

WHOLE FAMILY HEALTH CENTER NORTH TEMPORARY TRAILER

SECTION 3, TOWNSHIP 35S, RANGE 40E
CITY OF FORT PIERCE, FLORIDA

AUGUST 2024
REVISED MARCH 2025

OWNER / APPLICANT

MS. MARIE ADDRESS
WHOLE FAMILY HEALTH CENTER
827 18TH STREET
VERO BEACH, FLORIDA 32960

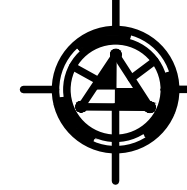
ENGINEER



CIVIL • STRUCTURAL • SURVEYING • ENVIRONMENTAL

1835 20TH STREET
VERO BEACH, FL 32960
PH: (772) 569-0035
MELBOURNE, FL - PH: (321) 253-1510
FT. PIERCE, FL - PH: (772) 468-9055

SURVEYOR

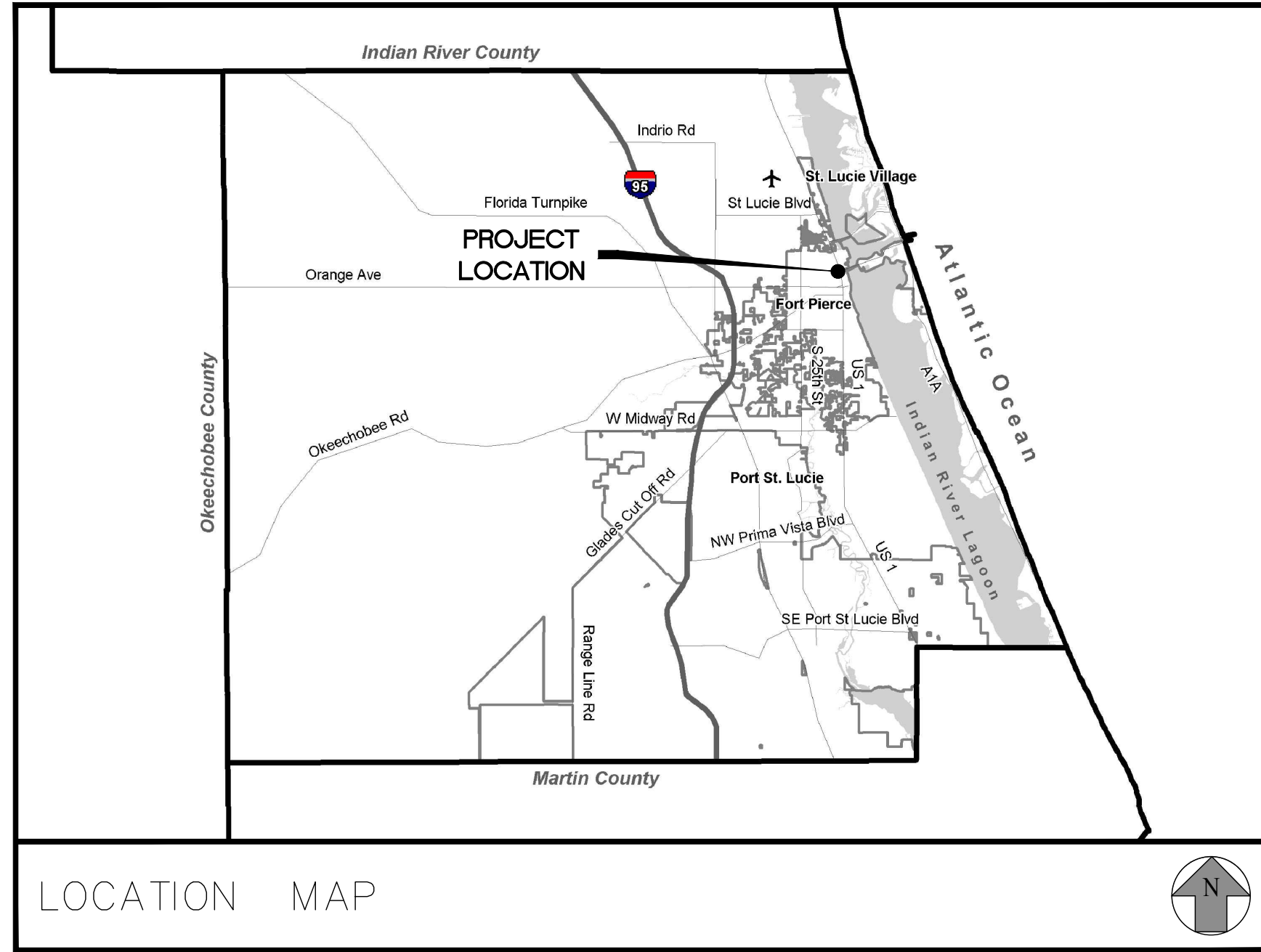


INDIAN RIVER SURVEY, INC.
Professional Surveying and Mapping

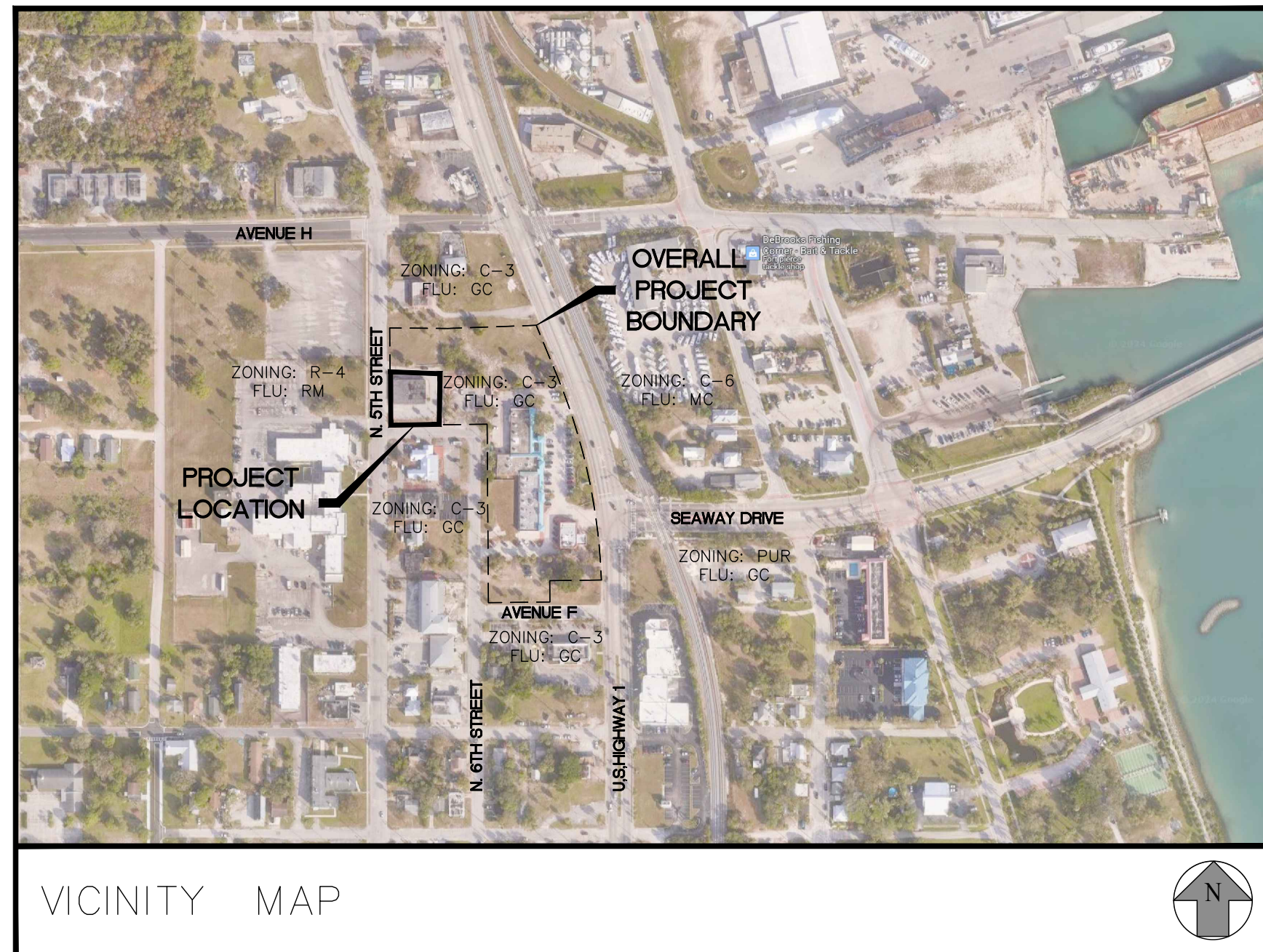
1835 20TH STREET
VERO BEACH, FL 32960
PH: (772) 569-7880

INDEX OF DRAWINGS

- C1 COVER SHEET
- C2 EXISTING CONDITIONS, DEMOLITION, AND EROSION CONTROL PLAN
- C3 SITE IMPROVEMENT PLAN
- C4 DETAILS AND NOTES



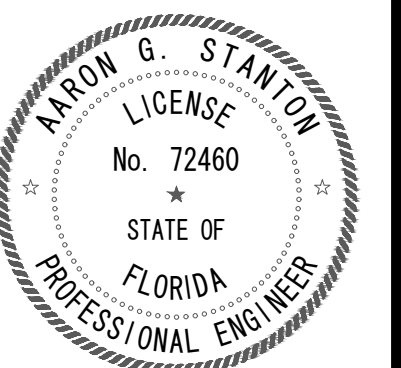
LOCATION MAP



VICINITY MAP



PRIMARY BENCHMARK:
ELEVATIONS SHOWN ARE BASED ON NATIONAL
GEODETIC SURVEY OF 2022 REFERENCING ST.
LUCIE COUNTY BENCHMARK IR 0267 AT AN
ELEVATION OF 18.02' (NAVD88)



