

# SITE DATA

|                               |   |                  |      |
|-------------------------------|---|------------------|------|
| EXISTING LAND USE             | MXD   | FLOOD ZONE       | X    |
| EXISTING ZONING               | PD  | UTILITY PROVIDER | FPUA |
| SITE ACREAGE                  | 122.80  |                  |      |
| PARCEL IDENTIFICATION NUMBERS | 2432-211-0006-000-3 , 2432-211-0005-000-6 , 2432-343-0001-000-4 |                  |      |

|                      |               |          |
|----------------------|---------------|----------|
| <b>POD 1 DATA</b>    | 3835423.97 SF | 88.05 AC |
| DWELLING UNITS       | 286           |          |
| DU/AC                | 3.2           |          |
| OPEN SPACE/ PERVIOUS | 20% MIN       |          |
| <b>POD 3 DATA</b>    | 827806.4 SF   | 19.00 AC |
| <b>POD 4 DATA</b>    | 217044.63 SF  | 4.98 AC  |
| <b>POD 5 DATA</b>    | 468863.43 SF  | 10.76 AC |

|                                |          |         |
|--------------------------------|----------|---------|
| <b>OPEN SPACE CALCULATIONS</b> |          |         |
| REQUIRED (20%)                 | 17.61 AC |         |
| LAKES                          | 14 AC    | MINIMUM |
| LANDSCAPE AREA                 | 3 AC     | MINIMUM |
| OTHER                          | 0.61 AC  | MINIMUM |

| OPEN SPACE TABLE   |                        | (20% REQUIRED) |
|--------------------|------------------------|----------------|
| TRACT              | TOTAL AREA BY USE (AC) | PROVIDED (%)   |
| COMMON/OPEN SPACE  | 9.02                   | 10.25%         |
| RECREATION SPACE   | 2.51                   | 2.85%          |
| LANDSCAPE BUFFERS  | 4.47                   | 5.08%          |
| DRAINAGE EASEMENTS | 0.77                   | 0.87%          |
| LME                | 3.94                   | 4.47%          |
| LAKES              | 14.10                  | 16.02%         |
| PRESERVE           | 3.08                   | 3.50%          |
| <b>TOTAL AREA</b>  | <b>37.90</b>           | <b>43.04%</b>  |

| IMPERVIOUS SPACE TABLE |              |               |
|------------------------|--------------|---------------|
| TRACT                  | AREA (AC)    | PROVIDED (%)  |
| LOTS - SINGLE FAMILY   | 38.71        | 43.96%        |
| ROADWAY ROW            | 11.45        | 19.31%        |
| <b>TOTAL AREA</b>      | <b>50.15</b> | <b>56.96%</b> |
| ASPHALT                | 4.62         | 5.25%         |
| CONCRETE               | 1.16         | 1.32%         |

## LEGAL DESCRIPTION

**SELVITZ I, LLC**  
TRACT AA PARCEL OF LAND LYING IN SECTION 32, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: FOR A POINT OF REFERENCE, COMMENCE AT THE SOUTHWEST CORNER OF SAID SECTION 32; THENCE NORTH 0°04'38" EAST, ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 32, A DISTANCE OF 1457.23 FEET; THENCE SOUTH 89°55'22" EAST, A DISTANCE OF 50.00 FEET TO THE EAST RIGHT-OF-WAY LINE OF SELVITZ ROAD AND THE POINT OF BEGINNING; THENCE NORTH 0°04'38" EAST, ALONG THE SAID EAST RIGHT-OF-WAY LINE, A DISTANCE OF 1013.67 FEET; THENCE SOUTH 89°58'14" EAST, A DISTANCE OF 150.00 FEET; THENCE NORTH 45°01'46" EAST, A DISTANCE OF 42.43 FEET; THENCE SOUTH 89°58'14" EAST, A DISTANCE OF 2007.17 FEET; THENCE SOUTH 0°07'05" EAST, A DISTANCE OF 1563.08 FEET; THENCE SOUTH 89°55'13" WEST, A DISTANCE OF 1414.65 FEET; THENCE NORTH 0°01'42" EAST, A DISTANCE OF 463.09 FEET; THENCE SOUTH 89°57'24" WEST, A DISTANCE OF 577.30 FEET; THENCE NORTH 45°02'36" WEST, A DISTANCE OF 70.71 FEET; THENCE SOUTH 89°57'24" WEST, A DISTANCE OF 150.00 FEET TO THE EAST RIGHT OF WAY LINE OF SELVITZ ROAD AND THE POINT OF BEGINNING.

**SELVITZ II, LLC**  
THE NORTH 1/2 OF THE SOUTHWEST 1/4, THE NORTH 1/2 OF THE SOUTHEAST 1/4 OF THE SOUTH WEST 1/4 AND THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4, ALL IN SECTION 32, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA; LESS AND EXCEPT THOSE PORTIONS OF THE ABOVE DESCRIBED PROPERTY DESCRIBED IN RIGHT-OF-WAY DEEDS RECORDED IN DEED BOOK 140, PAGE 207 AND DEED BOOK 140, PAGE 198, AND ALSO LESS AND EXCEPT RIGHT-OF-WAY FOR NORTH ST. LUCIE RIVER WATER MANAGEMENT DISTRICT CANAL NO. 101.

ALSO LESS AND EXCEPT THEREFROM:  
A PARCEL OF LAND LYING IN SECTION 32, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: FOR A POINT OF REFERENCE, COMMENCE AT THE SOUTHWEST CORNER OF SAID SECTION 32; THENCE NORTH 0°04'38" EAST, ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 32, A DISTANCE OF 1457.23 FEET; THENCE SOUTH 89°55'22" EAST, A DISTANCE OF 50.00 FEET TO THE EAST RIGHT-OF-WAY LINE OF SELVITZ ROAD AND THE POINT OF BEGINNING; THENCE NORTH 0°04'38" EAST, ALONG THE SAID EAST RIGHT-OF-WAY LINE, A DISTANCE OF 1013.67 FEET; THENCE SOUTH 89°58'14" EAST, A DISTANCE OF 150.00 FEET; THENCE NORTH 45°01'46" EAST, A DISTANCE OF 42.43 FEET; THENCE SOUTH 89°58'14" EAST, A DISTANCE OF 2007.17 FEET; THENCE SOUTH 0°07'05" EAST, A DISTANCE OF 1563.08 FEET; THENCE SOUTH 89°55'13" WEST, A DISTANCE OF 1414.65 FEET; THENCE NORTH 0°01'42" EAST, A DISTANCE OF 463.09 FEET; THENCE SOUTH 89°57'24" WEST, A DISTANCE OF 577.30 FEET; THENCE NORTH 45°02'36" WEST, A DISTANCE OF 70.71 FEET; THENCE SOUTH 89°57'24" WEST, A DISTANCE OF 150.00 FEET TO THE EAST RIGHT OF WAY LINE OF SELVITZ ROAD AND THE POINT OF BEGINNING.

**SELVITZ III, LLC**  
THE SOUTH ONE-HALF OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA. EXCEPTING THEREFROM, EASEMENTS FOR PUBLIC ROADS AND DRAINAGE CANALS.

CONTAINING: 5,349,168 SQUARE FEET OR 122.8 ACRES, MORE OR LESS.

## TRAFFIC STATEMENT

x

## DRAINAGE STATEMENT

THE PROPOSED DRAINAGE SYSTEM WILL CONSIST OF A NETWORK OF PIPES AND CATCH BASINS INTERCONNECTING THE ROADWAYS TO THE PROPOSED ONSITE LAKES. WATER QUALITY WILL BE ACHIEVED WITHIN THE LAKE.

AS THE OVERALL PROPERTY IS DEVELOPED LAKES AND DITCHES WILL BE CONSTRUCTED TO PROVIDE SUFFICIENT ATTENUATION OF RUN-OFF AT VARIOUS STAGES OF THE PROJECT UNTIL THE OVERALL LAKE AND DRAINAGE SYSTEM IS COMPLETE.

THE PROJECT OUTFALL LOCATION IS THE NORTH ST. LUCIE WATER CONTROL DISTRICT LOCATED NORTH OF THE PROJECT SITE.

## PROJECT TEAM

**OWNER/CLIENT:**  
SELVITZ I/II/III  
631 US HWY 1, SUITE 409  
NORTH PALM BEACH, FL 33408  
561.653.1104

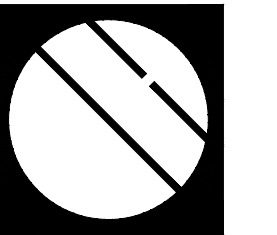
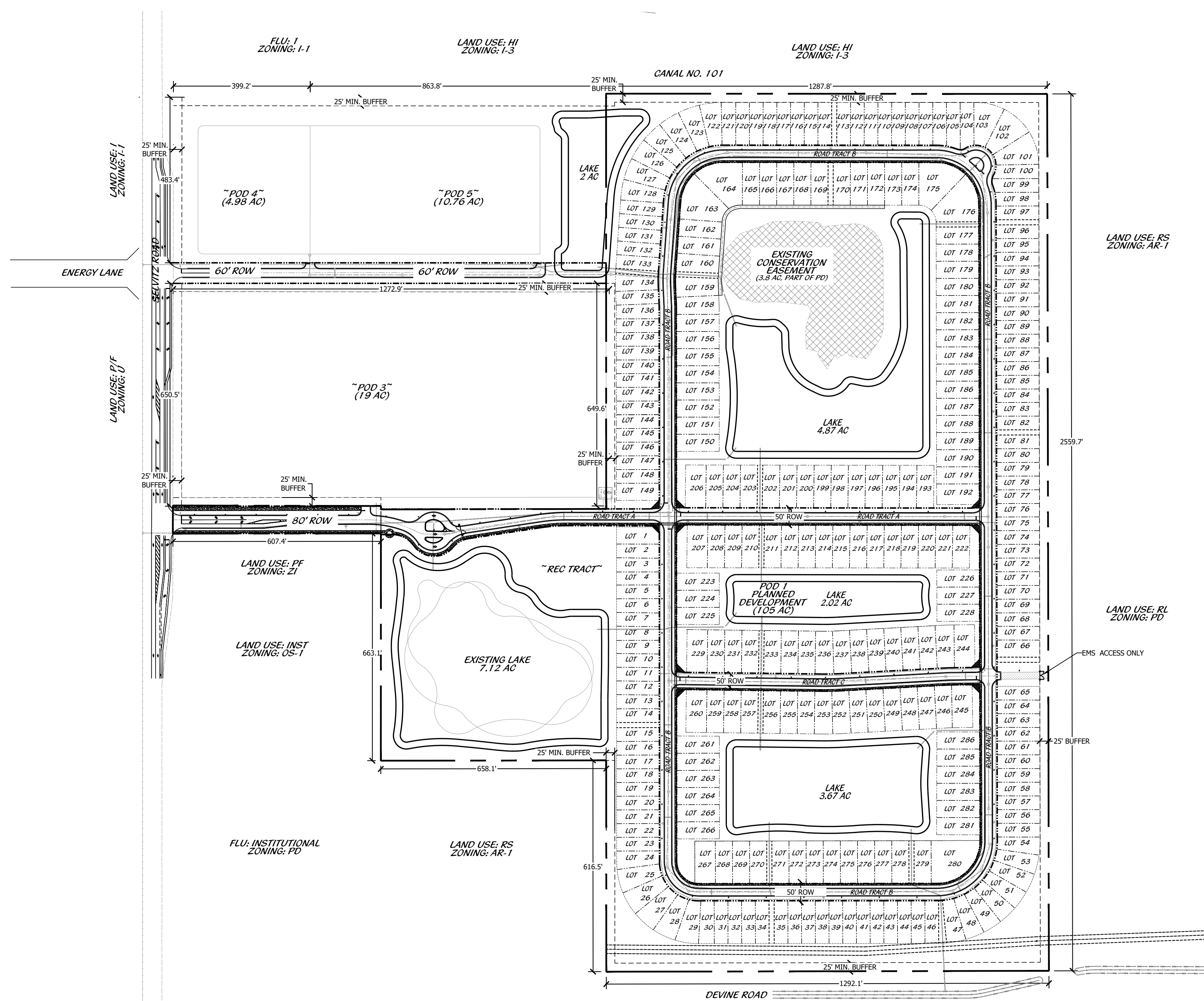
**AGENT/LANDSCAPE ARCHITECT/PLANNER:**  
COTLEUR & HEARING, INC.  
1934 COMMERCE LANE, SUITE 1  
JUPITER, FL 33458  
561.515.4450

**TRAFFIC:**  
MACKENZIE ENGINEERING AND PLANNING  
1172 SW 30TH ST, SUITE 500  
PALM CITY, FL 34910  
772.286.8030

**SURVEYOR:**  
LIDBERG LAND SURVEYING  
675 WEST INDIANTOWN RD, SUITE 200  
JUPITER, FL 33458  
561.746.8454

**ENVIRONMENTAL:**  
ADVANCED RESTORATION ECOLOGY  
2593 NE ROBERTA ST  
JENSON BEACH, FL 34957  
772.422.7200

**ENGINEER:**  
MILLS SHORT & ASSOCIATES  
700 22ND PLACE  
VERO BEACH, FL 32960  
772.226.7282



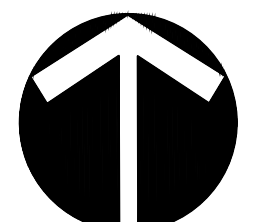
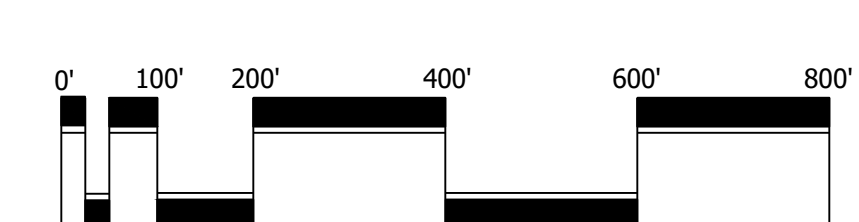
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SYMPHONY LAKES

