



**DEVELOPMENT REVIEW**

**Property Information**

Property address or Location Okeechobee Rd  
 Parcel ID #(s) 2419-122-0001-040-6 & 2419-122-0001-050-9  
 Project description Flex Space (wholesale trade / warehouse freight)

**Application Type**

- Site Plan       Conditional Use w/New Construction       Conceptual Development Plan  
 Minor Amendment       Major Amendment

**Site Information**

*Non-Residential:* Proposed Sq. Ft.: 39,450 Sq Ft      Site Acreage: 3.57 Acres  
*Residential:* Proposed Units: \_\_\_\_\_ Proposed Sq. Ft.: \_\_\_\_\_ Site Acreage: \_\_\_\_\_


**St. Lucie Kings, LLC**

Property Owner(s)  
101 Pugliese Way  
 Street Address  
Delray Beach FL 33444  
 City State Zip  
561-454-1625  
 Phone Number  
azurita@puglieseco.com  
 Email Address

**HJA Design Studio**

Applicant/Representative, Title, Company  
50 SE Ocean Blvd., Suite 101  
 Street Address  
Stuart FL 34994  
 City State Zip  
772-678-7200  
 Phone Number  
erika@hjadstudio.com  
 Email Address

*Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.*

*St. Lucie Kings, LLC*  
 By:  VP  
 Property Owner(s) Signature(s) DAVID CLORAN, VICE PRESIDENT

**APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS**

CALL 772.467.3737 OR E-MAIL [PLANNING\\_DL@CITYOFFORTPIERCE.COM](mailto:PLANNING_DL@CITYOFFORTPIERCE.COM)

For more information, please refer to the website:

<https://www.cityoffortpierce.com/971/Application-Submittal-for-Technical-Rev>

General Information

- Incomplete application packets will not be accepted.
- In-take meetings are required for application submittals.
- Site plan approval is valid for one (1) year following City Commission approval. To maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date.
- Fee Schedule - <https://www.cityoffortpierce.com/DocumentCenter/View/2620/Fee-Schedule->
- Public Notice Fees - <https://www.cityoffortpierce.com/DocumentCenter/View/8818/Public-Notice-Fees->



**Site Plan submittal requirements:**

*Submit one (1) original & three (3) hard copies and one (1) CD or Flash Drive of the following. Additional copies will be required of subsequent submittals.*

- Complete application
- Warranty Deed
- SLC Property Record Card
- Detailed project description
- General location map (see Section 125-313)
- Survey (see Section 125-313)
- Site Plan (see Section 125-313)
- Landscaping Plan (see Section 123-37)
- Conceptual Drainage Plan (see Section 125-313)
- Environmental Impact Report
- N/A  Beach/Dune System protection plan, if applicable (see Section 125-313)
- Lighting Plan (see Section 125-313)
- Design Review submittals (see Design Review application)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)



**DESIGN REVIEW**

**Property Information**

Property address or Location Okeechobee Rd  
 Parcel ID #(s) 2419-122-0001-040-6 & 2419-122-0001-050-9  
 Project description Flex Space (wholesale trade / warehouse freight)

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 VP  
 \_\_\_\_\_  
 Property Owner(s) Signature(s)

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 For more information, please refer to the website:  
<https://www.cityoffortpierces.com/971/Application-Submittal-for-Technical-Rev>

## Design Review Application Checklist (City Code of Ordinances 125-314)

### Submittal for Administrative Approval

- a. A survey (1" = 30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of section 123-66, location of bordering streets and, if applicable, wetlands and beaches.
- b. A site analysis study to include a discussion of specimen trees and other natural vegetation, access, significant topography, wetlands, buffers, setbacks, views, orientation, the surrounding built environment, and other site features that may influence design elements.
- c. A draft written narrative describing the design intent of the project, its goals, and objectives and how it reflects the site analysis study results.
- d. Context photographs of neighboring uses and architectural styles.
- e. Photographs and/or drawings of architectural buildings or objects that serve as a precedent for the proposed building design. Models should be taken from local exemplary buildings, either existing or demolished. Documentation of such buildings is available in the city's planning department.
- f. Photographs of all existing structures located on the property. If existing structures on the property are more than fifty (50) years of age, documentation of these structures with data from the Florida Master Site File form is also required.
- g. Conceptual site plan (to scale) showing proposed location of all buildings, structures, parking areas, signs and landscaping.
- h. Landscape plan, at the same scale as the site plan. The planning director or designee may request enlarged plans of detailed planting areas. Planting schedule with sizes of proposed plantings must be included.
- i. Accurate color rendering of proposed signs showing dimensions, type of lettering, materials and actual color samples that demonstrates cohesiveness with the project design.
- j. Exterior elevations showing architectural character, external architectural features, and streetscape of the proposed development, including materials, colors, shadow lines and landscaping. The street elevation shall encompass the entire proposed project and generally identify the major elements of the adjacent two (2) properties on either side of the site. If the adjacent properties are vacant or underutilized, a diagram shall be provided that identifies the mass and form that is allowable under current zoning. If the street elevation must be drawn at such a scale as to render architectural details of the building unreadable, drawings of individual buildings at a larger scale should be provided as well.
- k. Design review concurrent with conceptual development plan procedure according to subsection 125-313 is also available.

### Submittal for Board Approval

- ✓a. A written narrative describing how the project conforms to administrative approval and design review guidelines of this section.
- ✓b. A final site plan meeting the requirements of section 125-313.
- ✓c. A final site lighting plan that meets the requirements of subsection 125-313(d)(8).
- ✓d. A final landscape plan that meets the requirements of articles II and III of chapter 123.
- ✓e. Final floor plans and elevation drawings (1/8" = 1'-0" minimum scale), as detailed under administrative approval, showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- ✓f. A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.



## CONCURRENCY CAPACITY ANALYSIS

### I. Site Data:

	Existing Use	Future Land Use	Zoning
North			
South			
East			
West			

	Future Land Use	Zoning Classification	Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage	Total Acreage	Flood Zone
Current					
<b>**Proposed</b>					<b>AE / X</b>

### II. Public Facilities Information:

A. Potable Water:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.125 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day
<b>**Proposed Zoning/FLU</b>	Total gallons per day
<b>**Change in Demand</b>	Total gallons per day

<b>B. Wastewater:</b>	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.1 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day
**Proposed Zoning/FLU	Total gallons per day
**Change in Demand	Total gallons per day

<b>C. Parks and Recreation (Residential Classifications Only):</b> (Du x 2.6 = persons + 44,227 = population /LOS)				
Park Type	LOS	Existing Population Park Demand	Proposed Population Park Demand	Change in Demand
Regional	20 acres per 1,000 people			
Urban District	5 acres per 1,000 people			
Community	2.5 acres per 1,000 people			
Neighborhood	1.36 acres per 1,000 people			

<b>D. Public Schools (Residential Classifications Only):</b> Single Family: (du x 0.405 = students/70% K-8/30% High) Multi-family: (du x 0.207 = students/70% K-8/30% High)		
	<b>K-8</b>	<b>High</b>
School Name		
City		
Distance		
Current Zoning/FLU	Enrollment	
**Proposed Zoning/FLU	Enrollment	
**Change in Demand		

<b>E. Solid Waste: Residential</b> (2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units)	
Demand Analysis	Maximum
Current Zoning/FLU	
**Proposed Zoning/FLU	
*Change in Demand	

**F. Stormwater:**  
Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year – 1 day storm event)



NON-RESIDENTIAL DATA					
Type(s) specify	Phase	Square footage	Acres	Expecting beginning date	Expected completion date

- A. Indicate whether the proposed project will be eliminating any existing recreational facilities. If yes, detail the number and type being eliminated.  Yes  No
- B. 1. Does this application involve demolition or re-use of any structure(s)?  Yes  No  
If yes, what is the size of the structure(s) to be demolished or re-used? \_\_\_\_\_
2. What is the current use of the structure to be demolished or re-used? \_\_\_\_\_
3. Are you claiming trip credits for the demolition or re-use of a structure(s) at the site?  Yes  No  
If yes, provide estimates of credits for each previous use at the site. (Attach sheet with calculations)

C. Exemptions Requested:

\*\* Complete section if requesting a change in zoning, future land use, or expanding

## Project Description

### **4646 Okeechobee Road**

Parcel Control Numbers: 2419-122-0001-040-6 & 2419-122-0001-050-9

This is a request for a Conditional Use Approval with new construction to allow a flex space for wholesale trade and warehouse freight uses proposed for the development of the 3.57 acres property located off SR 70 / Okeechobee Road, east of I-95 and west of the Renaissance Business Park alongside Five Mile Creek in the City of Fort Pierce. The site has a zoning and land use of General Commercial. The parcel is accessed off Okeechobee Road through an existing shared access easement within the existing gas station and self-storage sites.

Recent economic studies have shown that there is a demand for small-to medium-sized flex spaces where growing businesses can have offices, workshops, and warehouse space all in one location. The following list includes selected uses limited to the Conditional Uses to be requested to the City of Ft. Pierce for this approval.

- Light Industrial Service/Manufacturing
- Warehouse and Freight
- Environmental Research and Education Facilities
- Day Care Center (Adult/Child)
- Medical Facilities
- Social Service Institution
- Building Maintenance Facilities and Services
- Microbrewery
- Marine-Related Industrial
- Vehicle Storage

The proposed site plan is compiled of three small warehouse buildings with a gross floor area of 39,450 square feet. There is over 30% of open space provided which includes the required landscape buffers and dry retention areas. Adequate parking and loading spaces are proposed to fit the needs for an array of uses listed above. In addition, a trash compactor and dumpers will be located on site to meet the needs of the proposed flex space complex.

Prepared By:  
Doug Marek, Esq.  
DOUG MAREK, P.A.  
101 Pineapple Grove Way, Suite 200  
Delray Beach, Florida 33444  
561 454-1610

Property ID: 2419-122-0001-040-6  
2419-122-0001-050-9

WARRANTY DEED

THIS WARRANTY DEED is made as of the 9<sup>th</sup> day of March 2021 by FLORIDA TAX LIEN ASSETS IV, LLC, a Florida limited liability company, whose post office address is 2055 US Highway 1, Vero Beach, FL 32960 ("Grantor") to ST. LUCIE KINGS, LLC, a Florida limited liability company whose post office address is 101 Pugliese's Way, 2<sup>nd</sup> Floor, Delray Beach, FL 33444 ("Grantee").

GRANTOR, IN CONSIDERATION of Ten Dollars and other good and valuable considerations, the receipt and sufficiency of which are hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto Grantee all that land as described in Exhibit A attached hereto, situate in St. Lucie County, Florida.

SUBJECT TO easements, restrictions, and reservations of record, taxes for the year 2021 and thereafter (a lien which is not yet due and payable).

TOGETHER WITH all tenements, hereditaments and appurtenances thereto belonging or in anywise pertaining.

TO HAVE and to hold the same in fee simple forever.

AND, Grantor hereby covenants with Grantee that Grantor is lawfully seized of said land in fee simple, that Grantor has good, right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2021 (a lien which is not yet due and payable).

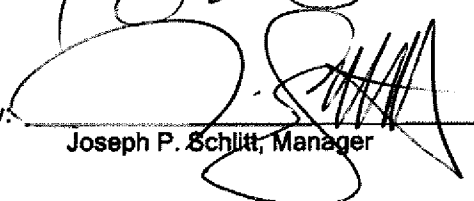
IN WITNESS WHEREOF, Grantor has signed and sealed these presents the day and year first above written.


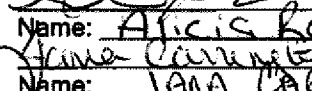
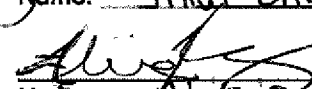
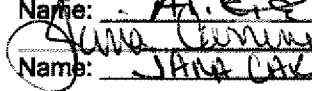
Signed, sealed and delivered in the presence of:

FLORIDA TAX LIEN ASSETS IV, LLC, a Florida limited liability company

By: Kite Tax Lien Capital, LLC, a Florida limited liability company

By:   
Kelly P. Kite, Jr., Manager


By:   
Joseph P. Schlitt, Manager

  
Name: Alicia Benz  
  
Name: Jana Carlington  
  
Name: Alicia Benz  
  
Name: Jana Carlington

STATE OF FLORIDA  
COUNTY OF INDIAN RIVER

I hereby certify that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgements, appeared by means of ✓ physical presence or \_\_\_ on line notarization, Kelly P. Kite, Jr., as manager of Kite Tax Lien Capital, LLC, a Florida limited liability company, the managing member of FLORIDA TAX LIEN ASSETS IV, LLC, who is personally known to me or produced \_\_\_\_\_ as identification.


WITNESS, my hand and official seal in the County and State aforesaid this 8<sup>th</sup> day of March 2021.

  
\_\_\_\_\_  
Notary Public

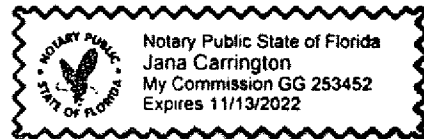
STATE OF FLORIDA  
COUNTY OF INDIAN RIVER

I hereby certify that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgements, appeared by means of ✓ physical presence or \_\_\_ on line notarization, Joseph P. Schlitt, as manager of Kite Tax Lien Capital, LLC, a Florida limited liability company, the managing member of FLORIDA TAX LIEN ASSETS IV, LLC, who is personally known to me or produced \_\_\_\_\_ as identification.

WITNESS, my hand and official seal in the County and State aforesaid this 8<sup>th</sup> day of March 2021.

  
\_\_\_\_\_  
Notary Public

1832-002 \*



**EXHIBIT A**  
**Legal Description**

**Parcel 1:**

A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE NORTH 01°20'45" EAST, ALONG THE EAST LINE OF SECTION 18, TOWNSHIP 35 SOUTH, RANGE 40 EAST, A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA; S.R. 70); THENCE SOUTH 52°29'55" WEST, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 2,102.04 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 55°45'47" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 210.34 FEET; THENCE SOUTH 52°29'33" WEST ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 71.28 FEET; THENCE NORTH 37°30'27" WEST, A DISTANCE OF 73.78 FEET; THENCE NORTH 37°30'14" WEST, A DISTANCE OF 114.06 FEET; THENCE NORTH 37°29'33" WEST, A DISTANCE OF 33.20 FEET; THENCE SOUTH 52°29'33" WEST, A DISTANCE OF 185.54 FEET; THENCE NORTH 37°24'29" WEST, A DISTANCE OF 337.95 FEET; THENCE NORTH 52°35'31" EAST, A DISTANCE OF 149.75 FEET; THENCE SOUTH 37°24'29" EAST, A DISTANCE OF 101.01 FEET; THENCE NORTH 52°26'19" EAST, A DISTANCE OF 84.86 FEET; THENCE NORTH 76°15'19" EAST, A DISTANCE OF 109.98 FEET TO A POINT ON THE ARC OF A CIRCULAR CURVE TO THE LEFT AT WHICH A RADIAL LINE BEARS NORTH 72°27'31" EAST; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 85.00 FEET AND A CENTRAL ANGLE OF 10°43'05", A DISTANCE OF 15.90 FEET TO A POINT OF TANGENCY; THENCE SOUTH 28°15'34" EAST, A DISTANCE OF 42.13 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE TO THE LEFT; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 85.00 FEET AND A CENTRAL ANGLE OF 72°51'03", A DISTANCE OF 108.08 FEET TO A POINT OF TANGENCY; THENCE NORTH 78°53'23" EAST, A DISTANCE OF 69.88 FEET TO A POINT ON THE ARC OF A CIRCULAR CURVE TO THE LEFT AT WHICH A RADIAL LINE BEARS NORTH 46°34'59" EAST; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 443.72 FEET AND A CENTRAL ANGLE OF 04°34'37", A DISTANCE OF 35.44 FEET TO A POINT OF TANGENCY; THENCE SOUTH 47°59'38" EAST, A DISTANCE OF 11.05 FEET; THENCE SOUTH 44°53'31" EAST, A DISTANCE OF 203.42 FEET TO THE POINT OF BEGINNING.

LESS A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE NORTH 01°20'45" EAST ALONG THE EAST LINE OF SECTION 18, TOWNSHIP 35 SOUTH, RANGE 40 EAST, FOR A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA S.R. 70); THENCE SOUTH 52°29'55" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 2102.04 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND; THENCE SOUTH 55°45'47" WEST FOR A DISTANCE OF 210.34 FEET; THENCE SOUTH 52°29'33" WEST FOR A DISTANCE OF 71.28 FEET; THENCE NORTH 37°30'27" WEST FOR A DISTANCE OF 73.78 FEET; THENCE NORTH 01°22'19" WEST FOR A DISTANCE OF 267.30 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 14°31'16" WEST, HAVING A RADIUS OF 85.00 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 36.54 FEET THROUGH A CENTRAL ANGLE OF 24°37'53" TO A POINT OF TANGENCY; THENCE NORTH 78°53'23" EAST FOR A DISTANCE OF 69.88 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 46°34'59" WEST, HAVING A RADIUS OF 443.72 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 35.19 FEET THROUGH A CENTRAL ANGLE OF 04°32'39"; THENCE SOUTH 47°59'38" EAST FOR A DISTANCE OF 11.05 FEET; THENCE SOUTH 44°53'31" EAST FOR A DISTANCE OF 203.42 FEET TO THE POINT OF BEGINNING.

**Parcel 2:**

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**Via Email and FedEx**

February 1, 2023

Kevin Freeman  
Planning Director  
City of Fort Pierce Planning Department  
100 N. U.S. Highway 1  
Fort Pierce, FL 34950

**RE: 4646 Okeechobee Road – Development Review Application – PCN: 2419-122-0001-040-6 & 2419-122-0001-050-9**

Dear Kevin,

Please accept this letter and the attached documents as our request for the above mentioned parcel which is a partially constructed site where some underground and paving was begun but stopped prior to completion. This site is a portion of the Portofino Landings Master Plan off of Okeechobee Road.

This parcel is made up of two platted lots totaling 3.57 acres. The proposed site plan is compiled of three small flex space warehouse buildings with a gross floor area of 39,450 square feet. There is over 30% of open space provided which includes the required landscape buffers and dry retention areas.

Enclosed, please find the submittal material for a portion of the Portofino Landings site as reference above. The following items are included as per the application requirements:

1. An executed application form
2. Payment for the application fee will be submitted after invoicing.
3. Warranty Deed
4. SLC Property Record Card
5. Project Narrative
6. General Location Map
7. Survey
8. Conceptual Site Plan showing the conceptual drainage overlaid on an aerial
9. Landscape Plan
10. Environmental Impact Report
11. Lighting Plan
12. Traffic Impact Report
13. Final Floor Plans and Elevation Drawings per the Design Review Submittal requirements

We look forward to discussing this project with you. Thank you for your assistance with this application.

Sincerely,

  
Michael Houston  
President, HJA Design Studio

March 28, 2022  
City of Fort Pierce Planning Department  
100 N. U.S. Highway 1  
Fort Pierce, FL 34950

St. Lucie Kings, LLC  
101 Pugliese Way  
Delray Beach, FL 33444

RE: 4646 Okeechobee Road Undeveloped 3.56 acre portion at Portofino Landings

Please be advised that St. Lucie Kings, LLC hereby authorizes HJA Design Studio, LLC to act as its agent relative to the above referenced project and approval process, and to submit any applications or related materials with respect thereto.

Sincerely,

St. Lucie Kings, LLC

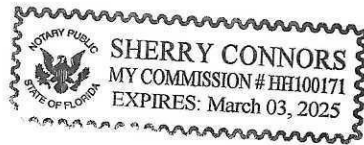
By:  VP  
David Cloran, Vice President

Date: 3/24/22

STATE OF FLORIDA  
COUNTY OF PALM BEACH

The foregoing instrument was acknowledged before me this 24<sup>th</sup> day of MARCH 2022  
by  
David Cloran, as Vice President of St. Lucie Kings, LLC., a Florida Limited Liability Company,  
on behalf of  
the company who is personally known to me.

Signature   
Sherry Connors  
Notary Public-State of Florida  
My Commission Expires 03/03/2025



### Property Identification

Site Address: OKEECHOBEE RD  
 Sec/Town/Range: 19/35S/40E  
 Parcel ID: 2419-122-0001-040-6  
 Jurisdiction: Fort Pierce

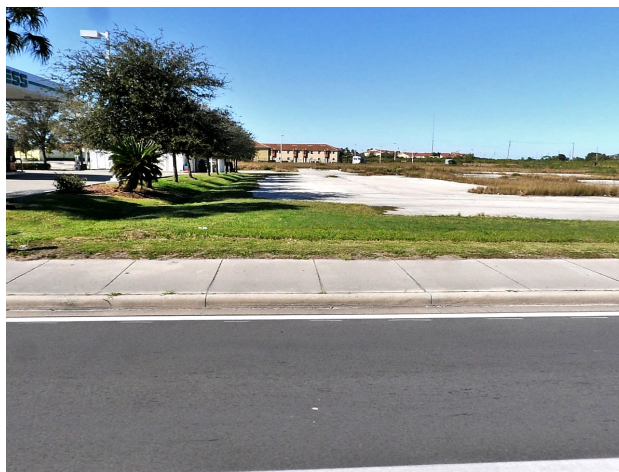
Use Type: 1000  
 Account #: 175561  
 Map ID: 24/19N  
 Zoning: General Co

### Ownership

ST LUCIE KINGS LLC  
 101 Puglieses WAY Fl 2  
 Delray Beach, FL 33444

### Legal Description

19 35 40 FROM NE COR OF SEC RUN N 01 20 45 E ALG E LI OF SEC 357.81 FT TO N RD R/W LI OF OKEE RD, TH S 52 29 55 W ALG NLY R/W LI 2102.04 FT TO POB; TH S 55 45 47 W 210.34 FT, TH S 52 29 33 W 71.28, TH N 37 30 05 W 221.20 FT, TH S 52 29 33 W 185.54 FT, TH S 37 30 09 E 341.13 FT, TH N 52 35 31 E 149.75 FT, TH S 37 42 29 E 101.01 FT, N 52 26 19 E 84.86 FT, TH N 76 15 19 E 109.98 FT, TH S 28 15 34 E 42.13 FT TO CURVE CONC NE, R OF 85 FT, TH SELY ALG ARC 108.08 FT, TH N 78 53 23 E 69.88 FT TO WLY R/W OF CANAL # 29 AND CURVE CONC NE, R OF 443.73 FT, TH SELY ALG ARC 35.44 FT, TH S 47 59 38 W 11.05 FT, TH S 44 53 31 E 203.42 FT TO POB LESS THAT PARCEL MPDAF: 19 35 40 FROM NE COR OF SEC RUN N 01 20 45 E ALG E LI OF SEC 357.81 FT TO N RD R/W LI OF OKEE RD, TH S 52 29 55 W ALG NLY R/W LI 2102.04 FT TO POB; TH S 55 45 47 W 210.34 FT, TH S 52 29 33 W 71.28, TH N 37 30 27 W 73.78', TH N 01 22 19 W 267.30', TO CURVE CONC NE, R OF 85 FT, TH SELY ALG ARC 108.08 FT, TH N 78 53 23 E 69.88 FT TO WLY R/W OF CANAL # 29 AND CURVE CONC NE, R OF 443.73 FT, TH SELY ALG ARC 35.44 FT, TH S 47 59 38 W 11.05 FT, TH S 44 53 31 E 203.42 FT TO POB (2.19 AC)



### Total Areas

Finished/Under Air (SF):	0
Gross Sketched Area (SF):	0
Land Size (acres):	2.19
Land Size (SF):	95,396.4

### Current Values

Just/Market Value:	\$543,800
Assessed Value:	\$543,800
Exemptions:	\$0
Taxable Value:	\$543,800

### Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

### Building Design Wind Speed

Occupancy Category	I	II	III
Speed	140	150	160

Sources/links:

Taxes for this parcel: [SLC Tax Collector's Office](#)

Download TRIM for this parcel: [Download PDF](#)

### Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
Mar 8, 2021	4570 / 1698	0137	WD	Florida Tax Lien Assets IV LLC	\$560,000
Jul 26, 2018	4162 / 0302	0311	TD	Floridian Properties and Investments LLC	\$1,062,900
Jul 25, 2011	3336 / 0357	0001	WD	Prime Homes At Portofino Land	\$339,000
Jul 19, 2011	3313 / 0015	0311	WD	Portofino Landings CDD	\$0
Jan 30, 2006	3254 / 1039	XX03	SP	Portofino Landings CDD	\$0
Jan 30, 2006	2483 / 1661	XX02	SP	2890 Inc	\$5,100,000

### Building Information (1 of 1)

Finished Area: 0 SF  
 Gross Sketched Area: 0 SF

Exterior Data

View:	Roof Cover:	Roof Structure:
Building Type:	Year Built: N/A	Frame:
Grade:	Effective Year: N/A	Primary Wall:
Story Height:	No. Units: 0	Secondary Wall:

Interior Data

Bedrooms: 0	Electric:	Primary Int Wall:
Full Baths: 0	Heat Type:	Avg Hgt/Floor: 0
Half Baths: 0	Heat Fuel:	Primary Floors:
A/C %: 0%	Heated %: N/A%	Sprinkled %: 0%



Image  
or  
Sketch  
unavailable  
for display

**Sketch Area Legend**

Sub Area	Description	Area	Fin. Area	Perimeter
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**Special Features and Yard Items**

Type	Qty	Units	Year Blt
ASP2 LOW	1	72444	2005

**Current Year Values**

Current Values Breakdown


Building:	\$256,700
Land:	\$287,100
Just/Market:	\$543,800
Ag Credit:	\$0
Save Our Homes or 10% Cap:	\$0
Assessed:	\$543,800
Exemption(s):	\$0
Taxable:	\$543,800

Current Year Exemption Value Breakdown

Current Year Special Assessment Breakdown

Start Year	AssessCode	Units	Description	Amount
2012	0041	28.9	Fort Pierce Stormwater Charge	\$1,994.10
Start Year	AssessCode	Units	Description	Amount
2013	0054	2.19	North St. Lucie Water Management District	\$45.44

Start Year	AssessCode	Units	Description	Amount
2018	4060	9940.83	Portofino Landings CDD	\$9,940.83

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office .

### Historical Values

Year	Just/Market	Assessed	Exemptions	Taxable
2022	\$543,800	\$543,800	\$0	\$543,800
2021	\$352,700	\$352,700	\$0	\$352,700
2020	\$353,500	\$353,500	\$0	\$353,500
2019	\$354,300	\$354,300	\$0	\$354,300

### Permits

Number	Issue Date	Description	Amount	Fee
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Notice: This does not necessarily represent all the permits for this property.  
 Click the following link to check for additional permit data in Fort Pierce

All information is believed to be correct at this time, but is subject to change and is provided without any warranty.  
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### Property Identification

Site Address: OKEECHOBEE RD  
 Sec/Town/Range: 19/35S/40E  
 Parcel ID: 2419-122-0001-050-9  
 Jurisdiction: Fort Pierce

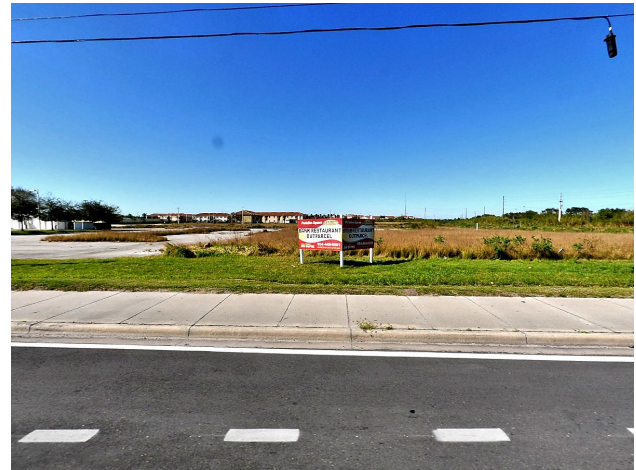
Use Type: 1000  
 Account #: 176141  
 Map ID: 24/19N  
 Zoning: General Co

### Ownership

ST LUCIE KINGS LLC  
 101 Puglieses WAY Fl 2  
 Delray Beach, FL 33444

### Legal Description

19 35 40 FROM NE COR OF SEC RUN N 01 20 45 E ALG E LI OF SEC 357.81 FT TO N RD R/W LI OF OKEE RD, TH S 52 29 55 W ALG NLY R/W LI 2102.04 FT TO POB; TH S 55 45 47 W 210.34 FT, TH S 52 29 33 W 71.28, TH N 37 30 27 W 73.78', TH N 01 22 19 W 267.30', TO CURVE CONC NE, R OF 85 FT, TH SELY ALG ARC 108.08 FT, TH N 78 53 23 E 69.88 FT TO WLY R/W OF CANAL # 29 AND CURVE CONC NE, R OF 443.73 FT, TH SELY ALG ARC 35.44 FT, TH S 47 59 38 W 11.05 FT, TH S 44 53 31 E 203.42 FT TO POB (1.31 AC)



### Current Values

Just/Market Value: \$300,100  
 Assessed Value: \$300,100  
 Exemptions: \$0  
 Taxable Value: \$300,100

### Total Areas

Finished/Under Air (SF): 0  
 Gross Sketched Area (SF): 0  
 Land Size (acres): 1.31  
 Land Size (SF): 57,064

**Property taxes are subject to change upon change of ownership.**

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

## Building Design Wind Speed

Occupancy Category	I	II	III
Speed	140	150	160

Sources/links:

Taxes for this parcel: SLC Tax Collector's Office

Download TRIM for this parcel: Download PDF

### Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
Mar 8, 2021	4570 / 1698	0137	WD	Florida Tax Lien Assets IV LLC	\$560,000
Jul 26, 2018	4162 / 0302	0311	TD	Floridian Properties and Investments LLC	\$1,062,900
Jul 25, 2011	3336 / 0361	0001	WD	Prime Homes At Portofino Land	\$218,000
Jul 19, 2011	3313 / 0015	0311	WD	Portofino Landings CDD	\$0

### Building Information (1 of 1)

Finished Area: 0 SF

Gross Sketched Area: 0 SF

#### Exterior Data

View:	Roof Cover:	Roof Structure:
Building Type:	Year Built: N/A	Frame:
Grade:	Effective Year: N/A	Primary Wall:

Story Height:

No. Units: 0

Secondary Wall:

Interior Data

Bedrooms: 0

Electric:

Primary Int Wall:

Full Baths: 0

Heat Type:

Avg Hgt/Floor: 0

Half Baths: 0

Heat Fuel:

Primary Floors:

A/C %: 0%

Heated %: N/A%

Sprinkled %: 0%



Image or Sketch unavailable for display

Sketch Area Legend

Sub Area	Description	Area	Fin. Area	Perimeter
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Special Features and Yard Items

Type	Qty	Units	Year Blt
ASP2 LOW	1	25731	2005

Current Year Values

Current Values Breakdown

Building:	\$91,200
Land:	\$208,900
Just/Market:	\$300,100
Ag Credit:	\$0
Save Our Homes or 10% Cap:	\$0
Assessed:	\$300,100
Exemption(s):	\$0
Taxable:	\$300,100

Current Year Exemption Value Breakdown

Current Year Special Assessment Breakdown

Start Year	AssessCode	Units	Description	Amount
2012	0041	10.2	Fort Pierce Stormwater Charge	\$703.80
Start Year	AssessCode	Units	Description	Amount
2013	0054	1.31001	North St. Lucie Water Management District	\$27.18

Start Year	AssessCode	Units	Description	Amount
2018	4060	5946.34	Portofino Landings CDD	\$5,946.34

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office [📄](#).

### Historical Values

Year	Just/Market	Assessed	Exemptions	Taxable
2022	\$300,100	\$300,100	\$0	\$300,100
2021	\$198,300	\$198,300	\$0	\$198,300
2020	\$198,600	\$198,600	\$0	\$198,600
2019	\$198,900	\$198,900	\$0	\$198,900

### Permits

Number	Issue Date	Description	Amount	Fee
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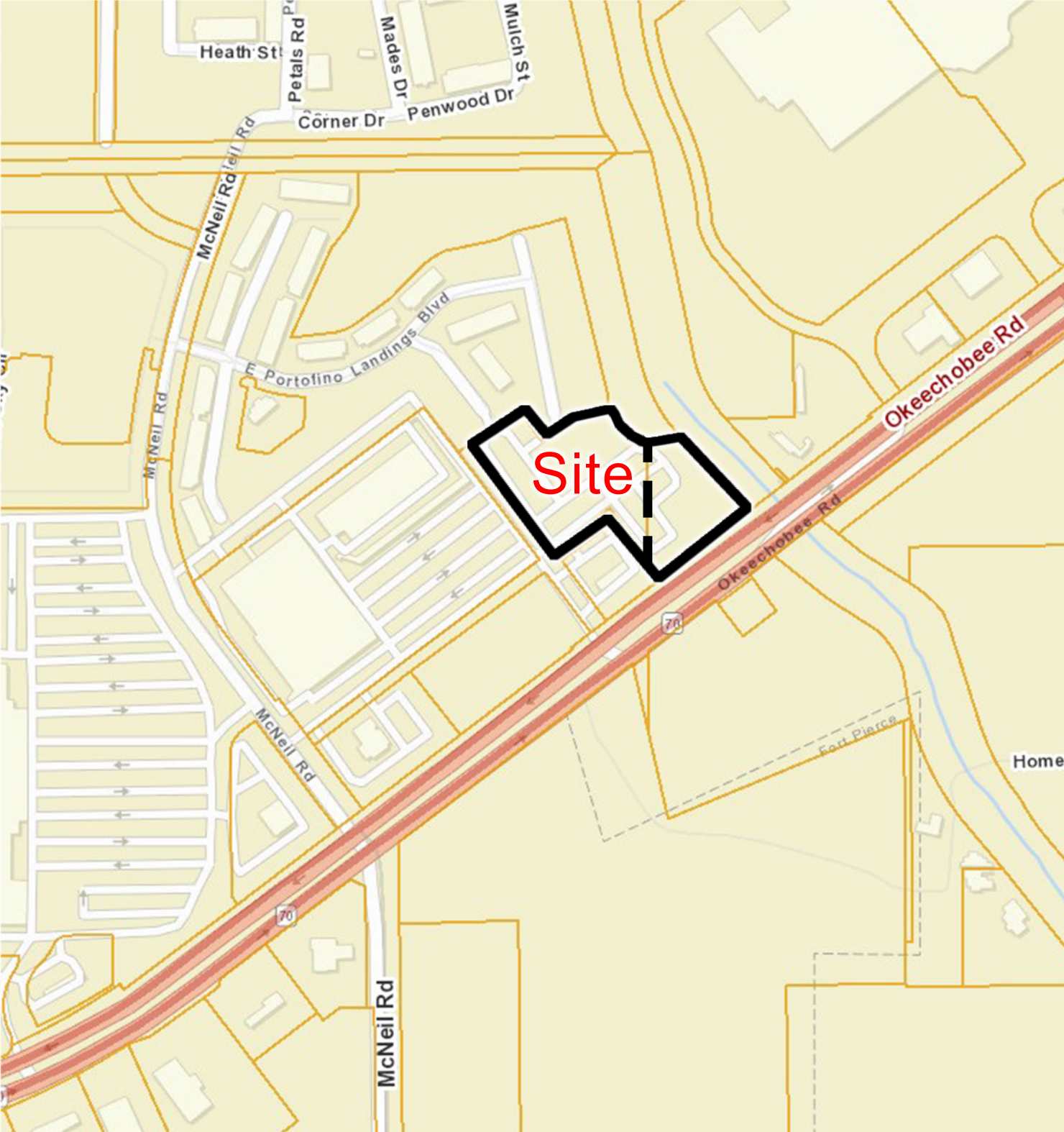
Notice: This does not necessarily represent all the permits for this property.  
 Click the following link to check for additional permit data in Fort Pierce

All information is believed to be correct at this time, but is subject to change and is provided without any warranty.  
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# 4646 Okeechobee Road

Location Map

Fort Pierce, FL



Prepared by:



North

Date:03/25/22

Project #: 2022-07



**GENERAL NOTES**

- ALL BUILDING, PARKING AND ACCESS AREAS SHALL DOCUMENT COMPLIANCE WITH THE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- PROPOSED LIGHT FIXTURES SHALL BE SHIELDED TO MINIMIZE EXCESS GLARE TO ADJACENT RESIDENTIAL AREAS AND ROADWAYS IN ACCORDANCE WITH SECTION 3.208 OF ARTICLE 3.
- MAXIMUM INCIDENTAL LIGHT SPILLAGE ONTO NEARBY RESIDENTIAL PARCELS SHALL BE 0.2 FOOT CANDLES AS MEASURED 8 FEET ABOVE AVERAGE GRADE AT THE PROPERTY LINE OF THE RECEIVING PARCEL.
- ALL SIGNS SHALL BE IN ACCORDANCE WITH AHJ APPLICABLE CODES AND ORDINANCES IN EFFECT AT THE TIME OF PERMIT APPLICATION.

**OWNER**  
 ALEJANDRO ZURITA  
 LAND AMERICA 225 LLC  
 101 PUGLIESES WAY  
 DELRAY BEACH, FL 33444  
 PHONE: (561) 441-4203  
 AZURITA@PUGLIESECO.COM

**SURVEYOR**  
 RICHARD BARNES, PSM  
 BOWMAN  
 301 SE OCEAN DRIVE, SUITE 301  
 STUART, FL 34994  
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 RBARNES@BOWMAN.COM

**CIVIL ENGINEER**  
 LISA LEONARD, PE  
 BOWMAN  
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 LLEONARD@BOWMAN.COM

**LANDSCAPE ARCHITECT**  
 ERIKA BEITLER  
 HJA DESIGN STUDIO  
 50 EAST OCEAN BLVD., SUITE 101  
 STUART, FL 34994  
 PHONE: (772) 678-7200  
 ERIKA@HJASTUDIO.COM

**SITE DATA**

TOTAL SITE AREA	155,352 SF	3.57 AC	(100%)
IMPERVIOUS AREA	97,818 SF	2.25 AC	(63%)
BUILDING FOOTPRINT	33,112 SF	0.76 AC	(21%)
PAVEMENT/CONCRETE	64,706 SF	1.49 AC	(42%)
PERVIOUS AREA	57,534 SF	1.32 AC	(37%)
OPEN SPACE	38,045 SF	0.87 AC	(24%)
STORMWATER AREA	19,489 SF	0.45 AC	(13%)

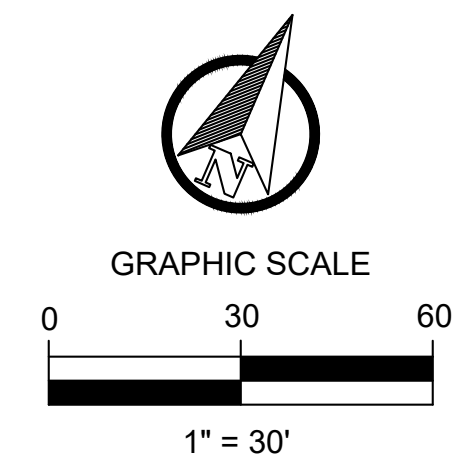
CURRENT ZONING: GENERAL COMMERCIAL (GC)  
 FUTURE LAND USE: COMMERCIAL GENERAL (C-3)  
 EXISTING USE: VACANT COMMERCIAL  
 PROPOSED USE: FLEX SPACE (WHOLE SALES TRADE / WAREHOUSE & FREIGHT)

**PARKING CALCULATIONS**

SIZE, USE & RATE	REQUIRED	PROVIDED
39,450 SF WAREHOUSE @ 1 SPACE PER 600 SF	65	63
ACCESSIBLE SPACES @ 51-75 TOTAL SPACES	3	5
LOADING SPACE REQUIREMENT 32' X 14.50'	2	27

**NOTE:**  
 ALL ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD).

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY BOWMAN CONSULTING GROUP, LTD. SHALL BE WITHOUT LIABILITY TO BOWMAN CONSULTING GROUP, LTD.



PLAN STATUS		
DATE	DESCRIPTION	
	MU DESIGN	GMB CHKD
	GC DRAWN	
	SCALE: 1" = 30'	
	JOB No. 010595	
	DATE: DECEMBER 2022	
	FILE No. FT PIERCE SSS	
	<b>C1</b>	
	SHEET	

# Landscape Data

## Landscape Strip Adjacent to Public R.O.W

Ten (10) feet wide minimum landscape Strip.  
One (1) tree for each three hundred (300) square feet of required landscaped area.

Portofino Landings (West): 523 LF x 10 = 5,230 sf

Trees Required: ( 5,230 sf / 300 ) = 17 Trees  
Trees Provided: = 17 Trees

Okeechobee Road (South): 282 LF x 10 = 2,820 sf

Trees Required: ( 2,820 sf / 300 ) = 9 Trees  
Trees Provided: = 9 Trees

## Landscape Strip Adjacent to Other Property

Ten (10) feet wide minimum landscape Strip.  
One (1) tree for each three hundred (200) square feet of required landscaped area.  
Fence/Vegetated screening required where VUA abuts residentially zoned property.

Portofino Landings (North): 682 LF x 10 = 6,820 sf

Trees Required: ( 6,820 sf / 300 ) = 23 Trees  
Trees Provided: = 23 Trees  
(17 Trees + 18 Palms (3:1))

Five Mile Creek (East): 250 LF x 10 = 2,500 sf

Trees Required: ( 2,500 sf / 300 ) = 8 Trees  
Trees Provided: = 8 Trees

Sea Lion Real Estate (West): 221 LF x 10 = 2,210 sf

Trees Required: ( 2,210 sf / 300 ) = 7 Trees  
Trees Provided: = 9 Trees (Existing)

## Interior Vehicular Use Areas

Vehicular use areas that are four thousand (4,000) or more square feet in size shall have at least one square foot of interior landscaping for each fifteen (15) square feet of vehicular use area. One tree for each one hundred (100) square feet of required landscaped area. Each separate landscaped area shall be curbed and contain a minimum of one hundred (100) square feet of area and shall be at least ten (10) feet wide and ten (10) feet deep exclusive of curbing in all locations.

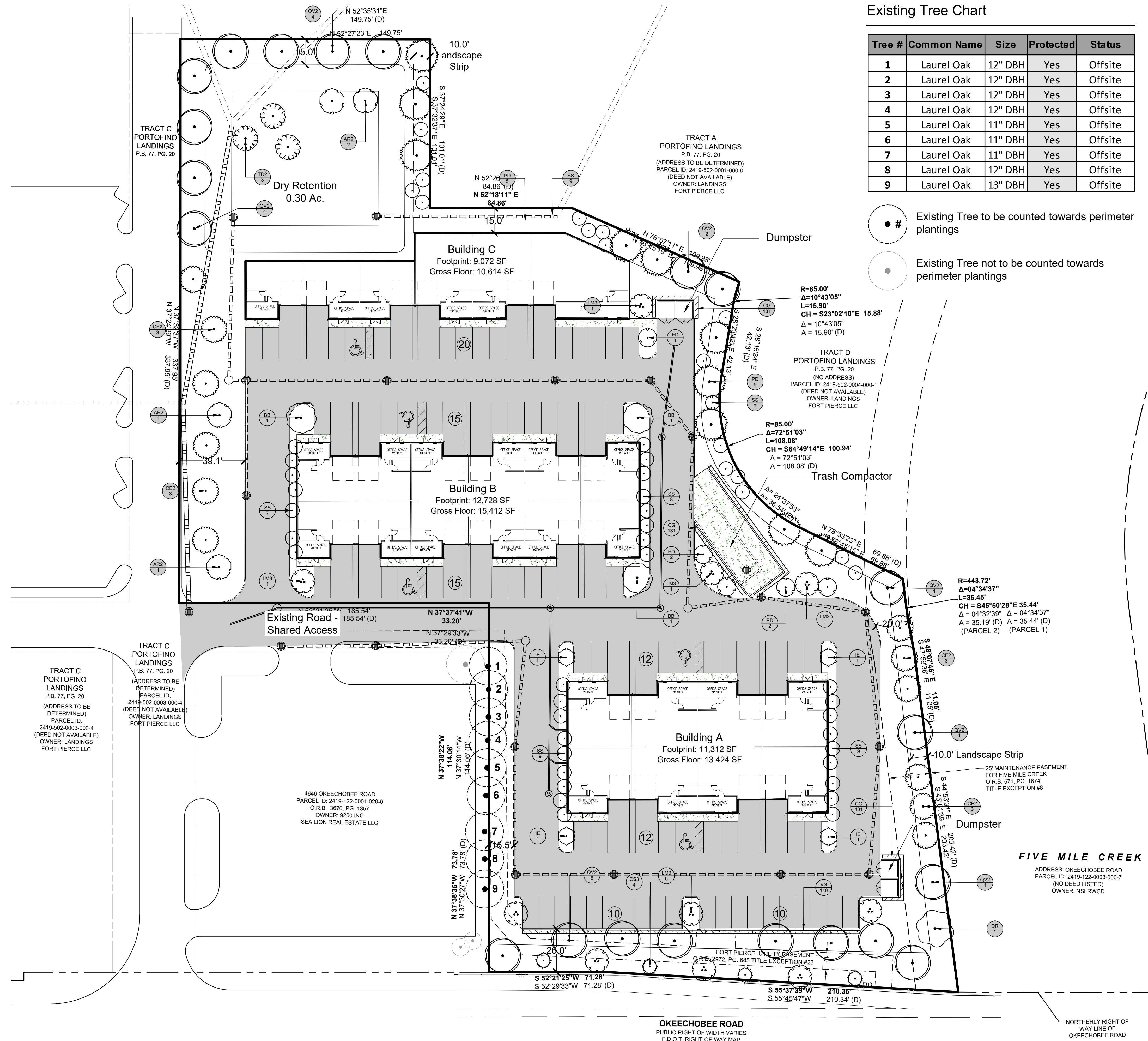
Vehicular Use Area: 53,424 sf

Landscape Area Required: ( 53,424 sf / 15 sf ) = 3,562 sf  
Landscape Area Provided: = 16,890 sf

Trees Required: ( 3,562 LF / 100 ) = 36 Trees  
Trees Provided: = 36 Trees  
(25 Trees + 33 Palms (3:1))

## Fort Pierce Landscape Notes

- Plant materials shall meet or exceed the standards for Florida No. 1 as set out in the most current edition of "Grades and Standards for Nursery Plants Part 1 and Part 2," State of Florida, Department of Agriculture, Tallahassee.
- All trees required by this article (excluding palms that are exempt from the grades and standards) shall have a Florida No. 1 or better "Grades and Standards" certification tag attached at time of delivery through final inspection.
- Grass sod shall be clean and free of weeds, pests and diseases.
- Planting soil for all landscaped areas shall consist of existing soil mixed with fifty (50) per cent recycled top soil. Such planting soil shall be generally indigenous to the locale, free of debris, roots, clay, stones, plants or other foreign materials. The planting soil shall extend to an appropriate depth so as to eliminate any hindrance to planting operations or detriment to good plant growth. Compliance with these soil requirements shall be verified as part of the final inspection.
- Landscaped areas shall be covered in their entirety with shrubs, ground cover, turf, or three (3) inches of bulk organic mulch or other suitable material which permits percolation and is approved by the department.
- Do not place any soil or mulch over the root ball. If stakes or guide wires are used to support a tree, the wire must be covered with protective material where it is in contact with the tree and the stakes or guide wires must be removed after one year.
- All landscaping must be protected from vehicular and pedestrian traffic by the installation of curbing, wheel stops or other protective devices along the perimeter of any landscaping which adjoins vehicular use areas or sidewalks. These protective devices shall have a minimum height of six (6) inches above grade.
- No parking, display of vehicles or outside storage or display of merchandise is permitted in or over any required landscape area, nor are vehicles permitted to overhang any required landscaped area.
- To minimize traffic hazards at street or driveway intersections, all landscaping installations must provide unobstructed views.
- No irrigation system placed on city right-of-way will be the responsibility of the property owner who shall relocate, replace or repair the system as appropriate in the event it is damaged due to permitted construction in the right-of-way.
- Prior to issuance of certificate of occupancy, final landscape installation shall be certified as complete and in conformance to the approved landscape plan by submission of a certification letter by a landscape architect.
- Property owners shall maintain all required landscaping so that it continues to present a healthy, neat and orderly appearance free of refuse and debris.
- Vegetation required shall be replaced with equivalent vegetation if it is not living. All trees for which credit is awarded and which subsequently die shall be replaced by the same number of living trees.
- Maintenance shall include sufficient weeding, watering, fertilizing, pruning, mowing, edging, mulching and other horticultural practices so as to assure that the landscaping continues to maintain a healthy, neat and orderly appearance.
- No person shall, directly or indirectly, cut down, substantially alter, destroy, remove, relocate, damage or authorize any such act involving a protected tree situated on land within the city, without first obtaining a tree removal permit.
- Removal, trimming, pruning or alteration of any tree or vegetation in an existing utility easement or public right-of-way, provided such work is done by or under the control of the operating utility company and said company has received all necessary licenses or permits to provide utility service within the easement.
- This plan has been designed to meet the tree planting requirements contained within the FPL document entitled "Plant the Right Tree in the Right Place". For existing or proposed utilities, no tree shall be planted where it could, at a mature height conflict with overhead power lines.
  - Large trees (height at maturity of more than 30') shall be planted no closer than a horizontal distance of 30' from the nearest overhead power line.
  - Medium height trees (height at maturity between 20' and 30') shall be offset at least 20' and small trees (height at maturity of less than 20') require no offset.
  - No tree shrubs, hedges or vines shall be planted within 5' of an existing or proposed utility pole, guy wire or pad-mounted transformer.
  - Palms should be planted at a distance equal to or greater than the average frond length plus two (2) feet from power lines.



## Existing Tree Chart

Tree #	Common Name	Size	Protected	Status
1	Laurel Oak	12" DBH	Yes	Offsite
2	Laurel Oak	12" DBH	Yes	Offsite
3	Laurel Oak	12" DBH	Yes	Offsite
4	Laurel Oak	12" DBH	Yes	Offsite
5	Laurel Oak	11" DBH	Yes	Offsite
6	Laurel Oak	11" DBH	Yes	Offsite
7	Laurel Oak	11" DBH	Yes	Offsite
8	Laurel Oak	12" DBH	Yes	Offsite
9	Laurel Oak	13" DBH	Yes	Offsite

- # Existing Tree to be counted towards perimeter plantings
- Existing Tree not to be counted towards perimeter plantings



50 E. Ocean Blvd., Suite 101  
Stuart, Florida 34994

T 772.678.7200  
F 772.678.7201

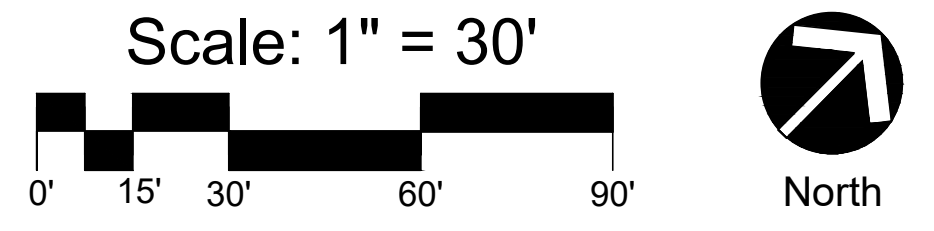
www.hjdesignstudio.com  
LA 0000905

**4646 Okeechobee Rd. Commercial**  
 City of Fort Pierce  
**Landscape Plan**  
 Florida

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REGISTERED LANDSCAPE ARCHITECT  
 MICHAEL POLSKO  
 LA0000905  
 STATE OF FLORIDA

Job No. 2022-07  
 Drawn By EB  
 Checked By MH  
 Approved By MH  
 Submittal Dates 02-01-23  
 Revision Dates



LP-1

# Landscape Notes / Specifications

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO ALL THE REQUIREMENTS STATED UNDER DIVISION 1 - GENERAL REQUIREMENTS AND CONDITIONS AS WELL AS THE SPECIFIC CRITERIA OUTLINED HEREIN AND ON THE LANDSCAPE DRAWINGS INCLUDING ADDENDA AS MAY BE ISSUED BY THE OWNER.

2. THE SCOPE OF WORK FOR THE LANDSCAPE CONTRACTOR FOR THIS PROJECT SHALL INCLUDE THE PROVISION OF ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO COMPLETE ALL TASKS ASSOCIATED WITH THE LANDSCAPE AND IRRIGATION INSTALLATION AS SHOWN ON THE DRAWINGS OR NOTED HEREIN. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE GENERAL CONTRACTOR REASONABLE ACCESS TO POWER AND POTABLE WATER SOURCES AS REQUIRED.

3. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING ALL WORK INCLUDING DELIVERY, STORAGE AND DISPOSAL OF THEIR MATERIALS IS PERFORMED IN COMPLIANCE WITH APPLICABLE JURISDICTIONAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS ASSOCIATED WITH THE WORK.

4. THE LANDSCAPE CONTRACTOR SHALL ASSIGN A QUALIFIED PROJECT MANAGER AND FIELD SUPERVISOR TO WORK DIRECTLY WITH THE LANDSCAPE ARCHITECT AND SUPERVISE THE WORK AT ALL TIMES THROUGH FINAL OWNER ACCEPTANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT PROJECT MANAGER HAS A COMPLETE, CURRENT SET OF DOCUMENTS ON-SITE AT ALL TIMES.

5. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH EXISTING SITE CONDITIONS AND NOTIFYING THE OWNER IN WRITING OF ANY CONCERNS PRIOR TO COMMENCEMENT OF WORK. THIS EVALUATION SHOULD INCLUDE, BUT IS NOT LIMITED TO, VERIFICATION OF SURFACE AND SUBSURFACE UTILITIES, GRADES, DIMENSIONS AND SOIL CONDITIONS.

6. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH PROJECT PLANS AND SCOPES OF WORK RELATED TO ASSOCIATED TRADES TO BE PERFORMED BY OTHERS IN ORDER TO IDENTIFY KEY COORDINATION ITEMS INCLUDING, BUT NOT LIMITED TO, SITE ACCESS, MATERIAL STORAGE, SCHEDULING AND SEQUENCING OF WORK. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL SITE ISSUES WITH THE GENERAL CONTRACTOR.

7. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT WORK, MATERIALS AND EQUIPMENT FROM DAMAGE DUE TO THEIR ACTIVITIES. THE LANDSCAPE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSON OR PROPERTY THAT MAY OCCUR AS A RESULT OF THE EXECUTION OF THEIR WORK.

8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE AREA, MATERIALS AND EQUIPMENT WITHIN THE LIMITS OF WORK IN A SAFE, NEAT AND ORDERLY MANNER. EXCESS MATERIALS AND DEBRIS ARE TO BE REMOVED FROM THE WORK AREA NO LESS THAN WEEKLY OR AS DIRECTED BY THE GENERAL CONTRACTOR.

9. THE LANDSCAPE CONTRACTOR MUST TAKE PRECAUTIONS TO PROTECT ALL EXISTING PARKING LOTS, CURBS AND UTILITIES FROM DAMAGE. THIS APPLIES NOT ONLY TO THE AREA WITHIN THE LIMITS OF WORK BUT ALSO ALONG ANY LOCAL ACCESS ROADS.

10. THE LANDSCAPE CONTRACTOR SHALL PROVIDE ALL NECESSARY SAFETY MEASURES DURING CONSTRUCTION OPERATIONS TO PROTECT THE PUBLIC ACCORDING TO ALL APPLICABLE CODES AND RECOGNIZE LOCAL PRACTICES.

11. THE LANDSCAPE CONTRACTOR SHALL COORDINATE WITH GENERAL CONTRACTOR TO ENSURE THAT TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES (SILT FENCE, ORANGE GEO FENCE AND/OR OTHER MEASURES) ARE INSTALLED PRIOR TO BEGINNING EXCAVATION.

12. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL PLANT MATERIALS AND THE PLANTING AREAS UNTIL FINAL ACCEPTANCE BY THE OWNER.

13. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE AGRONOMIC EVALUATION OF SOIL CHARACTERISTICS. EVALUATION MUST INCLUDE CHEMICAL ANALYSIS BY A QUALIFIED AGRICULTURAL SOILS TESTING LABORATORY (CERTIFIED IN THE STATE OF FLORIDA). SOIL SAMPLE SHOULD BE TAKEN IMMEDIATELY FOLLOWING COMPLETION OF ROUGH GRADING ACTIVITIES AND SHOULD BE COLLECTED AT A RATE ON ONE SAMPLE FOR EACH 5,000 SQUARE FEET OF IMPACTED AREA, OR A TOTAL OF SIX, WHICHEVER IS GREATER. AT A MINIMUM THE CHEMICAL ANALYSIS OF THE SOIL SHOULD CONSIDER THE FOLLOWING:

- A. PERCENTAGE OF ORGANIC MATTER
- B. SALINITY
- C. PH
- D. LIME CONTENT
- E. MINERAL NUTRIENTS INCLUDING CONCENTRATIONS OF NITROGEN, PHOSPHOROUS, POTASSIUM, CALCIUM, MAGNESIUM, IRON, ZINC, MANGANESE, COPPER, SULFUR, AND MOLYBDENUM.
- F. POTENTIAL HAZARDS OR IMPEDIMENTS FOR PLANT GROWTH INCLUDING SALINITY, SODIUM CHLORIDE, BORON, IMPAIRED SOIL STRUCTURE OR DRAINAGE.
- F. SAND FRACTION ANALYSIS AS A PERCENTAGE PASSING THROUGH 1', AND NO. 200 SIEVES
- H. PERCOLATION RATE IN INCHES PER HOUR.

THE ANALYSIS SHOULD ALSO INCLUDE SPECIFIC RECOMMENDATIONS TO THE OWNER FOR ANY AMENDMENTS AND BACKFILL MIXES FOR OPTIMAL PLANT GROWTH TO BE MADE TO THE SOILS PRIOR TO PLANTING. THE CONTRACTOR SHOULD INCLUDE THE COST FOR SOIL AMENDMENTS. THE CONTRACTOR IS TO PROVIDE THE OWNER WITH COPIES OF ALL SOIL TESTING RESULTS. SUBMITTAL DOCUMENTATION MUST ALSO CONTAIN A GRAPHIC SITE PLAN DEPICTING LOCATIONS FROM WHICH EACH SAMPLE WAS DRAWN.

14. THE LANDSCAPE CONTRACTORS BASE BID FOR SOIL PREPARATION IS TO INCLUDE THE FOLLOWING WITH THE UNDERSTANDING THAT MIX DESIGN MAY NEED TO BE ADJUSTED BASED ON OUTCOME OF AGRONOMIC TESTING:

- A. TREES: 100% SITE SOIL WITH 5LB. TRIPLE SUPER PHOSPHATE PER CU. YD.
- B. SHRUBS: 100% SITE SOIL WITH OSMOOTE CONTROLLER RELEASE FERTILIZER (14-14-14) PER MANUFACTURER'S RECOMMENDATION.
- C. THE SOILS TEST RESULTS TAKE PRECEDENCE OVER THE ITEMS NOTED IN A AND B ABOVE.

15. SHOULD OWNER AND LANDSCAPE CONTRACTOR AGREE WITH THE RECOMMENDATION OF THE TESTING AGENCY TO FURTHER AMEND THE SOILS THE CONTRACTOR'S CONTRACT WILL BE ADJUSTED ACCORDINGLY. THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT SAMPLES OF AMENDED SOILS TO BE RE-TESTED TO CONFIRM COMPLIANCE WITH RECOMMENDATIONS FOLLOWING THE SAME PROCEDURES AS THE ORIGINAL TESTS.

16. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE QUANTITIES OF EACH PLANT MATERIAL REQUIRED TO ADEQUATELY COVER THE AREA SHOWN ON THE LANDSCAPE PLANS AT THE PRESCRIBED SPACING AND NOTIFYING THE OWNER IMMEDIATELY OF ANY PERCEIVED DISCREPANCIES FOR RESOLUTION. THE PLANT SPACING CONTROLS BED LAYOUT, NOT THE PLAN QUANTITY FOR THAT PARTICULAR BED.

## FINE GRADING NOTES

1. FINISHED GRADE IN PLANTING AREAS SHALL BE HELD 3" BELOW THE FINISHED ELEVATIONS SHOWN FOR ALL ADJACENT HARDCAPE SURFACES.
2. ALL FILL REQUIRED SHALL BE CLEAN, WELL DRAINING SOIL. FILL SHALL BE CLEAN AND FREE OF ALL MATERIAL HARMFUL TO PLANT GROWTH AND DELETERIOUS MATERIAL SUCH AS ROCKS (LARGER THAN 2" DIA.), COMPACTED CLAY, ROADBED OR SURFACING MATERIAL, MUCK, ROOTS AND BRANCHES, ETC.
3. THE LANDSCAPE CONTRACTOR IS TO ENSURE THAT THEIR WORK DOES NOT ADVERSELY IMPACT ESTABLISHED OR PROJECTED DRAINAGE PATTERNS.

## INSTALLATION NOTES

1. PLANT AND LANDSCAPE MATERIALS SHALL CONFORM TO THE STANDARDS FOR FLORIDA NO. 1, AS GIVEN IN THE GRADES AND STANDARDS FOR NURSERY PLANTS, PARTS I & II, AS PREPARED BY THE FLORIDA DEPT. OF AGRICULTURE AND CONSUMER SERVICES.
2. A 3" THICK LAYER OF ORGANIC NON-COMPRESS MULCH SHALL BE APPLIED TO ALL LANDSCAPE AND PLANTING AREAS.
3. ALL EXOTIC VEGETATION TO BE REMOVED FROM THE SITE PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
4. THIS PLAN HAS BEEN DESIGNED TO MEET WITH THE TREE PLANTING REQUIREMENTS CONTAINED WITHIN THE FPL DOCUMENT ENTITLED "PLANT THE RIGHT TREE IN THE RIGHT PLACE."

5. FOR EXISTING OR PROPOSED UTILITIES, NO TREE SHALL BE PLANTED WHERE IT COULD, AT MATURE HEIGHT, CONFLICT WITH OVERHEAD POWER LINES. LARGE TREES (HEIGHT AT MATURITY OF MORE THAN THIRTY (30) FEET) SHALL BE PLANTED NO CLOSER THAN A HORIZONTAL DISTANCE OF THIRTY (30) FEET FROM THE NEAREST OVERHEAD POWER LINE. MEDIUM HEIGHT TREE (HEIGHT AT MATURITY BETWEEN TWENTY (20) AND THIRTY (30) FEET) SHALL BE OFFSET AT LEAST TWENTY (20) FEET AND SMALL TREES (HEIGHT AT MATURITY OF LESS THAN (20) FEET) REQUIRE NO OFFSET.
6. NO TREE, SHRUBS, HEDGES OR VINES SHALL BE PLANTED WITHIN FIVE (5) FEET OF ANY EXISTING OR PROPOSED UTILITY POLE, GUY WIRE OR PAD MOUNTED TRANSFORMER. PALMS SHOULD BE PLANTED AT A DISTANCE EQUAL TO OR GREATER THAN THE AVERAGE FRONT LENGTH PLUS TWO (2) FEET FROM POWER LINES.
7. WETLAND BUFFERS, BUFFER PROTECTION AREAS, AND UPLAND PRESERVE AREAS SHALL BE PROTECTED FROM EXCAVATION, CONSTRUCTION, AND OTHER BUILDING MAINTENANCE ACTIVITIES.

8. TREES TO REMAIN DURING CONSTRUCTION SHALL BE PROTECTED AND BARRICADED. SEE TREE PROTECTION NOTE.
9. FERTILIZER SHALL BE COMPLETE WITH APPROXIMATELY THE FOLLOWING RATIO: 3N-13P-3K (+MG FOR PALMS ONE Y).
10. TREES AND PALMS ARE TO BE PLANTED IN ACCORDANCE TO LANDSCAPE PLAN. GOOD HORTICULTURAL PRACTICES MUST BE OBSERVED.
11. TREES AND PALMS ARE TO BE PLANTED IN THE RIGHT-OF-WAY (ROW) AT A MINIMUM OF FOUR (4) FEET FROM BACK OF CURB AT LOCATIONS IDENTIFIED ON THE LANDSCAPE PLAN. AWARDED BIDDER SHALL STAKE AND/OR PAINT PLANTING LOCATIONS IN THE FIELD. UPON APPROVAL BY THE CUSTOMER, THESE AREAS SHALL BE SPRAYED WITH AN APPROVED HERBICIDE AND MAINTAINED WEED-FREE FOR THE DURATION OF THE PROJECT.
12. EXCAVATE PLANTING HOLES WITH VERTICAL SIDES. DO NOT DISTURB SOIL AT BOTTOM OF PLANTING HOLES. MAKE EXCAVATIONS TWICE AS WIDE AS THE ROOT BALL DIAMETER AND SLIGHTLY LESS (TWO INCHES) THAN THE DISTANCE BETWEEN THE TOP-MOST ROOT IN THE ROOT BALL AND THE BOTTOM OF THE ROOT BALL. ALTERNATIVELY, EXCAVATE THE HOLE SLIGHTLY WIDER THAN THE ROOT BALL AND PLACE THE ROOT BALL IN THE HOLE SO THE TOP-MOST ROOT IS EVEN WITH OR SLIGHTLY (2 INCHES) HIGHER THAN THE SURROUNDING LANDSCAPE GRADE. THEN, LOOSEN THE SURROUNDING SOIL OUT TO A DIAMETER EQUAL TO TWICE THE DIAMETER OF THE ROOT BALL. FINALLY, PUSH THE LOOSENED SOIL TOWARD THE ROOT BALL TO FILL THE HOLE.

13. REMOVE ALL WOOD, PLASTIC, OR GRO-BAGS FROM THE ROOT BALL. SET PLANTS IN CENTER OF HOLES WITH THE TOP-MOST ROOT IN THE ROOT BALL AT THE SAME HEIGHT OR SLIGHTLY (2 INCHES) HIGHER THAN FINISHED LANDSCAPE GRADES AND PLUMB THE TREE SO THE TRUNK IS VERTICAL. BACKFILL FIELD SOIL AROUND SIDES OF ROOT MASS AND WORK EACH LAYER TO SETTLE AND ELIMINATE VOIDS AND AIR POCKETS. MATERIAL MUST BE WATERED IN AS PLANTED. PROVIDE APPROXIMATELY 5 GALLONS OF WATER PER INCH OF TRUNK CALIPER TO THE ROOT BALL ONCE ALL BACKFILL IS FILLED IN AROUND THE ROOT BALL.
14. PROVIDE A 2.3" HIGH SOIL BERM AROUND THE EDGE OF ROOT BALL TO FORM A SHALLOW SAUCER TO COLLECT WATER. THE WATERING SAUCER, REGARDLESS OF HOLE SIZE, IS TO BE AT EDGE OF ROOT BALL. ALTERNATIVELY, COBRA EDGING IS TO BE INSTALLED AT THE EDGE OF THE ROOT BALL.