AARON G. STANTON
FL P.E. #72460

DATE: 04/07/2025

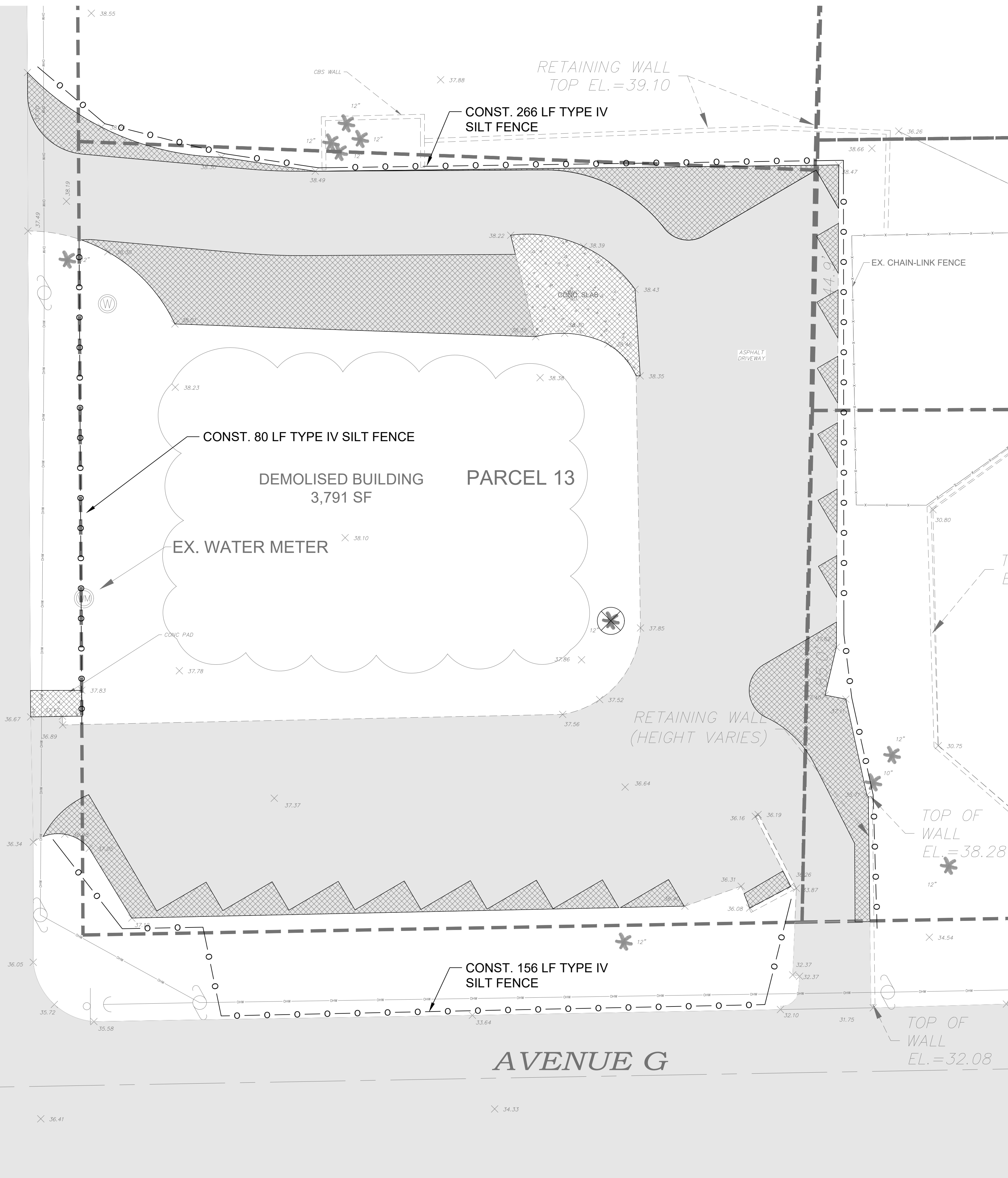
PROJECT: 22-0214

SHEET

C1

This item has been digitally signed & sealed by Aaron Stanton, P.E. on the date adjacent to the seal.
Printed copies of this document are not considered signed & sealed and the signature must be verified on any electronic copies.

NORTH 7TH STREET



EXISTING CONDITIONS, DEMOLITION AND EROSION CONTROL NOTES

- ISOLATED AREAS OF EXISTING PAVEMENT NO LARGER THAN 20 SF OF AREA CAN REMAIN IN PLACE SO LONG AS IT DOES NOT INTERFERE WITH LAYING OF THE NEW ASPHALT.

CITY OF FORT PIERCE EROSION CONTROL NOTES

(a) THE CITY ENGINEERING DEPARTMENT SHALL MAKE INSPECTIONS AS HEREINAFTER REQUIRED AND NOTIFY THE BUILDING OFFICIAL UPON INSPECTION APPROVAL OR IF THE WORK FAILS TO COMPLY WITH THE EROSION AND SEDIMENT CONTROL PLAN AS APPROVED TO REQUEST A STOP-WORK ORDER. PLANS FOR GRADING / STRIPPING / EXCAVATING AND FILLING WORK BEARING THE STAMP OF APPROVAL OF THE CITY ENGINEER SHALL BE MAINTAINED AT THE SITE DURING THE DURATION OF WORK. TO OBTAIN INSPECTIONS, THE PERMITTEE SHALL NOTIFY THE CITY ENGINEERING DEPARTMENT AT LEAST TWO WORKING DAYS BEFORE THE FOLLOWING:

- START OF CONSTRUCTION
- INSTALLATION OF SEDIMENT AND EROSION CONTROL MEASURES
- COMPLETION OF SITE CLEARING
- COMPLETION OF ROUGH GRADING
- COMPLETION OF FINAL GRADING
- CLOSE OF THE CONSTRUCTION SEASON
- COMPLETION OF FINAL LANDSCAPING.

(b) THE PERMITTEE SHALL BE RESPONSIBLE FOR THE FUNCTIONALITY OF ALL CONTROL MEASURES IN ACCORDANCE WITH THE INSPECTION SCHEDULE OUTLINED ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN. THE PURPOSE OF SUCH INSPECTIONS WILL BE TO DETERMINE THE OVERALL EFFECTIVENESS OF THE CONTROL PLAN AND POSSIBLE NEED FOR ADDITIONAL CONTROL MEASURES.

(c) THE CITY ENGINEER OR HIS DESIGNEE SHALL ENTER THE PROPERTY OF THE APPLICANT AS DEEMED NECESSARY TO MAKE REGULAR INSPECTIONS TO ENSURE THE EFFECTIVENESS OF THE CONTROL PLAN AND THE POSSIBLE NEED FOR ADDITIONAL CONTROL MEASURES.

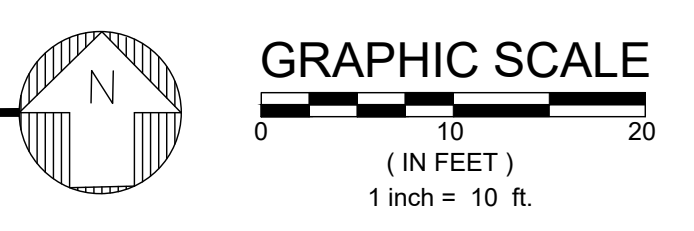
MINIMUM STANDARDS

- SEDIMENT BASIN AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UNSLOPE LAND DISTURBANCE TAKES PLACE.
- ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
- PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN 30 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
- DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
- A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED. PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL A GROUND COVER IS ACHIEVED THAT, IN THE OPINION OF THE REVIEWER, IS UNIFORM, MATURE ENOUGH TO SURVIVE AND WILL INHIBIT EROSION.
- STABILIZATION MEASURES SHALL BE APPLIED TO EARTHEN STRUCTURES SUCH AS DAMS, DIKES AND DIVERSIONS IMMEDIATELY AFTER INSTALLATION.
- SURFACE RUNOFF FROM DISTURBED AREAS THAT IS COMPRISED OF FLOW FROM DRAINAGE AREAS GREATER THAN OR EQUAL TO THREE ACRES SHALL BE CONTROLLED BY A SEDIMENT BASIN. THE SEDIMENT BASIN SHALL BE DESIGNED AND CONSTRUCTED TO ACCOMMODATE THE ANTICIPATED SEDIMENT LOADING FROM THE LAND-DISTURBING ACTIVITY. THE OUTFALL DEVICE OR SYSTEM DESIGN SHALL TAKE INTO ACCOUNT THE TOTAL DRAINAGE AREA FLOWING THROUGH THE DISTURBED AREA TO BE SERVED BY THE BASIN.
- AFTER ANY SIGNIFICANT RAINFALL, SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED FOR INTEGRITY. ANY DAMAGED DEVICES SHALL BE CORRECTED IMMEDIATELY.
- CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE DRAINAGE OR OTHER PROTECTION SHALL BE PROVIDED.
- WHENEVER WATER SEEPS FROM A SLOPE FACE, ADEQUATE DRAINAGE OR OTHER PROTECTION SHALL BE PROVIDED.
- SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM DRAIN SYSTEM, DITCH OR CHANNEL. ALL STORM SEWER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
- BEFORE TEMPORARY OR NEWLY CONSTRUCTED STORMWATER CONVEYANCE CHANNELS ARE MADE OPERATIONAL, ADEQUATE OUTLET PROTECTION AND ANY REQUIRED TEMPORARY OR PERMANENT CHANNEL LINING SHALL BE INSTALLED IN BOTH THE CONVEYANCE CHANNEL AND RECEIVING CHANNEL.
- WHEN WORK IN A LIVE WATERCOURSE IS PERFORMED, PRECAUTIONS SHALL BE TAKEN TO MINIMIZE ENCROACHMENT, CONTROL SEDIMENT TRANSPORT AND STABILIZE THE WORK AREA TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION. NONERODIBLE MATERIAL SHALL BE USED FOR THE CONSTRUCTION OF CAUSEWAYS AND COFFERDAMS. EARTHEN FILL MAY BE USED FOR THESE STRUCTURES IF ARMORED BY NONERODIBLE COVER MATERIALS.
- WHEN A LIVE WATERCOURSE MUST BE CROSSED BY CONSTRUCTION VEHICLES, A TEMPORARY STREAM CROSSING CONSTRUCTED OF NONERODIBLE MATERIAL SHALL BE PROVIDED.
- THE BED AND BANKS OF A WATERCOURSE SHALL BE STABILIZED IMMEDIATELY AFTER WORK IN THE WATERCOURSE IS COMPLETED.
- PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT LEAVING THE PROPERTY. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
- UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA:
 - A. NO MORE THAN 500 LINEAR FEET OF TRENCH MAY BE OPENED AT ONE TIME.
 - B. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
 - C. EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.
 - D. RESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THESE REGULATIONS.
- WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE, WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS. THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND-DISTURBING ACTIVITIES.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED, IN THE OPINION OF THE REVIEWER. DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENTATION.
- PROPERTIES AND WATERWAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DISPOSITION AND EROSION.
- PHASED PROJECTS SHOULD BE CLEARED IN CONJUNCTION WITH CONSTRUCTION OF EACH PHASE.
- EROSION CONTROL DESIGN AND CONSTRUCTION SHALL FOLLOW THE REQUIREMENTS IN INDEX NOS. 104 AND 105 OF FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS.
- THE REVIEWER MAY APPROVE MODIFICATIONS OR ALTER PLANS TO THESE EROSION CONTROL CRITERIA DUE TO SITE SPECIFIC CONDITIONS.