Ft. Pierce, Florida

## PLANNED DEVELOPMENT FINAL SITE PLAN

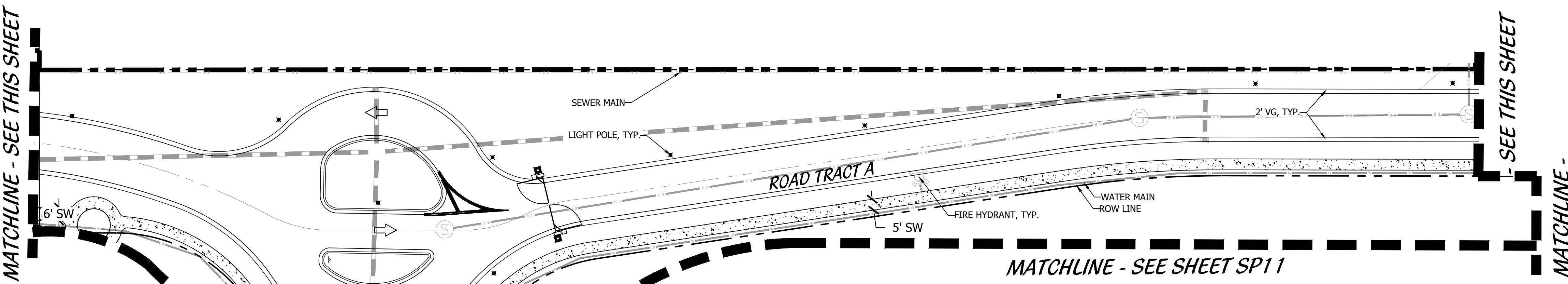
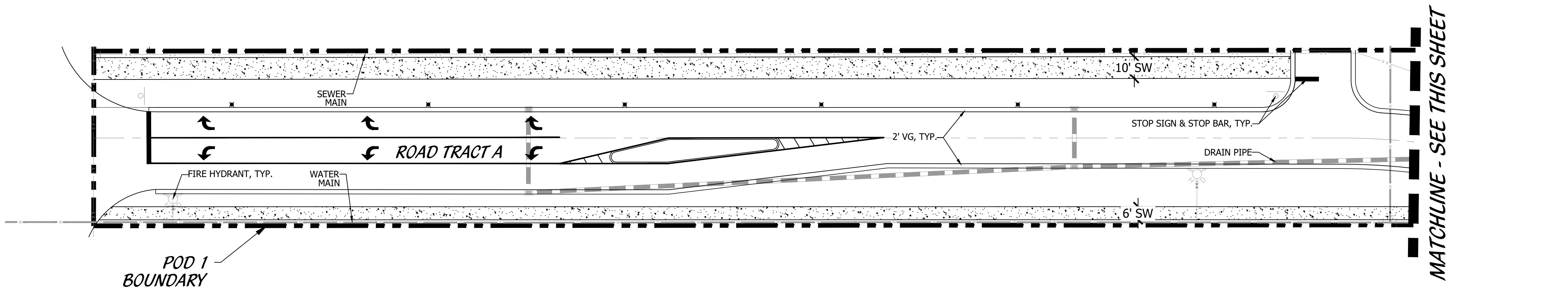


Scale: 1" = 200'-0"

North

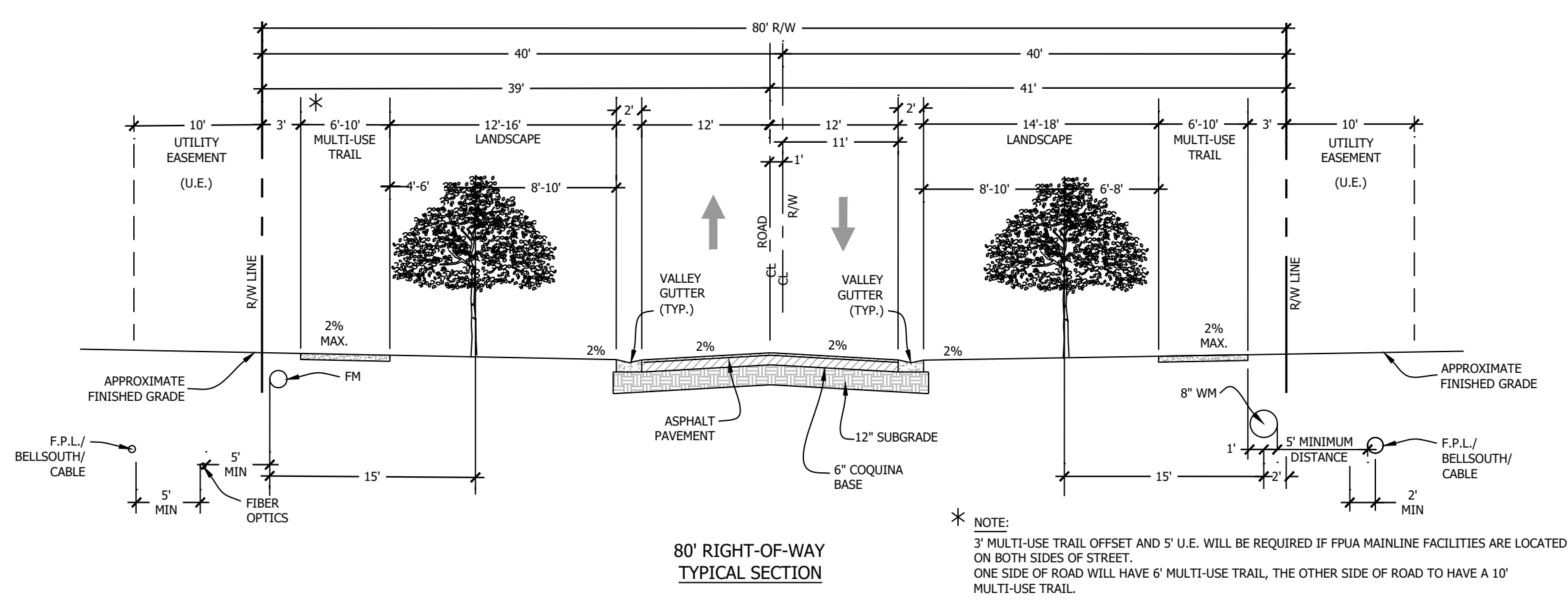
SHEET SP1 OF 12

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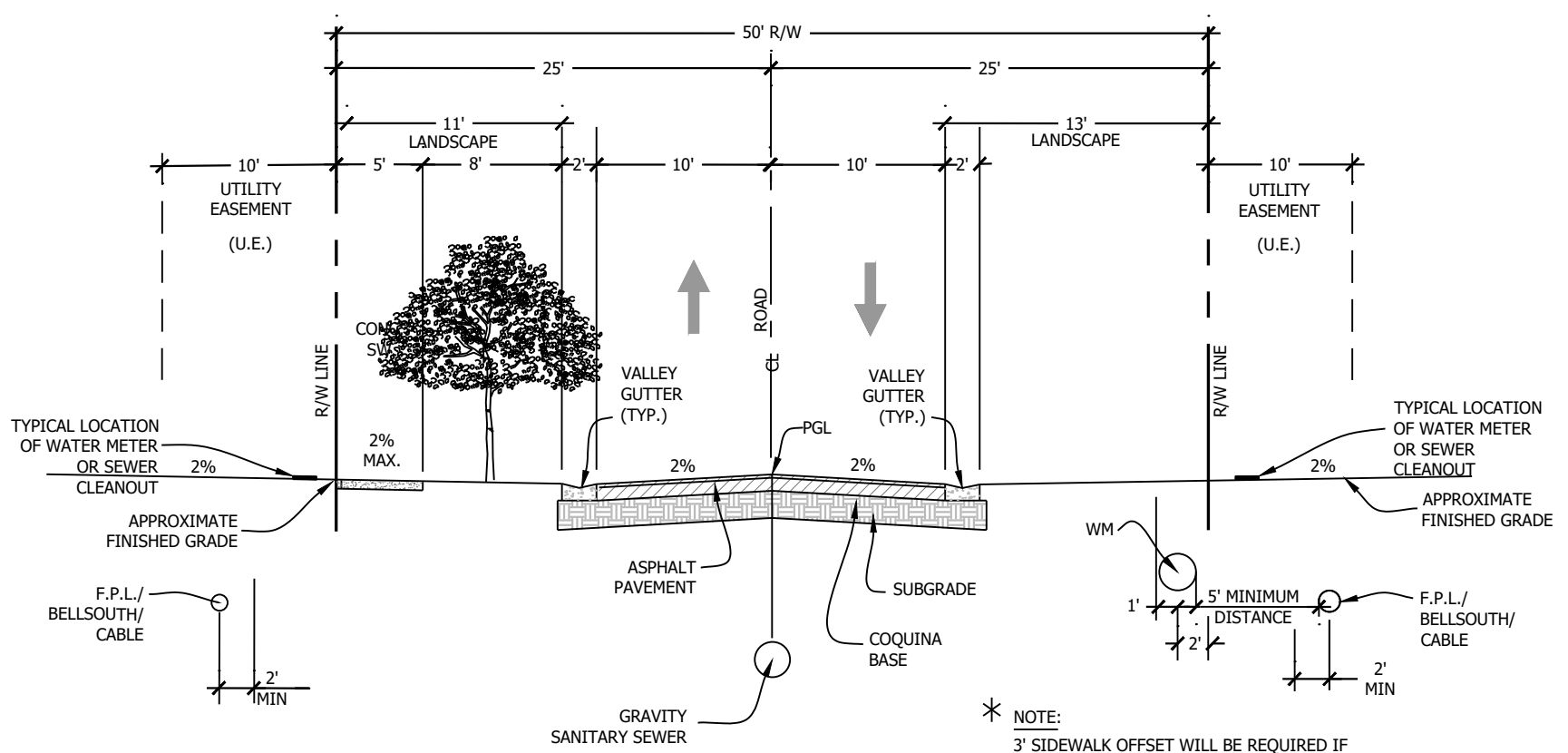


**TYPICAL ROW SECTIONS**

SCALE 1"=10'-0"



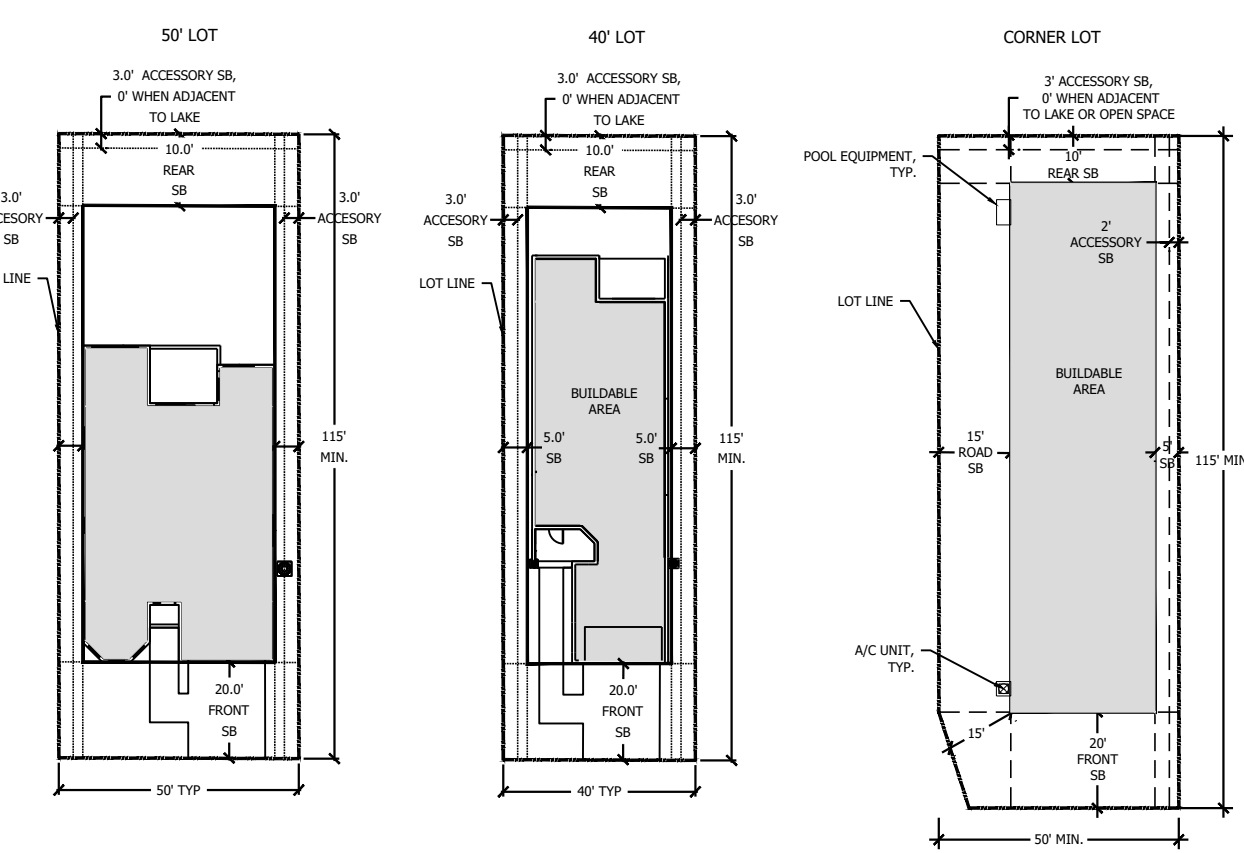
80' RIGHT-OF-WAY TYPICAL SECTION



50' RIGHT-OF-WAY TYPICAL SECTION  
POSTED SPEED 25 MPH

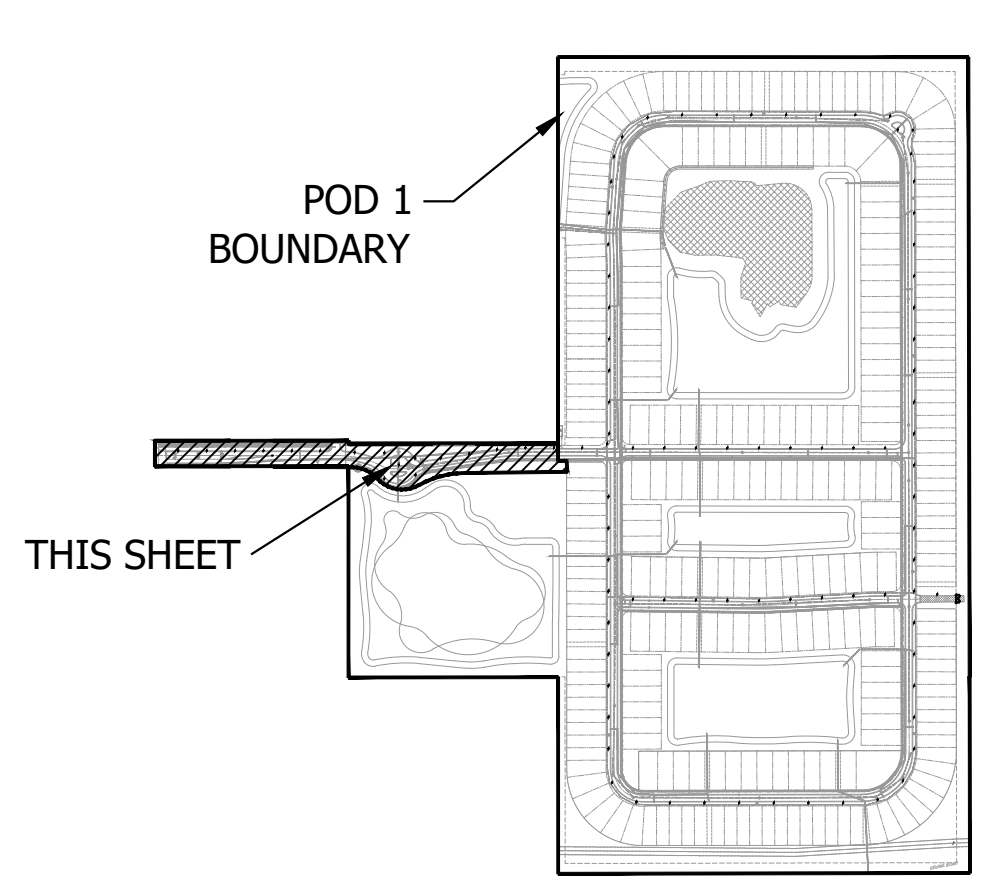
**TYPICAL LOT LAYOUTS**

SCALE 1"=40'-0"



IF ADJACENT TO AN OPEN SPACE TRACT 15' IN WIDTH OR GREATER, THE SIDE CORNER LOT SETBACK CAN BE REDUCED TO 5'. WHEN NOT ADJACENT TO AN OPEN SPACE TRACT, USE OF TRACK SHALL BE A MINIMUM OF 15' ON STREET SIDE.

