



July 14, 2025

Kev Freeman  
Planning Director  
City of Fort Pierce  
Planning Department  
100 North U.S. 1  
Fort Pierce, FL 34950

**RE: San Juan Diego Hispanic Pastoral Center – Site Plan Amendment – New Addition**

Dear Kev:

We are pleased to present this site plan amendment for San Juan Diego Hispanic Pastoral Center. This site plan amendment represents a very exciting time for the Church. The existing single story church will now have the inclusion of a new annex. The original 9,968 sf church facility was site plan approved in 2000. In 2007, the Diocese added a 2<sup>nd</sup> parcel with more parking, drainage and no structures. The new 2 story 9,351 s.f. addition will be used for meetings, classrooms, functions and office space. The new 4,995 SF story addition will be placed over an existing asphalt driveway and stabilized grass area on the immediate west side of the existing church. There will be a breezeway connecting the two buildings with a patio between the two.

Currently the Diocese has the following parcels as a part of their existing operation. The two main parcels are what is a part of the church's prior and current site plan approvals. The additional parcel is just owned by the Diocese and is not integrated into their site plans.

**Parcels:**

2408-805-0038-000-4 = 1.61 acres – Site Plan Approved 2000  
2408-805-0051-000-1 = .78 acres – Site Plan Approved 2007  
2408-805-0031-000-5 = .32 acres – not included

**Parking:**

This exciting project will be an amazing enhancement to the existing church. It also utilizes the existing parking lot and here is the breakdown of the arrangement:

2000 Approved Site Plan – Provided for 82 parking spaces

2007 Approved Site Plan – adding new parcel on east side of existing site – Provided 52 additional parking spaces -New Total = 134 parking spaces. However, from an actual count on the actual site, there are currently 108 existing parking spaces. Our 2025 minor site plan amendment shows a total number of 110 parking spaces.

We are required to have one space per every 3 seats for fixed seating and one space per 40 s.f. of assembly area. As a result, we are required to have a total of 106 parking spaces. Actual parking provided equals 110. Required parking equals 100.



100 S. 2nd Street  
Fort Pierce, FL 34950

Tod Mowery, AICP  
President



100 S. 2nd Street  
Fort Pierce, FL 34950

772.742.1555 (w)  
561.262.6304 (c)  
[todm@redtaildg.com](mailto:todm@redtaildg.com)

# DESIGN REVIEW NARRATIVE

**SAN JUAN DIEGO**  
Site Plan Amendment  
July 2025

To:  
Planning Department

Prepared by:



**Redtail DG**  
100 S. 2nd Street



Dear Members of the Planning & Zoning Department,

We respectfully submit this justification in support of the proposed site plan amendment to construct a multipurpose building on San Juan Diego Church property. While the property is zoned R-3 and designated for RL low-density residential, the addition is compatible with both the intent and requirements of these classifications.

### **1. Conformance with Future Land Use – RL Low Density Residential**

The RL land use category promotes low-density residential development while accommodating complementary community and civic uses that serve neighborhood residents. The proposed multipurpose building, although accessory to a religious institution, serves primarily residential neighbors by offering space for small-group gatherings, youth instruction, senior meetups, and local community outreach. This purpose aligns with broader comprehensive plan policies for fostering civic vitality and neighborhood compatibility.

### **2. Zoning – R-3 District Compliance**

Per Fort Pierce Code, R-3 is intended for medium-density residential areas (approximately six units/acre), but it permits accessory and incidental structures when clearly subordinate to the principal use—and compatible with the surrounding neighborhood. The existing use (Church) is considered a residential use by the code.

Key standards demonstrated:

**Accessory Use Definition:** The multipurpose building is subordinate to the principal church, serving as an onsite accessory facility consistent with R-3 guidelines.

**Setback Requirements:** The new structure remains within the code requirements for the building setbacks.

**Lot Coverage & Height:** The new structure remains within existing lot coverage limitations and is kept low enough to not overpower the primary church building or neighboring homes.

**Parking & Access:** Additional off-street parking is compliant with church use parking standards, providing 110 parking spaces (106 parking spaces required). Any overflow events are contained onsite, avoiding street spillover.

### **3. Design & Neighborhood Compatibility**

**Architectural Harmony:** Exterior materials, rooflines, and massing mirror the church's main building, ensuring visual cohesion, as described in the Design Review Narrative made by the architect.

**Buffering & Landscaping:** The building is buffered with landscaping that blends into the existing residential streetscape and provides visual/noise mitigation.



**Redtail DG**  
100 S. 2nd Street  
Fort Pierce, Florida 34950  
772.742.1555  
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todm@redtaildg.com

#### **4. Public Benefit in a Residential Setting**

Although located within an RL zoned neighborhood, the multipurpose building:

- Provides versatile space for educational programs, community outreach, and safe neighborhood gatherings.
- Enhances social cohesion and offers local neighbors a facility that wouldn't otherwise exist in this area.
- Strengthens neighborhood-serving civic infrastructure in line with the intent of low-density residential land use.

#### **5. Conclusion & Recommendation**

The proposed multipurpose addition:

Complies with R-3 district regulations for accessory structures in setbacks, height, coverage, and parking.

Supports RL land use goals by offering neighborhood-serving civic space in a compatible, low-impact way.

Preserves neighborhood character through design consistency, buffering, restricted operating hours, and residential-scaled architecture.

For these reasons, we request approval of the site plan amendment. The facility will serve both the church and its surrounding neighbors in a manner fully consistent with the City's comprehensive plan and zoning code.

We appreciate your thoughtful review and are available to address any questions or adjustments.

Sincerely,

Sincerely,  
Vlada Peterka  
Redtail DG

Record and return to: :  
Roger W. LaJoie, Esquire :  
Roger W. LaJoie, P.A. :  
645 Beachland Blvd., Suite 8 :  
Vero Beach, Florida 32963 :  
: This Space for Recording

UNITY OF TITLE

BY THESE PRESENTS, The Most Reverend Gerald M. Barbarito, D.D., J.C.L., as Bishop of the Diocese of Palm Beach, his successors in office and assigns forever, a corporation sole, AS A SUCCESSOR IN INTEREST TO The Most Reverend J. Keith Symons as Bishop of the Diocese of Palm Beach, his successors in office and assigns forever, a corporation sole, hereinafter referred to as "Owner" for good and valuable consideration, hereby agrees to restrict the use of the lands more particularly described in Exhibit A attached hereto in the following manner:

1. That said property shall be considered as one plot and parcel of land and that no portion of said plot and parcel of land shall be sold, transferred, devised or assigned separately except in its entirety as one plot or parcel of land.
2. The undersigned further agrees that this condition, restriction and limitation shall be deemed a covenant running with the land, and shall remain in full force and effect, and be binding upon the undersigned, its heirs and assigns until such time as the same may be released in writing by the City Commission for the City of Fort Pierce, Florida.
3. The undersigned further agrees that this instrument shall be recorded in the Public Records of St. Lucie County, Florida.

Signed, sealed, executed and acknowledged on the 12 day of May, 2016, in Palm Beach County, Florida.

WITNESSES:

*Antoinette M Russell*  
 Printed Name: Antoinette M Russell

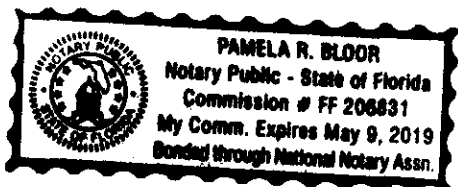
*Merke Baroni*  
 Printed Name: MERKE BARONI

OWNER:

*+ Gerald M. Barbarito*  
 \_\_\_\_\_  
 The Most Reverend Gerald M. Barbarito, D.D.,  
 J.C.L., as Bishop of the Diocese of Palm Beach

STATE OF FLORIDA  
COUNTY OF PALM BEACH

I HEREBY CERTIFY that the foregoing instrument was acknowledged before me this 12 day of May, 2016, by The Most Reverend Gerald M. Barbarito, D.D., J.C.L., as Bishop of the Diocese of Palm Beach, who is personally known to me.



*Pamela R. Bloor*  
 \_\_\_\_\_  
 Notary Public  
 State of Florida  
 My Commission Expires:

**EXHIBIT A**  
**Legal Descriptions**

**The West 23 feet of Lot 4 and Lot 9 and all of Lots 5, 6, 7 and 8, of Block 6, of WYLDWOOD PARK Sub-division, as per plat thereof on file in Plat Book 5, Page 54, of the Public Records of St. Lucie County, Florida.**

**Parcel I.D. Number: 2408-805-0051-000/1**

Record and return to: :  
Roger W. LaJoie, Esquire :  
Roger W. LaJoie, P.A. :  
645 Beachland Blvd., Suite 8 :  
Vero Beach, Florida 32963 :  
: This Space for Recording

*Rec 18.50*

**UNITY OF TITLE**

BY THESE PRESENTS, The Most Reverend Gerald M. Barbarito, D.D., J.C.L., as Bishop of the Diocese of Palm Beach, his successors in office and assigns forever, a corporation sole, AS A SUCCESSOR IN INTEREST TO The Most Reverend J. Keith Symons as Bishop of the Diocese of Palm Beach, his successors in office and assigns forever, a corporation sole, hereinafter referred to as "Owner" for good and valuable consideration, hereby agrees to restrict the use of the lands more particularly described as Parcels 1 and 2 in Exhibit A attached hereto in the following manner:

1. That said property shall be considered as one plot and parcel of land and that no portion of said plot and parcel of land shall be sold, transferred, devised or assigned separately except in its entirety as one plot or parcel of land.
2. The undersigned further agrees that this condition, restriction and limitation shall be deemed a covenant running with the land, and shall remain in full force and effect, and be binding upon the undersigned, its heirs and assigns until such time as the same may be released in writing by the City Commission for the City of Fort Pierce, Florida.
3. The undersigned further agrees that this instrument shall be recorded in the Public Records of St. Lucie County, Florida.

Signed, sealed, executed and acknowledged on the 12 day of January, 2016, in Palm Beach County, Florida.

**WITNESSES:**

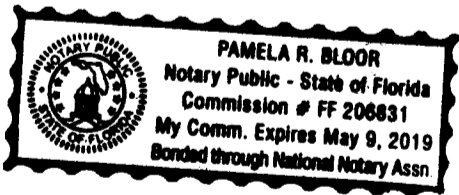
*Antoinette M. Russell*  
Printed Name: Antoinette M. Russell  
*Merke Baroni*  
Printed Name: MERKE BARONI

**OWNER:**

*Gerald M. Barbarito*  
The Most Reverend Gerald M. Barbarito, D.D., J.C.L., as Bishop of the Diocese of Palm Beach

STATE OF FLORIDA  
COUNTY OF PALM BEACH

I HEREBY CERTIFY that the foregoing instrument was acknowledged before me this 12 day of January, 2016, by The Most Reverend Gerald M. Barbarito, D.D., J.C.L., as Bishop of the Diocese of Palm Beach, who is personally known to me.



*Pamela R. Bloor*  
Notary Public  
State of Florida  
My Commission Expires:

**EXHIBIT A**  
**Legal Descriptions**

**Parcel 1 (Off-Site Parking)**

The West 23 feet of Lot 4 and 9 and all of Lots 5, 6, 7 and 8, Block 6 Wyldwood Park Subdivision, as per plat thereof on file in Plat Book 5, Page 54, of the Public Records of St. Lucie County, Florida

Parcel ID Number: 2408-805-0051-000-1

**Parcel 2 (Master Site)**

Lots 1 through 10, inclusive, Block 5, Wyldwood Park Subdivision, LESS the West 12 feet of the North 12 feet of Lot 5, according to the plat thereof. recorded in Plat Book 5, Page 54, of the Public Records of St. Lucie County, Florida.

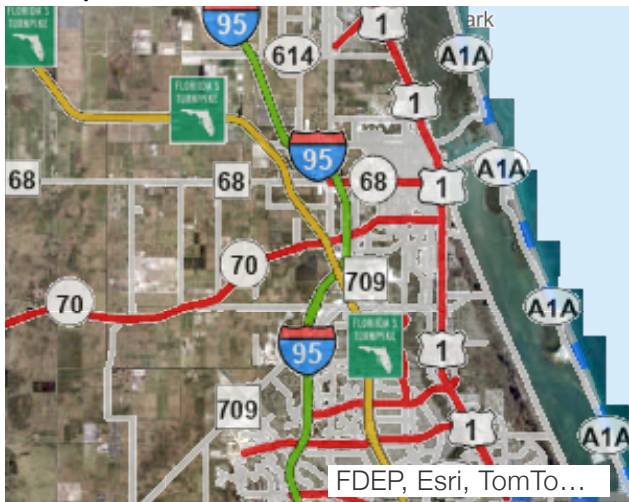
Parcel ID Number: 2408-805-0038-000-4



# Saint Lucie County Property Appraiser Michelle Franklin CFA

Report generated: Friday, July 11, 2025

## Parcel Report



Unable to find these features on the map.



### Parcel

**Parcel ID:** 2408-805-0038-000-4

**Property ID:** 20897

**Owner 1:** Bishop Of Diocese Palm Beach

**Site Address:** 401 DELAWARE AVE

### Owner

**Owner 1:** Bishop Of Diocese Palm Beach

**Owner 2:**

**Owner 3:**

**Mailing Address:** PO Box 109650 Palm Beach Gardens, FL 33410-9650

### Overview

**Primary Land Use:** 7100 - CHRCHS

**District Group:** 9022 - Fort Pierce

**Subdivision:** Wyldwood Park Subdivision

**Just/Market Value:** \$742,400

**Finished Area:** 10,008

**Acres:** 1.612

**Total Area:** 70,236

### Legal Description

**Legal Description:** WYLDWOOD PARK S/D BLK 5 LOTS 1 TO 10 INCL-LESS W 12 FT OF N 12 FT OF LOT 5- (OR 993-2712)

### Value History

Year	Just/Market Value	Building Value	Land Value	SFYI Value	Assessed Value	Exemption Amount	County Taxable	Save Our Home OR 10% Cap Differential	Ag Credit
2024	\$742,400	\$548,000	\$135,600	\$58,800	\$742,400	\$742,400	\$0	\$0	\$0
2023	\$751,800	\$554,500	\$135,600	\$61,700	\$751,800	\$751,800	\$0	\$0	\$0
2022	\$878,900	\$645,100	\$135,600	\$98,200	\$878,900	\$878,900	\$0	\$0	\$0

### Tax Links

[SLC Tax Collector's Office taxes for this parcel](#)

[Download TRIM notice for this parcel](#)

**Exemptions**

Description	Tax Year	Grant Year	Amount
Church	2024	2002	\$742,400

**Improvements**

**Building Sequence:** 1

**Bedrooms:** 0

**Bathrooms:** 0

**Building Type:** CH5 - Church

**Story Height:** 1 Story

**No of Living Units:**

**Total Finished Area:** 10,008

**Gross Sketched Area:** 10,872

**Year Built:** 2001

**Effective Year:** 2001

**Primary Roof Cover:** Dim Shingle

**Primary Roof Structure:** Hip

**Primary Wall:** CB Stucco

**A/C %:** 100

**Building Sketches**



**Sub Area**

Building Sequence	Sketch Area Code	Description	Finished Area	Gross Area
1	CN3	CANOPY	0	864
1	BAS	BASE AREA	10,008	10,008

**SFYI**

Description	Units	Year Built
COMMERCIAL LIGHT- SINGLE	25	2001
Asphalt	17,531	2001
CEMENT CURB	115	2001
CONCRETE LOW	265	2001
6 Foot block wall	34	2001
COMMERCIAL LIGHT-DOUBLE	25	2001

**Land Lines**

Line Number	Units	Unit Type
1	255	FrFt
2	12	FrFt
3	243	FrFt

**Permits**

Permit Number	Issue Date	Description
BP22-3703	10/04/2022	Air Conditioning Only
BP21-2270	04/21/2021	Electric
BP21-1906	03/31/2021	Air Conditioning Only
BP17-3579	12/14/2017	Roof
BP11-2884	12/05/2011	Alterations/Remodeling
0700001746	01/08/2008	Yard Sprinkler System
0700000936	11/04/2007	Alterations/Remodeling
F01-00001520	10/23/2001	Sprinkler System
F01-0001520	05/24/2001	Patio
F01-00001520	04/25/2001	Commercial New Construction

**Sales History**

Sale Date	Sale Price	Sale Code	Deed Type	Grantor	Book Page	View Document
01/11/2016	\$0	0198	MS	Bishop Of Diocese Palm Beach	3828-2506	<a href="#">Clerk of Courts</a>
01/08/1996	\$65,700	XX00	WD	Ethel P Kicliter	993-2712	<a href="#">Clerk of Courts</a>
01/16/1990	\$100	XX01	WD	Ethel P Kicliter	673-1211	<a href="#">Clerk of Courts</a>
11/30/1977	\$0	XX02	CV		279-1915	<a href="#">Clerk of Courts</a>

**Photos**



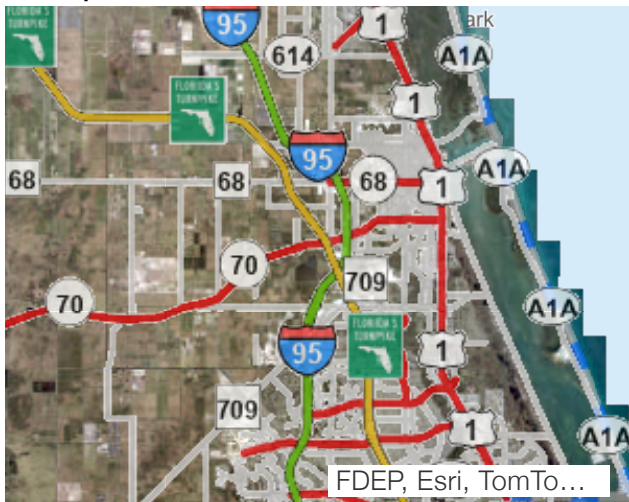
v2023-08-17



# Saint Lucie County Property Appraiser Michelle Franklin CFA

Report generated: Friday, July 11, 2025

## Parcel Report



Unable to find these features on the map.

