

Florida Asheville

Project Narrative for 801 Avenue B Infill Development

September 30/ 2024

Introduction

The 801 Avenue B project is a prototype for walkable urban living in Fort Pierce. Designed to integrate modern design with sustainability and communal living, this project aligns with the city's comprehensive plan for medium residential density zoning and leverages recent zoning in the Innovative Community Development section.

Design Philosophy

We place particular emphasis on walkability. With streets that are pleasant and safe to walk, and with jobs and other daily needs accessible on foot, walkable places are not only more livable, but also help residents reduce transportation expenses, a major part of most household budgets.

Our design philosophy centers on resident wellness and creating a walkable neighborhood that is:

- **Useful:** Essential amenities within walking distance.
- **Safe:** Secure environment for residents.
- **Comfortable:** Pleasant living experience through thoughtful design.
- **Interesting:** Visually and experientially appealing.

These principles are reflected in the site plan featuring two homes with accessory dwelling units (ADUs). This site was also designed by and for the neuro-divergent (a special needs population).

Each area below qualifies for density bonuses.

Architectural Features

1. **Dog-trot House (801 Avenue B - A)**
 - **Description:** Five-bedroom house with ensuite bathrooms.
 - **Health Benefits:** Promotes natural ventilation, reduces mechanical cooling reliance, improves indoor air quality, and positively impacts mental health by connecting occupants with nature.
 - **Size:** 1312 sq ft including ADU
2. **Split-level House (801 Avenue B - B)**
 - **Description:** Four-bedroom house with ensuite bathrooms.
 - **Benefits:** Enhances social support, economic efficiency, safety, health, environmental sustainability, quality of life, childcare, and career opportunities, making it ideal for urban families seeking close ties and high-quality living.
 - **Size:** 1340 sq ft including ADU

Aesthetics and Style

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We incorporate a variety of aesthetic features to create a visually appealing and engaging environment:

- Rain Garden
- Living walls and partial green roofs.
- Projector Art Screen
 - Art murals.
 - Friday Night Movies
- Reflecting mirrored exterior walls.
- Landscaped setbacks and outdoor sitting areas.
- Shou Sugi Ban (charred wood siding).

Dimensional Variety

The design optimizes construction to reduce waste and enhance affordability:

- Room dimensions align with commercially available materials (16x16, 24x16, and 24x24), minimizing waste and construction costs.
- This approach allows for cost-effective construction without sacrificing quality or style.

Landscaping, Hardscape & Drainage

The landscaping plan is designed to enhance sustainability and community engagement:

- Rain Garden
 - Native and Florida-Friendly shade, flowering, and fruit trees.
 - Native groundcovers and flowers to support pollinators.
- Gutters with 3000-gallon cumulative rain storage.
 - Drip-line irrigation fed via crawl space rain storage.
- 5ft landscaped setback with gates, fencing, privacy screens, and ancient stone lines to reduce runoff.
- Home Biogas Digester.
 - Treats organic waste producing biogas for cooking and rich fertilizer.
- 4-inch city tree waste mulch to increase stormwater sequestration, rain percolation, and soil nutrition.
- Permeable materials for parking spaces and walkways.

Placement

The strategic placement of homes enhances both communal and individual living experiences:

- Porches that abut sidewalks to create public/private spaces, enhancing public engagement and walkability.
- Homes are oriented to maximize passive cooling in the summer.
- The design balances communal energy with individual privacy.
- The layout supports home-based business opportunities.

Florida Ashe`

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Energy and Resource Considerations

The project includes several sustainable features to minimize environmental and long term financial impacts:

- Gutters with 3000-gallon cumulative rain storage.
- Home Biogas Digester.
 - Treats organic waste producing biogas for cooking and rich fertilizer.
- Underground utilities.
 - Natural Gas
- Up to 2 EV CCS fast chargers (66kw min).
- Solar-powered ECOflow DELTA Pro Ultra Portable Power Station.
 - 7.2-21.6kW output
 - 6kWh-90kWh capacity
 - 5.6kW-16.8kW solar input
- Solar water heaters.
- Passive cooling and heating design elements:
 - Extended overhangs to block summer sun from windows.
 - Compartmentalization to lower indoor allergens, create cooling air streams, and conserve energy through HVAC management.

Conclusion

Florida Ashe's EKhaya project exemplifies modern urban infill development, prioritizing sustainability, community, and livability. By adhering to Fort Pierce's comprehensive plan and leveraging recent infrastructure upgrades, Florida Ashe`, sets a benchmark for future developments. This project addresses current housing needs for special needs populations while contributing to the city's vision of a vibrant, sustainable, and interconnected urban community.

**DEVELOPMENT AGREEMENT
For Infill Lien
Reduction Program**

THIS DEVELOPMENT AGREEMENT ("Agreement") is made and entered into this 12th day of June, 2023 by and between the City of Fort Pierce, Florida, a municipal corporation, ("City") and Shores Pad, LLC ("Owner") (collectively, "Parties").

WITNESSETH:

WHEREAS, despite intensive efforts to accelerate the revitalization of the City's neighborhoods, there remains an excessive number of vacant properties; and

WHEREAS, these vacant properties are a blighting influence on the neighborhoods in which they are located; and

WHEREAS, these vacant properties consume a disproportionate share of City resources for code compliance and other City services, in relation to their contribution to the tax base of the City; and

WHEREAS, on March 21, 2022, the City Commission adopted Resolution No. 22-R16, establishing an Infill Lien Reduction Program to provide relief from code enforcement and/or nuisance abatement liens in order to encourage private investment to improve blighted properties and return vacant properties to productive residential use; and

WHEREAS, the Owner owns the property ("Property") described as 801 Avenue B, in the public records of St. Lucie County, Florida, Fort Pierce, Florida, St. Lucie County Property ID 2410-604-0039-000-1; and

WHEREAS, the Owner, proposes to construct three short term rentals, and two single-family residences on the Property; and

NOW THEREFORE, in consideration of the promises and covenants contained herein, the Parties agree as follows:

1. **RECITATIONS.** The above recitations are true and correct and are incorporated herein by reference.
2. **EFFECTIVE DATE.** The Effective Date shall be the day the Agreement is fully executed by the City of Fort Pierce.
3. **DEVELOPMENT PROGRAM.**

A. **PROPERTY TITLE**

Owner shall obtain good and marketable title to the Property prior to the Effective Date. All delinquent taxes and tax certificates must be paid in full prior to the City's release of liens.

HP/E

B. APPROVALS AND PERMITS

Owner shall obtain all required approvals and building permits within 365 days of the Effective Date of the Agreement.

C. COMPLETION DATE

Specified improvements contained in Exhibit "A" must be completed and an issuance of Certificate of Occupancy must be obtained within 24 months of the Effective Date ("Completion Date"). If the Certificate of Occupancy described herein is not obtained by the Completion Date, Owner may request an extension for good cause. However, any extension of Completion Date shall be at the sole discretion of the City. The City is under no obligation to perform under this Agreement if Owner fails to obtain required permits or fails to obtain the Certificate of Occupancy by the Completion Date, or any City authorized extension thereof. Should the Owner fail to obtain the Certificate of Occupancy by the Completion Date, or any City authorized extension thereof, all payments made by the Owner pursuant to this Agreement are surrendered to the City.

D. IMPROVEMENTS

All work shall be performed in accordance with all applicable City of Fort Pierce Zoning, Land Development, and Building Codes and all laws of the State of Florida.

- 1) Owner shall hire a licensed professional to prepare and submit necessary permit documents, including drawings and specifications, for the new construction. All new construction shall conform to the requirements of the technical codes for new construction.
- 2) Owner shall ensure that a properly licensed contractor(s) performs all new construction in accordance with building permit requirements and completes construction by the Completion Date.
- 3) Owner shall obtain a Certificate of Occupancy for the Property, as a means of demonstrating that the Property construction has been completed and the Property meets all applicable City and State of Florida requirements.

5. **CITY'S RELEASE OF LIENS.** Any authorized Release of Liens shall only be effective upon the Owner providing to the City full payment of the hard costs expended by the City related to the lien(s) on the Property. The hard costs shall be calculated as the total amount of all actual financial expenditures by the City associated with the lien(s) on the Property. This shall include all nuisance

abatement costs. The hard costs associated with the lien(s) on the Property that shall be paid in full by the Owner are in the amount of Twelve Thousand One Hundred Thirteen and 00/100 Dollars (\$12,113.00). The hard costs payment shall be collected at the time of issuance of a building permit or within 365 days of the Effective Date, whichever is sooner.

6. CITY'S OBLIGATIONS.

- A. The City will not institute foreclosure proceedings on the Property prior to the Completion Date, provided Owner complies with all the conditions set forth herein.
- B. Upon receipt of the hard costs as stated in accordance with paragraph 5, and pursuant to the Agreement as set forth herein, the City shall waive, release, satisfy, or rescind the lien(s) in the amount of Seventy-Seven Thousand Fifty and 08/100 Dollars (\$77,050.08), as set forth in the attached statement, attached hereto as Exhibit "B" and made a part hereof by reference, as to the Property.
- C. Upon Owner's completion of Owner's obligations under the Agreement and upon issuance of the Certificate of Occupancy by the Completion Date, the City shall issue a refund to the Owner for fifty percent of the hard costs paid, not to exceed \$10,000, in the amount of Six Thousand Fifty-Six and 50/100 Dollars (\$6,056.50), as set forth in the attached statement, attached hereto as Exhibit "B" and made a part hereof by reference.
- D. If Owner fails to complete Owner's obligations under the Agreement by the Completion Date or violates this Agreement in any manner, the City will retain the full hard costs amount paid and no refund will be granted.

7. **PROOF OF COMPLIANCE.** It shall be the Owner's sole responsibility to provide proof of compliance with all Owner obligations under this Agreement to the City Manager's Office, to include: proof of full payment of all hard costs, proof the building permit(s) was obtained, and proof the Certificate of Occupancy was obtained.

8. **INDEMNITY.** Owner shall defend, hold harmless, and indemnify the City, its officers, employees, and agents against any claim, action, loss injury, liability, cost, or expense of whatever kind or nature including, but not limited to, attorney's fees, attorney's fees on appeal, and all taxable costs of suit, for injury to persons, including death, or damage to property, arising out of or incidental to the Agreement.

9. **TERMINATION.** The City may terminate this Agreement if Owner materially breaches any provision of this Agreement. Upon such termination, the hard costs

amount paid is forfeited and no refund will be granted to Owner.

10. **ASSIGNMENT.** This Agreement is not assignable except with the prior written consent of the City, which consent shall be exercised at the sole discretion of the City.
11. **SEVERABILITY.** Should any provision or part of any provision of this Agreement be rendered void, invalid, or unenforceable by any court of law, for any reason, such determination shall not render void, invalid, or unenforceable any other provision of this Agreement.
12. **ENTIRE AGREEMENT.** This Agreement constitutes the entire agreement between the parties and no change will be valid unless made by supplemental written agreement executed by the Parties.
13. **NOTIFICATION.** All notices, requests, demands, or other communication hereunder shall be in writing and shall be deemed to have been served as of the delivery date appearing upon the return receipt. Each notice shall be sent by hand delivery, United States certified mail, postage prepaid with return receipt requested, to the Party at the address below. Either party may change the below-listed address at which it receives written notices by so notifying the other Party herein in writing.

CITY:
City of Fort Pierce
City Manager's Office
100 North US 1
Fort Pierce, FL 34950

OWNER:
Shores Pad LLC
650 NE 88TH Street
Miami Shores, Florida 33138

14. **WAIVER.** No act of omission or commission of either Party, including without limitation, any failure to exercise any right, remedy, or recourse, shall be deemed a waiver, release, or modification of the same. Such a waiver, release, or modification is to be affected only through a written modification to this Agreement. The City's failure to act with respect to a breach of this Agreement by the Owner does not waive its right to act with respect to subsequent or similar breaches. The failure of the City to exercise or enforce any right or provision shall not constitute a waiver of such right or provision.
15. **GOVERNING LAW AND VENUE.** This Agreement is to be construed in accordance with the laws of the State of Florida. EACH PARTY IRREVOCABLY AND UNCONDITIONALLY WAIVES, TO THE FULLEST EXTENT PERMITTED BY APPLICABLE LAW, ANY RIGHT IT MAY HAVE TO A TRIAL BY JURY IN ANY LEGAL ACTION, PROCEEDING, CAUSE OF ACTION, OR COUNTERCLAIM ARISING OUT OF OR RELATING TO THIS AGREEMENT, INCLUDING ANY EXHIBITS ATTACHED TO THIS AGREEMENT OR THE TRANSACTIONS CONTEMPLATED HEREBY. Venue for any cause of action

or claim asserted by either Party hereto shall be brought in the state court situated in St. Lucie County, Florida.

16. **HEADINGS.** The paragraph headings are inserted herein for convenience and reference only, and in no way define, limit, or otherwise describe the scope or intent of any provisions hereof.

HR

IN WITNESS WHEREOF, the Parties have caused this Agreement to be executed by their duly authorized representatives, as of the date first above written.

OWNER WITNESSES:

Sign: Jermaine Chad Ingram
Print: Jermaine Chad Ingram
Date: 6/12/2023

Sign: _____
Print: _____
Date: _____

OWNER:

Sign: EQ
Print: Enrique M Quintero
Date: 6/12/2023

ACCEPTED FOR THE CITY OF FORT PIERCE:

Sign: Linda Hudson
Linda Hudson, Mayor

Date: 6/20/23

Attest:

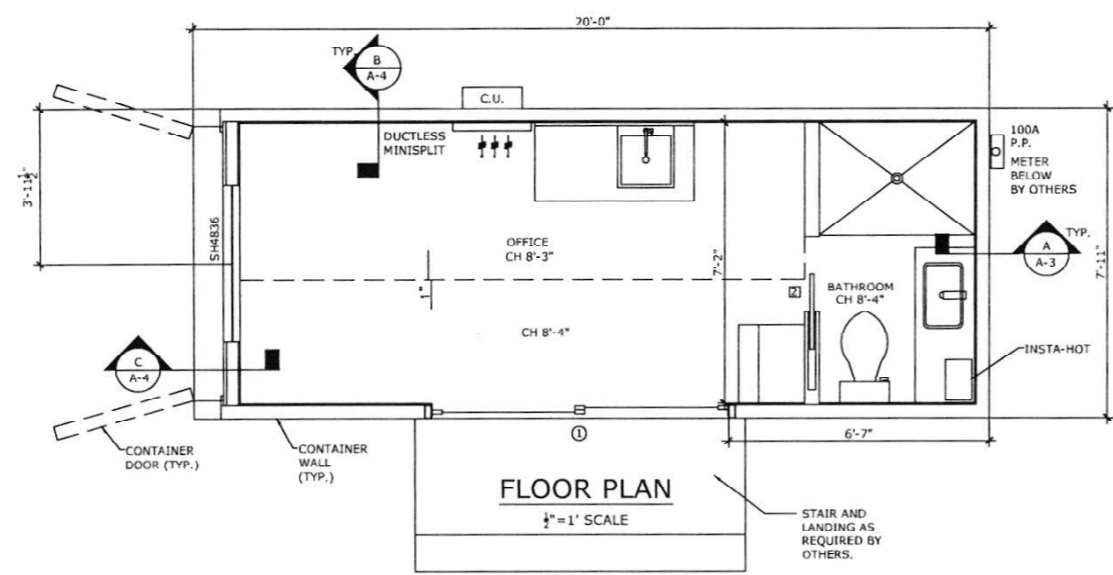
Linda W. Cox
Linda Cox, City Clerk

APPROVED AS TO FORM & CORRECTNESS:

Tanya M. Earley
Tanya M. Earley, Esq.
City Attorney

EXHIBIT "A"
SPECIFIED IMPROVEMENTS

BRIAN J. MASKOL
FL PE #66080



Scope of Work
New container structure

Building Code
2020 Florida Building Code: Residential
2017 National Electric Code

Design Loads
Roof Live Load: 20.0 p.s.f.
Floor Live Load: 40.0 p.s.f.
Wind Speed: 170 MPH (3 second gust)
Wind Importance Factor: 1.0
Building Category: II
Wind Exposure: C
Internal Pressure Coefficient: +/-0.18
Structure Designed: Enclosed

NOTE: FOUNDATION DESIGN BY OTHERS BASED ON SITE SPECIFIC SOIL CONDITIONS. FOUNDATION SHALL BE DESIGNED BY A LICENSED FLORIDA PROFESSIONAL ENGINEER.

AREA SCHEDULE	
OFFICE	120 SQ. FT.
BATHROOM	37 SQ. FT.
TOTAL SQ. FT.	157 SQ. FT.

PRODUCT APPROVAL							
Approval Number	Product	Model Number	Manufacturer	Class Type	Attachment Method	Building Rated Design Pressures	Product Rated Design Pressures
FL# 19092	Sliding Glass Door	Series MG-1000 Aluminum SGD	Mr. glass doors & windows mfg llc	Impact	5/16" teks or self drilling screws into metal structures (head & jamb) (3) Threads to extend beyond metal thickness (steel 1/8" minimum thickness). See product approval for spacing.	+31.2/-41.8	+65/-75
FL# 20352.1	S.H. Windows	Series MG-200	Mr. glass doors & windows mfg llc	Impact	TYPE "A" 1/4" ULTRACON INTO 2X WOOD BUCKS OR WOOD STRUCTURES WITH 1-1/2" MINIMUM PENETRATION INTO WOOD ANCHOR EDGE DISTANCE INTO WOOD STRUCTURE 1" MINIMUM TYPE "B" 1/4" KWIK-CON INTO 2X WOOD BUCKS OR WOOD STRUCTURES WITH 1-1/2" MINIMUM PENETRATION EDGE DISTANCE INTO WOOD STRUCTURE 1" MINIMUM TYPE "C" 5/16" ULTRACON INTO 2X WOOD BUCKS OR WOOD STRUCTURES WITH 1-1/2" MINIMUM PENETRATION INTO WOOD EDGE DISTANCE INTO WOOD STRUCTURE 1-1/4" SEE INSTALLATION SHEET FOR SPACING	+31.2/-41.8	+/-80

DOOR SCHEDULE

<input type="radio"/> Exterior Doors	<input type="checkbox"/> Interior Doors
Size	Type
① 7783	SLIDING GLASS DOOR
② -	FULLY LOUVERED POCKET DOOR

SHGC LESS THAN OR EQUAL TO 0.50
U=0.49

WINDOW SCHEDULE

MARK	WINDOW SIZE, WxH	TYPE	REMARKS
SH4836	48" x 36"	Single Hung	Impact

SHGC LESS THAN OR EQUAL TO 0.50
U=0.49

REVISION	DATE	DESCRIPTION

20 FOOT CONTAINER STRUCTURE TYPE B
FLOOR PLAN, NOTES, SCHEDULES AND PRODUCT APPROVALS

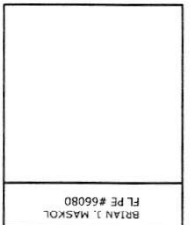
DESIGNED	DATE
GMW	05-10-22
DRAWN	DATE
GMW	05-10-22
CHECKED	

