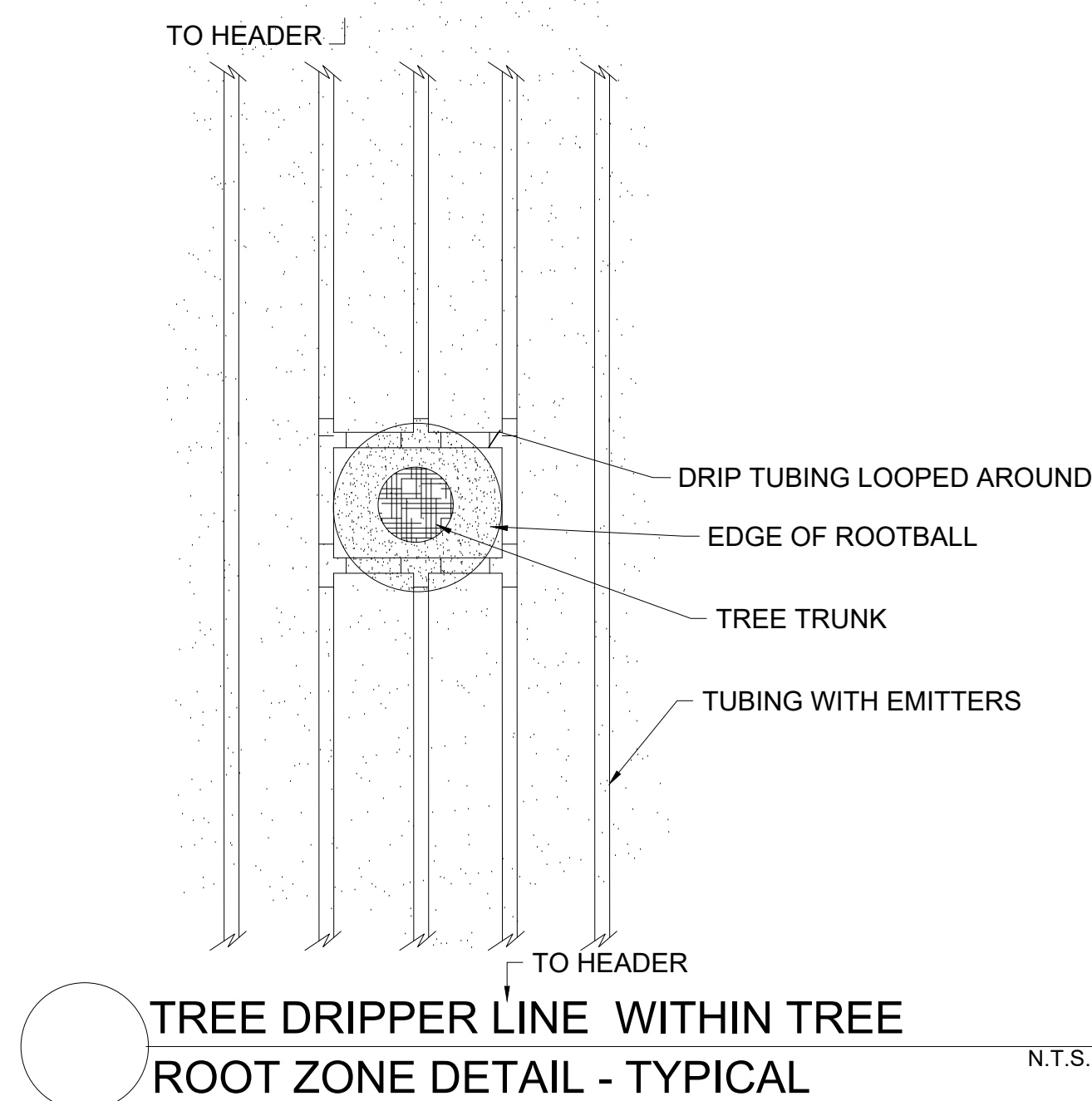
