

DSE HOLDINGS, INC.
PID: 2432-501-0001-0008

WANDA R. JOHNSON
PID: 2432-231-0001-0000

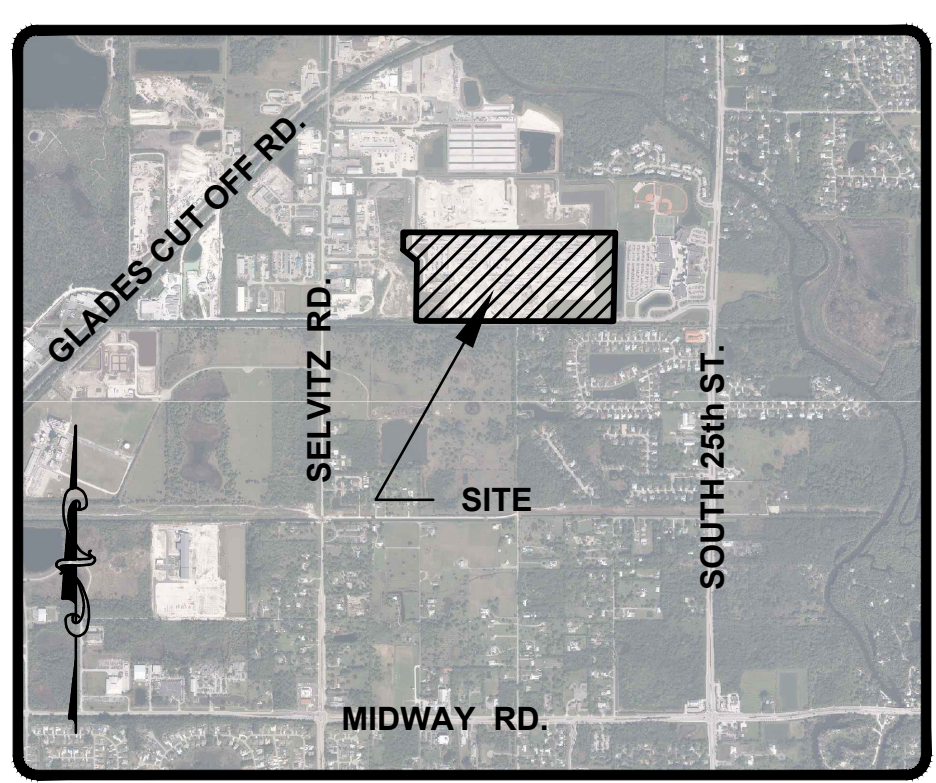
SCHOOL BOARD OF
ST. LUCIE COUNTY
PID: 2432-113-0001-0007

PRECAST SPECIALTIES
PLAT BOOK 73, PAGE 37 ST. LUCIE COUNTY RECORDS
EXCEPTION 10
75.0 ACERS

LEGAL DESCRIPTION:
LOT 1, ACCORDING TO THE PLAT OF PRECAST SPECIALTIES, AS RECORDED IN PLAT BOOK 73, PAGES 37 AND 38 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.
CONTAINING 75.0 ACRES, MORE OR LESS.

SURVEY NOTES:
ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D.88) AND ARE GIVEN IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED.

*GENERAL ACCEPTED CONVERSION: NAVD + 1.475 = NGVD



ST. LUCIE COUNTY, FLORIDA
VICINITY MAP

N.T.S.

| LEGEND | | | |
|--------|-------------------------|--|--|
| | EXISTING ELECTRIC PANEL | | EXISTING UTILITY POLE |
| | EXISTING ELECTRIC BOX | | EXISTING ELECTRIC METER |
| | HANDICAP PARKING SYMBOL | | EX. CONCRETE LIGHT POLE |
| | EXISTING CONCRETE | | EX. BENCHMARK (BM) OR GROUND CONTROL POINT (GCP) |
| | EXISTING PAVEMENT | | |