JOB NO.
2022-121

A-1



725 SE PORT SAINT LUCIE BLVD.
SUITE 203
PORT SAINT LUCIE FL 34984
(772) 285-0522
BRIAN J. MANSOR
FL PE #66080



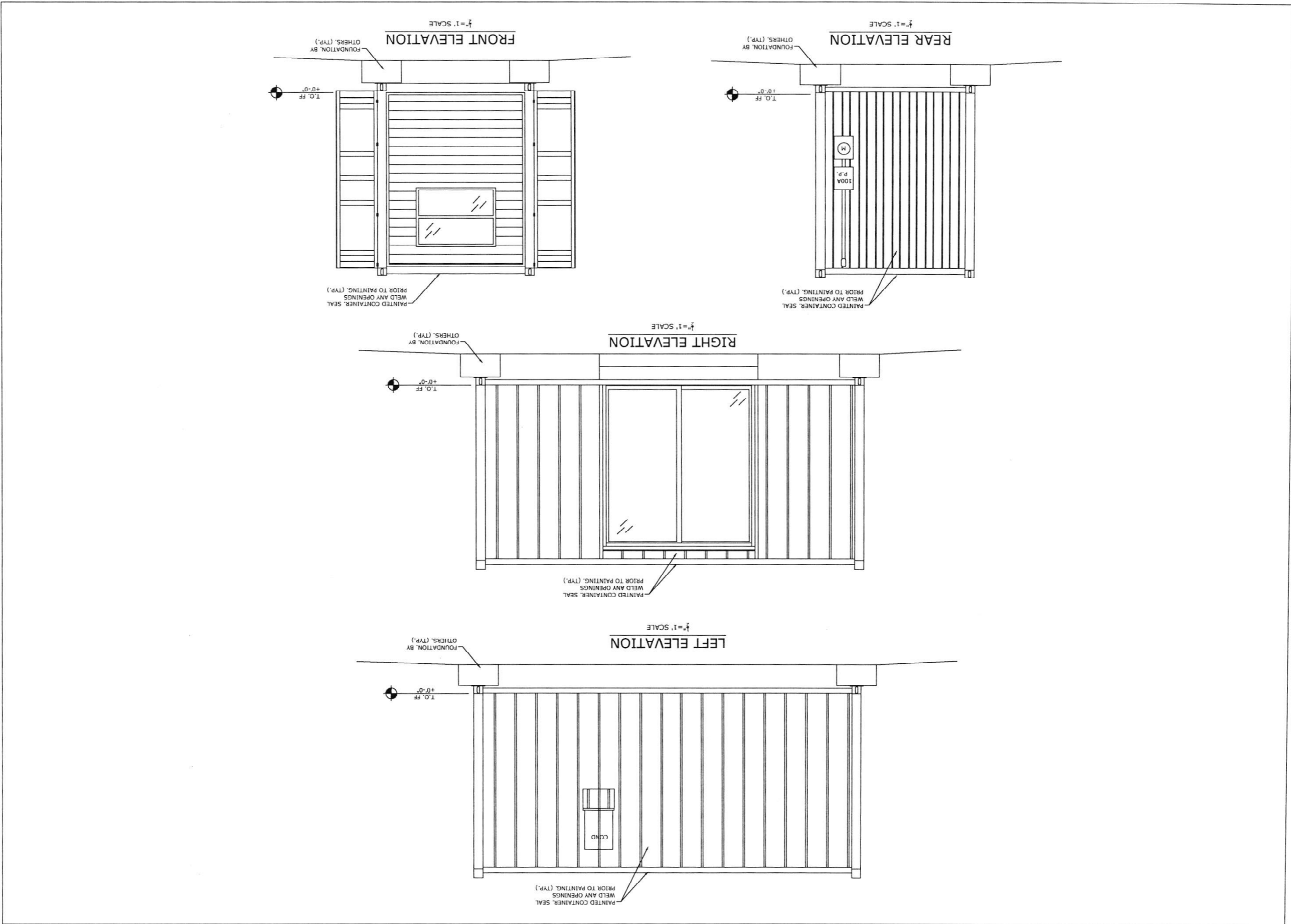
REVISION	DATE	DESCRIPTION

20 FOOT CONTAINER STRUCTURE
 TYPE B
 ELEVATIONS

DATE	DESIGNED	DRAWN	CHECKED
05-10-22	GMW	GMW	GMW
05-10-22	GMW	GMW	GMW

JOB NO.
2022-121

A-2



BRIAN J. MASKOL FL PE #66080

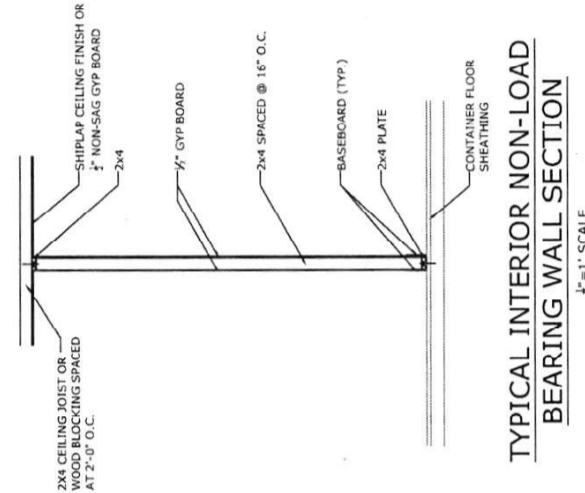
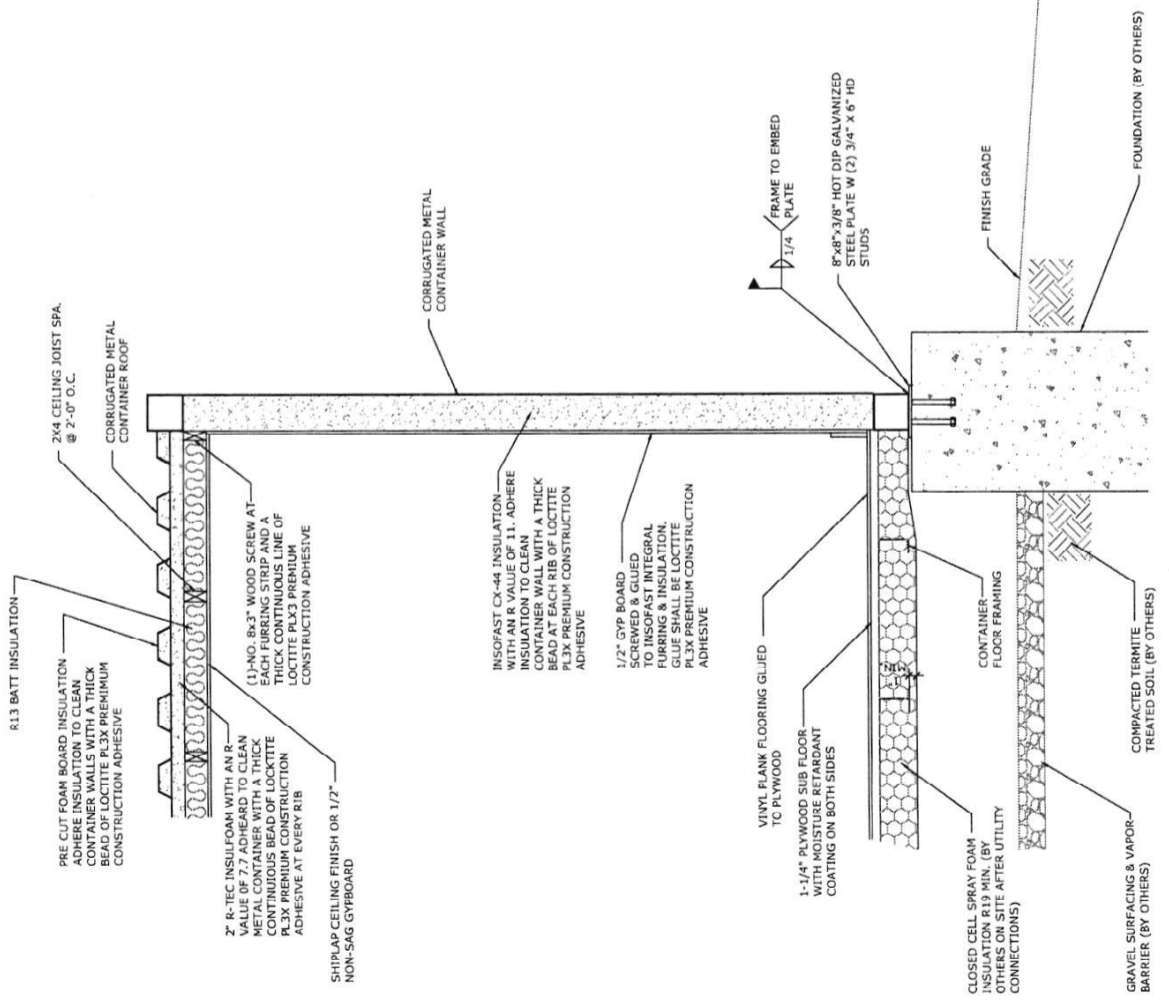
**20 FOOT CONTAINER STRUCTURE
TYPE B**
SECTIONS, DETAILS
& NOTES

DESIGNED	DATE
05-10-22 <td>05-10-22</td>	05-10-22
DRAWN	CHECKED
05-10-22	05-10-22

JOB NO. 2022-121

A-3

FINISH NOTES:
WALL AND CEILING FINISHES SHALL COMPLY WITH 302.9 OF THE 2024 FLORIDA RESIDENTIAL BUILDING CODE. WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200. WALL AND CEILING FINISHES SHALL HAVE A SMOKE DEVELOPED INDEX OF NOT GREATER THAN 450.
INSULATION SHALL COMPLY WITH 302.10 OF THE 2024 FLORIDA RESIDENTIAL BUILDING CODE. INSULATION SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25 WITH AN ACCOMPANYING SMOKE DEVELOPED INDEX NOT TO EXCEED 450.
GYPSUM BOARD MATERIALS SHALL COMPLY WITH 702.3.1 OF THE 2024 FLORIDA RESIDENTIAL BUILDING CODE. GYPSUM BOARD MATERIALS SHALL CONFORM TO ASTM C22, C475, C514, C1002, C1047, C1177, C1178, C1278, C1396 OR C1658. ADHESIVES SHALL CONFORM TO ASTM C537.



REVISION	DATE	DESCRIPTION

SECTION A
1"=1' SCALE

BRIAN J. MASKOL FL PE #66080

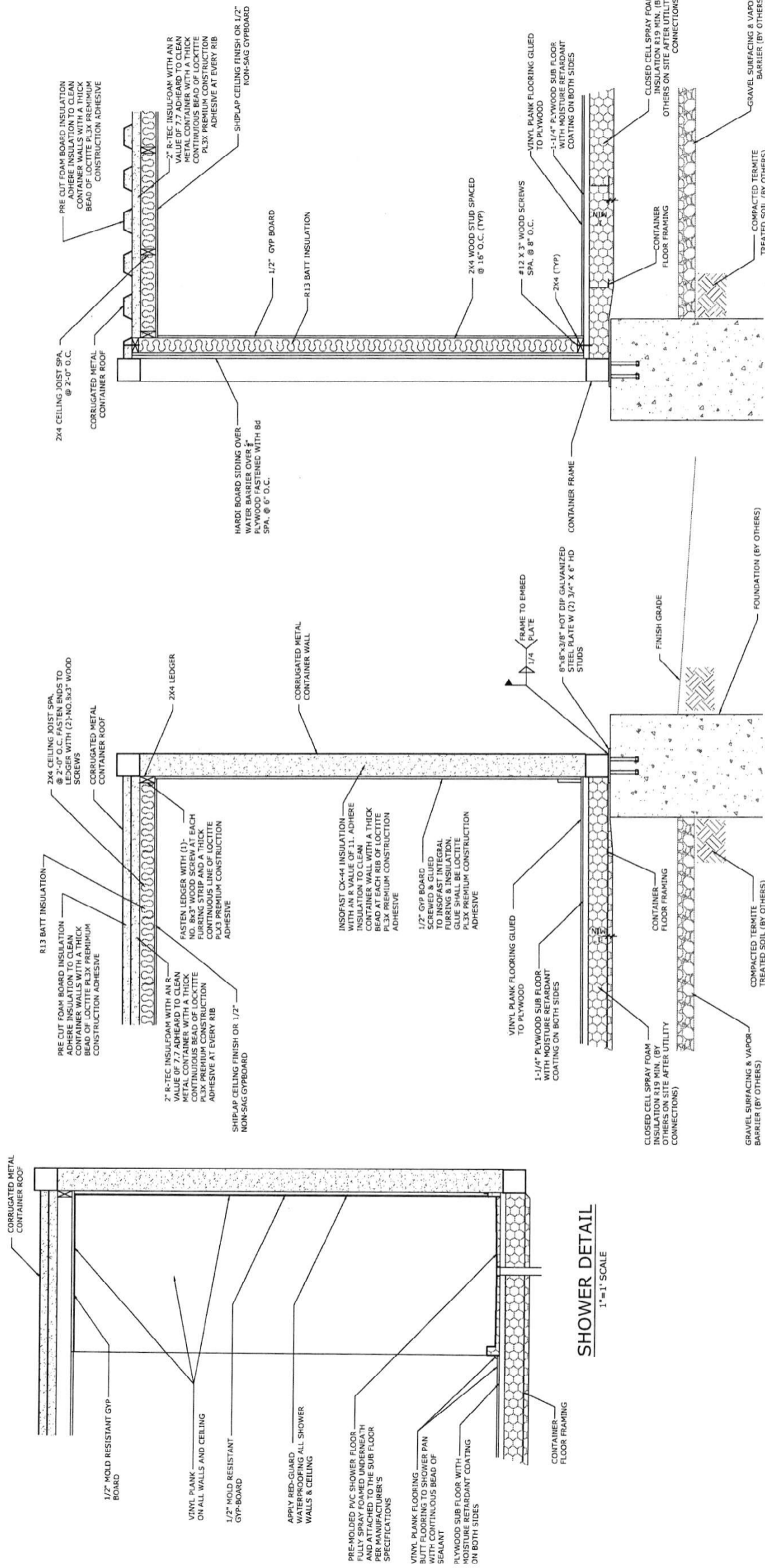
REVISION	DATE	DESCRIPTION

20 FOOT CONTAINER STRUCTURE
TYPE B
SECTIONS

DESIGNED	DATE
GMW	05-10-22
CHECKED	DATE
GMW	05-10-22

JOB NO.	2022-121
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A-4



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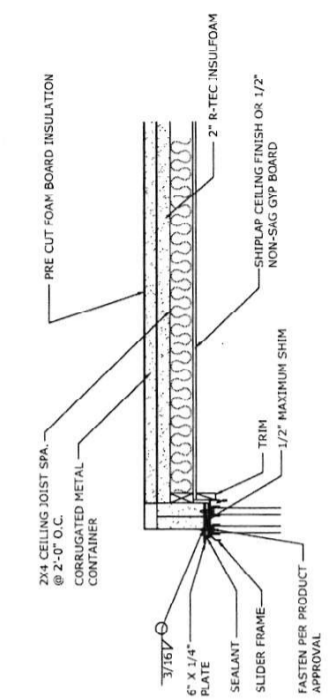
REVISION	DATE	DESCRIPTION

**20 FOOT CONTAINER STRUCTURE
TYPE B
DETAILS**

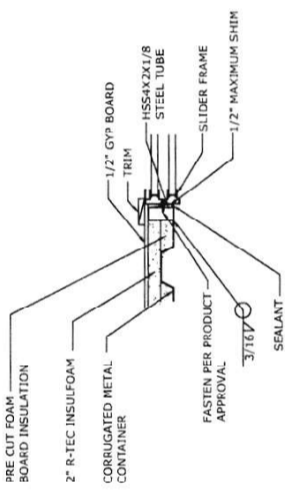
DATE	DESIGNED	DRAWN	CHECKED
05-10-22			
05-10-22			

JOB NO.
2022-121

A-5

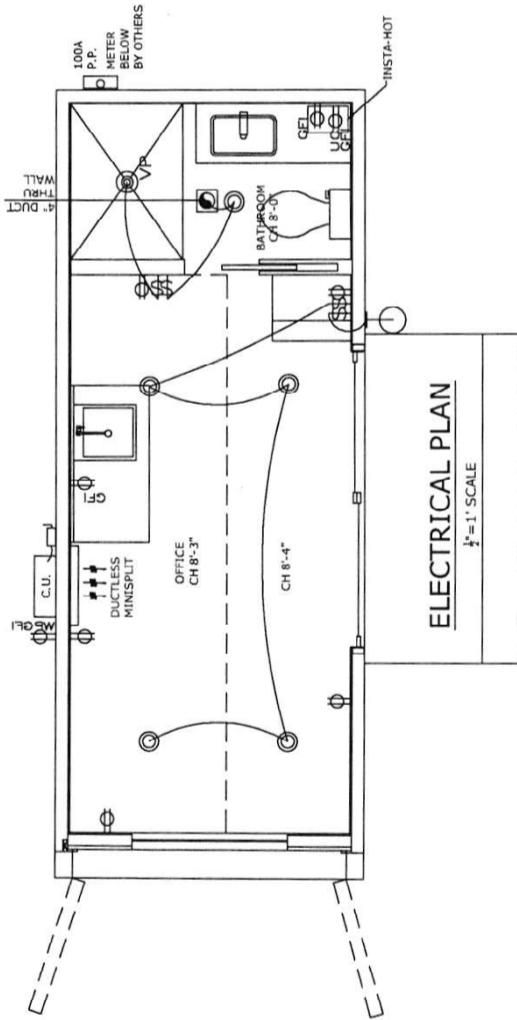


**SLIDING GLASS DOOR
HEAD DETAIL**
1"=1' SCALE



**SLIDING GLASS DOOR
JAMB DETAIL**
1"=1' SCALE

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ELECTRICAL LEGEND

- 4\"/>

NOTE: RECEPTACLES IN KITCHEN & BATH AREAS TO BE 48\"/>

ELECTRICAL GENERAL NOTES

- ALL ELECTRICAL WORK SHALL MEET ALL REQUIREMENTS OF NEC 2017
- ALL CONDUITS AND METAL BOXES SHALL MEET ALL REQUIREMENTS OF NEC 2017
- ALL RECEPTICAL OUTLETS SHALL BE LOCATED, DISTRIBUTED AND INSTALLED AS SPECIFIED IN NEC 2017 -- ARTICLE 210.
- MINIMUM 75% OF LAMPS SHALL BE OF HIGH EFFICIENCY PER FBC 2020 E R 404.
- ALL RECEPTACLES SHALL BE TAMPER RESISTANT PER NEC 406.12.
- ALL 15A AND 20A BREAKERS ARE TO BE OF ARC FAULT PROTECTION (AFC) PER NEC 210.12
- 120V SMOKE ALARM SHALL BE COMBO WITH BATTERY BACK UP INTERCONNECTED TO MASTER BATHROOM LIGHT CIRCUIT. THIS CIRCUIT SHALL BE ARC FAULT PROTECTED.
- LIGHT FIXTURES IN CLOSET SHALL NOT BE INSTALLED WITHIN 12\"/>

**20 FOOT CONTAINER STRUCTURE
TYPE B
ELECTRICAL PLAN AND NOTES**

REVISION	DATE	DESCRIPTION

DESIGNED	DATE
GHW	05-10-22
DRAWN	DATE
GHW	05-10-22
CHECKED	

JOB NO.	2022-121
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E-1

BRIAN J. MASKOL FL PE #66080

Electrical Load Calculations

157 Living SF. at 3 VA	471 VA
(2) Two 20 Amp Appliance Ocls	3000 VA
Insta Hot	2000 VA
Total	5,471 VA
AC Heat at 100%	2,700 VA
Total	15,149 VA

11,571 VA / 240 V = 48 Amps

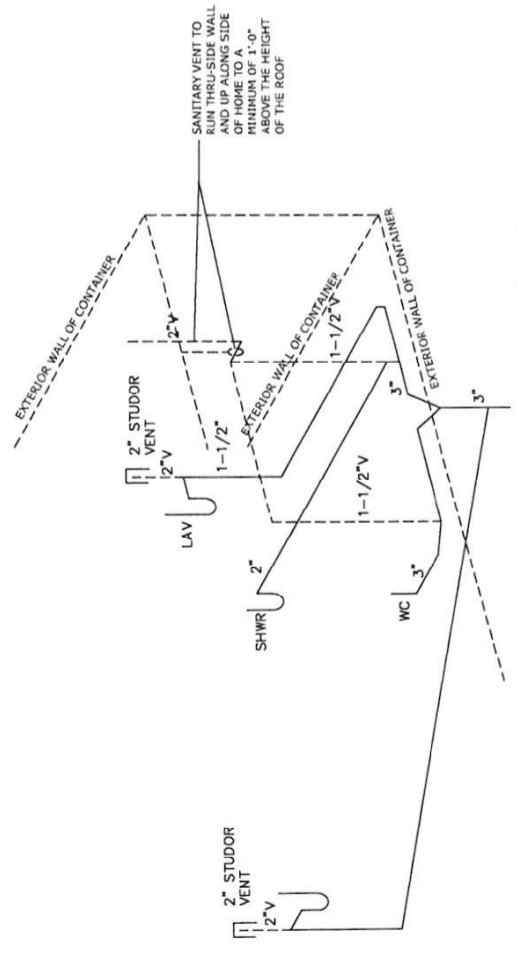
100 Amp NEW Service

Electrical contractor to verify all equipment loads prior to start of construction. Electrical contractor to recalculate electrical schedule if loads are to be modified

MAINS: <input checked="" type="checkbox"/> LOW CENTER <input type="checkbox"/> TOP <input type="checkbox"/> BOTTOM PHASE: 1 <input checked="" type="checkbox"/> MCB AIC: 10K TRIP: WIRE: 3		PANEL DESIG: MAIN		BUSSING: <input checked="" type="checkbox"/> CU <input type="checkbox"/> AL <input type="checkbox"/> ISO GROUND <input type="checkbox"/> HALF NEUTRAL <input checked="" type="checkbox"/> FULL NEUTRAL <input checked="" type="checkbox"/> STD. GROUND BUS AMPS: 100		MOUNTING: <input checked="" type="checkbox"/> SURFACE <input type="checkbox"/> FLUSH VOLTS: 120/240 NEMA TYPE: 3R	
FED FROM: SUPPLY FEEDER:		LOCATION: EXTERIOR		LOAD DESCRIPTION		FEEDER	
COND	WIRE	EG	LOAD DESCRIPTION	COND	WIRE	EG	
12	1	1	BATH LIGHTING	12	1	1	
12	1	1	DEDICATED CIRCUIT	12	1	1	
12	1	1	EXTERIOR LIGHTING	12	1	1	
12	1	1	AIRSTON POS WATER HEATER	12	1	1	
12	1	1	HVAC	12	1	1	
12	1	1	SPACE	12	1	1	

BKR TRIP	IND.	TRIP	IND.	BKR TRIP	IND.	TRIP	IND.
20	1	2	20	20	1	2	20
20	3	4	20	20	3	4	20
15	5	8	20	20	5	8	20
20	7	8	20	20	7	8	20
20	9	10	15	20	9	10	15
-	11	12	-	-	11	12	-

NOTES:
 1. WIRE SIZE SHALL MATCH O.C. TRIP SIZE.
 2. CONDUIT SHALL BE RIMEX UNLESS NOTED AS FOLLOWS: P-PVC, IMC, MC-METAL-CLAD CABLE, NM-NON-METALLIC SHEATHED CABLE.
 3. FULLY RATED PANEL.



PLUMBER TO LOCATE AND CONNECT TO SANITARY SYSTEM (BY OTHERS)

PLUMBING RISER DIAGRAM
NOT TO SCALE

PROVIDE A WATER HAMMER & SHUT OFF VALVE AT EACH FIXTURE AND INSULATE ALL HOT WATER LINES

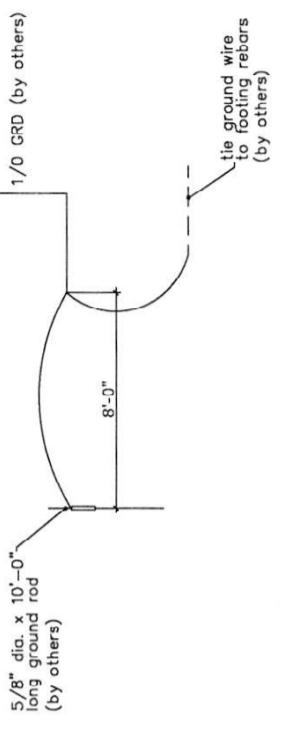
REVISION	DATE	DESCRIPTION

20 FOOT CONTAINER STRUCTURE
TYPE B
ELECTRICAL DETAILS & SANITARY RISER

DESIGNED	DATE
	05-10-22
DRAWN	DATE
	05-10-22
CHECKED	DATE

JOB NO.
2022-121

E-2



Electrical Riser Diagram

BRIAN J. MASKOL FL PE #66080

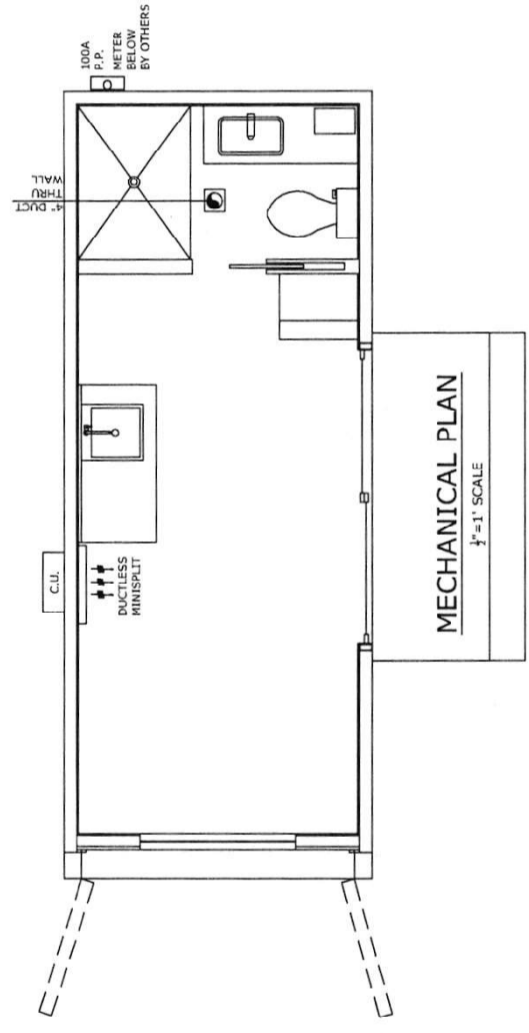
20 FOOT CONTAINER STRUCTURE
TYPE B
MECHANICAL PLAN &
SCHEDULE

DESIGNED GWW	DATE 05-11-22
DRAWN GWW	CHECKED

JOB NO. 2022-121

M-1

REVISION	DATE	DESCRIPTION



TAG	MANUFACTURER	MODEL NO.	AMBIENT TEMP.	TONNAGE	POWER	M.C.A.	M.O.C.P.	WEIGHT	NOTES
MS	MR COOL	A-12-HP-WMAH-115B A-12-HP-C-115B	91°F	1.0	115/60/1	15	20	INDOOR 24,91 OUTDOOR 67,28	

ADVANTAGE SERIES MINI SPLIT HEAT PUMP

MECHANICAL PLAN
3/8"=1' SCALE

BRIAN J. MASKOL FL PE #66080

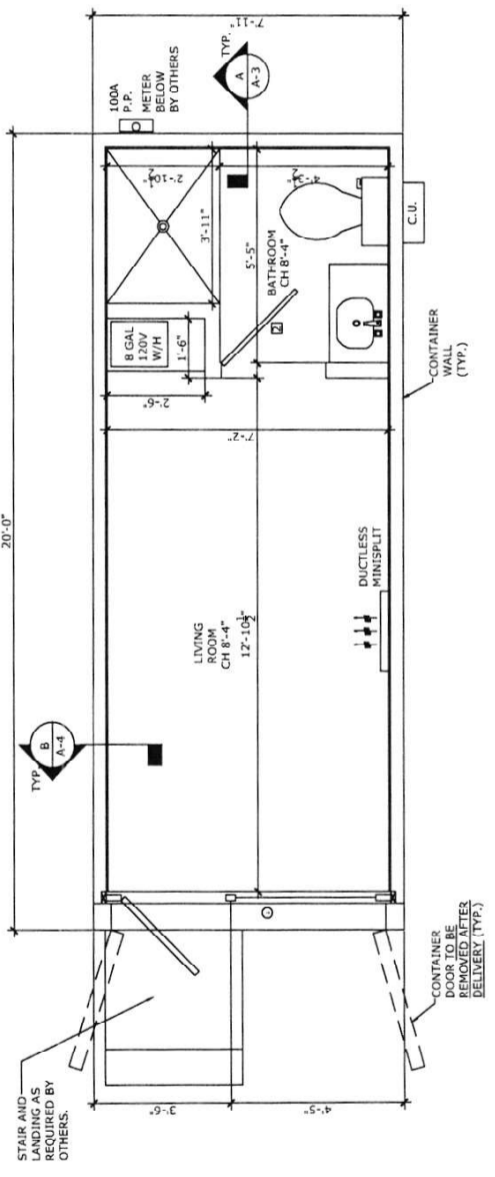
Scope of Work
New container structure

Building Code
2020 Florida Building Code: Residential
2017 National Electric Code

Design Loads
Roof Live Load: 20.0 p.s.f.
Floor Live Load: 40.0 p.s.f.
Wind Speed: 170 MPH (3 second gust)
Wind Importance Factor: 1.0
Building Category: II
Wind Exposure: C
Internal Pressure Coefficient: +/-0.18
Structure Designed: Enclosed

NOTE; FOUNDATION DESIGN BY OTHERS BASED ON SITE SPECIFIC SOIL CONDITIONS. FOUNDATION SHALL BE DESIGNED BY A LICENSED FLORIDA PROFESSIONAL ENGINEER.

