



DISTRICT
PLANNING
GROUP

DESIGN REVIEW NARRATIVE

Sunset Gardens
4945 Edwards Road

February 14, 2025

Table of Contents

Summary 2

Site 2

Adjacent Properties 3

 Table 1 3

 Site and Surrounding Land Uses..... 3

Project Details..... 3

Consistency with Existing and Developing Character 3

 Site Analysis..... 3

 Design Intent and Design Program 3

Architecture 4

 Design Compatibility..... 5

Neighborhood consistency 7

Closing 9

Sunset Gardens Design Review Narrative

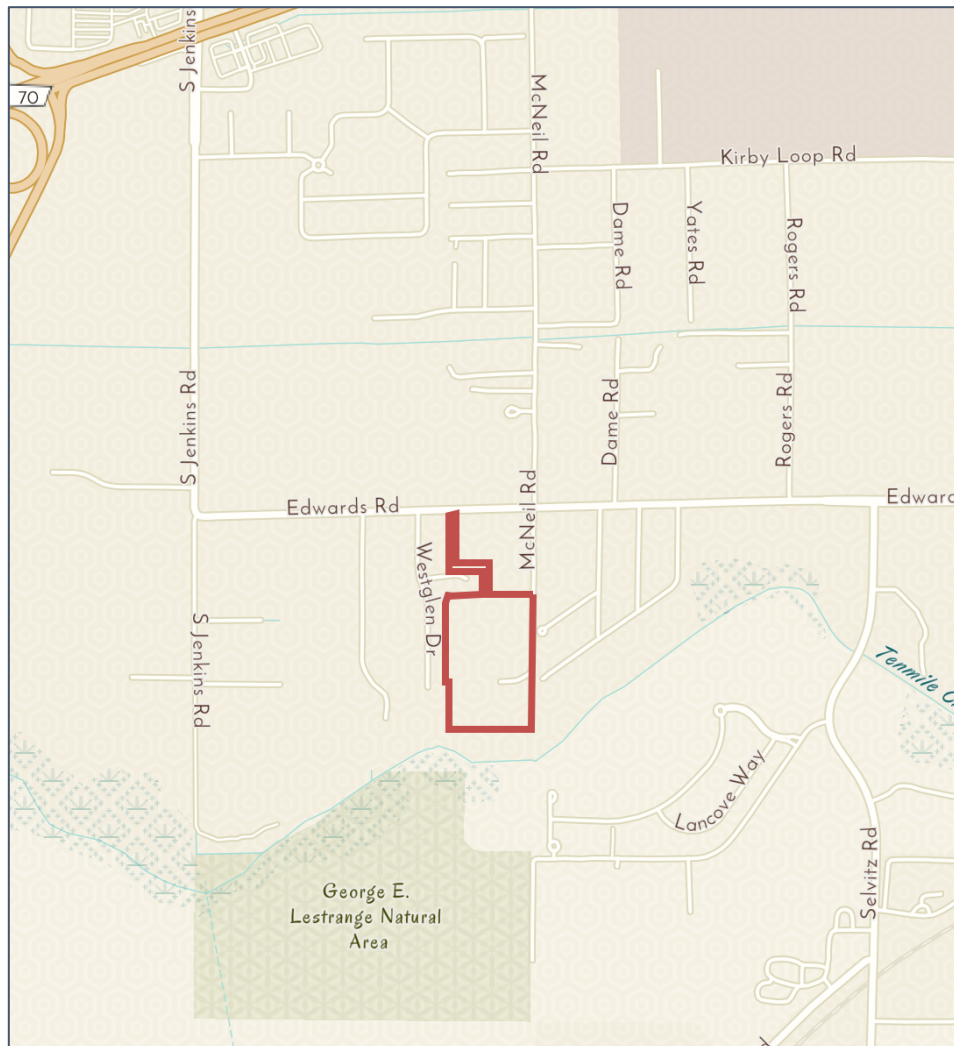
Summary

Golden Arrow Development is proposing a Planned Development (PD) consisting of 112 Townhouse units with associated community amenities at 4945 Edwards Road. These units will consist of 20 townhouse row buildings that create a sense of consistency and enclosure to the community streets, with street trees between the sidewalks on both sides of the street creating a shaded and visually appealing streetscape.