IF WATER FILLS THE BOTTOM OF THE PLANTING HOLE, ADD SOIL TO THE BOTTOM OF THE HOLE UNTIL THE WATER IS COVERED. PACK THIS ADDED SOIL FIRMLY. PLACE THE ROOT BALL ON THIS PACKED SOIL. SOIL NOT IN WATER. NO PART OF THE ROOT BALL SHALL BE PLACED IN WATER. IF NECESSARY, BRING IN SOIL SIMILAR TO SITE SOIL TO COVER THE SIDES OF THE ROOT BALL, CREATING A RAISED MOUND. THE DIAMETER OF THE MOUND (I.E. THE OUTER DIAMETER) CREATED SHALL BE AT LEAST SIX TIMES THE DIAMETER OF THE ROOT BALL.

WHEN PLANTING ON A SLOPE, THE TOP-MOST MAIN ROOT IN THE ROOT BALL SHALL BE EVEN WITH THE GRADE ON THE UPHILL SIDE OF THE TREE. SITE SOIL WILL NEED TO BE ADDED ON THE DOWNHILL SIDE TO COVER THE SIDES OF THE ROOT BALL AND TO CONSTRUCT THE SOIL BERM TO HOLD WATER. THE AMOUNT OF SOIL ADDED ON THE DOWNHILL SIDE WILL DEPEND ON THE SLOPE AND SIZE OF THE ROOT BALL.

15. BROADCAST OVER THE ROOT BALL AND BACKFILL SOIL, AT THE RECOMMENDED RATE, A BROAD SPECTRUM PRE-EMERGENT HERBICIDE PRIOR TO MULCHING.

16. APPLY A CONTROLLED-RELEASE FERTILIZER TO THE SOIL SURFACE UNDER THE MULCH AT 1LB. NITROGEN PER 1000 FT2. PRIOR TO MULCHING. NO OTHER AMENDMENTS ARE NECESSARY.

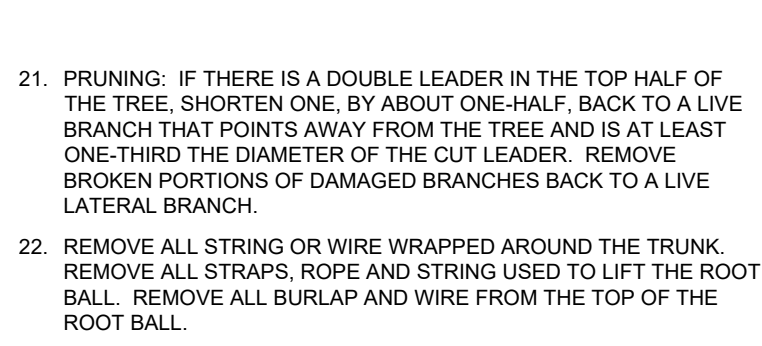
17. ON TREES UP TO 4" CALIPER, APPLY A THREE (3) -INCH LAYER OF MULCH TO AN EIGHT (8) -FOOT DIAMETER CIRCULAR AREA AROUND THE TRUNK. ON LARGER CALIPER TREES, APPLY A TWO (2) -FOOT DIAMETER MULCH AREA FOR EACH INCH OF TRUNK CALIPER. NO MULCH SHALL BE APPLIED TO THE INNER HALF OF THE ROOT BALL SURFACE.

18. TREES AND PALMS ARE TO BE SECURED BY AWARDED BIDDER AS SHOWN IN EXHIBITS A-C. (NOTE: STAKING IS OPTIONAL FOR MORE PROTECTED LOCATIONS).

19. A REPRESENTATIVE WILL INSPECT TREES AND PALMS DURING INSTALLATION. MATERIAL THAT IS IN SHOCK OR HAS BEEN DAMAGED DURING INSTALLATION SHALL BE REPLACED BY AWARDED BIDDER WITHIN FIVE (5) WORKING DAYS FROM NOTIFICATION.

20. REMOVE FROM WORK SITE ALL EXCESS MATERIALS (E.G., SOIL, DEBRIS AND EQUIPMENT) DAILY THROUGH DURATION OF PROJECT. DAMAGES RESULTING FROM INSTALLATION SHALL BE REPAIRED BY AWARDED BIDDER.

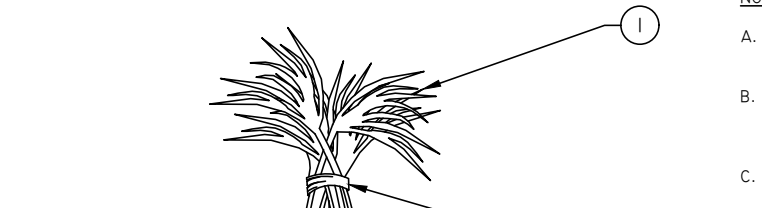
21. PRUNING: IF THERE IS A DOUBLE LEADER IN THE TOP HALF OF THE TREE, SHORTEN ONE, BY ABOUT ONE-HALF, BACK TO A LIVE BRANCH THAT POINTS AWAY FROM THE TREE AND IS AT LEAST ONE-THIRD THE DIAMETER OF THE CUT LEADER. REMOVE BROKEN PORTIONS OF DAMAGED BRANCHES BACK TO A LIVE LATERAL BRANCH.



## ACCEPTANCE NOTES

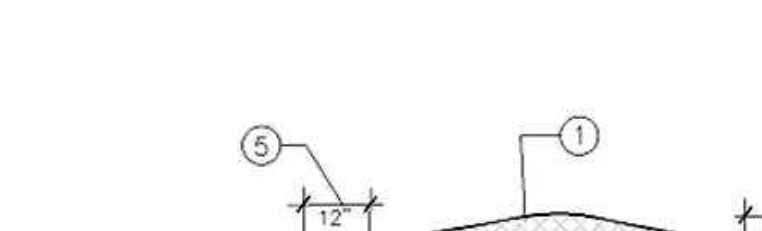
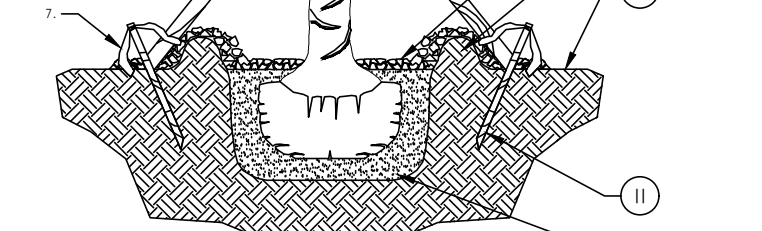
1. INSPECTION TO DETERMINE ACCEPTANCE OF PLANTED AREAS WILL BE MADE BY THE CUSTOMER REPRESENTATIVE UPON AWARDED BIDDER'S REQUEST. PROVIDE NOTIFICATION A MINIMUM OF FIVE (5) WORKING DAYS BEFORE REQUESTED INSPECTION DATE.
2. PLANTED AREAS WILL BE ACCEPTED PROVIDED ALL REQUIREMENTS, INCLUDING MAINTENANCE, HAVE BEEN SATISFIED AND PLANT MATERIALS ARE IN A HEALTHY, VIGOROUS CONDITION.
3. THE CUSTOMER REPRESENTATIVE WILL PREPARE A "PUNCH LIST" OF THOSE ITEMS, WHICH MUST BE CORRECTED BEFORE RE-INSPECTION FOR FINAL ACCEPTANCE. THE REPRESENTATIVE WILL DETERMINE AN APPROPRIATE TIME PERIOD FOR CORRECTIONS. AWARDED BIDDER MUST REQUEST RE-INSPECTION TWO (2) WORKING DAYS IN ADVANCE.

## SHRUB/GROUNDCOVER PLANTING



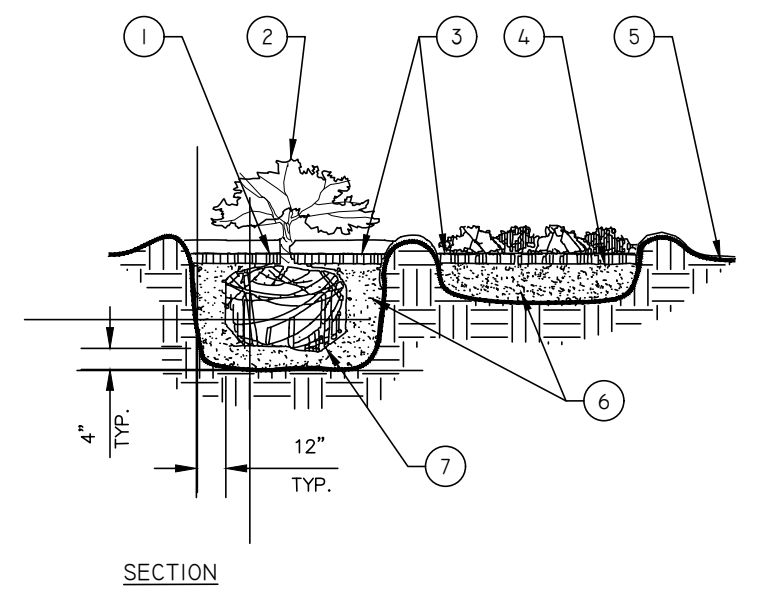
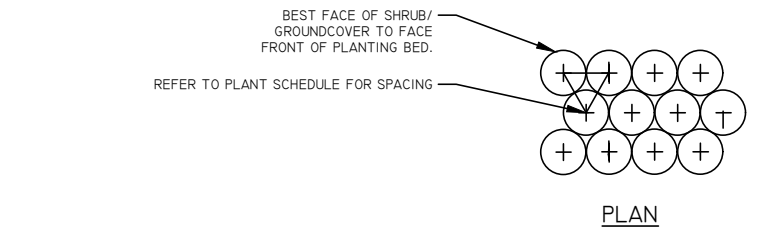
- NOTES:
- A. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.
  - B. REMOVE BURLAP, WIRE AND STRAPS (ANYTHING THAT COULD GIRDLE TREE OR RESTRICT ROOT GROWTH) ON UPPER 1/3 OF ROOTBALL.
  - C. SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.

1. MINIMUM OF NINE (9) GOOD PALM FRONDS
2. PRUNE AND TIE FRONDS WITH HEMP TWINE. CABBAGE PALMS TO BE MURRICANE CUT.
3. 5 LAYERS OF BURLAP TO PROTECT TRUNK.
4. FIVE 2" X 4" X 18" WOOD BATTENS.
5. SECURE BATTENS WITH 2-3/4" CARBON STEEL BANDS TO HOLD BATTENS IN PLACE. NO NAILS SHALL BE DRIVEN INTO PALM. HEIGHT OF BATTENS SHALL BE LOCATED IN RELATION TO THE HEIGHT OF THE PALM FOR ADEQUATE BRACING.
6. ATTACH 3/2" X 4" X 8" (DRILL AND NAIL IF NECESSARY) TO BATTENS AND 2" X 4" STAKES. FLAG AT MIDPOINT AND AT BASE.
7. PROVIDE FLAGGING
8. 3" MULCH
9. BERM SOIL TO HOLD WATER
10. FINISH GRADE
11. 2" X 4" X 24" (MIN.) P.T. WOOD STAKES (TYP.) NAIL TO SUPPORT POLES.
12. PREPARED PLANTING SOIL MIX AS SPECIFIED. COMPACT BENEATH ROOT BALL.

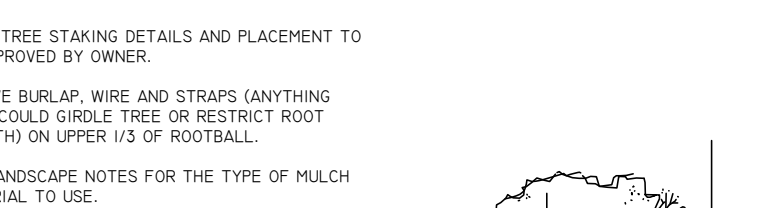


1. CROWN MEDIANS @ 4:1 SLOPES (OR AS SPECIFIED ON THE LANDSCAPE PLANS).
2. EXCAVATE A CONTINUOUS 24" DEEP PIT (FROM TOP OF CURB) FOR ENTIRE LENGTH AND WIDTH OF ISLAND & BACKFILL WITH APPROVED PLANTING SOIL. BOTTOM OF PIT TO BE NATIVE SOIL.
3. PROVIDE CONTINUOUS 'DEEP ROOT' / ROOT BARRIER. (WHEN SPECIFIED).
4. PROTECT AND RETAIN ALL CURBS AND BASE.
5. PROVIDE 12" DEAD ZONE @ CURB EDGES.
6. PROVIDE 2" FROM TOP OF CURB TO FINISH GRADE TO ALLOW FOR MULCH OR SOD. PROVIDE 4" MINIMUM TOPSOIL ABOVE COMPACTED SUBGRADE FOR SOD (TYP.).
7. COMPACTED SUBGRADE TO REMAIN FOR STRUCTURAL SUPPORT OF CURB SYSTEM (TYP.).

## TYPICAL LANDSCAPE MEDIAN

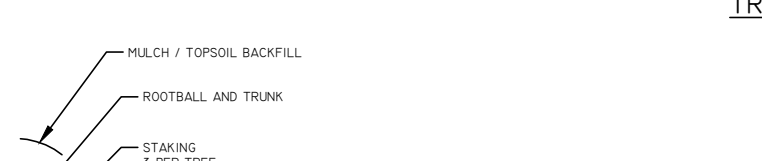


## SHRUB/GROUNDCOVER PLANTING



1. PLACE RUBBER HOSE ON TIES AT ALL POINTS OF CONTACT WITH TREE
2. PLACE FLEXIBLE TIES OF SUITABLE STRENGTH FOR TREE. SPACED EQUAL DISTANCE AROUND TREE ABOVE FIRST LATERAL
3. PLACE SAFETY FLAGS ON TIES
4. REMOVE BURLAP FROM TOP 1/3 OF ROOTBALL IF APPLICABLE
5. 3" MULCH
6. FORM SAUCER WITH 4"-6" CONTINUOUS EARTHEN RIM AROUND PLANTING HOLE
7. 2 1/2" X 2 1/2" WOOD STAKE DRIVEN 18" BELOW GRADE
8. PLANTING PIT DEPTH SHALL EQUAL DEPTH OF ROOT BALL PLUS 6" FOR SETTING LAYER OF COMPACTED BACKFILL. PLANTING PIT WIDTH SHALL BE TWICE THE DIAMETER OF ROOT BALL
9. BACKFILL AROUND ROOTBALL AS SPECIFIED
10. PLANT TOP OF ROOTBALL EVEN WITH OR SLIGHTLY HIGHER THAN FINISHED GRADE
11. PLACE ROOTBALL AT BOTTOM OF PLANTING PIT ON 6" LAYER OF COMPACTED BACKFILL

## TREE PLANTING DETAIL



## TREE SCHEDULE

TREES	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	NATIVE
	AR2	4	Florida Flame Red Maple / <i>Acer rubrum</i> 'Florida Flame'	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
	BB	3	Shady Lady Black Olive / <i>Bucida buceras</i> 'Shady Lady'	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	No
	CE2	12	Green Buttonwood / <i>Conocarpus erectus</i>	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
	CS3	4	Silver Buttonwood / <i>Conocarpus erectus sericeus</i>	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
	DR	1	Royal Poinciana / <i>Delonix regia</i>	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	No
	ED	5	Japanese Blueberry Tree / <i>Elaeocarpus decipiens</i> TM	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	No
	IE	4	Eagleston Holly / <i>Ilex x attenuata</i> 'Eagleston'	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
	LM3	10	Lavender Crape Myrtle / <i>Lagerstroemia</i> x 'Muskogee'	2.5" DBH, 12' Ht. x 5' Spr. Min., Multi-trunk, 5' ct.	No
	PD	10	Slash Pine / <i>Pinus elliottii</i> densa	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
	QV2	21	Southern Live Oak / <i>Quercus virginiana</i>	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
	TD2	3	Bald Cypress / <i>Taxodium distichum</i>	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
PALMS	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	NATIVE
	SS	51	Cabbage Palmetto / <i>Sabal palmetto</i>	30% @ 12' ct., 35% @ 15' ct., 35% @ 18' ct., Stagger Hts. within groups	Yes

SHRUB SCHEDULE	SHRUB AREAS	QTY	COMMON / BOTANICAL NAME	SIZE	SPACING
	CG	131	Small Leaf Clusia / <i>Clusia guttifera</i>	3 gal., 24" Ht. min., Full	24" o.c.
	VS	106	Sandankwa Viburnum / <i>Viburnum suspensum</i>	3 gal., 24" Ht. min., Full	24" o.c.

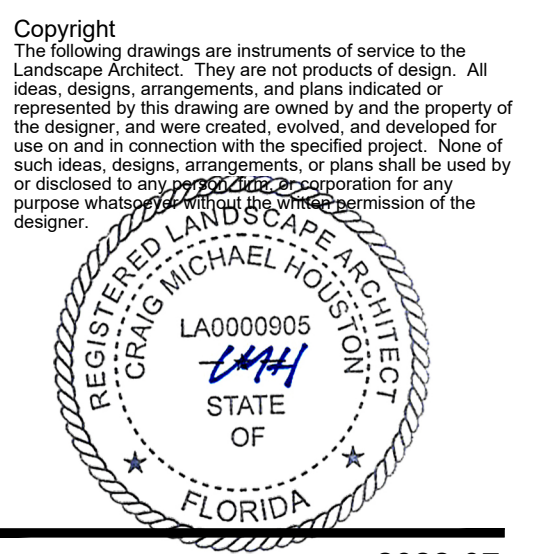


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 City of Fort Pierce  
 Landscape Specifications  
 Florida



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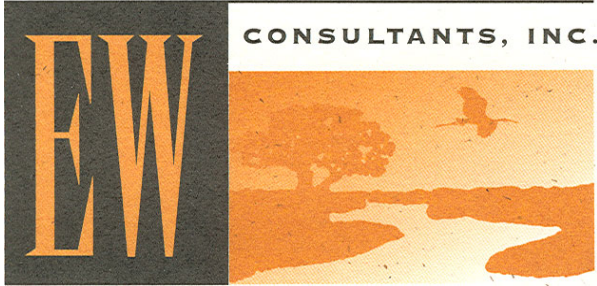
Job No. 2022-07  
 Drawn By EB  
 Checked By MH  
 Approved By MH  
 Submittal Dates 02-01-23

Revision Dates \_\_\_\_\_

LP-2

EW Consultants, Inc.

Natural Resource Management, Wetland, and Environmental Permitting Services



# **4646 OKEECHOBEE ROAD**

## **ENVIRONMENTAL ASSESSMENT**

Prepared For:

**LAND AMERICA**

Prepared By:

**EW CONSULTANTS, INC.**

December 2022

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## **I. INTRODUCTION –**

This Environmental Assessment Report details the land covers present on a piece of improved land located at 4646 Okeechobee Road in the City of Fort Pierce, Florida. In particular, this report focuses on the potential listed species which may be found within the open grassed areas of the subject site.

The 3.57-acre project site is located north of and adjacent to Okeechobee Road, just east of McNeill Road, and south of the Portofino Landings project (see Figure 1 in Appendix A, Location Map). It lies within Section 19, Township 35S, Range 40E, as shown on Figure 2 in Appendix A, USGS Quadrangle Map.

## **II. GENERAL PROPERTY DESCRIPTION –**

Based on a December 2022 site visit conducted by staff from EW Consultants, Inc., the majority of the property is improved (paved parking lot) with no vertical construction. There are open areas of mowed grass generally located along the eastern portions of the property, as well as within the parking lot islands. The northwestern portion of the site includes a small portion of the Portofino Landings project (parking spaces and a dumpster).

The project site is bounded by Okeechobee Road to the south, commercial development to the west (a Shell gas station and a Tractor Supply store), the Portofino Landings multi-family residential project to the north, and Fivemile Creek (a North St. Lucie River Water Control District canal) to the east. Figure 3 in Appendix A is a 2021 aerial photo of the subject property and immediate surroundings.

## **III. SOIL TYPES –**

A Soils Report produced by the United States Department of Agriculture/Natural Resources Conservation Service is provided in Appendix B of this report. Any natural soil types are likely heavily altered due to the improvement of the project site from past development activities.

## **IV. EXISTING LAND COVER TYPES –**

The land cover types on the subject property have been classified in accordance with the Florida Land Use & Cover Classifications System developed by the Florida Department of Transportation. The site has one land cover type: #192 - Inactive Lands with Street Patterns but without Structures. This land cover consists of the paved remnant parking lot on-site as well as the grassed areas to the east. Grasses consist mainly of ruderal species such as cogon grass, Bahia, Bermuda, smutgrass, guinea grass, limpo grass, Spanish needles, ragweed, rattlebox, bushy broomsedge, among others. Along the north property line is a black chain-link fence with Brazilian pepper and green buttonwood bushes at its base. There are no intact native wetland or upland habitat on-site.

Figure 4 in Appendix A provides an aerial view and nomenclature for the land cover type described.

## **V. SPECIMEN NATIVE TREES**

There are no mature native tree species on the subject site; therefore there are no native trees which meet the City's protection standards. Planted laurel oaks exists adjacent to the project site in the southwest portion of the property. These trees are part of the landscaping for the adjacent Shell gas station.

## **VI. LISTED SPECIES DISCUSSION**

During the field assessment of the property in December of 2022, observations were made for the presence or potential presence of listed fauna. Although the site is largely developed/paved, the open grassed areas with sandy soils provide potential foraging and burrowing habitat for state threatened gopher tortoise.

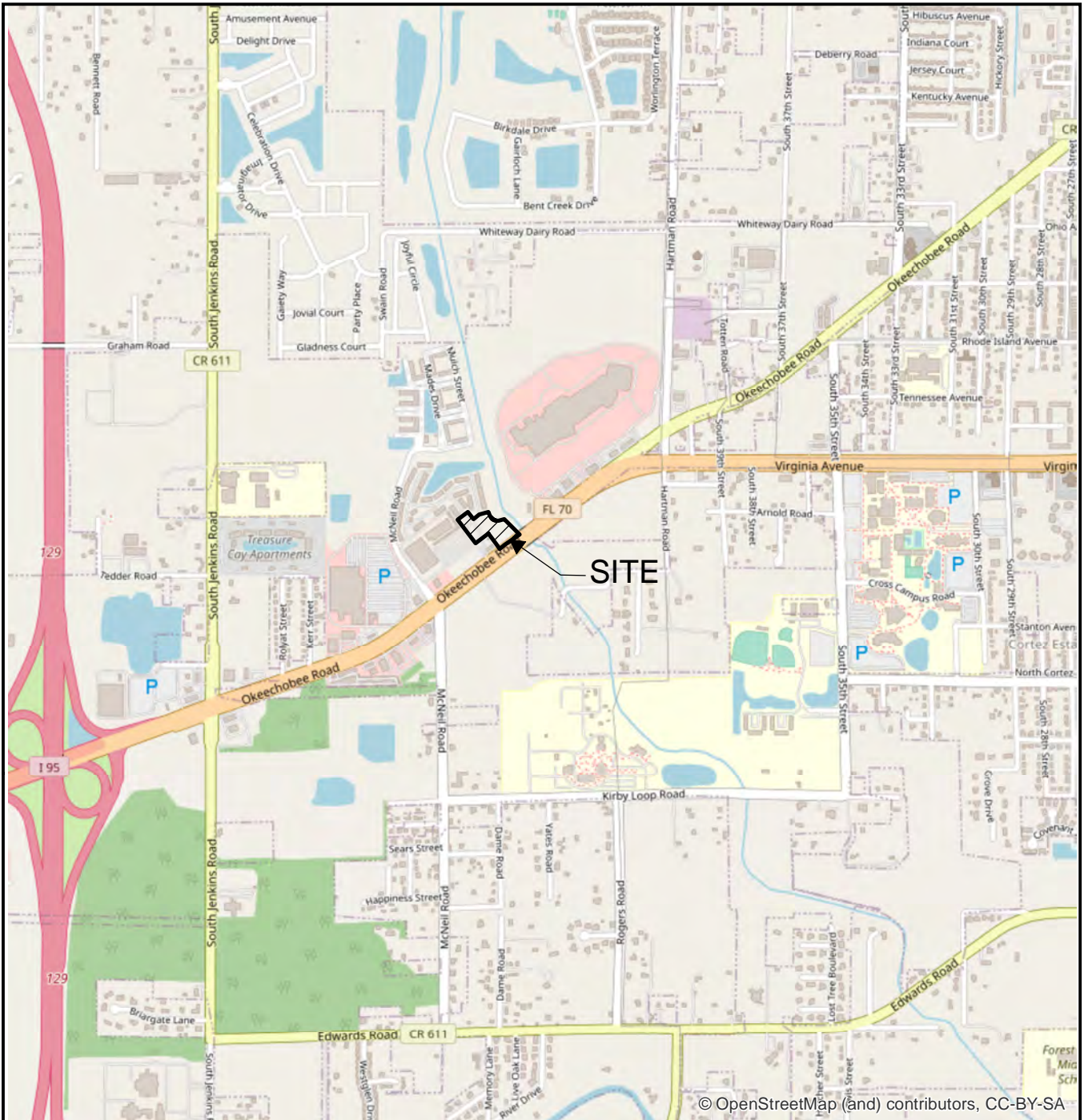
No potentially occupied burrows of this species were observed during the recent site visit. This survey is valid for 90 days and must be updated prior to land alteration activities.

Non-listed species observed on and near the site included a snipe flushed from the high grass, black vultures in-flight, and an osprey observed perched on top of a powerline pole on the east side of Fivemile Creek northeast of the project site. No other wildlife species were observed on-site at the time of the field reconnaissance in December 2022.


## **APPENDIX A**

### Maps and Figures:

- Figure 1: Location Map
- Figure 2: USGS Quadrangle Map
- Figure 3: 2021 Aerial Photograph
- Figure 4: Land Cover/FLUCCS Map



**LEGEND**

 - SITE (3.6+/- AC)

0 2,000 Feet



**4646 OKEECHOBEE ROAD  
LOCATION**



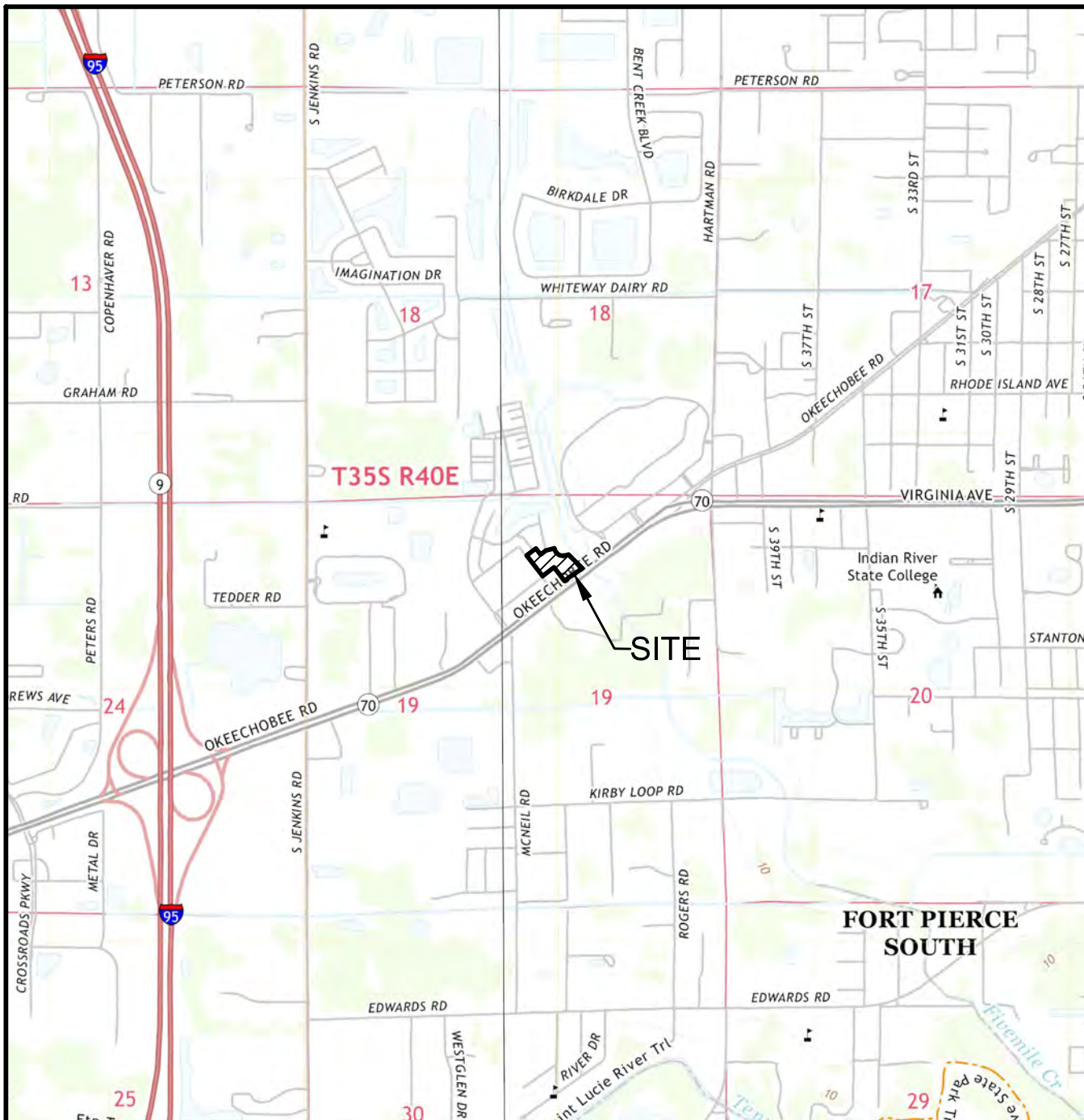
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**DEC 2022**

FIGURE

**1**



USGS QUAD MAP "FORT PIERCE", SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, CITY OF FORT PIERCE, ST LUCIE COUNTY, FLORIDA LATITUDE 27°25'24.50" LONGITUDE -80d22'22.78"

**LEGEND**

 - SITE (3.6± AC)



**4646 OKEECHOBEE ROAD**

**QUAD MAP**

4646 Okeechobee Rd.dwg QUAD



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**DEC 2022**

FIGURE

**2**



FDOT AERIALS DATED 2021

0 200  
SCALE IN FEET



# 4646 OKEECHOBEE ROAD

## AERIAL

4646 Okeechobee Rd.dwg AERIAL



**EW CONSULTANTS, INC.**  
1000 SE MONTEREY COMMONS BLVD., SUITE 208  
STUART, FL 34996  
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**DEC 2022**

FIGURE

**3**



FDOT AERIALS DATED 2021

**LEGEND**  
192 - INACTIVE LAND WITH STREET PATTERNS BUT  
WITHOUT STRUCTURES (3.6± AC)

0 100  
SCALE IN FEET



## 4646 OKEECHOBEE ROAD FLUCCS



**EW CONSULTANTS, INC.**  
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772-287-8771 FAX 772-287-2988  
WWW.EWCONSULTANTS.COM

DEC 2022  
**FIGURE**  
**4**

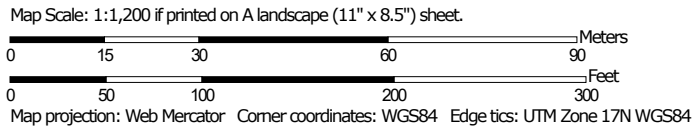
## **APPENDIX B**

### NRCS Custom Soils Report

Soil Map—St. Lucie County, Florida  
(4646 OKEECHOBEE ROAD)




Soil Map may not be valid at this scale.





## MAP LEGEND

### Area of Interest (AOI)

 Area of Interest (AOI)

### Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

### Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

### Transportation



Rails



Interstate Highways



US Routes



Major Roads

### Background



Aerial Photography

## MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

**Warning:** Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: St. Lucie County, Florida

Survey Area Data: Version 16, Sep 2, 2022

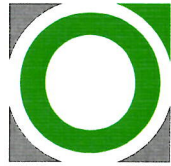
Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jan 18, 2022—Jan 30, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
38	Riviera fine sand, 0 to 2 percent slopes	3.5	98.8%
55	Winder loamy sand	0.0	1.2%
<b>Totals for Area of Interest</b>		<b>3.6</b>	<b>100.0%</b>



**O'ROURKE**  
ENGINEERING & PLANNING

**TRAFFIC ANALYSIS**

**FOR**

**4646 Okeechobee**

**Prepared for:**


**Mr. Alejandro Zurita  
Land America, LLC  
C/O Pugliese Company  
Pugliese Corporate Center  
101 Pugliese's Way, Suite 200  
Delray Beach, FL 33444**

**Prepared by:**

**O'Rourke Engineering & Planning  
22 SE Seminole Street  
Stuart, Florida 34994  
772-781-7918**

**December 16, 2022**

**SR22121.0**

<p>Prepared by: O'Rourke Engineering &amp; Planning Certificate of Authorization: #26869 22 SE Seminole Street Stuart, Florida 34994 772-781-7918</p>	<p>Professional Engineer</p>  <p>Susan E. O'Rourke, P.E. Date signed and sealed: 12/16/2022 License #: 42684</p>
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**O'ROURKE**  
ENGINEERING & PLANNING

December 16, 2022

Mr. Alejandro Zurita  
Land America, LLC  
C/O Pugliese Company  
Pugliese Corporate Center  
101 Pugliese's Way, Suite 200  
Delray Beach, FL 33444

**Re: 4646 Okeechobee**

Dear Mr. Zurita:

O'Rourke Engineering & Planning has completed the analysis of the proposed warehouse development located west of McNeil Road and north of Okeechobee Road in Ft. Pierce, St. Lucie County, Florida. The steps in the analysis and the ensuing results are presented herein.

It has been a pleasure working with you. If you have any questions or comments, please give me a call.

Respectfully submitted,

**O'Rourke Engineering & Planning**

Susan E. O'Rourke, P.E.  
Registered Civil Engineer

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PROJECT TRAFFIC	4
PROJECT DISTRIBUTION/ ASSIGNMENT/ IMPACT	4
OTHER PROJECT TRAFFIC/ GROWTH RATE	8
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## **INTRODUCTION**

O'Rourke Engineering & Planning was retained to prepare a traffic analysis for the proposed warehouse development located west of McNeil Road and north of Okeechobee Road in Ft. Pierce, St. Lucie County, Florida. The purpose of this report is to determine the project's impact on the surrounding roadway system.

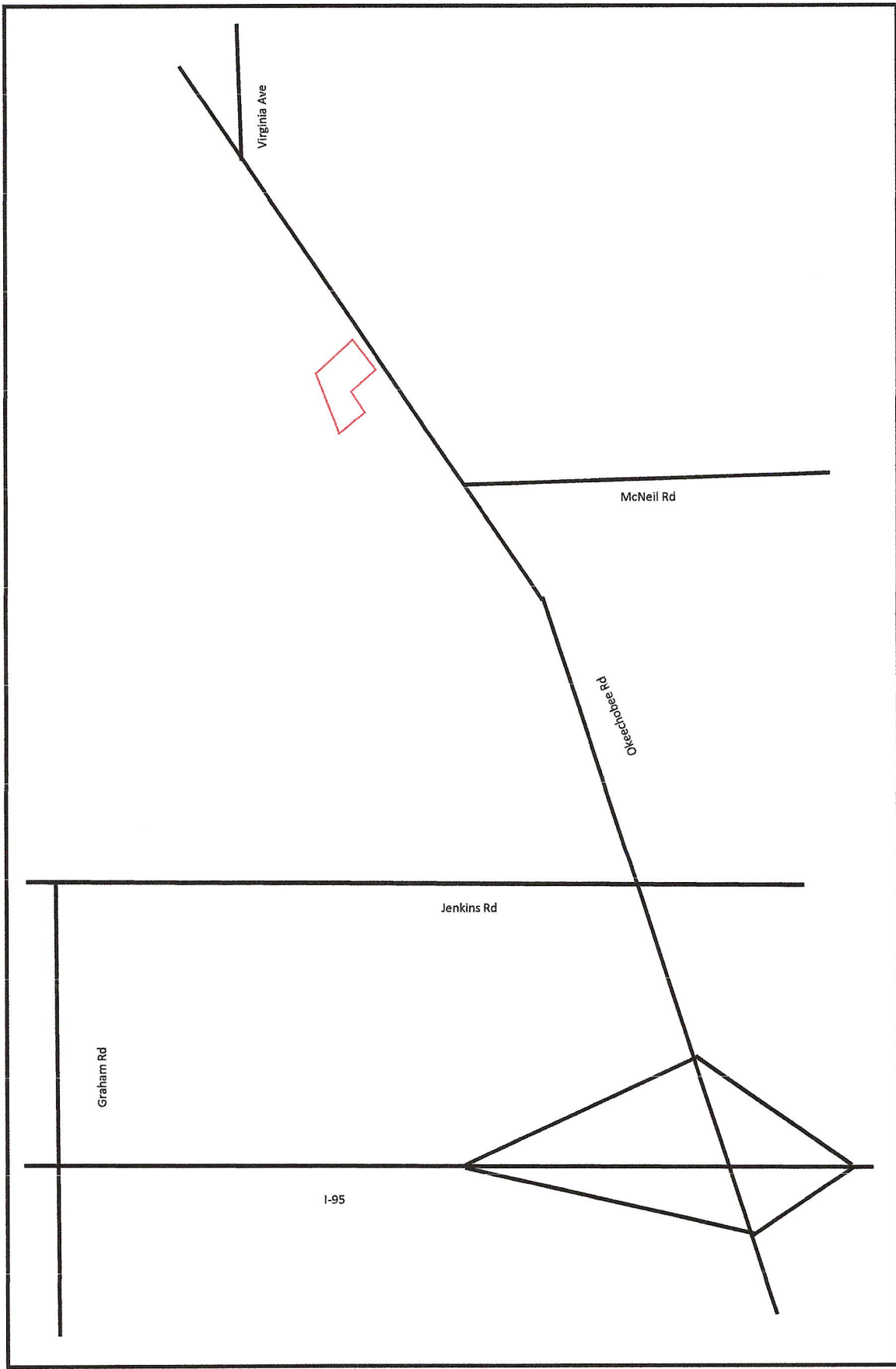
In order to make the determination that the project complies with County Concurrency Guidelines, the following analytical steps were taken:

- summary of the project
- summary of existing lane geometries
- summary of the existing traffic volumes
- assessment of project traffic
- determination of impact area
- summary of buildout cumulative traffic volumes
- summary of levels of service with the project traffic added

Each of these steps is outlined herein.


## **PROJECT DESCRIPTION**

The proposed development located west of McNeil Road and north of Okeechobee Road in Ft. Pierce, St. Lucie County, Florida, will consist of a 39,450 square foot Warehouse on approximately 3.57 acres. The site is currently vacant. The project location is shown in **Figure 1**.



**Figure 1**  
Project Location  
4646 Okeechobee

**Legend**

 = Project Location



22 SE Seminole Street  
Stuart, FL, 34994

Date:



NTS

Job Number:

## **EXISTING CONDITIONS**

The study area is defined as the roadways upon which the project has an impact of 3% of the level of service capacity of the roadway and 1% on the adjacent link. Once the project traffic was assigned, the study area was refined based on the impact percentages.

The study area roadways were defined in terms of existing lane geometrics and existing traffic volumes.

### **Existing Lane Geometrics and Traffic Control**

The study area was reviewed to determine the existing number and type of lanes, and the traffic control along the roadway. Each roadway is described below.

- Okeechobee Road is a multi-lane divided arterial roadway with an east/west alignment. It is four-lane divided west of Kings Highway and east of Virginia Avenue. It is six-lane divided from Rolyat Street to Virginia Avenue and from Kings Highway to I-95. There is an eight-lane divided section from east of I-95 to Rolyat Street. There are numerous extended turn lanes and freeway auxiliary lanes.

### **Existing Traffic Volumes/ Service Volume**

Traffic volumes were obtained from the St. Lucie County TPO Traffic Counts and Level of Service Report 2022 and FDOT. The count data along with the number of lanes and the associated peak hour/peak direction service volumes will be summarized in the upcoming sections of the report. The service volumes were developed based on the functional classification contained in the County Comprehensive Plan and the St. Lucie County Traffic Counts and Level of Service Report. The St. Lucie 2022 Level of Service Report was used to establish capacity. This document is included in **Appendix B**.

## **PROJECT TRAFFIC**

To estimate future traffic generated by the development, the ITE Trip Generation, 11th Edition trip rates were applied to Warehouse. These calculations are shown in **Tables 1a, 1b, and 1c**.

Trip generation reference material are included in the latter half of Appendix B.

As shown, the project will generate 101 net new daily trips. There will be 7 net new AM peak hour trips with 5 entering the project and 2 trips exiting the project. There will be 7 net new PM peak hour trips with 2 trips entering the project and 5 trips exiting the project.

## **PROJECT DISTRIBUTION/ ASSIGNMENT/IMPACT**

The project traffic was distributed by general geographic direction and then assigned to the roadway network.

**Distribution/ Assignment** – This general distribution led to an assignment of trips based on the anticipated ultimate destinations and the roadway paths used to reach those destinations. The project assignment is shown in **Figure 2**.

**Impact** – **Tables 2a and 2b** summarize the project impact as a percent of service volume capacity. Significant is defined as 1% or more on an adjacent link and 3% or more on all other links. As shown, the project is insignificant on the links.

**Table 1 - Trip Generation**

**Table 1a: Daily**

Land Use	ITE Code	Intensity	Units	Trip Generation Rate	Directional Split		Net New Trips		
					In	Out	In	Out	Total
Warehousing	150	39,450	Sft	$T = 1.58(X) + 38.29$	50%	50%	51	50	101
<b>TOTAL</b>		<b>39,450</b>					<b>51</b>	<b>50</b>	<b>101</b>

Source: ITE 11<sup>th</sup> Edition Trip Generation Rates

**Table 1b: AM Peak Hour**

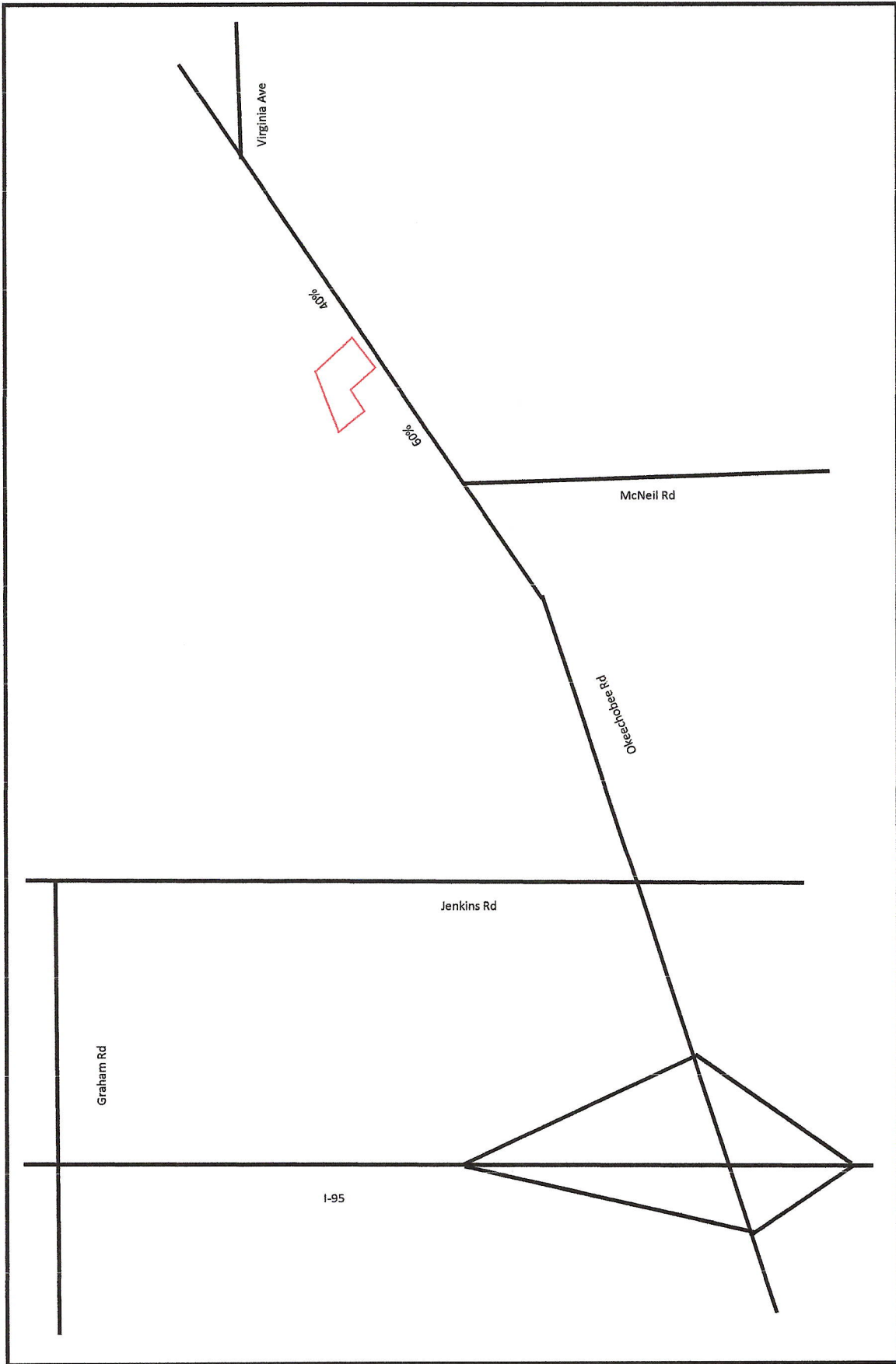
Land Use	ITE Code	Intensity	Units	Trip Generation Rate	Directional Split		Net New Trips		
					In	Out	In	Out	Total
Warehousing	150	39,450	Sft	$T = 0.17(X)$	77%	23%	5	2	7
<b>TOTAL</b>		<b>39,450</b>					<b>5</b>	<b>2</b>	<b>7</b>

Source: ITE 11<sup>th</sup> Edition Trip Generation Rates

**Table 1c: PM Peak Hour**

Land Use	ITE Code	Intensity	Units	Trip Generation Rate	Directional Split		Net New Trips		
					In	Out	In	Out	Total
Warehousing	150	39,450	Sft	$T = 0.18(X)$	28%	72%	2	5	7
<b>TOTAL</b>		<b>39,450</b>					<b>2</b>	<b>5</b>	<b>7</b>

Source: ITE 11<sup>th</sup> Edition Trip Generation Rates



 <b>O'ROURKE</b> ENGINEERING & PLANNING		<b>Legend</b>  = Project Location	<b>Figure 2</b> <b>Percent Assignment</b> 4646 Okeechobee
22 SE Seminole Street Stuart, FL 34994		Job Number: _____ Date: _____	NTS

**TABLE 2a - Project Percent Impact - AM**

Segment	From	To	Lanes	Direction	IN/OUT	Greater than 3% (1% on Adjacent Links) (2)	Peak Hour Service Capacity (E+C) (1)	Project Volume Peak Direction	% Project of Capacity-Peak Hour	Project Percent Assignment
Okeechobee Rd	McNeil Rd	Project Access	8LD	EB	IN	NO	3,170	3	0.09%	60%
	McNeil Rd	Project Access	8LD	WB	OUT	NO	3,170	1	0.03%	60%
	Project Access	Virginia Ave	6LD	EB	OUT	NO	3,170	1	0.03%	40%
	Project Access	Virginia Ave	6LD	WB	IN	NO	3,170	2	0.06%	40%

(1) St. Lucie TPO LOS 2022

(2) According to the Guidelines prepared by the TPO and modified by the City and County

Two-Way: 7  
Net In: 5  
Net Out: 2

**TABLE 2b - Project Percent Impact - PM**

Segment	From	To	Lanes	Direction	IN/OUT	Greater than 3% (1% on Adjacent Links) (2)	Peak Hour Service Capacity (E+C) (1)	Project Volume Peak Direction	% Project of Capacity-Peak Hour	Project Percent Assignment
Okeechobee Rd	McNeil Rd	Project Access	8LD	EB	IN	NO	3,170	1	0.03%	60%
	McNeil Rd	Project Access	8LD	WB	OUT	NO	3,170	3	0.09%	60%
	Project Access	Virginia Ave	6LD	EB	OUT	NO	3,170	2	0.06%	40%
	Project Access	Virginia Ave	6LD	WB	IN	NO	3,170	1	0.03%	40%

(1) St. Lucie TPO LOS 2022

(2) According to the Guidelines prepared by the TPO and modified by the City and County

Two-Way: 7  
Net In: 2  
Net Out: 5

## **OTHER PROJECT TRAFFIC/GROWTH RATE**

Traffic volumes on Okeechobee were grown using a 3-year historical growth rate of 4.07%. The growth rate was calculated using available FDOT data from 2018 to 2021, at the link of Okeechobee Road from McNeil Road to Virginia Avenue. The growth rate was applied out 3 years to estimate 2025 traffic. Committed traffic from approved but unbuilt projects were also included as background traffic.

Details of the growth rate calculation and background projects are included in **Appendix C**.

## **LINK ANALYSIS / REVIEW**

The adjacent link of Okeechobee Road was not significant but was analyzed further to ensure it will meet concurrency. **Tables 3a and 3b** summarize the results of the link analysis. As shown, the roadway will operate at acceptable levels of service at project buildout.

TABLE 3a - Link Analysis - AM

Segment	From	To	Direction	IN/OUT	Greater than 3% (1% on Adjacent Links)	AADT 2020	2020 Peak Hour Directional Volumes	Growth Rate (2)	2025 AM Peak Hour + Growth	AM Peak Hour Committed Projects Directional	2025 Growth + Committed Peak Direction	Peak Hour Service Capacity (1)	Project Volume Peak Direction	Total Traffic (Peak Direction)	% Project of Capacity-Peak Hour	Does Project Satisfy Concurrency?	Project Percent Assignment
Okeechobee Rd	McNeil Rd	Project Access	EB	IN	NO	29,519	1,550	4.07%	1,892	143	2,035	3,170	3	2,058	0.09%	YES	60%
	McNeil Rd	Project Access	WB	OUT	NO	29,519	1,550	4.07%	1,892	65	1,958	3,170	1	1,958	0.03%	YES	60%
	Project Access	Virginia Ave	EB	OUT	NO	29,519	1,550	4.07%	1,892	143	2,035	3,170	1	2,036	0.03%	YES	40%
	Project Access	Virginia Ave	WB	IN	NO	29,519	1,550	4.07%	1,892	65	1,957	3,170	2	1,959	0.06%	YES	40%

(1) St. Lucie County 2022 Traffic Counts and LOS Report

(2) Area wide growth rate calculated from FDOT Historical AADT

Two-Way: 7  
 Net In: 5  
 Net Out: 2  
 Years Grown: 5

TABLE 3b - Link Analysis - PM

Segment	From	To	Direction	IN/OUT	Greater than 3% (1% on Adjacent Links)	AADT 2020	2020 Peak Hour Directional Volumes	Growth Rate (2)	2025 PM Peak Hour + Growth	PM Peak Hour Committed Projects Directional	2025 Growth + Committed Peak Direction	Peak Hour Service Capacity (1)	Project Volume Peak Direction	Total Traffic (Peak Direction)	% Project of Capacity-Peak Hour	Does Project Satisfy Concurrency?	Project Percent Assignment
Okeechobee Rd	McNeil Rd	Project Access	EB	IN	NO	29,519	1,618	4.07%	1,975	109	2,084	3,170	1	2,085	0.03%	YES	60%
	McNeil Rd	Project Access	WB	OUT	NO	29,519	1,618	4.07%	1,975	165	2,140	3,170	3	2,143	0.09%	YES	60%
	Project Access	Virginia Ave	EB	OUT	NO	29,519	1,618	4.07%	1,975	109	2,084	3,170	2	2,086	0.06%	YES	40%
	Project Access	Virginia Ave	WB	IN	NO	29,519	1,618	4.07%	1,975	165	2,140	3,170	1	2,141	0.03%	YES	40%

(1) St. Lucie County 2022 Traffic Counts and LOS Report

(2) Area wide growth rate calculated from FDOT Historical AADT

Two-Way: 7  
 Net In: 2  
 Net Out: 5  
 Years Grown: 5

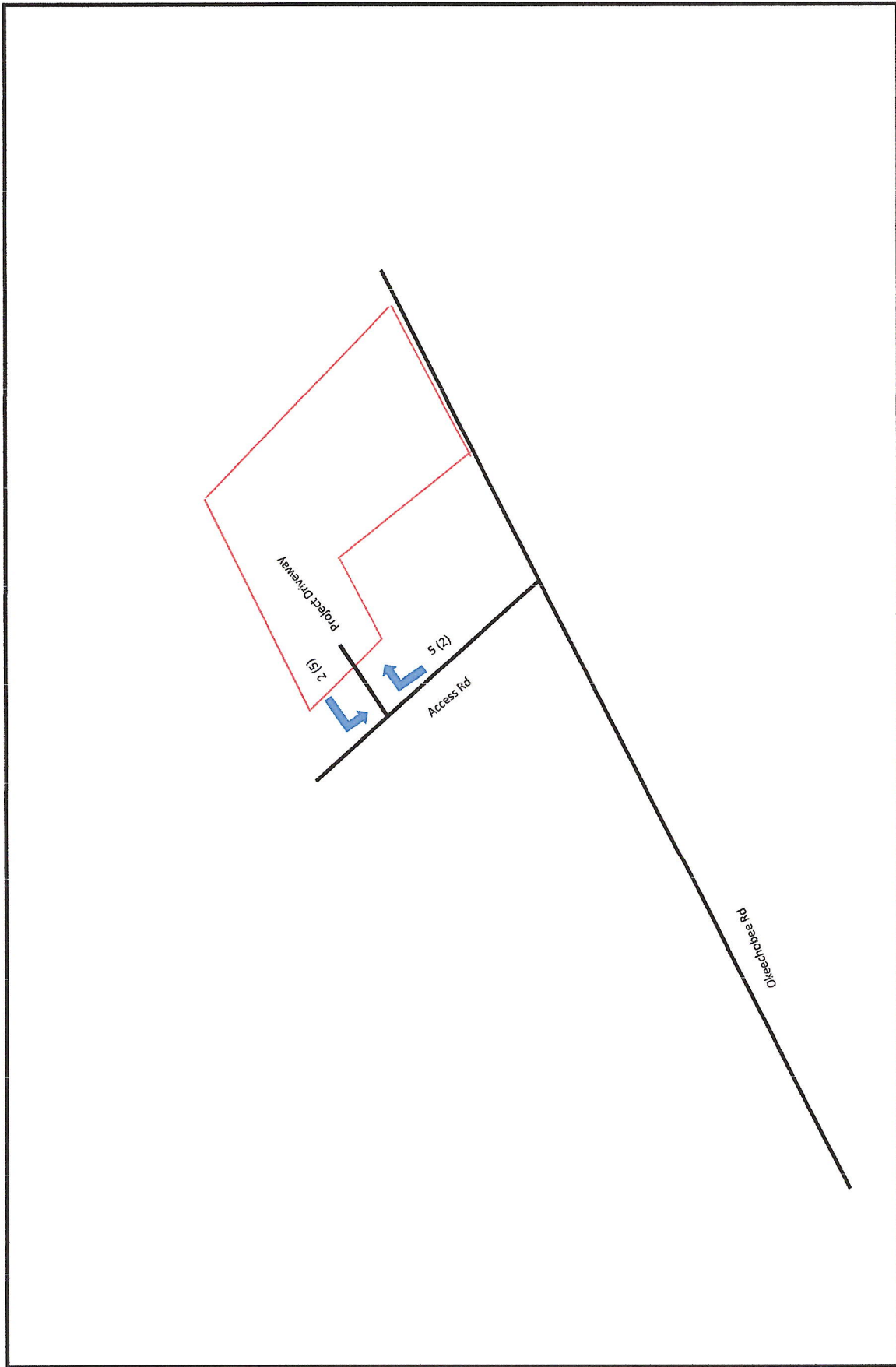
## **DRIVEWAY ANALYSIS**

The project takes access from an existing access road with existing full access to Okeechobee Road. The project volumes are shown on **Figure 3**.

The existing access road already provides a right-turn lane and left-turn lane. Therefore, additional turn lane analysis is not required.

## **CONCLUSION**

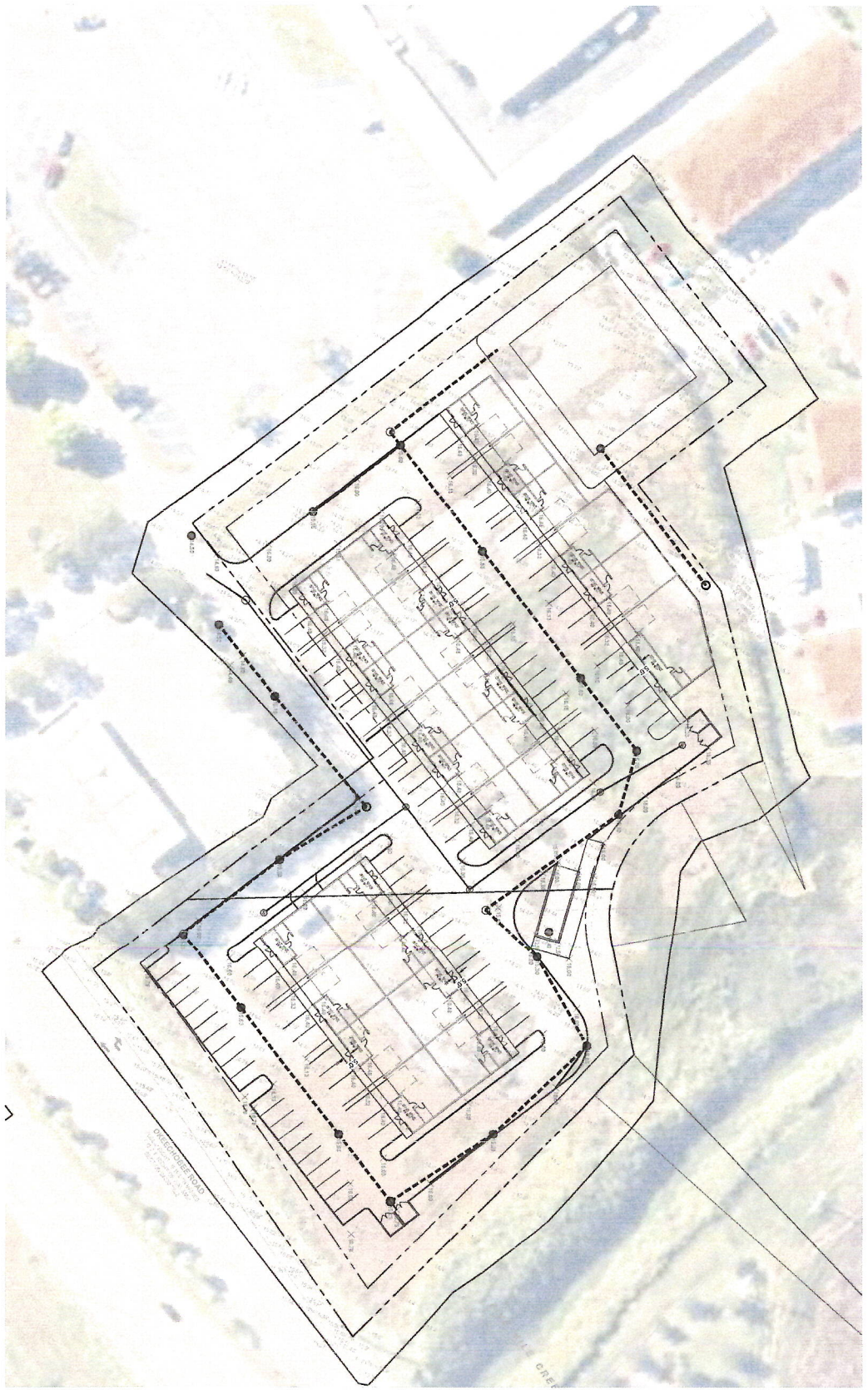
The 4646 Okeechobee with 101 daily trips, 7 net AM peak hour trips and 7 net PM peak hour trips will have an insignificant impact on the network. All links and intersections operate at acceptable levels of service. Therefore, the project meets the requirements for concurrency.



 NTS Job Number:	 <b>O'ROURKE</b> ENGINEERING & PLANNING 22 SE Seminole Street Stuart, FL 34994 Date:	 <b>Legend</b> = Project Location XX (XX) = AM (PM) Driveway Volumes	<b>Figure 3</b> <b>Driveway Volumes</b> 4646 Okeechobee
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**APPENDIX A**

**SITE PLAN**

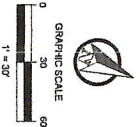


SITE DATA		PARKING CALCULATIONS	
TOTAL SITE AREA	16,522 SF	SIZE, TYPE & RATE	
IMPERVIOUS FOOTPRINT	3,170 SF	30,420 SF WAREHOUSE @ 1.5 SPACES PER 100 SF	45
PAVEMENT/CORNER	8,493 SF	ACCESSIBLE SPACES @ 5% TOTAL SPACES	3
		LOADING SPACES (RECOMMEND) @ 1.5 SPACES	2
PERVIOUS AREA	13,352 SF		
STORMWATER AREA	4,022 SF		
CURRENT ZONING	GENERAL COMMERCIAL (C-3)		
FUTURE LAND USE	COMMERCIAL GENERAL (C-3)		
PROPOSED USE	WAREHOUSE & FREIGHT		

NOTE: ALL EXISTING SPACING REFERENCED TO PERMITS AND LOCAL ORDINANCES (S.F. 17.02.02)



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GRAPHIC SCALE  
1" = 30'

NO.	DATE	DESCRIPTION
1	01/15/2008	PRELIMINARY
2	01/22/2008	REVISED
3	01/29/2008	REVISED
4	02/05/2008	REVISED
5	02/12/2008	REVISED
6	02/19/2008	REVISED
7	02/26/2008	REVISED
8	03/05/2008	REVISED
9	03/12/2008	REVISED
10	03/19/2008	REVISED
11	03/26/2008	REVISED
12	04/02/2008	REVISED
13	04/09/2008	REVISED
14	04/16/2008	REVISED
15	04/23/2008	REVISED
16	04/30/2008	REVISED
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77	07/01/2009	REVISED
78	07/08/2009	REVISED
79	07/15/2009	REVISED
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81	07/29/2009	REVISED
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129	06/30/2010	REVISED
130	07/07/2010	REVISED
131	07/14/2010	REVISED
132	07/21/2010	REVISED
133	07/28/2010	REVISED
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153	12/15/2010	REVISED
154	12/22/2010	REVISED
155	12/29/2010	REVISED
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157	01/12/2011	REVISED
158	01/19/2011	REVISED
159	01/26/2011	REVISED
160	02/02/2011	REVISED
161	02/09/2011	REVISED
162	02/16/2011	REVISED
163	02/23/2011	REVISED
164	02/28/2011	REVISED
165	03/06/2011	REVISED
166	03/13/2011	REVISED
167	03/20/2011	REVISED
168	03/27/2011	REVISED
169	04/03/2011	REVISED
170	04/10/2011	REVISED
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172	04/24/2011	REVISED
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174	05/08/2011	REVISED
175	05/15/2011	REVISED
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177	05/29/2011	REVISED
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190	08/28/2011	REVISED
191	09/04/2011	REVISED
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282	06/03/2013	REVISED
283	06/10/2013	REVISED
284	06/17/2013	REVISED
285	06/24/2013	REVISED
286	07/01/2013	REVISED
287	07/08/2013	REVISED</

**APPENDIX B**

**ST. LUCIE COUNTY TPO TRAFFIC COUNTS AND LEVEL OF SERVICE REPORT 2022**

### Traffic Counts and Level of Service Report 2022

Roadway Name	Location	STATION ID	2022 AADT *	Last Physical Count Year	Pk Hr Service Capacity	AM Pk Hr Pk Dir		PM Pk Hr Pk Dir		
						Volume	LOS	V/C	Volume	LOS
OAKRIDGE DR	MOUNTWELL ST to OAKLYN ST	621	6,950	2019	700	432	C	376	C	0.537
OHIO AVE	SUNRISE BLVD to COLONIAL RD	686	3,600	2022	540	213	C	208	C	0.385
OHIO AVE	COLONIAL RD to US 1	686	3,600	2022	750	213	C	208	C	0.277
OKEECHOBEE RD	OKEECHOBEE C.L. to BLUEFIELD RD	687	11,342	2020	1,580	592	B	637	B	0.403
OKEECHOBEE RD	BLUEFIELD RD to CARLTON RD	687	11,342	2020	2,000	592	B	637	B	0.319
OKEECHOBEE RD	CARLTON RD to SNEED RD	940039	7,535	2020	2,100	370	B	362	B	0.172
OKEECHOBEE RD	IDEAL HOLDING RD to HEADER CANAL RD	940039	7,535	2020	2,100	370	B	362	B	0.172
OKEECHOBEE RD	SNEED RD to IDEAL HOLDING RD	940039	7,535	2020	2,100	370	B	362	B	0.172
OKEECHOBEE RD	HEADER CANAL RD to MIDWAY RD	940039	7,535	2020	2,450	370	B	362	B	0.148
OKEECHOBEE RD	MIDWAY RD to SHINN RD	940039	7,535	2020	3,110	370	B	362	B	0.116
OKEECHOBEE RD	SHINN RD to MCCARTY RD	940195	6,920	2020	3,240	376	B	376	B	0.116
OKEECHOBEE RD	MCCARTY RD to FLORIDA'S TURNPIKE	940025	8,360	2020	3,240	401	B	416	B	0.128
OKEECHOBEE RD	FLORIDA'S TURNPIKE to KINGS HWY	940025	8,360	2020	2,100	401	C	416	C	0.198
OKEECHOBEE RD	KINGS HWY to CROSSROADS PKWY	940748	21,934	2020	4,240	1,058	C	1,116	C	0.263
OKEECHOBEE RD	CROSSROADS PKWY to I-95	940106	26,526	2020	4,240	1,282	C	1,310	C	0.309
OKEECHOBEE RD	I-95 to JENKINS RD	940029	31,865	2020	4,240	2,082	C	1,801	C	0.425
OKEECHOBEE RD	JENKINS RD to MCNEIL RD	940029	31,865	2020	4,040	2,082	C	1,801	C	0.446
OKEECHOBEE RD	MCNEIL RD to VIRGINIA AVE	940742	29,519	2020	3,170	1,550	C	1,618	C	0.51
OKEECHOBEE RD	VIRGINIA AVE to HARTMAN RD	688	12,094	2019	2,100	665	C	704	C	0.335
OKEECHOBEE RD	HARTMAN RD to 35TH ST	688	12,094	2019	1,630	665	C	704	C	0.432
OKEECHOBEE RD	35TH ST to 33RD ST	689	16,610	2019	1,630	901	D	881	D	0.54
OKEECHOBEE RD	33RD ST to 25TH ST	689	16,610	2019	1,630	901	D	881	D	0.54
OKEECHOBEE RD	25TH ST to GEORGIA AVE	690	13,247	2019	1,630	762	D	724	C	0.444
OKEECHOBEE RD	GEORGIA AVE to DELAWARE AVE	690	13,247	2019	1,710	762	C	724	C	0.423
OLD DIXIE HWY	US 1 to SR A1A NORTH	691	150	2022	790	11	C	10	C	0.013

\* NOTE: A six digit number in the "STATION ID" column identifies segment counted by FDOT

\* Volumes shown were adjusted using FDOT Seasonal Factors

\* AADT = Annual Average Daily Traffic (volumes for both directions where applicable)

\* NOTE: If the Last Count Year is older than the year of the report, the AADT is projected from historical traffic count data.