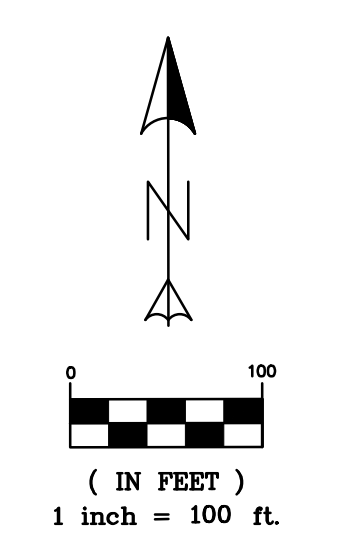
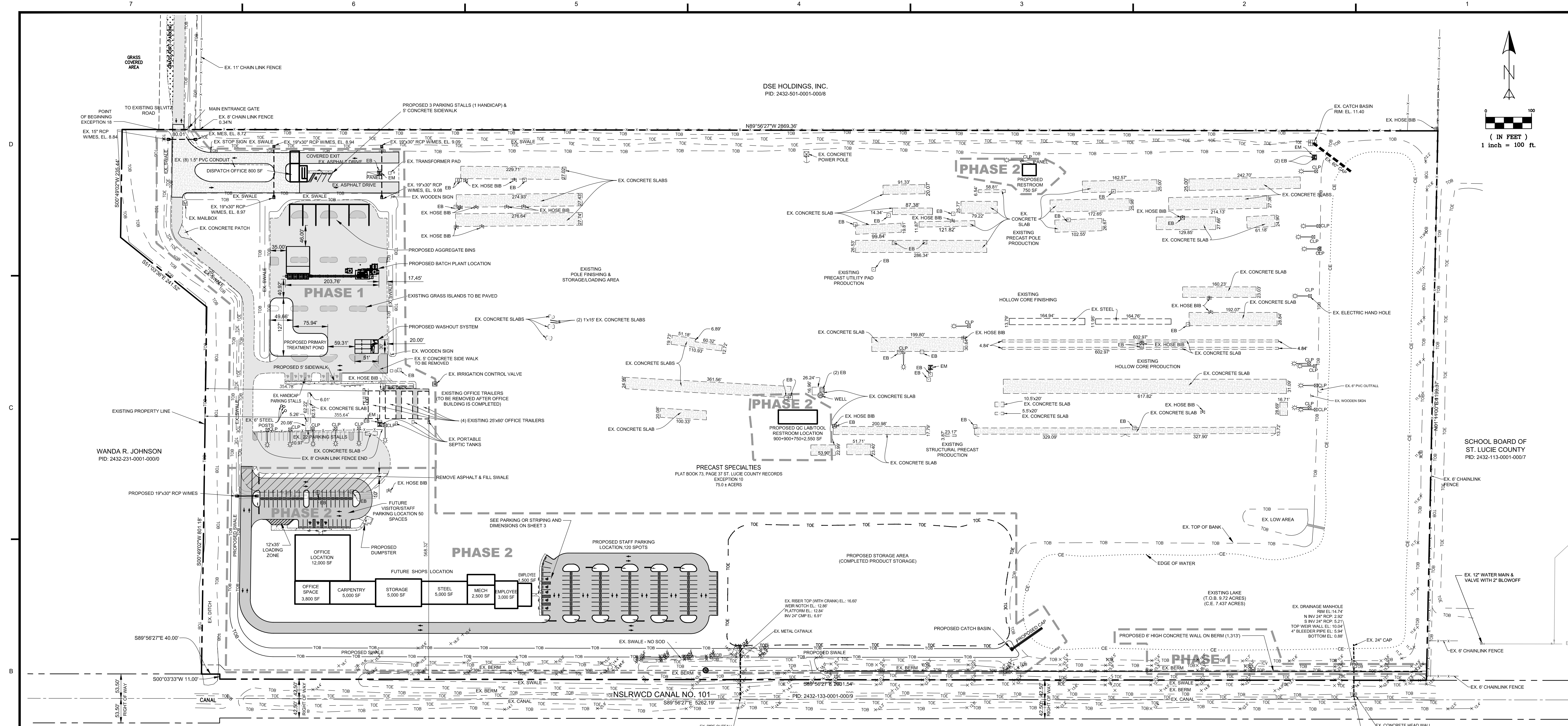
| REV | DATE | DESCRIPTION | BY | CHK. |
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| DRAWING ISSUE STATUS | | | | |
| NOT FOR CONSTRUCTION | | | | |

PROJECT
PRECAST SPECIALTIES, LLC
CITY OF FORT PIERCE, FLORIDA

TITLE
SITE PLAN
EXISTING CONDITIONS

| DATE | SCALE |
|-------------------------------------|--------------------|
| DEC. 2024 | AS NOTED |
| DRAWN BY RAH | DESIGNED BY MDL |
| CHECKED BY MDL | |
| PROJECT No. 24-226 SITE PLAN.DWG | |
| 1 OF 3 | |

FILE LOCATION: Z:\DC\2024\24-226-PCAST SPECIALTIES - SELVITZ RD\ENGINEERING\AUTOCAD\DWG\24-226 SITE PLAN.DWG (2024.03.26, 9:44 AM)



**SITE DATA
LEGAL DESCRIPTION**

PRECAST SPECIALTIES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 73, PAGES 37 AND 38 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY FLORIDA.
CONTAINING 75.0 ACRES, MORE OR LESS.

