



CITY OF FORT PIERCE TECHNICAL REVIEW COMMITTEE

AGENDA

Regular Meeting of the Fort Pierce Technical Review Committee to be held Thursday, January 16, 2025 at 10:00 a.m. in the William D. Dannahower, 2nd Floor Conference Room, 100 North U.S. Highway 1.

1. **New Business:**
 - a. Minor Replat - 908 Grandview Boulevard
 - b. Minor Replat -1118 Avenue F
 - c. Variance - Dutch Bros Coffee - 2050 S. US Highway 1
 - d. Minor Site Plan - Two Duplexes - 304 N. 12th Street
 - e. Minor Site Plan - City of Fort Pierce Animal Adoption Center - 100 Savannah Road
 - f. Affordable Housing Site Plan - 801 Avenue B

Technical Review Committee

1. a.

Meeting Date: 01/16/2025

REQUESTED ACTION

Minor Replat - 908 Grandview Boulevard

SUMMARY

Project #: PZSUB2024-00010

Applicant Wilfrid Charmant has submitted a Subdivision application for splitting lot 16 from Lot 14 and taking 10 feet North of Lot 15 adding it to Lot 16. The property is located at 908 Grandview Blvd., parcel ID: 2421-506-0090-000-9.

Please review and provide comments at least two days before the meeting date. Please send all comments to kdriver@cityoffortpierce.com and planning@cityoffortpierce.com. Should additional information be required, please do not hesitate to contact me directly, 772-467-3739.

LOCATION

908 Grandview Blvd. - Parcel ID: 2421-506-0090-000-9

RESPONSIBLE STAFF

Kerry C. Driver - Planner

RECOMMENDATION

N/A

Attachments

TRC Packet

Form Review

Form Started By: Kerry Driver
Final Approval Date: 12/12/2024

Started On: 12/11/2024 01:52 PM

This Document Prepared By and Return to:
Brinni Jackson
Structure Title Services
7401 Wiles Road, Suite 114
Coral Springs, FL 33067

Parcel ID Number: 2421-506-0090-000/9

Warranty Deed

This Indenture, Made this 11th day of October, 2024 A.D., Between
**JONATHAN PEREYO, individually and as Personal Representative of the ESTATE OF
PATRICIA FAULK a/k/a PATRICIA ANN HUCKABEE, deceased**

of the County of **Alachua**, State of **Florida**, grantor, and
WILFRID CHARMANT and DARLINE CHARMANT, husband and wife

whose address is: **908 Grandview Boulevard, Fort Pierce, FL 34982**

of the County of **Saint Lucie**, State of **Florida**, grantees.

Witnesseth that the GRANTOR, for and in consideration of the sum of
TEN DOLLARS (\$10)

and other good and valuable consideration to GRANTOR in hand paid by GRANTEES, the receipt whereof is hereby
acknowledged, has granted, bargained and sold to the said GRANTEES and GRANTEES' heirs, successors and assigns
forever, the following described land, situate, lying and being in the County of **Saint Lucie**,
State of **Florida** to wit:

**LOT(S) 14, 15 AND 16, BLOCK F, MARAVILLA ESTATES, A SUBDIVISION, ACCORDING TO THE
MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 77, OF THE PUBLIC RECORDS
OF ST. LUCIE COUNTY, FLORIDA.**

Subject to: (1) Taxes for the year 2024 and subsequent years; (2) zoning and/or restrictions and
prohibitions imposed by governmental authority; (3) restrictions and other matters appearing on
the Plat and/or common to the subdivision; (4) utility easements of record.

The property herein conveyed DOES NOT constitute the HOMESTEAD property of the
Grantor. The Grantor's HOMESTEAD address is 2025 NW 89 Drive, Gainesville, FL 32606.

and the grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons
whomsoever.

Warranty Deed - Page 2

Parcel ID Number: 2421-506-0090-000/9

In Witness Whereof, the grantor has hereunto set his hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

**JONATHAN PEREYO, individually and as
Personal Representative of the ESTATE OF
PATRICIA FAULK a/k/a PATRICIA ANN
HUCKABEE, deceased**

By: [Signature]
**JONATHAN PEREYO, individually and as
Personal Representative**

P.O. Address: 2025 NW 89 Drive, Gainesville, FL 32606

[Signature]

Printed Name: Andrea Smith-Roundtree
Witness

[Signature]

Printed Name: Uakaya Jackson
Witness

State of Florida

County of Alachua

The foregoing instrument was acknowledged before me by means of physical presence or online
notarization, this 11th day of **October**, 2024, by

**JONATHAN PEREYO, individually and as Personal Representative of the ESTATE OF
PATRICIA FAULK a/k/a PATRICIA ANN HUCKABEE, deceased**

who is personally known to me or who has produced his

Florida's driver license

as identification

[Signature]

Printed Name: Andrea Smith-Roundtree
Notary Public

My Commission Expires: March 30, 2026



LEGAL DESCRIPTION AND CERTIFICATION

LOT 14, 15 AND 16, BLOCK F, MARAVILLA ESTATES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 77, OF THE PUBLIC RECORDS OF ST LUCIE COUNTY, FL.

Community Number: 120286 Panel: 0187 Suffix: K F.I.R.M. Date: Flood Zone: X Field Work: 8/28/2024

Certified To:
 WILFRID CHARMANT AND DARLINE CHARMANT; STRUCTURE TITLE SERVICES; OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY; DEEPHAVEN MORTGAGE, LLC, ISAOA/TIMA

Property Address:
 908 GRANDVIEW BOULEVARD
 FORT PIERCE, FL 34982

Survey Number: 651950















Client File Number: CHAW9273

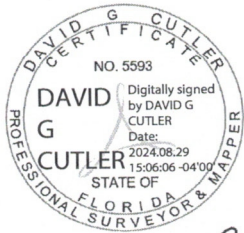
ABBREVIATION DESCRIPTION:

A.E.	ANCHOR EASEMENT	F.F. EL.	FINISH FLOOR ELEVATION
A/C	AIR CONDITIONER	F.I.P.	FOUND IRON PIPE
B.M.	BENCH MARK	F.I.R.	FOUND IRON ROD
B.R.	BEARING REFERENCE	F.P.K.	FOUND PARKER-KALON NAIL
(C)	CALCULATED	(L)	LENGTH
?	CENTRAL / DELTA ANGLE	L.A.E.	LIMITED ACCESS EASEMENT
CH	CHORD	L.M.E.	LAKE MAINTENANCE EASEMENT
(D)	DEED / DESCRIPTION	(M)	MEASURED / FIELD VERIFIED
D.E.	DRAINAGE EASEMENT	M.H.	MANHOLE
D.H.	DRILL HOLE	N&D	NAIL & DISK
DW	DRIVEWAY	N.R.	NOT RADIAL
E.O.W.	EDGE OF WATER	N.T.S.	NOT TO SCALE
F.C.M.	FOUND CONCRETE MONUMENT	O.H.L.	OVERHEAD UTILITY LINES


O.R.B.	OFFICIAL RECORDS BOOK
(P)	PLAT
P.B.	PLAT BOOK
P.C.	POINT OF CURVATURE
P.C.C.	POINT OF COMPOUND CURVE
P.O.B.	POINT OF BEGINNING
P.O.C.	POINT OF COMMENCEMENT
P.R.C.	POINT OF REVERSE CURVE
P.T.	POINT OF TANGENCY
R.W.	RIGHT-OF-WAY
(R)	RADIAL / RADIUS
S.I.R.	SET IRON ROD
T.O.B.	TOP OF BANK
U.E.	UTILITY EASEMENT

SYMBOL DESCRIPTIONS:

	= CATCH BASIN		= MISC. FENCE
	= CENTERLINE ROAD		= PROPERTY CORNER
	= COVERED AREA		= UTILITY BOX
	= EXISTING ELEVATION		= UTILITY POLE
	= HYDRANT		= WATER METER
	= MANHOLE		= WELL
	= METAL FENCE		= WOOD FENCE



SURVEYORS CERTIFICATE
 I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. NOT VALID WITHOUT AN AUTHENTICATED ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL, OR A RAISED EMBOSSED SEAL AND SIGNATURE.

(SIGNED) 
 DAVID G CUTLER
 PROFESSIONAL SURVEYOR AND MAPPER #5593

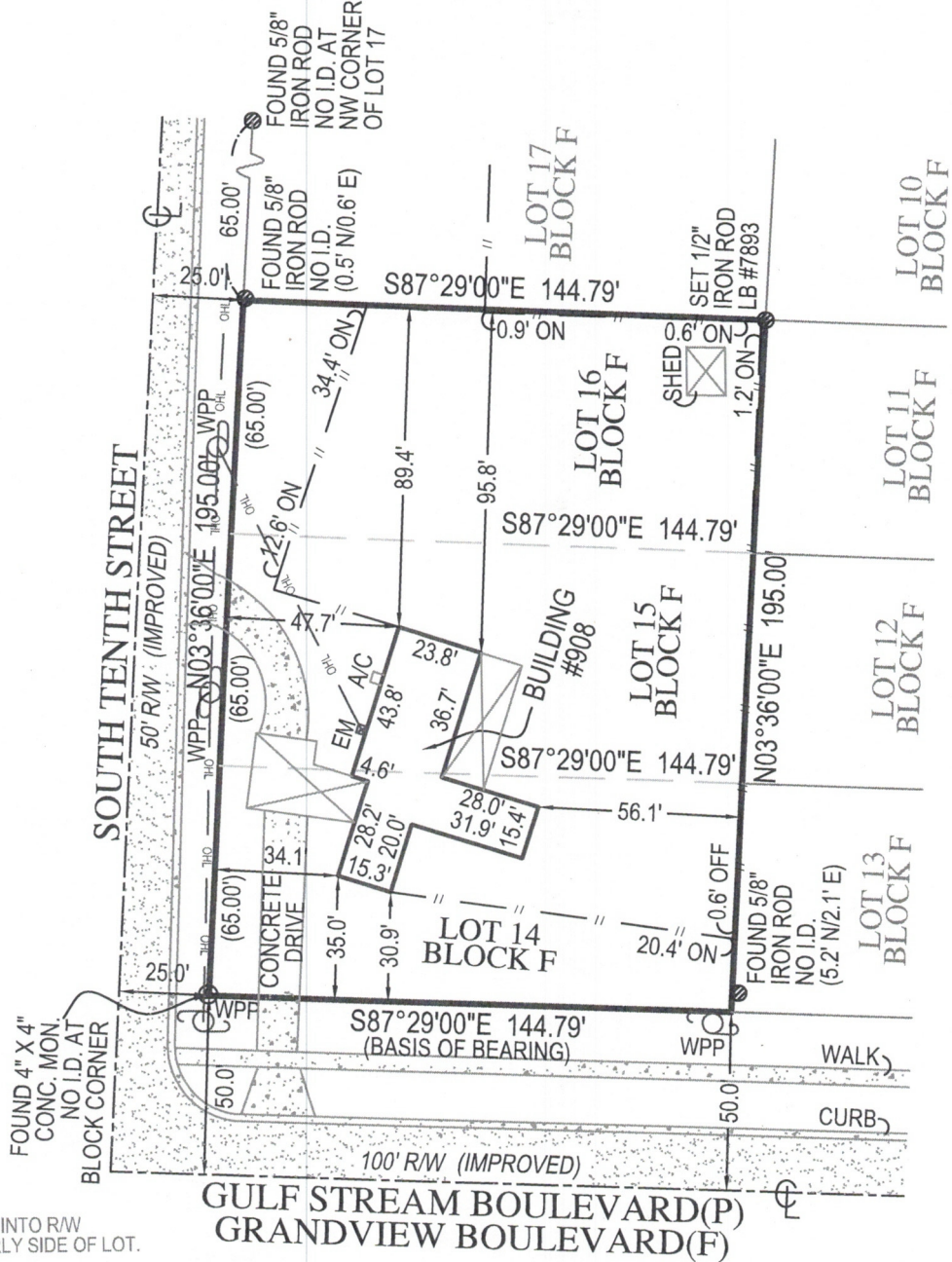
PRINTING INSTRUCTIONS:
 WHEN PRINTING BE SURE TO SELECT "ACTUAL SIZE" TO ENSURE PROPER SCALING. DO NOT USE "FIT"

PAGE 1 OF 2 PAGES
 (NOT COMPLETE WITHOUT PAGE 2)



SERVING FLORIDA
 6250 N. MILITARY TRAIL, SUITE 102
 WEST PALM BEACH, FL 33407
 PHONE (561) 640-4800
 STATEWIDE PHONE (800) 226-4807
 STATEWIDE FACSIMILE (800) 741-0576
 WEBSITE: <http://targetsurveying.net>

BOUNDARY SURVEY



SURVEY NOTES

CONCRETE DRIVE CROSSING INTO R/W ON SOUTHERLY AND WESTERLY SIDE OF LOT.

THERE ARE FENCES NEAR THE BOUNDARY OF THE PROPERTY.

(F) PER FIELD OF OBSERVATIONS
 WPP - WOOD POWER POLE
 EM - ELECTRIC METER

PAGE 2 OF 2 PAGES
 (NOT COMPLETE WITHOUT PAGE 1)

SURVEY NUMBER:
 651950

GENERAL NOTES:

- 1) LEGAL DESCRIPTION PROVIDED BY OTHERS
- 2) THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS OR OTHER RECORDED ENCUMBRANCES NOT SHOWN ON THE PLAT.
- 3) UNDERGROUND PORTIONS OF FOOTINGS, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
- 4) WALL TIES ARE TO THE FACE OF THE WALL AND ARE NOT TO BE USED TO RECONSTRUCT BOUNDARY LINES.
- 5) ONLY VISIBLE ENCROACHMENTS LOCATED.
- 6) DIMENSIONS SHOWN ARE PLAT AND MEASURED UNLESS OTHERWISE SHOWN.
- 7) FENCE OWNERSHIP NOT DETERMINED.
- 8) ELEVATIONS INDICATED HEREON ARE IN FEET AND DECIMALS REFERENCED TO N.A.V.D. 1988
- 9) THIS SURVEY HAS BEEN COMPLETED FOR A MORTGAGE TRANSACTION, ITS SCOPE IS LIMITED TO THE DETERMINATION OF TITLE DEFICIENCIES. NO DESIGN OR CONSTRUCTION SHALL BE BASED UPON THIS SURVEY WITHOUT APPROVAL FROM TARGET SURVEYING PRIOR TO SUCH USE. TARGET SURVEYING ASSUMES NO RESPONSIBILITIES FOR ERRORS RESULTING FROM FAILURE TO ADHERE TO THIS CLAUSE.
- 10) IN SOME INSTANCES, GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE RELATIONSHIPS BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES. IN ALL CASES, DIMENSIONS SHALL CONTROL THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.



LB #7893

SERVING FLORIDA

6250 N. MILITARY TRAIL, SUITE 102
 WEST PALM BEACH, FL 33407
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 STATEWIDE PHONE (800) 226-4807
 STATEWIDE FACSIMILE (800) 741-0576
 WEBSITE: <http://targetsurveying.net>

BOUNDARY AND LOT SPLIT SURVEY

Prepared For: Wilfrid Charmont

Address: 908 GRANDVIEW BOULEVARD, FORT PIERCE, FLORIDA 34982

LEGAL DESCRIPTION:

PARENT PARCEL ID: 2421-506-0090-000-9 DESCRIBED AS FOLLOWS: LOTS 14, 15 AND 16, BLOCK F, MARAVILLA ESTATES, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 77, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA. TOTAL AREA = 28,229.01 SQ.FT. = 0.648 ACRES.

PARCEL A DESCRIBED AS FOLLOWS: LOTS 14 AND 15, LESS NORTH 10 FEET OF LOT 15, BLOCK F, MARAVILLA ESTATES, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 77, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA. TOTAL AREA = 17,371.44 SQ.FT. = 0.399 ACRES.

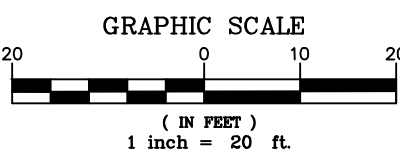
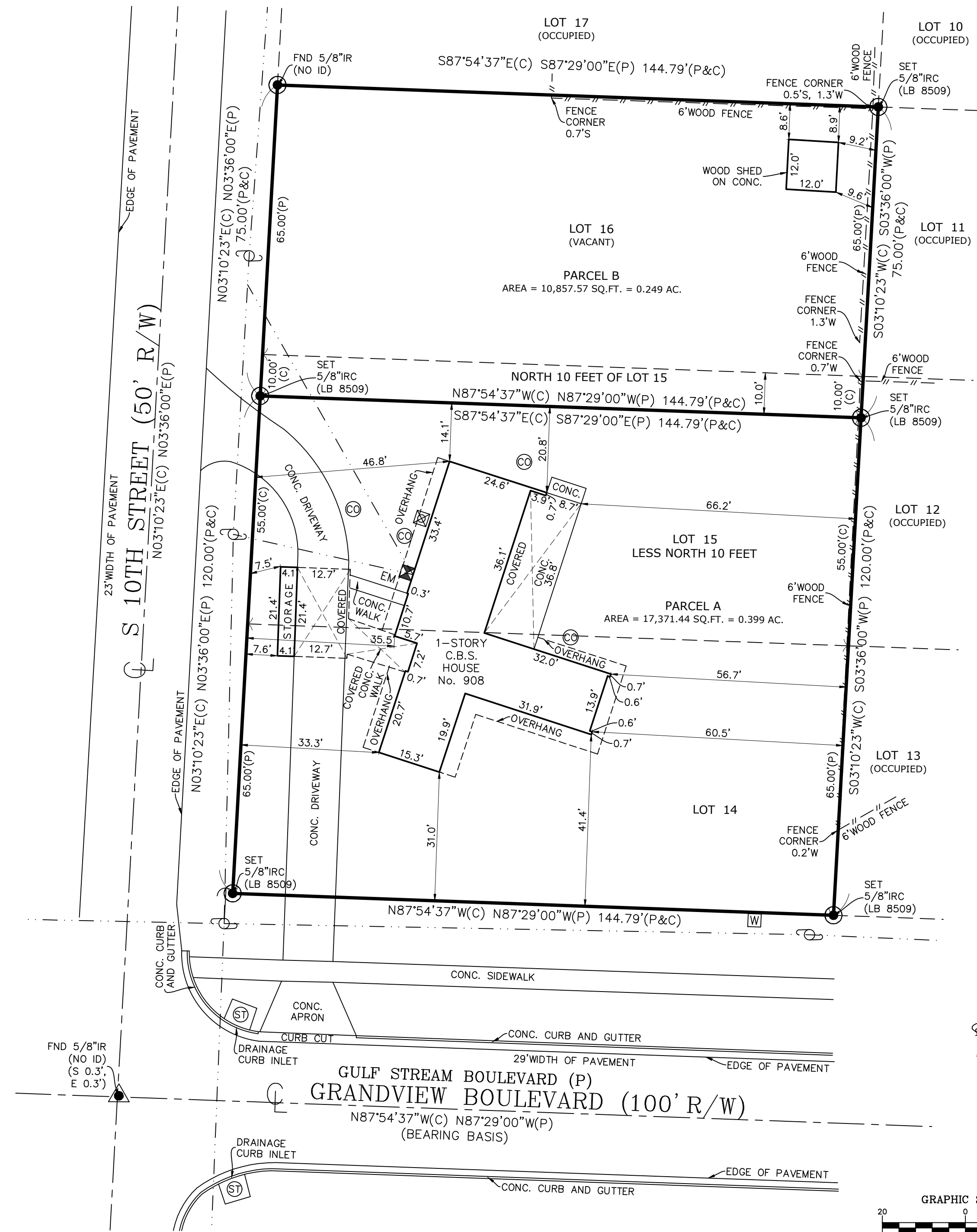
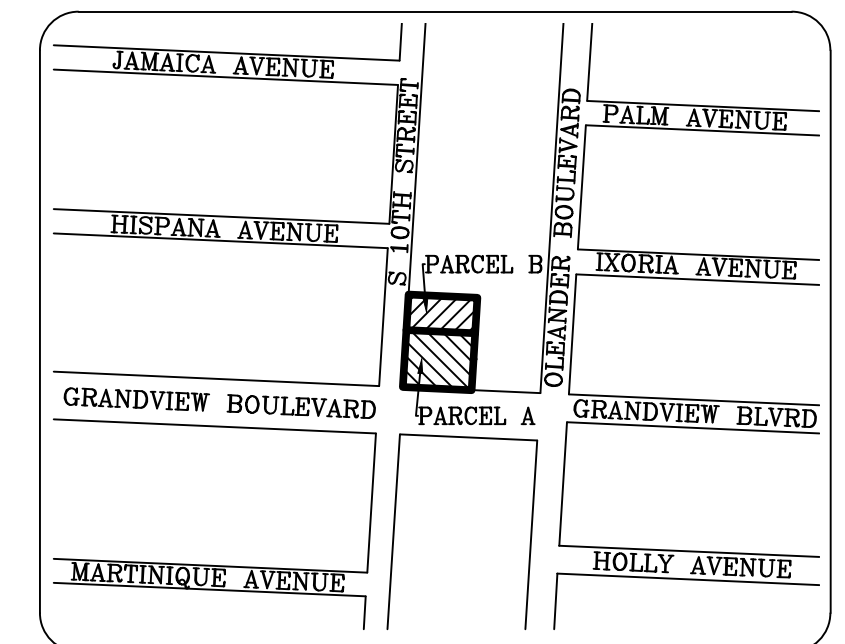
PARCEL B DESCRIBED AS FOLLOWS: LOT 16 AND NORTH 10 FEET OF LOT 15, BLOCK F, MARAVILLA ESTATES, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 77, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA. TOTAL AREA = 10,857.57 SQ.FT. = 0.249 ACRES.

SURVEYORS NOTES AND REPORT:

1. THIS BOUNDARY SURVEY WAS PERFORMED FOR THE PURPOSE OF MAPPING EXISTING FEATURES AND CONDITIONS, AS SHOWN AND DEPICTED HEREON. I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS IS A TRUE AND ACCURATE DEPICTION OF A FIELD SURVEY PERFORMED UNDER MY DIRECTION AND COMPLETED ON NOVEMBER 7, 2024. I FURTHER CERTIFY THAT SAID DRAWING IS IN COMPLIANCE WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027, FLORIDA STATUTES.
2. THIS SURVEY MAP AND REPRODUCTIONS THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER OR ORIGINAL ELECTRONIC SIGNATURE. THIS SURVEY CANNOT BE TRANSFERRED OR ASSIGNED WITHOUT THE SPECIFIC WRITTEN PERMISSION OF AERO LAND SURVEYORS - FLORIDA SOUTH EAST, INC. IT IS A VIOLATION OF CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, TO ALTER THIS SURVEY WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF THE SURVEYOR. ADDITIONS AND/OR DELETIONS MADE TO THE FACE OF THIS SURVEY WILL MAKE THIS SURVEY INVALID.
3. THE LAST DATE OF FIELD WORK (AND DATA ACQUISITION) WAS NOVEMBER 7, 2024.
4. CURRENT DESCRIPTION(S) SHOWN HEREON PROVIDED BY: THE CLIENT.
5. PARCELS CONTAIN A TOTAL OF 28,229.01 SQUARE FEET (0.648 ACRES).
6. THIS BOUNDARY SURVEY HAS BEEN REFERENCED TO THE FLORIDA STATE PLANE COORDINATE SYSTEM-EAST ZONE, NAD 83 (1990).
7. UNDERGROUND UTILITIES, UTILITY SERVICES, FOUNDATIONS AND IMPROVEMENTS WERE NOT LOCATED AS A PART OF THIS SURVEY, UNLESS FEATURES WERE VISIBLE AT THE SURFACE LEVEL.
8. REVISIONS SHOWN HEREON DO NOT REPRESENT A "FIELD SURVEY UPDATE" UNLESS OTHERWISE NOTED.
9. BEARINGS SHOWN HEREON ARE BASED UPON GRID NORTH AND REFERENCE THE CENTER LINE GRANDVIEW BOULEVARD, LABELED HEREON AS (BEARING BASIS) AND ALL OTHER BEARINGS ARE RELATIVE THERETO. DISTANCES ARE IN US SURVEY FEET AND DECIMAL PARTS THEREOF.
10. THIS SITE WAS SURVEYED UTILIZING TOPCON HARDWARE TOGETHER WITH MAGNET SURVEY REALTIME PROCESSING AND WAS BASED ON "L-NET" NETWORK AND/OR THE FLORIDA PERMANENT REFERENCE NETWORK (FPRN). THE PROCEDURES AND NETWORK DESIGN MEETS THE GEODETIC ACCURACY STANDARDS AND SPECIFICATIONS FOR USING GPS RELATED POSITIONING AS SET FORTH BY THE FEDERAL GEODETIC CONTROL COMMITTEE IN THE MOST CURRENT PUBLICATION FOR 3RD ORDER CLASS ONE FOR HORIZONTAL CONTROL SURVEYS.
11. IN SOME INSTANCES, GRAPHIC REPRESENTATIONS AND SYMBOLS SHOWN HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE THE RELATIONSHIP BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES. THE DIMENSIONS SHOWN SHALL CONTROL THE LOCATION, OF THE IMPROVEMENTS, OVER THE SCALED POSITIONS.
12. THE OWNERSHIP OF PERIMETER FENCES, WALLS, HEDGES AND LANDSCAPING, IF ANY, SHOWN HEREON ARE NOT KNOWN AND ARE NOT LISTED AS ENCROACHMENTS. THEIR RELATIVE LOCATION IS SHOWN IN RELATION TO THE BOUNDARY LINES SHOWN.
13. THE SURVEY MAP SHOWN HEREON DOES NOT NECESSARILY CONTAIN ALL OF THE INFORMATION OBTAINED OR DEVELOPED BY THE UNDERSIGNED SURVEYOR IN HIS FIELD WORK, OFFICE WORK OR RESEARCH.
14. THE PROPERTY WHICH IS THE SUBJECT OF THIS SURVEY APPEARS TO BE SITUATE IN AN AREA OF MINIMAL FLOOD HAZARD (ZONE X) AT THIS TIME PURSUANT TO F.E.M.A. FIRM NUMBER 12111C0187K HAVING AN EFFECTIVE DATE OF FEBRUARY 19, 2020. FOR APPROXIMATE DELINEATION OF THE FLOOD ZONE LIMITS, REFER TO AFOREMENTIONED FIRM PANELS.
15. COMPUTED (C) AS SHOWN REFERS TO FLORIDA STATE PLANE AND REFLECTS A DECLINATION OF 0°25'37". THIS IS THE DIFFERENCE BETWEEN FLORIDA STATE PLANE AND PLAT BEARINGS.

SYMBOL & ABBREVIATION LEGEND:

⊙	CLEAN OUT	LB	LICENSED BUSINESS
EM	ELECTRIC METER	FND	FOUND
⊙	STORM MANHOLE	IR	IRON ROD
W	WATER METER	IRC	IRON ROD WITH CAP
⊙	CENTER LINE	(C)	CALCULATED
R/W	RIGHT-OF-WAY	(P)	PER PLAT
⊙	PROPERTY CORNER	CONC.	CONCRETE
▲	POINT CONTROL		
⊙	WOOD POWER POLE		
—	OVER HEAD WIRES		
⊙	GUY ANCHOR		
⊙	AIR CONDITIONER		
C.B.S.	CONCRETE BLOCK STRUCTURE		



REVISION: COMPUTED BEARINGS UPDATED ON DECEMBER 4, 2024

<p>AERO LAND SURVEYORS FLORIDA SOUTHEAST, INC. 570 SE PORT ST LUCIE BLVD, PORT ST. LUCIE, FL 34984 TEL. 772-237-4993</p>	
L.B. CERTIFICATE OF AUTHORIZATION 8509 EMAIL: FSE@AEROLANDSURVEYORS.COM	
LOTS: 14, 15 AND 16 BLOCK: F SECTION: N/A	
PLAT BOOK AND PAGE: BOOK 8, PAGE 77	
MAP OF: "MARAVILLA ESTATES"	
TITLE NO.: N/A	
MAP FILED DATE: N/A	
COUNTY TAX MAP ID: 2421-506-0090-000-9	
SITUATED IN: ST. LUCIE COUNTY, FLORIDA	
CERTIFIED TO	WILFRID CHARMONT

NOTE: LOCATIONS AND EXISTENCE OF ANY SUBSURFACE UTILITIES AND/OR STRUCTURES NOT READILY VISIBLE, ARE NOT CERTIFIED. THE CERTIFICATIONS HEREON ARE NOT TRANSFERABLE.

THIS PLAT AND THE SURVEY ON WHICH IT IS BASED WAS DONE UNDER MY DIRECTION DURING THE MONTH OF NOVEMBER, 2024 AND POINTS THAT WERE FOUND OR SET ARE REPRESENTED TO THE BEST OF MY KNOWLEDGE AND BELIEF.

CHRISTOPHER HENN SIGNATURE DATE
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION #6608

JOB NO.: FSE24-807
DATE: DECEMBER 4, 2024

Technical Review Committee

1. b.

Meeting Date: 01/16/2025

REQUESTED ACTION

Minor Replat -1118 Avenue F

SUMMARY

Project #: PZSUB2024-00007

A minor lot split application has been submitted proposing subdividing the parcel (address: 1118 Ave. F) in two (2). The property is 0.44 acres and the parcel has direct access on Avenue F and N 12 St.

Please review and provide comments at least two days before the meeting date. Please send all comments to kdriver@cityoffortpierce.com and planning@cityoffortpierce.com. Should you require additional information, I can be reached via email or dialing 772-467-3739.

LOCATION

1118 Avenue F (Parcel ID:2404-822-0019-000-6

RESPONSIBLE STAFF

Kerry C. Driver - Planner

RECOMMENDATION

N/A

Attachments

TRC Packet

Form Review

Form Started By: Kerry Driver
Final Approval Date: 12/20/2024

Started On: 12/20/2024 01:39 PM

Prepared by:
Brittany Clyatt
Cove Harbour Title Services, LLC
311 S. 2nd Street, Suite 102-A
Ft. Pierce, Florida 34950
File Number: 24-0029

General Warranty Deed

Made this June 10, 2024 A.D., By Theodore Alston, Jr., as Personal Representative of the Estate of Kenneth W Lewis, whose post office address is: 718 N Lucia Avenue, Unit A, Redondo Beach, California 90277, hereinafter called the grantor, to John Peter Richer Armand, a married man, whose post office address is: 1118 Avenue F, Fort Pierce, Florida 34950, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in St. Lucie County, Florida, viz:

See Attached Exhibit "A"

Said property is not the homestead of the Grantor under the laws and constitution of the State of Florida in that neither Grantor nor any members of the household of Grantor reside thereon.

Parcel ID Number: 2404-822-0019-000-6

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2023.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]

Witness Printed Name: Harry Pale
Address: 2509 Walnut Ave
Manhattan Beach CA 90266

[Signature] (Seal)

Theodore Alston, Jr., as Personal Representative of the Estate
of Kenneth W Lewis,
Address: 718 N Lucia Avenue, Unit A, Redondo Beach, California 90277

Witness Printed Name: Andrew Toma
Address: 21143 Hawthorne blvd, Torrance, CA, 90503

State of California
County of Los Angeles

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 10th day of June, 2024, by Theodore Alston, Jr., as Personal Representative of the Estate of Kenneth W Lewis, who is/are personally known to me or who has produced CA DL as identification.



[Signature]

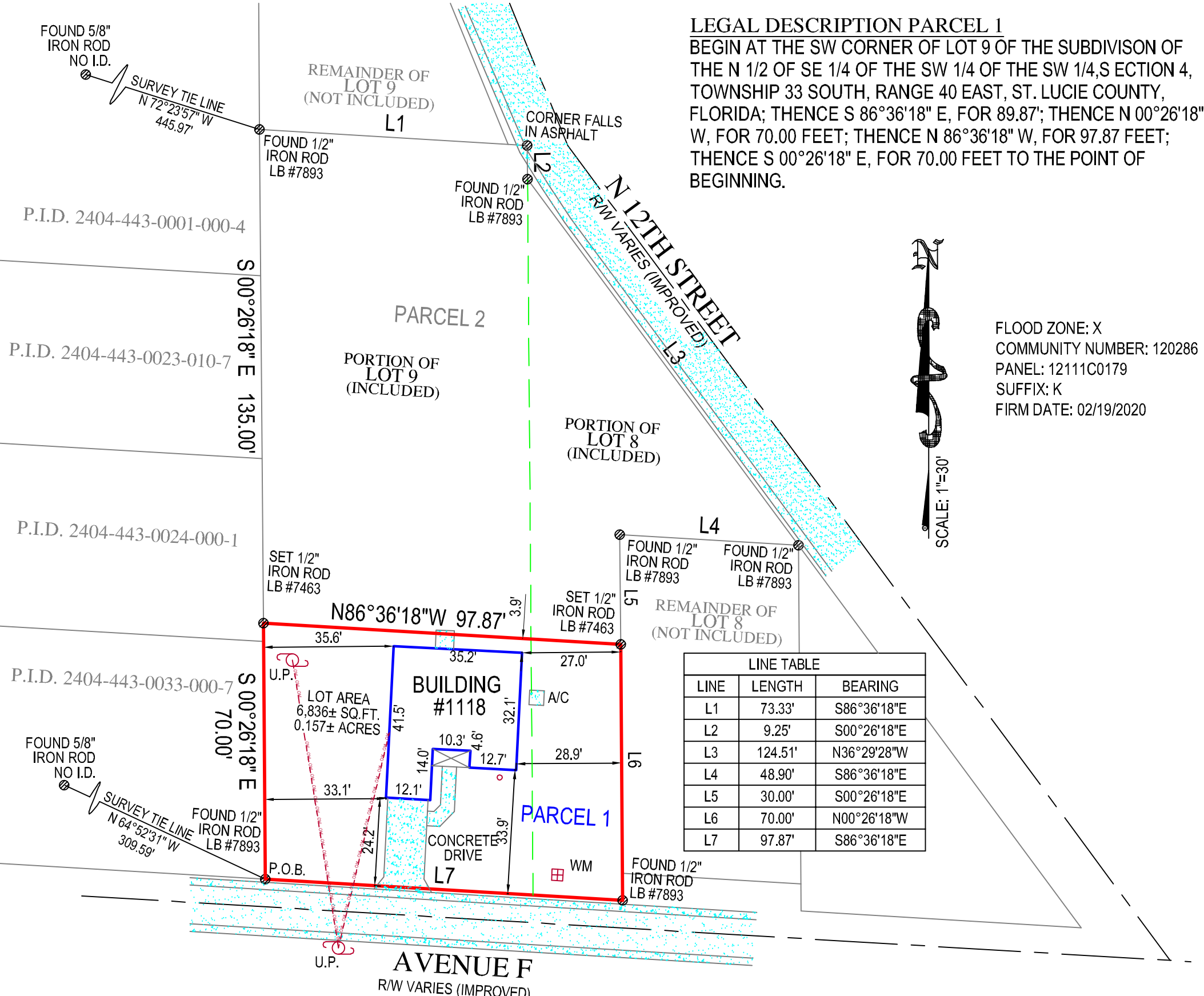
Notary Public
Print Name: Anthony Avila
My Commission Expires: March 19, 2028

Prepared by:
Brittany Clyatt
Cove Harbour Title Services, LLC
311 S. 2nd Street, Suite 102-A
Ft. Pierce, Florida 34950
File Number: 24-0029

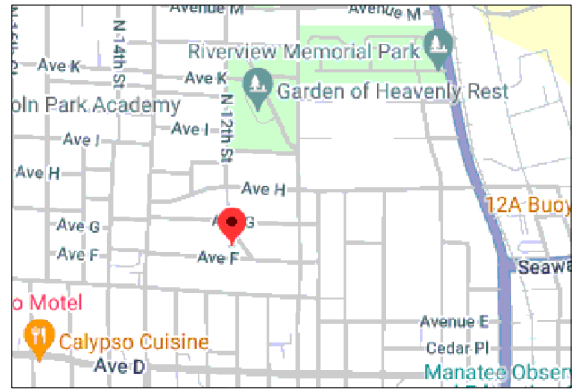
Exhibit "A"

Legal Description

BEGIN AT THE SW CORNER OF LOT 9 OF THE SUBDIVISION OF THE N 1/2 OF SE 1/4 OF THE SE 1/4 OF THE SE 1/4, SECTION 4, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA; THENCE N 205 FEET; THENCE E 73.33 FEET TO EAST LINE OF LOT 9; THENCE SOUTH 9.25 FEET; THENCE SOUTHEASTERLY 124.39 FEET; THENCE WEST 48.9 FEET; THENCE SOUTH 100 FEET; THENCE WEST 97.87 FEET TO THE POINT OF BEGINNING.



LEGAL DESCRIPTION PARCEL 1
 BEGIN AT THE SW CORNER OF LOT 9 OF THE SUBDIVISION OF THE N 1/2 OF SE 1/4 OF THE SW 1/4, SECTION 4, TOWNSHIP 33 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA; THENCE S 86°36'18" E, FOR 89.87'; THENCE N 00°26'18" W, FOR 70.00 FEET; THENCE N 86°36'18" W, FOR 97.87 FEET; THENCE S 00°26'18" E, FOR 70.00 FEET TO THE POINT OF BEGINNING.



VICINITY MAP
NOT TO SCALE

LEGEND

- FLOOD ZONE: X
 - COMMUNITY NUMBER: 120286
 - PANEL: 12111C0179
 - SUFFIX: K
 - FIRM DATE: 02/19/2020
- A/C AIR CONDITIONER
 - B.F.P. BACKFLOW PREVENTER
 - C.B.S. CONCRETE BLOCK STRUCTURE
 - EL. ELEVATION
 - F.F. FINISHED FLOOR
 - I.D. IDENTIFICATION
 - L. LENGTH
 - L.B. LICENSED BUSINESS
 - M. MEASURED
 - N.A.V.D. NORTH AMERICAN VERTICAL DATUM
 - N.G.V.D. NATIONAL GEODETIC VERTICAL DATUM
 - O.R.B. OFFICIAL RECORDS BOOK
 - P. PLAT
 - PSM PROFESSIONAL SURVEYOR AND MAPPER
 - P.R.M. PERMANENT REFERENCE MONUMENT
 - PG. PAGE
 - P.B. PLAT BOOK
 - PK PARKER KYLON NAIL
 - R. RADIUS
 - R/W RIGHT OF WAY
 - D.E. DRAINAGE EASEMENT
 - U.E. UTILITY EASEMENT
 - CL CENTERLINE
 - & AND
 - # NUMBER
 - Δ DELTA OR CENTRAL ANGLE
 - CONCRETE CONCRETE
 - CHAIN LINK FENCE CHAIN LINK FENCE
 - WOOD FENCE WOOD FENCE
 - MISCELLANEOUS FENCE MISCELLANEOUS FENCE
 - P.O.B. POINT OF BEGINNING

LINE	LENGTH	BEARING
L1	73.33'	S86°36'18"E
L2	9.25'	S00°26'18"E
L3	124.51'	N36°29'28"W
L4	48.90'	S86°36'18"E
L5	30.00'	S00°26'18"E
L6	70.00'	N00°26'18"W
L7	97.87'	S86°36'18"E

- NOTES:**
- LEGAL DESCRIPTION CREATED BY COMPASS SURVEYING FOR LOT SPLIT
 - NO SEARCH OF THE PUBLIC RECORD FOR THE PURPOSE OF ABSTRACTING TITLE WAS PERFORMED BY THIS OFFICE
 - NO SUBSURFACE IMPROVEMENTS WERE LOCATED AS PART OF THIS SURVEY
 - ALL ANGLES OR BEARINGS AND DISTANCES SHOWN HEREON ARE BOTH RECORD AND MEASURED UNLESS OTHERWISE NOTED
 - SOME FEATURES MAY NOT BE AT SCALE IN ORDER TO SHOW DETAIL.
 - THE BEARINGS SHOWN HEREON ARE BASED UPON THE SOUTHERLY PROPERTY LINE, HAVING A BEARING OF S86°36'18"E.

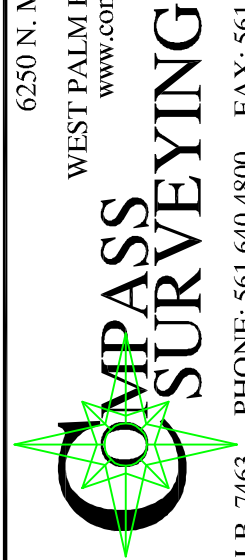
SURVEYORS CERTIFICATE
 I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. NOT VALID WITHOUT AN AUTHENTICATED ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL, OR A RAISED EMBOSSED SEAL AND SIGNATURE.

(SIGNED)
DAVID G CUTLER
 PROFESSIONAL SURVEYOR AND MAPPER #5593

SKETCH AND DESCRIPTION FOR LOT SPLIT OF
1118 AVENUE F
FORT PIERCE, FL 34950
 PREPARED FOR
JOHN ARMAND

Project	C-655992	Sheet	
Date	09/24/2024		
Scale	1"=30'		1 OF 1

6250 N. MILITARY TRAIL
 SUITE 102
 WEST PALM BEACH, FL 33407
 www.compassurveying.net



PHONE: 561.640.4800 FAX: 561.640.0576
 LB. 7463

Technical Review Committee

1. c.

Meeting Date: 01/16/2025

REQUESTED ACTION

Variance - Dutch Bros Coffee - 2050 S. US Highway 1

SUMMARY

Variances requested for various setback and site development standards to enable the location of a drive-through coffee restaurant.

Please review and send comments via email to kfreeman@cityoffortpierce.com

LOCATION

2050 S. US. Hwy 1 (ex-Checkers)

RESPONSIBLE STAFF

Kev Freeman - kfreeman@cityoffortpierce.com

RECOMMENDATION

Provide comments

Attachments

Application

PA Card

Survey

Floor Plan

Site Plan

Narrative 1

Narrative 2

Narrative 3

Narrative 4

Narrative 5

Form Review

Form Started By: Kev Freeman

Started On: 12/20/2024 03:39 PM

Final Approval Date: 12/20/2024



VARIANCE

Property Information

Property address or Location

2050 S US Highway 1, Ft Pierce, FL 34950

Parcel ID #(s)

2415-341-0005-000-3

Project description

Demolition of an existing Checker's and construction of a 950 sf Dutch Bros Coffee with associated stie work and utilities

Reason for request

See Attached

Existing Use: Restaurant

Date Property was Purchased: 8/27/24

Alterations made to the site since purchase: None

Has a request for this variance been denied in the past? Yes No

If yes, what changed since the denial? _____

Larce Avenue - DB4 LLC (Michael Curcio)

Property Owner(s)

530 36th Street

Street Address

West Palm FL 33407-4302

City State Zip

561-309-5002

Phone Number

mc@superiorautoproperty.com

Email Address

Z Development Services - Robert Ziegenfuss, P.E.