\* Counts with an ID format of 6 digits have data extracted from FDOT count stations.

**APPENDIX C**

**GROWTH RATE  
&  
BACKGROUND TRAFFIC**

<i>Roadway</i>	<i>Location</i>	<i>2018 AADT</i>	<i>2021 AADT</i>
Okeechobee Rd	SW of Virginia Ave	31500	35500
	Total:	31500	35500

Growth Rate 4.07%

FLORIDA DEPARTMENT OF TRANSPORTATION  
 TRANSPORTATION STATISTICS OFFICE  
 2021 HISTORICAL AADT REPORT

COUNTY: 94 - ST.LUCIE

SITE: 0742 - SR 70/OKEECHOBEE RD - SW OF SR 70/VIRGINIA AVE (COUNTY 742)

YEAR	AADT	DIRECTION 1	DIRECTION 2	*K FACTOR	D FACTOR	T FACTOR
2021	35500	C	W 17000	9.00	50.90	11.40
2020	29500	F	W 15500	9.00	51.30	4.60
2019	30500	C	W 16000	9.00	51.00	4.60
2018	31500	C	W 16000	9.00	51.30	4.60
2017	31500	C	W 16000	9.00	50.90	12.00
2016	26000	C	W 10500	9.00	50.90	12.00
2015	26500	C	W 15000	9.00	51.00	12.00
2014	30000	C	W 15000	9.00	50.80	6.10
2013	27000	C	W 14500	9.00	50.80	3.80
2012	33000	C	W 16500	9.00	56.80	3.80
2008	32500	C	W 16000	10.45	58.06	6.70
2007	31500	C	W 16500	10.31	58.74	7.40
2006	35500	C	W 17000	10.73	65.89	5.00

AADT FLAGS: C = COMPUTED; E = MANUAL ESTIMATE; F = FIRST YEAR ESTIMATE  
 S = SECOND YEAR ESTIMATE; T = THIRD YEAR ESTIMATE; R = FOURTH YEAR ESTIMATE  
 V = FIFTH YEAR ESTIMATE; 6 = SIXTH YEAR ESTIMATE; X = UNKNOWN

\*K FACTOR: STARTING WITH YEAR 2011 IS STANDARD, PRIOR YEARS ARE K30 VALUES







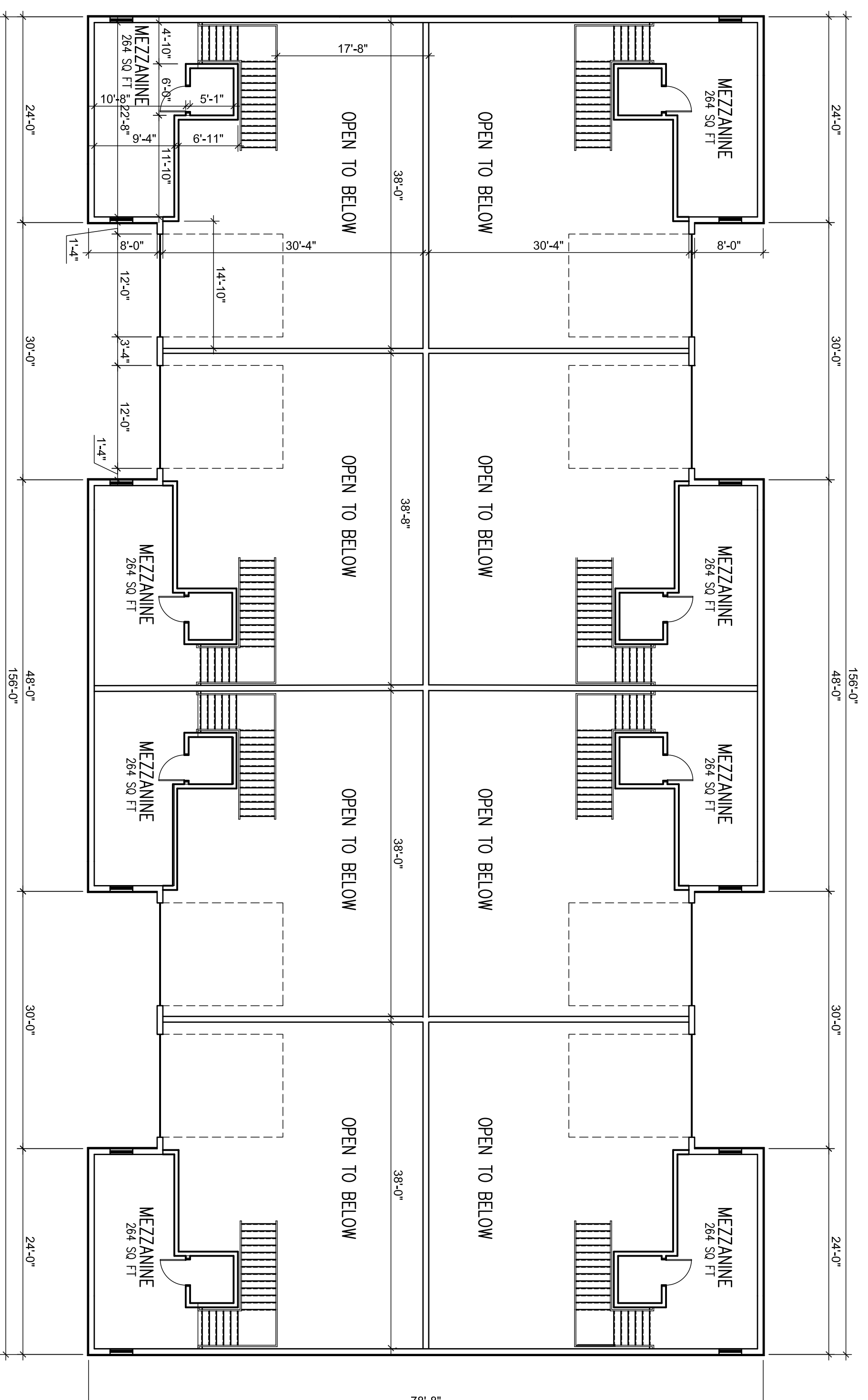
# AREA A

8 Units

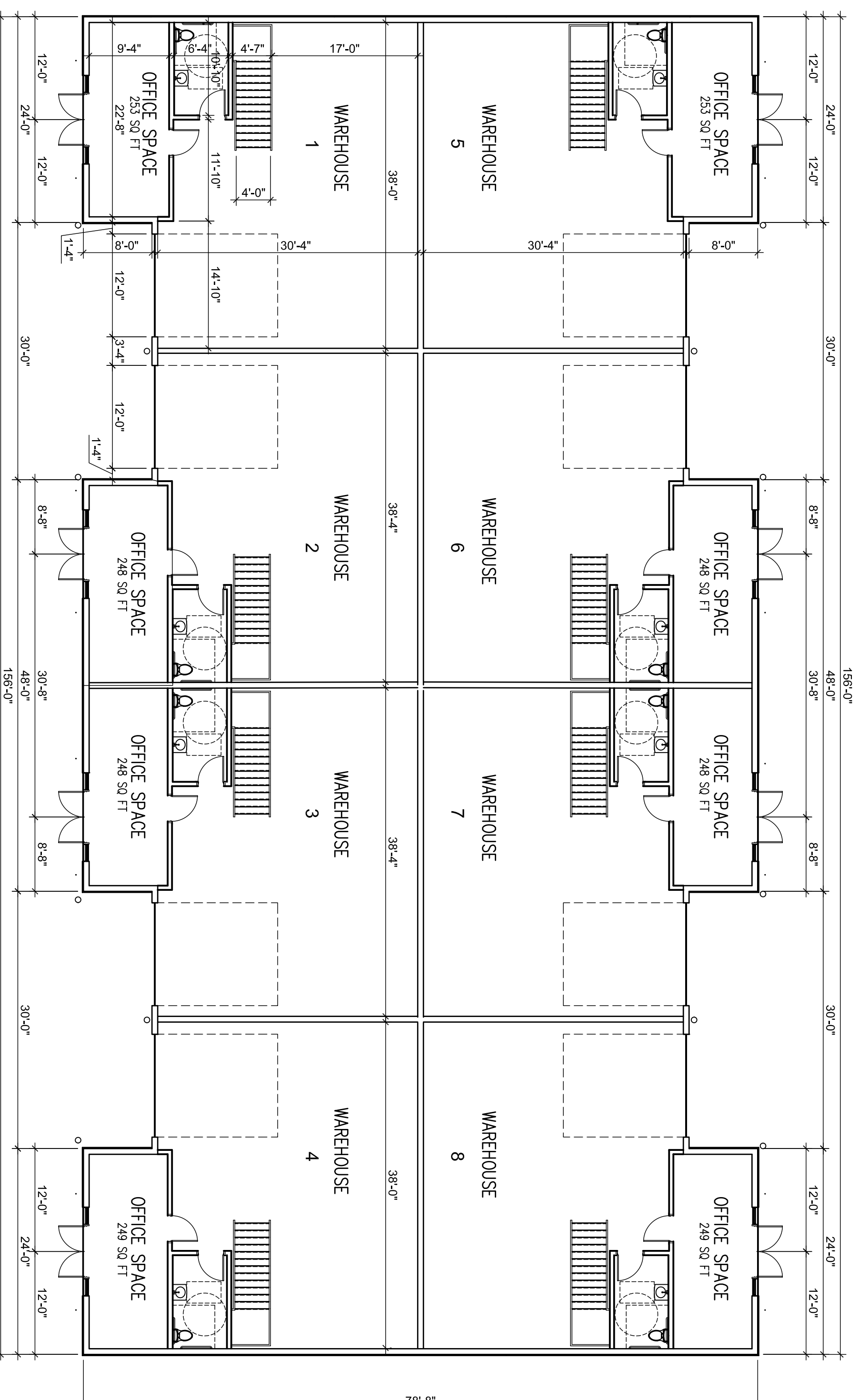
Total Ground Floor = Office 1,986 sf + Warehouse/Bathroom 9,316 sf = 11,312 sf  
 Total Building = 11,312 Ground Floor + 2,112 Mezzanine = 13,424 sf

## NOTES A:

- BUILDING OCCUPANCY: STORAGE GROUP S-2
- OCCUPANT LOAD: OFFICE = 1,986 SF /100 = 20 OCCUPANTS
- STORAGE SPACE = 11,428 SF /500 = 22.8 OCCUPANTS
- CALCULATED TOTAL OCCUPANT LOAD = 42.8 OCCUPANTS
- ANTICIPATED ACTUAL OCCUPANT LOAD = 19 OCCUPANTS
- CONSTRUCTION TYPE: TYPE IIB
- ALL PROPOSED ENCLOSED PORTIONS OF THE BUILDING SHALL BE FIRE SPRINKLER PROTECTED
- BUILDING SQUARE FOOTAGE: TOTAL - 13,424 SF
- BUILDING FOOTPRINT: TOTAL - 11,312 SF



MEZZANINE FLOOR PLAN - BUILDING A  
 SCALE: 3/32" = 1'-0"



GROUND FLOOR PLAN - BUILDING A  
 SCALE: 1/16" = 1'-0"

Symbol	Date	By	Revisions

Seal

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 30901 Stagecoach Blvd  
 Evergreen, CO 80439

321-271-0748  
 GoodEdward.com

FLOOR PLAN  
 BUILDING A  
 4646 OKEECHOBEE  
 FT PIERCE, FLORIDA

Sheet Title	Job No.
Project	
Scale 3/32" = 1'-0"	Drawn By
Date 11/26/22	
Sheet No.	

**A1**





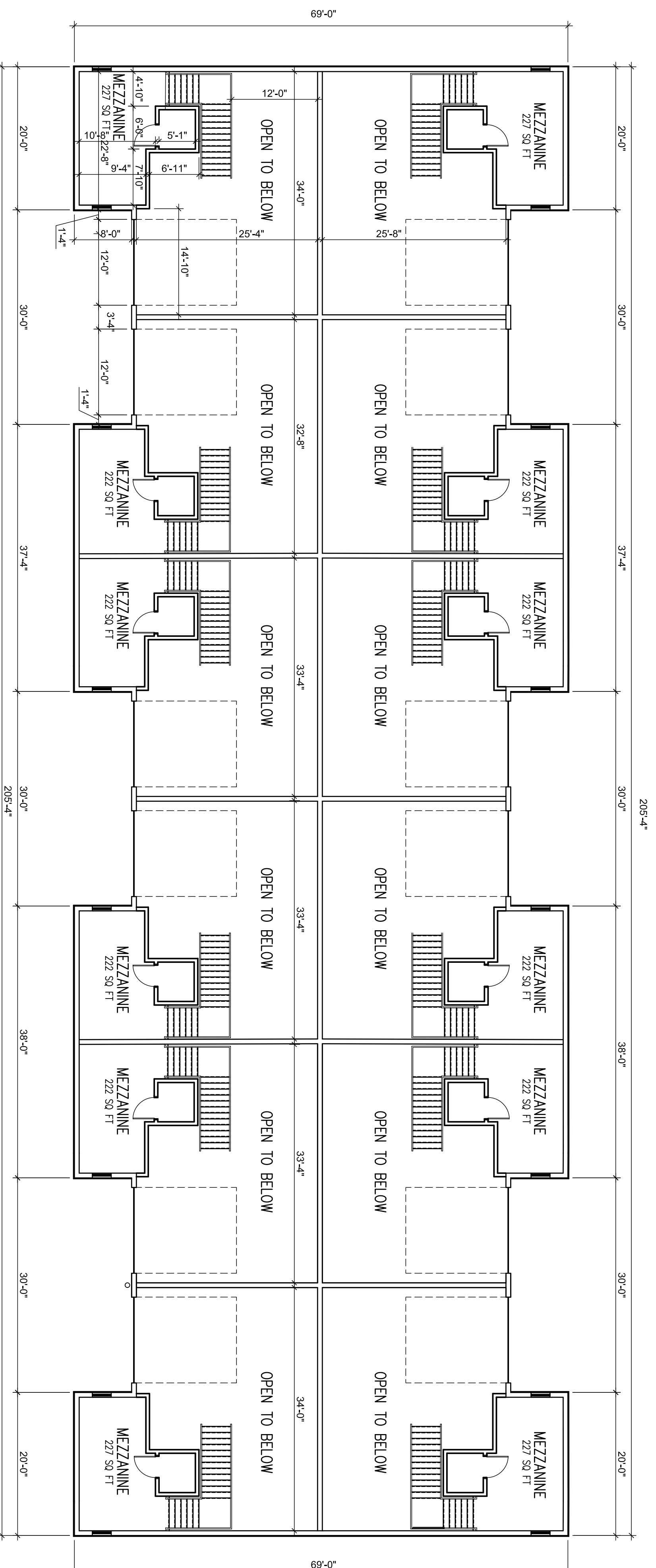
# AREA B

12 Units

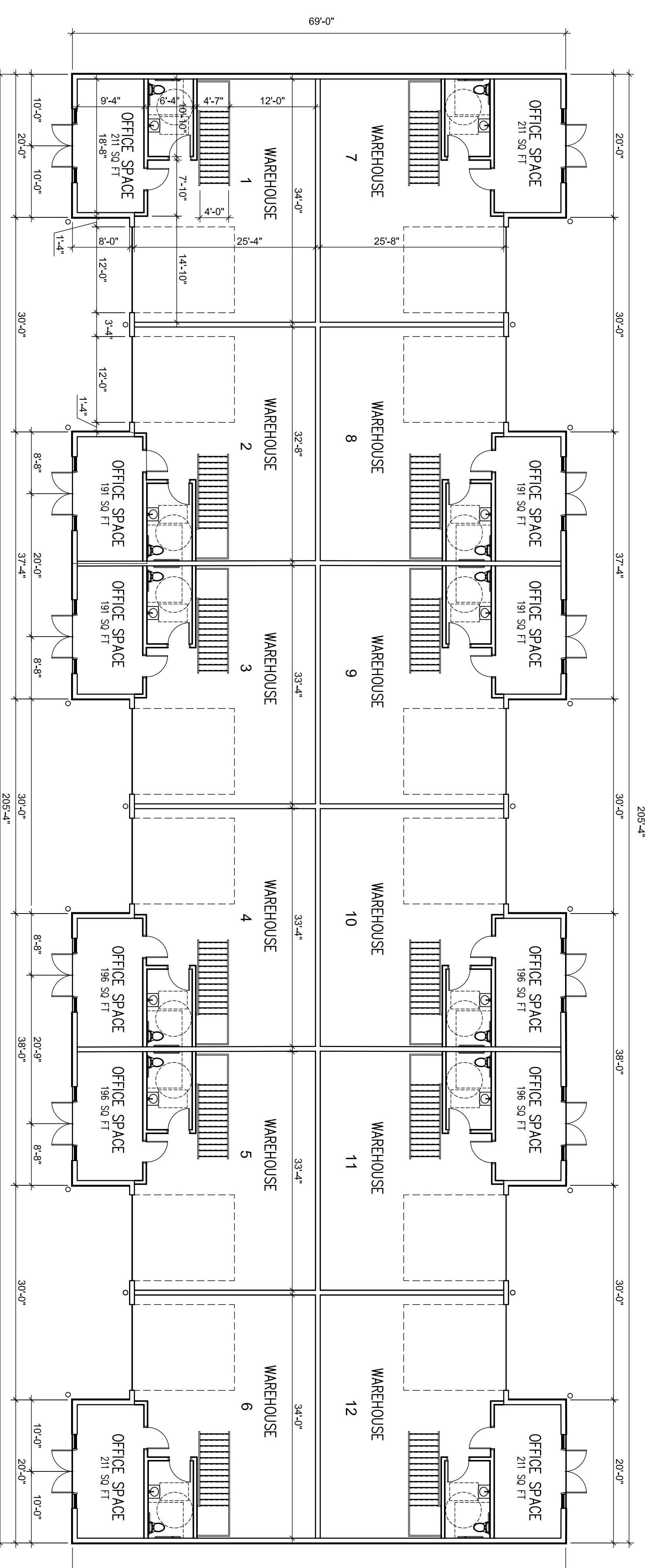
Total Ground Floor = Office 2,181 sf + Warehouse/Bathroom 10,547 sf = 12,728 sf  
 Total Building = 12,728 Ground Floor + 2,084 Mezzanine = 14,812 sf

## NOTES B:

- BUILDING OCCUPANCY: STORAGE GROUP S-2
- OCCUPANT LOAD:  
 OFFICE SPACE = 100 = 214 OCCUPANTS  
 WAREHOUSE = 100 = 256 OCCUPANTS  
 STORAGE SPACE = 13,231 SF/600 = 22.05 OCCUPANTS  
 CALCULATED TOTAL OCCUPANT LOAD = 483 OCCUPANTS  
 ANTICIPATED ACTUAL OCCUPANT LOAD = 22 OCCUPANTS
- CONSTRUCTION TYPE: TYPE IIB
- ALL PROPOSED ENCLOSED PORTIONS OF THE BUILDING SHALL BE FIRE SPRINKLER PROTECTED
- BUILDING SQUARE FOOTAGE:  
 TOTAL = 15,412 SF
- BUILDING FOOTPRINT:  
 TOTAL = 12,728 SF



MEZZANINE FLOOR PLAN - BUILDING B  
 SCALE: 3/32" = 1'-0"



GROUND FLOOR PLAN - BUILDING B  
 SCALE: 3/32" = 1'-0"

Revisions	By	Date	Symbol

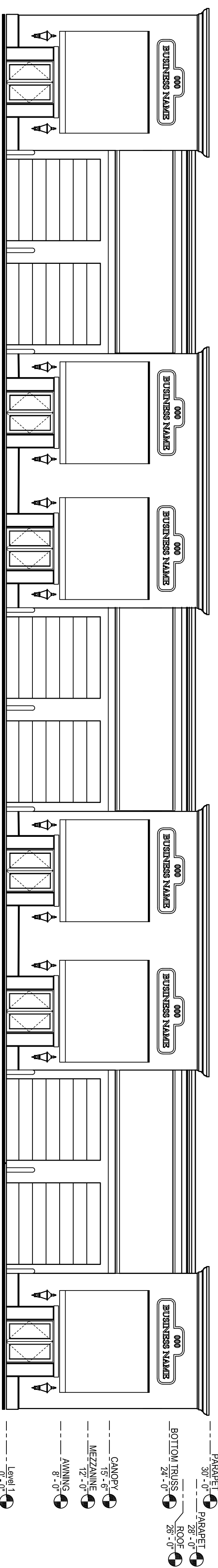
**GOOD & EDWARD DESIGN STUDIOS**  
 3090T Stagecoach Blvd  
 Evergreen, CO 80439  
 321-271-0748  
 GoodEdward.com

FLOOR PLAN  
 BUILDING B  
 4646 OKEECHOBEE  
 FT PIERCE, FLORIDA

Sheet Title	Job No.
Scale	Drawn By
Date	Sheet No.
11/26/22	

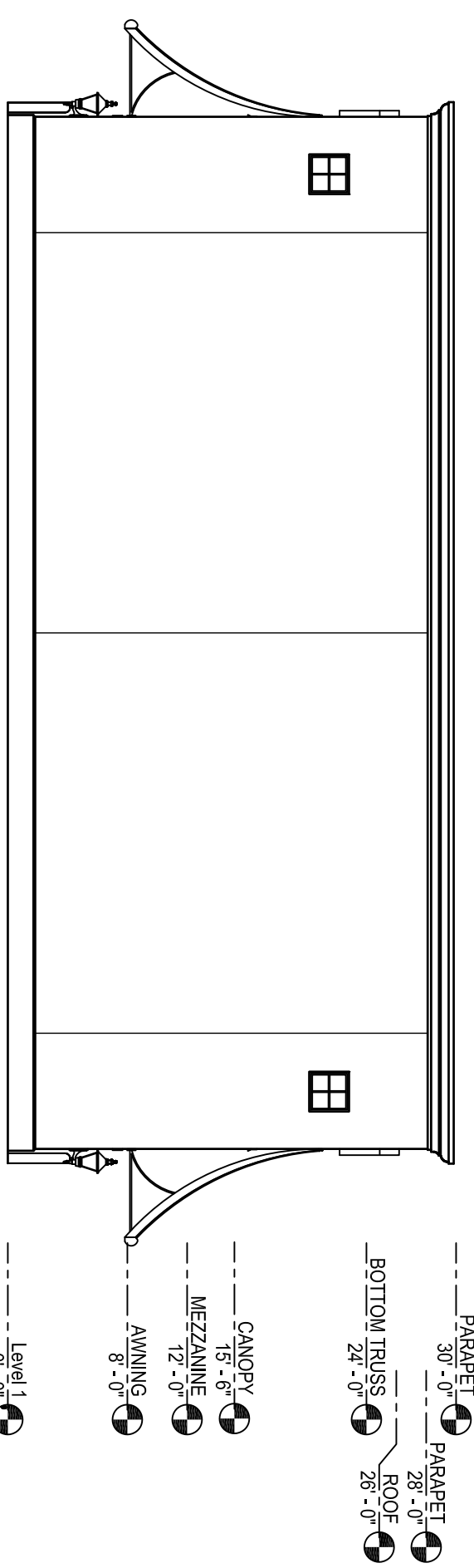
**A4**





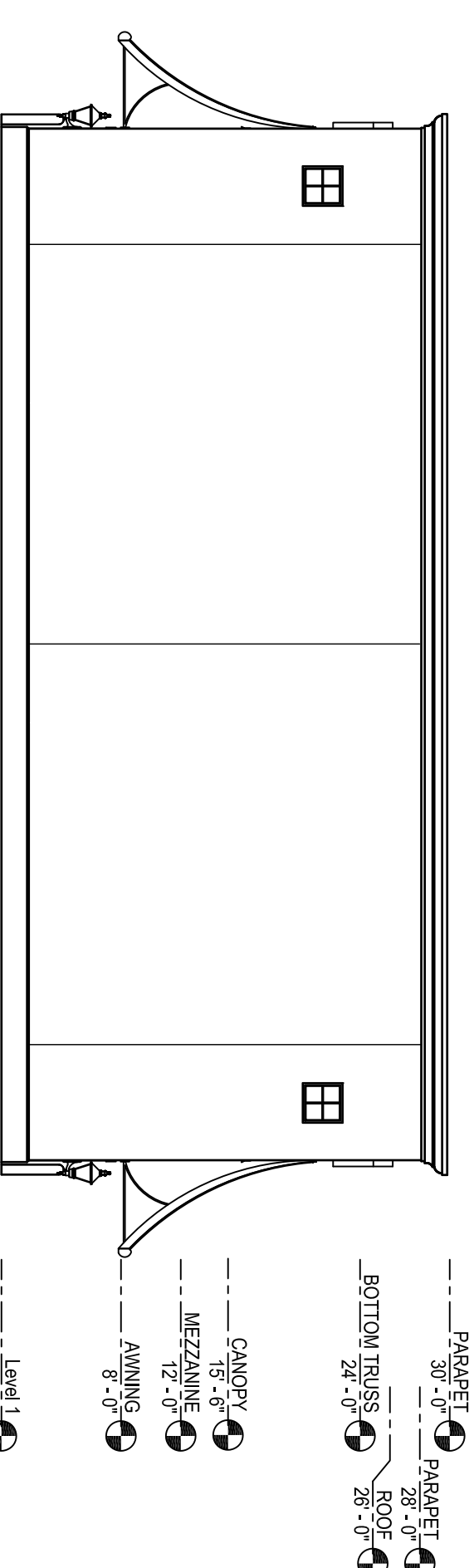
FRONT ELEVATION - BUILDING B

SCALE: 3/32" = 1'-0"



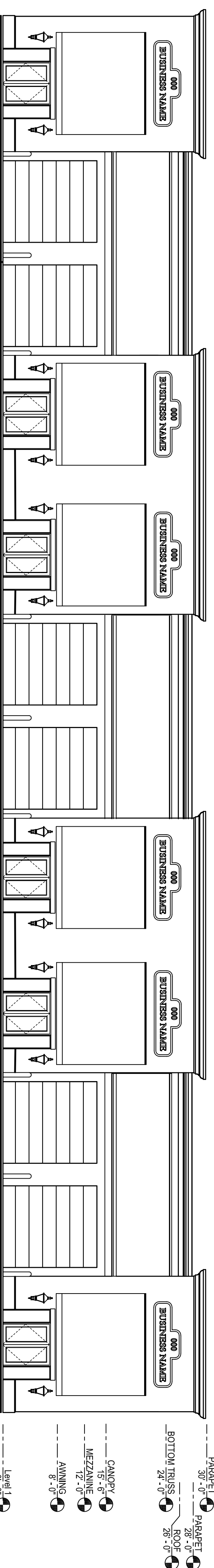
RIGHT ELEVATION - BUILDING B

SCALE: 3/32" = 1'-0"



LEFT ELEVATION - BUILDING B

SCALE: 3/32" = 1'-0"



REAR ELEVATION - BUILDING B

SCALE: 3/32" = 1'-0"

Symbol	Date	By	Revisions

Seal

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Sheet Title	ELEVATIONS BUILDING B
Project	4646 OKEECHOBEE FT PIERCE, FLORIDA
Scale	3/32" = 1'-0"
Date	11/28/22
Job No.	
Drawn By	
Sheet No.	

A6

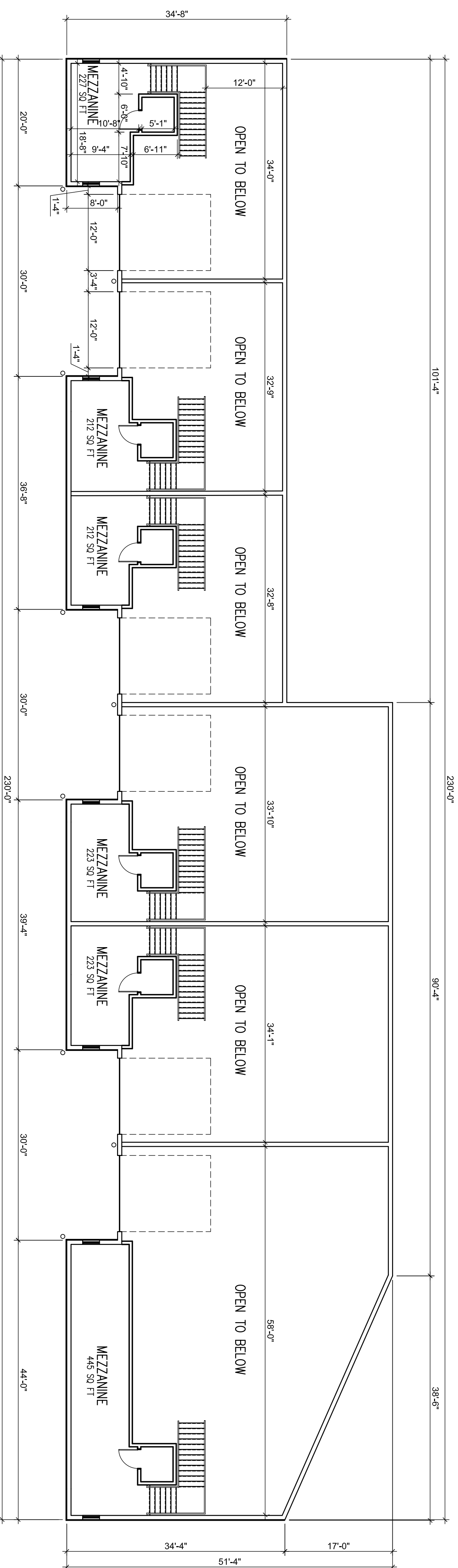
# AREA C

6 Units

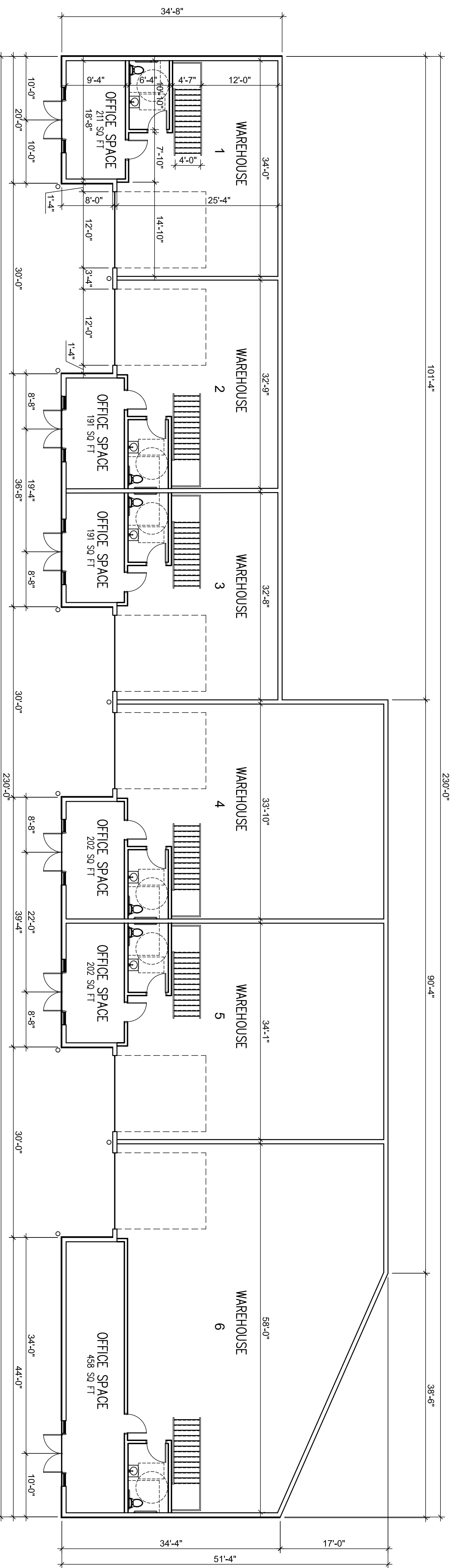
Total Ground Floor = Office 1,455 sf + Warehouse/Bathroom 7,617 sf = 9,072 sf  
 Total Building = 9,072 Ground Floor + 1,542 Mezzanine = 10,614 sf

## NOTES C:

- BUILDING OCCUPANCY: STORAGE GROUP S-2
- OCCUPANT LOAD:
- OFFICE = 1,455 SF / 100 = 14.6 OCCUPANTS
- STORAGE SPACE = 9,159 SF / 500 = 18.3 OCCUPANTS
- CALCULATED TOTAL OCCUPANT LOAD = 32.9 OCCUPANTS
- ANTICIPATED ACTUAL OCCUPANT LOAD = 12 OCCUPANTS
- CONSTRUCTION TYPE: TYPE IIB
- ALL PROPOSED ENCLOSED PORTIONS OF THE BUILDING SHALL BE FIRE SPRINKLER PROTECTED
- BUILDING SQUARE FOOTAGE:
- TOTAL - 10,614 SF
- BUILDING FOOTPRINT:
- TOTAL - 9,072 SF



MEZZANINE FLOOR PLAN - BUILDING C  
 SCALE: 3/32" = 1'-0"



FLOOR PLAN - BUILDING C  
 SCALE: 3/32" = 1'-0"

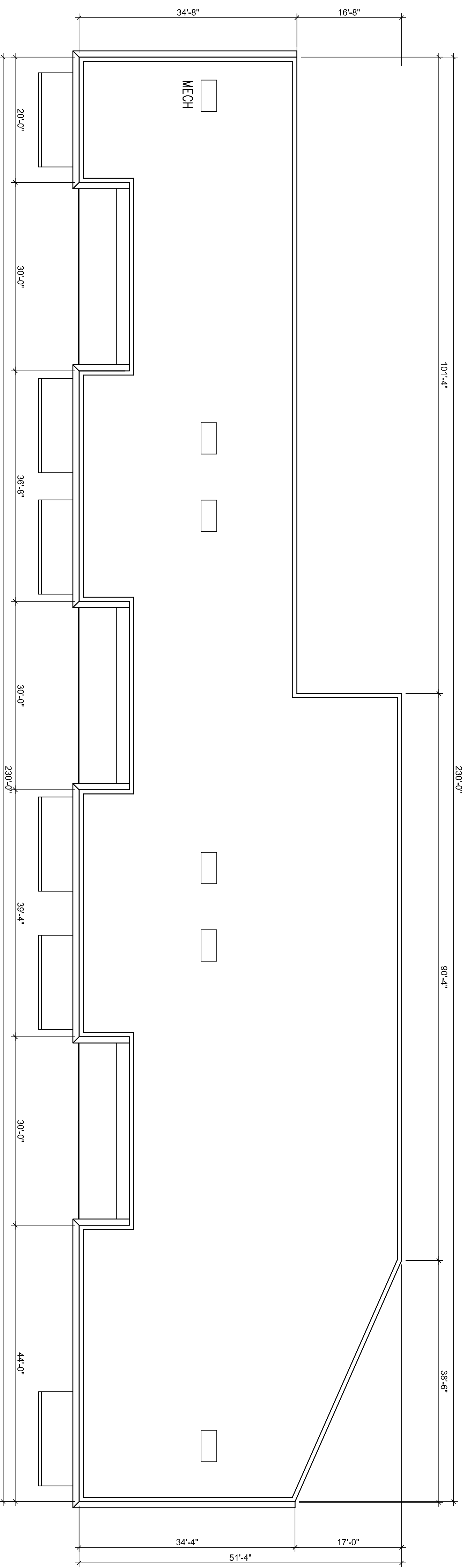
Symbol	Date	By	Revisions

Seal

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 321-271-0748  
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Sheet Title		Job No.	
FLOOR PLAN BUILDING C			
Project			
4646 OKEECHOBEE			
FT PIERCE, FLORIDA			
Scale	3/32" = 1'-0"		
Date	11/26/22		
Sheet No.			

A7



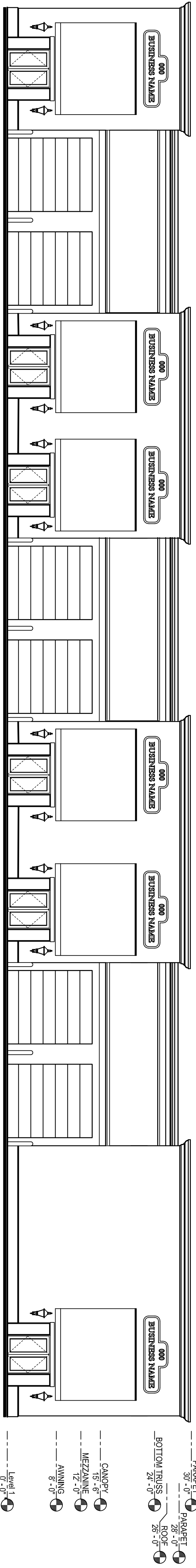
**ROOF PLAN - BUILDING C**  
 SCALE: 3/32" = 1'-0"

Symbol	Date	By	Revisions

Seal

**GOOD & EDWARD DESIGN STUDIOS**  
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 Evergreen, CO 80439  
 321-271-0748  
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Sheet Title	ROOF PLAN BUILDING C
Project	4646 OKEECHOBEE FT PIERCE, FLORIDA
Scale	3/32" = 1'-0"
Date	11/26/22
Job No.	
Drawn By	
Sheet No.	

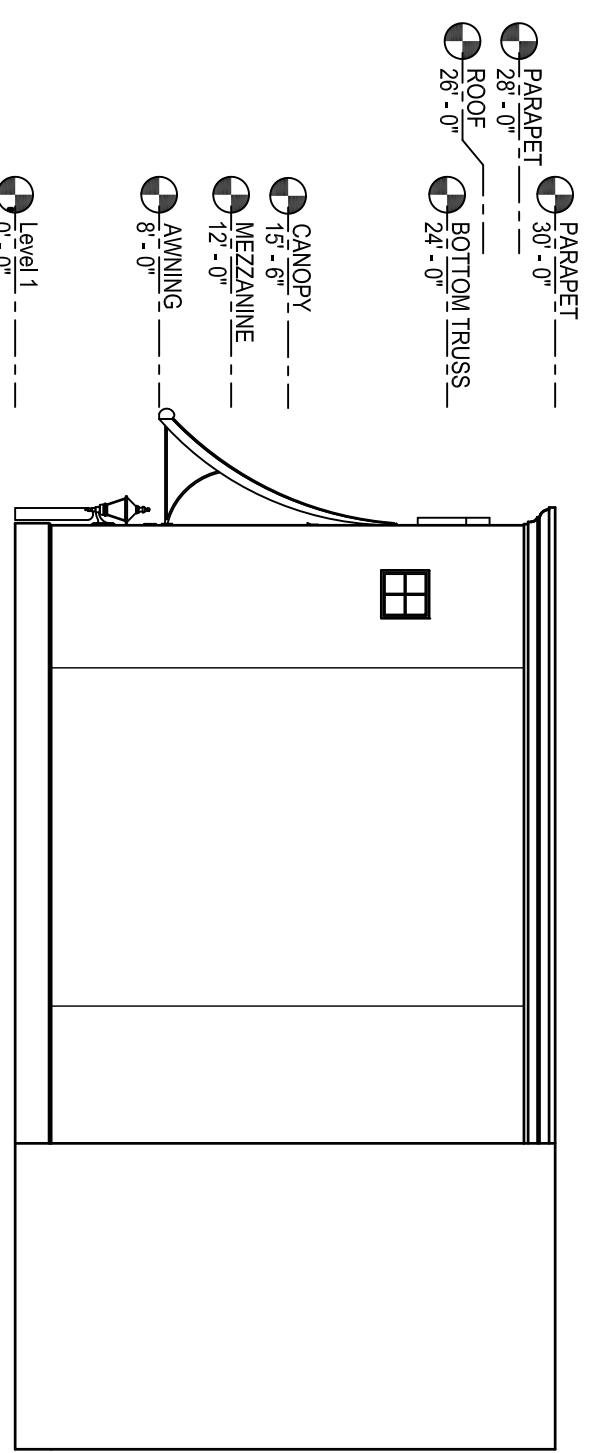


FRONT ELEVATION - BUILDING C

SCALE: 3/32" = 1'-0"

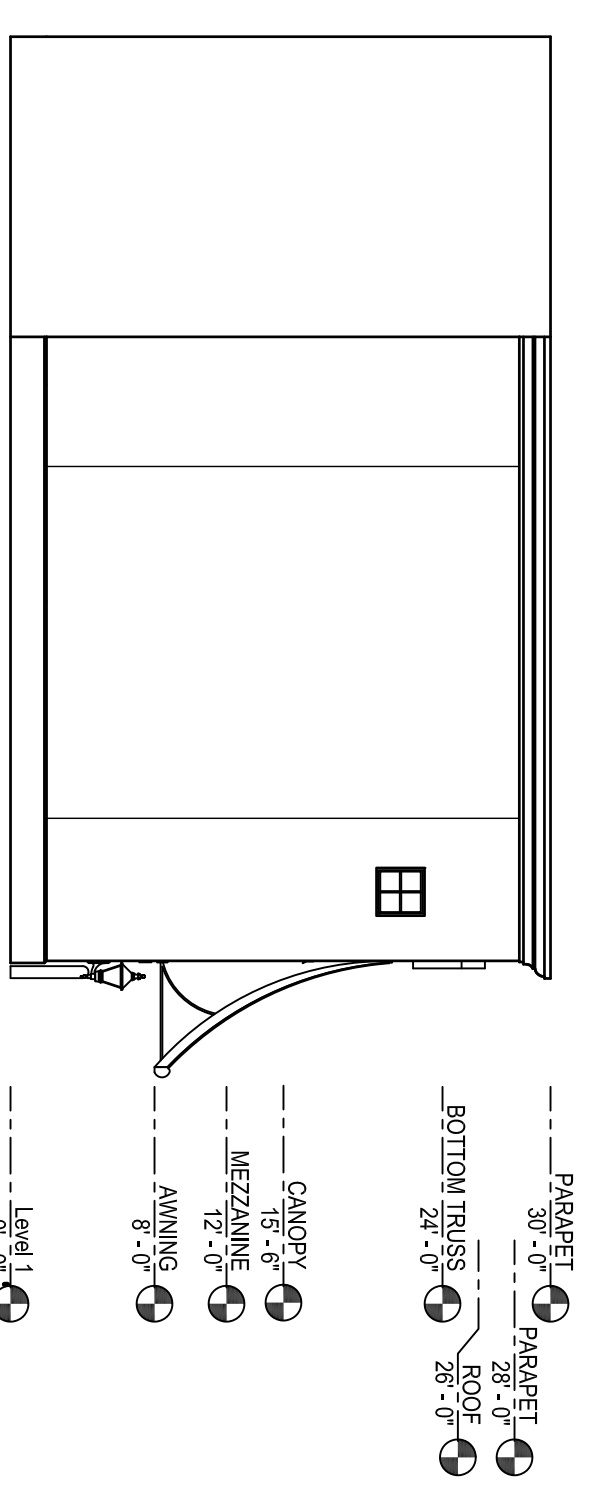
Symbol	Date	By	Revisions

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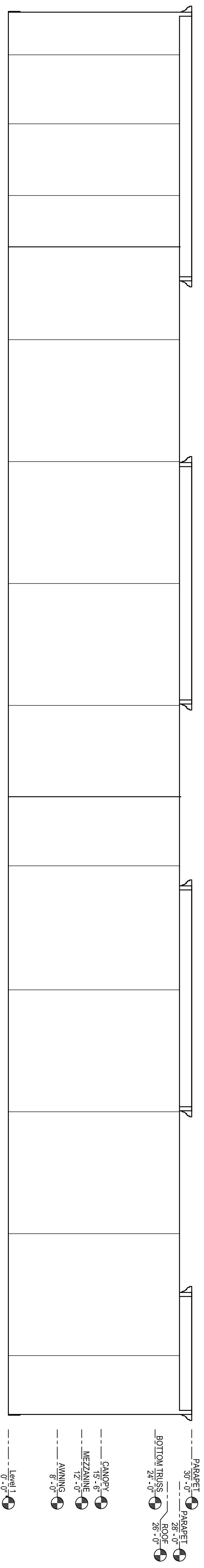
RIGHT ELEVATION - BUILDING C

SCALE: 3/32" = 1'-0"



LEFT ELEVATION - BUILDING C

SCALE: 3/32" = 1'-0"



REAR ELEVATION - BUILDING C

SCALE: 3/32" = 1'-0"

**GOOD & EDWARD DESIGN STUDIOS**  
 30901 Stagecoach Blvd  
 Evergreen, CO 80439  
 321-271-0748  
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Sheet Title		Job No.	
ELEVATIONS BUILDING C		4646 OKEECHOBEE	
Project		FT PIERCE, FLORIDA	
Scale	3/32" = 1'-0"	Date	11/28/22
Date	11/28/22	Drawn By	
Sheet No.			

**A9**

# Delivery Transmittal

To:	City of Fort Pierce Planning & Engineering Depts.	From:	HJA Design Studio
C/O:	Planning Department	Date:	November 12, 2024
Phone:	772-467-3729	Ref #:	TRC No. 23-07000006
Re:	4600 Okeechobee Rd AKA Okeechobee Road Flex Space Resubmittal Package	CC:	Development Team

- Via Fed Ex     
  Via US Mail     
  Via E-Transmittal  
 Via Hand Delivery     
  Via Package Pick Up

**Comments:**

Please see the attached documents pertaining to the above referenced project.

If you have any questions or concerns, please feel free to contact us at 772-678-7200.



**Hand Delivered**  
November 12, 2024

Kev Freeman  
Planning Director  
City of Fort Pierce  
100 N. U.S. Highway 1  
Fort Pierce, FL 34950

**Re: 4600 Okeechobee Road – Resubmittal Project#: 23-0700006**

Dear Kev,

On behalf of St. Lucie Kings, LLC and following the August 21st staff meeting, we are pleased to resubmit the application materials for the referenced project, located along Okeechobee Road in Fort Pierce, Florida.

Enclosed, you will find one copy of the documents, three sets of plans as requested, and a digital copy of the revised materials for your review

1. Design Review Application
2. Development Review Application
3. Location Map
4. Project Description/Narrative
5. Site Plan
6. Lighting Plan
7. Landscape Plan
8. Architectural Drawings
9. 3D Renderings
10. Color board containing color samples of exterior finishes
11. Property Record Card
12. Warranty Deed

We look forward to working with you to complete this project. If you have any questions or need any additional information, please do not hesitate to contact our office at 772-678-7200. Thank you.

Sincerely,



Erika Beitler  
Project Manager  
HJA Design Studio, LLC

cc: St. Lucie Kings, LLC  
Development Team



**DESIGN REVIEW**

**Property Information**

Property address or Location 4600-4650 Okeechobee Road, Fort Pierce, FL 34947

Parcel ID #(s) 2419-122-0001-040-6 & 2419-122-0002-050-9

Project description Flex Space (wholesale trade / warehouse and freight)

**ST. LUCIE KINGS, LLC**

Property Owner(s)

101 Pugliese Way, Suite 200

Street Address

Delray Beach FL 33444

City State Zip

561-454-1642

Phone Number

dbrink@puglieseco.com

Email Address

**HJA Design Studio, LLC**

Applicant/Representative, Title, Company

3500 SW Corporate Parkway, Suite 203

Street Address

Palm City FL 34990

City State Zip

772-678-7200

Phone Number

erika@hjadstudio.com

Email Address

*Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.*

10/02/2024

Property Owner(s) Signature(s)

ST. LUCIE KINGS, LLC, By David Cloran, it's Authorized Agent

**APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS**

CALL 772.467.3737 OR E-MAIL [PLANNING\\_DL@CITYOFFORTPIERCE.COM](mailto:PLANNING_DL@CITYOFFORTPIERCE.COM)

For more information, please refer to the website:

<https://www.cityoffortpierce.com/971/Application-Submittal-for-Technical-Rev>

## **Design Review Application Checklist** **(City Code of Ordinances 125-314)**

### **Submittal for Administrative Approval**

- a. A survey (1" = 30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of section 123-66, location of bordering streets and, if applicable, wetlands and beaches.
- b. A site analysis study to include a discussion of specimen trees and other natural vegetation, access, significant topography, wetlands, buffers, setbacks, views, orientation, the surrounding built environment, and other site features that may influence design elements.
- c. A draft written narrative describing the design intent of the project, its goals, and objectives and how it reflects the site analysis study results.
- d. Context photographs of neighboring uses and architectural styles.
- e. Photographs and/or drawings of architectural buildings or objects that serve as a precedent for the proposed building design. Models should be taken from local exemplary buildings, either existing or demolished. Documentation of such buildings is available in the city's planning department.
- f. Photographs of all existing structures located on the property. If existing structures on the property are more than fifty (50) years of age, documentation of these structures with data from the Florida Master Site File form is also required.
- g. Conceptual site plan (to scale) showing proposed location of all buildings, structures, parking areas, signs and landscaping.
- h. Landscape plan, at the same scale as the site plan. The planning director or designee may request enlarged plans of detailed planting areas. Planting schedule with sizes of proposed plantings must be included.
- i. Accurate color rendering of proposed signs showing dimensions, type of lettering, materials and actual color samples that demonstrates cohesiveness with the project design.
- j. Exterior elevations showing architectural character, external architectural features, and streetscape of the proposed development, including materials, colors, shadow lines and landscaping. The street elevation shall encompass the entire proposed project and generally identify the major elements of the adjacent two (2) properties on either side of the site. If the adjacent properties are vacant or underutilized, a diagram shall be provided that identifies the mass and form that is allowable under current zoning. If the street elevation must be drawn at such a scale as to render architectural details of the building unreadable, drawings of individual buildings at a larger scale should be provided as well.
- k. Design review concurrent with conceptual development plan procedure according to subsection 125-313 is also available.

### **Submittal for Board Approval**

- a. A written narrative describing how the project conforms to administrative approval and design review guidelines of this section.
- b. A final site plan meeting the requirements of section 125-313.
- c. A final site lighting plan that meets the requirements of subsection 125-313(d)(8).
- d. A final landscape plan that meets the requirements of articles II and III of chapter 123.
- e. Final floor plans and elevation drawings (1/8" = 1'-0" minimum scale), as detailed under administrative approval, showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- f. A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.



## DEVELOPMENT REVIEW

### Property Information

Property address or Location 4600-4650 Okeechobee Road, Fort Pierce, FL 34947  
 Parcel ID #(s) 2419-122-0001-040-6 & 2419-122-0002-050-9  
 Project description Flex Space (wholesale trade / warehouse and freight)

### Application Type

- Site Plan                       Minor Site Plan                       Innovative Residential Development  
 Minor Amendment                       Major Amendment                       Conditional Use w/New Construction

### Site Information

*Non-Residential:* Proposed Sq. Ft.: 36,790                      Site Acreage: 3.57  
*Residential:*                      Proposed Units: \_\_\_\_\_                      Proposed Sq. Ft.: \_\_\_\_\_                      Site Acreage: \_\_\_\_\_

### ST. LUCIE KINGS, LLC

Property Owner(s)  
101 Pugliese Way, Suite 200  
 Street Address  
Delray Beach FL 33444  
 City                      State                      Zip  
561-454-1642  
 Phone Number  
dbrink@puglieseco.com  
 Email Address

### HJA Design Studio, LLC

Applicant/Representative, Title, Company  
3500 SW Corporate Parkway, Suite 203  
 Street Address  
Palm City FL 34990  
 City                      State                      Zip  
772-678-7200  
 Phone Number  
erika@hjadstudio.com  
 Email Address

*Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.*

10/02/2024

Property Owner(s) Signature(s) ST. LUCIE KINGS, LLC, By David Cloran, it's Authorized Agent                      Date

**APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS**

CALL 772.467.3737 OR E-MAIL [PLANNING@CITYOFFORTPIERCE.COM](mailto:PLANNING@CITYOFFORTPIERCE.COM)

For more information, please refer to the website:

<https://www.cityoffortpierce.com/971/Application-Submittal-for-Technical-Rev1>

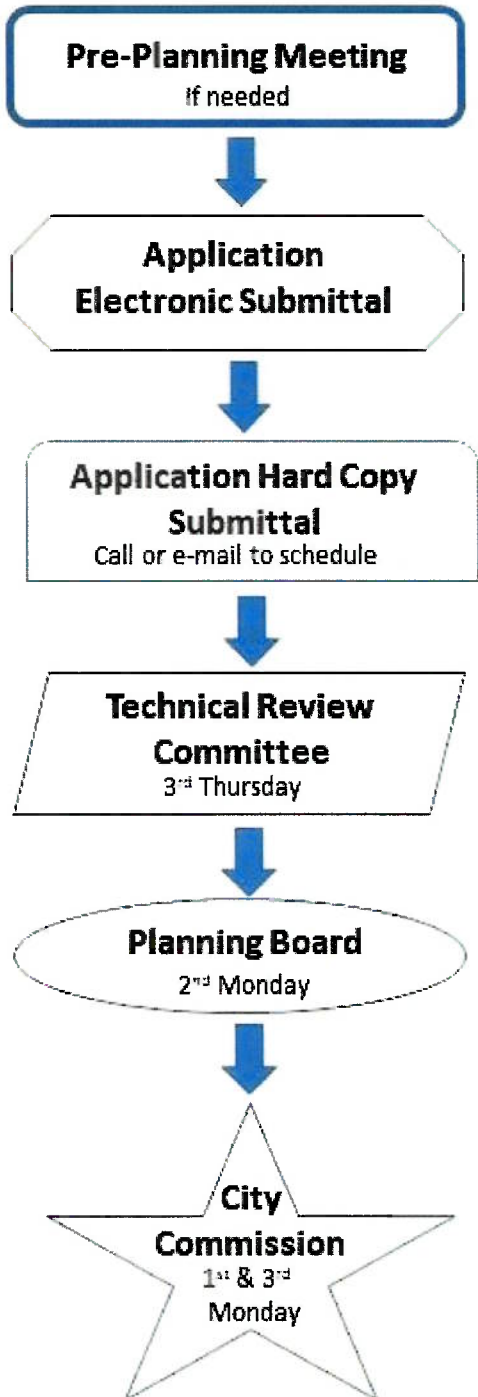
General Information

- **Incomplete application packets will not be accepted.**
- Appointments are required for application hard copy submittals.
- Site plan approval is valid for one (1) year following City Commission approval. To maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date.
- Fee Schedule - <https://www.cityoffortpierce.com/DocumentCenter/View/2620/Fee-Schedule->
- Public Notice Fees - <https://www.cityoffortpierce.com/DocumentCenter/View/8818/Public-Notice-Fees->

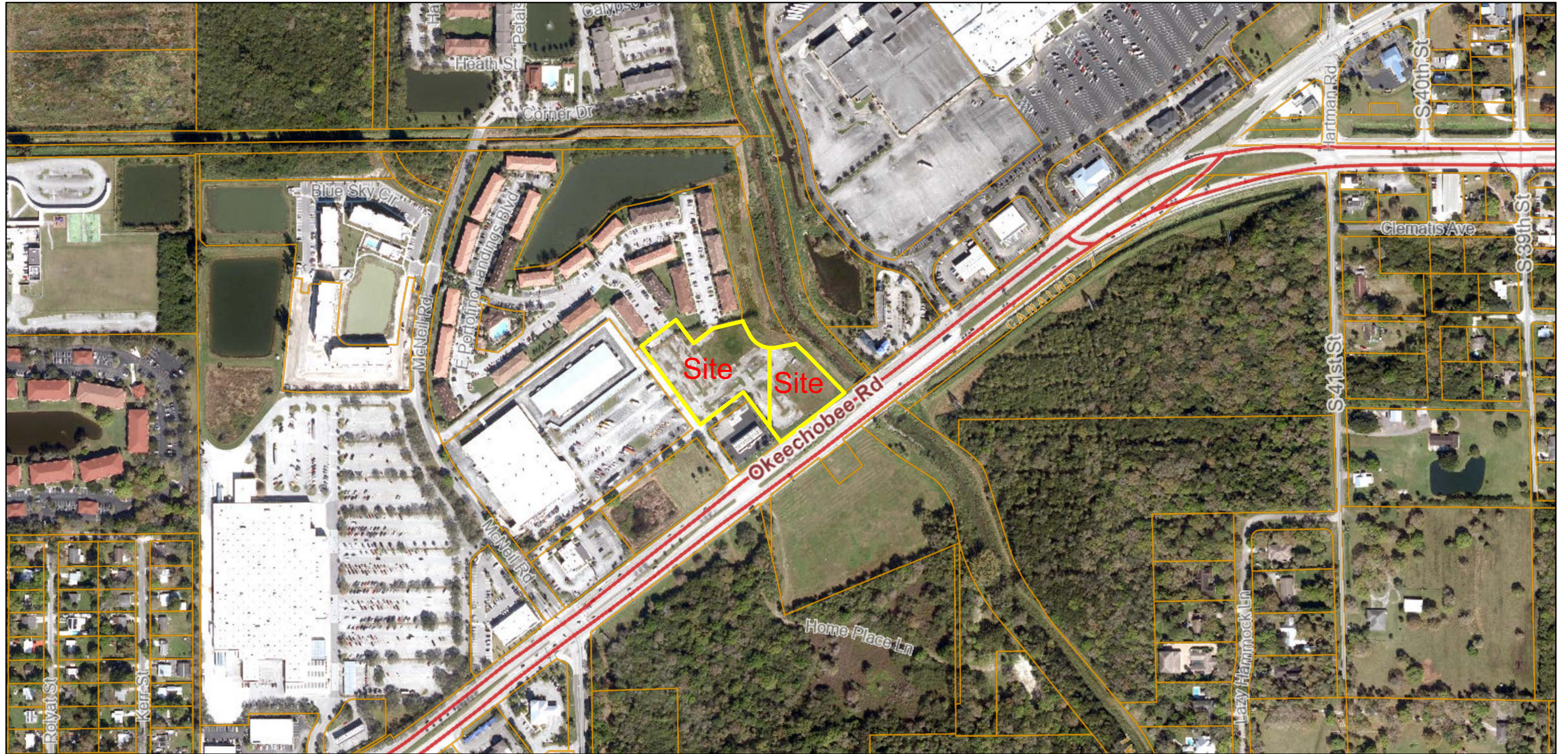
**Site Plan submittal requirements:**

**Submit one (1) original, one (1) hard copy and one (1) Flash Drive of the following. Additional copies will be required of subsequent submittals.**

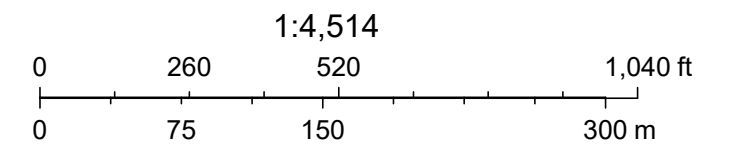
- Complete application
- Warranty Deed
- SLC Property Record Card
- Detailed project description
- General location map (see Section 125-313)
- Survey (see Section 125-313)
- Site Plan (see Section 125-313)
- Landscaping Plan (see Section 123-37)
- Conceptual Drainage Plan (see Section 125-313)
- Environmental Impact Report
- Beach/Dune System protection plan, if applicable (see Section 125-313)
- Lighting Plan (see Section 125-313)
- Design Review submittals (see Design Review application)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)



# 4600 Okeechobee Road



9/24/2024



Prepared By:  
Doug Marek, Esq.  
DOUG MAREK, P.A.  
101 Pineapple Grove Way, Suite 200  
Delray Beach, Florida 33444  
561 454-1610

Property ID: 2419-122-0001-040-6  
2419-122-0001-050-9

WARRANTY DEED

THIS WARRANTY DEED is made as of the 9<sup>th</sup> day of March 2021 by FLORIDA TAX LIEN ASSETS IV, LLC, a Florida limited liability company, whose post office address is 2055 US Highway 1, Vero Beach, FL 32960 ("Grantor") to ST. LUCIE KINGS, LLC, a Florida limited liability company whose post office address is 101 Pugliese's Way, 2<sup>nd</sup> Floor, Delray Beach, FL 33444 ("Grantee").

GRANTOR, IN CONSIDERATION of Ten Dollars and other good and valuable considerations, the receipt and sufficiency of which are hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto Grantee all that land as described in Exhibit A attached hereto, situate in St. Lucie County, Florida.

SUBJECT TO easements, restrictions, and reservations of record, taxes for the year 2021 and thereafter (a lien which is not yet due and payable).

TOGETHER WITH all tenements, hereditaments and appurtenances thereto belonging or in anywise pertaining.

TO HAVE and to hold the same in fee simple forever.


AND, Grantor hereby covenants with Grantee that Grantor is lawfully seized of said land in fee simple, that Grantor has good, right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2021 (a lien which is not yet due and payable).

IN WITNESS WHEREOF, Grantor has signed and sealed these presents the day and year first above written.


Signed, sealed and delivered in the presence of:

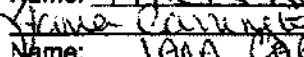
FLORIDA TAX LIEN ASSETS IV, LLC, a Florida limited liability company

By: Kite Tax Lien Capital, LLC, a Florida limited liability company

By:   
Kelly P. Kite, Jr., Manager

By:   
Joseph P. Schlitt, Manager

  
Name: Alicia Benz

  
Name: JANA CARLINGTON


  
Name: Alicia Benz

  
Name: JANA CARLINGTON

STATE OF FLORIDA  
COUNTY OF INDIAN RIVER

I hereby certify that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgements, appeared by means of ✓ physical presence or      on line notarization, Kelly P. Kite, Jr., as manager of Kite Tax Lien Capital, LLC, a Florida limited liability company, the managing member of FLORIDA TAX LIEN ASSETS IV, LLC, who is personally known to me or produced \_\_\_\_\_ as identification.

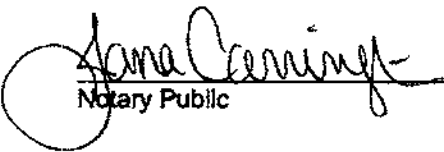
WITNESS, my hand and official seal in the County and State aforesaid this 8<sup>th</sup> day of March 2021.

  
\_\_\_\_\_  
Notary Public

STATE OF FLORIDA  
COUNTY OF INDIAN RIVER

I hereby certify that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgements, appeared by means of ✓ physical presence or      on line notarization, Joseph P. Schlitt, as manager of Kite Tax Lien Capital, LLC, a Florida limited liability company, the managing member of FLORIDA TAX LIEN ASSETS IV, LLC, who is personally known to me or produced \_\_\_\_\_ as identification.

WITNESS, my hand and official seal in the County and State aforesaid this 8<sup>th</sup> day of March 2021.

  
\_\_\_\_\_  
Notary Public

1832-002 \*

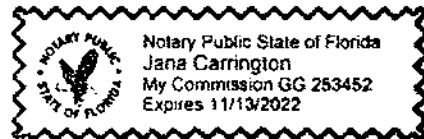


EXHIBIT A  
Legal Description

Parcel 1:

A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE NORTH 01°20'45" EAST, ALONG THE EAST LINE OF SECTION 18, TOWNSHIP 35 SOUTH, RANGE 40 EAST, A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA; S.R. 70); THENCE SOUTH 52°29'55" WEST, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 2,102.04 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 55°45'47" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 210.34 FEET; THENCE SOUTH 52°29'33" WEST ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 71.28 FEET; THENCE NORTH 37°30'27" WEST, A DISTANCE OF 73.78 FEET; THENCE NORTH 37°30'14" WEST, A DISTANCE OF 114.06 FEET; THENCE NORTH 37°29'33" WEST, A DISTANCE OF 33.20 FEET; THENCE SOUTH 52°29'33" WEST, A DISTANCE OF 185.54 FEET; THENCE NORTH 37°24'29" WEST, A DISTANCE OF 337.95 FEET; THENCE NORTH 52°35'31" EAST, A DISTANCE OF 149.75 FEET; THENCE SOUTH 37°24'29" EAST, A DISTANCE OF 101.01 FEET; THENCE NORTH 52°26'19" EAST, A DISTANCE OF 84.86 FEET; THENCE NORTH 76°15'19" EAST, A DISTANCE OF 109.98 FEET TO A POINT ON THE ARC OF A CIRCULAR CURVE TO THE LEFT AT WHICH A RADIAL LINE BEARS NORTH 72°27'31" EAST; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 85.00 FEET AND A CENTRAL ANGLE OF 10°43'05", A DISTANCE OF 15.90 FEET TO A POINT OF TANGENCY; THENCE SOUTH 28°15'34" EAST, A DISTANCE OF 42.13 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE TO THE LEFT; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 85.00 FEET AND A CENTRAL ANGLE OF 72°51'03", A DISTANCE OF 108.08 FEET TO A POINT OF TANGENCY; THENCE NORTH 78°53'23" EAST, A DISTANCE OF 69.88 FEET TO A POINT ON THE ARC OF A CIRCULAR CURVE TO THE LEFT AT WHICH A RADIAL LINE BEARS NORTH 46°34'59" EAST; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 443.72 FEET AND A CENTRAL ANGLE OF 04°34'37", A DISTANCE OF 35.44 FEET TO A POINT OF TANGENCY; THENCE SOUTH 47°59'38" EAST, A DISTANCE OF 11.05 FEET; THENCE SOUTH 44°53'31" EAST, A DISTANCE OF 203.42 FEET TO THE POINT OF BEGINNING.

LESS A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

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## Project Description

### 4600 Okeechobee Road

#### Project Overview

The proposed development, located in Fort Pierce, Florida, encompasses a total site area of 155,352 square feet (3.57 acres). The project aims to transform a currently vacant commercial lot into a functional flex space designed for wholesale trade, warehouse, and freight operations. The development will feature two primary buildings, extensive landscaping, and necessary infrastructure to support its intended use.

#### Site Layout and Design

The site plan outlines the following key components:

##### 1. Buildings:

- **Building A:** A one-story structure with a total area of 21,915 square feet, including 3,357 square feet of office space and 18,558 square feet of warehouse space.
- **Building B:** A one-story structure with a total area of 14,875 square feet, including 2,288 square feet of office space and 12,569 square feet of warehouse space.

##### 2. Parking and Accessibility:

- A total of 91 parking spaces are provided, exceeding the required 85 spaces. This includes 55 spaces for warehouse use, 30 spaces for office use, 4 accessible spaces, and 2 (35'X12') loading spaces.
- Accessible parking spaces and signage are strategically placed to ensure compliance with ADA standards.

##### 3. Landscaping:

- The site includes a total landscape area of 48,676 square feet (1.12 acres), which constitutes 31% of the total site area. This exceeds the required open space of 31,070 square feet (0.71 acres).
- Landscape buffers of varying widths (10 to 25 feet) are incorporated along the property boundaries to enhance aesthetic appeal and provide screening.

##### 4. Infrastructure and Utilities:

- The site plan includes provisions for utility easements, drainage easements, and maintenance easements to ensure proper functionality and compliance with local regulations. The existing utility easements that conflict with buildings and other development will be abandoned and re-recorded in new locations.
- A proposed detention area is designed to manage stormwater runoff effectively.