- PRE-CONSTRUCTION REQUIREMENTS:**
- THE CONTRACTOR IS REQUIRED TO PERFORM HIS WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE VARIOUS PERMITS WHICH WILL BE OBTAINED PRIOR TO BEGINNING CONSTRUCTION.
 - THE CONTRACTOR SHALL SUBMIT A PRE-CONSTRUCTION SCHEDULE (SEQUENCE OF OPERATIONS) PRIOR TO THE PRE-CONSTRUCTION MEETING.
 - CONTRACTOR WILL ATTEND A PRE-CONSTRUCTION MEETING WITH THE DESIGN ENGINEER, MUNICIPALITY AND/ OR OWNER PRIOR TO LAND DISTURBANCE.
 - SHOP DRAWINGS SHALL BE SUBMITTED BEFORE ORDERING MATERIAL FOR PLANNED PROJECT. CORRESPONDING SHALL BE BETWEEN THE DESIGN ENGINEER AND THE LOCAL GOVERNING AGENCY AND IS THE RESPONSIBILITY OF THE CONTRACTOR.

EXISTING CONDITIONS, DEMOLITION, AND EROSION CONTROL PLAN

SCALE: 1" = 10'



LEGEND

- EXISTING CONCRETE
- EXISTING ASPHALT
- DAMAGED ASPHALT OR CONCRETE TO BE DEMOLISHED AND REMOVED
- SITE / PARCEL BOUNDARY LINE



NO.	REVISIONS	DATE
1	BUILDING FOOTPRINT	03-25-2025
2	CHECKED	3-31-2025
3	DATE	
4		
5		
6		
7		
8		

JOB NO.	DESIGNED	DRAWN	DATE	CHECKED	DATE ISSUED
22-0214 ADD5	AS	GWR	AUGUST 2024	AS	3-31-2025

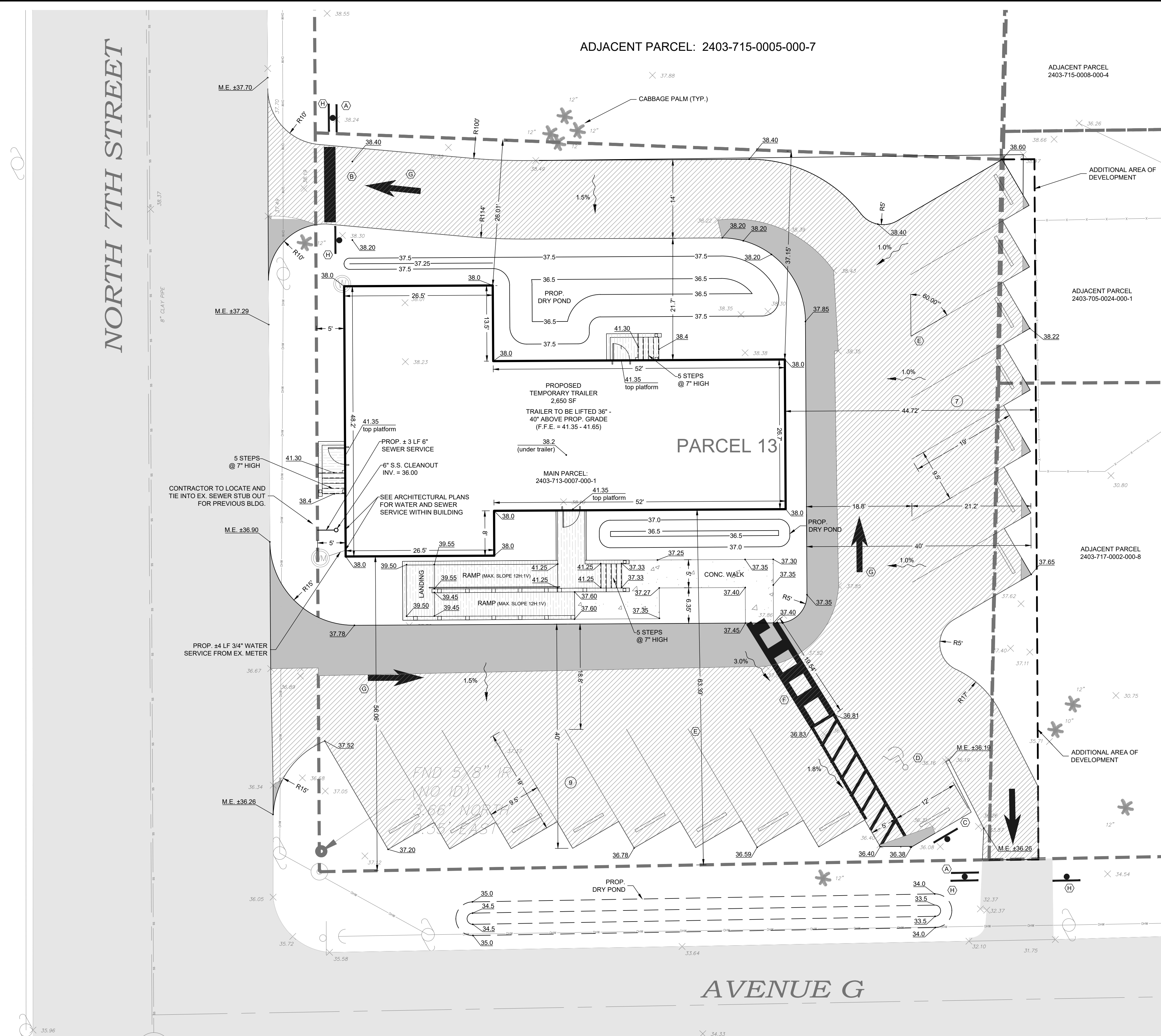
MBV ENGINEERING, INC.
 MOIA BOWLES VILLAMIZAR & ASSOCIATES
 CONSULTING ENGINEERING CA #3728
 1805 NORTH STREET
 FORT PIERCE, FL 34945
 P: (888) 444-4444
 F: (888) 444-4444

EXISTING CONDITIONS, DEMOLITION, AND EROSION CONTROL PLAN

WHOLE FAMILY HEALTH CENTER
 NORTH TEMPORARY TRAILER

AARON G. STANTON
 FL. P.E. #72460
 LICENSE No. 72460
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER

SHEET
C2



PROJECT INFORMATION

SITE ADDRESS (MAIN PARCEL)
802 N. 7TH STREET
FORT PIERCE, FL 34950

OWNER/ APPLICANT
MS. MARIE ANDRESS
WHOLE FAMILY HEALTH CENTER
827 18TH STREET
VERO BEACH, FLORIDA 32960

ENGINEER
MBV ENGINEERING, INC.
1835 20TH STREET
VERO BEACH, FLORIDA 32960
PHONE (772) 569-0035

ARCHITECT
ARCHITECTS DESIGN COLLABORATIVE
10489 SW MEETING STREET
PORT SAINT LUCIE, FLORIDA 34987
PHONE (772) 286-9004

SURVEYOR
INDIAN RIVER SURVEY, INC.
1835 20TH STREET
VERO BEACH, FLORIDA 32960
PHONE (772) 569-7880

TAX PARCEL I.D NUMBER(S)
2403-713-0007-000-1 2403-717-0002-000-8

ZONING C-3 **LAND USE** GC **OVERLAY DISTRICT** N/A

LATITUDE 27°27' 21.6"N **LONGITUDE** 80°19' 43.608"W

PROJECT DESCRIPTION
CONSTRUCTION OF A TEMPORARY TRAILER FOR STAFF ON A SITE WHERE A PREVIOUS BUILDING WAS DEMOLISHED. THE EXISTING ASPHALT PARKING LOT WILL BE REFURBISHED. WATER AND SEWER CONNECTIONS WILL BE FROM PREVIOUS CONNECTIONS TO THE DEMOLISHED BUILDING.

EXISTING LAND USE
CLEARED, INFILL LOT

PROPOSED MAINTENANCE ENTITY
OWNER

DEDICATION OF IMPROVEMENTS
PRIVATE DRIVEWAY
UTILITIES - CITY

SITE DATA

EXISTING SITE DATA	SF	AC	%	
AREA OF DEVELOPMENT	16,434 SF	0.38 AC	100%	
PARCEL 2403-713-0007-000-1	15,514 SF	0.36 AC	94.40%	
IMPERVIOUS AREA	13,392 SF	0.31 AC	86.32%	
EXISTING DEMOLISHED BUILDING AREA	3,791 SF	0.09 AC	23.07%	
EXISTING PAVEMENT	9,264 SF	0.21 AC	56.37%	
EXISTING CONCRETE	337 SF	0.01 AC	2.05%	
PERVIOUS AREA	3,042 SF	0.07 AC	18.51%	
PROPOSED SITE DATA				
AREA OF DEVELOPMENT	16,434 SF	0.38 AC	100%	
PARCEL 2403-713-0007-000-1	15,514 SF	0.36 AC	94.40%	
IMPERVIOUS AREA	12,674 SF	0.29 AC	66.59%	
PROPOSED TEMPORARY TRAILER	2,650 SF	0.06 AC	6.07%	
PROPOSED PAVEMENT	9,275 SF	0.21 AC	53.99%	
PROPOSED CONCRETE / STEP DOWNS	749 SF	0.02 AC	6.54%	
PERVIOUS AREA	5,491 SF	0.13 AC	33.41%	
OPEN SPACE	5,491 SF	0.13 AC	33.41%	
NET NEW IMPERVIOUS	-718 SF	-0.02 AC	14.90%	
PARKING DATA				
PROFESSIONAL SERVICE ESTABLISHMENTS, EXCEPT HOSPITALS (1)				
1 SP/	200 SF	2,650 SF	=	14 SPACES REQUIRED
				16 SPACES PROVIDED
				1 ADA SPACES
				15 STANDARD SPACES
TRAFFIC STATEMENT				
PER ITE, 11TH EDITION:				
USE 1: (ITE 630 - CLINIC) = 20 TRIPS PER 1,000 SF GFA				
20 X 1.0 KSF = 20 ADDT				
DRAINAGE STATEMENT				
DRAINAGE TO SHEET FLOW INTO PROPOSED ON-SITE AND OFF-SITE DRY PONDS.				
PERMITS REQUIRED				
CoPP TEMPORARY USE				
CoPP DEVELOPMENT PERMIT COMPLIANCE REVIEW (DPCR)				
CoPP EROSION AND SEDIMENTATION CONTROL AFFIDAVIT				
S/LC FIRE REVIEW				
FDEP NPDES NOTICE OF INTENT (NOI)				
FLOOD ZONE				
THE SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE X PER FLOOD INSURANCE RATE MAP #12111C0179K, DATED FEB. 19, 2020.				
WASTEWATER SOURCE				
FPUA				
POTABLE WATER SOURCE				
FPUA				
CONSTRUCTION SCHEDULE				
START: JULY 2025				
FINISH: DECEMBER 2025				

