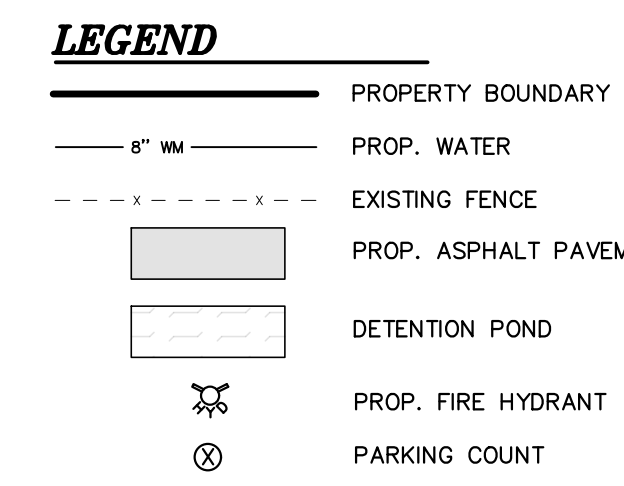


LOCATION/HYDRANT MAP

SECTION 34, TOWNSHIP 34 SOUTH, RANGE 40 EAST

LEGAL DESCRIPTION:
 A PORTION OF THE NORTH 1/2 OF LOTS 14 AND 15 OF "J.J. KELLEM'S SUBDIVISION OF THE NORTHWEST 1/4 OF SECTION 34, TOWNSHIP 34 SOUTH, RANGE 40 EAST, AS RECORDED IN PLAT BOOK 3, PAGE 85 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE NORTHWEST CORNER OF THE NORTHWEST 1/4 OF SECTION 34, TOWNSHIP 34 SOUTH, RANGE 40 EAST; THENCE ON AN ASSUMED BEARING OF SOUTH 89°53'04" EAST ALONG THE CENTERLINE OF THE PLATTED 30.00 FOOT ROAD, ACCORDING TO SAID PLAT "J.J. KELLEM'S SUBDIVISION, AS RECORDED IN PLAT BOOK 3, PAGE 85 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, AND ALONG THE NORTH LINE OF THE SOUTH 1/2 OF THE NORTHWEST 1/4 OF SAID SECTION 34 A DISTANCE OF 810.00 FEET; THENCE SOUTH 00°30'34" WEST A DISTANCE OF 30.00 FEET TO THE SOUTH RIGHT-OF-WAY OF SOUTH MARKET AVENUE AND THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 00°30'34" WEST ALONG A LINE BEING PARALLEL WITH AND 1.00 FOOT WEST OF AN EXISTING 6.00 FOOT CHAIN LINK FENCE AND SOUTHERLY EXTENSION THEREOF TO THE SOUTH LINE OF THE NORTH 1/2 OF LOTS 14 AND 15 OF SAID "J.J. KELLEM'S SUBDIVISION; THENCE WESTERLY ALONG THE SOUTH LINE OF THE NORTH 1/2 OF LOTS 14 AND 15 OF SAID "J.J. KELLEM'S SUBDIVISION 200.00 FEET; THENCE NORTH 00°30'34" EAST TO THE SOUTH RIGHT-OF-WAY OF SAID SOUTH MARKET AVENUE, SAID POINT BEING 200.00 FEET WESTERLY FROM THE EAST LINE OF THE HEREIN DESCRIBED PARCEL; THENCE SOUTH 89°53'04" EAST ALONG THE SOUTH RIGHT-OF-WAY OF SAID SOUTH MARKET AVENUE A DISTANCE OF 205.50 FEET TO THE POINT OF BEGINNING, LESS THE EAST 104.50 FEET OF THE NORTH 1/2 OF LOTS 14 AND 15 OF SAID "J.J. KELLEM'S SUBDIVISION.

ALSO DESCRIBED AS:
 THE WEST 200 FEET OF THE EAST 700 FEET OF THE NORTH 1/2 OF LOTS 14, 15, AND 16 OF "J.J. KELLEM'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 85 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, LESS AND EXCEPTING THEREOF THE EAST 100 FEET OF THE NORTH 1/2 OF LOTS 14 AND 15 OF SAID "J.J. KELLEM'S SUBDIVISION, AND LESS AND EXCEPTING THEREOF THE 12 FEET LYMND IMMEDIATELY SOUTH OF AND ADJACENT TO THE RIGHT-OF-WAY OF SOUTH MARKET AVENUE.