Applicant/Representative, Title, Company

1201 E Robinson Street

Street Address

Orlando FL 32801

City State Zip

407-271-8910

Phone Number

permits@zdevelopmentsservices.com

Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

[Signature]
 Property Owner(s) Signature(s)

APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS

CALL 772.467.3737 OR E-MAIL PLANNING_DL@CITYOFFORTPIERCE.COM

For more information, please refer to the website:

<https://www.cityoffortpierce.com/971/Application-Submittal-for-Technical-Rev1>

Property Identification

Site Address: 2050 S US HIGHWAY 1
Sec/Town/Range: 15/35S/40E
Parcel ID: 2415-341-0005-000-3
Jurisdiction: Fort Pierce

Use Type: 2200
Account #: 24492
Map ID: 24/15S
Zoning: General Co

Ownership

Larch Avenue - DB4 LLC
530 36th ST
West Palm Beach, FL 33407-4302

Legal Description

15 35 40 W 170 FT OF FOL DESC PROP: THAT PART OF S 110 FT OF N 610 FT OF E 1/2 OF SE 1/4 OF SW 1/4 LYG E OF US 1 (0.43 AC - 18,700 SF) (OR 3970-1337)

Current Values

Just/Market Value: \$662,600
Assessed Value: \$610,500
Exemptions: \$0
Taxable Value: \$610,500

Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Taxes for this parcel: [SLC Tax Collector's Office](#)
Download TRIM for this parcel: [Download PDF](#)



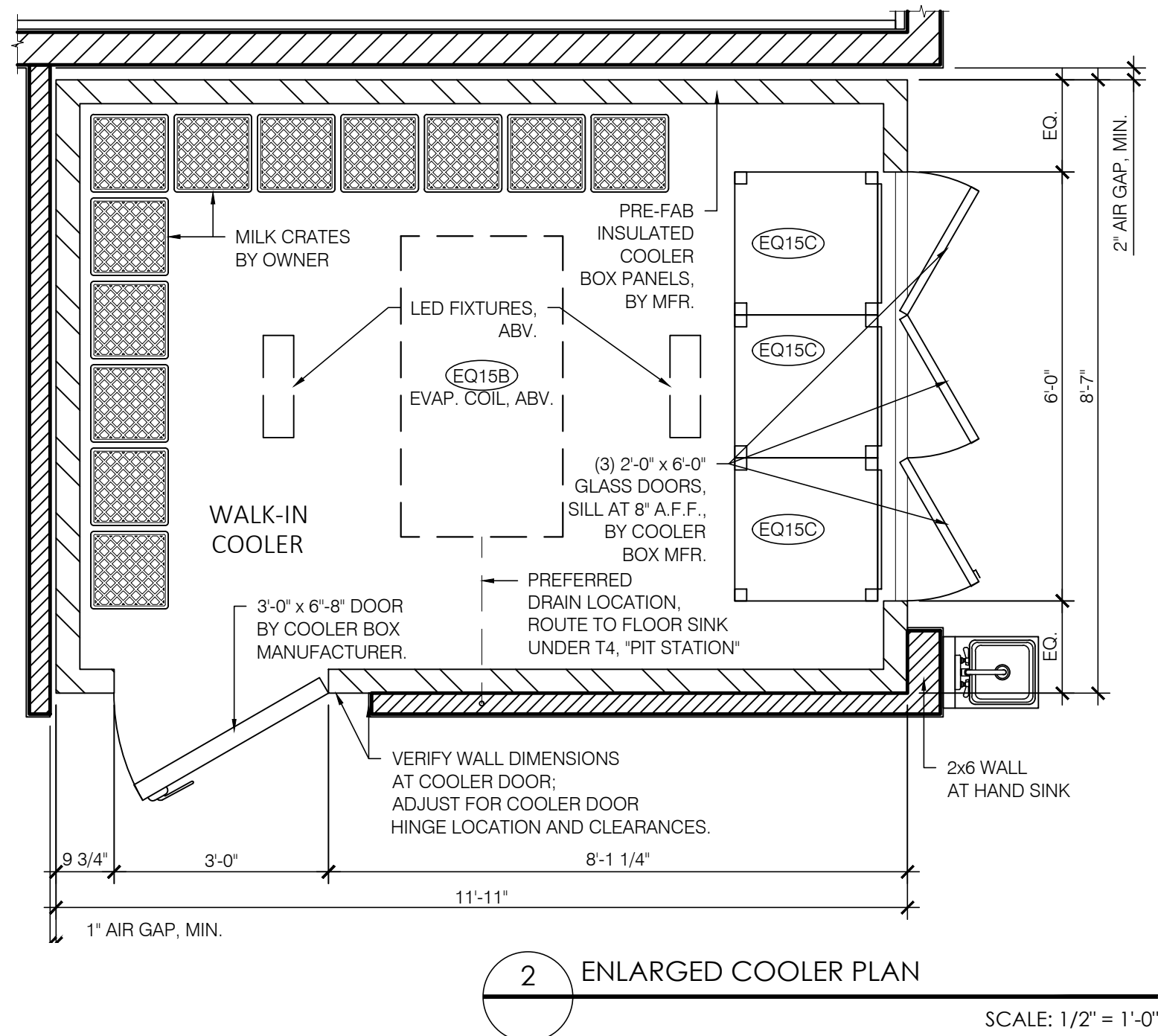
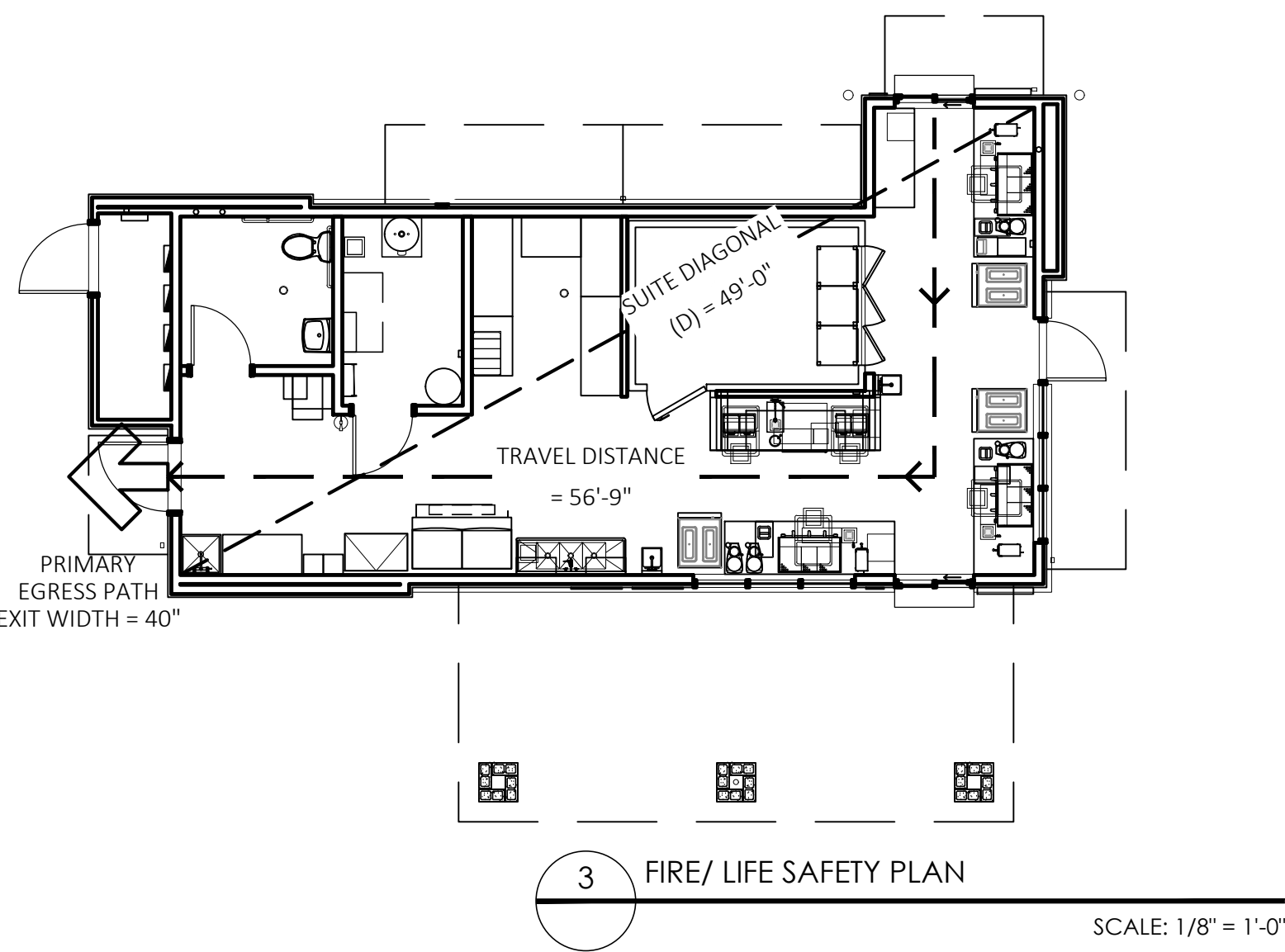
Total Areas

Finished/Under Air (SF): 802
Gross Sketched Area (SF): 1,074
Land Size (acres): 0.43
Land Size (SF): 18,700

Building Design Wind Speed

Occupancy Category	I	II	III
Speed	140	160	160

Sources/links:

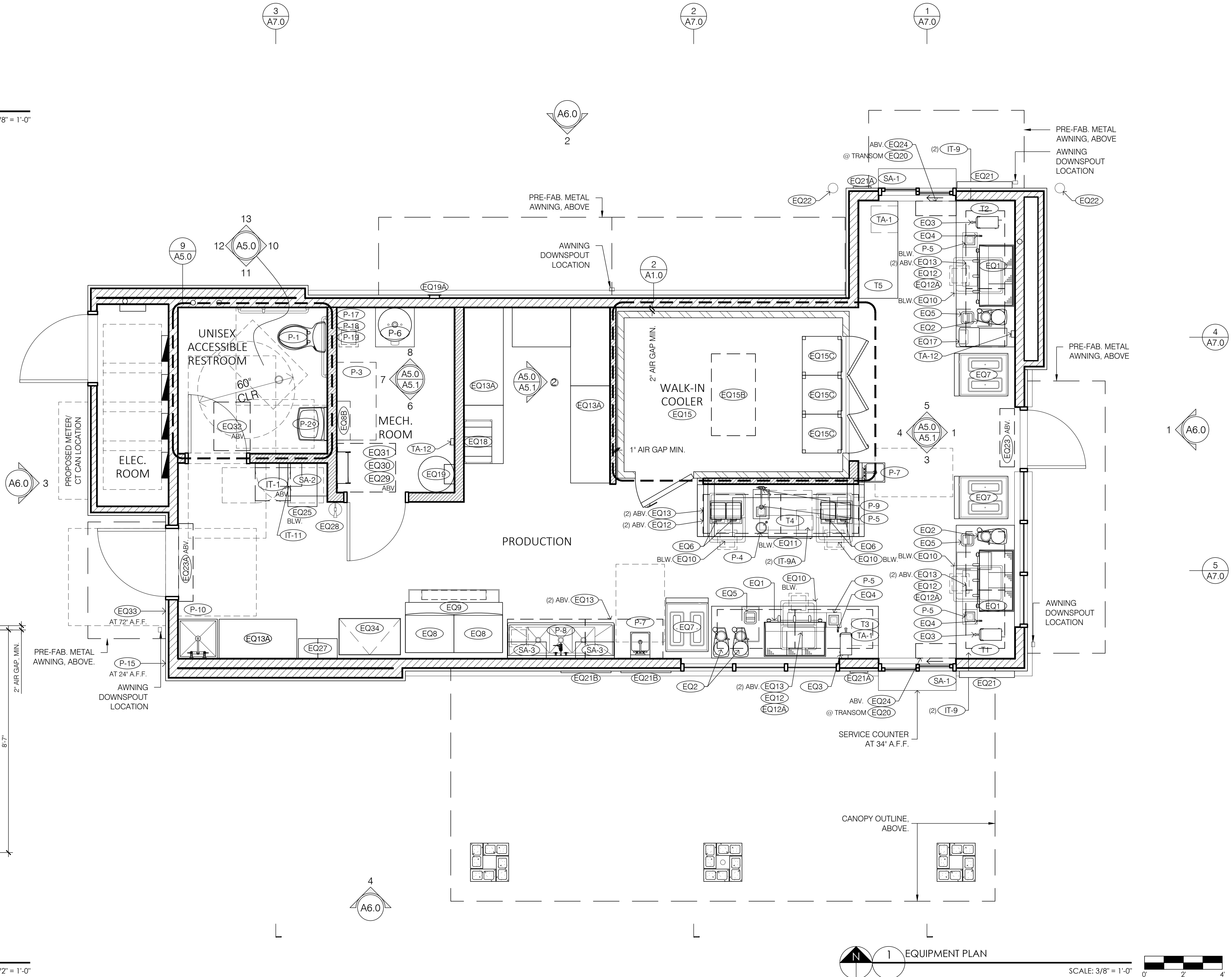


COOLER GENERAL NOTES:

- COOLER INSULATION VALUES FOR WALLS, CEILING, AND DOORS SHALL BE MIN. R-25
- AUTOMATIC DOOR CLOSERS SHALL BE PROVIDED THAT FULLY CLOSE WALK-IN DOORS THAT HAVE BEEN CLOSED TO WITHIN 1 INCH OF FULL CLOSURE
- DOORWAYS SHALL HAVE STRIP DOORS, CURTAINS, SPRING-HINGED DOORS OR OTHER METHOD OF MINIMIZING INFILTRATION WHEN DOORS ARE OPEN

GENERAL NOTES:

- THIS DRAWING IS FOR EQUIPMENT LAYOUT PURPOSES ONLY. PLEASE SEE FLOOR PLAN FOR FULLY DIMENSIONED PARTITION LOCATIONS AND ASSEMBLIES.
- NOTE: PLEASE SEE SHEET G1.0, COVER SHEET, FOR CODE SUMMARY, BUILDING DATA AND EXIT ACCESS REQUIREMENTS.
- G.C. TO VERIFY ALL DIMENSIONS IN THE FIELD BEFORE COMMENCING CONSTRUCTION.
- ALL FIRE EXTINGUISHERS SHALL BE STATE OF STATE CERTIFIED. ALL FIRE EXTINGUISHERS SHALL BE PROPERLY MOUNTED AT THE HEIGHT REQUIREMENTS OF NO HIGHER THAN 4'-6" A.F.F. TO THE TOP OF THE EXTINGUISHER AND AT LEAST 6" FROM FLOOR TO THE BOTTOM OF EXTINGUISHER. (NFPA 10: 6.1.3.8)
- ALL PROPERLY MOUNTED FIRE EXTINGUISHERS SHALL NOT EXCEED 75' OF TRAVEL DISTANCE APART. (NFPA 1: 6.1)
- FIRE EXTINGUISHERS SHALL BE CONSPICUOUSLY LOCATED WHERE THEY ARE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE IN THE EVENT OF FIRE. (NFPA 10: 6.1.3)
- FIRE EXTINGUISHERS SHALL BE LOCATED ALONG NORMAL PATHS OF TRAVEL, INCLUDING EXITS FROM AREAS. (NFPA 10: 6.1.3)
- FIRE EXTINGUISHERS SHALL NOT BE OBSTRUCTED OR OBSCURED FROM VIEW. (NFPA 10: 6.1.3.3)
- TACTILE SIGNAGE SHALL BE PROVIDED AT ALL EXIT DOORS TO MEET THE FOLLOWING CRITERIA:
 - TACTILE SIGNAGE SHALL BE LOCATED AT EACH EXIT DOOR REQUIRING AN EXIT SIGN;
 - TACTILE SIGNAGE SHALL READ AS FOLLOWS: "EXIT";
 - TACTILE SIGNAGE SHALL COMPLY WITH ICC/ANSI A117.1



Steven D. Pratt, AIA Architect

3801 Kirby Dr., Suite 600
Houston, Texas 77098
Tel: 713 664 7974
Fax: 713 664 9756

Steven D. Pratt, AIA, NCARB

This/these documents are not for regulatory approval, permitting, or construction.

DECEMBER 13, 2024

CDG PROJECT NUMBER: 202407-143

Project No: FL2701
Dutch Bros Coffee - New Freestanding Store
2050 South Highway 1
Fort Pierce, FL 34950
for: Dutch Bros Coffee
110 SW 4th Street
Grants Pass, Oregon 97526

ISSUED FOR REVIEW: 12.13.2024

REV. DATE	DESCRIPTION

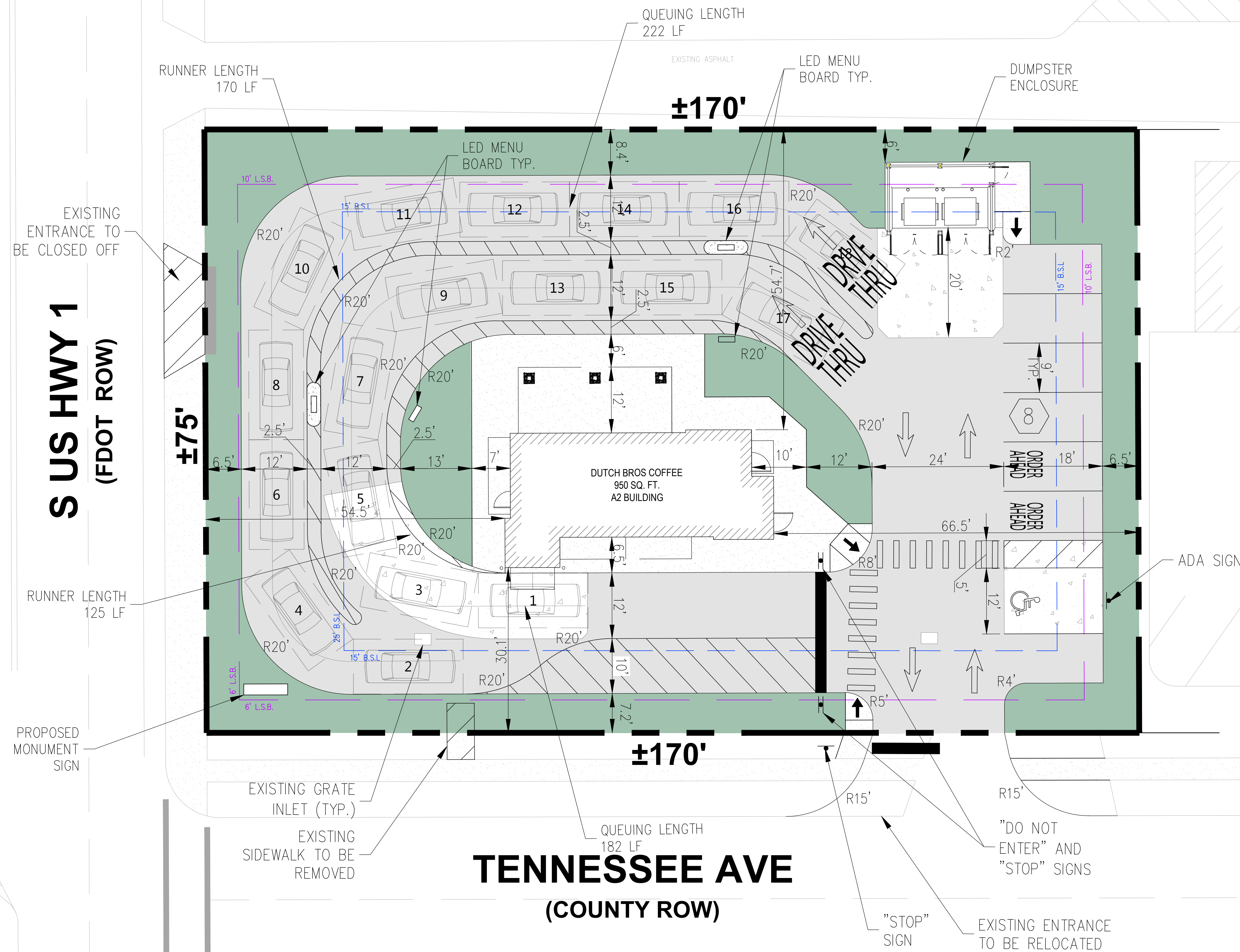
SHEET NAME:
EQUIPMENT/ ENLARGED COOLER/ FIRE-LIFE SAFETY PLANS

SHEET NUMBER:

A1.0

© 2024 DB Franchising USA, LLC

CONCEPTUAL SITE PLAN



SITE DATA

TOTAL SITE AREA: 18,700 SF / ±0.43 AC
 JURISDICTION: CITY OF FORT PIERCE
 ZONING: C3 (GENERAL COMMERCIAL)
 BUILDING AREA: 950 SF
 MAX. F.A.R. = 0.6
 950 SF / 18,700 SF = 0.05

MAX. PROPOSED IMPERVIOUS = N/A
 PERVIOUS: 4,850 SF (25.9%)
 IMPERVIOUS: 13,850 SF (75.1%)

PARKING REQUIRED:
 (FAST FOOD RESTAURANTS) 1 SPACE FOR EACH 75 SQ. FT. OF GROSS FLOOR AREA.
 (REPAIR SERVICE) 1 SPACE FOR EACH 200 SQ. FT. OF GROSS FLOOR AREA.

FAST FOOD:
 950 SF / 75 SF = 12.6 SPACES
 PARKING REQUIRED: 13 SPACES
 PARKING PROVIDED: 8 SPACES

STACKING PROPOSED: 18 VEHICLES

BUILDING SETBACKS:	REQUIRED	PROVIDED
FRONT (WEST, S US HWY 1)	25 FT	54.5 FT
SIDE (NORTH)	15 FT	54.7 FT (VARIES)
SIDE (SOUTH)	15 FT	30.1 FT (VARIES)
REAR (EAST)	15 FT	66.5 FT

LANDSCAPE BUFFERS:	REQUIRED	PROVIDED
FRONT (WEST, S US HWY 1)	6 FT	6.0 FT MIN.
SIDE (NORTH)	10 FT	6.0 FT MIN. (VARIES)
SIDE (SOUTH)	6 FT	6.7 FT MIN. (VARIES)
REAR (EAST)	10 FT	6.0 FT MIN.

LEGEND

- PROPERTY LINE
- LANDSCAPE BUFFER
- BUILDING SETBACK LINE

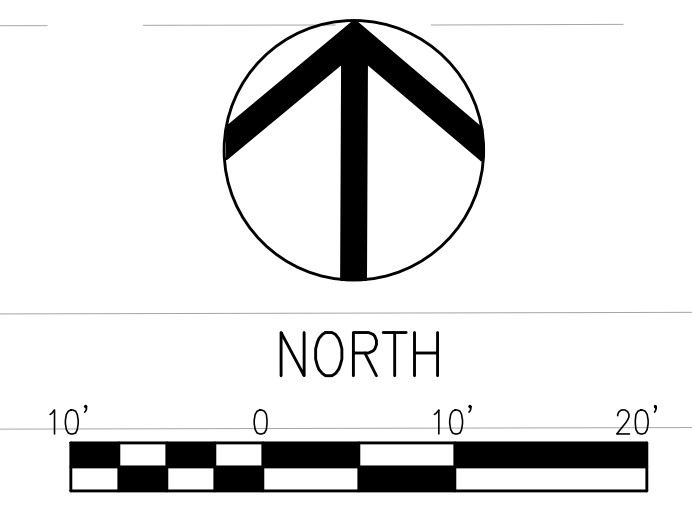
SITE RISK:
 VARIANCES ARE REQUIRED TO MAKE THE SITE FUNCTION AS SHOWN. APPROVAL OF VARIANCES IS NOT GUARANTEED.

VARIANCES REQUIRED:

- VARIANCE FOR THE EASTERN LANDSCAPE BUFFER FROM THE REQUIRED 10' TO 6'
- VARIANCE FOR THE NORTHERN LANDSCAPE BUFFER FROM THE REQUIRED 10' TO 6'
- VARIANCE FOR THE PARKING STALL DEPTH AND WIDTH FROM 9.5' WIDTH AND 19' DEPTH TO 9' WIDTH AND 18' DEPTH
- VARIANCE FOR THE DRIVE AISLE WIDTH FROM 26' WIDE TO 24' WIDE
- VARIANCE FOR THE PARKING REQUIRED FROM 13 SPACES TO 8 SPACES.

DEVIATIONS FROM D.B.C. STANDARDS

- MINIMUM PARKING OF 13 SPACES IS NOT POSSIBLE DUE TO SITE SIZE, LANDSCAPE BUFFERS, AND FDOT STANDARDS.
- INSUFFICIENT SPACE TO RELOCATE TRASH ENCLOSURE TO NOT BE SEEN FROM THE DRIVE THROUGH.



DATE	REVISION

DUTCH BROS COFFEE (FL2701)
 2050 SOUTH US HWY 1
 FORT PIERCE, FLORIDA 34950

DATE: 11/12/24
 DRAWN: JM
 CHECKED: RK

CP3
 PROJECT NO.: 2024.166

Variance from Section 123-37(6)a General Landscaping Requirements to allow the eastern landscape buffer to be reduced from 10 ft to 6 ft.

Describe those conditions peculiar to the specific property and not applicable to other lands, structures, or buildings in the same zoning district.

The site dimensions for the subject site do not allow for a greater landscape buffer. The site is surrounded by commercial uses on all sides. The existing landscape buffer between the subject site and the property to the east is approximately 6 ft wide today and includes both trees and shrubs. We are proposing to maintain this buffer and meet the planting requirements within the buffer, which meets the intent of the code to provide a landscape strip between adjacent properties.

Do special conditions or circumstances result from actions other than that of yours? Please explain.

FDOT will be forcing us to close our existing driveway connection to US Hwy 1, which results in vehicles being required to fully circle the building in order to use the drive-thru. The additional width of the drive-thru lane around the building prohibits us from meeting the required landscape buffer.

Identify any undue hardships or deprivation of commonly enjoyed property rights that would result in the literal interpretation of the code for the zoning district.

The subject site is surrounded by commercial uses with similar landscape buffers on all sides. We are proposing to maintain the existing landscape buffers and meet the planting requirements within the buffers, which meets the intent of the code to provide a landscape strip between adjacent properties.

What is the minimum variance that would give the reasonable use of the land, building, or structure?

The minimum variance is to reduce the eastern landscape buffer from 10 ft wide to 6 ft wide.

Explain how the variance request would not impair the intent of the zoning ordinance or be detrimental to the general public welfare.

The intent of the zoning designations is to provide a variety of retail uses and services to serve the community's general needs. Constructing a Dutch Bros Coffee is in harmony with the intent and purpose of the zoning ordinance.

Variance from Sec. 123-37(6)a General Landscaping Requirements to allow the northern landscape buffer to be reduced from 10 ft to 6 ft.

Describe those conditions peculiar to the specific property and not applicable to other lands, structures, or buildings in the same zoning district.

The site dimensions for the subject site do not allow for a greater landscape buffer. The site is surrounded by commercial uses on all sides. The existing landscape buffer between the subject site and the property to the north ranges from approximately 4 ft to 6 ft wide today and includes both trees and shrubs. We are proposing to maintain this buffer and meet the planting requirements within the buffer, which meets the intent of the code to provide a landscape strip between adjacent properties.

Do special conditions or circumstances result from actions other than that of yours? Please explain.

FDOT will be forcing us to close our existing driveway connection to US Hwy 1, which results in vehicles being required to fully circle the building in order to use the drive-thru. The additional width of the drive-thru lane around the building prohibits us from meeting the required landscape buffer.

Identify any undue hardships or deprivation of commonly enjoyed property rights that would result in the literal interpretation of the code for the zoning district.

The subject site is surrounded by commercial uses with similar landscape buffers on all sides. We are proposing to maintain the existing landscape buffers and meet the planting requirements within the buffers, which meets the intent of the code to provide a landscape strip between adjacent properties.

What is the minimum variance that would give the reasonable use of the land, building, or structure?

The minimum variance is to reduce the northern landscape buffer from 10 ft wide to 6 ft wide.

Explain how the variance request would not impair the intent of the zoning ordinance or be detrimental to the general public welfare.

The intent of the zoning designations is to provide a variety of retail uses and services to serve the community's general needs. Constructing a Dutch Bros Coffee is in harmony with the intent and purpose of the zoning ordinance.

Variance from Sec. 125-315(c)(1) Off-Street Parking Design Standards to allow the minimum width of the parking spaces to be reduced from 9.5 ft to 9 ft and for the minimum depth to be reduced from 19 ft to 18 ft.

Describe those conditions peculiar to the specific property and not applicable to other lands, structures, or buildings in the same zoning district.

The site dimensions for the subject site do not allow for larger parking spaces. The existing parking spaces appear to be approximately 9 ft wide by 17 ft long. We are proposing to keep the 9 ft wide spaces in order to gain one additional parking space since the subject site is limited on parking. We are proposing to increase the existing parking stall depth from 17 ft to 18 ft.

Do special conditions or circumstances result from actions other than that of yours? Please explain.

FDOT will be forcing us to close our existing driveway connection to US Hwy 1, which results in vehicles being required to fully circle the building in order to use the drive-thru. The additional width of the drive-thru lane around the building prohibits us from meeting the required 19 ft parking stall depth.

Identify any undue hardships or deprivation of commonly enjoyed property rights that would result in the literal interpretation of the code for the zoning district.

We are meeting the existing combined parking stall depth plus drive aisle distance of 42 ft, which provides ample room for parking and maneuvering in and out of the stalls, which meets the intent of the parking code.

What is the minimum variance that would give the reasonable use of the land, building, or structure?

The minimum variance is to reduce the minimum width of the parking spaces from 9.5 ft wide to 9 ft wide and the reduce the minimum depth of the parking spaces from 19 ft to 18 ft.

Explain how the variance request would not impair the intent of the zoning ordinance or be detrimental to the general public welfare.

The intent of the zoning designations is to provide a variety of retail uses and services to serve the community's general needs. Constructing a Dutch Bros Coffee is in harmony with the intent and purpose of the zoning ordinance.

Variance from Sec. 125-315(c)(5) Off-Street Parking Dimensions to allow the minimum width of the drive aisle to be reduced from 26 ft to 24 ft.

Describe those conditions peculiar to the specific property and not applicable to other lands, structures, or buildings in the same zoning district.

The site dimensions for the subject site do not allow for a wider drive aisle. The existing parking stalls are approximately 17 ft deep and the existing drive aisle is approximately 25 ft wide, for a total of 42 ft. We are proposing to increase the parking stall depth to 18 ft long and decrease the drive aisle to 24 ft, for a total of 42 ft.

Do special conditions or circumstances result from actions other than that of yours? Please explain.

FDOT will be forcing us to close our existing driveway connection to US Hwy 1, which results in vehicles being required to fully circle the building in order to use the drive-thru. The additional width of the drive-thru lane around the building prohibits us from meeting the required drive aisle width.

Identify any undue hardships or deprivation of commonly enjoyed property rights that would result in the literal interpretation of the code for the zoning district.

We are meeting the existing combined parking stall depth plus drive aisle distance of 42 ft, which provides ample room for parking and maneuvering in and out of the stalls, which meets the intent of the parking code.

What is the minimum variance that would give the reasonable use of the land, building, or structure?

The minimum variance is to reduce the required width of the drive aisle from 26 ft to 24 ft.

Explain how the variance request would not impair the intent of the zoning ordinance or be detrimental to the general public welfare.

The intent of the zoning designations is to provide a variety of retail uses and services to serve the community's general needs. Constructing a Dutch Bros Coffee is in harmony with the intent and purpose of the zoning ordinance.

Variance from Sec. 125-315(d)(2)(a)(3) Off-Street Parking Spaces to allow a reduction from 1 space per 75 square feet of gross floor area to 1 space per 125 square feet of gross floor area.

Describe those conditions peculiar to the specific property and not applicable to other lands, structures, or buildings in the same zoning district.

The site dimensions for the subject site do not allow for additional parking spaces. Dutch Bros Coffee does not have any indoor patron area. The parking spaces will be for employees and for patrons choosing to park and walk to the pick-up window. There will be no outdoor tables for patron congregating. Therefore, the majority of the patrons will utilize the drive-thru window rather than parking, and the parking spaces will be mainly for employee use.

Do special conditions or circumstances result from actions other than that of yours? Please explain.

The site dimensions for the subject site do not allow for additional parking spaces, and Dutch Bros Coffee encourages patrons to use the drive-thru service.

Identify any undue hardships or deprivation of commonly enjoyed property rights that would result in the literal interpretation of the code for the zoning district.

The parking code is intended to provide ample parking for patron use. Dutch Bros Coffee does not allow patrons inside the building or have any outdoor seating areas for patrons. The majority of the customers use the drive-thru lane, so Dutch Bros Coffee should not be required to provide as many patron parking spaces.

What is the minimum variance that would give the reasonable use of the land, building, or structure?

The minimum variance is to reduce the required parking spaces from 1 space per 75 square feet of gross floor area to 1 space per 125 square feet of gross floor area.

Explain how the variance request would not impair the intent of the zoning ordinance or be detrimental to the general public welfare.

The intent of the zoning designations is to provide a variety of retail uses and services to serve the community's general needs. Constructing a Dutch Bros Coffee is in harmony with the intent and purpose of the zoning ordinance.

Technical Review Committee

1. d.

Meeting Date: 01/16/2025

REQUESTED ACTION

Minor Site Plan - Two Duplexes - 304 N. 12th Street

SUMMARY

PZSITE2024-00013

The applicant is proposing the construction of two duplexes with parking, drainage and landscaping.

The 0.42-acre parcel has a Future Land Use of RM, Medium Density Residential, and a zoning of R-4, Medium Density Residential.

Please review and provide comments at least two days prior to the meeting date.

Send all comments to mlewicka@cityoffortpierce.com and

planning@cityoffortpierce.com. Do not hesitate to contact me should you require any additional information, at 772-467-3738.

LOCATION

304 N 12th Street

Parcel ID #2409-516-0032-000-8

RESPONSIBLE STAFF

Maria Lewicka, AICP, Historic Preservation Planner

RECOMMENDATION

N/A

Attachments

TRC Packet

Form Review

Form Started By: Maria Lewicka

Started On: 01/02/2025 12:05 PM

Final Approval Date: 01/02/2025

304 written narrative:

Construction of 2 (2/2) duplexes on .42 of an acre lot in the historical district of Fort Pierce.

These buildings will model other newer duplex construction buildings built in the last 2-4 years. They will offer a porch like setting and the builder will build closer to the street as to not give the look of a commercial building.

Design review narrative

The site is slated for the construction of 2 duplexes (2/2). Approximately 1790 sq per building. Color rendering attached for review. These duplexes follow the design of a typical duplexes built prior to 2020 in the historical district.

Does not require a outside Lighting plan. This is a .42 acre lot that is slated for the construction of 2 single story duplexes. All lighting diagrams for the inside and outside of the building you can find on

Property Identification

Site Address: 304 N 12TH ST
 Sec/Town/Range: 09/35S/40E
 Parcel ID: 2409-516-0032-000-8
 Jurisdiction: Fort Pierce

Use Type: 0000
 Account #: 21606
 Map ID: 24/09N
 Zoning: Medium Den

Ownership

SGHK FORGIONE HOLDINGS LLC
 1060 NE 27th WAY
 Pompano Beach, FL 33062

Legal Description

M E GOLDSMITH'S S/D BLK 2 LOT 14 AND LOT 15-LESS N 10 FT-

Current Values

Just/Market Value:	\$41,800
Assessed Value:	\$41,800
Exemptions:	\$0
Taxable Value:	\$41,800



Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Total Areas

Finished/Under Air (SF):	0
Gross Sketched Area (SF):	0
Land Size (acres):	0.42
Land Size (SF):	18,300

Taxes for this parcel: [SLC Tax Collector's Office](#)
 Download TRIM for this parcel: [Download PDF](#)

Building Design Wind Speed

Occupancy Category	I	II	III
Speed	140	160	160

Sources/links:

Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
Jan 28, 2022	4776 / 1282	0111	WD	SGHK FORGIONE HOLDINGS LLC	\$100
Jan 28, 2022	4764 / 0440	0117	WD	Citadel of Truth Faith Ministries Inc	\$58,100
Jan 11, 2015	3706 / 1780	0112	QC	Wilmington Trust NA	\$58,100
Jan 6, 2014	3593 / 0849	0112	CertTitle	Gobin Chan S	\$100
Jun 26, 2006	2602 / 0722	XX00	WD	Palmer Elijah	\$150,000
Jul 26, 2002	1560 / 1293	XX01	WD	Better Way In Christ	\$49,500
Sep 1, 1985	0477 / 0751	XX00	CV		\$70,000
Apr 1, 1980	0329 / 2360	XX00	CV		\$39,900

Special Features and Yard Items

Type	Qty	Units	Year Blt
------	-----	-------	----------

Current Year Values

Current Values Breakdown		Current Year Exemption Value Breakdown			Amount
Building and SFYI:		Tax Year	Grant Year	Code	Description
Land:	\$0				
Just/Market:	\$41,800				
Ag Credit:	\$0				
Save Our Homes or 10% Cap:	\$0				
Assessed:	\$41,800				
Exemption(s):	\$0				
Taxable:	\$41,800				

Current Year Special Assessment Breakdown

Start Year	AssessCode	Units	Description	Amount
2023	0041	0.7	Fort Pierce Stormwater Charge	\$48.30

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available v SLC Tax Collector's Office.

Historical Values

Year	Just/Market	Assessed	Exemptions	Taxable
------	-------------	----------	------------	---------

2024	\$41,800	\$41,800	\$0	\$41,800
2023	\$43,800	\$43,800	\$0	\$43,800
2022	\$32,200	\$10,769	\$0	\$10,769
2021	\$11,300	\$9,790	\$0	\$9,790

Permits

Number	Issue Date	Description	Amount	Fee
F910000200	Feb 20, 1991	Roof	\$2,450	\$2,450
FE2003148	Aug 28, 2003	Chainlink Fence	\$700	\$75
BP14-0822	Apr 23, 2014	Demolition	\$7,500	\$283

Notice: This does not necessarily represent all the permits for this property.
 Click the following link to check for additional permit data in Fort Pierce

All information is believed to be correct at this time, but is subject to change and is provided without any warranty.
 © Copyright 2024 Saint Lucie County Property Appraiser. All rights reserved.



X

304 N 12th St

304 N 12th St, Fort Pierce, FL 34950

Save to project

Untitled placemark

304 N 12th St

St Paul African Methodist Episcopal Church

Layers



Document Details

1 / 3

Instrument Number	<input type="button" value="←"/> 4997036 <input type="button" value="→"/>
Record Date	2/21/2022 9:45:44 AM
Book Type	OR - Official Records
Book/Page	4776/1282
Instrument #	4997036
Number Of Pages	3
Doc Type	DEED - DEED
DirectName	CITADEL OF TRUTH FAITH MINISTRIES INC
ReverseName	SGHK FORGIONE HOLDINGS LLC
NumberName	es

Consideration	\$10.00
Legal	L14 PT L15 B2 M E GOLDSMITH'S

MICHELLE R. MILLER, CLERK OF THE CI
FILE # 4997036 OR BOOK 4776 PAGE
Tax: \$0.70

Prepared by:
Melissa Hamage, an employee of
St. Lucie Title Services, Inc.,
800 Virginia Avenue, Suite 47
Ft. Pierce, Florida 34982

File Number: 21406

Corporate Warranty Deed

This Indenture, made , January 28, 2022 A.D. Betwee

Citadel of Truth Faith Ministries, Inc., a Florida not-for-p

and SGHK Forgione Holdings LLC, whose post office addre
a Florida lim

*3250 N. Andrews Ave Extention

Witnesseth, that the said Grantor, for and in con
paid by the said Grantee, the receipt whereof is hereby ackno
following described land, situate, lying and being in the County

LOTS 14 AND 15, LESS THE NORTH 10 FEET OF LC
AS PER PLAT THEREOF RECORDED IN PLAT BOO
LUCIE COUNTY, FLORIDA.

Subject to taxes for the current year, co

**This Deed is being re-record

Parcel Identification Number: 2409-516-0032-000/8

And the said Grantor does hereby fully warrant the
persons whomsoever.

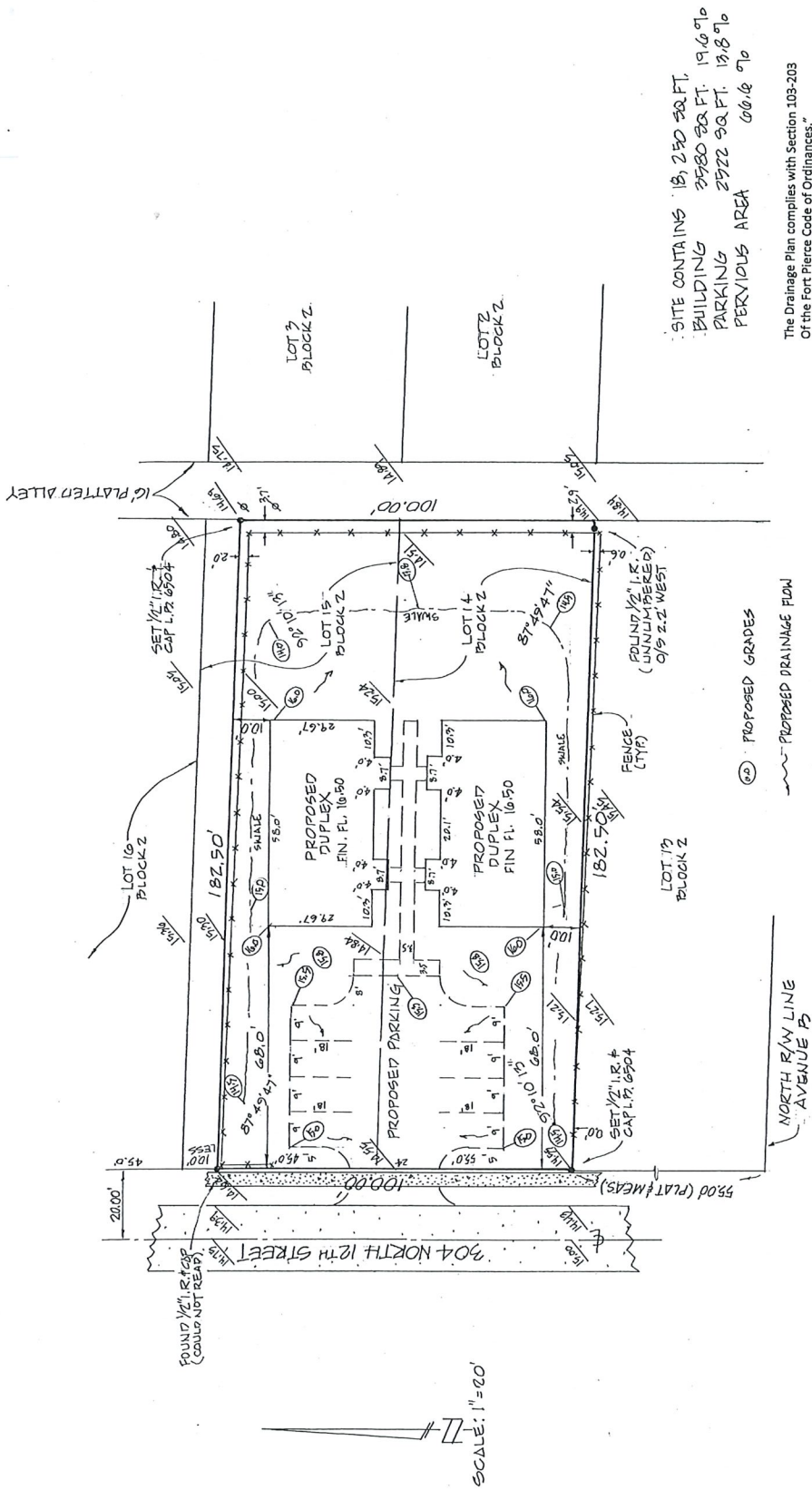
In Witness Whereof, the said Grantor has cau
and caused its corporate seal to be affixed the day and year first

Signed and Sealed in Our Presence:



Witness At Plat No. Melissa Hamage



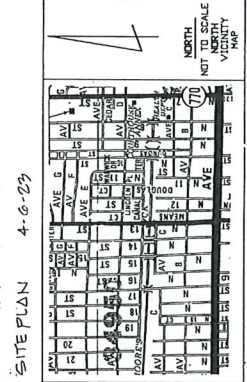


SITE CONTAINS 18,250 SQ. FT.
 BUILDING 3580 SQ. FT. 19.6 910
 PARKING 2922 SQ. FT. 19.8 910
 PERVIOUS AREA 600.0 910

The Drainage Plan complies with Section 109-203
 Of the Fort Pierce Code of Ordinances.

LOTS 14 AND 15, LESS THE NORTH 10 FEET OF LOT 15, BLOCK 2, M.E. GOLDSMITH'S SUBDIVISION
 AS PER PLAT THEREOF RECORDED IN PLAT BOOK 2, PAGE 6, OF THE PUBLIC RECORDS OF ST.
 LUCIE COUNTY, FLORIDA.