SITE IMPROVEMENT PLAN

SCALE: 1" = 10'



LEGEND

[Symbol]	EXISTING PAVEMENT
[Symbol]	EXISTING PAVEMENT TO BE REPLACED, SEE SHEET C4 FOR DETAILS OF REPLACEMENT
[Symbol]	PROPOSED ASPHALT, SEE NOTES ON THE COVER SHEET AND DETAIL ON SHEET C4
[Symbol]	PROPOSED CONCRETE
[Symbol]	SITE / PARCEL BOUNDARY LINE
[Symbol]	TREE TO BE REMOVED

SIGNAGE & PAVEMENT MARKING SCHEDULE

SIGN ID NUMBER	SIZE	DESIGNATION / NOTES
(A)	30"	R1-1 "STOP" SIGN
(B)	24"	SOLID WHITE STOP BAR
(C)	12"	FTP-20-06 HC PARKING SIGN
(D)		PAINTED PAVEMENT MARKINGS PER FDOT INDEX #711-001
(E)	4"	PAINTED WHITE STRIPE
(F)		5' WIDE, PAINTED SPECIAL EMPHASIS CROSSWALK PER FDOT INDEX #711-001
(G)		DESIGNED TRAFFIC FLOW INDICATOR PER FDOT INDEX #711-001
(H)	30" x 30"	RS-1 "DO NOT ENTER" SIGN