##### 5. Circulation and Access:

- Main access points will be from existing drive aisles that are part of the current development as cross-access easements over these drive aisles are already in place.
- The site features well-defined vehicular and pedestrian circulation paths, including concrete sidewalks, paver walkways, and designated crosswalks.

- Directional arrows, stop bars, and signage are included to facilitate safe and efficient traffic flow within the site.

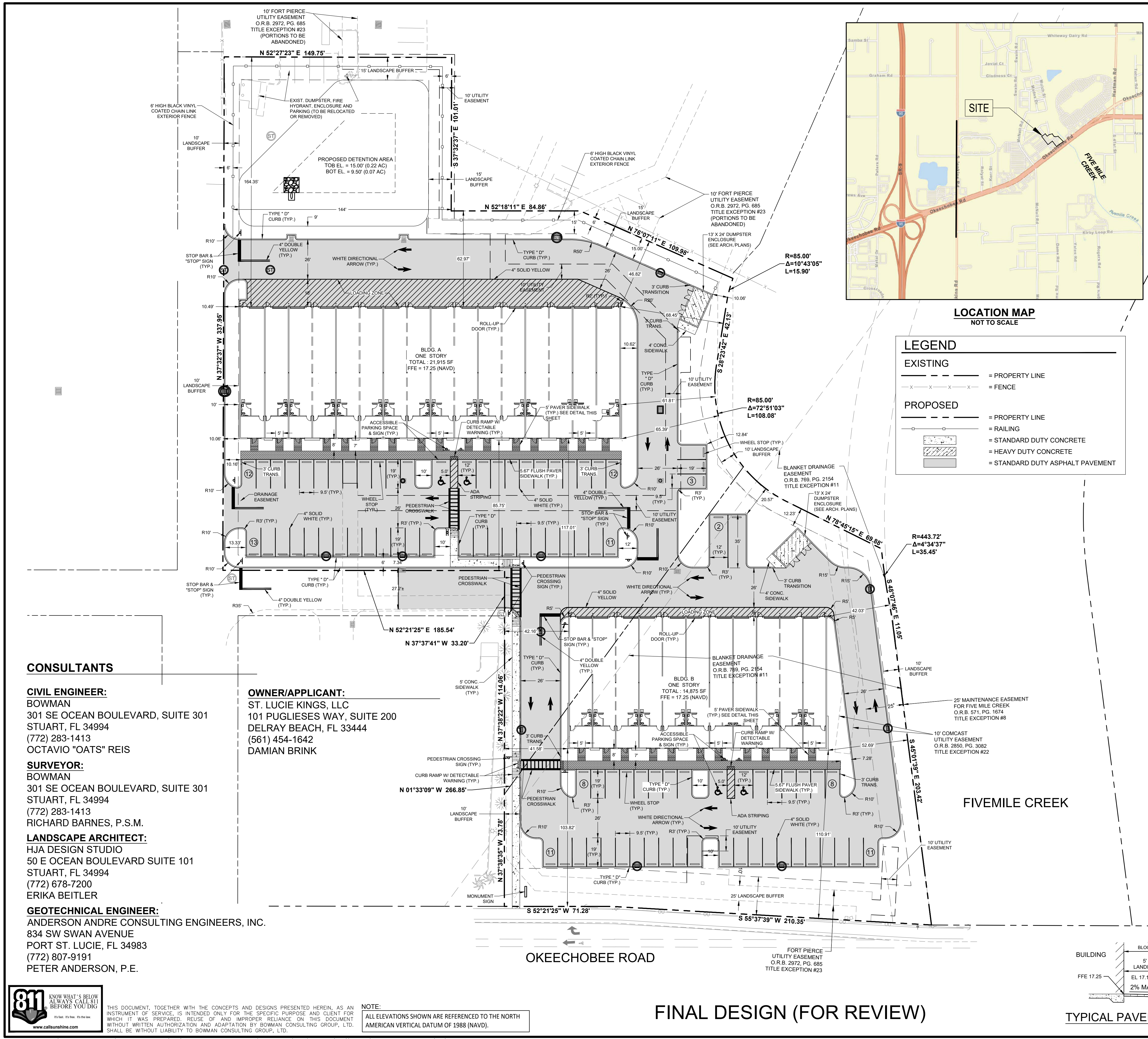
### **Compliance and Regulations**

The project adheres to the following zoning and regulatory requirements:

- **Zoning:** The site is zoned as Commercial General (C-3) with a future land use designation of General Commercial (GC).
- **Setbacks:** The provided setbacks exceed the minimum requirements, ensuring adequate spacing and compliance with local codes.
- **Building Height:** The proposed building height is 30 feet, well within the maximum allowable height of 65 feet.

### **Conclusion**

This project aims to create a functional and aesthetically pleasing flex light industrial space that meets the needs of wholesale trade and warehouse operations while adhering to local regulations and environmental considerations. The thoughtful design and strategic layout ensure that the development will be a valuable addition to the Fort Pierce community, providing economic benefits and enhancing the area's commercial infrastructure. On behalf of the owner, ST. LUCIE KINGS, LLC, HJA Design Studio, LLC respectfully requests your review and approval of this project.



**SITE DATA**

TOTAL SITE AREA	155,352 SF / 3.57 AC
GENERAL LAND USE	GENERAL COMMERCIAL (GC)
EXISTING ZONING	COMMERCIAL GENERAL (C-3)
EXISTING USE	VACANT COMMERCIAL
PROPOSED USE	FLEX SPACE (WHOLE SALE TRADE / WAREHOUSE & FREIGHT)
BUILDING COVERAGE	36,790 SF
MAXIMUM BUILDING HEIGHT	65' / 1.49 AC
PROPOSED BUILDING HEIGHT	90'
PARCEL CONTROL NUMBER	3323-640-0003-010-1

**OPEN SPACE**

REQUIRED	31,070 SF	0.71 AC	20%
PROVIDED	48,676 SF	1.12 AC	31%
TOTAL LANDSCAPE AREA	48,676 SF	1.12 AC	31%

**SET BACKS**

	REQUIRED (MIN.)	PROVIDED
FRONT	25'	103.82'
SIDE	10'	42.03'
REAR	15'	46.82'

**LANDSCAPE AREA**

TOTAL LANDSCAPE AREA	48,676 SF	1.12 AC	31%
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**IMPERVIOUS AREA**

BUILDING COVERAGE	36,790 SF	0.85 AC	24%
VEHICULAR USE AREA HEIGHT	5,033 SF	0.11 AC	3%
PAVERS/WALKS/DUMPSTER	5,033 SF	0.11 AC	3%
TOTAL	106,675 SF	2.45 AC	69%

**BUILDING DATA**

	OFFICE	WAREHOUSE	TOTAL
BUILDING A	3,357 SF / 15%	18,558 SF	21,915 SF
BUILDING B	2,288 SF / 15%	12,569 SF	14,857 SF
TOTAL	5,645 SF / 15%	31,127 SF	36,772 SF

**PARKING REQUIREMENTS (9.5' X 19')**

	REQUIRED	PROVIDED
WAREHOUSE	52 SPACES	55 SPACES
OFFICE	28 SPACES	30 SPACES
ACCESSIBLE SPACES	4 SPACES	4 SPACES
LOADING SPACES	1 SPACES	2 SPACES
TOTAL PARKING SPACES	85 SPACES	91 SPACES

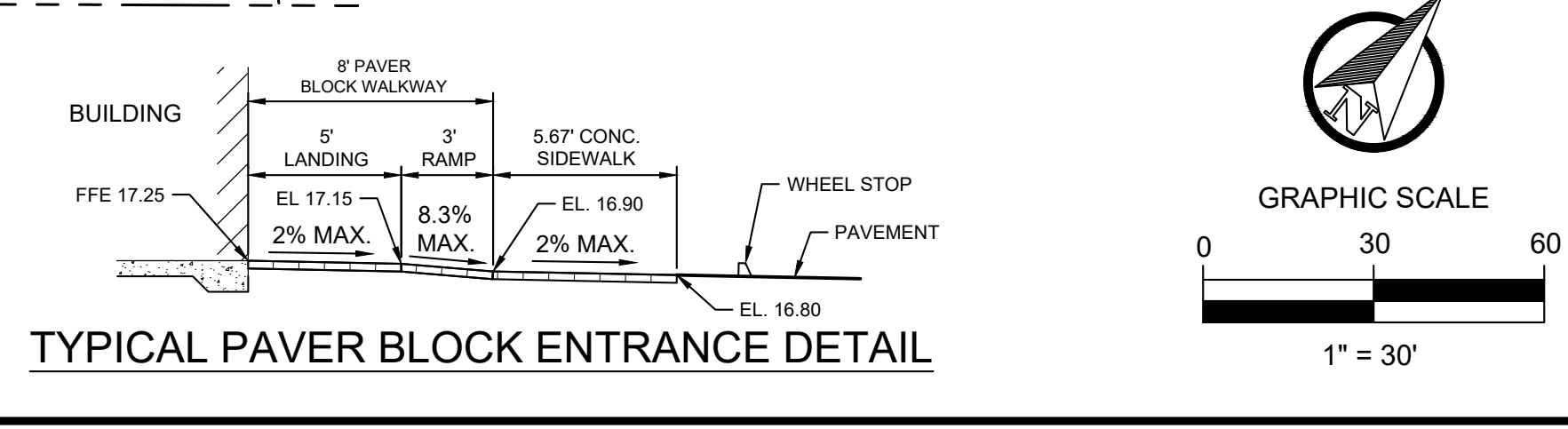
**LEGAL DESCRIPTION**  
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COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE NORTH 01°20'45" EAST, ALONG THE EAST LINE OF SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, FOR A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA S.R. 70); THENCE SOUTH 52°29'55" WEST, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 2,102.04 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 55°45'47" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 210.34 FEET; THENCE SOUTH 52°29'33" WEST ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 71.28 FEET; THENCE NORTH 37°30'27" WEST, A DISTANCE OF 73.78 FEET; THENCE NORTH 37°30'14" WEST, A DISTANCE OF 114.06 FEET; THENCE NORTH 37°29'33" WEST, A DISTANCE OF 33.20 FEET; THENCE SOUTH 52°29'33" WEST, A DISTANCE OF 185.54 FEET; THENCE NORTH 37°29'29" WEST, A DISTANCE OF 537.95 FEET; THENCE NORTH 52°33'31" EAST, A DISTANCE OF 149.75 FEET; THENCE SOUTH 37°24'29" EAST, A DISTANCE OF 101.01 FEET; THENCE NORTH 52°28'19" EAST, A DISTANCE OF 84.86 FEET; THENCE NORTH 76°15'19" EAST, A DISTANCE OF 109.98 FEET TO A POINT ON THE ARC OF A CIRCULAR CURVE TO THE LEFT AT WHICH A RADIAL LINE BEARS NORTH 72°27'31" EAST; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 85.00 FEET AND A CENTRAL ANGLE OF 10°43'05", A DISTANCE OF 15.90 FEET TO A POINT OF TANGENCY; THENCE SOUTH 28°19'34" EAST, A DISTANCE OF 42.43 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE TO THE LEFT; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 85.00 FEET AND A CENTRAL ANGLE OF 72°51'03", A DISTANCE OF 108.08 FEET TO A POINT OF TANGENCY; THENCE NORTH 78°53'23" EAST, A DISTANCE OF 69.88 FEET TO A POINT ON THE ARC OF A CIRCULAR CURVE TO THE LEFT AT WHICH A RADIAL LINE BEARS NORTH 46°34'59" EAST; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 443.72 FEET AND A CENTRAL ANGLE OF 04°34'37", A DISTANCE OF 35.44 FEET TO A POINT OF TANGENCY; THENCE SOUTH 47°59'38" EAST, A DISTANCE OF 11.05 FEET; THENCE SOUTH 44°53'31" EAST, A DISTANCE OF 203.42 FEET TO THE POINT OF BEGINNING.

LESS A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE NORTH 01°20'45" EAST ALONG THE EAST LINE OF SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, FOR A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA S.R. 70); THENCE SOUTH 52°29'55" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 2,102.04 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND; THENCE SOUTH 55°45'47" WEST FOR A DISTANCE OF 210.34 FEET; THENCE SOUTH 52°29'33" WEST FOR A DISTANCE OF 71.28 FEET; THENCE NORTH 37°30'27" WEST FOR A DISTANCE OF 73.78 FEET; THENCE NORTH 01°22'19" WEST FOR A DISTANCE OF 267.30 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 14°31'16" WEST, HAVING A RADIUS OF 85.00 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 36.54 FEET THROUGH A CENTRAL ANGLE OF 24°37'53" TO A POINT OF TANGENCY; THENCE NORTH 78°53'23" EAST FOR A DISTANCE OF 69.88 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 46°34'59" WEST, HAVING A RADIUS OF 443.72 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 35.19 FEET THROUGH A CENTRAL ANGLE OF 04°32'39"; THENCE SOUTH 47°59'38" EAST FOR A DISTANCE OF 11.05 FEET; THENCE SOUTH 44°53'31" EAST FOR A DISTANCE OF 203.42 FEET TO THE POINT OF BEGINNING.

**PARCEL 2:**  
A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE NORTH 01°20'45" EAST ALONG THE EAST LINE OF SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, FOR A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA S.R. 70); THENCE SOUTH 52°29'55" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 2,102.04 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND; THENCE SOUTH 55°45'47" WEST FOR A DISTANCE OF 210.34 FEET; THENCE SOUTH 52°29'33" WEST FOR A DISTANCE OF 71.28 FEET; THENCE NORTH 37°30'27" WEST FOR A DISTANCE OF 73.78 FEET; THENCE NORTH 01°22'19" WEST FOR A DISTANCE OF 267.30 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 14°31'16" WEST, HAVING A RADIUS OF 85.00 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 36.54 FEET THROUGH A CENTRAL ANGLE OF 24°37'53" TO A POINT OF TANGENCY; THENCE NORTH 78°53'23" EAST FOR A DISTANCE OF 69.88 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 46°34'59" WEST, HAVING A RADIUS OF 443.72 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 35.19 FEET THROUGH A CENTRAL ANGLE OF 04°32'39"; THENCE SOUTH 47°59'38" EAST FOR A DISTANCE OF 11.05 FEET; THENCE SOUTH 44°53'31" EAST FOR A DISTANCE OF 203.42 FEET TO THE POINT OF BEGINNING.

- GENERAL NOTES**
- THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL, AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA FROM THE EDGE OF PAVEMENT TO THE PROPERTY LINE WITHIN THE CITY'S RIGHT-OF-WAY IN ACCORDANCE WITH CITY CODE, SECTION 41.08(G).
  - AIR CONDITIONING AND OTHER EQUIPMENT LOCATED ON THE ROOF SHALL BE SCREENED AND CANNOT BE VISIBLE FROM AN ELEVATION THAT IS HORIZONTAL TO THE LOCATION OF THE ROOF EQUIPMENT.



**FINAL DESIGN (FOR REVIEW)**

**CONSULTANTS**

**CIVIL ENGINEER:**  
BOWMAN  
301 SE OCEAN BOULEVARD, SUITE 301  
STUART, FL 34994  
(772) 283-1413  
OCTAVIO "OATS" REIS

**SURVEYOR:**  
BOWMAN  
301 SE OCEAN BOULEVARD, SUITE 301  
STUART, FL 34994  
(772) 283-1413  
RICHARD BARNES, P.S.M.

**LANDSCAPE ARCHITECT:**  
HJA DESIGN STUDIO  
50 E OCEAN BOULEVARD SUITE 101  
STUART, FL 34994  
(772) 678-7200  
ERIKA BEITLER

**GEOTECHNICAL ENGINEER:**  
ANDERSON ANDRE CONSULTING ENGINEERS, INC.  
834 SW SWAN AVENUE  
PORT ST. LUCIE, FL 34983  
(772) 807-9191  
PETER ANDERSON, P.E.

**OWNER/APPLICANT:**  
ST. LUCIE KINGS, LLC  
101 PUGLIESES WAY, SUITE 200  
DELRAY BEACH, FL 33444  
(561) 454-1642  
DAMIAN BRINK



THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY BOWMAN CONSULTING GROUP, LTD. SHALL BE WITHOUT LIABILITY TO BOWMAN CONSULTING GROUP, LTD.

**NOTE:**  
ALL ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD).

**Bowman**  
PROFESSIONAL SURVEYORS AND MAPPERS, CERTIFICATE NO. LB 8030  
BOARD OF PROFESSIONAL ENGINEERS, CERTIFICATE OF AUTHORIZATION NO. 39492

Bowman Consulting Group, Ltd., Inc.  
301 SE Ocean Blvd, Suite 301  
Stuart, Florida 34994  
Phone: (772) 283-1413  
Fax: (772) 220-7881  
www.bowman.com  
© Bowman Consulting Group, Ltd.

FLORIDA  
SITE PLAN  
4600 FLEX SPACE  
PROJECT NO  
010894-01-001  
OCTAVIO "OATS" REIS  
LICENSE NO. 42503  
PLAN STATUS  
DATE DESCRIPTION  
BK DESIGN RO DRAWN GMB CHKD  
SCALE: 1" = 30'  
JOB No. 010894  
DATE October 2024  
FILE No. 010894-HCP  
SHEET SP1



# Saint Lucie County Property Appraiser Michelle Franklin CFA

Report generated: Tuesday, September 24, 2024

## Parcel Report



### Parcel

**PARCELNO:** 2419-122-0001-040-6

**Property ID:** 175561

**Owner1:** ST LUCIE KINGS LLC

**SiteAddress:** 4650 OKEECHOBEE RD

### Owner

**Owner1:** ST LUCIE KINGS LLC

**Owner2:**

**Owner3:**

**MailingAddress:** 101 Puglieses WAY, Unit Fl 2 Delray Beach, FL 33444-3761

### Overview

**PrimaryLandUse:** 1000 - Vac Comm

**DistrictGroup:** 0022 - Fort Pierce

**Subdivision:** Metes and Bounds

**Just/Market Value:** \$491,500

**FinishedArea:**

**Acres:** 2.19

**TotalArea:** 95,396.4

### Legal Description

**LegalDescription:** 19 35 40 FROM NE COR OF SEC RUN N 01 20 45 E ALG E LI OF SEC 357.81 FT TO N RD R/W LI OF OKEE RD, TH S 52 29 55 W ALG NLY R/W LI 2102.04 FT TO POB; TH S 55 45 47 W 210.34 FT, TH S 52 29 33 W 71.28, TH N 37 30 05 W 221.20 FT, TH S 52 29 33 W 185.54 FT, TH S 37 30 09 E 341.13 FT, TH N 52 35 31 E 149.75 FT, TH S 37 42 29 E 101.01 FT, N 52 26 19 E 84.86 FT, TH N 76 15 19 E 109.98 FT, TH S 28 15 34 E 42.13 FT TO CURVE CONC NE, R OF 85 FT, TH SELY ALG ARC 108.08 FT, TH N 78 53 23 E 69.88 FT TO WLY R/W OF CANAL # 29 AND CURVE CONC NE, R OF 443.73 FT, TH SELY ALG ARC 35.44 FT, TH S 47 59 38 W 11.05 FT, TH S 44 53 31 E 203.42 FT TO POB LESS THAT PARCEL MPDAF: 19 35 40 FROM NE COR OF SEC RUN N 01 20 45 E ALG E LI OF SEC 357.81 FT TO N RD R/W LI OF OKEE RD, TH S 52 29 55 W ALG NLY R/W LI 2102.04 FT TO POB; TH S 55 45 47 W 210.34 FT, TH S 52 29 33 W 71.28, TH N 37 30 27 W 73.78', TH N 01 22 19 W 267.30', TO CURVE CONC NE, R OF 85 FT, TH SELY ALG ARC 108.08 FT, TH N 78 53 23 E 69.88 FT TO WLY R/W OF CANAL # 29 AND CURVE CONC NE, R OF 443.73 FT, TH SELY ALG ARC 35.44 FT, TH S 47 59 38 W 11.05 FT, TH S 44 53 31 E 203.42 FT TO POB (2.19 AC)

## Value History

Year	Just/Market Value	Building Value	Land Value	SFYI Value	Assessed Value	Exemption Amount	County Taxable	Save Our Home OR 10% Cap Differential	Ag Credit
2024	\$491,500	\$0	\$491,500	\$0	\$347,391	\$0	\$347,391	\$144,109	\$0
2023	\$491,500	\$0	\$491,500	\$0	\$315,810	\$0	\$315,810	\$175,690	\$0
2022	\$287,100	\$0	\$30,400	\$256,700	\$287,100	\$0	\$287,100	\$0	\$0
2021	\$352,700	\$0	\$300,500	\$52,200	\$352,700	\$0	\$352,700	\$0	\$0

## Tax Links

[SLC Tax Collector's Office taxes for this parcel](#)

[Download TRIM notice for this parcel](#)

## Special Assessments

Description	Start Year	Units	Amount
Portofino Landings CDD	2018	9,940.83	9,940.83
North St. Lucie Water Management District	2013	2.19	52.56
Fort Pierce Stormwater Charge	2012	28.9	1,994.1

## Improvements

Building Sequence: 1

Bedrooms: 0

Bathrooms: 0

Building Type: -

Story Height:

No of Living Units:

Total Finished Area: 0

Gross Sketched Area: 0

Year Built:

Effective Year:

Primary Roof Cover:

Primary Roof Structure:

Primary Wall:

A/C %: 0

## Land Lines

Line Number	Units	Unit Type
1	95,396.4	SqFt

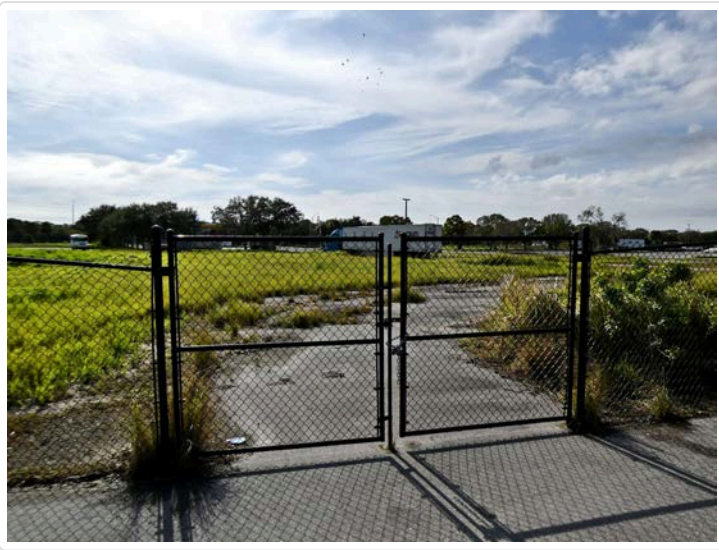
## Permits

Permit Number	Issue Date	Description
23-5023	01/21/2024	Fence

## Sales History

Sale Date	Sale Price	Sale Code	Deed Type	Grantor	Book Page	View Document
03/07/2021	\$560,000	0137	WD	Florida Tax Lien Assets IV LLC	4570-1698	<a href="#">Clerk of Courts</a>
07/26/2018	\$1,062,900	0311	TXDEED	Floridian Properties and Investments LLC	4162-302	<a href="#">Clerk of Courts</a>
07/25/2011	\$339,000	0001	WD	Prime Homes At Portofino Land	3336-357	<a href="#">Clerk of Courts</a>
07/19/2011	\$0	0311	WD	Portofino Landings CDD	3313-15	<a href="#">Clerk of Courts</a>
01/29/2006	\$0	XX03	SPWD	Portofino Landings CDD	3254-1039	<a href="#">Clerk of Courts</a>
01/29/2006	\$5,100,000	XX02	SPWD	2890 Inc	2483-1661	<a href="#">Clerk of Courts</a>

## Photos



v2023-08-17



**Saint Lucie County  
Property Appraiser  
Michelle Franklin CFA**

Report generated: Tuesday, September 24, 2024

**Parcel Report**



**Parcel**

**PARCELNO:** 2419-122-0001-050-9

**Property ID:** 176141

**Owner1:** ST LUCIE KINGS LLC

**SiteAddress:** 4600 OKEECHOBEE RD

**Owner**

**Owner1:** ST LUCIE KINGS LLC

**Owner2:**

**Owner3:**

**MailingAddress:** 101 Puglieses WAY, Unit Fl 2 Delray Beach, FL 33444-3761

**Overview**

**PrimaryLandUse:** 1000 - Vac Comm

**DistrictGroup:** 0022 - Fort Pierce

**Subdivision:** Metes and Bounds

**Just/Market Value:** \$357,100

**FinishedArea:**

**Acres:** 1.31

**TotalArea:** 57,064

**Legal Description**

**LegalDescription:** 19 35 40 FROM NE COR OF SEC RUN N 01 20 45 E ALG E LI OF SEC 357.81 FT TO N RD R/W LI OF OKEE RD, TH S 52 29 55 W ALG NLY R/W LI 2102.04 FT TO POB; TH S 55 45 47 W 210.34 FT, TH S 52 29 33 W 71.28, TH N 37 30 27 W 73.78', TH N 01 22 19 W 267.30', TO CURVE CONC NE, R OF 85 FT, TH SELY ALG ARC 108.08 FT, TH N 78 53 23 E 69.88 FT TO WLY R/W OF CANAL # 29 AND CURVE CONC NE, R OF 443.73 FT, TH SELY ALG ARC 35.44 FT, TH S 47 59 38 W 11.05 FT, TH S 44 53 31 E 203.42 FT TO POB (1.31 AC)

**Value History**

Year	Just/Market Value	Building Value	Land Value	SFYI Value	Assessed Value	Exemption Amount	County Taxable	Save Our Home OR 10% Cap Differential	Ag Credit
2024	\$357,100	\$0	\$357,100	\$0	\$252,769	\$0	\$252,769	\$104,331	\$0
2023	\$357,100	\$0	\$357,100	\$0	\$229,790	\$0	\$229,790	\$127,310	\$0
2022	\$208,900	\$0	\$117,700	\$91,200	\$208,900	\$0	\$208,900	\$0	\$0
2021	\$198,300	\$0	\$179,800	\$18,500	\$198,300	\$0	\$198,300	\$0	\$0

**Tax Links**

[SLC Tax Collector's Office taxes for this parcel](#)

[Download TRIM notice for this parcel](#)

## Special Assessments

Description	Start Year	Units	Amount
Portofino Landings CDD	2018	5,946.34	5,946.34
North St. Lucie Water Management District	2013	1.31	31.44
Fort Pierce Stormwater Charge	2012	10.2	703.8

## Improvements

**Building Sequence:** 1

**Bedrooms:** 0

**Bathrooms:** 0

**Building Type:** -

**Story Height:**

**No of Living Units:**

**Total Finished Area:** 0

**Gross Sketched Area:** 0

**Year Built:**

**Effective Year:**

**Primary Roof Cover:**

**Primary Roof Structure:**

**Primary Wall:**

**A/C %:** 0

## Land Lines

Line Number	Units	Unit Type
1	57,064	SqFt

## Sales History

Sale Date	Sale Price	Sale Code	Deed Type	Grantor	Book Page	View Document
03/07/2021	\$560,000	0137	WD	Florida Tax Lien Assets IV LLC	4570-1698	<a href="#">Clerk of Courts</a>
07/26/2018	\$1,062,900	0311	TXDEED	Floridian Properties and Investments LLC	4162-302	<a href="#">Clerk of Courts</a>
07/25/2011	\$218,000	0001	WD	Prime Homes At Portofino Land	3336-361	<a href="#">Clerk of Courts</a>
07/19/2011	\$0	0311	WD	Portofino Landings CDD	3313-15	<a href="#">Clerk of Courts</a>

## Photos



# Landscape Data

## Landscape Strip Adjacent to Public R.O.W

Ten (10) feet wide minimum landscape Strip.  
 One (1) tree for each three hundred (300) square feet of required landscaped area.

**Portofino Landings (West):** 315 LF x 10 = 3,150 sf  
 Trees Required: ( 3,150 sf / 300 ) = 11 Trees  
 Trees Provided: = 11 Trees  
 (9 Trees + 6 Palms (3:1))

**Okeechobee Road (South):** 282 LF x 10 = 2,820 sf  
 Trees Required: ( 2,820 sf / 300 ) = 9 Trees  
 Trees Provided: = 15 Trees

## Landscape Strip Adjacent to Other Property

*Vehicular use, building, retention/detention areas adjacent to other property*  
 Ten (10) feet wide minimum landscape Strip.  
 One (1) tree for each three hundred (200) square feet of required landscaped area.  
 Fence/Vegetated screening required where VUA abuts residentially zoned property.

**Portofino Landings (North):** 678 LF x 10 = 6,780 sf  
 Trees Required: ( 6,780 sf / 300 ) = 23 Trees  
 Trees Provided: = 29 Trees  
 (23 Trees + 18 Palms (3:1))

**Five Mile Creek (East):** 250 LF x 10 = 2,500 sf  
 Trees Required: ( 2,500 sf / 300 ) = 8 Trees  
 Trees Provided: = 8 Trees

**Sea Lion Real Estate (West):** 221 LF x 10 = 2,210 sf  
 Trees Required: ( 2,210 sf / 300 ) = 7 Trees  
 Trees Provided: = 9 Trees (Existing)

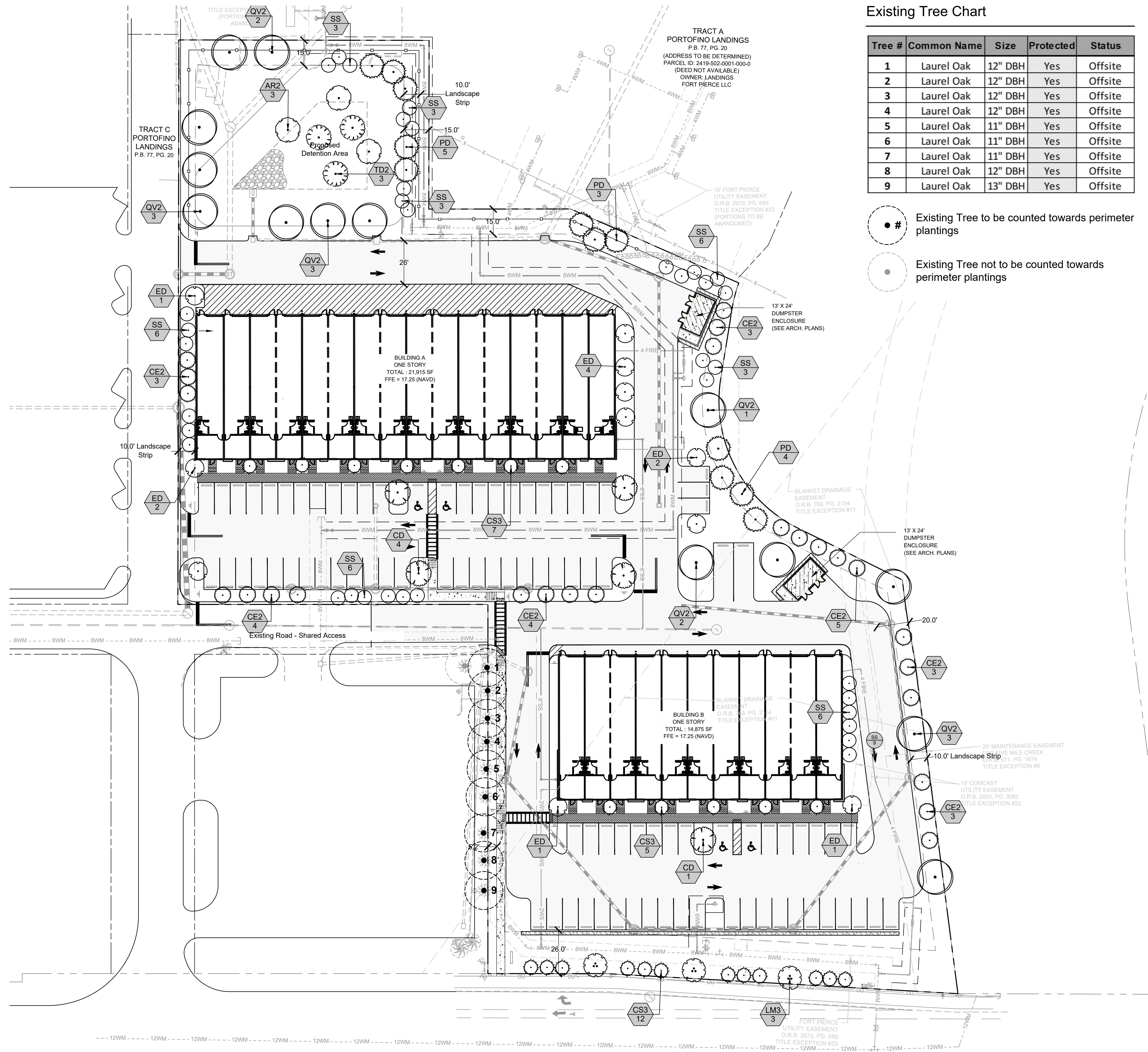
## Interior Vehicular Use Areas

Vehicular use areas that are four thousand (4,000) or more square feet in size shall have at least one square foot of interior landscaping for each fifteen (15) square feet of vehicular use area. One tree for each one hundred (100) square feet of required landscaped area. Each separate landscaped area shall be curbed and contain a minimum of one hundred (100) square feet of area and shall be at least ten (10) feet wide and ten (10) feet deep exclusive of curbing in all locations.

**Vehicular Use Area:** 64,852 sf  
 Landscape Area Required: ( 64,852 sf / 15 sf ) = 4,323 sf  
 Landscape Area Provided: = 16,890 sf  
 Trees Required: ( 4,323 SF / 100 ) = 43 Trees  
 Trees Provided: = 45 Trees  
 (41 Trees + 12 Palms (3:1))

## Fort Pierce Landscape Notes

- Plant materials shall meet or exceed the standards for Florida No. 1 as set out in the most current edition of "Grades and Standards for Nursery Plants Part 1 and Part 2," State of Florida, Department of Agriculture, Tallahassee.
- All trees required by this article (excluding palms that are exempt from the grades and standards) shall have a Florida No. 1 or better "Grades and Standards" certification tag attached at time of delivery through final inspection.
- Grass sod shall be clean and free of weeds, pests and diseases.
- Planting soil for all landscaped areas shall consist of existing soil mixed with fifty (50) per cent recycled top soil. Such planting soil shall be generally indigenous to the locale, free of debris, roots, clay, stones, plants or other foreign materials. The planting soil shall extend to an appropriate depth so as to eliminate any hindrance to planting operations or detriment to good plant growth. Compliance with these soil requirements shall be verified as part of the final inspection.
- Landscaped areas shall be covered in their entirety with shrubs, ground cover, turf, or three (3) inches of bulk organic mulch or other suitable material which permits percolation and is approved by the department.
- Do not place any soil or mulch over the root ball. If stakes or guide wires are used to support a tree, the wire must be covered with protective material where it is in contact with the tree and the stakes or guide wires must be removed after one year.
- All landscaping must be protected from vehicular and pedestrian traffic by the installation of curbing, wheel stops or other protective devices along the perimeter of any landscaping which adjoins vehicular use areas or sidewalks. These protected devices shall have a minimum height of six (6) inches above grade.
- No parking, display of vehicles or outside storage or display of merchandise is permitted in or over any required landscape area, nor are vehicles permitted to overhang any required landscaped area.
- To minimize traffic hazards at street or driveway intersections, all landscaping installations must provide unobstructed views.
- Any irrigation system placed on city right-of-way will be the responsibility of the property owner who shall relocate, replace or repair the system as appropriate in the event it is damaged due to permitted construction in the right-of-way.
- Prior to issuance of certificate of occupancy, final landscape installation shall be certified as complete and in conformance to the approved landscape plan by submission of a certification letter by a landscape architect.
- Property owners shall maintain all required landscaping so that it continues to present a healthy, neat and orderly appearance free of refuse and debris.
- Vegetation required shall be replaced with equivalent vegetation if it is not living. All trees for which credit is awarded and which subsequently die shall be replaced by the same number of living trees.
- Maintenance shall include sufficient weeding, watering, fertilizing, pruning, mowing, edging, mulching and other horticultural practices so as to assure that the landscaping continues to maintain a healthy, neat and orderly appearance.
- No person shall, directly or indirectly, cut down, substantially alter, destroy, remove, relocate, damage or authorize any such act involving a protected tree situated on land within the city, without first obtaining a tree removal permit.
- Removal, trimming, pruning or alteration of any tree or vegetation in an existing utility easement or public right-of-way, provided such work is done by or under the control of the operating utility company and said company has received all necessary licenses or permits to provide utility service within the easement.
- This plan has been designed to meet the tree planting requirements contained within the FPL document entitled "Plant the Right Tree in the Right Place". For existing or proposed utilities, no tree shall be planted where it could, at a mature height conflict with overhead power lines.
  - Large trees (height at maturity of more than 30') shall be planted no closer than a horizontal distance of 30' from the nearest overhead power line.
  - Medium height trees (height at maturity between 20' and 30') shall be offset at least 20' and small trees (height at maturity of less than 20') require no offset.
  - No tree shrubs, hedges or vines shall be planted within 5' of an existing or proposed utility pole, guy wire or pad-mounted transformer.
  - Palms should be planted at a distance equal to or greater than the average frond length plus two (2) feet from power lines.



## Existing Tree Chart

Tree #	Common Name	Size	Protected	Status
1	Laurel Oak	12" DBH	Yes	Offsite
2	Laurel Oak	12" DBH	Yes	Offsite
3	Laurel Oak	12" DBH	Yes	Offsite
4	Laurel Oak	12" DBH	Yes	Offsite
5	Laurel Oak	11" DBH	Yes	Offsite
6	Laurel Oak	11" DBH	Yes	Offsite
7	Laurel Oak	11" DBH	Yes	Offsite
8	Laurel Oak	12" DBH	Yes	Offsite
9	Laurel Oak	13" DBH	Yes	Offsite

- # Existing Tree to be counted towards perimeter plantings
- Existing Tree not to be counted towards perimeter plantings



50 E. Ocean Blvd., Suite 101  
 Stuart, Florida 34994

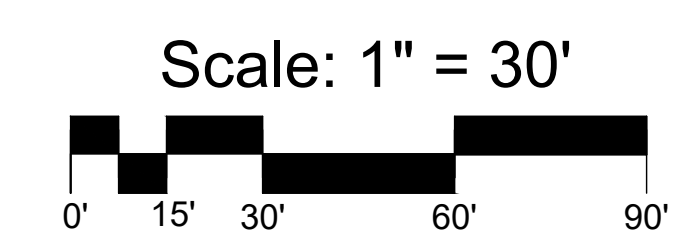
T 772.678.7200  
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 LA 0000905

Florida  
 4600 Okeechobee Road  
 City of Fort Pierce  
 Landscape Plan

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 The following drawings are instruments of service to the Landscape Architect. They are not products of design. All ideas, designs, arrangements, and plans indicated or represented by this drawing are owned by and the property of the designer, and were created, evolved, and developed for use on and in connection with the specified project. None of such ideas, designs, arrangements, or plans shall be used by or disclosed to any person, firm, or corporation for any purpose whatsoever without the written permission of the designer.

Job No. 2022-07  
 Drawn By EB  
 Checked By MH  
 Approved By MH  
 Submittal Dates 02-01-23  
 Revision Dates 10-30-24



LP-1

# Landscape Notes / Specifications

**1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO ALL THE REQUIREMENTS STATED UNDER DIVISION 1 - GENERAL REQUIREMENTS AND CONDITIONS AS WELL AS THE SPECIFIC CRITERIA OUTLINED HEREIN AND ON THE LANDSCAPE DRAWINGS INCLUDING ADDENDA AS MAY BE ISSUED BY THE OWNER.**

**2. THE SCOPE OF WORK FOR THE LANDSCAPE CONTRACTOR FOR THIS PROJECT SHALL INCLUDE THE PROVISION OF ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO COMPLETE ALL TASKS ASSOCIATED WITH THE LANDSCAPE AND IRRIGATION INSTALLATION AS SHOWN ON THE DRAWINGS OR NOTED HEREIN. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE GENERAL CONTRACTOR REASONABLE ACCESS TO POWER AND POTABLE WATER SOURCES AS REQUIRED.**

**3. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING ALL WORK (INCLUDING DELIVERY, STORAGE AND DISPOSAL OF THEIR MATERIALS) IS PERFORMED IN COMPLIANCE WITH APPLICABLE JURISDICTIONAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS ASSOCIATED WITH THE WORK.**

**4. THE LANDSCAPE CONTRACTOR SHALL ASSIGN A QUALIFIED PROJECT MANAGER AND FIELD SUPERVISOR TO WORK DIRECTLY WITH THE LANDSCAPE ARCHITECT AND SUPERVISE THE WORK AT ALL TIMES THROUGH FINAL OWNER ACCEPTANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT PROJECT MANAGER HAS A COMPLETE, CURRENT SET OF DOCUMENTS ON-SITE AT ALL TIMES.**

**5. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH EXISTING SITE CONDITIONS AND NOTIFYING THE OWNER IN WRITING OF ANY CONCERNS PRIOR TO COMMENCEMENT OF WORK. THIS EVALUATION SHOULD INCLUDE, BUT IS NOT LIMITED TO, VERIFICATION OF SURFACE AND SUBSURFACE UTILITIES, GRADES, DIMENSIONS AND SOIL CONDITIONS.**

**6. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH PROJECT PLANS AND SCOPES OF WORK RELATED TO ASSOCIATED TRADES TO BE PERFORMED BY OTHERS IN ORDER TO IDENTIFY KEY COORDINATION ITEMS INCLUDING, BUT NOT LIMITED TO, SITE ACCESS, MATERIAL STORAGE, SCHEDULING AND SEQUENCING OF WORK. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL SITE ISSUES WITH THE GENERAL CONTRACTOR.**

**7. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT WORK, MATERIALS AND EQUIPMENT FROM DAMAGE DUE TO THEIR ACTIVITIES. THE LANDSCAPE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSON OR PROPERTY THAT MAY OCCUR AS A RESULT OF THE EXECUTION OF THEIR WORK.**

**8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE AREA, MATERIALS AND EQUIPMENT WITHIN THE LIMITS OF WORK IN A SAFE, NEAT AND ORDERLY MANNER. EXCESSIVE MATERIALS AND DEBRIS ARE TO BE REMOVED FROM THE WORK AREA NO LESS THAN WEEKLY OR AS DIRECTED BY THE GENERAL CONTRACTOR.**

**9. THE LANDSCAPE CONTRACTOR MUST TAKE PRECAUTIONS TO PROTECT ALL EXISTING SITE ROADS, PARKING LOTS, CURBS AND UTILITIES FROM DAMAGE. THIS APPLIES NOT ONLY TO THE AREA WITHIN THE LIMITS OF WORK BUT ALSO ALONG ANY LOCAL ACCESS ROADS.**

**10. THE LANDSCAPE CONTRACTOR SHALL PROVIDE ALL NECESSARY SAFETY MEASURES DURING CONSTRUCTION OPERATIONS TO PROTECT THE PUBLIC ACCORDING TO ALL APPLICABLE CODES AND RECOGNIZE LOCAL PRACTICES.**

**11. THE LANDSCAPE CONTRACTOR SHALL COORDINATE WITH GENERAL CONTRACTOR TO ENSURE THAT TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES (SILT FENCE, ORANGE GEO FENCE AND/OR OTHER MEASURES) ARE INSTALLED PRIOR TO BEGINNING EXCAVATION.**

**12. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL PLANT MATERIALS AND THE PLANTING AREAS UNTIL FINAL ACCEPTANCE BY THE OWNER.**

**13. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE AGRONOMIC EVALUATION OF SOIL CHARACTERISTICS. EVALUATION MUST INCLUDE CHEMICAL ANALYSIS BY A QUALIFIED AGRICULTURAL SOILS TESTING LABORATORY (CERTIFIED IN THE STATE OF FLORIDA). SOILS SAMPLE SHOULD BE TAKEN IMMEDIATELY FOLLOWING COMPLETION OF FINISH GRADING ACTIVITIES AND SHOULD BE COLLECTED AT A RATE ON ONE SAMPLE FOR EACH 5,000 SQUARE FEET OF IMPACTED AREA, OR A TOTAL OF SIX, WHICHEVER IS GREATER. AT A MINIMUM THE CHEMICAL ANALYSIS OF THE SOIL SHOULD CONSIDER THE FOLLOWING:**

A. PERCENTAGE OF ORGANIC MATTER  
 B. SALINITY  
 C. PH  
 D. LIME CONTENT  
 E. MINERAL NUTRIENTS INCLUDING CONCENTRATIONS OF NITROGEN, PHOSPHOROUS, POTASSIUM, CALCIUM, MAGNESIUM, IRON, ZINC, MANGANESE, COPPER, SULFUR, AND MOLYBDENUM.  
 F. POTENTIAL HAZARDS OR IMPEDIMENTS FOR PLANT GROWTH INCLUDING SALINITY, SODIUM CHLORIDE, BORON, IMPAIRED SOIL STRUCTURE OR DRAINAGE.  
 G. SAND FRACTION ANALYSIS AS A PERCENTAGE PASSING THROUGH 1', AND NO. 200 SIEVES  
 H. PERCOLATION RATE IN INCHES PER HOUR.

**THE ANALYSIS SHOULD ALSO INCLUDE SPECIFIC RECOMMENDATIONS TO THE OWNER FOR ANY AMENDMENTS AND BACKFILL MIXES FOR OPTIMAL PLANT GROWTH TO BE MADE TO THE SOILS PRIOR TO PLANTING. THE CONTRACTOR SHOULD INCLUDE THE COST FOR SOIL AMENDMENTS. THE CONTRACTOR IS TO PROVIDE THE OWNER WITH COPIES OF ALL SOIL TESTING RESULTS. SUBMITTAL DOCUMENTATION MUST ALSO CONTAIN A GRAPHIC SITE PLAN DEPICTING LOCATIONS FROM WHICH EACH SAMPLE WAS DRAWN.**

**14. THE LANDSCAPE CONTRACTORS BARE BID FOR SOIL PREPARATION IS TO INCLUDE THE FOLLOWING WITH THE UNDERSTANDING THAT MIX DESIGN MAY NEED TO BE ADJUSTED BASED ON OUTCOME OF AGRONOMIC TESTING:**

A. TREES: 100% SITE SOIL WITH 5LB. TRIPLE SUPER PHOSPHATE PER CU. YD.  
 B. SHRUBS: 100% SITE SOIL WITH OSMOCOTE CONTROLLER RELEASE FERTILIZER (14-14-14) PER MANUFACTURER'S RECOMMENDATION.  
 C. THE SOILS TEST RESULTS TAKE PRECEDENCE OVER THE ITEMS NOTED IN A AND B ABOVE.

**15. SHOULD OWNER AND LANDSCAPE CONTRACTOR AGREE WITH THE RECOMMENDATION OF THE TESTING AGENCY TO FURTHER AMEND THE SOILS THE CONTRACTOR'S CONTRACT WILL BE ADJUSTED ACCORDINGLY. THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT SAMPLES OF AMENDED SOILS TO BE RE-TESTED TO CONFIRM COMPLIANCE WITH RECOMMENDATIONS FOLLOWING THE SAME PROCEDURES AS THE ORIGINAL TESTS.**

**16. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE QUANTITIES OF EACH PLANT MATERIAL REQUIRED TO ADEQUATELY COVER THE AREA SHOWN ON THE LANDSCAPE PLANS AT THE PRESCRIBED SPACING AND NOTIFYING THE OWNER IMMEDIATELY OF ANY PERCEIVED DISCREPANCIES FOR RESOLUTION. THE PLANT SPACING CONTROLS BED LAYOUT, NOT THE PLAN QUANTITY FOR THAT PARTICULAR BED.**

## FINE GRADING NOTES

1. FINISHED GRADE IN PLANTING AREAS SHALL BE HELD 3" BELOW THE FINISHED ELEVATIONS SHOWN FOR ALL ADJACENT HARDCAPE SURFACES.

2. ALL FILL REQUIRED SHALL BE CLEAN, WELL DRAINING SOIL. FILL SHALL BE CLEAN AND FREE OF ALL MATERIAL HARMFUL TO PLANT GROWTH AND DELETERIOUS MATERIAL. SUCH AS ROCKS (LARGER THAN 2" DIA.), COMPACTED CLAY, ROADBED OR SURFACING MATERIAL, MUCK, ROOTS AND BRANCHES, ETC.

3. THE LANDSCAPE CONTRACTOR IS TO ENSURE THAT THEIR WORK DOES NOT ADVERSELY IMPACT ESTABLISHED OR PROJECTED DRAINAGE PATTERNS.

## INSTALLATION NOTES

1. PLANT AND LANDSCAPE MATERIALS SHALL CONFORM TO THE STANDARDS FOR FLORIDA NO. 1, AS GIVEN IN THE GRADES AND STANDARDS FOR NURSERY PLANTS, PARTS I & II, AS PREPARED BY THE FLORIDA DEPT. OF AGRICULTURE AND CONSUMER SERVICES.

2. A 3" THICK LAYER OF ORGANIC NON-CYPRUSS MULCH SHALL BE APPLIED TO ALL LANDSCAPE AND PLANTING AREAS.

3. ALL EXOTIC VEGETATION TO BE REMOVED FROM THE SITE PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

4. THIS PLAN HAS BEEN DESIGNED TO MEET WITH THE TREE PLANTING REQUIREMENTS CONTAINED WITHIN THE FPL DOCUMENT ENTITLED "PLANT THE RIGHT TREE IN THE RIGHT PLACE."

5. FOR EXISTING OR PROPOSED UTILITIES, NO TREE SHALL BE PLANTED WHERE IT COULD, AT MATURE HEIGHT, CONFLICT WITH OVERHEAD POWER LINES. LARGE TREES (HEIGHT AT MATURITY OF MORE THAN THIRTY (30) FEET) SHALL BE PLANTED NO CLOSER THAN A HORIZONTAL DISTANCE OF THIRTY (30) FEET FROM THE NEAREST OVERHEAD POWER LINE. MEDIUM HEIGHT TREE (HEIGHT AT MATURITY BETWEEN TWENTY (20) AND THIRTY (30) FEET) SHALL BE OFFSET AT LEAST TWENTY (20) FEET AND SMALL TREES (HEIGHT AT MATURITY OF LESS THAN (20) FEET) REQUIRE NO OFFSET.

6. NO TREE, SHRUBS, HEDGES OR VINES SHALL BE PLANTED WITHIN FIVE (5) FEET OF ANY EXISTING OR PROPOSED UTILITY POLE, GUY WIRE OR PAD MOUNTED TRANSFORMER. PALMS SHOULD BE PLANTED AT A DISTANCE EQUAL TO OR GREATER THAN THE AVERAGE FRONT LENGTH PLUS TWO (2) FEET FROM POWER LINES.

7. WETLAND BUFFERS, BUFFER PROTECTION AREAS, AND UPLAND PRESERVE AREAS SHALL BE PROTECTED FROM EXCAVATION, CONSTRUCTION, AND OTHER BUILDING MAINTENANCE ACTIVITIES.

8. TREES TO REMAIN DURING CONSTRUCTION SHALL BE PROTECTED AND BARRICADED. SEE TREE PROTECTION NOTE.

9. FERTILIZER SHALL BE COMPLETE WITH APPROXIMATELY THE FOLLOWING RATIO: 3N-13P-3K (+Mg FOR PALMS ONE Y)

10. TREES AND PALMS ARE TO BE PLANTED IN ACCORDANCE TO LANDSCAPE PLAN. GOOD HORTICULTURAL PRACTICES MUST BE OBSERVED.

11. TREES AND PALMS ARE TO BE PLANTED IN THE RIGHT-OF-WAY (ROW) AT A MINIMUM OF FOUR (4) FEET FROM BACK OF CURB AT LOCATIONS IDENTIFIED ON THE LANDSCAPE PLAN. AWARDED BIDDER SHALL STAKE AND/OR PAINT PLANTING LOCATIONS IN THE FIELD. UPON APPROVAL BY THE CUSTOMER, THESE AREAS SHALL BE SPRAYED WITH AN APPROVED HERBICIDE AND MAINTAINED WEED-FREE FOR THE DURATION OF THE PROJECT.

12. EXCAVATE PLANTING HOLES WITH VERTICAL SIDES. DO NOT DISTURB SOIL AT BOTTOM OF PLANTING HOLES. MAKE EXCAVATIONS TWICE AS WIDE AS THE ROOT BALL DIAMETER AND SLIGHTLY LESS (TWO INCHES) THAN THE DISTANCE BETWEEN THE TOP-MOST ROOT IN THE ROOT BALL AND THE BOTTOM OF THE ROOT BALL. ALTERNATIVELY, EXCAVATE THE HOLE SLIGHTLY WIDER THAN THE ROOT BALL AND PLACE THE ROOT BALL IN THE HOLE SO THE TOP-MOST ROOT IS EVEN WITH OR SLIGHTLY (2 INCHES) HIGHER THAN THE SURROUNDING LANDSCAPE GRADE. THEN, LOOSEN THE SURROUNDING SOIL OUT TO A DIAMETER EQUAL TO TWICE THE DIAMETER OF THE ROOT BALL. FINALLY, PUSH THE LOOSENEED SOIL TOWARD THE ROOT BALL TO FILL THE HOLE.

IF WATER FILLS THE BOTTOM OF THE PLANTING HOLE, ADD SOIL TO THE BOTTOM OF THE HOLE UNTIL THE WATER IS COVERED. PACK THIS ADDED SOIL FIRMLY. PLACE THE ROOT BALL ON THIS PACKED SOIL. SOIL, NOT IN WATER. NO PART OF THE ROOT BALL SHALL BE PLACED IN WATER. IF NECESSARY, BRING IN SOIL SIMILAR TO SITE SOIL TO COVER THE SIDES OF THE ROOT BALL, CREATING A RAISED MOUND. THE BASE OF THE MOUND (IE. THE OUTER DIAMETER) CREATED SHALL BE AT LEAST SIX TIMES THE DIAMETER OF THE ROOT BALL.

WHEN PLANTING ON A SLOPE, THE TOP-MOST MAIN ROOT IN THE ROOT BALL SHALL BE EVEN WITH THE GRADE ON THE UPHILL SIDE OF THE TREE. SITE SOIL WILL NEED TO BE ADDED ON THE DOWNHILL SIDE TO COVER THE SIDES OF THE ROOT BALL AND TO CONSTRUCT THE SOIL BERM TO HOLD WATER. THE AMOUNT OF SOIL ADDED ON THE DOWNHILL SIDE WILL DEPEND ON THE SLOPE AND SIZE OF THE ROOT BALL.

13. REMOVE ALL WOOD, PLASTIC, OR GRO-BAGS FROM THE ROOT BALL. SET PLANTS IN CENTER OF THE HOLE WITH TOP-MOST ROOT IN THE ROOT BALL AT THE SAME HEIGHT OR SLIGHTLY (2 INCHES) HIGHER THAN FINISHED LANDSCAPE GRADES AND PLUMB THE TREE SO THE TRUNK IS VERTICAL. BACKFILL FIELD SOIL AROUND SIDES OF ROOT BALL AND WORK EACH LAYER TO SETTLE AND ELIMINATE VOIDS AND AIR POCKETS. MATERIAL MUST BE WATERED IN AS PLANTED. PROVIDE APPROXIMATELY 5 GALLONS OF WATER PER INCH OF TRUNK CALIPER TO THE ROOT BALL ONCE ALL BACKFILL IS FILLED IN AROUND THE ROOT BALL.

14. PROVIDE A 2.5" HIGH SOIL BERM AROUND THE EDGE OF ROOT BALL TO FORM A SHALLOW SAUCER TO COLLECT WATER. THE WATERING SAUCER, REGARDLESS OF HOLE SIZE, IS TO BE AT EDGE OF ROOT BALL. ALTERNATIVELY, COBRA EDGING IS TO BE INSTALLED AT THE EDGE OF THE ROOT BALL.

15. BROADCAST OVER THE ROOT BALL AND BACKFILL SOIL, AT THE RECOMMENDED RATE, A BROAD-SPECTRUM PRE-EMERGENT HERBICIDE PRIOR TO MULCHING.

16. APPLY A CONTROLLED-RELEASE FERTILIZER TO THE SOIL SURFACE UNDER THE MULCH AT 1LB. NITROGEN PER 1000 FT<sup>2</sup>. PRIOR TO MULCHING. NO OTHER AMENDMENTS ARE NECESSARY.

17. ON TREES UP TO 4" CALIPER, APPLY A THREE (3) -INCH LAYER OF MULCH TO AN EIGHT (8) -FOOT DIAMETER CIRCULAR AREA AROUND THE TRUNK. ON LARGER CALIPER TREES, APPLY A TWO (2) -FOOT DIAMETER MULCH AREA FOR EACH INCH OF TRUNK CALIPER. NO MULCH SHALL BE APPLIED TO THE INNER HALF OF THE ROOT BALL SURFACE.

18. TREES AND PALMS ARE TO BE SECURED BY AWARDED BIDDER AS SHOWN IN EXHIBITS A-C. (NOTE: STAKING IS OPTIONAL FOR MORE PROTECTED LOCATIONS).

19. A REPRESENTATIVE WILL INSPECT TREES AND PALMS DURING INSTALLATION. MATERIAL THAT IS IN SHOCK OR HAS BEEN DAMAGED DURING INSTALLATION SHALL BE REPLACED BY AWARDED BIDDER WITHIN FIVE (5) WORKING DAYS FROM NOTIFICATION.

20. REMOVE FROM WORK SITE ALL EXCESS MATERIALS (E.G., SOIL, DEBRIS AND EQUIPMENT) DAILY THROUGH DURATION OF PROJECT. DAMAGES RESULTING FROM INSTALLATION SHALL BE REPAIRED BY AWARDED BIDDER.

21. PRUNING: IF THERE IS A DOUBLE LEADER IN THE TOP HALF OF THE TREE, SHORTEN ONE, BY ABOUT ONE-HALF, BACK TO A LIVE BRANCH THAT POINTS AWAY FROM THE TREE AND IS AT LEAST ONE-THIRD THE DIAMETER OF THE CUT LEADER. REMOVE BROKEN PORTIONS OF DAMAGED BRANCHES BACK TO A LIVE LATERAL BRANCH.

21. PRUNING: IF THERE IS A DOUBLE LEADER IN THE TOP HALF OF THE TREE, SHORTEN ONE, BY ABOUT ONE-HALF, BACK TO A LIVE BRANCH THAT POINTS AWAY FROM THE TREE AND IS AT LEAST ONE-THIRD THE DIAMETER OF THE CUT LEADER. REMOVE BROKEN PORTIONS OF DAMAGED BRANCHES BACK TO A LIVE LATERAL BRANCH.

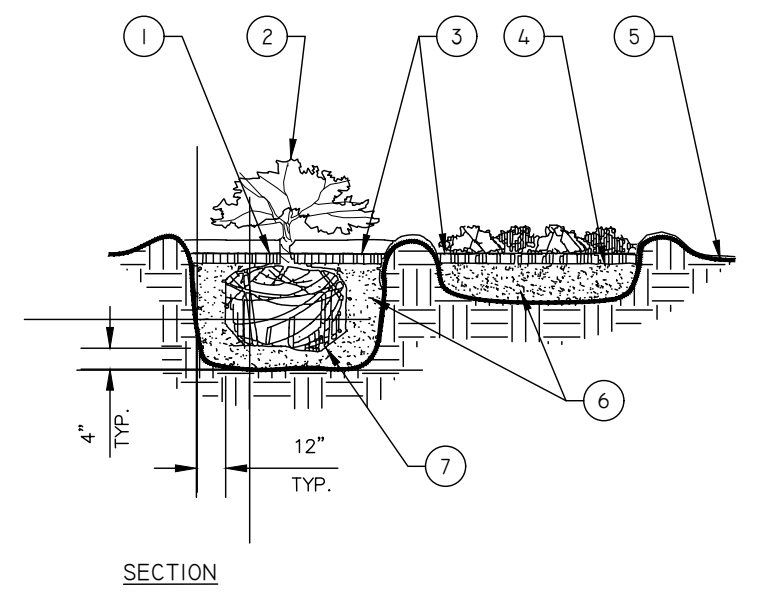
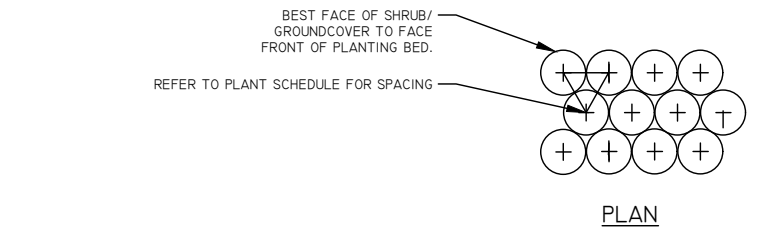
22. REMOVE ALL STRING OR WIRE WRAPPED AROUND THE TRUNK. REMOVE ALL STRAPS, ROPE AND STRING USED TO LIFT THE ROOT BALL. REMOVE ALL BURLAP AND WIRE FROM THE TOP OF THE ROOT BALL.

## ACCEPTANCE NOTES

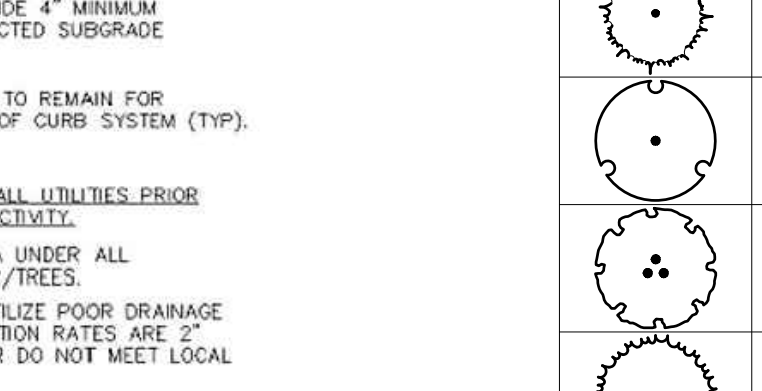
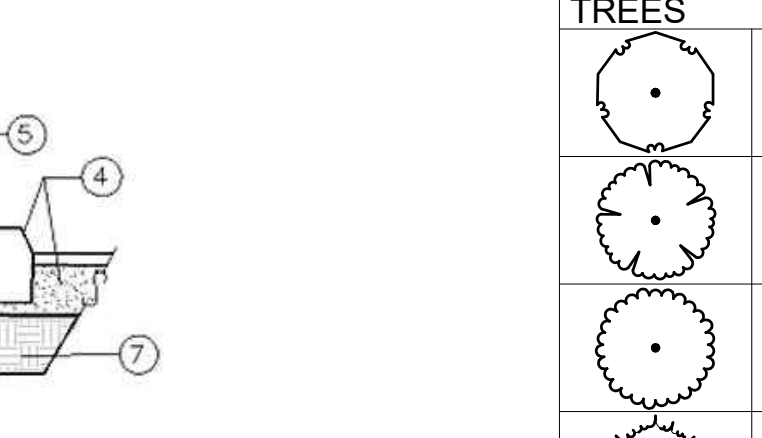
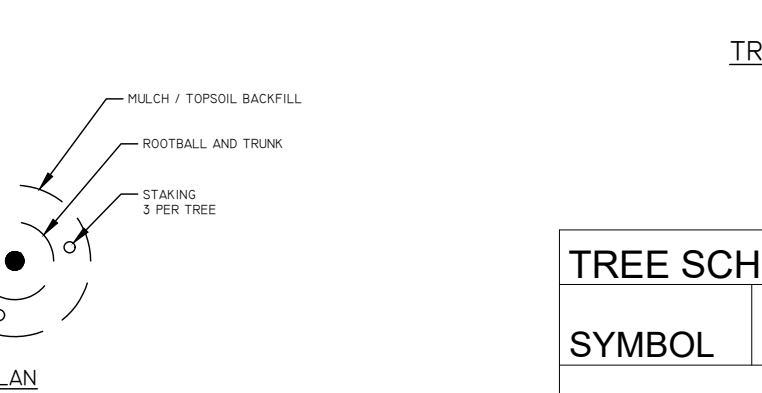
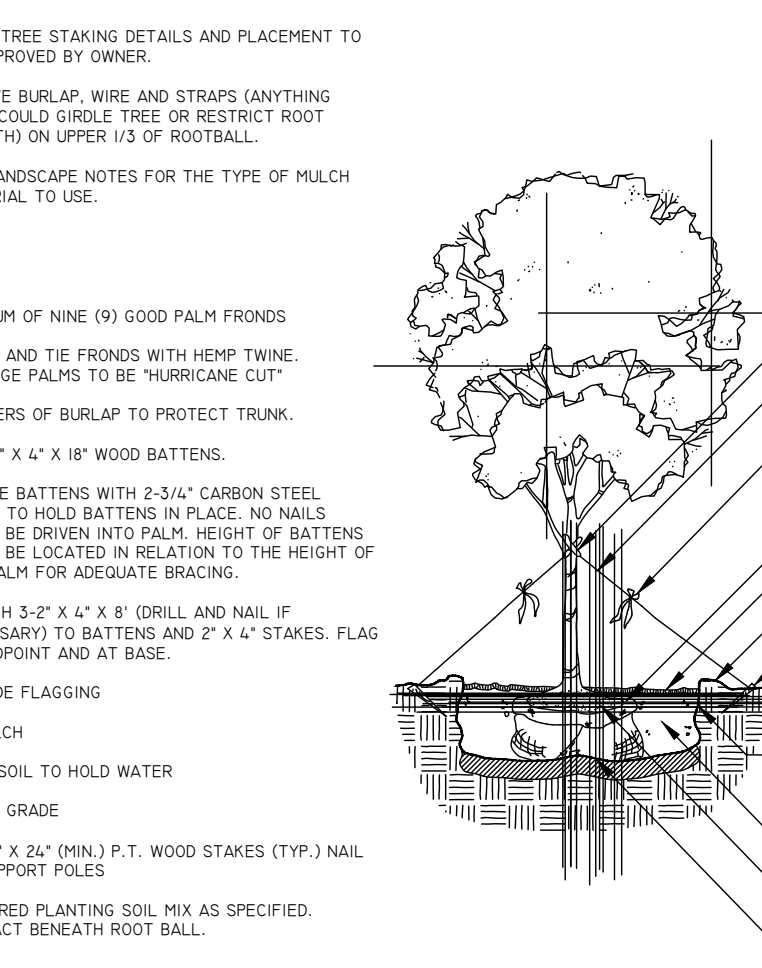
1. INSPECTION TO DETERMINE ACCEPTANCE OF PLANTED AREAS WILL BE MADE BY THE CUSTOMER REPRESENTATIVE UPON AWARDED BIDDER'S REQUEST. PROVIDE NOTIFICATION A MINIMUM OF FIVE (5) WORKING DAYS BEFORE REQUESTED INSPECTION DATE.