PARCEL ID #: 2432-500-0001-000-5
PROJECT NAME: PRECAST SPECIALTIES, LLC
OWNER: PRECAST SPECIALTIES, LLC
FUTURE LAND USE: HEAVY INDUSTRIAL
ZONING: I-3
LAND SIZE: 3,267,016 S.F. (75 AC)

BUILDING DATA
PHASE 1 GROSS SQUARE FOOTAGE: 7,000 S.F. (0.160 AC)
EXISTING OFFICE (TRAILERS) 6,200 S.F. (0.142 AC)
PROPOSED DISPATCH OFFICE 800 S.F. (0.018 AC)
PHASE 2 GROSS SQUARE FOOTAGE: 41,100 S.F. (0.943 AC)
RESTROOM 750 S.F. (0.017 AC)
LAB/TOOL 2,550 S.F. (0.058 AC)
OFFICE 15,800 S.F. (0.363 AC)
CARPENTRY 5,000 S.F. (0.115 AC)
STORAGE 5,000 S.F. (0.115 AC)
STORAGE METAL 5,000 S.F. (0.115 AC)
MECHANICAL 2,500 S.F. (0.057 AC)
EMPLOYEE 4,500 S.F. (0.103 AC)
REMOVAL OF EXISTING OFFICE -6,200 S.F. (0.142 AC)
PHASE 1 & 2 GROSS SQUARE FOOTAGE: 41,900 S.F. (0.962 AC)
PHASE 1 800 S.F. (0.018 AC)
REMOVAL OF EXISTING OFFICE -6,200 S.F. (0.142 AC)
PHASE 2 41,100 S.F. (0.943 AC)

ADDITIONALLY, THE CODE CALL OUT THE REQUIRED PARKING AS:
1 SPACE PER 500 S.F. PER SECTION 125-205 CITY OF FORT PIERCE LAND DEVELOPMENT CODE.

PARKING CALCULATIONS:
PHASE 1 PARKING REQUIRED:
PARKING REQUIRED 7,000 / 500 = 14 SPACES (1 HC)
PARKING PROVIDED = 32 SPACES (8 HC)
PHASE 1 & 2 PARKING REQUIRED:
PARKING REQUIRED 41,900 / 500 = 84 SPACES (4 HC)
PARKING PROVIDED = 195 SPACES (9 HC)

| ZONING CODE FOR: HEAVY INDUSTRIAL | | | | | |
|-----------------------------------|----------|----------|-------|----------|--------------------------|
| | WIDTH | MIN. LOT | DEPTH | BUILDING | OPEN SPACE (LANDSCAPING) |
| PER CODE | 100' | 100' | N/A | N/A | 0.50% MIN. |
| PROPOSED | 2,869.36 | 1,199.37 | N/A | N/A | 1.64% |

USEABLE OPEN SPACE AREA:
REQUIRED = 3,267,016 S.F. @ 0.5% = 16,335 S.F.
PROPOSED 20' LANDSCAPE BUFFER = 53,492 S.F.

PROVIDER OF UTILITIES:
WATER: FPUA
WASTEWATER: FPUA
IRRIGATION: FPUA

IMPERVIOUS/PERVIOUS PROJECT DATA

| | | | |
|---------------------|----------------|-----------|---------|
| PROJECT TOTAL AREA: | 3,267,016 S.F. | 75.000 AC | 100% |
| IMPERVIOUS | 787,914 S.F. | 18.088 AC | 24.117% |
| ASPHALT: | 254,521 S.F. | 5.853 AC | 7.791% |
| CONCRETE: | 167,555 S.F. | 3.847 AC | 5.129% |
| BUILDING: | 41,900 S.F. | 0.962 AC | 0.962% |
| LAKE E.O.W. | 323,938 S.F. | 7.437 AC | 9.915% |
| PERVIOUS | 2,479,102 S.F. | 56.912 AC | 75.883% |

STORMWATER DRAINAGE:
THE SURFACE WATER MANAGEMENT SYSTEM FOR THE PROJECT WILL COLLECT SITE RUNOFF IN A SERIES OF INLETS WHICH WILL CONVEY TO AN ONSITE SWALE PRIOR TO DISCHARGING INTO THE EXISTING LAKE. AN EXISTING CONTROL STRUCTURE LOCATED IN THE LAKE PROVIDES WATER QUALITY AND ATTENUATION PRIOR TO DISCHARGE TO THE NSLRWCD CANAL 101

SOLID WASTE:
BASED ON THE INTENDED USE OF THE BUILDING, THIS PROJECT WILL UTILIZE A DUMPSTER AREA FOR SOLID WASTE AND RECYCLABLE ITEMS.