**KEY MAP**



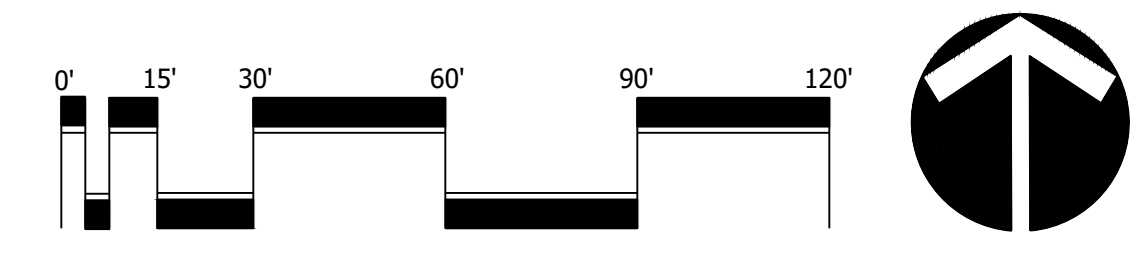
**LEGEND**

- LB LANDSCAPE BUFFER
- LS LANDSCAPE
- SB SETBACK
- SW SIDEWALK
- TYP TYPICAL
- DE DRAINAGE EASEMENT
- STOP SIGN
- DO NOT ENTER
- PEDESTRIAN CROSSING
- STREET LIGHT
- PRESERVE

**DEVELOPMENT STANDARDS DATA**

| Table 1. DEVELOPMENT USED AND STANDARDS   |                            |
|---|----------------------------|
| DEVELOPMENT STANDARD  | SINGLE FAMILY              |
| <b>PRIMARY STRUCTURE</b>  |                            |
| Minimum Lot Width   | 40'                        |
| Minimum Lot Depth   | 115'                       |
| Maximum Lot Depth   | None                       |
| Maximum Building Lot Coverage   | 80%                        |
| Maximum Impervious Lot Coverage   | 80%                        |
| Minimum Open Space  | 20%                        |
| Minimum Front Setback (Front Loaded)  | 18'                        |
| Minimum Front Setback (Side Loaded)   | 10'                        |
| Minimum Side Setback (Internal Lot) (May be 0' on a zero-lot-line provided that minimum building separation of 10' is maintained between units) | 5'                         |
| Minimum Side Setback (Front-Entry)  | 15'                        |
| Minimum Side Setback (Corner Lot)   | 15'                        |
| Minimum Rear Setback (Corner Lot)   | 10'                        |
| Minimum Rear Setback (Internal Lot)   | 10'                        |
| <b>ACCESSORY STRUCTURES</b>   |                            |
| Minimum Rear Setback  | 3'                         |
| Minimum Side Setback (Internal Lot)   | 0'                         |
| Minimum Side Setback (Corner Lot)   | 2' (2' from property line) |
| Minimum Side Setback (Corner Lot)   | 15'                        |

**PLANNED DEVELOPMENT FINAL SITE PLAN**



Scale: 1" = 30'-0"

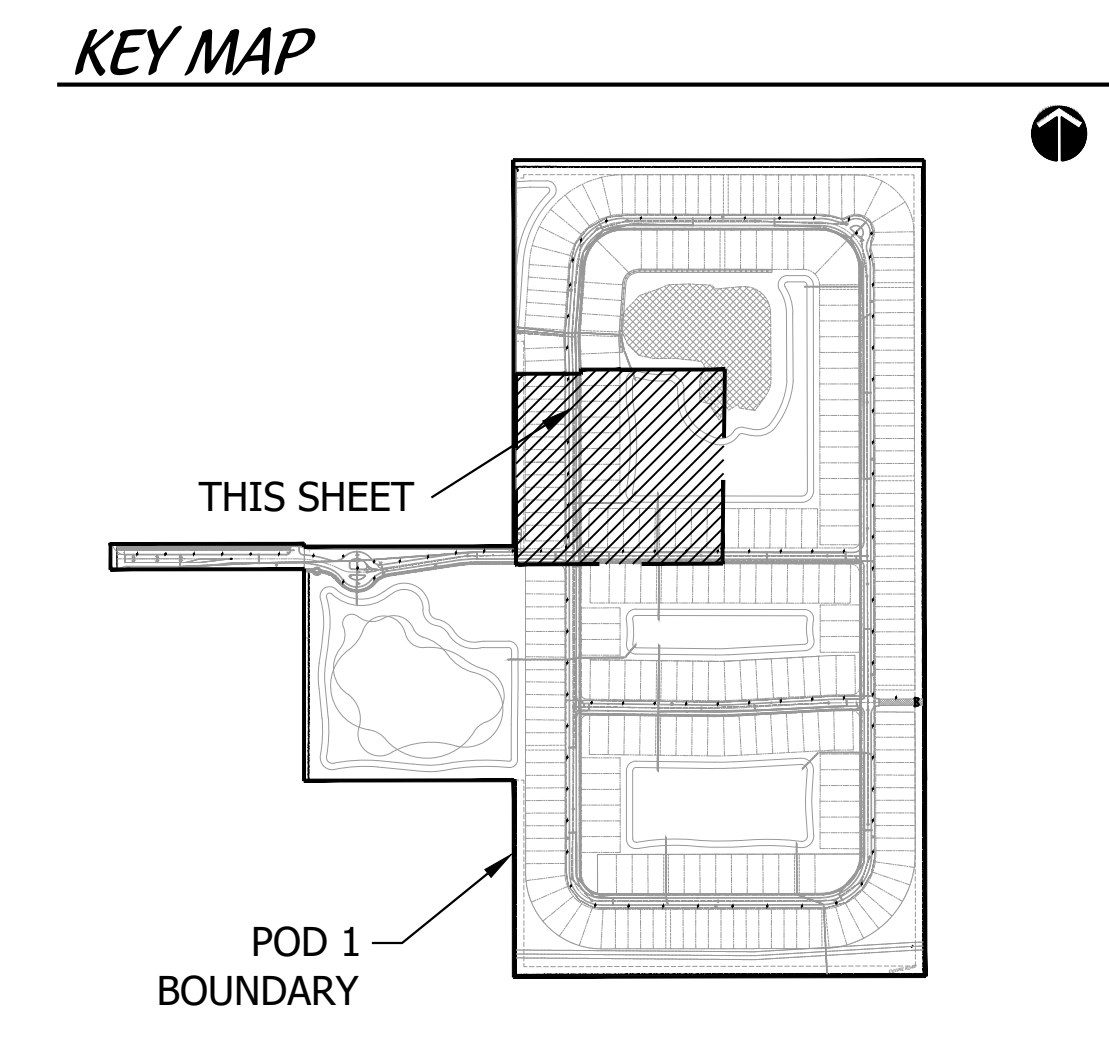
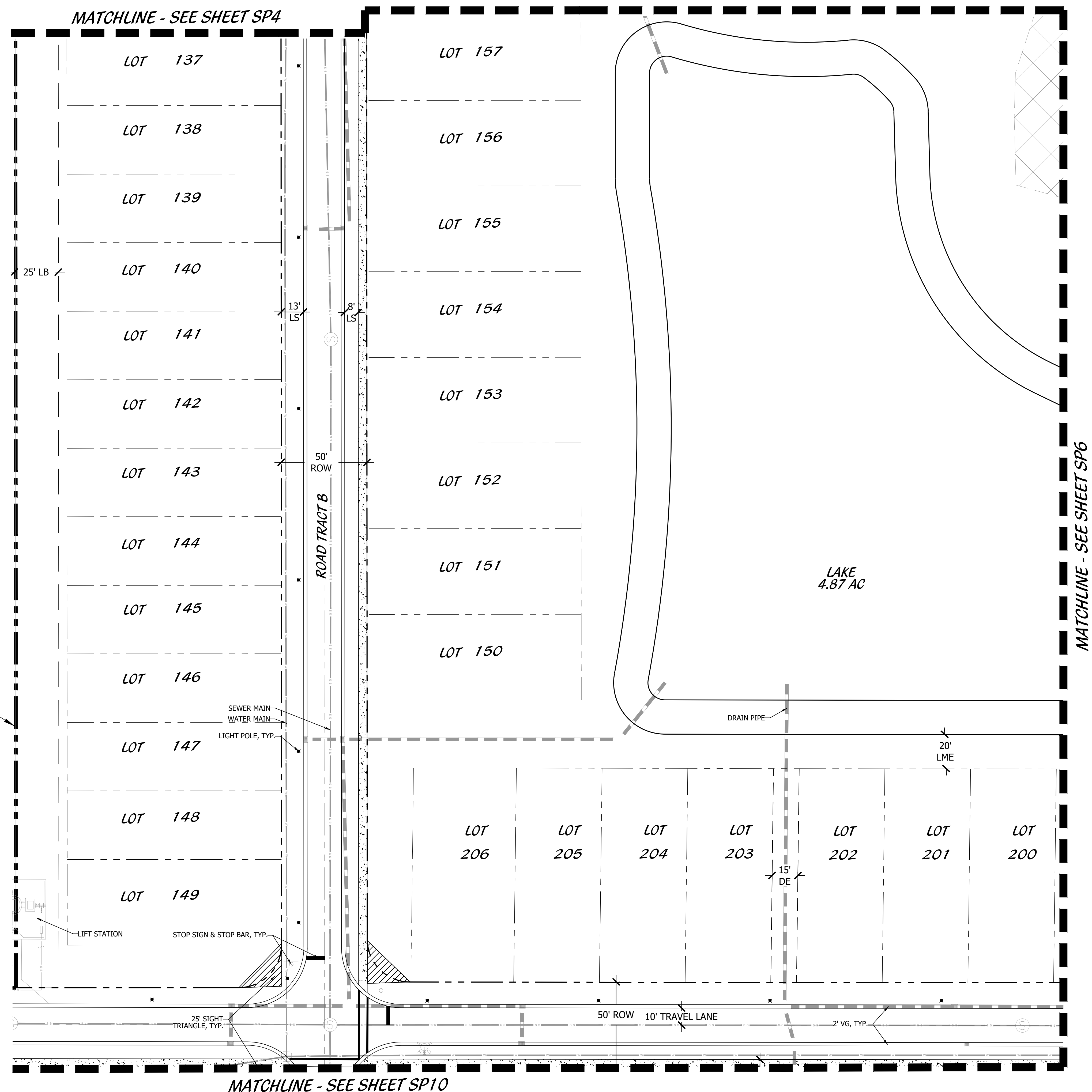
North

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**SYMPHONY LAKES**

Ft. Pierce, Florida

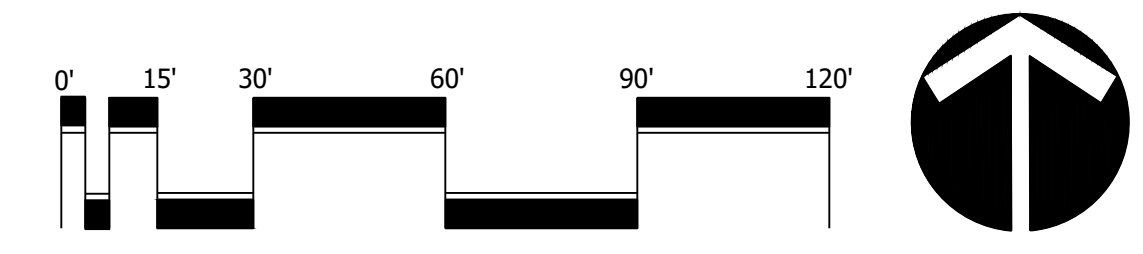
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| DESIGNED   | PRP      |
| DRAWN      | PRP      |
| APPROVED   | DTS      |
| JOB NUMBER | 21-1214  |
| DATE       | 11-11-24 |
| REVISIONS  |          |



**LEGEND**

|     |                   |  |                     |
|-----|-------------------|--|---------------------|
| LB  | LANDSCAPE BUFFER  |  | STOP SIGN           |
| LS  | LANDSCAPE SETBACK |  | DO NOT ENTER        |
| SB  | SETBACK           |  | PEDESTRIAN CROSSING |
| SW  | SIDEWALK          |  | STREET LIGHT        |
| TYP | TYPICAL           |  | PRESERVE            |
| DE  | DRAINAGE EASEMENT |  |                     |

**PLANNED DEVELOPMENT  
FINAL SITE PLAN**



Scale: 1" = 30'-0"