### Parcel

**Parcel ID:** 2408-805-0051-000-1

**Property ID:** 20903

**Owner 1:** Bishop of the Diocese of Palm Beach

**Site Address:** 2912 DELAWARE AVE

### Owner

**Owner 1:** Bishop of the Diocese of Palm Beach

**Owner 2:**

**Owner 3:**

**Mailing Address:** PO Box 109650 Palm Beach Gardens, FL 33410-9650

### Overview

**Primary Land Use:** 0000 - Vac Residential

**District Group:** 9022 - Fort Pierce

**Subdivision:** Wyldwood Park Subdivision

**Just/Market Value:** \$70,300

**Finished Area:**

**Acres:** 0.779

**Total Area:** 33,948

### Legal Description

**Legal Description:** WYLDWOOD PARK S/D BLK 6 W 23 FT OF LOTS 4 AND 9 ALL LOTS 5,6,7 AND 8 (0.78 AC) (OR 3737-1890)

### Value History

Year	Just/Market Value	Building Value	Land Value	SFYI Value	Assessed Value	Exemption Amount	County Taxable	Save Our Home OR 10% Cap Differential	Ag Credit
2024	\$70,300	\$0	\$70,300	\$0	\$21,814	\$21,814	\$0	\$48,486	\$0
2023	\$73,600	\$0	\$73,600	\$0	\$19,831	\$19,831	\$0	\$53,769	\$0
2022	\$54,200	\$0	\$54,200	\$0	\$18,029	\$18,029	\$0	\$36,171	\$0

### Tax Links

[SLC Tax Collector's Office taxes for this parcel](#)

[Download TRIM notice for this parcel](#)

**Exemptions**

Description	Tax Year	Grant Year	Amount
Church	2024	2016	\$21,814

**Land Lines**

Line Number	Units	Unit Type
1	33,948	SqFt

**Permits**

Permit Number	Issue Date	Description
BP15-2778	02/02/2016	Site Work
BP15-2703	10/13/2015	Demolition
CRPT20036	07/25/2003	Carport
F91000014	01/03/1991	Roof

**Sales History**

Sale Date	Sale Price	Sale Code	Deed Type	Grantor	Book Page	View Document
05/12/2016	\$0	0111	MS	Bishop of the Diocese of Palm Beach	3868-670	<a href="#">Clerk of Courts</a>
01/11/2016	\$0	0198	MS	Bishop of the Diocese of Palm Beach	3828-2506	<a href="#">Clerk of Courts</a>
04/09/2015	\$140,000	0117	WD	Deflorio (TR) Celeste	3737-1890	<a href="#">Clerk of Courts</a>
01/21/2013	\$100	0111	WD	Deflorio (TR) Celeste	3487-1588	<a href="#">Clerk of Courts</a>
01/21/2013	\$100	0111	WD	Deflorio Celeste	3487-1587	<a href="#">Clerk of Courts</a>
12/31/1899	\$0				-	<a href="#">Clerk of Courts</a>

**Photos**





**Redtail DG**  
100 S. 2nd Street  
Fort Pierce, Florida 34950  
(772) 742 1555  
redtaildg.com  
todm@redtaildg.com

### AGENT AUTHORIZATION

**Project:** Juan Diego Pastoral Center  
**Owner:** Bishop Of Diocese Palm Beach  
**Parcel IDs:** 2408-805-0038-000-4

BEFORE ME THIS DAY PERSONALLY APPEARED Bishop Gerald M. Barbarito WHO BEING DULY SWORN, DEPOSE AND SAY THE FOLLOWING:

We hereby give CONSENT to Redtail DG, Inc. to act on our behalf, to submit or have submitted applications and all required material and documents, and to attend and represent us at all meetings and public hearings pertaining to all City, County and State permits for the project indicated above.

Furthermore, we hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application for the project indicated above.

FURTHER AFFIANT SAYETH NOT.

The foregoing instrument was acknowledged before me this 2nd day of June, 2025, by Bishop Gerald M Barbarito (Name of Person Acknowledging) who is personally known to me or who has produced \_\_\_\_\_ (type of identification) as identification and who did (did not) take an oath.

Notary Signature

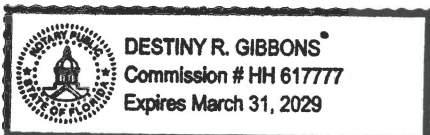
Owners' Signatures

Destiny R. Gibbons

Printed Name of Notary

Bishop Gerald M. Barbarito

Owners' Names



(Notary Seal)

9995 N. Military Tr.

Street Address

Palm Beach Gardens, FL 33410

City, State, Zip

Mlockwood@diocesepb.org

561-775-9514

Telephone / Email

March 31, 2029

My commission expires



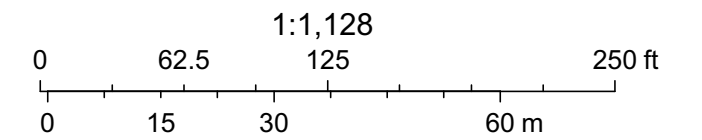
# Zoning Map



7/11/2025  
 Search Results  
 Comparable Search

FP Zoning  
 C-1  
 OS-1

R-3  
 R-4



# Future Land Use Map



7/11/2025  
Search Results

Comparable Search

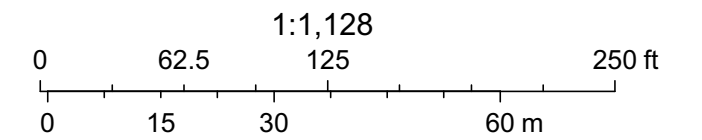
FP Future Land Use

RL Low Density Residential

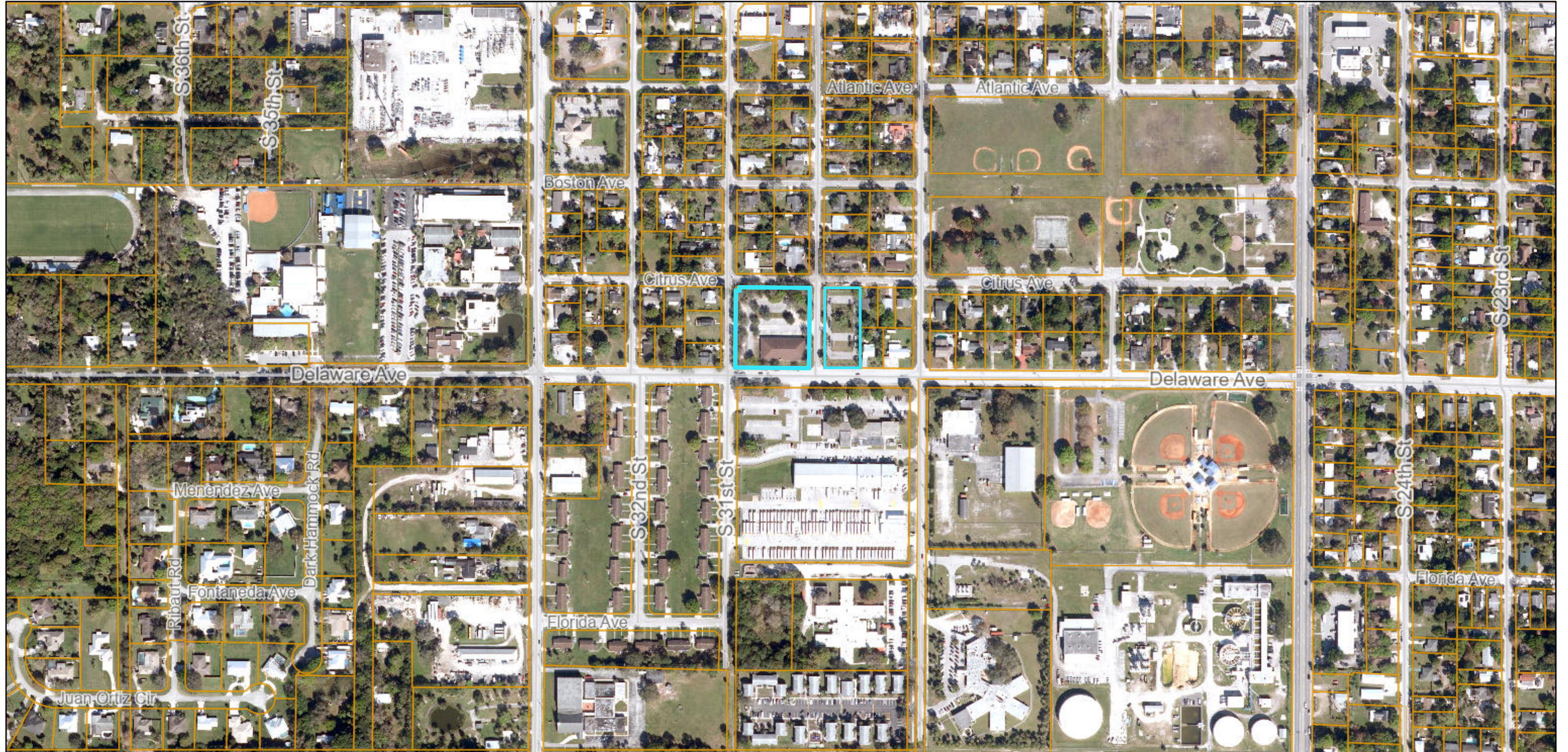
RM Medium Density Residential

INST Institutional

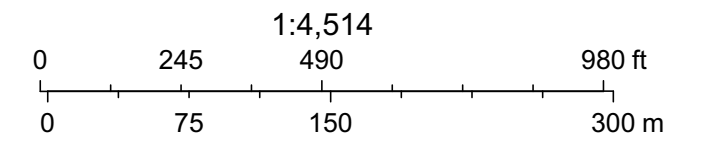
COS Conservation & Open Space



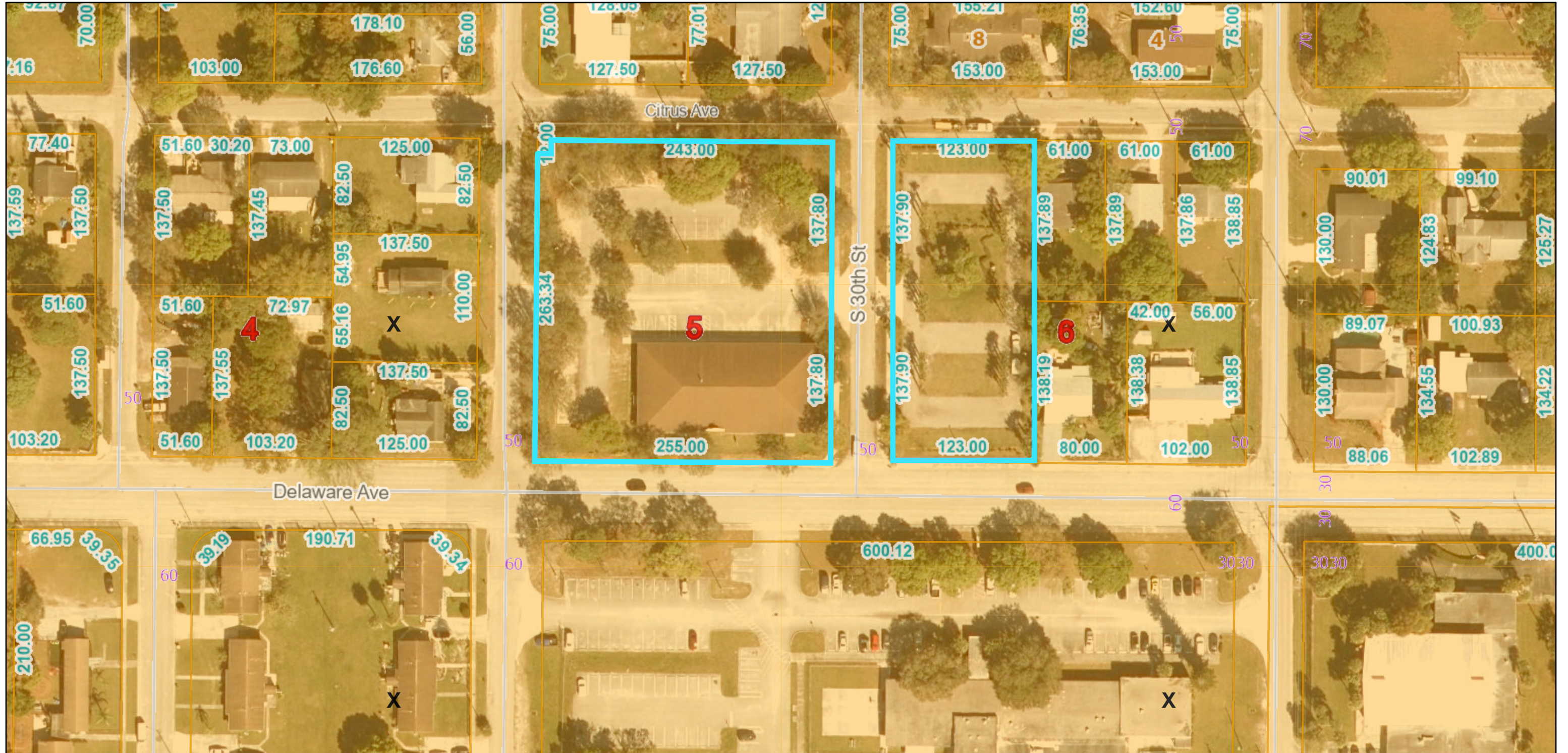
# Vicinity Map



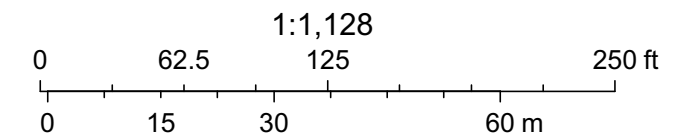
7/11/2025



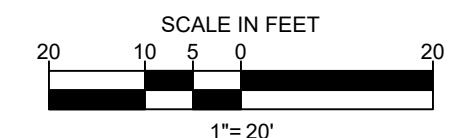
# FEMA Flood Hazard Map



7/11/2025







**LEGEND**

- BOL = BOLLARD
- CL = CENTERLINE
- CLF = CHAIN LINK FENCE
- CO = CLEAN OUT
- CO = CUT OUT
- CONC = CONCRETE
- COR = CORNER
- CS = CONCRETE SLAB
- CTV = CABLE TELEVISION RISER
- CV = CONCRETE VALVE
- CV = TYPE "T" CURB
- DDCV = DOUBLE DETECTOR CHECK VALVE
- DUE = DRAINAGE & UTILITY EASEMENT
- EL = ELEVATION
- EP = EDGE OF PAVEMENT
- ESB = ELECTRIC SERVICE BOX
- FC = TYPE "T" CURB
- FDC = FIRE DEPARTMENT CONNECTION
- FFE = FINISH FLOOR ELEVATION
- FND = FOUND
- HYD = FIRE HYDRANT
- ICV = IRRIGATION CONTROL VALVE
- ID = IDENTIFICATION
- INV = INVERT
- IP = IRON PIPE
- IR = IRON ROD
- IRR = IRRIGATION
- L1 = LINE INFORMATION
- LB = LICENSE BUSINESS
- LP = LIGHT POLE
- LIS = LIFT STATION
- MES = MITERED END SECTION
- MN&D = MAGNETIC NAIL & DISK
- OH = OVERHEAD ELECTRIC
- PIV = POST INDICATOR VALVE
- PK&D = PARKER KALON NAIL & DISK
- PSM = PROFESSIONAL SURVEYOR & MAPPER
- R&C = IRON ROD & CAP
- RCP = REINFORCED CONCRETE PIPE
- RW = RIGHT OF WAY
- SAN = SANITARY
- RPZ = REDUCED PRESSURE ZONE
- R&C = IRON ROD & CAP
- TYP = TYPICAL
- VB = VALVE BOX
- VC = VALLEY CURB
- WDF = WOOD FENCE
- WV = WATER VALVE
- \*18.81 = SPOT ELEVATION
- ⊙ = CONCRETE POWER POLE
- ⊙ = WOOD POWER POLE
- = PROPERTY LINE
- ⊙ = SITE BENCHMARK
- ⊙ = CATCH BASIN
- ⊙ = GUY ANCHOR
- ⊙ = SANITARY MANHOLE

