

SITE DATA

EXISTING LAND USE	MXD	FLOOD ZONE	X
EXISTING ZONING	PD	UTILITY PROVIDER	FPUA
SITE ACREAGE	122.80		
PARCEL IDENTIFICATION NUMBERS	2432-211-0006-000-3, 2432-211-0005-000-6, 2432-343-0001-000-4		

POD 1 DATA	3835423.97 SF	88.05 AC
DWELLING UNITS	286	
DU/AC	3.2	
OPEN SPACE/ PERVIOUS	20% MIN	
POD 3 DATA	827806.4 SF	19.00 AC
POD 4 DATA	217044.63 SF	4.98 AC
POD 5 DATA	468863.43 SF	10.76 AC

OPEN SPACE CALCULATIONS		
REQUIRED (20%)	17.61 AC	
LAKES	14 AC	MINIMUM
LANDSCAPE AREA	3 AC	MINIMUM
OTHER	0.61 AC	MINIMUM

OPEN SPACE TABLE		(20% REQUIRED)
TRACT	TOTAL AREA BY USE (AC)	PROVIDED (%)
COMMON/OPEN SPACE	9.02	10.25%
RECREATION SPACE	2.51	2.85%
LANDSCAPE BUFFERS	4.47	5.08%
DRAINAGE EASEMENTS	0.77	0.87%
LME	3.94	4.47%
LAKES	14.10	16.02%
PRESERVE	3.08	3.50%
TOTAL AREA	37.90	43.04%

IMPERVIOUS SPACE TABLE		
TRACT	AREA (AC)	PROVIDED (%)
LOTS - SINGLE FAMILY	38.71	43.96%
ROADWAY ROW	11.45	19.31%
TOTAL AREA	50.15	56.96%
ASPHALT	4.62	5.25%
CONCRETE	2.17	2.47%

LEGAL DESCRIPTION

SELVITZ I, LLC
TRACT AA PARCEL OF LAND LYING IN SECTION 32, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: FOR A POINT OF REFERENCE, COMMENCE AT THE SOUTHWEST CORNER OF SAID SECTION 32; THENCE NORTH00°04'38" EAST, ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 32, A DISTANCE OF 1457.23 FEET; THENCE SOUTH 89°55'22" EAST, A DISTANCE OF 50.00 FEET TO THE EAST RIGHT-OF-WAY LINE OF SELVITZ ROAD AND THE POINT OF BEGINNING; THENCE NORTH 00°04'38" EAST, ALONG THE SAID EAST RIGHT-OF-WAY LINE, A DISTANCE OF 1013.67 FEET; THENCE SOUTH 89°58'14" EAST, A DISTANCE OF 150.00 FEET; THENCE NORTH 45°01'46" EAST, A DISTANCE OF 42.43 FEET; THENCE SOUTH 89°58'14" EAST, A DISTANCE OF 2007.17 FEET; THENCE SOUTH 00°07'05" EAST, A DISTANCE OF 1563.08 FEET; THENCE SOUTH 89°55'13" WEST, A DISTANCE OF 1414.65 FEET; THENCE NORTH00°01'42" EAST, A DISTANCE OF 463.09 FEET; THENCE SOUTH 89°57'24" WEST, A DISTANCE OF 577.30 FEET; THENCE NORTH 45°02'36" WEST, A DISTANCE OF 70.71 FEET; THENCE SOUTH 89°57'24" WEST, A DISTANCE OF 150.00 FEET TO THE EAST RIGHT OF WAY LINE OF SELVITZ ROAD AND THE POINT OF BEGINNING.

SELVITZ II, LLC
THE NORTH 1/2 OF THE SOUTHWEST 1/4, THE NORTH 1/2 OF THE SOUTHEAST 1/4 OF THE SOUTH WEST 1/4 AND THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4, ALL IN SECTION 32, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA; LESS AND EXCEPT THOSE PORTIONS OF THE ABOVE DESCRIBED PROPERTY DESCRIBED IN RIGHT-OF-WAY DEEDS RECORDED IN DEED BOOK 140, PAGE 207 AND DEED BOOK 140, PAGE 198, AND ALSO LESS AND EXCEPT RIGHT-OF-WAY FOR NORTH ST. LUCIE RIVER WATER MANAGEMENT DISTRICT CANAL NO. 101.

ALSO LESS AND EXCEPT THEREFROM:
A PARCEL OF LAND LYING IN SECTION 32, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: FOR A POINT OF REFERENCE, COMMENCE AT THE SOUTHWEST CORNER OF SAID SECTION 32; THENCE NORTH00°04'38" EAST, ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 32, A DISTANCE OF 1457.23 FEET; THENCE SOUTH 89°55'22" EAST, A DISTANCE OF 50.00 FEET TO THE EAST RIGHT-OF-WAY LINE OF SELVITZ ROAD AND THE POINT OF BEGINNING; THENCE NORTH 00°04'38" EAST, ALONG THE SAID EAST RIGHT-OF-WAY LINE, A DISTANCE OF 1013.67 FEET; THENCE SOUTH 89°58'14" EAST, A DISTANCE OF 150.00 FEET; THENCE NORTH 45°01'46" EAST, A DISTANCE OF 42.43 FEET; THENCE SOUTH 89°58'14" EAST, A DISTANCE OF 2007.17 FEET; THENCE SOUTH 00°07'05" EAST, A DISTANCE OF 1563.08 FEET; THENCE SOUTH 89°55'13" WEST, A DISTANCE OF 1414.65 FEET; THENCE NORTH00°01'42" EAST, A DISTANCE OF 463.09 FEET; THENCE SOUTH 89°57'24" WEST, A DISTANCE OF 577.30 FEET; THENCE NORTH 45°02'36" WEST, A DISTANCE OF 70.71 FEET; THENCE SOUTH 89°57'24" WEST, A DISTANCE OF 150.00 FEET TO THE EAST RIGHT OF WAY LINE OF SELVITZ ROAD AND THE POINT OF BEGINNING.

SELVITZ III, LLC
THE SOUTH ONE-HALF OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA. EXCEPTING THERE FROM, EASEMENTS FOR PUBLIC ROADS AND DRAINAGE CANALS.

CONTAINING: 5,349,168 SQUARE FEET OR 122.8 ACRES, MORE OR LESS.

TRAFFIC STATEMENT

x

DRAINAGE STATEMENT

THE PROPOSED DRAINAGE SYSTEM WILL CONSIST OF A NETWORK OF PIPES AND CATCH BASINS INTERCONNECTING THE ROADWAYS TO THE PROPOSED ONSITE LAKES. WATER QUALITY WILL BE ACHIEVED WITHIN THE LAKE.

AS THE OVERALL PROPERTY IS DEVELOPED LAKES AND DITCHES WILL BE CONSTRUCTED TO PROVIDE SUFFICIENT ATTENUATION OF RUN-OFF AT VARIOUS STAGES OF THE PROJECT UNTIL THE OVERALL LAKE AND DRAINAGE SYSTEM IS COMPLETE.

THE PROJECT OUTFALL LOCATION IS THE NORTH ST. LUCIE WATER CONTROL DISTRICT LOCATED NORTH OF THE PROJECT SITE.

PROJECT TEAM

OWNER/CLIENT:
SELVITZ I/II/III
631 US HWY 1, SUITE 409
NORTH PALM BEACH, FL 33408
561.653.1104

AGENT/LANDSCAPE ARCHITECT/PLANNER:
COTLEUR & HEARING, INC.
1934 COMMERCE LANE, SUITE 1
JUPITER, FL 33458
561.515.4450

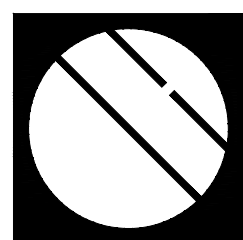
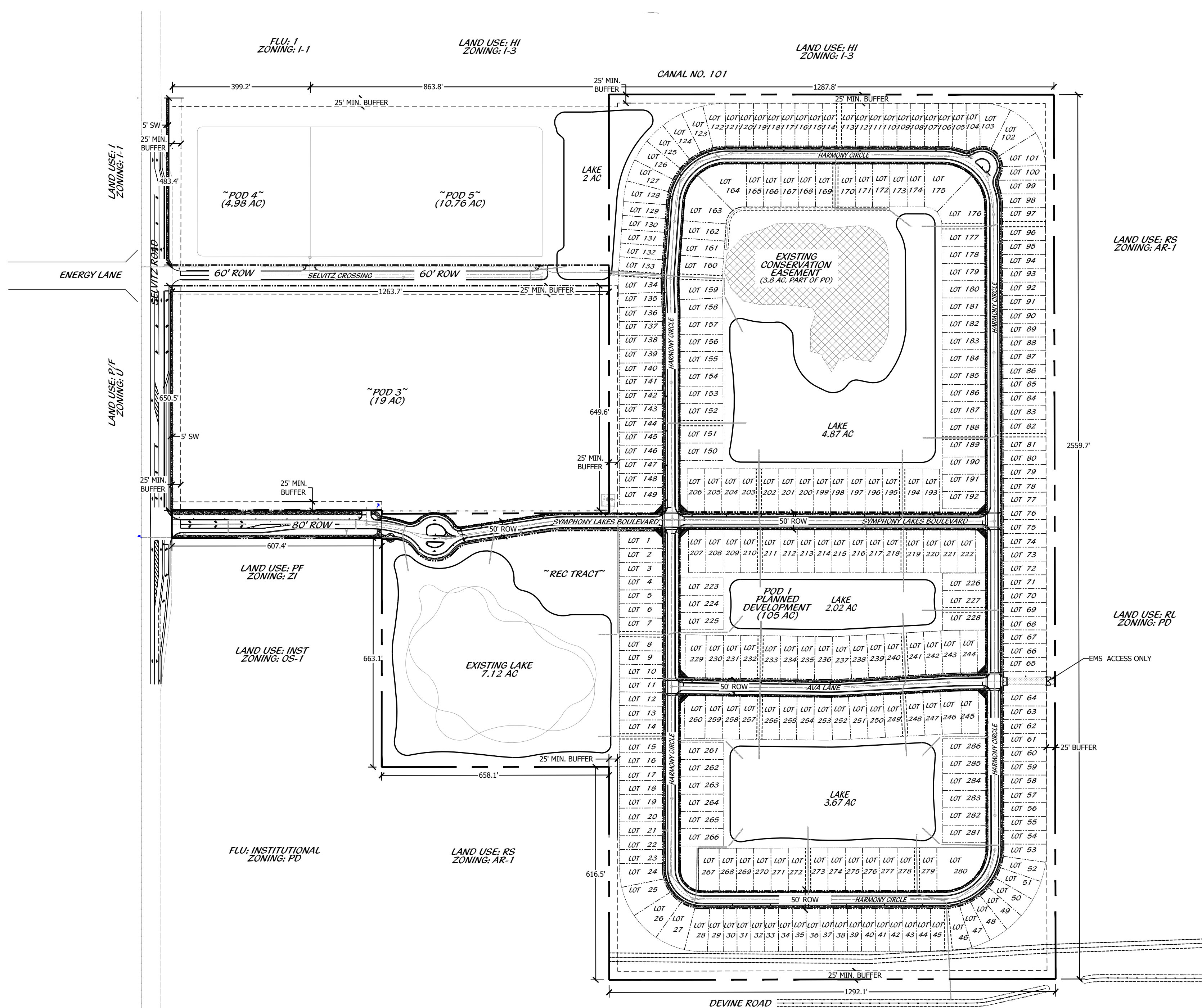
TRAFFIC:
MACKENZIE ENGINEERING AND PLANNING
1172 SW 30TH ST, SUITE 500
PALM CITY, FL 34910
772.286.8030

SURVEYOR:
LIDBERG LAND SURVEYING
675 WEST INDIANTOWN RD, SUITE 200
JUPITER, FL 33458
561.746.8454

ENVIRONMENTAL:
ADVANCED RESTORATION ECOLOGY
2593 NE ROBERTA ST
JENSON BEACH, FL 34957
772.424.7200

ENGINEER:
MILLS SHORT & ASSOCIATES
700 22ND PLACE
VERO BEACH, FL 32960
772.226.7282

TOTAL UNITS 286 DU
(40'X125') 149 LOTS
(50'X125') 137 LOTS



Cotleur & Hearing

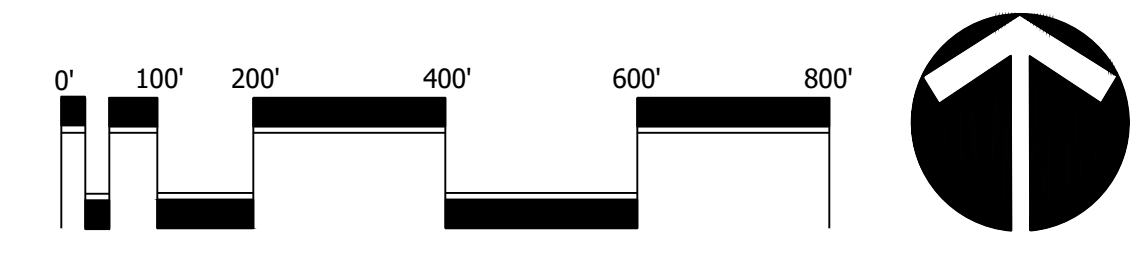
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SYMPHONY LAKES

Ft. Pierce, Florida

PLANNED DEVELOPMENT FINAL SITE PLAN

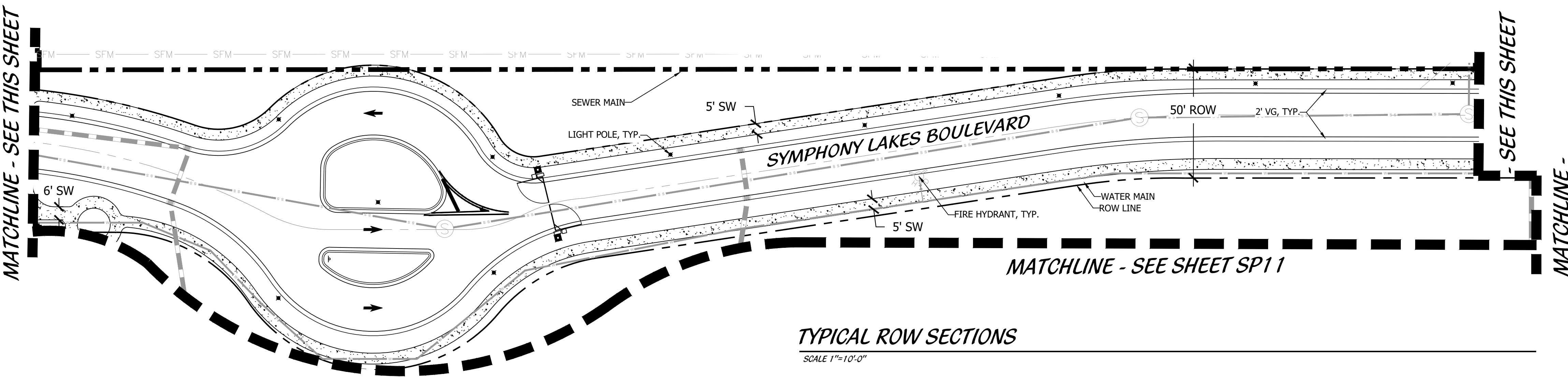
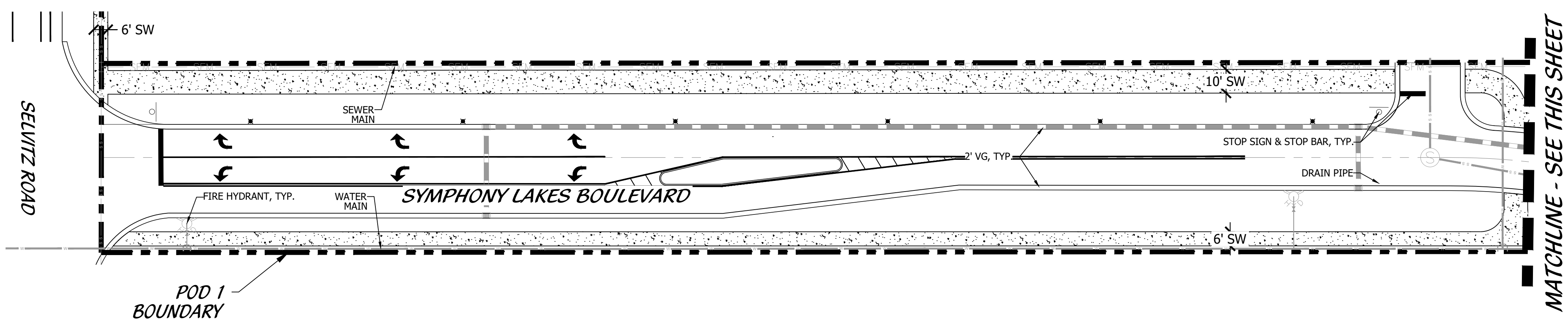