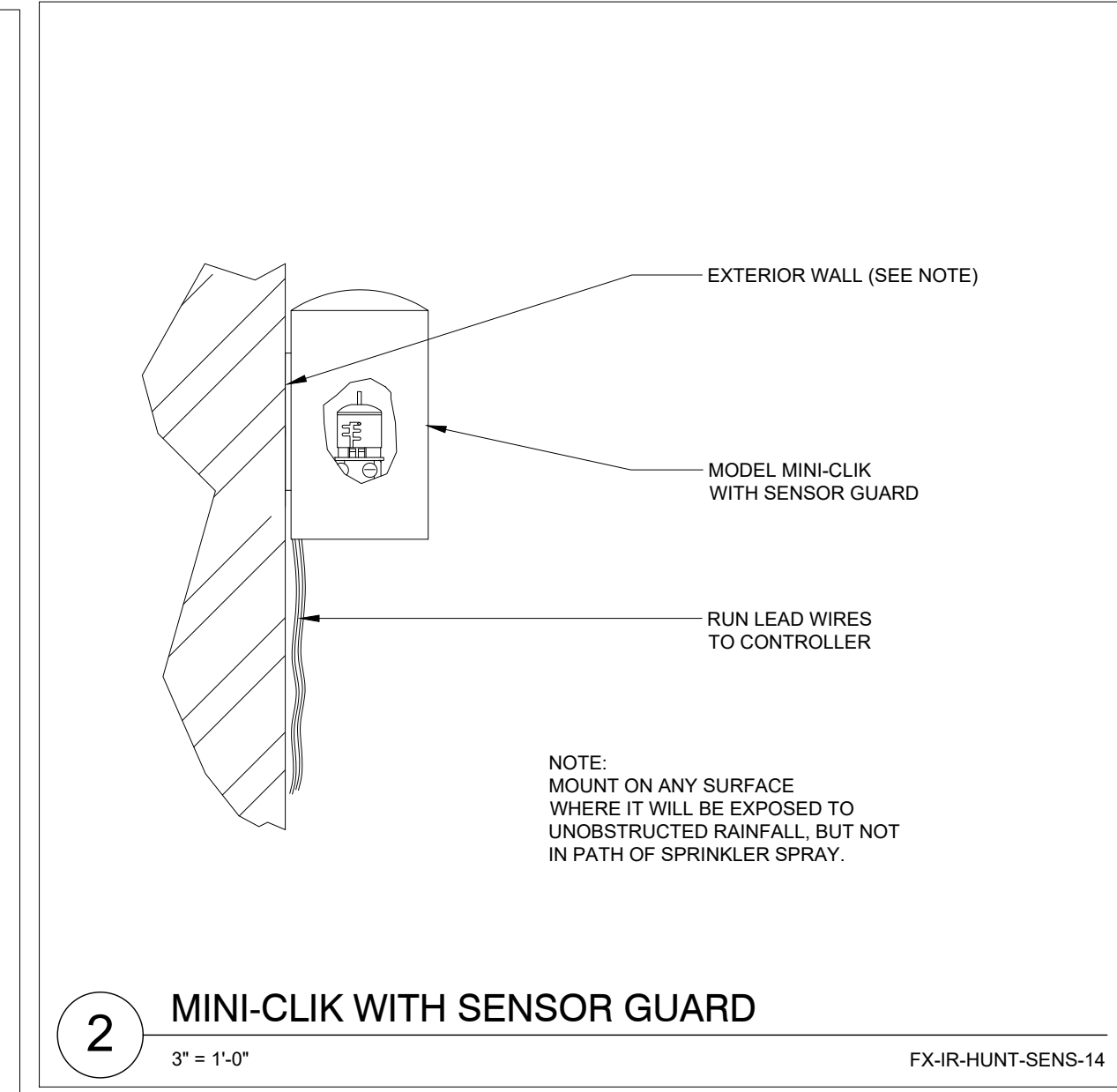