Amenities include lake vistas for lakefront units, the community pool, and the entrance vista. The wetlands preservation area includes a viewing platform, recreational facilities include a pool and cabana, an open recreational lawn for unstructured play and picnics overlooking the lake, private patios, and a sidewalk network that interconnects the community.

Site

This site is located between Edwards Road to the north and 10-Mile Creek to the south, between Jenkins Road and Selvitz Road.



Sunset Gardens Design Review Narrative

Adjacent Properties

The property fronts South Jenkins Road, and is adjacent to vacant commercial parcels to the north, a new one- and two-family Planned Development to the east, I-95 to the west and an approved, unbuilt residential rental development to the south.

Table 1 Site and Surrounding Land Uses					
	Site	North	South	East	West
Future Land Use	City of Fort Pierce High Density Residential 18 dwelling units per acre (RH) and Low-Density Residential 6 ½ dwelling units per acre (RL)	SLC- Public Facilities (PT) and Residential Urban 5 units per acre (RU)	SLC- Residential Urban (RU)	SLC- Residential Urban (RU)	City of Fort Pierce Residential High (RH)
Zoning	City of Fort Pierce Expired Planned Development (PD) and Residential Medium (R-4)	SLC- Institutional (I)	SLC - Residential-Single Family 3 dwelling units per acre (RS-3)	SLC - (R-3)	City of Fort Pierce (R-4)
Current Use	Vacant with only one structure present	SLC- Vacant	SLC - vacant, wetlands	SLC- River Oaks Estates	City of Fort Pierce West Glen Subdivision

Project Details

Consistency with Existing and Developing Character

Site Analysis

This site is located to the north of 10-Mile Creek with significant wetlands and a floodplain on the southern section of the site. High density (City of Fort Pierce) zoning is adjacent to the west and is developed with duplexes. Single Family RS-3 (Unincorporated St. Lucie County) zoning is adjacent to the east and is developed with an existing single family neighborhood.

This townhome neighborhood is an appropriate transition of density from the high density duplex development to the west to the larger lot single family neighborhood to the east. Dense landscaping and a 6' opaque white PVC fence will screen existing residents from the new development.

In order to be responsive to the environmentally sensitive wetlands/floodplain area, development has been clustered away from the sensitive wetlands located on the south side of the property. A viewing platform accessible from the interconnected community sidewalk will connect residents with the natural area without impacting it.

Design Intent and Design Program

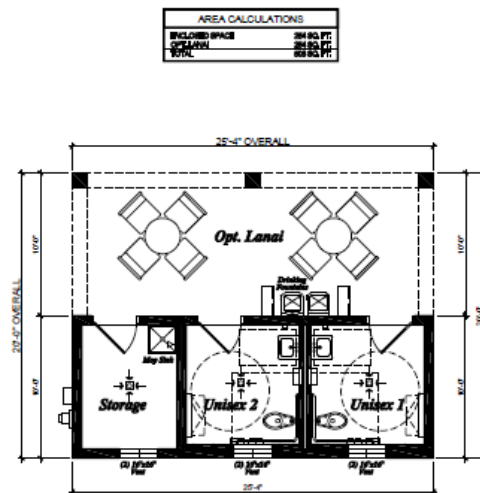
The site layout for Sunset Gardens Townhouse community takes into consideration the topographic elevations and natural features by preserving the entire natural wetland 3.48-acre ecological community, and the associated elevated 25-foot upland buffer along the northern perimeter of the wetlands. Sunset Gardens has been designed with one entrance into the development, thereby limiting the number of curb cuts to one.