HAZARDOUS WASTE:
ANY AND ALL HAZARDOUS OR TOXIC MATERIALS GENERATED OR USED OR STORED ON SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

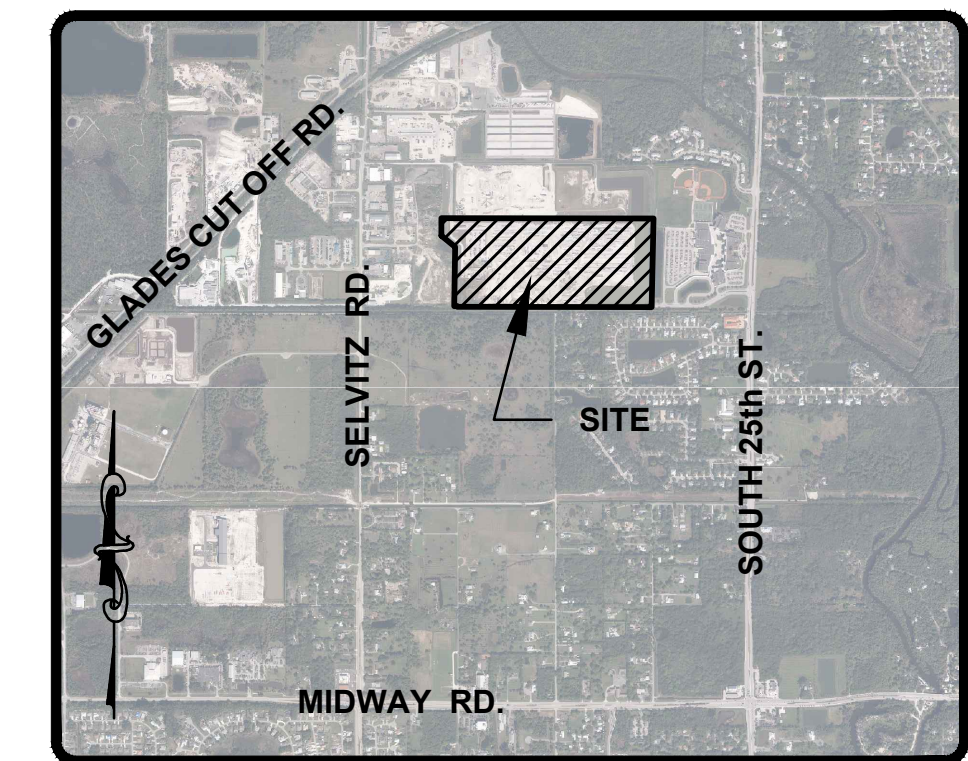
LANDSCAPE:
REFER TO LANDSCAPE PLAN BY OTHERS.

ACCESSIBILITY AND ADA COMPLIANCE:
ALL SIDEWALKS AND RAMPS WILL MEET FDOT AND ADA REQUIREMENTS.

TRAFFIC STATEMENT:
THE TOTAL NUMBER OF TRIPS WILL BE REDUCED DUE TO THE CONSTRUCTION OF THE BATCH PLANT. THE CURRENT OPERATION REQUIRES TRUCKS TO DELIVER RAW MATERIALS. THIS PROCESS WILL BE ELIMINATED WHEN THE BATCH PLANT IS OPERATIONAL.

