



CITY OF FORT PIERCE

PLANNING BOARD

November 10th, 2025

Red Hawk Rebar II Manufacturing Plant

Major Site Plan

4201 Bandy Blvd

APPLICANT

Culpepper & Terpening, Inc.

(Dennis Murphy)

PROPERTY OWNER(S)

Red Hawk Rebar Holdings, LLC

Emerson Peraza

PARCEL ID #(S):

2431-505-0010-000-3

(4201 Bandy Blvd.)

SUMMARY

A 'major site plan' application has been submitted for development review. Red Hawk Rebar II is seeking approval to develop an industrial building used to manufacture metal rebars for construction activities.

The property is in the I-1, Light Industrial zoning district and has a future land use designation of HI, Heavy Industrial.



SITE LOCATION



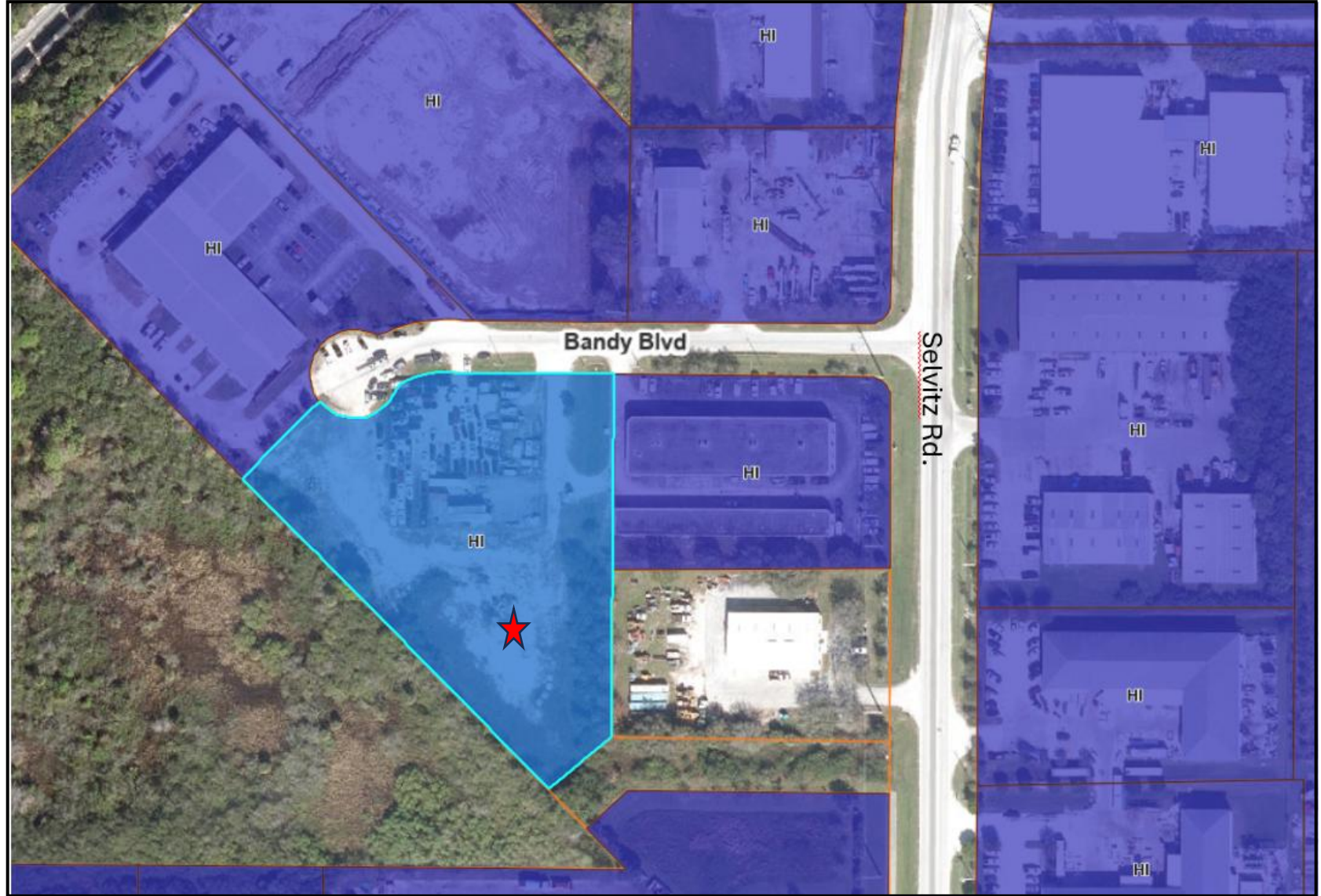
SITE AREA= 2.92/- Acres

Red Hawk Rebar II Manufacturing Plant – Major Site Plan