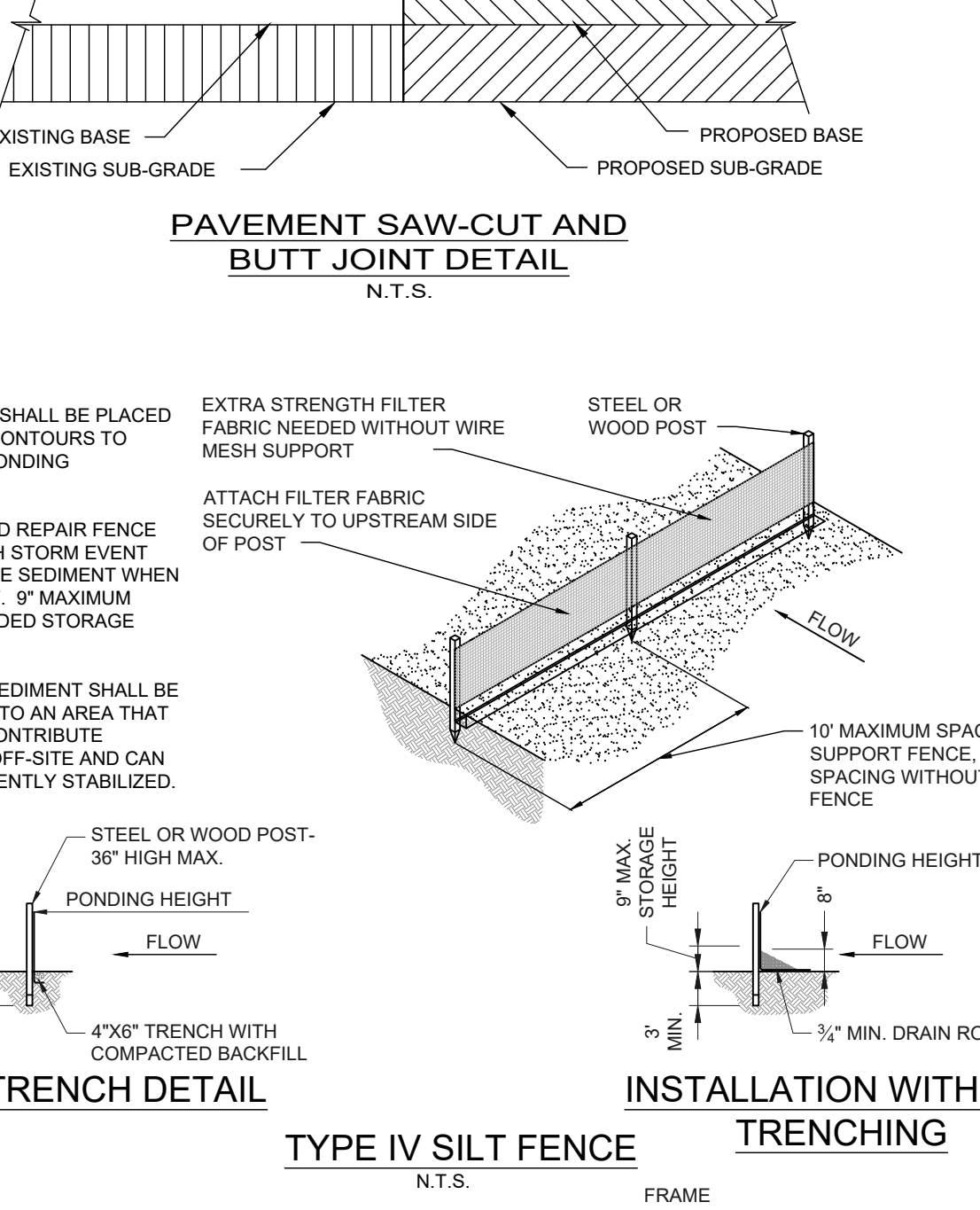
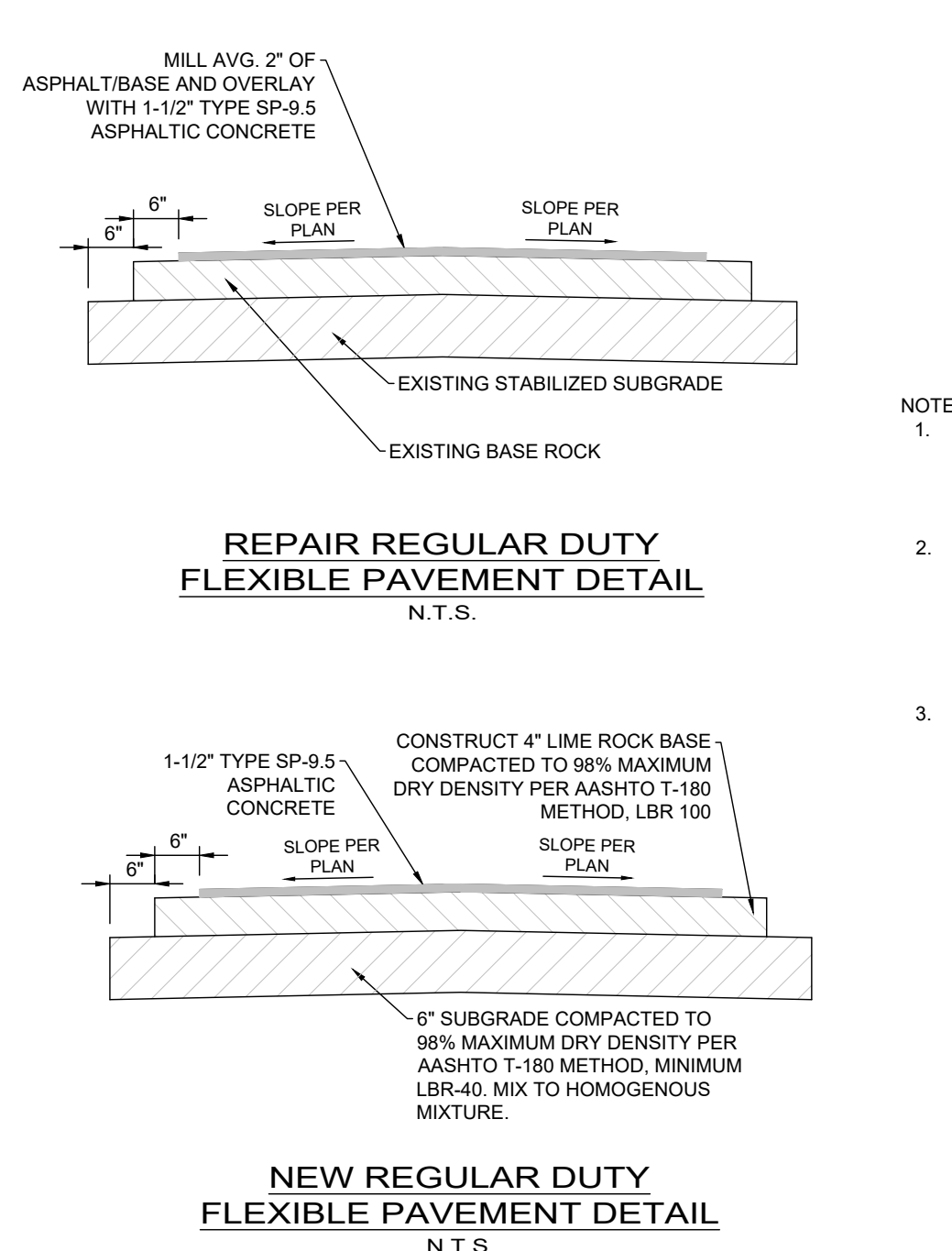
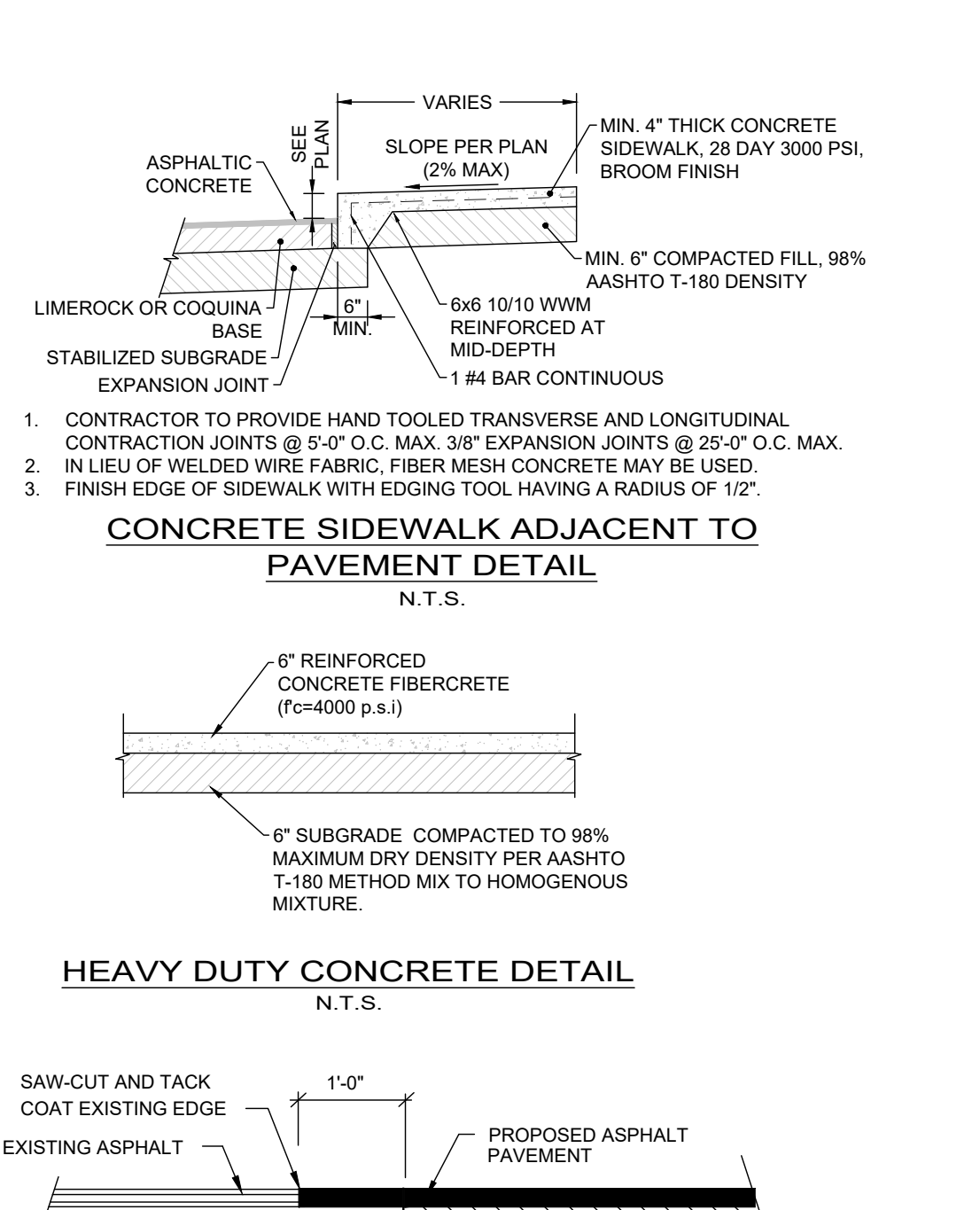
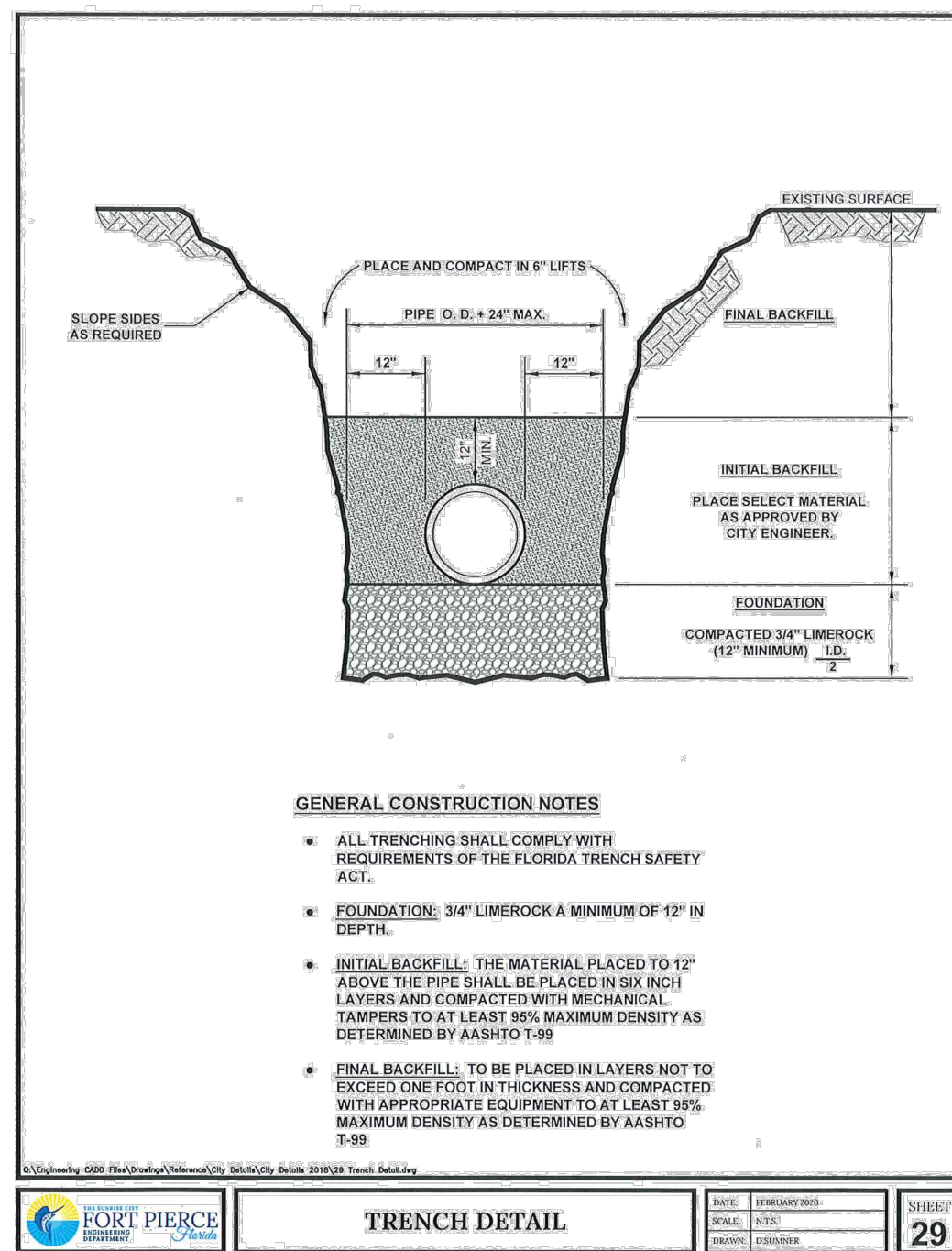
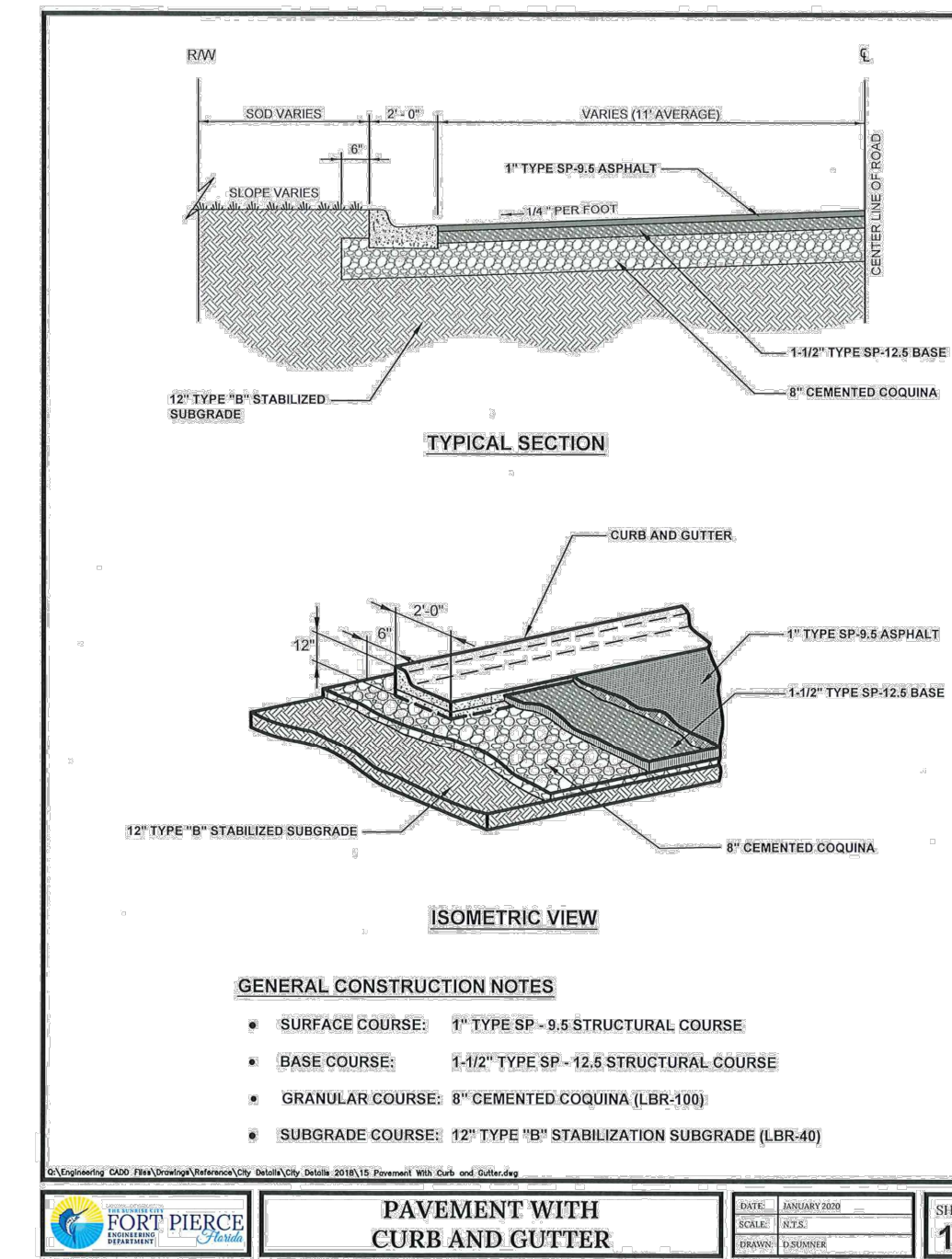