LEGEND

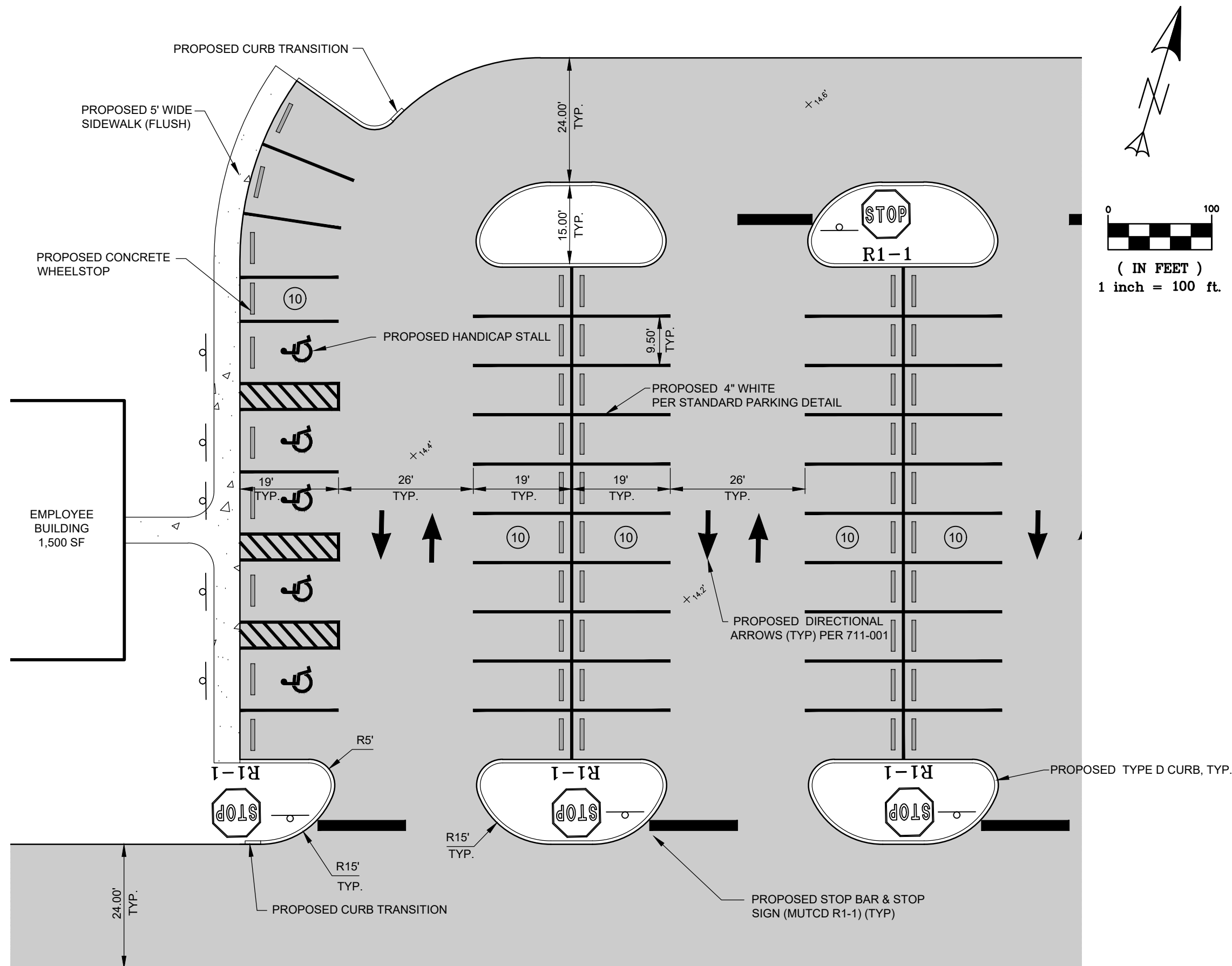
| | |
|-------------------------|--|
| EXISTING ELECTRIC PANEL | EXISTING UTILITY POLE |
| EXISTING ELECTRIC BOX | EXISTING ELECTRIC METER |
| HANDICAP PARKING SYMBOL | EX. CONCRETE LIGHT POLE |
| EXISTING CONCRETE | EX. BENCHMARK (BM) OR GROUND CONTROL POINT (GCP) |
| EXISTING PAVEMENT | EXISTING UTILITY POLE |
| PROPOSED PAVEMENT | DRAINAGE FLOW ARROW |
| PROPOSED CONCRETE | PROPOSED SIGN |
| PROPOSED PAVERS | PARKING STALL COUNT |



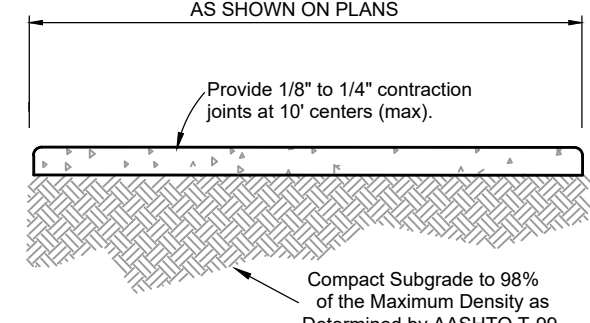
ST. LUCIE COUNTY, FLORIDA
VICINITY MAP N.T.S.

| | | | | |
|---|----------------------|--|----------|------------|
| REV | DATE | DESCRIPTION | BY | CHK. |
| DRAWING ISSUE STATUS | | | | |
| NOT FOR CONSTRUCTION | | | | |
| | | A DIVISION OF HALEY WARD, INC. 10250 Village Parkway, Suite 201 Port Saint Lucie, Florida 34987 772.462.2455 WWW.HALEYWARD.COM | | |
| | | PROJECT PRECAST SPECIALTIES, LLC CITY OF FORT PIERCE, FLORIDA | | |
| TITLE MAJOR ADJUSTMENT TO A SITE PLAN | | | | |
| DATE | DEC. 2024 | SCALE | AS NOTED | |
| DRAWN BY | RAH | DESIGNED BY | MDL | CHECKED BY |
| PROJECT NO. | 24-226 SITE PLAN.DWG | | | |
| DRAWING NO. | 2 OF 3 | | | |