Sunset Gardens Design Review Narrative

Additionally, the site has been designed for the drainage to flow to the centrally situated lake that connects to two retention ponds and the 3.48-acre wetland to provide a natural system of stormwater drainage for the community

The site design enhances the community with the following elements:

- An expansive 15-foot landscape buffer, a stimulating streetscape that incorporates 5-foot sidewalks in an interconnected sidewalk system,
- The streetscape will include shade trees that include Green Buttonwoods, Southern Magnolias, Dahoon Hollies, Red Maple, Cabbage Palms accented with Chinese Palms,
- Pedestrian scale focal points that include the wetlands observation platform connected by the sidewalk network with various bike racks strategically located throughout,
- A centralized 1.7-acre lake tract with a fountain, which serves as a community asset while providing water circulation,
- Two connecting retention areas for stormwater management,
- Linear trail from the development to the entrance at Edwards Road, and
- A 0.64 recreation area that includes open lawn area for play, a pool with cabanas (shown below), and the mail kiosk area. This recreation area has been designed to create a gathering place for residents, supporting the sense of place which is the mission of the Sunset Gardens Townhouse Community.



Floor Plan - Tier 1
1,250 Sq. Ft. Pool
Scale: 1/4" = 1'-0"

Architecture

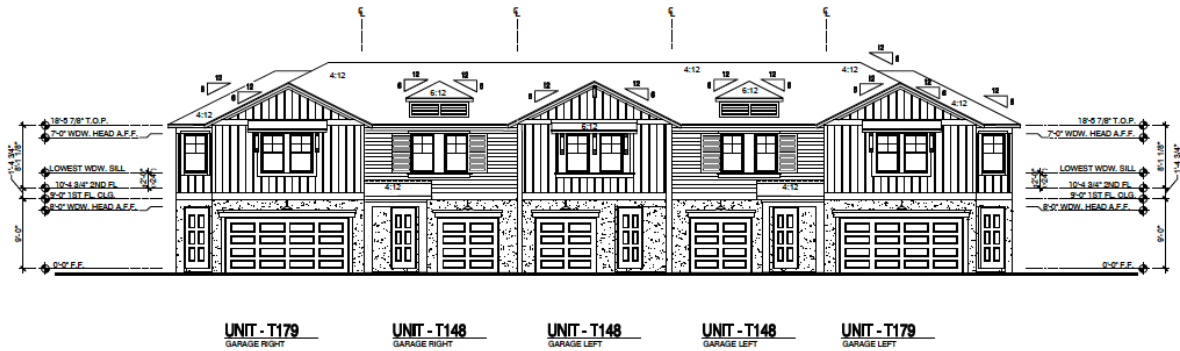
Sunset Gardens Townhomes have been designed in the Craftsman style consisting of the following architectural façade elements:

- Tapered columns
- Exposed rafter tails and beams under roof eaves
- Recessing and projecting elements in the façade that provide visual relief and have sufficient depth that provides shade and a shadow on adjacent building surfaces.

Additionally, the ground floor of each of the units has a minimum of 50 percent of the horizontal length and there are no blank walls in the design. The façade materials consist of stucco, wood clapboard, wood shingles,

Sunset Gardens Design Review Narrative

and cement siding in clapboard style boards, and textured concrete masonry units.



The roof style for the Sunset Gardens Townhouse development has been designed with low-pitched, gabled roofs that are Cedar shingles reflecting the Craftsman style at a slope ranging from 3:12 to 6:12. The roofs provide a variation in roof heights and articulation along the facade that adds visual interest to a streetscape and delineation of activity for each of the townhouse units. The fascia around the eaves has limited simple detail that complements the fenestration, overhangs and entrances. The building design provides articulation with varied depths for intimate entranceways for each of the units, giving the sense of individuality. Additionally, the entrances face the street to allow for visibility to vehicular traffic at the scale of the pedestrian.