Scale: 1" = 200'-0"

North

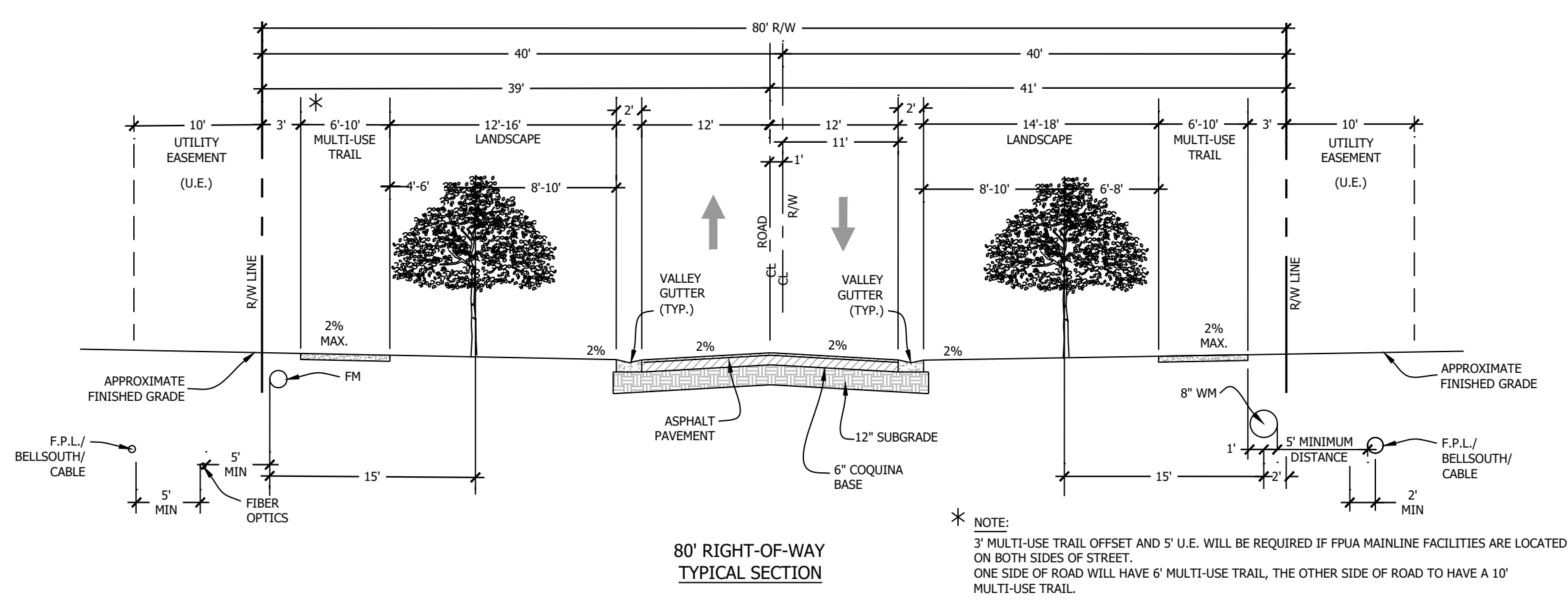
SHEET SP1 OF 12

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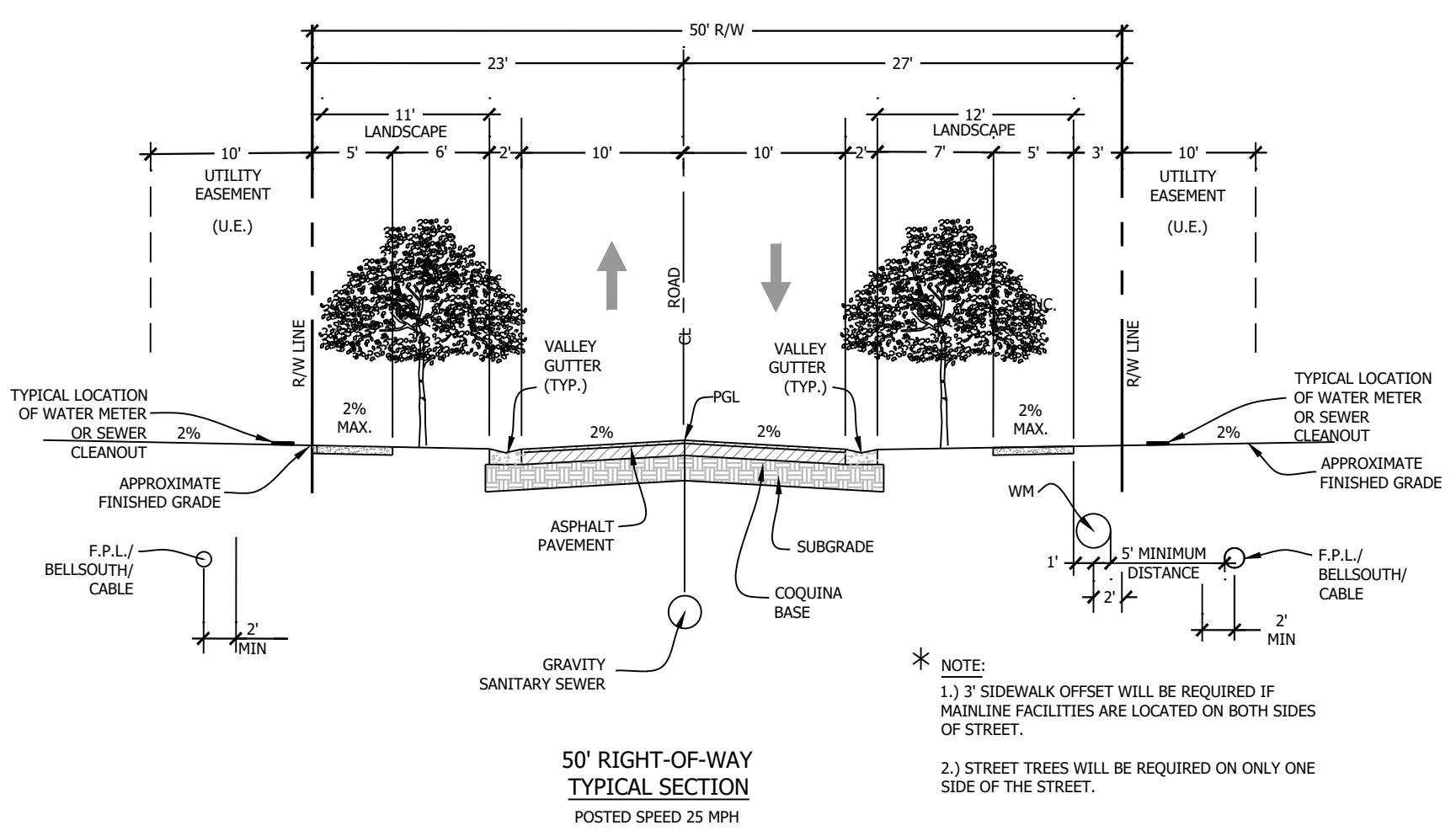


TYPICAL ROW SECTIONS

SCALE 1"=10'-0"



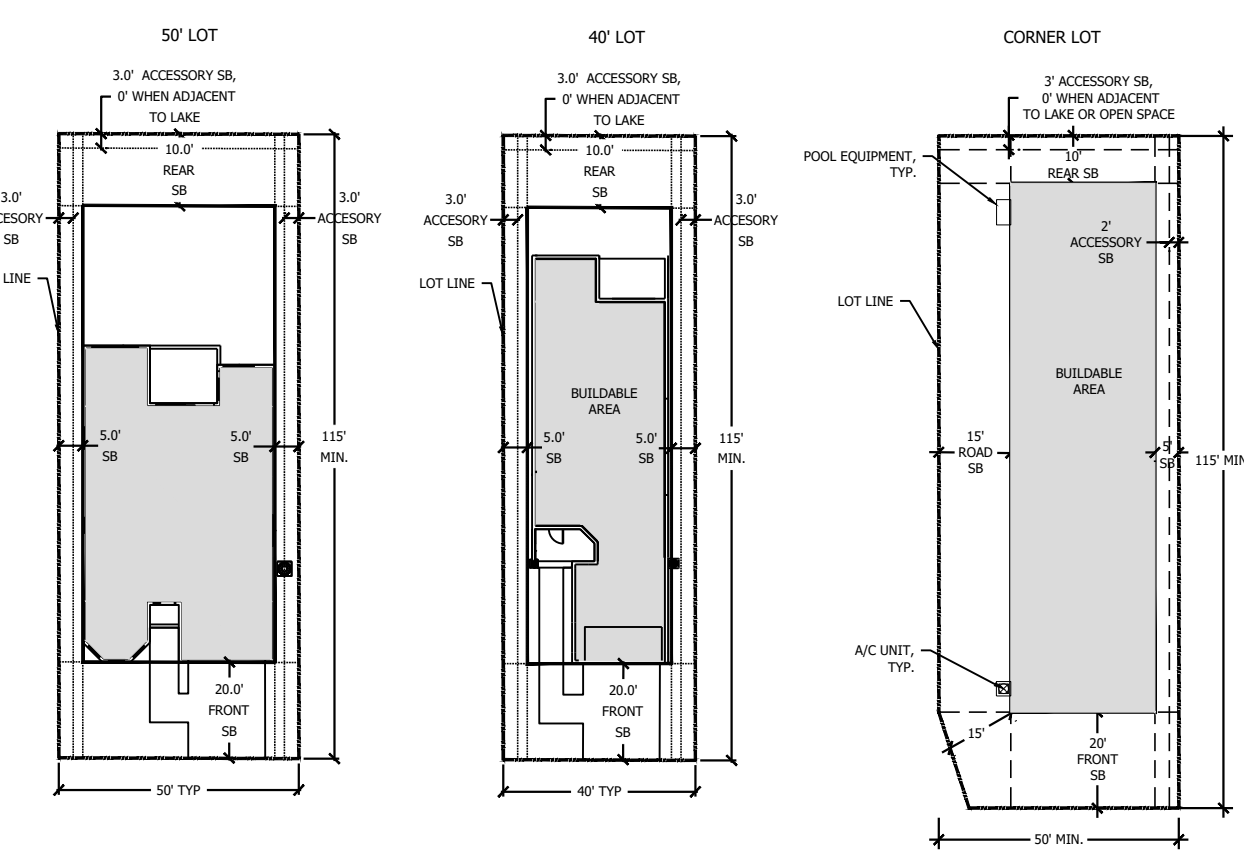
80' RIGHT-OF-WAY TYPICAL SECTION



50' RIGHT-OF-WAY TYPICAL SECTION
POSTED SPEED 25 MPH

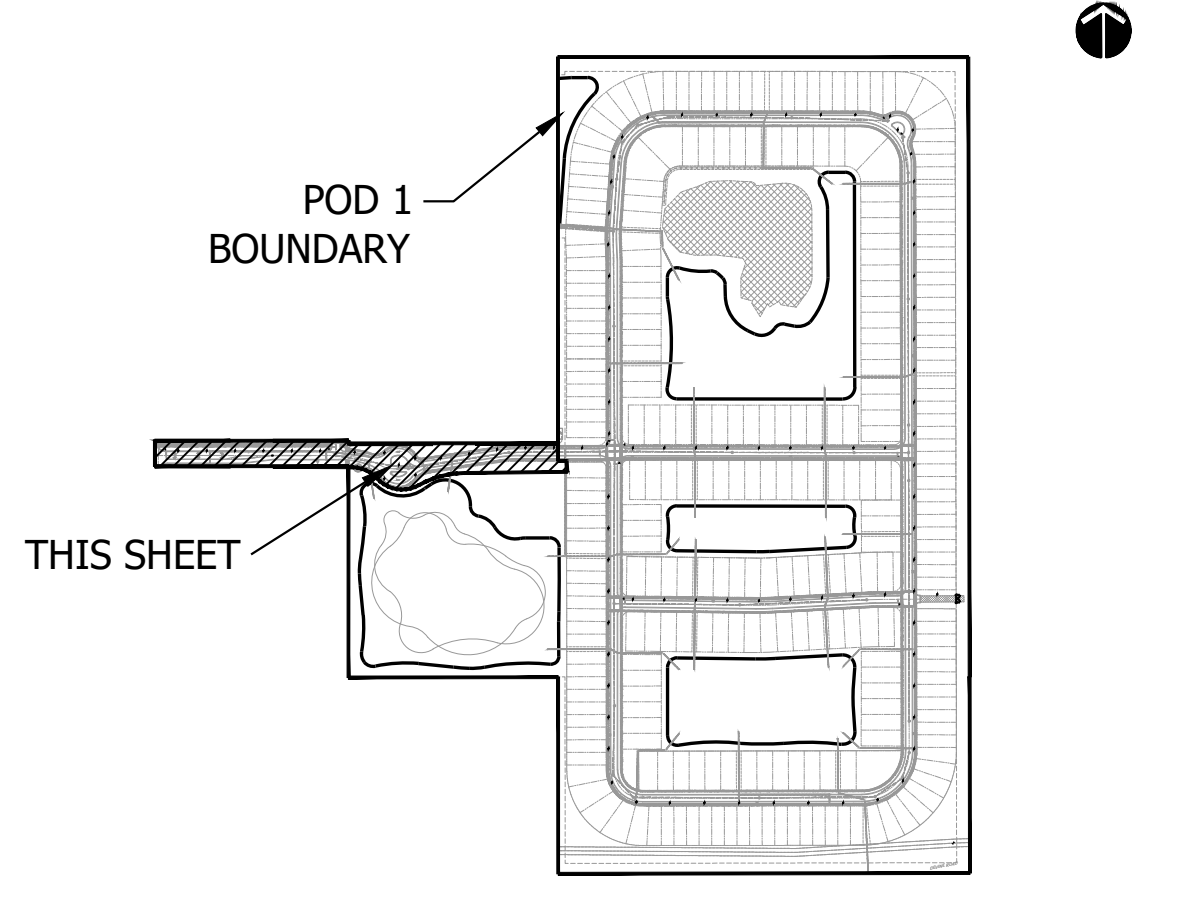
TYPICAL LOT LAYOUTS

SCALE 1"=40'-0"



IF ADJACENT TO AN OPEN SPACE TRACT 15' IN WIDTH OR GREATER, THE SIDE CORNER LOT SETBACK CAN BE REDUCED TO 5' WHEN NOT ADJACENT TO AN OPEN SPACE TRACT, USE OF TRACK SHALL BE A MINIMUM OF 15' ON STREET SIDE.