North

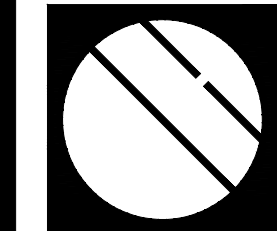
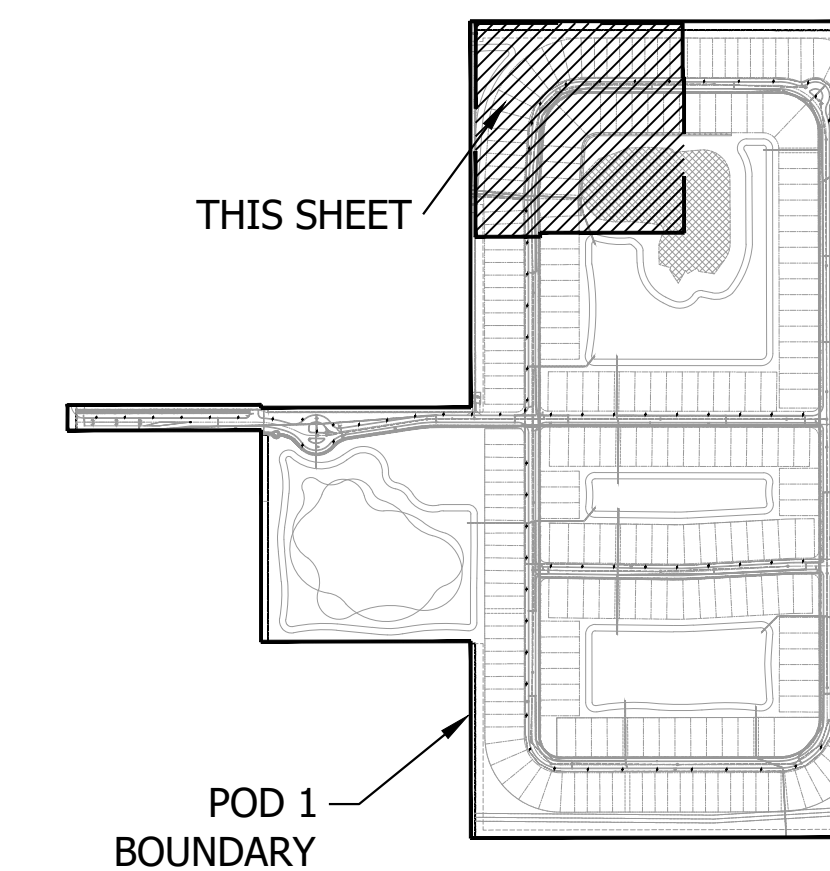
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 Ft. Pierce, Florida

|            |          |
|------------|----------|
| DESIGNED   | PRP      |
| DRAWN      | PRP      |
| APPROVED   | DTS      |
| JOB NUMBER | 21-1214  |
| DATE       | 11-11-24 |
| REVISIONS  |          |

CANAL NO. 101

KEY MAP



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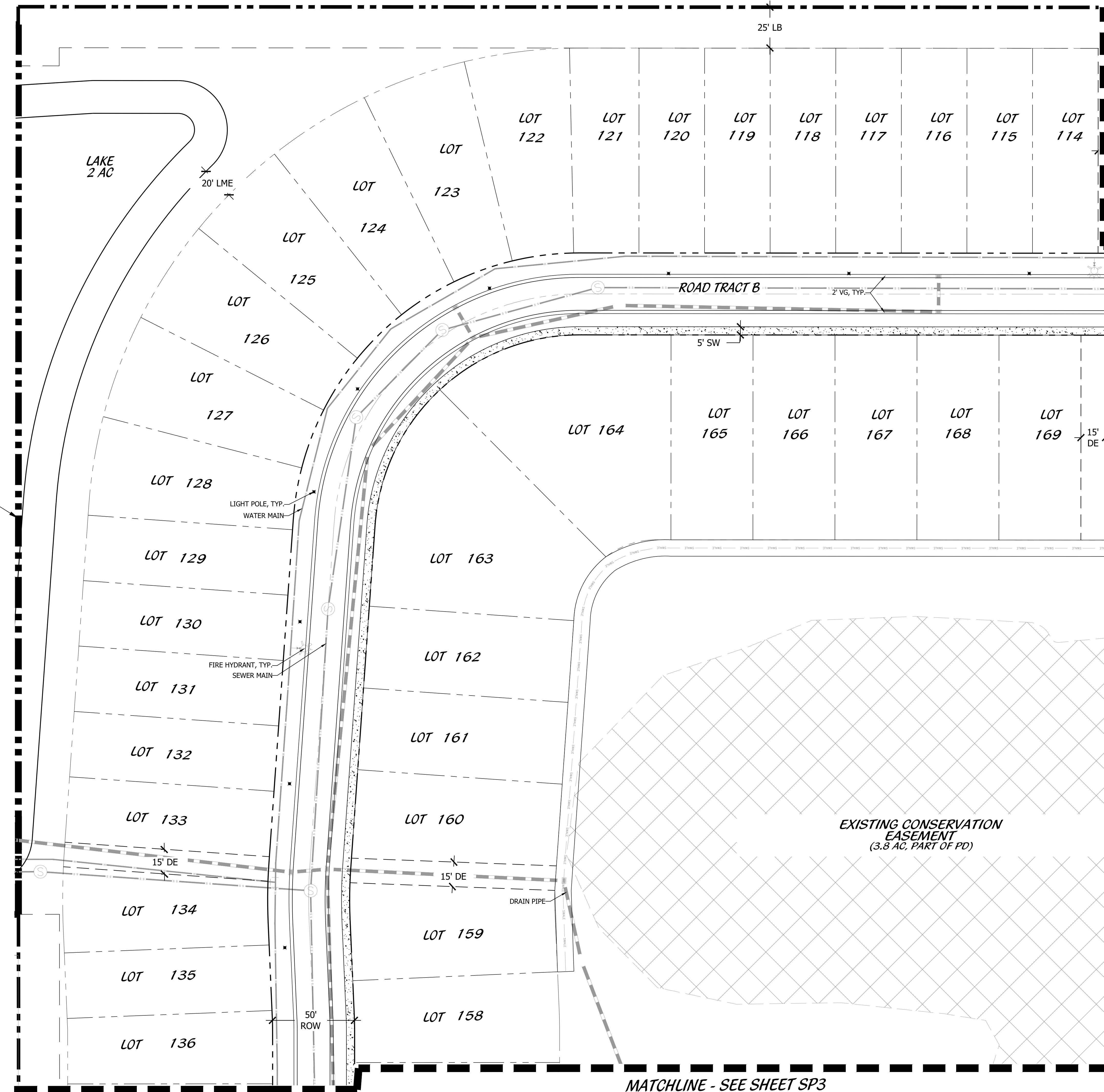
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# SYMPHONY LAKES

Ft. Pierce, Florida

POD 1  
 BOUNDARY

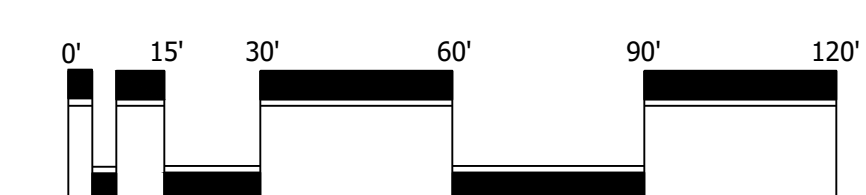
MATCHLINE - SEE SHEET SP5



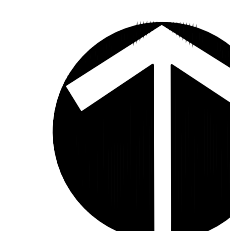
**LEGEND**

- |     |                   |                     |
|-----|-------------------|---------------------|
| LB  | LANDSCAPE BUFFER  | STOP SIGN           |
| LS  | LANDSCAPE SETBACK | DO NOT ENTER        |
| SB  | SETBACK           | PEDESTRIAN CROSSING |
| SW  | SIDEWALK          | STREET LIGHT        |
| TYP | TYPICAL           | PRESERVE            |
| DE  | DRAINAGE EASEMENT |                     |

**PLANNED DEVELOPMENT  
 FINAL SITE PLAN**



Scale: 1" = 30'-0"



North

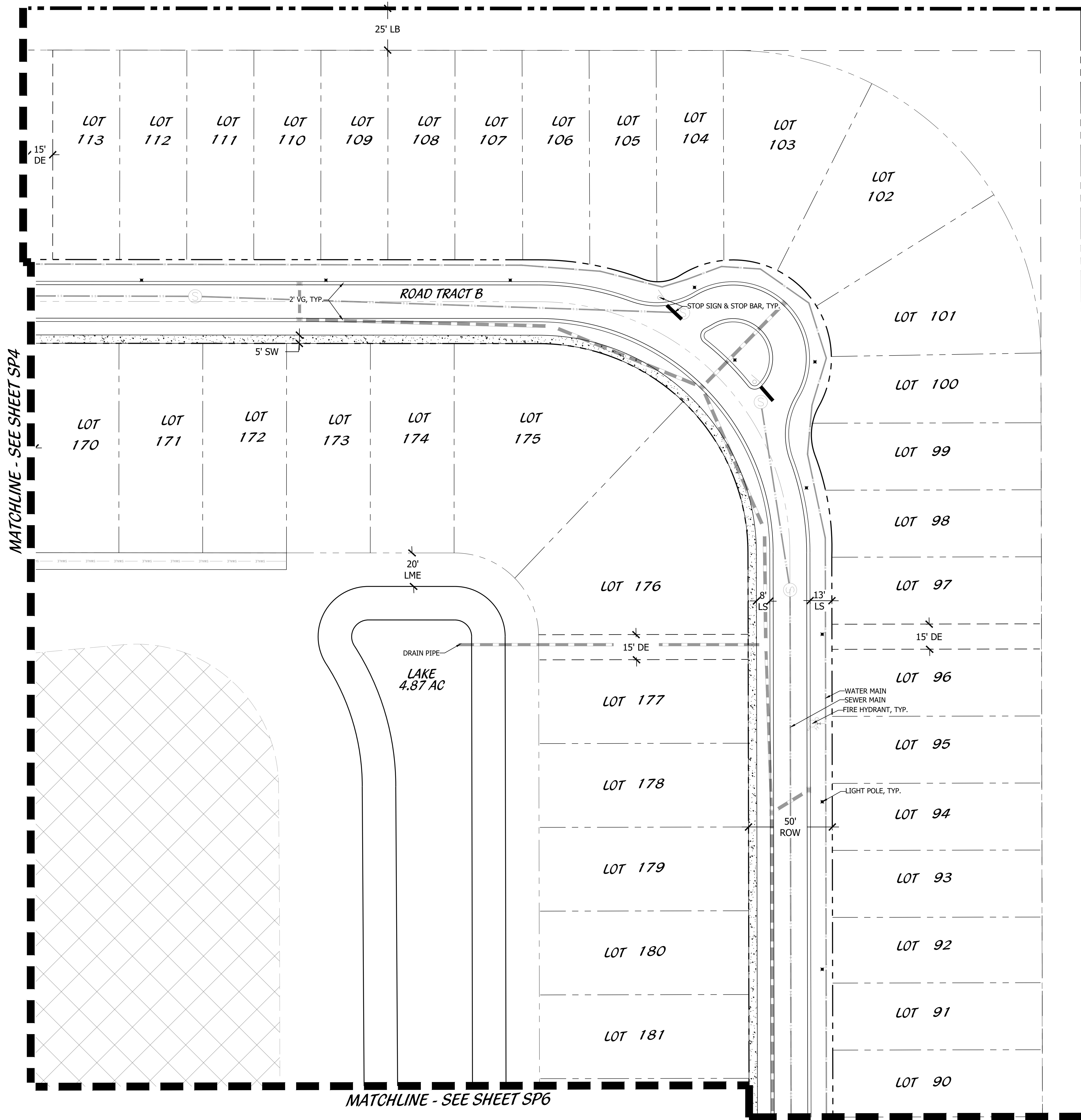
MATCHLINE - SEE SHEET SP3

DESIGNED \_\_\_\_\_ PRP  
 DRAWN \_\_\_\_\_ PRP  
 APPROVED \_\_\_\_\_ DTS  
 JOB NUMBER 21-1214  
 DATE 11-11-24  
 REVISIONS \_\_\_\_\_

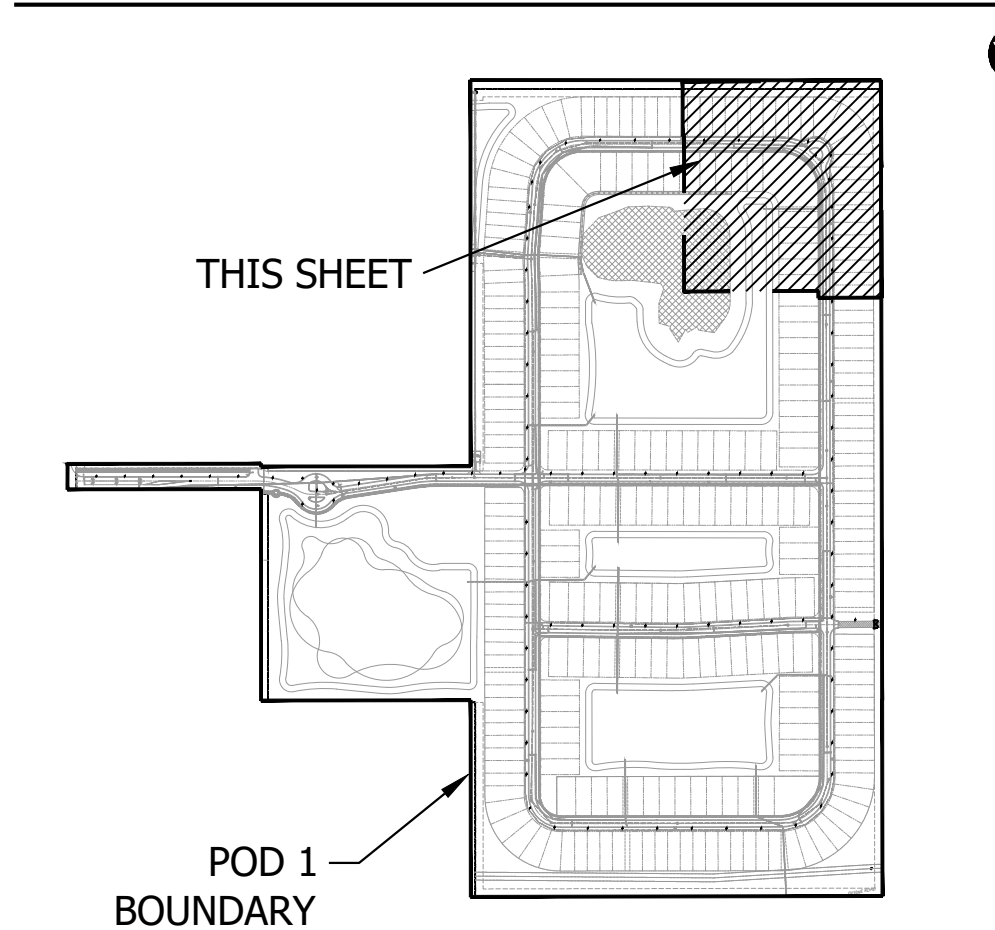
SHEET SP4 OF 12

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KEY MAP



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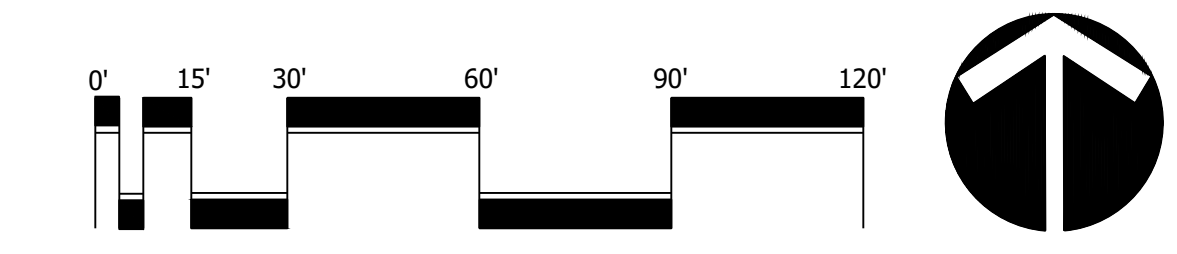
# SYMPHONY LAKES