The windows designed for Sunset Gardens Townhouse community have been designed with defined frames that accentuate the multipaned windows and mullions within each of the window panels. The windows are in scale and compatible with the Craftsman architectural style. The use of these traditional methods enhances the elevations and frames fenestration and door openings. These features of fenestration are compatible with the Craftsman architectural style. The doors have been designed in an architectural style that is customary to the Craftsman architecture with the use of partially paned doors. The individual unit facades of the Sunset Gardens Townhouse development provide varying earth tone colors to create unique and personalized units within each of the townhouse buildings to distinguish each of the units from each other. The colors of wall surfaces complement facade articulation and keep with the chosen architectural style and character.

Design Compatibility

This project is set far back from Edwards Road and will not be visible from the right of way. That said, the streetscape of Edwards Road, the two adjacent residential neighborhoods on either side of the project and the recently-approved Viva East residential community are evaluated here.

Edwards Road homes:



Sunset Gardens Design Review Narrative



Duplex Subdivision adjacent to west:



Viva East Residential (unbuilt)

ELEVATIONS



Single Family Neighborhood to the east:

Sunset Gardens Design Review Narrative



Single Family Neighborhood cul-de-sac facing west toward subject site and view of buffer area:



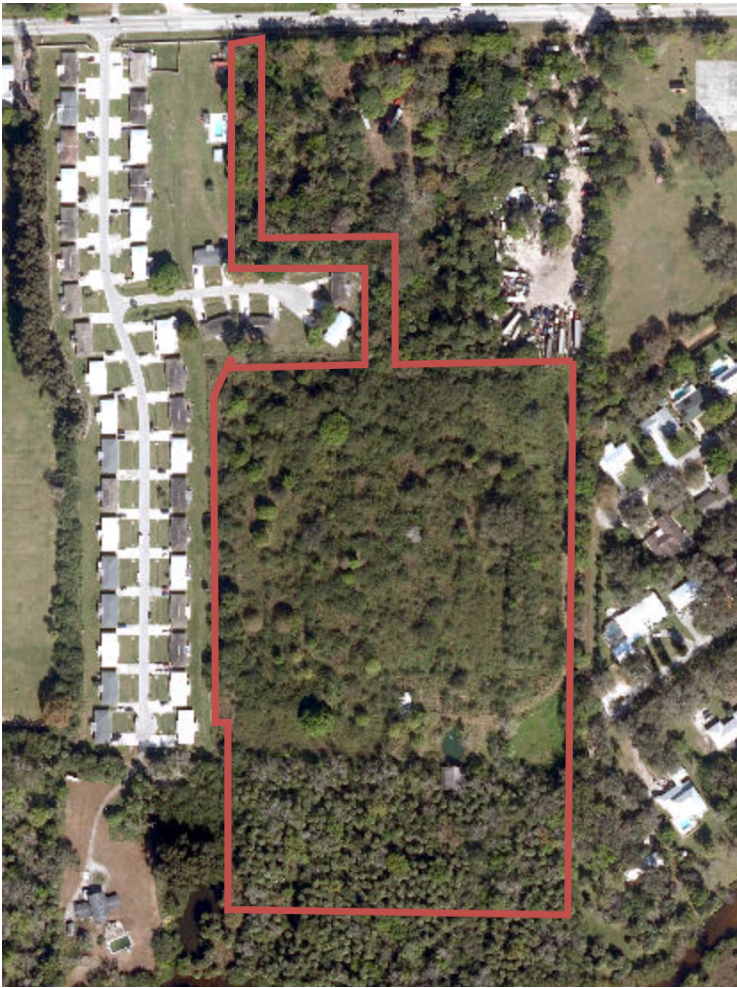
Common design elements among the built and approved residential properties surrounding the subject site include:

- A variety of architectural styles, including ranch and frame vernacular
- Hip roofs, gable-end roofs, and hip roofs with gables
- Muted, neutral color palettes
- Minimal ornamentation

Neighborhood consistency

Since the new neighborhood will be set far back from Edwards Road, the primary considerations for neighborhood consistency and compatibility are with the adjacent residential neighborhoods to the east (unincorporated St. Lucie County) and west (City of Fort Pierce). Backs and sides of homes are adjacent to Sunset Gardens and the design of this Planned Development reflects the desire to be respectful of those existing neighborhoods.