FUTURE LAND USE

FLU:(HI) Heavy Industrial

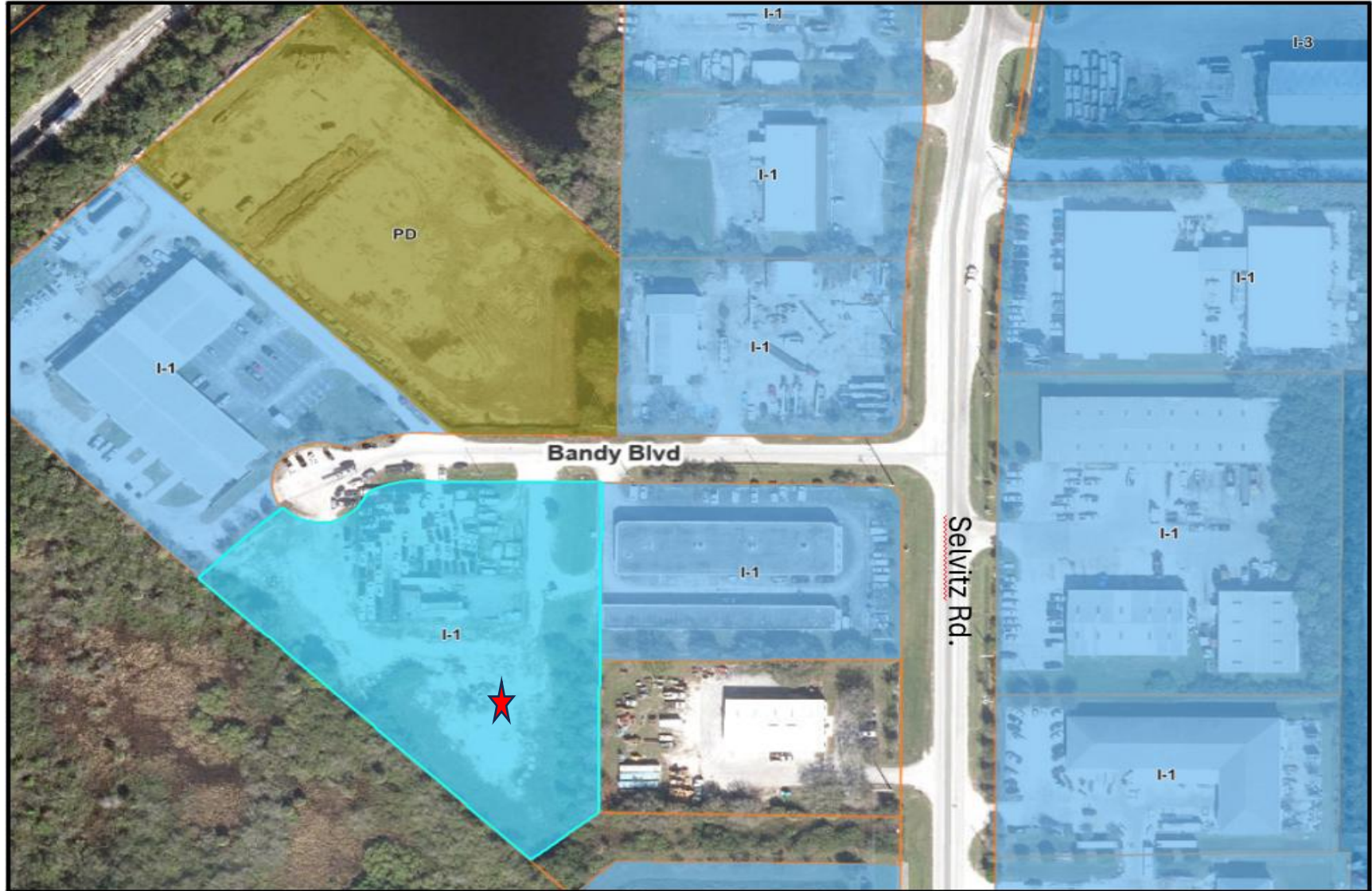


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ZONING

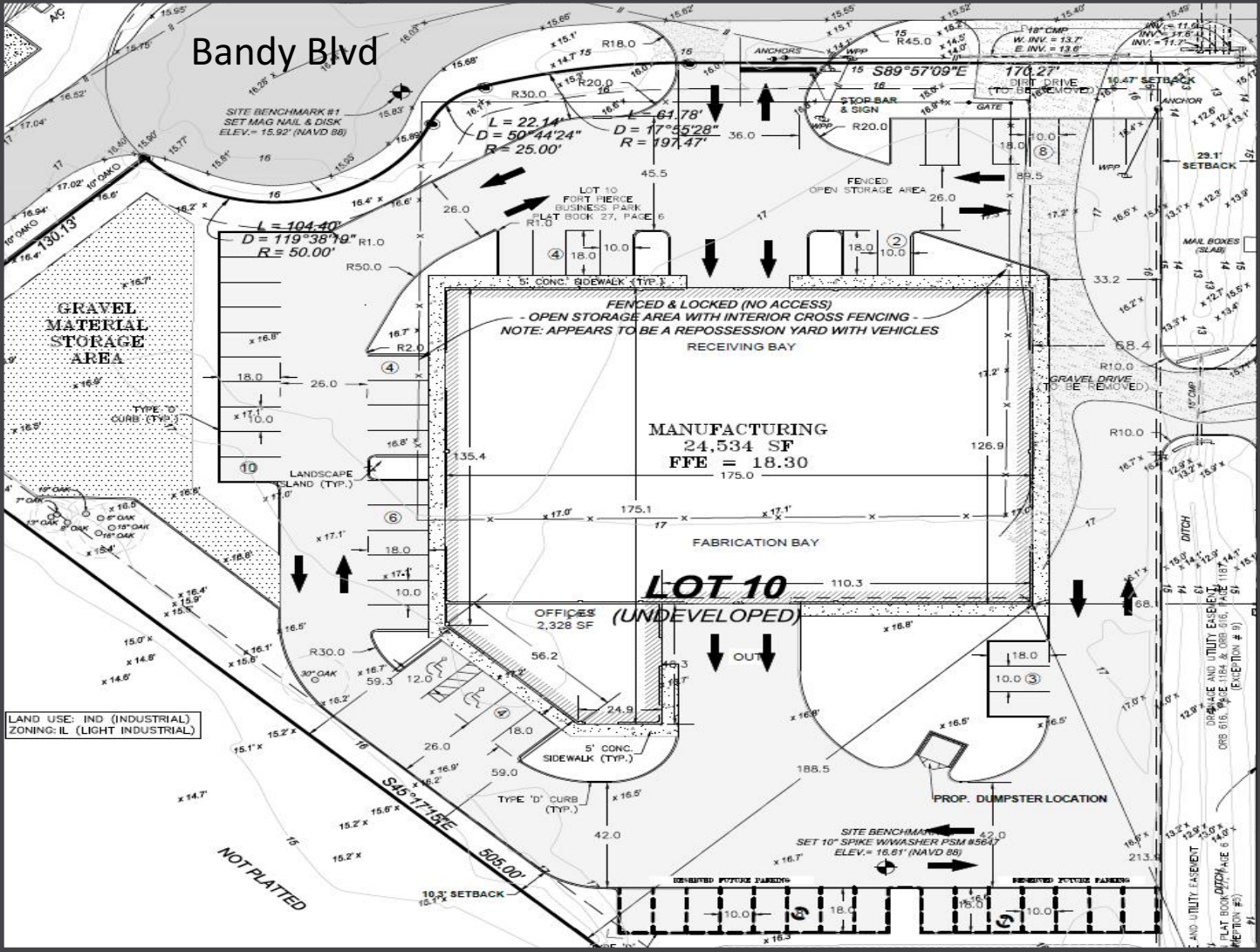
Zoning: I-1,
Light Industrial



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SITE PLAN DETAILS



Building Footprint	24,534 sq. ft.
Building Height	35'
Parking (41)	39 Spaces 2 ADA
2-level	