Ft. Pierce, Florida

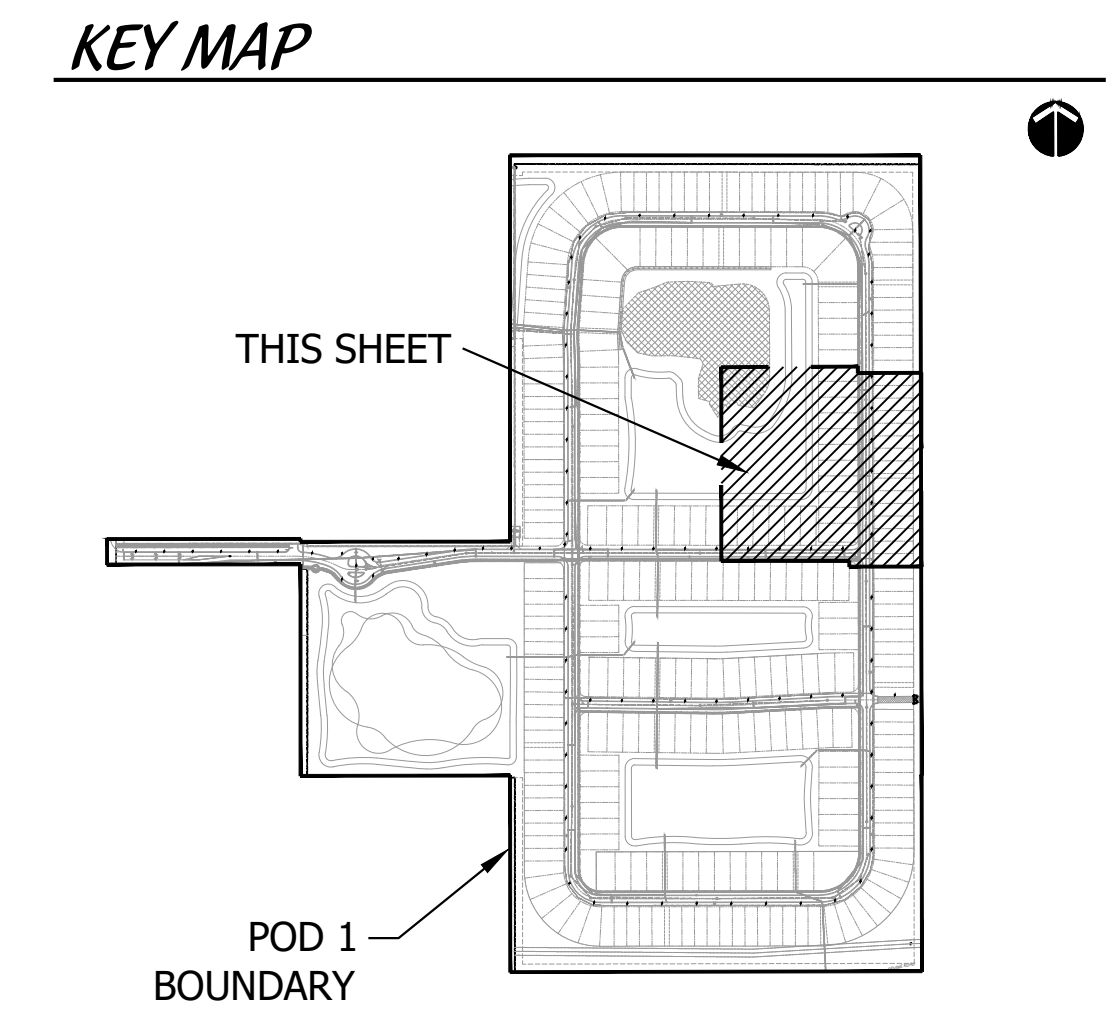
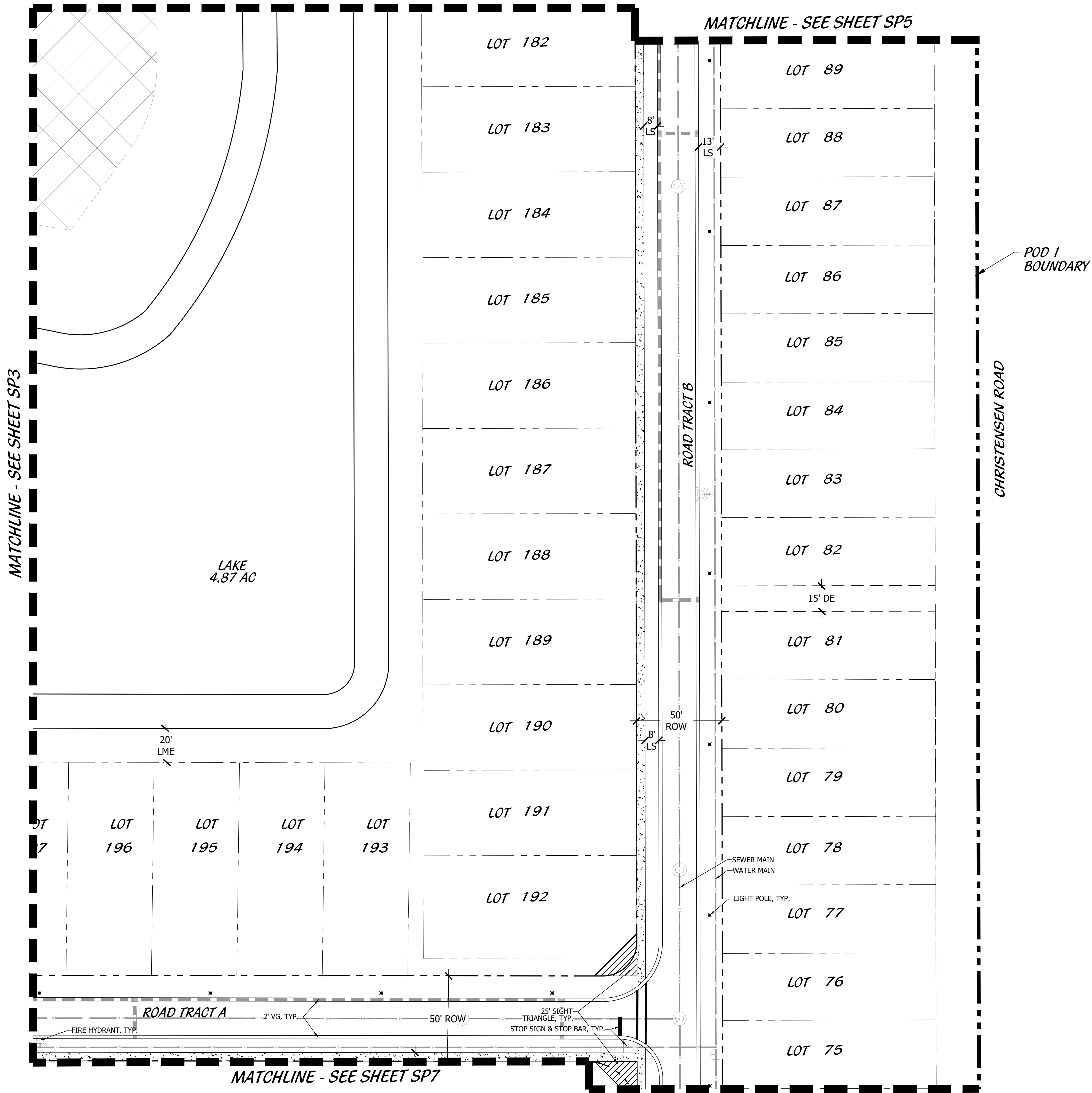
## LEGEND

- |     |                   |                     |
|-----|-------------------|---------------------|
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## PLANNED DEVELOPMENT FINAL SITE PLAN



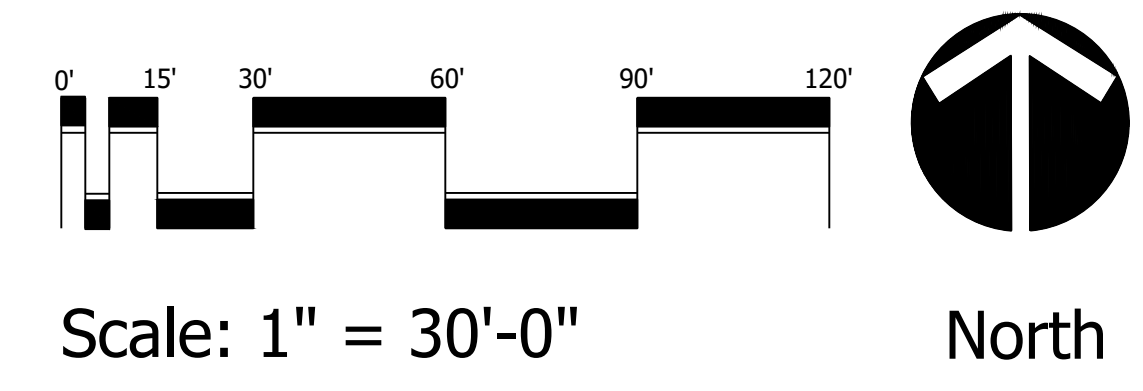
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 APPROVED \_\_\_\_\_ DTS  
 JOB NUMBER 21-1214  
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 REVISIONS \_\_\_\_\_



**LEGEND**

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**PLANNED DEVELOPMENT  
FINAL SITE PLAN**



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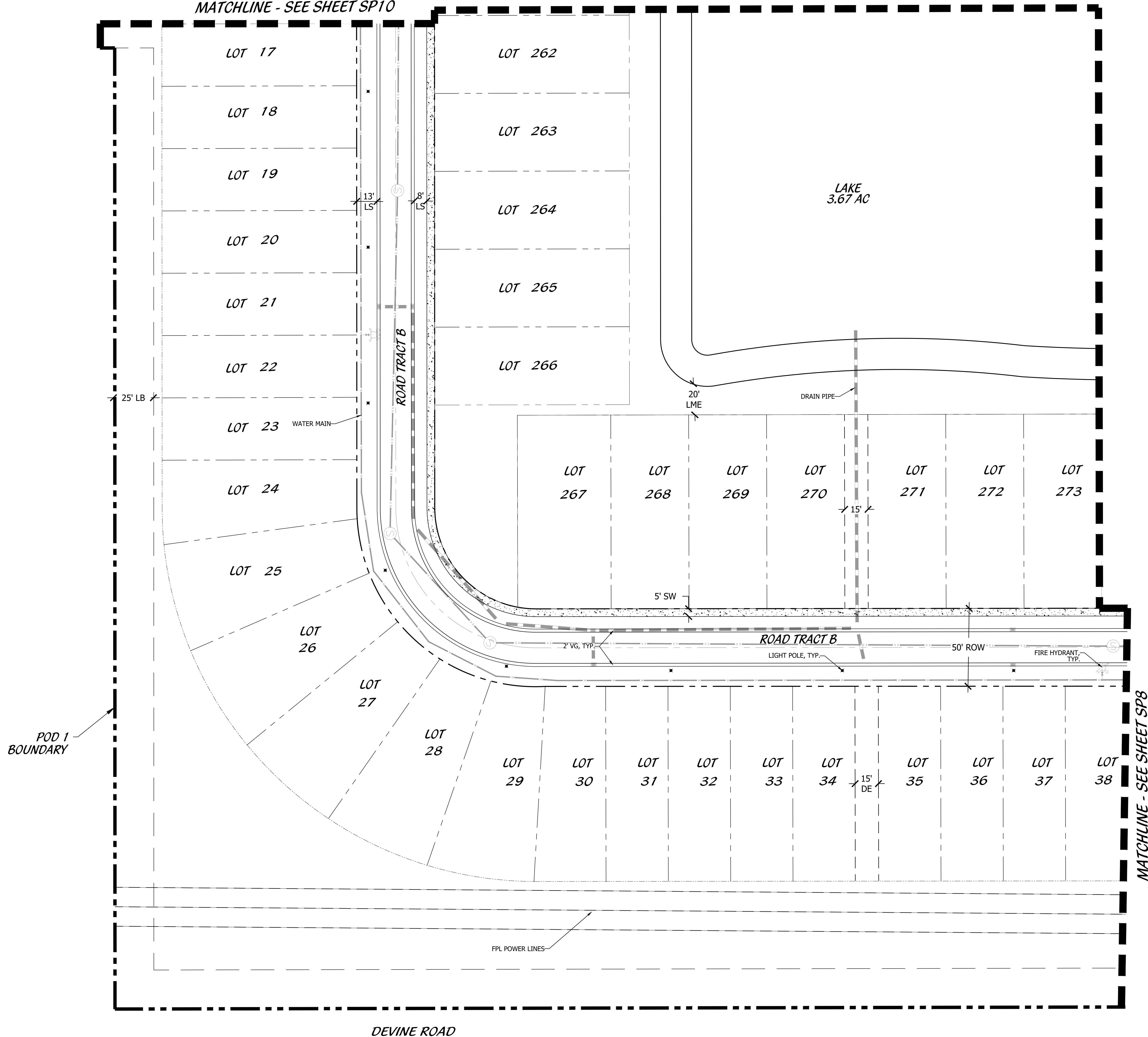
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 Ft. Pierce, Florida