KEY MAP



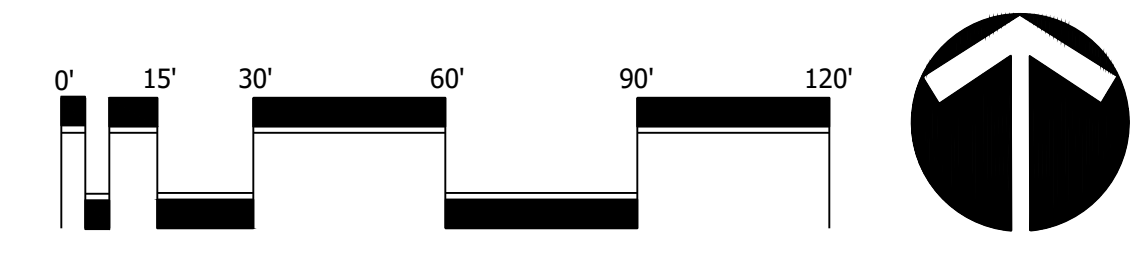
LEGEND

- LB LANDSCAPE BUFFER
- LS LANDSCAPE
- SB SETBACK
- SW SIDEWALK
- TYP TYPICAL
- DE DRAINAGE EASEMENT
- STOP SIGN
- DO NOT ENTER
- PEDESTRIAN CROSSING
- STREET LIGHT
- PRESERVE

DEVELOPMENT STANDARDS DATA

Table 1. DEVELOPMENT USED AND STANDARDS	
DEVELOPMENT STANDARD	SINGLE FAMILY
PRIMARY STRUCTURE	
Minimum Lot Width	40'
Minimum Lot Depth	115'
Maximum Lot Depth	None
Maximum Building Lot Coverage	80%
Maximum Impervious Lot Coverage	80%
Minimum Open Space	20%
Minimum Front Setback (Front Loaded)	18'
Minimum Front Setback (Side Loaded)	10'
Minimum Side Setback (Internal Lot) (May be 0' on a zero-lot-line provided that minimum building separation of 10' is maintained between units)	5'
Minimum Side Setback (Front-Entry)	15'
Minimum Side Setback (Corner Lot)	15'
Minimum Rear Setback (Corner Lot)	10'
Minimum Rear Setback (Internal Lot)	10'
ACCESSORY STRUCTURES	
Minimum Rear Setback	3'
If adjacent to open space, lake or common area tract 25' or wider	0'
Minimum Side Setback (Internal Lot)	2' (2' from property line)
Minimum Side Setback (Corner Lot)	15'

PLANNED DEVELOPMENT FINAL SITE PLAN



Scale: 1" = 30'-0"

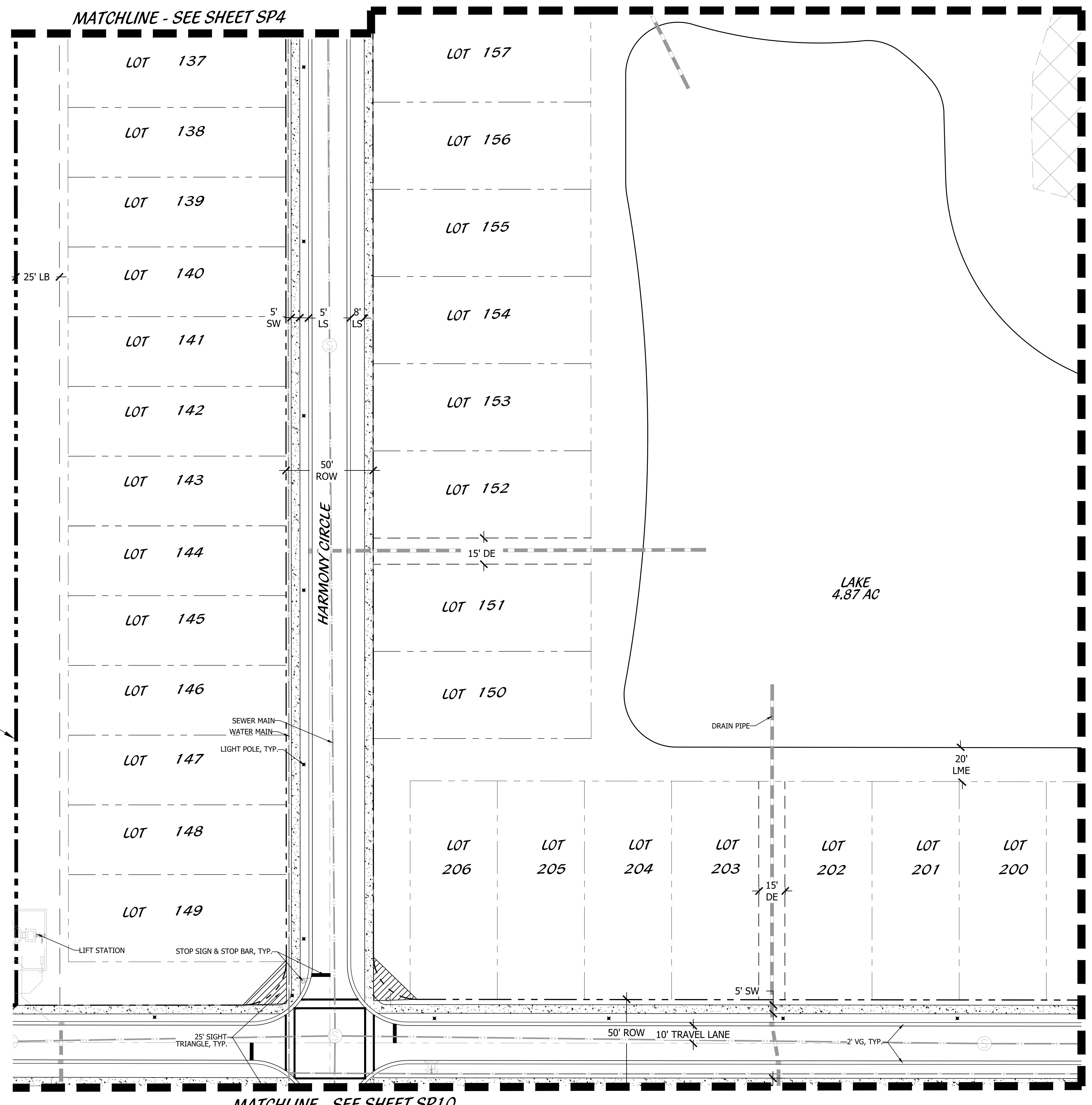
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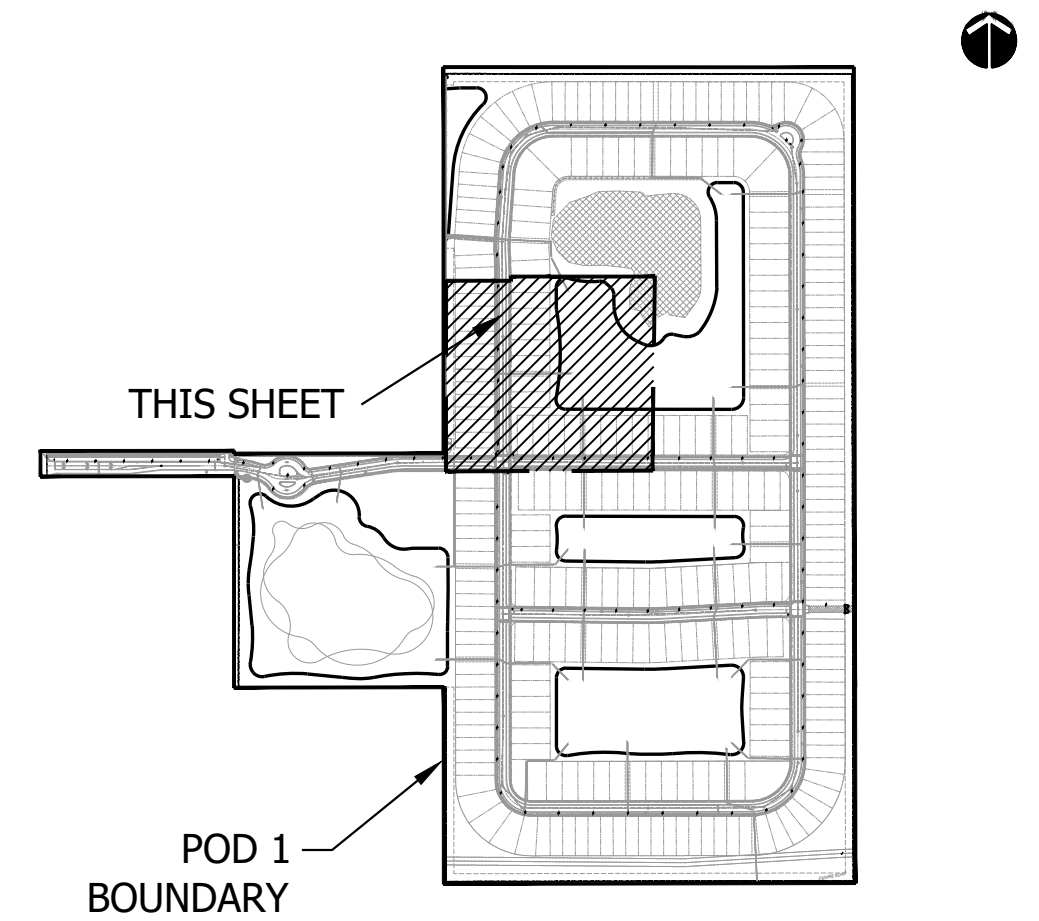
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Ft. Pierce, Florida

DESIGNED	PRP
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APPROVED	LAH
JOB NUMBER	21-1214
DATE	05-15-25
REVISIONS	



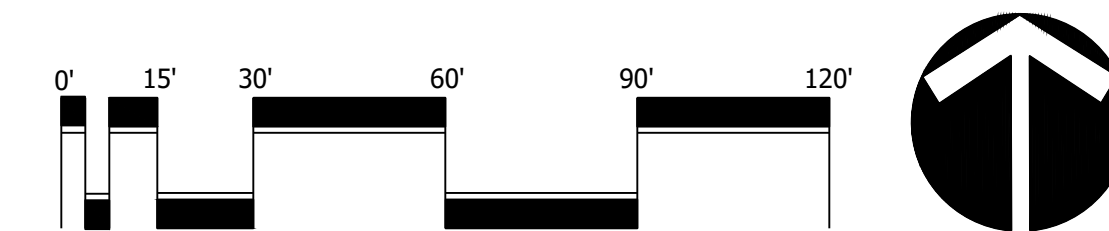
KEY MAP



LEGEND

LB	LANDSCAPE BUFFER	STOP SIGN
LS	LANDSCAPE SETBACK	DO NOT ENTER
SB	SETBACK	PEDESTRIAN CROSSING
SW	SIDEWALK	STREET LIGHT
TYP	TYPICAL	PRESERVE
DE	DRAINAGE EASEMENT	

PLANNED DEVELOPMENT
FINAL SITE PLAN



Scale: 1" = 30'-0"

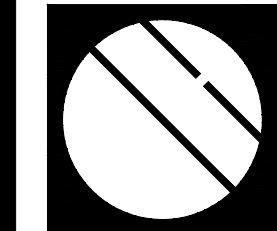
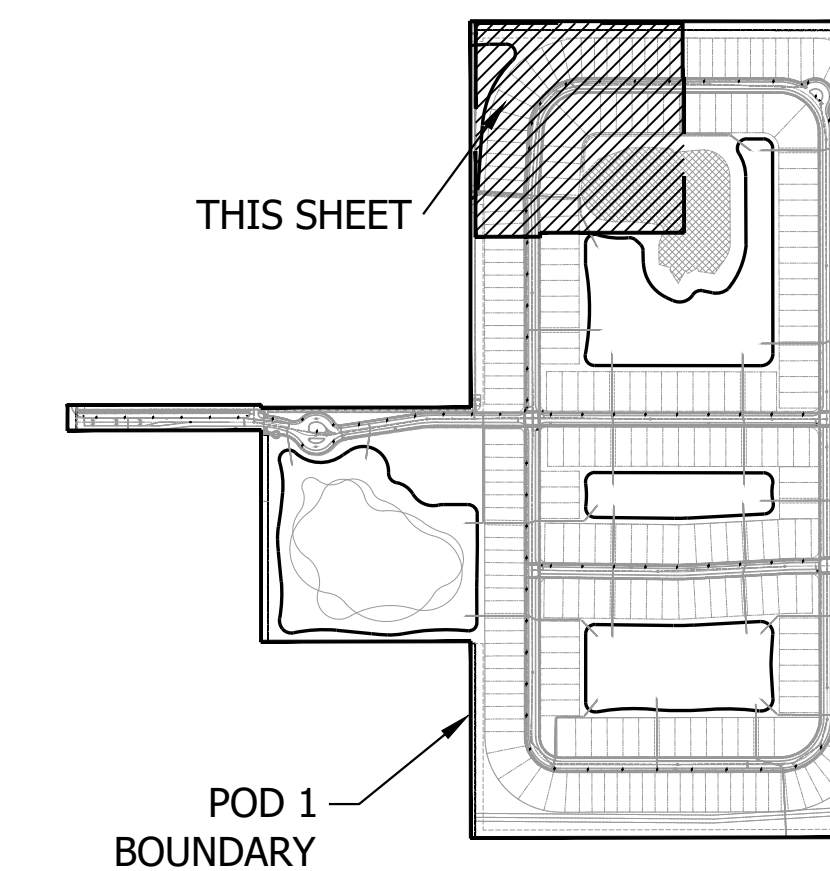
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CANAL NO. 101