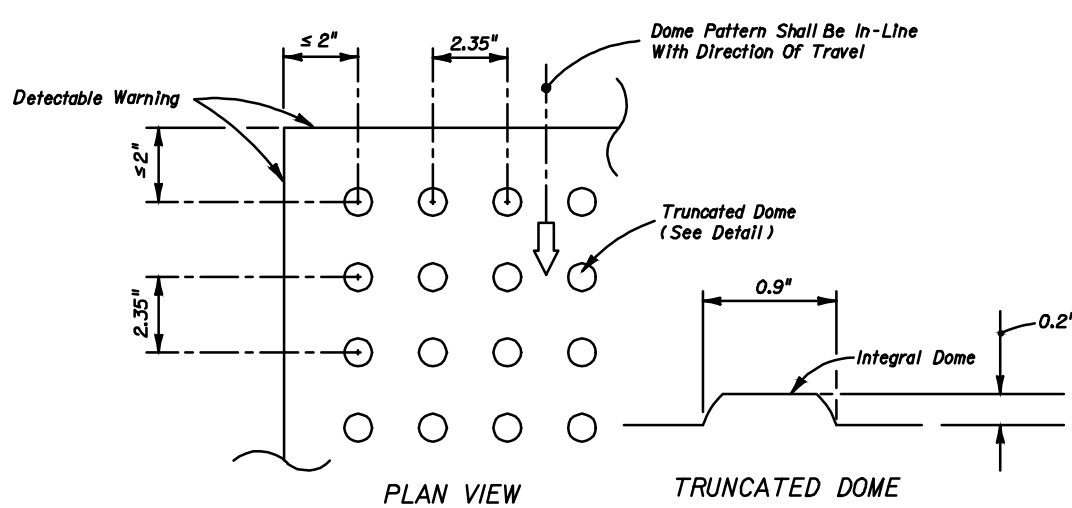


TYPICAL PARKING LOT PLAN VIEW



- NOTES:
- Use 4,000 P.S.I. Concrete At 28 Days for sidewalk construction.
 - Concrete Sidewalk shall be installed per FDOT Index #522-001 and Standard Specifications 522.

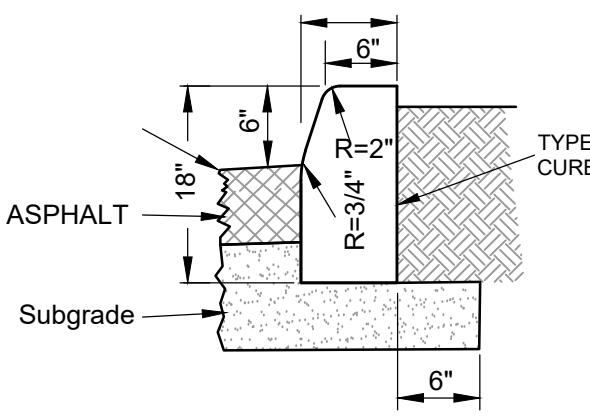
4" THICK SIDEWALK DETAIL
N.T.S.



All Sidewalk Curb Ramps Shall Have Detectable Warning Surfaces That Extend The Full Width Of The Ramp And In The Direction Of Travel 24 inches (60 mm) From The Back Of Curb.

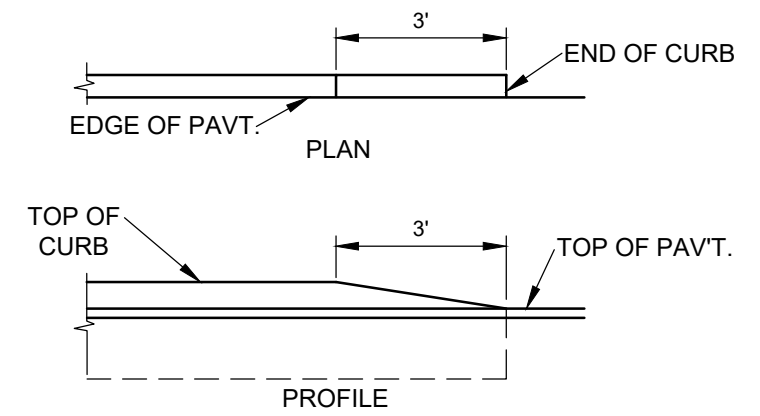
- NOTES:
REFER TO FDOT INDEX 522-002 FOR FURTHER DETAILS

CURB RAMP DETECTABLE WARNING
N.T.S.