|            |          |
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| DESIGNED   | PRP      |
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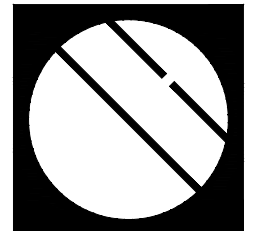
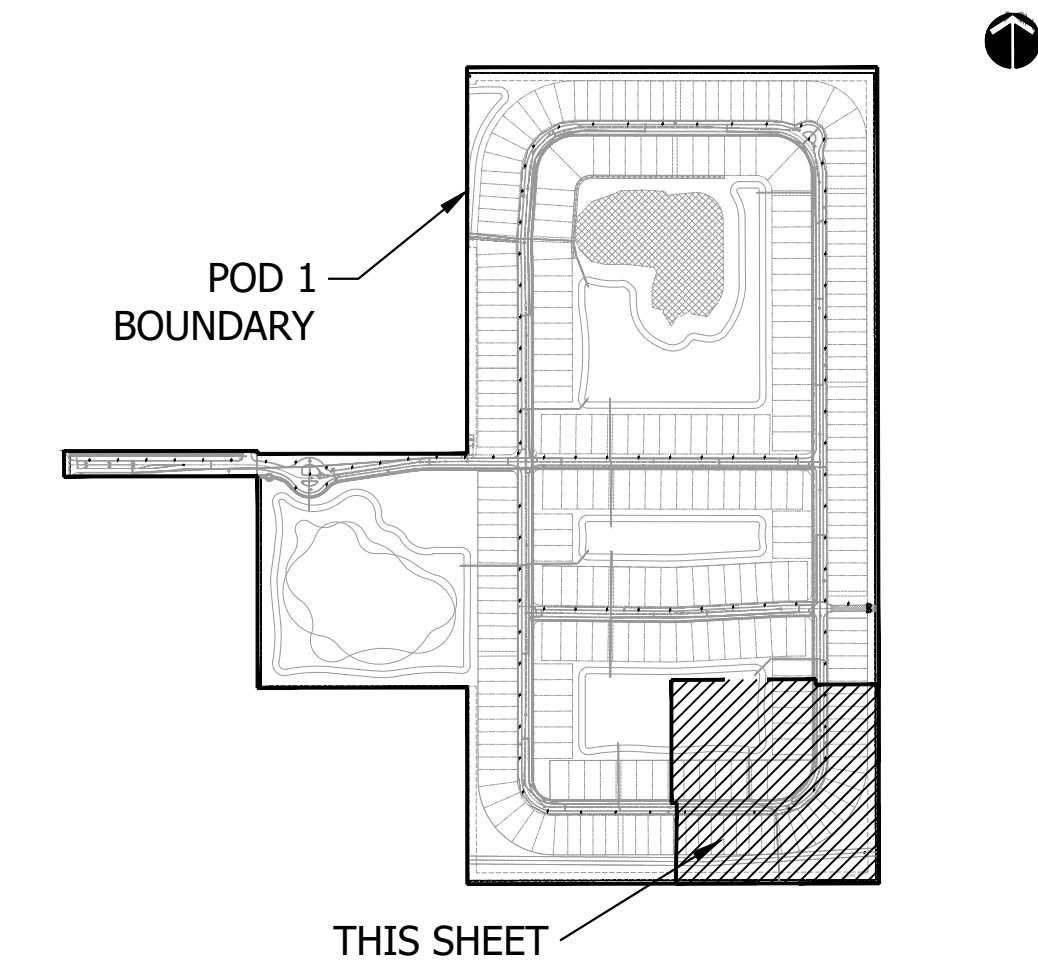




MATCHLINE - SEE SHEET SP10



KEY MAP



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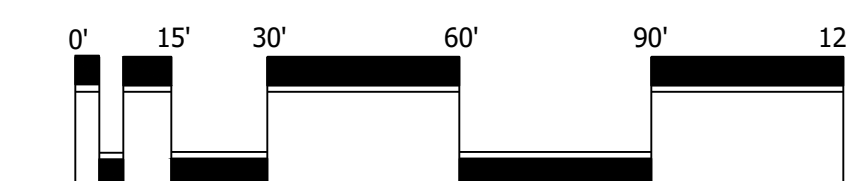
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Ft. Pierce, Florida

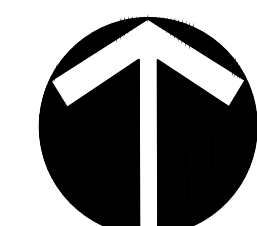
### LEGEND

- |     |                   |  |                     |
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| DE  | DRAINAGE EASEMENT |  |                     |

## PLANNED DEVELOPMENT FINAL SITE PLAN



Scale: 1" = 30'-0"



North

|            |          |
|------------|----------|
| DESIGNED   | PRP      |
| DRAWN      | PRP      |
| APPROVED   | DTS      |
| JOB NUMBER | 21-1214  |
| DATE       | 11-11-24 |
| REVISIONS  |          |

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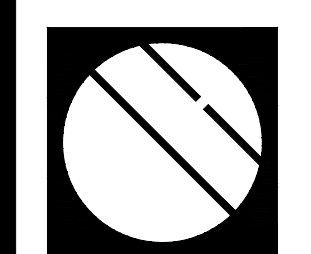
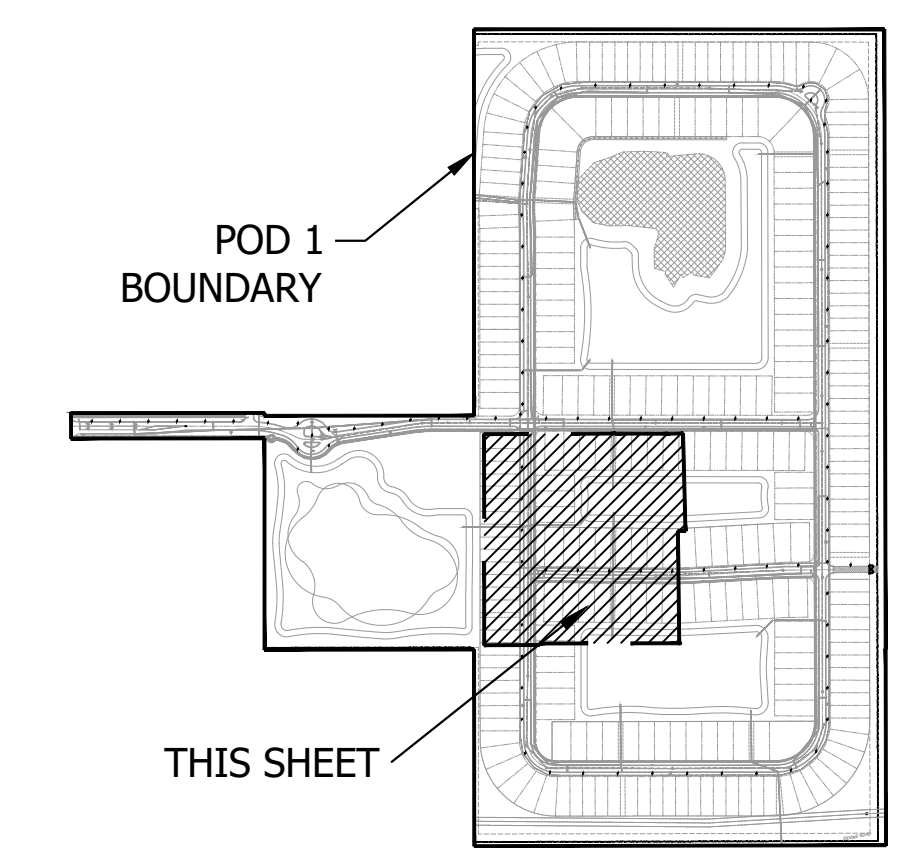
MATCHLINE - SEE SHEET L3

MATCHLINE - SEE SHEET SP11

MATCHLINE - SEE SHEET SP10

MATCHLINE - SEE SHEET SP9

KEY MAP



**Cotleur & Hearing**

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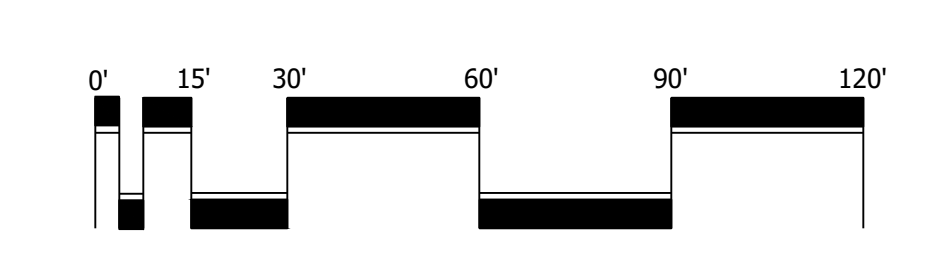
# SYMPHONY LAKES

Ft. Pierce, Florida

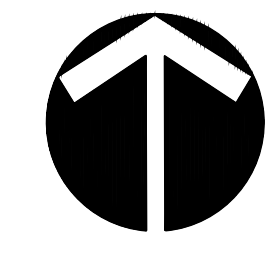
### LEGEND

- |     |                   |                     |
|-----|-------------------|---------------------|
| LB  | LANDSCAPE BUFFER  | STOP SIGN           |
| LS  | LANDSCAPE SETBACK | DO NOT ENTER        |
| SB  | SETBACK           | PEDESTRIAN CROSSING |
| SW  | SIDEWALK          | STREET LIGHT        |
| TYP | TYPICAL           | PRESERVE            |
| DE  | DRAINAGE EASEMENT |                     |

## PLANNED DEVELOPMENT FINAL SITE PLAN



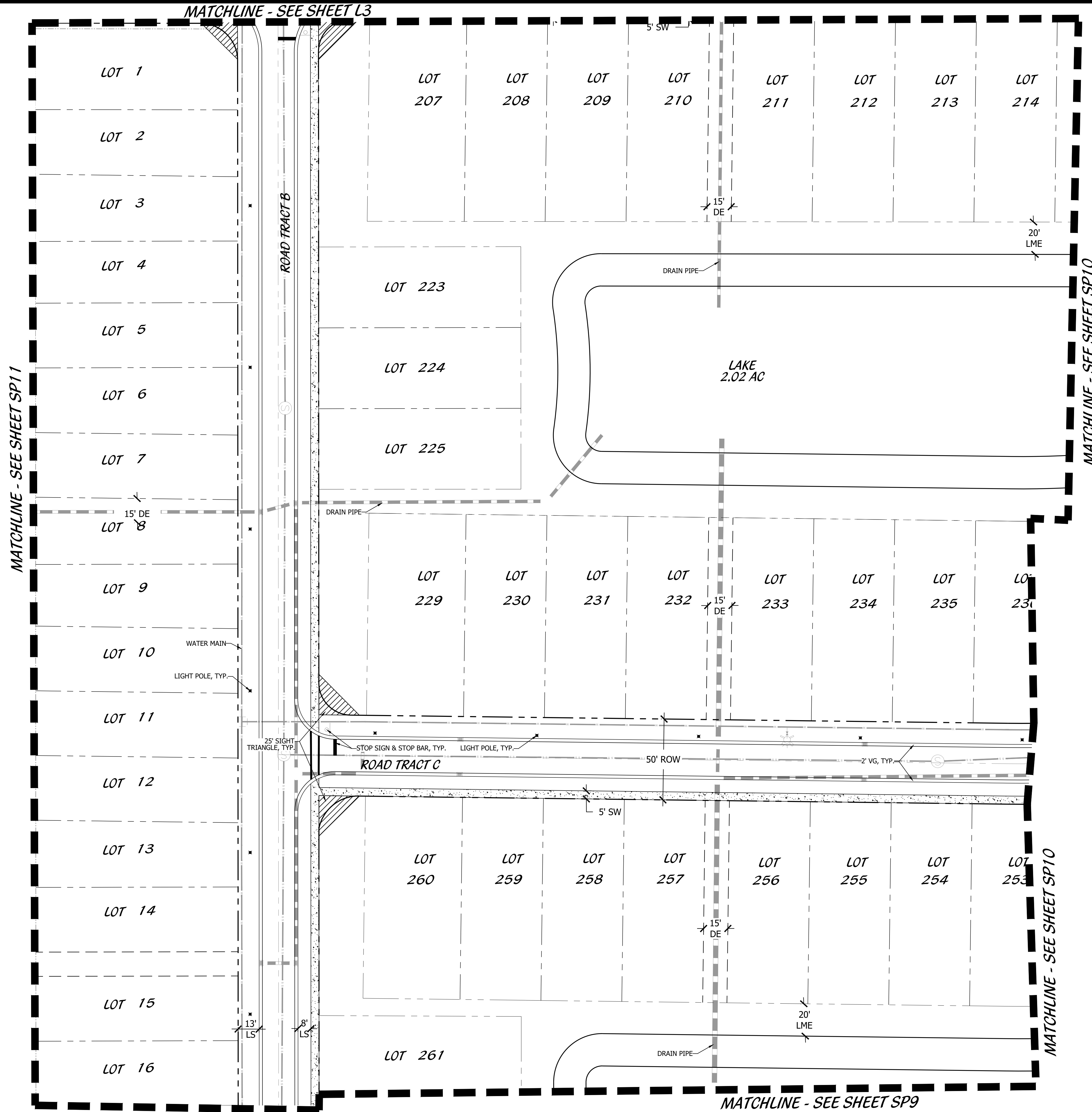
Scale: 1" = 30'-0"



North

|            |          |
|------------|----------|
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| DRAWN      | PRP      |
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MATCHLINE - SEE SHEET SP2