	AUTHORIZATION NUMBER LB0864 I HEREBY CERTIFY THAT THE SURVEY WAS PERSONALLY SIGNED BY ME OR AN EMPLOYEE OF MY FIRM AND THAT THE SURVEY WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL SURVEYING ACT, CHAPTER 473, F.S., AND THE CODE OF REGULATIONS THEREUNDER, SECTION 473.001, F.A.C.	FLOOD ZONE "X" MAP No 12111C 0179 K MAP DATE 2-19-20 DATE 1-15-22 JOB NO 10-00-004	NOT VALID UNLESS SEALED SURVEYOR'S SEAL
	REMMER BURGESS 254 S.E. 8th Ave., Suite 203 Fort Pierce, Florida 34949 Phone 888-333-3333 Fax 888-333-3333	Remmer Burgess Surveyor 2024.04.29	1205500-04000



NOT TO SCALE
 NORTH
 NORTH MAP

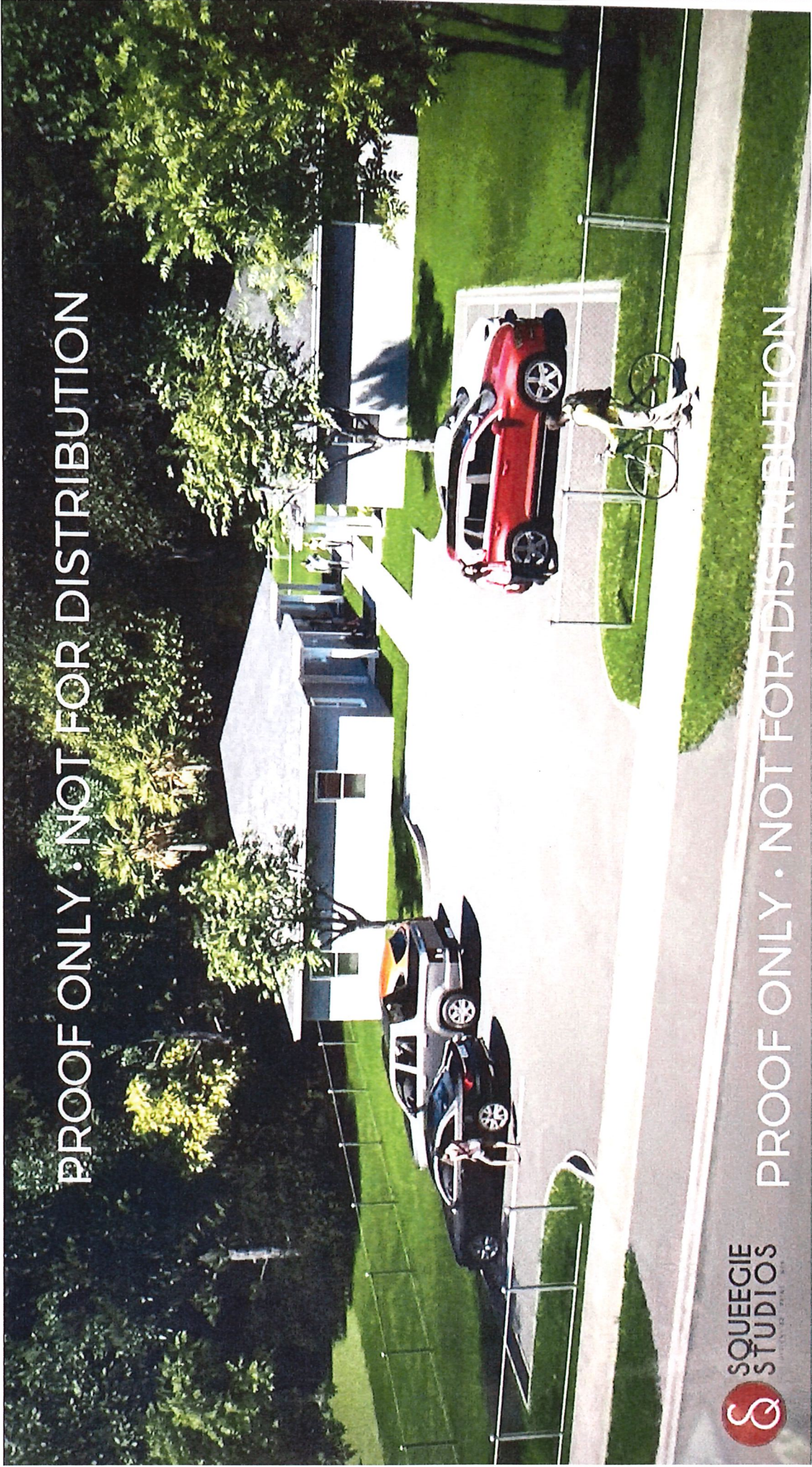
- NOTES
- 1) BEARINGS SHOWN HEREIN ARE RELATIVE TO PLAT AND ARE ASSUMED.
 - 2) NO ABSTRACT OR TITLE SEARCH WAS PERFORMED TO DISCOVER THE EXISTENCE OF ANY EASEMENTS OR RESTRICTIONS OF RECORD.
 - 3) ELEVATIONS SHOWN HEREIN ARE BASED ON NORTH AMERICAN VERTICAL DATUM 1988 UNLESS OTHERWISE NOTED.
 - 4) NO BELOW GROUND IMPROVEMENTS, FOOTERS, FOUNDATIONS OR UTILITIES HAVE BEEN LOCATED OR SHOWN ON THIS SURVEY.
- ABBREVIATIONS
- C.B.S. = concrete block structure
 - F.P.M. = finished pavement
 - P.C. = point of commencement
 - P.I. = point of intersection
 - P.O.C. = point of commencement
 - P.O.I. = point of intersection
 - P.O.N. = point of north-south line
 - P.O.S. = point of south-north line
 - P.O.T. = point of tangency
 - P.O.V. = point of vertical curve
 - P.O.W. = point of water
 - P.O.X. = point of unknown
 - P.O.Y. = point of unknown
 - P.O.Z. = point of unknown
 - P.O.1. = point of unknown
 - P.O.2. = point of unknown
 - P.O.3. = point of unknown
 - P.O.4. = point of unknown
 - P.O.5. = point of unknown
 - P.O.6. = point of unknown
 - P.O.7. = point of unknown
 - P.O.8. = point of unknown
 - P.O.9. = point of unknown
 - P.O.0. = point of unknown

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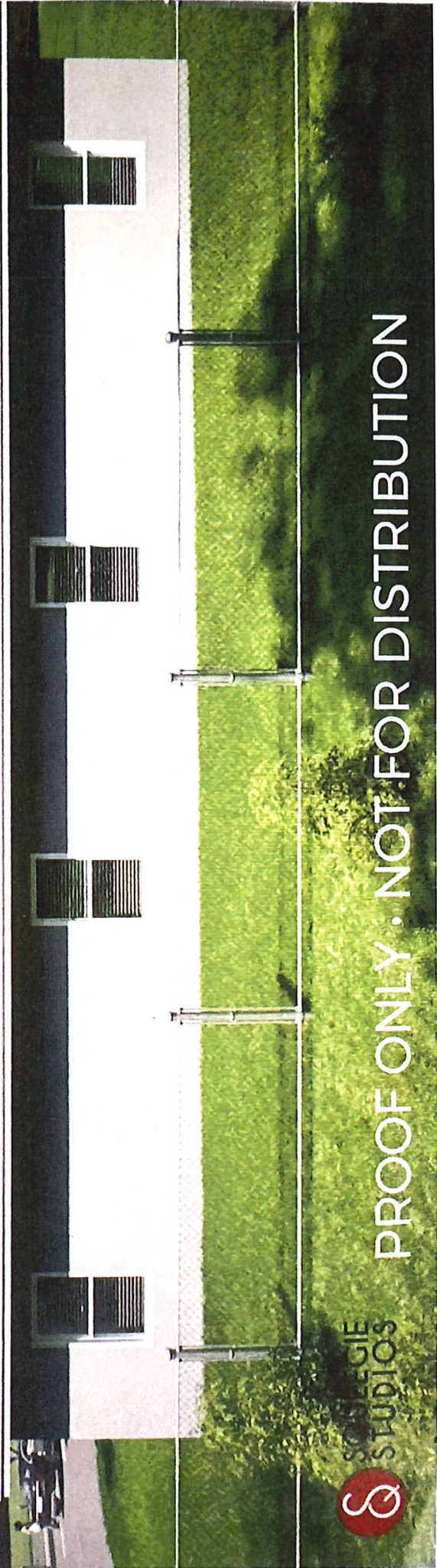
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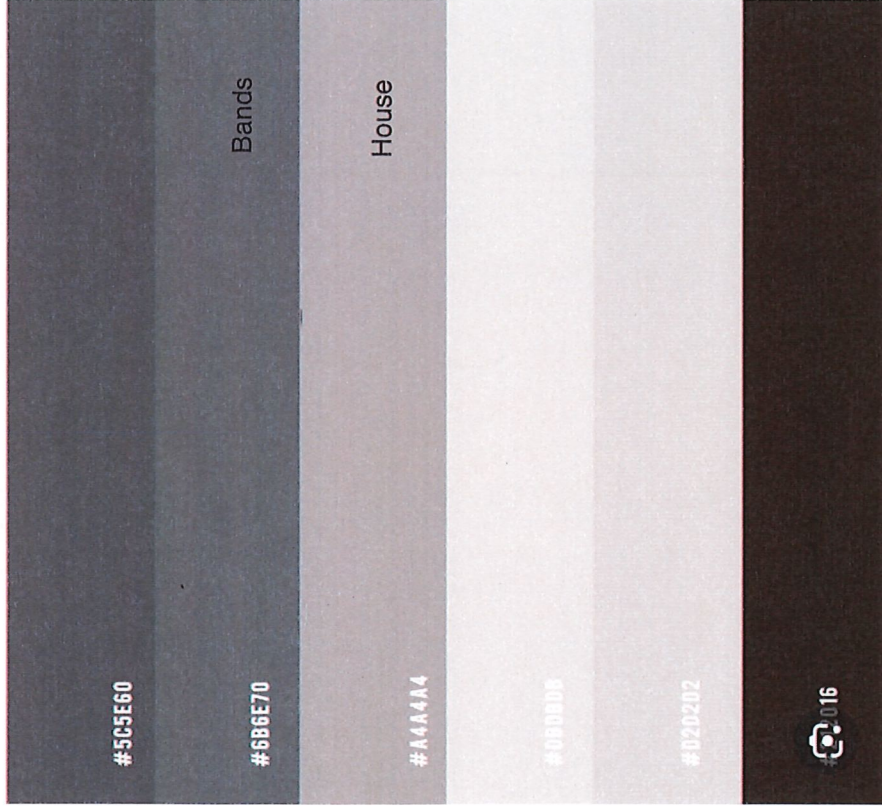
SQUEEGIE
STUDIOS

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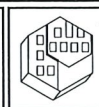


Visit >

Grey colour scheme living room

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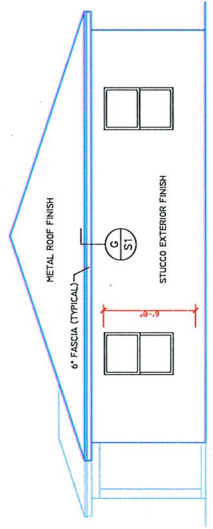
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2	09/10/24	REVISIONS
3	09/10/24	REVISIONS
4	09/10/24	REVISIONS
5	09/10/24	REVISIONS
6	09/10/24	REVISIONS



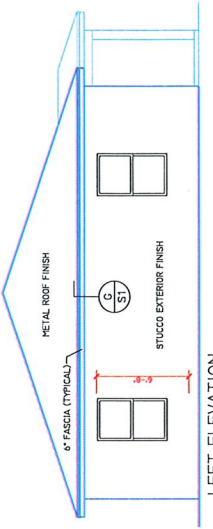
ENGINEERING AND DESIGN CONCEPTS, INC.
EDC
 304 N 12TH ST, FORT PIERCE, FL 34950 - BUILDING #1
 304 N 12TH ST, FORT PIERCE, FL 34950 - BUILDING #1
 SGHK FORGIONE HOLDINGS
 -SFR FOR-

ENGINEER OF RECORD
 EDWARD F. SHINSKIE, PE
 4707 WILLY TURKEY ROAD
 MIAMI, FLORIDA 33154
 PH: 305-863-9223

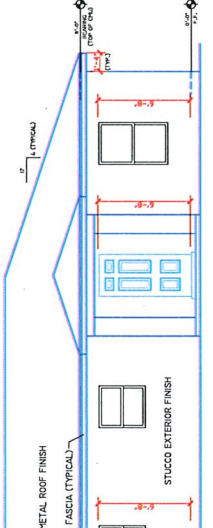
AI
 SHEET 1 OF 8
 DRAWN BY: DANIEL TRUCETTE



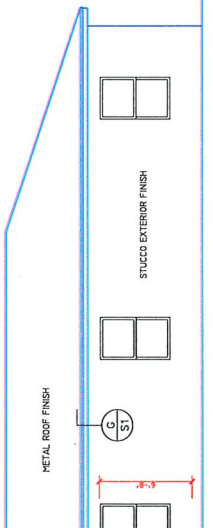
FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"

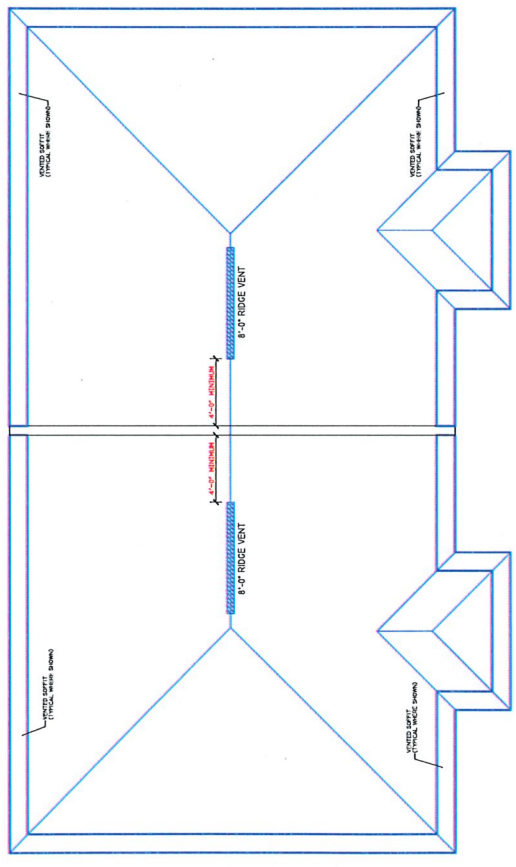


LEFT ELEVATION
 SCALE: 1/4" = 1'-0"



REAR ELEVATION
 SCALE: 1/4" = 1'-0"

ATTIC VENTILATION CALCULATION
 REQUIRED ATTIC VENTILATION IS 1/600 SQ. FT. OF THE TOTAL CEILING SQUARE FOOTAGE OF THE UNFINISHED ATTIC SPACE. THE MINIMUM SQUARE FOOTAGE OF VENT IS 100 SQ. FT. A TOTAL OF 8.0 SQ. FT. OF ATTIC VENTILATION IS REQUIRED.
 ROOF VENT CALCULATION: 100 SQ. FT. / 12.5 SQ. FT. = 8.0 SQ. FT.
 RIDGE VENT CALCULATION: 100 SQ. FT. / 12.5 SQ. FT. = 8.0 SQ. FT.
 TOTAL PROVIDED VENTILATION: 7.8 SQ. FT.
 NOTE: CALCULATIONS FOR 300 FT VENTILATION IS BASED ON VENTED ROOF AREA OF 100 SQ. FT. OF UNFINISHED ATTIC SPACE.
 NOTE: CALCULATIONS FOR RIDGE VENT IS BASED ON VENT PROVIDING 1.5 SQ. FT. OF VENTILATION PER LINEAR FOOT.



VENTED SOFFIT/RIDGE VENT PLAN
 NOT TO SCALE

THESE DRAWINGS SHALL BE PROVIDED TO THE LOCAL BUILDING DEPARTMENT FOR REVIEW AND APPROVAL. THE LOCAL BUILDING DEPARTMENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

SHEET INDEX

A1	ELEVATIONS, WINDLOAD DESIGN CRITERIA, AND ATTIC VENT CALCULATIONS
A2	FLOOR PLAN, WINDOW AND DOOR DESIGN PRESSURES, AND DETAILS/NOTES
A3	LINTEL SCHEDULE, WALL SECTIONS, NOTES, AND DETAILS
A4	FOUNDATION PLAN, AND FOOTING DETAILS
A5	TRUSS LAYOUT, CONNECTOR SCHEDULE, REACTION SUMMARY, AND CONNECTOR DETAILS
S1	DETAILS, NOTES, AND ROOF SHEATHING
EPI	ELECTRICAL LAYOUT, ELECTRICAL LOAD CALCULATIONS, AND ELECTRICAL RISER DIAGRAM
EP2	PLUMBING RISE DIAGRAMS, WATER SUPPLY DIAGRAMS, AND PLUMBING NOTES

Edward F. Shinskie Jr.
 Digitally signed by Edward F. Shinskie Jr.
 Date: 2024.09.24 12:26:32 -0400

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DESIGN CRITERIA	DESIGN CRITERIA
FULLY ENCLOSED	WIND SPEED 170 MPH
EXPOSURE B	BUILDING CATEGORY TWO (2)
WIND SPEED 170 MPH	WIND SPEED 170 MPH
EXPOSURE B	EXPOSURE B
BUILDING CATEGORY TWO (2)	BUILDING CATEGORY TWO (2)
WIND SPEED 170 MPH	WIND SPEED 170 MPH
EXPOSURE B	EXPOSURE B
BUILDING CATEGORY TWO (2)	BUILDING CATEGORY TWO (2)

NO.	DATE	DESCRIPTION
1	02/15/2024	ISSUED FOR PERMIT
2	03/01/2024	REVISIONS



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EDC

-SFR FOR-
SGHK FORIGONE HOLDINGS
 306 N 12TH ST, FORT PIERCE, FL 34950 - BUILDING #1

ENGINEER OF RECORD
 EDWARD F. SHINSKIE, PE
 FL 32818-8539-3225
 FLORIDA FE# 47515
 FLORIDA FE# 32754

A3
 SHEET 3 OF 8
 DWGNO: 24-0000
 DWGDATE: 02/15/24

NO.	DATE	DESCRIPTION
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2	03/01/2024	REVISIONS

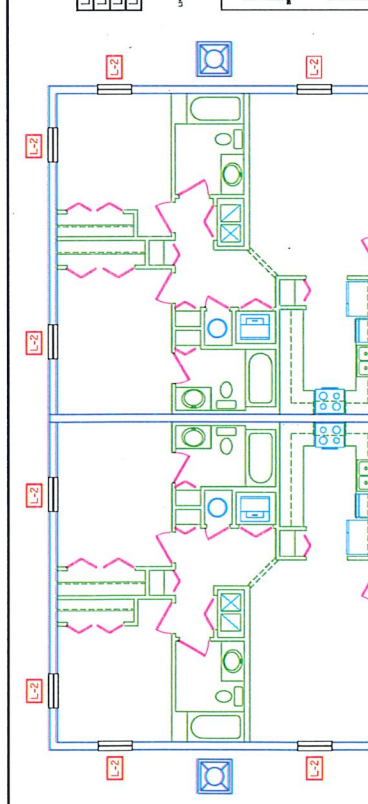
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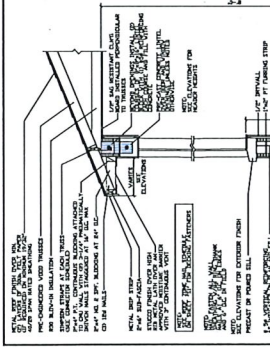
LINTEL SCHEDULE
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2	03/01/2024	REVISIONS

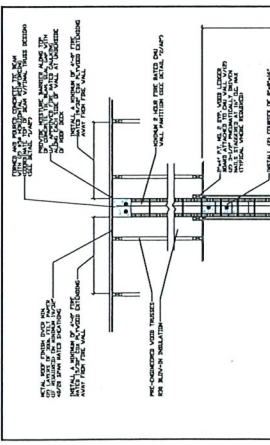
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TYPICAL 8'-0" BLOCK WALL SECTION
 N.T.S.



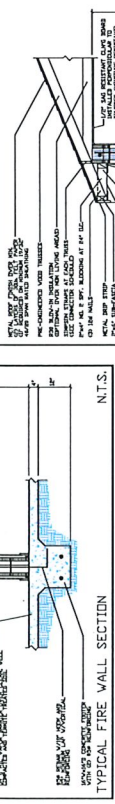
TYPICAL FIRE WALL SECTION
 N.T.S.

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TYPICAL ENTRY PDRCH SECTION
 N.T.S.

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2. THE ENGINEER HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE INFORMATION PROVIDED TO THE ENGINEER AND HAS FOUND IT TO BE SUFFICIENT FOR THE ENGINEER TO PROCEED WITH THE DESIGN.
3. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE DESIGN OF ANY STRUCTURE OR SYSTEM NOT SHOWN ON THESE DRAWINGS.
4. INCLUDING SHALL THE PRESENCE OF THIS SCALE.

NO.	DATE	DESCRIPTION
1	03/23/22	ISSUED FOR PERMITS
2	03/23/22	ISSUED FOR PERMITS
3	03/23/22	ISSUED FOR PERMITS
4	03/23/22	ISSUED FOR PERMITS

215 FAH BAY ROAD STE 6
 FALMOUTH, FL 32905
 TEL. (320) 726-0740
 FAX. (320) 916-4206
 E-MAIL: EDC@CDL.RR.COM
 WWW.EDC.COM



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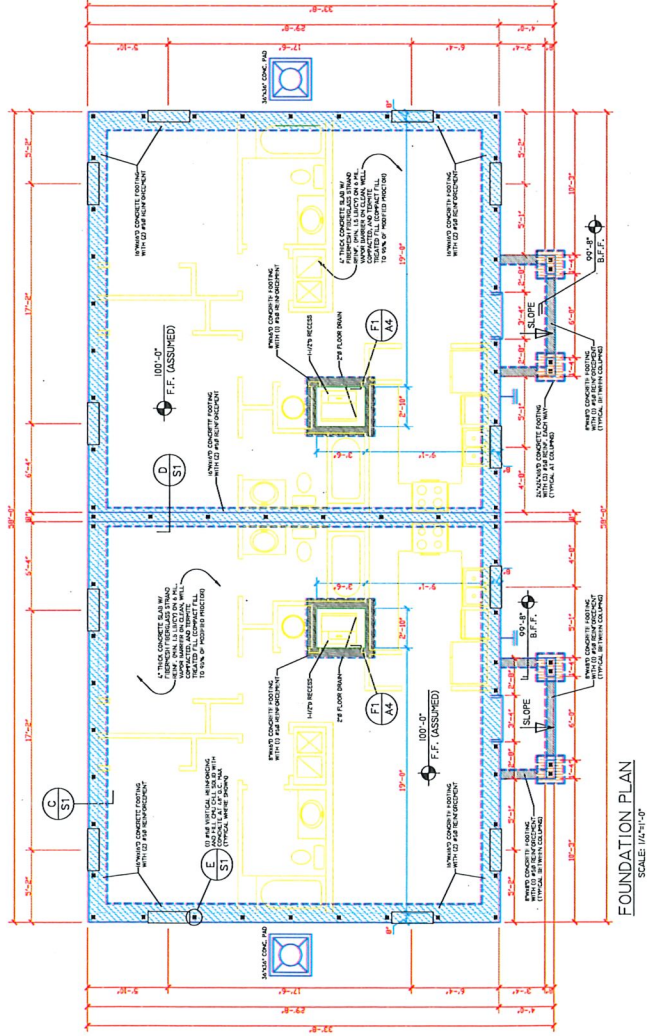
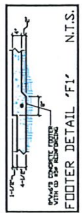
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SGHK FORGIONE HOLDINGS
 -SFR FOR-

ENGINEER OF RECORD
 PH. 321-863-3223
 FLORIDA PE# 473515
 HIMS, FLORIDA PE# 473515
 4702 WILD TURKEY ROAD
 EDWARDS, S. SHINSKE, PE

A4
 SHEET 4 OF 8
 DRAWN BY:
 DANIEL PASQUETTE

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 FEET AND INCHES UNLESS OTHERWISE
 SPECIFIED. DIMENSIONS SHALL BE TO FACE
 UNLESS OTHERWISE SPECIFIED.
 2. ALL DIMENSIONS SHALL BE TO FACE UNLESS
 OTHERWISE SPECIFIED.
 3. DIMENSIONS SHALL BE TO FACE UNLESS
 OTHERWISE SPECIFIED.
 4. DIMENSIONS SHALL BE TO FACE UNLESS
 OTHERWISE SPECIFIED.



FOUNDATION PLAN
 SCALE: 1/4"=1'-0"

1. THE DRAWINGS WERE PREPARED WITH THE ASSUMPTION THAT ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE SPECIFIED. DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.
 2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.
 3. DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.
 4. DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.
- DO NOT SCALE DRAWINGS

NO.	DATE	REVISIONS
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6	11/11/2011	ISSUED FOR PERMITS



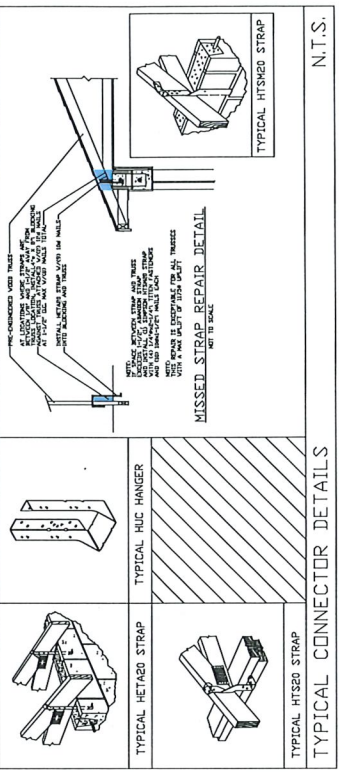
ENGINEERING AND DESIGN CONCEPTS, INC.
 215 FRENCH BOY ROAD, STE. 6
 FLEMING, FL 32539
 TEL: (202) 724-0700
 FAX: (202) 914-4266
 807L, INC. 04

-SFR FOR-
 SGHK FORGIONE HOLDINGS
 304 N 12TH ST. FORT PIERCE, FL 34950 - BUILDING #1

ENGINEER OF RECORD
 EDWARD J. SHIRSKIE, PE
 4707 WILD TURKEY ROAD
 PINS, FLORIDA 32754
 PH: 321-865-3223

A5
 SHEET 5 OF 8
 DRAWING BY: PTC

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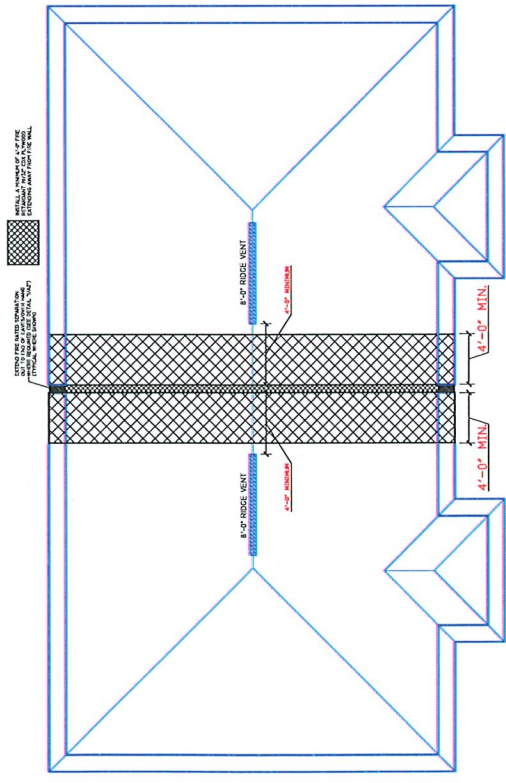
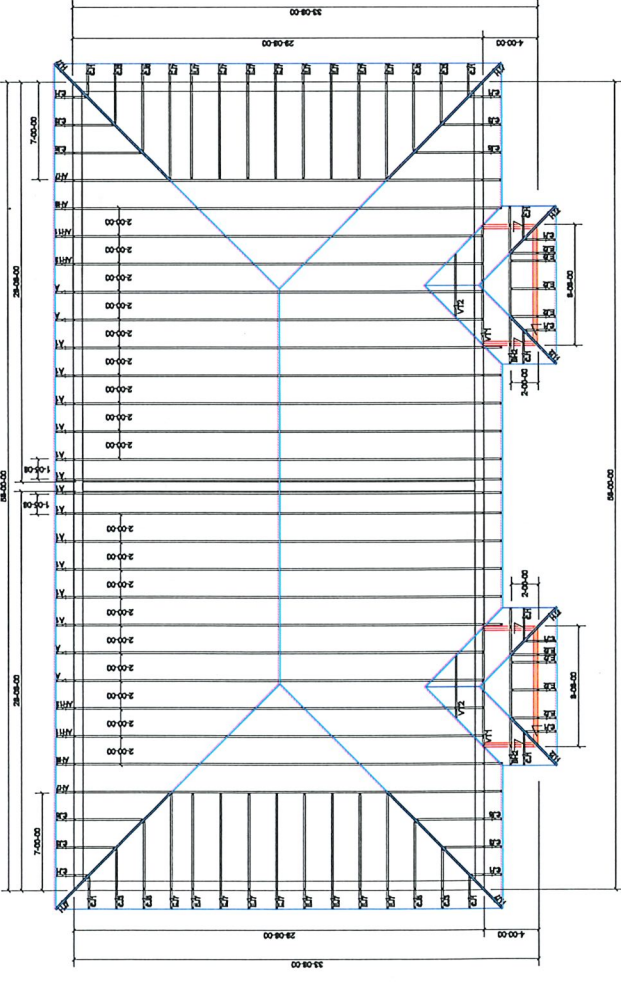


CONNECTOR SCHEDULE

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CONNECTOR SCHEDULE

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99	CONNECTOR	1	EA
100	CONNECTOR	1	EA



1. THESE DIMENSIONS ARE PRELIMINARY AND SUBJECT TO CHANGE. VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 4. THE CONTRACTOR SHALL TAKE PRECEDENCE OVER SCALE.
- BY: PTC DRAWINGS

NO.	DATE	DESCRIPTION
1	08/20/2024	ISSUED FOR PERMITS
2	08/20/2024	REVISIONS

215 PALM BAY ROAD, SUITE 4
 PALM BAY, FL 32909
 TEL. (321) 726-0740
 FAX. (321) 916-4206
 E-MAIL: info@edc.com
 WWW.EDC.COM



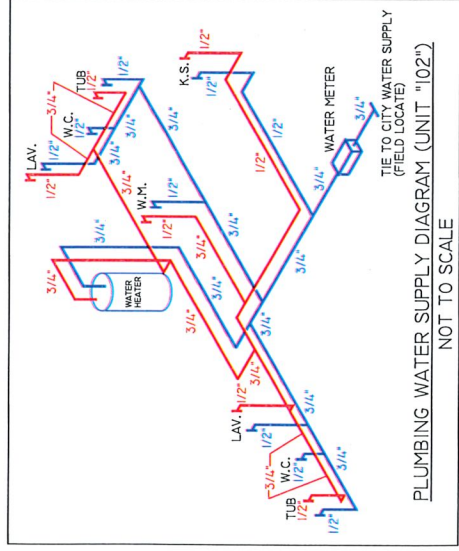
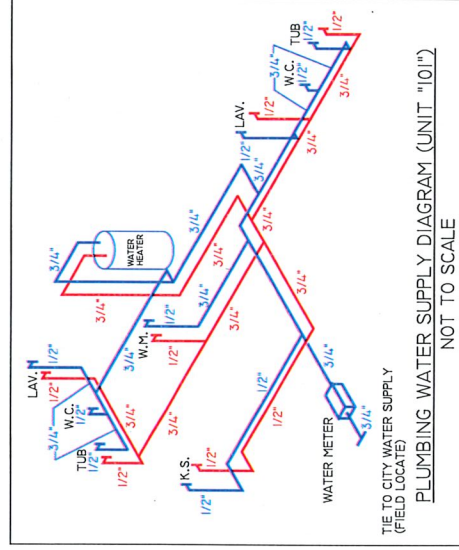
ENGINEERING AND DESIGN CONCEPTS, INC.
EDC

-SFR FOR-
SGHK FORIGONE HOLDINGS
 304 N 12TH ST, FORT PIERCE, FL 34950 - BUILDING #1

ENGINEER OF RECORD
 EDWARD F. SHINSKI, PE
 4707 WILD TURKEY ROAD
 MIAMI, FLORIDA 32754
 PH. 321-853-3225

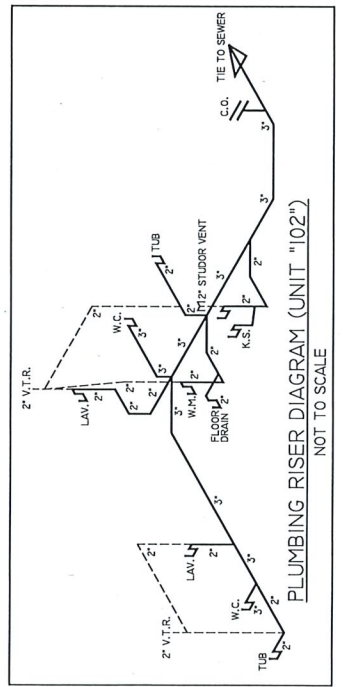
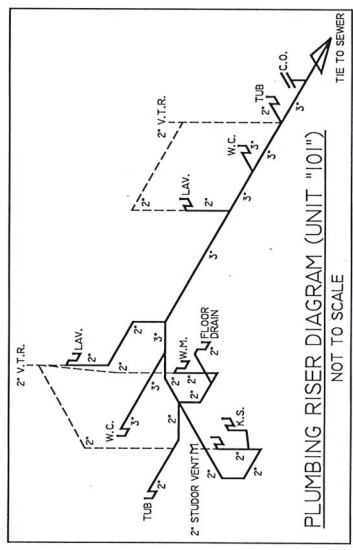
EP2
 SHEET 8 OF 8
 DRAWN BY:
 DANIEL PROFFERTE

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED. THE DATE AND/OR THE STAMP SHOWN USING A DIGITAL SIGNATURE.
 PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE FORGED ON ANY ELECTRONIC COPY.



PLUMBING GENERAL NOTES

1. PROVIDE ALL LABOR AND MATERIALS AS REQUIRED TO PROVIDE A FULLY FUNCTIONAL AND COMPLETE DOMESTIC PLUMBING SYSTEM. ALL MATERIALS SHALL BE APPROVED BY THE ENGINEER AND SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING CODE AND THE FLORIDA PLUMBING CODE.
2. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING CODE AND THE FLORIDA PLUMBING CODE.
3. ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING CODE AND THE FLORIDA PLUMBING CODE.
4. PROVIDE AND INSTALL PLUMBING SYSTEMS AS SHOWN ON THESE DRAWINGS.
5. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING CODE AND THE FLORIDA PLUMBING CODE.
6. ALL COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING CODE AND THE FLORIDA PLUMBING CODE.
7. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING CODE AND THE FLORIDA PLUMBING CODE.
8. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING CODE AND THE FLORIDA PLUMBING CODE.
9. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING CODE AND THE FLORIDA PLUMBING CODE.
10. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING CODE AND THE FLORIDA PLUMBING CODE.



GENERAL NOTES

1. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING CODE AND THE FLORIDA PLUMBING CODE.
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10. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING CODE AND THE FLORIDA PLUMBING CODE.

Technical Review Committee

1. e.

Meeting Date: 01/16/2025

REQUESTED ACTION

Minor Site Plan - City of Fort Pierce Animal Adoption Center - 100 Savannah Road

SUMMARY

Project #: PZSITE2024-00016

On behalf of the City of Fort Pierce, Engineering, Design & Construction, Inc. (EDC) - a Division of Haley Ward is requesting approval of a minor site plan for a project known as Animal Adoption Center Surgical Site for the proposed development of a 2,100 SF modular building addition to the existing Fort Pierce Animal Adoption Center. The entire subject property is 20.26 acres and is located at 100 Savannah Road.

LOCATION

100 Savannah Road

RESPONSIBLE STAFF

Vennis Gilmore, Assistant Planning Director

RECOMMENDATION

TBD

Attachments

TRC Packet

Form Review

Form Started By: Vennis Gilmore
Final Approval Date: 01/03/2025

Started On: 01/03/2025 02:49 PM

PROJECT NARRATIVE & COVER LETTER
Fort Pierce Animal Adoption Center Surgical Site
 Minor Site Plan
 November 14, 2024

REQUEST

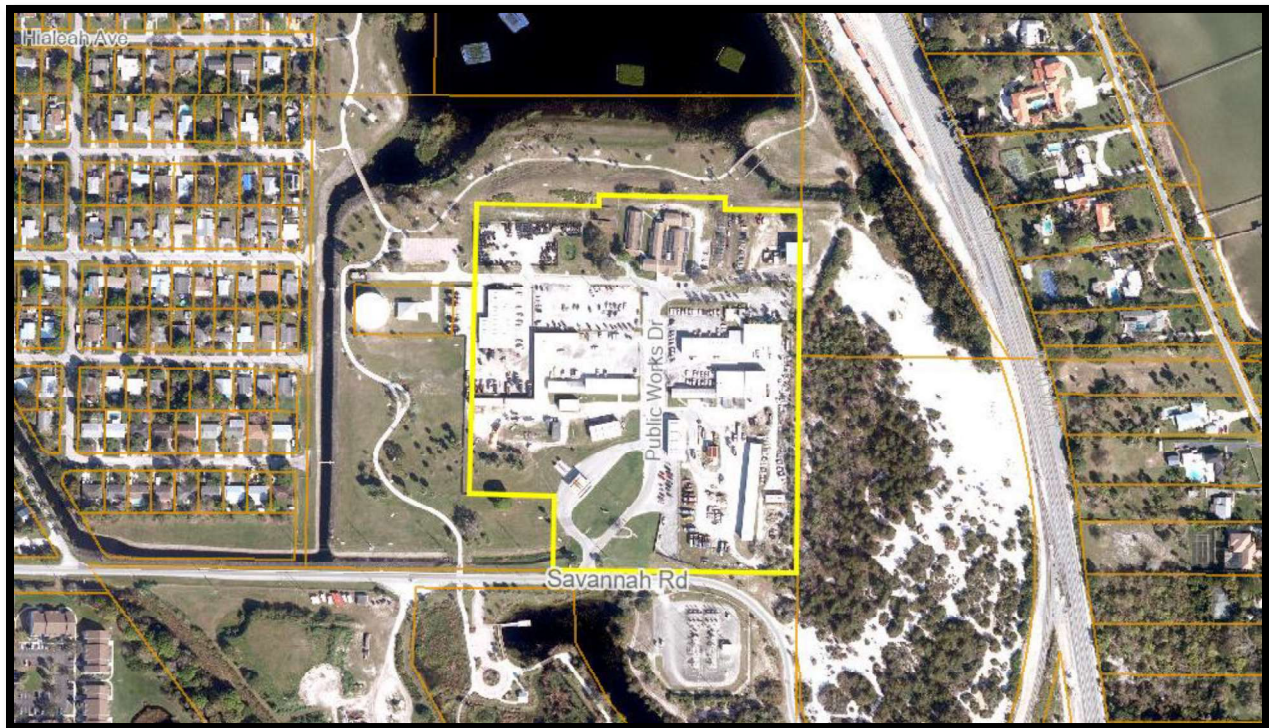
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Parcel ID	Parcel Address	Acreage	Current FLU	Current Zoning
2422-141-0001-000-3	100 Savannah Rd	20.26	Industrial	I-1

SITE CHARACTERISTICS & PROJECT HISTORY

The subject property is located at 100 Savannah Road in the City of Fort Pierce, FL. The applicant is proposing 2,100 square feet of development for a modular building addition which will serve as the Fort Pierce Animal Adoption Center Surgical Site. The subject property has a Future Land Use Designation of Industrial (I) and is located in the Light Industrial (I-1) Zoning district.

SUBJECT PROPERTY





To the north of the subject property lies a walking trail and retention area that has a Future Land Use Designation of Conservation and Open Space (COS) and is located in the Light Industrial (I-1) Zoning district.

To the south of the subject property lies the Indian Hills Recreation Area. These parcels have a Future Land Use Designation of Conservation and Open Space (COS) and are located in the Medium Density Residential (R-4) Zoning district.

To the east of the subject property lies undeveloped land that has a Future Land Use Designation of Industrial and is located in the Light Industrial (I-1) Zoning district followed by the Florida East Coast (FEC) railway.

To the west of the subject property lies a walking trail followed by single family residences. The undeveloped area has a Future Land Use Designation of Conservation and Open Space (COS) and is located in the Light Industrial (I-1) Zoning district. The residential area has a Future Land Use of Low Density Residential (RL) and is located in the Single-family moderate density (R-3) Zoning district.

Based on the above and attached information, the applicant respectfully requests approval of these requests.

City of Fort Pierce
100 N US Highway 1
Fort Pierce, FL 34950

AGENT CONSENT FORM

Project Name: Fort Pierce Animal Adoption Center Surgical Center

Parcel ID: 2422-141-0001-000-3

BEFORE ME THIS DAY PERSONALLY APPEARED JOHN R. ANDREWS, WHO BEING DULY SWORN, DEPOSES AND SAYS THE FOLLOWING:

I hereby give CONSENT to Engineering Design & Construction, Inc. to act on my behalf, to submit or have submitted applications and all required material and documents, and to attend and represent me at all meetings and public hearings pertaining all City, County and State permits for completion of the project indicated above. Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application for the proposed use of a commercial development.

FURTHER AFFIANT SAYETH NOT.

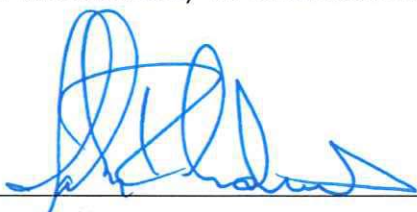
The foregoing instrument was acknowledged before me this 27th day of September, 2024, by JOHN R. ANDREWS (Name of Person Acknowledging) who is personally known to me or who has produced _____ (type of identification) as identification and who did (did not) take an oath.



Notary Signature

JULIE ANN BYE

Printed Name of Notary



Owner's Signature

CITY OF FORT PIERCE
JOHN R. ANDREWS, CITY
MANAGER

Owner's Name

100 N. US HIGHWAY 1

Street Address

FORT PIERCE, FL 34950

City, State, Zip

772-467-3773

Telephone / Email



11/29/26

My commission expires

Color Board

A color board has not been included as part of this submittal but can be provided upon request.

PROJECT NARRATIVE & COVER LETTER
Fort Pierce Animal Adoption Center Surgical Site
 Minor Site Plan
 November 14, 2024

REQUEST

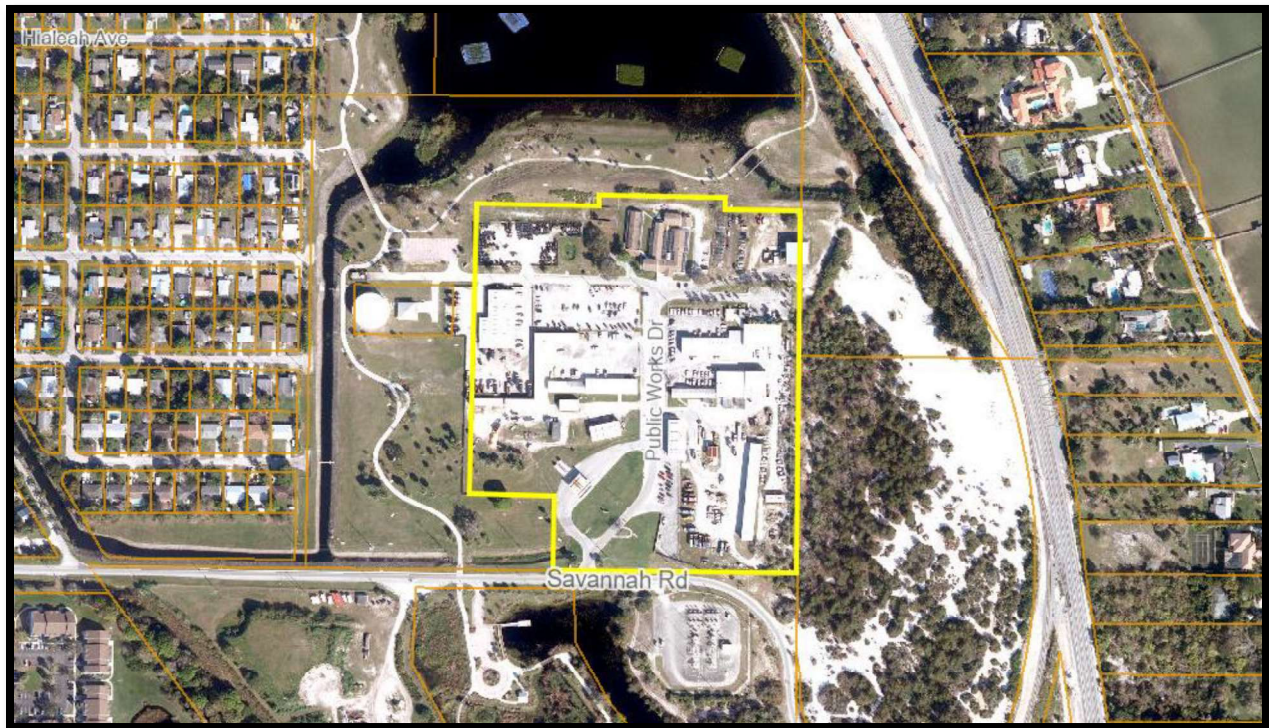
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Based on the above and attached information, the applicant respectfully requests approval of these requests.

Landscape Plans

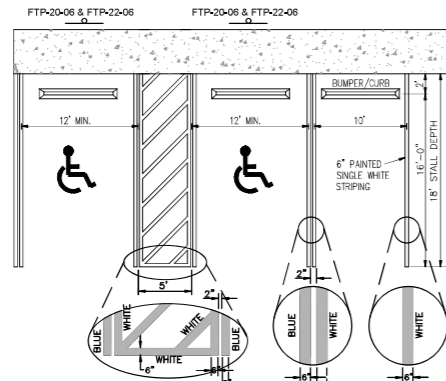
Landscape plans have not been included as part of this submittal but can be provided upon request.

Lighting Plans

Lighting plans have not been included as part of this submittal but can be provided upon request.

Rendering of Signs

Rendering of Signs have not been included as part of this submittal as no new signs are proposed at this time.

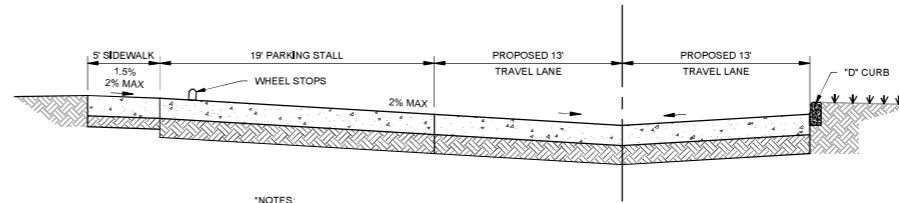


GENERAL NOTES:
 A) ALL PARKING SPACES WITH EXCEPTION OF HANDICAPPED PARKING SPACES SHALL BE MARKED IN WHITE, RETRO-REFLECTIVE TRAFFIC PAINT AND BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2010 SECTION 710.
 B) ALL HANDICAPPED PARKING SPACES SHALL BE PROPERLY SIGNED AND STRIPED IN ACCORDANCE WITH THE FDOT STANDARD INDEX 17346, FY 2017-18.
 C) ALL COMPACT SPACES SHALL BE MARKED "COMPACT" ON THE STALL OR TIRE STOP.



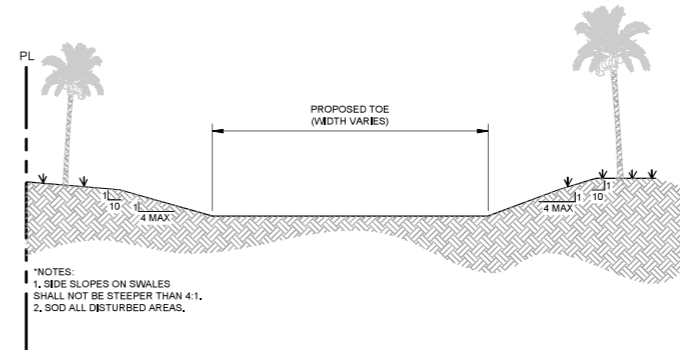
HANDICAP AND TYPICAL PARKING DETAIL
NTS

- NOTES:**
1. FTP 22-06 TOP PORTION SHALL HAVE REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER, BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
 2. FTP 21-06 TOP PORTION SHALL HAVE REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER, BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
 3. FTP 22-06 IS FOR USE IN AREAS WHERE SPACE IS LIMITED.
 4. FTP 22-06 IS SUPPLEMENTAL PANEL FOR THE FTP 20-06 & FTP 21-06 SIGNS.
 5. HEIGHT SHALL BE 7 FEET MEASURED FROM THE GROUND OR SIDEWALK TO THE BOTTOM OF "PERMIT ONLY" SIGN OR 8 FEET TO THE BOTTOM OF "3500 FINE" SIGN.
 6. REFER TO FDOT INDEX No. 711-001 FOR PAVEMENT MARKING DETAILS & FDOT INDEX No. 700-102 SIGN DETAILS PER THE LATEST FDOT DESIGN STANDARDS.



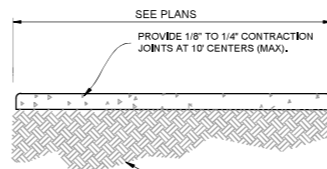
***NOTES:**
 1. SIDE SLOPES ON SWALES SHALL NOT BE STEEPER THAN 4:1.
 2. SOD ALL DISTURBED AREAS.

TYPICAL CROSS SECTION
NTS



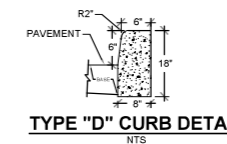
***NOTES:**
 1. SIDE SLOPES ON SWALES SHALL NOT BE STEEPER THAN 4:1.
 2. SOD ALL DISTURBED AREAS.