KEY MAP



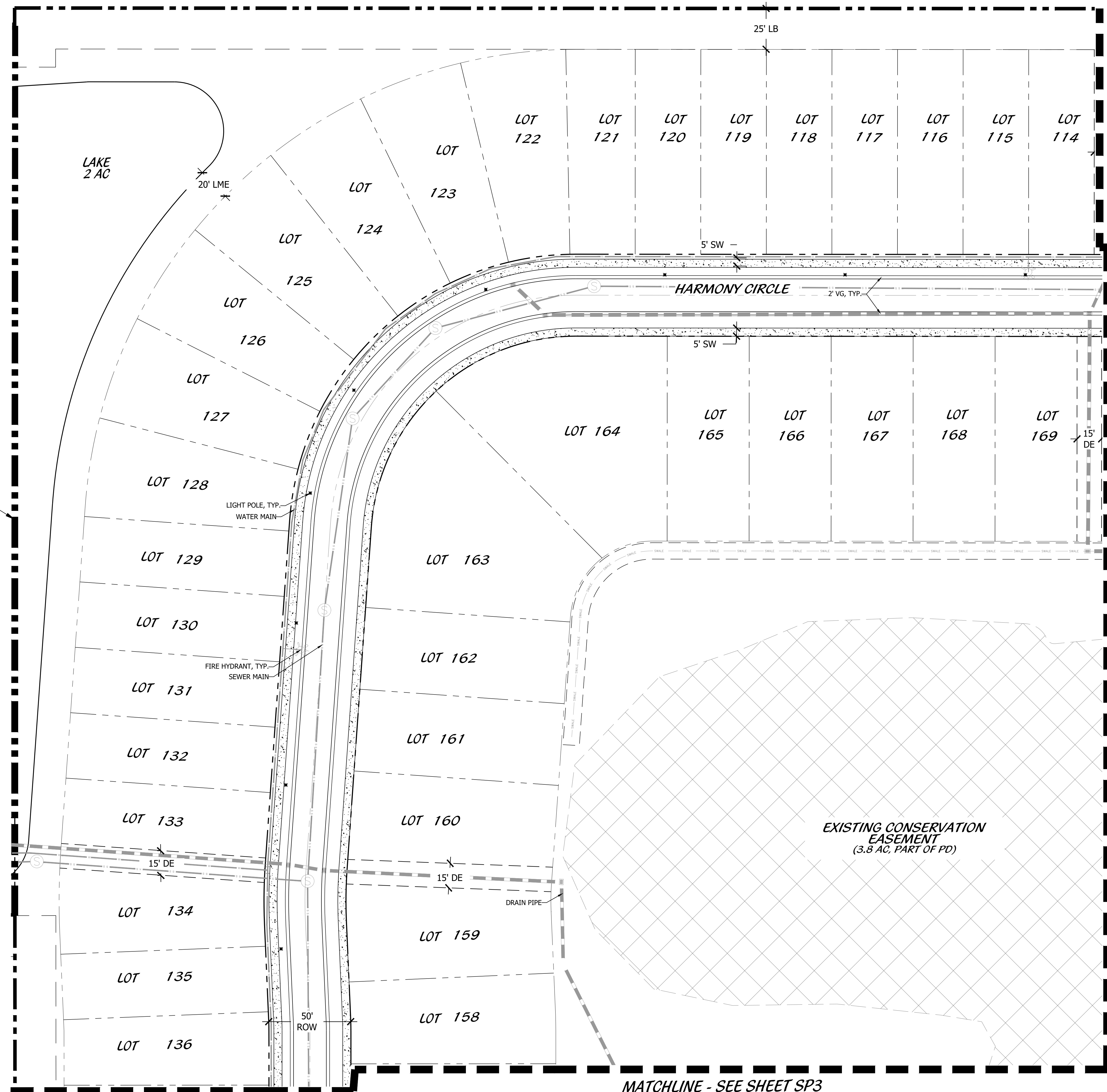
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POD 1
BOUNDARY



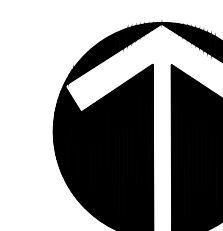
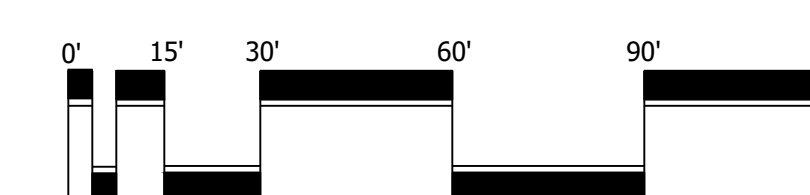
MATCHLINE - SEE SHEET SP5

MATCHLINE - SEE SHEET SP3

LEGEND

- | | | |
|-----|-------------------|---------------------|
| LB | LANDSCAPE BUFFER | STOP SIGN |
| LS | LANDSCAPE SETBACK | DO NOT ENTER |
| SB | SETBACK | PEDESTRIAN CROSSING |
| SW | SIDEWALK | STREET LIGHT |
| TYP | TYPICAL | PRESERVE |
| DE | DRAINAGE EASEMENT | |

PLANNED DEVELOPMENT FINAL SITE PLAN



Scale: 1" = 30'-0"

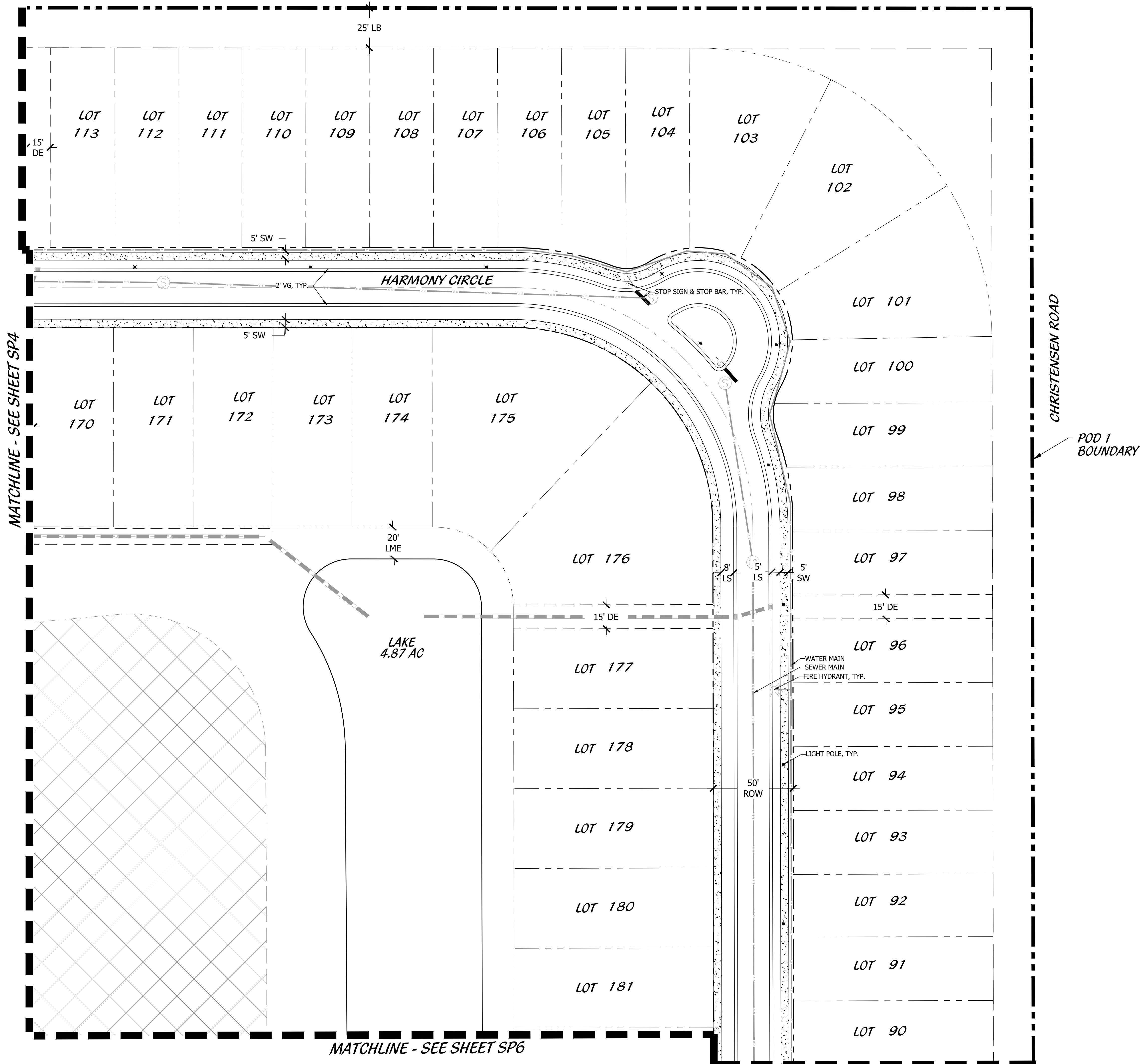
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 APPROVED _____ LAH
 JOB NUMBER 21-1214
 DATE 05-15-25
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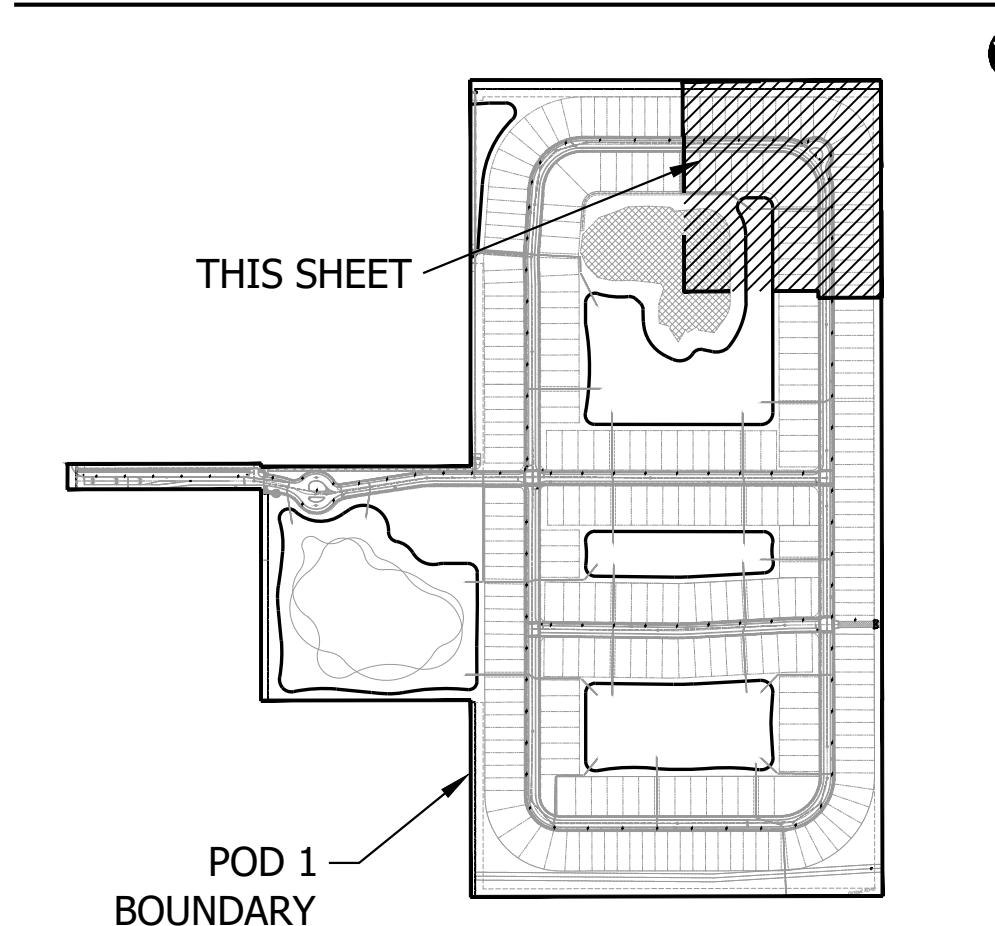
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KEY MAP



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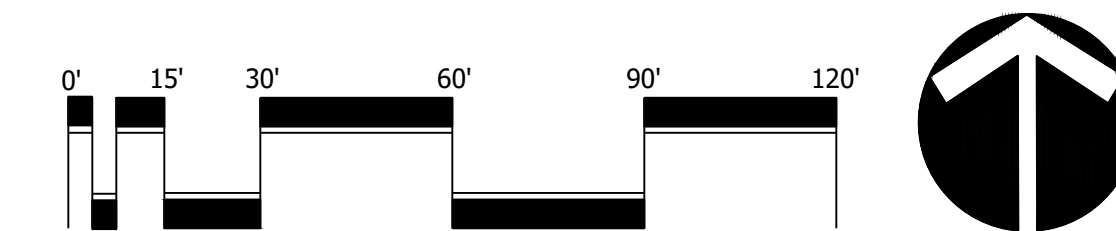
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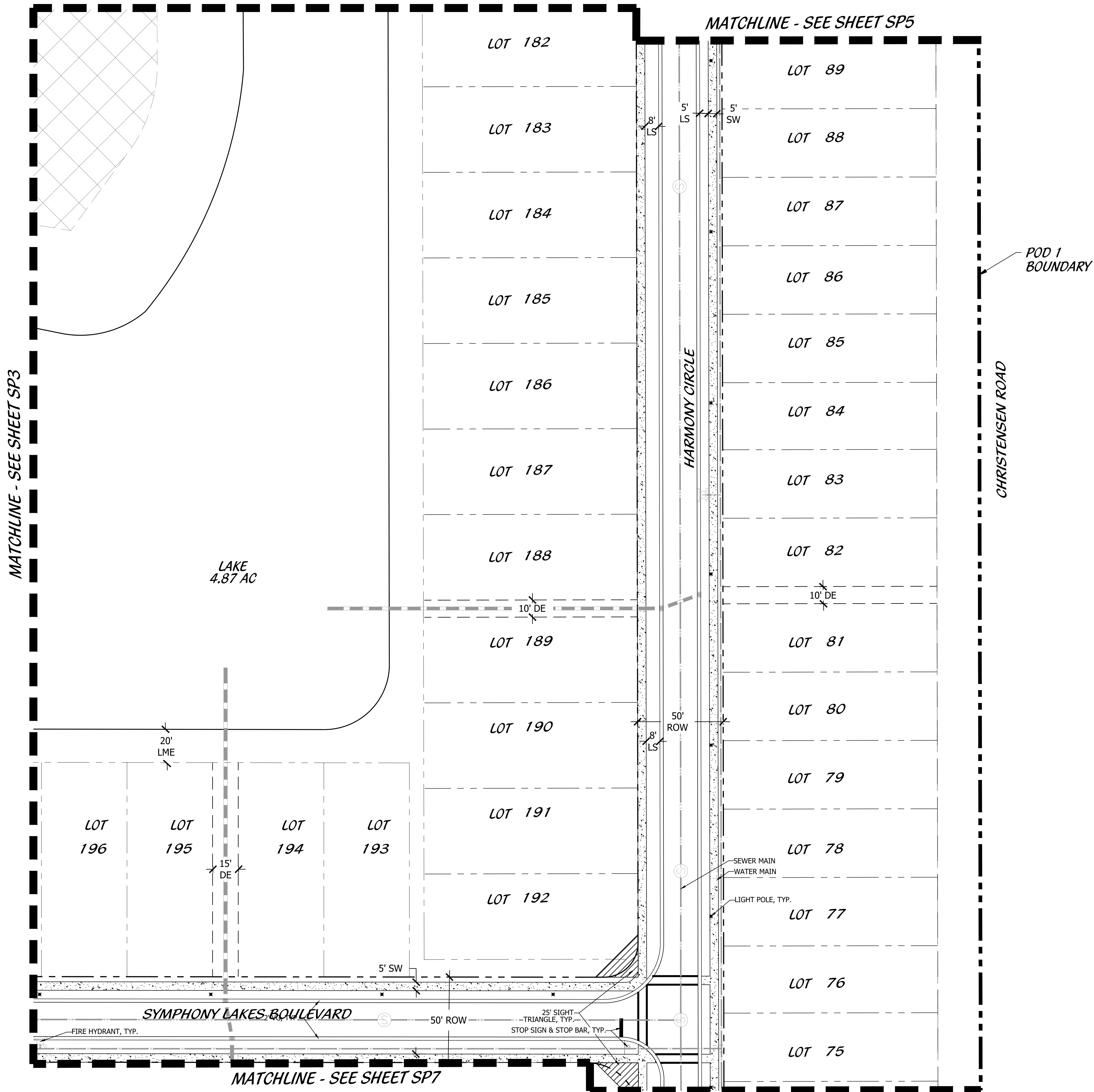
LEGEND