AREA SCHEDULE	
LIVING ROOM	114 SQ. FT.
BATHROOM	43 SQ. FT.
TOTAL SQ. FT.	157 SQ. FT.



FLOOR PLAN
1/4" = 1' SCALE

20 FOOT CONTAINER STRUCTURE
TYPE A
FLOOR PLAN, NOTES, SCHEDULES
AND PRODUCT APPROVALS

DATE	DESIGNED	DATE
05-10-22	BJM	05-10-22
05-10-22	GWV	05-10-22

JOB NO.
2022-121

A-1

DOOR/WINDOW SCHEDULE

<input type="checkbox"/> Exterior Doors	<input type="checkbox"/> Interior Doors
Type	
Size	WINDOW WALL SYSTEM
1	CUSTOM
2	2868
	FULLY LOUVERED DOOR

U FACTOR, SHGC FROM BRUCE, GLASS TYPE

PRODUCT APPROVAL

Approval Number	Product	Model Number	Manufacturer	Glass Type	Attachment Method	Building Rated Design Pressures	Product Rated Design Pressures
FL# 27000.1	Window wall system	Series M2-5000 Aluminum Window Wall System	mr glass doors & windows mfg llc	Impact	1/4" tabs or self drilling screws at 4" into metal structure (C) threads to extend beyond metal thickness (steel 1/8" minimum thickness) or 1/8" Ultrason by Eico into 2x wood bucks with 1-1/2" min. penetration. See product approval for spacing.	+31.2/-41.8	+/-70

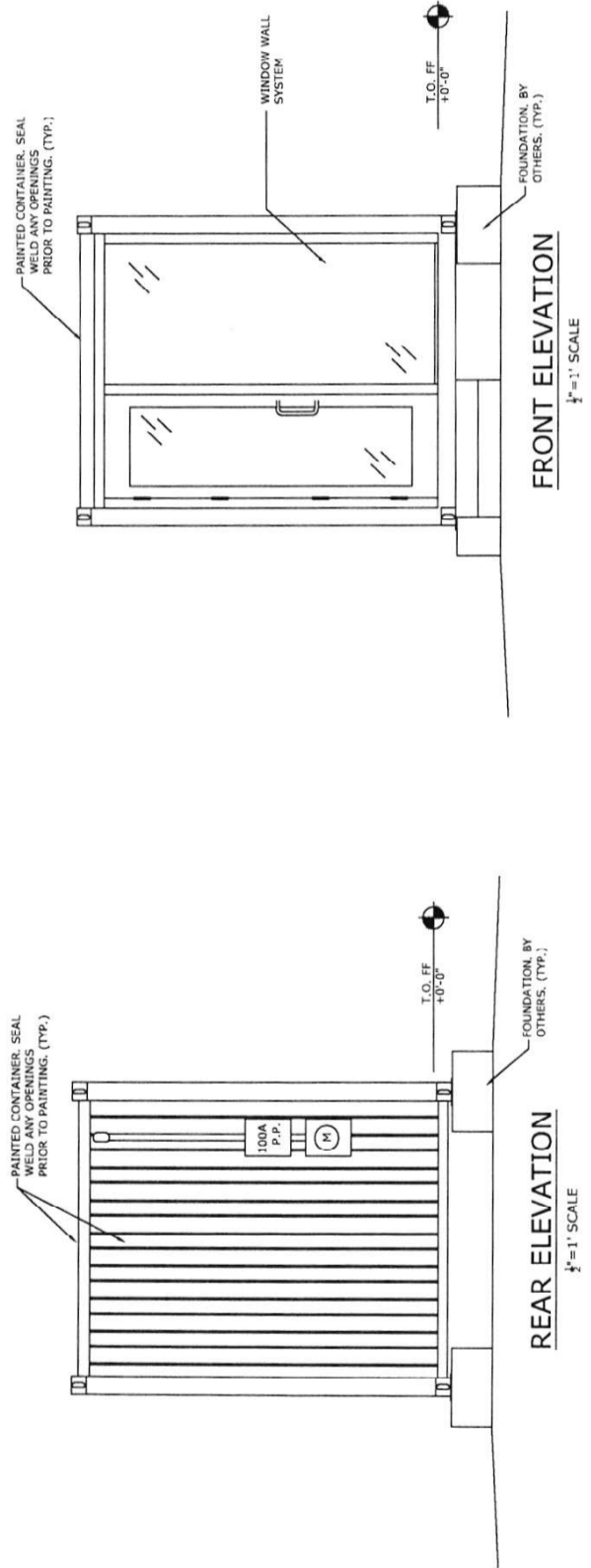
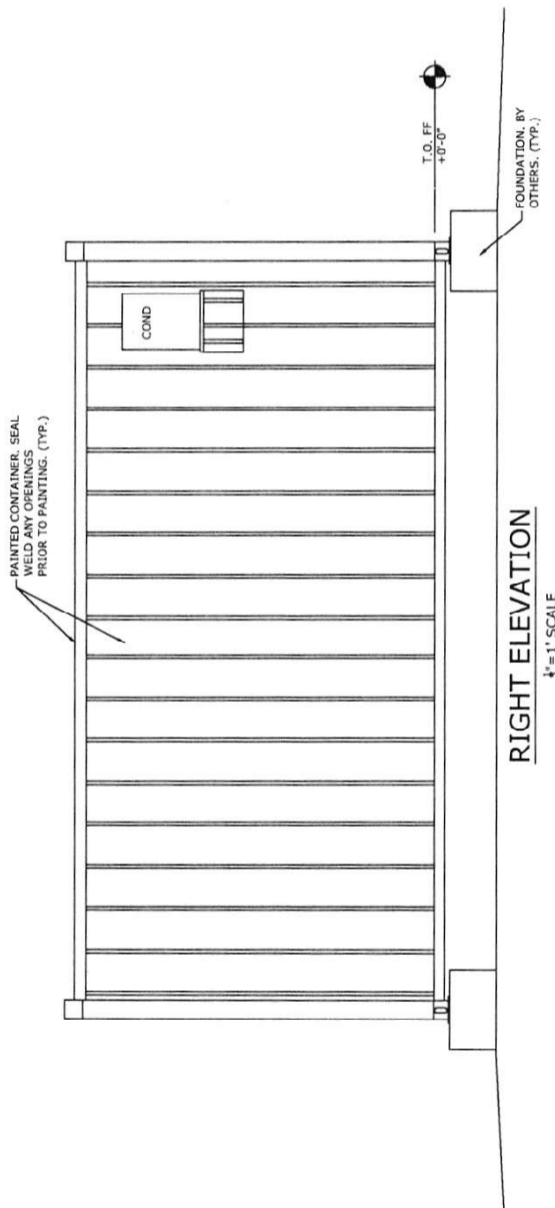
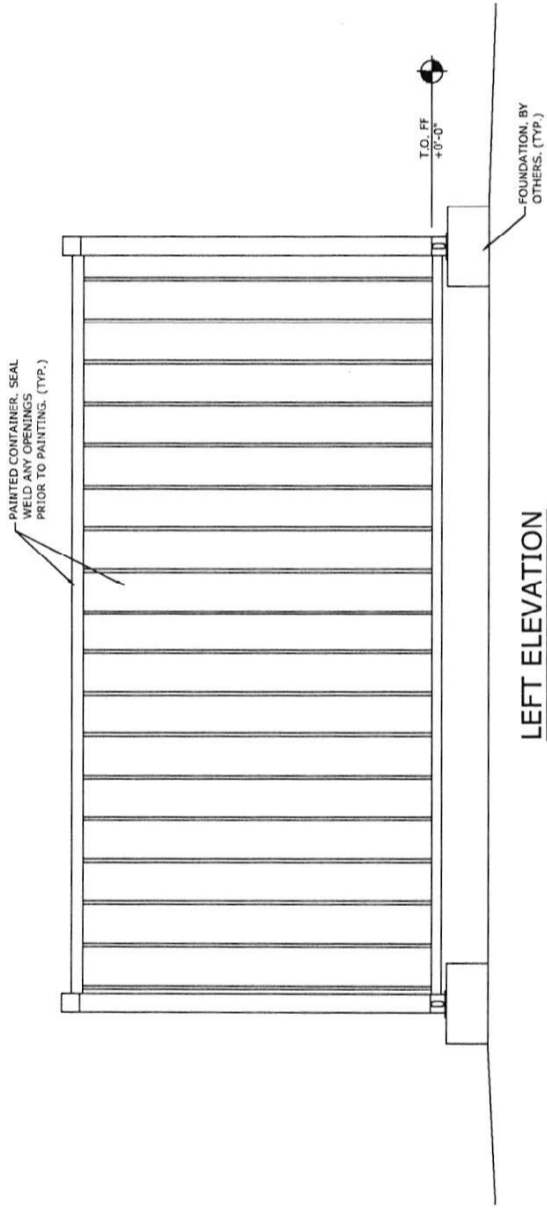
REVISION	DATE	DESCRIPTION

**20 FOOT CONTAINER STRUCTURE
TYPE A
ELEVATIONS**

DATE	DESIGNED	DRAWN	CHECKED
05-10-22			
05-10-22			

JOB NO.
2022-121

A-2



BRIAN J. MASKOL FL PE #66080

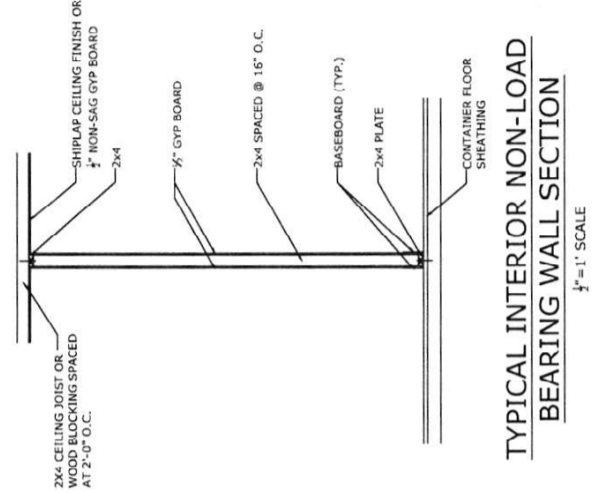
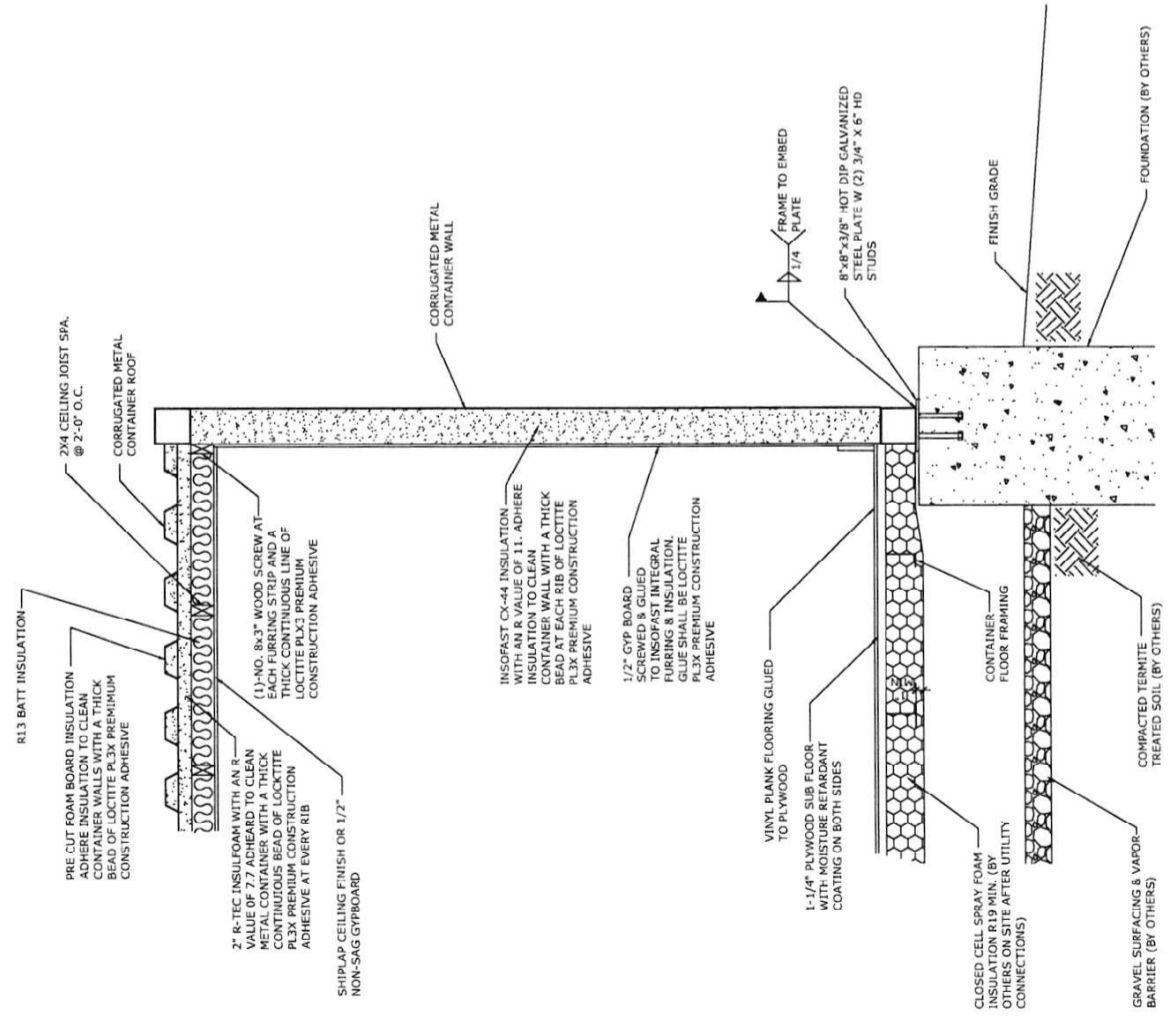
**20 FOOT CONTAINER STRUCTURE
TYPE A**
SECTIONS, DETAILS
& NOTES

DATE	DESIGNED	DESIGNED BY	CHECKED
05-10-22			
05-10-22			

JOB NO. 2022-121

A-3

FINISH NOTES:
WALL AND CEILING FINISHES SHALL COMPLY WITH 302.9 OF THE 2020 FLORIDA RESIDENTIAL BUILDING CODE. WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200. WALL AND CEILING FINISHES SHALL HAVE A SMOKE DEVELOPED INDEX OF NOT GREATER THAN 450.
INSULATION SHALL COMPLY WITH 303.1.0 OF THE 2020 FLORIDA RESIDENTIAL BUILDING CODE. INSULATION MATERIALS SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25 WITH AN ACCOMPANYING SMOKE DEVELOPED INDEX NOT TO EXCEED 500.
GYP/SIM BOARD MATERIALS SHALL COMPLY WITH 702.3.1.1 OF THE 2012 FLORIDA RESIDENTIAL BUILDING CODE. GYP/SIM BOARD MATERIALS SHALL COMPLY WITH ASTM C226, C247.5, C514, C1002, C1047, C1177, C1178, C1278, C1396 OR C1098. ADHESIVES SHALL CONFORM TO ASTM C537.