TYPICAL DETENTION POND CROSS SECTION
NTS

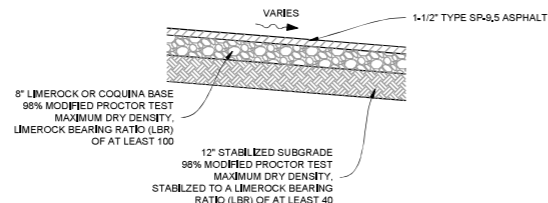


- NOTES:**
1. USE 3,000 P.S.I. CONCRETE AT 28 DAYS FOR SIDEWALK CONSTRUCTION.
 2. SIDEWALK THICKNESS TO BE INCREASED TO 6" THICK AT DRIVEWAY LOCATIONS.
 3. ALL REPAIRS REQUIRED DURING CONSTRUCTION SHALL BE REMOVED AND REPLACED 10' MINIMUM TO NEXT FULL JOINT.
 4. ALL SIDEWALK WITHIN FDOT RIGHT-OF-WAY TO BE CONSTRUCTED PER STANDARD PLANS 523-001.

TYPICAL SIDEWALK DETAIL
NTS



TYPE "D" CURB DETAIL
NTS



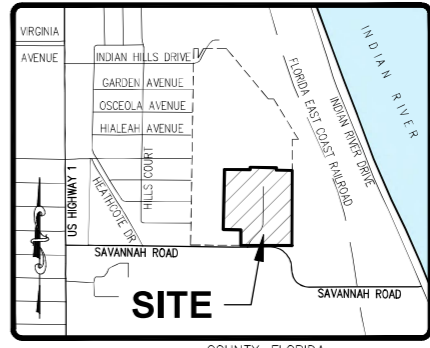
TYPICAL PAVEMENT SECTION
NTS

REV.	DATE	DESCRIPTION	BY	CHK.
NOT FOR CONSTRUCTION				
 A DIVISION OF HALEY WARD, INC. 930 S. Harbor City Blvd, Suite 506 Melbourne, FL 32901 321.280.9969 WWW.HALEYWARD.COM				
PROJECT FORT PIERCE ANIMAL CLINIC SURGICAL CENTER SAVANNAH ROAD, FORT PIERCE, FL				
TITLE				
DETAILS				
DATE		SCALE		AS NOTED
24-269		AS NOTED		
DRAWN BY	DESIGNED BY	CHECKED BY		
JRB	DCB	DCB		
PROJECT No.				
24-269				
DRAWING No.				REV.
02				



SPECIFIC PURPOSE SURVEY

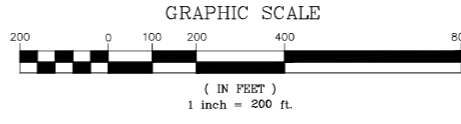
FOR: FT. PIERCE ANIMAL ADOPTION CENTER



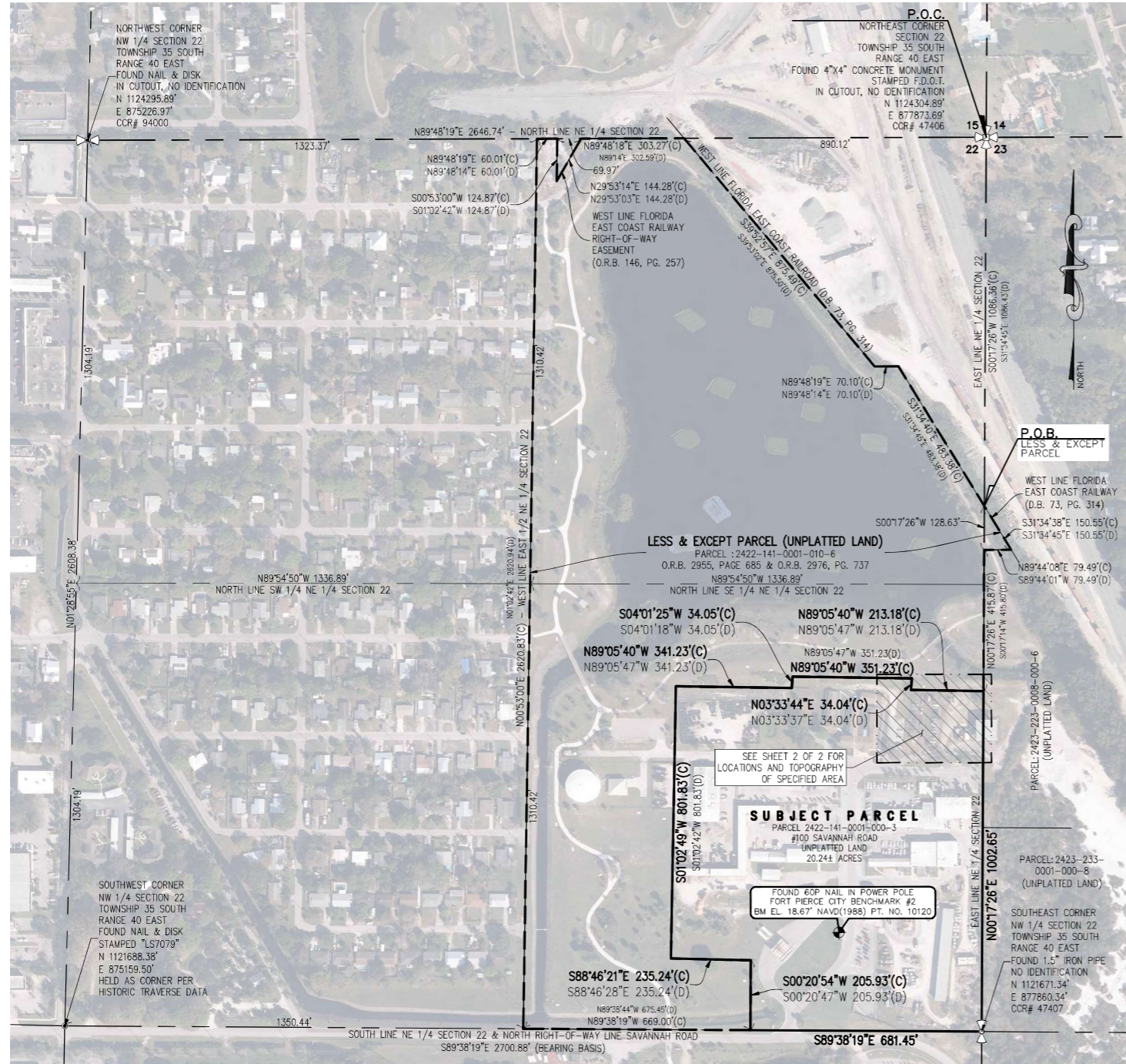
10250 VILLAGE PARKWAY,
UNIT 201
PORT ST. LUCIE, FL 34987
772-462-2455
www.edo-inc.com

F.B.P.E. CERTIFICATE OF AUTHORIZATION 9095
L.B. CERTIFICATE OF AUTHORIZATION 8098

DRAWN BY	DATE
CHECKED BY	
FIELD CREW	
FIELD DATE	
AS SHOWN	
SCALE	
REVISION COMMENTS	



COUNTY, FLORIDA
VICINITY MAP
NO SCALE



LEGAL DESCRIPTION:

ALL OF THAT LAND LYING IN THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, LESS AND EXCEPT THE FOLLOWING DESCRIBED PARCELS:
BEING A PARCEL OF LAND LYING OVER A PORTION OF SECTION 22, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA; SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 22; PROCEED SOUTH 0°17'19" WEST, ALONG THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 22, A DISTANCE OF 1098.43 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF THE FLORIDA EAST COAST RAILWAY AS DESCRIBED IN DEED BOOK 73, PAGE 214, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA AND THE POINT OF BEGINNING; THENCE SOUTH 31°34'45" EAST, DEPARTING SAID EAST LINE, AND ALONG SAID WEST RIGHT-OF-WAY LINE, A DISTANCE OF 150.55 FEET TO A POINT ON A LINE 1215.06 FEET SOUTH OF, AND PARALLEL WITH THE NORTH LINE OF SECTION 23, TOWNSHIP 35 SOUTH, RANGE 40 EAST; THENCE SOUTH 89°44'01" WEST, DEPARTING SAID WEST RIGHT-OF-WAY LINE, AND ALONG SAID PARALLEL LINE, A DISTANCE OF 78.49 FEET TO A POINT ON THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 22; THENCE SOUTH 0°17'14" WEST, DEPARTING SAID PARALLEL LINE, AND ALONG SAID EAST LINE, A DISTANCE OF 415.80 FEET; THENCE NORTH 89°05'47" WEST, A DISTANCE OF 351.23 FEET; THENCE SOUTH 04°01'18" WEST, A DISTANCE OF 34.05 FEET; THENCE NORTH 89°05'47" WEST, A DISTANCE OF 341.23 FEET; THENCE SOUTH 01°02'42" WEST, A DISTANCE OF 801.83 FEET; THENCE SOUTH 88°46'28" EAST, A DISTANCE OF 235.24 FEET; THENCE SOUTH 0°20'47" WEST, A DISTANCE OF 205.93 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF SAVANNAH ROAD (A 50.00 FOOT WIDE RIGHT-OF-WAY); THENCE NORTH 89°38'44" WEST, ALONG SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 675.45 FEET TO A POINT ON THE WEST LINE OF THE EAST ONE-HALF OF THE NORTHEAST QUARTER OF SAID SECTION 22; THENCE NORTH 01°02'42" EAST, DEPARTING SAID NORTH RIGHT-OF-WAY LINE, AND ALONG SAID WEST LINE, A DISTANCE OF 2620.94 FEET TO A POINT ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 22; THENCE NORTH 89°48'14" EAST, DEPARTING SAID WEST LINE, AND ALONG SAID NORTH LINE, A DISTANCE OF 60.01 FEET TO A POINT ON A LINE 60.00 FEET EAST OF, AND PARALLEL WITH THE WEST LINE OF THE EAST ONE-HALF OF THE NORTHEAST QUARTER OF SAID SECTION 22; THENCE SOUTH 01°02'42" WEST, DEPARTING SAID NORTH LINE, AND ALONG SAID PARALLEL LINE, A DISTANCE OF 124.87 FEET TO A POINT ON THE WEST LINE OF THAT CERTAIN FLORIDA EAST COAST RAILWAY RIGHT-OF-WAY EASEMENT AS RECORDED IN OFFICIAL RECORDS BOOK 146, PAGE 257, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA; THENCE NORTH 29°53'03" EAST, DEPARTING SAID PARALLEL LINE, AND ALONG SAID WEST EASEMENT LINE, A DISTANCE OF 144.28 FEET TO A POINT ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 22; THENCE NORTH 89°48'14" EAST, DEPARTING SAID WEST EASEMENT LINE, AND ALONG SAID NORTH LINE, A DISTANCE OF 302.59 FEET TO A POINT ON SAID WEST RIGHT-OF-WAY LINE OF THE FLORIDA EAST COAST RAIL ROAD; THENCE SOUTH 39°53'02" EAST, DEPARTING SAID NORTH LINE, AND ALONG SAID WEST RIGHT-OF-WAY LINE, A DISTANCE OF 875.50 FEET; THENCE NORTH 89°48'14" EAST, CONTINUING ALONG SAID WEST RIGHT-OF-WAY LINE, AND PARALLEL WITH THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 22, A DISTANCE OF 70.10 FEET; THENCE SOUTH 31°43'45" EAST, DEPARTING SAID PARALLEL LINE, AND CONTINUING ALONG SAID WEST RIGHT-OF-WAY LINE, A DISTANCE OF 483.38 FEET TO THE POINT OF BEGINNING.
CONTAINING 20.24 ACRES, MORE OR LESS.

SURVEYORS NOTES AND REPORT:

- THIS SPECIFIC PURPOSE SURVEY WAS PERFORMED FOR THE PURPOSE OF MAPPING EXISTING FEATURES AND CONDITIONS IN THE AREA SPECIFIED BY THE CLIENT AND AS SHOWN AND DEPICTED HEREON. I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS IS A TRUE AND ACCURATE DEPICTION OF A FIELD SURVEY PERFORMED UNDER MY DIRECTION AND COMPLETED ON SEPTEMBER 17, 2024. I FURTHER CERTIFY THAT SAID DRAWING IS IN COMPLIANCE WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027, FLORIDA STATUTES.
- THIS SURVEY MAP AND REPRODUCTIONS THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER OR ORIGINAL ELECTRONIC SIGNATURE. THIS SURVEY CANNOT BE TRANSFERRED OR ASSIGNED WITHOUT THE SPECIFIC WRITTEN PERMISSION OF ENGINEERING, DESIGN AND CONSTRUCTION, INC. IT IS A VIOLATION OF CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, TO ALTER THIS SURVEY WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF THE SURVEYOR. ADDITIONS AND/OR DELETIONS MADE TO THE FACE OF THIS SURVEY WILL MAKE THIS SURVEY INVALID.
- THE LAST DATE OF FIELD WORK (AND DATA ACQUISITION) WAS SEPTEMBER 10, 2024.
- LEGAL DESCRIPTION(S) HEREON SHOWN IN REFERENCE TO THE LATEST INSTRUMENT OF RECORD AVAILABLE ON THE MUNICIPAL PROPERTY APPRAISER GEOGRAPHIC INFORMATION SYSTEM (GIS), SAID INSTRUMENT BEING OFFICIAL RECORDS BOOK 2955, PAGE 685, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA. A TITLE SEARCH FOR THIS PROPERTY HAS NOT BEEN ABSTRACTED TO SHOW MATTERS OF RECORD SUCH AS EASEMENTS OR OTHER ENCUMBRANCES OR RESTRICTIONS.
- PARCEL(S) CONTAIN A TOTAL OF 20.24 ACRES, MORE OR LESS.
- THIS BOUNDARY SURVEY HAS BEEN REFERENCED TO THE FLORIDA STATE PLANE COORDINATE SYSTEM-EAST ZONE, NAD 83 (2011 ADJUSTMENT).
- UNDERGROUND IMPROVEMENTS AND UTILITIES WERE NOT LOCATED AS A PART OF THIS SURVEY.
- REVISIONS SHOWN HEREON DO NOT REPRESENT A "FIELD SURVEY UPDATE" UNLESS OTHERWISE NOTED.
- BEARINGS SHOWN HEREON ARE BASED UPON GRID NORTH AND REFERENCE TO THE LINE LABELED HEREON AS (BEARING BASES) AND ALL OTHER BEARINGS ARE RELATIVE THERETO. DISTANCES ARE IN U.S. SURVEY FEET AND DECIMAL PARTS THEREOF.
- ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE LATEST INSTRUMENT OF RECORD AVAILABLE ON THE MUNICIPAL PROPERTY APPRAISER GEOGRAPHIC INFORMATION SYSTEM (GIS), SAID INSTRUMENT BEING OFFICIAL RECORDS BOOK 2955, PAGE 685, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA. A TITLE SEARCH FOR THIS PROPERTY HAS NOT BEEN ABSTRACTED TO SHOW MATTERS OF RECORD SUCH AS EASEMENTS OR OTHER ENCUMBRANCES OR RESTRICTIONS.
- THIS SITE WAS SURVEYED UTILIZING TRIMBLE/SPECTRA HARDWARE TOGETHER WITH SPECTRA SURVEY PRO REALTIME PROCESSING AND WAS BASED ON TRIMBLE'S "VRS NOW" NETWORK AND/OR THE FLORIDA PERMANENT REFERENCE NETWORK (FPRN). THE PROCEDURES AND NETWORK DESIGN MEETS THE GEODETIC ACCURACY STANDARDS AND SPECIFICATIONS FOR USING GPS RELATED POSITIONING AS SET FORTH BY THE FEDERAL GEODETIC CONTROL COMMITTEE IN THE MOST CURRENT PUBLICATION FOR 3RD ORDER CLASS ONE FOR HORIZONTAL CONTROL SURVEYS.
- IN SOME INSTANCES, GRAPHIC REPRESENTATIONS AND SYMBOLS SHOWN HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE THE RELATIONSHIP BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES. THE DIMENSIONS SHOWN SHALL CONTROL THE LOCATION, OF THE IMPROVEMENTS, OVER THE SCALED POSITIONS.
- THE OWNERSHIP OF PERMETER FENCES, WALLS, HEDGES, AND LANDSCAPING, IF ANY, SHOWN HEREON ARE NOT KNOWN AND ARE NOT LISTED AS ENCROACHMENTS. THEIR RELATIVE LOCATION IS SHOWN IN RELATION TO THE BOUNDARY LINES SHOWN.
- THE SURVEY MAP SHOWN HEREON DOES NOT NECESSARILY CONTAIN ALL OF THE INFORMATION OBTAINED OR DEVELOPED BY THE UNDERSIGNED SURVEYOR IN HIS FIELD WORK, OFFICE WORK OR RESEARCH.
- THE PROPERTY WHICH IS THE SUBJECT OF THIS SURVEY APPEARS TO BE SITUATE IN AN AREA OF MINIMAL FLOOD HAZARD (ZONE X) AT THIS TIME PURSUANT TO F.E.M.A. FIRM NUMBER 121110187A, HAVING AN EFFECTIVE DATE OF FEBRUARY 16, 2012, FOR APPROXIMATE DELINEATION OF THE FLOOD ZONE LIMITS. REFER TO AFOREMENTIONED FIRM PANELS.
- AERIAL IMAGERY SHOWN HEREON WAS PROVIDED BY THE FLORIDA DEPARTMENT OF TRANSPORTATION "APLUS" AERIAL PHOTO LOOKUP SYSTEM. IMAGES WERE COLLECTED BETWEEN JANUARY 30, 2024 AND FEBRUARY 1, 2024 AND HAVE A RESOLUTION OF 0.50 FEET PER PIXEL.

SYMBOL & ABBREVIATION LEGEND:

AL	ARC LENGTH	ASPH	ASPHALT	BP	BACK FLOW PREVENTER	BM	BENCHMARK (BM) OR GROUND CONTROL POINT (GCP)	CATV	CABLE RISER	CB	CATCH BASIN	CD	CENTERLINE	CCR	CERTIFIED CORNER RECORD	CLF	CHAIN LINK FENCE	CHD	CHOP	CO	CLEAN OUT	COM	COMMUNICATION RISER	CONC	CONCRETE	CP	CONCRETE LIGHT POST	CM	CONCRETE MONUMENT	CP	CONCRETE POWER POLE (OPP)	CP	CONCRETE POWER POLE	CP	CONCRETE SIGNAL LIGHT POLE	CMP	CORRUGATED METAL PIPE	CI	CLASS INLET	CLP	DECORATIVE LIGHT POST	CD	DEED	DB	DEED BOOK	DA	DELTA/CENTRAL ANGLE	DM	DRAINAGE MANHOLE	DR	DUCTILE IRON PIPE	ED	EDGE OF PARKMENT	EW	EDGE OF WATER	EB	ELECTRIC BOX	EM	ELECTRIC HAND HOLE (EHH)	EM	ELECTRIC METER	EM	ELECTRIC PANEL	EL/ELEV.	ELEVATION	FEMA	FEDERAL EMERGENCY MANAGEMENT AGENCY SYSTEMS	F.O.	FIBER OPTIC	FM	FIBER OPTIC HAND HOLE	FM	FIBER OPTIC MARKER	FR	FIBER RISER	FR	FIBER OPTIC RISER	FM	FIELD MEASURED	HWF	HIGH DENSITY POLYETHYLENE PIPE	HWF	HIGH WIRE FENCE	H	HYDRANT	FDOT	FLORIDA DEPARTMENT OF TRANSPORTATION	FPL	FLORIDA POWER AND LIGHT	FT	FOOT	FM	FORCE MAIN	FND	FORD MAN	F	FPL	FPL MANHOLE	SO FT.	SQUARE FEET	GAS	GAS VALVE	GIS	GEOGRAPHIC INFORMATION SYSTEMS	GRD	GROUND	GW	GUY WIRE ANCHOR	H	HANDICAP	MDN	MONUMENT	N/D	NON DESCRIPT NAIL AND DISK	N.R.	NON-RADIAL	NAV88	NORTH AMERICAN VERTICAL DATUM OF 1988	No.	NUMBER	O.R.B.	OFFICIAL RECORDS BOOK	OHW	OVER HEAD WIRES	P	PAGE	PK	PARCEL CONTROL NUMBER	PK	PARKER-KADON NAIL	PK	PARKER-KADON NAIL	PK/P	PARKER-KADON NAIL & DISK	PCP	PERMANENT CONTROL POINT	PRM	PERMANENT REFERENCE MONUMENT	P/B	PLAT BOOK	P	PLAT DATA	P.O.B.	POINT OF BEGINNING	P.O.C.	POINT OF COMMENCEMENT	P.C.C.	POINT OF COMBINATION CURVE	P.C.	POINT OF CURVATURE	P.T.	POINT OF TANGENCY	P.G.T.	POINT OF TOWNSHIP	PVC	POLYVINYL CHLORIDE PROFESSIONAL LAND SURVEYOR	R	RANGE	RK	REAL TIME KINEMATIC	R/W	REGISTERED WATER VALVE	RLS	REGISTERED LAND SURVEYOR	RCP	REINFORCED CONCRETE PIPE	R/W	RIGHT-OF-WAY	R/C	ROAD AND CAP	S	SANITARY MANHOLE	SV	SANITARY VALVE	SEC	SECTION	SC	SECTORY CORNER	SS	RIGHT-OF-WAY CONTROL	SR	STATION	STR	STREET SIGN	TR	TELEPHONE RISER BOX	TOE	TOP OF SLOPE	TOB	TOP OF BANK/BERM	T.O.N.	TOP OF NUT	X 0.0	TOPOGRAPHIC DATA (SOFT SURFACE)	X 0.0	TOPOGRAPHIC DATA (HARD SURFACE)	TWP	TOWNSHIP	T	TRAFFIC HAND HOLE	TSB	TRIP SIGNAL CONTROL BOX	TRP	TYPICAL	U	UTILITY EASEMENT	US	UNDERGROUND SANITARY	US	UNDERGROUND STORM UNDERFLOW	U	UNKNOWN HAND HOLE	U	UNKNOWN RISER BOX	U	UNKNOWN TYPE MANHOLE	VCP	VITRIFIED CLAY PIPE	W	WATER SERVICE METER (WM)	WV	WATER VALVE (WV)	W	WELL	WF	WOOD FENCE	W	WOOD POLE STREET LIGHT	W	WOOD POWER POLE
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SPECIFIC PURPOSE SURVEY
FOR: FT. PIERCE ANIMAL ADOPTION CENTER
LAND LYING IN THE NORTHEAST 1/4 OF SEC. 22, TOWNSHIP 35 SOUTH, RANGE 40 EAST ST. LUCIE COUNTY, FLORIDA

10250 VILLAGE PARKWAY
UNIT 201
PORT ST. LUCIE, FL 34987
772-462-2455

24-269

Digitally signed by Michael T Owen
Date: 2024.09.17 17:38:21 -04'00'

MICHAEL T. OWEN PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION #5556
SIGNATURE DATE:

1 OF 2

Z:\EDC\2024\269 - City of Fort Pierce - Animal Adoption Ct Survey\Drawings\24-269 SP18.dwg, 9/17/2024 4:54 PM
DRAWN BY: MICHAEL T. OWEN, CHECKED BY: MICHAEL T. OWEN, FIELD CREW: MICHAEL T. OWEN, DATE: 9/17/2024
THIS SURVEY WAS PERFORMED FOR THE CITY OF FORT PIERCE, FLORIDA. THE CITY OF FORT PIERCE IS THE CLIENT AND THE SURVEYOR IS THE ENGINEER OF RECORD. THE SURVEYOR IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE SURVEYOR IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE SURVEYOR IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT.



November 13, 2024

City of Fort Pierce
100 N. US Highway 1
Fort Pierce, FL 34950

Re: City of Fort Pierce Animal Adoption Center Surgical Site – Traffic

Please find attached the average AM / PM Peak Hour and average daily (weekday) number of trips per ITE Trip Generation Manual, 11th Edition based on Land Use code 640 – Animal Hospital/Veterinary Clinic for the proposed 2,100 S.F. modular building addition.

AM Trips: Average Rate: 8 (Total), 4 (Entry), 4 (Exit) – $(3.73 \times 2.1 = 7.883)$
PM Trips: Average Rate: 8 (Total), 4 (Entry), 4 (Exit) – $(3.83 \times 2.1 = 8.043)$
Weekday: Average Rate: 45 (Total), 23 (Entry), 22 (Exit) – $(21.50 \times 2.1 = 45.15)$

Sincerely,

ENGINEERING DESIGN & CONSTRUCTION, INC – A DIVISION OF HALEY WARD

A handwritten signature in blue ink, appearing to read 'David C. Baggett'.

David C. Baggett, P.E.
Regional Manager | Engineering

Animal Hospital/Veterinary Clinic (640)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

AM Peak Hour of Generator

Setting/Location: General Urban/Suburban

Number of Studies: 6

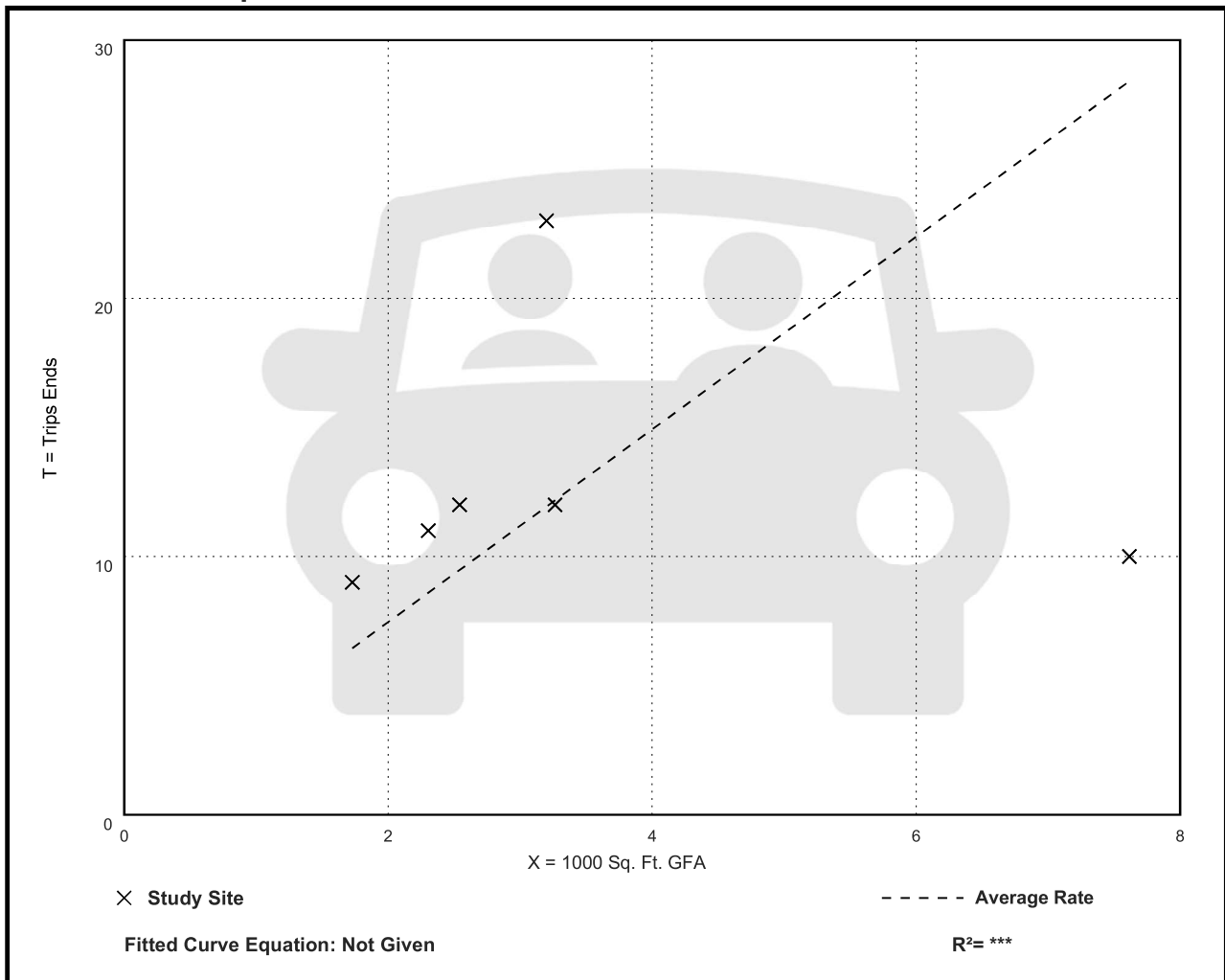
Avg. 1000 Sq. Ft. GFA: 3

Directional Distribution: 53% entering, 47% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
3.73	1.31 - 7.19	2.31

Data Plot and Equation



Animal Hospital/Veterinary Clinic (640)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

PM Peak Hour of Generator

Setting/Location: General Urban/Suburban

Number of Studies: 6

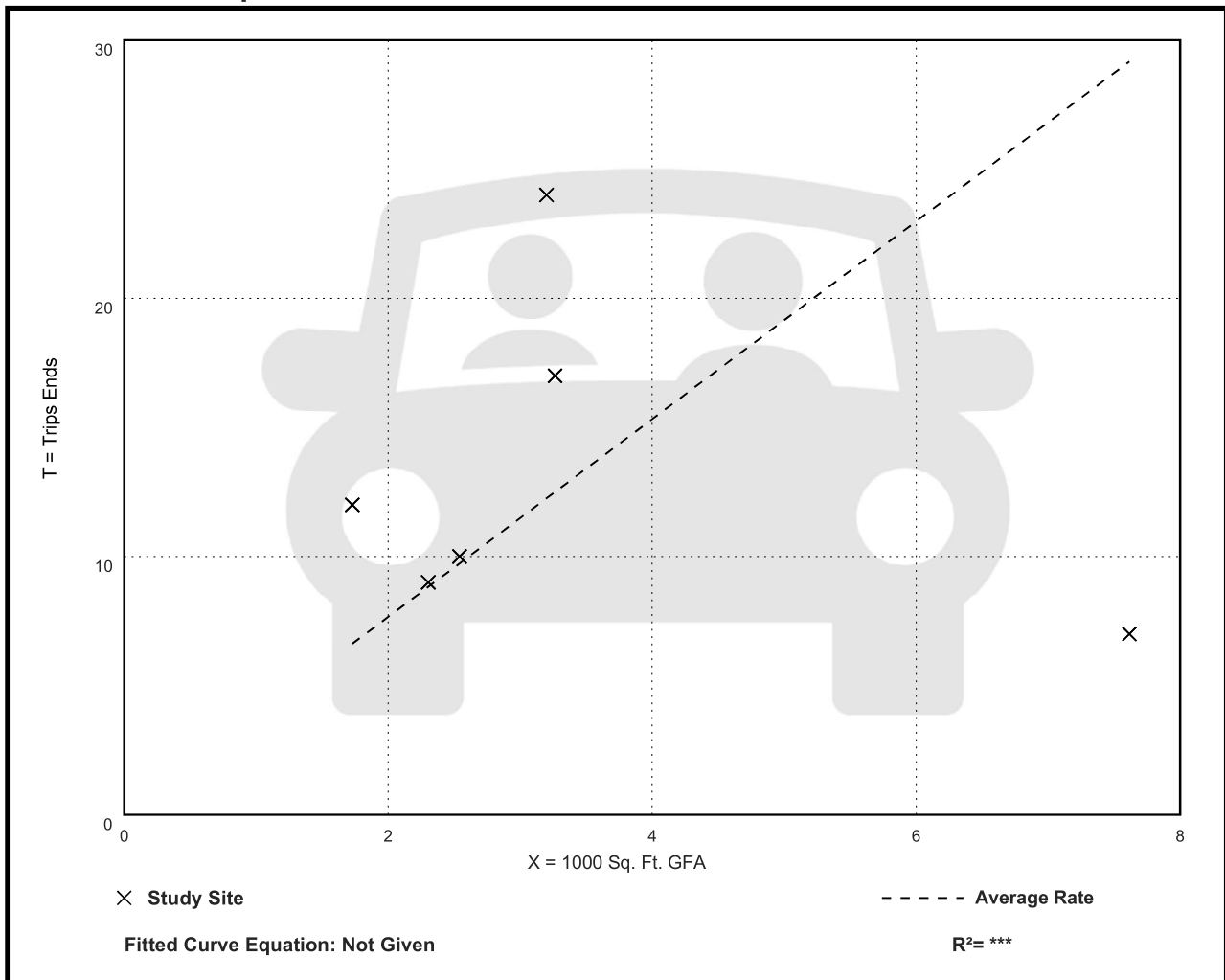
Avg. 1000 Sq. Ft. GFA: 3

Directional Distribution: 52% entering, 48% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
3.83	0.92 - 7.50	2.76

Data Plot and Equation



Drainage Plan

Please see drainage included as part of the attached site plan.



CONCURRENCY CAPACITY ANALYSIS

I. Site Data:

	Existing Use	Future Land Use	Zoning
North	Retention Area	Conservation & Open Space (COS)	Light Industrial (I-1)
South	Recreation Area & Trails	Conservation & Open Space (COS)	Medium Density Residential (R-4)
East	Undeveloped	Industrial (I)	Light Industrial (I-1)
West	Extension of Public Works Building	Conservation & Open Space (COS)	Light Industrial (I-1)

	Future Land Use	Zoning Classification	Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage	Total Acreage	Flood Zone
Current	Industrial	Light Industrial	-	A portion of 20.26 ac	X
**Proposed	No Change	No Change	2,100 SF	No Change	N/A

II. Public Facilities Information:

A. Potable Water:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.125 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day
**Proposed Zoning/FLU	Total gallons per day <small>0.125 x 2,100 SF = 262.5 gallons per day (gpd)</small>
**Change in Demand	Total gallons per day <small>262.5 gpd</small>

B. Wastewater:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.1 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day
**Proposed Zoning/FLU	Total gallons per day 0.1 x 2,100 SF = 210 gallons per day
**Change in Demand	Total gallons per day 210 gallons per day

C. Parks and Recreation (Residential Classifications Only): (Du x 2.6 = persons + 44,227 = population /LOS)				
Park Type	LOS	Existing Population Park Demand	Proposed Population Park Demand	Change in Demand
Regional	20 acres per 1,000 people	N/A	N/A	N/A
Urban District	5 acres per 1,000 people	N/A	N/A	N/A
Community	2.5 acres per 1,000 people	N/A	N/A	N/A
Neighborhood	1.36 acres per 1,000 people	N/A	N/A	N/A

D. Public Schools (Residential Classifications Only): Single Family: (du x 0.405 = students/70% K-8/30% High) Multi-family: (du x 0.207 = students/70% K-8/30% High)		
	K-8	High
School Name	N/A	N/A
City	N/A	N/A
Distance	N/A	N/A
Current Zoning/FLU Enrollment Demand	N/A	N/A
**Proposed Zoning/FLU Enrollment Demand	N/A	N/A
**Change in Demand	N/A	N/A

E. Solid Waste: Residential (2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units)	
Demand Analysis	Maximum
Current Zoning/FLU	Non-Residential
**Proposed Zoning/FLU	Non-Residential
*Change in Demand	N/A

F. Stormwater: Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year – 1 day storm event)
--

Impact	
---------------	--

III. Transportation Analysis: Complete ITE Trip Generation Form (Attached)

G. Transportation Analysis: Complete ITE Trip Generation Data Form		
Most recent ITE Code for use; HCM Roadway Capacity		
	AADT	AM/PM Peak Hour Trips
Demand Analysis	Maximum	Maximum
Current Zoning/FLU	ITE Code 640 - Animal Hospital / Veterinary Clinic	8 AM / 8 PM Peak Hour Trips
**Proposed Zoning/FLU	No change in Zoning/FLU Proposed	No change in Zoning/FLU Proposed
*Change in Demand	Trips	Trips Increase of 8 AM / 8 PM Peak Hour Trips
Impact to Capacity	Increase in flow of weekday traffic. No change in Zoning/FLU proposed.	

IV. Project Description

PHASING	
Is this project (phase) part of a larger project?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If yes, enumerate each phase, the number of units or square footage in each phase and beginning/completion date.	
Total Project: Residential Units: N/A Single Family: N/A Multifamily: N/A	
Non-residential (square footage): 2,100 SF	
Mixed-use (describe use): N/A	
(If this is a single phase project, name it Phase I – Total) Phase I - 2,100 SF	

RESIDENTIAL DATA					
Type	Phase	Number of Units	Acres	Expected beginning date	Expected completion date
Single-family, detached	N/A				
Single-family, attached	N/A				
Multi-family	N/A				
Other (specify)	N/A				

NON-RESIDENTIAL DATA					
Type(s) specify	Phase	Square footage	Acres	Expecting beginning date	Expected completion date
One (1) modular building - animal adoption center surgical site	1	2,100 SF	20.26 ac (entire site)	2025	2025

A. Indicate whether the proposed project will be eliminating any existing recreational facilities. If yes, detail the number and type being eliminated. Yes No

- B. 1. Does this application involve demolition or re-use of any structure(s)? Yes No
If yes, what is the size of the structure(s) to be demolished or re-used? _____
2. What is the current use of the structure to be demolished or re-used? _____
3. Are you claiming trip credits for the demolition or re-use of a structure(s) at the site? Yes No
If yes, provide estimates of credits for each previous use at the site. (Attach sheet with calculations)

C. Exemptions Requested: None

** Complete section if requesting a change in zoning, future land use, or expanding

Contextual Photos - Neighborhood

Contextual photos have not been included as part of this submittal but can be provided upon request.

Contextual Photos – Subject Property

Contextual photos have not been included as part of this submittal but can be provided upon request.



DESIGN REVIEW

Property Information

Property address or Location 100 Savannah Road
 Parcel ID #(s) 2422-141-0001-000-3
 Project description Modular building and parking lot addition to the animal shelter located at the City of Fort Pierce Public Works compound

City of Fort Pierce

Property Owner(s)

100 N US Highway 1

Street Address

Fort Pierce FL 34950

City State Zip

(772) 467-3776

Phone Number

ttelle@cityoffortpiece.com

Email Address

Michelle Sullivan, Planner, Engineering, Design & Construction (EDC)

Applicant/Representative, Title, Company

10250 SW Village Parkway - Suite 201

Street Address

Port St. Lucie FL 34987

City State Zip

(772) 462-2455

Phone Number

michellesullivan@edc-inc.com

Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

Property Owner(s) Signature(s)

APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS

CALL 772.467.3737 OR E-MAIL PLANNING_DL@CITYOFFORTPIERCE.COM

For more information, please refer to the website:

<https://www.cityoffortpiece.com/971/Application-Submittal-for-Technical-Rev1>

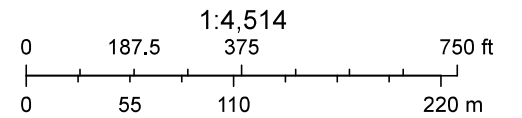
Environmental Assessment

An EA has not been included as part of this submittal as the site is already impacted.

Site Location Map



11/6/2024



Technical Review Committee

1. f.

Meeting Date: 01/16/2025

REQUESTED ACTION

Affordable Housing Site Plan - 801 Avenue B

SUMMARY

Project #: PZAH2024-00001

The 801 Avenue B project is a prototype for a walkable-urban living in Fort Pierce. Designed to integrate modern design with sustainability and communal living, this project aligns with the city's comprehensive plan for medium residential density zoning and leverages recent zoning in the Innovative Community Development section.

The subject site is approximately 0.17 acres with a zoning of R-4, Medium Density Residential Zone and future land use of RM, Medium Density Residential. The applicant is proposing two (2) units.

LOCATION

801 Avenue B

RESPONSIBLE STAFF

Vennis Gilmore, Assistant Planning Director

RECOMMENDATION

TBD

Attachments

TRC Packet

Form Review

Form Started By: Vennis Gilmore
Final Approval Date: 01/02/2025

Started On: 01/02/2025 05:17 PM

Florida Asheville

Project Narrative for 801 Avenue B Infill Development

September 30/ 2024

Introduction

The 801 Avenue B project is a prototype for walkable urban living in Fort Pierce. Designed to integrate modern design with sustainability and communal living, this project aligns with the city's comprehensive plan for medium residential density zoning and leverages recent zoning in the Innovative Community Development section.

Design Philosophy

We place particular emphasis on walkability. With streets that are pleasant and safe to walk, and with jobs and other daily needs accessible on foot, walkable places are not only more livable, but also help residents reduce transportation expenses, a major part of most household budgets.

Our design philosophy centers on resident wellness and creating a walkable neighborhood that is:

- **Useful:** Essential amenities within walking distance.
- **Safe:** Secure environment for residents.
- **Comfortable:** Pleasant living experience through thoughtful design.
- **Interesting:** Visually and experientially appealing.

These principles are reflected in the site plan featuring two homes with accessory dwelling units (ADUs). This site was also designed by and for the neuro-divergent (a special needs population).

Each area below qualifies for density bonuses.

Architectural Features

1. **Dog-trot House (801 Avenue B - A)**
 - **Description:** Five-bedroom house with ensuite bathrooms.
 - **Health Benefits:** Promotes natural ventilation, reduces mechanical cooling reliance, improves indoor air quality, and positively impacts mental health by connecting occupants with nature.
 - **Size:** 1312 sq ft including ADU
2. **Split-level House (801 Avenue B - B)**
 - **Description:** Four-bedroom house with ensuite bathrooms.
 - **Benefits:** Enhances social support, economic efficiency, safety, health, environmental sustainability, quality of life, childcare, and career opportunities, making it ideal for urban families seeking close ties and high-quality living.
 - **Size:** 1340 sq ft including ADU

Aesthetics and Style

Florida Asheville

Project Narrative for 801 Avenue B Infill Development

September 30/ 2024

We incorporate a variety of aesthetic features to create a visually appealing and engaging environment:

- Rain Garden
- Living walls and partial green roofs.
- Projector Art Screen
 - Art murals.
 - Friday Night Movies
- Reflecting mirrored exterior walls.
- Landscaped setbacks and outdoor sitting areas.
- Shou Sugi Ban (charred wood siding).

Dimensional Variety

The design optimizes construction to reduce waste and enhance affordability:

- Room dimensions align with commercially available materials (16x16, 24x16, and 24x24), minimizing waste and construction costs.
- This approach allows for cost-effective construction without sacrificing quality or style.

Landscaping, Hardscape & Drainage

The landscaping plan is designed to enhance sustainability and community engagement:

- Rain Garden
 - Native and Florida-Friendly shade, flowering, and fruit trees.
 - Native groundcovers and flowers to support pollinators.
- Gutters with 3000-gallon cumulative rain storage.
 - Drip-line irrigation fed via crawl space rain storage.
- 5ft landscaped setback with gates, fencing, privacy screens, and ancient stone lines to reduce runoff.
- Home Biogas Digester.
 - Treats organic waste producing biogas for cooking and rich fertilizer.
- 4-inch city tree waste mulch to increase stormwater sequestration, rain percolation, and soil nutrition.
- Permeable materials for parking spaces and walkways.

Placement

The strategic placement of homes enhances both communal and individual living experiences:

- Porches that abut sidewalks to create public/private spaces, enhancing public engagement and walkability.
- Homes are oriented to maximize passive cooling in the summer.
- The design balances communal energy with individual privacy.
- The layout supports home-based business opportunities.

Florida Ashe`

Project Narrative for 801 Avenue B Infill Development

September 30/ 2024

Energy and Resource Considerations

The project includes several sustainable features to minimize environmental and long term financial impacts:

- Gutters with 3000-gallon cumulative rain storage.
- Home Biogas Digester.
 - Treats organic waste producing biogas for cooking and rich fertilizer.
- Underground utilities.
 - Natural Gas
- Up to 2 EV CCS fast chargers (66kw min).
- Solar-powered ECOflow DELTA Pro Ultra Portable Power Station.
 - 7.2-21.6kW output
 - 6kWh-90kWh capacity
 - 5.6kW-16.8kW solar input
- Solar water heaters.
- Passive cooling and heating design elements:
 - Extended overhangs to block summer sun from windows.
 - Compartmentalization to lower indoor allergens, create cooling air streams, and conserve energy through HVAC management.

Conclusion

Florida Ashe's EKhaya project exemplifies modern urban infill development, prioritizing sustainability, community, and livability. By adhering to Fort Pierce's comprehensive plan and leveraging recent infrastructure upgrades, Florida Ashe`, sets a benchmark for future developments. This project addresses current housing needs for special needs populations while contributing to the city's vision of a vibrant, sustainable, and interconnected urban community.

**DEVELOPMENT AGREEMENT
For Infill Lien
Reduction Program**

THIS DEVELOPMENT AGREEMENT ("Agreement") is made and entered into this 12th day of June, 2023 by and between the City of Fort Pierce, Florida, a municipal corporation, ("City") and Shores Pad, LLC ("Owner") (collectively, "Parties").

WITNESSETH:

WHEREAS, despite intensive efforts to accelerate the revitalization of the City's neighborhoods, there remains an excessive number of vacant properties; and

WHEREAS, these vacant properties are a blighting influence on the neighborhoods in which they are located; and

WHEREAS, these vacant properties consume a disproportionate share of City resources for code compliance and other City services, in relation to their contribution to the tax base of the City; and

WHEREAS, on March 21, 2022, the City Commission adopted Resolution No. 22-R16, establishing an Infill Lien Reduction Program to provide relief from code enforcement and/or nuisance abatement liens in order to encourage private investment to improve blighted properties and return vacant properties to productive residential use; and

WHEREAS, the Owner owns the property ("Property") described as 801 Avenue B, in the public records of St. Lucie County, Florida, Fort Pierce, Florida, St. Lucie County Property ID 2410-604-0039-000-1; and

WHEREAS, the Owner, proposes to construct three short term rentals, and two single-family residences on the Property; and

NOW THEREFORE, in consideration of the promises and covenants contained herein, the Parties agree as follows:

1. **RECITATIONS.** The above recitations are true and correct and are incorporated herein by reference.
2. **EFFECTIVE DATE.** The Effective Date shall be the day the Agreement is fully executed by the City of Fort Pierce.
3. **DEVELOPMENT PROGRAM.**

A. **PROPERTY TITLE**

Owner shall obtain good and marketable title to the Property prior to the Effective Date. All delinquent taxes and tax certificates must be paid in full prior to the City's release of liens.



B. APPROVALS AND PERMITS

Owner shall obtain all required approvals and building permits within 365 days of the Effective Date of the Agreement.