**LINE CHART**

- L1 N 89°59'30" E 12.00'
- L2 N 00°02'23" E 12.00'

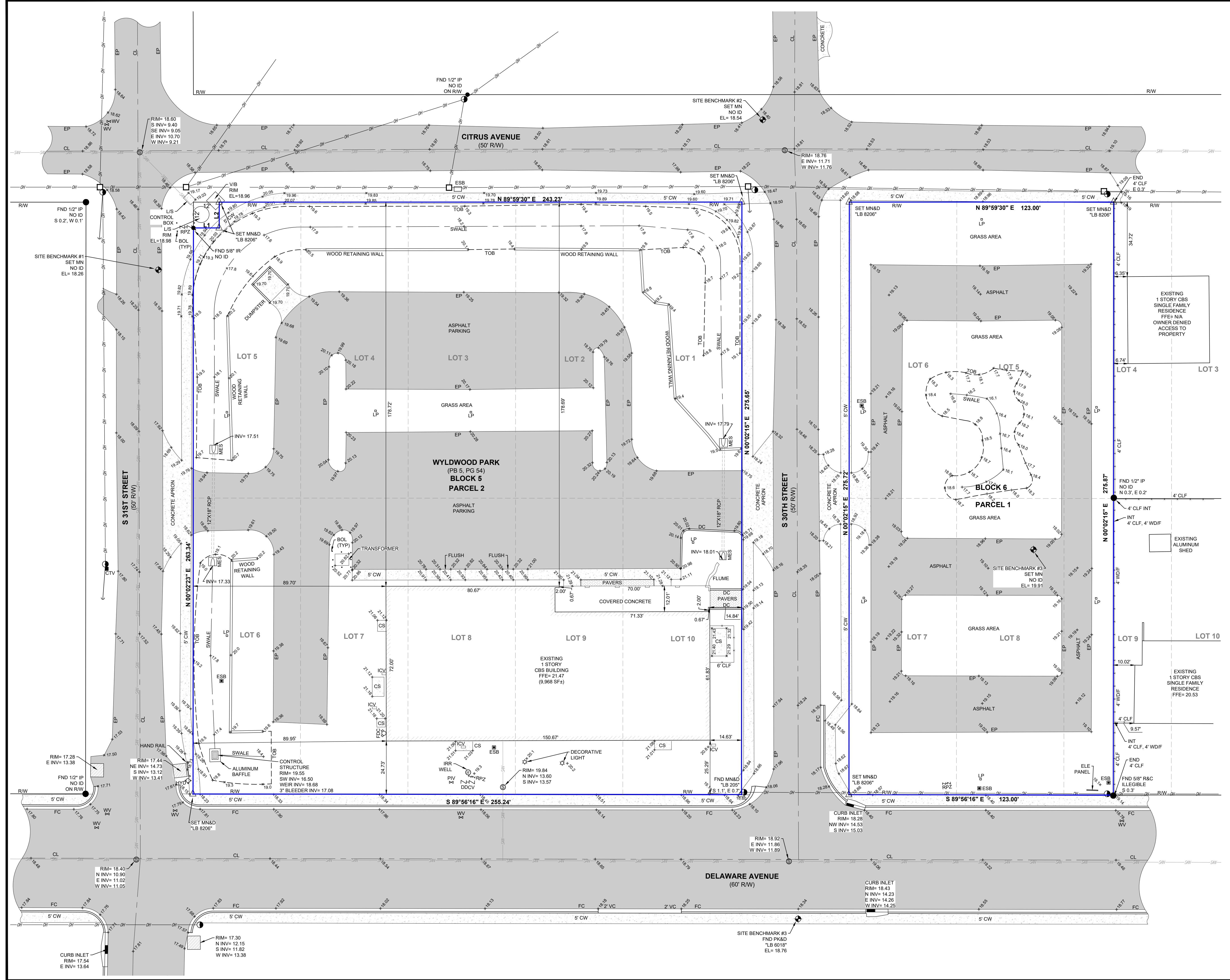


NO.	DATE	BY	REVISIONS:

NO.	DATE	BY	REVISIONS:

**BOUNDARY AND TOPOGRAPHIC SURVEY**  
 PREPARED FOR  
**JACQUIN AND SONS INC.**

DRAWN BY:	SC
APPROVED BY:	F. GUETTLER
SCALE:	1" = 20'
DATE:	03/26/2025
FIELD BOOK/PAGES:	SURVEY MAP
JOB NUMBER:	25-1003
SHEET:	2 OF 2











# DESIGN REVIEW NARRATIVE

**SAN JUAN DIEGO**  
Site Plan Amendment  
July 2025

To:  
Planning Department

Prepared by:



**Redtail DG**  
100 S. 2nd Street



**Redtail DG**  
100 S. 2nd Street  
Fort Pierce, Florida 34950  
772.742.1555  
www.redtaildg.com  
todm@redtaildg.com

Dear Planning Department,

The following is a design review narrative prepared by the Architect:

The San Juan Diego Multi-Purpose Building employs a contemporary vernacular design with subtle Mission Revival influences, aligning with the architectural character of Fort Pierce's built environment. Its clean massing, balanced proportions, and restrained detailing present a civic-minded aesthetic that is both dignified and approachable. The selected color palette offers a warm, neutral backdrop that complements surrounding structures, while white trim elements provide clarity and cohesion across elevations.

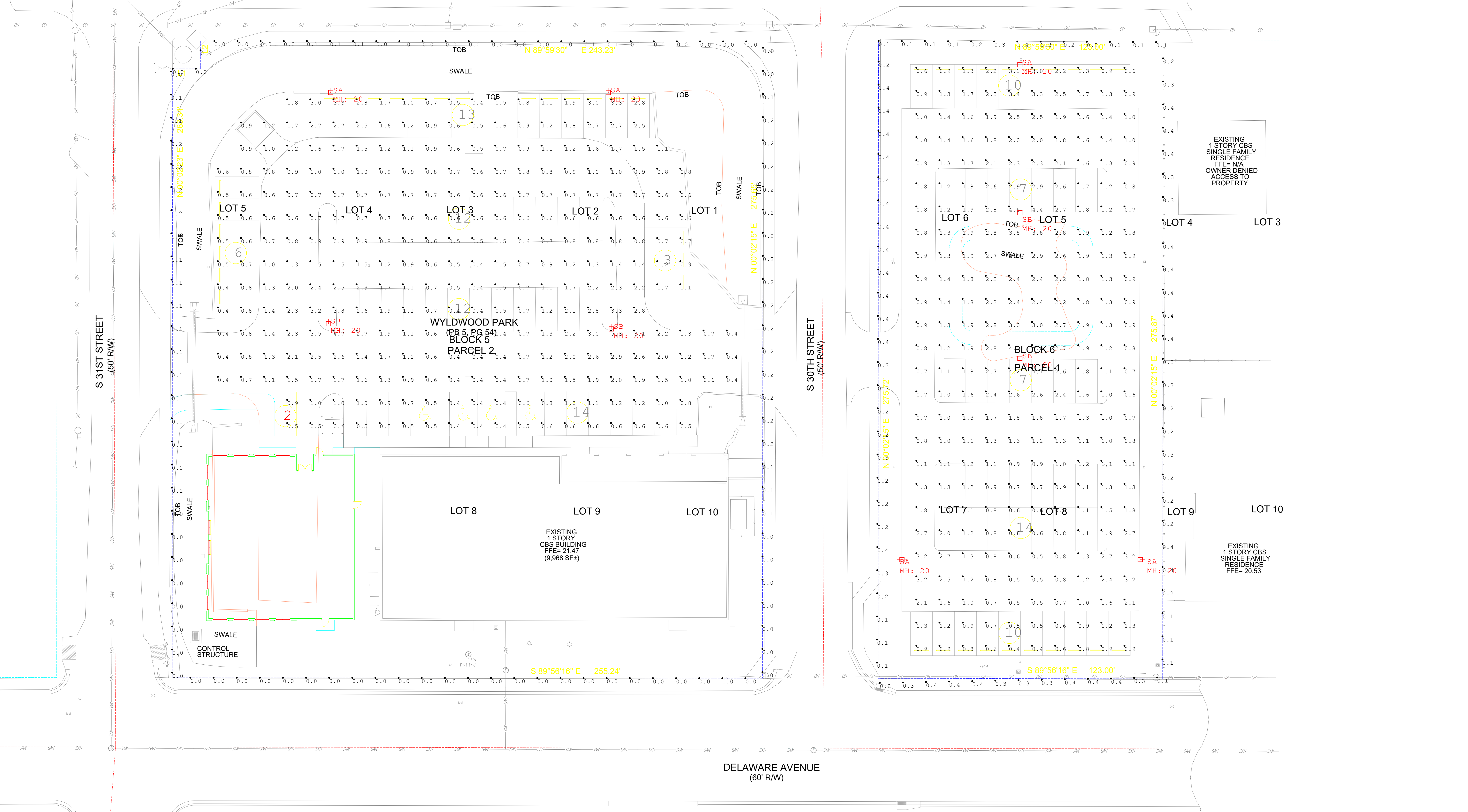
The building is thoughtfully integrated into its site and context, with the east elevation directly connecting to the existing building to ensure architectural continuity. Public-facing elevations along Delaware Avenue and S. 31st Street are designed to enhance the streetscape, offering framed openings and subtle articulation that contribute to pedestrian scale and visual interest. The north elevation supports functional access from the parking area, reinforcing the building's accessibility and community orientation. Overall, the design reflects a sensitive and durable solution that supports the church's evolving needs while contributing positively to the neighborhood fabric.

Mike Seal, AIA, NCARB, LEED AP

Sincerely,  
Vlada Peterka  
Redtail DG

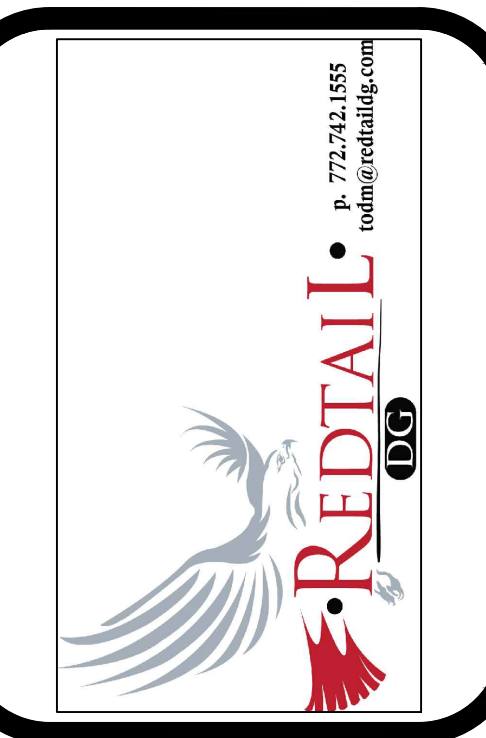


**Redtail DG**  
100 S. 2nd Street  
Fort Pierce, Florida 34950  
772.742.1555  
[www.redtaildg.com](http://www.redtaildg.com)  
[todm@redtaildg.com](mailto:todm@redtaildg.com)



Luminaire Schedule				LLF	Luminaire Lumens	Luminaire Watts	Total Watts
Symbol	Qty	Label	Arrangement	Description			
SA	5	SA	Single	Xtra Light VNTS-10000L-40K-DIM-4M-N-XX-XX-HSS	0.900	7484	380
SB	4	SB	Single	Xtra Light VNTS-15000L-40K-DIM-5S-N-XX-XX	0.900	15887	436

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Large Lot	Illuminance	Fc	1.14	5.3	0.4	2.85	13.25
Large Lot Property Line	Illuminance	Fc	0.06	0.2	0.0	N.A.	N.A.
Small Lot	Illuminance	Fc	1.58	4.5	0.4	3.95	11.25
Small Lot Property Line	Illuminance	Fc	0.28	0.4	0.0	N.A.	N.A.