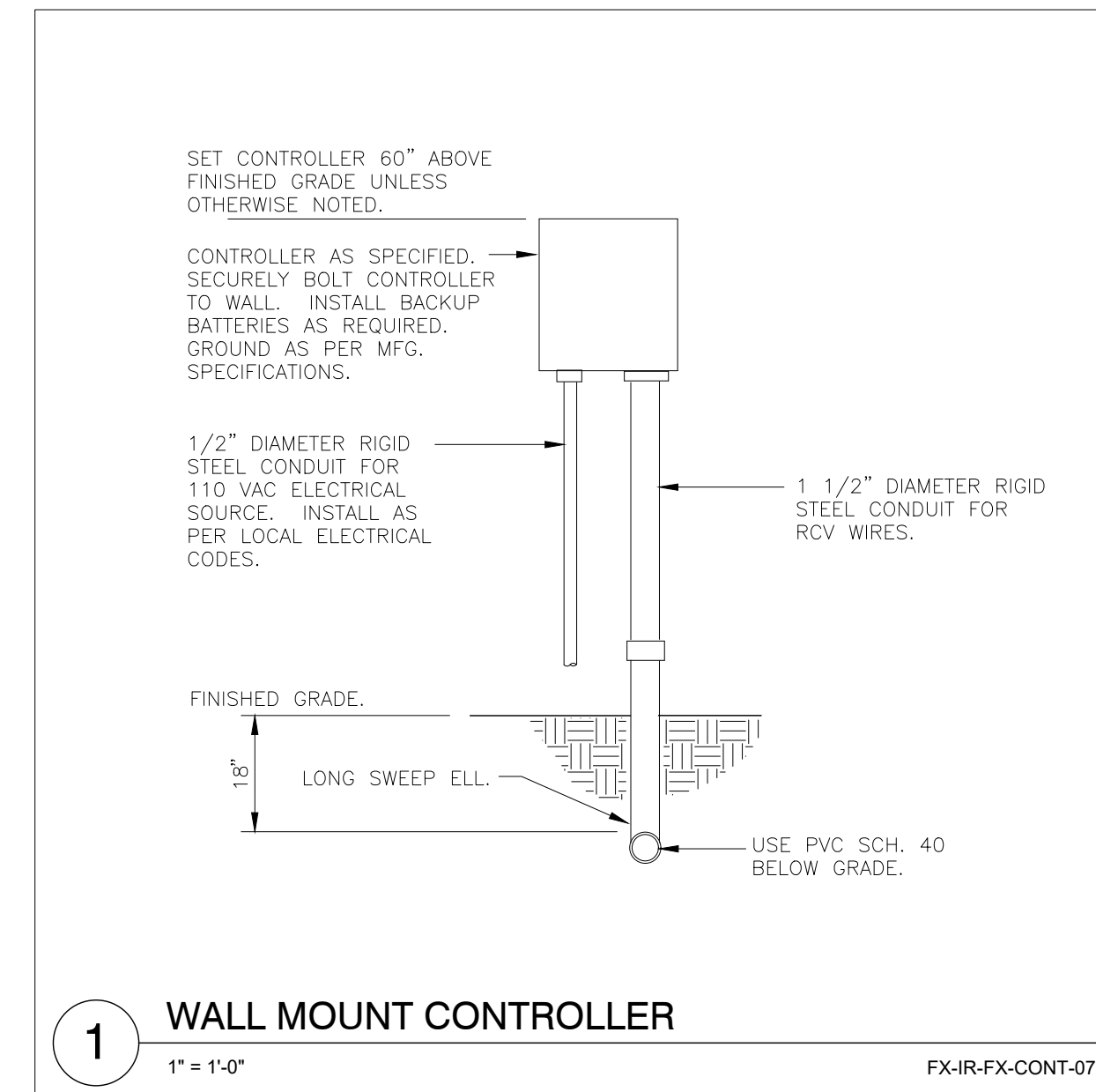
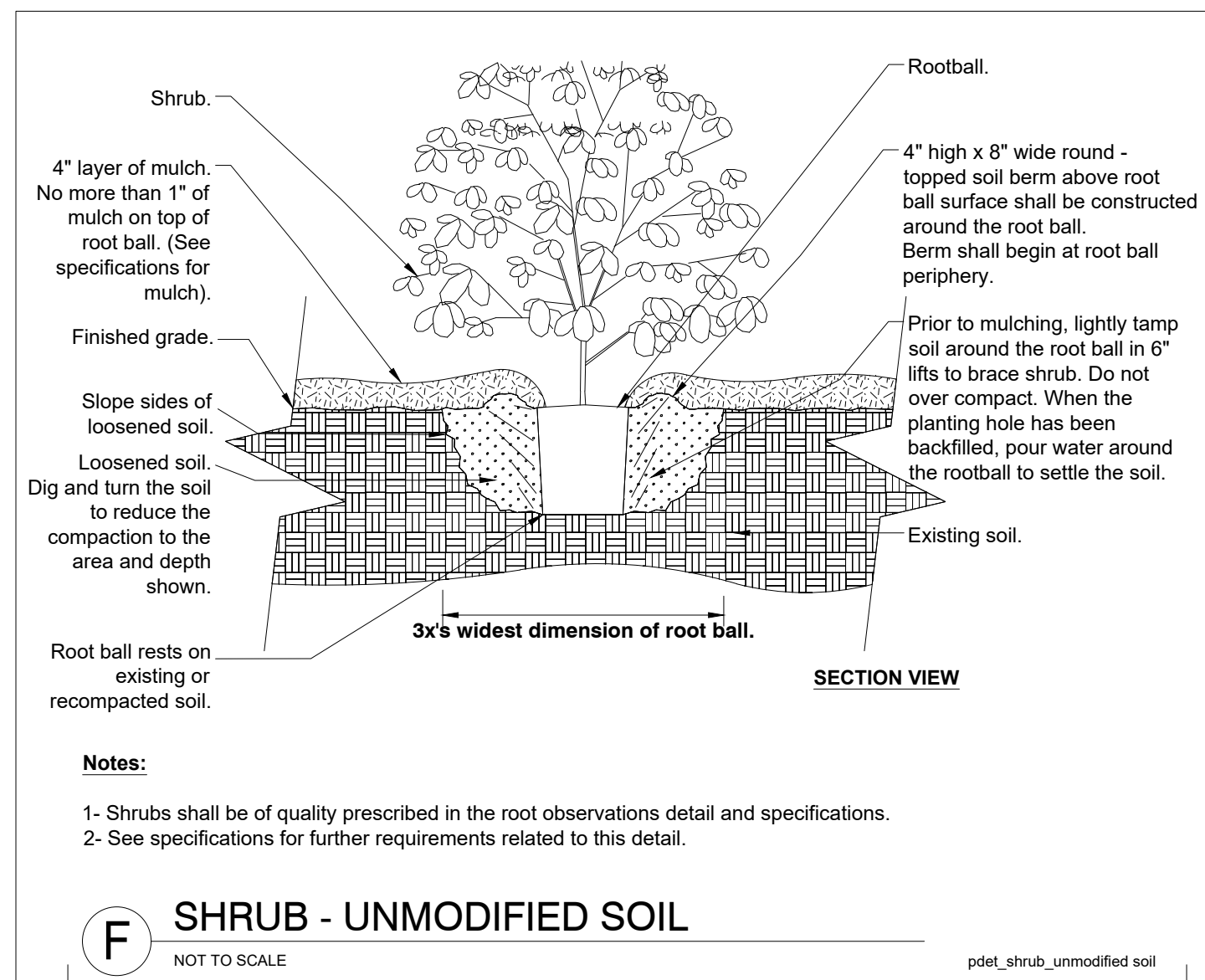