PLANTED AREAS WILL BE ACCEPTED PROVIDED ALL REQUIREMENTS, INCLUDING MAINTENANCE, HAVE BEEN SATISFIED AND PLANT MATERIALS ARE IN A HEALTHY, VIGOROUS CONDITION.

2. THE CUSTOMER REPRESENTATIVE WILL PREPARE A "PUNCH LIST" OF THOSE ITEMS, WHICH MUST BE CORRECTED BEFORE RE-INSPECTION FOR FINAL ACCEPTANCE. THE REPRESENTATIVE WILL DETERMINE AN APPROPRIATE TIME PERIOD FOR CORRECTIONS. AWARDED BIDDER MUST REQUEST RE-INSPECTION TWO (2) WORKING DAYS IN ADVANCE.



## SHRUB/GROUNDCOVER PLANTING



## TREE SCHEDULE

SYMBOL	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	NATIVE
<b>TREES</b>					
●	AR2	3	Florida Flame Red Maple / <i>Acer rubrum</i> 'Florida Flame'	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
●	CD	5	Pigeon Plum / <i>Coccoloba diversifolia</i>	12' HT. x 6' Spr. Min,	Yes
●	CE2	25	Green Buttonwood / <i>Conocarpus erectus</i>	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
●	CS3	24	Silver Buttonwood / <i>Conocarpus erectus sericeus</i>	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
●	ED	11	Japanese Blueberry Tree / <i>Elaeocarpus decipiens</i> TM	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	No
●	LM3	3	Lavender Crape Myrtle / <i>Lagerstroemia x 'Muskogee'</i>	2.5" DBH, 12' Ht. x 5' Spr. Min., Multi-trunk, 5' ct.	No
●	PD	12	Slash Pine / <i>Pinus elliotii densa</i>	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
●	QV2	14	Southern Live Oak / <i>Quercus virginiana</i>	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
●	TD2	3	Bald Cypress / <i>Taxodium distichum</i>	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
<b>PALMS</b>					
●	SS	36	Cabbage Palmetto / <i>Sabal palmetto</i>	30% @ 12' ct., 35% @ 15' ct., 35% @ 18' ct., Stagger Hts. within groups	Yes

CODE	QTY	COMMON / BOTANICAL NAME	SIZE	SPACING
<b>SHRUB SCHEDULE</b>				
<b>SHRUB AREAS</b>				
CG	52	Small Leaf Clusia / <i>Clusia guttifera</i>	3 gal., 24" Ht. min., Full	24" o.c.
VS	118	Sandankwa Viburnum / <i>Viburnum suspensum</i>	3 gal., 24" Ht. min., Full	24" o.c.



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Landscape Specifications

Florida

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Job No.	2022-07
Drawn By	EB
Checked By	MH
Approved By	MH
Submittal Dates	02-01-23
Revision Dates	10-30-24

LP-2

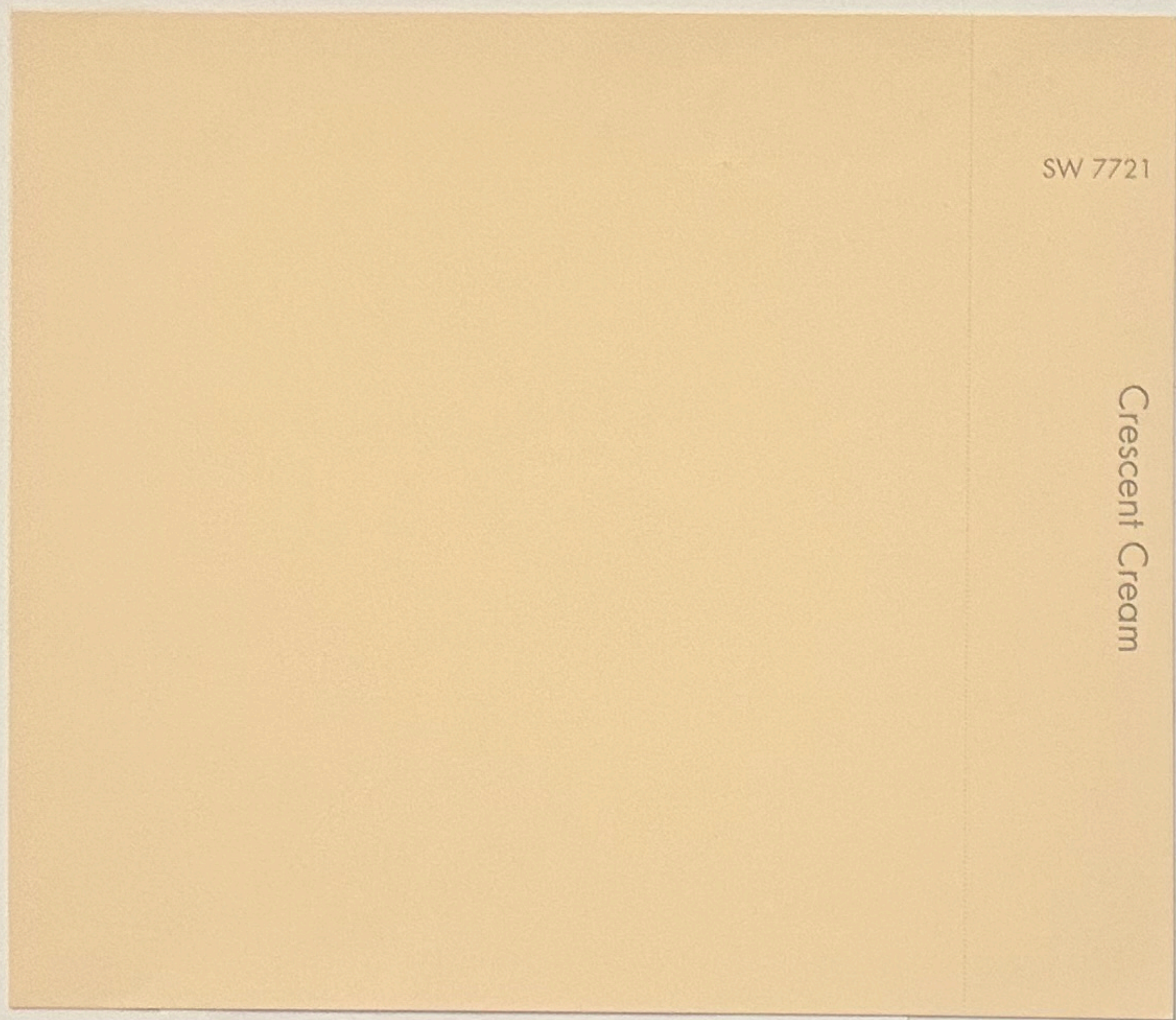


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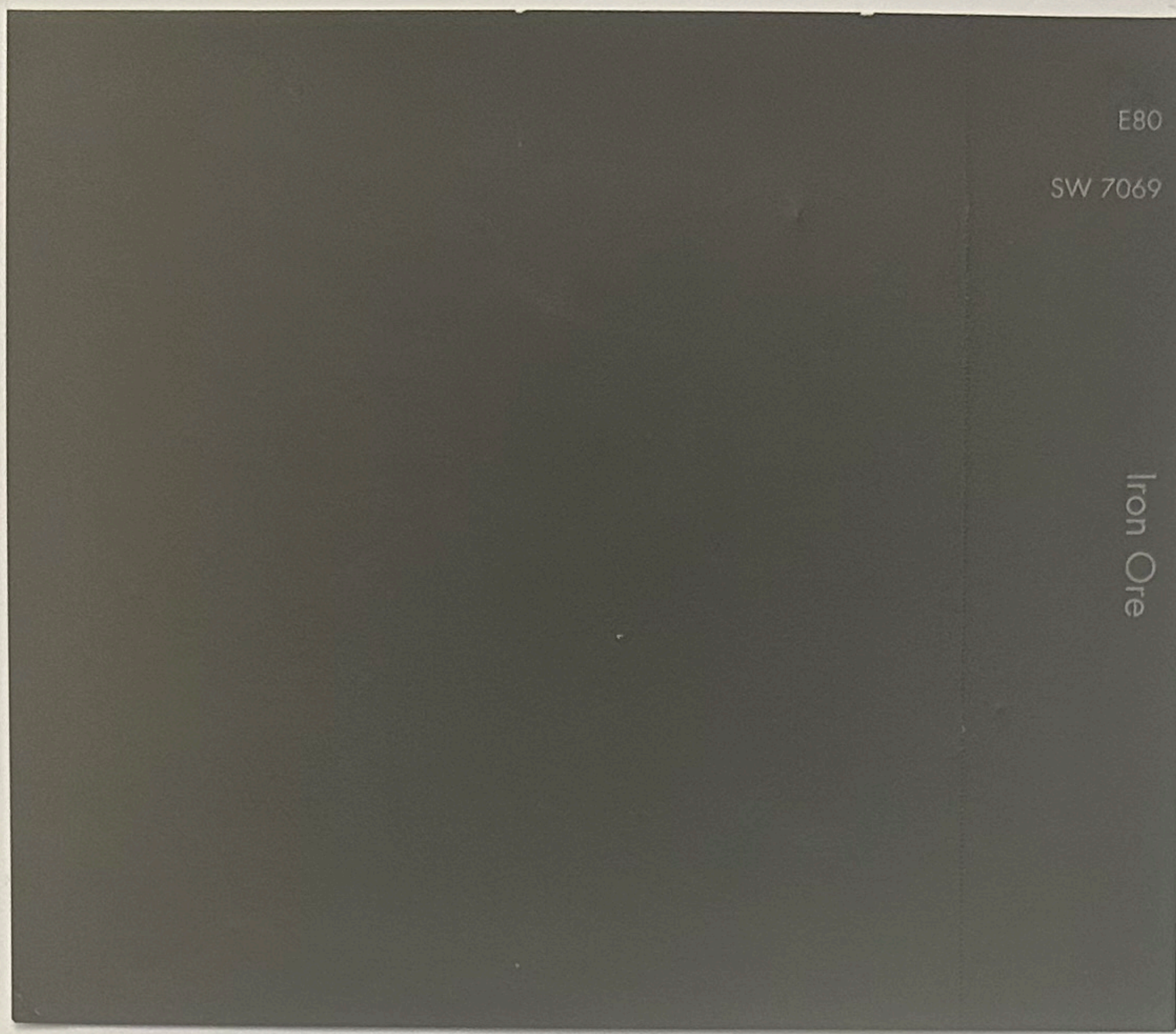
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SW 7721

Crescent Cream

SW 7721 – CRESCENT CREAM

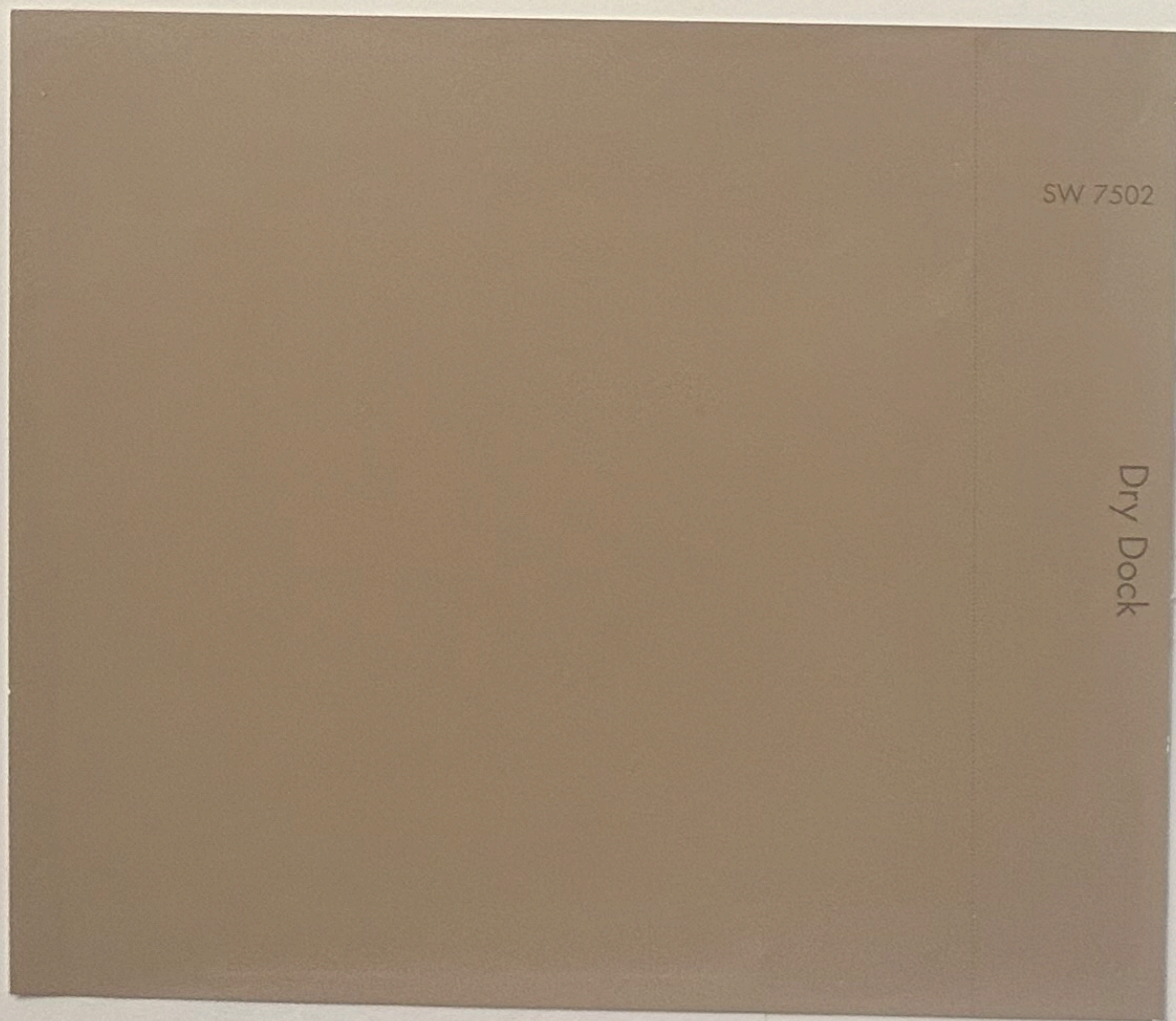


E80

SW 7069

Iron Ore

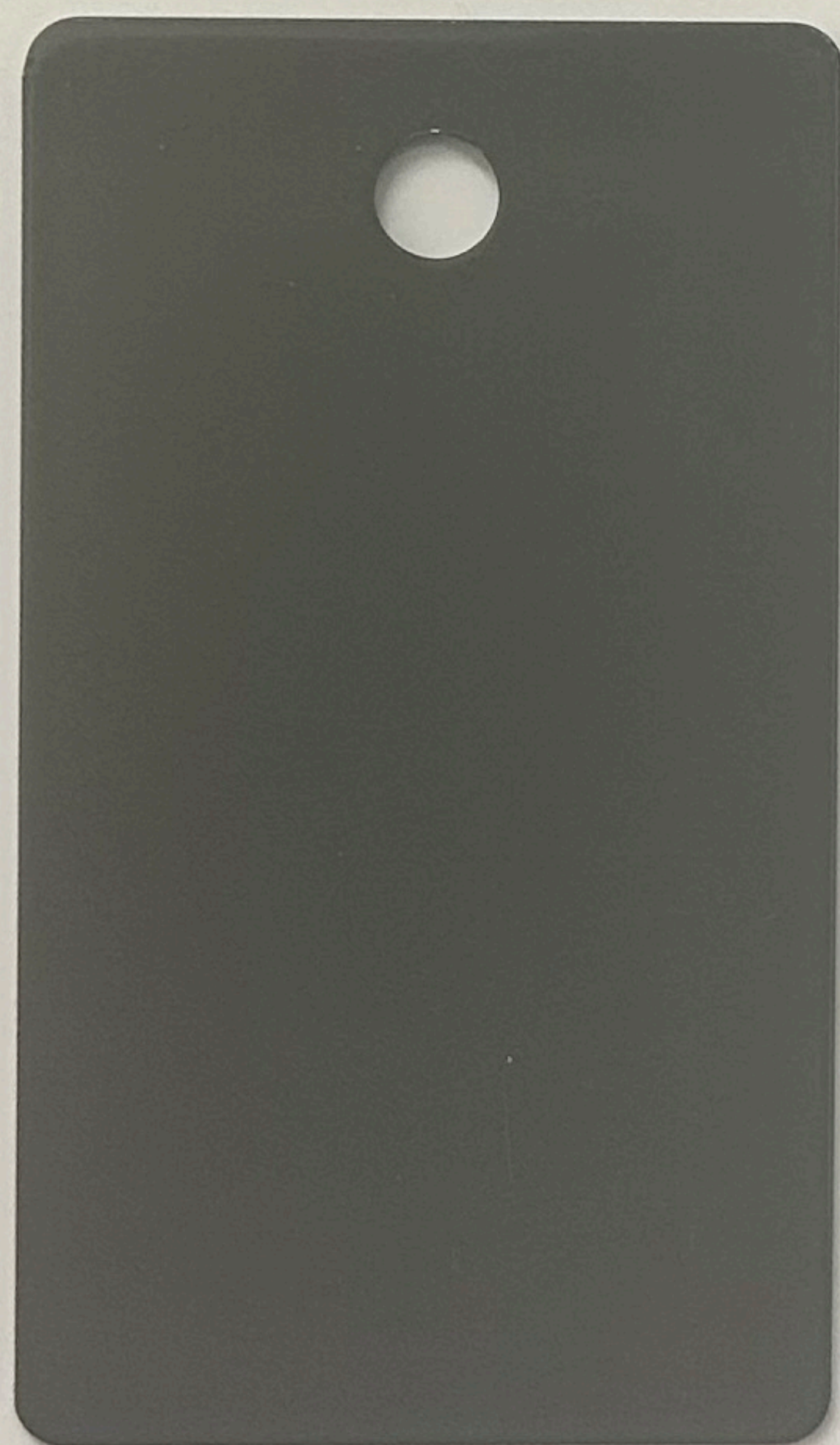
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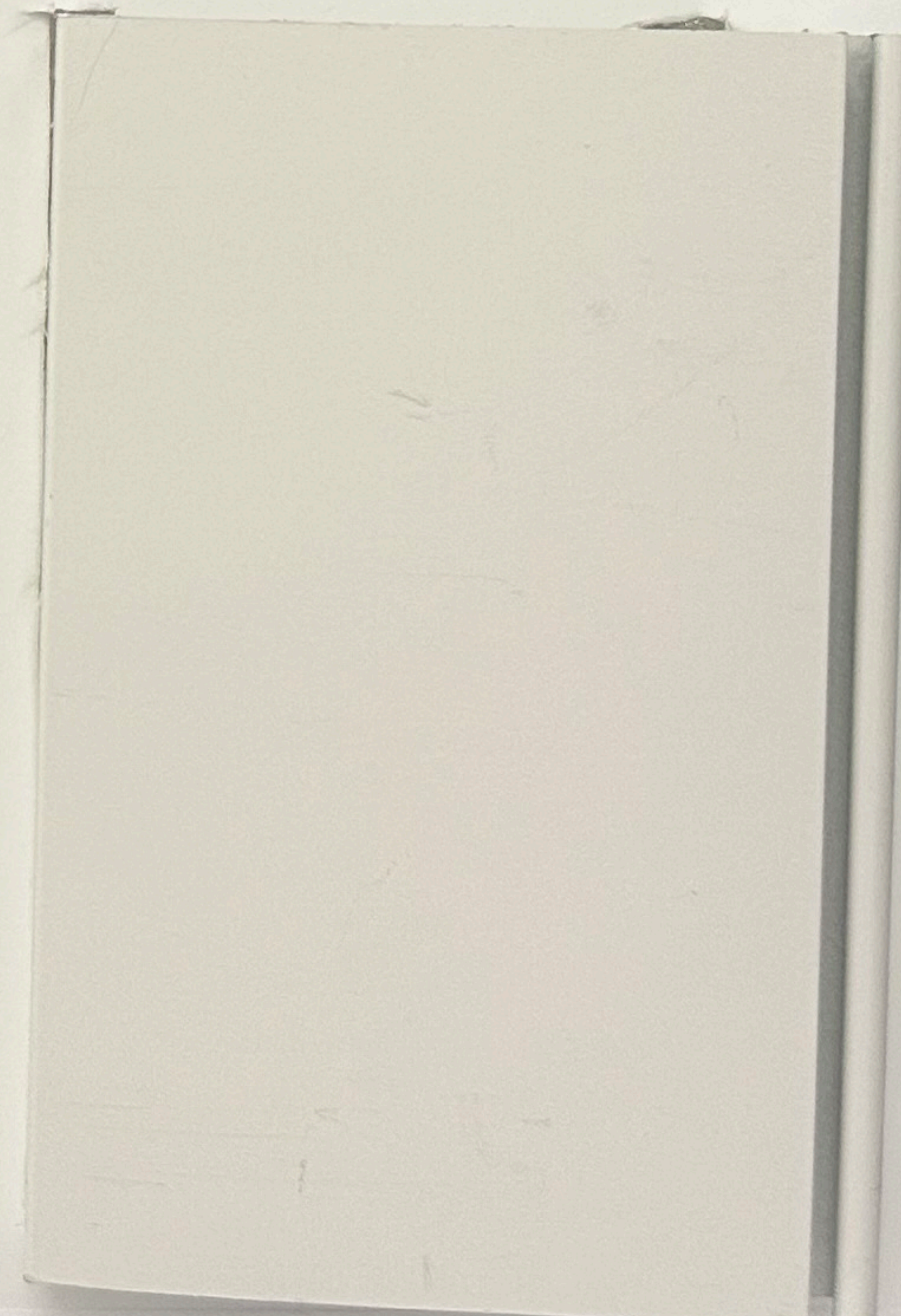
SW 7502

Dry Dock

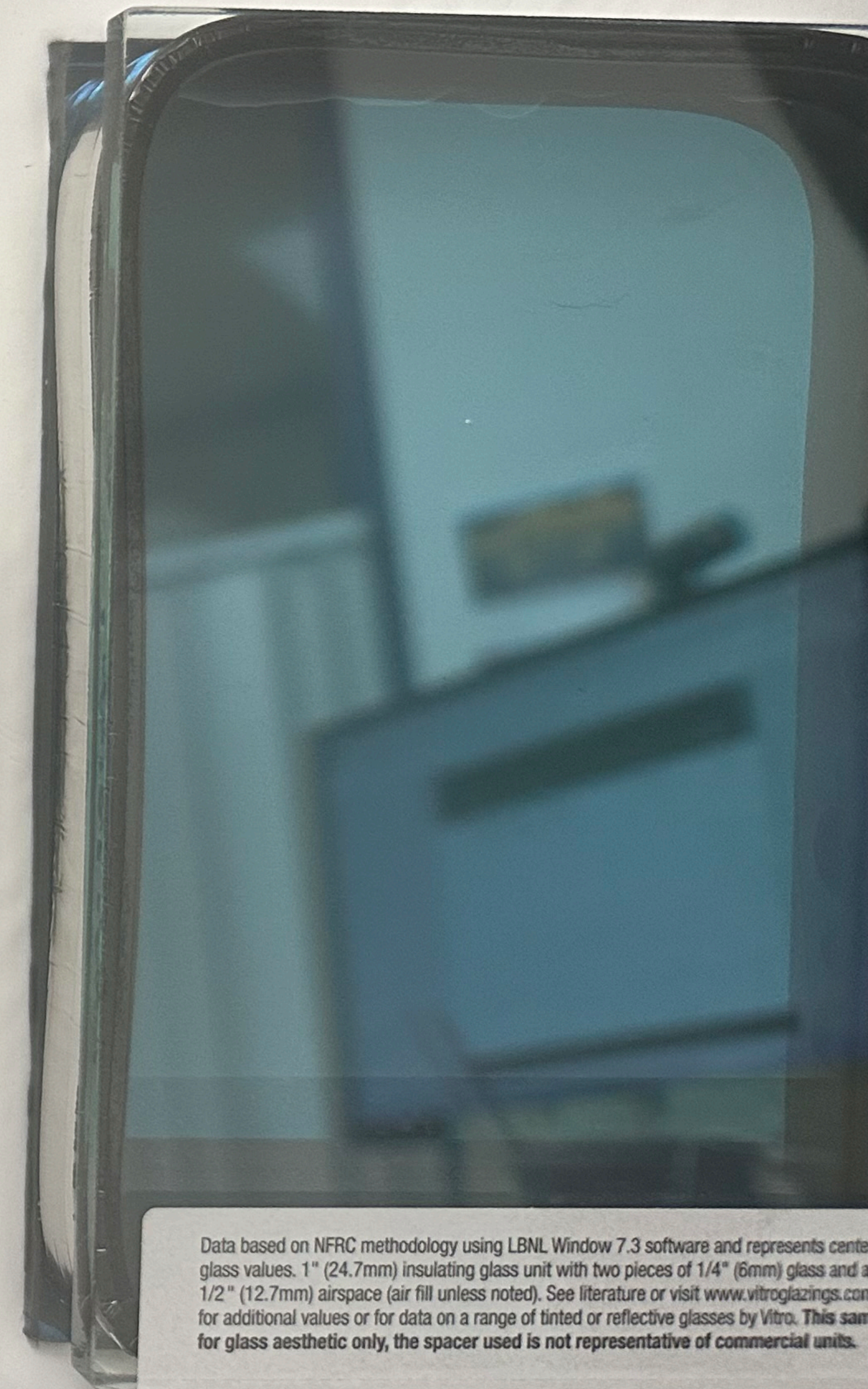
SW 7502 – DRY DOCK



GRAY POWDER COAT USED FOR ALUMINUM CANOPY



WHITE ALUMINUM FINISH TO BE USED FOR STOREFRONT WINDOWS



Data based on NFRC methodology using LBNL Window 7.3 software and represents center glass values. 1" (24.7mm) insulating glass unit with two pieces of 1/4" (6mm) glass and a 1/2" (12.7mm) airspace (air fill unless noted). See literature or visit [www.vitroglazings.com](http://www.vitroglazings.com) for additional values or for data on a range of tinted or reflective glasses by Vitro. This sample for glass aesthetic only, the spacer used is not representative of commercial units.

GRAY TINTED IMPACT GLASS

EXTERIOR PAINT COLORS

# TWO FLEX WAREHOUSE BUILDINGS

LOCATED AT

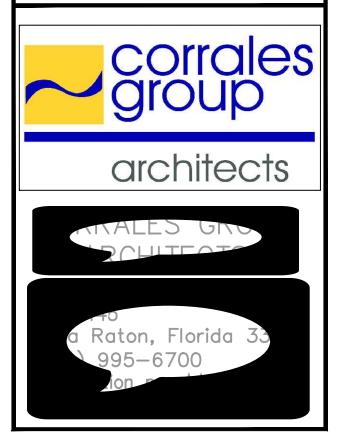
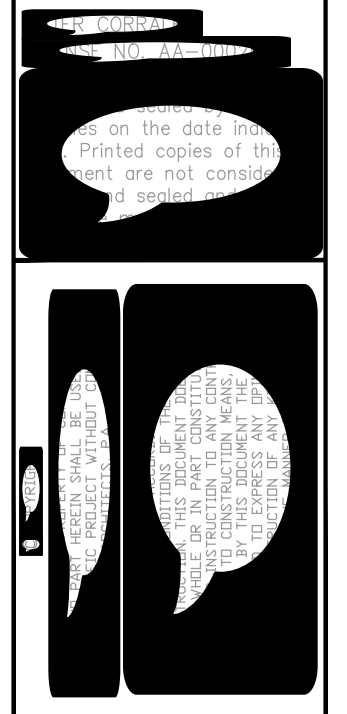
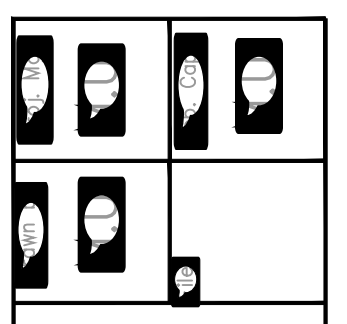
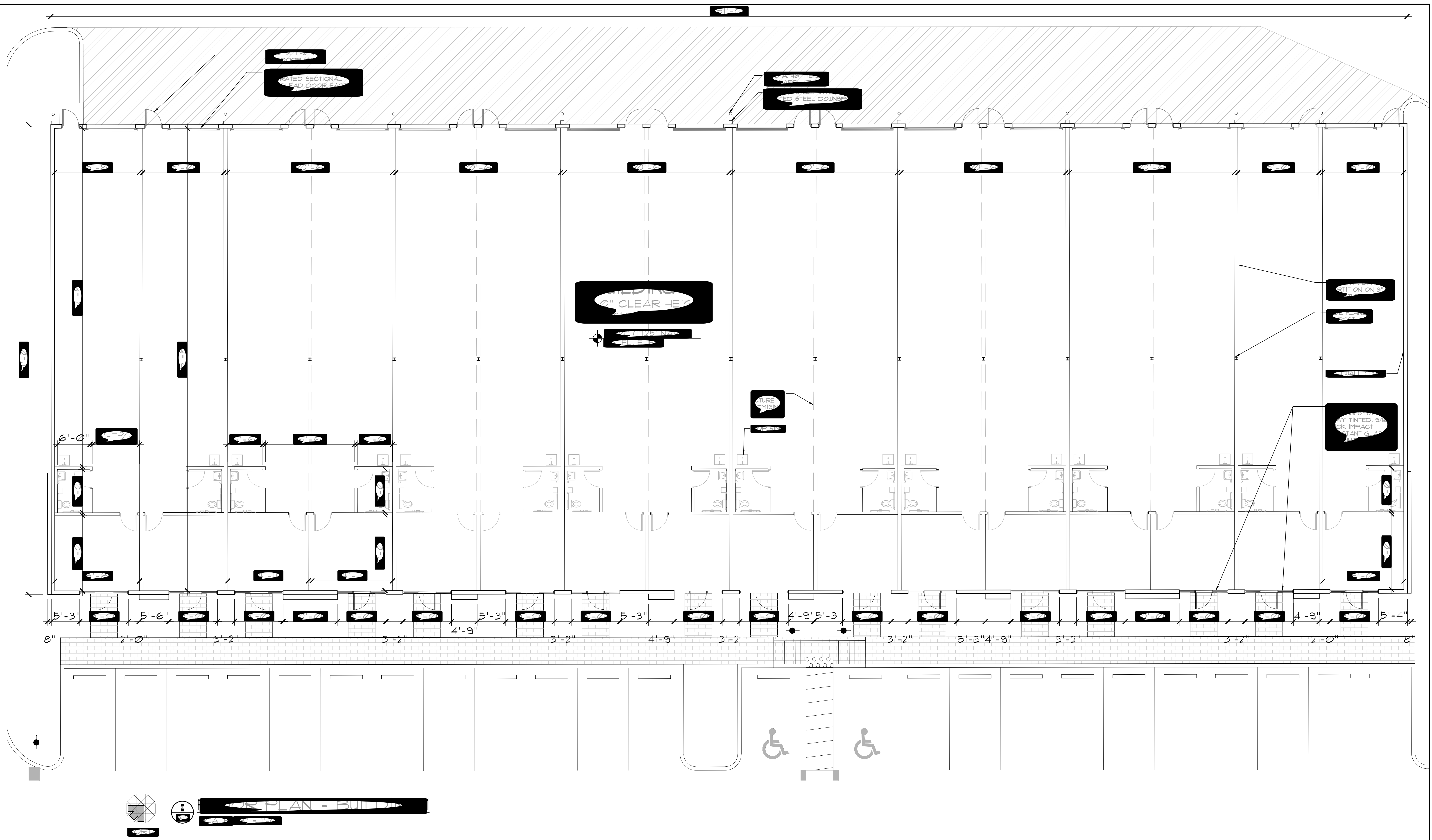
4600 OKEECHOBEE RD . FORT PIERCE, FL 34947

PREPARED FOR

PUGLIESE CREATE VENTURES

<p><b>OBJECTIVE</b></p>	<p><b>GENERAL NOTES</b></p>	<p><b>LOCATION</b></p>	<p><b>DATE ANALYSIS</b></p>	<p><b>DRAWING INFORMATION</b></p>
<p>1. ALL WORK SHALL TO COMPLY WITH ALL LOCAL, STATE, &amp; NATIONAL REGULATIONS HAVING JURISDICTION OVER THIS PROJECT.</p> <p>2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH BUILDING STANDARD PRACTICE OF CARE AND IN A QUALITY WORKMANSHIP LIKE MANNER.</p> <p>3. THE TERMS "NOT PART OF CONTRACT" OR "NOT IN CONTRACT (NIC)" DO NOT PRECLUDE OTHER WORK ASSOCIATED WITH THE CONTRACT WHICH MUST OCCUR IN THE VICINITY OF THE AREA OR THROUGH THE SPACE.</p> <p>4. ANY DISCREPANCIES WITHIN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING BEFORE BIDDING.</p> <p>5. BEFORE COMMENCING WORK, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. ANY DISCREPANCY BETWEEN EXISTING CONDITIONS AND THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING PRIOR TO BIDDING.</p> <p>6. 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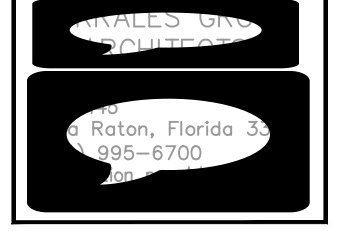
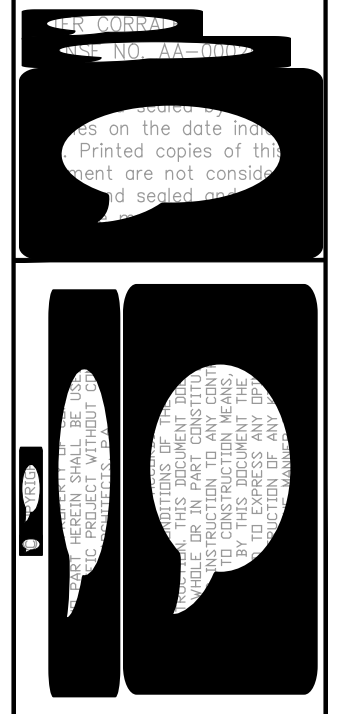
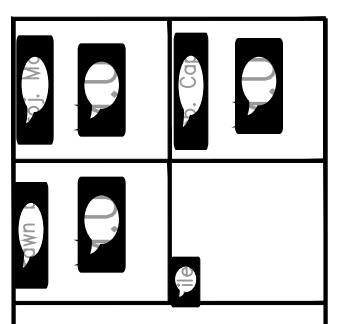
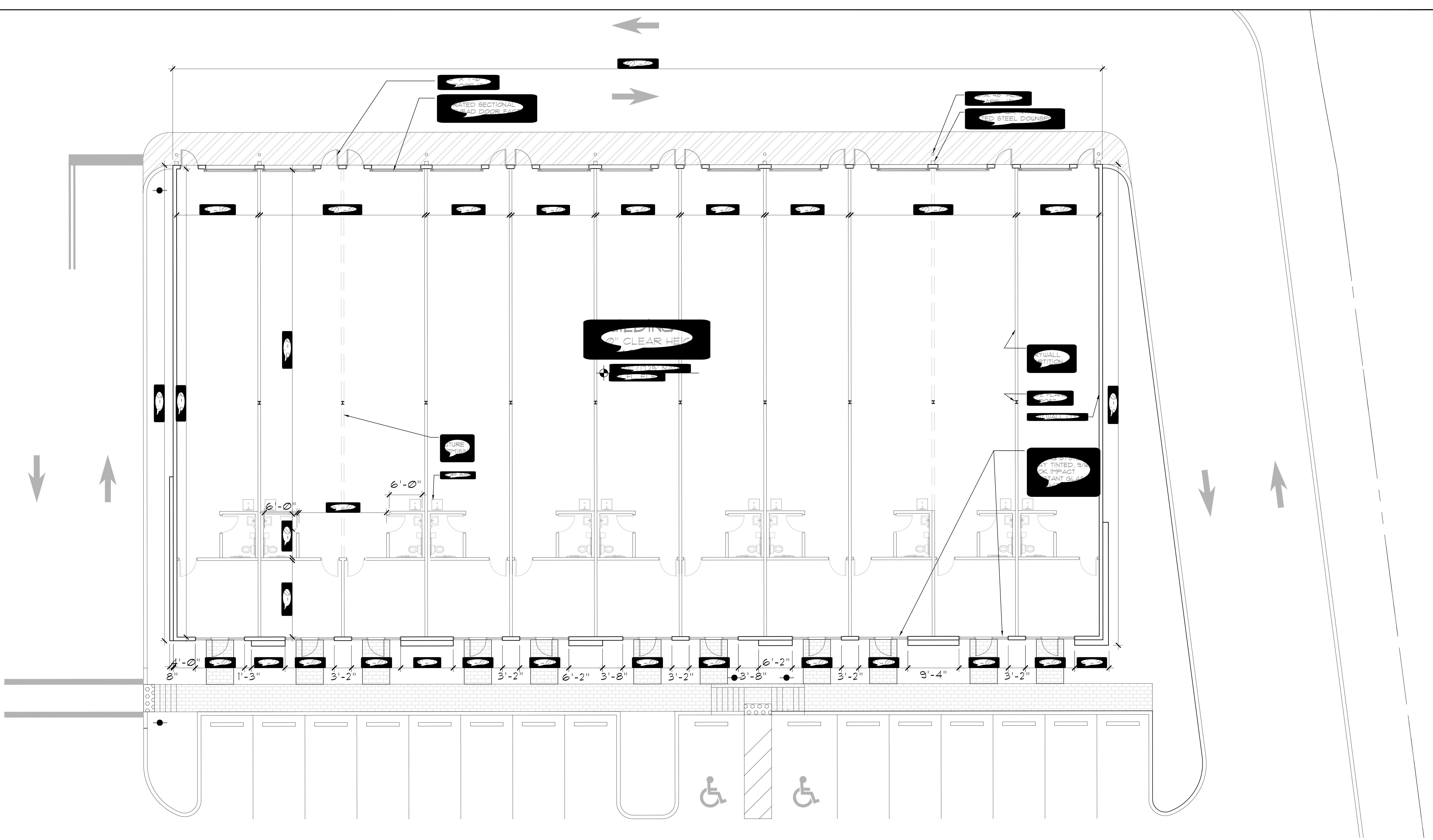




SCHMATIC SITE PLAN  
 SMALL BAY WAREHOUSES  
 4600 OKEECHOBEE ROAD  
 IN  
 FORT PIERCE, FLORIDA  
 PREPARED FOR  
 PUGLIESE CREATIVE VENTURES

FLOOR PLAN

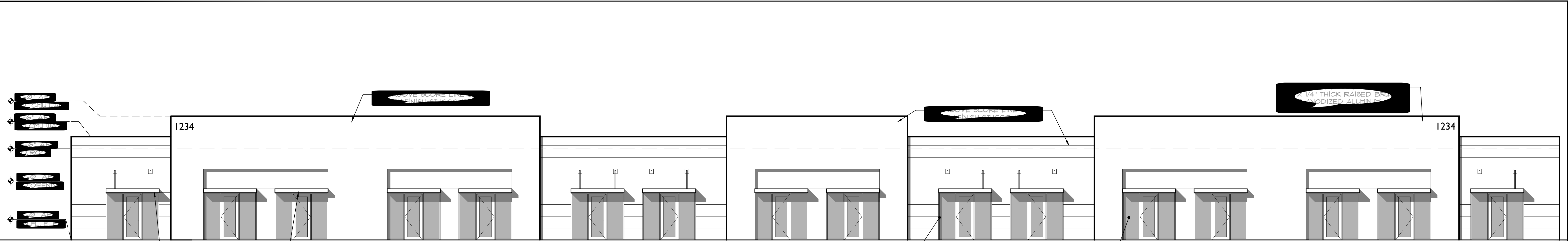
A-2



SCHEMATIC SITE PLAN  
 SMALL BAY WAREHOUSES  
 4600 OKEECHOBEE ROAD  
 IN  
 FORT PIERCE, FLORIDA  
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 PUGLIESE CREATIVE VENTURES

FLOOR PLAN

A-3



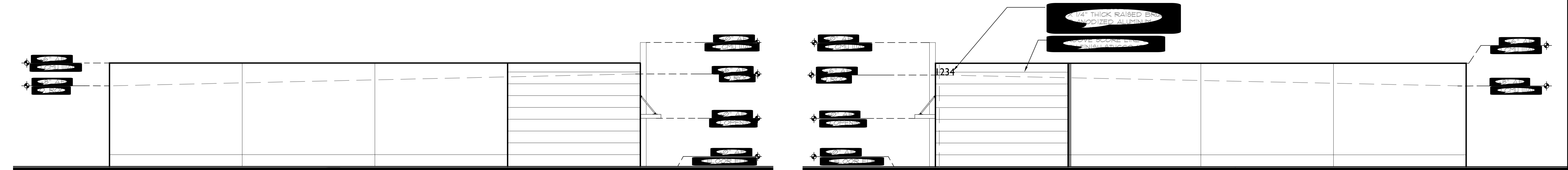
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1234

1/4" THICK RAISED BR...  
MODIFIED ALUMINUM

3/16" THICK IMPACT RESISTANT

ELEVATION (B)



1/4" THICK RAISED BR...  
MODIFIED ALUMINUM

1/2" WAVE SCORING LINE

1234

ELEVATION (B)

ELEVATION (B)

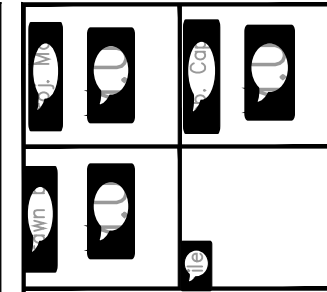


3000S STEEL STEEL CO...  
#3 20 GA KYNAR

1/2" ANGLE IRON  
SHEATHING

1/2" ANGLE IRON  
SHEATHING

ELEVATION (B)



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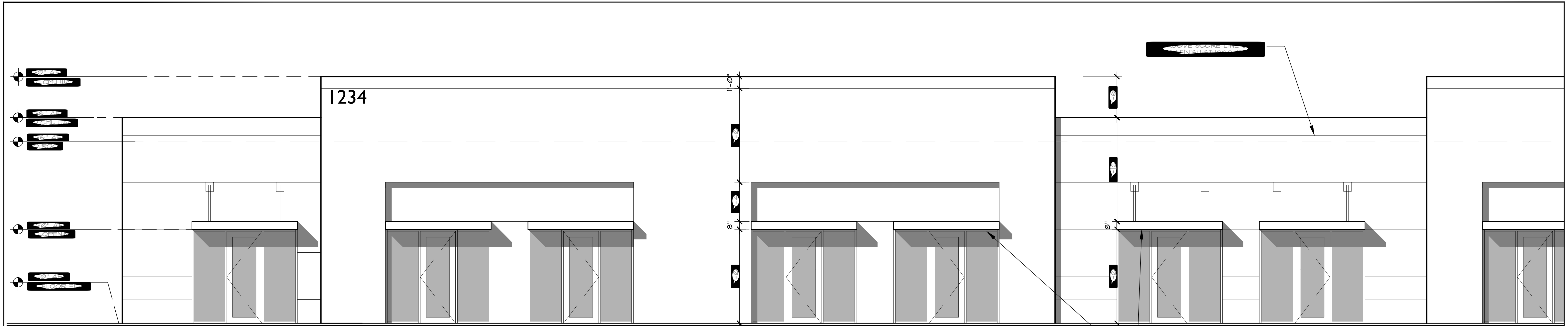
corrales  
group  
architects

10000  
Raton, Florida  
985-6700

SCHMATIC SITE PLAN  
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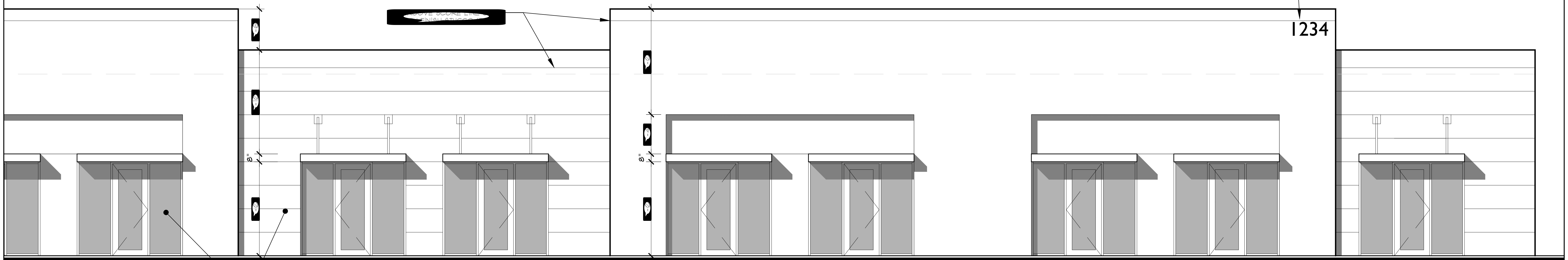
ELEVATIONS

A-4



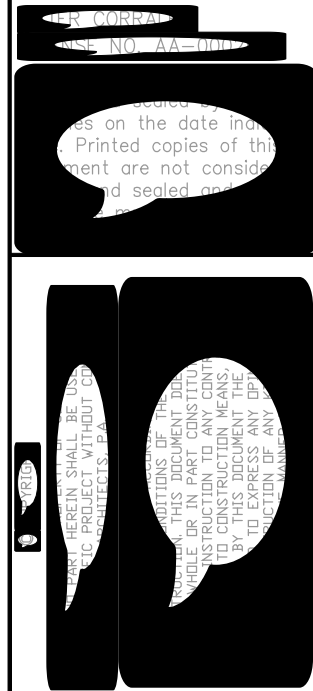
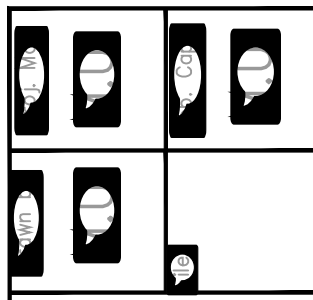
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1 NORTH ELEVATION



1234

2 NORTH ELEVATION

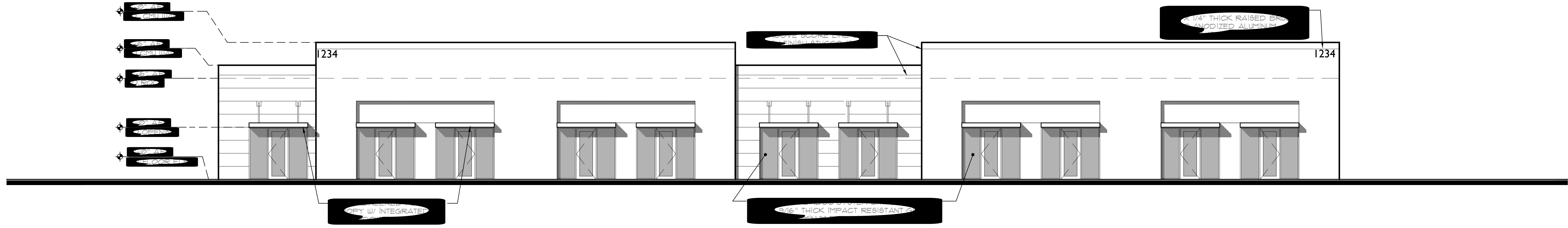


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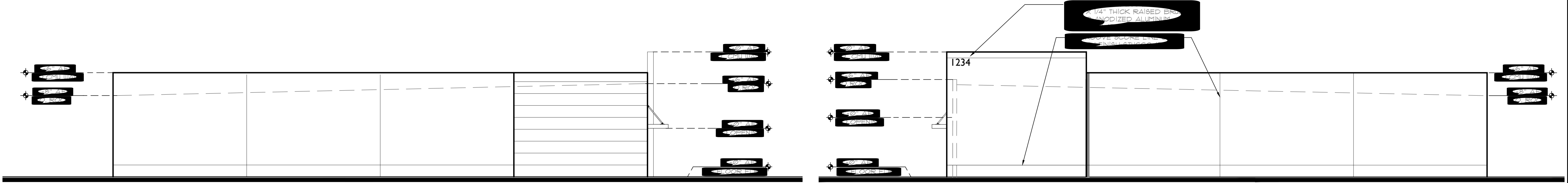
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ELEVATIONS

A-5

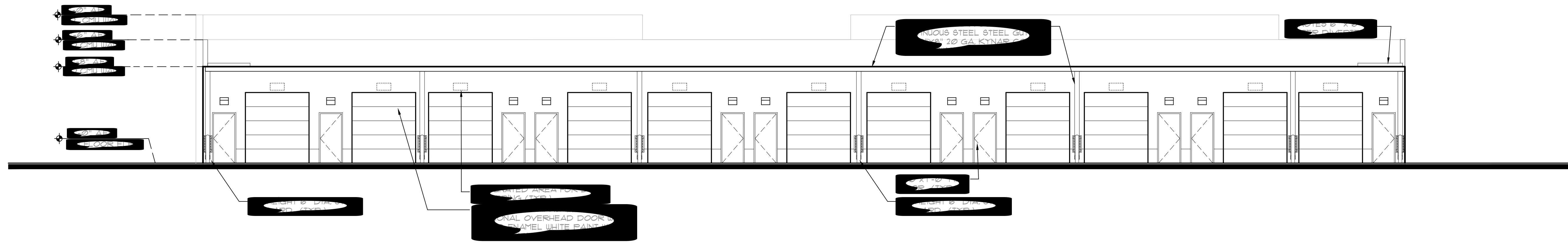


ELEVATION (B)

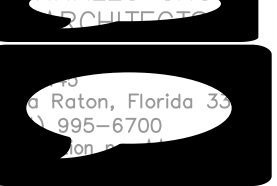
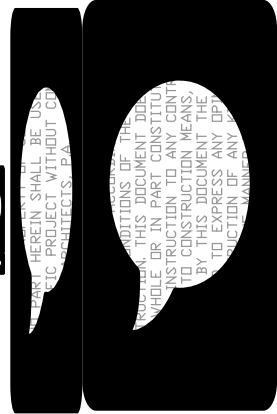
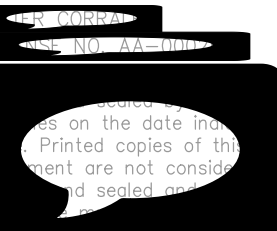
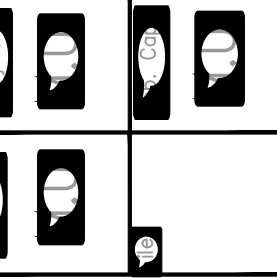


ELEVATION (B)

ELEVATION (B)



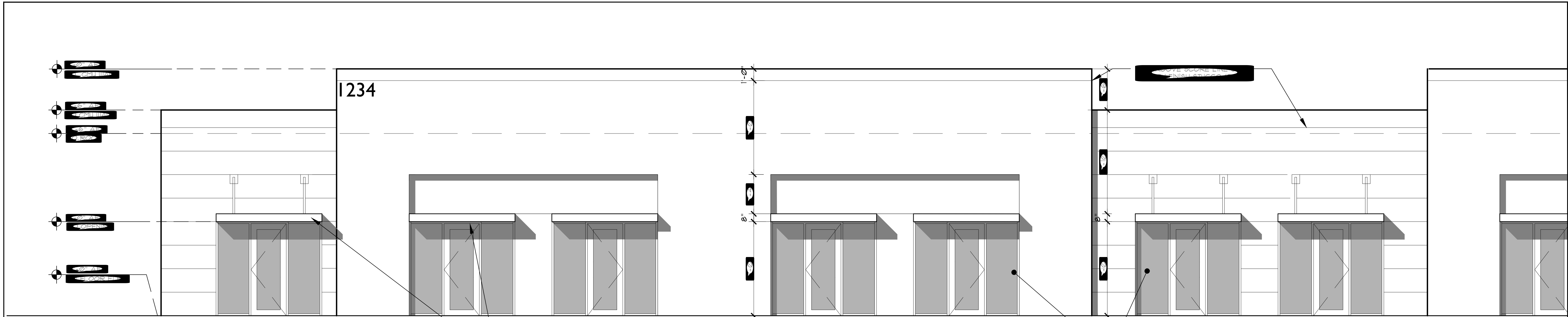
ELEVATION (B)



SCHMATIC SITE PLAN  
 SMALL BAY WAREHOUSES  
 4600 OKEECHOBEE ROAD  
 IN  
 FORT PIERCE, FLORIDA  
 PREPARED FOR  
 PUGLIESE CREATIVE VENTURES

ELEVATIONS

A-6



1234

1/2" THICK IMPACT RESISTANT

1/2" THICK IMPACT RESISTANT

1/2" THICK IMPACT RESISTANT



1234

1/2" X 1/4" THICK RAISED CLEAR ANGLE

1/2" THICK IMPACT RESISTANT

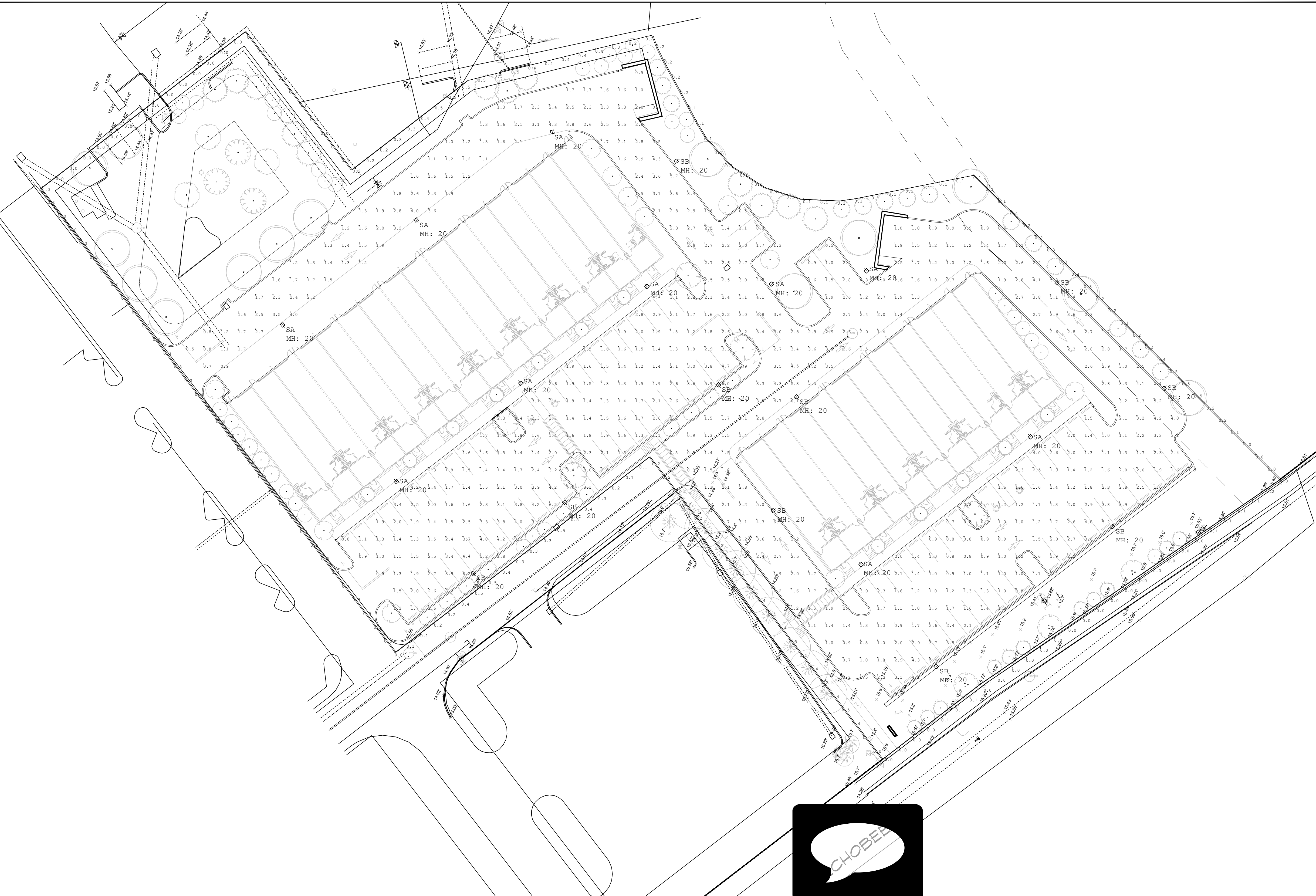
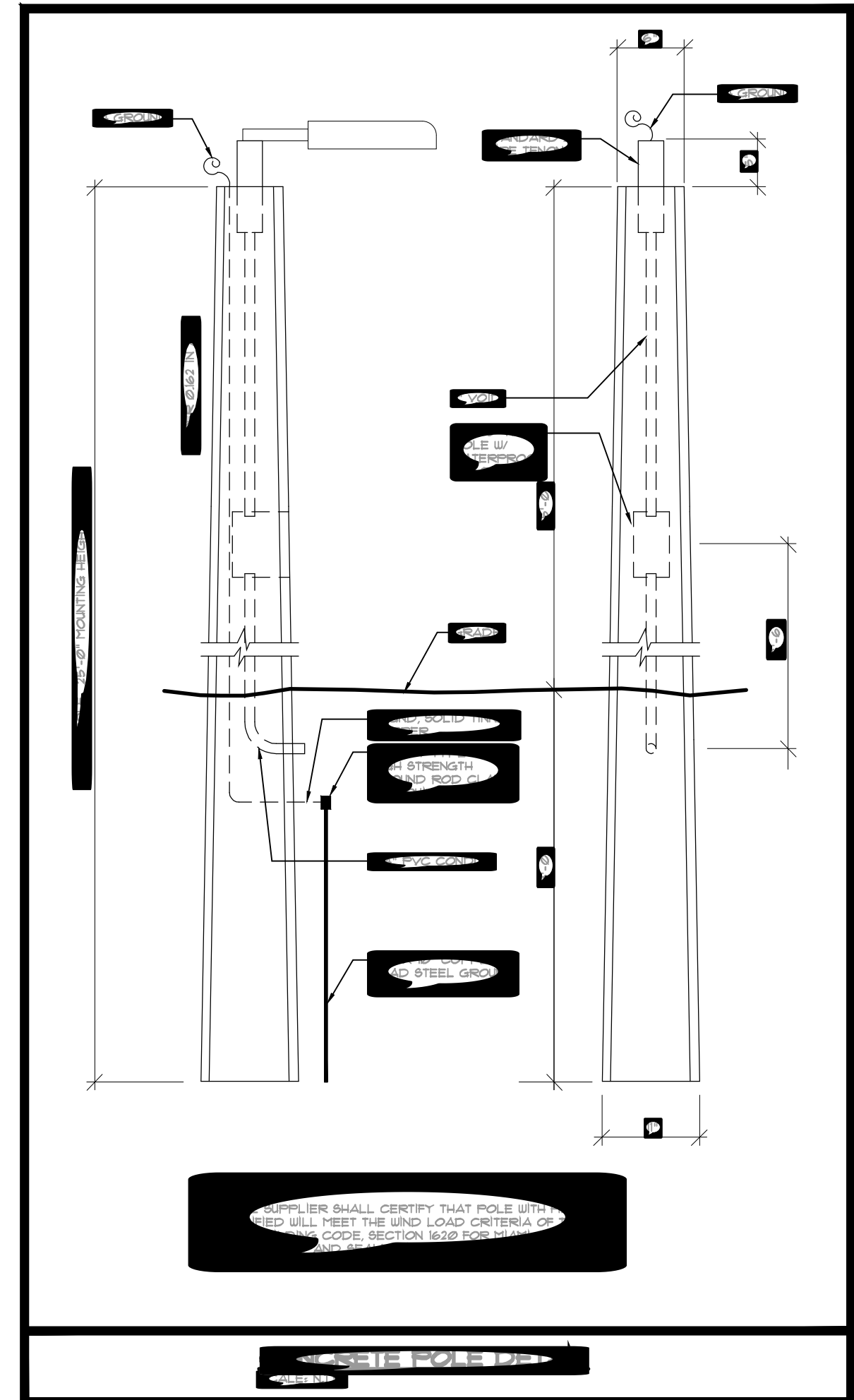
1/2" THICK IMPACT RESISTANT

**corrales group**  
 architects  
 Fort Pierce, Florida  
 888-670-6700

SCHEMATIC SITE PLAN  
 SMALL BAY WAREHOUSES  
 4600 OKEECHOBEE ROAD  
 IN  
 FORT PIERCE, FLORIDA  
 PREPARED FOR  
 PUGLIESE CREATIVE VENTURES

**ELEVATIONS**

**A-7**



Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
SA	10	SA	Single	Xtra Light VNTS-10000L-40K-DIM-3M-N-XX-XX, Single Head	0.900	11308	75.8	758
SB	10	SB	Single	Xtra Light VNTS-15000L-40K-DIM-3M-N-XX-XX-HSS	0.900	10360	109	1090

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
Parking and Drive Lanes	Illuminance	Fc	2.20	6.5	0.5	4.40	13.00	
Property Line	Illuminance	Fc	0.17	0.5	0.0	N.A.	N.A.	

4646 OKEECHOBEE SITE LIGHTING FIXTURE SCHEDULE									
TYPE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LAMPS		VOLTS	MOUNTING	REMARKS	INPUT WATTS
				Qty	Type				
SA	XTRALIGHT	VNTS-10000L-40K-DIM-3M-N-XX-XX	LED SITE LUMINAIRE	1	LED INCLUDED	XX	POLE		76W
SB	XTRALIGHT	VNTS-15000L-40K-DIM-3M-N-XX-XX-HSS	LED SITE LUMINAIRE WITH HOUSE SHIELD	1	LED INCLUDED	XX	POLE		110W

SCHEMATIC SITE PLAN  
SMALL BAY WAREHOUSES  
4600 OKEECHOBEE ROAD  
IN  
FORT PIERCE, FLORIDA  
PREPARED FOR  
PUGLIESE CREATIVE VENTURES

A-8

Submitted by Genesis Lighting Job Name: 4646 OKEECHOBEE Catalog Number: VNTS-1000L-40K-DIM-3M-N-XX-XX Type: SA GENLIGHT24-64006

## VIENTO AREA LUMINARE

**PROJECT INFORMATION**

Project Name: \_\_\_\_\_ Type: \_\_\_\_\_  
 Catalog #: \_\_\_\_\_ Date: \_\_\_\_\_

**APPLICATIONS**

- Area Lighting
- Auto Dealerships & Sales Lots
- Retail Spaces
- Parks & Recreation Areas
- Street Lighting
- Safety & Security

**APPROVALS**

- ETL Listed
- Complies with UL 1598 and CSA C22.2
- Substrate for wet locations
- 3G Vibration Rated
- IP66 Rated
- BAA Compliant
- RoHS Compliant
- ATAL Tested (www.ata-labs.com)
- Select models DLC Qualified. For a complete list of DLC Qualified products visit: www.xtralight.com/dlc or qualdec.com/lighting

**FEATURES**

- Lumen packages ranging from 5000L to 35000L
- Outstanding photometric performance results in excellent uniformity, optimal pole spacing and lower power density.
- Low profile architectural design offers a contemporary appearance with excellent light output.
- Enhanced foot candles delivered utilizing multiple optical options.
- Full cut-off optics with zero uplight.

**CONSTRUCTION**

- Thermal management achieved with a one-piece die-cast aluminum has integral heat sink fins and a hinged electrical compartment.
- Thermoseal powder coat, available in bronze, white or custom colors (consult factory).
- IP66, precision molded, polycarbonate optics providing impact resistance and UV stabilization.
- Upgraded door to provide better protection from water intrusion.

**ELECTRICAL**

- Voltage: 120-277V or 347-480V AC Input
- Driver: Class 1 constant current, calibrated to lumen packages (0.9V dimming standard).
- Surge Protection: 20kA standard.
- Operating temperature: -40°C to +50°C (-40°F to +122°F)

**PHOTOMETRIC DATA**

SIZE	MODEL	OPTICS	3000K		4000K		5000K		WATTAGE	BUD RATING
			LUMENS	EFFICACY	LUMENS	EFFICACY	LUMENS	EFFICACY		
S Small	5000L	2M	5418	151	5644	156	5559	154	36	B2-U0-G2
		3M	5113	142	5326	148	5246	146		B1-U0-G3
		4M	5054	140	5265	146	5186	144		B1-U0-G3
		5S	5172	144	5387	149	5306	147		B3-U0-G3
		2M	15353	152	16014	158	16254	156		B3-U0-G3
M Medium	10000L	4M	10765	142	11214	148	11046	145	76	B2-U0-G4
		5S	10005	145	10464	151	10292	149		B4-U0-G3
		2M	15802	145	16460	152	16213	149		B3-U0-G3
		3M	15222	139	15928	144	15613	141		B3-U0-G3
		4M	14911	137	15532	143	15299	140		B3-U0-G5
L Large	30000L	5S	15252	141	15887	146	15649	145	129	B4-U0-G3
		2M	18315	142	19078	147	18792	146		B3-U0-G3
		3M	17256	135	17923	139	17654	137		B3-U0-G3
		4M	17270	134	17990	139	17720	137		B3-U0-G5
		5S	17461	135	18189	141	17916	139		B3-U0-G3
S Small	15000L	2M	15802	145	16460	152	16213	149	108	B3-U0-G3
		3M	15022	139	15648	145	15413	143		B3-U0-G3
		4M	14911	138	15532	143	15299	142		B3-U0-G5
		5S	15252	141	15887	146	15649	145		B4-U0-G3
		2M	23067	152	24028	158	23668	156		B3-U0-G3
M Medium	25000L	3M	21709	143	22614	149	22275	147	152	B3-U0-G3
		4M	21531	142	22428	148	22092	145		B3-U0-G5
		5S	22011	145	22928	151	22584	149		B4-U0-G3
		2M	25861	144	26939	149	26535	147		B4-U0-G4
		3M	23574	131	24356	136	24188	134		B4-U0-G3
L Large	35000L	4M	32645	131	34630	136	34261	135	217	B4-U0-G4
		5S	24547	135	25362	141	24981	139		B5-U0-G3
		2M	31540	144	32646	151	32156	148		B4-U0-G4
		3M	29674	137	30910	142	30446	140		B4-U0-G4
		4M	29881	139	3126	144	30659	141		B4-U0-G5
S Small	15000L	5S	30148	139	31404	145	30933	143	108	B5-U0-G4
		2M	35492	143	36971	148	36416	146		B4-U0-G4
		3M	33668	135	35071	141	34545	139		B4-U0-G3
		4M	33458	134	34852	140	34329	138		B4-U0-G5
		5S	34431	138	35886	144	35348	142		B5-U0-G4

**ORDER LOGIC**

SIZE	MODEL	CC*	DRIVER	OPTICS	ORIENTATION	FINISH	CONTROLS	OPTIONS
S Small	5000L	30K	3000K	DIM	Dim 0-10V	2M	XX No Fixture Controls	HSS Heat Sensitive Shield
	10000L	40K	4000K	DIM	120-277V	3M	ASP Adjustable Slip Filter	ASP Cord Whip
	15000L	50K	5000K	DIM	120-277V	4M	CC Custom Color	3* NEMA 3-Pin Twist-Lock
	25000L	100K	10000K	HVD	to off	4M	8* Smart Sensor	5* Receptacle
M Medium	15000L	50K	5000K	HVD	to off	4M	8* Smart Sensor	5* Receptacle
	25000L	100K	10000K	HVD	to off	4M	8* Smart Sensor	5* Receptacle
	30000L	120K	12000K	HVD	to off	4M	8* Smart Sensor	5* Receptacle
	35000L	150K	15000K	HVD	to off	4M	8* Smart Sensor	5* Receptacle
L Large	30000L	120K	12000K	HVD	to off	4M	8* Smart Sensor	5* Receptacle
	35000L	150K	15000K	HVD	to off	4M	8* Smart Sensor	5* Receptacle
	40000L	160K	16000K	HVD	to off	4M	8* Smart Sensor	5* Receptacle
	50000L	200K	20000K	HVD	to off	4M	8* Smart Sensor	5* Receptacle

1. Custom CCT available from 2700K - 6500K.  
 2. Some models may not be available with DIM (Dim to off).  
 3. The 8\* Smart Sensor option is not available with L, Left or R, Right orientations.  
 4. Provide the desired DALI number for custom colors.  
 5. The ASP Adjustable Slip Filter Cord Whip must be paired with the Adjustable Slip Filter accessory (sold separately).  
 6. Photocell not included.