SECTION A
1"=1' SCALE

REVISION	DATE	DESCRIPTION

BRIAN J. MASKOL FL PE # 66080

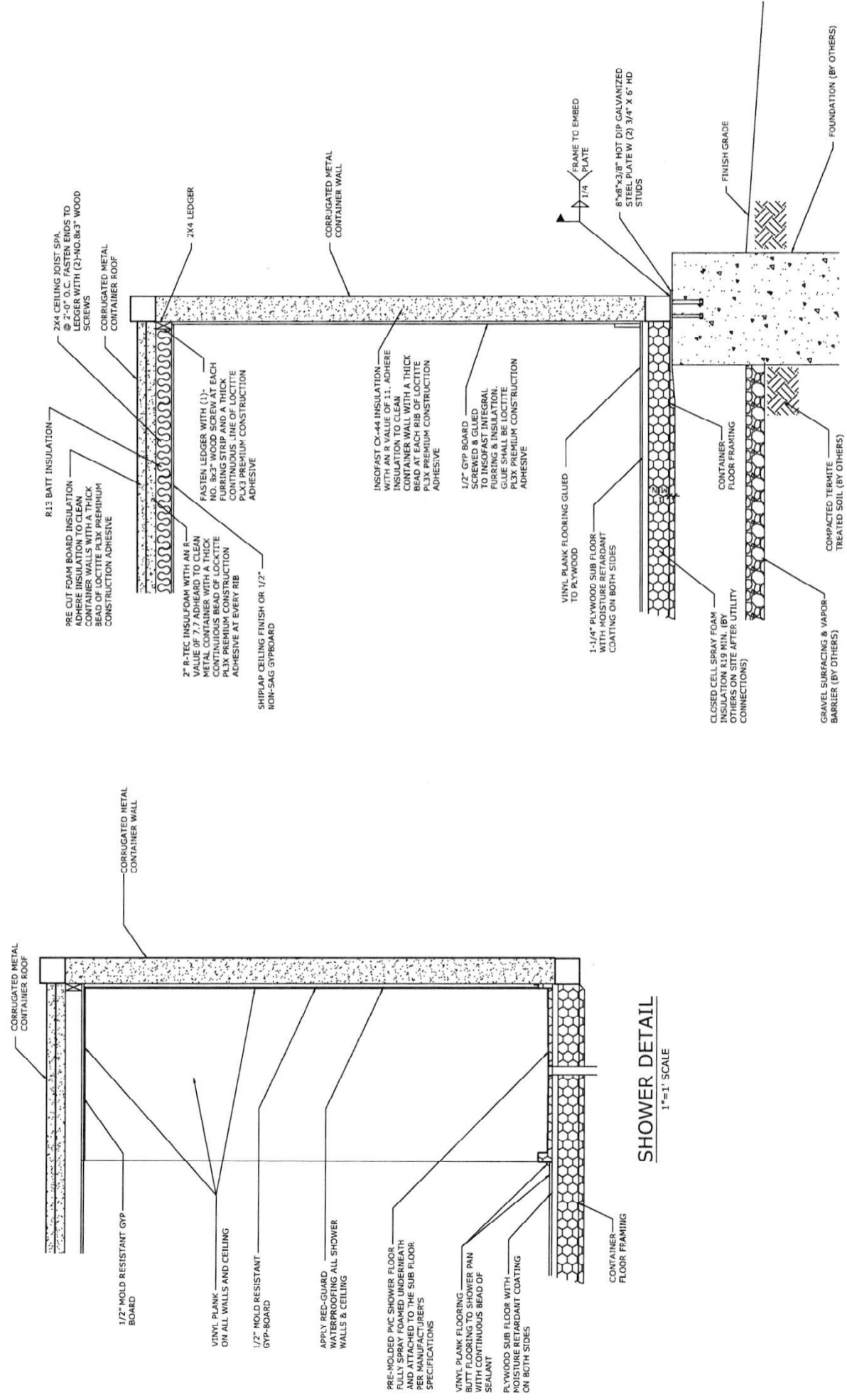
REVISION	DATE	DESCRIPTION

20 FOOT CONTAINER STRUCTURE
TYPE A
SECTIONS

DATE	DESIGNED
05-10-22	
CHECKED	DATE
	05-10-22

JOB NO.
2022-121

A-4



SECTION B
1"=1' SCALE

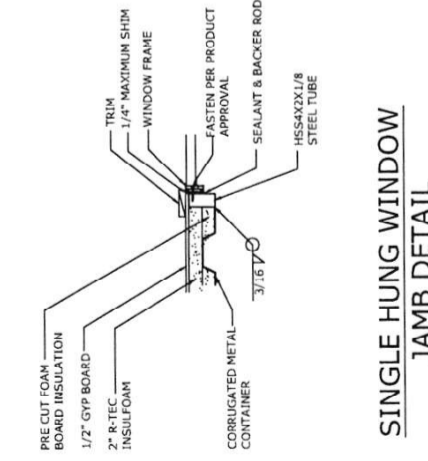
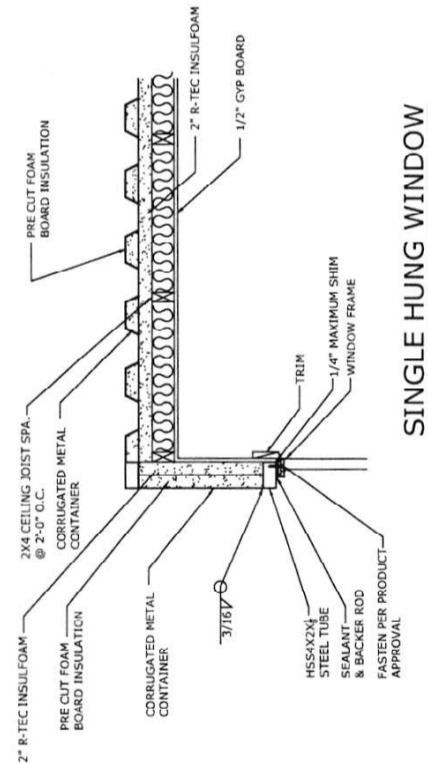
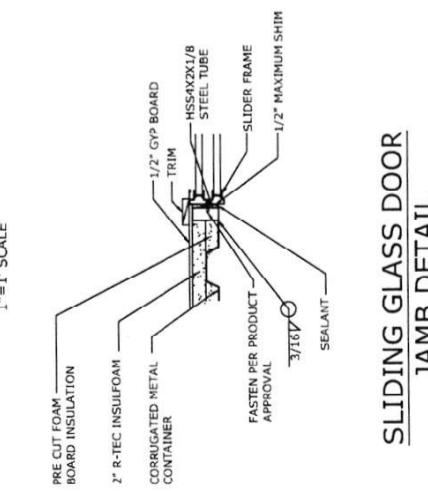
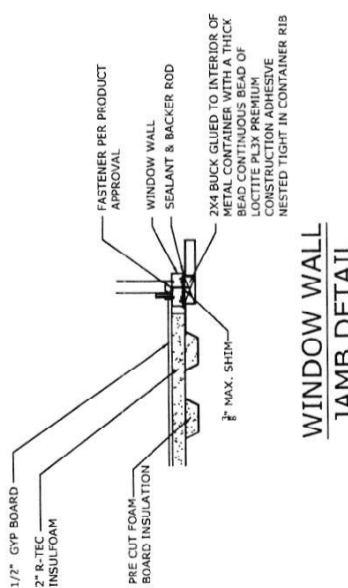
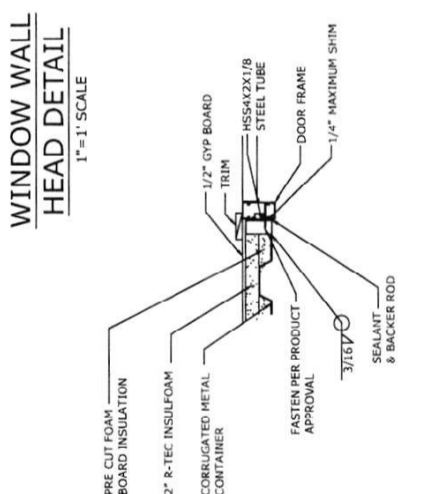
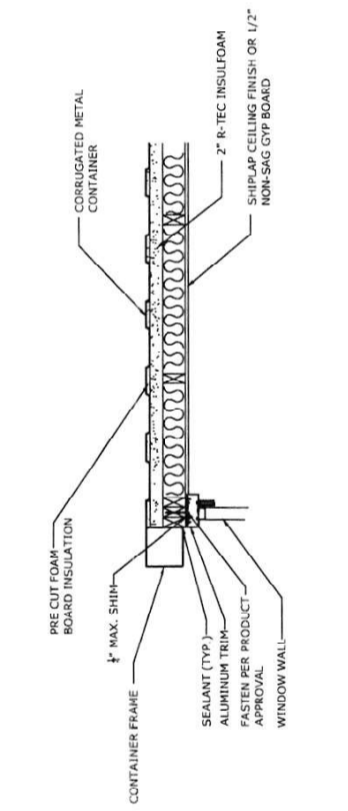
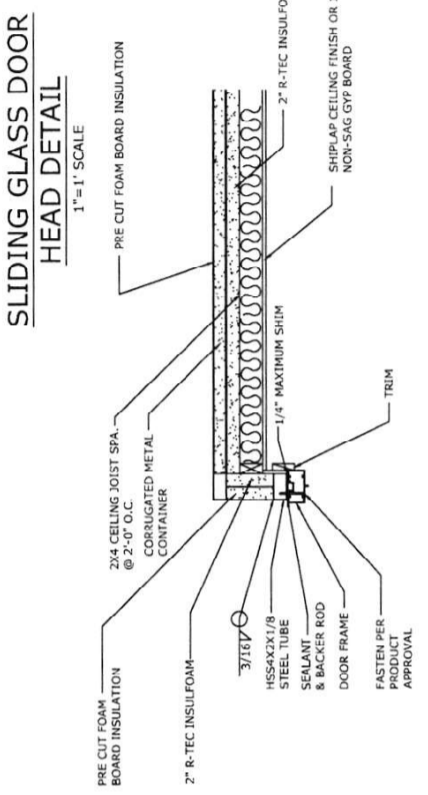
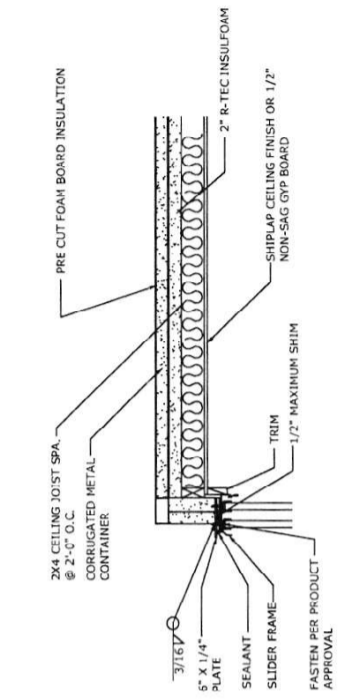
BSIAN J. MASKOL FL PE #6608D

REVISION	DATE	DESCRIPTION

20 FOOT CONTAINER STRUCTURE
TYPE A
DETAILS

DATE	DESIGNED
05-10-22	
CHECKED	DATE
05-10-22	

JOB NO. 2022-121

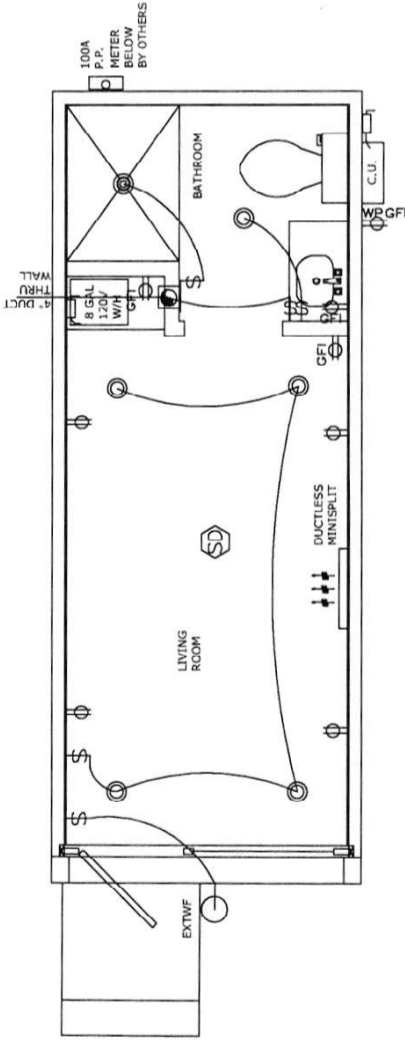


BRIAN J. MASKOL FL PE #66080

ELECTRICAL LEGEND

- 4" LED RECESSED LIGHT
- ◻ LED BATHROOM LIGHT STRIP
- ⊕ EXTERIOR LIGHT BALL FIXTURE
- ⊕ BATHROOM EXHAUST FAN
- ⊕ DUPLEX OUTLET
- ⊕ 220 V OUTLET
- ⊕ GROUND FAULT INTERRUPTER
- ⊕ WEATHER PROOF GROUND FAULT SWITCH
- ⊕ TELEVISION
- ⊕ SMOKE DETECTOR
- ⊕ DISCONNECT

NOTE: RECEPTACLES IN KITCHEN & BATH AREAS TO BE 48" A.F.F.
ALL 120V SINGLE PHASE 15 & 20 AMP BRANCH CIRCUITS SUPPLYING
RECEPTACLES SHALL BE INSTALLED IN 100 VOLT SINGLE
PHASE 15 & 20 AMP BRANCH CIRCUITS



ELECTRICAL PLAN
3/8"=1' SCALE

ELECTRICAL GENERAL NOTES

- ALL ELECTRICAL WORK SHALL MEET ALL REQUIREMENTS OF NEC 2017
- ALL CONDUITS AND METAL BOXES SHALL MEET ALL REQUIREMENTS OF NEC 2017
- ALL RECEPTICAL OUTLETS SHALL BE LOCATED, DISTRIBUTED AND INSTALLED AS SPECIFIED IN NEC 2017 - ARTICLE 210.
- MINIMUM 75% OF LAMPS SHALL BE OF HIGH EFFICIENCY PER NEC 2020 E R 404.
- ALL RECEPTACLES SHALL BE TAMPER RESISTANT PER NEC 406.12.
- ALL 15A AND 20A BREAKERS ARE TO BE OF ARC FAULT PROTECTION (AFCI) PER NEC 210.12
- 120V SMOKE ALARM SHALL BE COMBO WITH BATTERY BACK UP INTERCONNECTED TO MASTER BATHROOM LIGHT CIRCUIT. THIS CIRCUIT SHALL BE ARC FAULT PROTECTED.
- LIGHT FIXTURES IN CLOSET SHALL NOT BE INSTALLED WITHIN 12" OF SHELF.
- ALL OUTDOOR ELECTRICAL JUNCTION BOXES SHALL BE WEATHER PROOF.
- ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED ABOVE FLOOD LEVEL, TYPICAL.
- ELECTRICAL SERVICE LOCATION, SHALL BE COORDINATED WITH FPL REFER TO RISER DIAGRAM FOR SERVICE CONDUCTOR SIZES.

REVISION	DATE	DESCRIPTION

**20 FOOT CONTAINER STRUCTURE
TYPE A
ELECTRICAL PLAN AND NOTES**

DESIGNED	DATE
GNW	05-10-22
DRAWN	DATE
GNW	05-10-22
CHECKED	DATE

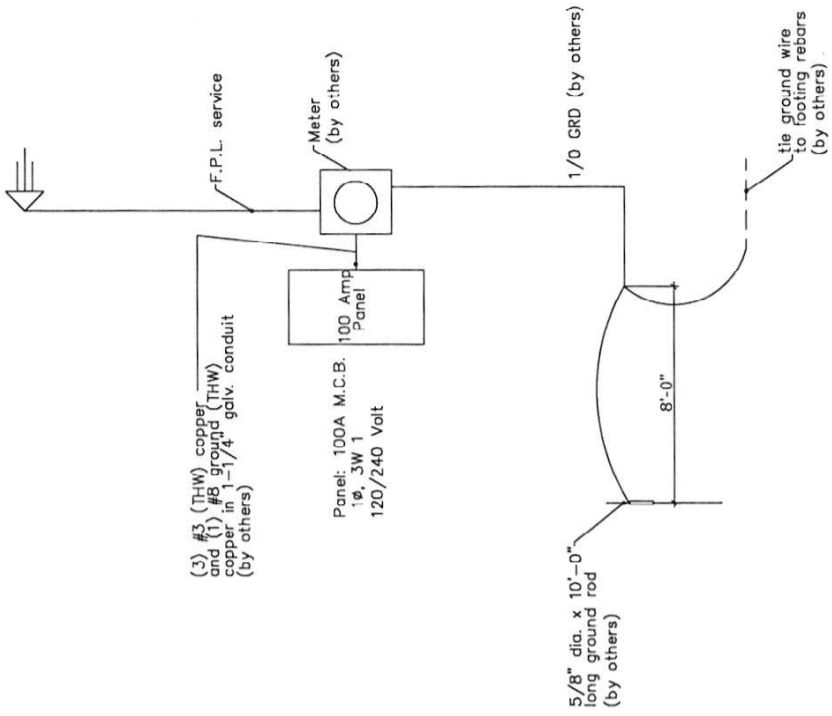
JOB NO. 2022-121

BRIAN J. MASKOL FL PE #66080

Electrical Load Calculations

157 Living S.F. at 3 VA	471 VA
(2) Two 20 Amp Appliance Ckts	3000 VA
Water Heater	2000 VA
Total	5,471 VA
AC Heat at 100%	2,700 VA
Total	15,149 VA
11,571 VA / 240 V = 48 Amps	
100 Amp NEW Service	

Electrical contractor to verify all equipment loads prior to start of construction. Electrical contractor to recalculate electrical schedule if loads are to be modified

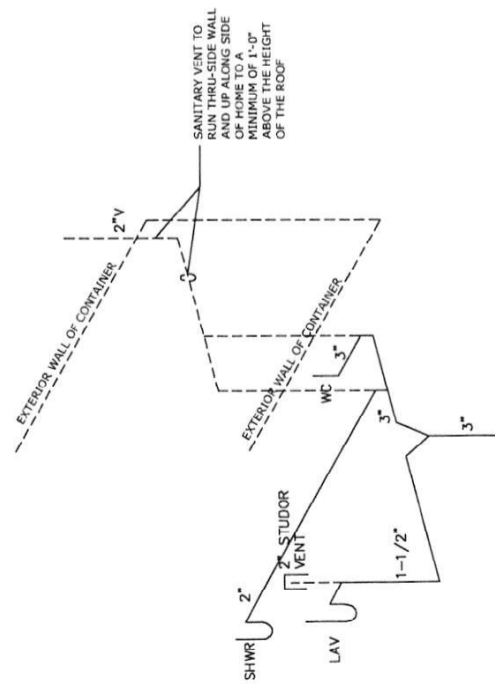


Electrical Riser Diagram

MAINS: <input checked="" type="checkbox"/> LOAD CENTER <input type="checkbox"/> PANELBOARD <input type="checkbox"/> MLD <input type="checkbox"/> TOP <input type="checkbox"/> BOTTOM PHASE: 1 <input checked="" type="checkbox"/> MCB AIC: 10K TRIP: WIRE: 3 FED FROM: SUPPLY FEEDER:		PANEL DESIG: MAIN LOCATION: EXTERIOR		BUSSING: <input checked="" type="checkbox"/> CU <input type="checkbox"/> AL <input type="checkbox"/> ISO GROUND <input type="checkbox"/> HALF NEUTRAL <input checked="" type="checkbox"/> FULL NEUTRAL <input checked="" type="checkbox"/> STD. GROUND BUS AMPS: 100		MOUNTING: <input checked="" type="checkbox"/> SURFACE <input type="checkbox"/> FLUSH VOLTS: 120/240 NEMA TYPE: 3R	
FEEDER	WIRE	EG	LOAD DESCRIPTION	COND	WIRE	FEEDER	EG
12	12	1	BATH LIGHTING	12	12	1	1
12	12	1	DEDICATED CIRCUIT	12	12	1	1
12	12	1	EXTERIOR LIGHTING	12	12	1	1
12	12	1	HOT WATER HEATER	12	12	1	1
1	12	1	HMC	12	12	1	1

NOTES:

1. PER ALL WIRE & TRIP SIZE.
2. PER ALL WIRE UNLESS NOTED.
3. CONDUIT SHALL BE RIMEX UNLESS NOTED AS FOLLOWS: P-MPC, HMC, HMC-METAL-CLAD CABLE, NON-METALIC SHIELDED CABLE.
3. FULLY RATED PANEL.



PLUMBER TO LOCATE AND CONNECT TO SANITARY SYSTEM (BY OTHERS)

PLUMBING RISER DIAGRAM

NOT TO SCALE

PROVIDE A WATER HAMMER & SHUT OFF VALVE AT EACH FIXTURE AND INSULATE ALL HOT WATER LINES

20 FOOT CONTAINER STRUCTURE
TYPE A
ELECTRICAL DETAILS &
SANITARY RISER

REVISION	DATE	DESCRIPTION

DESIGNED	DATE
TSZAWN	05-10-22
CHECKED	DATE
GMW	05-10-22

JOB NO.	2022-121
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BRIAN J. MASKOLO FL PE #66080

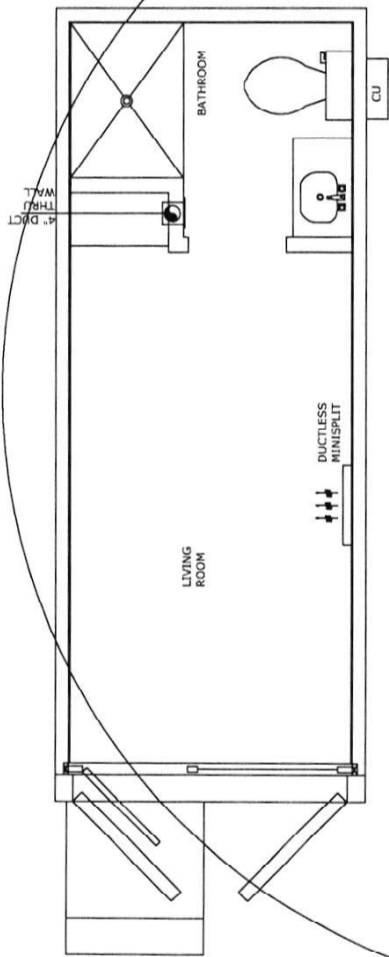
REVISION	DATE	DESCRIPTION

20 FOOT CONTAINER STRUCTURE
TYPE A
MECHANICAL PLAN,
SCHEDULE & NOTES

DATE	DESIGNED	CHECKED
05-10-22 <td> </td> <td> </td>		
05-10-22 <td> </td> <td> </td>		

JOB NO.
2022-121

M-1



MECHANICAL PLAN
1/4" = 1' SCALE

CONDENSER SCHEDULE:									
TAG	MANUFACTURER	MODEL NO.	AMBIENT TEMP.	TONNAGE	POWER	M.C.A.	M.O.C.P.	WEIGHT	NOTES
CU	TRANE	4TTR6018J1	91°F	1.5	208-230V	18	25	276	

AIR HANDLING UNIT SCHEDULE:												
TAG	MANUFACTURER	MODEL NO.	NOM. CFM	O.A. CFM	KW	POWER	M.C.A.	M.O.C.P.	WEIGHT	THERMOSTAT PROGRAMMABLE	FILTER FRAME	NOTES
AHU	TRANE	TEM4A0B18S21	627	--	2.2	208/230 VAC	2.8	15	117	PROGRAMMABLE	YES	

DESIGNED	DATE
DRAWN	05-10-22
CHECKED	05-10-22

JOB NO.
2022-121

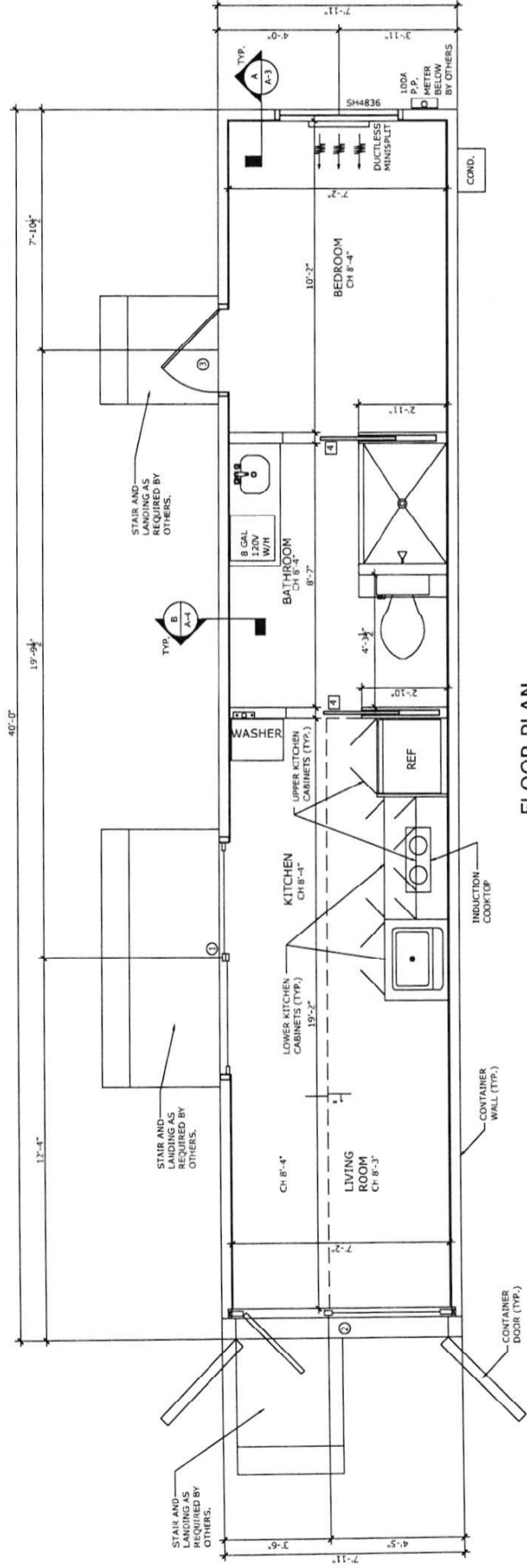
A-1

40 FOOT CONTAINER HOUSE
FLOOR PLAN, NOTES, SCHEDULES
AND PRODUCT APPROVALS

Scope of Work
New single family residence
Building Code 2017 National Electrical Code
Design Loads
Floor Live Load: 20.0 p.s.f.
Floor Live Load: 40.0 p.s.f.
Wind Speed: 170 MPH (3 second gusts)
Wind Importance Factor: 1.0
Wind Exposure: C
Internal Pressure Coefficient: +/-0.18
Structure Designed: Enclosed

AREA SCHEDULE	AREA
LIVING ROOM	82 SQ. FT.
KITCHEN	72 SQ. FT.
BEDROOM	83 SQ. FT.
BATHROOM	74 SQ. FT.
TOTAL SQ. FT.	312 SQ. FT.

NOTE: FOUNDATION DESIGN BY OTHERS BASED ON SITE SPECIFIC DATA. FOUNDATION SHALL BE DESIGNED BY A LICENSED FLORIDA PROFESSIONAL ENGINEER.