DESIGNED BY	DATE
DRAWN BY	DATE
25-0581 LP/DWG	
FILE NAME	
LD-01	
LAYOUT	
SCALE	

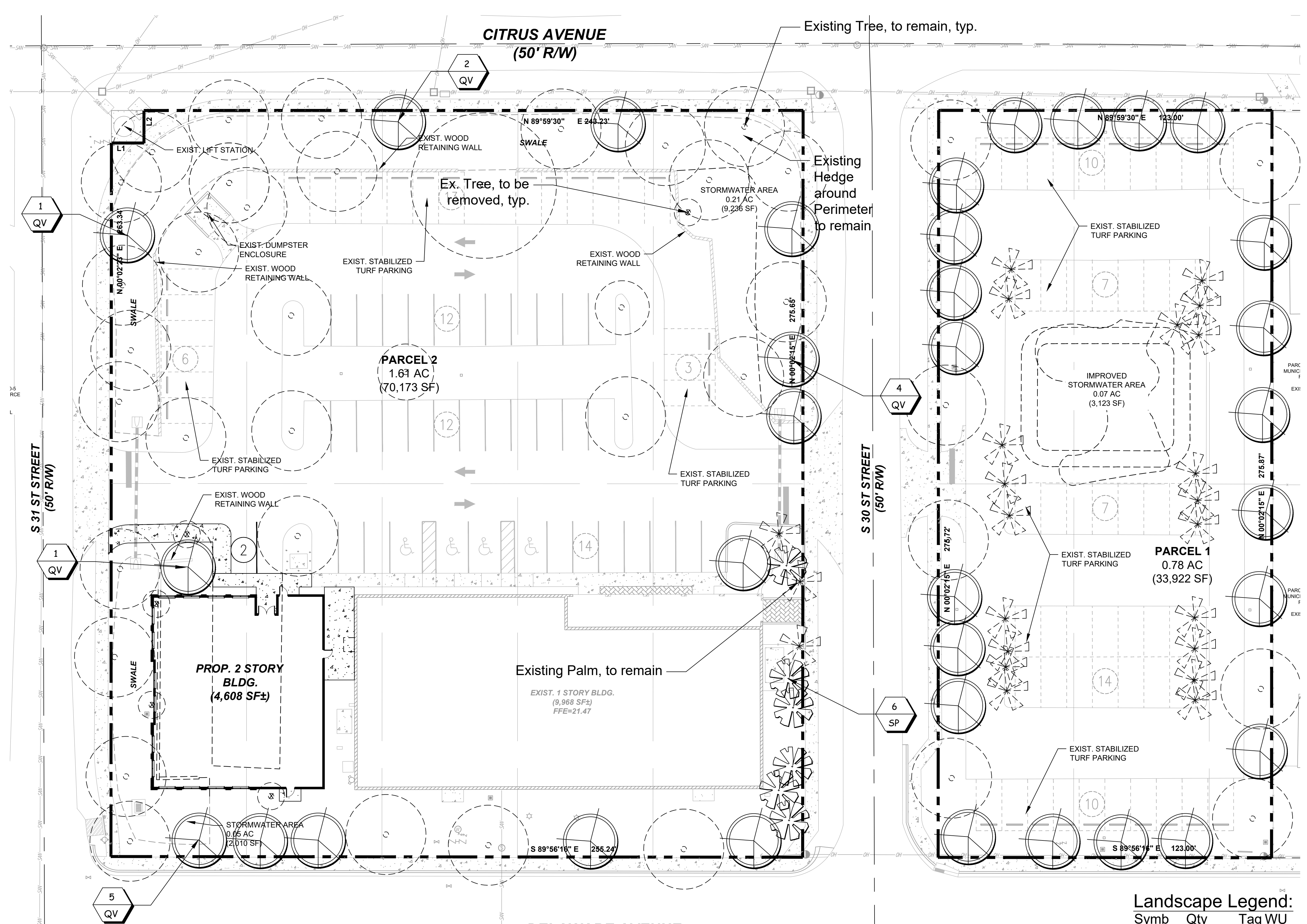
REVISION COMMENTS	DATE

**SAN JUAN DIEGO**  
**PRELIMINARY LANDSCAPE PLAN**  
 CITY OF FORT PIERCE

**LD-01**

**FOR GOVERNMENT SUBMITTAL ONLY**  
**PLAN SET NOT FOR BIDDING PURPOSES**

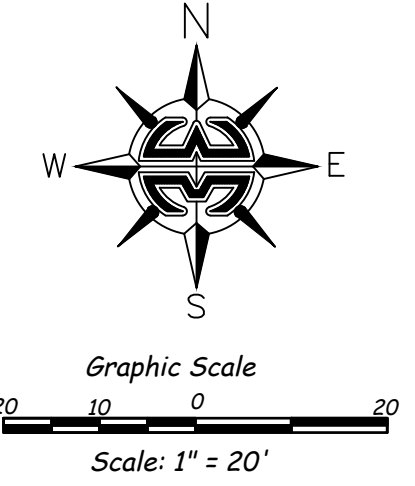
- General Notes:
1. Tree schedule to be updated once a tree survey has been provided.
  2. No landscape materials other than sod grasses may be planted within a 5' radius maintenance area of any underground utility such as water meters, backflow devices, fire hydrants, sanitary sewer cleanouts, and manholes, air release valves, etc.
  3. No landscaping shall be planted in a manner that would adversely affect utility easements.
  4. All landscape areas to receive automatic irrigation. Water source to be potable or well and will be determined at time of building permit application.
  5. Sod around buildings to be St. Augustine 'Bitter Blue' sod. Sod to be weed and disease free and laid tight. All areas within in preservation areas to be seeded with Argentine Bahia grass.
  6. Not trees to be placed within 6' of any hard surface unless root barrier will be installed along the edge of the hard surface. Root barrier to extend at least 5' in either direction from the center of the tree trunk. Refer to Sheet LD-05 for installation details.
  7. All landscape areas to receive automatic irrigation. Irrigation to provide 100% coverage and 50% overlap. Water source to be a new well and pump.



**Landscape Legend:**

Symb	Qty	Tag	WU
	34	QV	
	6	SP	

- Name (N) Native (F) Flowering Tree (E) Evergreen
- Live Oak (N)(E)
  - Quercus virginiana, FG, 12' Ht, 5' Spr., 2.5" DBH
  - Cabbage Palm (N) (3:1)
  - Sabal palmetto, 18' OA Ht



**Landscape Data Main Lot:**

<b>Perimeter Landscape:</b>	
Citrus Ave:	188' LF, 1,880 SF, 1 Tree/200 sf
S 30 St (Building):	101' LF, 1,010 SF, 1 Tree/300 sf
S 30 St (VUA):	126' LF, 1,260 SF, 1 Tree/200 sf
Delaware Ave:	255' LF, 2,550 SF, 1 Tree/300 sf
S 31st St: (Building)	95' LF, 950 SF, 1 Tree/300 sf
S 31st St: (VUA)	110' LF, 1,100 SF, 1 Tree/200 sf
<b>Total Trees Required:</b>	<b>36 Trees</b>
<b>Total Exterior Trees Provided: (Including Existing Trees)</b>	<b>36 Trees</b>
<b>Interior Landscape:</b>	
VUA Area:	24,867 SF
Landscape Area:	24,867 / 15 = 1,658 sf
Trees required:	1 Tree/100 sf
<b>Trees Provided: (Including Existing Trees)</b>	<b>17 Trees</b>

**Landscape Data (Overflow Parking):**

<b>Perimeter Landscape:</b>		
Citrus Ave:	123' LF, 1,230 SF, 1 Tree/200 sf	4 Trees
S 30 St:	230' LF, 2,300 SF, 1 Tree/200 sf	11 Trees
Delaware Ave:	123' LF, 1,230 SF, 1 Tree/200 sf	4 Trees
East	275' LF, 2,750 SF, 1 Tree/300 sf	9 Trees
<b>Total Trees Required:</b>		<b>29 Trees</b>
<b>Total Exterior Trees Provided: (Including Existing Trees)</b>		<b>29 Trees</b>
<b>Interior Landscape:</b>		
VUA Area:	24,867 SF	
Landscape Area:	24,867 / 15 = 1,658 sf	
Trees required:	1 Tree/100 sf	17 Trees
<b>Trees Provided: (Including Existing Trees)</b>		<b>17 Trees</b>





















2912

307

2905



Florida Ave

S 32nd St

Atlantic Ave

S 31st St

S 31st St

S 31st St

Boston Ave

Delaware Ave

Delaware Avenue School

S 30th St

S 30th St

Delaware Ave

Citrus Ave

S 29th St

Delaware Ave

Citrus Ave

S 29th St

S 29th St















2912

307

2905



Florida Ave

S 32nd St

Atlantic Ave

S 31st St

S 31st St

S 31st St

Boston Ave

Delaware Ave

Delaware Avenue School

S 30th St

S 30th St

Delaware Ave

Citrus Ave

S 29th St

Delaware Ave

Citrus Ave

S 29th St

S 29th St



SAINT JUAN DE LOS RIOS  
HISTORIC  
CATHOLIC MISSION



# RENDERING OF SIGNS

**SAN JUAN DIEGO**  
Site Plan Amendment  
July 2025

To:  
Planning Department

Prepared by:



**Redtail DG**  
100 S. 2nd Street



**Redtail DG**  
100 S. 2nd Street  
Fort Pierce, Florida 34950  
772.742.1555  
[www.redtaildg.com](http://www.redtaildg.com)  
[todm@redtaildg.com](mailto:todm@redtaildg.com)

Dear Members of the Planning & Zoning Department,

The proposed signs are shown on the submitted colored elevations and apart from these, no other signs are being proposed.

Sincerely,

Sincerely,  
Vlada Peterka  
Redtail DG

# ENVIRONMENTAL IMPACT REPORT

**SAN JUAN DIEGO**  
Site Plan Amendment  
July 2025

To:  
Planning Department

Prepared by:



**Redtail DG**  
100 S. 2nd Street



**Redtail DG**  
100 S. 2nd Street  
Fort Pierce, Florida 34950  
772.742.1555  
[www.redtaildg.com](http://www.redtaildg.com)  
[todm@redtaildg.com](mailto:todm@redtaildg.com)

Dear Members of the Planning & Zoning Department,

The proposed Site Plan Amendment is showing an addition of a multipurpose building over the already developed area of the site plan, so there will be no impacts on the environment.

Sincerely,

Sincerely,  
Vlada Peterka  
Redtail DG



## CONCURRENCY CAPACITY ANALYSIS

### I. Site Data:

	Existing Use	Future Land Use	Zoning
North			
South			
East			
West			

	Future Land Use	Zoning Classification	Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage	Total Acreage	Flood Zone
Current					
**Proposed					N/A

### II. Public Facilities Information:

A. Potable Water:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.125 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day
**Proposed Zoning/FLU	Total gallons per day
**Change in Demand	Total gallons per day

<b>B. Wastewater:</b>	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.1 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day
**Proposed Zoning/FLU	Total gallons per day
**Change in Demand	Total gallons per day

<b>C. Parks and Recreation (Residential Classifications Only):</b> (Du x 2.6 = persons + 44,227 = population /LOS)				
Park Type	LOS	Existing Population Park Demand	Proposed Population Park Demand	Change in Demand
Regional	20 acres per 1,000 people			
Urban District	5 acres per 1,000 people			
Community	2.5 acres per 1,000 people			
Neighborhood	1.36 acres per 1,000 people			

<b>D. Public Schools (Residential Classifications Only):</b> Single Family: (du x 0.405 = students/70% K-8/30% High) Multi-family: (du x 0.207 = students/70% K-8/30% High)		
	<b>K-8</b>	<b>High</b>
School Name		
City		
Distance		
Current Zoning/FLU	Enrollment	
**Proposed Zoning/FLU	Enrollment	
**Change in Demand		

<b>E. Solid Waste: Residential</b> (2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units)	
Demand Analysis	Maximum
Current Zoning/FLU	
**Proposed Zoning/FLU	
*Change in Demand	

**F. Stormwater:**  
Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year – 1 day storm event)



<b>NON-RESIDENTIAL DATA</b>					
<b>Type(s) specify</b>	<b>Phase</b>	<b>Square footage</b>	<b>Acres</b>	<b>Expecting beginning date</b>	<b>Expected completion date</b>

- A. Indicate whether the proposed project will be eliminating any existing recreational facilities. If yes, detail the number and type being eliminated.  Yes  No
- B. 1. Does this application involve demolition or re-use of any structure(s)?  Yes  No  
If yes, what is the size of the structure(s) to be demolished or re-used? \_\_\_\_\_
2. What is the current use of the structure to be demolished or re-used? \_\_\_\_\_
3. Are you claiming trip credits for the demolition or re-use of a structure(s) at the site?  Yes  No  
If yes, provide estimates of credits for each previous use at the site. (Attach sheet with calculations)

C. Exemptions Requested:

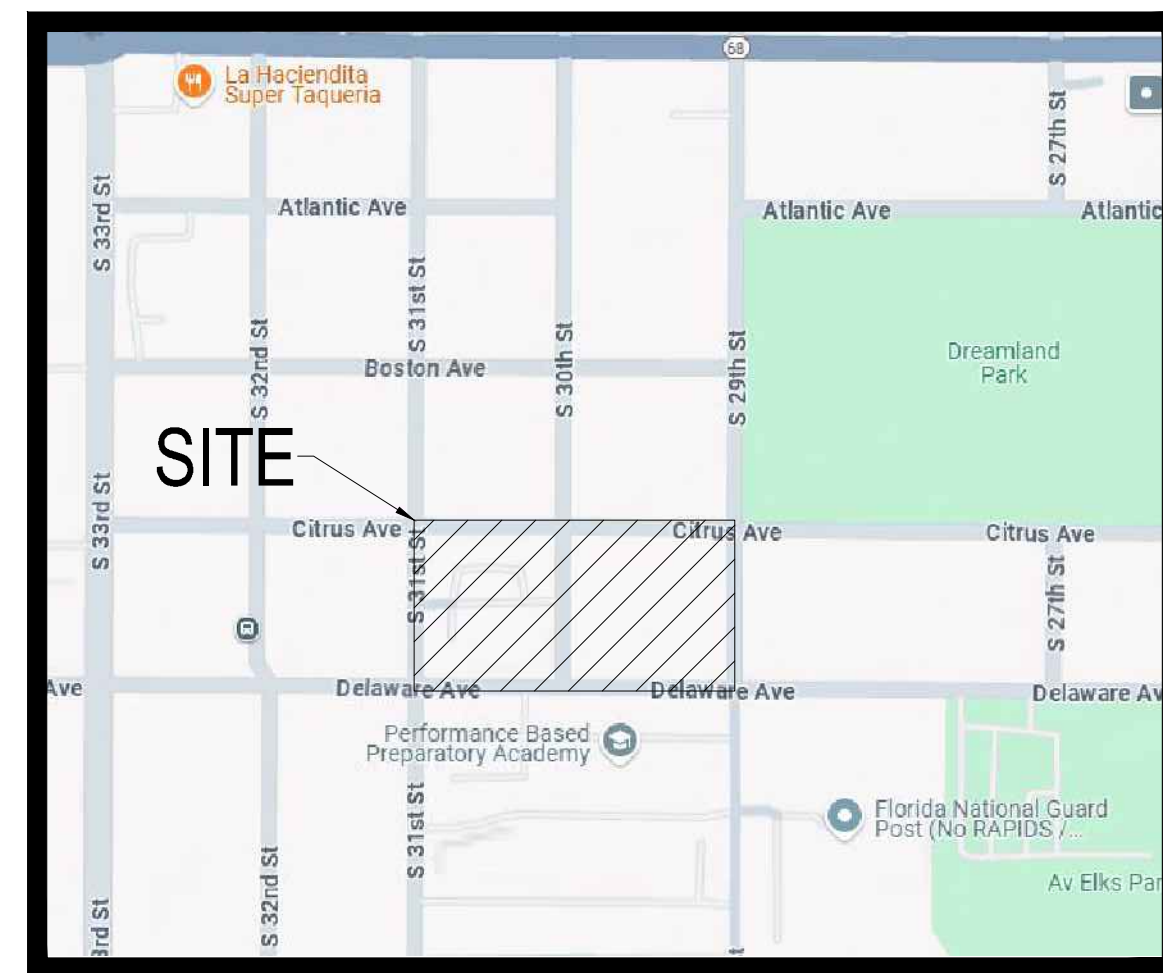
\*\* Complete section if requesting a change in zoning, future land use, or expanding

# SAN JUAN DIEGO MULTI-PURPOSE BUILDING

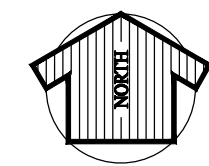
CIVIL CONSTRUCTION PLANS & SPECIFICATIONS  
SECTION 08, TOWNSHIP 35 S, RANGE 40 E  
SAINT LUCIE COUNTY, FLORIDA



REVISIONS:		
BY:	DATE:	COMMENT:



LOCATION MAP  
N.T.S.



VICINITY AERIAL MAP  
N.T.S.

## INDEX OF DRAWINGS

SHEET NO.	DESCRIPTION
COV.	COVER SHEET
01	HORIZONTAL CONTROL PLAN
02	HORIZONTAL CONTROL PLAN DETAILS
03	PAVING, GRADING & DRAINAGE PLAN
04	PAVING, GRADING & DRAINAGE SECTIONS
05	PAVING, GRADING & DRAINAGE DETAILS
06	EROSION CONTROL PLAN
07	STORMWATER POLLUTION PREVENTION PLAN

PROJECT:  
**SAN JUAN DIEGO  
MULTI-PURPOSE BUILDING**

CLIENT:  
**BISHOP OF DIOCESE  
OF PALM BEACH  
CITY OF  
FORT PIERCE**

PLAN FOR  
BISHOP OF DIOCESE PALM BEACH

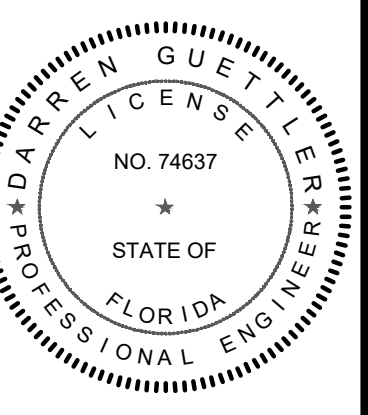
ENGINEER & SURVEYOR



ENGINEERING & SURVEYING, LLC.