- | | | |
|-----|-------------------|---------------------|
| LB | LANDSCAPE BUFFER | STOP SIGN |
| LS | LANDSCAPE SETBACK | DO NOT ENTER |
| SB | SETBACK | PEDESTRIAN CROSSING |
| SW | SIDEWALK | STREET LIGHT |
| TYP | TYPICAL | PRESERVE |
| DE | DRAINAGE EASEMENT | |

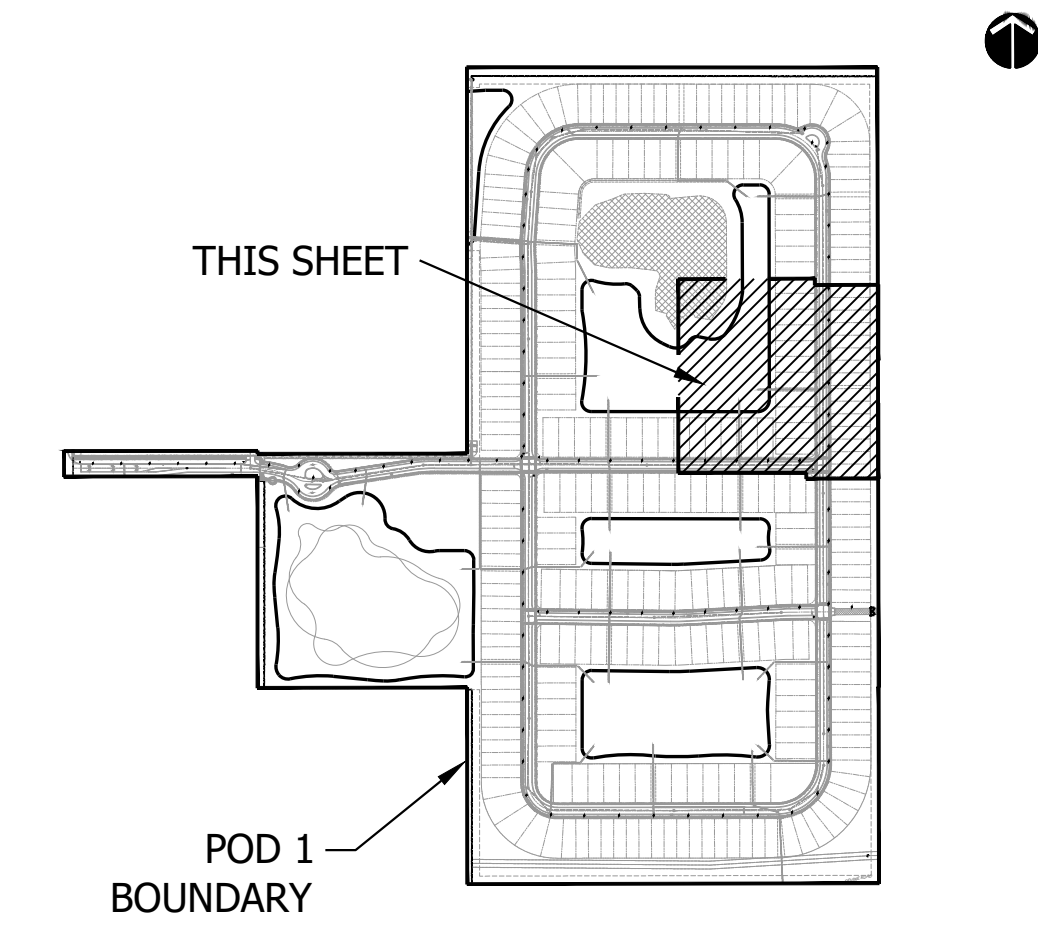
PLANNED DEVELOPMENT FINAL SITE PLAN



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 DATE 05-15-25
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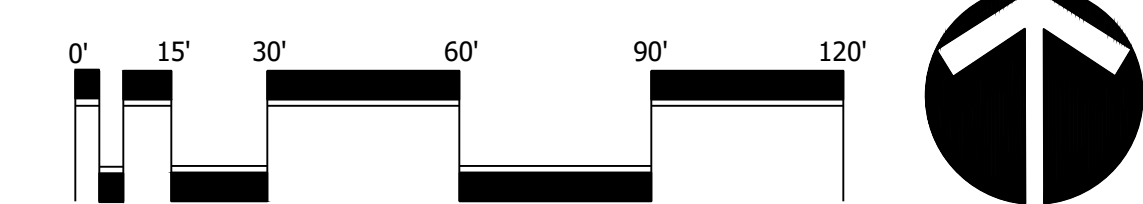
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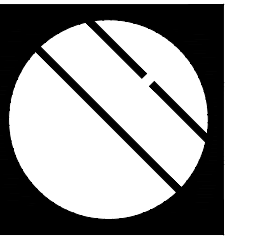
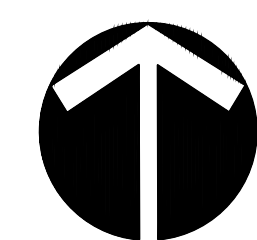
LEGEND

LB	LANDSCAPE BUFFER	STOP SIGN
LS	LANDSCAPE SETBACK	DO NOT ENTER
SB	SETBACK	PEDESTRIAN CROSSING
SW	SIDEWALK	STREET LIGHT
TYP	TYPICAL	PRESERVE
DE	DRAINAGE EASEMENT	

PLANNED DEVELOPMENT
FINAL SITE PLAN



Scale: 1" = 30'-0"



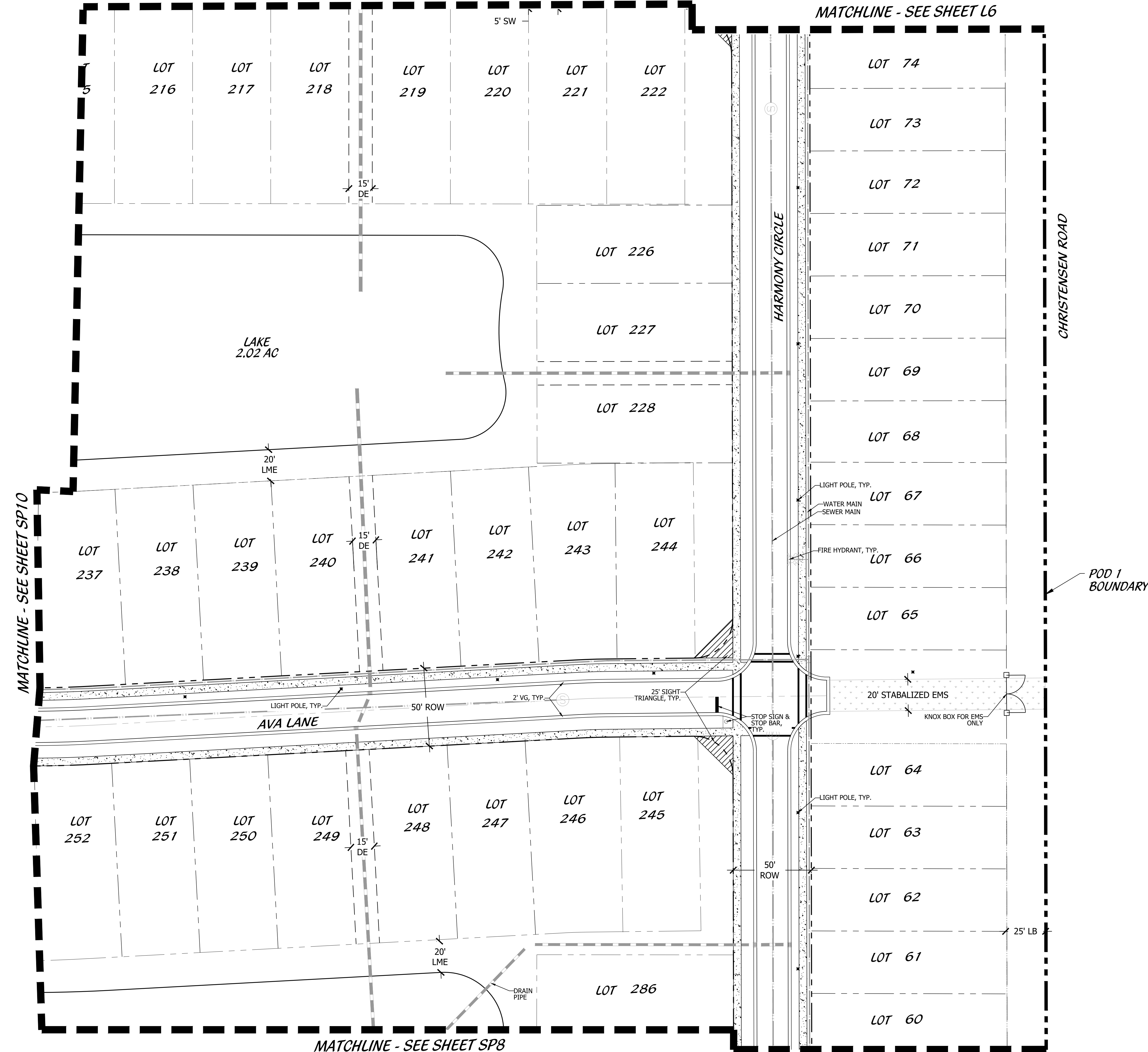
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Ft. Pierce, Florida

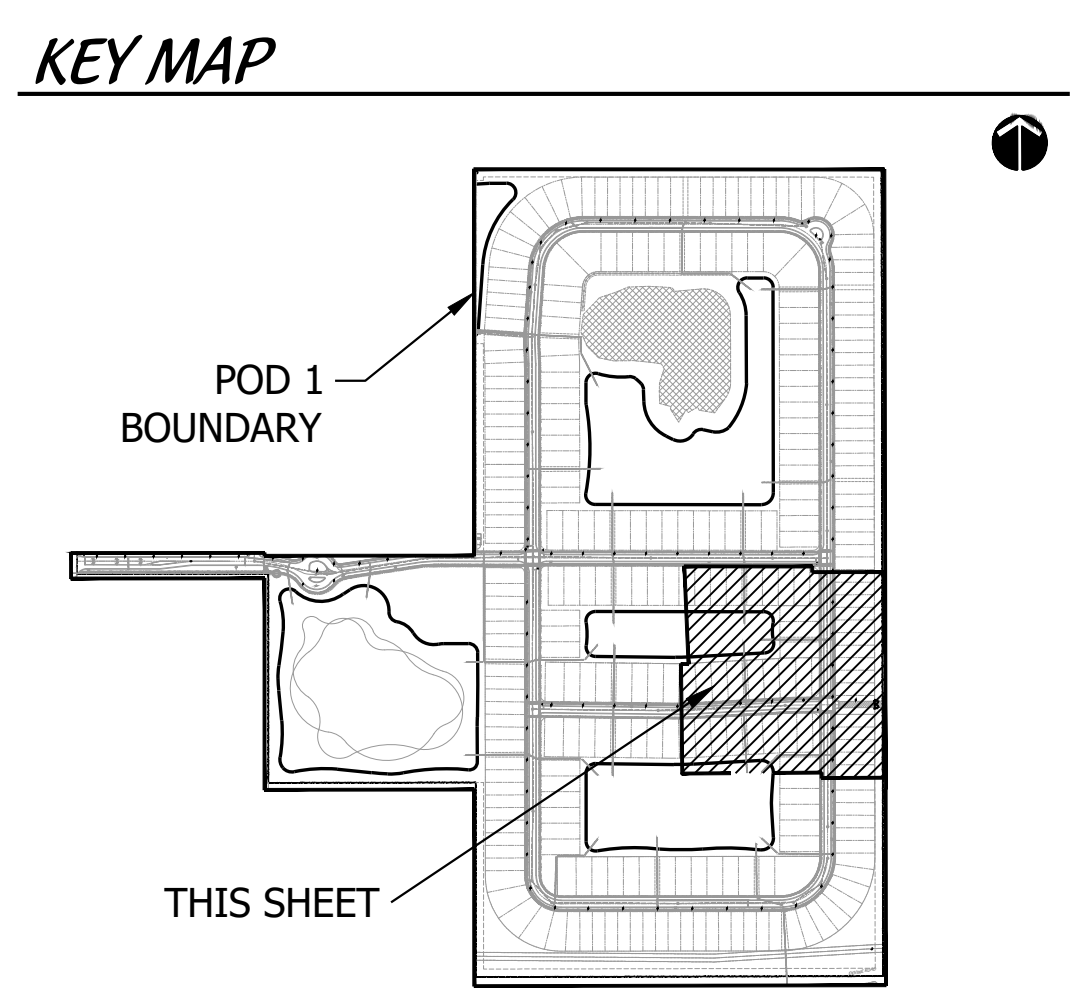
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APPROVED	LAH
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MATCHLINE - SEE SHEET L6

MATCHLINE - SEE SHEET SP10

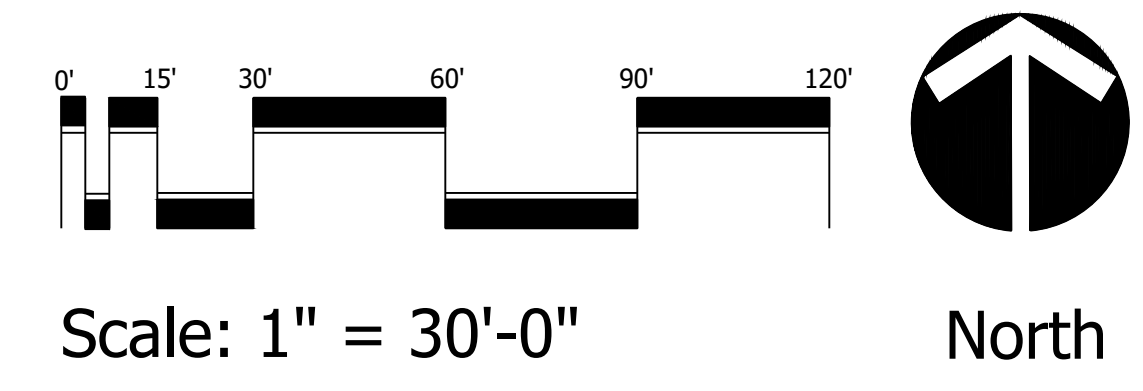
MATCHLINE - SEE SHEET SP8



LEGEND

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LS	LANDSCAPE SETBACK	DO NOT ENTER
SB	SETBACK	PEDESTRIAN CROSSING
SW	SIDEWALK	STREET LIGHT
TYP	TYPICAL	PRESERVE
DE	DRAINAGE EASEMENT	