~REC TRACT

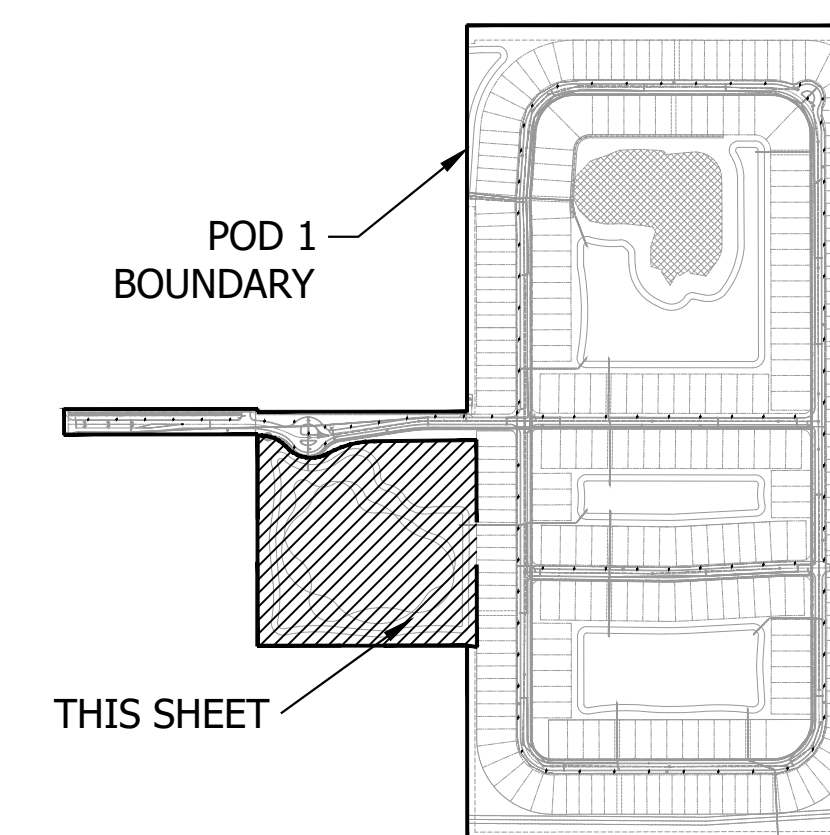
DRAIN PIPE

EXISTING LAKE  
7.12 AC

MATCHLINE - SEE SHEET SP10

POD 1 BOUNDARY

KEY MAP

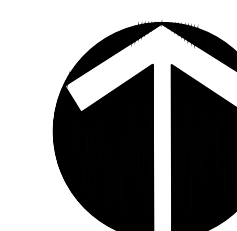


LEGEND

|     |                   |  |                     |
|-----|-------------------|--|---------------------|
| LB  | LANDSCAPE BUFFER  |  | STOP SIGN           |
| LS  | LANDSCAPE         |  | DO NOT ENTER        |
| SB  | SETBACK           |  | PEDESTRIAN CROSSING |
| SW  | SIDEWALK          |  | STREET LIGHT        |
| TYP | TYPICAL           |  | PRESERVE            |
| DE  | DRAINAGE EASEMENT |  |                     |

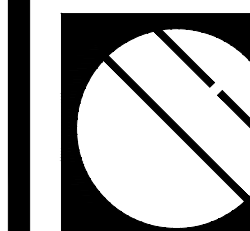
\*NOTE:  
SEPARATE SITE PLAN APPLICATION WILL BE  
SUBMITTED FOR AMENITY REC TRACT 1

PLANNED DEVELOPMENT  
FINAL SITE PLAN



Scale: 1" = 30'-0"

North



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SYMPHONY LAKES

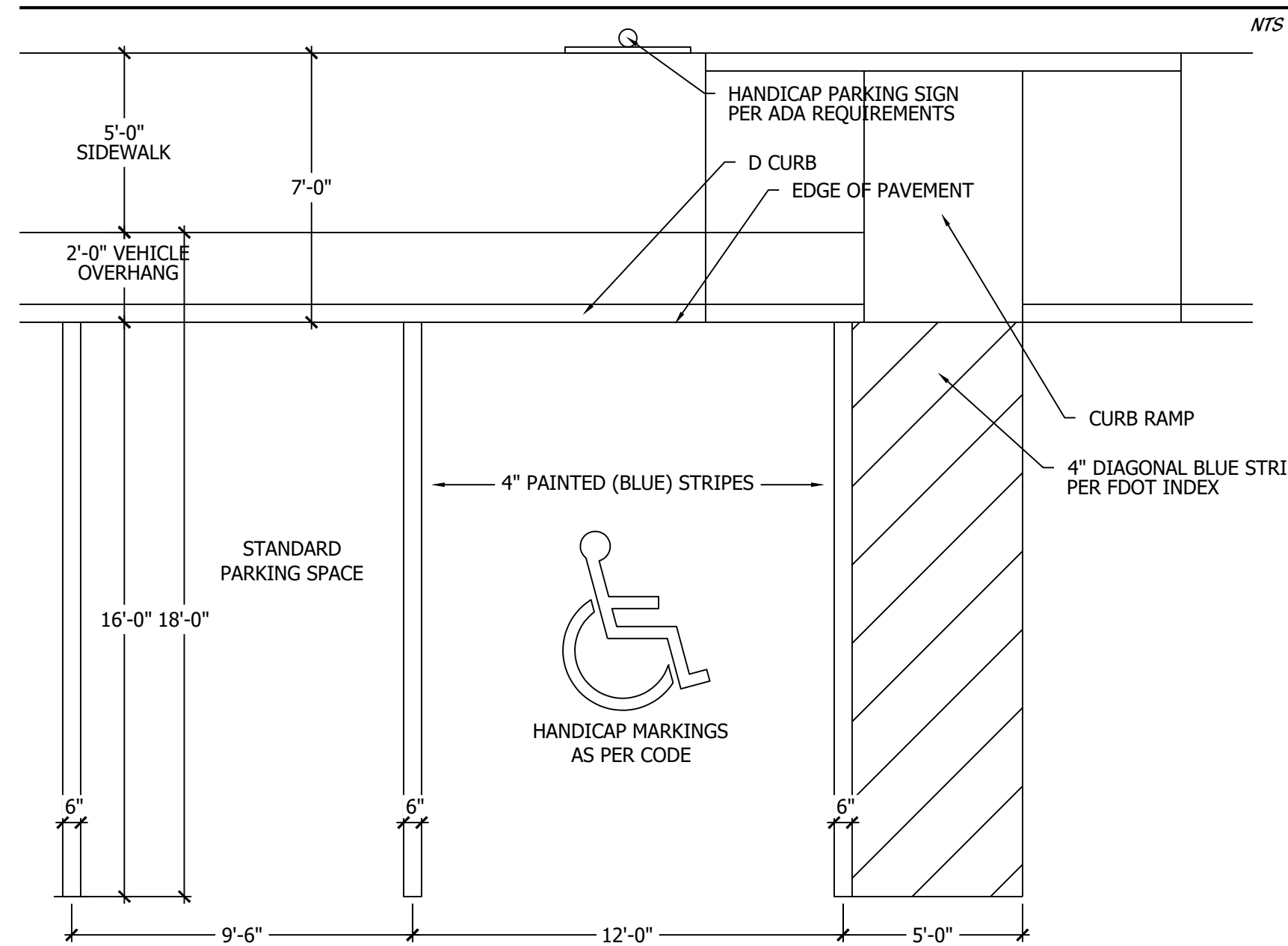
Ft. Pierce, Florida

|            |          |
|------------|----------|
| DESIGNED   | PRP      |
| DRAWN      | PRP      |
| APPROVED   | DTS      |
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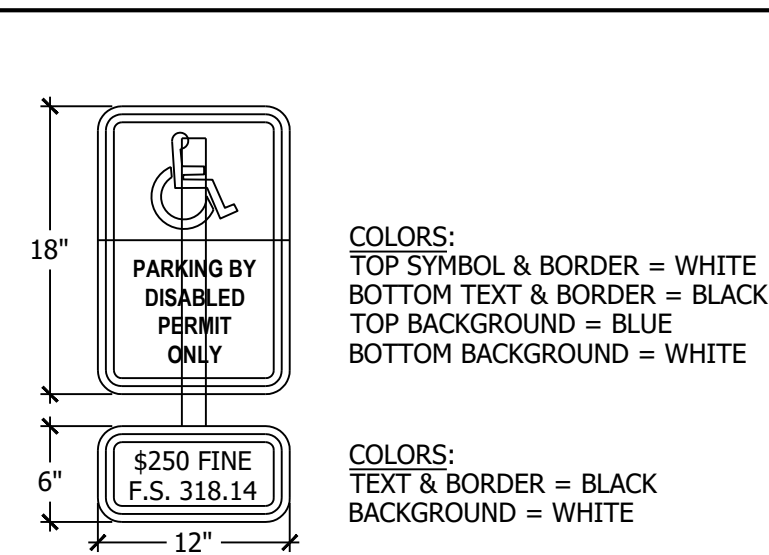
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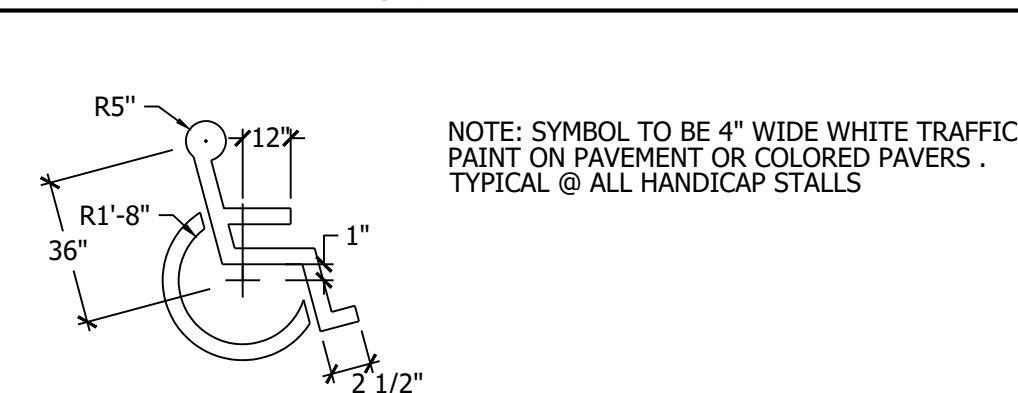
**STANDARD AND HANDICAP PARKING DETAIL**