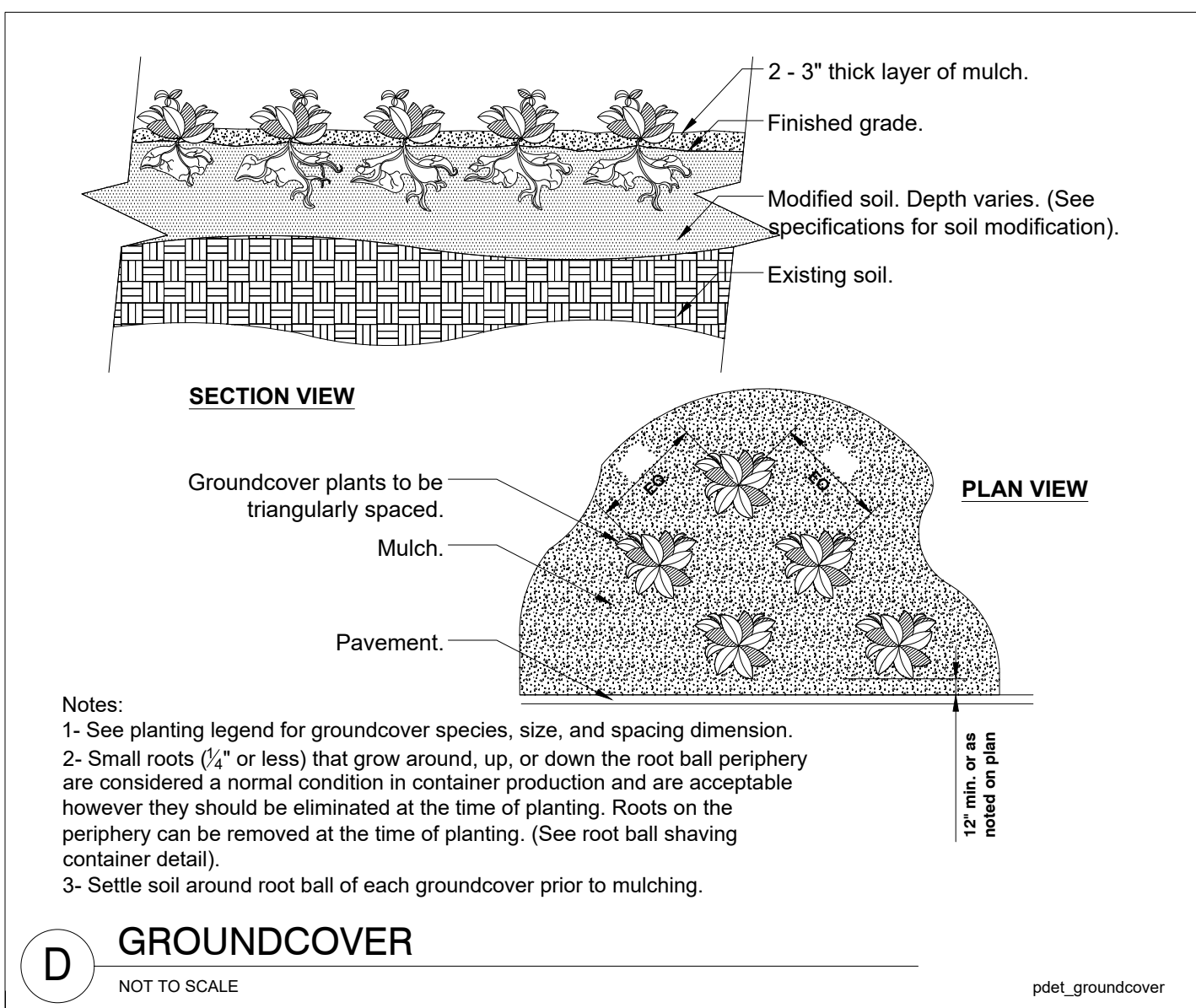