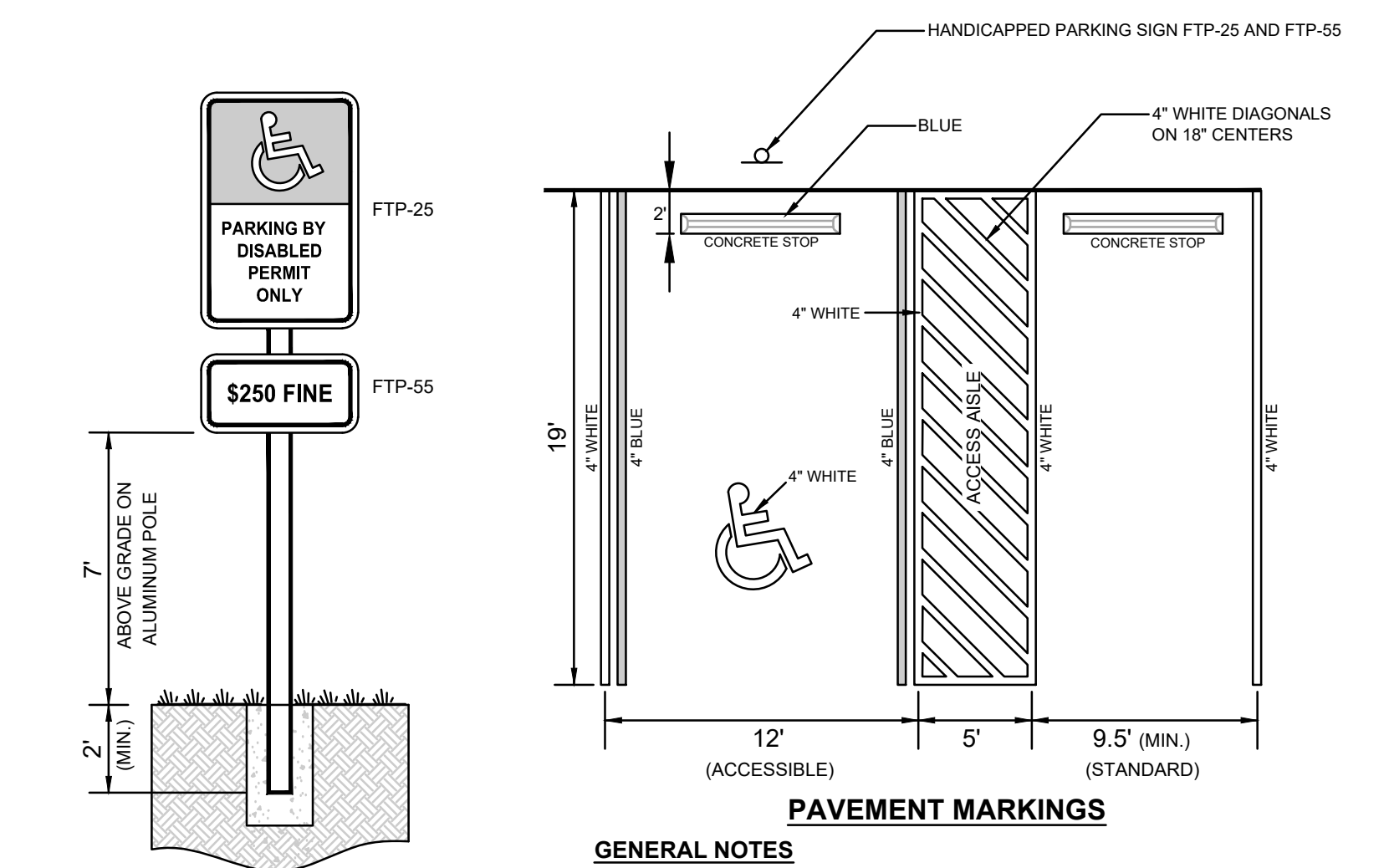
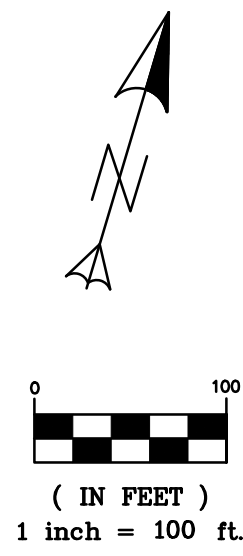


- NOTES:
- Use 3,000 P.S.I. concrete at 28 days for construction.
 - Subgrade to extend an additional 6" beyond Type "D" Curb.
 - Type "D" Curb to be constructed in accordance with FDOT Index #522-001.

TYPE "D" CURB
N.T.S.