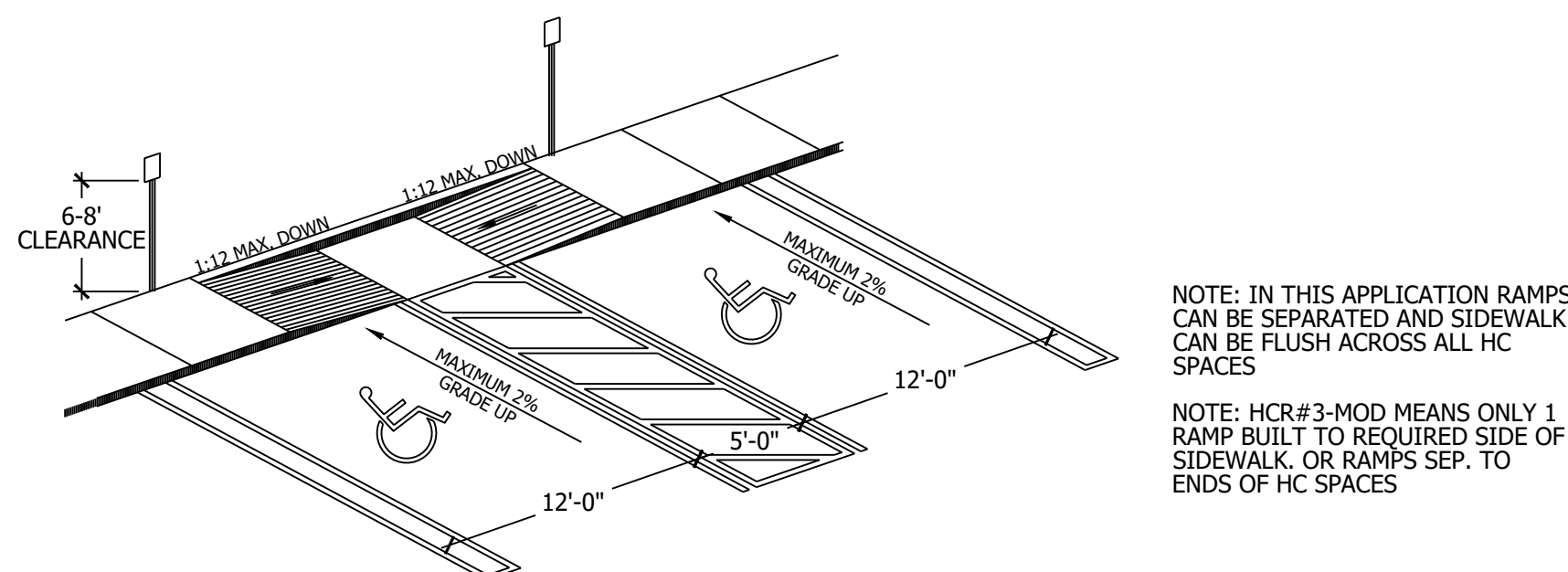
**HANDICAP SIGN DETAIL**



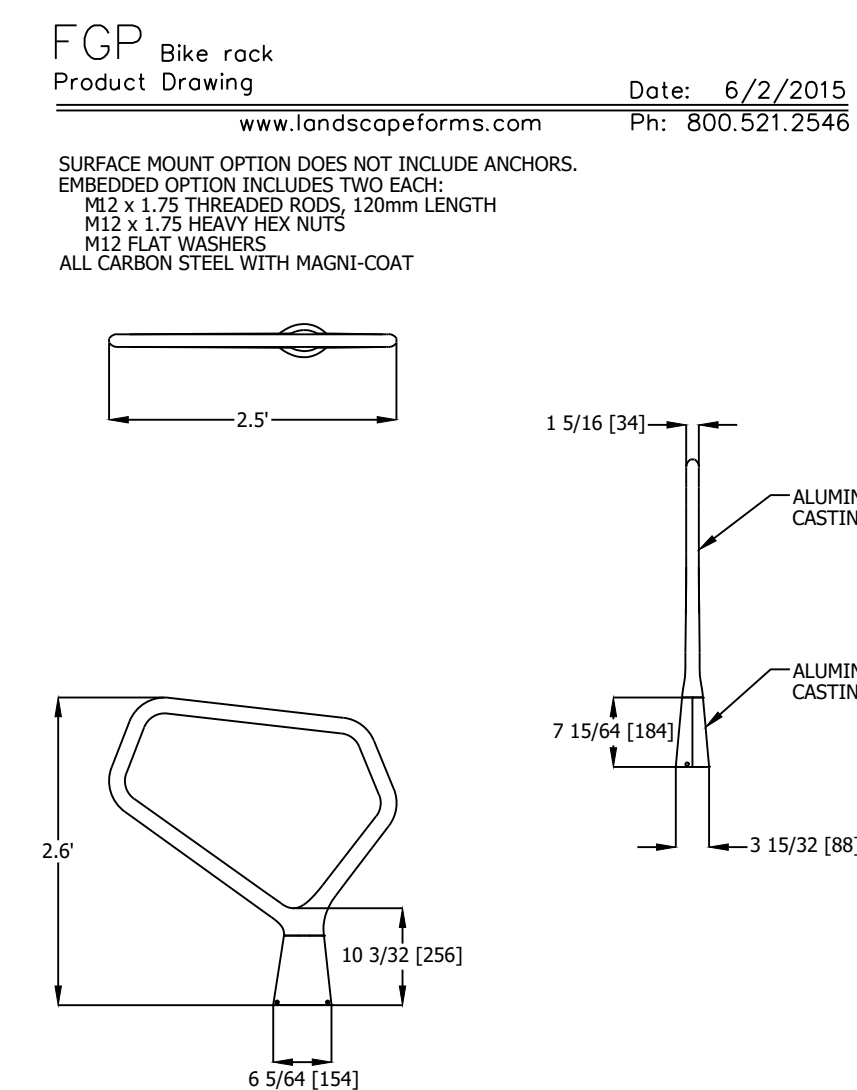
**HANDICAP SYMBOL DETAIL**



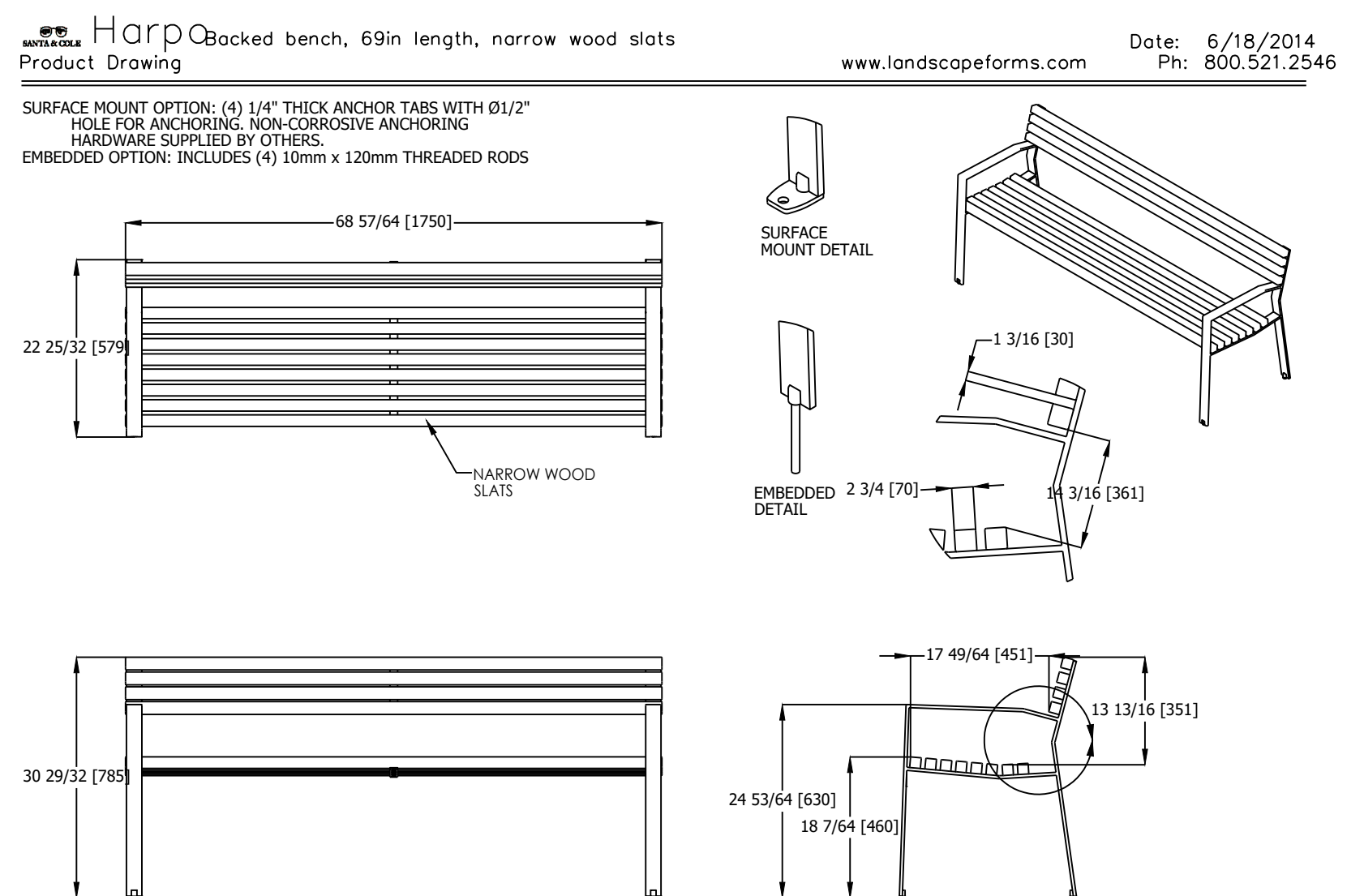
**HANDICAP RAMP DETAIL**



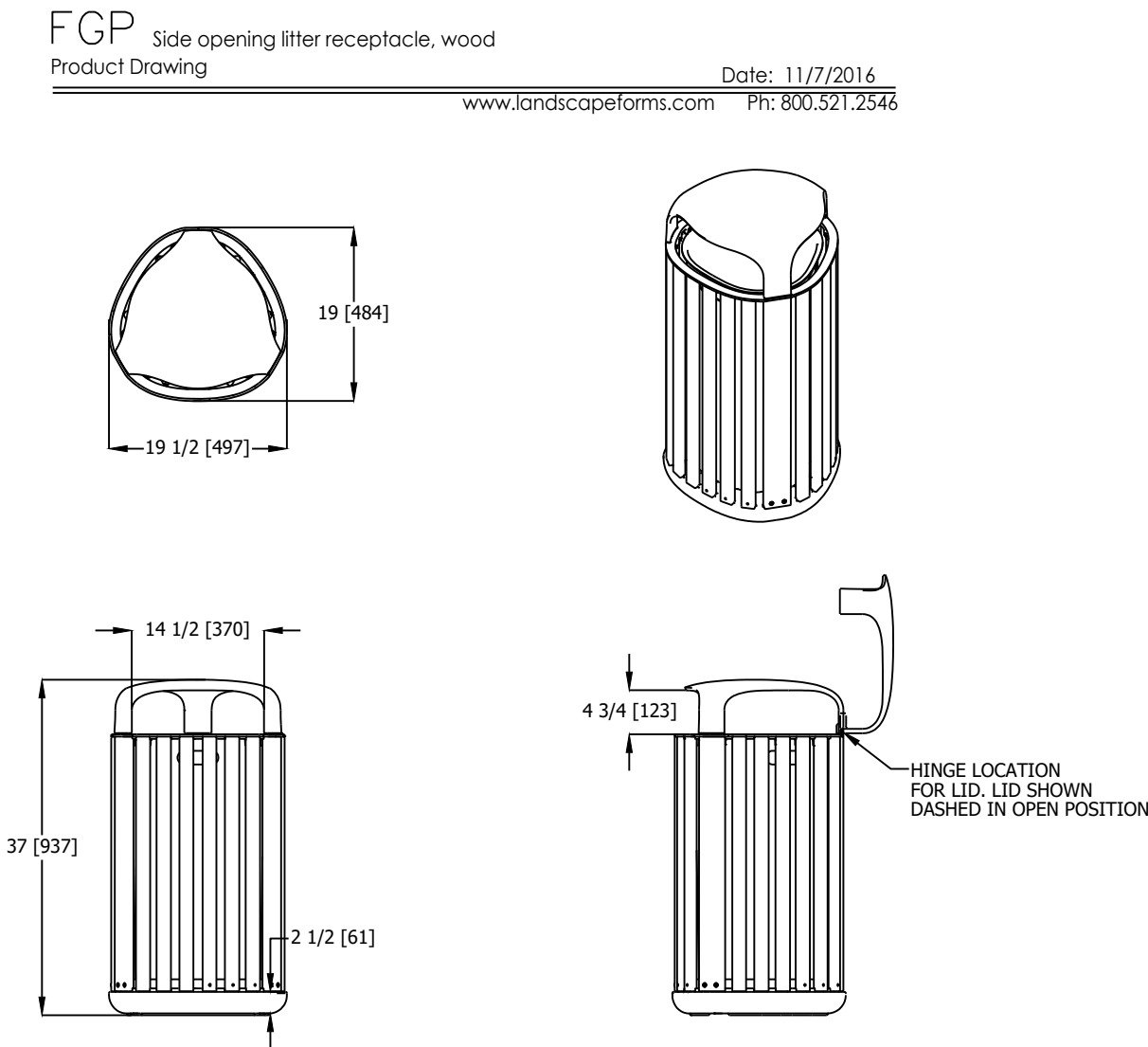
**BIKE RACK DETAIL**



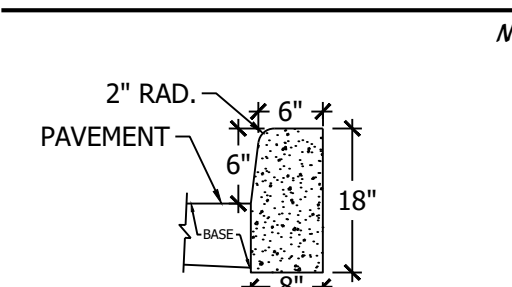
**BENCH DETAIL**



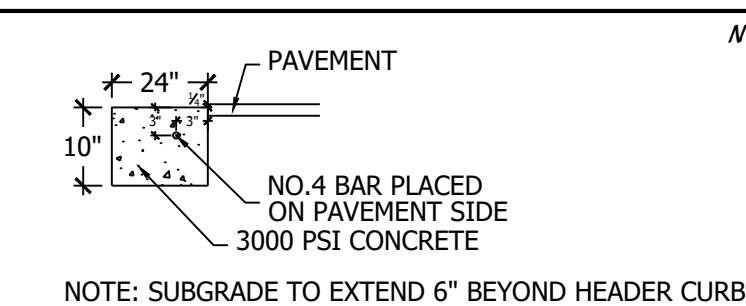
**RECEPTACLE DETAIL**



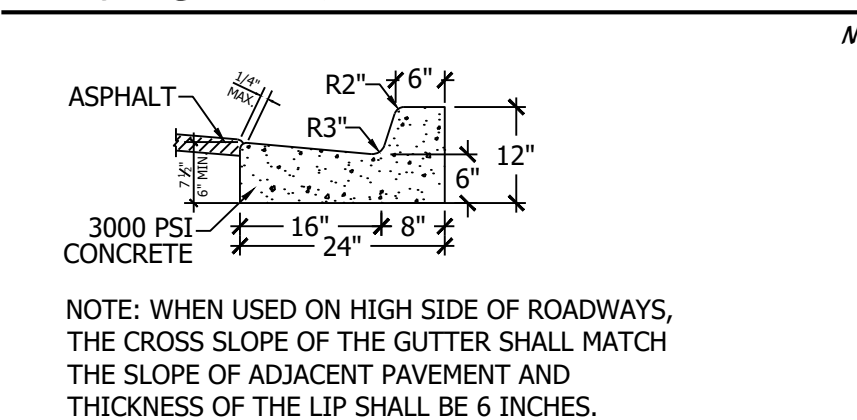
**D CURB DETAIL**



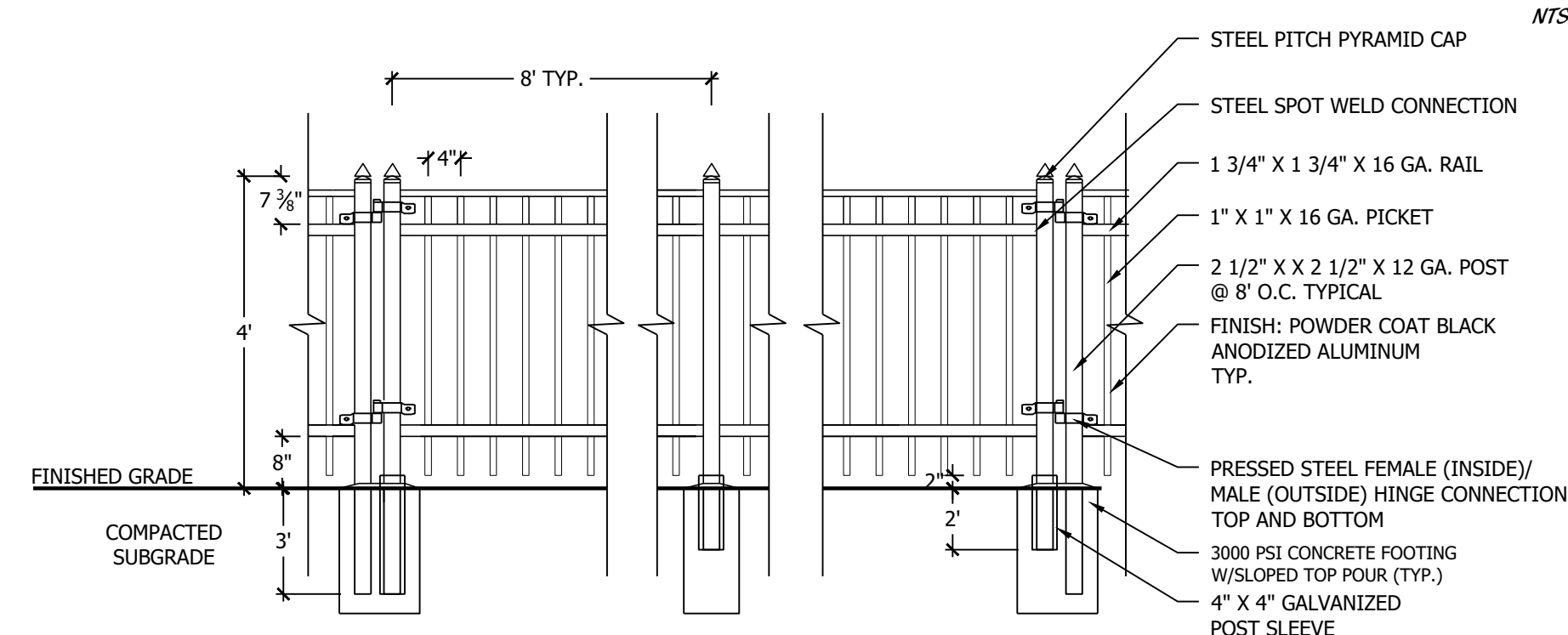
**HEADER CURB DETAIL**



**F CURB DETAIL**



**DECORATIVE FENCE DETAIL**



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**PLANNED DEVELOPMENT  
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Ft. Pierce, Florida

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|            |          |
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