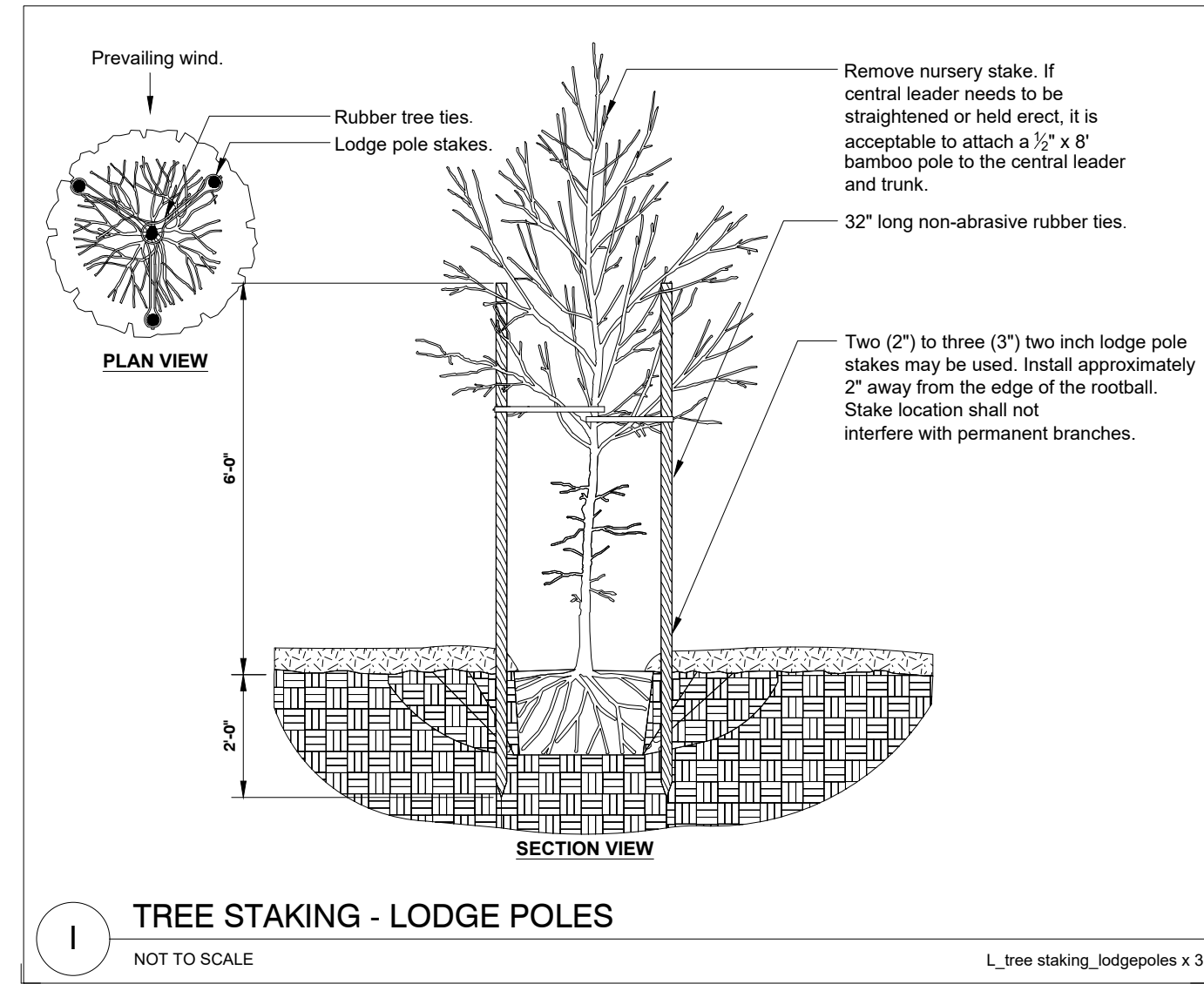