- 20. Site Drainage (preliminary):**
 The existing site is permitted under SPWMD Permit #56-00457-5. The current system will not be altered and a separate system consisting of wet/dry detention & storm pipe will be constructed to serve the expansion and will outfall to FFWCD Canal No. 1.
- | | |
|-------------------------------------|------------|
| Min Parking Elevation | 21.06 NAVD |
| Min Berm Elevation (25 Year, 3 Day) | 21.67 NAVD |
| Min. FFE (18" Above Crown) | 23.05 NAVD |
- 21. Traffic Statement**
 Trip Generation based upon ITE Code [140] Manufacturing
 Trip Generation is estimated as follows:
- | | | | |
|---------------|---------------------------|---------------------|-----------------------|
| ADT, 5.16 | Trips/1000 SF of facility | AM PEAK, 0.67 | Trips/1000 SF |
| 3.16*(581.43) | + 160.04 = 1997 VPD | 0.62*581.43+350 VPD | (77% Enter, 23% Exit) |
| | | 0.67*581.43+350 VPD | (31% Enter, 69% Exit) |
- 22. Preservation**
 The project will provide upland and wetland preservation through the reservation of 42 acres of land in the southern and southwestern portion of the site which have been dedicated to St. Lucie County.

SITE DATA TABLE

| | |
|---|--|
| Owner/Applicant: Transamerica Construction Corporation 234 NE 34th Street Miami, FL 33137 Phone: 305-572-9551 | Architect: Domadio & Associates 609 17th Street Vero Beach, FL 32960 Phone: 772-794-2929 Fax: 772-562-8600 |
| Engineer / Surveyor: Culpepper & Terpening, Inc. 2980 South 25th Street Fort Pierce, FL 34981 Phone: 772-464-3537 Fax: 772-464-9497 www.ct-eng.com | Landscapist: TDO |

- Project Name:** South Market Industrial Park
- Location:** 7055 Market Ave, Port Fierro, FL 34982
- Project Description:** Industrial Site
- Sec/Town/Range:** Section 34/ Township 34 South/ Range 40 East
- Tax Map ID:** 14-324
- Parcel ID Numbers:** 2434-001-0002-000-6
- Gross Site Area:** 2.611 acres, 113,735 sq feet
- Zoning:** (Industrial Light) 2.611 acres
- Land Use:** IND (Industrial) 2.611 acres
- Site Density/Intensity:** Maximum FAR (Nonresidential) - 1.0 (Maximum Coverage by Buildings (13.5%))
- Development Schedule:** Phase 1 (Summer 2023), Phase 2 (Summer 2024), Phase 3 (Summer 2024), Phase 4 (Summer 2024)
- Flood Zone:** The project site is located in Flood Zone X (Area of Minimal Flood Hazard), according to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map Number 12111C0189K, Feb 19, 2020.
- Set Backs:**

| | Front | Rear | Side |
|-----|-------|------|------|
| 25' | 10' | 10' | 10' |
- Site Coverage:**

| Proposed | Acres | sq feet | % of site | FAR |
|-------------------------|-------------|----------------|---------------|-------|
| Buildings (all types) | 0.81 | 35,362 | 31.1% | 0.231 |
| Roadway/Parking | 0.88 | 38,523 | 33.9% | N/A |
| Loading Dock | 0.12 | 5,152 | 4.5% | |
| Sidewalk/Conc. | 0.11 | 4,638 | 4.1% | |
| Other impervious | 0.01 | 624 | 0.5% | N/A |
| Total Impervious | 1.94 | 84,299 | 74.1% | |
| Lakes/Retention | 0.19 | 8,105 | 7.1% | |
| Open Space/Landscape | 0.49 | 21,331 | 18.8% | N/A |
| Total Site Area | 2.61 | 113,735 | 100.0% | |