**PLANNED DEVELOPMENT
FINAL SITE PLAN**

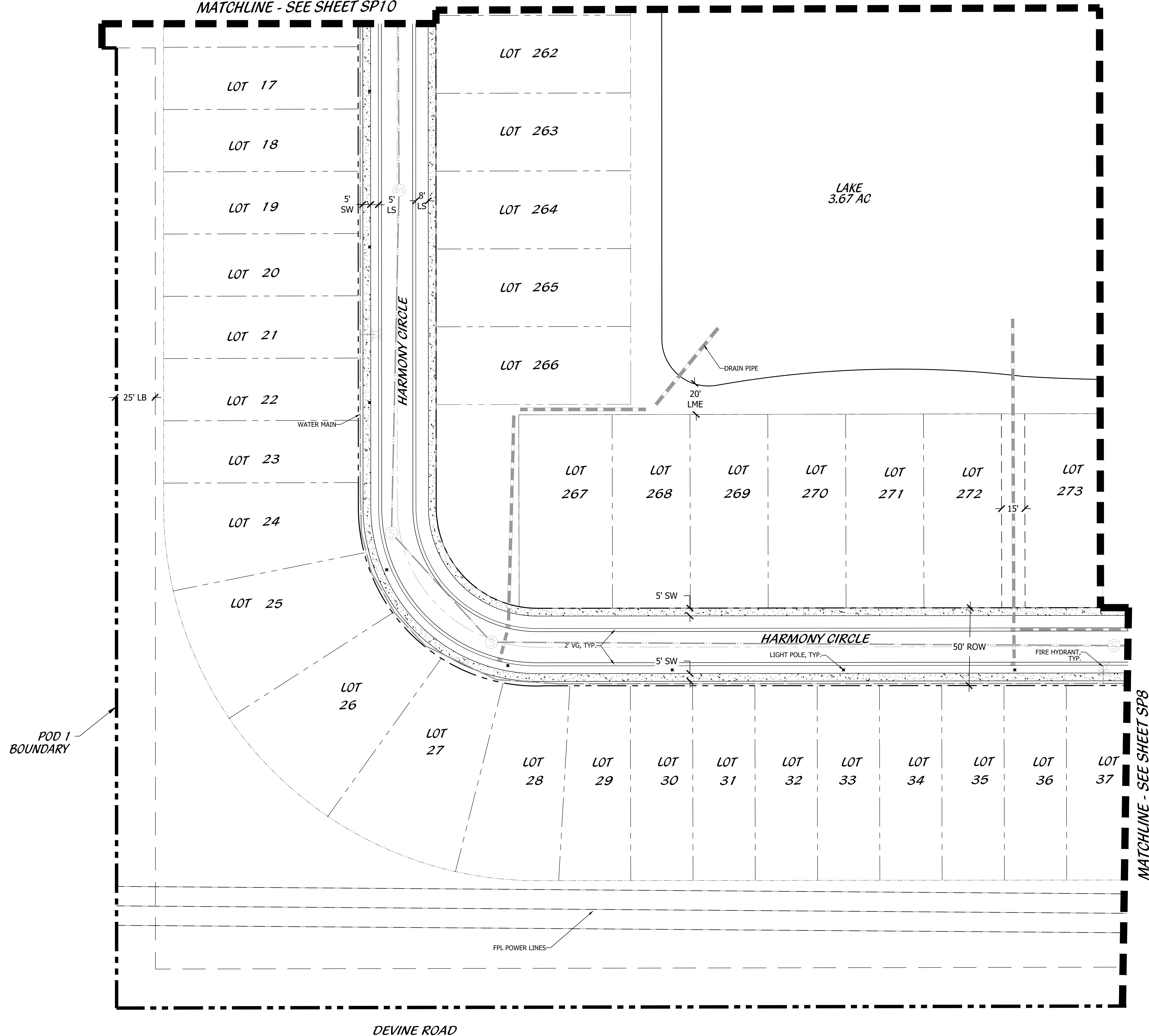


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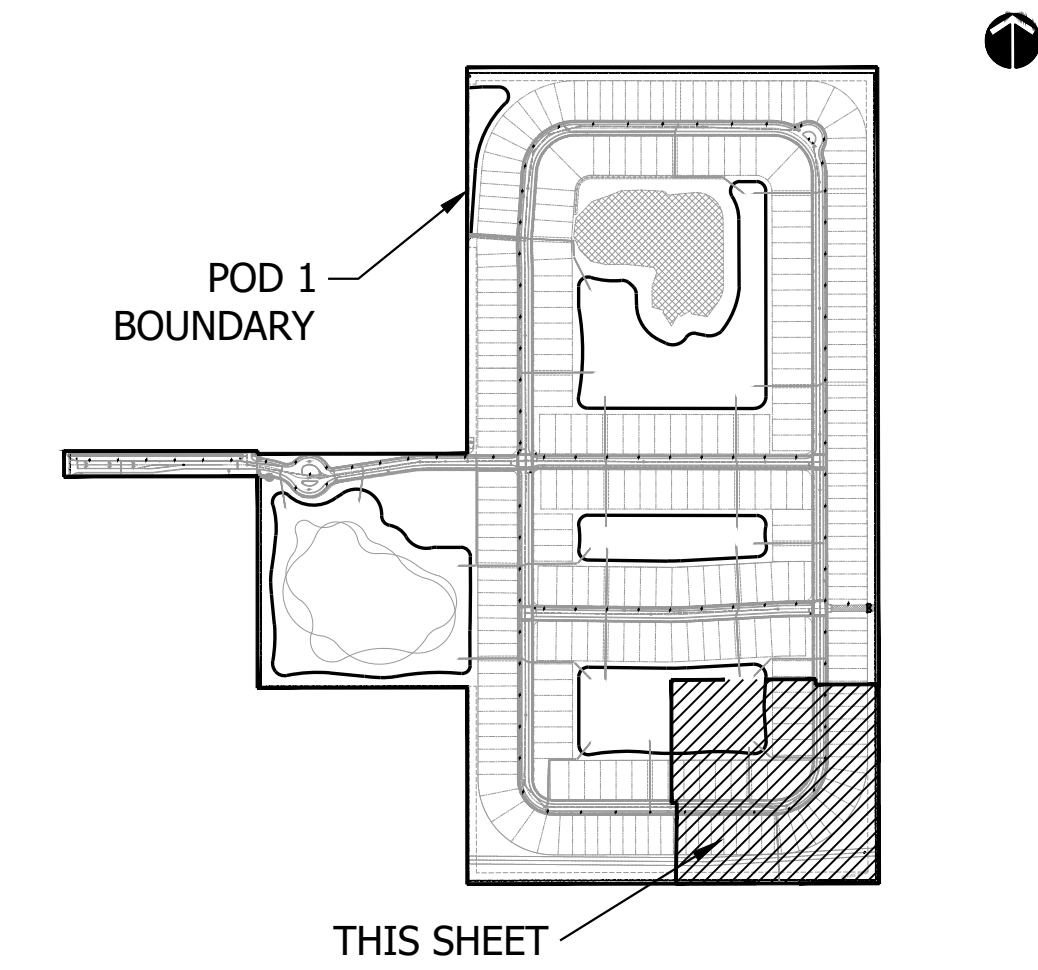
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APPROVED	LAH
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MATCHLINE - SEE SHEET SP10



KEY MAP



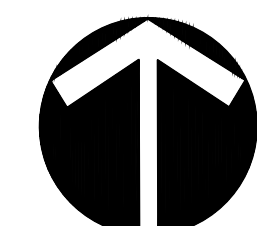
LEGEND

- | | | | |
|-----|-------------------|--|---------------------|
| LB | LANDSCAPE BUFFER | | STOP SIGN |
| LS | LANDSCAPE SETBACK | | DO NOT ENTER |
| SB | SETBACK | | PEDESTRIAN CROSSING |
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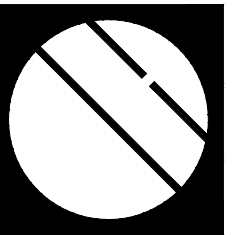
PLANNED DEVELOPMENT
FINAL SITE PLAN



Scale: 1" = 30'-0"



North



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SYMPHONY LAKES

Ft. Pierce, Florida

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REVISIONS _____

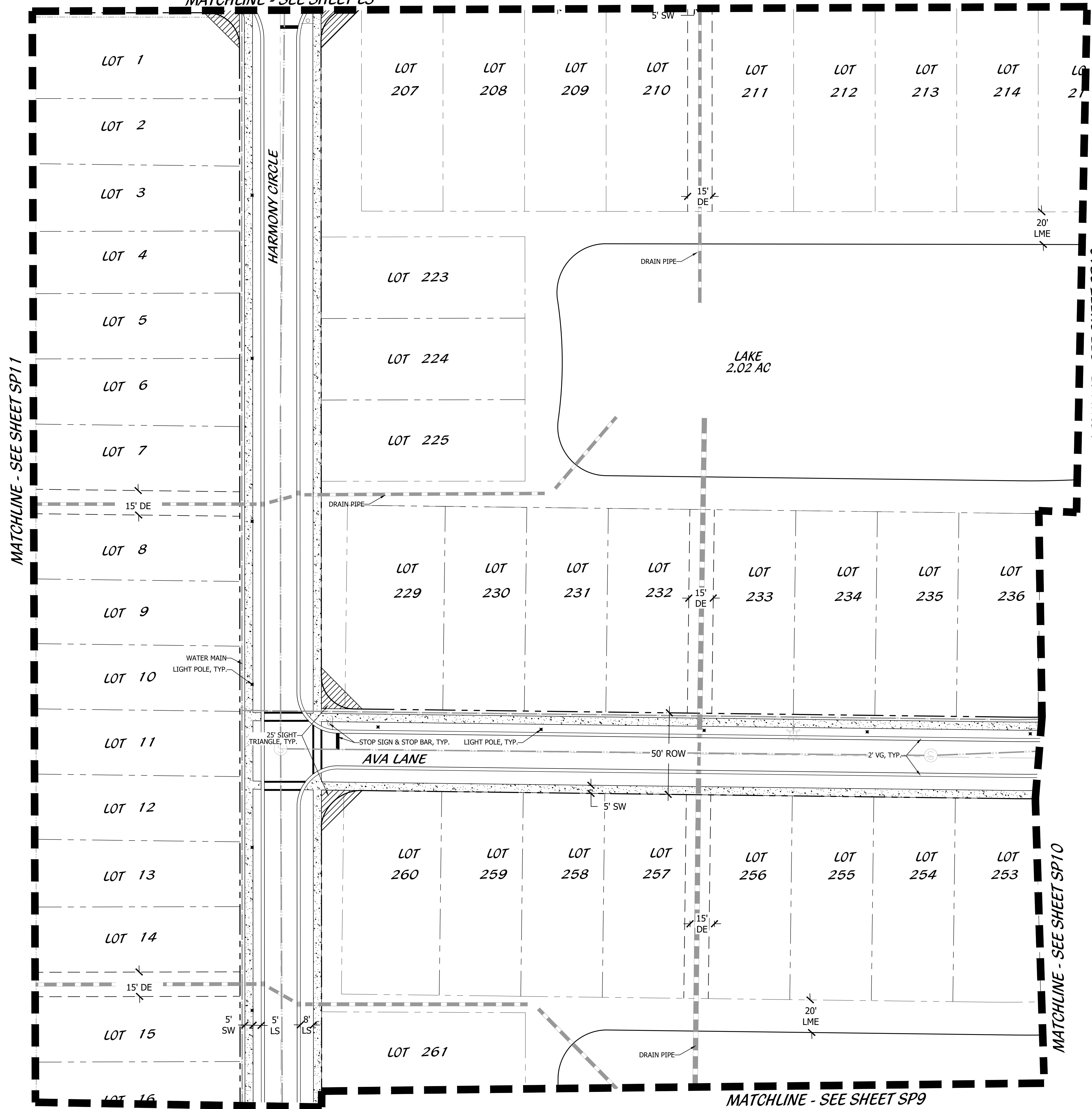
SHEET SP9 OF 12

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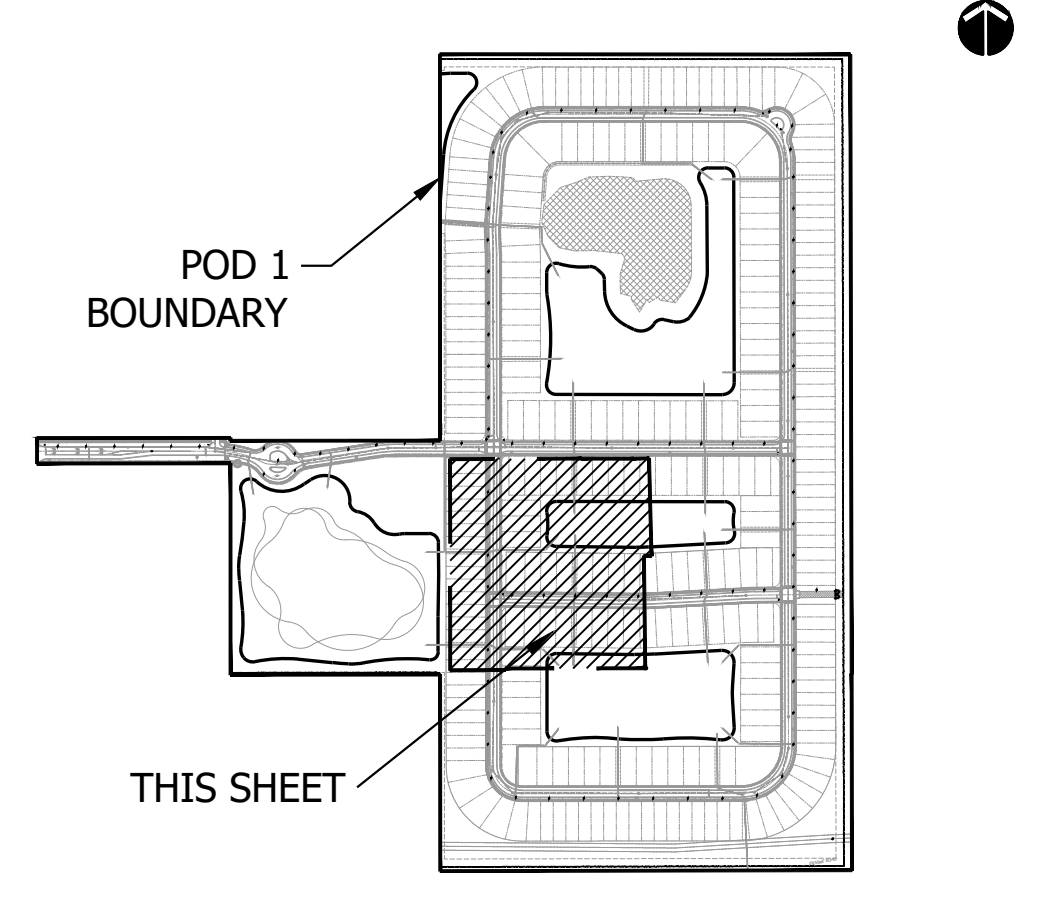
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MATCHLINE - SEE SHEET SP11

MATCHLINE - SEE SHEET SP10



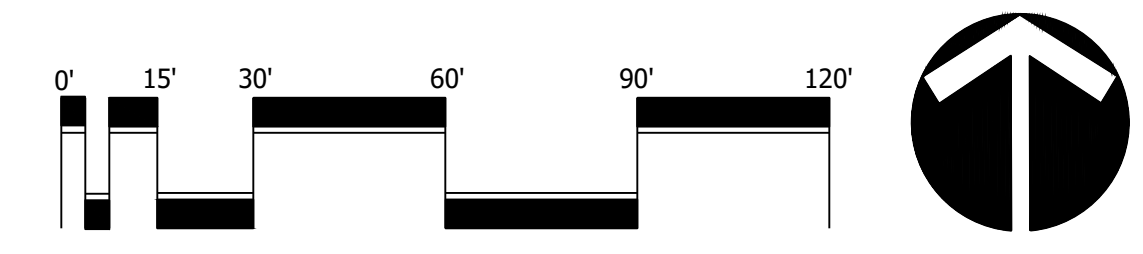
KEY MAP



LEGEND

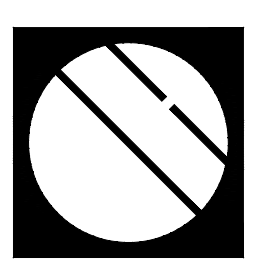
- | | | |
|-----|-------------------|---------------------|
| LB | LANDSCAPE BUFFER | STOP SIGN |
| LS | LANDSCAPE SETBACK | DO NOT ENTER |
| SB | SETBACK | PEDESTRIAN CROSSING |
| SW | SIDEWALK | STREET LIGHT |
| TYP | TYPICAL | PRESERVE |
| DE | DRAINAGE EASEMENT | |