C. COMPLETION DATE

Specified improvements contained in Exhibit "A" must be completed and an issuance of Certificate of Occupancy must be obtained within 24 months of the Effective Date ("Completion Date"). If the Certificate of Occupancy described herein is not obtained by the Completion Date, Owner may request an extension for good cause. However, any extension of Completion Date shall be at the sole discretion of the City. The City is under no obligation to perform under this Agreement if Owner fails to obtain required permits or fails to obtain the Certificate of Occupancy by the Completion Date, or any City authorized extension thereof. Should the Owner fail to obtain the Certificate of Occupancy by the Completion Date, or any City authorized extension thereof, all payments made by the Owner pursuant to this Agreement are surrendered to the City.

D. IMPROVEMENTS

All work shall be performed in accordance with all applicable City of Fort Pierce Zoning, Land Development, and Building Codes and all laws of the State of Florida.

- 1) Owner shall hire a licensed professional to prepare and submit necessary permit documents, including drawings and specifications, for the new construction. All new construction shall conform to the requirements of the technical codes for new construction.
- 2) Owner shall ensure that a properly licensed contractor(s) performs all new construction in accordance with building permit requirements and completes construction by the Completion Date.
- 3) Owner shall obtain a Certificate of Occupancy for the Property, as a means of demonstrating that the Property construction has been completed and the Property meets all applicable City and State of Florida requirements.

5. **CITY'S RELEASE OF LIENS.** Any authorized Release of Liens shall only be effective upon the Owner providing to the City full payment of the hard costs expended by the City related to the lien(s) on the Property. The hard costs shall be calculated as the total amount of all actual financial expenditures by the City associated with the lien(s) on the Property. This shall include all nuisance

abatement costs. The hard costs associated with the lien(s) on the Property that shall be paid in full by the Owner are in the amount of Twelve Thousand One Hundred Thirteen and 00/100 Dollars (\$12,113.00). The hard costs payment shall be collected at the time of issuance of a building permit or within 365 days of the Effective Date, whichever is sooner.

6. CITY'S OBLIGATIONS.

- A. The City will not institute foreclosure proceedings on the Property prior to the Completion Date, provided Owner complies with all the conditions set forth herein.
- B. Upon receipt of the hard costs as stated in accordance with paragraph 5, and pursuant to the Agreement as set forth herein, the City shall waive, release, satisfy, or rescind the lien(s) in the amount of Seventy-Seven Thousand Fifty and 08/100 Dollars (\$77,050.08), as set forth in the attached statement, attached hereto as Exhibit "B" and made a part hereof by reference, as to the Property.
- C. Upon Owner's completion of Owner's obligations under the Agreement and upon issuance of the Certificate of Occupancy by the Completion Date, the City shall issue a refund to the Owner for fifty percent of the hard costs paid, not to exceed \$10,000, in the amount of Six Thousand Fifty-Six and 50/100 Dollars (\$6,056.50), as set forth in the attached statement, attached hereto as Exhibit "B" and made a part hereof by reference.
- D. If Owner fails to complete Owner's obligations under the Agreement by the Completion Date or violates this Agreement in any manner, the City will retain the full hard costs amount paid and no refund will be granted.

7. PROOF OF COMPLIANCE. It shall be the Owner's sole responsibility to provide proof of compliance with all Owner obligations under this Agreement to the City Manager's Office, to include: proof of full payment of all hard costs, proof the building permit(s) was obtained, and proof the Certificate of Occupancy was obtained.

8. INDEMNITY. Owner shall defend, hold harmless, and indemnify the City, its officers, employees, and agents against any claim, action, loss injury, liability, cost, or expense of whatever kind or nature including, but not limited to, attorney's fees, attorney's fees on appeal, and all taxable costs of suit, for injury to persons, including death, or damage to property, arising out of or incidental to the Agreement.

9. TERMINATION. The City may terminate this Agreement if Owner materially breaches any provision of this Agreement. Upon such termination, the hard costs

amount paid is forfeited and no refund will be granted to Owner.

10. **ASSIGNMENT.** This Agreement is not assignable except with the prior written consent of the City, which consent shall be exercised at the sole discretion of the City.
11. **SEVERABILITY.** Should any provision or part of any provision of this Agreement be rendered void, invalid, or unenforceable by any court of law, for any reason, such determination shall not render void, invalid, or unenforceable any other provision of this Agreement.
12. **ENTIRE AGREEMENT.** This Agreement constitutes the entire agreement between the parties and no change will be valid unless made by supplemental written agreement executed by the Parties.
13. **NOTIFICATION.** All notices, requests, demands, or other communication hereunder shall be in writing and shall be deemed to have been served as of the delivery date appearing upon the return receipt. Each notice shall be sent by hand delivery, United States certified mail, postage prepaid with return receipt requested, to the Party at the address below. Either party may change the below-listed address at which it receives written notices by so notifying the other Party herein in writing.

CITY:
City of Fort Pierce
City Manager's Office
100 North US 1
Fort Pierce, FL 34950

OWNER:
Shores Pad LLC
650 NE 88TH Street
Miami Shores, Florida 33138

14. **WAIVER.** No act of omission or commission of either Party, including without limitation, any failure to exercise any right, remedy, or recourse, shall be deemed a waiver, release, or modification of the same. Such a waiver, release, or modification is to be affected only through a written modification to this Agreement. The City's failure to act with respect to a breach of this Agreement by the Owner does not waive its right to act with respect to subsequent or similar breaches. The failure of the City to exercise or enforce any right or provision shall not constitute a waiver of such right or provision.
15. **GOVERNING LAW AND VENUE.** This Agreement is to be construed in accordance with the laws of the State of Florida. EACH PARTY IRREVOCABLY AND UNCONDITIONALLY WAIVES, TO THE FULLEST EXTENT PERMITTED BY APPLICABLE LAW, ANY RIGHT IT MAY HAVE TO A TRIAL BY JURY IN ANY LEGAL ACTION, PROCEEDING, CAUSE OF ACTION, OR COUNTERCLAIM ARISING OUT OF OR RELATING TO THIS AGREEMENT, INCLUDING ANY EXHIBITS ATTACHED TO THIS AGREEMENT OR THE TRANSACTIONS CONTEMPLATED HEREBY. Venue for any cause of action

or claim asserted by either Party hereto shall be brought in the state court situated in St. Lucie County, Florida.

16. **HEADINGS.** The paragraph headings are inserted herein for convenience and reference only, and in no way define, limit, or otherwise describe the scope or intent of any provisions hereof.

HR

IN WITNESS WHEREOF, the Parties have caused this Agreement to be executed by their duly authorized representatives, as of the date first above written.

OWNER WITNESSES:

Sign: Jermaine Chad Ingram
Print: Jermaine Chad Ingram
Date: 6/12/2023

Sign: _____
Print: _____
Date: _____

OWNER:

Sign: EQ
Print: Enrique M Quintero
Date: 6/12/2023

ACCEPTED FOR THE CITY OF FORT PIERCE:

Sign: Linda Hudson
Linda Hudson, Mayor

Date: 6/20/23

Attest:

Linda W. Cox

Linda Cox, City Clerk

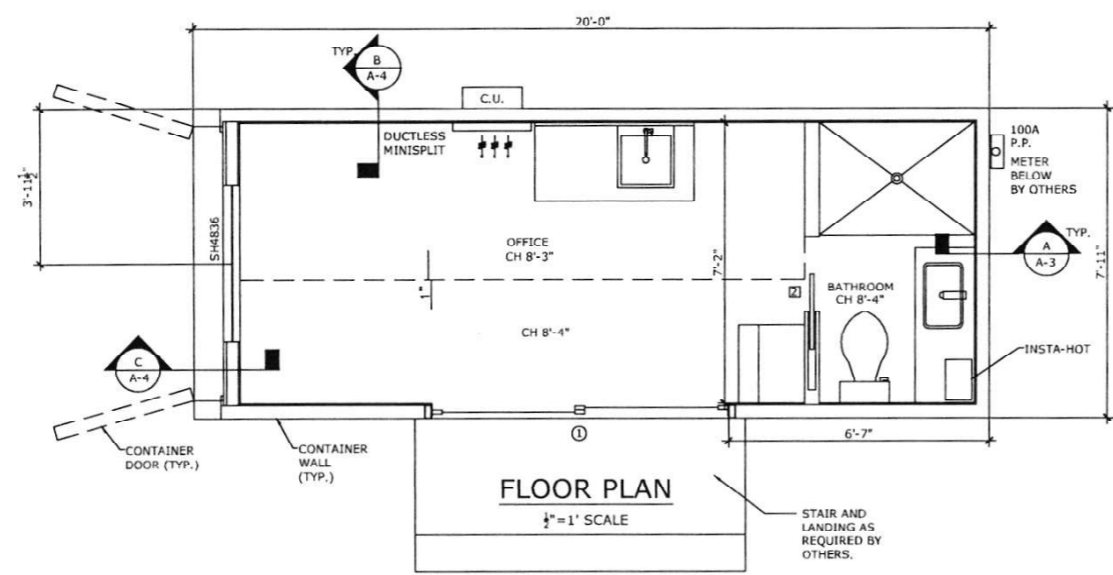
APPROVED AS TO FORM & CORRECTNESS:

Tanya M. Earley

Tanya M. Earley, Esq.
City Attorney

EXHIBIT "A"
SPECIFIED IMPROVEMENTS

BRIAN J. MASKOL
FL PE #66080



Scope of Work
New container structure

Building Code
2020 Florida Building Code: Residential
2017 National Electric Code

Design Loads
Roof Live Load: 20.0 p.s.f.
Floor Live Load: 40.0 p.s.f.
Wind Speed: 170 MPH (3 second gust)
Wind Importance Factor: 1.0
Building Category: II
Wind Exposure: C
Internal Pressure Coefficient: +/-0.18
Structure Designed: Enclosed

NOTE: FOUNDATION DESIGN BY OTHERS BASED ON SITE SPECIFIC SOIL CONDITIONS. FOUNDATION SHALL BE DESIGNED BY A LICENSED FLORIDA PROFESSIONAL ENGINEER.

AREA SCHEDULE	
OFFICE	120 SQ. FT.
BATHROOM	37 SQ. FT.
TOTAL SQ. FT.	157 SQ. FT.

PRODUCT APPROVAL							
Approval Number	Product	Model Number	Manufacturer	Class Type	Attachment Method	Building Rated Design Pressures	Product Rated Design Pressures
FL# 19092	Sliding Glass Door	Series MG-1000 Aluminum SGD	Mr. glass doors & windows mfg llc	Impact	5/16" teks or self drilling screws into metal structures (head & jamb) (3) Threads to extend beyond metal thickness (steel 1/8" minimum thickness). See product approval for spacing.	+31.2/-41.8	+65/-75
FL# 20352.1	S.H. Windows	Series MG-200	Mr. glass doors & windows mfg llc	Impact	TYPE "A" 1/4" ULTRACON INTO 2X WOOD BUCKS OR WOOD STRUCTURES WITH 1-1/2" MINIMUM PENETRATION INTO WOOD ANCHOR EDGE DISTANCE INTO WOOD STRUCTURE 1" MINIMUM TYPE "B" 1/4" KWIK-CON INTO 2X WOOD BUCKS OR WOOD STRUCTURES WITH 1-1/2" MINIMUM PENETRATION EDGE DISTANCE INTO WOOD STRUCTURE 1" MINIMUM TYPE "C" 5/16" ULTRACON INTO 2X WOOD BUCKS OR WOOD STRUCTURES WITH 1-1/2" MINIMUM PENETRATION INTO WOOD EDGE DISTANCE INTO WOOD STRUCTURE 1-1/4" SEE INSTALLATION SHEET FOR SPACING	+31.2/-41.8	+/-80

DOOR SCHEDULE

<input type="radio"/> Exterior Doors	<input type="checkbox"/> Interior Doors
Size	Type
① 7783	SLIDING GLASS DOOR
② -	FULLY LOUVERED POCKET DOOR

SHGC LESS THAN OR EQUAL TO 0.50
U=0.49

WINDOW SCHEDULE

MARK	WINDOW SIZE, WxH	TYPE	REMARKS
SH4836	48" x 36"	Single Hung	Impact

SHGC LESS THAN OR EQUAL TO 0.50
U=0.49

REVISION	DATE	DESCRIPTION

20 FOOT CONTAINER STRUCTURE
TYPE B
FLOOR PLAN, NOTES, SCHEDULES
AND PRODUCT APPROVALS

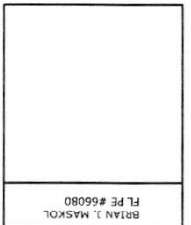
DESIGNED	DATE
GMW	05-10-22
DRAWN	DATE
GMW	05-10-22
CHECKED	

JOB NO.
2022-121

A-1



725 SE PORT SAINT LUCIE BLVD.
SUITE 203
PORT SAINT LUCIE FL 34984
(772) 285-0522
BRIAN J. MASKOL
FL PE #66080



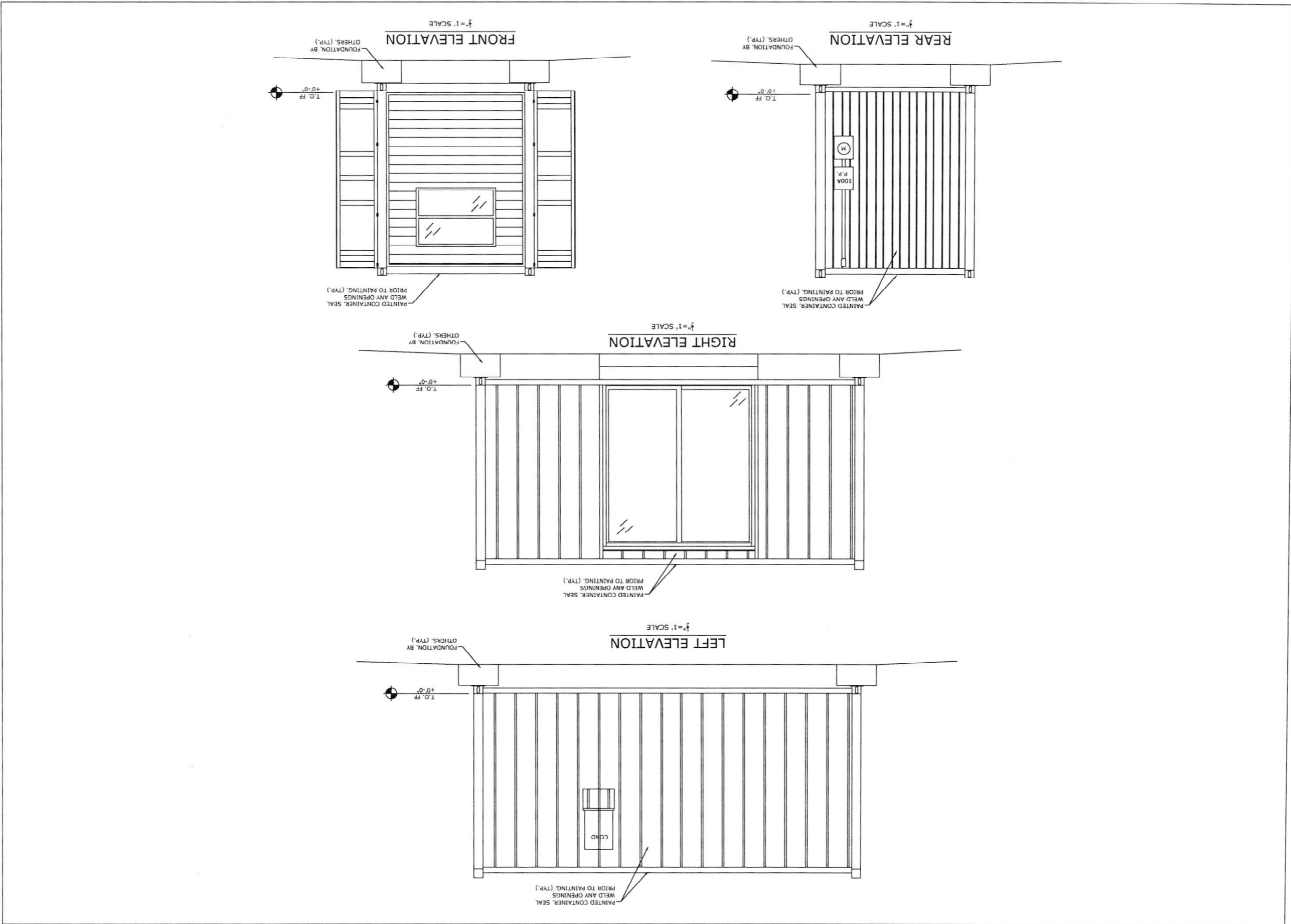
REVISION	DATE	DESCRIPTION

20 FOOT CONTAINER STRUCTURE
 TYPE B
 ELEVATIONS

DATE	DESIGNED	DRAWN	CHECKED
05-10-22	GMW	GMW	GMW
05-10-22	GMW	GMW	GMW

JOB NO.
2022-121

A-2



BRIAN J. MASKOL FL PE #66080

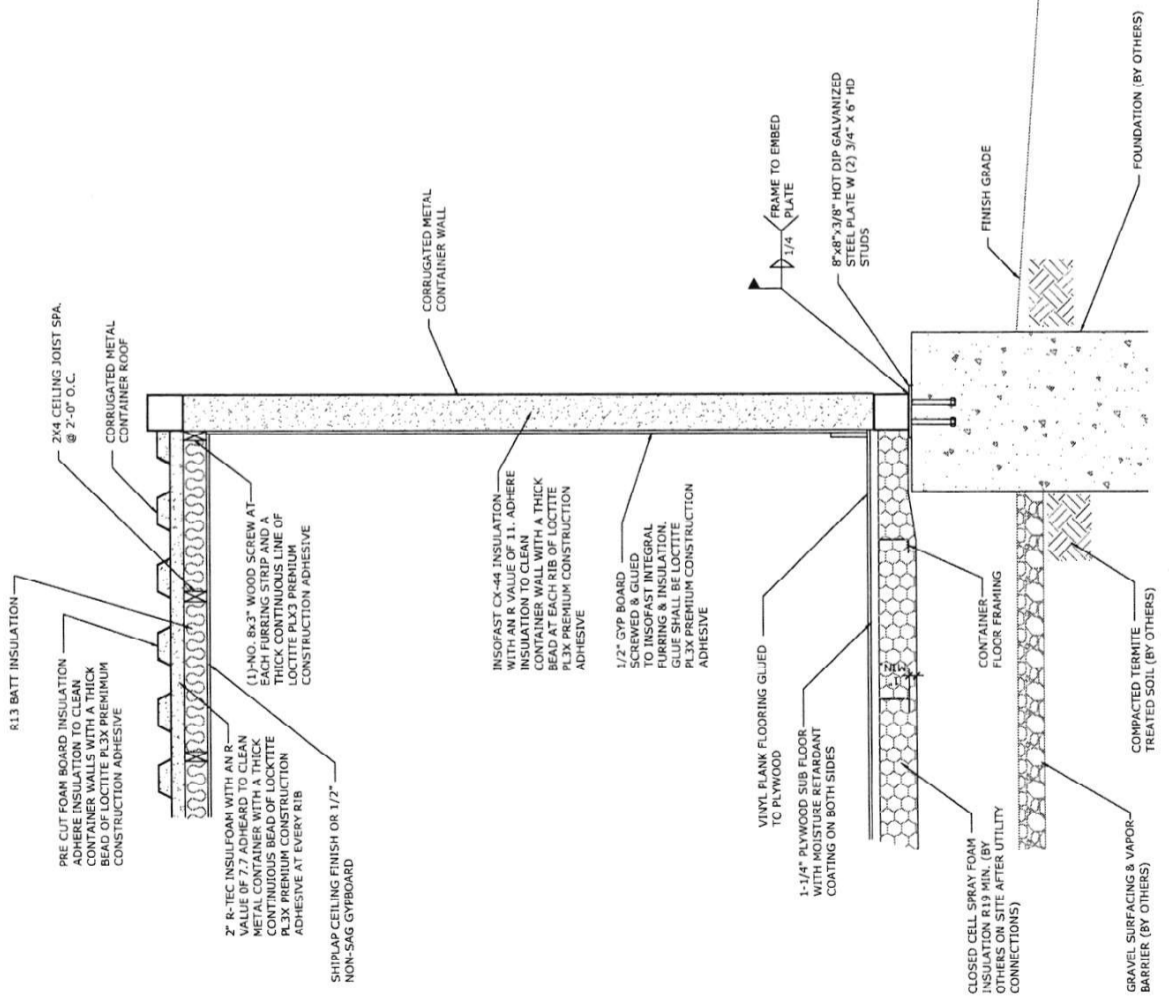
**20 FOOT CONTAINER STRUCTURE
TYPE B**
SECTIONS, DETAILS
& NOTES

DESIGNED	DATE
05-10-22	05-10-22
DRAWN	
05-10-22	
CHECKED	

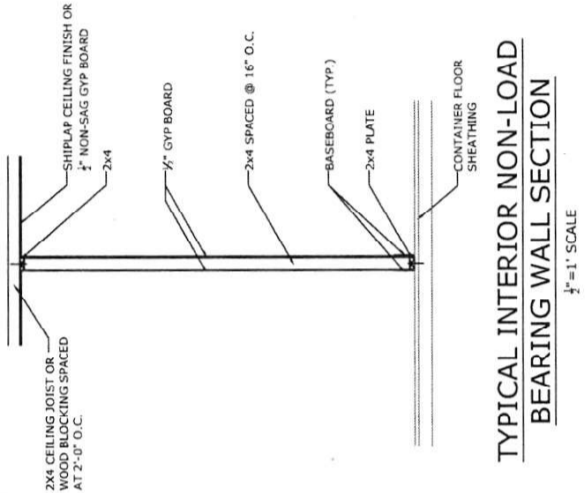
JOB NO.
2022-121

A-3

FINISH NOTES:
WALL AND CEILING FINISHES SHALL COMPLY WITH 302.9 OF THE 2024 FLORIDA RESIDENTIAL BUILDING CODE. WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200. WALL AND CEILING FINISHES SHALL HAVE A SMOKE DEVELOPED INDEX OF NOT GREATER THAN 450.
INSULATION SHALL COMPLY WITH 302.10 OF THE 2024 FLORIDA RESIDENTIAL BUILDING CODE. INSULATION SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25 WITH AN ACCOMPANYING SMOKE DEVELOPED INDEX NOT TO EXCEED 450.
GYPSUM BOARD MATERIALS SHALL COMPLY WITH 702.3.1 OF THE 2024 FLORIDA RESIDENTIAL BUILDING CODE. GYPSUM BOARD MATERIALS SHALL CONFORM TO ASTM C22, C475, C514, C1002, C1047, C1177, C1178, C1278, C1396 OR C1658. ADHESIVES SHALL CONFORM TO ASTM C537.



SECTION A
1"=1' SCALE



TYPICAL INTERIOR WALL NON-LOAD BEARING WALL SECTION
1"=1' SCALE

REVISION	DATE	DESCRIPTION

BRIAN J. MASKOL FL PE #66080

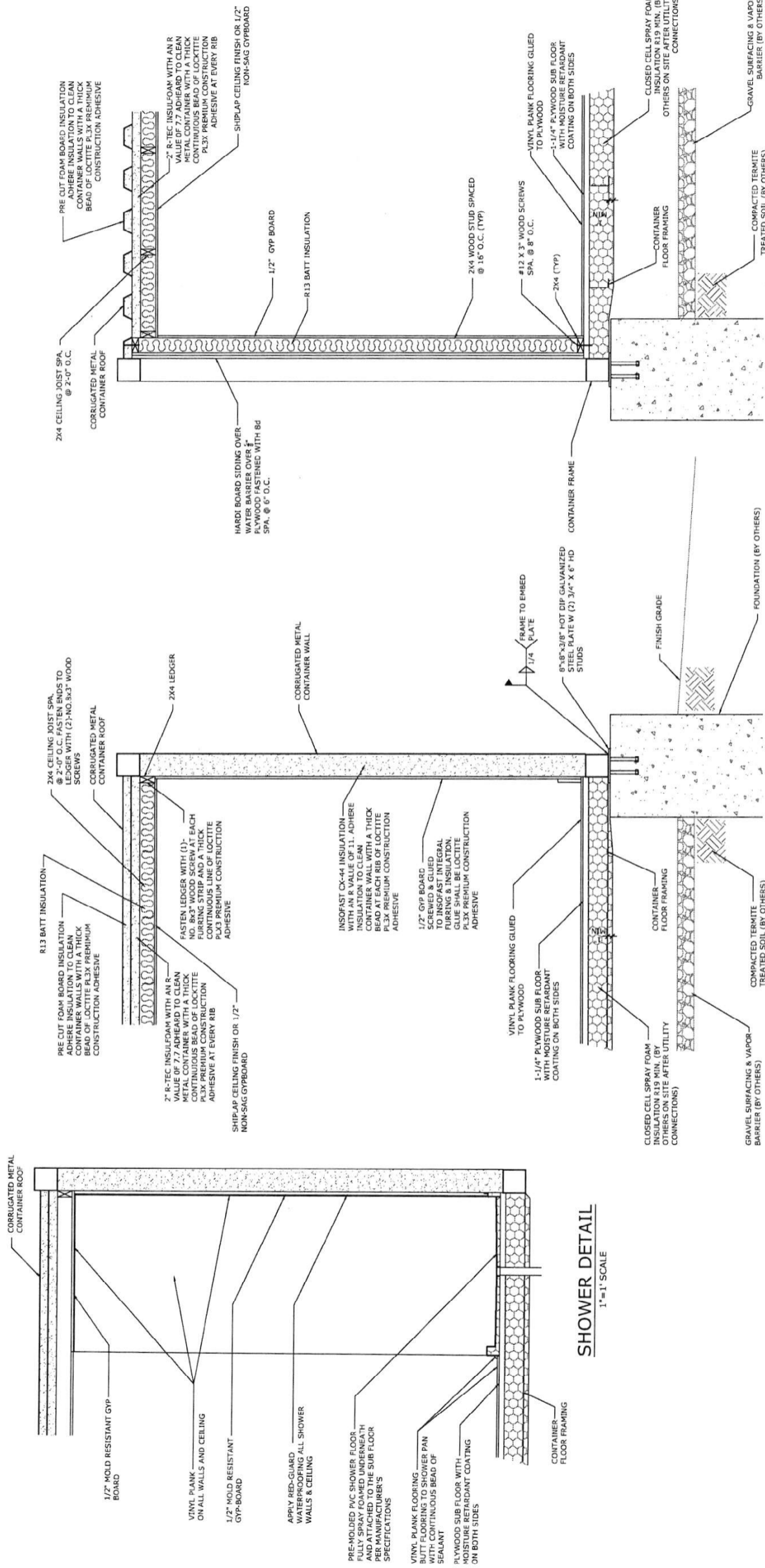
REVISION	DATE	DESCRIPTION

20 FOOT CONTAINER STRUCTURE
TYPE B
SECTIONS

DESIGNED	DATE
GMW	05-10-22
CHECKED	DATE
GMW	05-10-22

JOB NO. 2022-121

A-4



SECTION C
1"=1" SCALE

SECTION B
1"=1" SCALE

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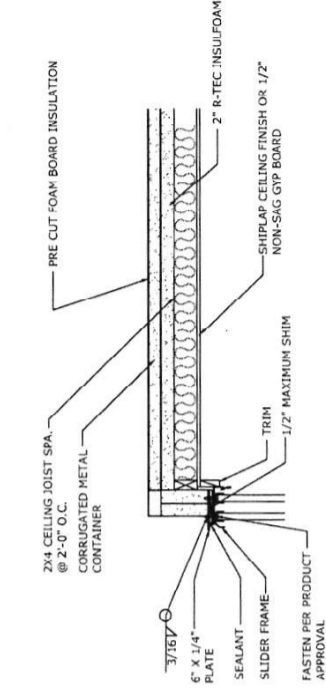
REVISION	DATE	DESCRIPTION

20 FOOT CONTAINER STRUCTURE
TYPE B
DETAILS

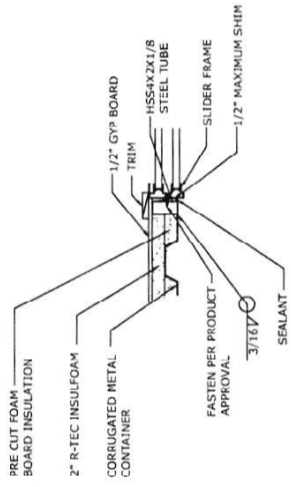
DATE	
DESIGNED	05-10-22
DRAWN	
CHECKED	05-10-22

JOB NO.	2022-121
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A-5

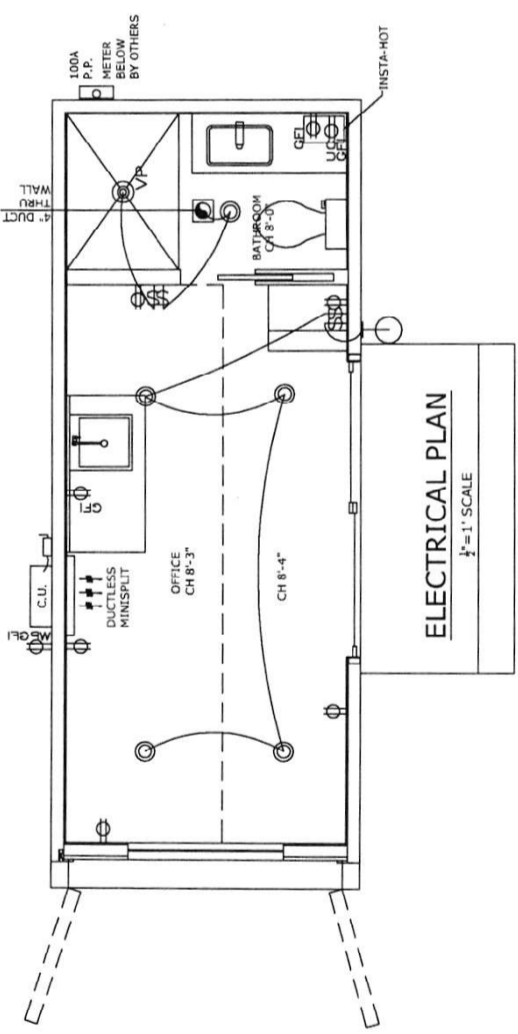


**SLIDING GLASS DOOR
HEAD DETAIL**
1"=1' SCALE



**SLIDING GLASS DOOR
JAMB DETAIL**
1"=1' SCALE

BRIAN J. MASKOL FL PE #66080



ELECTRICAL LEGEND

- 4" LED RECESSED LIGHT
- VAPOR PROOF SURFACE MOUNTED LIGHT
- ▭ LED BATHROOM LIGHT STRIP
- EXTERIOR LIGHT BALL PETERSE
- ⊠ BATHROOM EXHAUST FAN
- DUPLEX OUTLET
- 220 V. OUTLET
- ⊠ GROUND FAULT INTERRUPTER
- ⊠ WEATHER PROOF GROUND FAULT SWITCH
- ⊠ TV
- ⊠ SMOKE DETECTOR
- DISCONNECT

NOTE: RECEPTACLES IN KITCHEN & BATH AREAS TO BE 48" A.F.F.
ALL 120V SINGLE PHASE 15 & 20 AMP BRANCH CIRCUITS SUPPLYING
RECEPTACLES SHALL BE INSTALLED IN 120 VOLT. SINGLE
PHASE 15 & 20 AMP BRANCH CIRCUITS

ELECTRICAL GENERAL NOTES

- ALL ELECTRICAL WORK SHALL MEET ALL REQUIREMENTS OF NEC 2017
- ALL CONDUITS AND METAL BOXES SHALL MEET ALL REQUIREMENTS OF NEC 2017
- ALL RECEPTICAL OUTLETS SHALL BE LOCATED, DISTRIBUTED AND INSTALLED AS SPECIFIED IN NEC 2017 -- ARTICLE 210.
- MINIMUM 75% OF LAMPS SHALL BE OF HIGH EFFICIENCY PER FBC 2020 E R 404.
- ALL RECEPTACLES SHALL BE TAMPER RESISTANT PER NEC 406.12.
- ALL 15A AND 20A BREAKERS ARE TO BE OF ARC FAULT PROTECTION (AFCI) PER NEC 210.12
- 120V SMOKE ALARM SHALL BE COMBO WITH BATTERY BACK UP INTERCONNECTED TO MASTER BATHROOM LIGHT CIRCUIT. THIS CIRCUIT SHALL BE ARC FAULT PROTECTED.
- LIGHT FIXTURES IN CLOSET SHALL NOT BE INSTALLED WITHIN 12" OF SHELF.
- ALL OUTDOOR ELECTRICAL JUNCTION BOXES SHALL BE WEATHER PROOF.
- ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED ABOVE FLOOD LEVEL, TYPICAL.
- ELECTRICAL SERVICE LOCATION, SHALL BE COORDINATED WITH PPL. REFER TO RISER DIAGRAM FOR SERVICE CONDUCTOR SIZES.

REVISION	DATE	DESCRIPTION

**20 FOOT CONTAINER STRUCTURE
TYPE B
ELECTRICAL PLAN AND NOTES**

DESIGNED	DATE
GHW	05-10-22
DRAWN	DATE
GHW	05-10-22
CHECKED	

JOB NO. 2022-121

E-1

BRIAN J. MASKOL FL PE #66080

Electrical Load Calculations

157 Living SF. at 3 VA	471 VA
(2) Two 20 Amp Appliance Ocls	3000 VA
Insta Hot	2000 VA
Total	5,471 VA
AC Heat at 100%	2,700 VA
Total	15,149 VA

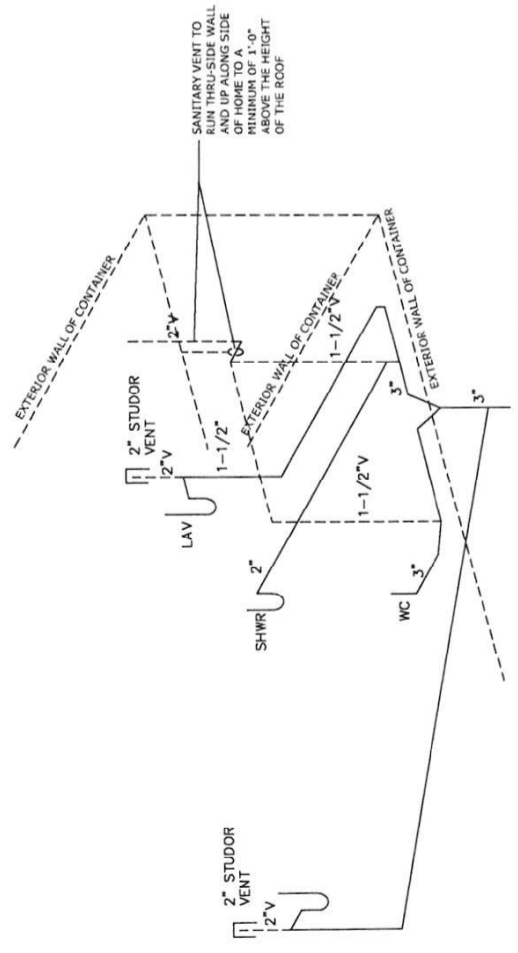
11,571 VA / 240 V = 48 Amps

100 Amp NEW Service

Electrical contractor to verify all equipment loads prior to start of construction. Electrical contractor to recalculate electrical schedule if loads are to be modified

MAINS: <input checked="" type="checkbox"/> LOW CENTER <input type="checkbox"/> TOP <input type="checkbox"/> BOTTOM PHASE: 1 <input checked="" type="checkbox"/> MCB AIC: 10K TRIP: WIRE: 3		PANEL DESIG: MAIN		BUSSING: <input checked="" type="checkbox"/> CU <input type="checkbox"/> AL <input type="checkbox"/> ISO GROUND <input type="checkbox"/> HALF NEUTRAL <input checked="" type="checkbox"/> FULL NEUTRAL <input checked="" type="checkbox"/> STD. GROUND BUS AMPS: 100		MOUNTING: <input checked="" type="checkbox"/> SURFACE <input type="checkbox"/> FLUSH VOLTS: 120/240 NEMA TYPE: 3R	
FED FROM: SUPPLY FEEDER:		LOCATION: EXTERIOR		LOAD DESCRIPTION		FEEDER	
COND	WIRE	EG	LOAD DESCRIPTION	COND	WIRE	EG	
12	1	1	BATH LIGHTING	12	1	1	
12	1	1	DEDICATED CIRCUIT	12	1	1	
12	1	1	EXTERIOR LIGHTING	12	1	1	
12	1	1	AIRSTON POS WATER HEATER	12	1	1	
12	1	1	HVAC	12	1	1	
12	1	1	SPACE	12	1	1	

NOTES:
 1. WIRE SIZE SHALL MATCH O.C. TRIP SIZE.
 2. CONDUIT SHALL BE RIMEX UNLESS NOTED AS FOLLOWS: P-PVC, IMC, MC-METAL-CLAD CABLE, NM-NON-METALLIC SHEATHED CABLE.
 3. FULLY RATED PANEL.



PLUMBER TO LOCATE AND CONNECT TO SANITARY SYSTEM (BY OTHERS)

PLUMBING RISER DIAGRAM

NOT TO SCALE

PROVIDE A WATER HAMMER & SHUT OFF VALVE AT EACH FIXTURE AND INSULATE ALL HOT WATER LINES

REVISION	DATE	DESCRIPTION

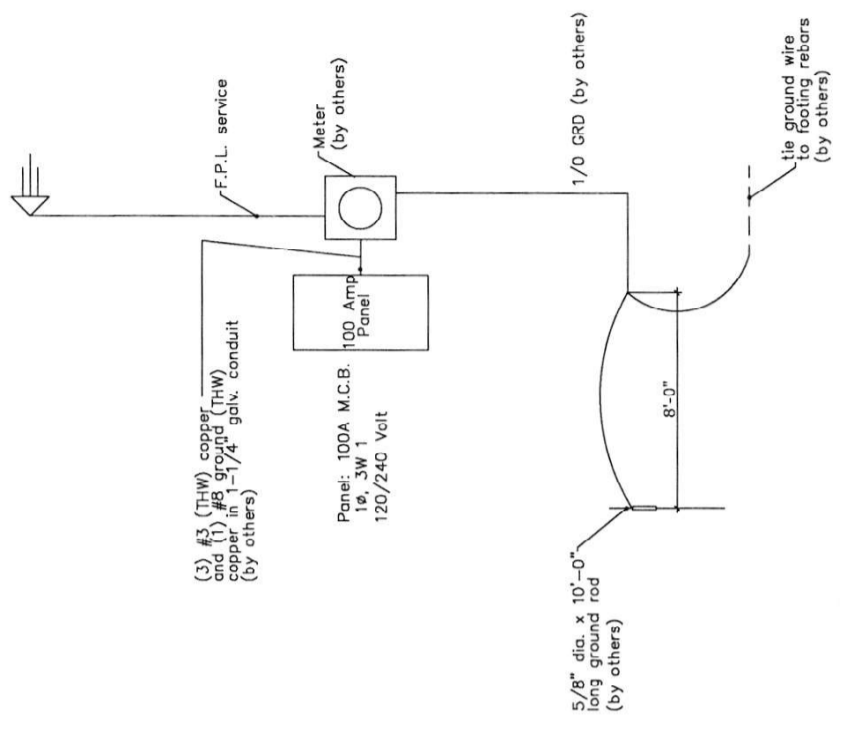
20 FOOT CONTAINER STRUCTURE TYPE B ELECTRICAL DETAILS & SANITARY RISER

DESIGNED	DATE
DRAWN	05-10-22
CHECKED	05-10-22

JOB NO. 2022-121

E-2

Electrical Riser Diagram



BRIAN J. MASKOL FL PE #66080

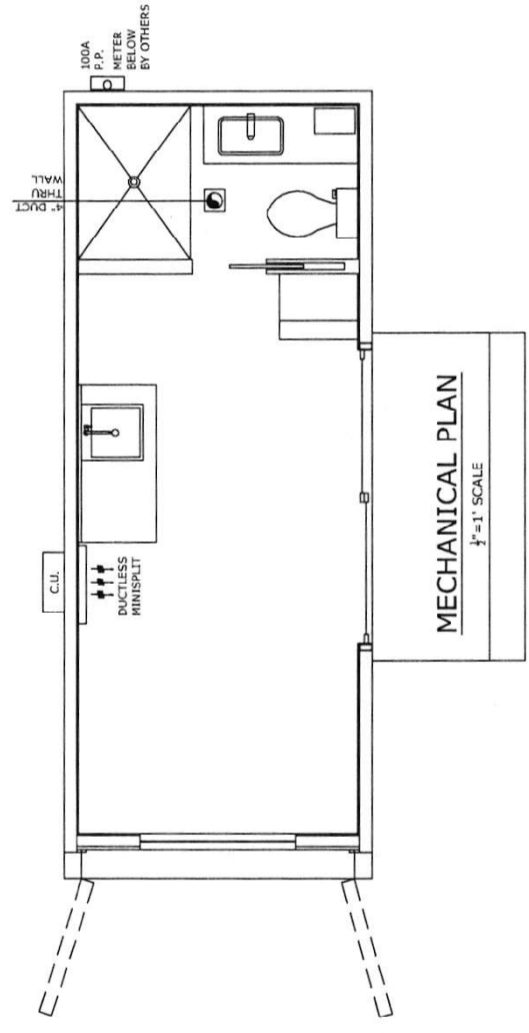
20 FOOT CONTAINER STRUCTURE
TYPE B
MECHANICAL PLAN &
SCHEDULE

DESIGNED GWW	DATE 05-11-22
DRAWN GWW	CHECKED
	DATE 05-11-22

JOB NO. 2022-121

M-1

REVISION	DATE	DESCRIPTION



ADVANTAGE SERIES MINI SPLIT HEAT PUMP									
TAG	MANUFACTURER	MODEL NO.	AMBIENT TEMP.	TONNAGE	POWER	M.C.A.	M.O.C.P.	WEIGHT	NOTES
MS	MR COOL	A-12-HP-WMAH-115B A-12-HP-C-115B	91°F	1.0	115/60/1	15	20	INDOOR 24.91 OUTDOOR 67.28	

BRIAN J. MASKOL FL PE #66080

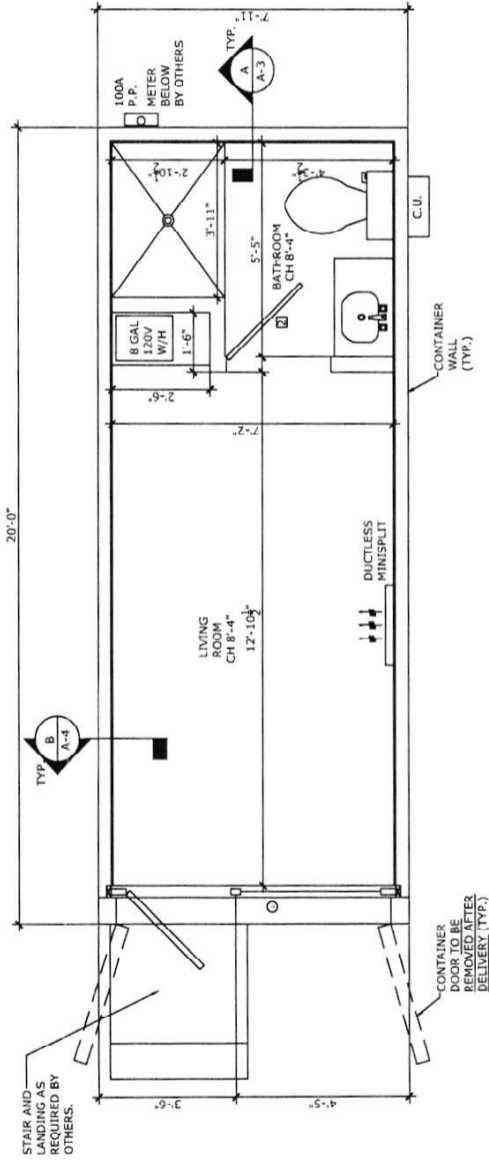
Scope of Work
New container structure

Building Code
2020 Florida Building Code: Residential
2017 National Electric Code

Design Loads
Roof Live Load: 20.0 p.s.f.
Floor Live Load: 40.0 p.s.f.
Wind Speed: 170 MPH (3 second gust)
Wind Importance Factor: 1.0
Building Category: II
Wind Exposure: C
Internal Pressure Coefficient: +/-0.18
Structure Designed: Enclosed

NOTE; FOUNDATION DESIGN BY OTHERS BASED ON SITE SPECIFIC SOIL CONDITIONS. FOUNDATION SHALL BE DESIGNED BY A LICENSED FLORIDA PROFESSIONAL ENGINEER.

AREA SCHEDULE	
LIVING ROOM	114 SQ. FT.
BATHROOM	43 SQ. FT.
TOTAL SQ. FT.	157 SQ. FT.