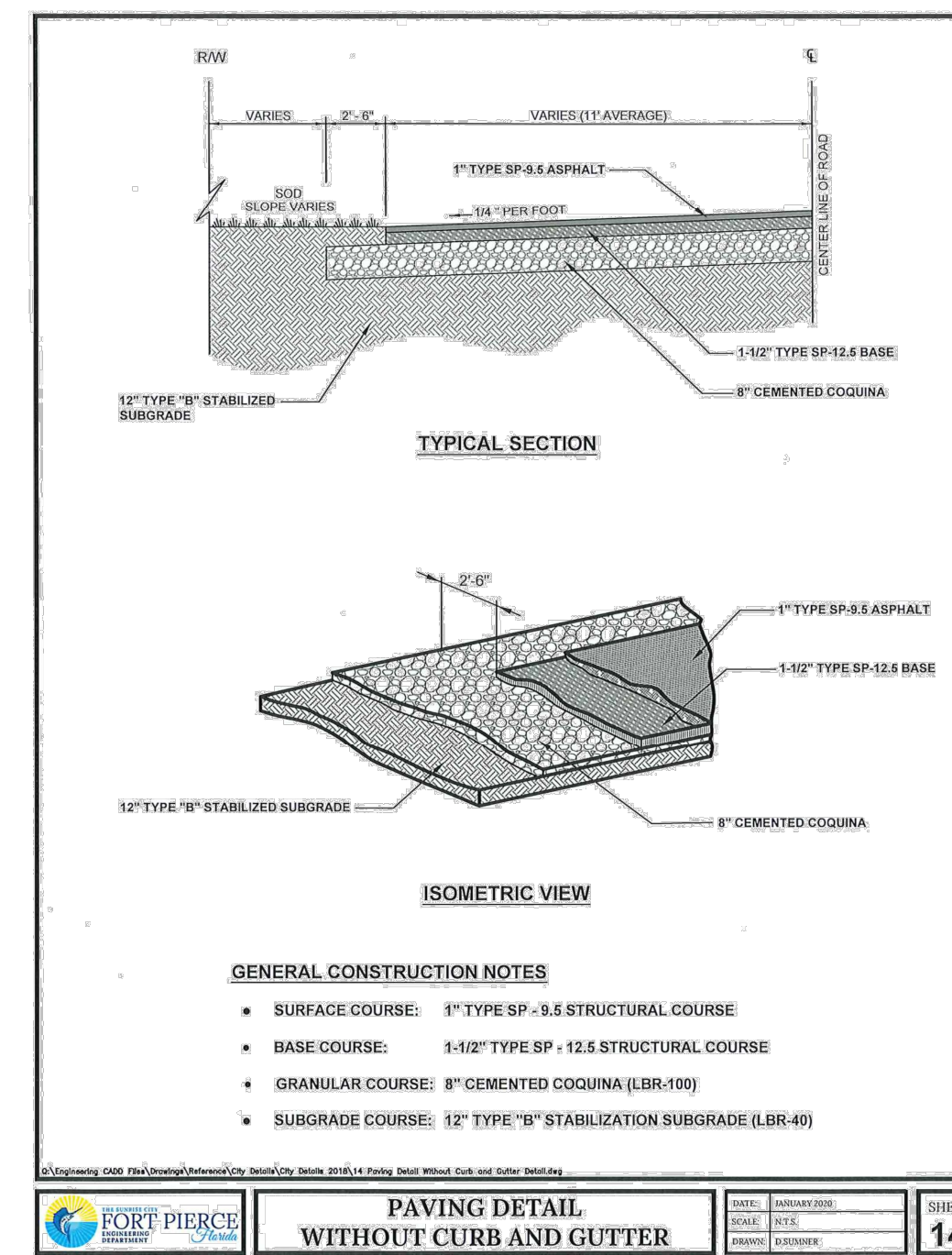
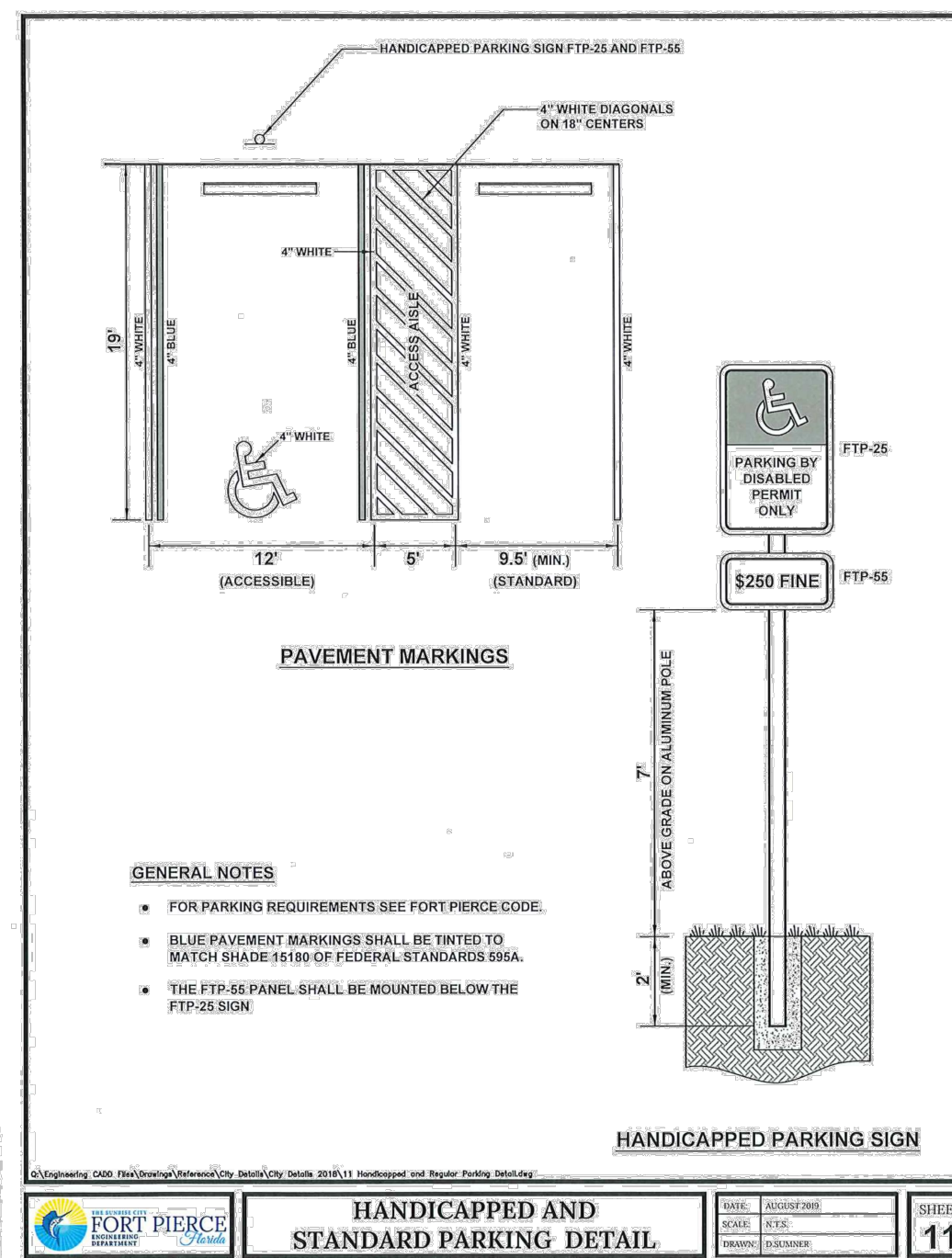
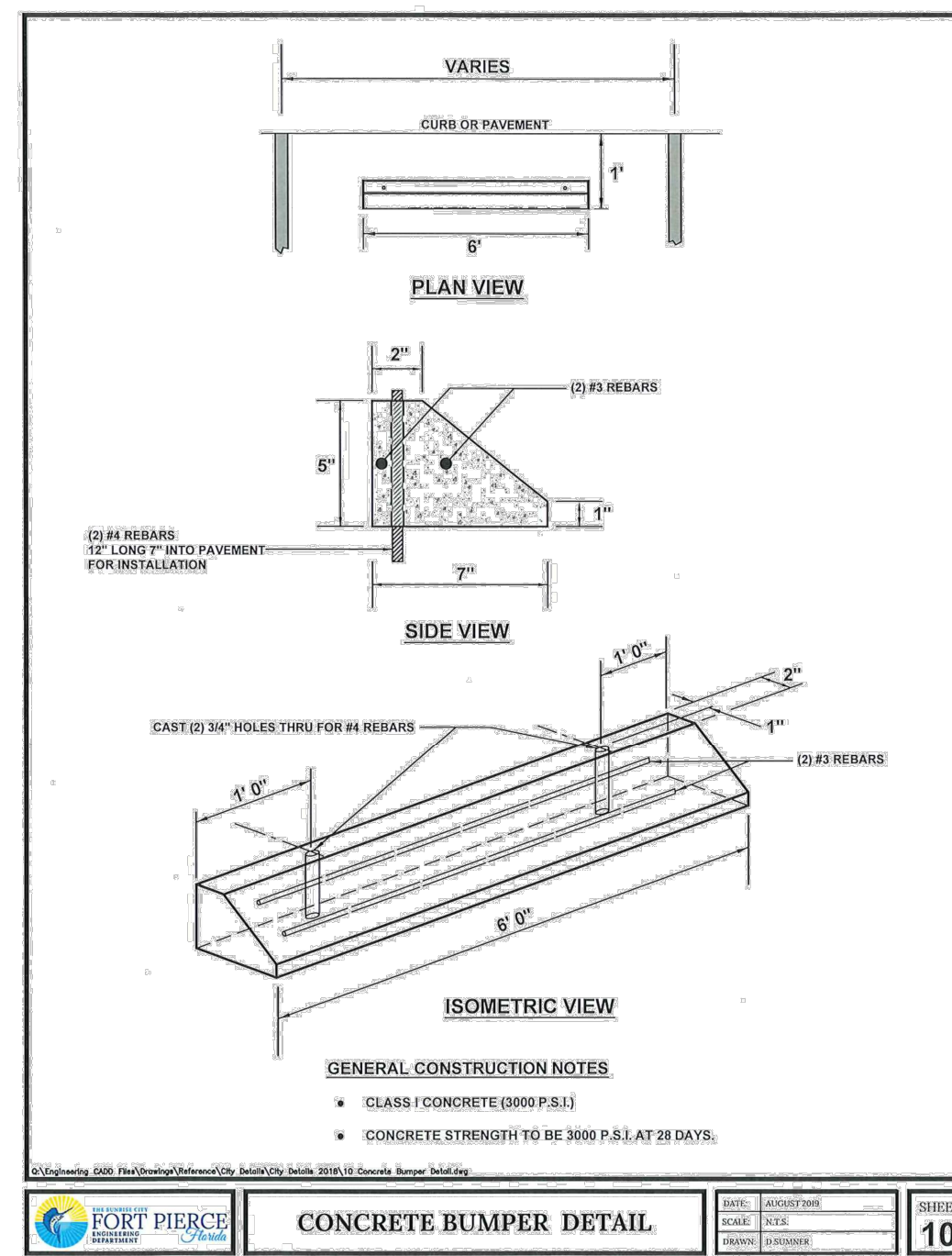
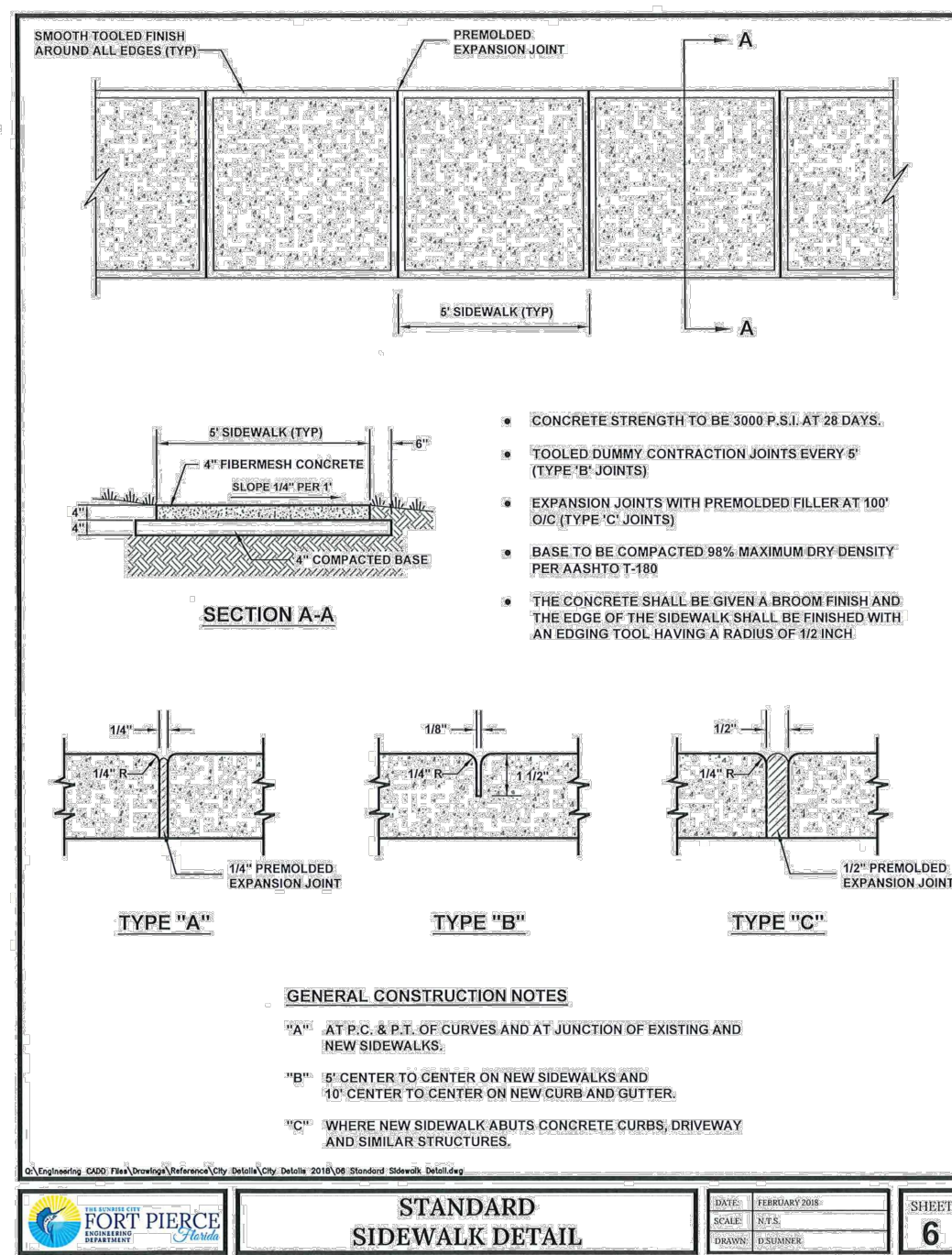
* ALL STRIPING TO BE PAINTED UNLESS OTHERWISE NOTED.