FLOOR PLAN
1/4" = 1' SCALE

Approval Number	Product	Model Number	Manufacturer	Class Type	Attachment Method	Building Rated Design Pressures	Product Rated Design Pressures
FL# 20352.1	S.H. Windows	Series MG-200	Mt. glass doors & windows mfg llc	Impact	#14 SWS or self drilling screws into metal structures (steel 1/8" minimum thickness). See product approval for spacing.	+31.2/-41.8	+/-80
FL# 19092	Sliding Glass Door	Series MG-1000 Aluminum SD	Mt. glass doors & windows mfg llc	Impact	5/16" x 6" or self drilling screws into metal structures (head & jamb) (3) Threads to extend beyond metal thickness (steel 7/8" minimum thickness). See product approval for spacing.	+31.2/-41.8	+65/-75
FL# 27000.1	Window Wall System	Series MG-5000 Window Wall System	Mt. glass doors & windows mfg llc	Impact	1/4" x 6" or self drilling screws 1/4" into metal structures. (3) Threads to extend beyond metal thickness (steel 7/8" minimum thickness). See product approval for spacing. See product approval for penetration.	+31.2/-41.8	+/-70

WINDOW SCHEDULE

MARK	WINDOW SIZE, WxH	TYPE	REMARKS
SH4836	48" x 36"	Single Hung	Impact

U FACTOR, SHGC FROM BRUCE, GLASS TYPE

DOOR SCHEDULE

Size, WxH	Type
1 7783	Sliding Glass Door
2 CUSTOM	Window wall system
3 2583	Swing door
4 2868	Fully Louvered Pocket Door

REVISION	DATE	DESCRIPTION

BRAND: MASCOR FL PE 46600

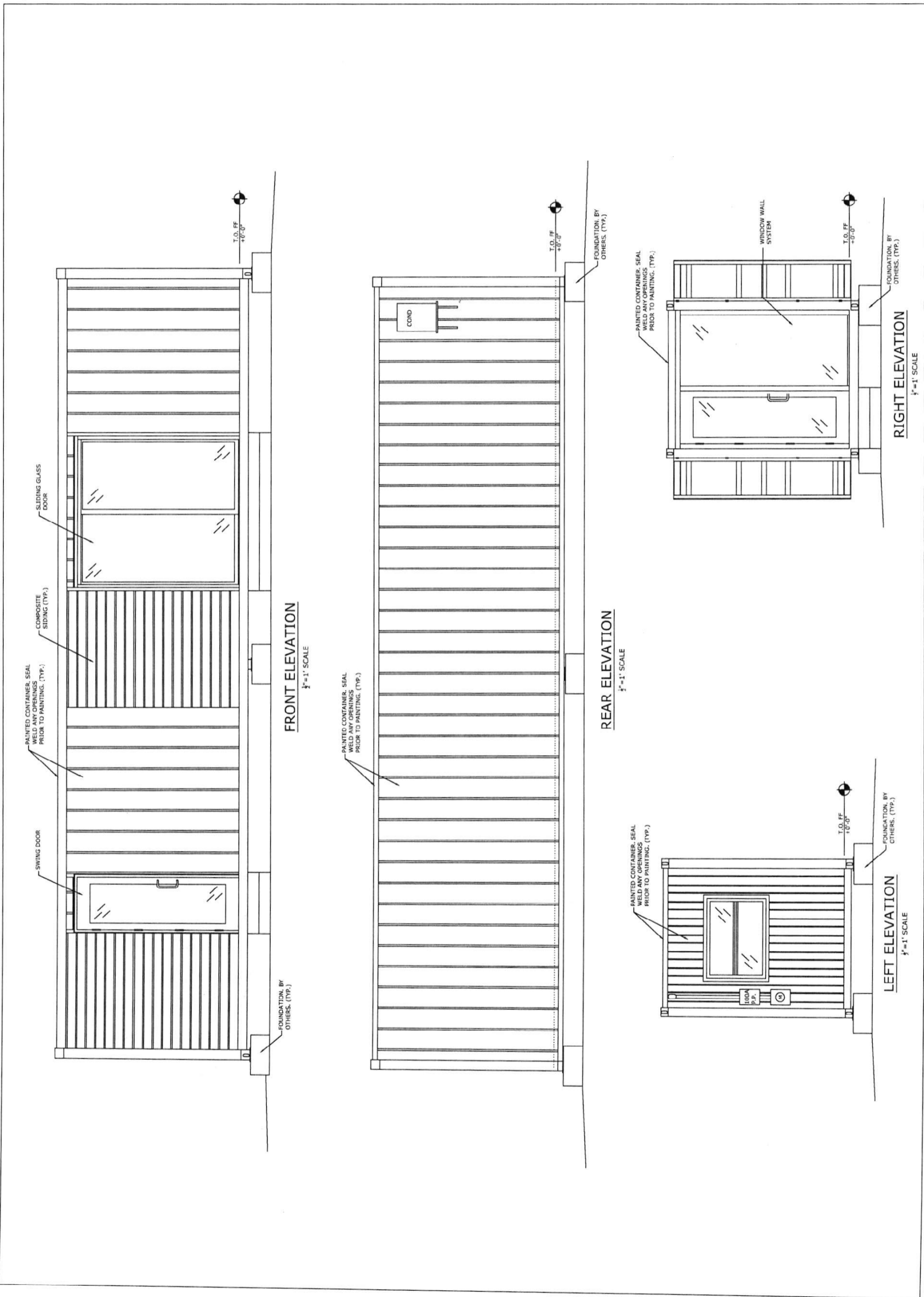
REVISION	DATE	DESCRIPTION

40 FOOT CONTAINER HOUSE
ELEVATIONS

DATE	DATE
DESIGNED GHW	05-10-22
DRAWN GHW	05-10-22
CHECKED	

JOB NO.
2022-121

A-2



BRIAN J. MASKOL FL PE #66080

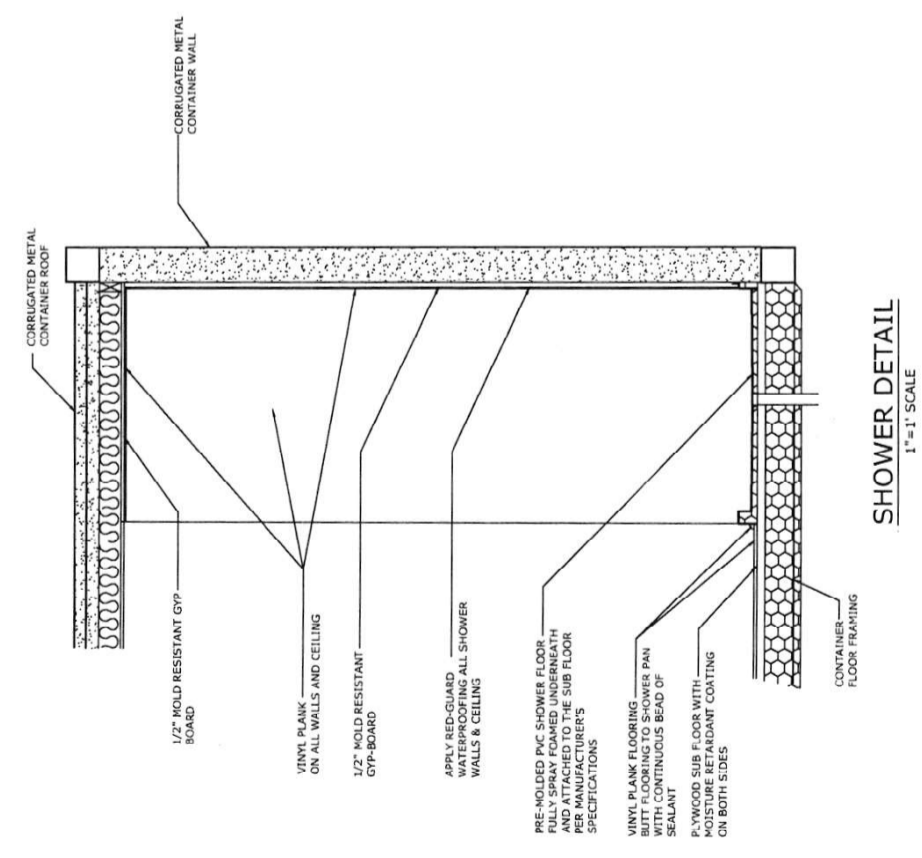
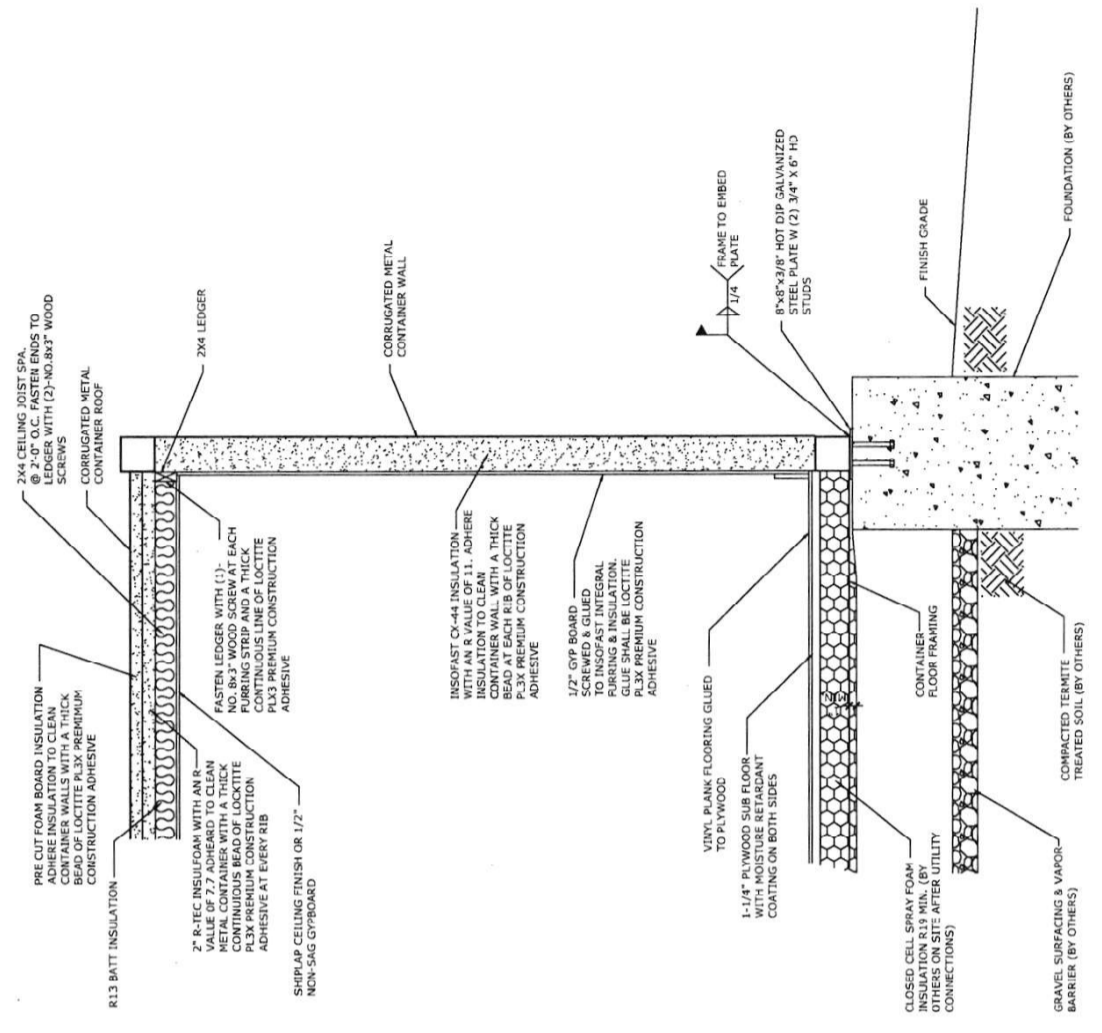
REVISION	DATE	DESCRIPTION

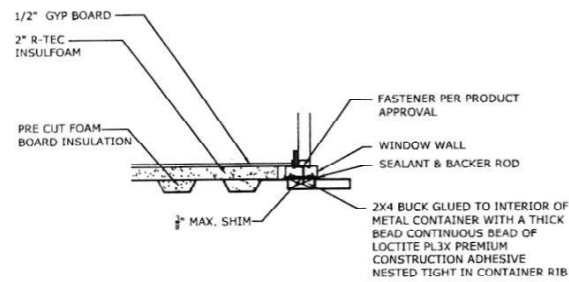
40 FOOT CONTAINER HOUSE
SECTIONS

DESIGNED	DATE
GHW	05-10-22
DRAWN	DATE
GHW	05-10-22
CHECKED	DATE

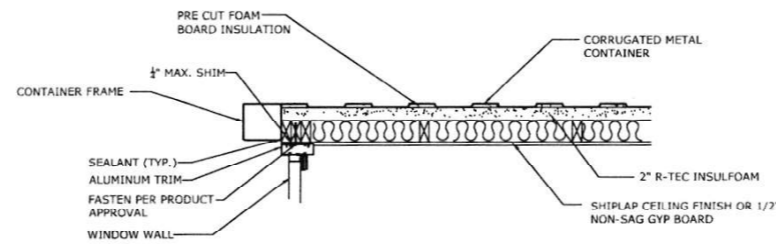
JOB NO. 2022-121

A-4

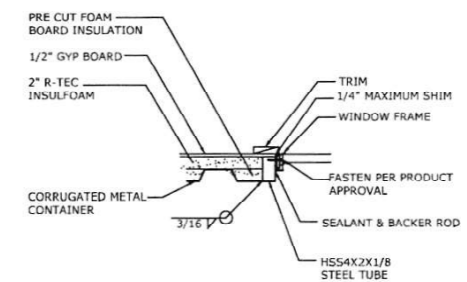




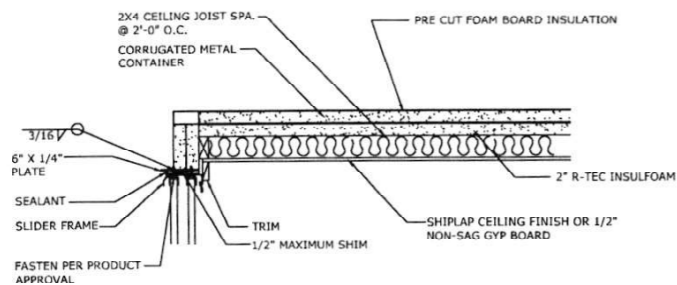
**WINDOW WALL
JAMB DETAIL**
1"=1' SCALE



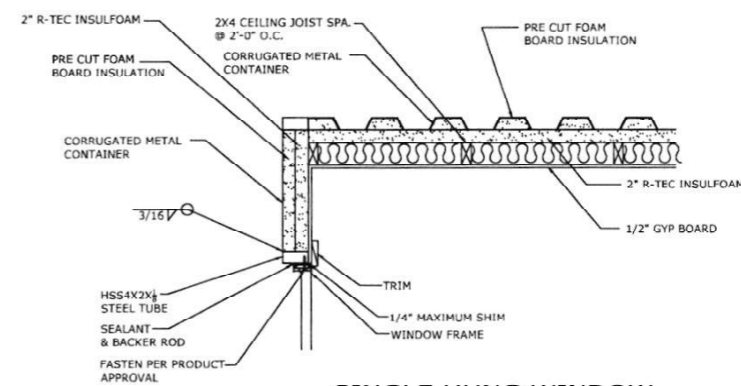
**WINDOW WALL
HEAD DETAIL**
1"=1' SCALE



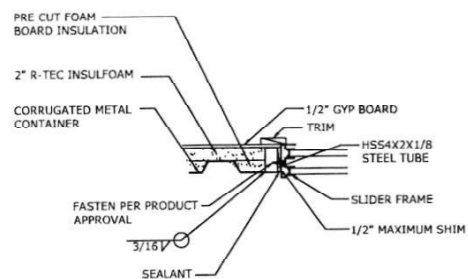
**SINGLE HUNG WINDOW
JAMB DETAIL**
1"=1' SCALE



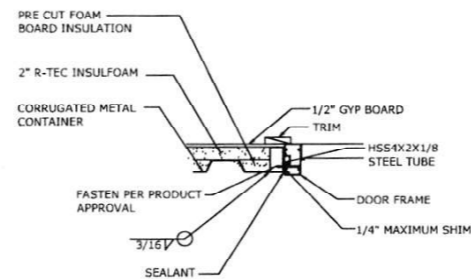
**SLIDING GLASS DOOR
HEAD DETAIL**
1"=1' SCALE



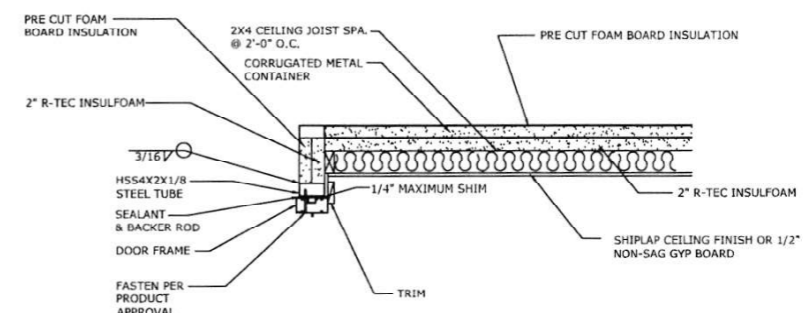
**SINGLE HUNG WINDOW
HEAD DETAIL**
1"=1' SCALE



**SLIDING GLASS DOOR
JAMB DETAIL**
1"=1' SCALE



**SWING DOOR
JAMB DETAIL**
1"=1' SCALE



**SWING DOOR
HEAD DETAIL**
1"=1' SCALE

REVISION	DATE	DESCRIPTION

**40 FOOT CONTAINER HOUSE
DETAILS**

DESIGNED	DATE
GMW	05-10-22
DRAWN	DATE
GMW	05-10-22
CHECKED	DATE

JOB NO.
2022-121

A-5

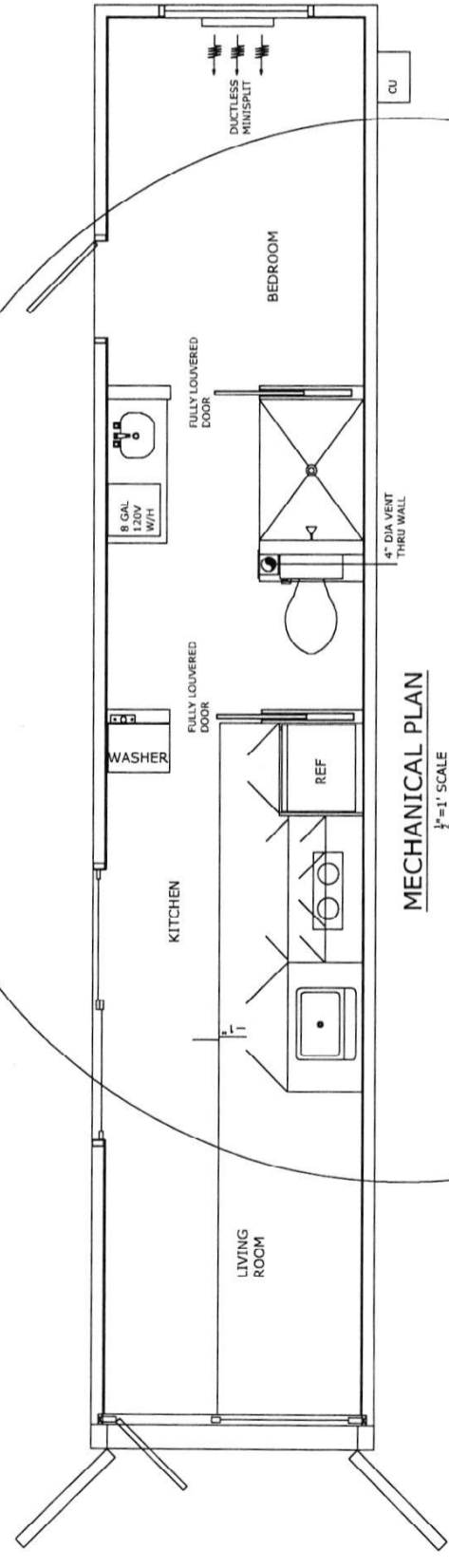
BRIAN J. MASKOL FL PE #60880

40 FOOT CONTAINER HOUSE
MECHANICAL PLAN,
SCHEDULE & NOTES

DESIGNED	DATE
CHW	05-10-22
DRAWN	DATE
CHW	05-10-22
CHECKED	DATE

JOB NO. 2022-121

M-1



MECHANICAL PLAN
1/4" = 1' SCALE

CONDENSER SCHEDULE:

TAG	MANUFACTURER	MODEL NO.	AMBIENT TEMP.	TONNAGE	POWER	M.C.A.	M.O.C.P.	WEIGHT	NOTES
CU	TRANE	4TTR6018J1	91°F	1.5	208-230/	18	25	276	

AIR HANDLING UNIT SCHEDULE:

TAG	MANUFACTURER	MODEL NO.	NOM. CFM	O.A. CFM	KW	POWER	M.C.A.	M.O.C.P.	WEIGHT	THERMOSTAT PROGRAMMABLE	FILTER FRAME	NOTES
AHU	TRANE	TEMA0B18S21	627	..	2.2	208/230 VAC	2.8	15	117	PROGRAMMABLE	YES	

REVISION	DATE	DESCRIPTION

EXHIBIT "B"
APPLICABLE COSTS

Opt Code	Description	Total due	Type
DEMO	DEMOLITION	11860.50	Hard
DEMOA	ADMINISTRATION/DEMO	100.00	Soft
INT DM	INTEREST CHARGE 6%/YR	11601.20	Soft
PEN DM	PENALTY CHARGES OF .1%	2320.24	Soft
Opt Code Description		Total due	
INT04 LC	INT CHG 6%/YR REDEV	136.80	Soft
LOTA1 LC	ADMIN REDEV	100.00	Soft
LOTC1 LC	LOT CLEARING REDEV	52.50	Hard
PEN04 LC	PEN CHG OF .1% REDEV	27.00	Soft
Opt Code Description		Total due	
INT01 LC	INTEREST CHARGE 6%/YR	462.52	Soft
LOTAD	LOT CLEARING ADMIN FEE	400.00	Soft
LOTC2 LC		200.00	Hard
PEN01 LC	PENALTY CHARGES OF .1%	92.32	Soft
CE Lien 04-1732		46920.00	Soft
CE Lien 12-481		14890.00	Soft

\$89,163.08	TOTAL LIENS
\$12,113.00	TOTAL HARD COSTS
\$77,050.08	TOTAL SOFT COSTS
\$77,050.08	AMOUNT WAIVED
\$12,113.00	AMOUNT OWED
\$6,056.50	AMOUNT REFUNDED AT C/O

General Information

- **Incomplete application packets will not be accepted.**
- Appointments are required for application hard copy submittals.
- Site plan approval is valid for one (1) year following City Commission approval. To maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date.
- Fee Schedule - <https://www.cityoffortpierce.com/DocumentCenter/View/2620/Fee-Schedule->
- Public Notice Fees - <https://www.cityoffortpierce.com/DocumentCenter/View/8818/Public-Notice-Fees->



Site Plan submittal requirements:

Submit one (1) original, one (1) hard copy and one (1) Flash Drive of the following. Additional copies will be required of subsequent submittals.