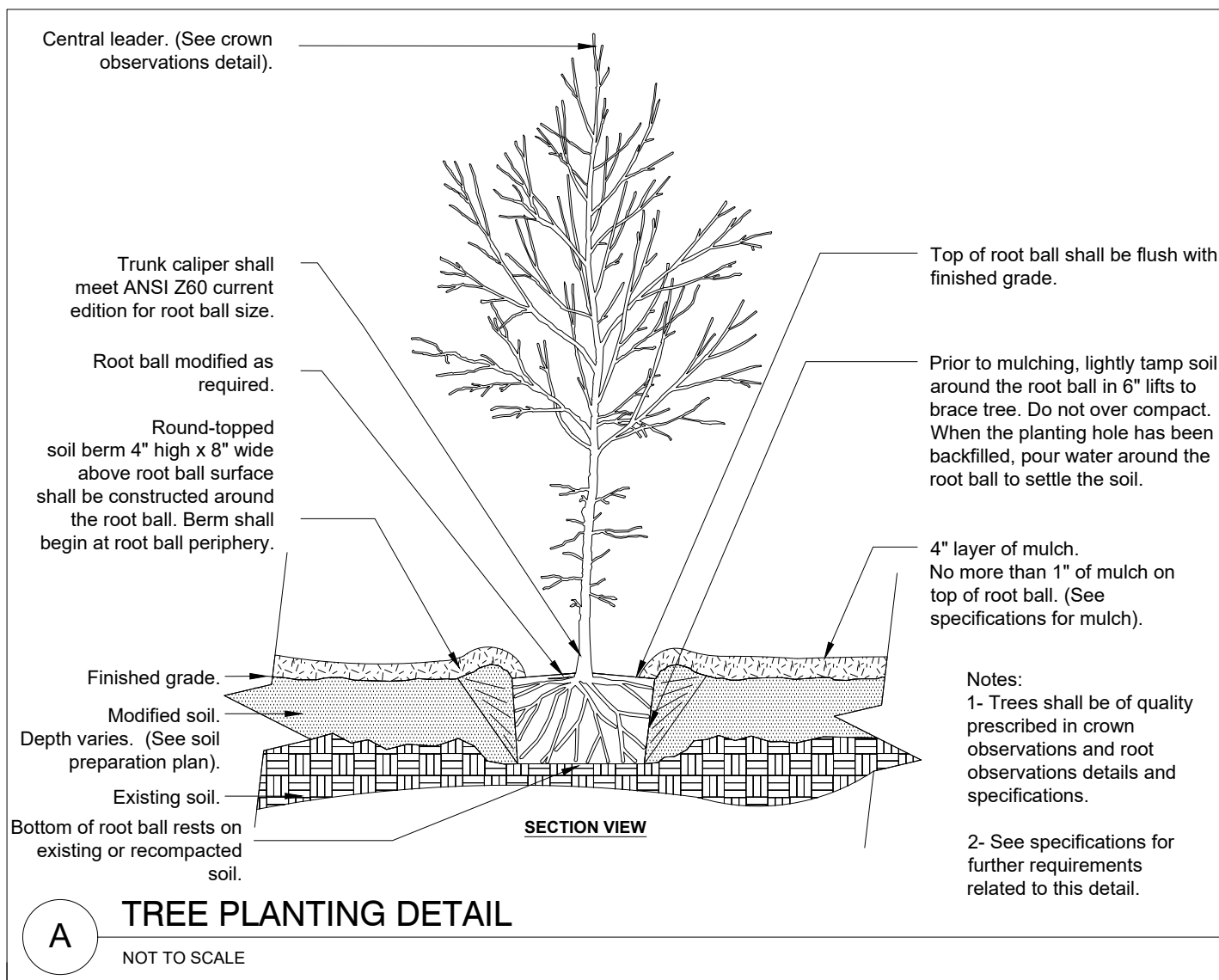