FLOOR PLAN
1/4" = 1' SCALE

20 FOOT CONTAINER STRUCTURE
TYPE A
FLOOR PLAN, NOTES, SCHEDULES
AND PRODUCT APPROVALS

DATE	DESIGNED	DATE
05-10-22	05-10-22	
05-10-22	05-10-22	
CHECKED	BY	

JOB NO.	2022-121
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A-1

DOOR/WINDOW SCHEDULE

<input type="checkbox"/> Exterior Doors	<input type="checkbox"/> Interior Doors
Type	
Size	WINDOW WALL SYSTEM
1	CUSTOM
2	2868
	FULLY LOUVERED DOOR

U FACTOR, SHGC FROM BRUCE, GLASS TYPE

PRODUCT APPROVAL

Approval Number	Product	Model Number	Manufacturer	Glass Type	Attachment Method	Building Rated Design Pressures	Product Rated Design Pressures
FL# 27000.1	Window wall system	Series WJ-5000 Aluminum Window Wall System	mr glass doors & windows mfg llc	Impact	1/4" tabs or self drilling screws at 4" into metal structure (C) threads to extend beyond metal thickness (steel 1/8" minimum thickness) or 1/8" Ultrason by Eico into 2x wood bucks with 1-1/2" min. penetration. See product approval for spacing.	+31.2/-41.8	+/-70

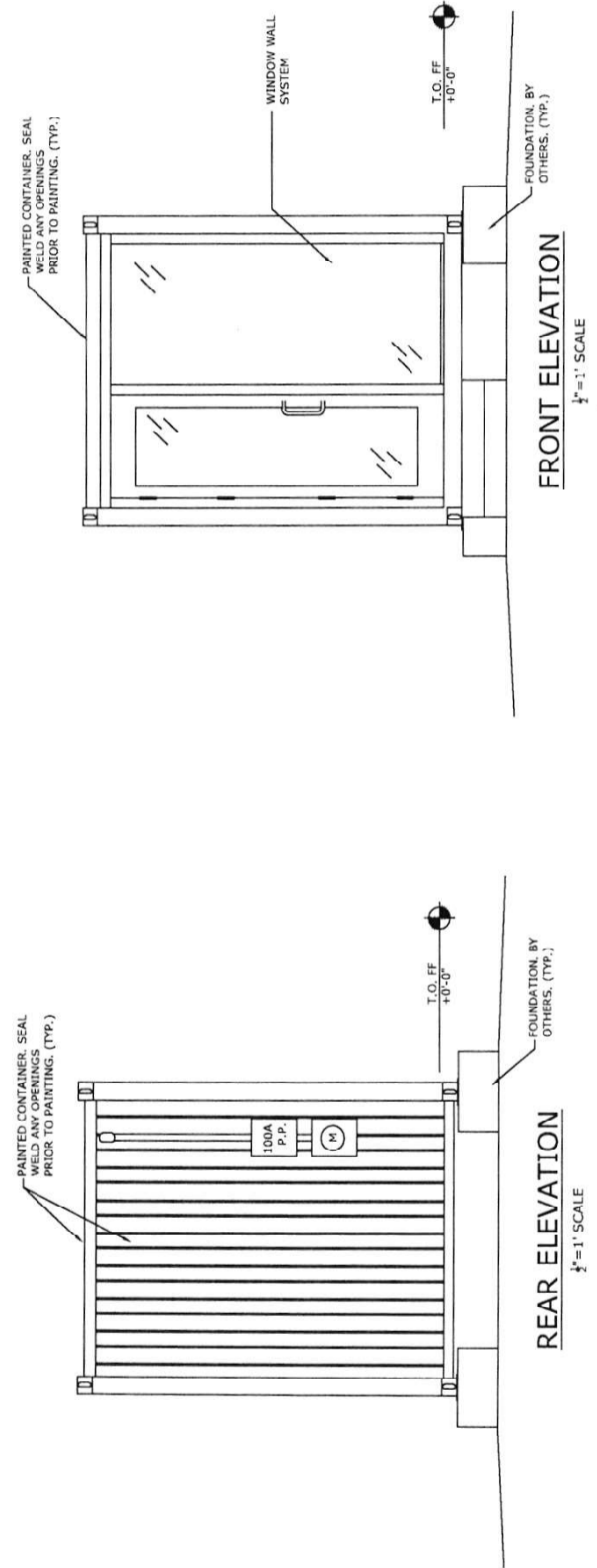
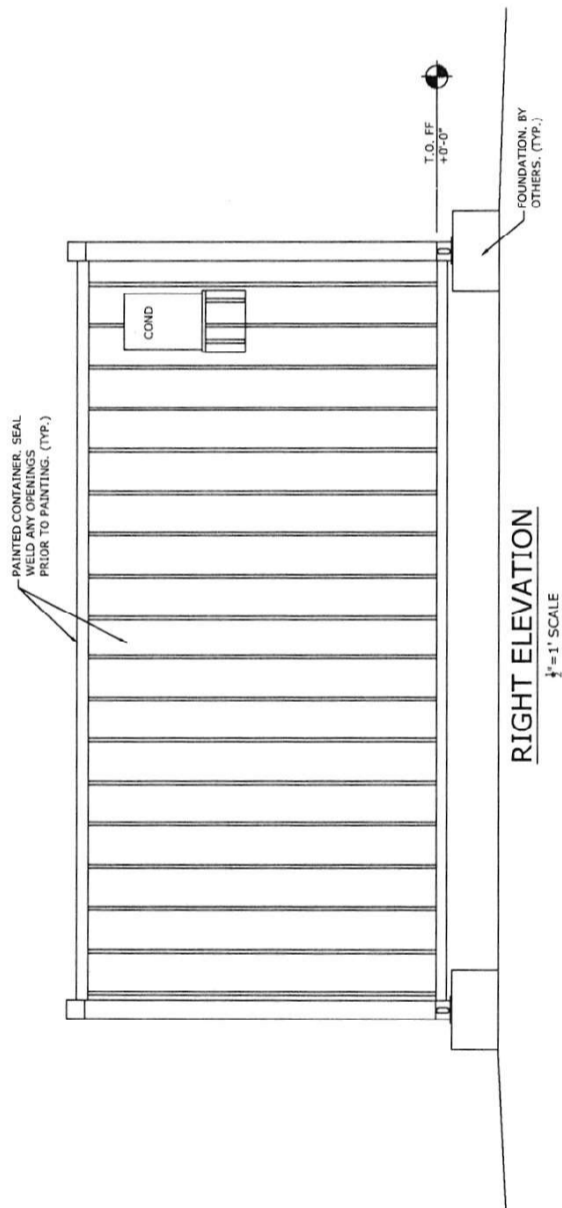
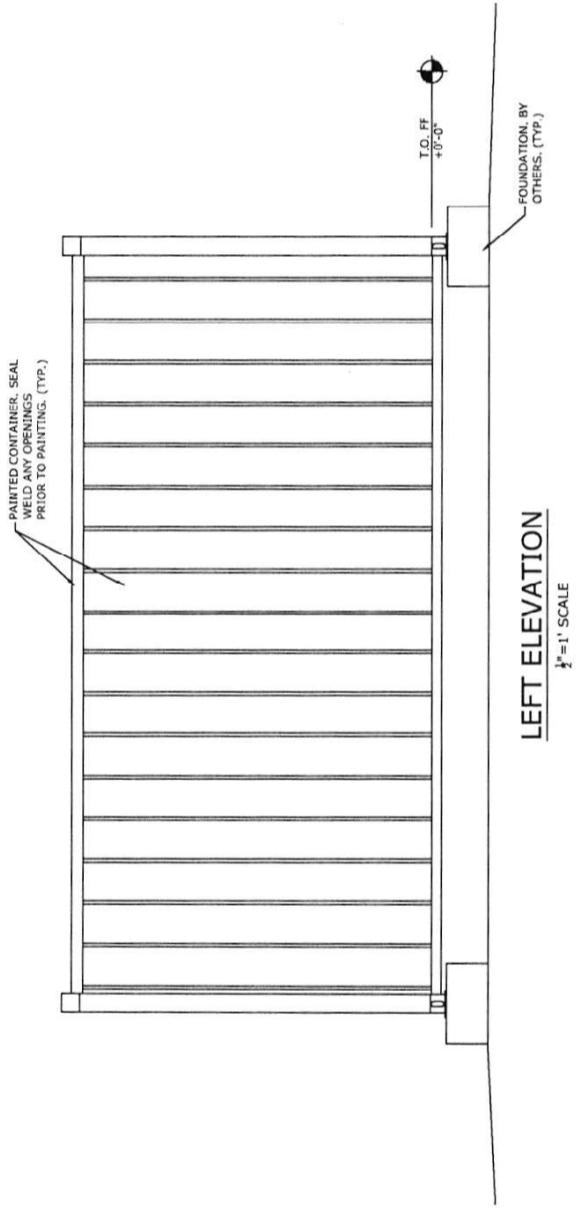
REVISION	DATE	DESCRIPTION

**20 FOOT CONTAINER STRUCTURE
TYPE A
ELEVATIONS**

DATE	DESIGNED	DRAWN	CHECKED
05-10-22			
05-10-22			

JOB NO.
2022-121

A-2



BRIAN J. MASKOL FL PE #66080

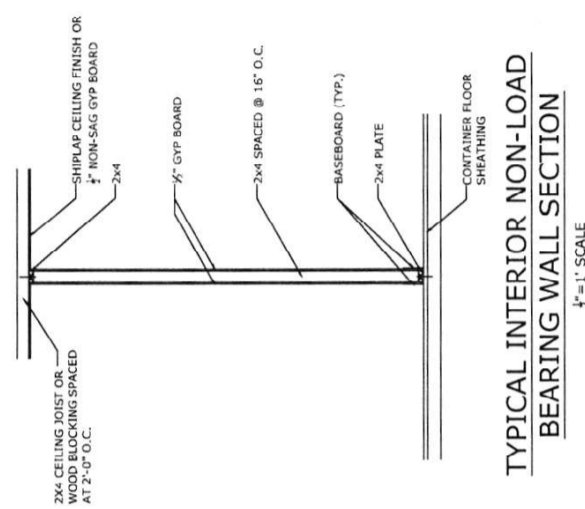
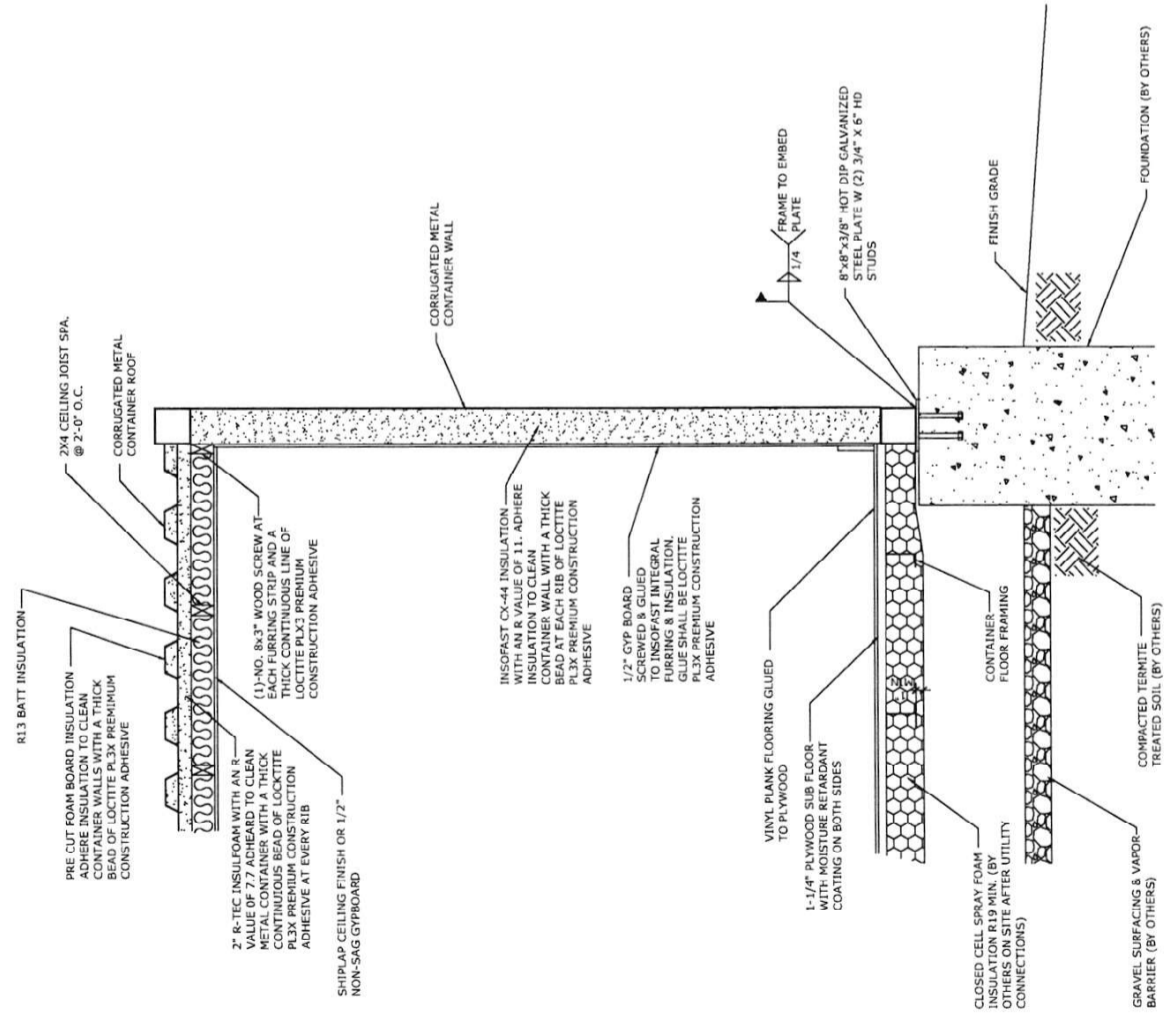
**20 FOOT CONTAINER STRUCTURE
TYPE A**
SECTIONS, DETAILS
& NOTES

DATE	DESIGNED	DESIGNED BY	CHECKED
05-10-22			
05-10-22			

JOB NO. 2022-121

A-3

FINISH NOTES:
WALL AND CEILING FINISHES SHALL COMPLY WITH 302.9 OF THE 2020 FLORIDA RESIDENTIAL BUILDING CODE. WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200. WALL AND CEILING FINISHES SHALL HAVE A SMOKE DEVELOPED INDEX OF NOT GREATER THAN 450.
INSULATION SHALL COMPLY WITH 303.1.0 OF THE 2020 FLORIDA RESIDENTIAL BUILDING CODE. INSULATION MATERIALS SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25 WITH AN ACCOMPANYING SMOKE DEVELOPED INDEX NOT TO EXCEED 500.
GYPSUM BOARD MATERIALS SHALL COMPLY WITH 702.3.1.1 OF THE 2012 FLORIDA RESIDENTIAL BUILDING CODE. GYPSUM BOARD MATERIALS SHALL COMPLY WITH ASTM C226, C247.5, C514, C1002, C1047, C1177, C1178, C1278, C1396 OR C1098. ADHESIVES SHALL CONFORM TO ASTM C537.



SECTION A
1"=1' SCALE

REVISION	DATE	DESCRIPTION

BRIAN J. MASKOL FL PE # 66080

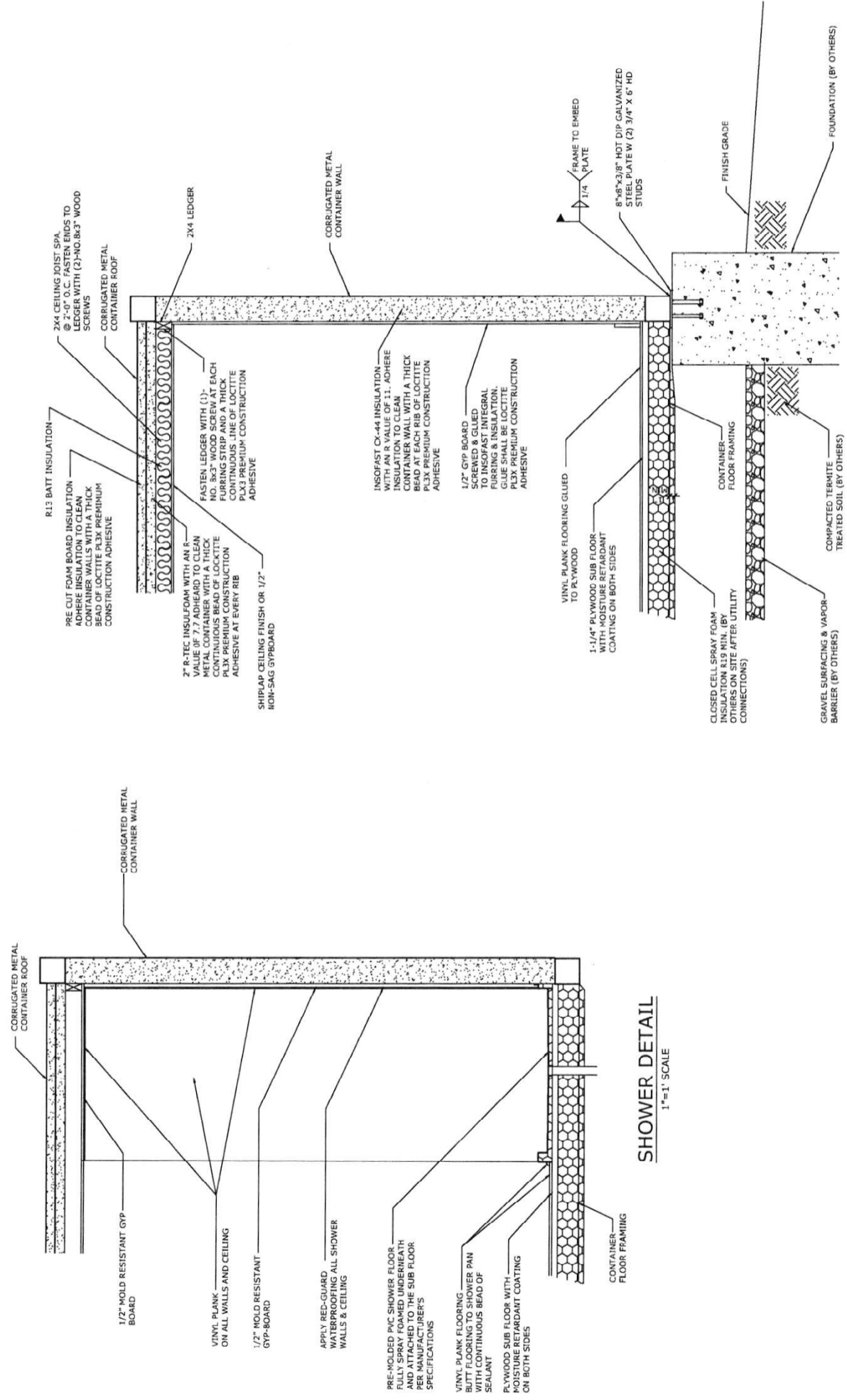
REVISION	DATE	DESCRIPTION

20 FOOT CONTAINER STRUCTURE
TYPE A
SECTIONS

DATE	DESIGNED
05-10-22	
CHECKED	DATE
	05-10-22

JOB NO.
2022-121

A-4



SECTION B
1"=1' SCALE

SHOWER DETAIL
1"=1' SCALE

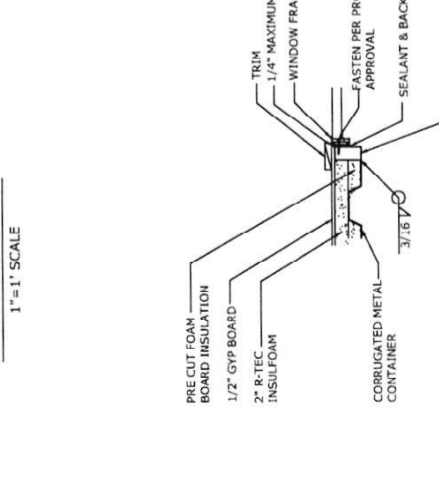
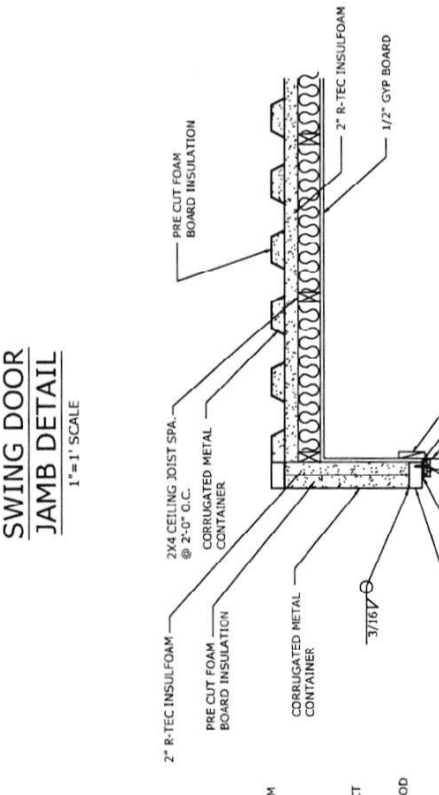
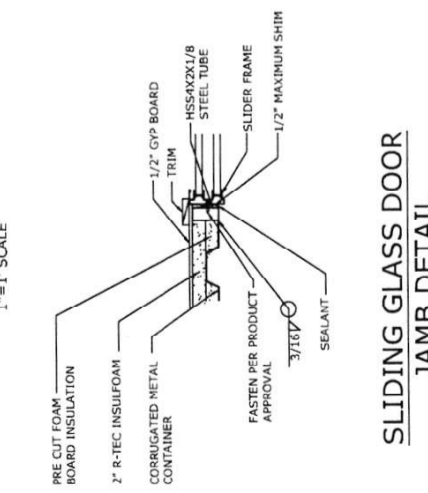
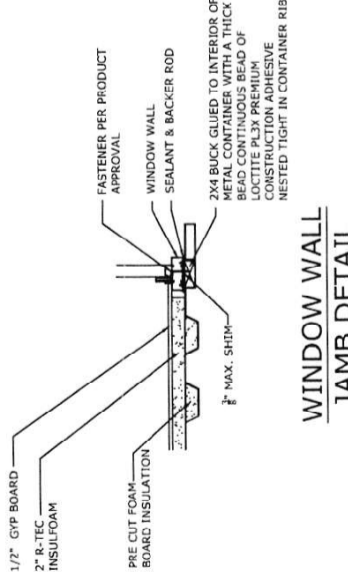
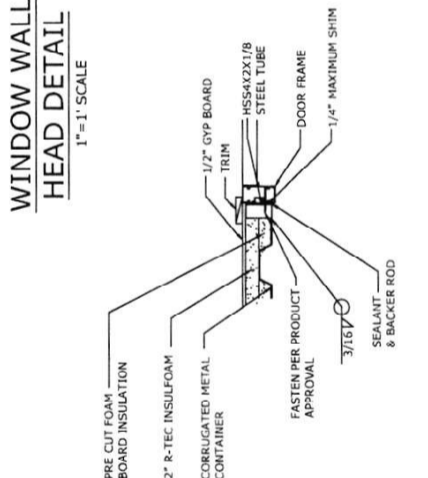
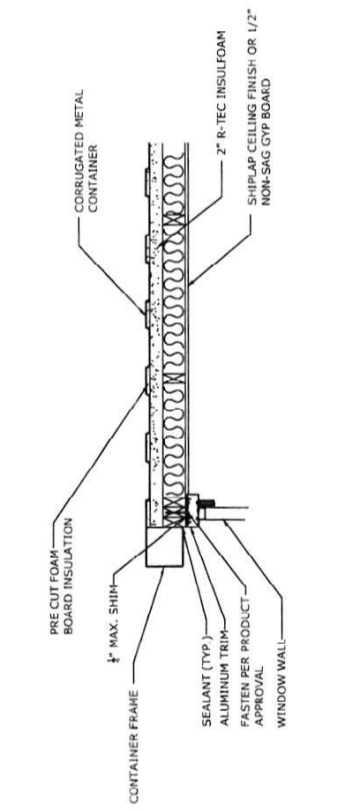
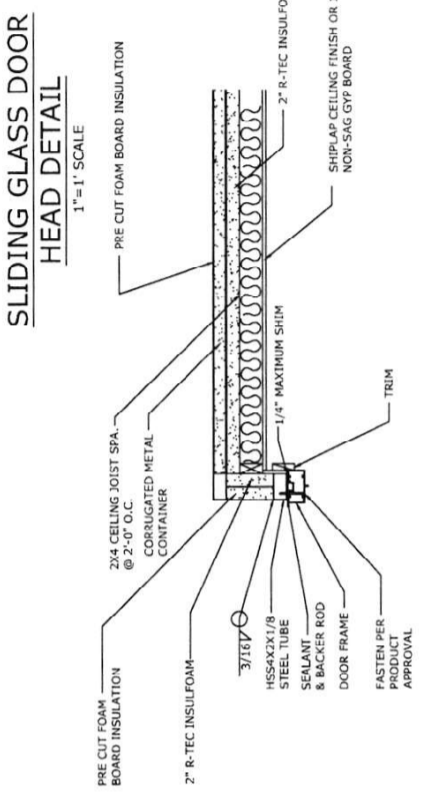
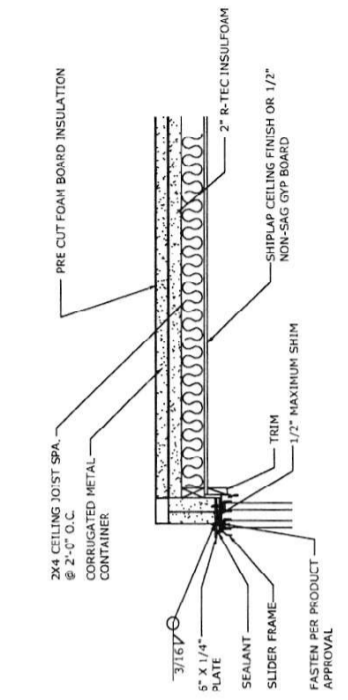
BSIAN J. MASKOL FL PE #66080

REVISION	DATE	DESCRIPTION

20 FOOT CONTAINER STRUCTURE
TYPE A
DETAILS

DATE	DESIGNED
05-10-22	
CHECKED	DATE
05-10-22	

JOB NO. 2022-121

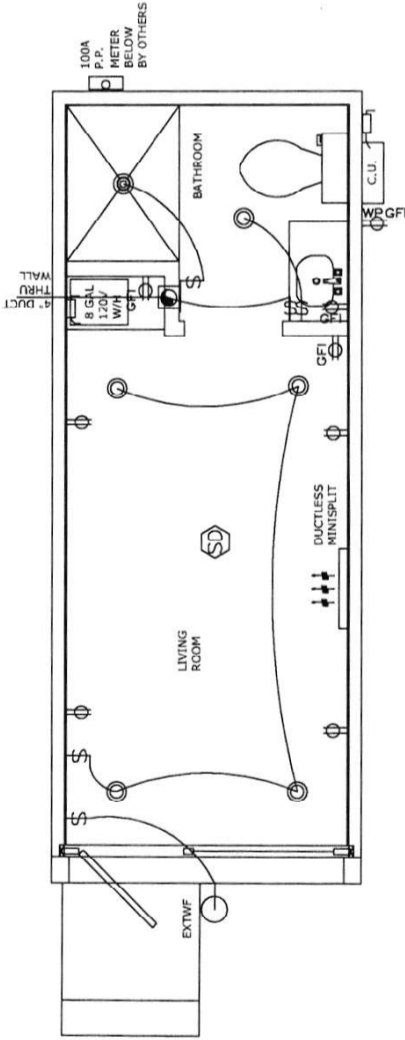


BRIAN J. MASKOL FL PE #66080

ELECTRICAL LEGEND

- 4" LED RECESSED LIGHT
- ◻ LED BATHROOM LIGHT STRIP
- ⊕ EXTERIOR LIGHT BALL FIXTURE
- ⊕ BATHROOM EXHAUST FAN
- ⊕ DUPLEX OUTLET
- ⊕ 220 V OUTLET
- ⊕ GROUND FAULT INTERRUPTER
- ⊕ WEATHER PROOF GROUND FAULT SWITCH
- ⊕ TELEVISION
- ⊕ SMOKE DETECTOR
- ⊕ DISCONNECT

NOTE: RECEPTACLES IN KITCHEN & BATH AREAS TO BE 48" A.F.F.
ALL 120V SINGLE PHASE 15 & 20 AMP BRANCH CIRCUITS SUPPLYING
RECEPTACLES SHALL BE INSTALLED IN 100 VOLT SINGLE
PHASE 15 & 20 AMP BRANCH CIRCUITS



ELECTRICAL PLAN
3/4"=1' SCALE

ELECTRICAL GENERAL NOTES

- ALL ELECTRICAL WORK SHALL MEET ALL REQUIREMENTS OF NEC 2017
- ALL CONDUITS AND METAL BOXES SHALL MEET ALL REQUIREMENTS OF NEC 2017
- ALL RECEPTICAL OUTLETS SHALL BE LOCATED, DISTRIBUTED AND INSTALLED AS SPECIFIED IN NEC 2017 - ARTICLE 210.
- MINIMUM 75% OF LAMPS SHALL BE OF HIGH EFFICIENCY PER NEC 2020 E R 404.
- ALL RECEPTACLES SHALL BE TAMPER RESISTANT PER NEC 406.12.
- ALL 15A AND 20A BREAKERS ARE TO BE OF ARC FAULT PROTECTION (AFCI) PER NEC 210.12
- 120V SMOKE ALARM SHALL BE COMBO WITH BATTERY BACK UP INTERCONNECTED TO MASTER BATHROOM LIGHT CIRCUIT. THIS CIRCUIT SHALL BE ARC FAULT PROTECTED.
- LIGHT FIXTURES IN CLOSET SHALL NOT BE INSTALLED WITHIN 12" OF SHELF.
- ALL OUTDOOR ELECTRICAL JUNCTION BOXES SHALL BE WEATHER PROOF.
- ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED ABOVE FLOOD LEVEL, TYPICAL.
- ELECTRICAL SERVICE LOCATION, SHALL BE COORDINATED WITH FPL REFER TO RISER DIAGRAM FOR SERVICE CONDUCTOR SIZES.

**20 FOOT CONTAINER STRUCTURE
TYPE A
ELECTRICAL PLAN AND NOTES**

REVISION	DATE	DESCRIPTION

DESIGNED	DATE
GNW	05-10-22
DRAWN	DATE
GNW	05-10-22
CHECKED	DATE

JOB NO.	2022-121
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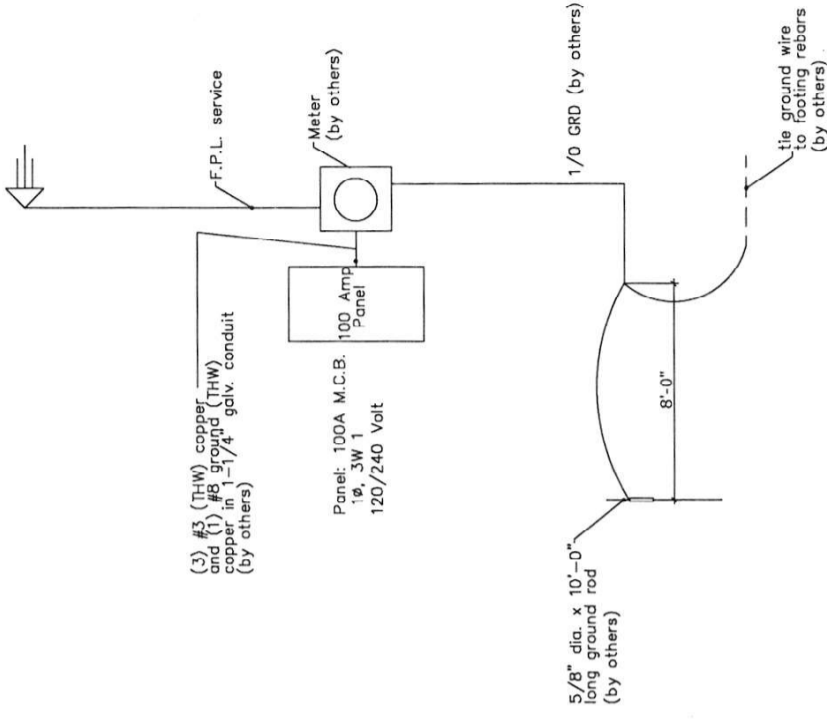
BRIAN J. MASKOL FL PE #66080

Electrical Load Calculations

157 Living S.F. at 3 VA	471 VA
(2) Two 20 Amp Appliance Ckts	3000 VA
Water Heater	2000 VA
Total	5,471 VA
AC Heat at 100%	2,700 VA
Total	15,149 VA

11,571 VA / 240 V = 48 Amps
100 Amp NEW Service

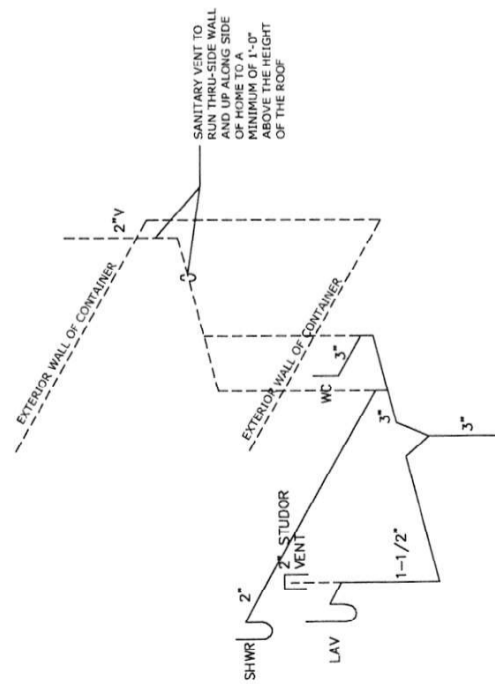
Electrical contractor to verify all equipment loads prior to start of construction. Electrical contractor to recalculate electrical schedule if loads are to be modified



Electrical Riser Diagram

MAINS: <input checked="" type="checkbox"/> LOAD CENTER <input type="checkbox"/> PANELBOARD <input type="checkbox"/> MLD <input type="checkbox"/> TOP <input type="checkbox"/> BOTTOM PHASE: 1 <input checked="" type="checkbox"/> MCB AIC: 10K TRIP: WIRE: 3 FED FROM: SUPPLY FEEDER:		PANEL DESIG: MAIN LOCATION: EXTERIOR		BUSSING: <input checked="" type="checkbox"/> CU <input type="checkbox"/> AL <input type="checkbox"/> ISO GROUND <input type="checkbox"/> HALF NEUTRAL <input checked="" type="checkbox"/> FULL NEUTRAL <input checked="" type="checkbox"/> STD. GROUND BUS AMPS: 100		MOUNTING: <input checked="" type="checkbox"/> SURFACE <input type="checkbox"/> FLUSH VOLTS: 120/240 NEMA TYPE: 3R	
FEEDER	WIRE	EG	LOAD DESCRIPTION	COND	WIRE	FEEDER	EG
12	1	1	BATH LIGHTING	12	12	1	1
12	1	1	DEDICATED CIRCUIT	12	12	1	1
12	1	1	EXTERIOR LIGHTING	12	12	1	1
12	1	1	HOT WATER HEATER	12	12	1	1
1	12	1	HMC	12	12	1	1

NOTES:
 1. PER ALL WIRE & TRIP SIZE.
 2. PER ALL WIRE & TRIP SIZE.
 3. FULL RATED PANEL.



PLUMBING RISER DIAGRAM
NOT TO SCALE

PLUMBER TO LOCATE AND CONNECT TO SANITARY SYSTEM (BY OTHERS)

PROVIDE A WATER HAMMER & SHUT OFF VALVE AT EACH FIXTURE AND INSULATE ALL HOT WATER LINES

20 FOOT CONTAINER STRUCTURE
TYPE A
ELECTRICAL DETAILS &
SANITARY RISER

REVISION	DATE	DESCRIPTION

DESIGNED	DATE
TSZAWN	05-10-22
CHECKED	DATE
GMW	05-10-22

JOB NO.	2022-121
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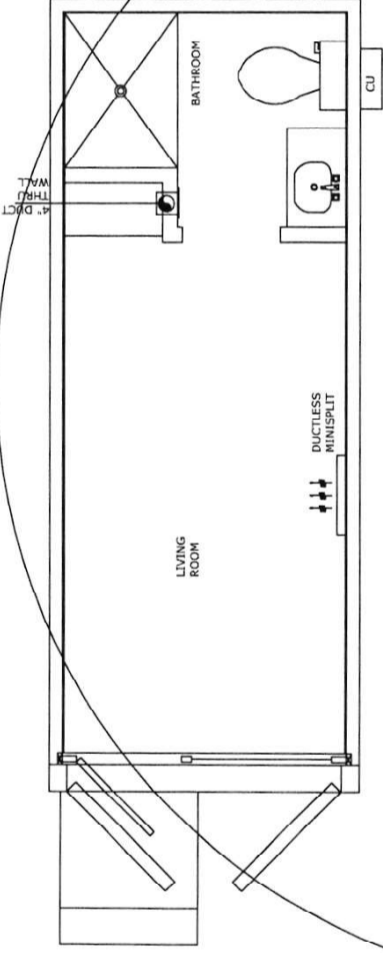
BRIAN J. MASKOLO FL PE #66080

20 FOOT CONTAINER STRUCTURE
TYPE A
MECHANICAL PLAN,
SCHEDULE & NOTES

DESIGNED	DATE
05-10-22	05-10-22
CHECKED	DATE
05-10-22	05-10-22

JOB NO.
2022-121

M-1



MECHANICAL PLAN
1/4" = 1' SCALE

CONDENSER SCHEDULE:									
TAG	MANUFACTURER	MODEL NO.	AMBIENT TEMP.	TONNAGE	POWER	M.C.A.	M.O.C.P.	WEIGHT	NOTES
CU	TRANE	4TTR6018J1	91°F	1.5	208-230V	18	25	276	

AIR HANDLING UNIT SCHEDULE:												
TAG	MANUFACTURER	MODEL NO.	NOM. CFM	O.A. CFM	KW	POWER	M.C.A.	M.O.C.P.	WEIGHT	THERMOSTAT PROGRAMMABLE	FILTER FRAME	NOTES
AHU	TRANE	TEM4A0B18S21	627	--	2.2	208/230 VAC	2.8	15	117	PROGRAMMABLE	YES	

REVISION	DATE	DESCRIPTION

DESIGNED	DATE
DRAWN	05-10-22
CHECKED	05-10-22

JOB NO.
2022-121

A-1

40 FOOT CONTAINER HOUSE
FLOOR PLAN, NOTES, SCHEDULES
AND PRODUCT APPROVALS

REVISION	DATE	DESCRIPTION

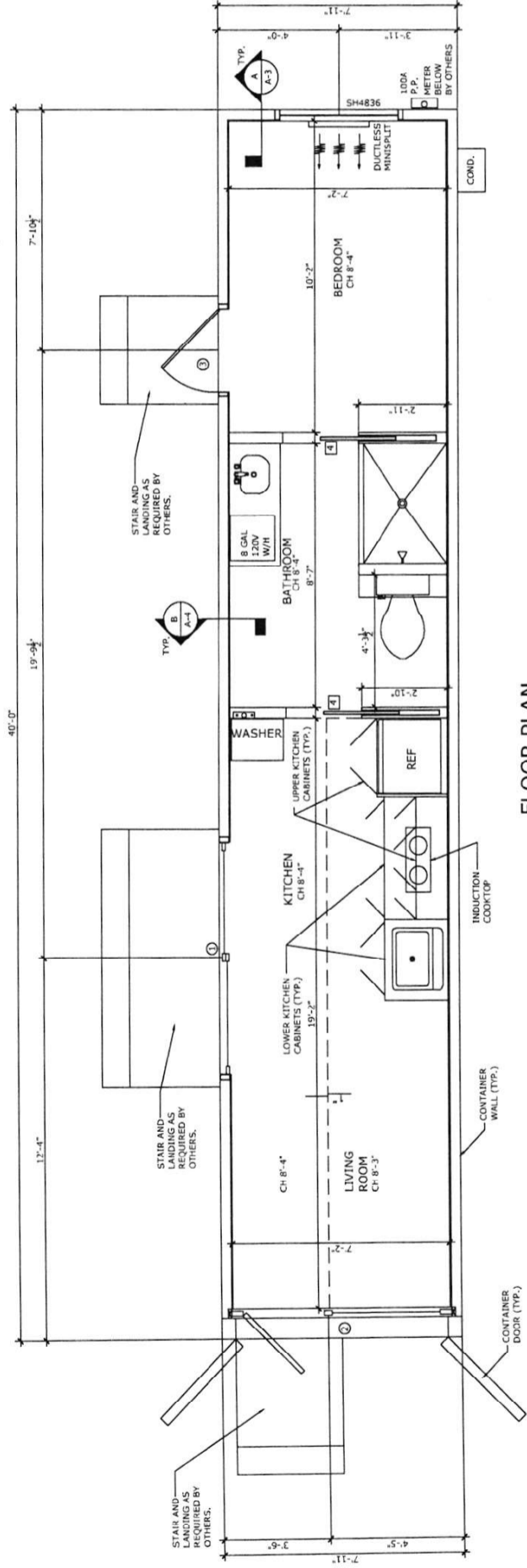
Scope of Work
New single family residence

Building Code
2017 National Electrical Code
2017 National Electrical Code

Design Loads
Dead Load: 20.0 p.s.f.
Floor Live Load: 40.0 p.s.f.
Wind Speed: 170 MPH (3 second gusts)
Wind Importance Factor: 1.0
Wind Exposure: C
Internal Pressure Coefficient: +/-0.18
Structure Designed: Enclosed

AREA SCHEDULE	AREA
LIVING ROOM	82 SQ. FT.
KITCHEN	72 SQ. FT.
BEDROOM	83 SQ. FT.
BATHROOM	74 SQ. FT.
TOTAL SQ. FT.	312 SQ. FT.

NOTE: FOUNDATION DESIGN BY OTHERS BASED ON SITE SPECIFIC DATA. FOUNDATION SHALL BE DESIGNED BY A LICENSED FLORIDA PROFESSIONAL ENGINEER.



FLOOR PLAN
1/4" = 1' SCALE

Approval Number	Product	Model Number	Manufacturer	Class Type	Attachment Method	Building Rated Design Pressures	Product Rated Design Pressures
FL# 20352.1	S.H. Windows	Series MG-200	Mt. glass doors & windows mfg llc	Impact	#14 SWS or self drilling screws into metal structures (steel 1/8" minimum thickness). See product approval for spacing.	+31.2/-41.8	+/-80
FL# 19092	Sliding Glass Door	Series MG-1000 Aluminum SD	Mt. glass doors & windows mfg llc	Impact	5/16" x 6" or self drilling screws into metal structures (steel 1/8" minimum thickness). See product approval for spacing.	+31.2/-41.8	+65/-75
FL# 27000.1	Window Wall System	Series MG-5000 Window Wall System	Mt. glass doors & windows mfg llc	Impact	1/4" x 6" or self drilling screws 1/4" into metal structures. (3) Threads to extend beyond metal structure (steel 7/8" minimum thickness) x 1/2" min penetration. See product approval for spacing.	+31.2/-41.8	+/-70

WINDOW SCHEDULE

MARK	WINDOW SIZE, WxH	TYPE	REMARKS
SH4836	48" x 36"	Single Hung	Impact

U FACTOR, SHGC FROM BRUCE, GLASS TYPE

DOOR SCHEDULE

Size, WxH	Type
1 7783	Sliding Glass Door
2 CUSTOM	Window wall system
3 2583	Swing door
4 2868	Fully Louvered Pocket Door

BRAND: MASCOT FL PE 46600

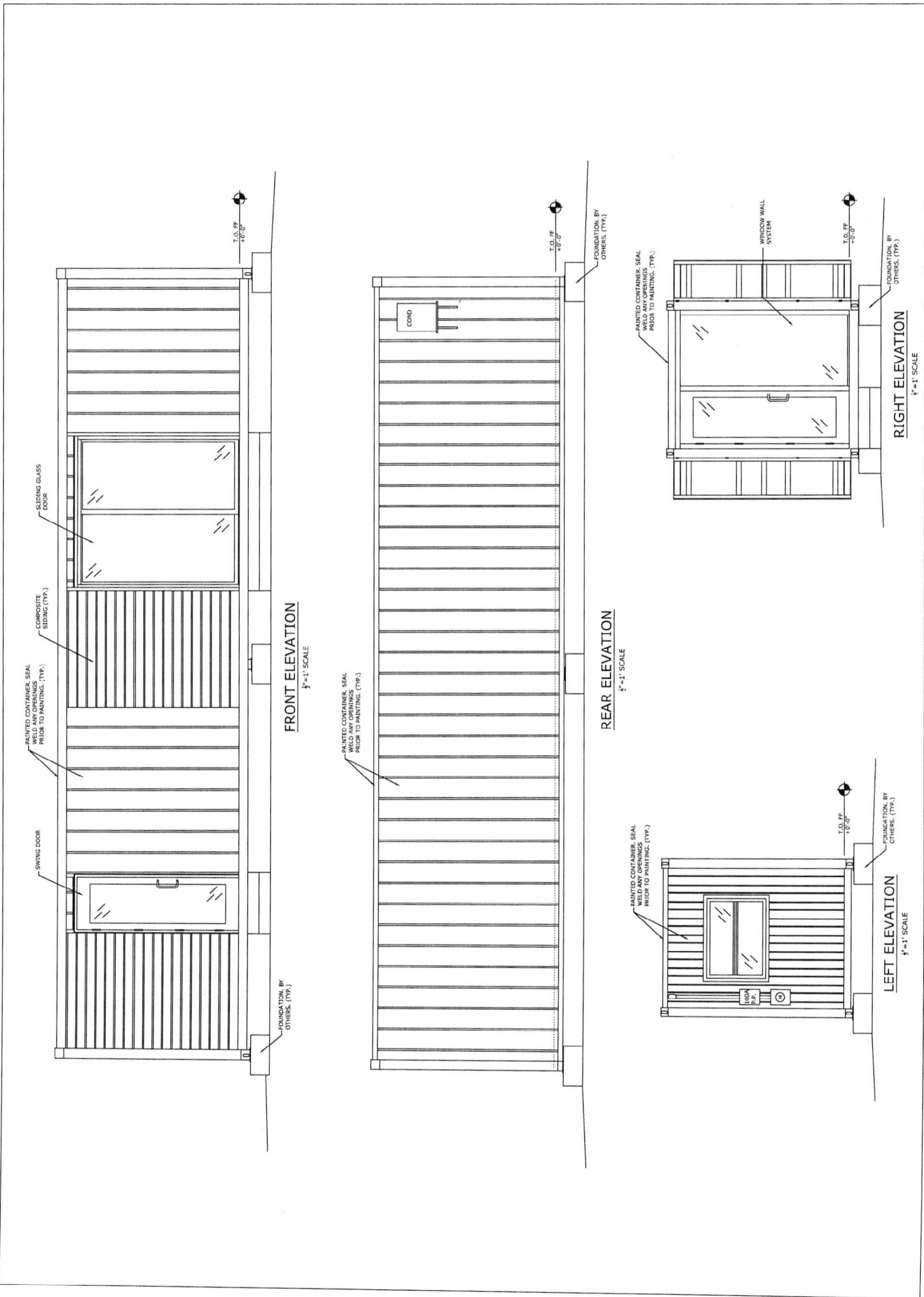
REVISION	DATE	DESCRIPTION

40 FOOT CONTAINER HOUSE
ELEVATIONS

DATE
DESIGNED: 05-10-22
DRAWN: 05-10-22
CHECKED: 05-10-22

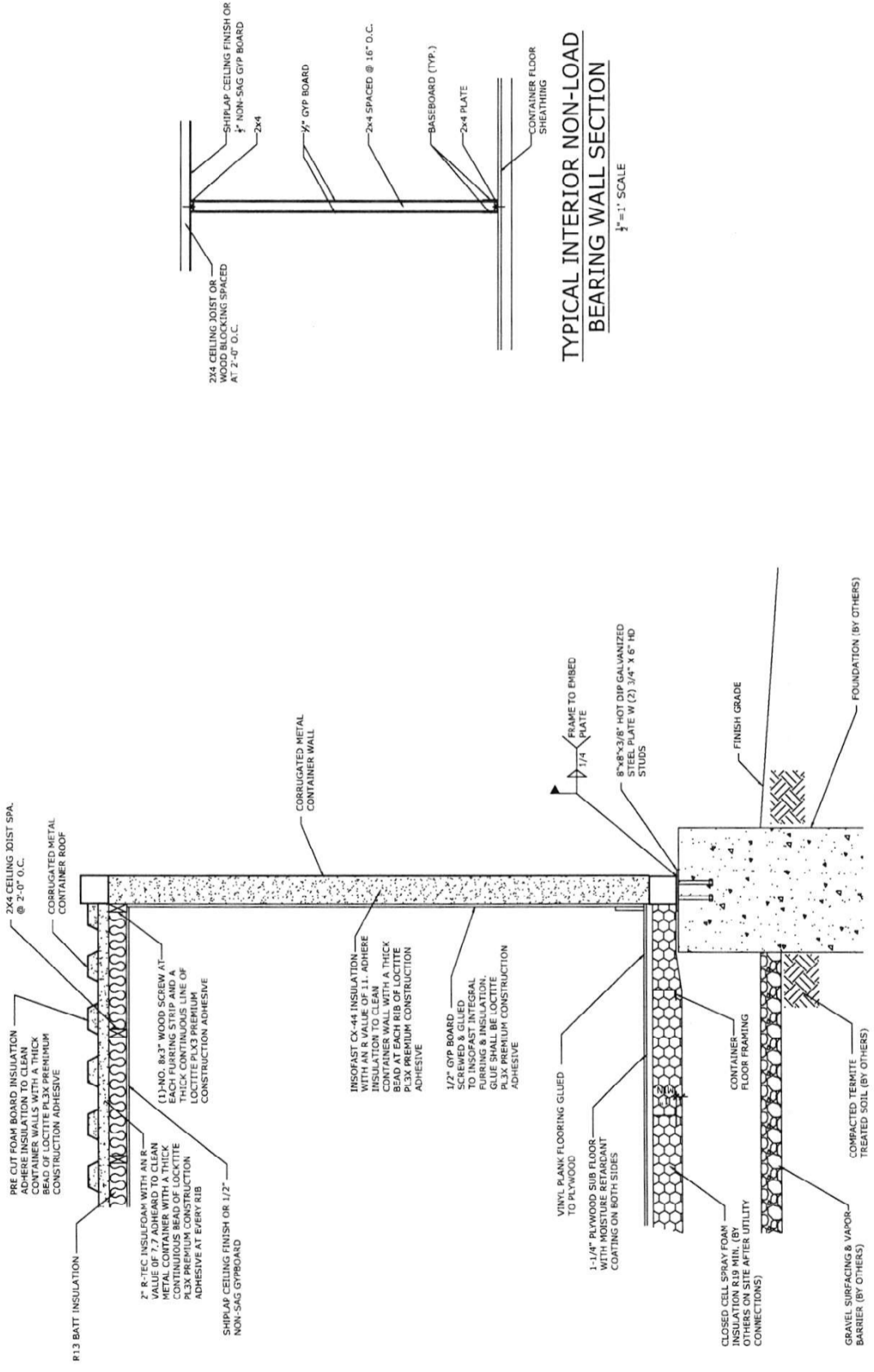
JOB NO.
2022-121

A-2



BRIAN J. MASKOL FL PE #66080

FINISH NOTES:
WALL AND CEILING FINISHES SHALL COMPLY WITH 302.9 OF THE 2020 FLORIDA RESIDENTIAL BUILDING CODE. CEILING FINISHES SHALL COMPLY WITH 302.10 OF THE 2020 FLORIDA RESIDENTIAL BUILDING CODE. WALL AND CEILING FINISHES SHALL HAVE A SMOKE DEVELOPED INDEX OF NOT GREATER THAN 458.
INSULATION SHALL COMPLY WITH 302.10 OF THE 2020 FLORIDA RESIDENTIAL BUILDING CODE. INSULATION MATERIALS SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25, WITH AN ACCOMPANYING SMOKE DEVELOPED INDEX NOT TO EXCEED 458.
GYPSUM BOARD MATERIALS SHALL COMPLY WITH 702.3.1 OF THE 2020 FLORIDA RESIDENTIAL BUILDING CODE. GYPSUM BOARD MATERIALS SHALL CONFORM TO ASTM C12, C475, C514, C1002, C1047, C1177, C1178, C1278, C1396 OR C1658. ADHESIVES SHALL CONFORM TO ASTM C557.