- SITE IMPROVEMENT NOTES**
- ALL PROPOSED GRADES SHOWN ON PLAN REFLECT TRAILER RAISED 36" (3'-0") ABOVE FINAL GRADE. ADJUST ALL GRADES OF RAMPS AND DOOR THRESHOLDS BY UP TO 4" IF FINAL GRADE VARIES, UP TO 40" (3'-4") ABOVE FINAL GRADE.
 - ISOLATED AREAS OF PROPOSED PAVEMENT LESS THAN 20 SF IN SIZE, CAN BE ELECTED NOT TO BE PAVED BY THE CONTRACTOR. THIS QUANTITY SHALL THEN BE LEFT OFF THE TOTAL QUANTITY OF ASPHALT COMPUTED IN THE BID.
 - EXISTING WHEEL STOPS SHALL BE REUSED, IF IN ACCEPTABLE CONDITION SEWER SERVICE TO BE LOCATED BY CONTRACTOR AND NEW 6" LATERAL EXTENDED TO THE TRAILER.
 - THE NEW SEWER LATERAL SHALL NOT BE LESS THAN 1.0% IN SLOPE.

03/25/2025 09:52:02 AM 22-0214 ADD3 Whole Family Health Center - Ft. Pierce aka general - Drawing 03/25/2025 NORTH TEMPORARY TRAILER



JOB NO.	22-0214 ADD3	DESIGNED	AS	DRAWN	GWR	DATE	AUGUST 2024	CHECKED	AS	DATE ISSUED	3/31/2025	REVISIONS	DATE
SITE IMPROVEMENT PLAN													
WHOLE FAMILY HEALTH CENTER NORTH TEMPORARY TRAILER													
C3													
SHEET 22-0214 ADD2													



CONSTRUCTION NOTES:

- THE CONTRACTOR IS ADVISED TO THOROUGHLY REVIEW THIS PLAN PACKAGE SO AS TO BE TOTALLY PREPARED TO PRESENT HIS BID PRICES IN THE CONTRACT DOCUMENTS. THE PLAN PACKAGE SUFFICIENTLY DELINEATES THE SCOPE AND INTENT OF THE ROADWAY WORK TO BE ACCOMPLISHED. IT WILL, THEREFORE, BE INCUMBENT ON THE CONTRACTOR TO ADJUST HIS FEE DOLLARS TO REFLECT ANY AND ALL ITEMS WHICH MAY NOT BE CLEARLY OUTLINED OR THOSE ITEMS WHICH MAY NOT BE INDICATED BUT WHICH ARE NECESSARY FOR THE SUCCESSFUL COMPLETION OF THIS PROJECT WITHOUT ADDITIONAL COSTS TO THE OWNER.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF FORT PIERCE AND FDOT STANDARDS AND SPECIFICATIONS.
- THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS BASED ON AVAILABLE RECORDS AND IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO AND IS RESPONSIBLE FOR THE COORDINATION OF UTILITY RELOCATION.
- CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES IN THE FIELD WITH UTILITY OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY ALL UTILITY COMPANIES A MINIMUM OF TWO WORKING DAYS PRIOR TO EXCAVATION, AS REQUIRED BY THE UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT. NOTIFY SUNSHINE AT 811.
- CONTRACTOR SHALL TAKE EXTREME CAUTION WHEN EXCAVATING NEARBY EXISTING UTILITIES.
- CONTRACTOR SHALL INFORM ENGINEER OF ANY CONFLICT BEFORE ANY FURTHER WORK IS COMPLETED.
- UTILITIES ARE TO BE ADJUSTED BY UTILITY OWNER OR AS DIRECTED BY THE ENGINEER.
- SURFACE INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FOR USE IN ESTABLISHING DESIGN CRITERIA FOR THE PROJECT. THE ACCURACY OF THIS INFORMATION IS NOT GUARANTEED AND IS NOT TO BE CONSTRUED AS PART OF THE PLANS GOVERNING CONSTRUCTION OF THE PROJECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INQUIRE OF THE ENGINEER IF ADDITIONAL INFORMATION IS AVAILABLE, TO MAKE ARRANGEMENTS TO REVIEW SAME PRIOR TO BIDDING, AND IS TO MAKE HIS OWN DETERMINATION AS TO ALL SUBSURFACE CONDITIONS.
- CONTRACTOR SHALL NOTIFY THE ENGINEER IF SOIL OR SUBSURFACE CONDITIONS UNSUITABLE FOR CONSTRUCTION ARE ENCOUNTERED.
- ALL EXCAVATED SOILS DEEMED SUITABLE AS FILL MATERIAL AS DETERMINED BY THE ENGINEER SHALL BE UTILIZED ON SITE BY THE CONTRACTOR AT HIS OWN EXPENSE. THE EXACT LOCATION OF DELIVERY ON SITE SHALL BE DETERMINED BY THE ENGINEER. ALL EXCAVATED SOILS DEEMED UNSUITABLE SHALL BE DISPOSED OF BY THE CONTRACTOR AT HIS OWN EXPENSE.
- ITEM IN CONFLICT WITH DESIGN SUCH AS EXISTING CURBS AND GUTTERS, SIDEWALKS, DRAINAGE STRUCTURES, PAVEMENT AND EXCESS EXCAVATIONS ARE TO BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN A LEGAL AND PROPER MANNER AWAY FROM THE JOB SITE AT HIS OWN EXPENSE.
- CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS FOR CONSTRUCTION.
- IT SHOULD BE NOTED THAT THE OCCUPATIONAL SAFETY AND HEALTH ACT PROHIBITS THE OPERATING OF EQUIPMENT OR MACHINES CLOSER THAN TEN (10) FEET TO ENERGIZED ELECTRIC LINES RATES AT FIFTY KILOVOLTS OR BELOW. ALSO, NO EXCAVATION IS PERMITTED WITHIN FIVE (5) FEET OF POWER POLE FACILITIES.
- ALL IRONS AND MONUMENTS (P.R.M.'S) SHOWN ON PLANS, OR FOUND, SHALL BE PRESERVED. THOSE SHOWN IN PROPOSED PAVEMENT SHALL BE PROTECTED WITH A CAST IRON VALVE BOX.
- ANY PUBLIC LAND CORNERS WITHIN THE LIMITS OF CONSTRUCTION ARE TO BE PROTECTED. IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED OR DISTURBED, THE CONTRACTOR WILL NOTIFY THE ENGINEER.
- WHEN REFERENCED TO, FDOT REFERS TO FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARDS, CURRENT EDITION.
- THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO A CONDITION EQUAL TO, OR BETTER THAN THAT WHICH IS NOW EXISTING.
- SODDING TO BE USED AT LOCATIONS AS DIRECTED BY THE ENGINEER. SOD ALL DISTURBED AREAS UPON COMPLETION.
- ALL EXCESS CONSTRUCTION MATERIAL AND WASTE TO BE HAULED OFF-SITE AND DISPOSED OF PROPERLY AT CONTRACTOR'S EXPENSE.
- PROPERTY OWNERS AND BUSINESSES WITHIN THE AREA OF CONSTRUCTION SHALL BE GIVEN ACCESS TO THEIR PROPERTY AT ALL TIMES DURING THE PERIOD OF CONSTRUCTION.
- ALL MAILBOXES SHALL BE RELOCATED BY THE CONTRACTOR AS DIRECTED BY THE U.S. POSTAL MAIL CARRIER.
- THE CONTRACTOR SHALL REMOVE, COVER OR OBLITERATE EXISTING ROADWAY SIGN AND PAVEMENT MARKINGS THAT CONFLICT WITH THE CONSTRUCTION TRAFFIC CONTROL PLANS.
- CONTRACTOR TO PROTECT ALL SPRINKLER HEADS NOT IN CONFLICT WITH DESIGN AND RELOCATE ALL THOSE WHICH ARE IN CONFLICT TO A LOCATION DETERMINED IN FIELD.
- SOD TWO (2) FEET MINIMUM ALONG SIDE PROPOSED EDGE OF PAVEMENT.
- THE CONTRACTOR SHALL PROVIDE ANY TEMPORARY DRAINAGE MEASURES AS REQUIRED TO ADEQUATELY DRAIN THE PROJECT AND ANY TEMPORARILY TRAVELED ROADWAYS. TEMPORARY DRAINAGE DESIGN, CONSTRUCTION AND MAINTENANCE IS THE CONTRACTOR'S RESPONSIBILITY. HOWEVER, ALL SUCH MEASURES MUST BE APPROVED BY THE ENGINEER.
- GRADES SHOWN ARE FINISHED GRADES.
- SAWCUT CONCRETE OR ASPHALT DRIVEWAYS AS REQUIRED FOR REPLACEMENT.
- ALL ABANDONED UTILITIES (INCLUDING PIPES, CABLES AND STRUCTURES) FOUND IN THE RIGHT OF WAY AND NOT SHOWN ON THE PLANS, ARE TO BE REMOVED AND PROPERLY DISPOSED OF AT THE EXPENSE OF THE CONTRACTOR. THIS INCLUDES ALL EXOTIC PIPES LIKE ASBESTOS-CEMENT PIPE. COST TO BE INCLUDED IN CLEARING AND GRUBBING ITEM.
- DRIVEWAY LOCATIONS AND WIDTHS ARE APPROXIMATE AND ARE TO BE ADJUSTED AS NECESSARY OR AS DIRECTED BY THE ENGINEER.
- BENCHMARK DATUM IN NAVD 88.
- BACKFILL AND SOD AS REQUIRED BEYOND RIGHT OF WAY LINES ON INDIVIDUAL LOTS TO MAINTAIN POSITIVE DRAINAGE FLOW INTO CURB AND GUTTER.
- PAYMENT FOR INCIDENTAL ITEMS NOT SPECIFICALLY COVERED IN THE INDIVIDUAL BID ITEMS SHALL BE INCLUDED IN THE CONTRACT PRICES FOR BID ITEMS.
- CONSTRUCTION OPERATIONS FOR PLACEMENT OF THE FINAL SURFACE COURSE SHALL BE LIMITED TO A DISTANCE, AS DIRECTED BY THE ENGINEER, THE CONTRACTOR CAN COMPLETE IN ONE (1) DAY.
- THE CONTRACTOR SHALL IMPLEMENT TEMPORARY PAVEMENT MARKINGS UNTIL THE FINAL SURFACE COURSE HAS CURED (MINIMUM FOURTEEN (14) DAYS AFTER FINAL SURFACE COURSE PLACEMENT). ANY TEMPORARY PAINTED MARKINGS PLACED ON THE FINAL.
- ALL APPROVED PERMIT CONDITIONS, INCLUDING BUT NOT LIMITED TO FDOT, FDEP AND CITY OF FORT PIERCE, SHALL BE MET BY CONTRACTOR PRIOR TO CERTIFICATION OF COMPLETION BY ENGINEER.

ROADWAY SPECIFICATIONS

GENERAL

IT IS WITHIN THAT PARTICULAR SECTION ANOTHER SECTION, ARTICLE OR PARAGRAPH IS REFERRED TO, IT SHALL BE A PART OF THE STANDARD SPECIFICATIONS ALSO.

THE CONTRACTOR SHALL GIVE THE ENGINEER 48 HOURS NOTICE PRIOR TO REQUESTING INSPECTIONS AND SHALL SUPPLY ALL EQUIPMENT NECESSARY TO PROPERLY TEST AND INSPECT THE COMPLETED WORK.

THE CONTRACTOR SHALL GUARANTEE ALL WORK AND MATERIALS FOR A PERIOD OF TWO YEARS FROM THE DATE OF PROJECT ACCEPTANCE, DURING WHICH ALL FAULTY CONSTRUCTION AND/OR MATERIALS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.

GRADING

THE CONTRACTOR SHALL PERFORM ALL GRADING NECESSARY TO ACHIEVE THE PROPOSED PLAN GRADES INCLUDING TYPICAL SECTIONS.

ALL WORK SHALL BE IN ACCORDANCE WITH SECTION 120 OF THE STANDARD SPECIFICATIONS.

STAKING

CONSTRUCTION STAKING WILL BE PERFORMED BY THE CONTRACTOR.

STABILIZING

STABILIZED SUBGRADE SHALL BE CONSTRUCTED TO THE FLORIDA BEARING VALUE AS PER PLAN FOR THE DEPTH AND LIMITS SHOWN ON THE PLAN, AND IN ACCORDANCE WITH SECTION 160 OF THE STANDARD SPECIFICATIONS.

(TYPE C STABILIZATION). ALL STABILIZED AREAS SHALL BE COMPACTED TO AT LEAST 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.

BASE COURSE

THE BASE SHALL BE CONSTRUCTED OF EITHER LIMEROCK COMPACTED IN ACCORDANCE WITH SECTION 911 OR CEMENTED COQUINA SHELL MATERIAL IN ACCORDANCE WITH SECTION 915 OF THE STANDARD SPECIFICATIONS.

LIMEROCK BASE AND CEMENTED COQUINA SHELL BASE SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 200 OF THE STANDARD SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE ROCK PIT CERTIFICATION FOR CEMENTED COQUINA SHELL MATERIAL. BASE SHALL BE COMPACTED BY AT LEAST 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180. BASE SHALL BE APPROVED PRIOR TO PRIME COAT.

PRIME AND TACK COAT

PRIME AND TACK COAT FOR THE BASE SHALL BE IN ACCORDANCE WITH SECTION 300 OF THE STANDARD SPECIFICATIONS.

ASPHALTIC CONCRETE SURFACE COURSE (A.C.S.C.)

TYPE S-III ACSC SHALL BE CONSTRUCTED FOR THE DEPTH AND LIMITS SHOWN ON THE PLAN, IN ACCORDANCE WITH SECTIONS 320, AND 330 OF THE STANDARD SPECIFICATIONS.

TESTING

THE CONTRACTOR SHALL RETAIN THE SERVICES OF AN APPROVED INDEPENDENT TESTING LABORATORY TO CONDUCT ALL REQUIRED TESTS ON SUBGRADE, BASE AND SURFACE COURSE MATERIALS. TEST RESULTS MUST BE SUBMITTED PRIOR TO ANY REQUEST FOR PAYMENT ON THE ABOVE ITEMS.

THE SCHEDULE FOR TESTING OF THE ROAD CONSTRUCTION SHALL BE AS FOLLOWS:

- SUBGRADE:
 - FLORIDA BEARING VALUE TESTS SHALL BE TAKEN AT INTERVALS OF NOT MORE THAN 200 FEET, OR CLOSER AS MIGHT BE NECESSARY IN THE EVENT OF VARIATIONS IN SUBSOIL CONDITIONS.
 - DENSITY TESTS SHALL BE TAKEN AT INTERVALS OF NOT MORE THAN 200 FEET OR CLOSER AS MIGHT BE NECESSARY.
- BASE:
 - DENSITY TESTS SHALL BE TAKEN AT INTERVALS OF NOT MORE THAN 500 FEET OR CLOSER AS MIGHT BE NECESSARY.

ALL TESTING SHALL BE TAKEN IN A STAGGERED SAMPLING PATTERN FROM A POINT 1 1/2 INCHES INSIDE THE LEFT EDGE, TO THE CENTER, TO A POINT 12 INCHES INSIDE THE RIGHT EDGE OF THE ITEM TESTED.

IF ANY TEST INDICATES THAT THE WORK DOES NOT MEET THE SPECIFICATIONS, THE SUBSTANDARD AREA SHALL BE REWORKED OR CORRECTED AND RETESTED, AT THE CONTRACTOR'S EXPENSE, UNTIL THE PROVISIONS OF THESE SPECIFICATIONS ARE MET.

ALL PASSING TESTS SHALL BE PAID FOR BY THE OWNER. ALL FAILING TESTS SHALL BE PAID FOR BY THE CONTRACTOR.

8	DESIGNED	AS	22-0214 ADD5	REVISIONS 3/12/2025 DATE ISSUED
7	DRAWN	GWR	AUGUST 2024	
6	CHECKED	AS	03-25-2025	
5	DATE			
4	BUILDING FOOTPRINT			
3				
2				
1				

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WHOLE FAMILY HEALTH CENTER
 NORTH TEMPORARY TRAILER
 CITY OF FORT PIERCE, FLORIDA

AARON G. STANTON
 LICENSE No. 72460
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 AARON G. STANTON
 FL. P.E. #72460
 4/7/2025

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