INTERNAL UTILITY EASEMENT - NO TREES OR LARGE
SHRUBS SHALL BE PLANTED INSIDE THESE ZONES.
ALL TREES IN ISLANDS ARE LOCATED OUTSIDE OF
EASEMENT, MIN. 10' FROM BACK OF CURB

LANDSCAPE PLAN



ORANGE AVENUE
(80' RIGHT OF WAY)
(PER STATE OF FLORIDA STATE ROAD DEPARTMENT
RIGHT OF WAY MAP, SECTION NUMBER 9407,
DATED 7-1952)



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CONSULTANT:

DESIGN PROFESSIONAL:

GREGORY J. DISERIO, RLA
RLA NO. 840 DATE:
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PROJECT MGR.	Greg Diserio
FILE NAME	NEW ELITE LS
DESIGNER	GJD
CAD TECH	GJD
CHECKED BY	GJD
ISSUED FOR	PERMIT REVIEW CONDITIONAL USE

ISSUED DATE: DEC 10, 2024
REVISIONS:

SHEET TITLE:
LANDSCAPE AND IRRIGATION DETAILS

SHEET NUMBER:

L - 3



DMJA

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REVISIONS:

SHEET TITLE:
**IRRIGATION
PLAN**

SHEET NUMBER:
L-4

GENERAL IRRIGATION NOTES

- All mainline and lateral line piping and control wires under paving shall be installed in separate sleeves. main and lateral line sleeves shall be a minimum of twice (2x) the diameter of the pipe to be sleeved. Control wire sleeves shall be sufficient size for the required number of wires under paving.
- Pipe sizes shall conform to those shown on the drawings. No substitutes of smaller pipe sizes shall be permitted but substitutions of larger sizes may be approved. All damaged and rejected pipe shall be removed from the site at the time of said rejection.
- All sprinkler heads shall be set perpendicular to finished grade unless otherwise specified.
- The irrigation contractor shall flush and adjust all sprinkler heads and valves for optimum coverage with minimal overspray onto walks, streets, walls, etc.
- Irrigation heads shall be a minimum of 24" from buildings.
- This drawing sheet is diagrammatic and for reference only. All piping, valves, etc. shown within paved areas are for design clarification only and shall be installed in planting areas whenever possible. The contractor shall locate all valves in shrub areas where possible.
- It is the responsibility of the irrigation contractor to familiarize himself with all grade differences, location of walls, structures and utilities. The irrigation contractor shall repair or replace all items damaged by his work. He shall coordinate his work with other contractors for the location and installation of pipe sleeves through walls, under roadways and paving, etc.
- Do not willfully install the sprinkler system as shown on the drawings when it is obvious in the field that unknown obstructions, grade differences, water levels or differences in the area dimensions exist that might not have been considered in the engineering. Such obstructions or differences should be brought to the attention of owners representative. In the event this notification is not performed, the irrigation contractor shall assume full responsibility for any revisions necessary.
- All sprinkler equipment not otherwise detailed or specified shall be installed as per manufacturer's recommendations and specifications.
- The contractor shall provide (Pressure Compensating Screens) as necessary to reduce or eliminate over spray into streets, walks or other areas as dictated by the owner's authorized representative.
- All remote control valves, gate valves, quick couplers and control wire splices shall be installed in approved valve boxes with locking covers. All shall be marked indicating controller and station numbers for control valve.
- Contractor to provide the Owner with a complete irrigation design in compliance with Owners program. All required plantings shall be irrigated.
- The sprinkler system to be based on a minimum operating pressure of 40 PSI. The irrigation contractor shall verify water pressures, flows, elevations, and other requirements prior to construction. Report any differences between the water pressure and flows indicated on drawings and the actual pressure reading at the irrigation point of connection to the owners authorized representative.
- Installer shall conduct final testing and adjustments to achieve design specifications prior to completion of the system and acceptance by the owner or owner's representative.
- The installer shall provide property owners and users with post-construction documentation, including as-constructed drawings, recommended maintenance activities and schedules, operational schedule, design precipitation rates, instructions on adjusting the system to apply less water after the landscape is established, maintenance schedule, water source, water shut-off method, and the manufacturer's operation guide for the irrigation controller. To the extent feasible, similar information should be made available for subsequent property transfers.
- Any changes and/or modifications to the water source shall require appropriate adjustments to the system design.
- The contractor shall be responsible for providing all code required backflow preventers in addition to all permits as required by the governing agencies including water use permits, if applicable.
- Plan prepared for development conditional use permitting only. Refer to site permit documents for complete irrigation system design.
- Irrigation water source shall be from an irrigation meter w/ backflow per Engineering Plans at time of site permitting.

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
■	Hunter ICZ-101-25 1" Drip Control Zone Kit. 1in. ICV Globe Valve with 1in. HY100 filter system. Pressure Regulation: 25psi. Flow Range: 2 GPM to 20 GPM. 150 mesh stainless steel screen.	4
▨	Area to Receive Dripline Hunter HDL-09-12-PC HDL-09-12-PC: Hunter Dripline with 0.9 GPH flow. Light brown tubing with black striping. Emitters at 12" O.C. Dripline laterals spaced at 12" apart, with emitters offset for triangular pattern. Install with Hunter PLD barbed or PLD-LOC fittings.	1,168 s.f.
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	
□	Hunter P2C-400 Light Commercial & Residential Controller, 4-station base module controller, 120 VAC, Outdoor/Indoor model	
⊞	Hunter MINI-CLIK Rain Sensor, mount as noted	
---	Irrigation Mainline: PVC Class 200 SDR 21	
---	Irrigation Mainline: PVC Class 200 SDR 21	
---	Irrigation Mainline: PVC Class 200 SDR 21	