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BUILDING DESIGN



Southwest elevation



North elevations

Red Hawk Rebar II Manufacturing Plant – Major Site Plan



BUILDING DESIGN



East elevation

Color board



1. GREY GLASS

2. ALUMINUM FRAMES

3. STUCCO PAINTED
RM C1 OLD WHITE 087

4. STUCCO PAINTED
RM C41 BENT 08-209

5. STUCCO PAINTED
RM 02&1 BENT 08-214

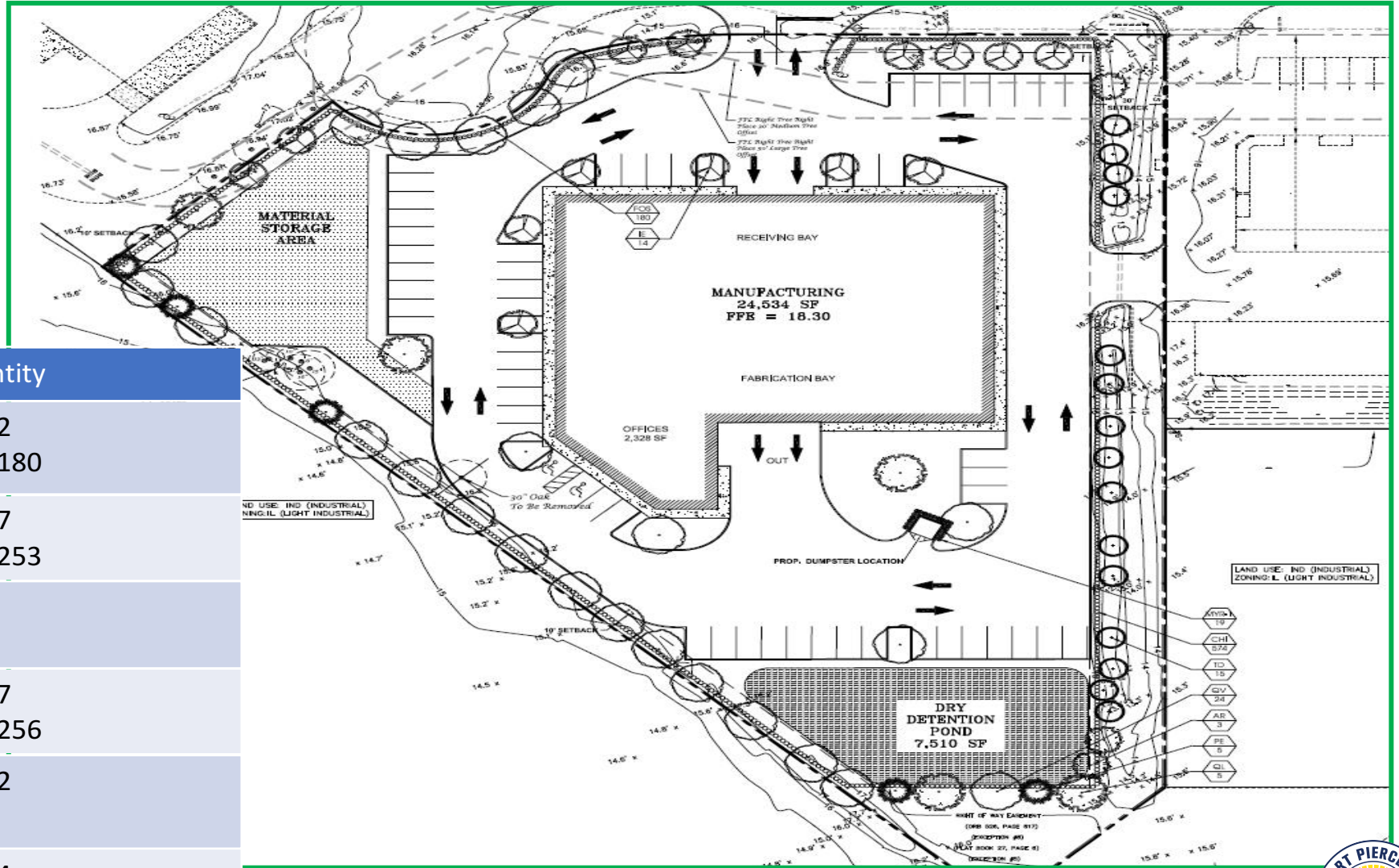


West elevations

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LANDSCAPE PLAN & DETAILS



Landscape Details	Quantity
Interior Island Trees	12/12
Shrubs	180/180
Southwest Buffer	17/17
Shrubs	253/253
Northwest Buffer	5/5
Shrubs	65
East Buffer	17/17
Shrubs	256/256
Interior Island Trees	12/12
Interior Vehicular	14/14
Total Trees: 65	Total Shrubs: 754

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RECOMMENDATION w/ CONDITIONS

Staff's recommendation is **Approval** of the site plan with the following four (4) conditions:

1. Prior to issuance of final certificate of occupancy, a Landscape Maintenance Agreement shall be approved and shall acknowledge the following:
 - a. All approved landscaping shall be installed, irrigated, and maintained in perpetuity in accordance with section 123-7 of the City Code of Ordinances, in order that it continues to present a healthy, neat, and orderly appearance free of refuse and debris, in conformity with the following requirements:
 - i. Vegetation required by this article shall be replaced with equivalent or better vegetation if it is not living. All trees for which credit is awarded, and which subsequently die shall be replaced by the same or greater number of living trees according to the standards established in this article.
 - ii. Maintenance shall include sufficient weeding, watering, fertilizing, pruning, mowing, edging, mulching and other horticultural practices to ensure that the landscaping continues to maintain a healthy, neat, and orderly appearance.
2. A South Florida Water Management District (SFWMD) ERP shall be required prior to registering of permits
3. A site development permit on the County's permitting portal shall be submitted and completed prior to filing permits with the City
4. A 5-foot sidewalk is required along Bandy Blvd.



RECOMMENDATION w/ CONDITIONS cont'd

**Note that issuance of a development permit or development order by the City of Fort Pierce does not create any right on the part of an applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the municipality for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law