Sunset Gardens Design Review Narrative

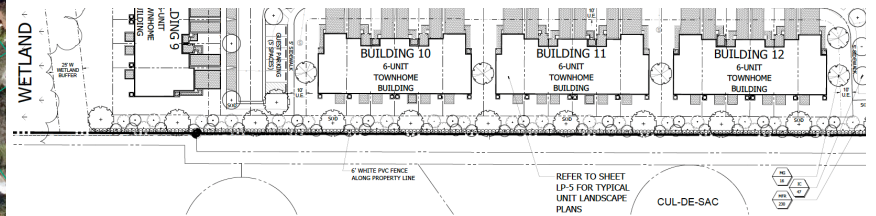
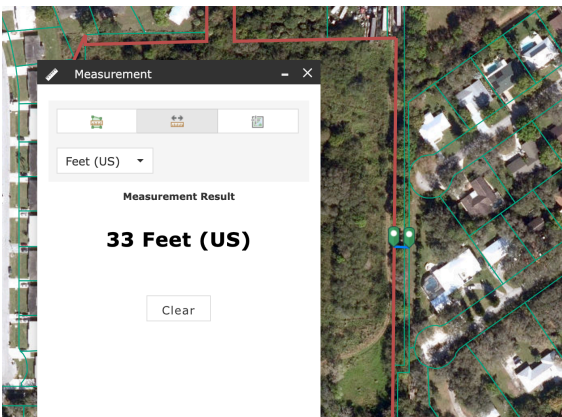


This site aerial shows adjacent residential uses to the east and west of the Sunset Gardens site. The duplex subdivision is shown running north to south along the west side, and some of the duplexes have back yards facing the Sunset Gardens site. Design of the site and its Landscape Plan takes into consideration screening of both sites from one another.

The single-family neighborhood to the east has roads running generally perpendicular to the Sunset Gardens site. In this neighborhood, there are four (4) homes that have side yards in view of Sunset Gardens. The project takes into consideration the amount of buffer both on and off site that screen views to and from both locations.

The exemplar photos above show the drainage feature separating Sunset Gardens from the single-family neighborhood, and an open space strip which belongs to the institutional site to the north.

These two narrow strips of land create an additional approximate 33' of buffer between the Sunset Gardens neighborhood and the existing, established neighborhood to the east. On the photo of that strip of land, it shows that in addition to the open grassy area, there are tall, mature Laurel Oaks on the bank of the drainage canal that will remain and provide additional screening between the sites. The Site Plan and Landscape Plan call for an additional 15' buffer and opaque 6' white PVC fence. The buffer will be densely planted with native slash pine, sabal palms, green buttonwood trees and a hedge of simpson stopper. This combined buffer of nearly 50' will screen both communities from sight of each other, being respectful of privacy and existing character.



Sunset Gardens Design Review Narrative

Closing

The Sunset Gardens townhome neighborhood will bring critically-needed housing diversity to the Fort Pierce area within an ideal location located between downtown Fort Pierce, access to I-95 and the Turnpike, and St. Lucie West. Care has been taken to design this neighborhood as a high-quality transition between the high density zoning to the west and lower density zoning to the east. Densely landscaped buffers will create a sense of privacy for the new community while screening the new development from existing neighborhoods. The new neighborhood has been designed to reflect existing Fort Pierce architectural precedent through Craftsman detailing, respects environmentally sensitive wetlands by avoiding impacts, and provides on-site amenities for its residents.