- Complete application
- Warranty Deed
- SLC Property Record Card
- Detailed project description
- General location map (see Section 125-313)
- Survey (see Section 125-313)
- Site Plan (see Section 125-313)
- Landscaping Plan (see Section 123-37)
- Conceptual Drainage Plan (see Section 125-313)
- Environmental Impact Report
- Beach/Dune System protection plan, if applicable (see Section 125-313)
- Lighting Plan (see Section 125-313)
- Design Review submittals (see Design Review application)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)

Tax Deed File No. 17-518
Property Identification No. 2410-604-0039-000/1
Original Owners of Record: CHARLES BROWN, CHARLES GREGORY BROWN

TAX DEED

State of Florida

ST. LUCIE COUNTY

FOR OFFICIAL USE ONLY

The following Tax Sale Certificate Numbered **2015/2626** issued on **6/1/15**, was filed in the office of the tax collector of this County and application made for the issuance of a tax deed, the applicant having paid or redeemed all other taxes or tax sale certificates on the land described as required by law to be paid or redeemed, and the costs and expenses of this sale, and due notice of sale having been published as required by law, and no person entitled to do so having appeared to redeem said land; such land was sold on the **9th day of July, 2018**, offered for sale as required by law for cash to the highest bidder and was sold to **SHORES PAD LLC** whose address is **650 NE 88TH STREET MIAMI, FL 33138**, being the highest bidder and having paid the sum of his bid as required by the Laws of Florida.

Now, on this **31st day of JULY, 2018**, in the County of St. Lucie, State of Florida, in consideration of the sum of **(\$4,047.76) FOUR THOUSAND FORTY-SEVEN DOLLARS AND SEVENTY-SIX Cents only**, being the amount paid pursuant to the Laws of Florida does hereby sell the following lands, including any hereditaments, buildings, fixtures and improvements of any kind and description, situated in the County and State aforesaid and described as follows:


BENJ HOGG'S ADDN. BLK C LOT 1 (MAP 24/10D) (OR 1777-1021)

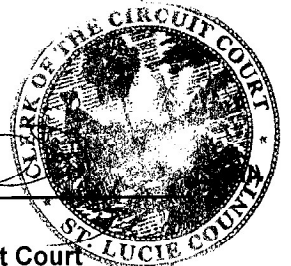
Witness:


BRITTANY JONES


ANA PORTILLA

State of Florida


MARGARET RAHAL, Deputy Clerk
JOSEPH E SMITH, Clerk of the Circuit Court
ST. LUCIE COUNTY, Florida

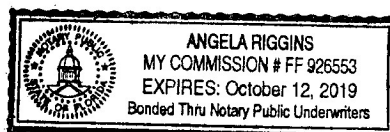


ST. LUCIE COUNTY

On the **31st day of JULY, 2018**, before **ANGELA RIGGINS** personally appeared **MARGARET RAHAL** known to me to be the person described in, and who executed the foregoing instrument, and acknowledged the execution of this instrument to be his own free act and deed for the use and purposes therein mentioned.

Witness my hand and office seal date aforesaid.


ANGELA RIGGINS, Notary Public



THIS INSTRUMENT PREPARED BY AND RETURN TO:

NAME Jermaine Chad Ingram
ADDRESS 650 NE 88th Street, Miami Shores, Fl, 33138

Documentary Stamp Taxes: \$10.00

Property Appraiser's Parcel Identification (Folio) Number: **2410-604-0039-000-1**

This Deed has been prepared and recorded without benefit of title examination.

QUITCLAIM DEED

This Quitclaim Deed, made this **20th** day of **January, 2024**, between Shores Pad LLC, whose address is, 650 NE 88th Street Miami Shores, Florida 33138 as Grantor, to James Oppenborn, a married man and Susan Howells, a single woman, whose address is 309 Rosewood Drive, Fort Pierce, Fl. 33947, hereinafter called the Grantees.

Witnesseth, that the Grantors, for and in consideration of the sum of TEN & NO/100 (\$10.00) DOLLARS, and other good and valuable consideration to Grantors in hand paid by Grantees, the receipt of which is hereby acknowledged, has granted, bargained and quitclaimed to the said Grantees and Grantees' heirs and assigns forever, the following described land, situate, lying and being in the County of St. Lucie, State of Florida, to-wit:

Legal Description:

BENJ HOGG'S ADDN. BLK C LOT 1 (MAP 24/10D)

To Have and to Hold the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of Grantors, either in law or equity, for the use, benefit and profit of the said Grantees forever.

In Witness Whereof, the Grantors have hereunto set her hands and sealed the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature] Grantor

[Signature] Witness #1 Signature
Jermaine Chad Ingram Witness #1 Printed Name

[Signature] Witness #2 Signature
SUSAN RUDD COHEN Witness #2 Printed Name

STATE OF FL COUNTY OF ST

The foregoing instrument was acknowledged before me by means of physical presence or online notarization this 22 day of January, 2023, by _____ who is personally known to me or has produced _____ as identification.

[Signature]
NOTARY PUBLIC
Etienne Brown

Printed Notary Name
My Commission Expire 10/27/2027

SEAL



FLORIDA REAL ESTATE POWER OF ATTORNEY

NOTICE: THE POWERS GRANTED BY THIS DOCUMENT ARE BROAD AND SWEEPING. THEY ARE EXPLAINED IN THE UNIFORM STATUTORY FORM POWER OF ATTORNEY ACT. IF YOU HAVE ANY QUESTIONS ABOUT THESE POWERS, OBTAIN COMPETENT LEGAL ADVICE. YOU MAY REVOKE THIS POWER OF ATTORNEY IF YOU LATER WISH TO DO SO.

I SUSAN HOWELLS, 309 ROSEWOOD DR. FORT PIERCE FL 34947 [insert your name and address] appoint

Jemaine Chad Ingram of 660 NE 88th Street, Miami Shores, Florida, 33138 [insert the name and address of the person appointed] as my Agent (attorney-in-fact) to act for me in any lawful way with respect to the following initialed subjects listed below:

I GRANT ALL OF THE FOLLOWING POWERS RELATED TO REAL PROPERTY TRANSACTIONS FOR THE PREMISES LOCATED AT 801 AVENUE B, FORT PIERCE, FL 34950

INITIAL 

Real property transactions. To lease, sell, mortgage, purchase, exchange, and acquire, and to agree, bargain, and contract for the lease, sale, purchase, exchange, and acquisition of, and to accept, take, receive, and possess any interest in real property whatsoever, on such terms and conditions, and under such covenants, as my Agent shall deem proper; and to maintain, repair, tear down, alter, rebuild, improve manage, insure, move, rent, lease, sell, convey, subject to liens, mortgages, and security deeds, and in any way or manner deal with all or any part of any interest in real property whatsoever, including specifically, but without limitation, real property lying and being situated in the State of Florida, under such terms and conditions, and under such covenants, as my Agent shall deem proper and may for all deferred payments accept purchase money notes payable to me and secured by mortgages or deeds to secure debt, and may from time to time collect and cancel any of said notes, mortgages, security interests, or deeds to secure debt.

SPECIAL INSTRUCTIONS:

ON THE FOLLOWING LINES YOU MAY GIVE SPECIAL INSTRUCTIONS LIMITING OR EXTENDING THE POWERS GRANTED TO YOUR AGENT.

- N/A _____
- N/A _____
- N/A _____
- N/A _____
- N/A _____

THIS POWER OF ATTORNEY IS EFFECTIVE IMMEDIATELY AND SHALL BE CONSTRUED AS A:

Durable Power of Attorney - The powers granted will remain effective even if the Principal becomes incapacitated.

Non-Durable Power of Attorney - The powers granted will no longer be effective if the Principal become incapacitated.

(YOUR AGENT WILL HAVE AUTHORITY TO EMPLOY OTHER PERSONS AS NECESSARY TO ENABLE THE AGENT TO PROPERLY EXERCISE THE POWERS GRANTED IN THIS FORM, BUT YOUR AGENT WILL HAVE TO MAKE ALL DISCRETIONARY DECISIONS. IF YOU WANT TO GIVE YOUR AGENT THE RIGHT TO DELEGATE DISCRETIONARY DECISION-MAKING POWERS TO OTHERS, YOU SHOULD KEEP THE NEXT SENTENCE, OTHERWISE IT SHOULD BE STRICKEN.)


Authority to Delegate. My Agent shall have the right by written instrument to delegate any or all of the foregoing powers involving discretionary decision-making to any person or persons whom my Agent may select, but such delegation may be amended or revoked by any agent (including any successor) named by me who is acting under this power of attorney at the time of reference.

(YOUR AGENT WILL BE ENTITLED TO REIMBURSEMENT FOR ALL REASONABLE EXPENSES INCURRED IN ACTING UNDER THIS POWER OF ATTORNEY. STRIKE OUT THE NEXT SENTENCE IF YOU DO NOT WANT YOUR AGENT TO ALSO BE ENTITLED TO REASONABLE COMPENSATION FOR SERVICES AS AGENT.)

Right to Compensation. My Agent shall be entitled to reasonable compensation for services rendered as agent under this power of attorney.

(IF YOU WISH TO NAME SUCCESSOR AGENTS, INSERT THE NAME(S) AND ADDRESS(ES) OF SUCH SUCCESSOR(S) IN THE FOLLOWING PARAGRAPH.)

Successor Agent. If any Agent named by me shall die, become incompetent, resign or refuse to accept the office of Agent, I name the following (each to act alone and successively, in the order named) as successor(s) to such Agent:

 JAMES B. Appenborn

N/A

Choice of Law. THIS POWER OF ATTORNEY WILL BE GOVERNED BY THE LAWS OF THE STATE OF FLORIDA WITHOUT REGARD FOR CONFLICTS OF LAWS PRINCIPLES. IT WAS EXECUTED IN THE STATE OF FLORIDA AND IS INTENDED TO BE VALID IN ALL JURISDICTIONS OF THE UNITED STATES OF AMERICA AND ALL FOREIGN NATIONS.

I am fully informed as to all the contents of this form and understand the full import of this grant of powers to my Agent.

I agree that any third party who receives a copy of this document may act under it. Revocation of the power of attorney is not effective as to a third party until the third party learns of the revocation. I agree to indemnify the third party for any claims that arise against the third party because of reliance on this power of attorney.


Signed this 25th day of JUNE, 2024

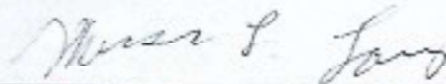


Principal's Signature

STATEMENT OF WITNESS

On the date written above, the principal declared to me in my presence that this instrument is his/her power of attorney and that he or she had willingly signed or directed another to sign for him or her, and that he or she executed it as his or her free and voluntary act for the purposes therein expressed.


TALYSON PALKO [Signature of Witness #1]
1971 SE WESTMORLAND BL [Printed or typed name of Witness #1]
PORT ST LUCIE, FL 34952 [Address of Witness #1, Line 1]
[Address of Witness #1, Line 2]


Theresa L. Lopez [Signature of Witness #2]
7603 WINDY GARDEN DR [Printed or typed name of Witness #2]
FT WALTER FL 32951 [Address of Witness #2, Line 1]
[Address of Witness #2, Line 2]

A Note About Selecting Witnesses: The agent (attorney-in-fact) may not also serve as a witness. Each witness must be present at the time that principal signs the Power of Attorney in front of the notary. Each witness must be a mentally competent adult. Witnesses should ideally reside close by.

so that they will be easily accessible in the event they are one day needed to affirm this document's validity.

CERTIFICATE OF ACKNOWLEDGMENT OF NOTARY PUBLIC

STATE OF FLORIDA
COUNTY OF St Lucie

Sworn to (or affirmed) and subscribed before me this 25 day of JUNE [month], 2024 [year] by Susan Hewitt [name of principal]. The affiant is [choose one:]
personally known to me, or PI (produced the following identification: _____)

[Notary Seal, if any]:



[Handwritten Signature]
(Signature of Notarial Officer)

Notary Public for the State of Florida

My commission expires: 7.27

ACKNOWLEDGMENT OF AGENT

BY ACCEPTING OR ACTING UNDER THE APPOINTMENT, THE AGENT ASSUMES THE FIDUCIARY AND OTHER LEGAL RESPONSIBILITIES OF AN AGENT.

[Typed or Printed Name of Agent]

[Signature of Agent]

PREPARATION STATEMENT

This document was prepared by the following individual:

[Typed or Printed Name]

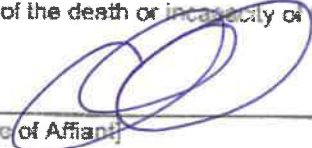
[Signature]

AFFIDAVIT OF AGENT (ATTORNEY IN FACT)

STATE OF FLORIDA
COUNTY OF Broward

Before me, the undersigned authority, personally appeared Jermaine Chad Ingram
_____ (attorney in fact), ("Affiant"), who swore or affirmed that:

1. Affiant is the attorney in fact named in this Florida Power of Attorney executed by Susan Howells (principal) ("Principal") on 6/25/24 (date).
2. This Florida Power of Attorney is currently exercisable by Affiant. The principal is domiciled in Florida (insert name of state, territory, or foreign country).
3. To the best of the Affiant's knowledge after diligent search and inquiry:
 - a. The Principal is not deceased; and
 - b. There has been no revocation, partial or complete termination by adjudication of incapacity or by the occurrence of an event referenced in the power of attorney, or suspension by initiation of proceedings to determine incapacity or to appoint a guardian.
4. Affiant agrees not to exercise any powers granted by this Florida Power of Attorney if Affiant attains knowledge that it has been revoked, partially or completely terminated, suspended, or is no longer valid because of the death or incapacity of the Principal.



[Signature of Affiant]

CERTIFICATE OF ACKNOWLEDGMENT OF NOTARY PUBLIC

Sworn to (or affirmed) and subscribed before me this 28th day of September [month], 2024 [year] by Jermaine Chad Ingram [name of agent]. The affiant is [choose one: personally known to me, or produced the following identification: Driver's License

[Notary Seal, if any]:



Brian Gonzalez
Comm.: HH 426094
Expires: Jul. 26, 2027
Notary Public - State of Florida



(Signature of Notarial Officer)

Notary Public for the State of Florida

My commission expires: July 26th, 2027

FLORIDA REAL ESTATE POWER OF ATTORNEY


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I James B. Oppenham, 309 Roswood Drive, Fort Pierce, 34947

Jermaine Chad Ingram of 850 NE 85th Street, Miami Shores, Florida, 33138 [insert your name and address] appoint [insert the name and address of the person appointed] as my Agent (attorney-in-fact) to act for me in any lawful way with respect to the following initialed subjects listed below.

I GRANT ALL OF THE FOLLOWING POWERS RELATED TO REAL PROPERTY TRANSACTIONS FOR THE PREMISES LOCATED AT 801 Avenue B, Fort Pierce, FL 34950

INITIAL

 **Real property transactions.** To lease, sell, mortgage, purchase, exchange, and acquire, and to agree, bargain, and contract for the lease, sale, purchase, exchange, and acquisition of, and to accept, take, receive, and possess any interest in real property whatsoever, on such terms and conditions, and under such covenants, as my Agent shall deem proper, and to maintain, repair, tear down, alter, rebuild, improve manage, insure, move, rent, lease, sell, convey, subject to liens, mortgages, and security deeds, and in any way or manner deal with all or any part of any interest in real property whatsoever, including specifically, but without limitation, real property lying and being situated in the State of Florida, under such terms and conditions, and under such covenants, as my Agent shall deem proper and may for all deferred payments accept purchase money notes payable to me and secured by mortgages or deeds to secure debt, and may from time to time collect and cancel any of said notes, mortgages, security interests, or deeds to secure debt.

SPECIAL INSTRUCTIONS:

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N/A

N/A

N/A

N/A

N/A

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Authority to Delegate. My Agent shall have the right by written instrument to delegate any or all of the foregoing powers involving discretionary decision-making to any person or persons whom my Agent may select, but such delegation may be amended or revoked by any agent (including any successor) named by me who is acting under this power of attorney at the time of reference.

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Right to Compensation. My Agent shall be entitled to reasonable compensation for services rendered as agent under this power of attorney.

(IF YOU WISH TO NAME SUCCESSOR AGENTS, INSERT THE NAME(S) AND ADDRESS(ES) OF SUCH SUCCESSOR(S) IN THE FOLLOWING PARAGRAPH.)

Successor Agent. If any Agent named by me shall die, become incompetent, resign or refuse to accept the office of Agent, I name the following (each to act alone and successively, in the order named) as successor(s) to such Agent:

930
N/A Susan Howels

N/A

Choice of Law. THIS POWER OF ATTORNEY WILL BE GOVERNED BY THE LAWS OF THE STATE OF FLORIDA WITHOUT REGARD FOR CONFLICTS OF LAWS PRINCIPLES. IT WAS EXECUTED IN THE STATE OF FLORIDA AND IS INTENDED TO BE VALID IN ALL JURISDICTIONS OF THE UNITED STATES OF AMERICA AND ALL FOREIGN NATIONS.

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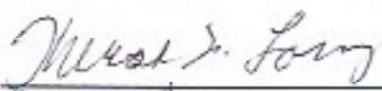
Signed this 25 day of June, 2024


Principal's Signature

STATEMENT OF WITNESS

On the date written above, the principal declared to me in my presence that this instrument is his/her power of attorney and that he or she had willingly signed or directed another to sign for him or her, and that he or she executed it as his or her free and voluntary act for the purposes therein expressed.


AUSON PALKO [Signature of Witness #1]
AUSON PALKO [Printed or typed name of Witness #1]
901 SE WESTMEDICLANO BLVD [Address of Witness #1, Line 1]
DORISVILLE FL 34952 [Address of Witness #1, Line 2]


Theresa J. Long [Signature of Witness #2]
Theresa J. Long [Printed or typed name of Witness #2]
205 WINTER GARDEN PKWY [Address of Witness #2, Line 1]
FT PULCH FL 34951 [Address of Witness #2, Line 2]

A Note About Selecting Witnesses: The agent (attorney-in-fact) may not also serve as a witness. Each witness must be present at the time that principal signs the Power of Attorney in front of the notary. Each witness must be a mentally competent adult. Witnesses should ideally reside close by,

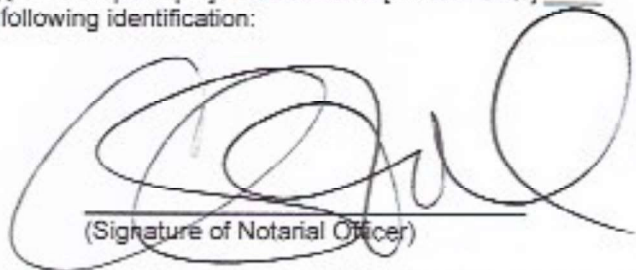
so that they will be easily accessible in the event they are one day needed to affirm this document's validity.

CERTIFICATE OF ACKNOWLEDGMENT OF NOTARY PUBLIC

STATE OF FLORIDA
COUNTY OF St. Lucie

Sworn to (or affirmed) and subscribed before me this 25th day of JUNE [month], 2024 [year] by JIM OPPENHEIM [name of principal]. The affiant is [choose one:]
personally known to me, or FILE produced the following identification:

[Notary Seal, if any]:



(Signature of Notarial Officer)

Notary Public for the State of Florida

My commission expires: 7-16-27

ACKNOWLEDGMENT OF AGENT

BY ACCEPTING OR ACTING UNDER THE APPOINTMENT, THE AGENT ASSUMES THE FIDUCIARY AND OTHER LEGAL RESPONSIBILITIES OF AN AGENT.

[Typed or Printed Name of Agent]

[Signature of Agent]



PREPARATION STATEMENT

This document was prepared by the following individual:

[Typed or Printed Name]

[Signature]

AFFIDAVIT OF AGENT (ATTORNEY IN FACT)

STATE OF FLORIDA
COUNTY OF Broward

Before me, the undersigned authority, personally appeared Jermaine Chad Ingram
(attorney in fact), ("Affiant"), who swore or affirmed that:

1. Affiant is the attorney in fact named in this Florida Power of Attorney executed by James Oppenborn (principal) ("Principal") on 6/25/24 (date).
2. This Florida Power of Attorney is currently exercisable by Affiant. The principal is domiciled in Florida (insert name of state, territory, or foreign country).
3. To the best of the Affiant's knowledge after diligent search and inquiry:
 - a. The Principal is not deceased; and
 - b. There has been no revocation, partial or complete termination by adjudication of incapacity or by the occurrence of an event referenced in the power of attorney, or suspension by initiation of proceedings to determine incapacity or to appoint a guardian.
4. Affiant agrees not to exercise any powers granted by this Florida Power of Attorney if Affiant attains knowledge that it has been revoked, partially or completely terminated, suspended, or is no longer valid because of the death or incapacity of the Principal.

[Signature]
[Signature of Affiant]

CERTIFICATE OF ACKNOWLEDGMENT OF NOTARY PUBLIC

Sworn to (or affirmed) and subscribed before me this 28th day of September [month], 2024 [year] by Jermaine Chad Ingram [name of agent]. The affiant is [choose one.] personally known to me, or produced the following identification: Driver's License.

[Notary Seal, if any]:

[Signature]
(Signature of Notarial Officer)

Notary Public for the State of Florida

My commission expires: July 26th, 2027



Brian Gonzalez
Comm.: HH 426094
Expires: Jul. 26, 2027
Notary Public - State of Florida

Property Identification

Site Address: 801 AVENUE B
Sec/Town/Range: 10/35S/40E
Parcel ID: 2410-604-0039-000-1
Jurisdiction: Fort Pierce

Use Type: 0000
Account #: 23355
Map ID: 24/10N
Zoning: Medium Den

Ownership

Shores Pad LLC
650 NE 88th ST
Miami Shores, FL 33138

Legal Description

BENJ HOGG'S ADDN. BLK C LOT 1 (MAP 24/10D)

Current Values

Just/Market Value: \$23,300
Assessed Value: \$6,255
Exemptions: \$0
Taxable Value: \$6,255



Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Taxes for this parcel: [SLC Tax Collector's Office](#)
Download TRIM for this parcel: [Download PDF](#)

Total Areas

Finished/Under Air (SF): 0
Gross Sketched Area (SF): 0
Land Size (acres): 0.17
Land Size (SF): 7,500

Building Design Wind Speed

Occupancy Category	I	II	III
Speed	140	160	160

Sources/links:

Florida Asheville

Project Narrative for 801 Avenue B Infill Development

September 30/ 2024

Introduction

The 801 Avenue B project is a prototype for walkable urban living in Fort Pierce. Designed to integrate modern design with sustainability and communal living, this project aligns with the city's comprehensive plan for medium residential density zoning and leverages recent zoning in the Innovative Community Development section.

Design Philosophy

We place particular emphasis on walkability. With streets that are pleasant and safe to walk, and with jobs and other daily needs accessible on foot, walkable places are not only more livable, but also help residents reduce transportation expenses, a major part of most household budgets.