ALTERNATIVE RECOMMENDATION

1. Recommend Approval with additional conditions.
2. Recommend Disapproval.





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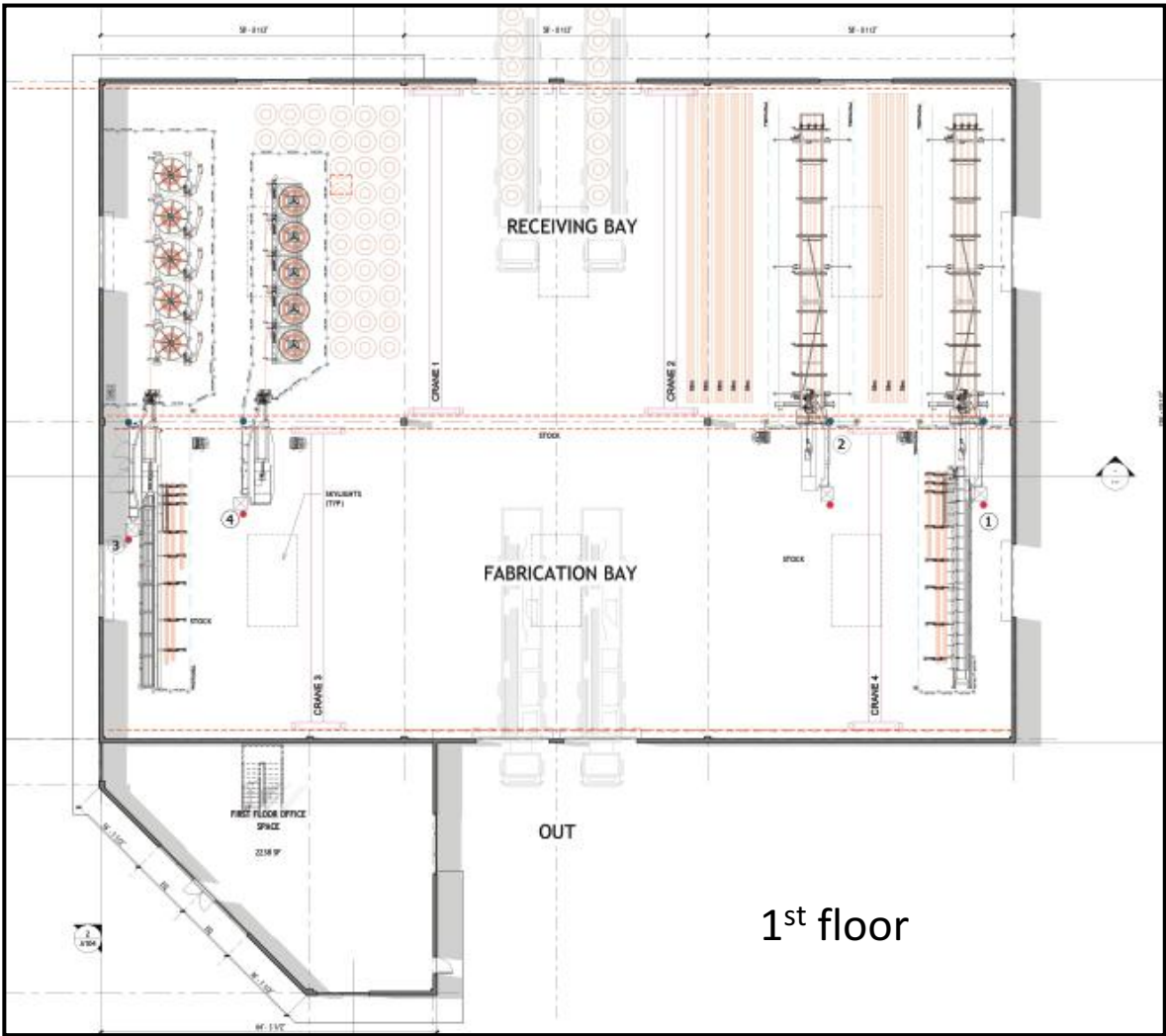
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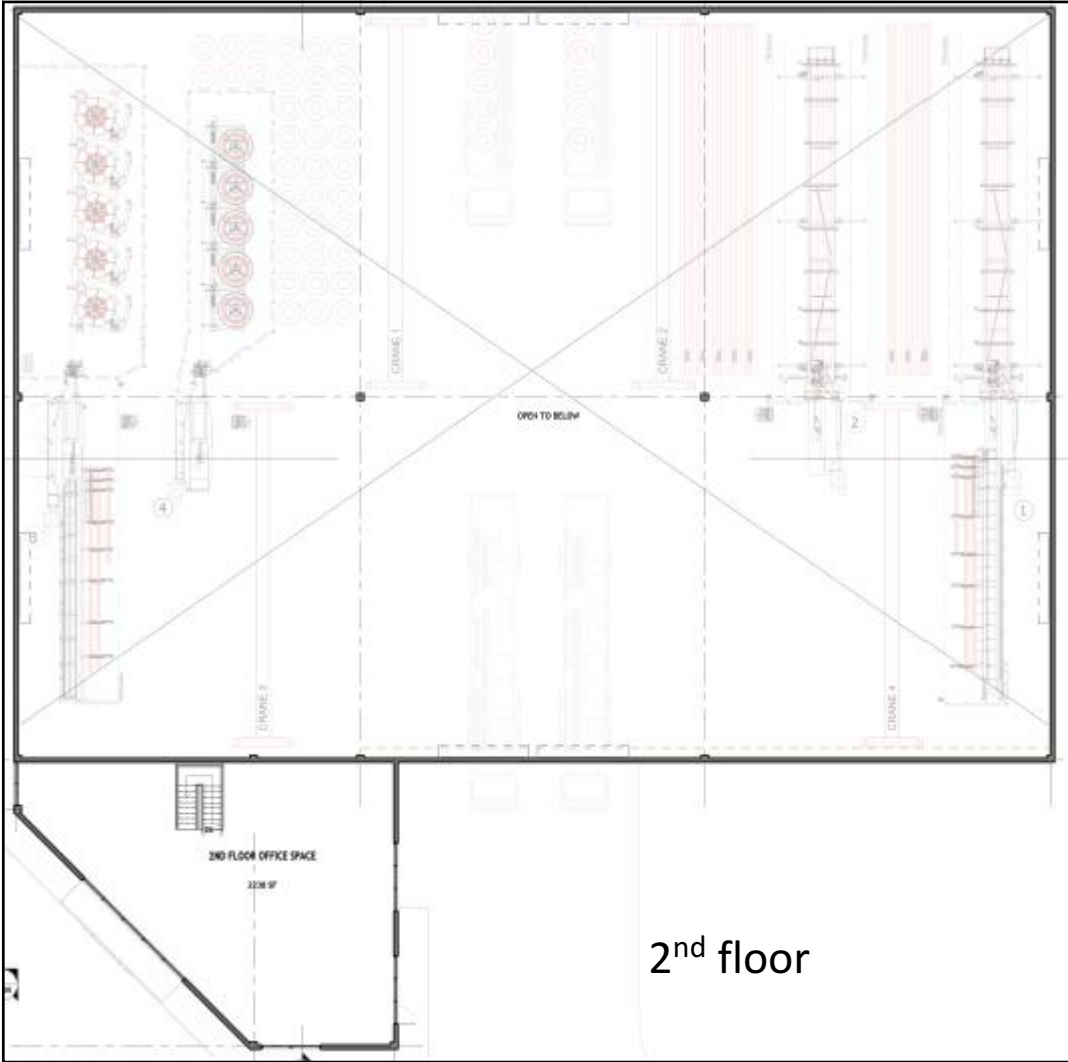
Major Site Plan