1449 NW COMMERCE CENTRE DR  
PORT ST. LUCIE, FL 34986  
PHONE: (772) 879-0477

ENGINEER'S PROJECT NO. 25 - 1003



DARREN GUETTLER, PE  
FLORIDA LICENSE No. 74637  
6/25/25

ELECTRONICALLY SIGNED & SEALED  
Darren C. Guettler, State of Florida  
Professional Engineer, License No. 74637  
This item has been electronically signed and  
sealed by Darren C. Guettler on the date  
indicated here using a SHA authentication code.  
Printed copies of this document are not considered  
signed and sealed and the SHA authentication  
code must be verified on any electronic copies.

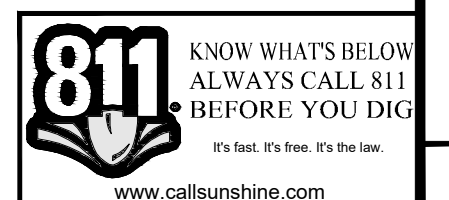
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DRAWN BY: MF  
CHECKED BY: XXX  
DATE: 06/16/2025  
CAD ID.: 25-1003 COVER

SHEET TITLE:

COVER SHEET

SHEET NUMBER:

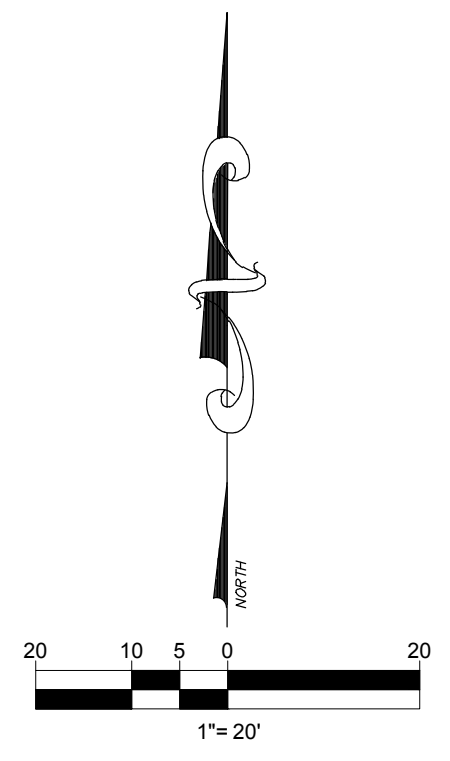
**01**



CITY OF PSL PROJECT NO. PXX-XXX  
PSLUSD FILE NO. XXXX

REVISIONS:

BY:	DATE:	COMMENT:

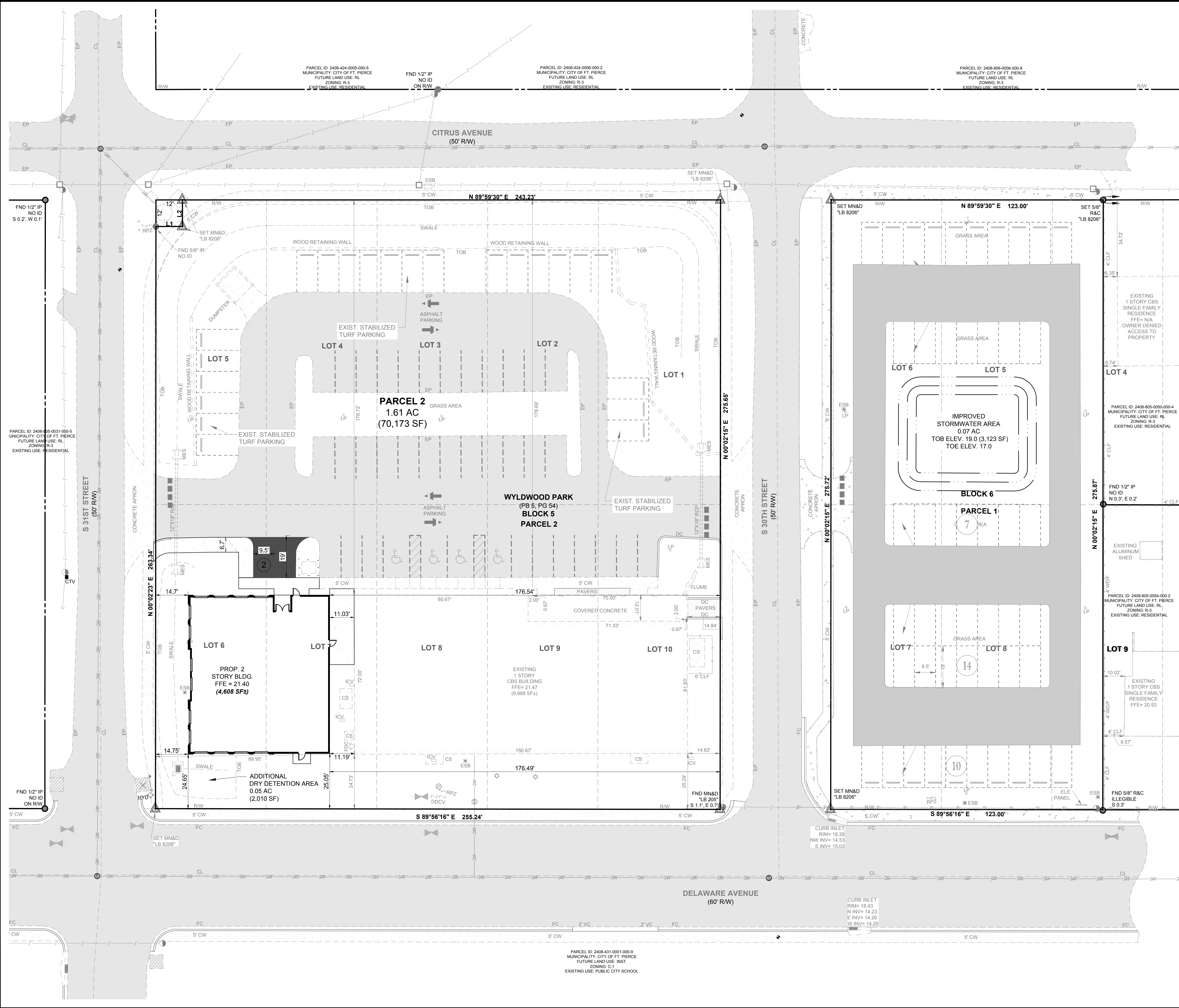


**LEGEND**

	EXISTING GRADE ELEVATION		PROPOSED ASPHALT PAVEMENT
	PROPOSED ELEVATION (H.P. = HIGH POINT)		PROPOSED CONCRETE SIDEWALK
	RUNOFF FLOW DIRECTION		PROPOSED ADA DETECTABLE WARNING CHARCOAL GRAY
	EXISTING WATER MAIN		EXISTING ASPHALT PAVEMENT
	EXISTING FORCE MAIN		CITY OF PORT ST. LUCIE UTILITY EASEMENT
	EXISTING GRAVITY SEWER MAIN		UTILITY EASEMENT
	EXISTING EDGE OF PAVEMENT		PROPOSED LIGHT FIXTURE 12' HEIGHT
	PROPOSED CATCH BASIN		PROPOSED STORM SEWER
	PROPOSED SANITARY CLEAN OUT		REINFORCED CONCRETE PIPE
	PROPOSED 18' YARD DRAIN WITH COLLAR		HPPPP HIGH PERFORMANCE POLYPROPYLENE PIPE
	PROPOSED WATER SERVICE		PROPOSED GRAVITY SEWER MAIN
	PROPOSED YARD DRAIN WITHOUT COLLAR (12" STANDPIPE, GATE SIZE TO VARY)		PROPOSED BLDG. SEWER

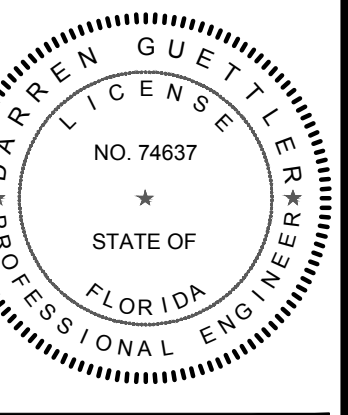
**SITE DATA:**

PARCEL:	DESCRIPTION	AREA (S.F.)	AREA (AC)	PERCENT
PARCEL 1:	TOTAL PROJECT AREA	33,932 S.F.	0.779 AC	100.00%
	IMPERVIOUS AREA	12,487 S.F.	0.29 AC	36.80%
	EX. PAVEMENT/WALKS	15,609 S.F.	0.42 AC	46.00%
	TOTAL IMPERVIOUS	15,609 S.F.	0.42 AC	46.00%
	TOTAL PERVIOUS (OPEN SPACE)	18,323 S.F.	0.421 AC	54.00%
PARCEL 2:	TOTAL PROJECT AREA	70,173 S.F.	1.61 AC	100.00%
	IMPERVIOUS AREA	4,608 S.F.	0.11 AC	6.57%
	PROP. BUILDING	9,968 S.F.	0.23 AC	14.20%
	EX. BUILDING	4,647 S.F.	0.11 AC	6.48%
	PROP. PAVEMENT/WALKS	22,205 S.F.	0.51 AC	31.64%
EX. PAVEMENT/WALKS	37,728 S.F.	0.87 AC	53.76%	
TOTAL IMPERVIOUS	37,728 S.F.	0.87 AC	53.76%	
TOTAL PERVIOUS (OPEN SPACE)	32,445 S.F.	0.643 AC	46.24%	



**SAN JUAN DIEGO  
MULTI-PURPOSE BUILDING**

**BISHOP OF DIOCESE  
OF PALM BEACH**



DARREN GUETTLER, PE  
FLORIDA LICENSE No. 74637  
6/17/25

**ELECTRONICALLY SIGNED & SEALED**  
Darren C. Guettler, State of Florida  
Professional Engineer, License No. 74637  
This item has been electronically signed and sealed by Darren C. Guettler on the date indicated here using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.



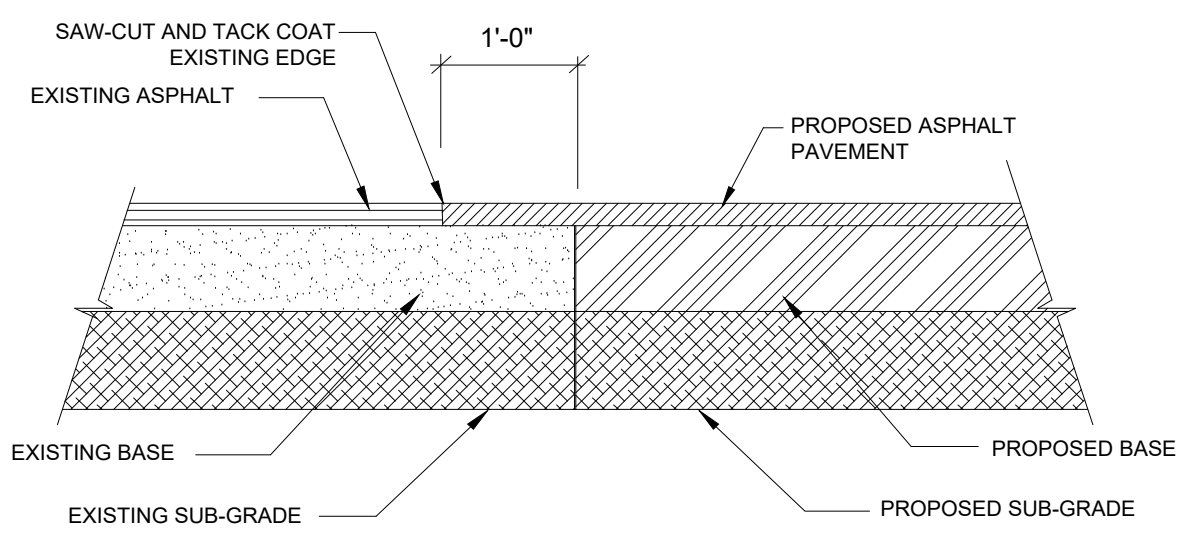
CITY OF PSL PROJECT NO. PXX-XXX  
PSLUSD FILE NO. XXXX

PROJECT No.: 25-1003  
DRAWN BY: MF  
CHECKED BY: XXX  
DATE: 06/16/2025  
25-1003 HORIZONTAL CONTROL PLAN

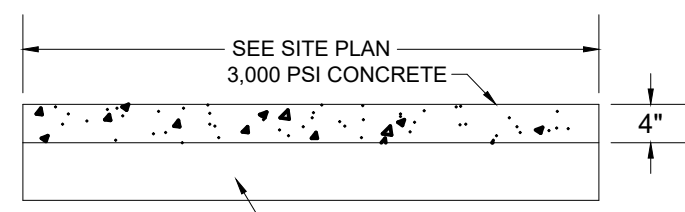
**HORIZONTAL CONTROL PLAN**

SHEET NUMBER:  
**02**

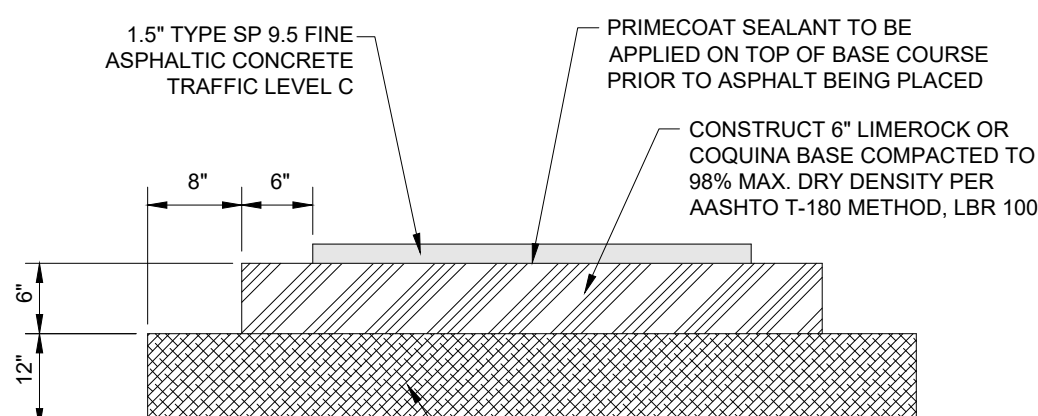




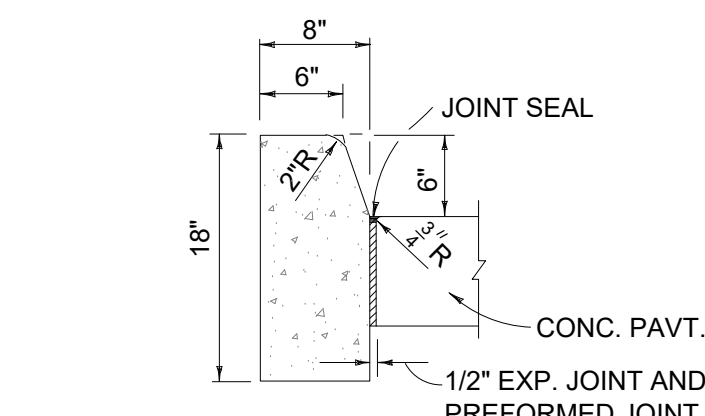
ASPHALT PAVEMENT SAWCUT & BUTTJOINT DETAIL  
N.T.S.



CONCRETE SIDEWALK DETAIL  
N.T.S.



TYPICAL ONSITE ASPHALT PAVEMENT DETAILS  
N.T.S.