Our design philosophy centers on resident wellness and creating a walkable neighborhood that is:

- **Useful:** Essential amenities within walking distance.
- **Safe:** Secure environment for residents.
- **Comfortable:** Pleasant living experience through thoughtful design.
- **Interesting:** Visually and experientially appealing.

These principles are reflected in the site plan featuring two homes with accessory dwelling units (ADUs). This site was also designed by and for the neuro-divergent (a special needs population).

Each area below qualifies for density bonuses.

Architectural Features

1. **Dog-trot House (801 Avenue B - A)**
 - **Description:** Five-bedroom house with ensuite bathrooms.
 - **Health Benefits:** Promotes natural ventilation, reduces mechanical cooling reliance, improves indoor air quality, and positively impacts mental health by connecting occupants with nature.
 - **Size:** 1312 sq ft including ADU
2. **Split-level House (801 Avenue B - B)**
 - **Description:** Four-bedroom house with ensuite bathrooms.
 - **Benefits:** Enhances social support, economic efficiency, safety, health, environmental sustainability, quality of life, childcare, and career opportunities, making it ideal for urban families seeking close ties and high-quality living.
 - **Size:** 1340 sq ft including ADU

Aesthetics and Style

Florida Asheville

Project Narrative for 801 Avenue B Infill Development

September 30/ 2024

We incorporate a variety of aesthetic features to create a visually appealing and engaging environment:

- Rain Garden
- Living walls and partial green roofs.
- Projector Art Screen
 - Art murals.
 - Friday Night Movies
- Reflecting mirrored exterior walls.
- Landscaped setbacks and outdoor sitting areas.
- Shou Sugi Ban (charred wood siding).

Dimensional Variety

The design optimizes construction to reduce waste and enhance affordability:

- Room dimensions align with commercially available materials (16x16, 24x16, and 24x24), minimizing waste and construction costs.
- This approach allows for cost-effective construction without sacrificing quality or style.

Landscaping, Hardscape & Drainage

The landscaping plan is designed to enhance sustainability and community engagement:

- Rain Garden
 - Native and Florida-Friendly shade, flowering, and fruit trees.
 - Native groundcovers and flowers to support pollinators.
- Gutters with 3000-gallon cumulative rain storage.
 - Drip-line irrigation fed via crawl space rain storage.
- 5ft landscaped setback with gates, fencing, privacy screens, and ancient stone lines to reduce runoff.
- Home Biogas Digester.
 - Treats organic waste producing biogas for cooking and rich fertilizer.
- 4-inch city tree waste mulch to increase stormwater sequestration, rain percolation, and soil nutrition.
- Permeable materials for parking spaces and walkways.

Placement

The strategic placement of homes enhances both communal and individual living experiences:

- Porches that abut sidewalks to create public/private spaces, enhancing public engagement and walkability.
- Homes are oriented to maximize passive cooling in the summer.
- The design balances communal energy with individual privacy.
- The layout supports home-based business opportunities.

Florida Ashe`

Project Narrative for 801 Avenue B Infill Development

September 30/ 2024

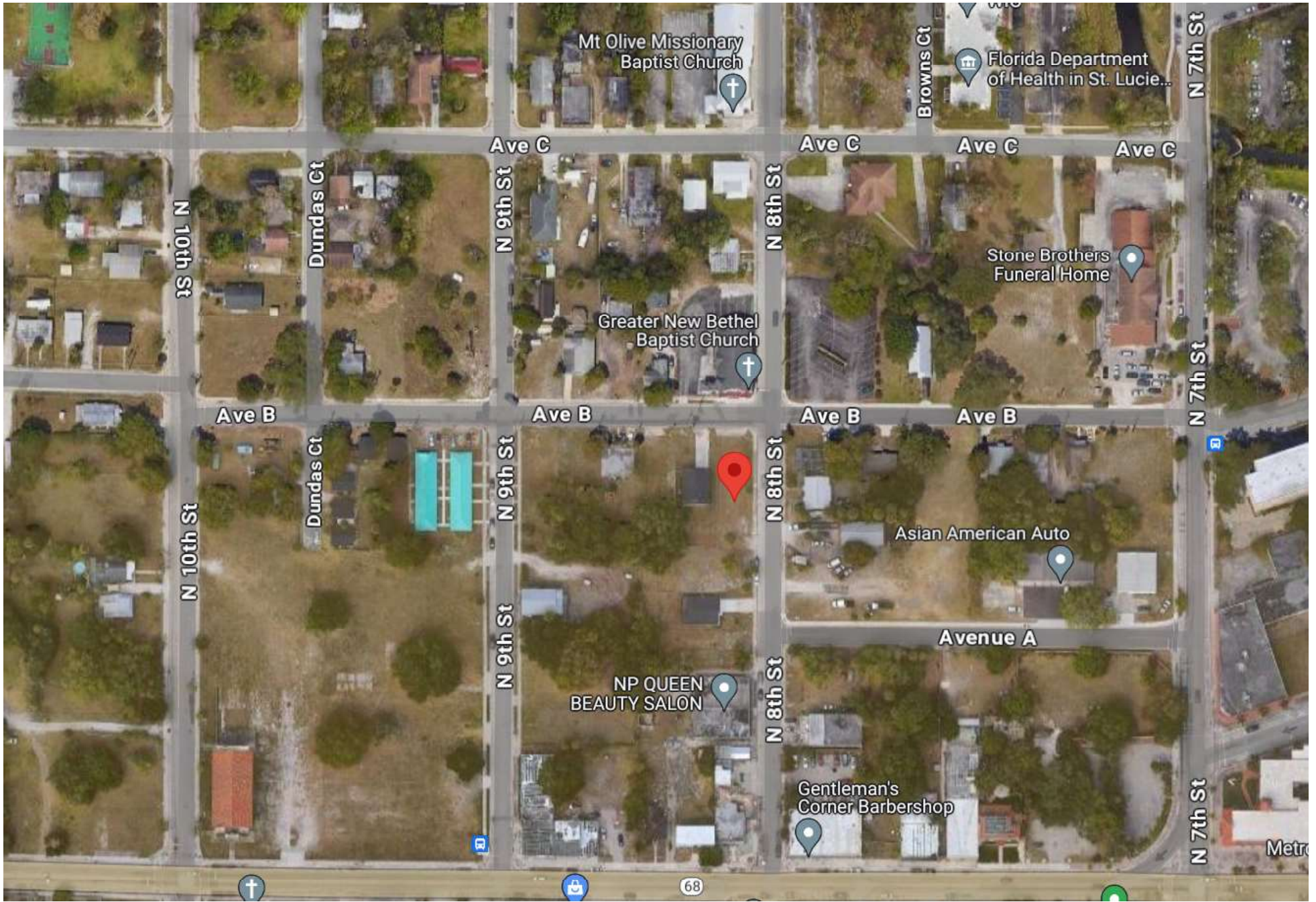
Energy and Resource Considerations

The project includes several sustainable features to minimize environmental and long term financial impacts:

- Gutters with 3000-gallon cumulative rain storage.
- Home Biogas Digester.
 - Treats organic waste producing biogas for cooking and rich fertilizer.
- Underground utilities.
 - Natural Gas
- Up to 2 EV CCS fast chargers (66kw min).
- Solar-powered ECOflow DELTA Pro Ultra Portable Power Station.
 - 7.2-21.6kW output
 - 6kWh-90kWh capacity
 - 5.6kW-16.8kW solar input
- Solar water heaters.
- Passive cooling and heating design elements:
 - Extended overhangs to block summer sun from windows.
 - Compartmentalization to lower indoor allergens, create cooling air streams, and conserve energy through HVAC management.

Conclusion

Florida Ashe's EKhaya project exemplifies modern urban infill development, prioritizing sustainability, community, and livability. By adhering to Fort Pierce's comprehensive plan and leveraging recent infrastructure upgrades, Florida Ashe`, sets a benchmark for future developments. This project addresses current housing needs for special needs populations while contributing to the city's vision of a vibrant, sustainable, and interconnected urban community.

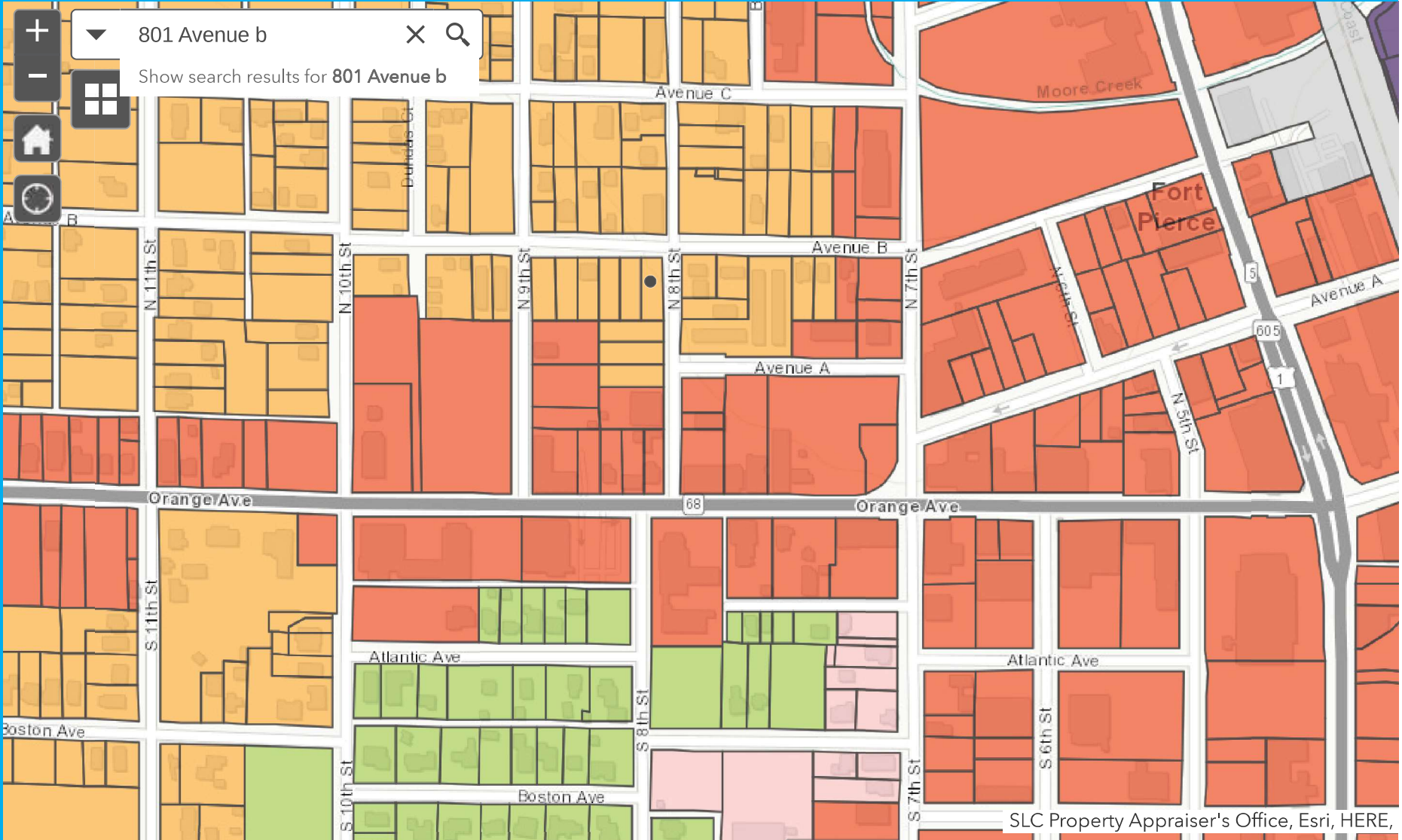




Planning and Zoning Web GIS Application City of Fort Pierce



801 Avenue b
Show search results for 801 Avenue b



SLC Property Appraiser's Office, Esri, HERE,

400ft
-80.324 27.448 Degrees

LEGAL DESCRIPTION

Lots 1, Block C of FEE & MAY'S Resubdivision, according to the Plat thereof, as recorded in Plat Book 3, Page (s) 48, of the Public Records of St Lucie County, Florida,

SURVEYOR'S REPORT

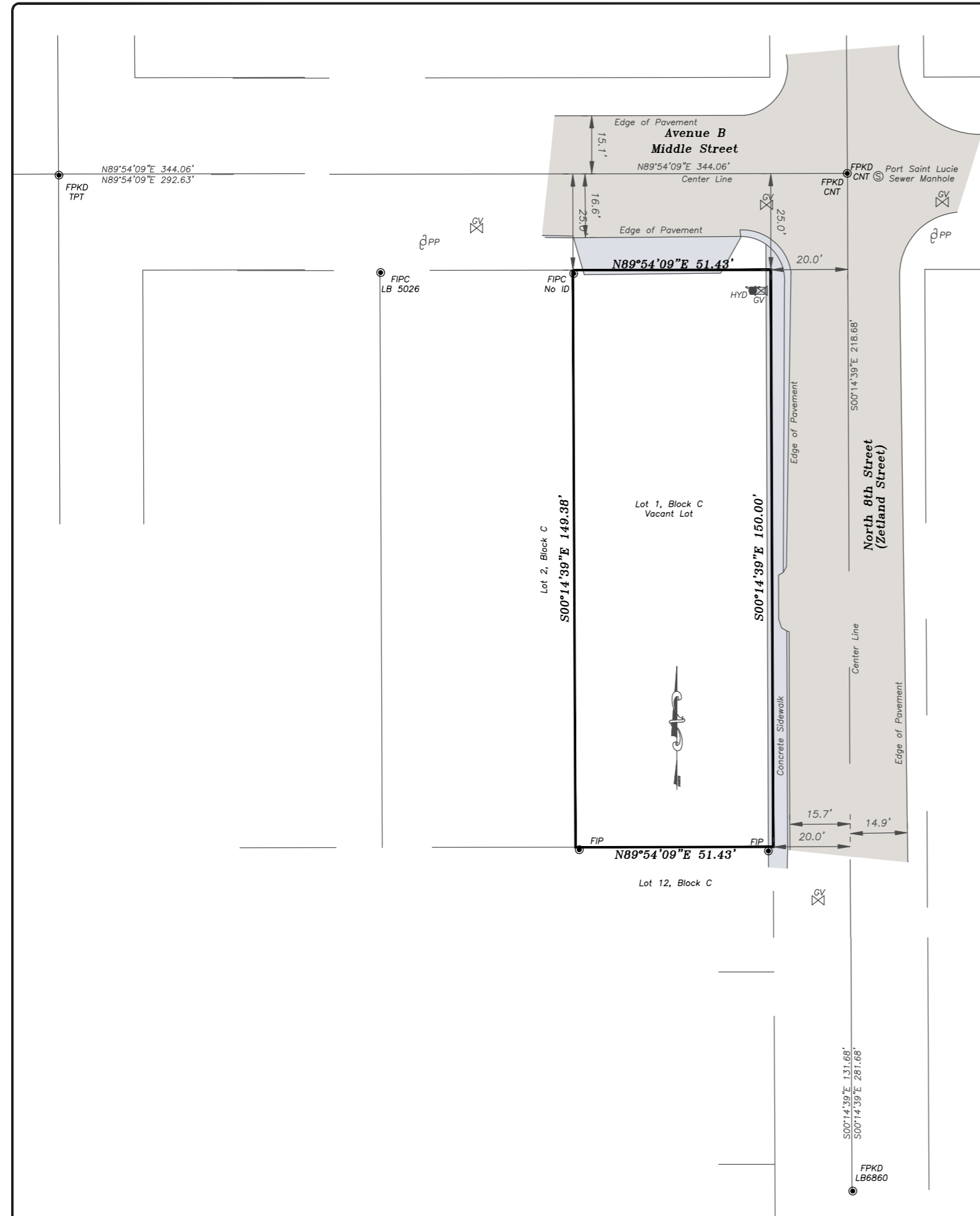
- 1 This Survey shall not be valid unless sealed with an embossed Surveyor's Seal
- 2 No underground improvements have been located as part of this Survey.
- 3 The last field date of this Survey was: 4-5-21.
- 4 This Survey was prepared using the Plat of Record only. No other documents were provided and no search of the public records was performed by this office.
- 5 This Survey was prepared in accordance with the standards for the practice of Surveying and Mapping as defined in 5J-17.050-052FAC.
- 6 By acceptance of this survey all parties agree that the signing surveyor's liability is limited to the amount paid for said Survey.
- 7 Unless other wise noted all bearing and distances are in accordance with the Deed and/or record plat and have been verified by field measurements. See map for bearing base.
- 8 Parcel/Lot line locations have been based on found survey control along N. 8th Street.
- 9 LEFT BLANK.
- 10 The Legal Description shown hereon was provided by the client and/or his/her representatives.
- 11 No ownership of fence lines has been determined as part of this Survey.
- 12 Off set calls to found survey control are relative to the nearest property corner, intersection of lines, point of curvatures (PC), point of reverse curvatures (PRC) or other identifiable point.
- 13 Compliance with local zoning requirements and or with requirements set forth by other State, Public, and/or Private entities has not been verified as part of this Survey.
- 14 Elevations shown are in accordance with the North American Vertical Datum of 1988

*FEMA Flood Zone data shown here on is based on the visual inspection of the digital Flood Hazardous Maps provided by the Federal Emergency Management Agency (FEMA) and is limited to the accuracy of such maps.
 Flood Zone(s): X and AE with Base Flood Elevation 8.3 to 8.45 Panel No. 179, Community #: 120286 Suffix: K Date: 2.19.2020

- LEGEND**
- C/E - Covered Entry
 - CAC - Concrete Pad with Air Conditioning
 - CB - Catch Basin
 - CBS - Concrete Block Structure
 - CMP - Corrugated Metal Pipe
 - CPE - Concrete Pad with Pool Equipment
 - CTV - Cable TV Box
 - GV - Water Gate Valve
 - HYD - Fire Hydrant
 - LP - Light Pole
 - O/L - Overhead Utility Line
 - PP - Power Pole
 - SSMH - Sanitary Sewer Manhole
 - TCC - Telephone Communications Box
 - UB - Utility Box
 - WM - Water Meter
 - FCM - Found 4"x4" Concrete Monument
 - FIP - Found 1/2" Iron Pipe
 - FIPC - Found 1/2" Iron Pipe with Cap
 - FIR - Found #5 Iron Rod
 - FIRC - Found #5 Iron Rod with Cap
 - SIRC - Set #5 Iron Rod with Cap "LB#7357"
 - FIP - Found 1/2" Iron Pipe with Cap
 - FM - Found Mag Nail
 - FMD - Found Mag Nail with Disk
 - FN - Found Nail
 - FNTT - Found Nail with Tin Tab
 - FPK - Found PK Nail
 - FPKD - Found PK Nail with Disk
 - FRRS - Found Rail Road Spike
 - /CO - In Pavement Cut Out

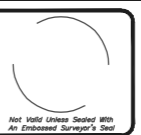
PREPARED FOR:
 Fort Pierce Project 8 LLC

Prepared By: Regina C. Karner, PSM#4363
 Karner Surveying, Inc. LB#7357



Prepared For:
HORST MUELLER-PETERS
 St. Lucie County Florida

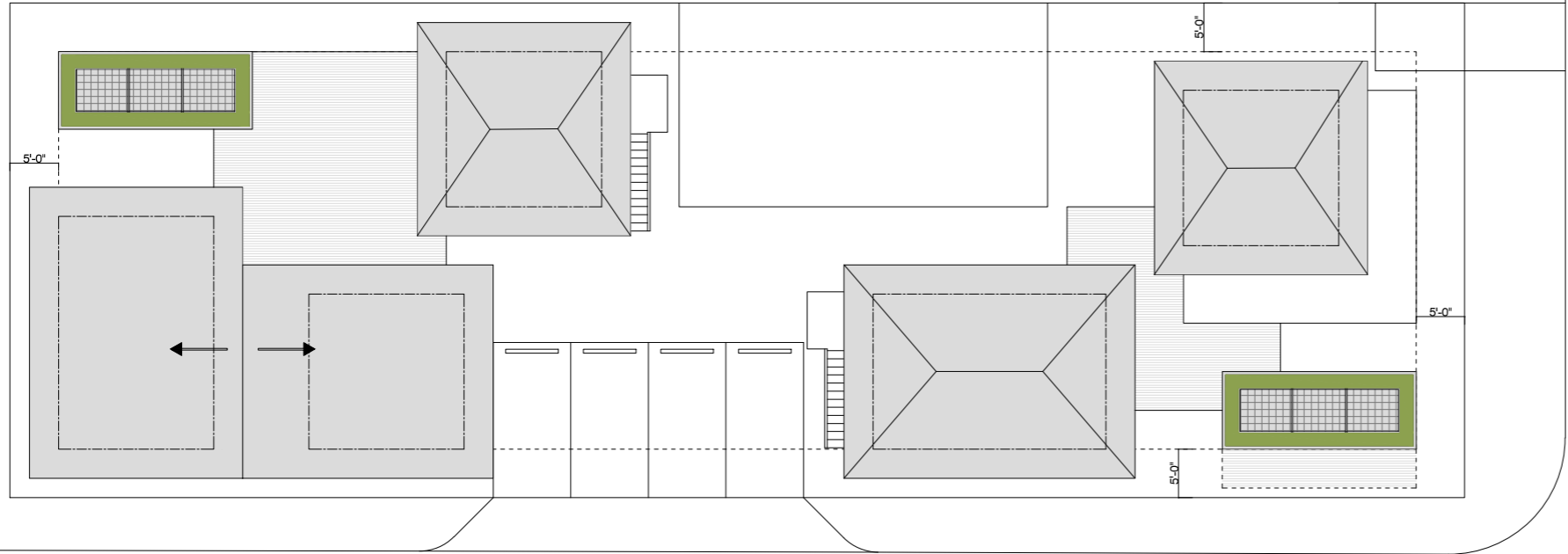
KARNER SURVEYING, INC.
 Residential & Commercial Surveying Services
 2740 SW Martin Downs Blvd.#333, Palm City, FL 34990
 Phone: (772)288 7206 Fax:(772)223 8181
 WWW.KARNERSURVEYINGINC.COM karner@comcast.net



Date:	Revision Description:

Sheet Title:
Boundary Survey

Scale: 1"=20' Date: 4-16-21 Sheet No.: 1 of 1
 Drawn By: JMC20-2 Filed Block: 1
 Job No.: 2108-04 CAD File: File No.:



1 SITE PLAN
 SCALE: 1/8" = 1'-0" A/R:N/A

EKYA LIVING
 801 Ave BFort Pierce, FL 34950

DRAWING NAME:
SITE PLAN

CONTRACTOR:
 SUNSHINE-CONSTRUCTION-&DEVELOPMENT

ENGINEER OF RECORD:

REVISIONS	

DRAWN BY: CadConDesign.com	DRAWING NO.
DATE DRAWN:	SP
DATE SUBMITTED:	

Lincoln Park						
Baseline USDA Zone 10b Species List						
Address :	801 Avenue D, Fort Pierce 34950					