4201 Bandy Blvd

FLOOR PLAN



1st floor



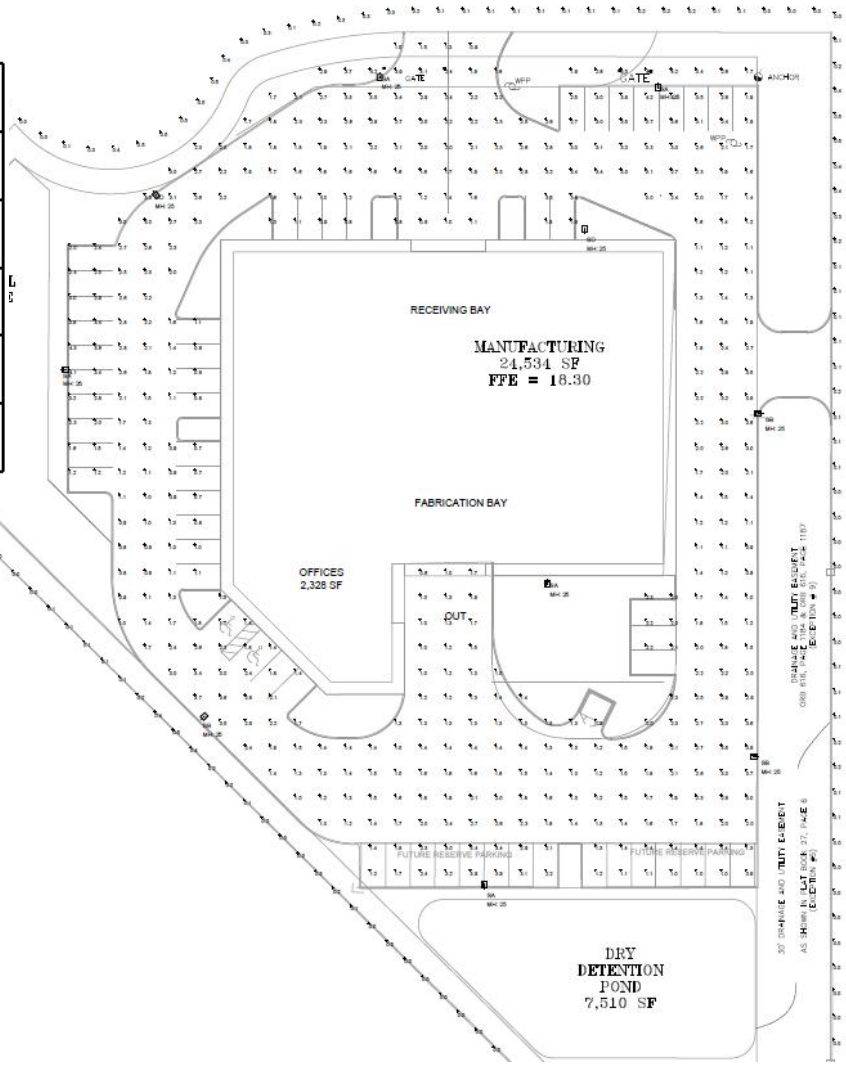
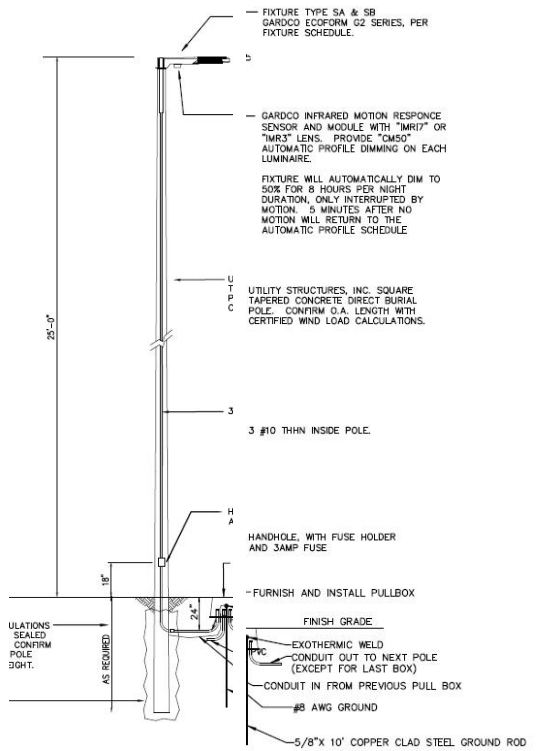
2nd floor

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LIGHTING PLAN

Luminaire Schedule										
Project: REDHAWK REBAR SITE 2 07-24-2025										
Symbol	Label	Description	Lumens/Lamp	LLD	LDD	BF	LLF	Lum. Watts	Total Watts	
	SA	GARDCO ECF-S-54L-1A-NW-G2-4-HIS POLE MOUNT 25' AFG	N.A.	0.900	0.900	1.000	0.810	211,6286	1058,143	
	SB	GARDCO ECF-S-54L-1A-NW-G2-3-HIS POLE MOUNT 25' AFG	N.A.	0.900	0.900	1.000	0.810	211,6286	634,886	
	SD	GARDCO ECF-S-48L-1A-NW-G2-3-HIS POLE MOUNT 25' AFG	N.A.	0.900	0.900	1.000	0.810	161	322	



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