40 FOOT CONTAINER HOUSE
SECTIONS & NOTES

REVISION	DATE	DESCRIPTION

DESIGNED	DATE
GMW	05-10-22
DRAWN	DATE
GMW	05-10-22
CHECKED	DATE

JOB NO. 2022-121

A-3

SECTION A
1"=1' SCALE

BRIAN J. MASKOL FL PE #66080

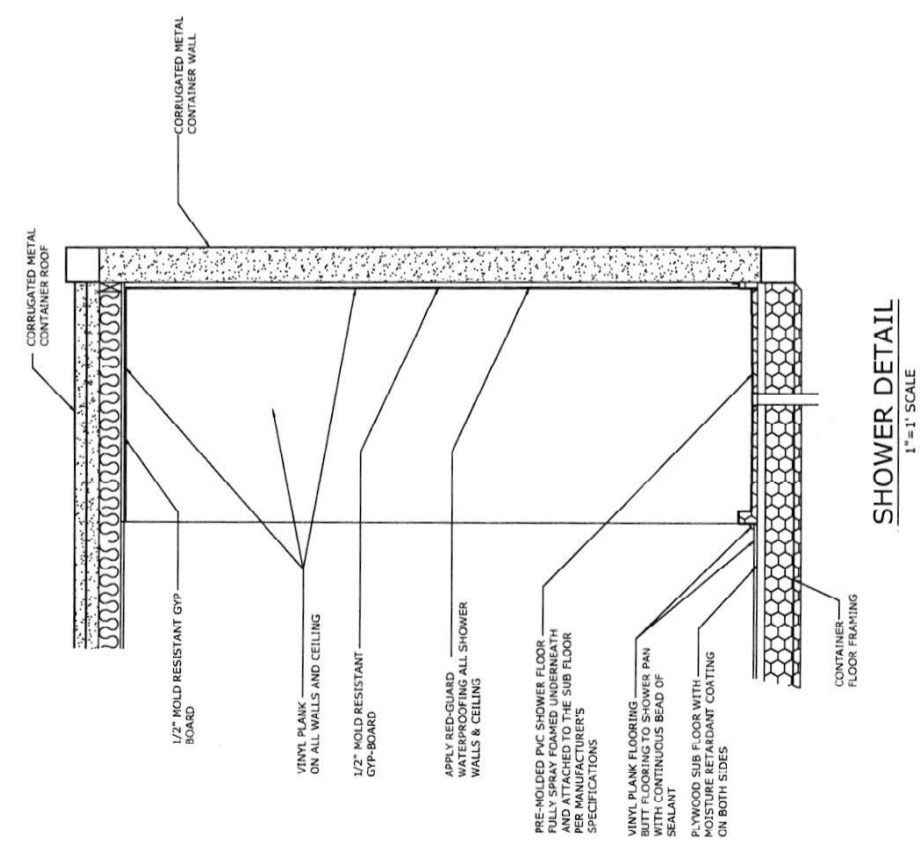
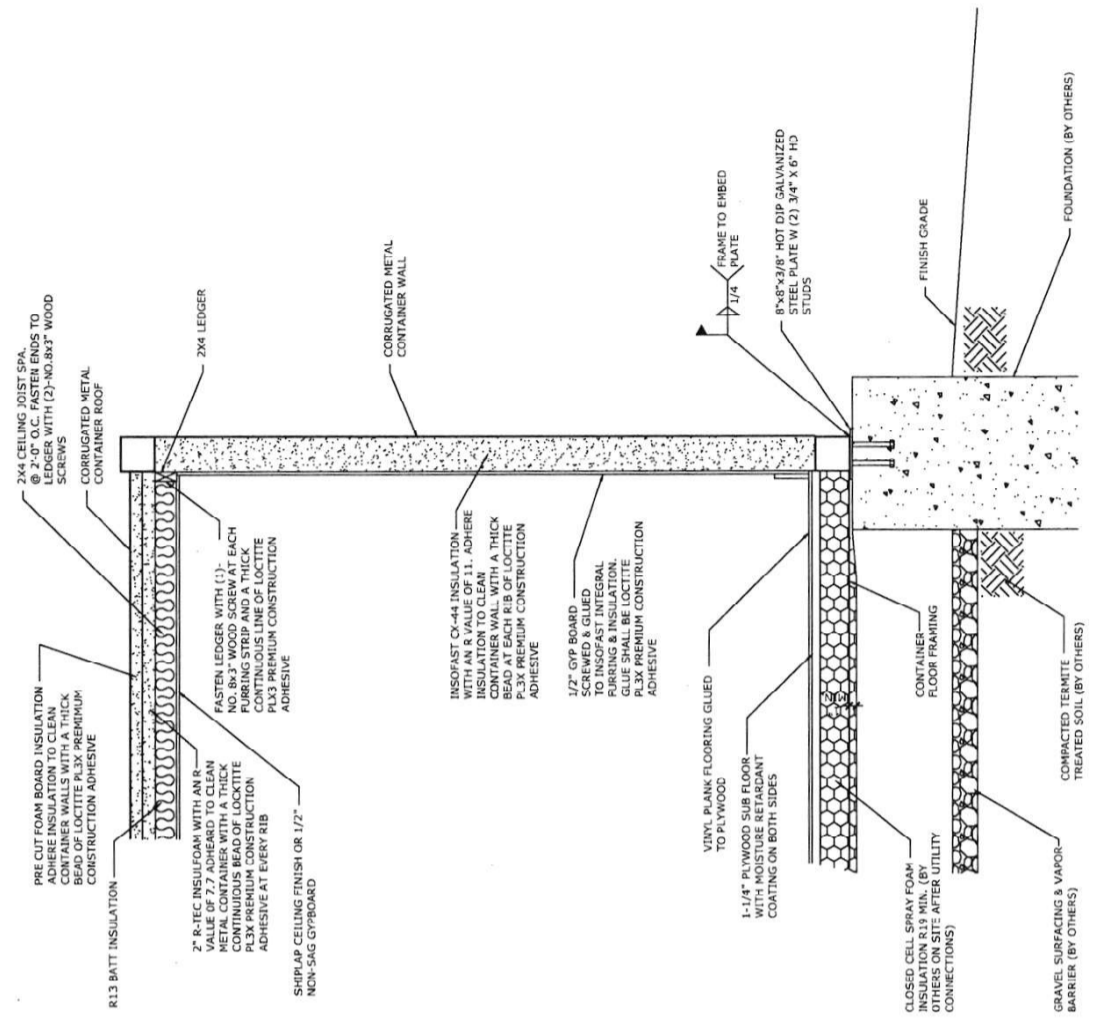
REVISION	DATE	DESCRIPTION

40 FOOT CONTAINER HOUSE
SECTIONS

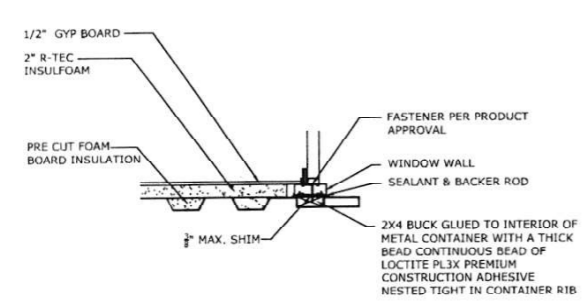
DESIGNED	DATE
GHW	05-10-22
DRAWN	DATE
GHW	05-10-22
CHECKED	DATE

JOB NO. 2022-121

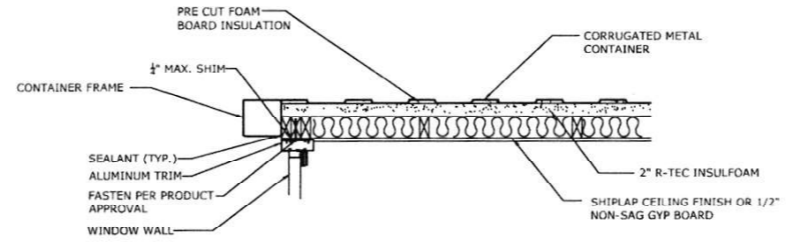
A-4



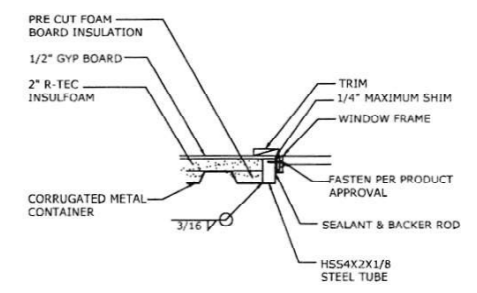
SECTION B
1"=1' SCALE



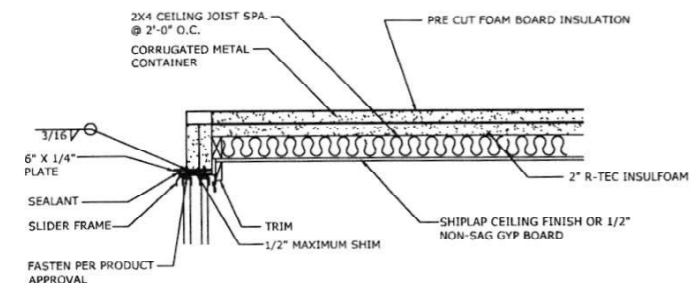
**WINDOW WALL
JAMB DETAIL**
1"=1' SCALE



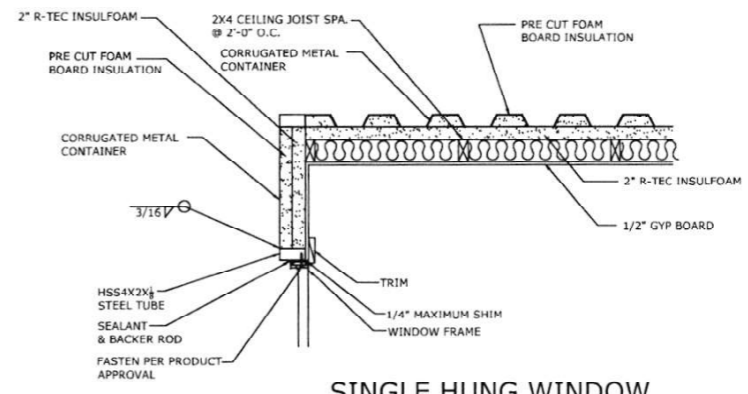
**WINDOW WALL
HEAD DETAIL**
1"=1' SCALE



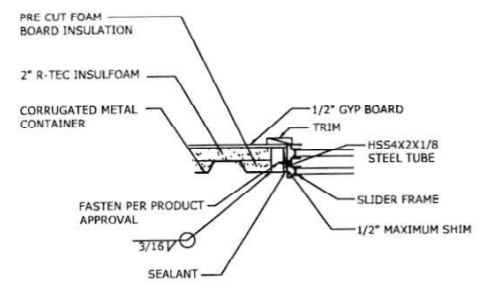
**SINGLE HUNG WINDOW
JAMB DETAIL**
1"=1' SCALE



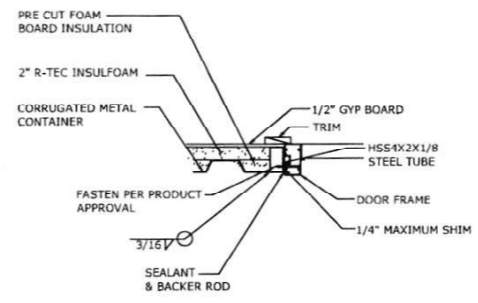
**SLIDING GLASS DOOR
HEAD DETAIL**
1"=1' SCALE



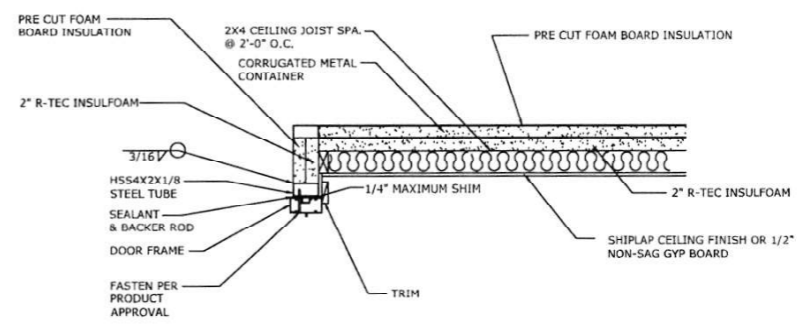
**SINGLE HUNG WINDOW
HEAD DETAIL**
1"=1' SCALE



**SLIDING GLASS DOOR
JAMB DETAIL**
1"=1' SCALE



**SWING DOOR
JAMB DETAIL**
1"=1' SCALE



**SWING DOOR
HEAD DETAIL**
1"=1' SCALE

REVISION	DATE	DESCRIPTION

**40 FOOT CONTAINER HOUSE
DETAILS**

DESIGNED	DATE
GMW	05-10-22
DRAWN	DATE
GMW	05-10-22
CHECKED	DATE

JOB NO.
2022-121

A-5

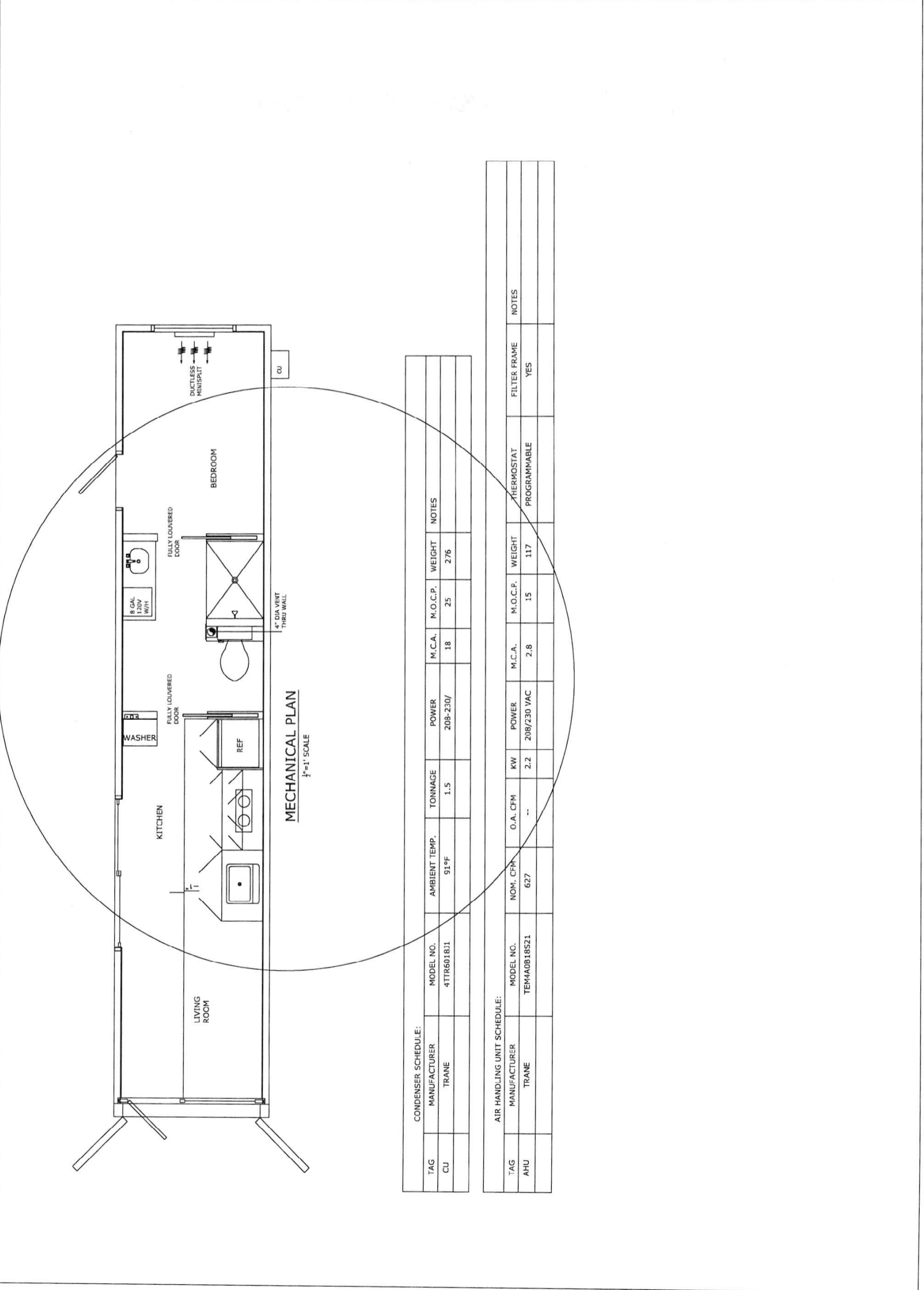
BRIAN J. MASKOL FL PE #60880

40 FOOT CONTAINER HOUSE
MECHANICAL PLAN,
SCHEDULE & NOTES

DESIGNED CMM	DATE 05-10-22
DRAWN CMM	DATE 05-10-22
CHECKED	

JOB NO. 2022-121

M-1



MECHANICAL PLAN
1/4" = 1' SCALE

CONDENSER SCHEDULE:

TAG	MANUFACTURER	MODEL NO.	AMBIENT TEMP.	TONNAGE	POWER	M.C.A.	M.O.C.P.	WEIGHT	NOTES
CU	TRANE	4TR6018J1	91°F	1.5	208-230/	18	25	276	

AIR HANDLING UNIT SCHEDULE:

TAG	MANUFACTURER	MODEL NO.	NOM. CFM	O.A. CFM	KW	POWER	M.C.A.	M.O.C.P.	WEIGHT	THERMOSTAT PROGRAMMABLE	FILTER FRAME	NOTES
AHU	TRANE	TEM40B18S21	627	..	2.2	208/230 VAC	2.8	15	117	PROGRAMMABLE	YES	

REVISION	DATE	DESCRIPTION

EXHIBIT "B"
APPLICABLE COSTS

Opt Code	Description	Total due	Type
DEMO	DEMOLITION	11860.50	Hard
DEMOA	ADMINISTRATION/DEMO	100.00	Soft
INT DM	INTEREST CHARGE 6%/YR	11601.20	Soft
PEN DM	PENALTY CHARGES OF .1%	2320.24	Soft
Opt Code Description		Total due	
INT04 LC	INT CHG 6%/YR REDEV	136.80	Soft
LOTA1 LC	ADMIN REDEV	100.00	Soft
LOTC1 LC	LOT CLEARING REDEV	52.50	Hard
PEN04 LC	PEN CHG OF .1% REDEV	27.00	Soft
Opt Code Description		Total due	
INT01 LC	INTEREST CHARGE 6%/YR	462.52	Soft
LOTAD	LOT CLEARING ADMIN FEE	400.00	Soft
LOTC2 LC		200.00	Hard
PEN01 LC	PENALTY CHARGES OF .1%	92.32	Soft
CE Lien 04-1732		46920.00	Soft
CE Lien 12-481		14890.00	Soft

\$89,163.08	TOTAL LIENS
\$12,113.00	TOTAL HARD COSTS
\$77,050.08	TOTAL SOFT COSTS
\$77,050.08	AMOUNT WAIVED
\$12,113.00	AMOUNT OWED
\$6,056.50	AMOUNT REFUNDED AT C/O



DEVELOPMENT REVIEW

Property Information

Property address or Location 801 Avenue B
 Parcel ID #(s) 2410-604-0039-000-1
 Project description Construction of 2 Single Family Dwellings w/ ADUs

Application Type

- Site Plan Minor Site Plan Innovative Residential Development
 Minor Amendment Major Amendment Conditional Use w/New Construction

Site Information

Non-Residential: Proposed Sq. Ft.: _____ Site Acreage: _____
Residential: Proposed Units: 2 Proposed Sq. Ft.: 2652 Site Acreage: 0.17

Susan Howells & James Oppenborn

Property Owner(s)

309 Rosewood Drive

Street Address

Fort Pierce FI 34947

City State Zip

(954) 496-2817

Phone Number

mosquitomonkey@icloud.com

Email Address

Chad Ingram

Applicant/Representative, Title, Company

111 Orange Ave. #306

Street Address

Fort Pierce FI 34950

City State Zip

786-389-4891

Phone Number

FortPierceChad@gmail.com

Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

Chad Ingram

AS AGENT

Sept 30/ 2024

Property Owner(s) Signature(s)

Date

APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS

CALL 772.467.3737 OR E-MAIL PLANNING@CITYOFFORTPIERCE.COM

For more information, please refer to the website:

<https://www.cityoffortpiece.com/971/Application-Submittal-for-Technical-Rev>

General Information

- **Incomplete application packets will not be accepted.**
- Appointments are required for application hard copy submittals.
- Site plan approval is valid for one (1) year following City Commission approval. To maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date.
- Fee Schedule - <https://www.cityoffortpierce.com/DocumentCenter/View/2620/Fee-Schedule->
- Public Notice Fees - <https://www.cityoffortpierce.com/DocumentCenter/View/8818/Public-Notice-Fees->



Site Plan submittal requirements:

Submit one (1) original, one (1) hard copy and one (1) Flash Drive of the following. Additional copies will be required of subsequent submittals.

- Complete application
- Warranty Deed
- SLC Property Record Card
- Detailed project description
- General location map (see Section 125-313)
- Survey (see Section 125-313)
- Site Plan (see Section 125-313)
- Landscaping Plan (see Section 123-37)
- Conceptual Drainage Plan (see Section 125-313)
- Environmental Impact Report
- Beach/Dune System protection plan, if applicable (see Section 125-313)
- Lighting Plan (see Section 125-313)
- Design Review submittals (see Design Review application)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)

Tax Deed File No. 17-518
Property Identification No. 2410-604-0039-000/1
Original Owners of Record: CHARLES BROWN, CHARLES GREGORY BROWN

TAX DEED

State of Florida

ST. LUCIE COUNTY

FOR OFFICIAL USE ONLY

The following Tax Sale Certificate Numbered **2015/2626** issued on **6/1/15**, was filed in the office of the tax collector of this County and application made for the issuance of a tax deed, the applicant having paid or redeemed all other taxes or tax sale certificates on the land described as required by law to be paid or redeemed, and the costs and expenses of this sale, and due notice of sale having been published as required by law, and no person entitled to do so having appeared to redeem said land; such land was sold on the **9th day of July, 2018**, offered for sale as required by law for cash to the highest bidder and was sold to **SHORES PAD LLC** whose address is **650 NE 88TH STREET MIAMI, FL 33138**, being the highest bidder and having paid the sum of his bid as required by the Laws of Florida.

Now, on this **31st day of JULY, 2018**, in the County of St. Lucie, State of Florida, in consideration of the sum of **(\$4,047.76) FOUR THOUSAND FORTY-SEVEN DOLLARS AND SEVENTY-SIX Cents only**, being the amount paid pursuant to the Laws of Florida does hereby sell the following lands, including any hereditaments, buildings, fixtures and improvements of any kind and description, situated in the County and State aforesaid and described as follows:


BENJ HOGG'S ADDN. BLK C LOT 1 (MAP 24/10D) (OR 1777-1021)

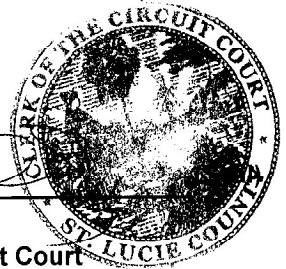
Witness:


BRITTANY JONES


ANA PORTILLA

State of Florida


MARGARET RAHAL, Deputy Clerk
JOSEPH E SMITH, Clerk of the Circuit Court
ST. LUCIE COUNTY, Florida

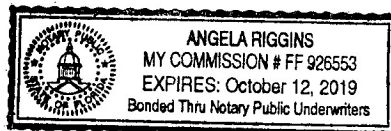


ST. LUCIE COUNTY

On the **31st day of JULY, 2018**, before **ANGELA RIGGINS** personally appeared **MARGARET RAHAL** known to me to be the person described in, and who executed the foregoing instrument, and acknowledged the execution of this instrument to be his own free act and deed for the use and purposes therein mentioned.

Witness my hand and office seal date aforesaid.


ANGELA RIGGINS, Notary Public



THIS INSTRUMENT PREPARED BY AND RETURN TO:

NAME Jermaine Chad Ingram
ADDRESS 650 NE 88th Street, Miami Shores, Fl, 33138

Documentary Stamp Taxes: \$10.00

Property Appraiser's Parcel Identification (Folio) Number: **2410-604-0039-000-1**

This Deed has been prepared and recorded without benefit of title examination.

QUITCLAIM DEED

This Quitclaim Deed, made this **20th** day of **January, 2024**, between Shores Pad LLC, whose address is, 650 NE 88th Street Miami Shores, Florida 33138 as Grantor, to James Oppenborn, a married man and Susan Howells, a single woman, whose address is 309 Rosewood Drive, Fort Pierce, Fl. 33947, hereinafter called the Grantees.

Witnesseth, that the Grantors, for and in consideration of the sum of TEN & NO/100 (\$10.00) DOLLARS, and other good and valuable consideration to Grantors in hand paid by Grantees, the receipt of which is hereby acknowledged, has granted, bargained and quitclaimed to the said Grantees and Grantees' heirs and assigns forever, the following described land, situate, lying and being in the County of St. Lucie, State of Florida, to-wit:

Legal Description:

BENJ HOGG'S ADDN. BLK C LOT 1 (MAP 24/10D)

To Have and to Hold the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of Grantors, either in law or equity, for the use, benefit and profit of the said Grantees forever.

In Witness Whereof, the Grantors have hereunto set her hands and sealed the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature] Grantor

[Signature] Witness #1 Signature
Jermaine Chad Ingram Witness #1 Printed Name

Susan Rudd Cohen Witness #2 Signature
SUSAN RUDD COHEN Witness #2 Printed Name

STATE OF FL COUNTY OF ST

The foregoing instrument was acknowledged before me by means of physical presence or online notarization this 22 day of January, 2023, by _____ who is personally known to me or has produced _____ as identification.

[Signature]
NOTARY PUBLIC
Etienne Brown

Printed Notary Name
My Commission Expire 10/27/2027

SEAL



FLORIDA REAL ESTATE POWER OF ATTORNEY

NOTICE: THE POWERS GRANTED BY THIS DOCUMENT ARE BROAD AND SWEEPING. THEY ARE EXPLAINED IN THE UNIFORM STATUTORY FORM POWER OF ATTORNEY ACT. IF YOU HAVE ANY QUESTIONS ABOUT THESE POWERS, OBTAIN COMPETENT LEGAL ADVICE. YOU MAY REVOKE THIS POWER OF ATTORNEY IF YOU LATER WISH TO DO SO.

I SUSAN HOWELLS, 309 ROSEWOOD DR. FORT PIERCE FL 34947 [insert your name and address] appoint

Jemaine Chad Ingram of 660 NE 88th Street, Miami Shores, Florida, 33138 [insert the name and address of the person appointed] as my Agent (attorney-in-fact) to act for me in any lawful way with respect to the following initialed subjects listed below:

I GRANT ALL OF THE FOLLOWING POWERS RELATED TO REAL PROPERTY TRANSACTIONS FOR THE PREMISES LOCATED AT 801 AVENUE B, FORT PIERCE, FL 34950

INITIAL 

Real property transactions. To lease, sell, mortgage, purchase, exchange, and acquire, and to agree, bargain, and contract for the lease, sale, purchase, exchange, and acquisition of, and to accept, take, receive, and possess any interest in real property whatsoever, on such terms and conditions, and under such covenants, as my Agent shall deem proper; and to maintain, repair, tear down, alter, rebuild, improve manage, insure, move, rent, lease, sell, convey, subject to liens, mortgages, and security deeds, and in any way or manner deal with all or any part of any interest in real property whatsoever, including specifically, but without limitation, real property lying and being situated in the State of Florida, under such terms and conditions, and under such covenants, as my Agent shall deem proper and may for all deferred payments accept purchase money notes payable to me and secured by mortgages or deeds to secure debt, and may from time to time collect and cancel any of said notes, mortgages, security interests, or deeds to secure debt.

SPECIAL INSTRUCTIONS:

ON THE FOLLOWING LINES YOU MAY GIVE SPECIAL INSTRUCTIONS LIMITING OR EXTENDING THE POWERS GRANTED TO YOUR AGENT.

- N/A _____
- N/A _____
- N/A _____
- N/A _____
- N/A _____

THIS POWER OF ATTORNEY IS EFFECTIVE IMMEDIATELY AND SHALL BE CONSTRUED AS A:

Durable Power of Attorney - The powers granted will remain effective even if the Principal becomes incapacitated.

Non-Durable Power of Attorney - The powers granted will no longer be effective if the Principal become incapacitated.

(YOUR AGENT WILL HAVE AUTHORITY TO EMPLOY OTHER PERSONS AS NECESSARY TO ENABLE THE AGENT TO PROPERLY EXERCISE THE POWERS GRANTED IN THIS FORM, BUT YOUR AGENT WILL HAVE TO MAKE ALL DISCRETIONARY DECISIONS. IF YOU WANT TO GIVE YOUR AGENT THE RIGHT TO DELEGATE DISCRETIONARY DECISION-MAKING POWERS TO OTHERS, YOU SHOULD KEEP THE NEXT SENTENCE, OTHERWISE IT SHOULD BE STRICKEN.)


Authority to Delegate. My Agent shall have the right by written instrument to delegate any or all of the foregoing powers involving discretionary decision-making to any person or persons whom my Agent may select, but such delegation may be amended or revoked by any agent (including any successor) named by me who is acting under this power of attorney at the time of reference.

(YOUR AGENT WILL BE ENTITLED TO REIMBURSEMENT FOR ALL REASONABLE EXPENSES INCURRED IN ACTING UNDER THIS POWER OF ATTORNEY. STRIKE OUT THE NEXT SENTENCE IF YOU DO NOT WANT YOUR AGENT TO ALSO BE ENTITLED TO REASONABLE COMPENSATION FOR SERVICES AS AGENT.)

Right to Compensation. My Agent shall be entitled to reasonable compensation for services rendered as agent under this power of attorney.

(IF YOU WISH TO NAME SUCCESSOR AGENTS, INSERT THE NAME(S) AND ADDRESS(ES) OF SUCH SUCCESSOR(S) IN THE FOLLOWING PARAGRAPH.)

Successor Agent. If any Agent named by me shall die, become incompetent, resign or refuse to accept the office of Agent, I name the following (each to act alone and successively, in the order named) as successor(s) to such Agent:

 JAMES B. Appenborn

N/A

Choice of Law. THIS POWER OF ATTORNEY WILL BE GOVERNED BY THE LAWS OF THE STATE OF FLORIDA WITHOUT REGARD FOR CONFLICTS OF LAWS PRINCIPLES. IT WAS EXECUTED IN THE STATE OF FLORIDA AND IS INTENDED TO BE VALID IN ALL JURISDICTIONS OF THE UNITED STATES OF AMERICA AND ALL FOREIGN NATIONS.

I am fully informed as to all the contents of this form and understand the full import of this grant of powers to my Agent.

I agree that any third party who receives a copy of this document may act under it. Revocation of the power of attorney is not effective as to a third party until the third party learns of the revocation. I agree to indemnify the third party for any claims that arise against the third party because of reliance on this power of attorney.


Signed this 25th day of JUNE, 2024

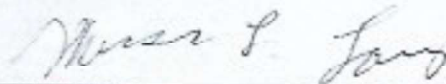


Principal's Signature

STATEMENT OF WITNESS

On the date written above, the principal declared to me in my presence that this instrument is his/her power of attorney and that he or she had willingly signed or directed another to sign for him or her, and that he or she executed it as his or her free and voluntary act for the purposes therein expressed.


TALYSON PALKO [Signature of Witness #1]
1971 SE WESTMORLAND BL [Printed or typed name of Witness #1]
PORT ST LUCIE, FL 34952 [Address of Witness #1, Line 1]
[Address of Witness #1, Line 2]


Theresa L. Lopez [Signature of Witness #2]
7603 WINDY GARDEN DR [Printed or typed name of Witness #2]
FT WALTER FL 32031 [Address of Witness #2, Line 1]
[Address of Witness #2, Line 2]

A Note About Selecting Witnesses: The agent (attorney-in-fact) may not also serve as a witness. Each witness must be present at the time that principal signs the Power of Attorney in front of the notary. Each witness must be a mentally competent adult. Witnesses should ideally reside close by.

so that they will be easily accessible in the event they are one day needed to affirm this document's validity.

CERTIFICATE OF ACKNOWLEDGMENT OF NOTARY PUBLIC

STATE OF FLORIDA
COUNTY OF St Lucie

Sworn to (or affirmed) and subscribed before me this 25 day of JUNE [month], 2024 [year] by Susan Hewitt [name of principal]. The affiant is [choose one:]
personally known to me, or PI (produced the following identification: _____)

[Notary Seal, if any]:



[Handwritten Signature]
(Signature of Notarial Officer)

Notary Public for the State of Florida

My commission expires: 7.27

ACKNOWLEDGMENT OF AGENT

BY ACCEPTING OR ACTING UNDER THE APPOINTMENT, THE AGENT ASSUMES THE FIDUCIARY AND OTHER LEGAL RESPONSIBILITIES OF AN AGENT.

[Typed or Printed Name of Agent]

[Signature of Agent]

PREPARATION STATEMENT

This document was prepared by the following individual:

[Typed or Printed Name]

[Signature]

AFFIDAVIT OF AGENT (ATTORNEY IN FACT)

STATE OF FLORIDA
COUNTY OF Broward

Before me, the undersigned authority, personally appeared Jermaine Chad Ingram
_____ (attorney in fact), ("Affiant"), who swore or affirmed that:

1. Affiant is the attorney in fact named in this Florida Power of Attorney executed by Susan Howells (principal) ("Principal") on 6/25/24 (date).
2. This Florida Power of Attorney is currently exercisable by Affiant. The principal is domiciled in Florida (insert name of state, territory, or foreign country).
3. To the best of the Affiant's knowledge after diligent search and inquiry:
 - a. The Principal is not deceased; and
 - b. There has been no revocation, partial or complete termination by adjudication of incapacity or by the occurrence of an event referenced in the power of attorney, or suspension by initiation of proceedings to determine incapacity or to appoint a guardian.
4. Affiant agrees not to exercise any powers granted by this Florida Power of Attorney if Affiant attains knowledge that it has been revoked, partially or completely terminated, suspended, or is no longer valid because of the death or incapacity of the Principal.

[Signature]
[Signature of Affiant]

CERTIFICATE OF ACKNOWLEDGMENT OF NOTARY PUBLIC

Sworn to (or affirmed) and subscribed before me this 28th day of September [month], 2024 [year] by Jermaine Chad Ingram [name of agent]. The affiant is [choose one:] personally known to me, or produced the following identification: Driver's License

[Notary Seal, if any]:



Brian Gonzalez
Comm.: HH 426094
Expires: Jul. 26, 2027
Notary Public - State of Florida

[Signature]
(Signature of Notarial Officer)

Notary Public for the State of Florida

My commission expires: July 26th, 2027

FLORIDA REAL ESTATE POWER OF ATTORNEY


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I, James B. Oppenham, 309 Rosencord Drive, Fort Pierce, 34947

Jermaine Chad Ingram of 850 NE 85th Street, Miami Shores, Florida, 33138 [insert your name and address] appoint [insert the name and address of the person appointed] as my Agent (attorney-in-fact) to act for me in any lawful way with respect to the following initialed subjects listed below.

I GRANT ALL OF THE FOLLOWING POWERS RELATED TO REAL PROPERTY TRANSACTIONS FOR THE PREMISES LOCATED AT 801 Avenue B, Fort Pierce, FL 34950

INITIAL

 **Real property transactions.** To lease, sell, mortgage, purchase, exchange, and acquire, and to agree, bargain, and contract for the lease, sale, purchase, exchange, and acquisition of, and to accept, take, receive, and possess any interest in real property whatsoever, on such terms and conditions, and under such covenants, as my Agent shall deem proper, and to maintain, repair, tear down, alter, rebuild, improve manage, insure, move, rent, lease, sell, convey, subject to liens, mortgages, and security deeds, and in any way or manner deal with all or any part of any interest in real property whatsoever, including specifically, but without limitation, real property lying and being situated in the State of Florida, under such terms and conditions, and under such covenants, as my Agent shall deem proper and may for all deferred payments accept purchase money notes payable to me and secured by mortgages or deeds to secure debt, and may from time to time collect and cancel any of said notes, mortgages, security interests, or deeds to secure debt.

SPECIAL INSTRUCTIONS:

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N/A

N/A

N/A

N/A

N/A

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Authority to Delegate. My Agent shall have the right by written instrument to delegate any or all of the foregoing powers involving discretionary decision-making to any person or persons whom my Agent may select, but such delegation may be amended or revoked by any agent (including any successor) named by me who is acting under this power of attorney at the time of reference.

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(IF YOU WISH TO NAME SUCCESSOR AGENTS, INSERT THE NAME(S) AND ADDRESS(ES) OF SUCH SUCCESSOR(S) IN THE FOLLOWING PARAGRAPH.)

Successor Agent. If any Agent named by me shall die, become incompetent, resign or refuse to accept the office of Agent, I name the following (each to act alone and successively, in the order named) as successor(s) to such Agent:

930
N/A Susan Howels

N/A

Choice of Law. THIS POWER OF ATTORNEY WILL BE GOVERNED BY THE LAWS OF THE STATE OF FLORIDA WITHOUT REGARD FOR CONFLICTS OF LAWS PRINCIPLES. IT WAS EXECUTED IN THE STATE OF FLORIDA AND IS INTENDED TO BE VALID IN ALL JURISDICTIONS OF THE UNITED STATES OF AMERICA AND ALL FOREIGN NATIONS.

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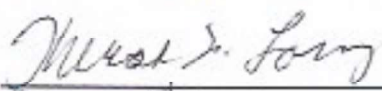
Signed this 25 day of June, 2024


Principal's Signature

STATEMENT OF WITNESS

On the date written above, the principal declared to me in my presence that this instrument is his/her power of attorney and that he or she had willingly signed or directed another to sign for him or her, and that he or she executed it as his or her free and voluntary act for the purposes therein expressed.


AUSON PALKO [Signature of Witness #1]
AUSON PALKO [Printed or typed name of Witness #1]
901 SE WESTMEDICLANO BLVD [Address of Witness #1, Line 1]
DORISVILLE FL 34952 [Address of Witness #1, Line 2]


Theresa J. Long [Signature of Witness #2]
Theresa J. Long [Printed or typed name of Witness #2]
205 WINTER GARDEN PKWY [Address of Witness #2, Line 1]
FT PULCH FL 34951 [Address of Witness #2, Line 2]

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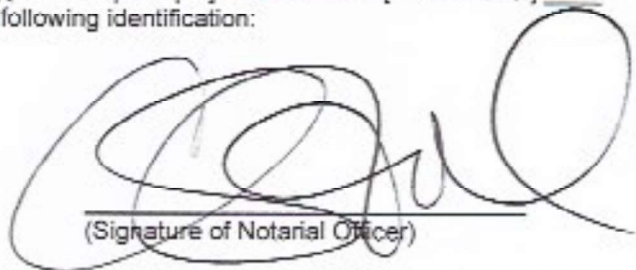
so that they will be easily accessible in the event they are one day needed to affirm this document's validity.

CERTIFICATE OF ACKNOWLEDGMENT OF NOTARY PUBLIC

STATE OF FLORIDA
COUNTY OF St. Lucie

Sworn to (or affirmed) and subscribed before me this 25th day of JUNE [month], 2024 [year] by JIM OPPENHEIM [name of principal]. The affiant is [choose one:]
personally known to me, or FILE produced the following identification:

[Notary Seal, if any]:



(Signature of Notarial Officer)

Notary Public for the State of Florida

My commission expires: 7-16-27

ACKNOWLEDGMENT OF AGENT

BY ACCEPTING OR ACTING UNDER THE APPOINTMENT, THE AGENT ASSUMES THE FIDUCIARY AND OTHER LEGAL RESPONSIBILITIES OF AN AGENT.

[Typed or Printed Name of Agent]

[Signature of Agent]



PREPARATION STATEMENT

This document was prepared by the following individual:

[Typed or Printed Name]

[Signature]

AFFIDAVIT OF AGENT (ATTORNEY IN FACT)

STATE OF FLORIDA
COUNTY OF Broward

Before me, the undersigned authority, personally appeared Jermaine Chad Ingram
(attorney in fact), ("Affiant"), who swore or affirmed that:

1. Affiant is the attorney in fact named in this Florida Power of Attorney executed by James Oppenborn (principal) ("Principal") on 6/25/24 (date).
2. This Florida Power of Attorney is currently exercisable by Affiant. The principal is domiciled in Florida (insert name of state, territory, or foreign country).
3. To the best of the Affiant's knowledge after diligent search and inquiry:
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 - b. There has been no revocation, partial or complete termination by adjudication of incapacity or by the occurrence of an event referenced in the power of attorney, or suspension by initiation of proceedings to determine incapacity or to appoint a guardian.
4. Affiant agrees not to exercise any powers granted by this Florida Power of Attorney if Affiant attains knowledge that it has been revoked, partially or completely terminated, suspended, or is no longer valid because of the death or incapacity of the Principal.