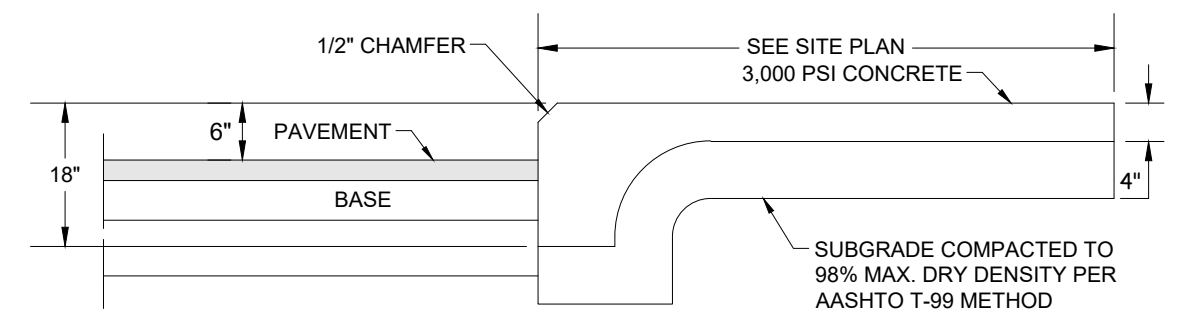
TYPE "D" CURB  
N.T.S.

SPACING OR REQUIRED ROADWAY / PARKING AREA TESTS						
ITEMS TO BE TESTED	F.B.V.		DENSITY		L.B.R.	
	MAX. SPACING LIN. FT.	SQ. FT.	MAX. SPACING LIN. FT.	SQ. FT.	MAX. SPACING LIN. FT.	SQ. FT.
COMPACTED OR STABILIZED SUBGRADE	300	10,000	300	10,000	---	---
LIMEROCK BASE	---	---	300	10,000	---	---
SHELLROCK BASE	---	---	300	10,000	---	---
ASPHALT	---	---	---	---	---	PER INSP

NOTE: ALL TESTING SHALL BE TAKEN IN A STAGGERED SAMPLING PATTERN FROM A POINT 12" INSIDE THE LEFT EDGE OF THE ITEM TESTED, TO THE CENTER, TO A POINT 12" INSIDE OF THE RIGHT EDGE.

- CONSTRUCTION FIELD OBSERVATIONS**
- DRAINAGE**
    - PIPE LAYING OF PIPE (BEFORE BACKFILL)
    - ALL DRAINAGE STRUCTURES AND PIPE LAYING COMPLETE.
    - CONSTRUCTION AND STABILIZATION OF RETENTION AREAS AND SWALES.
    - SEEDING, MULCH AND SODDING IN AREAS WHERE EROSION IS EVIDENT.
  - UTILITIES (PERMITS)**
    - PIPE LAYING IN RIGHTS-OF-WAYS.
    - JACK AND BORING / DIRECTIONAL BORING.
    - WET TAPS.
    - ABOVE GROUND MANHOLE INSPECTIONS AND INSTALLATIONS.
  - CONCRETE**
    - CONSTRUCTION OF CURBING, SIDEWALK, NON-BUILDING SLABS, AND RETAINING WALLS BEFORE PLACEMENT OF CONCRETE.
  - PAVEMENT**
    - LINE AND GRADE (CERTIFICATION).
    - SUBBASE (PRIOR TO ADDING BASE MATERIAL).
    - BASE (PRIOR TO PRIMING AND SAND SEAL).
    - BASE (AFTER PRIMING, SAND SEAL AND BEFORE PLACING OF ASPHALT).
    - ASPHALT OR CONCRETE (WHILE PAVING IS IN PROCESS).
    - TURN OUT CONSTRUCTION ONTO CITY, COUNTY, OR STATE ROAD (ABOVE INSPECTIONS APPLY).
    - TEST RESULTS ON SUBBASE, BASE AND ASPHALT.
    - FINAL PROJECT OBSERVATION.
- PROJECT CERTIFICATION REQUIREMENTS**
- PAVEMENT TESTING**
    - FLORIDA BEARING VALUE (FBV) OR LIMEROCK BEARING RATIO (LBR) TEST RESULTS.
    - COMPACTION TEST RESULTS.
    - BASE MATERIAL TEST RESULTS.
    - ASPHALT TEST RESULTS.
  - WATER AND SEWER**
    - DEPARTMENT OF ENVIRONMENTAL PROTECTION CERTIFICATION FOR BOTH WATER AND SEWER (OPERATION AND MAINTENANCE), IF APPLICABLE.
    - HEALTH DEPARTMENT CERTIFICATION, IF APPLICABLE.
    - BACTERIOLOGICAL AND PRESSURE TESTING FOR WATER MAINS.
    - VIDEO AND EXFILTRATION TESTING FOR GRAVITY SEWER MAINS, IF APPLICABLE.
    - PRESSURE TESTING FOR FORCE MAINS, IF APPLICABLE.
    - UTILITY ACCEPTANCE FOR OPERATION AND MAINTENANCE, IF APPLICABLE.
  - CERTIFICATION AND RECORD DRAWINGS**
    - SEALED CERTIFICATION BY THE ENGINEER OF RECORD FOR COMPLIANCE WITH APPROVED PLANS AND SPECIFICATIONS ALONG WITH RECORD DRAWINGS FOR THE PROJECT.

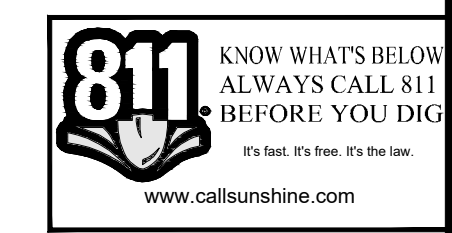
- GENERAL CONSTRUCTION NOTES:**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING THE SITE PRIOR TO BIDDING WORK AND SHALL TAKE INTO CONSIDERATION ANY OMISSIONS, UNDERGROUND UTILITIES, OR OTHER ITEMS AFFECTING THE INSTALLATION OF PAVING, DRAINAGE, AND UTILITIES. SHOULD UNCHARTED OR INCORRECTLY CHARTED UTILITIES OR OTHER ITEMS BE ENCOUNTERED DURING CONSTRUCTION, CONSULT ENGINEER OF RECORD IMMEDIATELY FOR DIRECTIONS. REPAIR DAMAGED UTILITIES OR OTHER ITEMS TO SATISFACTION OF UTILITY OWNER AND ENGINEER OF RECORD.
  - ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CITY, COUNTY, STATE AND FEDERAL REGULATIONS, CODES, AND ORDINANCES INCLUDING OSHA AND FDOT SPECIFICATIONS, LATEST EDITION UNLESS OTHERWISE AUTHORIZED BY THE ENGINEER IN WRITING.
  - LOCATION AND SIZES OF ALL EX. UTILITIES ARE APPROXIMATE ONLY. CONTRACTOR IS RESPONSIBLE FOR EXACT FIELD LOCATION AND SIZES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION TO ALLOW FOR PIPE RECONFIGURATION IF NEEDED. THE CONTRACTOR SHALL CONTACT ALL AFFECTED UTILITIES AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION OPERATIONS.
  - ANY DISCREPANCIES ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO COMMENCING WORK.
  - NO FIELD CHANGES OR DEVIATIONS FROM DESIGN SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
  - CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS / LICENSES PRIOR TO COMMENCING WORK.
  - THE CONTRACTOR SHALL KEEP COPIES OF ALL PERMITS, PLANS, AND SPECIFICATIONS ON SITE DURING CONSTRUCTION.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED TESTING TO BE PERFORMED BY AN INDEPENDENT TESTING LABORATORY APPROVED BY THE ENGINEER OF RECORD. THE CONTRACTOR SHALL SUPPLY DENSITY TESTS TO ENGINEER OF RECORD ON ALL SUB GRADE AND BASE. TESTS SHALL BE PREPARED IN ACCORDANCE WITH AASHTO T-180 METHOD AT ALL AREAS OF DISTURBED ASPHALT & PIPE TRENCHING.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY DAMAGE RESULTING FROM HIS OPERATIONS, TO EXISTING PAVEMENT, SWALES, ETC.
  - THE CONTRACTOR SHALL GUARANTEE ALL WORK AND MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE THAT PROJECT HAS BEEN ACCEPTED. ALL FAULTY CONSTRUCTION AND/OR MATERIALS THAT OCCUR DURING AFORESAID PERIOD SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE AND IN A TIMELY MANNER.
  - THE CONTRACTOR SHALL COMPLY WITH ALL RULES AND REGULATIONS OF THE STATE, COUNTY AND CITY AUTHORITIES REGARDING CLOSING OR RESTRICTING THE USE OF PUBLIC STREETS OR HIGHWAYS.
  - THE CONTRACTOR SHALL GIVE ADEQUATE NOTIFICATION TO ALL AFFECTED UTILITY OWNERS FOR REMOVAL, RELOCATION AND ALTERATION OF THEIR EXISTING FACILITIES.
  - THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST 48 HOURS PRIOR TO ANY REQUIRED INSPECTIONS AND SHALL SUPPLY ALL EQUIPMENT NECESSARY FOR INSPECTIONS AND/OR TESTING.
  - THE CONTRACTOR SHALL PROVIDE THE ENGINEER AS-BUILT SURVEYS CERTIFIED BY A LICENSED SURVEYOR UPON COMPLETION OF CONSTRUCTION AND SCHEDULE A FINAL INSPECTION WITH THE ENGINEER OF RECORD.
  - ANY PUBLIC LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED. IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR SHOULD NOTIFY THE COUNTY SURVEYOR WITHOUT DELAY BY TELEPHONE.
  - IF HARDPAN IS ENCOUNTERED WITHIN RETENTION AREA OR SWALES, IT SHALL BE REMOVED AND REPLACED WITH A GRANULAR MATERIAL.
  - IF MUCK OR ANY OTHER UNSUITABLE MATERIAL IS ENCOUNTERED, THE MATERIAL SHALL BE COMPLETELY REMOVED AND BACK FILLED WITH A GRANULAR MATERIAL AND COMPACTED TO DENSITIES SUFFICIENT TO ACCOMMODATE THE INTENDED USE.
  - LOCATION OF STRUCTURES SHALL GOVERN AND PIPE LENGTHS MAY HAVE TO BE ADJUSTED TO ACCOMPLISH CONSTRUCTION AS SHOWN ON THESE PLANS.
  - RCP INDICATES REINFORCED CONCRETE PIPE. CMP INDICATES GALVANIZED CORRUGATED METAL PIPE. BCPMP INDICATES BUTYRUM COATED CORRUGATED METAL PIPE. CAP INDICATES CORRUGATED ALUMINUM PIPE. CPP INDICATES CORRUGATED POLYETHYLENE PIPE (N12) MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS, INC. (ADS). HPPP INDICATES HIGH-PERFORMANCE POLYPROPYLENE PIPE.
  - MITERED END SECTIONS SPECIFIED ON THE PLANS SHALL BE IN ACCORDANCE WITH FDOT STANDARD INDEX NO. 430-021.
  - COMPACTION REQUIREMENTS FOR PIPE BEDS SHALL BE 90% OF MAXIMUM DRY DENSITY.
  - TEMPORARY DRAINAGE SHALL BE PROVIDED DURING CONSTRUCTION TO ELIMINATE ANY FLOODING OF PRIVATE PROPERTY.
  - ALL STORM SEWER LINES AND DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AND ERODED MATERIALS DURING THE FINAL STAGES OF CONSTRUCTION.
  - ANY DRAINAGE PROBLEMS CREATED BY CONSTRUCTION, OR EXISTING BEFORE CONSTRUCTION AND NOT ALLEVIATED AS PART OF THE PROPOSED IMPROVEMENTS, SHOULD BE BROUGHT TO THE ATTENTION OF THE GOVERNING AUTHORITY AND THE ENGINEER OF RECORD.
  - THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PROTECT EXISTING TREES SHOWN TO REMAIN. IF ANY TREES MARKED TO BE REMOVED CAN BE SAVED, THE CONTRACTOR SHALL SAVE SAID TREES. SHOULD ADDITIONAL TREES NEED TO BE REMOVED, THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER OF RECORD FOR APPROVAL PRIOR TO REMOVING SAID TREES.
  - IF EXCAVATED FILL MATERIAL IS REUSABLE, STOCKPILE EXCESS FOR USE IN LANDSCAPED AREAS.
  - UNUSABLE CLEARED MATERIAL SHALL BE REMOVED FROM SITE AND HAULED TO AN APPROVED DISPOSAL SITE. AS AN ALTERNATIVE, BURNING ON SITE WILL BE ALLOWED WITH PROPER PERMITS. LOCATION OF BURN SITE SHALL BE APPROVED BY OWNER.
  - ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITIONS OR BETTER. ALL EXISTING SIGNAGE, PAVEMENT MARKINGS, ABOVE GROUND APPURTENANCES, ETC. SHALL BE RESTORED IN KIND.
  - WHEN PAVEMENT IS SHOWN NEXT TO A CURB OR SIDEWALK, THE ELEVATION OF THE TOP OF CURB OR SIDEWALK IS 6" ABOVE THE PAVEMENT. UNLESS INDICATED AS FLUSH. IN SOME CASES, BOTH ELEVATIONS ARE SHOWN FOR ADDITIONAL CLARITY.
  - ALL CONCRETE SHALL DEVELOP A 28-DAY COMPRESSIVE STRENGTH OF 3,000 PSI UNLESS OTHERWISE NOTED.
  - ALL REINFORCING STEEL SHALL CONFORM TO ASTM A-615 AND HAVE A TENSILE STRENGTH OF 60,000 PSI UNLESS OTHERWISE NOTED.
  - ALL WATER FLUSHED FROM MAINS SHALL BE DIRECTED AS APPROVED BY THE ENGINEER OF RECORD.
  - NO WATER OR SEWER SERVICE IS TO BE SUPPLIED, UNTIL A LETTER OF CLEARANCE IS RECEIVED FROM FDEP, IF APPLICABLE.
  - MAINTENANCE OF TRAFFIC SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS", AND THE FDOT "ROADWAY AND TRAFFIC DESIGN STANDARDS INDEX #600", LATEST EDITIONS.
  - EROSION AND SEDIMENT CONTROL - CONTRACTOR IS RESPONSIBLE FOR PROVIDING EROSION AND SEDIMENT CONTROL USING THE LATEST F.D.O.T. STANDARDS. BALED HAY, STRAW, AND SILTATION BARRIERS WILL BE INSTALLED WHERE NEEDED TO PREVENT SILTATION OF ADJACENT PROPERTY, PUBLIC RIGHT-OF-WAY, WETLANDS AND WATERWAYS. THESE WILL REMAIN IN PLACE UNTIL GRASSING OR SODDING HAS BEEN COMPLETED OR UNTIL SILTATION AND EROSION ARE NO LONGER A THREAT TO ADJACENT PROPERTY AND WATERWAYS.
  - ALL BERMS AND GRASSED AREAS SHALL BE SEEDDED AND MULCHED IN ACCORDANCE WITH THE APPROPRIATE SECTIONS OF THE ABOVE REFERENCED SPECIFICATIONS UNLESS OTHERWISE AUTHORIZED BY THE ENGINEER OF RECORD.
  - TOPOGRAPHIC INFORMATION PREPARED BY VELCON ENGINEERING & SURVEYING, LLC. ALL ELEVATIONS PER BENCHMARKS REFERENCED ON SURVEY N.A.V.D.



SIDEWALK/PAVEMENT DETAIL  
N.T.S.