Mulch, Hard & Softscaping						
	Quantity					
<input checked="" type="checkbox"/>	4	Wood & Stone Benches				
<input checked="" type="checkbox"/>	tbd	Pervious concrete pavers and crushed oyster gravel parking stalls	Drainage Enhancement			
<input checked="" type="checkbox"/>	tbd	2' x 4' Pervious Concrete Pavers as walkways				
<input checked="" type="checkbox"/>	tbd	2 Ply Cardboard 4" city or chip drop tree waste mulch				

Anti-Nematode Ground Cover						
	Quantity					
<input checked="" type="checkbox"/>	1/2 oz	• Native American Helianthus annuus macrocarpus	<input checked="" type="checkbox"/>	○ Hopi Blue Sunflower		
<input checked="" type="checkbox"/>	1/2 oz	• Native Helianthus	<input checked="" type="checkbox"/>	○ Mammoth Sunflowers	<input checked="" type="checkbox"/>	○ Black Oil
<input checked="" type="checkbox"/>	1/4 oz	• Brassica japonica	<input checked="" type="checkbox"/>	○ Florida Broadleaf Mustard	<input type="checkbox"/>	○ Mizuna
<input checked="" type="checkbox"/>	25lbs	• Crab Meal	<input checked="" type="checkbox"/>	○ Ground		<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>	1oz	• Brassica oleracea	<input checked="" type="checkbox"/>	○ Kodiak Brown Mustard		○ Red Japanese Mustard

Nitrogen Fixers & Fertilizer						
	Quantity					

<input checked="" type="checkbox"/>	2 lb	• <i>Cajanus cajan</i>	<input checked="" type="checkbox"/>	○ Pwa Kongo				
<input checked="" type="checkbox"/>	2 oz	• <i>African Indigofera tinctoria</i>	<input checked="" type="checkbox"/>	○ Indigo				
<input checked="" type="checkbox"/>	2 oz	• <i>Native Lysiloma latisiliquum</i>	<input checked="" type="checkbox"/>	○ Native Wild Tamarind				
<input checked="" type="checkbox"/>	1lb	• Nitrogen-fixing bacteria	<input checked="" type="checkbox"/>	○ Native Erythrina herbacea	<input checked="" type="checkbox"/>	○ Cherokee bean Rhizobium	<input checked="" type="checkbox"/>	○ <i>Azospirillum</i>
			<input checked="" type="checkbox"/>	○ Frankia	<input checked="" type="checkbox"/>	○ Herbaspirillum	<input type="checkbox"/>	○ <i>Azoarcus</i>
			<input checked="" type="checkbox"/>	○ Cyanobacteria	<input type="checkbox"/>	○ Rhodobacter	<input type="checkbox"/>	○ <i>Klebsiella</i>
Ground Cover								
	Quantity							
<input checked="" type="checkbox"/>	5	• <i>Pilea microphylla</i>	<input checked="" type="checkbox"/>	○ Native Artillery Fern				
<input checked="" type="checkbox"/>	5	• <i>Zamia integrifolia</i>	<input checked="" type="checkbox"/>	○ Native Coontie				
<input type="checkbox"/>		• <i>Native Cucurbita moschata</i>	<input checked="" type="checkbox"/>	○ Seminole Pumpkin				
<input type="checkbox"/>		• <i>Citrullus lanatus</i>	<input checked="" type="checkbox"/>	○ Seeded Watermelon	<input checked="" type="checkbox"/>	○ Bradford		
<input checked="" type="checkbox"/>	Living Roof	• Native Sedum	<input checked="" type="checkbox"/>	○ Sedum				
<input checked="" type="checkbox"/>	5	• <i>Native Phyla nodiflora</i>	<input checked="" type="checkbox"/>	○ Frog Fruit				
<input checked="" type="checkbox"/>	5	• <i>Native Mimosa strigillosa</i>	<input checked="" type="checkbox"/>	○ Sunshine Mimosa				
<input type="checkbox"/>		• <i>Ipomoea batatas</i>	<input type="checkbox"/>	○ Porto Rico Sweet Potato	<input type="checkbox"/>	○ White Flesh	<input type="checkbox"/>	○ Boniato
<input type="checkbox"/>		• <i>Native Lantana involucrata and Lantana depressa</i>	<input type="checkbox"/>	○ Native Lantana				
<input checked="" type="checkbox"/>	12	• <i>Ananas comosus</i>	<input checked="" type="checkbox"/>	○ White Jade Pineapple	<input checked="" type="checkbox"/>	○ Florida Special Pineapple	<input checked="" type="checkbox"/>	○ Sugarloaf Pineapple
<input type="checkbox"/>		• <i>Plectranthus rotundifolius</i>	<input type="checkbox"/>	○ African Potato Mint				
<input type="checkbox"/>		• <i>Cymbopogon citratus</i>	<input type="checkbox"/>	○ Lemon Grass				

<input checked="" type="checkbox"/>	5	• Zephyranthes atamasca var. treatii, Zephyranthes atamasca var. atamasca and Zephyranthes grandiflora	<input checked="" type="checkbox"/>	○ Rain Lily			
<input checked="" type="checkbox"/>	2 lb	• Vigna unguiculata	<input checked="" type="checkbox"/>	○ Cowpeas			
<input checked="" type="checkbox"/>	5	• Native Helianthus debilis	<input checked="" type="checkbox"/>	○ Native Dune Sunflower			
<input checked="" type="checkbox"/>	10	• Pandanus amaryllifolius	<input checked="" type="checkbox"/>	○ Pandan Grass			
<input type="checkbox"/>		• Tulbaghia violacea	<input type="checkbox"/>	○ Society Garlic			

Fungi

	Quantity						
<input type="checkbox"/>		• Stropharia rugosoannulata.	<input type="checkbox"/>	○ Winecap			
<input type="checkbox"/>		• Hericium erinaceus	<input type="checkbox"/>	○ Lion's Mane			
<input type="checkbox"/>		• Pleurotus spp.	<input type="checkbox"/>	○ Oyster			

Flowers

	Quantity						
<input checked="" type="checkbox"/>	1/4 oz	• Gaillardia aestivalis	<input checked="" type="checkbox"/>	○ Native Lanceleaf Blanket-Flower			
<input checked="" type="checkbox"/>	1/4 oz	• Zinnias	<input checked="" type="checkbox"/>	○ Zinnias			
<input checked="" type="checkbox"/>	1/2 oz	• Native Coreopsis	<input checked="" type="checkbox"/>	○ Native Tickseed			
<input checked="" type="checkbox"/>	3	• Native Solidago fistulosa	<input checked="" type="checkbox"/>	○ Native Goldenrod			
<input checked="" type="checkbox"/>	1/4 oz	• Native Salvia coccinea	<input checked="" type="checkbox"/>	○ Native Tropical Salvia			
<input type="checkbox"/>		• Native Sambucus nigra (subsp.) canadensi	<input type="checkbox"/>	○ Elderberry			
<input checked="" type="checkbox"/>	5	• Native Heliotropium angiospermum	<input checked="" type="checkbox"/>	○ Native Scorpion-Tail			

<input checked="" type="checkbox"/>	1/2 oz	• Asclepias tuberosa	<input checked="" type="checkbox"/>	○ Native Milkweed				
Bushes & Shrubs								
	Quantity							
<input checked="" type="checkbox"/>	4	• Rubus niveus	<input checked="" type="checkbox"/>	○ Mysore Raspberry				
<input type="checkbox"/>		• Camellia sinensis var. Sinensis	<input type="checkbox"/>	○ Tea Bush				
<input checked="" type="checkbox"/>	3	• Synsepalum dulcificum	<input checked="" type="checkbox"/>	○ Miracle Fruit				
<input checked="" type="checkbox"/>	5	• Callicarpa Americana	<input checked="" type="checkbox"/>	○ Native American Beautyberry				
<input checked="" type="checkbox"/>	7	• Rosa	<input type="checkbox"/>	○ New World Roses	<input checked="" type="checkbox"/>	○ White Roses		
<input type="checkbox"/>		• Pereskia aculeata	<input type="checkbox"/>	○ Barbados Gooseberry				
<input checked="" type="checkbox"/>	5	• Mexican Red Papaya	<input checked="" type="checkbox"/>	○ Papaya				
<input checked="" type="checkbox"/>	5	• Musa	<input checked="" type="checkbox"/>	○ Ice Cream / Blue Java	<input checked="" type="checkbox"/>	○ Namwa	<input checked="" type="checkbox"/>	○ Dwarf Red Namwa
			<input type="checkbox"/>	○ Grand Nain	<input checked="" type="checkbox"/>	○ Dwarf Cavendish	<input checked="" type="checkbox"/>	○ Hua Moa
			<input type="checkbox"/>	○ Puerto Rican Plantain				
<input checked="" type="checkbox"/>	10	• Native Vaccinium darrowii & Vaccinium myrsinities	<input checked="" type="checkbox"/>	○ Native Blueberry				
<input checked="" type="checkbox"/>	3	• Malpighia emarginata	<input checked="" type="checkbox"/>	○ Acerola Cherry				
Trees								
	Quantity	20 trees on 801 Ave B - Focus Dwarf Live Oak						
<input checked="" type="checkbox"/>	5	• Morus nigra	<input checked="" type="checkbox"/>	○ Mulberry				
<input type="checkbox"/>		• Prunus persica (Peach)	<input type="checkbox"/>	■ Red Baron	<input type="checkbox"/>	■ UF Best	<input type="checkbox"/>	■ UF Sun
			<input type="checkbox"/>	■ Babcock	<input type="checkbox"/>	■ Tropic Beauty	<input type="checkbox"/>	■ Florida GLO

			<input type="checkbox"/>	■ Tropic Prince	<input type="checkbox"/>	■ Florida Prince	<input type="checkbox"/>	■ Eva's Pride
			<input type="checkbox"/>	■ May Pride	<input type="checkbox"/>	■ Sweet Bagel		
<input type="checkbox"/>		● Artocarpus heterophyllus	<input type="checkbox"/>	○ Jackfruit				
<input type="checkbox"/>		● Spondias purpura	<input type="checkbox"/>	○ Native Hog Plum				
<input checked="" type="checkbox"/>	3	● Bursera simaruba	<input checked="" type="checkbox"/>	○ Bonsai Native Gumbo Limbo				
<input type="checkbox"/>		● Ilex vomitoria, Aquifoliaceae	<input type="checkbox"/>	○ Native Yaupon Holly				
<input checked="" type="checkbox"/>	5	● Mangifera indica	<input checked="" type="checkbox"/>	○ Nam Doc Mi	<input checked="" type="checkbox"/>	○ Carrie	<input type="checkbox"/>	○ Glenn
			<input checked="" type="checkbox"/>	○ Pickering	<input type="checkbox"/>	○ Alphonso		
Vining & Epiphytic								
	Quantity							
<input checked="" type="checkbox"/>	10	● Trichostigma octandrum	<input checked="" type="checkbox"/>	○ Native Haitian Basket Vine				
<input checked="" type="checkbox"/>	3	● Clitoria Ternatea	<input checked="" type="checkbox"/>	○ Butterfly Pea				
<input type="checkbox"/>		● Vanilla planifolia	<input type="checkbox"/>	○ Vanilla Orchid				
<input checked="" type="checkbox"/>	5	● Monstera deliciosa	<input checked="" type="checkbox"/>	○ Monstera				

801 Avenue B Drainage Plan

7,500 Square Foot Infill Lot in Fort Pierce, Florida

Objective:

Design a comprehensive drainage system incorporating natural and sustainable solutions to manage stormwater, support local biodiversity, and contribute to the property's overall ecological health. The average annual rainfall for Fort Pierce is approximately 52 inches. Our combined rain garden, rain storage, permeable materials, and native plantings will ensure effective management of stormwater for the entire lot, reducing the risk of flooding and erosion.

Methodology:

1. Carbon Sequestration Estimates:

- Based on the U.S. Department of Agriculture (USDA) Forest Service data, which provides average carbon sequestration rates per square foot of tree canopy and mulch. The assumption that mulch contains approximately 50% carbon by weight is grounded in studies on organic matter carbon content, such as those outlined in the “Soil Carbon Sequestration” by the USDA's Natural Resources Conservation Service (NRCS).
 - i. Nowak, David J.; Crane, Daniel E. 2002. Carbon storage and sequestration by urban trees in the USA. *Environmental Pollution*. 116(3): 381-389.
- Tree carbon sequestration rates were informed by studies such as “Tree Carbon Calculator” by the USDA Forest Service.
 - i. The forest carbon calculator was developed by scientists at Oregon State University and the USDA Forest Service.

2. Rainwater Collection and Infiltration:

- Average rainfall data for Fort Pierce was sourced from the National Oceanic and Atmospheric Administration (NOAA) climate data. The rainwater collection efficiency rate was derived from guidelines provided by the American Rainwater Catchment Systems Association (ARCSA), which suggests a 90% efficiency in typical rainwater harvesting systems.
- The rain garden's water infiltration and retention rates were based on data from *The Rain Garden Handbook* and *The American Rainwater Catchment Systems Association's (ARCSA's) Rainwater Harvesting Manual*

3. Stormwater Management:

- The stormwater runoff fee rates and calculations were informed by local government stormwater utility fee structures, which often range from \$0.10

801 Avenue B Drainage Plan

to \$0.50 per cubic foot, with \$0.25 being a standard average used in many municipalities, as documented by the Environmental Protection Agency (EPA) in reports on stormwater utilities and cost-saving benefits of green infrastructure.

- Runoff prevention calculations also considered data from the Center for Watershed Protection, which provides methodologies for estimating the volume of stormwater infiltrated by permeable surfaces, mulch, and vegetation.

i. Urban Forest Systems and Green Stormwater Infrastructure | p5

4. Cumulative Rainwater Storage:

- The approach to determining cumulative rainwater storage was based on guidelines from the Rainwater Harvesting Manual by the Texas Water Development Board, which outlines the conversion of rainfall to gallons and typical refill rates for rainwater systems.

i. The Federal Energy Management Program (FEMP)

This methodology integrates empirical data, recognized best practices, and authoritative sources to ensure accurate, science-based estimates that reflect the environmental and financial impacts of the proposed drainage and water management plan for the 801 Avenue B project.

Application:

1. Rain Garden Design:

- **Location:** We've positioned the rain garden in an area of the 7,500 square foot lot to effectively capture runoff from the roof, walkways, and permeable parking areas.
- **Size:** The rain garden covers 900 square feet, representing 12% of the lot's surface area. This size is designed to manage a substantial volume of stormwater, ensuring efficient infiltration and reducing runoff across the property.
- **Plants:**
 - **Grasses:** Fakahatchee Grass (*Tripsacum dactyloides*), Blue Maidencane (*Amphicarpum muhlenbergianum*).
 - **Flowers:** Black-Eyed Susan (*Rudbeckia hirta*), Scarlet Hibiscus (*Hibiscus coccineus*).
 - **Shrubs:** Buttonbush (*Cephalanthus occidentalis*), Wax Myrtle (*Myrica cerifera*).

801 Avenue B Drainage Plan

The rain garden will slow down runoff, allowing it to percolate into the ground, reducing flooding risk, and filtering pollutants.

2. Native and Tropical Fruit Trees:

Plant a mix of shade, flowering, and fruit trees to manage heat, provide habitat, and contribute to stormwater management:

- **Shade Trees:** Dwarf Southern Live Oak (*Quercus minima*), Bald Cypress (*Taxodium distichum*)
- **Flowering and Fruit Trees:**
 - Banana (*Musa spp.*)
 - Plantain (*Musa paradisiaca*)
 - Avocado (*Persea americana*)
 - Mango (*Mangifera indica*)
 - Jamaican Cherry (*Muntingia calabura*)

Estimated Quantity: Approximately 20 trees.

Placement: Trees will be positioned along the periphery and interspersed throughout the lot, ensuring coverage and diversity. Maintain a minimum 5-foot setback from structures to prevent root interference.

3. Groundcovers and Pollinator-Supporting Flowers:

- **Groundcovers:** Sunshine Mimosa (*Mimosa strigillosa*), Frogfruit (*Phyla nodiflora*)
- **Flowers:** Blanket Flower (*Gaillardia pulchella*), Coral Honeysuckle (*Lonicera sempervirens*)

These will attract pollinators, provide soil stability, and reduce erosion, while also requiring minimal maintenance.

4. Rainwater Collection System:

- **Gutters:** Equipped with leaf guards and connected to four 750-gallon rain barrels (totaling 3,000 gallons) placed at the building's corners.

801 Avenue B Drainage Plan

- We further calculate how many times the rain barrels will fill and be emptied throughout the year and estimate the cumulative volume of rainwater that will be used. Rainwater will feed into a drip-line irrigation system.
 - **Rainwater Collection Analysis**
 - **Total Rainwater Collected Annually: Approximately 43,758 gallons**
 - **Number of Times Rain Barrels Refill Annually: About 14.6 times**
 - **Cumulative Rainwater Used for Irrigation Over the Year: 43,758 gallons**

This demonstrates that, while the rain barrels have a storage capacity of 3,000 gallons at any given time, they will collect and supply significantly more water throughout the year.

5. 5-Foot Landscaped Setback with Runoff Control:

- **Create a 5-foot landscaped setback around the perimeter using:**
 - **Gates and Fencing: Install permeable and decorative fencing to prevent water from channeling into adjacent properties.**
 - **Privacy Screens: Use native shrubs like Elderberry (*Sambucus canadensis*) and Firebush (*Hamelia patens*).**
 - **Ancient Stone Lines: Install stone swales or lines (using local coquina or limestone) to direct water toward rain gardens and prevent runoff into the street.**
-

6. Mulch Application:

- **Apply a 4-inch layer of city tree waste mulch to cover the entire 7,500 square feet, providing stormwater sequestration, rain percolation, and soil nutrition.**
 - **The twice-yearly mulch reapplication will greatly enhance the system's ability to sequester carbon and retain water.**
 - **This mulch layer will:**
 - **Enhance water absorption**
 - **Prevent soil erosion**
 - **Maintain soil moisture**
 - **Improve soil fertility over time**

801 Avenue B Drainage Plan

7. Permeable Parking and Walkway Design:

- **Use permeable pavers or gravel for parking spaces and pathways to ensure rainwater infiltrates the ground rather than running off.**
- **Materials: Opt for porous concrete, recycled crushed shell, or pervious pavers for maximum infiltration.**
- **Pathways: Design winding pathways to slow down water flow and direct it toward vegetated areas.**

Municipal Stormwater Cost Impact

Estimating runoff cost savings, we consider the following factors:

Stormwater Utility Fees: Many municipalities charge fees for stormwater runoff based on the impervious surface area and the volume of runoff generated. These fees typically range from \$0.10 to \$0.50 per cubic foot. For Fort Pierce, Florida, we are using a rate of **\$0.25 per cubic foot**.

Calculation

- **1-Year Prevented Runoff:** 33,475.44 cubic feet
- **10-Year Prevented Runoff:** 334,754.45 cubic feet
- **Cost per Cubic Foot:** \$0.25

Estimated Runoff Cost Savings

- **1-Year Prevented Runoff Cost Savings:** Approximately **\$8,368.86**
- **10-Year Prevented Runoff Cost Savings:** Approximately **\$83,688.61**

These estimates indicate substantial financial savings in stormwater management fees due to the effective implementation of the drainage plan, emphasizing the long-term economic and environmental benefits of the 801 Avenue B project. This showcases how sustainable design can lead to significant cost efficiencies over time while contributing positively to the community and environment.

801 Avenue B Drainage Plan

801 Avenue B Drainage Plan
1-Year and 10-Year Calculation Estimates
Carbon, Water Retention, and Prevented Stormwater Runoff

1-Year Estimates

Component	1-Year Estimate (Tons or Cubic Feet/Gallons)	Units
Mulch Carbon Storage	500.00	Tons
Tree Carbon Storage	97.50	Tons
Total Carbon Storage	597.50	Tons
Mulch Water Retention	2,500.50	Cubic Feet
Rain Garden Water Infiltration	2,922.75	Cubic Feet
Tree Water Infiltration	1,500.00	Cubic Feet
Total Water Retention	12,773.69	Cubic Feet
Prevented Stormwater Runoff	33,475.44	Cubic Feet
Cumulative Rainwater Used for Irrigation	43,758.00	Gallons

10-Year Estimates

801 Avenue B Drainage Plan

Component	10-Year Estimate (Tons or Cubic Feet/Gallons)	Units
Mulch Carbon Storage	5,000.0	Tons
Tree Carbon Storage	975.0	Tons
Total Carbon Storage	5,975.0	Tons
Mulch Water Retention	250,050.0	Cubic Feet
Rain Garden Water Infiltration	29,227.5	Cubic Feet
Tree Water Infiltration	15,000.0	Cubic Feet
Total Water Retention	352,781.95	Cubic Feet
Prevented Stormwater Runoff	334,754.45	Cubic Feet
Cumulative Rainwater Used for Irrigation	437,580.0	Gallons

The charts accurately reflect the annual and cumulative effects of the drainage plan, showcasing the impact on carbon storage, water retention, and stormwater runoff prevention over both 1-year and 10-year periods, providing a more comprehensive view of the system's overall impact.

Request for Exemption of 801 Ave. B from Concurrency Assessments

To Planning Department Representatives,

I hope this message finds you well.

I am writing to seek an exemption for the residential infill project at 801 Ave. B from Sec. 105-6 - Concurrency Assessments. We believe this exemption is justified based on the ordinance's language, the specific circumstances of the project, and its alignment with state law.

Key points include:

- **Existing Infrastructure:** The project at 801 Ave. B will utilize the existing infrastructure in the area with minimal additional strain on public facilities. This site has access to all utilities and sewer systems. The City of Fort Pierce has recently upgraded the infrastructure in the Peacock Arts District and parts of Lincoln Park, funded by taxpayer dollars, and these upgrades have been accounted for in the city's comprehensive plan.
- **Impact Fee Moratorium:** The city's current moratorium on impact fees makes the \$2,000 concurrency review fee redundant, as it primarily serves to calculate impact fees.
- **Affordable Housing Incentive:** Our project includes 2 affordable housing units. Exempting this project from concurrency assessments would further incentivize the development of affordable housing, supporting the city's broader community goals.
- **Compliance with Comprehensive Plan:** The requested density for this project adheres to the medium residential density zoning allowed in the city's comprehensive plan, which was designed with knowledge of the capacity of the existing infrastructure.
- **Adherence to State Law:** Under Chapter 163.3180 of the Florida Statutes, concurrency requirements are intended to ensure that adequate public facilities are available when the impacts of development occur. Our project meets the criteria for minimal impact on public facilities, justifying an exemption under state law. If necessary, we could pursue adherence to the original development agreement by filing a complaint with the state, though we hope to resolve this collaboratively.

Your consideration and support for this exemption will help streamline the development process for 801 Ave. B, allowing us to move forward efficiently while contributing to the city's affordable housing goals.

Thank you for your attention to this matter. I look forward to your positive response.

Best regards,

Chad Ingram

Project Leader

FortPierceChad@gmail.com

Request for Exemption of 801 Ave. B from Concurrency Assessments

TBD AFTER SITE PLAN APPROVAL

NA

NA

NA TO SITE PLAN APPROVAL

NA

NA

NA