[Signature]
[Signature of Affiant]

CERTIFICATE OF ACKNOWLEDGMENT OF NOTARY PUBLIC

Sworn to (or affirmed) and subscribed before me this 28th day of September [month], 2024 [year] by Jermaine Chad Ingram [name of agent]. The affiant is [choose one.] personally known to me, or produced the following identification: Driver's License.

[Notary Seal, if any]:

[Signature]
(Signature of Notarial Officer)

Notary Public for the State of Florida

My commission expires: July 26th, 2027



Brian Gonzalez
Comm.: HH 426094
Expires: Jul. 26, 2027
Notary Public - State of Florida

Property Identification

Site Address: 801 AVENUE B
Sec/Town/Range: 10/35S/40E
Parcel ID: 2410-604-0039-000-1
Jurisdiction: Fort Pierce

Use Type: 0000
Account #: 23355
Map ID: 24/10N
Zoning: Medium Den

Ownership

Shores Pad LLC
650 NE 88th ST
Miami Shores, FL 33138

Legal Description

BENJ HOGG'S ADDN. BLK C LOT 1 (MAP 24/10D)

Current Values

Just/Market Value: \$23,300
Assessed Value: \$6,255
Exemptions: \$0
Taxable Value: \$6,255



Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Taxes for this parcel: [SLC Tax Collector's Office](#)
Download TRIM for this parcel: [Download PDF](#)

Total Areas

Finished/Under Air (SF): 0
Gross Sketched Area (SF): 0
Land Size (acres): 0.17
Land Size (SF): 7,500

Building Design Wind Speed

Occupancy Category	I	II	III
Speed	140	160	160

Sources/links:

Florida Asheville

Project Narrative for 801 Avenue B Infill Development

September 30/ 2024

Introduction

The 801 Avenue B project is a prototype for walkable urban living in Fort Pierce. Designed to integrate modern design with sustainability and communal living, this project aligns with the city's comprehensive plan for medium residential density zoning and leverages recent zoning in the Innovative Community Development section.

Design Philosophy

We place particular emphasis on walkability. With streets that are pleasant and safe to walk, and with jobs and other daily needs accessible on foot, walkable places are not only more livable, but also help residents reduce transportation expenses, a major part of most household budgets.

Our design philosophy centers on resident wellness and creating a walkable neighborhood that is:

- **Useful:** Essential amenities within walking distance.
- **Safe:** Secure environment for residents.
- **Comfortable:** Pleasant living experience through thoughtful design.
- **Interesting:** Visually and experientially appealing.

These principles are reflected in the site plan featuring two homes with accessory dwelling units (ADUs). This site was also designed by and for the neuro-divergent (a special needs population).

Each area below qualifies for density bonuses.

Architectural Features

1. **Dog-trot House (801 Avenue B - A)**
 - **Description:** Five-bedroom house with ensuite bathrooms.
 - **Health Benefits:** Promotes natural ventilation, reduces mechanical cooling reliance, improves indoor air quality, and positively impacts mental health by connecting occupants with nature.
 - **Size: 1312 sq ft including ADU**
2. **Split-level House (801 Avenue B - B)**
 - **Description:** Four-bedroom house with ensuite bathrooms.
 - **Benefits:** Enhances social support, economic efficiency, safety, health, environmental sustainability, quality of life, childcare, and career opportunities, making it ideal for urban families seeking close ties and high-quality living.
 - **Size: 1340 sq ft including ADU**

Aesthetics and Style

Florida Asheville

Project Narrative for 801 Avenue B Infill Development

September 30/ 2024

We incorporate a variety of aesthetic features to create a visually appealing and engaging environment:

- Rain Garden
- Living walls and partial green roofs.
- Projector Art Screen
 - Art murals.
 - Friday Night Movies
- Reflecting mirrored exterior walls.
- Landscaped setbacks and outdoor sitting areas.
- Shou Sugi Ban (charred wood siding).

Dimensional Variety

The design optimizes construction to reduce waste and enhance affordability:

- Room dimensions align with commercially available materials (16x16, 24x16, and 24x24), minimizing waste and construction costs.
- This approach allows for cost-effective construction without sacrificing quality or style.

Landscaping, Hardscape & Drainage

The landscaping plan is designed to enhance sustainability and community engagement:

- Rain Garden
 - Native and Florida-Friendly shade, flowering, and fruit trees.
 - Native groundcovers and flowers to support pollinators.
- Gutters with 3000-gallon cumulative rain storage.
 - Drip-line irrigation fed via crawl space rain storage.
- 5ft landscaped setback with gates, fencing, privacy screens, and ancient stone lines to reduce runoff.
- Home Biogas Digester.
 - Treats organic waste producing biogas for cooking and rich fertilizer.
- 4-inch city tree waste mulch to increase stormwater sequestration, rain percolation, and soil nutrition.
- Permeable materials for parking spaces and walkways.

Placement

The strategic placement of homes enhances both communal and individual living experiences:

- Porches that abut sidewalks to create public/private spaces, enhancing public engagement and walkability.
- Homes are oriented to maximize passive cooling in the summer.
- The design balances communal energy with individual privacy.
- The layout supports home-based business opportunities.

Florida Ashe`

Project Narrative for 801 Avenue B Infill Development

September 30/ 2024

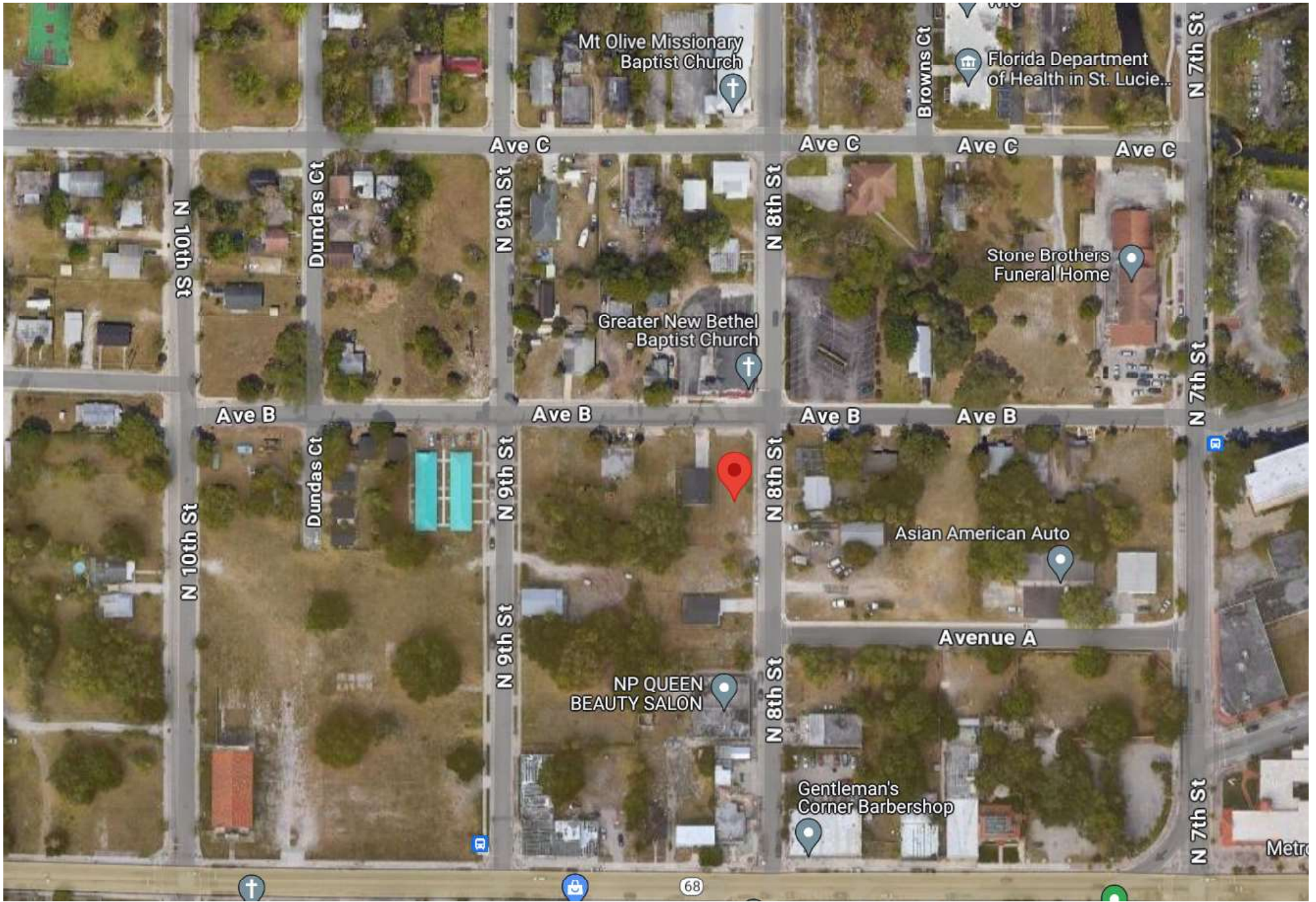
Energy and Resource Considerations

The project includes several sustainable features to minimize environmental and long term financial impacts:

- Gutters with 3000-gallon cumulative rain storage.
- Home Biogas Digester.
 - Treats organic waste producing biogas for cooking and rich fertilizer.
- Underground utilities.
 - Natural Gas
- Up to 2 EV CCS fast chargers (66kw min).
- Solar-powered ECOflow DELTA Pro Ultra Portable Power Station.
 - 7.2-21.6kW output
 - 6kWh-90kWh capacity
 - 5.6kW-16.8kW solar input
- Solar water heaters.
- Passive cooling and heating design elements:
 - Extended overhangs to block summer sun from windows.
 - Compartmentalization to lower indoor allergens, create cooling air streams, and conserve energy through HVAC management.

Conclusion

Florida Ashe's EKhaya project exemplifies modern urban infill development, prioritizing sustainability, community, and livability. By adhering to Fort Pierce's comprehensive plan and leveraging recent infrastructure upgrades, Florida Ashe`, sets a benchmark for future developments. This project addresses current housing needs for special needs populations while contributing to the city's vision of a vibrant, sustainable, and interconnected urban community.

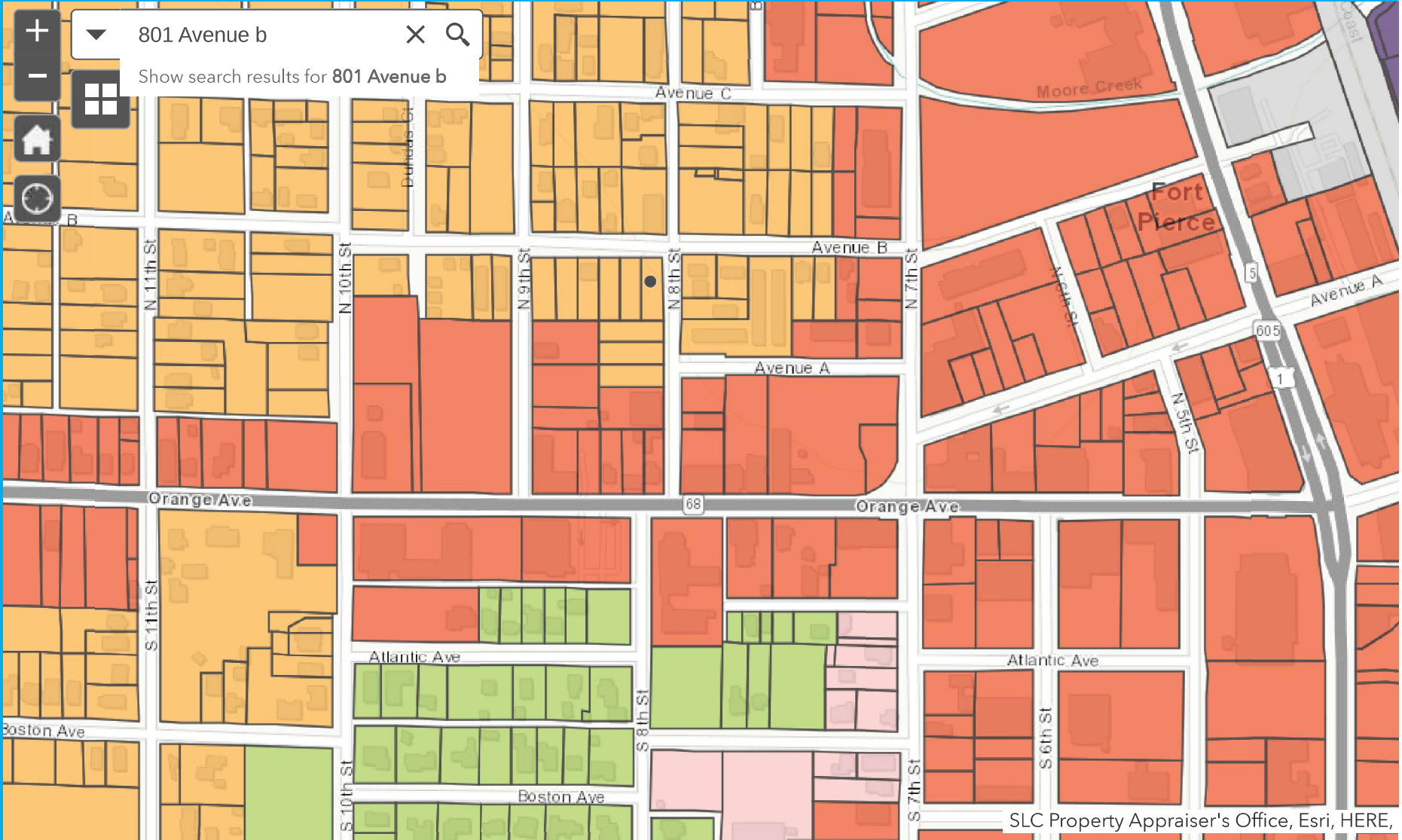




Planning and Zoning Web GIS Application City of Fort Pierce



801 Avenue b
Show search results for 801 Avenue b



400ft
-80.324 27.448 Degrees

LEGAL DESCRIPTION

Lots 1, Block C of FEE & MAY'S Resubdivision, according to the Plat thereof, as recorded in Plat Book 3, Page (s) 48, of the Public Records of St Lucie County, Florida,

SURVEYOR'S REPORT

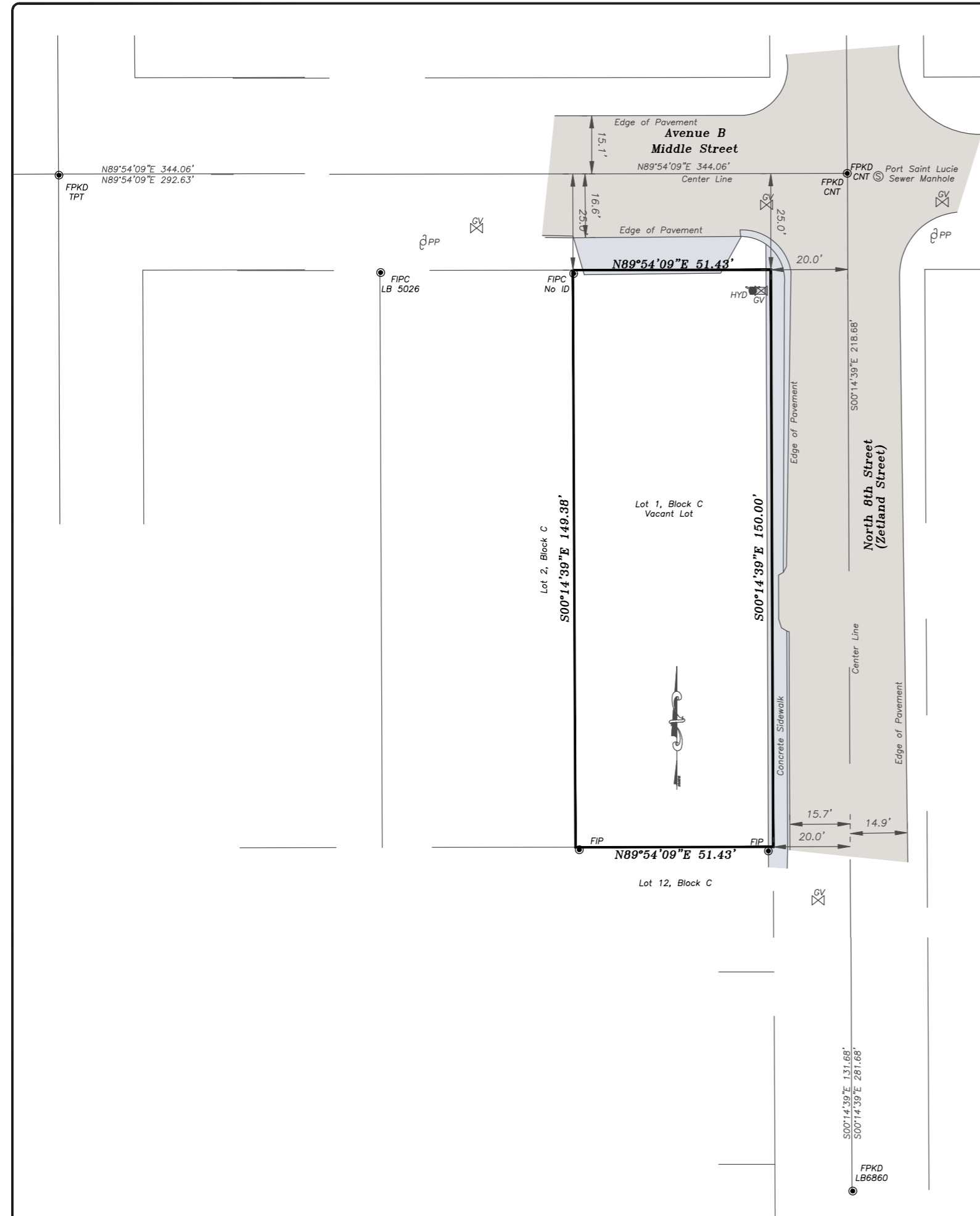
- 1 This Survey shall not be valid unless sealed with an embossed Surveyor's Seal
- 2 No underground improvements have been located as part of this Survey.
- 3 The last field date of this Survey was: 4-5-21.
- 4 This Survey was prepared using the Plat of Record only. No other documents were provided and no search of the public records was performed by this office.
- 5 This Survey was prepared in accordance with the standards for the practice of Surveying and Mapping as defined in 5J-17.050-052FAC.
- 6 By acceptance of this survey all parties agree that the signing surveyor's liability is limited to the amount paid for said Survey.
- 7 Unless other wise noted all bearing and distances are in accordance with the Deed and/or record plat and have been verified by field measurements. See map for bearing base.
- 8 Parcel/Lot line locations have been based on found survey control along N. 8th Street.
- 9 LEFT BLANK.
- 10 The Legal Description shown hereon was provided by the client and/or his/her representatives.
- 11 No ownership of fence lines has been determined as part of this Survey.
- 12 Off set calls to found survey control are relative to the nearest property corner, intersection of lines, point of curvatures (PC), point of reverse curvatures (PRC) or other identifiable point.
- 13 Compliance with local zoning requirements and or with requirements set forth by other State, Public, and/or Private entities has not been verified as part of this Survey.
- 14 Elevations shown are in accordance with the North American Vertical Datum of 1988

*FEMA Flood Zone data shown here on is based on the visual inspection of the digital Flood Hazardous Maps provided by the Federal Emergency Management Agency (FEMA) and is limited to the accuracy of such maps.
 Flood Zone(s): X and AE with Base Flood Elevation 8.3 to 8.45 Panel No. 179, Community #: 120286 Suffix: K Date: 2.19.2020

- LEGEND**
- C/E - Covered Entry
 - CAC - Concrete Pad with Air Conditioning
 - CB - Catch Basin
 - CBS - Concrete Block Structure
 - CMP - Corrugated Metal Pipe
 - CPE - Concrete Pad with Pool Equipment
 - CTV - Cable TV Box
 - GV - Water Gate Valve
 - HYD - Fire Hydrant
 - LP - Light Pole
 - O/L - Overhead Utility Line
 - PP - Power Pole
 - SSMH - Sanitary Sewer Manhole
 - TCC - Telephone Communications Box
 - UB - Utility Box
 - WM - Water Meter
 - FCM - Found 4"x4" Concrete Monument
 - FIP - Found 1/2" Iron Pipe
 - FIPC - Found 1/2" Iron Pipe with Cap
 - FIR - Found #5 Iron Rod
 - FIRC - Found #5 Iron Rod with Cap
 - SIRC - Set #5 Iron Rod with Cap "LB#7357"
 - FIP - Found 1/2" Iron Pipe with Cap
 - FM - Found Mag Nail
 - FMD - Found Mag Nail with Disk
 - FN - Found Nail
 - FNTT - Found Nail with Tin Tab
 - FPK - Found PK Nail
 - FPKD - Found PK Nail with Disk
 - FRRS - Found Rail Road Spike
 - /CO - In Pavement Cut Out

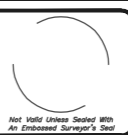
PREPARED FOR:
 Fort Pierce Project 8 LLC

Prepared By: Regina C. Karner, PSM#4363
 Karner Surveying, Inc. LB#7357



Prepared For:
HORST MUELLER-PETERS
 St. Lucie County Florida

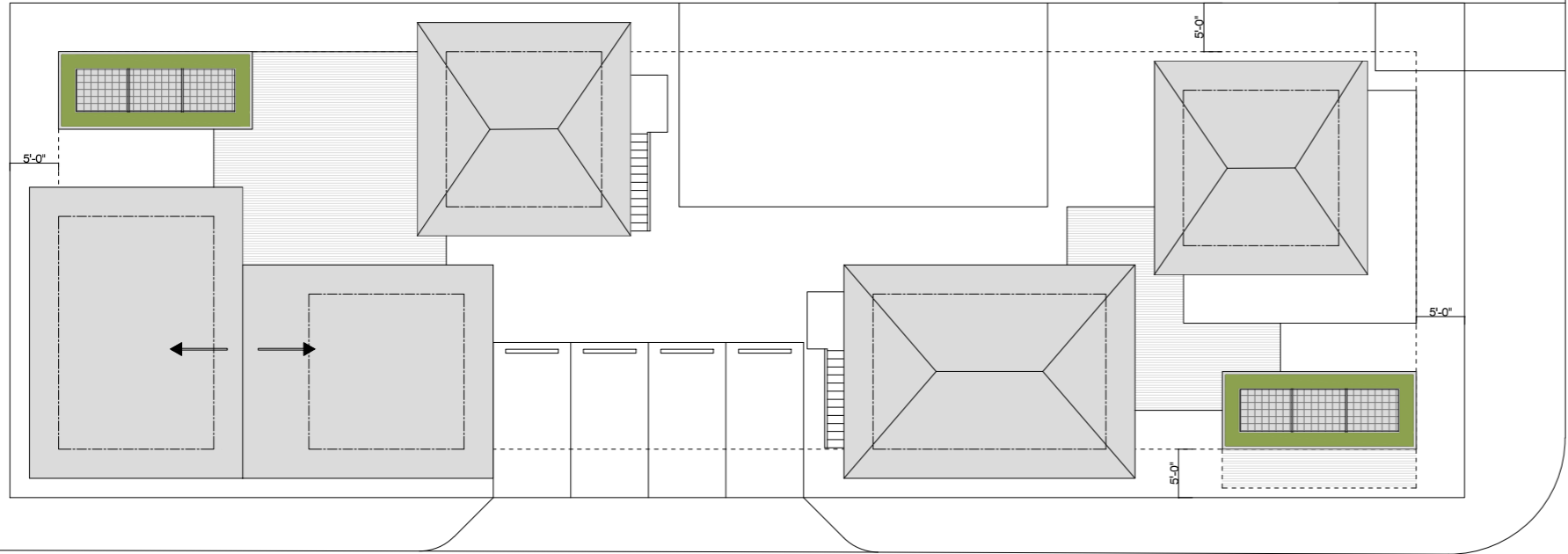
KARNER SURVEYING, INC.
 Residential & Commercial Surveying Services
 2740 SW Martin Downs Blvd.#333, Palm City, FL 34990
 Phone: (772)288 7206 Fax:(772)223 8181
 WWW.KARNERSURVEYINGINC.COM karner@comcast.net



Date	Revision Description

Sheet Title:
Boundary Survey

Scale: 1"=20'
 Date: 4-16-21
 Drawn By: JAC20-2
 Job No.: 2108-04
 Sheet No.: 1 of 1



1 SITE PLAN
 SCALE: 1/8" = 1'-0" A/R:N/A

EKYA LIVING
 801 Ave BFort Pierce, FL 34950
 DRAWING NAME:
SITE PLAN
 CONTRACTOR:
 SUNSHINE-CONSTRUCTION-&DEVELOPMENT
 ENGINEER OF RECORD:

REVISIONS	

DRAWN BY: CadConDesign.com	DRAWING NO.
DATE DRAWN:	SP
DATE SUBMITTED:	

<input checked="" type="checkbox"/>	2 lb	• <i>Cajanus cajan</i>	<input checked="" type="checkbox"/>	○ Pwa Kongo				
<input checked="" type="checkbox"/>	2 oz	• <i>African Indigofera tinctoria</i>	<input checked="" type="checkbox"/>	○ Indigo				
<input checked="" type="checkbox"/>	2 oz	• <i>Native Lysiloma latisiliquum</i>	<input checked="" type="checkbox"/>	○ Native Wild Tamarind				
<input checked="" type="checkbox"/>	1lb	• Nitrogen-fixing bacteria	<input checked="" type="checkbox"/>	○ Native Erythrina herbacea	<input checked="" type="checkbox"/>	○ Cherokee bean Rhizobium	<input checked="" type="checkbox"/>	○ <i>Azospirillum</i>
			<input checked="" type="checkbox"/>	○ Frankia	<input checked="" type="checkbox"/>	○ <i>Herbaspirillum</i>	<input type="checkbox"/>	○ <i>Azoarcus</i>
			<input checked="" type="checkbox"/>	○ Cyanobacteria	<input type="checkbox"/>	○ <i>Rhodobacter</i>	<input type="checkbox"/>	○ <i>Klebsiella</i>
Ground Cover								
	Quantity							
<input checked="" type="checkbox"/>	5	• <i>Pilea microphylla</i>	<input checked="" type="checkbox"/>	○ Native Artillery Fern				
<input checked="" type="checkbox"/>	5	• <i>Zamia integrifolia</i>	<input checked="" type="checkbox"/>	○ Native Coontie				
<input type="checkbox"/>		• <i>Native Cucurbita moschata</i>	<input checked="" type="checkbox"/>	○ Seminole Pumpkin				
<input type="checkbox"/>		• <i>Citrullus lanatus</i>	<input checked="" type="checkbox"/>	○ Seeded Watermelon	<input checked="" type="checkbox"/>	○ Bradford		
<input checked="" type="checkbox"/>	Living Roof	• Native Sedum	<input checked="" type="checkbox"/>	○ Sedum				
<input checked="" type="checkbox"/>	5	• <i>Native Phyla nodiflora</i>	<input checked="" type="checkbox"/>	○ Frog Fruit				
<input checked="" type="checkbox"/>	5	• <i>Native Mimosa strigillosa</i>	<input checked="" type="checkbox"/>	○ Sunshine Mimosa				
<input type="checkbox"/>		• <i>Ipomoea batatas</i>	<input type="checkbox"/>	○ Porto Rico Sweet Potato	<input type="checkbox"/>	○ White Flesh	<input type="checkbox"/>	○ Boniato
<input type="checkbox"/>		• <i>Native Lantana involucrata and Lantana depressa</i>	<input type="checkbox"/>	○ Native Lantana				
<input checked="" type="checkbox"/>	12	• <i>Ananas comosus</i>	<input checked="" type="checkbox"/>	○ White Jade Pineapple	<input checked="" type="checkbox"/>	○ Florida Special Pineapple	<input checked="" type="checkbox"/>	○ Sugarloaf Pineapple
<input type="checkbox"/>		• <i>Plectranthus rotundifolius</i>	<input type="checkbox"/>	○ African Potato Mint				
<input type="checkbox"/>		• <i>Cymbopogon citratus</i>	<input type="checkbox"/>	○ Lemon Grass				

<input checked="" type="checkbox"/>	5	• Zephyranthes atamasca var. treatii, Zephyranthes atamasca var. atamasca and Zephyranthes grandiflora	<input checked="" type="checkbox"/>	○ Rain Lily			
<input checked="" type="checkbox"/>	2 lb	• Vigna unguiculata	<input checked="" type="checkbox"/>	○ Cowpeas			
<input checked="" type="checkbox"/>	5	• Native Helianthus debilis	<input checked="" type="checkbox"/>	○ Native Dune Sunflower			
<input checked="" type="checkbox"/>	10	• Pandanus amaryllifolius	<input checked="" type="checkbox"/>	○ Pandan Grass			
<input type="checkbox"/>		• Tulbaghia violacea	<input type="checkbox"/>	○ Society Garlic			

Fungi

	Quantity						
<input type="checkbox"/>		• Stropharia rugosoannulata.	<input type="checkbox"/>	○ Winecap			
<input type="checkbox"/>		• Hericium erinaceus	<input type="checkbox"/>	○ Lion's Mane			
<input type="checkbox"/>		• Pleurotus spp.	<input type="checkbox"/>	○ Oyster			

Flowers

	Quantity						
<input checked="" type="checkbox"/>	1/4 oz	• Gaillardia aestivalis	<input checked="" type="checkbox"/>	○ Native Lanceleaf Blanket-Flower			
<input checked="" type="checkbox"/>	1/4 oz	• Zinnias	<input checked="" type="checkbox"/>	○ Zinnias			
<input checked="" type="checkbox"/>	1/2 oz	• Native Coreopsis	<input checked="" type="checkbox"/>	○ Native Tickseed			
<input checked="" type="checkbox"/>	3	• Native Solidago fistulosa	<input checked="" type="checkbox"/>	○ Native Goldenrod			
<input checked="" type="checkbox"/>	1/4 oz	• Native Salvia coccinea	<input checked="" type="checkbox"/>	○ Native Tropical Salvia			
<input type="checkbox"/>		• Native Sambucus nigra (subsp.) canadensi	<input type="checkbox"/>	○ Elderberry			
<input checked="" type="checkbox"/>	5	• Native Heliotropium angiospermum	<input checked="" type="checkbox"/>	○ Native Scorpion-Tail			

<input checked="" type="checkbox"/>	1/2 oz	• Asclepias tuberosa	<input checked="" type="checkbox"/>	○ Native Milkweed				
Bushes & Shrubs								
	Quantity							
<input checked="" type="checkbox"/>	4	• Rubus niveus	<input checked="" type="checkbox"/>	○ Mysore Raspberry				
<input type="checkbox"/>		• Camellia sinensis var. Sinensis	<input type="checkbox"/>	○ Tea Bush				
<input checked="" type="checkbox"/>	3	• Synsepalum dulcificum	<input checked="" type="checkbox"/>	○ Miracle Fruit				
<input checked="" type="checkbox"/>	5	• Callicarpa Americana	<input checked="" type="checkbox"/>	○ Native American Beautyberry				
<input checked="" type="checkbox"/>	7	• Rosa	<input type="checkbox"/>	○ New World Roses	<input checked="" type="checkbox"/>	○ White Roses		
<input type="checkbox"/>		• Pereskia aculeata	<input type="checkbox"/>	○ Barbados Gooseberry				
<input checked="" type="checkbox"/>	5	• Mexican Red Papaya	<input checked="" type="checkbox"/>	○ Papaya				
<input checked="" type="checkbox"/>	5	• Musa	<input checked="" type="checkbox"/>	○ Ice Cream / Blue Java	<input checked="" type="checkbox"/>	○ Namwa	<input checked="" type="checkbox"/>	○ Dwarf Red Namwa
			<input type="checkbox"/>	○ Grand Nain	<input checked="" type="checkbox"/>	○ Dwarf Cavendish	<input checked="" type="checkbox"/>	○ Hua Moa
			<input type="checkbox"/>	○ Puerto Rican Plantain				
<input checked="" type="checkbox"/>	10	• Native Vaccinium darrowii & Vaccinium myrsinities	<input checked="" type="checkbox"/>	○ Native Blueberry				
<input checked="" type="checkbox"/>	3	• Malpighia emarginata	<input checked="" type="checkbox"/>	○ Acerola Cherry				
Trees								
	Quantity	20 trees on 801 Ave B - Focus Dwarf Live Oak						
<input checked="" type="checkbox"/>	5	• Morus nigra	<input checked="" type="checkbox"/>	○ Mulberry				
<input type="checkbox"/>		• Prunus persica (Peach)	<input type="checkbox"/>	■ Red Baron	<input type="checkbox"/>	■ UF Best	<input type="checkbox"/>	■ UF Sun
			<input type="checkbox"/>	■ Babcock	<input type="checkbox"/>	■ Tropic Beauty	<input type="checkbox"/>	■ Florida GLO

			<input type="checkbox"/>	■ Tropic Prince	<input type="checkbox"/>	■ Florida Prince	<input type="checkbox"/>	■ Eva's Pride
			<input type="checkbox"/>	■ May Pride	<input type="checkbox"/>	■ Sweet Bagel		
<input type="checkbox"/>		● Artocarpus heterophyllus	<input type="checkbox"/>	○ Jackfruit				
<input type="checkbox"/>		● Spondias purpura	<input type="checkbox"/>	○ Native Hog Plum				
<input checked="" type="checkbox"/>	3	● Bursera simaruba	<input checked="" type="checkbox"/>	○ Bonsai Native Gumbo Limbo				
<input type="checkbox"/>		● Ilex vomitoria, Aquifoliaceae	<input type="checkbox"/>	○ Native Yaupon Holly				
<input checked="" type="checkbox"/>	5	● Mangifera indica	<input checked="" type="checkbox"/>	○ Nam Doc Mi	<input checked="" type="checkbox"/>	○ Carrie	<input type="checkbox"/>	○ Glenn
			<input checked="" type="checkbox"/>	○ Pickering	<input type="checkbox"/>	○ Alphonso		
Vining & Epiphytic								
	Quantity							
<input checked="" type="checkbox"/>	10	● Trichostigma octandrum	<input checked="" type="checkbox"/>	○ Native Haitian Basket Vine				
<input checked="" type="checkbox"/>	3	● Clitoria Ternatea	<input checked="" type="checkbox"/>	○ Butterfly Pea				
<input type="checkbox"/>		● Vanilla planifolia	<input type="checkbox"/>	○ Vanilla Orchid				
<input checked="" type="checkbox"/>	5	● Monstera deliciosa	<input checked="" type="checkbox"/>	○ Monstera				

801 Avenue B Drainage Plan

7,500 Square Foot Infill Lot in Fort Pierce, Florida

Objective:

Design a comprehensive drainage system incorporating natural and sustainable solutions to manage stormwater, support local biodiversity, and contribute to the property's overall ecological health. The average annual rainfall for Fort Pierce is approximately 52 inches. Our combined rain garden, rain storage, permeable materials, and native plantings will ensure effective management of stormwater for the entire lot, reducing the risk of flooding and erosion.

Methodology:

1. Carbon Sequestration Estimates:

- Based on the U.S. Department of Agriculture (USDA) Forest Service data, which provides average carbon sequestration rates per square foot of tree canopy and mulch. The assumption that mulch contains approximately 50% carbon by weight is grounded in studies on organic matter carbon content, such as those outlined in the “Soil Carbon Sequestration” by the USDA's Natural Resources Conservation Service (NRCS).
 - i. Nowak, David J.; Crane, Daniel E. 2002. Carbon storage and sequestration by urban trees in the USA. *Environmental Pollution*. 116(3): 381-389.
- Tree carbon sequestration rates were informed by studies such as “Tree Carbon Calculator” by the USDA Forest Service.
 - i. The forest carbon calculator was developed by scientists at Oregon State University and the USDA Forest Service.

2. Rainwater Collection and Infiltration:

- Average rainfall data for Fort Pierce was sourced from the National Oceanic and Atmospheric Administration (NOAA) climate data. The rainwater collection efficiency rate was derived from guidelines provided by the American Rainwater Catchment Systems Association (ARCSA), which suggests a 90% efficiency in typical rainwater harvesting systems.
- The rain garden's water infiltration and retention rates were based on data from *The Rain Garden Handbook* and *The American Rainwater Catchment Systems Association's (ARCSA's) Rainwater Harvesting Manual*

3. Stormwater Management:

- The stormwater runoff fee rates and calculations were informed by local government stormwater utility fee structures, which often range from \$0.10

801 Avenue B Drainage Plan

to \$0.50 per cubic foot, with \$0.25 being a standard average used in many municipalities, as documented by the Environmental Protection Agency (EPA) in reports on stormwater utilities and cost-saving benefits of green infrastructure.

- Runoff prevention calculations also considered data from the Center for Watershed Protection, which provides methodologies for estimating the volume of stormwater infiltrated by permeable surfaces, mulch, and vegetation.

i. Urban Forest Systems and Green Stormwater Infrastructure | p5

4. Cumulative Rainwater Storage:

- The approach to determining cumulative rainwater storage was based on guidelines from the Rainwater Harvesting Manual by the Texas Water Development Board, which outlines the conversion of rainfall to gallons and typical refill rates for rainwater systems.

i. The Federal Energy Management Program (FEMP)

This methodology integrates empirical data, recognized best practices, and authoritative sources to ensure accurate, science-based estimates that reflect the environmental and financial impacts of the proposed drainage and water management plan for the 801 Avenue B project.

Application:

1. Rain Garden Design:

- **Location:** We've positioned the rain garden in an area of the 7,500 square foot lot to effectively capture runoff from the roof, walkways, and permeable parking areas.
- **Size:** The rain garden covers 900 square feet, representing 12% of the lot's surface area. This size is designed to manage a substantial volume of stormwater, ensuring efficient infiltration and reducing runoff across the property.
- **Plants:**
 - **Grasses:** Fakahatchee Grass (*Tripsacum dactyloides*), Blue Maidencane (*Amphicarpum muhlenbergianum*).
 - **Flowers:** Black-Eyed Susan (*Rudbeckia hirta*), Scarlet Hibiscus (*Hibiscus coccineus*).
 - **Shrubs:** Buttonbush (*Cephalanthus occidentalis*), Wax Myrtle (*Myrica cerifera*).

801 Avenue B Drainage Plan

The rain garden will slow down runoff, allowing it to percolate into the ground, reducing flooding risk, and filtering pollutants.

2. Native and Tropical Fruit Trees:

Plant a mix of shade, flowering, and fruit trees to manage heat, provide habitat, and contribute to stormwater management:

- **Shade Trees:** Dwarf Southern Live Oak (*Quercus minima*), Bald Cypress (*Taxodium distichum*)
- **Flowering and Fruit Trees:**
 - Banana (*Musa spp.*)
 - Plantain (*Musa paradisiaca*)
 - Avocado (*Persea americana*)
 - Mango (*Mangifera indica*)
 - Jamaican Cherry (*Muntingia calabura*)

Estimated Quantity: Approximately 20 trees.

Placement: Trees will be positioned along the periphery and interspersed throughout the lot, ensuring coverage and diversity. Maintain a minimum 5-foot setback from structures to prevent root interference.

3. Groundcovers and Pollinator-Supporting Flowers:

- **Groundcovers:** Sunshine Mimosa (*Mimosa strigillosa*), Frogfruit (*Phyla nodiflora*)
- **Flowers:** Blanket Flower (*Gaillardia pulchella*), Coral Honeysuckle (*Lonicera sempervirens*)

These will attract pollinators, provide soil stability, and reduce erosion, while also requiring minimal maintenance.

4. Rainwater Collection System:

- **Gutters:** Equipped with leaf guards and connected to four 750-gallon rain barrels (totaling 3,000 gallons) placed at the building's corners.

801 Avenue B Drainage Plan

- We further calculate how many times the rain barrels will fill and be emptied throughout the year and estimate the cumulative volume of rainwater that will be used. Rainwater will feed into a drip-line irrigation system.
 - **Rainwater Collection Analysis**
 - **Total Rainwater Collected Annually: Approximately 43,758 gallons**
 - **Number of Times Rain Barrels Refill Annually: About 14.6 times**
 - **Cumulative Rainwater Used for Irrigation Over the Year: 43,758 gallons**

This demonstrates that, while the rain barrels have a storage capacity of 3,000 gallons at any given time, they will collect and supply significantly more water throughout the year.

5. 5-Foot Landscaped Setback with Runoff Control:

- **Create a 5-foot landscaped setback around the perimeter using:**
 - **Gates and Fencing: Install permeable and decorative fencing to prevent water from channeling into adjacent properties.**
 - **Privacy Screens: Use native shrubs like Elderberry (*Sambucus canadensis*) and Firebush (*Hamelia patens*).**
 - **Ancient Stone Lines: Install stone swales or lines (using local coquina or limestone) to direct water toward rain gardens and prevent runoff into the street.**
-

6. Mulch Application:

- **Apply a 4-inch layer of city tree waste mulch to cover the entire 7,500 square feet, providing stormwater sequestration, rain percolation, and soil nutrition.**
 - **The twice-yearly mulch reapplication will greatly enhance the system's ability to sequester carbon and retain water.**
 - **This mulch layer will:**
 - **Enhance water absorption**
 - **Prevent soil erosion**
 - **Maintain soil moisture**
 - **Improve soil fertility over time**

801 Avenue B Drainage Plan

7. Permeable Parking and Walkway Design:

- **Use permeable pavers or gravel for parking spaces and pathways to ensure rainwater infiltrates the ground rather than running off.**
- **Materials: Opt for porous concrete, recycled crushed shell, or pervious pavers for maximum infiltration.**
- **Pathways: Design winding pathways to slow down water flow and direct it toward vegetated areas.**

Municipal Stormwater Cost Impact

Estimating runoff cost savings, we consider the following factors:

Stormwater Utility Fees: Many municipalities charge fees for stormwater runoff based on the impervious surface area and the volume of runoff generated. These fees typically range from \$0.10 to \$0.50 per cubic foot. For Fort Pierce, Florida, we are using a rate of **\$0.25 per cubic foot**.

Calculation

- **1-Year Prevented Runoff:** 33,475.44 cubic feet
- **10-Year Prevented Runoff:** 334,754.45 cubic feet
- **Cost per Cubic Foot:** \$0.25

Estimated Runoff Cost Savings

- **1-Year Prevented Runoff Cost Savings:** Approximately **\$8,368.86**
- **10-Year Prevented Runoff Cost Savings:** Approximately **\$83,688.61**

These estimates indicate substantial financial savings in stormwater management fees due to the effective implementation of the drainage plan, emphasizing the long-term economic and environmental benefits of the 801 Avenue B project. This showcases how sustainable design can lead to significant cost efficiencies over time while contributing positively to the community and environment.

801 Avenue B Drainage Plan

**801 Avenue B Drainage Plan
1-Year and 10-Year Calculation Estimates
Carbon, Water Retention, and Prevented Stormwater Runoff**

1-Year Estimates

Component	1-Year Estimate (Tons or Cubic Feet/Gallons)	Units
Mulch Carbon Storage	500.00	Tons
Tree Carbon Storage	97.50	Tons
Total Carbon Storage	597.50	Tons
Mulch Water Retention	2,500.50	Cubic Feet
Rain Garden Water Infiltration	2,922.75	Cubic Feet
Tree Water Infiltration	1,500.00	Cubic Feet
Total Water Retention	12,773.69	Cubic Feet
Prevented Stormwater Runoff	33,475.44	Cubic Feet
Cumulative Rainwater Used for Irrigation	43,758.00	Gallons

10-Year Estimates

801 Avenue B Drainage Plan

Component	10-Year Estimate (Tons or Cubic Feet/Gallons)	Units
Mulch Carbon Storage	5,000.0	Tons
Tree Carbon Storage	975.0	Tons
Total Carbon Storage	5,975.0	Tons
Mulch Water Retention	250,050.0	Cubic Feet
Rain Garden Water Infiltration	29,227.5	Cubic Feet
Tree Water Infiltration	15,000.0	Cubic Feet
Total Water Retention	352,781.95	Cubic Feet
Prevented Stormwater Runoff	334,754.45	Cubic Feet
Cumulative Rainwater Used for Irrigation	437,580.0	Gallons

The charts accurately reflect the annual and cumulative effects of the drainage plan, showcasing the impact on carbon storage, water retention, and stormwater runoff prevention over both 1-year and 10-year periods, providing a more comprehensive view of the system's overall impact.

Request for Exemption of 801 Ave. B from Concurrency Assessments

To Planning Department Representatives,

I hope this message finds you well.

I am writing to seek an exemption for the residential infill project at 801 Ave. B from Sec. 105-6 - Concurrency Assessments. We believe this exemption is justified based on the ordinance's language, the specific circumstances of the project, and its alignment with state law.

Key points include:

- **Existing Infrastructure:** The project at 801 Ave. B will utilize the existing infrastructure in the area with minimal additional strain on public facilities. This site has access to all utilities and sewer systems. The City of Fort Pierce has recently upgraded the infrastructure in the Peacock Arts District and parts of Lincoln Park, funded by taxpayer dollars, and these upgrades have been accounted for in the city's comprehensive plan.
- **Impact Fee Moratorium:** The city's current moratorium on impact fees makes the \$2,000 concurrency review fee redundant, as it primarily serves to calculate impact fees.
- **Affordable Housing Incentive:** Our project includes 2 affordable housing units. Exempting this project from concurrency assessments would further incentivize the development of affordable housing, supporting the city's broader community goals.
- **Compliance with Comprehensive Plan:** The requested density for this project adheres to the medium residential density zoning allowed in the city's comprehensive plan, which was designed with knowledge of the capacity of the existing infrastructure.
- **Adherence to State Law:** Under Chapter 163.3180 of the Florida Statutes, concurrency requirements are intended to ensure that adequate public facilities are available when the impacts of development occur. Our project meets the criteria for minimal impact on public facilities, justifying an exemption under state law. If necessary, we could pursue adherence to the original development agreement by filing a complaint with the state, though we hope to resolve this collaboratively.

Your consideration and support for this exemption will help streamline the development process for 801 Ave. B, allowing us to move forward efficiently while contributing to the city's affordable housing goals.

Thank you for your attention to this matter. I look forward to your positive response.

Best regards,

Chad Ingram

Project Leader

FortPierceChad@gmail.com

Request for Exemption of 801 Ave. B from Concurrency Assessments

TBD AFTER SITE PLAN APPROVAL

NA

NA

NA TO SITE PLAN APPROVAL

NA

NA

NA