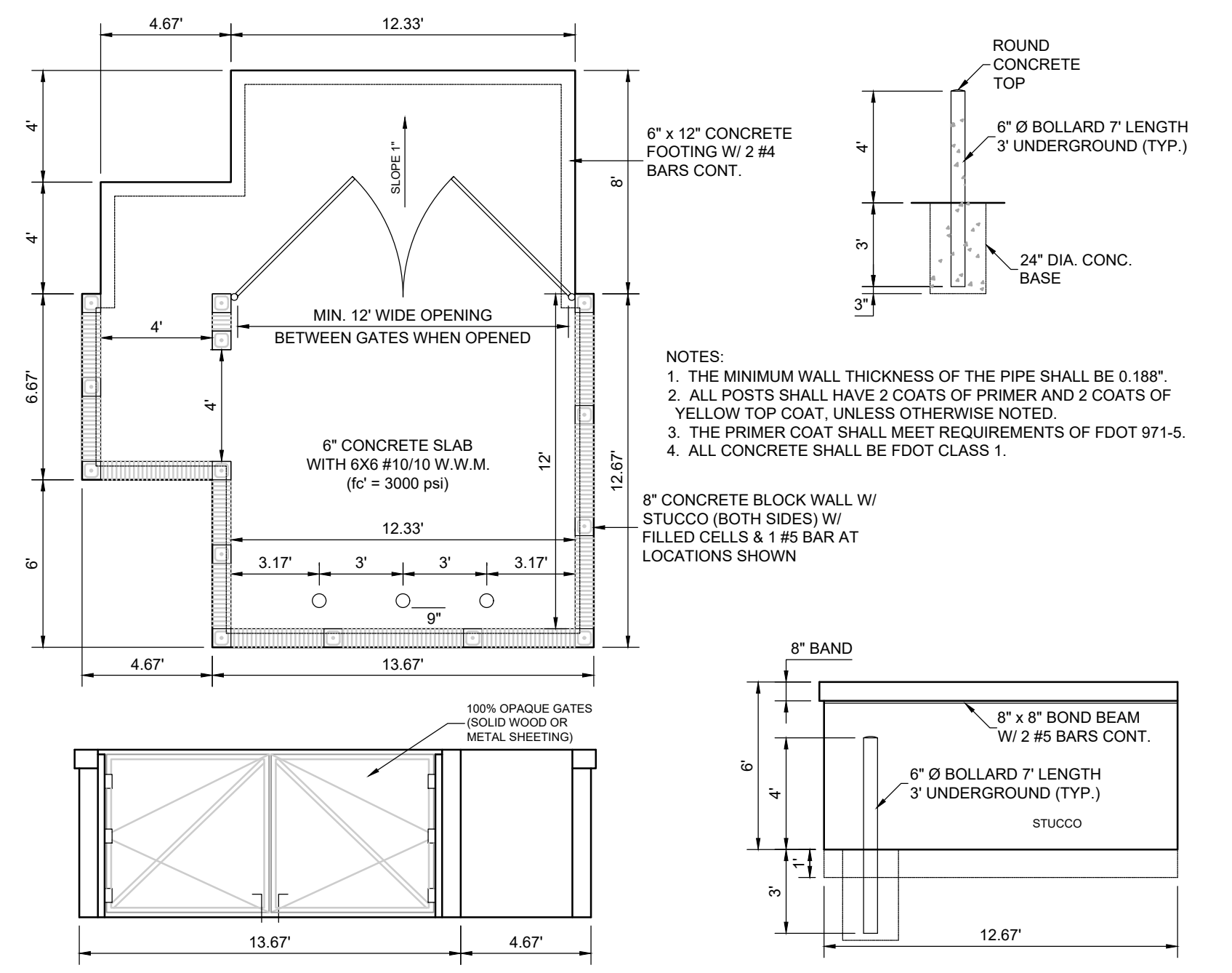
CURB TYPE D CURB TRANSITION
N.T.S.



HANDICAPPED PARKING SIGN

- GENERAL NOTES
- FOR PARKING REQUIREMENTS SEE FORT PIERCE CODE.
 - BLUE PAVEMENT MARKINGS SHALL BE TINTED TO MATCH SHADE 15180 OF FEDERAL STANDARDS 595A.
 - THE FTP-55 PANEL SHALL BE MOUNTED BELOW THE FTP-25 SIGN

HANDICAPPED AND STANDARD PARKING DETAIL



FORT PIERCE DUMPSTER DETAIL
N.T.S.

| REV. | DATE | DESCRIPTION | BY | CHK. |
|-----------------------------|------|-------------|----|------|
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| NOT FOR CONSTRUCTION | | | | |

EDC A DIVISION OF HALEY WARD, INC.
10250 Village Parkway, Suite 201
Port Saint Lucie, Florida 34987
772.462.2455
WWW.HALEYWARD.COM

PROJECT
PRECAST SPECIALTIES, LLC
CITY OF FORT PIERCE, FLORIDA

TITLE
SITE PLAN DETAILS SHEET

| DATE | SCALE |
|-------------------------------------|--------------------|
| DEC. 2024 | AS NOTED |
| DRAWN BY RAH | DESIGNED BY MDL |
| CHECKED BY MDL | |
| PROJECT No. 24-226 SITE PLAN.DWG | |
| 3 OF 3 | |



FILE LOCATION: Z:\EDC\2024\24-226 - PRECAST SPECIALTIES - BELVIZI\ENGINEERING\AUTOCAD\DWG\24-226 SITE PLAN.DWG 2024.03.26, 9:44 AM