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Submitted by Genesis Lighting Job Name: 4646 OKEECHOBEE Catalog Number: VNTS-1000L-40K-DIM-3M-N-XX-XX Type: SA GENLIGHT24-64006

## VIENTO AREA LUMINARE

**PROJECT INFORMATION**

Project Name: \_\_\_\_\_ Type: \_\_\_\_\_  
 Catalog #: \_\_\_\_\_ Date: \_\_\_\_\_

**APPLICATIONS**

- Area Lighting
- Auto Dealerships & Sales Lots
- Retail Spaces
- Parks & Recreation Areas
- Street Lighting
- Safety & Security

**APPROVALS**

- ETL Listed
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- Substrate for wet locations
- 3G Vibration Rated
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- Select models DLC Qualified. For a complete list of DLC Qualified products visit: www.xtralight.com/dlc or qualdec.com/lighting

**FEATURES**

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- Low profile architectural design offers a contemporary appearance with excellent light output.
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- Thermoseal powder coat, available in bronze, white or custom colors (consult factory).
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- Upgraded door to provide better protection from water intrusion.

**ELECTRICAL**

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Submitted by Genesis Lighting Job Name: 4646 OKEECHOBEE Catalog Number: VNTS-1000L-40K-DIM-3M-N-XX-XX Type: SA GENLIGHT24-64006

## VIENTO AREA LUMINARE

**PROJECT INFORMATION**

Project Name: \_\_\_\_\_ Type: \_\_\_\_\_  
 Catalog #: \_\_\_\_\_ Date: \_\_\_\_\_

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- Auto Dealerships & Sales Lots
- Retail Spaces
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		5S	5172	144	5387	149	5306	147		B3-U0-G3

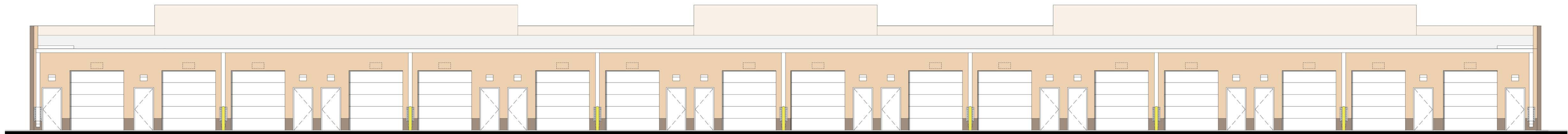


1 NORTH ELEVATION (BLDG.1)  
 A-10 SCALE: 1/8" = 1'-0"







2 EAST ELEVATION (BLDG.1)  
 A-10 SCALE: 1/8" = 1'-0"

3 WEST ELEVATION (BLDG.1)  
 A-10 SCALE: 1/8" = 1'-0"



4 SOUTH ELEVATION (BLDG.1)  
 A-10 SCALE: 1/8" = 1'-0"

BUILDING PAINT LEGEND	
	SW 1121 - CRESCENT CREAM (MAIN FIELD)
	SW 7502 - DRY DOCK (ACCENTS / BANDS / DOWNSPOUTS)
	SW 1069 - IRON ORE (WALL CANOPY)
	SW 4084 - SAFETY YELLOW (BOLLARDS)

Proj. Mgr.	M.U.
Drawn by	M.U.
File:	
Job. Capt.	M.U.

PETER CORRALES  
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 P.A. AND NOTARY PUBLIC  
 CORRALES GROUP ARCHITECTS P.A.  
 2300 CORPORATE BLVD. N.W., SUITE 145  
 BOCA RATON, FLORIDA 33431  
 (561) 995-6700  
 CORPORATION NO. AA-0002519  
 ARCHITECT NO. AR-0009125

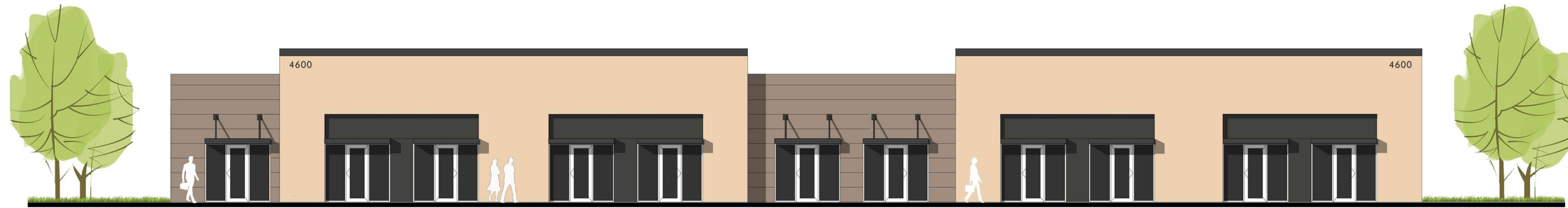
REVISIONS:

**corrales group**  
 architects  
 CORRALES GROUP ARCHITECTS  
 2300 Corporate Blvd. N.W., Suite 145  
 Boca Raton, Florida 33431  
 (561) 995-6700  
 Corporation no. AA-0002519  
 Architect no. AR-0009125

Project  
 SCHEMATIC SITE PLAN  
 SMALL BAY WAREHOUSES  
 4600 OKEECHOBEE ROAD  
 IN  
 FORT PIERCE, FLORIDA  
 PREPARED FOR  
 PUGLIESE CREATIVE VENTURES

SHEET TITLE  
 BLDG.1 - COLORED ELEVATIONS  
 Project No. \_\_\_\_\_ Date 04-01-2024

Sheet No. A-10  
 Sheet 10 of 1



1 NORTH ELEVATION (BLDG.2)  
 A-11 SCALE: 1/8" = 1'-0"



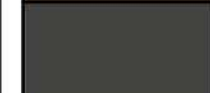



2 EAST ELEVATION (BLDG.2)  
 A-11 SCALE: 1/8" = 1'-0"

3 WEST ELEVATION (BLDG.2)  
 A-11 SCALE: 1/8" = 1'-0"



4 SOUTH ELEVATION (BLDG.2)  
 A-11 SCALE: 1/8" = 1'-0"

BUILDING PAINT LEGEND	
	SW 1121 - CRESCENT CREAM (MAIN FIELD)
	SW 7502 - DRY DOCK (ACCENTS / BANDS / DOWNPOUTS)
	SW 1063 - IRON ORE (WALL CANOPY)
	SW 4004 - SAFETY YELLOW (BOLLARDS)

Proj. Mgr.	M.U.	Job. Capt.	M.U.
Drawn by	M.U.	File:	

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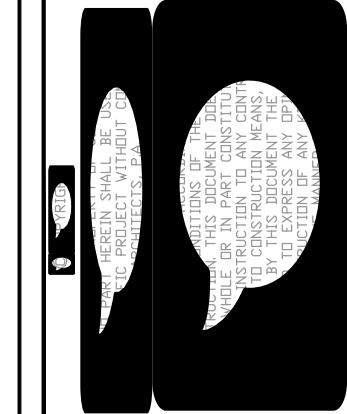
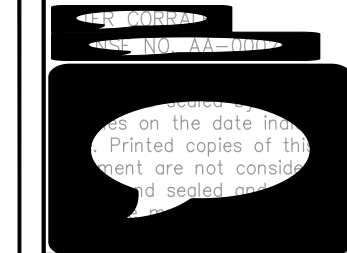
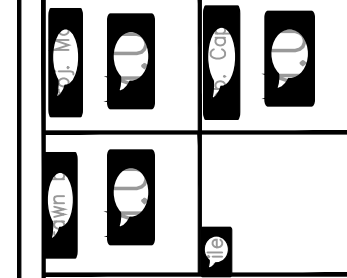
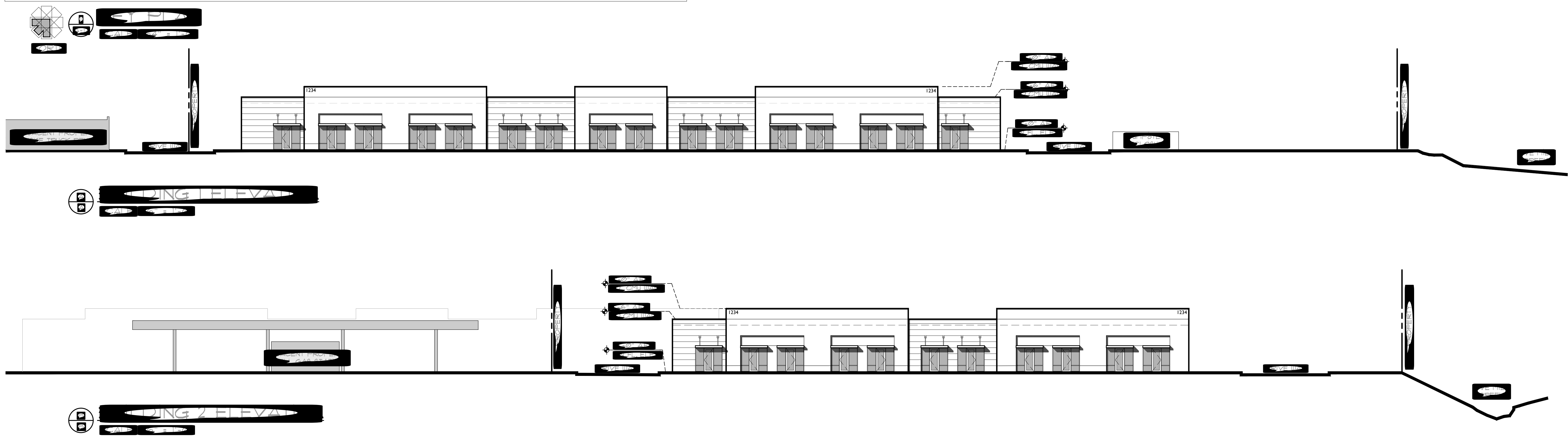
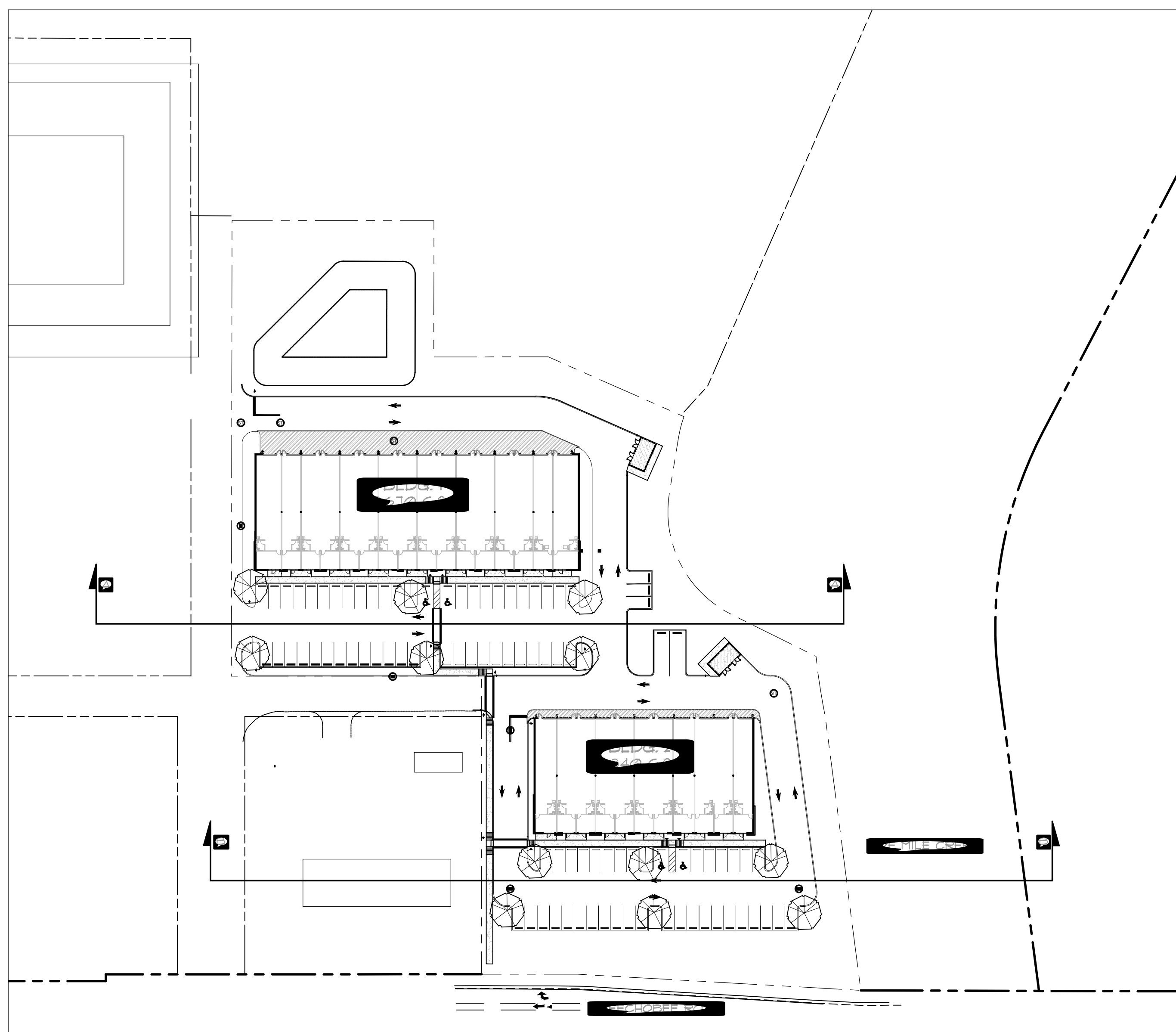
REVISIONS:

**corrales group**  
 architects

CORRALES GROUP ARCHITECTS  
 2300 Corporate Blvd. N.W.,  
 Suite 145  
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 (561) 995-6700  
 Corporation no. AA-0002519  
 Architect no. AR-0009125

SCHEMATIC SITE PLAN  
 SMALL BAY WAREHOUSES  
 4600 OKEECHOBEE ROAD  
 IN  
 FORT PIERCE, FLORIDA  
 PREPARED FOR  
 PUGLIESE CREATIVE VENTURES

SHEET TITLE	BLDG.2 - COLORED ELEVATIONS	Date	04-01-2024
Project No.		Sheet No.	11 of 1




  
 corrales group architects

Fort Pierce, Florida  
 888-670-0000

SCHEMATIC SITE PLAN  
 SMALL BAY WAREHOUSES  
 4000 OKEECHOBEE ROAD  
 IN  
 FORT PIERCE, FLORIDA  
 PREPARED FOR  
 PUGLIESE CREATIVE VENTURES

ELEVATIONS

A-12

# Delivery Transmittal

To:	City of Fort Pierce Planning & Engineering Depts.	From:	HJA Design Studio
C/O:	Planning Department	Date:	March 12, 2025
Phone:	772-467-3729	Ref #:	TRC No. 23-07000006
Re:	4600 Okeechobee Rd AKA Okeechobee Road Flex Space Resubmittal Package	CC:	Development Team

Via Fed Ex

Via US Mail

Via E-Transmittal

Via Hand Delivery

Via Package Pick Up

## Comments:

Please see the attached documents pertaining to the above referenced project.

If you have any questions or concerns, please feel free to contact us at 772-678-7200.

**Hand Delivered**  
March 13, 2025

Kevin Freeman  
Planning Director  
City of Fort Pierce  
100 N. U.S. Highway 1  
Fort Pierce, FL 34950

**Re: 4600 Okeechobee Road – Resubmittal Project#: 23-0700006**

Dear Kevin,

On behalf of St. Lucie Kings, LLC, we are pleased to resubmit the application materials for the referenced project, located along Okeechobee Road in Fort Pierce, Florida.

Enclosed, you will find one copy of the documents, three sets of plans as requested, and a digital copy of the revised materials for your review:

1. Comment Response Letter
2. Traffic Report
3. Environmental Assessment
4. Site Plan
5. Landscape Plan
6. Landscape Maintenance Agreement
7. Survey
8. Fire Truck Exhibit
9. Fire Hydrant Exhibits

We look forward to working with you to complete this project. If you have any questions or need any additional information, please do not hesitate to contact our office at 772-678-7200. Thank you.

Sincerely,



Erika Beitler  
Project Manager  
HJA Design Studio, LLC

CC: St. Lucie Kings, LLC  
Development Team

Via Email  
March 12, 2025

Kevin Freeman  
Director of Planning  
100 N. U.S. Highway 1  
Fort Pierce, FL 34950

**Re: Site Plan (Development and Design Review) & Conditional Use – Okeechobee Road Flex Space Resubmittal & Response to 01/09/2025 Staff Report**

**Project Number:** 23-07000006  
**Date of Staff Report:** 01/09/2025

Dear Key,

Please find our responses to the February 20, 2025 staff report below.

City of Fort Pierce Planning Department

1. A Unity of Title with the St. Lucie County Clerk of Courts and a Parcel Combination with the St. Lucie County Property Appraiser shall be provided.  
**RESPONSE: We have elected to forgo the lot combination and unity of title during site plan review process. These documents will be provided to the City prior to the issuance of the building permit for vertical construction.**
2. After completion of the Unity of Title and Lot Combination, please submit a General Address Request Form for the newly created Parcel ID and for each proposed building and residential unit.  
**RESPONSE: An address request will be submitted prior to submitting the building permit for vertical construction.**
3. A notarized Landscape Maintenance Agreement is required  
**RESPONSE: Please see attached draft with additional legalese to address ownership and apply to future owners. Once staff has reviewed and approved the Agreement, we will send the City an executed version.**

Fort Pierce Engineering Department

1. Design Review submittal requires a 1"=30' minimum scale survey. (Code Section 125-313)  
**RESPONSE: Acknowledged, the property survey has been provided with this resubmittal.**
2. Development Review requires Environmental Impact Report and Traffic Impact Report.  
**RESPONSE: Please see attached Environmental Impact Report and revised Traffic Impact Analysis.**
3. The Site Data information identifies incorrect parcel numbers and incorrect area.  
**RESPONSE: Acknowledged, Parcel numbers and total site number have been updated accordingly.**

4. Provide a note on the site plan that the development adheres to the standards specified in the City of Fort Pierce Code of Ordinances Sections 119 and 125.  
**RESPONSE: Acknowledged, a note has been added to the site plan.**
  
5. Ensure updated dumpster enclosure detail is included.  
**RESPONSE: Acknowledged, the dumpster enclosures have been updated and the detail has been included with the site plan.**
  
6. Show separate pedestrian access to the dumpsters.  
**RESPONSE: Acknowledged, the site plan has been revised to accommodate pedestrian access to each dumpster enclosure location.**
  
7. Extend new asphalt to connection with ingress/egress roadway (N/S/W connection).  
**RESPONSE: Acknowledged, the proposed asphalt has been extended to the N/S/W connection.**
  
8. Relocate all plantings from within the limits of the proposed detention area.  
**RESPONSE: All planting have been removed from the proposed detention area. See revised landscape plan, Sheet LP-1.**
  
9. The Portofino Landings plat shows the Ingress/Egress easements (Tract C) on Parcel 3. The Warranty Deed for Parcels 2419-122-001-040-6 and 2419-122-0001-050-9 at OR Book 4570 Page 1698 notes that the property is subject to easements, restrictions, and reservations of record. Please provide documentation that these easements have been vacated and that the SLC Fire District is agreeable to the termination of the access.  
**RESPONSE: Per discussions during a meeting with staff and SLCFD, the existing paved connection is not in use and currently fenced off with no access. Ingress/egress and internal circulation is the responsibility of the adjacent property.**
  
10. General Note 1 generally does not apply as there is no adjacent City Right-of-Way. The Property Owner will be responsible to provide pickup, removal, and disposal of litter and maintenance of the area in coordination and compliance with existing ingress/egress easements with adjacent property owners.  
**RESPONSE: Acknowledged, General Note 1 has been revised per the comment above.**

Advisory Comments:

- a. Prior to DPCR approval the two parcels of land shall be combined into one parcel by filing of a Unity of Title or other acceptable means.  
**RESPONSE: We have elected to forgo the lot combination and unity of title during site plan review process. These documents will be provided to the City prior to the issuance of the building permit for vertical construction.**
  
- b. The drainage plan will be fully reviewed when building plans are submitted.  
**RESPONSE: Acknowledged and understood.**

St. Lucie County Fire District

1. Please submit a completed application for Development/Site Plan Review (St. Lucie County Fire District Development & Site Plan Review Application). This form is available on-line at <https://www.slcfcd.com>  
**RESPONSE: Acknowledged separate SLCFD development and site plan review application will be submitted under separate cover.**
2. Fire District review fees are due at the time of submittal. An abbreviated fee schedule is included on the application form.  
**RESPONSE: Acknowledged and understood.**
3. Please send the Fire District electronic plans for the site and buildings.  
**RESPONSE: Acknowledged a revised site plan and building footprints will be provide with the application Submittal.**
4. A separate review and permit is required for Underground Fire Mains connected to standpipes or sprinkler systems.  
**RESPONSE: Acknowledged and understood.**
5. Fire department access roads provided in accordance with 18.2.3 shall be provided at the start of a project and shall be maintained throughout construction. (NFPA 116.1.4). Surface. Fire department access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be provided with an all-weather driving surface. (NFPA 1.18.2.3.5.2.5)  
**RESPONSE: Acknowledged, an Autoturn Truck exhibit will be provided with the site plan application demonstrating site access throughout the site.**
6. Security gates must either be manned 24 hour/day or provide an access control key switch on the control panel to allow for Fire Department entry in an emergency. Security gates must maintain a clear width of 12 feet when open and provide a means to open the gates manually upon loss of power.  
**RESPONSE: Acknowledged, no gates are proposed for this development.**
7. Per the St. Lucie County Fire District Fire Prevention Code Resolution 690-20. At Least 13 feet 6 inches nominal vertical clearance shall be provided and maintained over the full width of all means of access. Including, but not limited to trees, canopies, etc.  
**RESPONSE: Acknowledged and understood. Vertical Clearance will be provided throughout the approved site fire access route.**
8. The Fire District reserves the right for future comments at the site plan & building construction phase.  
**RESPONSE: Acknowledged and understood.**
9. FD access roads (shall be) are provided such that any portion of an unsprinklered facility or exterior wall is located not more than 150' from FD access roads as measured by an approved route around the exterior of the building or facility. (450' for NFPA 13, 13D, 13R sprinklered protected buildings).  
**RESPONSE: Acknowledged, this site does not propose fire sprinklers, however each building is located within 150' of an approved FD access road.**

10. Be advised: Dimensions of largest vehicle are as follows: 38 tons or 77k lbs, 47.5 ft. total length, 21.5 ft. wheel base, 10.5 ft. total width, 41.5 degree turning radius.

**RESPONSE: Acknowledged and understood.**

11. Minimum roadway pavement width (two-way traffic) shall be twenty (20) ft. Minimum roadway pavement width (one-way traffic) shall be twelve (12) ft.

**RESPONSE: Acknowledged and understood.**

12. Fire hydrants (shall be) are provided for buildings other than detached one-and-two-family dwellings IAW both of the following 1) The maximum distance to a fire hydrant from the closest point in the building shall not exceed 400 feet. 2) The maximum distance between fire hydrants shall not exceed 500 feet. NFPA 1:18.5.3. Please provide fire flow calculations for hydrants.

**RESPONSE: Acknowledged a fire hydrant coverage exhibit will be provided with the site plan application.**

13. An approved water supply capable of supplying the required fire flow for fire protection (shall be) is identified to all premises upon which facilities, buildings, or portions of buildings which are to be constructed or moved into the jurisdiction. The approved water supply shall be in accordance with NFPA 1:18.4. See "Needed NFPA Fire Flow Calculator Spreadsheet".

**RESPONSE: Acknowledged, an approved water supply spreadsheet will be provided under separate cover.**

14. Fire department connections shall be located on the street side of buildings and shall be located and arranged so that hose lines can be readily attached to the inlets without interference from any nearby objects, including buildings, fences, landscaping, or other fire department connections. The location of connections shall be based upon the access requirements of the fire department.

**RESPONSE:**

15. The distance allowed between the fire department connection and a fire hydrant shall be no more than one hundred fifty (150) feet as a vehicle travels.

**RESPONSE: Acknowledged and understood.**

16. Minimum Size of Water Mains

The minimum size of water mains for supplying water for firefighting purposes shall be six (6) inches. b. The minimum size of water mains supplying hydrants on a dead end main shall be eight (8) inches. c. The maximum number of hydrants located on a dead end main shall be one (1). d. Grid or Tee systems shall be supplied by a minimum of an eight (8) inch looped main. Exceptions may be granted based on the capacity of the water distribution system but in no case shall the main size be less than six (6) inches. e. The minimum size water main(s) shall be determined by the needed fire flow as established by the Fire Marshal and based on the current Insurance Service Office (ISO) requirements.

**RESPONSE: Acknowledged and understood.**

17. Provide the fire district the Pre-Construction Site Checklist Affidavit. This affidavit shall include the pre-construction fire protection plan, pre-construction fire department access roads, and pre-construction on-site credible water supply for your development and or project (the affidavit can be found at <http://www.slcf.com/182/Applications-Permits> under fire permits.

**RESPONSE: Per previous discussions the pre-construction checklist is not required for this development.**

18. Site Plans submitted in accordance with this Fire Prevention Code shall include the location of all existing and proposed fire hydrants within one thousand (1,000) feet of the proposed project.

**RESPONSE: Acknowledge, a separate exhibit has been provide with he site plan application submittal.**

Florida Department of Transportation

The Okeechobee Road Flex Space applicant should contact FDOT to request an access Pre-Application meeting to evaluate proposed connections. Additional comments may be forthcoming.

1. Larry Hymowitz  
Planning Specialist, Policy and Mobility Planning Section  
954-777-4663 [larry.hymowitz@dot.state.fl.us](mailto:larry.hymowitz@dot.state.fl.us)

**RESPONSE: Acknowledged.**

Thank you for your attention to this matter. We look forward to working with you on this exciting project. Following your review of the application please let us know if you need any additional copies or have any questions. Thank you for your assistance with this application.

Sincerely,



Erika Beitler  
Project Manager

c.c. Development Team

**Okeechobee Flex**  
Project № 25011.03 , v1.1  
February 17, 2025

**Traffic Impact Analysis**  
**St. Lucie County**  
**Florida**

***Prepared for:***

Land America, LLC  
101 Pugliese's Way, Suite 200  
Delray Beach, FL 33444

***Prepared by:***



Formerly O'Rourke Engineering & Planning

3725 SE Ocean Boulevard, Suite 201  
Stuart, Florida 34996  
[www.trafficmobility.com](http://www.trafficmobility.com)  
(772) 781-7918

## PROFESSIONAL ENGINEERING CERTIFICATION

I hereby certify that I am a Professional Engineer properly registered in the State of Florida practicing with Traffic & Mobility Consultants LLC, a corporation authorized to operate as an engineering business, CA-30024, by the State of Florida Department of Professional Regulation, Board of Professional Engineers, and that I have prepared or approved the evaluations, findings, opinions, conclusions, or technical advice attached hereto for:

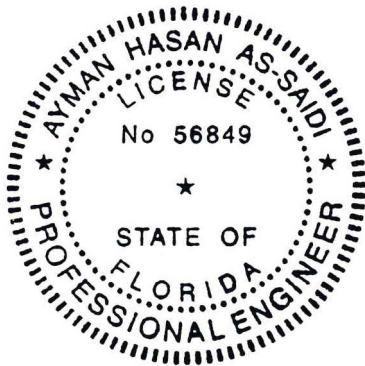
**PROJECT:** Okeechobee Flex

**LOCATION:** St. Lucie County, Florida

**CLIENT:** Land America, LLC

I hereby acknowledge that the procedures and references used to develop the results contained in these computations are standard to the professional practice of Transportation Engineering as applied through professional judgment and experience.

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY



ON THE DATE ADJACENT TO THE SEAL

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

TRAFFIC & MOBILITY CONSULTANTS LLC  
3101 MAGUIRE BOULEVARD, SUITE 265  
ORLANDO, FLORIDA 32803

CERTIFICATE OF AUTHORIZATION CA-30024

Ayman As-Saidi, P.E. № 56849

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## **INTRODUCTION**

Traffic & Mobility Consultants, formerly O'Rourke Engineering & Planning, was retained to prepare a traffic analysis for the proposed warehouse development located west of McNeil Road and north of Okeechobee Road in Ft. Pierce, St. Lucie County, Florida. The purpose of this report is to determine the project's impact on the surrounding roadway system.

In order to make the determination that the project complies with County Concurrency Guidelines, the following analytical steps were taken:

- summary of the project
- summary of existing lane geometries
- summary of the existing traffic volumes
- assessment of project traffic
- determination of impact area
- summary of buildout cumulative traffic volumes
- summary of levels of service with the project traffic added

Each of these steps is outlined herein.


## **PROJECT DESCRIPTION**

The proposed development located west of McNeil Road and north of Okeechobee Road in Ft. Pierce, St. Lucie County, Florida, will consist of a 36,790 square foot Warehouse on approximately 3.57 acres. The site is currently vacant. The project location is shown in **Figure 1**.



**Figure 1**  
**Project Location**  
 Okeechobee Flex

**Legend**

 = Project Location

**TMC** Traffic & Mobility CONSULTANTS  
 Formerly O'Rourke Engineering & Planning  
 3725 SE Ocean Blvd, Suite 201  
 Stuart, FL 34996

NTS  
 Job Number: 25011.03  
 Date: 1/29/2025

## **EXISTING CONDITIONS**

The study radius of area of influence is defined by the total daily trips. The project generates 96 daily trips. Therefore, the study area is limited to the directly accessed link and the roadways upon which the project has an impact of 5% of the level of service capacity of the roadway. Once the project traffic was assigned, the study area was refined based on the impact percentages.

The study area roadways were defined in terms of existing lane geometrics and existing traffic volumes.

### **Existing Lane Geometrics and Traffic Control**

The study area was reviewed to determine the existing number and type of lanes, and the traffic control along the roadway. Each roadway is described below.

- Okeechobee Road is a multi-lane divided arterial roadway with an east/west alignment. It has a context classification of C3C adjacent to the project and is a six-lane divided roadway from Rolyat Street to Virginia Avenue.

### **Existing Traffic Volumes/ Service Volume**

Traffic volumes were obtained from the St. Lucie County TPO Traffic Counts and Level of Service Report 2024 and FDOT. The count data along with the number of lanes and the associated peak hour/peak direction service volumes will be summarized in the upcoming sections of the report. The service volumes were developed based on the functional classification contained in the County Comprehensive Plan and the St. Lucie County Traffic Counts and Level of Service Report. The St. Lucie 2024 Level of Service Report was used to establish capacity. This document is included in **Appendix B**.

## PROJECT TRAFFIC

To estimate future traffic generated by the development, the ITE Trip Generation, 11th Edition trip rates were applied to Warehouse. These calculations are shown in **Tables 1a, 1b, and 1c**.

Trip generation reference material is included in the latter half of Appendix B.

As shown, the project will generate 96 net new daily trips. There will be 6 net new AM peak hour trips with 5 trip entering the project and 1 trip exiting the project. There will be 7 net new PM peak hour trips with 2 trips entering the project and 5 trips exiting the project.

## PROJECT DISTRIBUTION/ ASSIGNMENT/IMPACT

The project traffic was distributed by general geographic direction and then assigned to the roadway network.

**Distribution/ Assignment** – This general distribution led to an assignment of trips based on the anticipated ultimate destinations and the roadway paths used to reach those destinations. The project assignment is shown in **Figure 2**.

**Impact – Tables 2a and 2b** summarize the project impact as a percent of service volume capacity. Significant is defined as the directly accessed link and an impact of 5% or more on all other links. As shown, there are no roadways impacted by 5% or more.

**Table 1 - Trip Generation**

**Table 1a: Daily**

Land Use	ITE Code	Intensity	Units	Trip Generation Rate	Directional Split		Net New Trips		
					In	Out	In	Out	Total
Warehousing	150	36,790	Sft	$T = 1.58(X) + 38.29$	50%	50%	48	48	96
<b>TOTAL</b>		<b>36,790</b>					<b>48</b>	<b>48</b>	<b>96</b>

Source: ITE 11<sup>th</sup> Edition Trip Generation Rates

**Table 1b: AM Peak Hour**

Land Use	ITE Code	Intensity	Units	Trip Generation Rate	Directional Split		Net New Trips		
					In	Out	In	Out	Total
Warehousing	150	36,790	Sft	$T = 0.17(X)$	77%	23%	5	1	6
<b>TOTAL</b>		<b>36,790</b>					<b>5</b>	<b>1</b>	<b>6</b>

Source: ITE 11<sup>th</sup> Edition Trip Generation Rates


**Table 1c: PM Peak Hour**

Land Use	ITE Code	Intensity	Units	Trip Generation Rate	Directional Split		Net New Trips		
					In	Out	In	Out	Total
Warehousing	150	36,790	Sft	$T = 0.18(X)$	28%	72%	2	5	7
<b>TOTAL</b>		<b>36,790</b>					<b>2</b>	<b>5</b>	<b>7</b>

Source: ITE 11<sup>th</sup> Edition Trip Generation Rates



**Figure 2**  
Project Distribution  
Okeechobee Flex

**Legend**  
 = Project Location

**TMC** Traffic & Mobility CONSULTANTS  
 Formerly O'Rourke Engineering & Planning  
 3725 SE Ocean Blvd, Suite 201  
 Stuart, FL 34996

NTS  
 Job Number: 25011.03  
 Date: 1/29/2025

TABLE 2a - Project Percent Impact - AM

Segment	From	To	Lanes	Direction	IN/OUT	Greater than 3% (1% on Adjacent Links)	Peak Hour Service Capacity (E+C) <sup>(1)</sup>	Project Volume Peak Direction	% Project of Capacity-Peak Hour	Project Percent Assignment
Okeechobee Rd	McNeil Rd	Project Access	6LD	EB	IN	NO	2,680	3	0.11%	60%
	McNeil Rd	Project Access	6LD	WB	OUT	NO	2,680	1	0.04%	60%
	Project Access	Virginia Ave	6LD	EB	OUT	NO	2,680	0	0.00%	40%
	Project Access	Virginia Ave	6LD	WB	IN	NO	2,680	2	0.07%	40%

(1) St. Lucie TPO LOS 2024 & FDOT 2023 Q/LOS Tables

Two-Way: 6  
 Net In: 5  
 Net Out: 1

TABLE 2b - Project Percent Impact - PM

Segment	From	To	Lanes	Direction	IN/OUT	Greater than 3% (1% on Adjacent Links)	Peak Hour Service Capacity (E+C) <sup>(1)</sup>	Project Volume Peak Direction	% Project of Capacity-Peak Hour	Project Percent Assignment
Okeechobee Rd	McNeil Rd	Project Access	6LD	EB	IN	NO	2,680	1	0.04%	60%
	McNeil Rd	Project Access	6LD	WB	OUT	NO	2,680	3	0.11%	60%
	Project Access	Virginia Ave	6LD	EB	OUT	NO	2,680	2	0.07%	40%
	Project Access	Virginia Ave	6LD	WB	IN	NO	2,680	1	0.04%	40%

(1) St. Lucie TPO LOS 2024 & FDOT 2023 Q/LOS Tables

Two-Way: 7  
 Net In: 2  
 Net Out: 5

## **OTHER PROJECT TRAFFIC/GROWTH RATE**

Traffic volumes on Okeechobee Road were grown using a historical growth rate of 4.08%. The growth rate was calculated using available FDOT data from 2018 to 2023, at the link of Okeechobee Road from McNeil Road to Virginia Avenue. The growth rate was applied 5 years to estimate 2028 traffic. Committed traffic from approved but unbuilt projects were also included as background traffic.

Details of the growth rate calculation and background projects are included in **Appendix C**.

## **LINK ANALYSIS / REVIEW**

The adjacent link of Okeechobee Road was analyzed further to ensure it will meet concurrency. **Tables 3a and 3b** summarize the results of the link analysis. As shown, the roadway will operate at acceptable levels of service at project buildout.

TABLE 3a - Link Analysis - AM

Segment	From	To	Direction	IN/OUT	Greater than 3% (1% on Adjacent Links)	AAAT 2023	2023 Peak Hour Directional Volumes	Growth Rate (2)	2028 AM Peak Hour + Growth	AM Peak Hour Committed Projects Directional	2028 Growth + Committed Peak Direction	Peak Hour Service Capacity (1)	Project Volume Peak Direction	Total Traffic (Peak Direction)	% Project of Capacity- Peak Hour	Does Project Satisfy Concurrency?	Project Percent Assignment
Okeechobee Rd	McNeil Rd	Project Access	EB	IN	NO	29,519	1,645	4.08%	2,009	256	2,265	2,680	3	2,268	0.11%	YES	60%
	McNeil Rd	Project Access	WB	OUT	NO	29,519	1,106	4.08%	1,351	154	1,505	2,680	1	1,506	0.04%	YES	60%
	Project Access	Virginia Ave	EB	OUT	NO	29,519	1,645	4.08%	2,009	256	2,265	2,680	0	2,265	0.00%	YES	40%
	Project Access	Virginia Ave	WB	IN	NO	29,519	1,106	4.08%	1,351	154	1,505	2,680	2	1,507	0.07%	YES	40%

(1) St. Lucie TPO LOS 2024 & FDOT 2023 Q/LOS Tables

(2) 5-year historical growth rate calculated from FDOT Historical AADT

Two-Way: 6  
 Net In: 5  
 Net Out: 1  
 Years Grown: 5

TABLE 3b - Link Analysis - PM

Segment	From	To	Direction	IN/OUT	Greater than 3% (1% on Adjacent Links)	AAAT 2023	2023 Peak Hour Directional Volumes	Growth Rate (2)	2028 PM Peak Hour + Growth	PM Peak Hour Committed Projects Directional	2028 Growth + Committed Peak Direction	Peak Hour Service Capacity (1)	Project Volume Peak Direction	Total Traffic (Peak Direction)	% Project of Capacity- Peak Hour	Does Project Satisfy Concurrency?	Project Percent Assignment
Okeechobee Rd	McNeil Rd	Project Access	EB	IN	NO	29,519	1,517	4.08%	1,853	215	2,068	2,680	1	2,069	0.04%	YES	60%
	McNeil Rd	Project Access	WB	OUT	NO	29,519	1,638	4.08%	2,001	283	2,284	2,680	3	2,287	0.11%	YES	60%
	Project Access	Virginia Ave	EB	OUT	NO	29,519	1,517	4.08%	1,853	215	2,068	2,680	2	2,070	0.07%	YES	40%
	Project Access	Virginia Ave	WB	IN	NO	29,519	1,638	4.08%	2,001	283	2,284	2,680	1	2,285	0.04%	YES	40%

(1) St. Lucie TPO LOS 2024 & FDOT 2023 Q/LOS Tables

(2) 5-year historical growth rate calculated from FDOT Historical AADT

Two-Way: 7  
 Net In: 2  
 Net Out: 5  
 Years Grown: 5

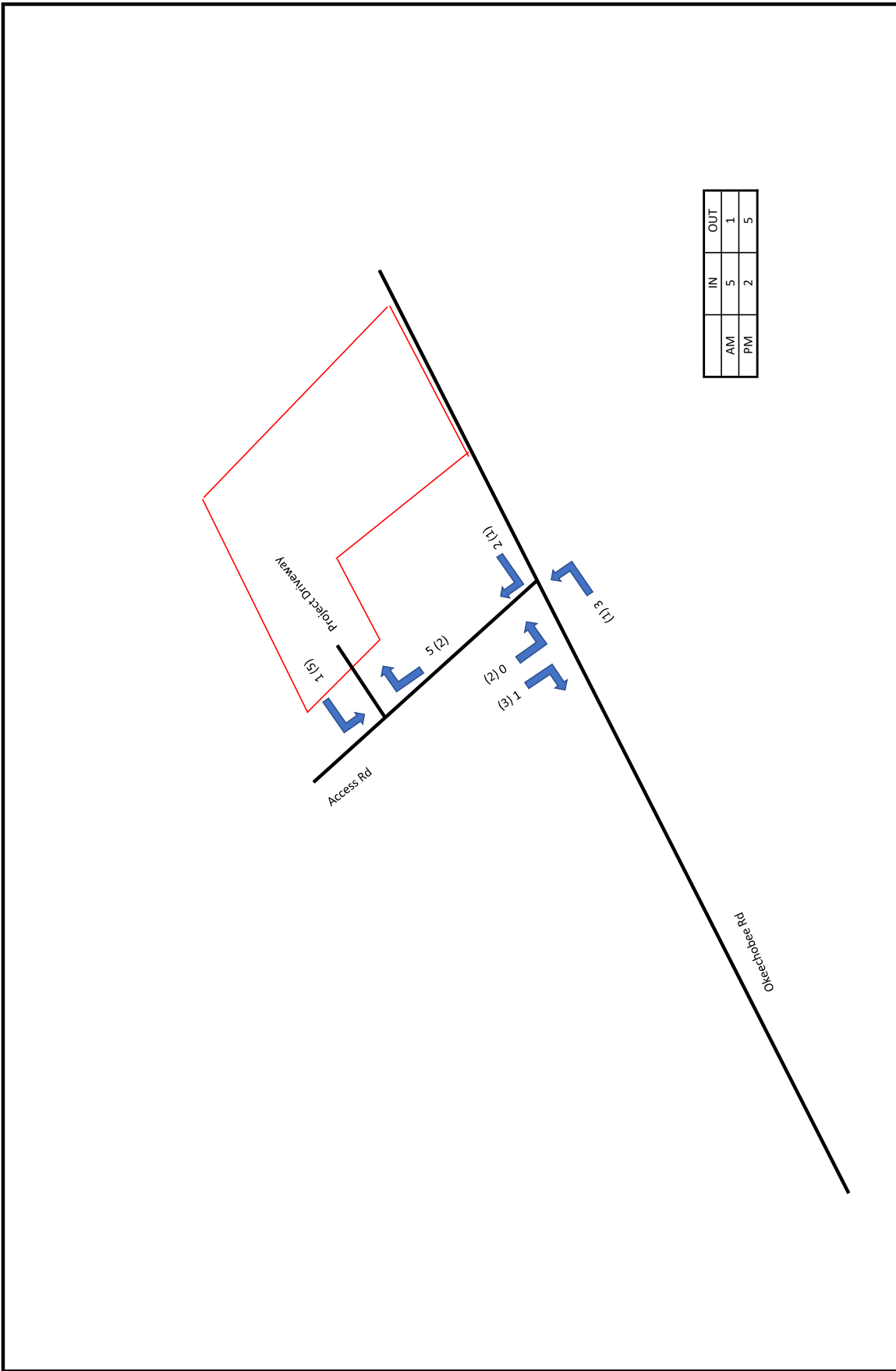
## **DRIVEWAY ANALYSIS**

The project takes access from an existing access road with existing full access to Okeechobee Road. The project volumes are shown on **Figure 3**.

The existing access road already provides a right-turn lane and left-turn lane. Therefore, additional turn lane analysis is not required.

## **CONCLUSION**

The Okeechobee Flex with 96 daily trips, 6 net AM peak hour trips and 7 net PM peak hour trips will have an insignificant impact on the network. All links and intersections operate at acceptable levels of service. Therefore, the project meets the requirements for concurrency.





Formerly O'Rourke Engineering & Planning  
3725 SE Ocean Blvd, Suite 201  
Stuart, FL 34996

NTS

Job Number: 25011.03

**Legend**

 = Project Location

XX (XX) = AM (PM) Driveway Volumes

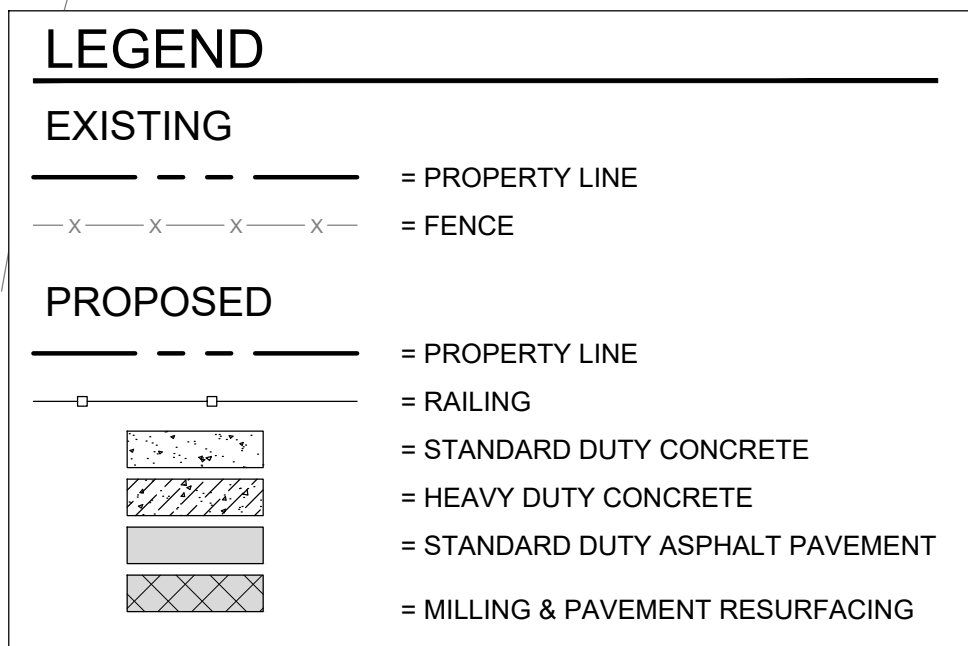
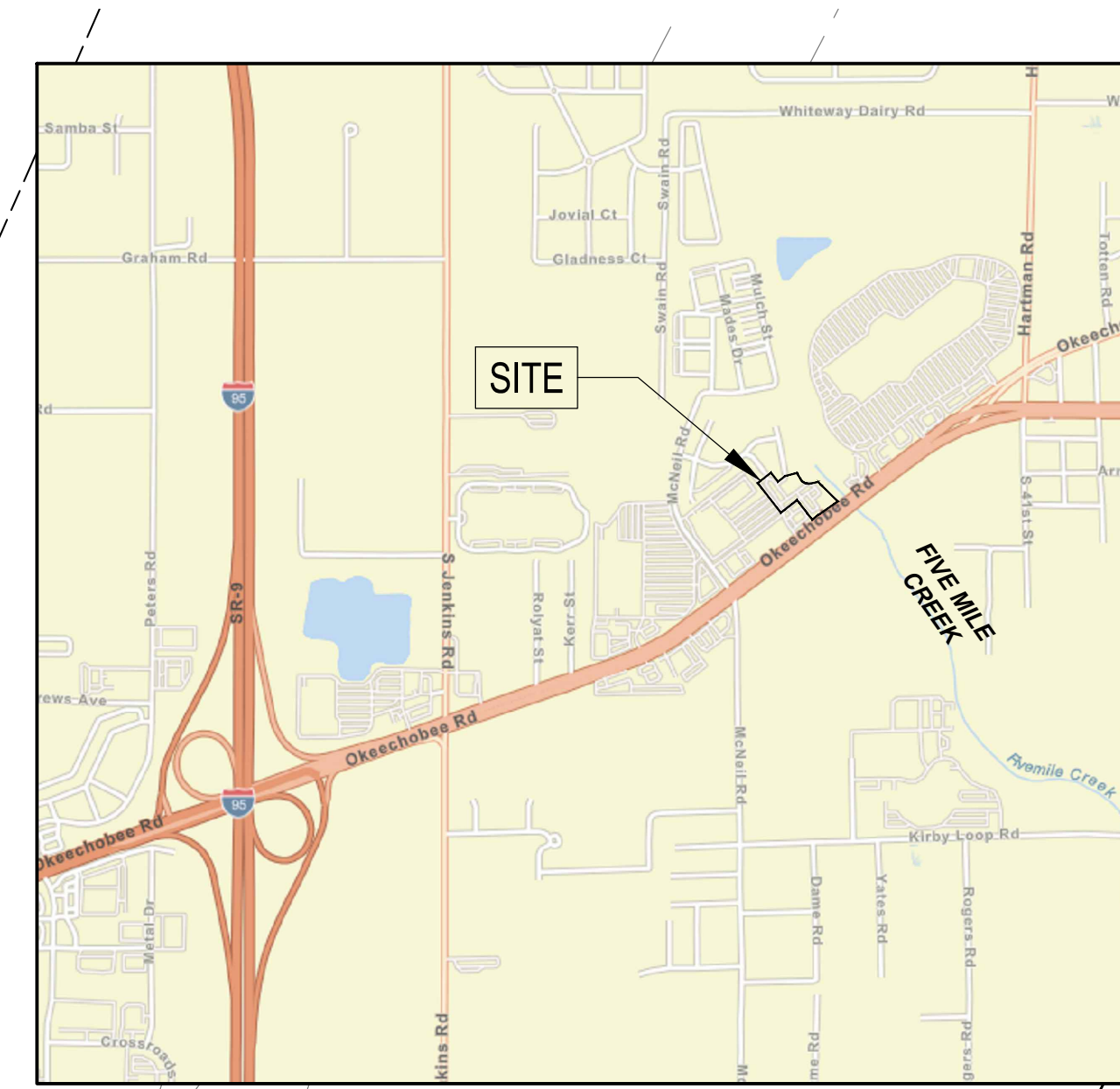
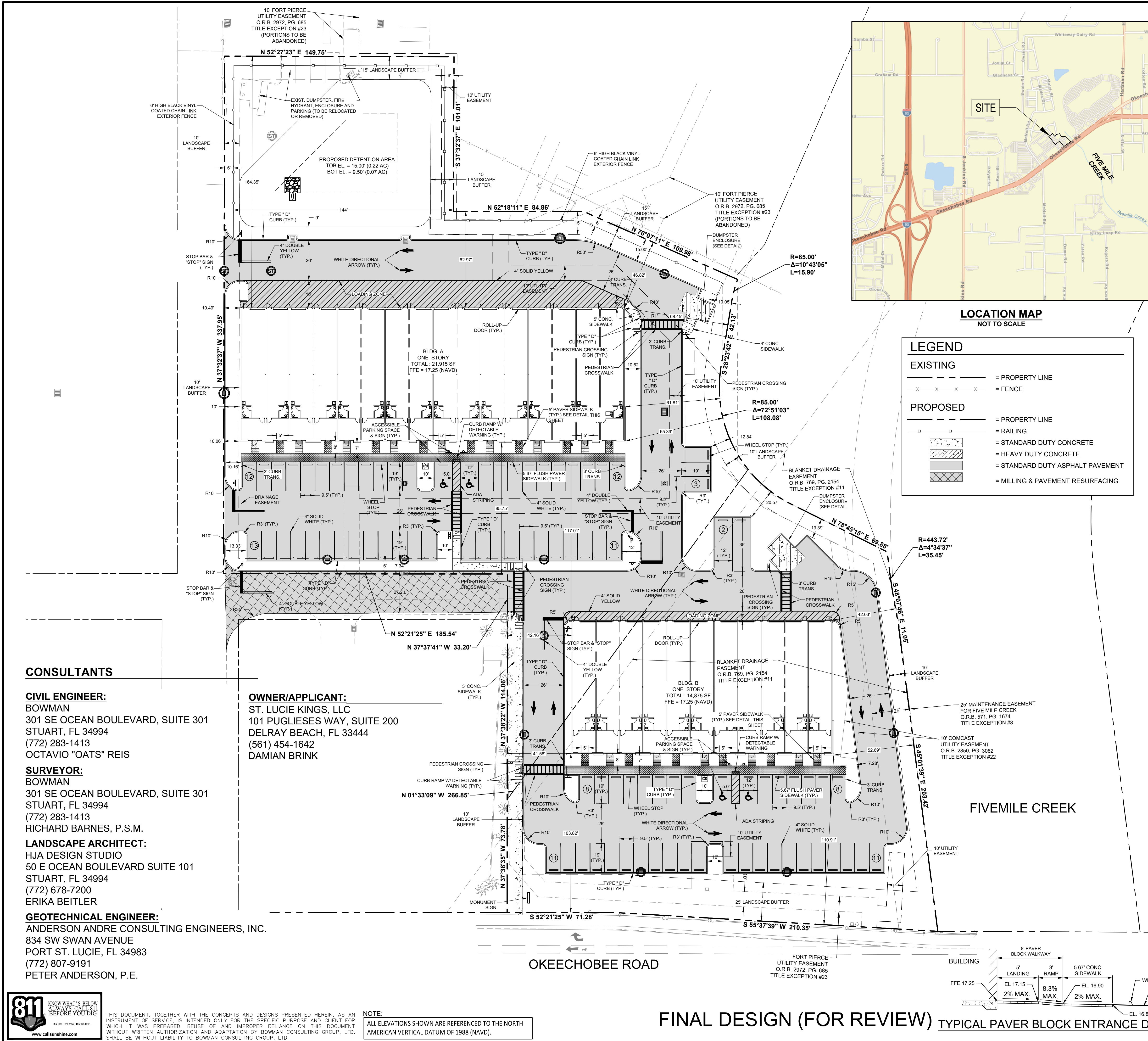
**Figure 3**

**Driveway Volumes**

Okeechobee Flex

**APPENDIX A**

**SITE PLAN**



**SITE DATA**

TOTAL SITE AREA	155,352 SF / 3.57 AC
FUTURE LAND USE	GENERAL COMMERCIAL (GC)
EXISTING ZONING	COMMERCIAL GENERAL (C-3)
EXISTING USE	VACANT COMMERCIAL
PROPOSED USE	FLEX SPACE (WHOLE SALE TRADE / WAREHOUSE & FREIGHT)
BUILDING COVERAGE	36,790 SF
MAXIMUM BUILDING HEIGHT	30'
PROPOSED BUILDING HEIGHT	30'
PARCEL CONTROL NUMBER	2419-122-0001-050-9
	2419-122-0001-040-6

**OPEN SPACE**

REQUIRED	31,070 SF	0.71 AC	20%
PROVIDED	47,933 SF	1.10 AC	31%
TOTAL LANDSCAPE AREA	47,933 SF	1.10 AC	31%

**SET BACKS**

REQUIRED (MIN.)	PROVIDED
FRONT	25'
SIDE	10'
REAR	15'

**LANDSCAPE AREA**

TOTAL LANDSCAPE AREA	47,933 SF	1.10 AC	31%
----------------------	-----------	---------	-----

**IMPERVIOUS AREA**

BUILDING COVERAGE	36,790 SF	0.85 AC	24%
VEHICULAR USE AREA	61,960 SF	1.42 AC	40%
PAVERS/WALKS/DUMPSTER	8,669 SF	0.19 AC	5%
TOTAL	107,419 SF	2.46 AC	69%

**BUILDING DATA**

	OFFICE	WAREHOUSE	TOTAL
BUILDING A	3,357 SF / 15%	18,558 SF	21,915 SF
BUILDING B	2,306 SF / 15%	12,569 SF	14,875 SF
TOTAL	5,663 SF / 15%	31,127 SF	36,790 SF

**PARKING REQUIREMENTS (9.5' X 19')**

WAREHOUSE	REQUIRED	PROVIDED
1 SPACE PER 600 SF (31,127/600)	52 SPACES	55 SPACES
OFFICE	REQUIRED	PROVIDED
1 SPACE PER 200 SF (200 SF PER BAY) (5,663/200)	28 SPACES	30 SPACES
ACCESSIBLE SPACES	76 - 100 SPACES	4 SPACES
LOADING SPACES	2 SPACES	4 SPACES
TOTAL PARKING SPACES	85 SPACES	91 SPACES

**LEGAL DESCRIPTION**  
**PARCEL 1:**  
 A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
 COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE NORTH 01°20'45" EAST, ALONG THE EAST LINE OF SECTION 18, TOWNSHIP 35 SOUTH, RANGE 40 EAST, A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA S.R. 70); THENCE SOUTH 52°29'55" WEST, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 210.34 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 85°45'47" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 210.34 FEET; THENCE SOUTH 52°29'33" WEST ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 71.28 FEET; THENCE NORTH 37°30'27" WEST, A DISTANCE OF 73.78 FEET; THENCE NORTH 37°30'14" WEST, A DISTANCE OF 114.06 FEET; THENCE NORTH 37°29'33" WEST, A DISTANCE OF 33.20 FEET; THENCE SOUTH 52°29'33" WEST, A DISTANCE OF 185.54 FEET; THENCE NORTH 37°24'29" EAST, A DISTANCE OF 537.95 FEET; THENCE NORTH 52°35'31" EAST, A DISTANCE OF 149.75 FEET; THENCE SOUTH 37°24'29" EAST, A DISTANCE OF 101.01 FEET; THENCE NORTH 52°28'19" EAST, A DISTANCE OF 84.96 FEET; THENCE NORTH 78°15'19" EAST, A DISTANCE OF 109.98 FEET TO A POINT OF TANGENCY; THENCE NORTH 78°53'23" EAST, A DISTANCE OF 69.88 FEET TO A POINT ON THE ARC OF A CIRCULAR CURVE TO THE LEFT AT WHICH A RADIAL LINE BEARS NORTH 72°27'31" EAST; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 85.00 FEET AND A CENTRAL ANGLE OF 10°43'05", A DISTANCE OF 15.90 FEET TO A POINT OF TANGENCY; THENCE SOUTH 28°15'34" EAST, A DISTANCE OF 42.13 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE TO THE LEFT; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 85.00 FEET AND A CENTRAL ANGLE OF 72°51'03", A DISTANCE OF 109.98 FEET TO A POINT OF TANGENCY; THENCE NORTH 78°53'23" EAST, A DISTANCE OF 69.88 FEET TO A POINT ON THE ARC OF A CIRCULAR CURVE TO THE LEFT AT WHICH A RADIAL LINE BEARS NORTH 46°34'59" EAST; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 443.72 FEET AND A CENTRAL ANGLE OF 04°34'37", A DISTANCE OF 35.44 FEET TO A POINT OF TANGENCY; THENCE SOUTH 47°59'38" EAST, A DISTANCE OF 11.05 FEET; THENCE SOUTH 44°53'31" EAST, A DISTANCE OF 203.42 FEET TO THE POINT OF BEGINNING.

**PARCEL 2:**  
 A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
 COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE NORTH 01°20'45" EAST ALONG THE EAST LINE OF SECTION 18, TOWNSHIP 35 SOUTH, RANGE 40 EAST, FOR A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA S.R. 70); THENCE SOUTH 52°29'55" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 210.04 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND; THENCE SOUTH 55°45'47" WEST FOR A DISTANCE OF 210.34 FEET; THENCE SOUTH 52°29'33" WEST FOR A DISTANCE OF 71.28 FEET; THENCE NORTH 37°30'27" WEST FOR A DISTANCE OF 73.78 FEET; THENCE NORTH 01°22'19" WEST FOR A DISTANCE OF 267.30 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 14°31'18" WEST, HAVING A RADIUS OF 85.00 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 38.54 FEET THROUGH A CENTRAL ANGLE OF 24°37'53" TO A POINT OF TANGENCY; THENCE NORTH 78°53'23" EAST FOR A DISTANCE OF 69.88 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 46°34'59" WEST, HAVING A RADIUS OF 443.72 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 35.19 FEET THROUGH A CENTRAL ANGLE OF 04°32'39"; THENCE SOUTH 47°59'38" EAST FOR A DISTANCE OF 11.05 FEET; THENCE SOUTH 44°53'31" EAST FOR A DISTANCE OF 203.42 FEET TO THE POINT OF BEGINNING.

**CONSULTANTS**

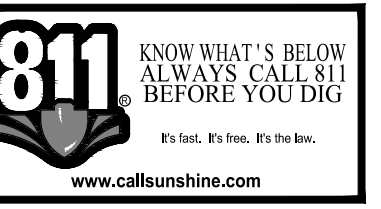
**CIVIL ENGINEER:**  
**BOWMAN**  
 301 SE OCEAN BOULEVARD, SUITE 301  
 STUART, FL 34994  
 (772) 283-1413  
 OCTAVIO "OATS" REIS

**SURVEYOR:**  
**BOWMAN**  
 301 SE OCEAN BOULEVARD, SUITE 301  
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 RICHARD BARNES, P.S.M.

**LANDSCAPE ARCHITECT:**  
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 50 E OCEAN BOULEVARD SUITE 101  
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 ERIKA BEITLER

**GEOTECHNICAL ENGINEER:**  
**ANDERSON ANDRE CONSULTING ENGINEERS, INC.**  
 834 SW SWAN AVENUE  
 PORT ST. LUCIE, FL 34983  
 (772) 807-9191  
 PETER ANDERSON, P.E.

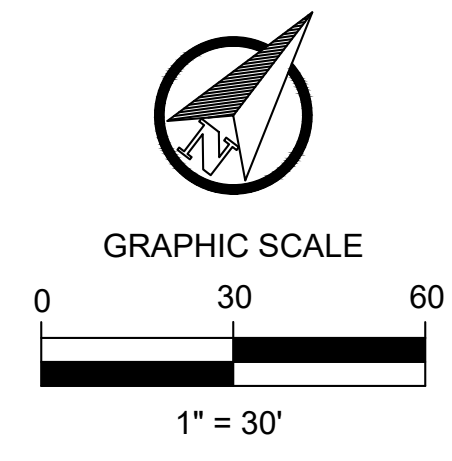
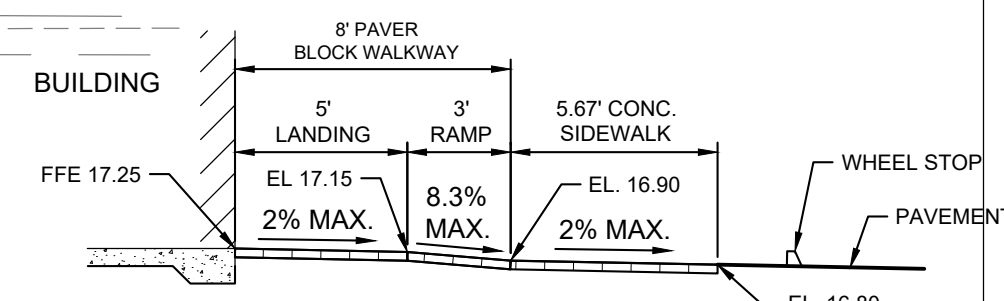
**OWNER/APPLICANT:**  
**ST. LUCIE KINGS, LLC**  
 101 PUGLIESES WAY, SUITE 200  
 DELRAY BEACH, FL 33444  
 (561) 454-1642  
 DAMIAN BRINK



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**NOTE:**  
 ALL ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD).

**FINAL DESIGN (FOR REVIEW) TYPICAL PAVER BLOCK ENTRANCE DETAIL**



**Bowman**  
 PROFESSIONAL SURVEYORS AND MAPPERS, CERTIFICATE NO. LB 8030  
 BOARD OF PROFESSIONAL ENGINEERS, CERTIFICATE OF AUTHORIZATION NO. 39492

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**FLORIDA**

**4600 FLEX SPACE**

**SITE PLAN**

**PROJECT NO**  
 010894-01-001

**OCTAVIO "OATS" REIS**  
 LICENSE NO. 42503

PLAN STATUS		
DATE	DESCRIPTION	
BK DESIGN	RO DRAWN	GMB CHKD
SCALE: 1" = 30'		
JOB No. 010894		
DATE January 2025		
FILE No. 010894-HCP		
SHEET <b>SP1</b>		

**APPENDIX B**

**ST. LUCIE COUNTY TPO TRAFFIC COUNTS AND LEVEL OF SERVICE REPORT 2024  
&  
FDOT 2023 Q/LOS TABLES**

### Traffic Counts and Level of Service Report 2024

Roadway Name	Location	STATION ID	2024 AADT *	Last Physical Count Year	Pk Hr Service Capacity	AM Pk Hr Pk Dir			PM Pk Hr Pk Dir		
						Volume	LOS	V/C	Volume	LOS	V/C
OKEECHOBEE RD	BLUEFIELD RD to CARLTON RD	687	9,900	2024	2,000	536	B	0.27	542	B	0.27
OKEECHOBEE RD	CARLTON RD to SNEED RD	940039	9,696	2023							
OKEECHOBEE RD	IDEAL HOLDING RD to HEADER CANAL RD	940039	9,696	2023							
OKEECHOBEE RD	SNEED RD to IDEAL HOLDING RD	940039	9,696	2023							
OKEECHOBEE RD	HEADER CANAL RD to MIDWAY RD	940039	9,696	2023							
OKEECHOBEE RD	MIDWAY RD to SHINN RD	940039	9,696	2023							
OKEECHOBEE RD	SHINN RD to MCCARTY RD	940195	7,267	2023							
OKEECHOBEE RD	MCCARTY RD to FLORIDA'S TURNPIKE	940025	10,118	2023							
OKEECHOBEE RD	FLORIDA'S TURNPIKE to KINGS HWY	940025	10,118	2023							
OKEECHOBEE RD	KINGS HWY to CROSSROADS PKWY	940748	24,489	2023							
OKEECHOBEE RD	CROSSROADS PKWY to I-95	940106	26,459	2023							
OKEECHOBEE RD	I-95 to JENKINS RD	940029	33,776	2023							
OKEECHOBEE RD	JENKINS RD to MCNEIL RD	940029	33,776	2023							
OKEECHOBEE RD	MCNEIL RD to VIRGINIA AVE	940742	32,311	2023							
OKEECHOBEE RD	VIRGINIA AVE to HARTMAN RD	688	13,178	2023	2,100	681	C	0.32	672	C	0.32
OKEECHOBEE RD	HARTMAN RD to 35TH ST	688	13,178	2023	1,630	681	C	0.42	672	C	0.41
OKEECHOBEE RD	35TH ST to 33RD ST	689	15,615	2023	1,630	813	D	0.50	778	D	0.48
OKEECHOBEE RD	33RD ST to 25TH ST	689	15,615	2023	1,630	813	D	0.50	778	D	0.48
OKEECHOBEE RD	25TH ST to GEORGIA AVE	690	11,736	2023	1,630	680	C	0.42	603	C	0.37
OKEECHOBEE RD	GEORGIA AVE to DELAWARE AVE	690	11,736	2023	1,710	680	C	0.40	603	C	0.35
OLD DIXIE HWY	US 1 to SR A1A NORTH	691	436	2022	790	68	C	0.09	64	C	0.08
OLD DIXIE HWY	SR A1A NORTH to ST LUCIE BLVD	948521	1,820	2023	750	85	C	0.11	85	C	0.11
OLD DIXIE HWY	ST LUCIE BLVD to INDRIO RD	227	1,785	2022	790	145	C	0.18	106	C	0.13
OLD DIXIE HWY	INDRIO RD to INDIAN RIVER C.L.	948523	1,495	2023	870	70	C	0.08	70	C	0.08
OLEANDER AVE	BEACH AVE to KITTERMAN RD	692	2,997	2021	540	173	C	0.32	196	C	0.36
OLEANDER AVE	KITTERMAN RD to MIDWAY RD	141	6,174	2021	750	359	C	0.48	359	C	0.48
OLEANDER AVE	MIDWAY RD to WEATHERBEE RD	139	6,049	2023	750	342	C	0.46	345	C	0.46
OLEANDER AVE	WEATHERBEE RD to BELL AVE	139	6,049	2023	540	342	D	0.63	345	D	0.64
OLEANDER AVE	BELL AVE to FARMER'S MARKET RD	240	9,400	2024	540	465	D	0.86	461	D	0.85
OLEANDER AVE	FARMER'S MARKET RD to EDWARDS RD	240	9,400	2024	750	465	D	0.62	461	D	0.61
OLEANDER AVE	EDWARDS RD to WISTERIA AVE	505	9,200	2024	750	590	D	0.79	518	D	0.69
OLEANDER AVE	WISTERIA AVE to GARDENIA AVE	505	9,200	2024	540	590	F	1.09	518	D	0.96

\* **NOTE:** A six digit number in the "STATION ID" column identifies segment counted by FDOT. FDOT count stations use standard K and D factors to determine peak hour values. Peak hour data is not available for locations on State roads due to differences in data availability, LOS Methodologies, and service level thresholds. Please refer to FDOT sources for detailed data on FDOT traffic counts.