Valve Cutoff

Valve Number

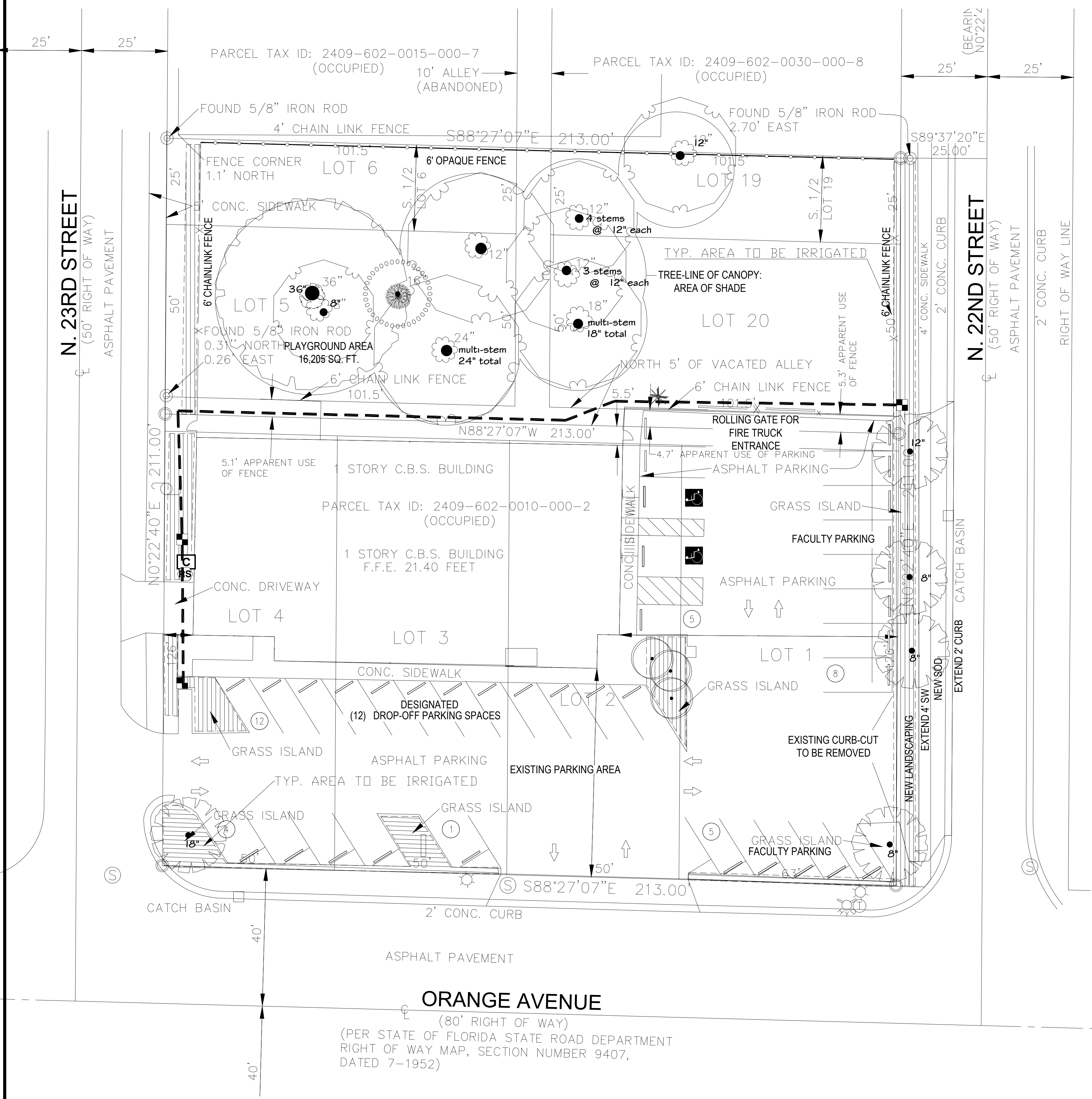
Valve Flow

Valve Size

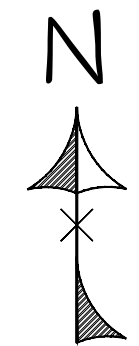
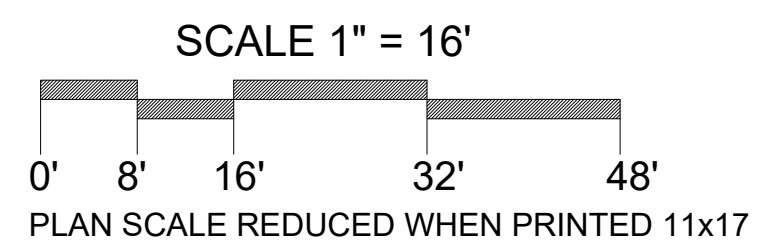
PIPE SIZING CHART

GPM	SIZE	GPM	SIZE
0-10	3/4"	1-8	3/4"
11-16	1"	9-13	1"
17-26	1-1/4"	14-22	1-1/4"
27-36	1-1/2"	23-30	1-1/2"
37-55	2"	31-50	2"
56-80	2-1/2"	51-70	2-1/2"

Flows shall maintain velocities of less than 5 feet per second



IRRIGATION PLAN



CLASS 200

SCHEDULE 40