PLANNED DEVELOPMENT FINAL SITE PLAN



Scale: 1" = 30'-0"

North



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 www.cotleurhearing.com
 Lic# LC-C000239

SYMPHONY LAKES

Ft. Pierce, Florida

DESIGNED	PRP
DRAWN	PRP
APPROVED	LAH
JOB NUMBER	21-1214
DATE	05-15-25
REVISIONS	

MATCHLINE - SEE SHEET SP2

~REC TRACT

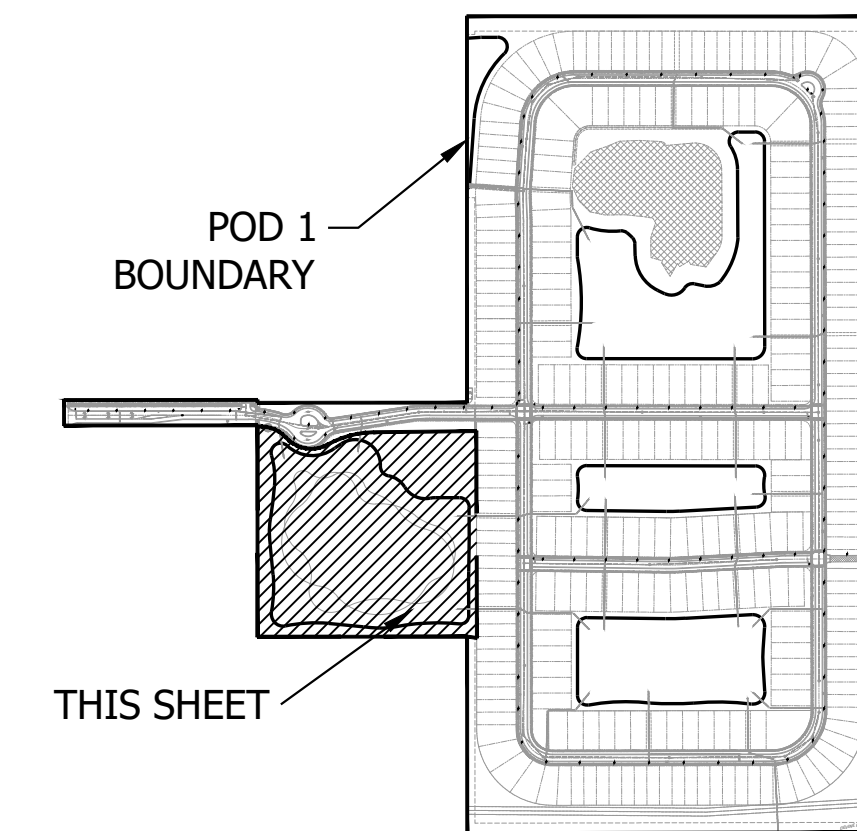
DRAIN PIPE

EXISTING LAKE
7.12 AC

MATCHLINE - SEE SHEET SP10

POD 1 BOUNDARY

KEY MAP

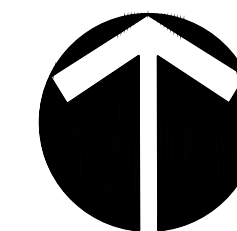
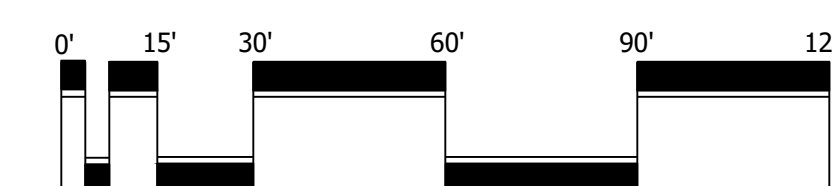


LEGEND

LB	LANDSCAPE BUFFER		STOP SIGN
LS	LANDSCAPE		DO NOT ENTER
SB	SETBACK		PEDESTRIAN CROSSING
SW	SIDEWALK		STREET LIGHT
TYP	TYPICAL		PRESERVE
DE	DRAINAGE EASEMENT		

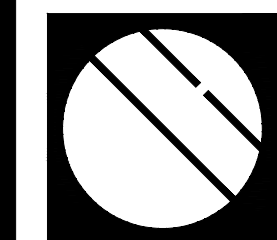
*NOTE:
SEPARATE SITE PLAN APPLICATION WILL BE
SUBMITTED FOR AMENITY REC TRACT 1

PLANNED DEVELOPMENT
FINAL SITE PLAN



Scale: 1" = 30'-0"

North



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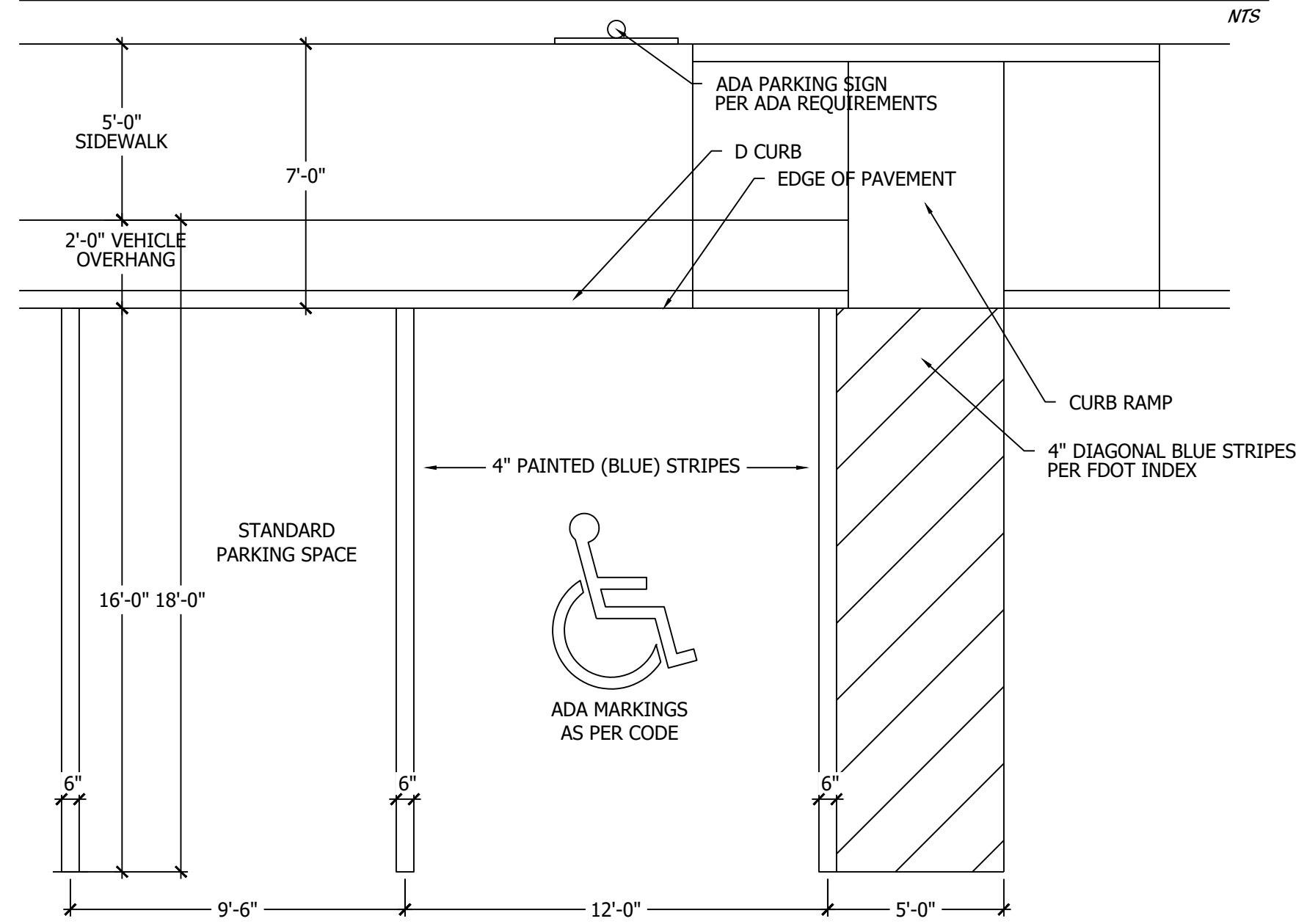
SYMPHONY LAKES

Ft. Pierce, Florida

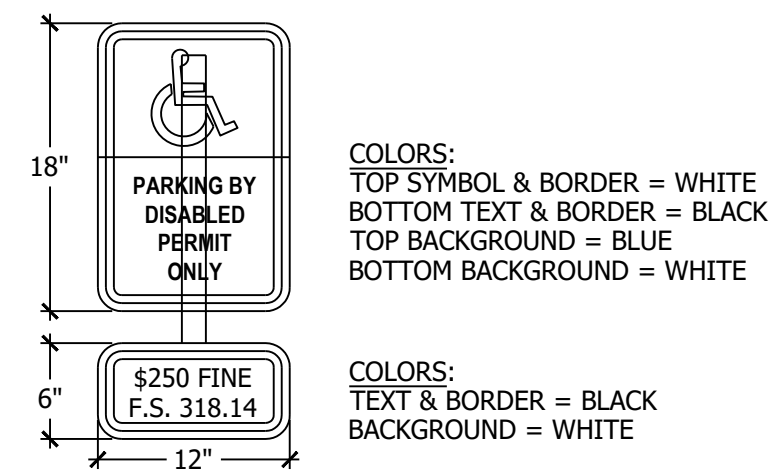
DESIGNED	PRP
DRAWN	PRP
APPROVED	LAH
JOB NUMBER	21-1214
DATE	05-15-25
REVISIONS	

SHEET SP11 OF 12
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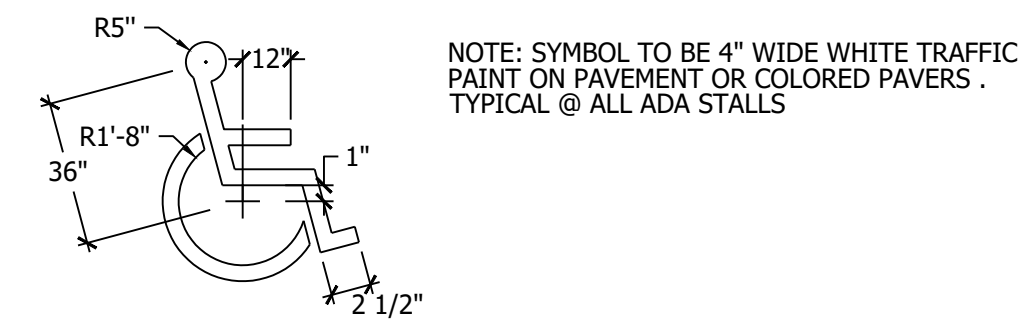
STANDARD AND ADA PARKING DETAIL