\* Volumes shown were adjusted using FDOT Seasonal Factors

\* AADT = Annual Average Daily Traffic (volumes for both directions where applicable)

\* **NOTE:** If the Last Count Year is older than the year of the report, the AADT is projected from historical traffic count data.

# C3C & C3R

## Motor Vehicle Arterial Generalized Service Volume Tables

### Peak Hour Directional

### Peak Hour Two-Way

### AADT



(C3C-Suburban Commercial)

	B	C	D	E
1 Lane	*	760	1,070	**
2 Lane	*	1,520	1,810	**
3 Lane	*	2,360	2,680	**
4 Lane	*	3,170	3,180	**

	B	C	D	E
2 Lane	*	1,380	1,950	**
4 Lane	*	2,760	3,290	**
6 Lane	*	4,290	4,870	**
8 Lane	*	5,760	5,780	**

	B	C	D	E
2 Lane	*	15,300	21,700	**
4 Lane	*	30,700	36,600	**
6 Lane	*	47,700	54,100	**
8 Lane	*	64,000	64,200	**



(C3R-Suburban Residential)

	B	C	D	E
1 Lane	*	970	1,110	**
2 Lane	*	1,700	1,850	**
3 Lane	*	2,620	2,730	**

	B	C	D	E
2 Lane	*	1,760	2,020	**
4 Lane	*	3,090	3,360	**
6 Lane	*	4,760	4,960	**

	B	C	D	E
2 Lane	*	19,600	22,400	**
4 Lane	*	34,300	37,300	**
6 Lane	*	52,900	55,100	**

### Adjustment Factors

The peak hour directional service volumes should be adjusted by multiplying by 1.2 for one-way facilities  
 The AADT service volumes should be adjusted by multiplying 0.6 for one way facilities  
 2 Lane Divided Roadway with an Exclusive Left Turn Lane(s): Multiply by 1.05  
 2 lane Undivided Roadway with No Exclusive Left Turn Lane(s): Multiply by 0.80

Exclusive right turn lane(s): Multiply by 1.05  
 Multilane Undivided Roadway with an Exclusive Left Turn Lane(s): Multiply by 0.95  
 Multilane Roadway with No Exclusive Left Turn Lane(s): Multiply by 0.75  
 Non-State Signalized Roadway: Multiply by 0.90

This table does not constitute a standard and should be used only for general planning applications. The table should not be used for corridor or intersection design, where more refined techniques exist.

\* Cannot be achieved using table input value defaults.

\*\* Not applicable for that level of service letter grade. For the automobile mode, volumes greater than level of service D become F because intersection capacities have been reached.

COUNTY: 94  
 STATION: 0742  
 DESCRIPTION: SR 70/OKEECHOBEE RD - SW OF SR 70/VIRGINIA AVE (CO  
 START DATE: 05/02/2023  
 START TIME: 1200

TIME	DIRECTION: E					DIRECTION: W					COMBINED TOTAL	
	1ST	2ND	3RD	4TH	TOTAL	1ST	2ND	3RD	4TH	TOTAL		
0000	31	27	23	18	99	31	18	18	19	86	185	
0100	24	16	9	16	65	23	10	8	10	51	116	
0200	17	17	22	6	62	11	15	10	14	50	112	
0300	11	8	10	21	50	16	19	12	12	59	109	
0400	15	25	31	24	95	28	10	41	56	135	230	
0500	29	41	75	91	236	36	75	79	123	313	549	
0600	123	147	179	271	720	161	227	280	225	893	1613	
0700	222	308	430	474	1434	233	230	302	274	1039	2473	
0800	377	364	312	335	1388	264	266	289	244	1063	2451	
0900	255	302	272	289	1118	246	240	234	229	949	2067	
1000	273	292	260	292	1117	229	260	274	279	1042	2159	
1100	275	221	270	291	1057	262	240	304	286	1092	2149	
1200	286	301	323	307	1217	321	291	286	285	1183	2400	
1300	302	272	284	327	1185	294	308	288	317	1207	2392	
1400	277	302	299	288	1166	313	284	296	287	1180	2346	
1500	354	333	379	347	1413	362	386	378	357	1483	2896	
1600	331	405	341	357	1434	347	364	407	387	1505	2939	
1700	333	387	407	390	1517	413	431	342	337	1523	3040	
1800	329	341	287	289	1246	285	274	264	275	1098	2344	
1900	254	243	226	203	926	250	249	207	202	908	1834	
2000	208	189	184	200	781	216	202	192	183	793	1574	
2100	143	147	114	101	505	146	150	99	131	526	1031	
2200	120	127	106	71	424	107	66	55	48	276	700	
2300	79	55	56	33	223	58	41	46	25	170	393	
24-HOUR TOTALS:					19478						18624	38102

	DIRECTION: E		DIRECTION: W		COMBINED DIRECTIONS	
	HOUR	VOLUME	HOUR	VOLUME	HOUR	VOLUME
A.M.	730	1645	730	1106	730	2751
P.M.	1700	1517	1630	1638	1645	3057
DAILY	730	1645	1630	1638	1645	3057

**APPENDIX C**

**GROWTH RATE**  
**&**  
**BACKGROUND TRAFFIC**

FLORIDA DEPARTMENT OF TRANSPORTATION  
TRANSPORTATION STATISTICS OFFICE  
2023 HISTORICAL AADT REPORT

COUNTY: 94 - ST.LUCIE

SITE: 0742 - SR 70/OKEECHOBEE RD - SW OF SR 70/VIRGINIA AVE (COUNTY 742)

YEAR	AADT		DIRECTION 1	DIRECTION 2	*K FACTOR	D FACTOR	T FACTOR
2023	37000	C	E 19000	W 18000	9.00	51.60	11.40
2022	33500	C	E 17000	W 16500	9.00	51.40	11.40
2021	35500	C	E 18500	W 17000	9.00	50.90	11.40
2020	29500	F	E 14000	W 15500	9.00	51.30	4.60
2019	30500	C	E 14500	W 16000	9.00	51.00	4.60
2018	31500	C	E 16500	W 15000	9.00	51.30	4.60
2017	31500	C	E 15500	W 16000	9.00	50.90	12.00
2016	26000	C	E 15500	W 10500	9.00	50.90	12.00
2015	26500	C	E 11500	W 15000	9.00	51.00	12.00
2014	30000	C	E 15000	W 15000	9.00	50.80	6.10
2013	27000	C	E 12500	W 14500	9.00	50.80	3.80
2012	33000	C	E 16500	W 16500	9.00	56.80	3.80
2008	32500	C	E 16500	W 16000	10.45	58.06	6.70

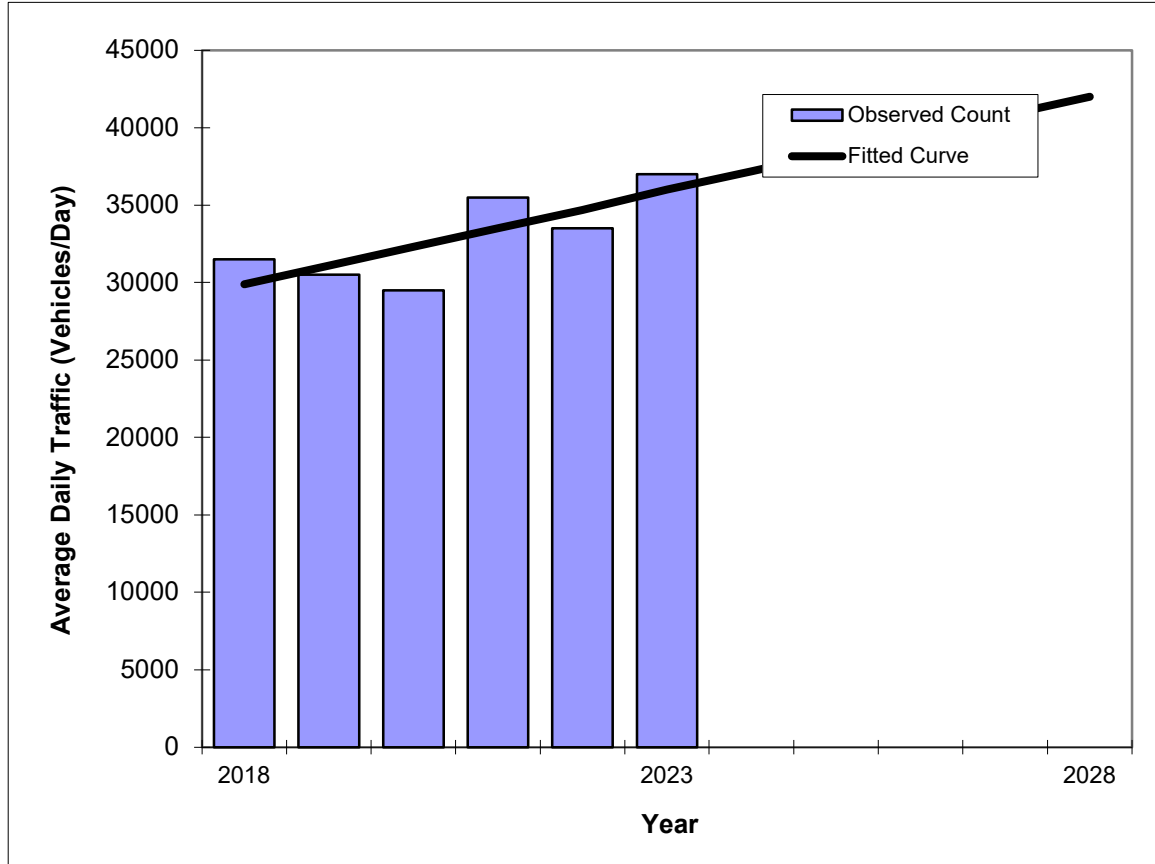
AADT FLAGS: C = COMPUTED; E = MANUAL ESTIMATE; F = FIRST YEAR ESTIMATE  
S = SECOND YEAR ESTIMATE; T = THIRD YEAR ESTIMATE; R = FOURTH YEAR ESTIMATE  
V = FIFTH YEAR ESTIMATE; 6 = SIXTH YEAR ESTIMATE; X = UNKNOWN

\*K FACTOR: STARTING WITH YEAR 2011 IS STANDARDK, PRIOR YEARS ARE K30 VALUES

## Traffic Trends - V2.0

PIN#	973215-1
Location	1

County:	St. Lucie (94)
Station #:	0
Highway:	0



Year	Traffic (ADT/AADT)	
	Count*	Trend**
2018	31500	29900
2019	30500	31100
2020	29500	32300
2021	35500	33500
2022	33500	34700
2023	37000	36000
<b>2025 Opening Year Trend</b>		
2025	N/A	38400
<b>2026 Mid-Year Trend</b>		
2026	N/A	39600
<b>2028 Design Year Trend</b>		
2028	N/A	42000
<b>TRANPLAN Forecasts/Trends</b>		

** Annual Trend Increase:	1,214
Trend R-squared:	59.72%
Trend Annual Historic Growth Rate:	4.08%
Trend Growth Rate (2023 to Design Year):	3.33%
Printed:	29-Jan-25
<b>Straight Line Growth Option</b>	

\*Axle-Adjusted

AM APPROVED PROJECTS			Ferrell Communities						Creekside						Whispering Oaks					
Road Name	From	To	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W
Okeechobee Rd	McNeil Rd	Virginia Ave	15%	398	27	OUT	21	6	30%	2,233	169	OUT	126	43	2%	56	4	OUT	3	1
				2,655	181		In	42		7,443	564		In	143		2,806	212		In	45
				Daily	Two-Way		Out	139		Daily	Two-Way		Out	421		Daily	Two-Way		Out	167

AM APPROVED PROJECTS			Viva at Treasure Coast West						Viva at Treasure Coast East						3000 Virginia					
Road Name	From	To	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W
Okeechobee Rd	McNeil Rd	Virginia Ave	40%	599	37	OUT	28	9	40%	558	35	OUT	26	8	45%	1,072	60	IN	14	46
				1,498	92		In	22		1,396	87		In	21		2,383	134		In	32
				Daily	Two-Way		Out	70		Daily	Two-Way		Out	66		Daily	Two-Way		Out	102

AM APPROVED PROJECTS			Project Hunt					Kings Highway Warehouse					Woodspring Suites Ft Pierce							
Road Name	From	To	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W
Okeechobee Rd	McNeil Rd	Virginia Ave	9%	86	9	OUT	2	8	3%	153	20	OUT	10	10	40%	360	22	OUT	10	12
				956	101		In	84		5,100	683		In	342		899	54		In	30
				Daily	Two-Way		Out	17		Daily	Two-Way		Out	341		Daily	Two-Way		Out	24

AM APPROVED PROJECTS			Jenkins Waypoint / Resurrection Life					Project Hurricane						
Road Name	From	To	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W
Okeechobee Rd	McNeil Rd	Virginia Ave	10%	332	21	OUT	16	5	40%	169	19	OUT	5	14
				3,318	209		In	53		422	48		In	36
				Daily	Two-Way		Out	156		Daily	Two-Way		Out	12

AM APPROVED PROJECTS			SUM Daily		SUM 2 Way		SUM Directional N/E		SUM Directional S/W		Two Way		Directional N/E		Directional S/W	
Road Name	From	To	Residential	Non-Residential	Residential	Non-Residential	Residential	Non-Residential	Residential	Non-Residential	Double Count	Net 2 Way	Double Count	Net	Double Count	Net
Okeechobee Rd	McNeil Rd	Virginia Ave	5,249	767	353	70	235	26	119	44	-14	410	-5	256	-9	154

PM APPROVED PROJECTS			Ferrell Communities						Creekside						Whispering Oaks					
Road Name	From	To	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W
Okeechobee Rd	McNeil Rd	Virginia Ave	15%	398	29	OUT	11	17	30%	2,233	205	OUT	77	128	2%	56	5	OUT	2	3
				2,655	190		In	116		7,443	682		In	426		2,806	266		In	172
				Daily	Two-Way		Out	74		Daily	Two-Way		Out	256		Daily	Two-Way		Out	94

PM APPROVED PROJECTS			Viva at Treasure Coast West						Viva at Treasure Coast East						3000 Virginia					
Road Name	From	To	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W
Okeechobee Rd	McNeil Rd	Virginia Ave	40%	599	46	OUT	17	29	40%	558	44	OUT	16	28	45%	1,072	79	IN	50	29
				1,498	116		In	73		1,396	109		In	69		2,383	175		In	110
				Daily	Two-Way		Out	43		Daily	Two-Way		Out	40		Daily	Two-Way		Out	65

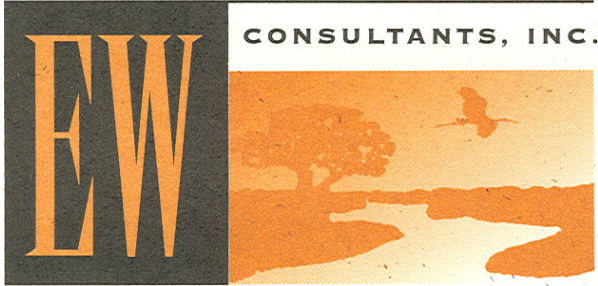
PM APPROVED PROJECTS			Project Hunt						Kings Highway Warehouse						Woodspring Suites Ft Pierce					
Road Name	From	To	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W
Okeechobee Rd	McNeil Rd	Virginia Ave	9%	86	10	OUT	8	3	3%	153	20	OUT	6	14	40%	360	25	OUT	12	13
				956	114		In	29		5,100	674		In	458		899	62		In	32
				Daily	Two-Way		Out	85		Daily	Two-Way		Out	216		Daily	Two-Way		Out	30

PM APPROVED PROJECTS			Jenkins Waypoint / Resurrection Life						Project Hurricane					
Road Name	From	To	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W	%	Daily	Two-Way Trips	Is N/E In or Out	Directional N/E	Directional S/W
Okeechobee Rd	McNeil Rd	Virginia Ave	10%	332	27	OUT	10	17	40%	169	24	OUT	15	9
				3,318	274		In	172		422	60		In	23
				Daily	Two-Way		Out	102		Daily	Two-Way		Out	37

PM APPROVED PROJECTS			SUM Daily		SUM 2 Way		SUM Directional N/E		SUM Directional S/W		Two Way		Directional N/E		Directional S/W	
Road Name	From	To	Residential	Non-Residential	Residential	Non-Residential	Residential	Non-Residential	Residential	Non-Residential	Double Count	Net 2 Way	Double Count	Net	Double Count	Net
Okeechobee Rd	McNeil Rd	Virginia Ave	5,249	767	435	79	183	41	252	38	-16	498	-8	215	-8	283

EW Consultants, Inc.

Natural Resource Management, Wetland, and Environmental Permitting Services



# **4646 OKEECHOBEE ROAD**

## **ENVIRONMENTAL ASSESSMENT**

Prepared For:

**LAND AMERICA**

Prepared By:

**EW CONSULTANTS, INC.**

December 2022

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## **I. INTRODUCTION –**

This Environmental Assessment Report details the land covers present on a piece of improved land located at 4646 Okeechobee Road in the City of Fort Pierce, Florida. In particular, this report focuses on the potential listed species which may be found within the open grassed areas of the subject site.

The 3.57-acre project site is located north of and adjacent to Okeechobee Road, just east of McNeill Road, and south of the Portofino Landings project (see Figure 1 in Appendix A, Location Map). It lies within Section 19, Township 35S, Range 40E, as shown on Figure 2 in Appendix A, USGS Quadrangle Map.

## **II. GENERAL PROPERTY DESCRIPTION –**

Based on a December 2022 site visit conducted by staff from EW Consultants, Inc., the majority of the property is improved (paved parking lot) with no vertical construction. There are open areas of mowed grass generally located along the eastern portions of the property, as well as within the parking lot islands. The northwestern portion of the site includes a small portion of the Portofino Landings project (parking spaces and a dumpster).

The project site is bounded by Okeechobee Road to the south, commercial development to the west (a Shell gas station and a Tractor Supply store), the Portofino Landings multi-family residential project to the north, and Fivemile Creek (a North St. Lucie River Water Control District canal) to the east. Figure 3 in Appendix A is a 2021 aerial photo of the subject property and immediate surroundings.

## **III. SOIL TYPES –**

A Soils Report produced by the United States Department of Agriculture/Natural Resources Conservation Service is provided in Appendix B of this report. Any natural soil types are likely heavily altered due to the improvement of the project site from past development activities.

## **IV. EXISTING LAND COVER TYPES –**

The land cover types on the subject property have been classified in accordance with the Florida Land Use & Cover Classifications System developed by the Florida Department of Transportation. The site has one land cover type: #192 - Inactive Lands with Street Patterns but without Structures. This land cover consists of the paved remnant parking lot on-site as well as the grassed areas to the east. Grasses consist mainly of ruderal species such as cogon grass, Bahia, Bermuda, smutgrass, guinea grass, limpo grass, Spanish needles, ragweed, rattlebox, bushy broomsedge, among others. Along the north property line is a black chain-link fence with Brazilian pepper and green buttonwood bushes at its base. There are no intact native wetland or upland habitat on-site.

Figure 4 in Appendix A provides an aerial view and nomenclature for the land cover type described.

## **V. SPECIMEN NATIVE TREES**

There are no mature native tree species on the subject site; therefore there are no native trees which meet the City's protection standards. Planted laurel oaks exists adjacent to the project site in the southwest portion of the property. These trees are part of the landscaping for the adjacent Shell gas station.

## **VI. LISTED SPECIES DISCUSSION**

During the field assessment of the property in December of 2022, observations were made for the presence or potential presence of listed fauna. Although the site is largely developed/paved, the open grassed areas with sandy soils provide potential foraging and burrowing habitat for state threatened gopher tortoise.

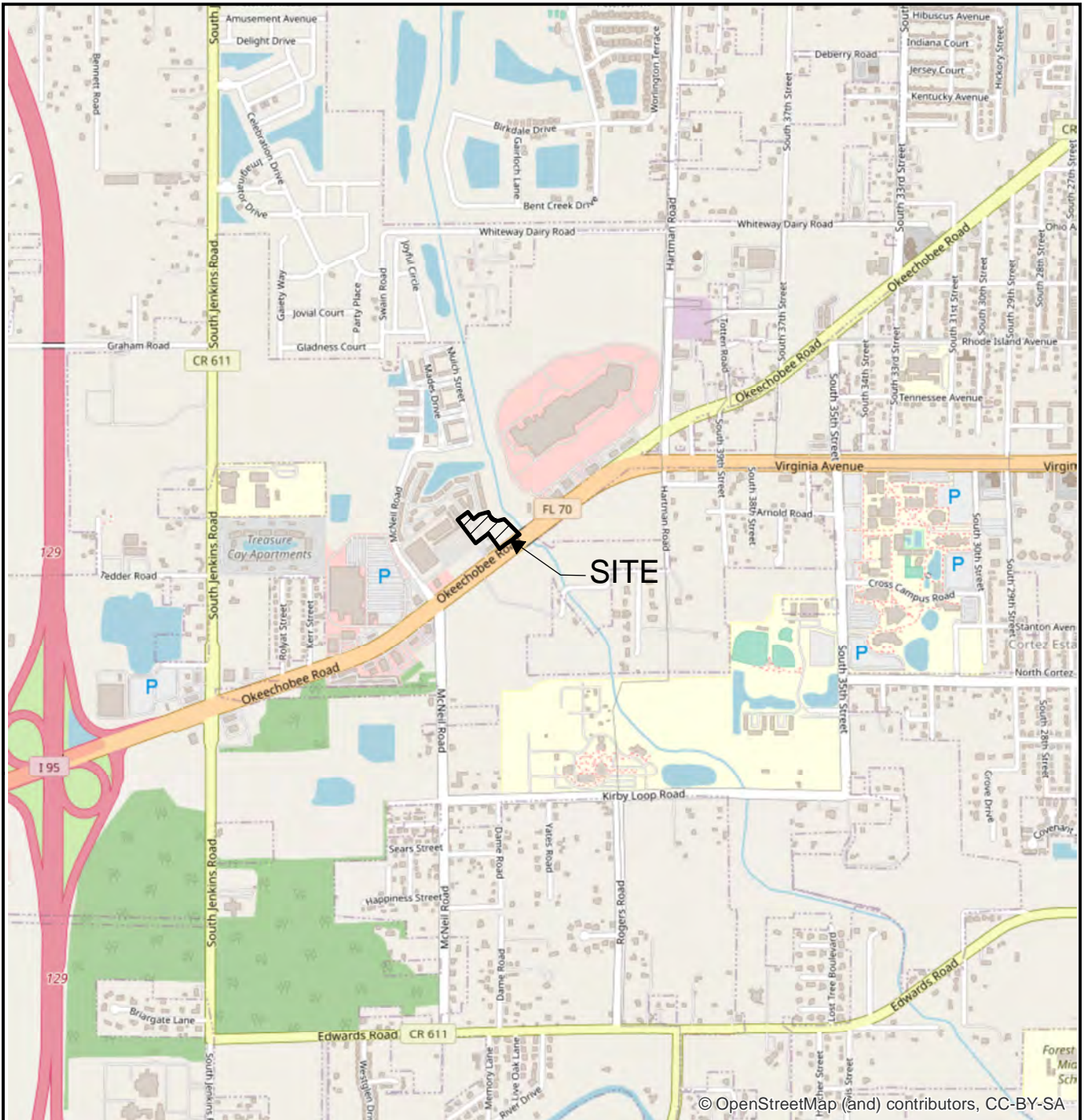
No potentially occupied burrows of this species were observed during the recent site visit. This survey is valid for 90 days and must be updated prior to land alteration activities.

Non-listed species observed on and near the site included a snipe flushed from the high grass, black vultures in-flight, and an osprey observed perched on top of a powerline pole on the east side of Fivemile Creek northeast of the project site. No other wildlife species were observed on-site at the time of the field reconnaissance in December 2022.


## **APPENDIX A**

### Maps and Figures:

- Figure 1: Location Map
- Figure 2: USGS Quadrangle Map
- Figure 3: 2021 Aerial Photograph
- Figure 4: Land Cover/FLUCCS Map



**LEGEND**

 - SITE (3.6+/- AC)

0 2,000 Feet



**4646 OKEECHOBEE ROAD  
LOCATION**



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**DEC 2022**

FIGURE

**1**



USGS QUAD MAP "FORT PIERCE", SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, CITY OF FORT PIERCE, ST LUCIE COUNTY, FLORIDA LATITUDE 27°25'24.50" LONGITUDE -80d22'22.78"

**LEGEND**

 - SITE (3.6± AC)



**4646 OKEECHOBEE ROAD**

**QUAD MAP**

4646 Okeechobee Rd.dwg QUAD



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**DEC 2022**

FIGURE

**2**



FDOT AERIALS DATED 2021

0 200  
SCALE IN FEET



# 4646 OKEECHOBEE ROAD

## AERIAL

4646 Okeechobee Rd.dwg AERIAL



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**DEC 2022**

FIGURE

**3**



FDOT AERIALS DATED 2021

LEGEND  
192 - INACTIVE LAND WITH STREET PATTERNS BUT  
WITHOUT STRUCTURES (3.6± AC)

0 100  
SCALE IN FEET



## 4646 OKEECHOBEE ROAD FLUCCS



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DEC 2022  
**FIGURE**  
**4**

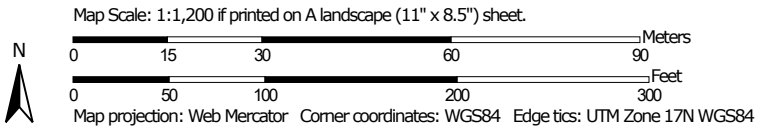
## **APPENDIX B**

### NRCS Custom Soils Report

Soil Map—St. Lucie County, Florida  
(4646 OKEECHOBEE ROAD)




Soil Map may not be valid at this scale.




## MAP LEGEND

### Area of Interest (AOI)

 Area of Interest (AOI)

### Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

### Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

### Transportation



Rails



Interstate Highways



US Routes



Major Roads

### Background



Aerial Photography

## MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: St. Lucie County, Florida

Survey Area Data: Version 16, Sep 2, 2022

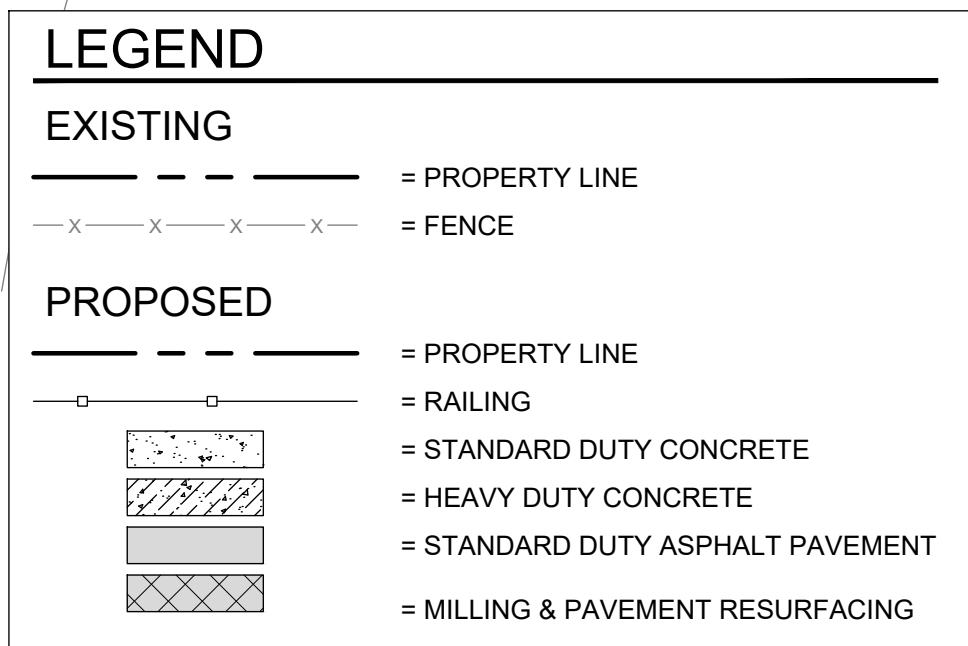
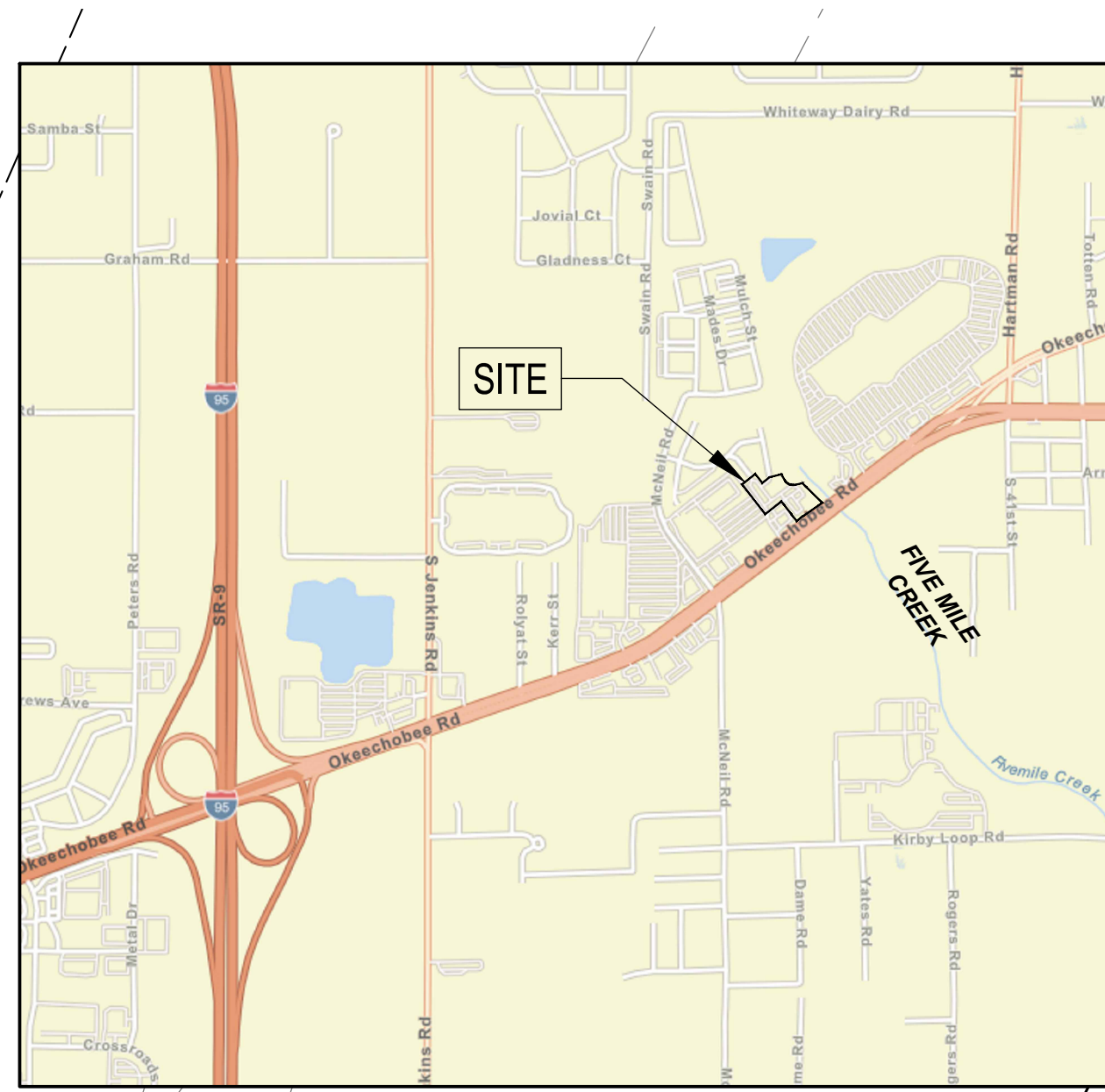
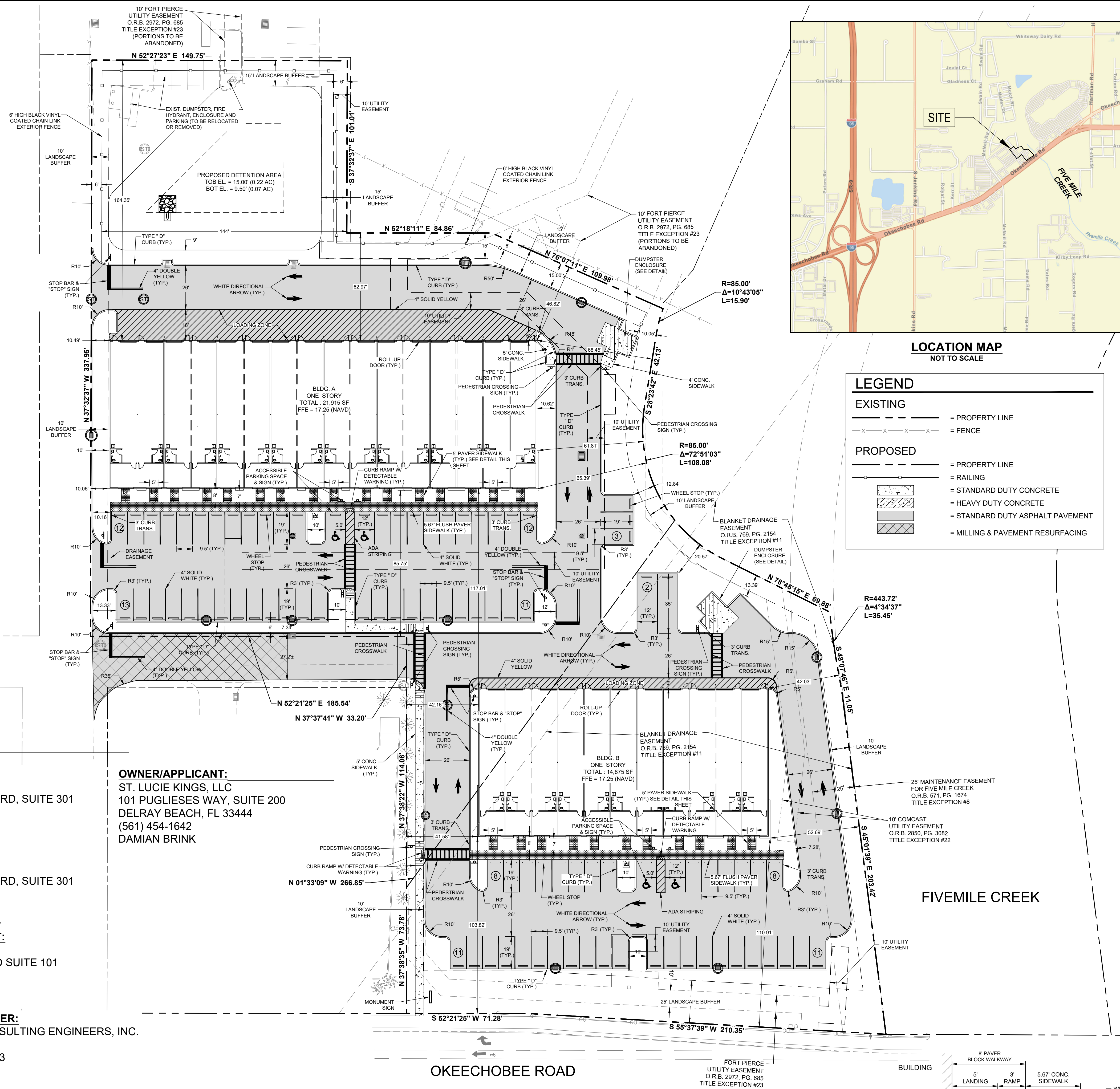
Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jan 18, 2022—Jan 30, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
38	Riviera fine sand, 0 to 2 percent slopes	3.5	98.8%
55	Winder loamy sand	0.0	1.2%
<b>Totals for Area of Interest</b>		<b>3.6</b>	<b>100.0%</b>



**SITE DATA**

TOTAL SITE AREA	155,352 SF / 3.57 AC
GENERAL LAND USE	GENERAL COMMERCIAL (GC)
EXISTING ZONING	COMMERCIAL GENERAL (C-3)
EXISTING USE	VACANT COMMERCIAL
PROPOSED USE	FLEX SPACE (WHOLE SALE TRADE / WAREHOUSE & FREIGHT)
BUILDING COVERAGE	36,790 SF
MAXIMUM BUILDING HEIGHT	30'
PROPOSED BUILDING HEIGHT	30'
PARCEL CONTROL NUMBER	2419-122-0001-050-9
	2419-122-0001-040-6

**OPEN SPACE**

REQUIRED	31,070 SF	0.71 AC	20%
PROVIDED	47,933 SF	1.10 AC	31%
TOTAL LANDSCAPE AREA	47,933 SF	1.10 AC	31%

**SET BACKS**

	REQUIRED (MIN.)	PROVIDED
FRONT	25'	103.82'
SIDE	10'	42.03'
REAR	15'	46.82'

**LANDSCAPE AREA**

TOTAL LANDSCAPE AREA	47,933 SF	1.10 AC	31%
----------------------	-----------	---------	-----

**IMPERVIOUS AREA**

BUILDING COVERAGE	36,790 SF	0.85 AC	24%
VEHICULAR USE AREA	61,960 SF	1.42 AC	40%
PAVERS/WALKS/DUMPSTER	8,669 SF	0.19 AC	5%
TOTAL	107,419 SF	2.46 AC	69%

**BUILDING DATA**

	OFFICE	WAREHOUSE	TOTAL
BUILDING A	3,357 SF / 15%	18,558 SF	21,915 SF
BUILDING B	2,306 SF / 15%	12,569 SF	14,875 SF
TOTAL	5,663 SF / 15%	31,127 SF	36,790 SF

**PARKING REQUIREMENTS (9.5' X 19')**

	REQUIRED	PROVIDED
WAREHOUSE	52 SPACES	55 SPACES
OFFICE	28 SPACES	30 SPACES
ACCESSIBLE SPACES	4 SPACES	4 SPACES
LOADING SPACES	2 SPACES	2 SPACES
TOTAL PARKING SPACES	85 SPACES	91 SPACES

TOTAL INCLUDES ACCESSIBLE SPACES & 2 LOADING SPACES

**LEGAL DESCRIPTION**

PARCEL 1:

A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE NORTH 01°20'45" EAST, ALONG THE EAST LINE OF SECTION 18, TOWNSHIP 35 SOUTH, RANGE 40 EAST, A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA S.R. 70); THENCE SOUTH 52°29'55" WEST, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 210.34 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 55°45'47" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 210.34 FEET; THENCE SOUTH 52°29'33" WEST ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 71.28 FEET; THENCE NORTH 37°30'27" WEST, A DISTANCE OF 73.78 FEET; THENCE NORTH 37°30'14" WEST, A DISTANCE OF 114.06 FEET; THENCE NORTH 37°29'33" WEST, A DISTANCE OF 33.20 FEET; THENCE SOUTH 52°29'33" WEST, A DISTANCE OF 185.54 FEET; THENCE NORTH 37°24'29" EAST, A DISTANCE OF 537.95 FEET; THENCE NORTH 52°35'31" EAST, A DISTANCE OF 149.75 FEET; THENCE SOUTH 37°24'29" EAST, A DISTANCE OF 101.01 FEET; THENCE NORTH 52°28'19" EAST, A DISTANCE OF 84.86 FEET; THENCE NORTH 76°15'19" EAST, A DISTANCE OF 109.98 FEET TO A POINT ON THE ARC OF A CIRCULAR CURVE TO THE LEFT AT WHICH A RADIAL LINE BEARS NORTH 72°27'31" EAST; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 85.00 FEET AND A CENTRAL ANGLE OF 10°43'05", A DISTANCE OF 15.90 FEET TO A POINT OF TANGENCY; THENCE SOUTH 28°15'34" EAST, A DISTANCE OF 42.13 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE TO THE LEFT; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 85.00 FEET AND A CENTRAL ANGLE OF 72°51'03", A DISTANCE OF 108.98 FEET TO A POINT OF TANGENCY; THENCE NORTH 78°53'23" EAST, A DISTANCE OF 69.88 FEET TO A POINT ON THE ARC OF A CIRCULAR CURVE TO THE LEFT AT WHICH A RADIAL LINE BEARS NORTH 46°34'59" EAST; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 443.72 FEET AND A CENTRAL ANGLE OF 04°34'37", A DISTANCE OF 35.44 FEET TO A POINT OF TANGENCY; THENCE SOUTH 47°59'38" EAST, A DISTANCE OF 11.05 FEET; THENCE SOUTH 44°53'31" EAST, A DISTANCE OF 203.42 FEET TO THE POINT OF BEGINNING.

LESS A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE NORTH 01°20'45" EAST ALONG THE EAST LINE OF SECTION 18, TOWNSHIP 35 SOUTH, RANGE 40 EAST, FOR A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA S.R. 70); THENCE SOUTH 52°29'55" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 210.04 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND; THENCE SOUTH 55°45'47" WEST FOR A DISTANCE OF 210.34 FEET; THENCE SOUTH 52°29'33" WEST FOR A DISTANCE OF 71.28 FEET; THENCE NORTH 37°30'27" WEST FOR A DISTANCE OF 73.78 FEET; THENCE NORTH 01°22'19" WEST FOR A DISTANCE OF 267.30 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 14°31'16" WEST, HAVING A RADIUS OF 85.00 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 38.54 FEET THROUGH A CENTRAL ANGLE OF 24°37'53" TO A POINT OF TANGENCY; THENCE NORTH 78°53'23" EAST FOR A DISTANCE OF 69.88 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 46°34'59" WEST, HAVING A RADIUS OF 443.72 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 35.19 FEET THROUGH A CENTRAL ANGLE OF 04°32'39"; THENCE SOUTH 47°59'38" EAST FOR A DISTANCE OF 11.05 FEET; THENCE SOUTH 44°53'31" EAST FOR A DISTANCE OF 203.42 FEET TO THE POINT OF BEGINNING.

PARCEL 2:

A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE NORTH 01°20'45" EAST ALONG THE EAST LINE OF SECTION 18, TOWNSHIP 35 SOUTH, RANGE 40 EAST, FOR A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA S.R. 70); THENCE SOUTH 52°29'55" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 210.04 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND; THENCE SOUTH 55°45'47" WEST FOR A DISTANCE OF 210.34 FEET; THENCE SOUTH 52°29'33" WEST FOR A DISTANCE OF 71.28 FEET; THENCE NORTH 37°30'27" WEST FOR A DISTANCE OF 73.78 FEET; THENCE NORTH 01°22'19" WEST FOR A DISTANCE OF 267.30 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 14°31'16" WEST, HAVING A RADIUS OF 85.00 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 38.54 FEET THROUGH A CENTRAL ANGLE OF 24°37'53" TO A POINT OF TANGENCY; THENCE NORTH 78°53'23" EAST FOR A DISTANCE OF 69.88 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 46°34'59" WEST, HAVING A RADIUS OF 443.72 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 35.19 FEET THROUGH A CENTRAL ANGLE OF 04°32'39"; THENCE SOUTH 47°59'38" EAST FOR A DISTANCE OF 11.05 FEET; THENCE SOUTH 44°53'31" EAST FOR A DISTANCE OF 203.42 FEET TO THE POINT OF BEGINNING.

**GENERAL NOTES**

- PROPOSED DEVELOPMENT SHALL ADHERE TO THE STANDARDS SPECIFIED IN THE CITY OF FORT PIERCE CODE OF ORDINANCES SECTIONS 119 AND 125.
- THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL, AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA IN COORDINATION AND COMPLIANCE WITH EXISTING INGRESS/EGRESS EASEMENTS WITH ADJACENT PROPERTY OWNERS.
- AIR CONDITIONING AND OTHER EQUIPMENT LOCATED ON THE ROOF SHALL BE SCREENED AND CANNOT BE VISIBLE FROM AN ELEVATION THAT IS HORIZONTAL TO THE LOCATION OF THE ROOF EQUIPMENT.

**CONSULTANTS**

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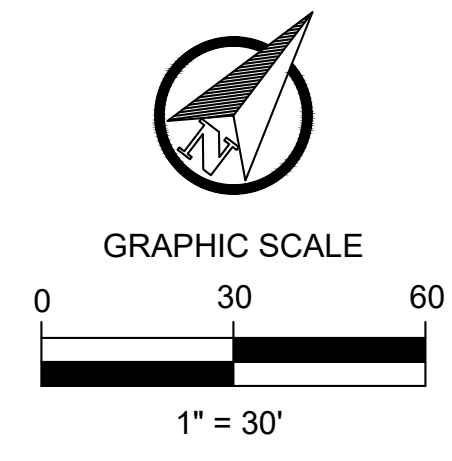
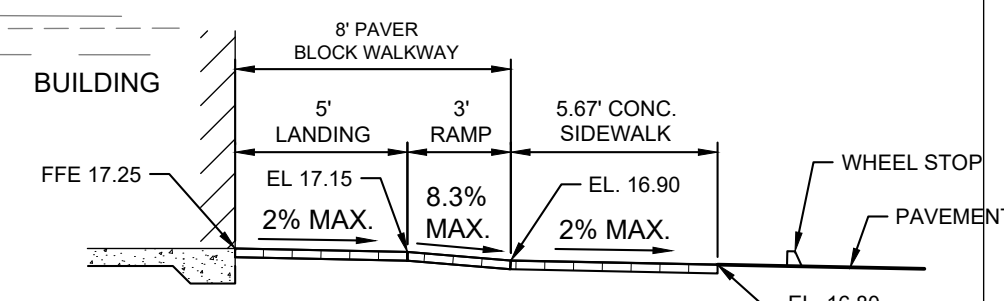
**OWNER/APPLICANT:**  
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 101 PUGLIESES WAY, SUITE 200  
 DELRAY BEACH, FL 33444  
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**NOTE:**  
 ALL ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD).



THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY BOWMAN CONSULTING GROUP, LTD. SHALL BE WITHOUT LIABILITY TO BOWMAN CONSULTING GROUP, LTD.

**FINAL DESIGN (FOR REVIEW) TYPICAL PAVER BLOCK ENTRANCE DETAIL**



**Bowman**  
 PROFESSIONAL SURVEYORS AND MAPPERS, CERTIFICATE NO. LB. 8030  
 BOARD OF PROFESSIONAL ENGINEERS, CERTIFICATE OF AUTHORIZATION NO. 39492

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FLORIDA  
 SITE PLAN  
 FORT PIERCE

**4600 FLEX SPACE**

PROJECT NO  
 010894-01-001

OCTAVIO "OATS" REIS  
 LICENSE NO. 42503

PLAN STATUS

DATE	DESCRIPTION
BK DESIGN	RO DRAWN
GMB	CHKD

SCALE: 1" = 30'

JOB No. 010894  
 DATE March 2025  
 FILE No. 010894-HCP

**SP1**  
 SHEET



# Landscape Data

## Landscape Strip Adjacent to Public R.O.W

Ten (10) feet wide minimum landscape Strip.  
One (1) tree for each three hundred (300) square feet of required landscaped area.

Portofino Landings (West) : 315 LF x 10 = 3,150 sf

Trees Required: ( 3,150 sf / 300 ) = 11 Trees  
Trees Provided: = 11 Trees  
(9 Trees + 6 Palms (3:1))

Okeechobee Road (South) : 282 LF x 10 = 2,820 sf

Trees Required: ( 2,820 sf / 300 ) = 9 Trees  
Trees Provided: = 15 Trees

## Landscape Strip Adjacent to Other Property

Vehicular use, building, retention/detention areas adjacent to other property

Ten (10) feet wide minimum landscape Strip.  
One (1) tree for each three hundred (200) square feet of required landscaped area.  
Fence/Vegetated screening required where VUA abuts residentially zoned property.

Portofino Landings (North) : 678 LF x 10 = 6,780 sf

Trees Required: ( 6,780 sf / 300 ) = 23 Trees  
Trees Provided: = 29 Trees  
(23 Trees + 18 Palms (3:1))

Five Mile Creek (East) : 250 LF x 10 = 2,500 sf

Trees Required: ( 2,500 sf / 300 ) = 8 Trees  
Trees Provided: = 8 Trees

Sea Lion Real Estate (West) : 221 LF x 10 = 2,210 sf

Trees Required: ( 2,210 sf / 300 ) = 7 Trees  
Trees Provided: = 9 Trees (Existing)

## Interior Vehicular Use Areas

Vehicular use areas that are four thousand (4,000) or more square feet in size shall have at least one square foot of interior landscaping for each fifteen (15) square feet of vehicular use area. One tree for each one hundred (100) square feet of required landscaped area. Each separate landscaped area shall be curbed and contain a minimum of one hundred (100) square feet of area and shall be at least ten (10) feet wide and ten (10) feet deep exclusive of curbing in all locations.

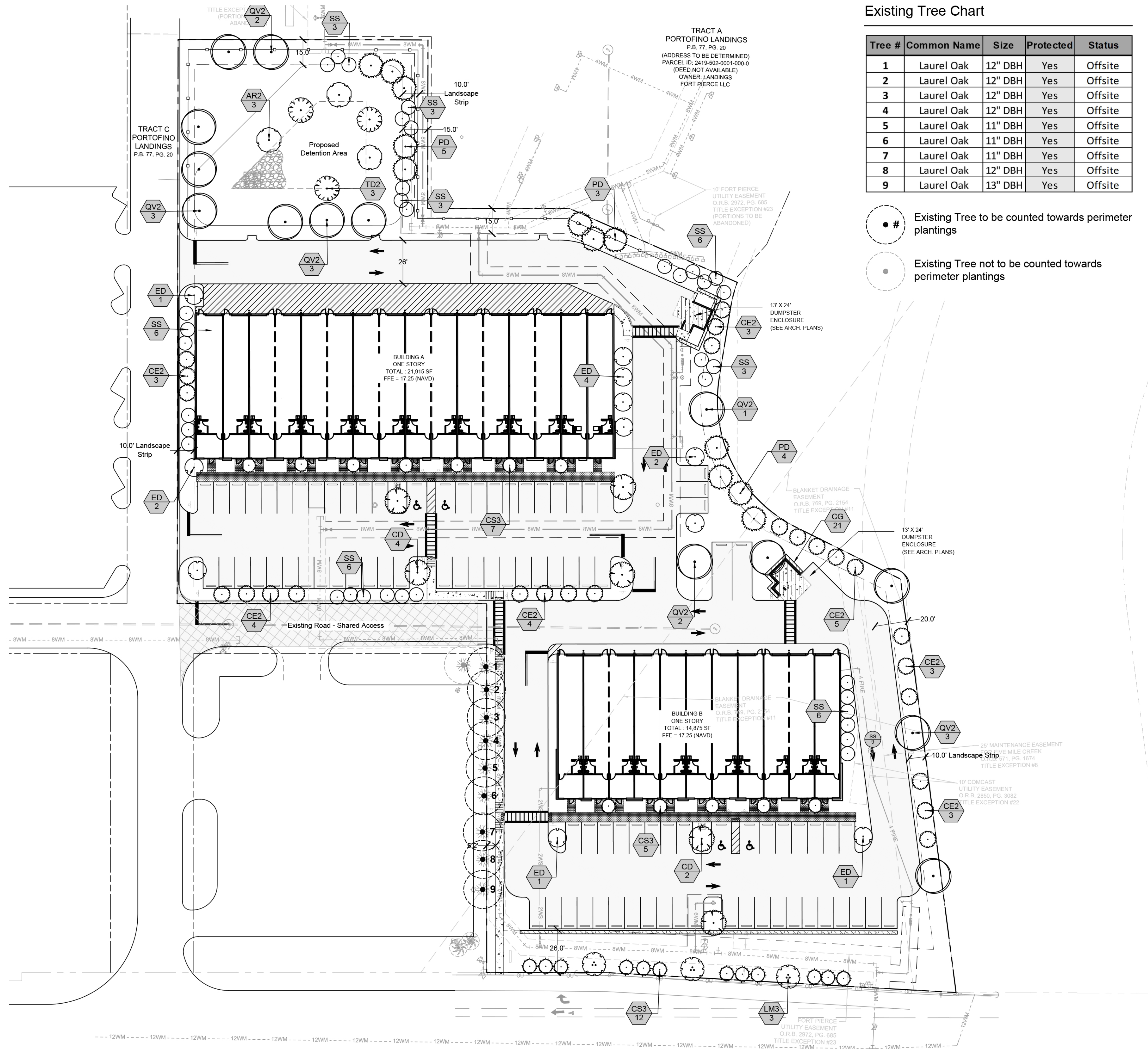
Vehicular Use Area: 64,852 sf

Landscape Area Required: ( 64,852 sf / 15 sf ) = 4,323 sf  
Landscape Area Provided: = 16,890 sf

Trees Required: ( 4,323 SF / 100 ) = 43 Trees  
Trees Provided: = 45 Trees  
(41 Trees + 12 Palms (3:1))

## Fort Pierce Landscape Notes

- Plant materials shall meet or exceed the standards for Florida No. 1 as set out in the most current edition of "Grades and Standards for Nursery Plants Part 1 and Part 2," State of Florida, Department of Agriculture, Tallahassee.
- All trees required by this article (excluding palms that are exempt from the grades and standards) shall have a Florida No. 1 or better "Grades and Standards" certification tag attached at time of delivery through final inspection.
- Grass sod shall be clean and free of weeds, pests and diseases.
- Planting soil for all landscaped areas shall consist of existing soil mixed with fifty (50) per cent recycled top soil. Such planting soil shall be generally indigenous to the locale, free of debris, roots, clay, stones, plants or other foreign materials. The planting soil shall extend to an appropriate depth so as to eliminate any hindrance to planting operations or detriment to good plant growth. Compliance with these soil requirements shall be verified as part of the final inspection.
- Landscaped areas shall be covered in their entirety with shrubs, ground cover, turf, or three (3) inches of bulk organic mulch or other suitable material which permits percolation and is approved by the department.
- Do not place any soil or mulch over the root ball. If stakes or guide wires are used to support a tree, the wire must be covered with protective material where it is in contact with the tree and the stakes or guide wires must be removed after one year.
- All landscaping must be protected from vehicular and pedestrian traffic by the installation of curbing, wheel stops or other protective devices along the perimeter of any landscaping which adjoins vehicular use areas or sidewalks. These protected devices shall have a minimum height of six (6) inches above grade.
- No parking, display of vehicles or outside storage or display of merchandise is permitted in or over any required landscape area, nor are vehicles permitted to overhang any required landscaped area.
- To minimize traffic hazards at street or driveway intersections, all landscaping installations must provide unobstructed views.
- Any irrigation system placed on city right-of-way will be the responsibility of the property owner who shall relocate, replace or repair the system as appropriate in the event it is damaged due to permitted construction in the right-of-way.
- Prior to issuance of certificate of occupancy, final landscape installation shall be certified as complete and in conformance to the approved landscape plan by submission of a certification letter by a landscape architect.
- Property owners shall maintain all required landscaping so that it continues to present a healthy, neat and orderly appearance free of refuse and debris.
- Vegetation required shall be replaced with equivalent vegetation if it is not living. All trees for which credit is awarded and which subsequently die shall be replaced by the same number of living trees.
- Maintenance shall include sufficient weeding, watering, fertilizing, pruning, mowing, edging, mulching and other horticultural practices so as to assure that the landscaping continues to maintain a healthy, neat and orderly appearance.
- No person shall, directly or indirectly, cut down, substantially alter, destroy, remove, relocate, damage or authorize any such act involving a protected tree situated on land within the city, without first obtaining a tree removal permit.
- Removal, trimming, pruning or alteration of any tree or vegetation in an existing utility easement or public right-of-way, provided such work is done by or under the control of the operating utility company and said company has received all necessary licenses or permits to provide utility service within the easement.
- This plan has been designed to meet the tree planting requirements contained within the FPL document entitled "Plant the Right Tree in the Right Place". For existing or proposed utilities, no tree shall be planted where it could, at a mature height conflict with overhead power lines.
  - Large trees (height at maturity of more than 30') shall be planted no closer than a horizontal distance of 30' from the nearest overhead power line.
  - Medium height trees (height at maturity between 20' and 30') shall be offset at least 20' and small trees (height at maturity of less than 20') require no offset.
  - No tree shrubs, hedges or vines shall be planted within 5' of an existing or proposed utility pole, guy wire or pad-mounted transformer.
  - Palms should be planted at a distance equal to or greater than the average frond length plus two (2) feet from power lines.



## Existing Tree Chart

Tree #	Common Name	Size	Protected	Status
1	Laurel Oak	12" DBH	Yes	Offsite
2	Laurel Oak	12" DBH	Yes	Offsite
3	Laurel Oak	12" DBH	Yes	Offsite
4	Laurel Oak	12" DBH	Yes	Offsite
5	Laurel Oak	11" DBH	Yes	Offsite
6	Laurel Oak	11" DBH	Yes	Offsite
7	Laurel Oak	11" DBH	Yes	Offsite
8	Laurel Oak	12" DBH	Yes	Offsite
9	Laurel Oak	13" DBH	Yes	Offsite

- # Existing Tree to be counted towards perimeter plantings
- Existing Tree not to be counted towards perimeter plantings



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City of Fort Pierce  
Landscape Plan

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Job No. 2022-07  
Drawn By EB  
Checked By MH  
Approved By MH  
Submission Dates 02-01-23

Revision Dates 10-30-24  
02-20-25

Scale: 1" = 30'



LP-1

# Landscape Notes / Specifications

**1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO ALL THE REQUIREMENTS STATED UNDER DIVISION 1 - GENERAL REQUIREMENTS AND CONDITIONS AS WELL AS THE SPECIFIC CRITERIA OUTLINED HEREIN AND ON THE LANDSCAPE DRAWINGS INCLUDING ADDENDA AS MAY BE ISSUED BY THE OWNER.**

**2. THE SCOPE OF WORK FOR THE LANDSCAPE CONTRACTOR FOR THIS PROJECT SHALL INCLUDE THE PROVISION OF ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO COMPLETE ALL TASKS ASSOCIATED WITH THE LANDSCAPE AND IRRIGATION INSTALLATION AS SHOWN ON THE DRAWINGS OR NOTED HEREIN. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE GENERAL CONTRACTOR REASONABLE ACCESS TO POWER AND POTABLE WATER SOURCES AS REQUIRED.**

**3. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING ALL WORK (INCLUDING DELIVERY, STORAGE AND DISPOSAL OF THEIR MATERIALS) IS PERFORMED IN COMPLIANCE WITH APPLICABLE JURISDICTIONAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS ASSOCIATED WITH THE WORK.**

**4. THE LANDSCAPE CONTRACTOR SHALL ASSIGN A QUALIFIED PROJECT MANAGER AND FIELD SUPERVISOR TO WORK DIRECTLY WITH THE LANDSCAPE ARCHITECT AND SUPERVISE THE WORK AT ALL TIMES THROUGH FINAL OWNER ACCEPTANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT PROJECT MANAGER HAS A COMPLETE, CURRENT SET OF DOCUMENTS ON-SITE AT ALL TIMES.**

**5. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH EXISTING SITE CONDITIONS AND NOTIFYING THE OWNER IN WRITING OF ANY CONCERNS PRIOR TO COMMENCEMENT OF WORK. THIS EVALUATION SHOULD INCLUDE, BUT IS NOT LIMITED TO, VERIFICATION OF SURFACE AND SUBSURFACE UTILITIES, GRADES, DIMENSIONS AND SOIL CONDITIONS.**

**6. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH PROJECT PLANS AND SCOPES OF WORK RELATED TO ASSOCIATED TRADES TO BE PERFORMED BY OTHERS IN ORDER TO IDENTIFY KEY COORDINATION ITEMS INCLUDING, BUT NOT LIMITED TO, SITE ACCESS, MATERIAL STORAGE, SCHEDULING AND SEQUENCING OF WORK. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL SITE ISSUES WITH THE GENERAL CONTRACTOR.**

**7. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT WORK, MATERIALS AND EQUIPMENT FROM DAMAGE DUE TO THEIR ACTIVITIES. THE LANDSCAPE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSON OR PROPERTY THAT MAY OCCUR AS A RESULT OF THE EXECUTION OF THEIR WORK.**

**8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE AREA, MATERIALS AND EQUIPMENT WITHIN THE LIMITS OF WORK IN A SAFE, NEAT AND ORDERLY MANNER. EXCESSIVE MATERIALS AND DEBRIS ARE TO BE REMOVED FROM THE WORK AREA NO LESS THAN WEEKLY OR AS DIRECTED BY THE GENERAL CONTRACTOR.**

**9. THE LANDSCAPE CONTRACTOR MUST TAKE PRECAUTIONS TO PROTECT ALL EXISTING SITE ROADS, PARKING LOTS, CURBS AND UTILITIES FROM DAMAGE. THIS APPLIES NOT ONLY TO THE AREA WITHIN THE LIMITS OF WORK BUT ALSO ALONG ANY LOCAL ACCESS ROADS.**

**10. THE LANDSCAPE CONTRACTOR SHALL PROVIDE ALL NECESSARY SAFETY MEASURES DURING CONSTRUCTION OPERATIONS TO PROTECT THE PUBLIC ACCORDING TO ALL APPLICABLE CODES AND RECOGNIZE LOCAL PRACTICES.**

**11. THE LANDSCAPE CONTRACTOR SHALL COORDINATE WITH GENERAL CONTRACTOR TO ENSURE THAT TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES (SILT FENCE, ORANGE GEO FENCE AND/OR OTHER MEASURES) ARE INSTALLED PRIOR TO BEGINNING EXCAVATION.**

**12. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL PLANT MATERIALS AND THE PLANTING AREAS UNTIL FINAL ACCEPTANCE BY THE OWNER.**

**13. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE AGRONOMIC EVALUATION OF SOIL CHARACTERISTICS. EVALUATION MUST INCLUDE CHEMICAL ANALYSIS BY A QUALIFIED AGRICULTURAL SOILS TESTING LABORATORY (CERTIFIED IN THE STATE OF FLORIDA). SOILS SAMPLE SHOULD BE TAKEN IMMEDIATELY FOLLOWING COMPLETION OF FINISH GRADING ACTIVITIES AND SHOULD BE COLLECTED AT A RATE ON ONE SAMPLE FOR EACH 5,000 SQUARE FEET OF IMPACTED AREA, OR A TOTAL OF SIX, WHICHEVER IS GREATER. AT A MINIMUM THE CHEMICAL ANALYSIS OF THE SOIL SHOULD CONSIDER THE FOLLOWING:**

A. PERCENTAGE OF ORGANIC MATTER  
 B. SALINITY  
 C. PH  
 D. LIME CONTENT  
 E. MINERAL NUTRIENTS INCLUDING CONCENTRATIONS OF NITROGEN, PHOSPHOROUS, POTASSIUM, CALCIUM, MAGNESIUM, IRON, ZINC, MANGANESE, COPPER, SULFUR, AND MOLYBDENUM.  
 F. POTENTIAL HAZARDS OR IMPEDIMENTS FOR PLANT GROWTH INCLUDING SALINITY, SODIUM CHLORIDE, BORON, IMPAIRED SOIL STRUCTURE OR DRAINAGE.  
 G. SAND FRACTION ANALYSIS AS A PERCENTAGE PASSING THROUGH 1', and NO. 200 SIEVES  
 H. PERCOLATION RATE IN INCHES PER HOUR.

THE ANALYSIS SHOULD ALSO INCLUDE SPECIFIC RECOMMENDATIONS TO THE OWNER FOR ANY AMENDMENTS AND BACKFILL MIXES FOR OPTIMAL PLANT GROWTH TO BE MADE TO THE SOILS PRIOR TO PLANTING. THE CONTRACTOR SHOULD INCLUDE THE COST FOR SOIL AMENDMENTS. THE CONTRACTOR IS TO PROVIDE THE OWNER WITH COPIES OF ALL SOIL TESTING RESULTS. SUBMITTAL DOCUMENTATION MUST ALSO CONTAIN A GRAPHIC SITE PLAN DEPICTING LOCATIONS FROM WHICH EACH SAMPLE WAS DRAWN.

**14. THE LANDSCAPE CONTRACTORS BASE BID FOR SOIL PREPARATION IS TO INCLUDE THE FOLLOWING WITH THE UNDERSTANDING THAT MIX DESIGN MAY NEED TO BE ADJUSTED BASED ON OUTCOME OF AGRONOMIC TESTING:**

A. TREES: 100% SITE SOIL WITH 5LB. TRIPLE SUPER PHOSPHATE PER CU. YD.  
 B. SHRUBS: 100% SITE SOIL WITH OSMOCOTE CONTROLLER RELEASE FERTILIZER (14-14-14) PER MANUFACTURER'S RECOMMENDATION.  
 C. THE SOILS TEST RESULTS TAKE PRECEDENCE OVER THE ITEMS NOTED IN A AND B ABOVE.