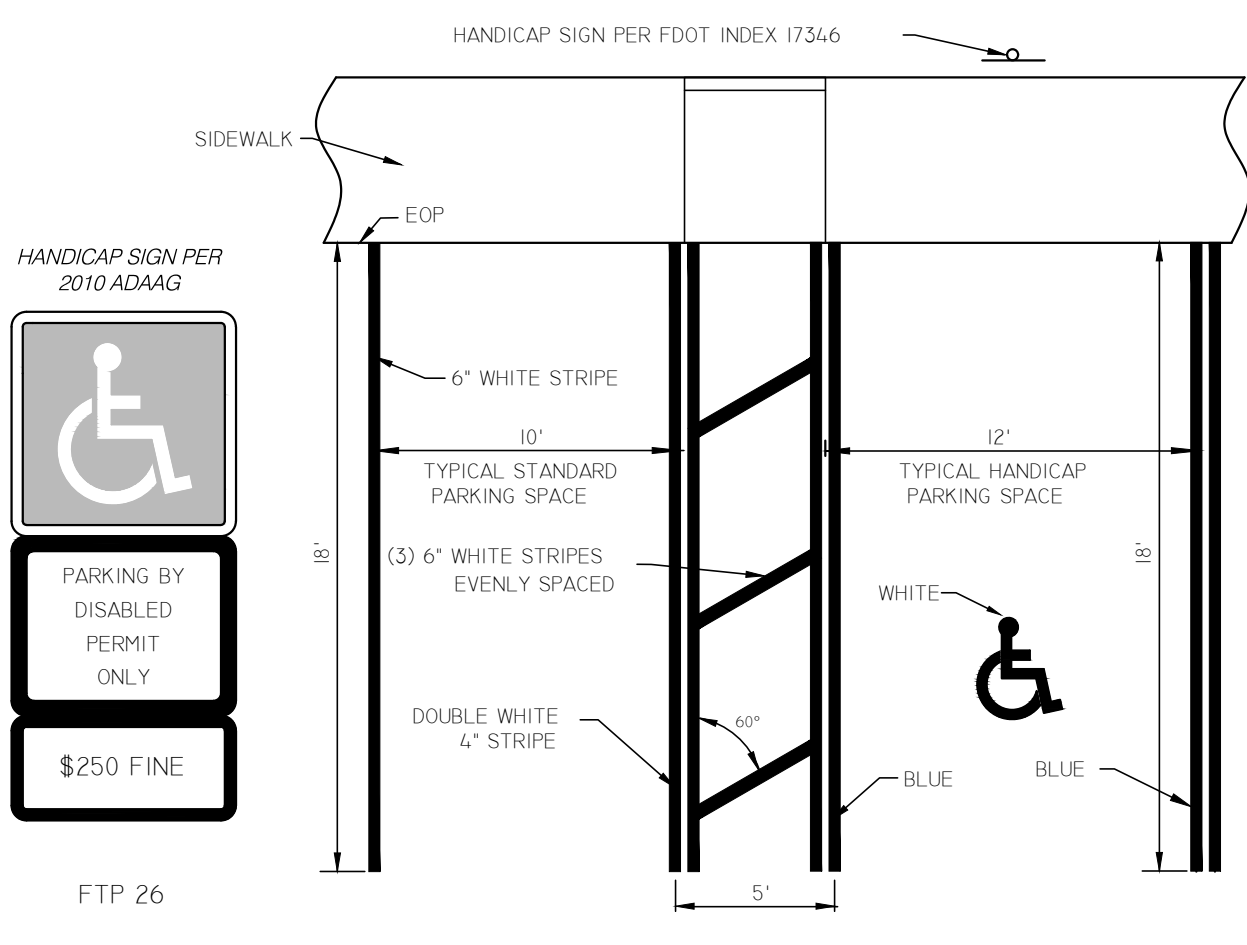
15. Parking: Expansion Area
 required parking - 1.76 space/1,000 sq feet building area

| Proposed Building Area | SF/1,000 SF | Total Required | Provided |
|------------------------|-------------|----------------|----------|
| 35,362 | 1.76 | 62.2 | 69 |

handicapped parking required (based on Code required parking)

| Code Req'd | HC Required (2%) | HC plg provided |
|------------|------------------|-----------------|
| 44 | 3 | 3 |

- 16. Building Hgt.:**
 Maximum Bldg. Hgt. 50' PROPOSED 35'-6"
- 17. Utility Services:**
 Water Service (Utility) FPUA Electric Service FPUA
 Sewage Service (Utility) FPUA Toltom Service (backbone) ATT
 Re-Use Water (Utility) N/A Cable Service (primary) Comcast
 All utility services will be placed underground.
- 18. Refuse:**
 Solid waste collectors will be through the use of on site trash compactors and approved St. Lucie Co. waste
- 19. Site Lighting:**
 Site lighting in the parking and storage areas will be provided through a combination of wall mounted fixtures on the side of the building or through the placement of several independent poles.



DISABLED PARKING DETAIL NOT TO SCALE

| COMPUTER FILE REF. | FIELD BK./PG. |
|--------------------|---------------|
| | |
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CULPEPPER & TERPENING INC
 2980 SOUTH 25th STREET • FORT PIERCE, FLORIDA 34981
 PHONE 772-464-3537 • FAX 772-464-9497 • www.ct-eng.com
 STATE OF FLORIDA BOARD OF PROFESSIONAL ENGINEERS AUTHORIZATION NO. 4286

| - REVISIONS - | | BY | DATE |
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| DESIGNED | BY | DATE |
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SOUTH MARKET INDUSTRIAL SITE

SITE PLAN

DATE: 4/14/23
 HORIZ. SCALE: 1" = 40'
 VERT. SCALE: N/A
 JOB No. 22-159
 SHEET 1 of 1