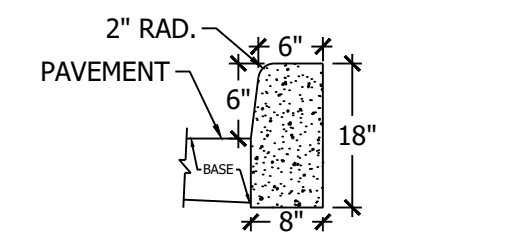
ADA SIGN DETAIL



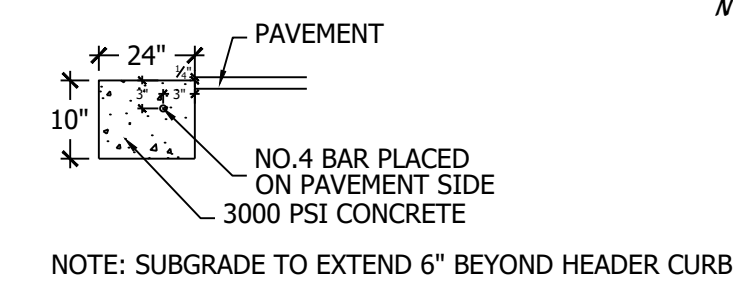
ADA SYMBOL DETAIL



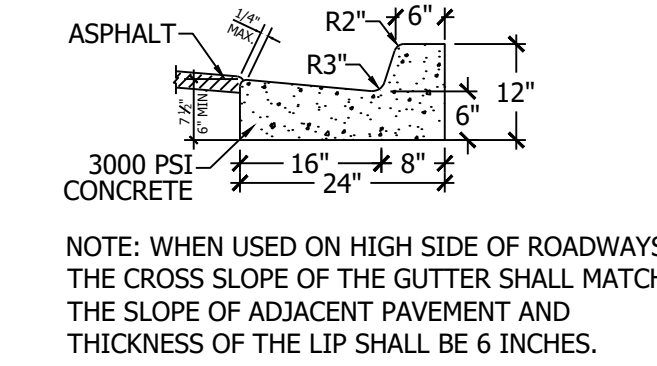
D CURB DETAIL



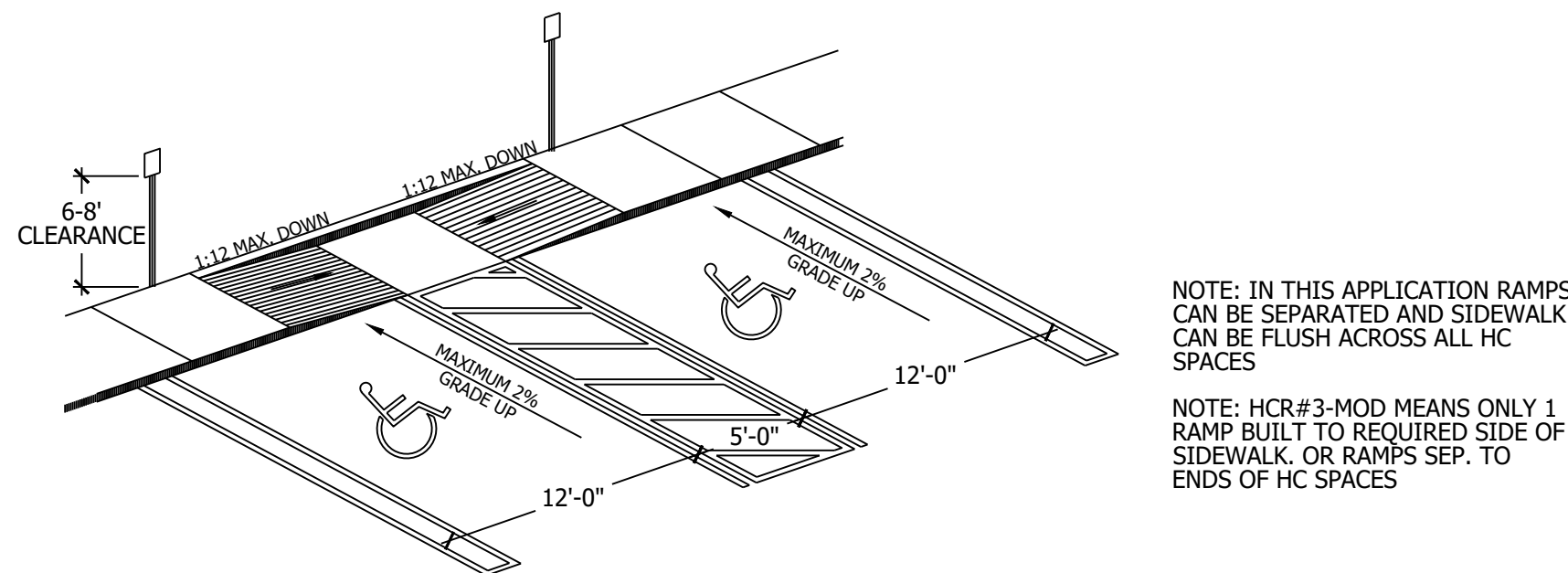
HEADER CURB DETAIL



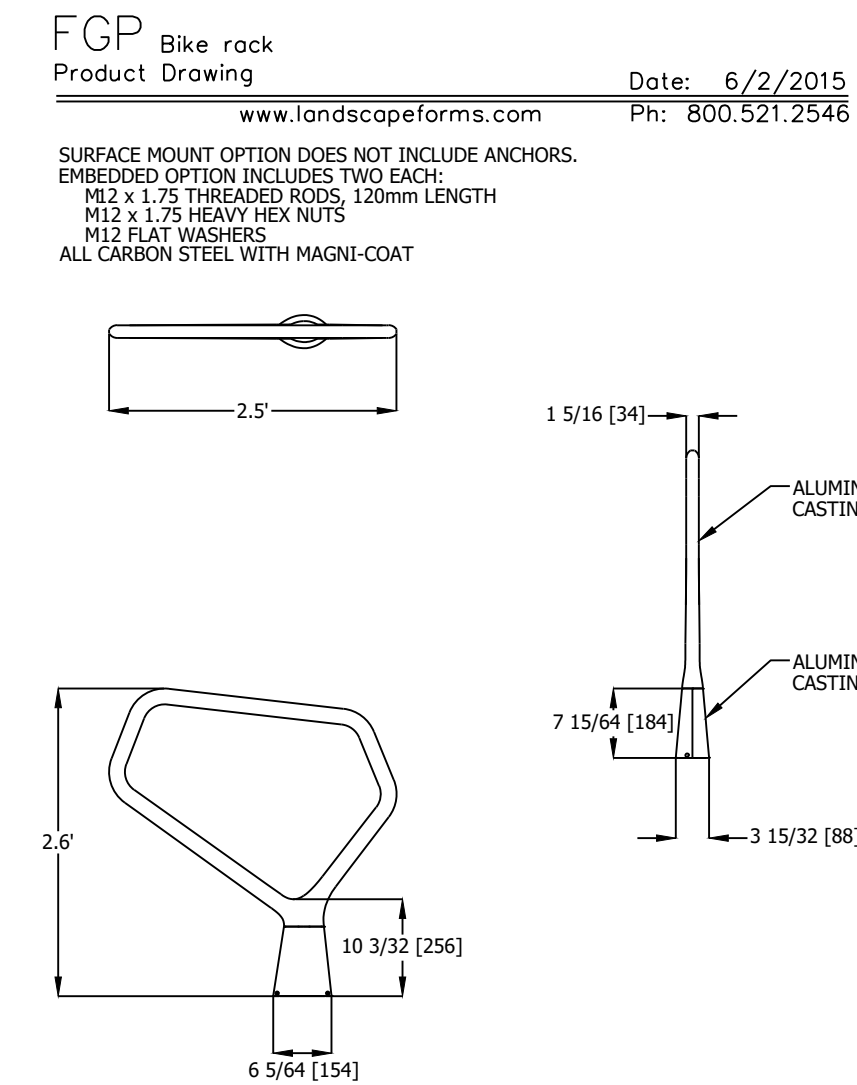
F CURB DETAIL



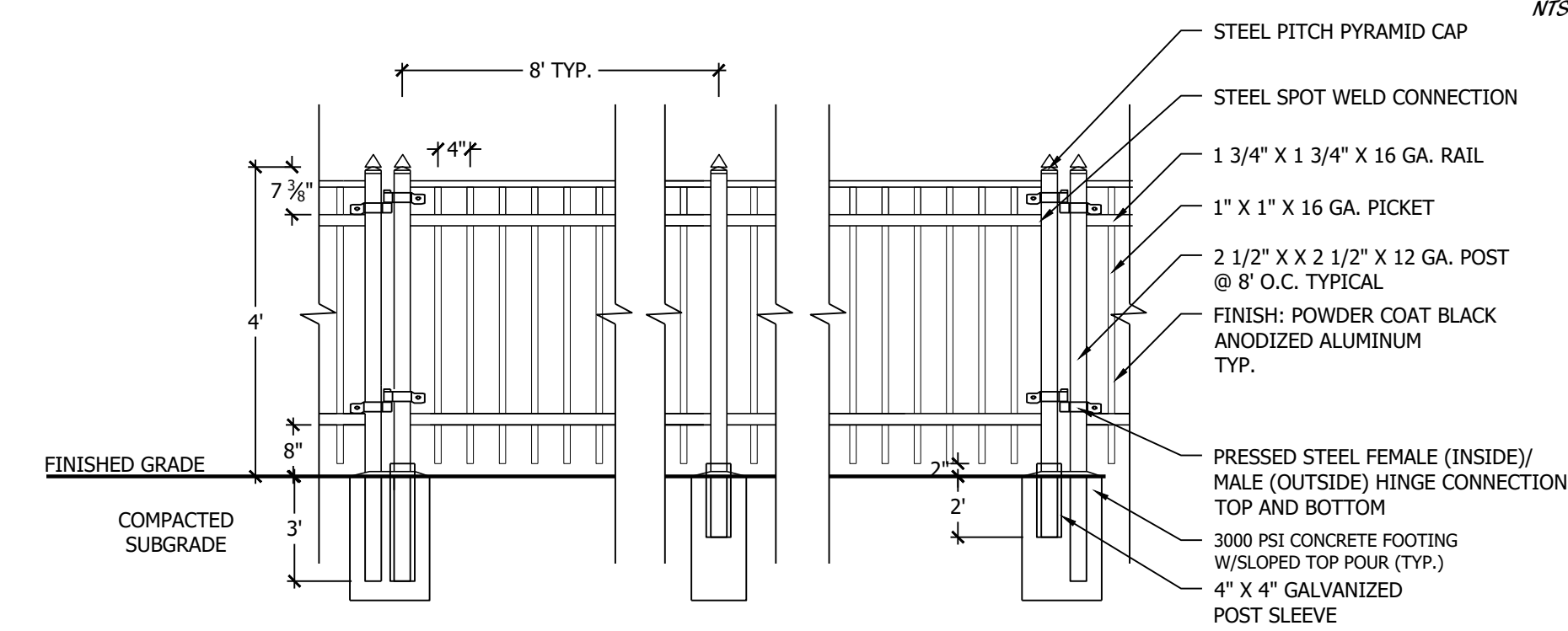
ADA RAMP DETAIL



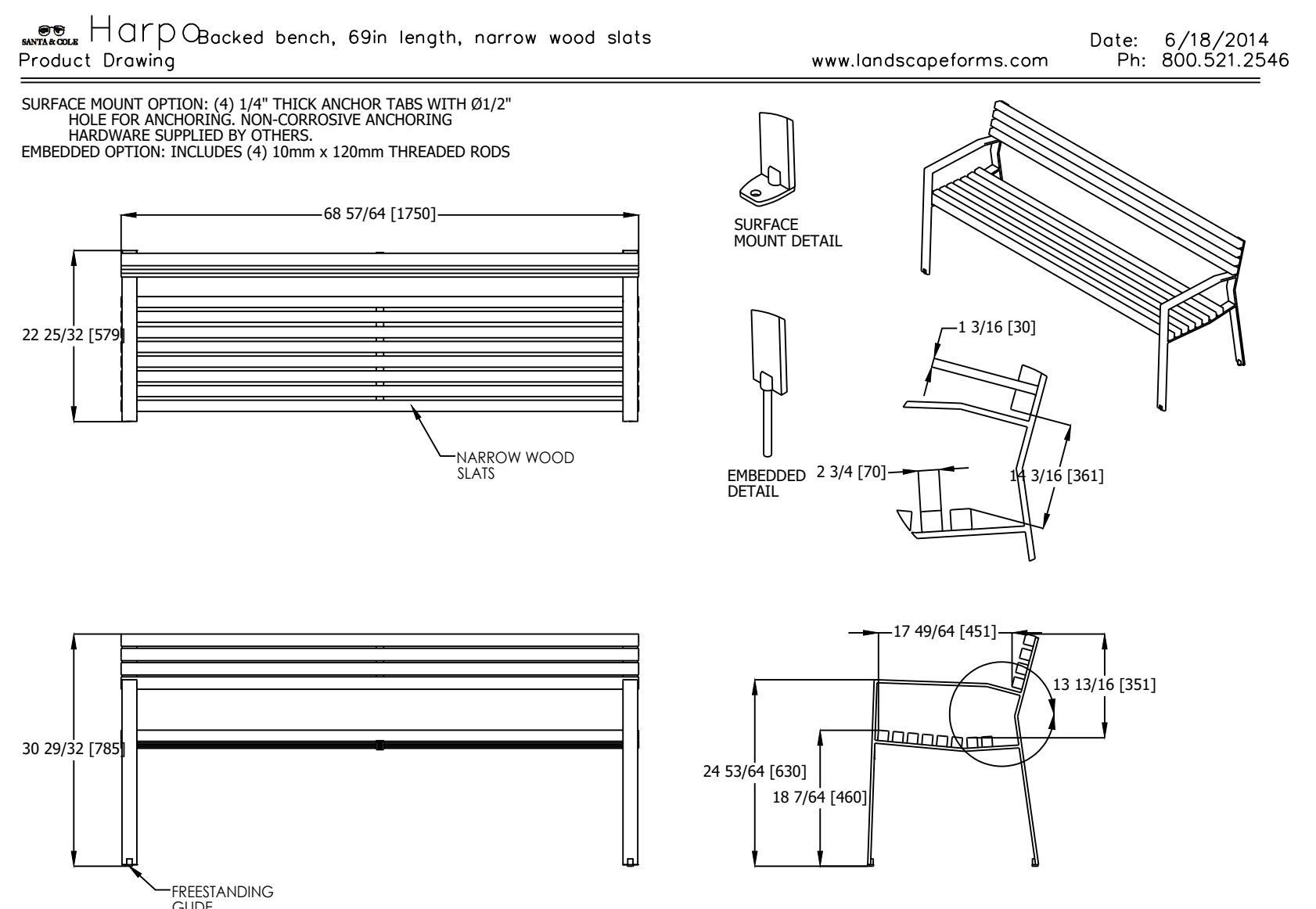
BIKE RACK DETAIL



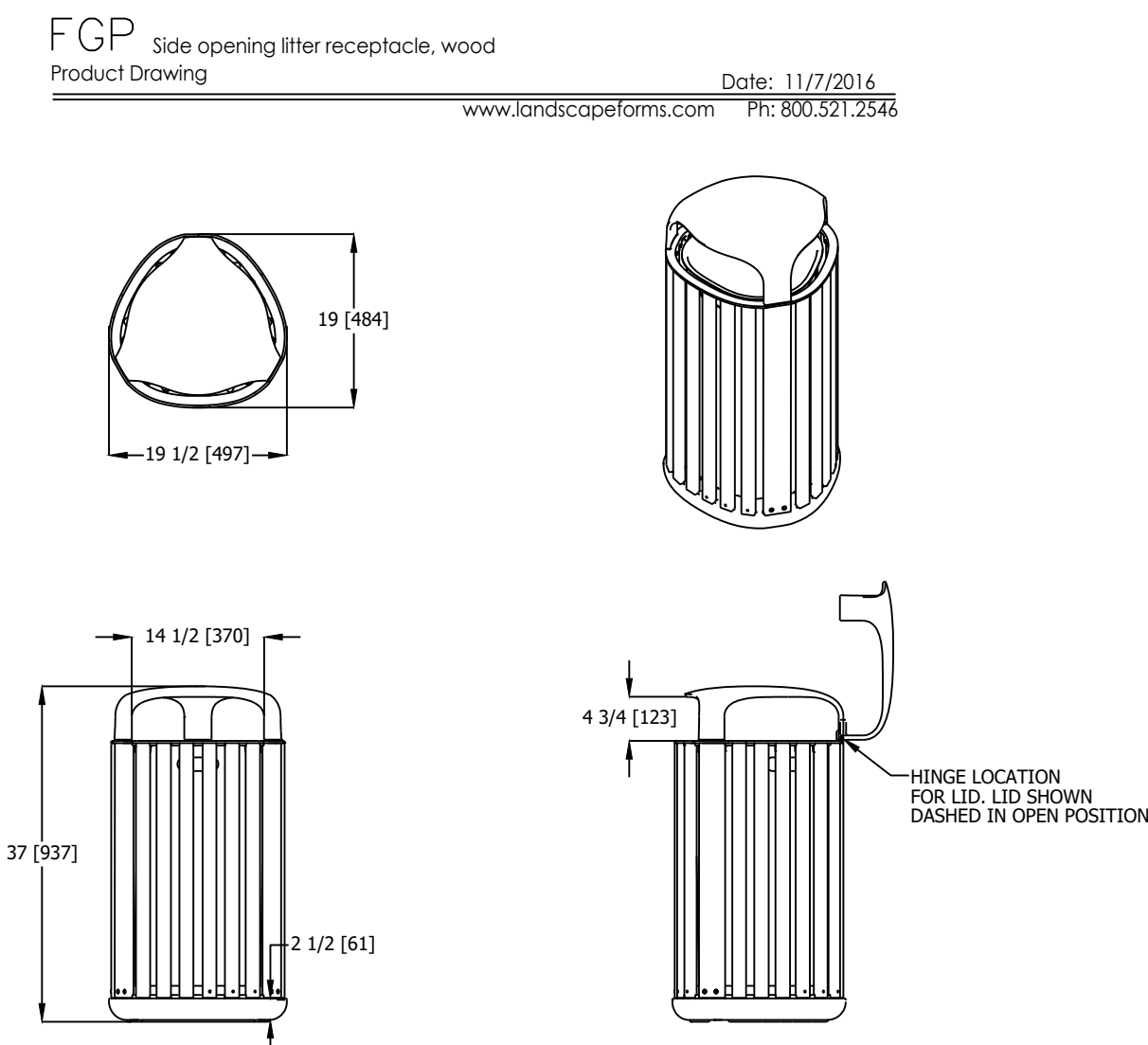
DECORATIVE FENCE / EMERGENCY ACCESS GATE DETAIL



BENCH DETAIL



RECEPTACLE DETAIL

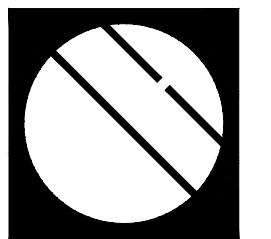


landscapeforms Drawing: AX203-01 Dimensions are in inches [mm]

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landscapeforms Drawing: AG220-01 Dimensions are in inches [mm] Patent Pending

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**PLANNED DEVELOPMENT
FINAL SITE DETAILS**

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