**15. SHOULD OWNER AND LANDSCAPE CONTRACTOR AGREE WITH THE RECOMMENDATION OF THE TESTING AGENCY TO FURTHER AMEND THE SOILS THE CONTRACTOR'S CONTRACT WILL BE ADJUSTED ACCORDINGLY. THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT SAMPLES OF AMENDED SOILS TO BE RE-TESTED TO COMPLY WITH COMPLIANCE WITH RECOMMENDATIONS FOLLOWING THE SAME PROCEDURES AS THE ORIGINAL TESTS.**

**16. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE QUANTITIES OF EACH PLANT MATERIAL REQUIRED TO ADEQUATELY COVER THE AREA SHOWN ON THE LANDSCAPE PLANS AT THE PRESCRIBED SPACING AND NOTIFYING THE OWNER IMMEDIATELY OF ANY PERCEIVED DISCREPANCIES FOR RESOLUTION. THE PLANT SPACING CONTROLS BED LAYOUT, NOT THE PLAN QUANTITY FOR THAT PARTICULAR BED.**

## FINE GRADING NOTES

**1. FINISHED GRADE IN PLANTING AREAS SHALL BE HELD 3" BELOW THE FINISHED ELEVATIONS SHOWN FOR ALL ADJACENT HARDCAPE SURFACES.**

**2. ALL FILL REQUIRED SHALL BE CLEAN, WELL DRAINING SOIL. FILL SHALL BE CLEAN AND FREE OF ALL MATERIAL HARMFUL TO PLANT GROWTH AND DELETERIOUS MATERIAL. SUCH AS ROCKS (LARGER THAN 2" DIA.), COMPACTED CLAY, ROADBED OR SURFACING MATERIAL, MUCK, ROOTS AND BRANCHES, ETC.**

**3. THE LANDSCAPE CONTRACTOR IS TO ENSURE THAT THEIR WORK DOES NOT ADVERSELY IMPACT ESTABLISHED OR PROJECTED DRAINAGE PATTERNS.**

## INSTALLATION NOTES

**1. PLANT AND LANDSCAPE MATERIALS SHALL CONFORM TO THE STANDARDS FOR FLORIDA NO. 1, AS GIVEN IN THE GRADES AND STANDARDS FOR NURSERY PLANTS, PARTS I & II, AS PREPARED BY THE FLORIDA DEPT. OF AGRICULTURE AND CONSUMER SERVICES.**

**2. A 3" THICK LAYER OF ORGANIC NON-CYPRUSS MULCH SHALL BE APPLIED TO ALL LANDSCAPE AND PLANTING AREAS.**

**3. ALL EXOTIC VEGETATION TO BE REMOVED FROM THE SITE PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.**

**4. THIS PLAN HAS BEEN DESIGNED TO MEET WITH THE TREE PLANTING REQUIREMENTS CONTAINED WITHIN THE FPL DOCUMENT ENTITLED "PLANT THE RIGHT TREE IN THE RIGHT PLACE."**

**5. FOR EXISTING OR PROPOSED UTILITIES, NO TREE SHALL BE PLANTED WHERE IT COULD, AT MATURE HEIGHT, CONFLICT WITH OVERHEAD POWER LINES. LARGE TREES (HEIGHT AT MATURITY OF MORE THAN THIRTY (30) FEET) SHALL BE PLANTED NO CLOSER THAN A HORIZONTAL DISTANCE OF THIRTY (30) FEET FROM THE NEAREST OVERHEAD POWER LINE. MEDIUM HEIGHT TREE (HEIGHT AT MATURITY BETWEEN TWENTY (20) AND THIRTY (30) FEET) SHALL BE OFFSET AT LEAST TWENTY (20) FEET AND SMALL TREES (HEIGHT AT MATURITY OF LESS THAN (20) FEET) REQUIRE NO OFFSET.**

**6. NO TREE, SHRUBS, HEDGES OR VINES SHALL BE PLANTED WITHIN FIVE (5) FEET OF ANY EXISTING OR PROPOSED UTILITY POLE, GUY WIRE OR PAD MOUNTED TRANSFORMER. PALMS SHOULD BE PLANTED AT A DISTANCE EQUAL TO OR GREATER THAN THE AVERAGE FRONT LENGTH PLUS TWO (2) FEET FROM POWER LINES.**

**7. WETLAND BUFFERS, BUFFER PROTECTION AREAS, AND UPLAND PRESERVE AREAS SHALL BE PROTECTED FROM EXCAVATION, CONSTRUCTION, AND OTHER BUILDING MAINTENANCE ACTIVITIES.**

**8. TREES TO REMAIN DURING CONSTRUCTION SHALL BE PROTECTED AND BARRICADED. SEE TREE PROTECTION NOTE.**

**9. FERTILIZER SHALL BE COMPLETE WITH APPROXIMATELY THE FOLLOWING RATIO: 3N-13P-6K (+MG FOR PALMS ONE Y).**

**10. TREES AND PALMS ARE TO BE PLANTED IN ACCORDANCE TO LANDSCAPE PLAN. GOOD HORTICULTURAL PRACTICES MUST BE OBSERVED.**

**11. TREES AND PALMS ARE TO BE PLANTED IN THE RIGHT-OF-WAY (ROW) AT A MINIMUM OF FOUR (4) FEET FROM BACK OF CURB AT LOCATIONS IDENTIFIED ON THE LANDSCAPE PLAN. AWARDED BIDDER SHALL STAKE AND/OR PAINT PLANTING LOCATIONS IN THE FIELD. UPON APPROVAL BY THE CUSTOMER, THESE AREAS SHALL BE SPRAYED WITH AN APPROVED HERBICIDE AND MAINTAINED WEED-FREE FOR THE DURATION OF THE PROJECT.**

**12. EXCAVATE PLANTING HOLES WITH VERTICAL SIDES. DO NOT DISTURB SOIL AT BOTTOM OF PLANTING HOLES. MAKE EXCAVATIONS TWICE AS WIDE AS THE ROOT BALL DIAMETER AND SLIGHTLY LESS (TWO INCHES) THAN THE DISTANCE BETWEEN THE TOP-MOST ROOT IN THE ROOT BALL AND THE BOTTOM OF THE ROOT BALL. ALTERNATIVELY, EXCAVATE THE HOLE SLIGHTLY WIDER THAN THE ROOT BALL AND PLACE THE ROOT BALL IN THE HOLE SO THE TOP-MOST ROOT IS EVEN WITH OR SLIGHTLY (2 INCHES) HIGHER THAN THE SURROUNDING LANDSCAPE GRADE. THEN, LOOSEN THE SURROUNDING SOIL OUT TO A DIAMETER EQUAL TO TWICE THE DIAMETER OF THE ROOT BALL. FINALLY, PUSH THE LOOSENED SOIL TOWARD THE ROOT BALL TO FILL THE HOLE.**

IF WATER FILLS THE BOTTOM OF THE PLANTING HOLE, ADD SOIL TO THE BOTTOM OF THE HOLE UNTIL THE WATER IS COVERED. PACK THIS ADDED SOIL FIRMLY. PLACE THE ROOT BALL ON THIS PACKED SOIL SOIL, NOT IN WATER. NO PART OF THE ROOT BALL SHALL BE PLACED IN WATER. IF NECESSARY, BRING IN SOIL SIMILAR TO SITE SOIL TO COVER THE SIDES OF THE ROOT BALL, CREATING A RAISED MOUND. AT THE BASE OF THE MOUND (IE. THE OUTER DIAMETER) CREATED SHALL BE AT LEAST SIX TIMES THE DIAMETER OF THE ROOT BALL.

WHEN PLANTING ON A SLOPE, THE TOP-MOST MAIN ROOT IN THE ROOT BALL SHALL BE EVEN WITH THE GRADE ON THE UPHILL SIDE OF THE TREE. SITE SOIL WILL NEED TO BE ADDED ON THE DOWNHILL SIDE TO COVER THE SIDES OF THE ROOT BALL AND TO CONSTRUCT THE SOIL BERM TO HOLD WATER. THE AMOUNT OF SOIL ADDED ON THE DOWNHILL SIDE WILL DEPEND ON THE SLOPE AND SIZE OF THE ROOT BALL.

**13. REMOVE ALL WOOD, PLASTIC, OR GRO-BAGS FROM THE ROOT BALL. SET PLANTS IN CENTER OF THE HOLE WITH TOP-MOST ROOT IN THE ROOT BALL AT THE SAME HEIGHT OR SLIGHTLY (2 INCHES) HIGHER THAN FINISHED LANDSCAPE GRADES AND PLUMB THE TREE SO THE TRUNK IS VERTICAL. BACKFILL FIELD SOIL AROUND SIDES OF ROOT BALL AND WORK EACH LAYER TO SETTLE AND ELIMINATE VOIDS AND AIR POCKETS. MATERIAL MUST BE WATERED IN AS PLANTED. PROVIDE APPROXIMATELY 5 GALLONS OF WATER PER INCH OF TRUNK CALIPER TO THE ROOT BALL ONCE ALL BACKFILL IS FILLED IN AROUND THE ROOT BALL.**

**14. PROVIDE A 2.5" HIGH SOIL BERM AROUND THE EDGE OF ROOT BALL TO FORM A SHALLOW SAUCER TO COLLECT WATER. THE WATERING SAUCER, REGARDLESS OF HOLE SIZE, IS TO BE AT EDGE OF ROOT BALL. ALTERNATIVELY, COBRA EDGING IS TO BE INSTALLED AT THE EDGE OF THE ROOT BALL.**

**15. BROADCAST OVER THE ROOT BALL AND BACKFILL SOIL, AT THE RECOMMENDED RATE, A BROAD-SPECTRUM PRE-EMERGENT HERBICIDE PRIOR TO MULCHING.**

**16. APPLY A CONTROLLED-RELEASE FERTILIZER TO THE SOIL SURFACE UNDER THE MULCH AT 1LB. NITROGEN PER 1000 FT2. PRIOR TO MULCHING. NO OTHER AMENDMENTS ARE NECESSARY.**

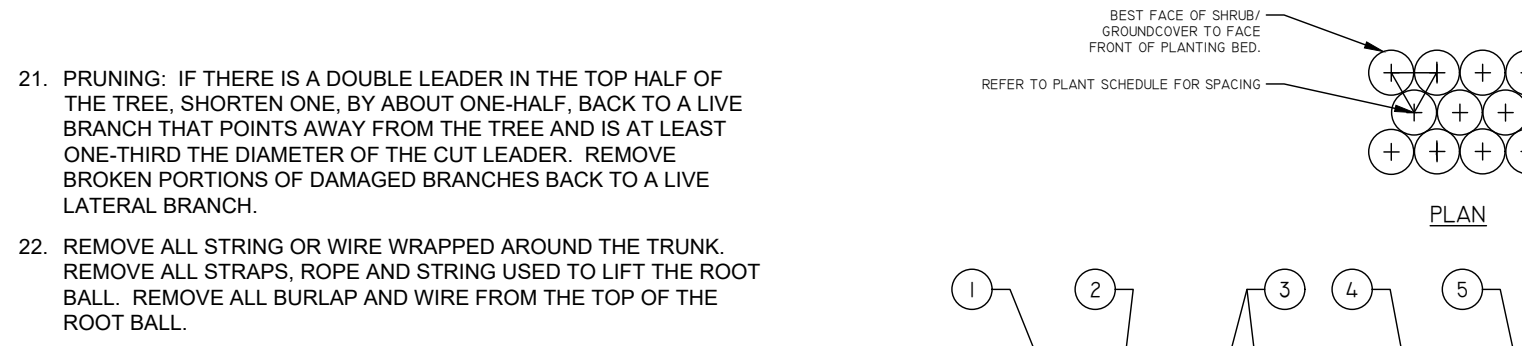
**17. ON TREES UP TO 4" CALIPER, APPLY A THREE (3) -INCH LAYER OF MULCH TO AN EIGHT (8) -FOOT DIAMETER CIRCULAR AREA AROUND THE TRUNK. ON LARGER CALIPER TREES, APPLY A TWO (2) -FOOT DIAMETER MULCH AREA FOR EACH INCH OF TRUNK CALIPER. NO MULCH SHALL BE APPLIED TO THE INNER HALF OF THE ROOT BALL SURFACE.**

**18. TREES AND PALMS ARE TO BE SECURED BY AWARDED BIDDER AS SHOWN IN EXHIBITS A-C. (NOTE: STAKING IS OPTIONAL FOR MORE PROTECTED LOCATIONS).**

**19. A REPRESENTATIVE WILL INSPECT TREES AND PALMS DURING INSTALLATION. MATERIAL THAT IS IN SHOCK OR HAS BEEN DAMAGED DURING INSTALLATION SHALL BE REPLACED BY AWARDED BIDDER WITHIN FIVE (5) WORKING DAYS FROM NOTIFICATION.**

**20. REMOVE FROM WORK SITE ALL EXCESS MATERIALS (E.G., SOIL, DEBRIS AND EQUIPMENT) DAILY THROUGH DURATION OF PROJECT. DAMAGES RESULTING FROM INSTALLATION SHALL BE REPAIRED BY AWARDED BIDDER.**

**21. PRUNING: IF THERE IS A DOUBLE LEADER IN THE TOP HALF OF THE TREE, SHORTEN ONE, BY ABOUT ONE-HALF, BACK TO A LIVE BRANCH THAT POINTS AWAY FROM THE TREE AND IS AT LEAST ONE-THIRD THE DIAMETER OF THE CUT LEADER. REMOVE BROKEN PORTIONS OF DAMAGED BRANCHES BACK TO A LIVE LATERAL BRANCH.**

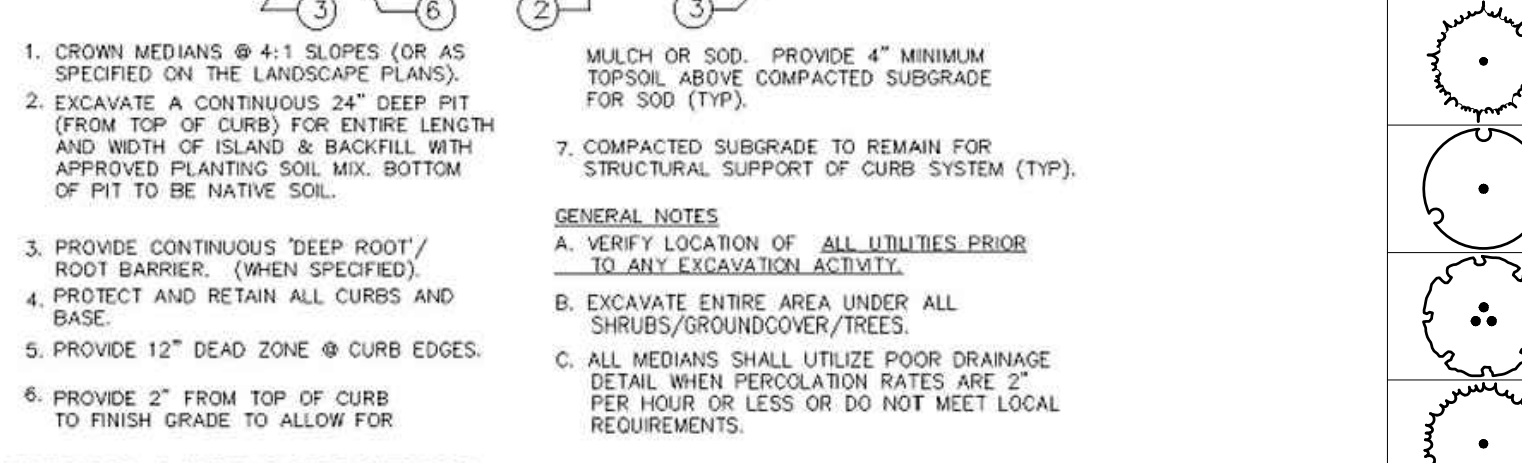
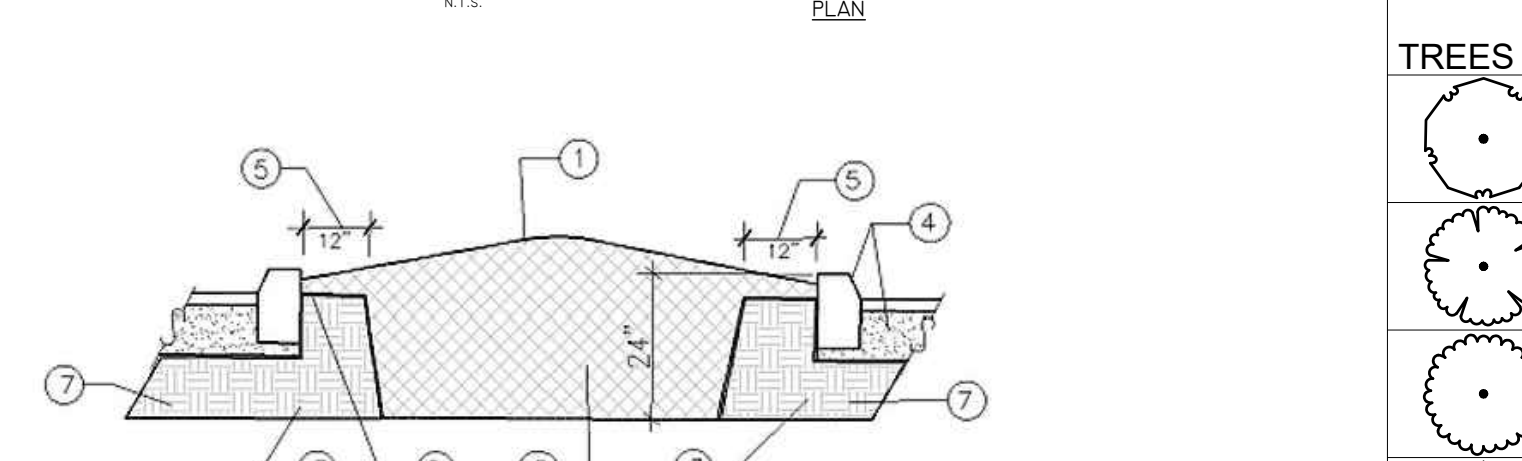
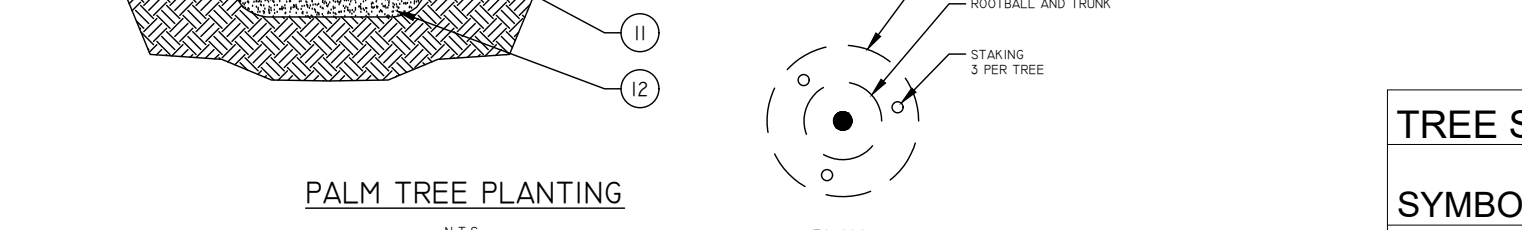
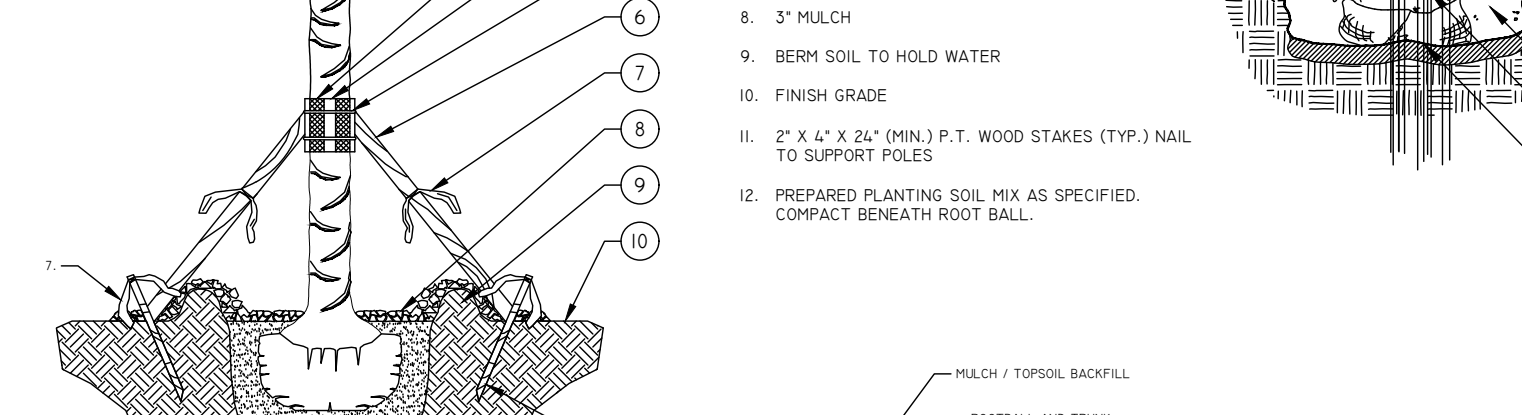
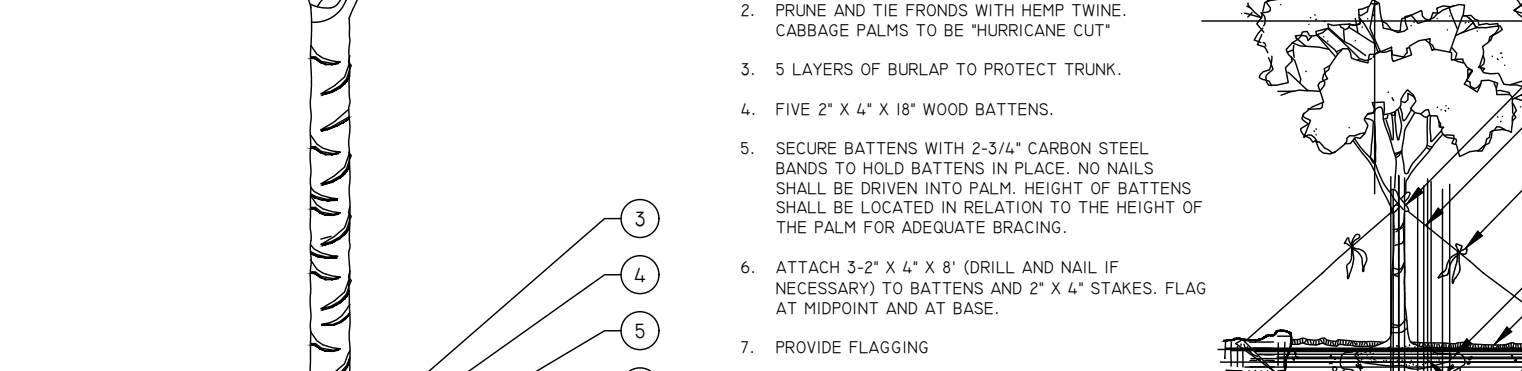
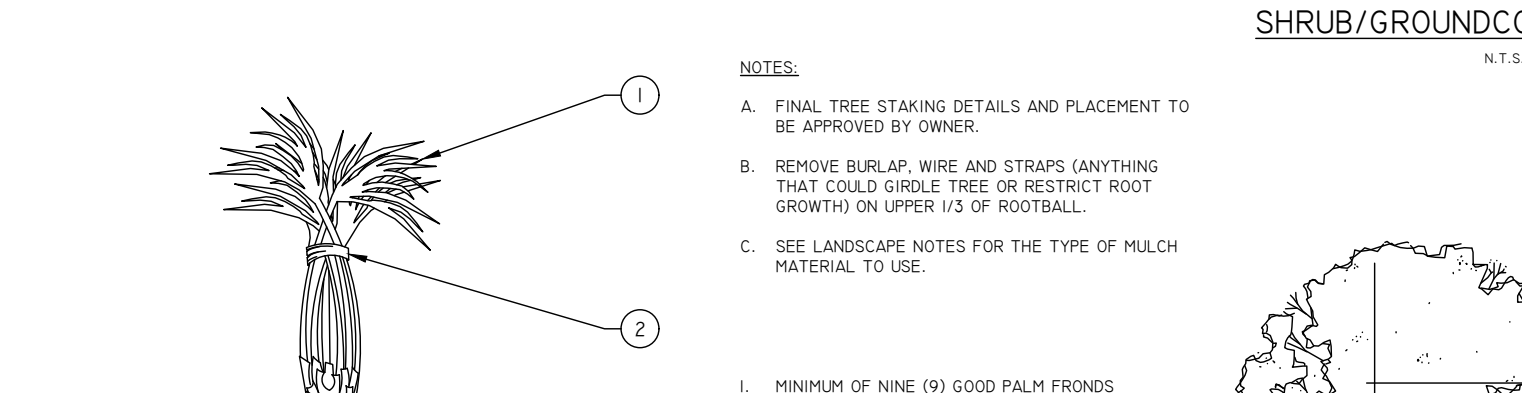


## ACCEPTANCE NOTES

**1. INSPECTION TO DETERMINE ACCEPTANCE OF PLANTED AREAS WILL BE MADE BY THE CUSTOMER REPRESENTATIVE UPON AWARDED BIDDER'S REQUEST. PROVIDE NOTIFICATION A MINIMUM OF FIVE (5) WORKING DAYS BEFORE REQUESTED INSPECTION DATE.**

PLANTED AREAS WILL BE ACCEPTED PROVIDED ALL REQUIREMENTS, INCLUDING MAINTENANCE, HAVE BEEN SATISFIED AND PLANT MATERIALS ARE IN A HEALTHY, VIGOROUS CONDITION.

**2. THE CUSTOMER REPRESENTATIVE WILL PREPARE A "PUNCH LIST" OF THOSE ITEMS, WHICH MUST BE CORRECTED BEFORE RE-INSPECTION FOR FINAL ACCEPTANCE. THE REPRESENTATIVE WILL DETERMINE AN APPROPRIATE TIME PERIOD FOR CORRECTIONS. AWARDED BIDDER MUST REQUEST RE-INSPECTION TWO (2) WORKING DAYS IN ADVANCE.**



## TREE SCHEDULE

SYMBOL	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	NATIVE
<b>TREES</b>					
	AR2	3	Florida Flame Red Maple / <i>Acer rubrum</i> 'Florida Flame'	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
	CD	6	Pigeon Plum / <i>Coccoloba diversifolia</i>	12' HT. x 6' Spr. Min.	Yes
	CE2	25	Green Buttonwood / <i>Conocarpus erectus</i>	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
	CS3	24	Silver Buttonwood / <i>Conocarpus erectus sericeus</i>	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
	ED	11	Japanese Blueberry Tree / <i>Elaeocarpus decipiens</i> TM	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	No
	LM3	3	Lavender Crape Myrtle / <i>Lagerstroemia x 'Muskogee'</i>	2.5" DBH, 12' Ht. x 5' Spr. Min., Multi-trunk, 5' ct.	No
	PD	12	Slash Pine / <i>Pinus elliottii densa</i>	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
	QV2	14	Southern Live Oak / <i>Quercus virginiana</i>	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
	TD2	3	Bald Cypress / <i>Taxodium distichum</i>	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
<b>PALMS</b>					
	SS	36	Cabbage Palmetto / <i>Sabal palmetto</i>	30% @ 12' ct., 35% @ 15' ct., 35% @ 18' ct., Stagger Hts. within groups	Yes

SHRUB SCHEDULE				
CODE	QTY	COMMON / BOTANICAL NAME	SIZE	SPACING
<b>SHRUB AREAS</b>				
CG	52	Small Leaf Clusia / <i>Clusia guttifera</i>	3 gal., 24" Ht. min., Full	24" o.c.
VS	118	Sandankwa Viburnum / <i>Viburnum suspensum</i>	3 gal., 24" Ht. min., Full	24" o.c.

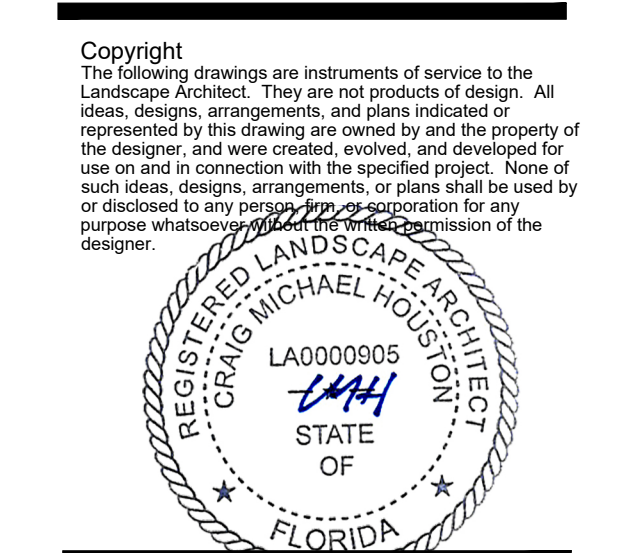


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Florida  
 4600 Okeechobee Road  
 City of Fort Pierce  
 Landscape Specifications



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 The following drawings are instruments of service to the Landscape Architect. They are not products of design. All ideas, designs, arrangements, and plans indicated or represented by this drawing are owned by and the property of the designer, and were created, evolved, and developed for use on and in connection with the specified project. None of such ideas, designs, arrangements, or plans shall be used by or disclosed to any person without the prior written permission of the designer.

Job No. 2022-07  
 Drawn By EB  
 Checked By MH  
 Approved By MH  
 Submittal Dates 02-01-23

Revision Dates 10-30-24  
 02-20-25

LP-2

## LANDSCAPE MAINTENANCE AGREEMENT

Parcel Number(s):

Project Name:

Project Address:

THIS agreement ("Agreement"), made this \_\_\_\_\_ by and between \_\_\_\_\_, hereinafter referred to as the "ST. LUCIE KINGS, LLC" of the following property and the City of Fort Pierce, hereinafter referred to as the "Agency." "Owner" shall mean the person of entity that holds fee simple title to the Property (as such term is defined below) from time to time.

WHEREAS, ST. LUCIE KINGS, LLC is the owner of the following real property ("Property"), described in the attached Exhibit "A" (Legal Description and Location Map) and is vested with full authority to execute deeds, mortgages, and other covenants, such as this Agreement, and does hereby covenant with the Agency and agree as follows:

1. The Owner shall provide for adequate long-term maintenance of all landscape facilities and landscaping located on the Property and shown in the drawing attached hereto as Exhibit "B" ("Landscape Plans"). The Owner shall ensure that all approved landscaping per the Landscape Plan is installed, irrigated, and maintained in accordance with approved design standards, rules and regulations and applicable laws. The Owner shall perform all landscape maintenance activities at the Property in perpetuity in accordance with section 123-7 of the City Code of Ordinances ("Applicable Code"), in order that it continues to present a healthy, neat, and orderly appearance to the public free of refuse and debris, in conformity with the following requirements:
  - a. Vegetation required by this article shall be replaced with equivalent or better vegetation if it is not living. All trees for which credit is awarded and which subsequently die shall be replaced by the same or greater number of living trees according to the standards established in the Applicable Code.
  - b. Maintenance shall include sufficient weeding, watering, fertilizing, pruning, mowing, edging, mulching and other horticultural practices to ensure that the landscaping continues to maintain a healthy, neat, and orderly appearance.
  
2. If, upon inspection, the Agency finds that the Owner has failed to perform the preventative maintenance activities at the Property in accordance with the Applicable Code, the Agency may order the work performed within 30 days by written notice sent to the Owner's mailing address at 101 Pugliese's Way, 2nd Floor, Delray Beach, FL 33444, which may be changed by providing written notice of such change to the Agency. In the event the work is not performed within the specified time, the Owner agrees to allow the Agency, upon reasonable notice, to enter the Property to perform the preventative maintenance activities on the landscaping in accordance with the Applicable Code, this Agreement and in a manner so as to minimize interference with the use and enjoyment of the Property by the Owner and its occupants, guests, licensees and invitees. This provision shall not be construed to: (a) allow the Agency to modify existing structures or erect any structure of a permanent nature on the Property without first obtaining written approval of the Owner; (b) to control how the Owner may use the Property so long as the landscaping is being maintained in accordance with the Applicable Code; or (c) to enter upon the Property without first providing notice to the Owner. Any work performed by the Agency for the benefit of the landscaping on the Property of Owner which disturbs or damages the Property of Owner shall require Agency to repair or replace the Property to the condition it was in prior to the disturbance or damage.

3. The Agency is under no obligation to maintain, or repair said landscaping or landscape facilities, and in no event shall this Agreement be construed to impose any such obligation on the Agency. The Owner shall reimburse the Agency upon demand the reasonable costs incurred by the Agency pursuant to paragraph two (2) above.
4. The Owner shall grant to the Agency or its agent(s) or contractor(s) the right of entry on the Property at reasonable times and in a reasonable manner for the purpose of inspecting, operating, installing, constructing, reconstructing, maintaining or repairing the landscaping or landscaping facilities at the Property, provided the same is undertaken in a manner to minimize interference with the use and enjoyment of the Property by Owner and its occupants, guests, licensees and invitees and otherwise in compliance with this Agreement.
5. If the Owner fails to pay the Agency for the expenses incurred pursuant to paragraph two (2) above, then, after forty-five (45) days following Owner's receipt of Agency's invoice (including all supporting documentation), the Agency may exercise any legal remedies it has to collect said expenses from the Owner, including through appropriate legal action and, in the event Agency is successful in such legal action, the Owner shall be liable for the reasonable expenses of collection, court costs, and attorney fees.
6. The Owner and the Owner's heirs, administrators, executors, assigns and any other successor in interest shall indemnify and hold harmless the Agency and its officers, agents and employees for any and all damages, accidents, casualties, occurrences, claims or attorney's fees which might arise or be asserted, in whole or in part, against the Agency from the Owner's failure to perform the landscape maintenance activities of at the Property in accordance with the Applicable Code. In the event a claim is asserted against the Agency, its officers, agents, or employees as a result of such failure, the Agency shall notify the Owner and the Owner shall defend at Owner's expense any suit based on such claim. If any action is brought against the Agency, its officers, agents or employees, as a result of such failure to maintain, the Agency shall not settle any claims without Owner's prior written consent. Owner may defend any such action or may agree to resolve any such claim, in its sole discretion. If a judgment is rendered against Agency as a result of Owner's failure to maintain the landscape in accordance with the Applicable Code then Owner shall pay all costs and expenses in connection therewith. Owner's liability under this Agreement shall not exceed Owner's equity interest in the Property. Nothing herein shall constitute a contractual obligation of the Agency to indemnify, defend or hold harmless in any fashion the Owner from any claims arising from any failure of Owner to carry out its maintenance obligations as required by the Applicable Code.
7. No waiver of any provision of this Agreement shall affect the right of any party thereafter to enforce such a provision or to exercise any right or remedy available. This Agreement embodies the entire agreement and understanding between the parties hereto with respect to the subject matter of this Agreement and supersedes all prior and contemporaneous agreements and understandings relative to such subject matter. This Agreement may not be amended or altered except by a writing signed by all parties to this Agreement at the time of the Agreement or alteration. This Agreement shall be governed by and construed in

accordance with the laws of the State of Florida and the applicable laws of the United States of America. Any action or proceeding under or in connection with this Agreement shall be brought in St. Lucie County, Florida. This Agreement inures, is for the benefit of, and is binding upon each Party's respective predecessors, successors, assigns, affiliates, divisions, subsidiaries, members, partners, insurers, reinsurers, their former, current and future shareholders, directors, officers, trustees, receivers, employees, agents, attorneys, volunteers, representatives, their heirs, executors, administrators, successors and assigns, as well as any persons or entities claiming through one or more of them, any benefit of this Agreement. If any provision of this Agreement or the application thereof to any person or circumstance shall, for any reason and to any extent, be invalid or unenforceable, then neither the remainder of this Agreement nor the application of such provision to the other persons or circumstances shall be affected thereby, but rather shall be enforced to the greatest extent permitted by law. All signatories hereto hereby warrant, represent and affirm that they have the authority to enter into this Agreement.

This Agreement is signed by the parties' duly authorized representatives as of the day first written above.

Business Name

By: \_\_\_\_\_  
Property Owners Signature

Owners Name:

**STATE OF FLORIDA**  
**COUNTY OF ST. LUCIE**

The foregoing instrument was acknowledged before me by physical presence this \_\_\_\_\_ day of \_\_\_\_\_ by \_\_\_\_\_ on behalf of said corporation who is \_\_\_\_ personally known by me or \_\_\_\_ has produced \_\_\_\_\_ as identification.

[SEAL]

\_\_\_\_\_  
Notary Public Signature

My Commission Expires:

EXHIBIT A

Legal Description & Location Map

PARCEL 1:

A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE NORTH 01°20'45" EAST, ALONG THE EAST LINE OF SECTION 18, TOWNSHIP 35 SOUTH, RANGE 40 EAST, A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA; S.R. 70); THENCE SOUTH 52°29'55" WEST, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 2,102.04 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 55°45'47" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 210.34 FEET; THENCE SOUTH 52°29'33" WEST ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 71.28 FEET; THENCE NORTH 37°30'27" WEST, A DISTANCE OF 73.78 FEET; THENCE NORTH 37°30'14" WEST, A DISTANCE OF 114.06 FEET; THENCE NORTH 37°29'33" WEST, A DISTANCE OF 33.20 FEET; THENCE SOUTH 52°29'33" WEST, A DISTANCE OF 185.54 FEET; THENCE NORTH 37°24'29" WEST, A DISTANCE OF 337.95 FEET; THENCE NORTH 52°35'31" EAST, A DISTANCE OF 149.75 FEET; THENCE SOUTH 37°24'29" EAST, A DISTANCE OF 101.01 FEET; THENCE NORTH 52°26'19" EAST, A DISTANCE OF 84.86 FEET; THENCE NORTH 76°15'19" EAST, A DISTANCE OF 109.98 FEET TO A POINT ON THE ARC OF A CIRCULAR CURVE TO THE LEFT AT WHICH A RADIAL LINE BEARS NORTH 72°27'31" EAST; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 85.00 FEET AND A CENTRAL ANGLE OF 10°43'05", A DISTANCE OF 15.90 FEET TO A POINT OF TANGENCY; THENCE SOUTH 28°15'34" EAST, A DISTANCE OF 42.13 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE TO THE LEFT; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 85.00 FEET AND A CENTRAL ANGLE OF 72°51'03", A DISTANCE OF 108.08 FEET TO A POINT OF TANGENCY; THENCE NORTH 78°53'23" EAST, A DISTANCE OF 69.88 FEET TO A POINT ON THE ARC OF A CIRCULAR CURVE TO THE LEFT AT WHICH A RADIAL LINE BEARS NORTH 46°34'59" EAST; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 443.72 FEET AND A CENTRAL ANGLE OF 04°34'37", A DISTANCE OF 35.44 FEET TO A POINT OF TANGENCY; THENCE SOUTH 47°59'38" EAST, A DISTANCE OF 11.05 FEET; THENCE SOUTH 44°53'31" EAST, A DISTANCE OF 203.42 FEET TO THE POINT OF BEGINNING.

LESS A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

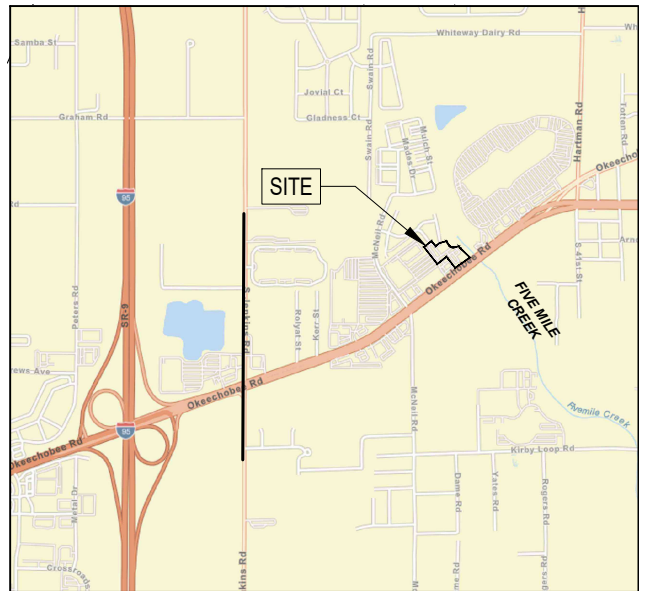
COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE NORTH 01°20'45" EAST ALONG THE EAST LINE OF SECTION 18, TOWNSHIP 35 SOUTH, RANGE 40 EAST, FOR A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA S.R. 70); THENCE SOUTH 52°29'55" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 2102.04 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND; THENCE SOUTH 55°45'47" WEST FOR A DISTANCE OF 210.34 FEET; THENCE SOUTH 52°29'33" WEST FOR A DISTANCE OF 71.28 FEET; THENCE NORTH 37°30'27" WEST FOR A DISTANCE OF 73.78 FEET; THENCE NORTH 01°22'19" WEST FOR A DISTANCE OF 267.30 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 14°31'16" WEST, HAVING A RADIUS OF 85.00 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 36.54 FEET THROUGH A CENTRAL ANGLE OF 24°37'53" TO A POINT OF TANGENCY; THENCE NORTH 78°53'23" EAST FOR A DISTANCE OF 69.88 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 46°34'59" WEST, HAVING A RADIUS OF 443.72 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 35.19 FEET THROUGH A CENTRAL ANGLE OF 04°32'39"; THENCE SOUTH 47°59'38" EAST FOR A DISTANCE OF 11.05 FEET; THENCE SOUTH 44°53'31" EAST FOR A DISTANCE OF 203.42 FEET TO THE POINT OF BEGINNING.

PARCEL 2:

A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE NORTH 01°20'45" EAST ALONG THE EAST LINE OF SECTION 18, TOWNSHIP 35 SOUTH, RANGE 40 EAST, FOR A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA S.R. 70); THENCE SOUTH 52°29'55" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 2102.04 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND; THENCE SOUTH 55°45'47" WEST FOR A DISTANCE OF 210.34 FEET; THENCE SOUTH 52°29'33" WEST FOR A DISTANCE OF 71.28 FEET; THENCE NORTH 37°30'27" WEST FOR A DISTANCE OF 73.78 FEET; THENCE NORTH 01°22'19" WEST FOR A DISTANCE OF 267.30 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 14°31'16" WEST, HAVING A RADIUS OF 85.00 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 36.54 FEET THROUGH A CENTRAL ANGLE OF 24°37'53" TO A POINT OF TANGENCY; THENCE NORTH 78°53'23" EAST FOR A DISTANCE OF 69.88 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 46°34'59" WEST, HAVING A RADIUS OF 443.72 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 35.19 FEET THROUGH A CENTRAL ANGLE OF 04°32'39"; THENCE SOUTH 47°59'38" EAST FOR A DISTANCE OF 11.05 FEET; THENCE SOUTH 44°53'31" EAST FOR A DISTANCE OF 203.42 FEET TO THE POINT OF BEGINNING.

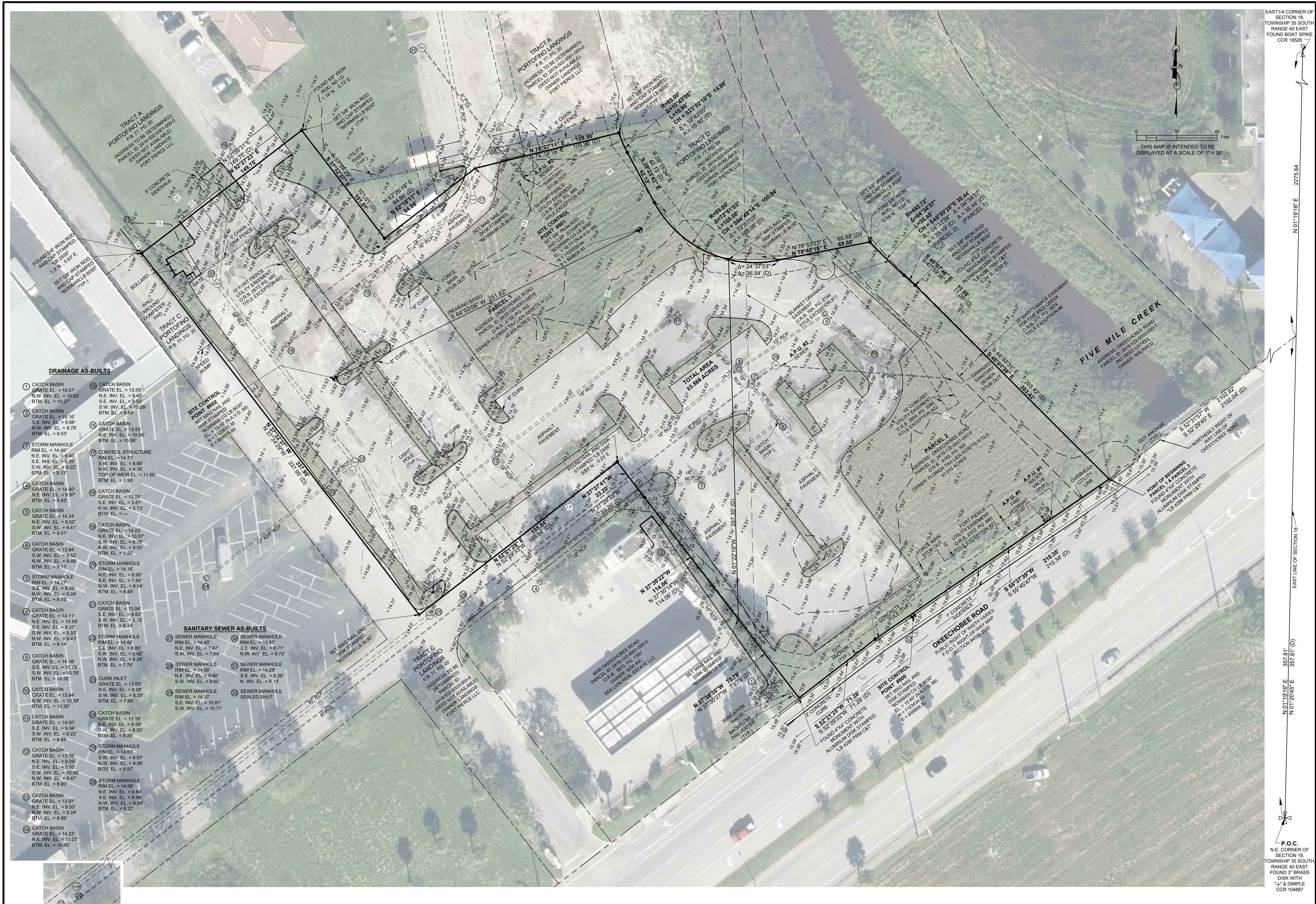
LOCATION MAP











EAST 1/4 CORNER OF SECTION 18, TOWNSHIP 35 SOUTH RANGE 40 EAST FOUND BOAT SPIKE CCR 19526

THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1" = 30'

0 30 60 Feet

N 01°19'16" E 2275.64'

EAST LINE OF SECTION 18

N 01°19'16" E 357.81'

N 01°20'45" E 357.81' (D)

P.O.C. NE CORNER OF SECTION 18, TOWNSHIP 35 SOUTH RANGE 40 EAST FOUND 3" BRASS DISK WITH 1/2" DIMPLE CCR 104887

**DRAINAGE AS-BUILTS**

- 1 CATCH BASIN GRATE EL = 16.07' N.W. INV. EL = 10.83' BTM. EL = 10.27'
- 2 CATCH BASIN GRATE EL = 15.16' S.E. INV. EL = 9.98' N.W. INV. EL = 9.78' BTM. EL = 9.53'
- 3 STORM MANHOLE RIM EL = 14.40' N.E. INV. EL = 9.40' S.W. INV. EL = 9.29' BTM. EL = 9.22'
- 4 CATCH BASIN GRATE EL = 14.40' N.E. INV. EL = 9.97' BTM. EL = 9.43'
- 5 CATCH BASIN GRATE EL = 14.24' N.E. INV. EL = 9.52' S.W. INV. EL = 9.41' BTM. EL = 9.01'
- 6 CATCH BASIN GRATE EL = 13.94' S.W. INV. EL = 9.52' N.W. INV. EL = 9.49' BTM. EL = 9.11'
- 7 STORM MANHOLE RIM EL = 14.27' S.E. INV. EL = 9.29' N.W. INV. EL = 9.24' BTM. EL = 8.79'
- 8 CATCH BASIN GRATE EL = 14.11' N.E. INV. EL = 10.59' S.E. INV. EL = 9.37' S.W. INV. EL = 9.33' N.W. INV. EL = 9.43' BTM. EL = 9.14'
- 9 CATCH BASIN GRATE EL = 14.16' S.E. INV. EL = 10.73' S.W. INV. EL = 10.79' BTM. EL = 10.32'
- 10 CATCH BASIN GRATE EL = 13.94' N.W. INV. EL = 10.59' BTM. EL = 10.26'
- 11 CATCH BASIN GRATE EL = 14.00' S.E. INV. EL = 9.34' S.W. INV. EL = 9.22' BTM. EL = 8.54'
- 12 CATCH BASIN GRATE EL = 13.78' N.E. INV. EL = 9.29' S.E. INV. EL = 9.53' S.W. INV. EL = 10.95' N.W. INV. EL = 9.47' BTM. EL = 8.90'
- 13 CATCH BASIN GRATE EL = 13.97' N.E. INV. EL = 9.50' N.W. INV. EL = 9.24' BTM. EL = 8.99'
- 14 CATCH BASIN GRATE EL = 14.22' N.E. INV. EL = 11.27' BTM. EL = 10.80'
- 15 CATCH BASIN GRATE EL = 13.59' N.E. INV. EL = 9.40' S.E. INV. EL = 9.50' S.W. INV. EL = 10.26' BTM. EL = 8.64'
- 16 CATCH BASIN GRATE EL = 13.53' N.E. INV. EL = 10.56' BTM. EL = 10.06'
- 17 CONTROL STRUCTURE RIM EL = 14.70' S.W. INV. EL = 8.88' N.W. INV. EL = 4.38' TOP OF WEIR EL = 11.60' BTM. EL = 3.99'
- 18 CATCH BASIN GRATE EL = 13.55' S.E. INV. EL = 3.51' N.W. INV. EL = 3.73' BTM. EL = ---
- 19 CATCH BASIN GRATE EL = 14.23' N.E. INV. EL = 10.07' S.W. INV. EL = 6.78' N.W. INV. EL = 5.55' BTM. EL = 1.20'
- 20 STORM MANHOLE RIM EL = 14.16' N.E. INV. EL = 6.90' S.E. INV. EL = 7.84' N.W. INV. EL = 8.54' BTM. EL = 6.45'
- 21 CATCH BASIN GRATE EL = 13.94' S.E. INV. EL = 8.82' S.W. INV. EL = 8.78' BTM. EL = 8.14'
- 22 STORM MANHOLE RIM EL = 14.40' S.E. INV. EL = 7.67' S.W. INV. EL = 8.42' BTM. EL = 7.76'
- 23 SEWER MANHOLE RIM EL = 14.56' N.E. INV. EL = 9.60' S.W. INV. EL = 9.60'
- 24 CATCH BASIN GRATE EL = 13.65' N.E. INV. EL = 8.58' S.W. INV. EL = 8.29' BTM. EL = 7.88'
- 25 STORM MANHOLE RIM EL = 14.63' S.W. INV. EL = 8.97' N.W. INV. EL = 9.96' BTM. EL = 8.97'
- 26 STORM MANHOLE RIM EL = 14.58' N.E. INV. EL = 9.84' S.E. INV. EL = 8.49' N.W. INV. EL = 8.56' BTM. EL = 8.22'
- 27 SEWER MANHOLE RIM EL = 14.47' N.E. INV. EL = 7.67' S.W. INV. EL = 7.69'
- 28 SEWER MANHOLE RIM EL = 14.56' N.E. INV. EL = 9.60' S.W. INV. EL = 9.60'
- 29 CATCH BASIN GRATE EL = 13.18' N.E. INV. EL = 8.59' S.W. INV. EL = 8.55' BTM. EL = 8.29'
- 30 STORM MANHOLE RIM EL = 14.58' S.W. INV. EL = 8.97' N.W. INV. EL = 9.96' BTM. EL = 8.97'
- 31 SEWER MANHOLE RIM EL = 14.28' S.E. INV. EL = 8.26' N. INV. EL = 8.13'
- 32 SEWER MANHOLE SEALED SHUT

**SANITARY SEWER AS-BUILTS**

- 27 SEWER MANHOLE RIM EL = 14.47' N.E. INV. EL = 7.67' S.W. INV. EL = 7.69'
- 28 SEWER MANHOLE RIM EL = 14.56' N.E. INV. EL = 9.60' S.W. INV. EL = 9.60'
- 29 CATCH BASIN GRATE EL = 13.18' N.E. INV. EL = 8.59' S.W. INV. EL = 8.55' BTM. EL = 8.29'
- 30 STORM MANHOLE RIM EL = 14.58' S.W. INV. EL = 8.97' N.W. INV. EL = 9.96' BTM. EL = 8.97'
- 31 SEWER MANHOLE RIM EL = 14.28' S.E. INV. EL = 8.26' N. INV. EL = 8.13'
- 32 SEWER MANHOLE SEALED SHUT

**Bowman CONSULTING**  
PROFESSIONAL SURVEYORS AND MAPPERS, CERTIFICATE NO. LB 8693  
BOARD OF PROFESSIONAL ENGINEERS, CERTIFICATE OF AUTHORIZATION NO. 39482

Bowman Consulting Group, Inc.  
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**FLORIDA**  
**ST. LUCIE COUNTY**

**OKEECHOBEE ROAD**  
**ALTA / NSPS LAND TITLE**  
**BOUNDARY AND TOPOGRAPHIC SURVEY**

PROJECT NO  
030028-04-001

PLAN STATUS

DATE	DESCRIPTION
21-207	40-41

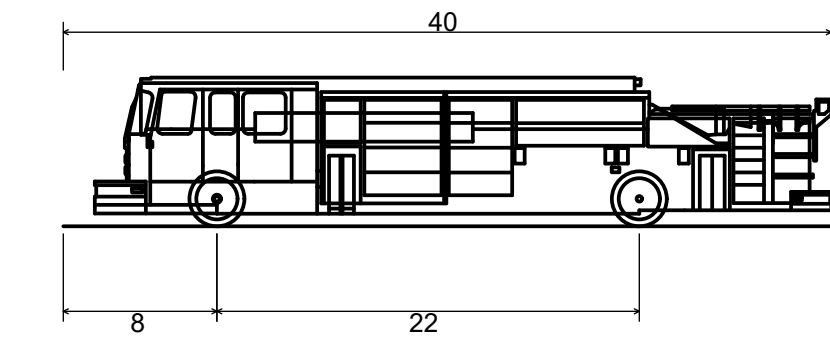
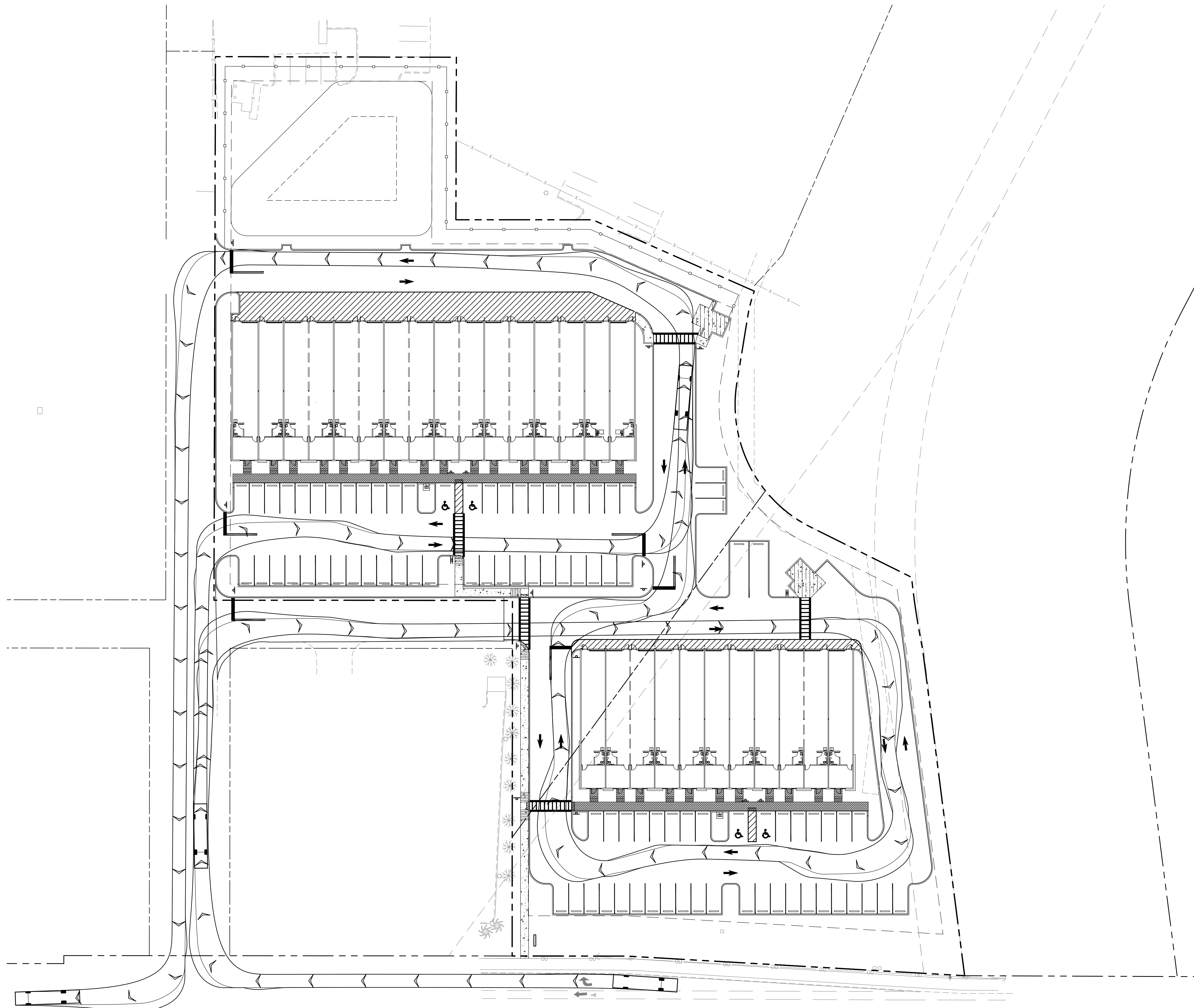
FIELD CREW: JS, AA  
D.A.L. R.E.B.  
DRAWN N/A CHKD  
SCALE H: N/A V: N/A

JOB No. 030028-04-001  
DATE: MARCH 24, 2021  
FILE No. 030028-04-001 ALTA

SHEET 1 OF 1

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY BOWMAN CONSULTING GROUP, LTD., INC. SHALL BE WITHOUT LIABILITY TO BOWMAN CONSULTING GROUP, LTD.

Cad file name: P:\030028 - Pugliese Company\030028-04-001 (SUR) - 4646 Okeechobee Rd Ft Pierce\Survey\Topo Boundary\030028-04-001 ALTA.dwg 4/8/2021



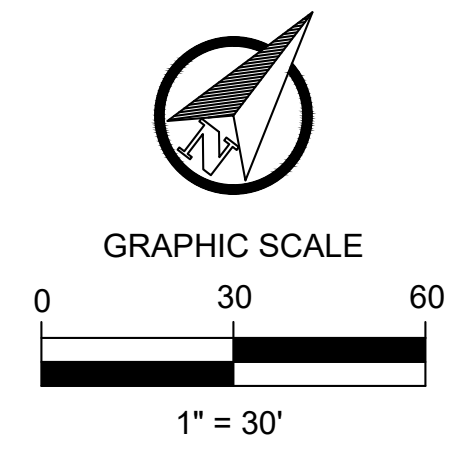
Pumper Fire Truck  
 Overall Length 40.000ft  
 Overall Width 8.167ft  
 Overall Body Height 7.745ft  
 Min Body Ground Clearance 0.656ft  
 Track Width 8.167ft  
 Lock-to-lock time 5.00s  
 Max Wheel Angle 45.00°



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NOTE:  
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FINAL DESIGN (FOR REVIEW)



**Bowman**  
 PROFESSIONAL SURVEYORS AND MAPPERS, CERTIFICATE NO. LB 8030  
 BOARD OF PROFESSIONAL ENGINEERS, CERTIFICATE OF AUTHORIZATION NO. 39482

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 www.bowman.com  
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4600 FLEX SPACE  
 FIRE TRUCK PATH  
 FORT PIERCE  
 FLORIDA

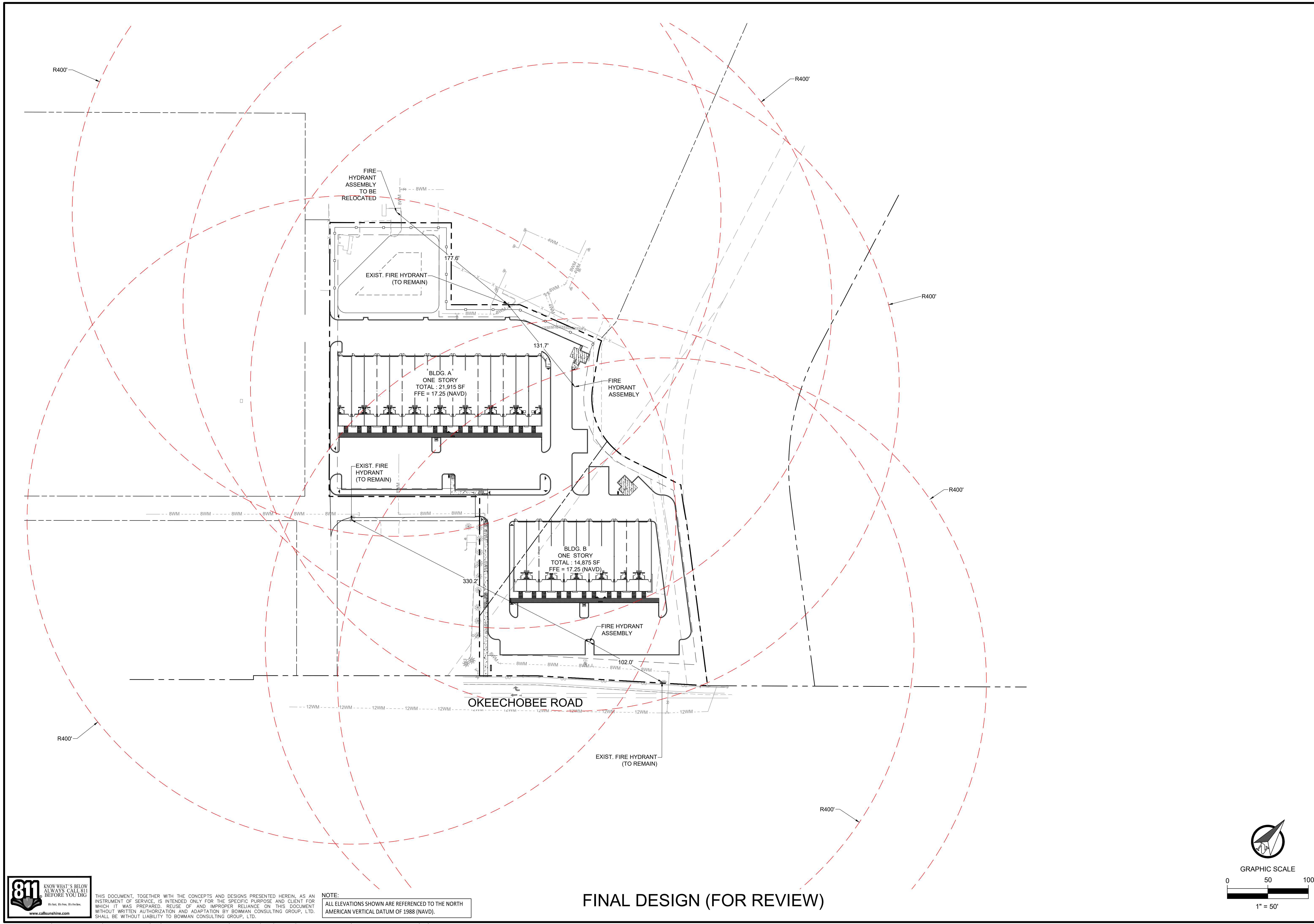
PROJECT NO  
 010894-01-001

OCTAVIO "OATS" REIS  
 LICENSE NO. 42503

PLAN STATUS		
DATE	DESCRIPTION	
BK DESIGN	RO DRAWN	GMB CHKD

SCALE: 1" = 30'  
 JOB No. 010894  
 DATE March 2025  
 FILE No. 010894-VHTR

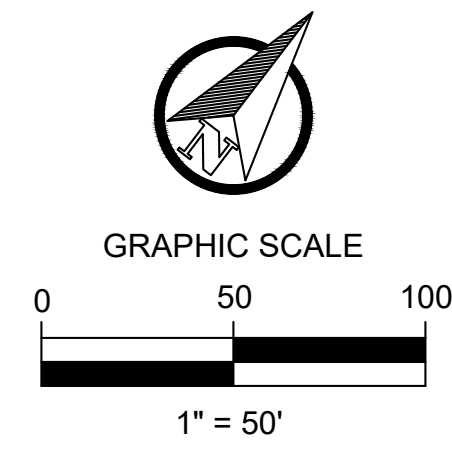
SHEET **EX1**



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NOTE:  
ALL ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD).

FINAL DESIGN (FOR REVIEW)



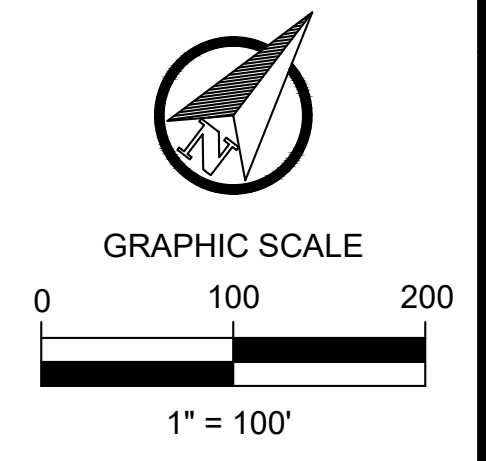
PLAN STATUS		
DATE	DESCRIPTION	
BK DESIGN	RO DRAWN	GMB CHKD
SCALE: 1" = 50'		
JOB No. 010894		
DATE March 2025		
FILE No. 010894-FH-COV		
SHEET		EX1



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NOTE:  
ALL ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD).

FINAL DESIGN (FOR REVIEW)



PLAN STATUS		
DATE	DESCRIPTION	
BK DESIGN	RO DRAWN	GMB CHKD

SCALE: 1" = 100'
JOB No. 010894
DATE February 2025
FILE No. 010894-FH-1000