PAVING / SIDEWALK SPECIFICATIONS						
TYPE	WEARING SURFACE		BASE		SUBGRADE	STRUCTURAL NUMBER (SN) (PARKING LOT SN = 2.18 MIN.)
VEHICULAR PARKING AREA PAVEMENT SECTION AND DRIVEWAY	1-1/2" THICK, TYPE TYPE SP-9.5 TYPE C ASPHALTIC CONCRETE INSTALLED IN TWO LIFTS (FIRST LIFT TO BE 3/4" & SECOND LIFT TO BE 3/4"). TACK COAT REQUIRED WITH MULTIPLE LIFTS.	STRUCTURAL COEFFICIENT PER INCH = 0.44	6" THICK, LIMEROCK (LBR 100) COMPACTED IN ONE LIFT TO 98% MAXIMUM DRY DENSITY, A.A.S.H.T.O. T-180	STRUCTURAL COEFFICIENT PER INCH = 0.18	12" THICK, STABILIZED SUBGRADE COMPACTED TO 98% MAXIMUM DRY DENSITY A.S.H.T.O. T-180 AND STABILIZED TO EITHER L.B.R. = 40 OR F.B.V. = 75	1.5 X 0.44 = 0.66 6 X 0.18 = 1.08 12 X 0.08 = 0.96 SN = 2.70 > 2.18
SIDEWALKS *	4" THICK 3,000 PSI CONCRETE OR 6" THICK 3,000 PSI CONCRETE WITH W1.4 X W1.4, 6" X 6" REINFORCING MESH AT ALL DRIVEWAYS & L.M.A.E.'S	N/A	4" THICK, CLEAN SAND COMPACTED TO 98% PER A.A.S.H.T.O. T-180	N/A	N/A	N/A

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PSLUSD FILE NO. XXXX

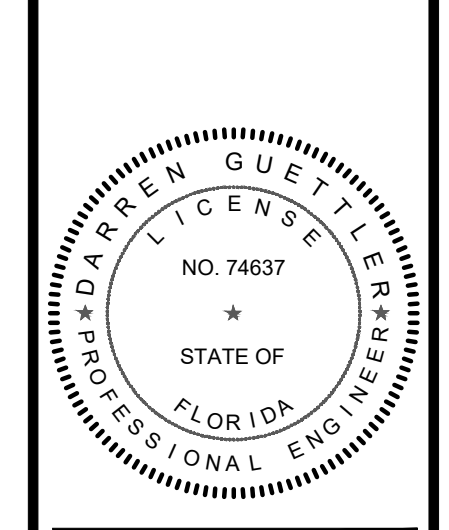


1449 NW COMMERCIAL CENTRE DR  
PORT ST. LUCIE, FL 34986  
PHONE: (772) 879-0477  
FIRE C.O.A. # 3222

REVISIONS:		
BY:	DATE:	COMMENT:

PROJECT: SAN JUAN DIEGO MULTI-PURPOSE BUILDING

CLIENT: BISHOP OF DIOCESE OF PALM BEACH CITY OF FORT PIERCE

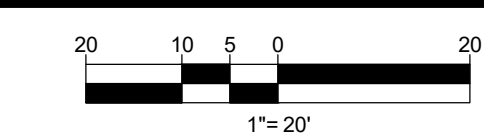


DARREN GUETTLE, PE  
FLORIDA LICENSE No. 74637  
6/17/25

PROJECT No.: 25-1003  
DRAWN BY: MF  
CHECKED BY: XXX  
DATE: 06/16/2025  
CAD ID.: 25-1003 PSD DETAILS

SHEET TITLE:  
PAVING GRADING & DRAINAGE DETAILS

SHEET NUMBER:  
**04**

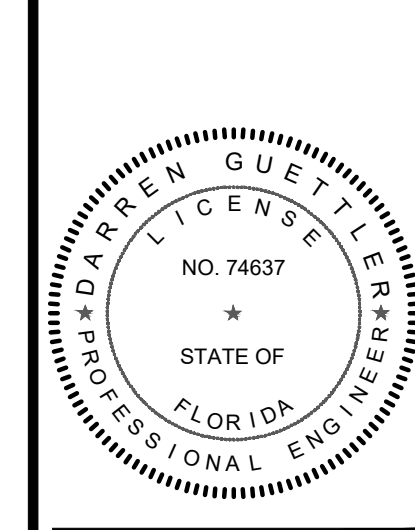


REVISIONS:

BY:	DATE:	COMMENT:

PROJECT: **SAN JUAN DIEGO MULTI-PURPOSE BUILDING**

CLIENT: **BISHOP OF DIOCESE OF PALM BEACH CITY OF FORT PIERCE**



DARREN GUETTNER, PE  
FLORIDA LICENSE No. 74637  
6/17/25

PROJECT No.: 25-1003  
DRAWN BY: MF  
CHECKED BY: XXX  
DATE: 06/16/2025  
CAD ID: 25-1003 STORMWATER POLLUTION PREVENTION PLAN

SHEET TITLE: **CLEARING AND SEDIMENT & EROSION CONTROL PLAN**

SHEET NUMBER: **05**

**LEGEND**

	EXISTING WATER MAIN
	EXISTING FORCE MAIN
	EXISTING GRAVITY SEWER MAIN
	EXISTING EDGE OF PAVEMENT TO REMAIN
	EXISTING EDGE OF PAVEMENT TO BE REMOVED
	CONCRETE TO BE REMOVED
	EXISTING LIGHT POLE TO BE REMOVED
	SILT FENCE

**NOTE:**  
EROSION AND SEDIMENT CONTROL - CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING EROSION AND SEDIMENT CONTROL USING THE LATEST F.O.T. STANDARDS. BALED HAY, STRAW, AND SILTATION BARRIERS WILL BE INSTALLED WHERE NEEDED TO PREVENT SILTATION OF ADJACENT PROPERTY, PUBLIC RIGHT-OF-WAY, WETLANDS AND WATERWAYS. THESE WILL REMAIN IN PLACE UNTIL GRASSING OR SOODING HAS BEEN COMPLETED OR UNTIL SILTATION AND EROSION ARE NO LONGER A THREAT TO ADJACENT PROPERTIES AND WATERWAYS. STREET SWEEPING SHALL BE PERFORMED ANYTIME SEDIMENT HAS BEEN TRACKED ONTO THE ADJACENT ROADWAYS FROM THE SITE OR THE SITE DRIVEWAYS. SHOULD DUST BECOME AN ISSUE, ALL UNSTABILIZED AREAS SHALL BE WETTED DOWN SUFFICIENTLY IN ORDER TO PREVENT DUST.

SILT FENCE SHALL BE IN PLACE PRIOR TO CLEARING

PROJECT AREA: 104,095 S.F. (2.39 AC)  
AREA TO BE CLEARED: 10,148 S.F. (0.23 AC)

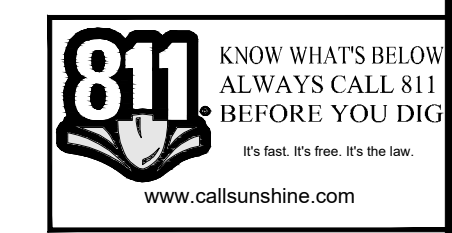
**NOTE:**  
THE CITY ENGINEERING DEPARTMENT SHALL MAKE INSPECTIONS AS HEREINAFTER REQUIRED AND NOTIFY THE BUILDING OFFICIAL UPON INSPECTION APPROVAL OR IF THE WORK FAIL TO COMPLY WITH THE EROSION AND SEDIMENT CONTROL PLAN AS APPROVED TO REQUEST A STOP-WORK ORDER. PLANS FOR GRADING, STRIPPING, EXCAVATING, AND FILLING WORK BEARING THE STAMP OF APPROVAL OF THE CITY ENGINEER SHALL BE MAINTAINED AT THE SITE DURING THE DURATION OF THE WORK. TO OBTAIN INSPECTIONS, THE PERMITTEE SHALL NOTIFY THE CITY ENGINEERING DEPARTMENT AT LEAST TWO WORKING DAYS BEFORE THE FOLLOWING:

1. START OF CONSTRUCTION
2. INSTALLATION OF SEDIMENT AND EROSION MEASURES
3. COMPLETION OF SITE CLEARING
4. COMPLETION OF ROUGH GRADING
5. COMPLETION OF FINAL GRADING
6. CLOSE OF THE CONSTRUCTION SEASON
7. COMPLETION OF FINAL LANDSCAPING

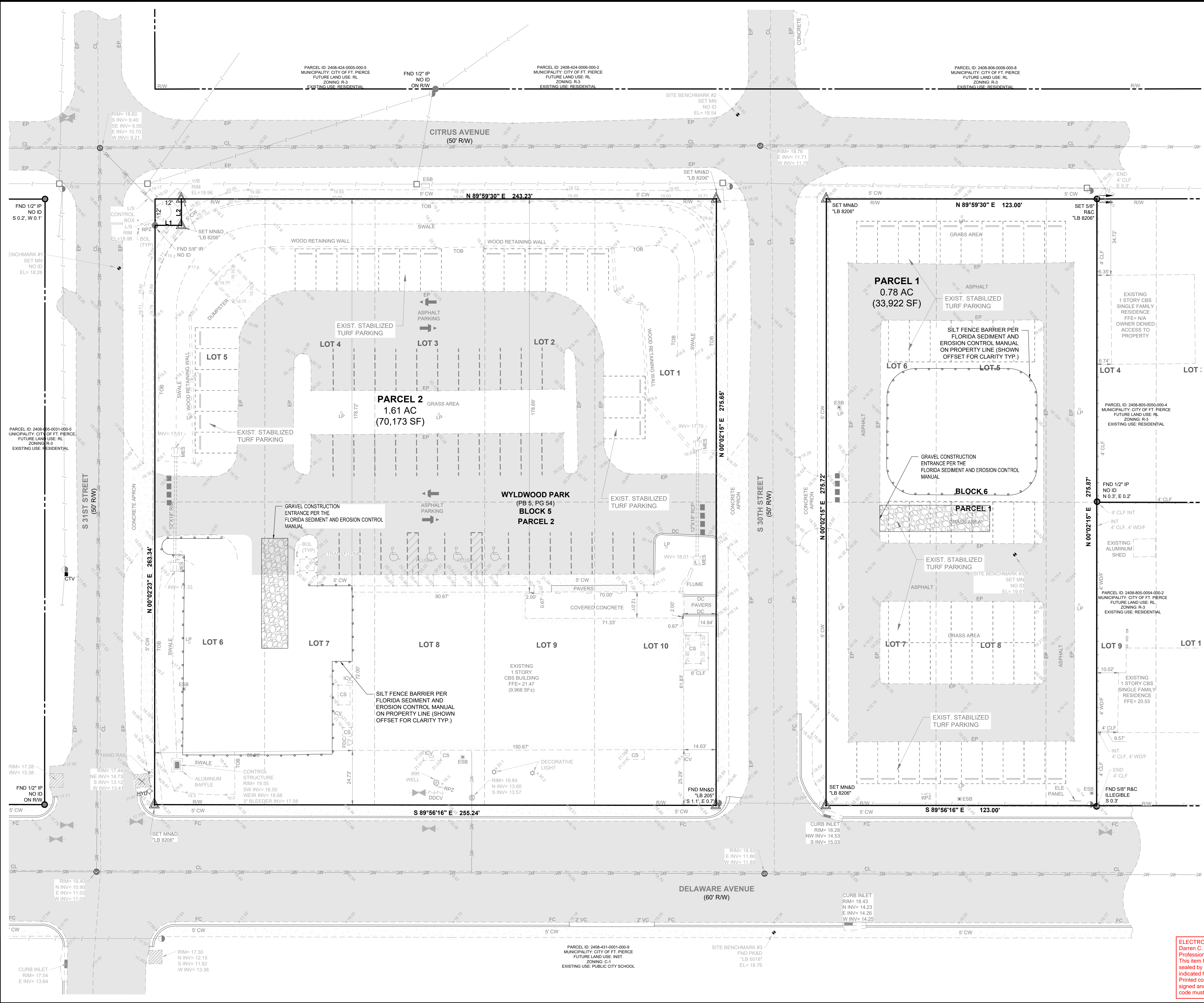
THE PERMITTEE SHALL BE RESPONSIBLE FOR FUNCTIONALITY OF ALL CONTROL MEASURES IN ACCORDANCE WITH THE INSPECTION SCHEDULE OUTLINED ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN. THE PURPOSE OF SUCH INSPECTIONS WILL BE TO DETERMINE THE OVERALL EFFECTIVENESS OF THE CONTROL PLAN AND THE POSSIBLE NEED FOR ADDITIONAL CONTROL MEASURES.

THE CITY ENGINEER OF HIS DESIGNEE SHALL ENTER THE PROPERTY OF THE APPLICANT AS DEEMED NECESSARY TO MAKE REGULAR INSPECTIONS TO ENSURE THE EFFECTIVENESS OF THE CONTROL PLAN AND THE POSSIBLE NEED FOR ADDITIONAL CONTROL MEASURES.

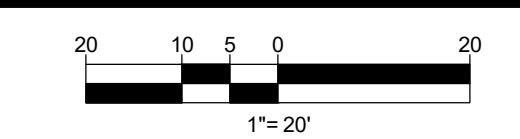
**ELECTRONICALLY SIGNED & SEALED**  
Darren C. Guettler, State of Florida, License No. 74637  
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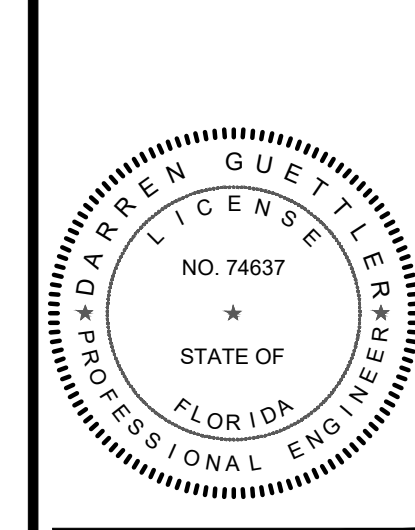
**VELCON**  
ENGINEERING & SURVEYING, LLC  
1449 NW COMMERCIAL CENTRE DR  
PORT ST. LUCIE, FL 34956  
PHONE: (772) 878-5477  
FIRE C.O.A. # 3222

REVISIONS:

BY:	DATE:	COMMENT:

PROJECT:  
**SAN JUAN DIEGO  
MULTI-PURPOSE BUILDING**

CLIENT:  
**BISHOP  
OF DIOCESE  
OF PALM BEACH  
FORT PIERCE**



DARREN GUETTLER, PE  
FLORIDA LICENSE No. 74637  
6/17/25

PROJECT No.: 25-1003  
DRAWN BY: MF  
CHECKED BY: XXX  
DATE: 06/16/2025  
CAD ID.: 25-1003 STORMWATER  
POLLUTION PREVENTION PLAN  
SHEET TITLE:

**DEMOLITION  
PLAN**

SHEET NUMBER:  
**06**

**LEGEND**

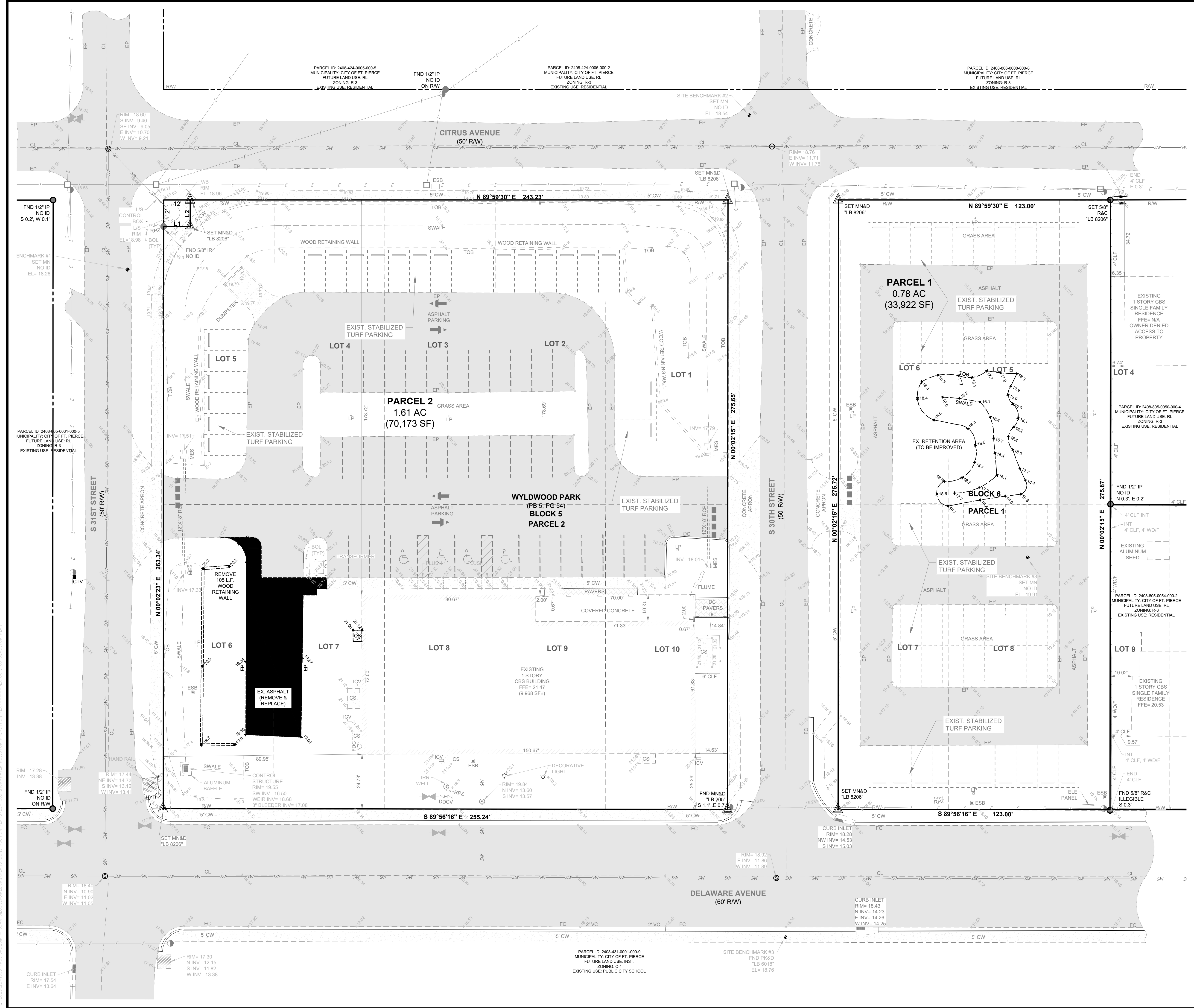
	EXISTING WATER MAIN
	EXISTING FORCE MAIN
	EXISTING GRAVITY SEWER MAIN
	EXISTING EDGE OF PAVEMENT TO REMAIN
	EXISTING EDGE OF PAVEMENT TO BE REMOVED
	CONCRETE TO BE REMOVED
	EXISTING LIGHT POLE TO BE REMOVED
	SILT FENCE

NOTE:  
THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL, AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA FROM THE EDGE OF PAVEMENT TO THE PROPERTY LINE WITHIN THE CITY'S RIGHT-OF-WAY IN ACCORDANCE WITH CITY CODE, SECTION 41.08(g).

**ELECTRONICALLY SIGNED & SEALED**  
Darren C. Guettler, State of Florida  
Professional Engineer, License No. 74637  
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CITY OF PSL PROJECT NO. PXX-XXX  
PSLUSD FILE NO. XXXX



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Section 1	Project Name and location information:	San Juan Diego Multi-Purpose Building City of Fort Pierce, Florida
Section 2	Describe the nature of the construction activity:	Construction activities consist of the construction of a new 2-story building with associated paved parking and sidewalks that will serve the project site in the City of Fort Pierce, St. Lucie County, Florida
Section 3	Describe the intended sequence of major soil disturbing activities: The following sequence of major activities shall be followed unless the contractor can propose an alternative that is equal or exceeds the erosion and sediment control practices described in this document, and is approved by the Engineer. The detailed sequence for the entire project can vary significantly from contractor to contractor. The contractor is responsible for providing a detailed sequence of construction for all construction activities.	<ol style="list-style-type: none"> <li>1. Placement of all erosion control devices.</li> <li>2. Clearing and grubbing, earthwork, filling of the existing lake, and excavation of the dry detention area.</li> <li>3. Storm sewer construction; all storm sewer shall be constructed in the upstream direction.</li> <li>4. Water &amp; wastewater utility construction.</li> <li>5. Earthwork associated with roadway, curb, subgrade, base and pavement.</li> <li>6. Final seed and mulch and landscaping and sodding of the unpaved project area as called for in plans.</li> </ol>
Section 4	Total area onsite and offsite:	2.39 acres
Section 5	Total area onsite and offsite to be disturbed:	0.23 acres
Section 6	Existing data describing the soil or quality of any stormwater discharge from the site: The soils are silty fine sand to clean sands. The small sand particle size will make the potential for erosion high.	Runoff Data Runoff Coefficients: Before: 0.81 During: 0.30-0.81 After: 0.81
Section 7	Estimate the drainage area size for each discharge point:	2.39 acres
Section 8	Latitude and longitude of each discharge point and identify the receiving water or MS4 for each discharge point:	There is one (1) discharge point for the project. Lat. N027° 26' 38.37" , Long. W080° 21' 21.58"
Section 9	Give a detailed description of all controls, Best Management Practices (BMPs) and measures that will be implemented at the construction site for each activity identified in the intended sequence of major soil disturbing activities section. Provide time frames in which the controls will be implemented. NOTE: All controls shall be consistent with performance standards for erosion and sediment control and stormwater treatment set forth in s. 62-40.432, F.A.C., the applicable Stormwater or Environmental Resource Permitting requirements of the Department or a Water Management District, and the guidelines contained in the State of Florida Erosion and Sediment Control Designer and Reviewer Manual, FDOT, FDEP, and any subsequent amendments.	<p>The following defines general quantities for the sequence of construction and the use of stabilization and structural practices. The contractor is also responsible for documenting this portion of the SWPPP. The construction of this project is expected to last twelve months.</p> <p>Install stabilized construction entrances at all common areas where construction vehicles will be entering and exiting the construction site. The driveways shall be constructed per the Florida Sediment and Erosion Control Manual.</p> <p>Install silt fences, Type III, around all ditch bottom inlets on the project, and the project perimeter. Filter cloth under the grates on catch basins may be used in lieu of a silt fence.</p> <p>Install staked turbidity barriers at the locations as indicated in the Paving and Drainage Plan (discharge points).</p>
Section 10	Describe all temporary and permanent stabilization practices. Stabilization practices include temporary seeding, mulching, permanent seeding, geotextiles, sod stabilization, vegetative buffer strips, protection of trees, vegetative preservations, etc.	<p>Temporary: Seed and mulch, and sod in accordance with Specification Section 104.</p> <p>Permanent: All stabilization practices shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than 7 days after the construction activity in that portion of the site has temporarily ceased. The contractor is also responsible for documenting this portion of the SWPPP.</p>
Section 11	Describe all structural controls to be implemented to divert stormwater flow from exposed soils and structural practices to store flows, retain sediment on-site or in any other way limit stormwater runoff. These controls include silt fences, earth dikes, diversions, swales, sediment traps, check dams, subsurface drains, pipe slope drains, level spreaders, storm drain inlet protection, rock outlet protection, reinforced soil retaining systems, gabions, coagulating agents and temporary or permanent sediment basins.	<p>Temporary: Silt fence in accordance with the Florida Sediment and Erosion Control Manual. Staked turbidity barrier in accordance with the Florida Sediment and Erosion Control Manual. Soil tracking prevention device in accordance with the Florida Sediment and Erosion Control Manual. A stabilized construction entrance to be constructed per the Florida Sediment and Erosion Control Manual. All sediment controls shall be in place prior to any soil disturbing activity upstream of the control.</p>
Section 12	Describe all sediment basins to be implemented for areas that will disturb 10 or more acres at one time. The sediment basins (or an equivalent alternative) should be able to provide 3,600 cubic feet of storage for each acre drained. Temporary sediment basins (or an equivalent alternative) are recommended for drainage areas under 10 acres.	N/A - less than 10 acres
Section 13	Describe all permanent stormwater management controls such as, but not limited to, detention or retention systems or vegetated swales that will be installed during the construction process.	Onsite stormwater is sheet flowed into the perimeter dry detention area where it's released into the adjacent right-of-way with a controlled discharge consistent with the existing approvals.
Section 14	Waste disposal, this may include construction debris, chemicals, litter, and sanitary wastes:	All construction materials and debris will be placed in a dumpster and hauled off site to a landfill or other proper disposal site. No materials will be buried on site.
Section 15	Offsite vehicle tracking from construction entrances/exits:	Off site vehicle tracking of sediments and dust generation will be minimized via a rock construction entrance, street sweeping and the use of water to keep dust down.
Section 16	The proper application rates of all fertilizers, herbicides and pesticides used at the construction site:	Florida-friendly fertilizers and pesticides will be used at a minimum and in accordance with the manufacturer's suggested application rates.
Section 17	The storage, application, generation and migration of all toxic substances:	All paints and other chemicals will be stored in a locked covered shed.
Section 18	Other:	Port-o-lets will be placed away from storm sewer systems, storm inlet(s), surface waters and wetlands. No vehicle maintenance shall be conducted on-site. A washdown area shall be designated at all times and will not be located in any area that will allow for the discharge of polluted runoff.

Section 19 Provide a detailed description of the maintenance plan for all structural and non-structural controls to assure that they remain in good and effective operating condition.

Contractor shall provide routine maintenance of permanent and temporary sediment and erosion control features in accordance with the technical specifications or as follows, whichever is more stringent:

- Silt fence shall be inspected at least weekly. Any required repairs shall be made immediately. Sediment deposits shall be removed when they reach approximately one-half the height of the barrier.
- Maintenance shall be performed on the rock entrance when any void spaces are full of sediment.
- Inlet(s)/outfalls shall be inspected immediately after each rain event and any required repairs to the filter inlets, silt fence, or filter fabric shall be performed immediately.
- Bare areas of the site that were previously seeded shall be reseeded per manufacturers' instructions.
- Mulch and sod that has been washed out shall be replaced immediately.
- Maintain all other areas of the site with proper controls as necessary.

Section 20 Inspections: Describe the inspection and inspection documentation procedures, as required by the FDEP NPDES Generic Permit for Stormwater Discharge from Large and Small Construction Activities.

Qualified personnel will inspect all points of discharges, all disturbed areas of construction that have not been stabilized, constructed areas and locations where vehicles enter and exit the site, and all BMPs at least once every 7 calendar days and within 24 hours of the end of a rainfall event that is 0.5 inches or greater. Where sites have been finally stabilized, said inspections shall be conducted at least once every month until the Notice of Termination is filed.

Section 21 Identify and describe all sources of non-stormwater discharges as allowed by the FDEP NPDES Generic Permit for Stormwater Discharge from Large and Small Construction Activities.

The contractor is required to submit a dewatering plan to SFWMD for approval prior to commencement of any construction activities that require dewatering. This plan shall include any stockpile areas and excavation areas. The contractor is responsible for documenting this portion of the SWPPP. If contaminated soil or groundwater is encountered, contact the District Hazardous Materials Coordinator

Section 22 Site Map

The construction plans will substitute as site maps. Locations of the required information are described below.

Drainage Patterns:  
The drainage flow directions are shown on the Paving and Drainage Plan.

Approximate Slopes:  
The slopes of the site can be seen on the Grading and Drainage plan and cross sections.

Areas of Soil Disturbance:  
The areas to be disturbed are indicated on the plan. Any areas where permanent features are shown to be constructed above or below ground will be disturbed.

Areas not to be disturbed:  
Those areas shown outside of the limits of the silt fence will not be disturbed.

Locations of Controls:  
The erosion control devices and locations are shown on the Sediment & Erosion Control Plan.

Areas to be stabilized:  
Temporary stabilization practices are also shown on the plans, if applicable. Areas of permanent stabilization are shown on the Paving and Drainage Plan.

Surface Water:  
Surface water runoff will sheet flow into the perimeter dry detention areas where it will be released with a controlled discharge into the adjacent right-of-way. Once within the right-of-way stormwater will be conveyed through the City of Fort Pierce owned and maintained storm sewers with an eventual outfall into the North Fork of the St. Lucie River.

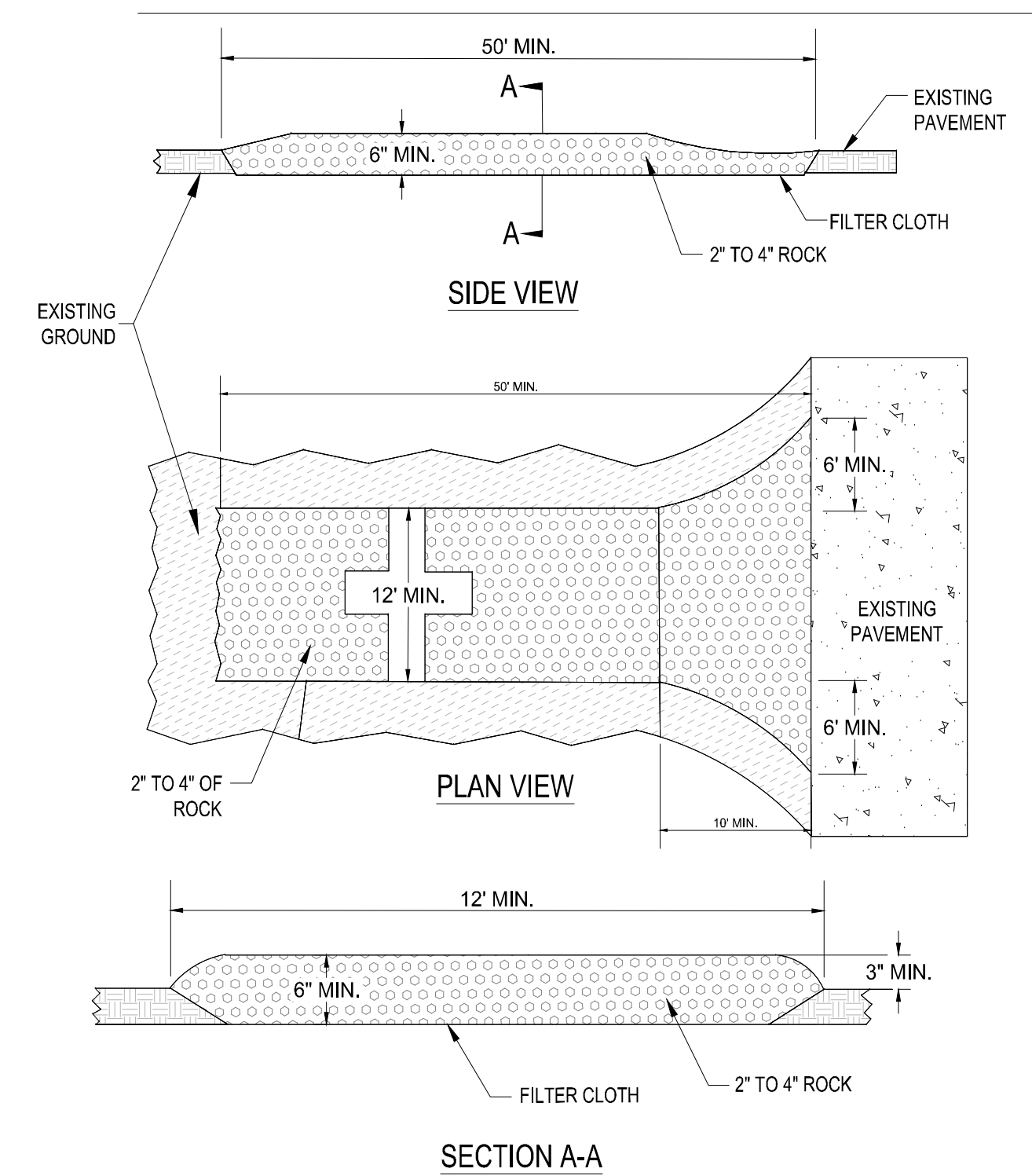
Receiving Waters  
Flows are directed south with an Ultimate outfall to the North Fork of the St. Lucie River.

Section 23 All contractor(s) and subcontractor(s) identified in the SWPPP must sign the following certification:

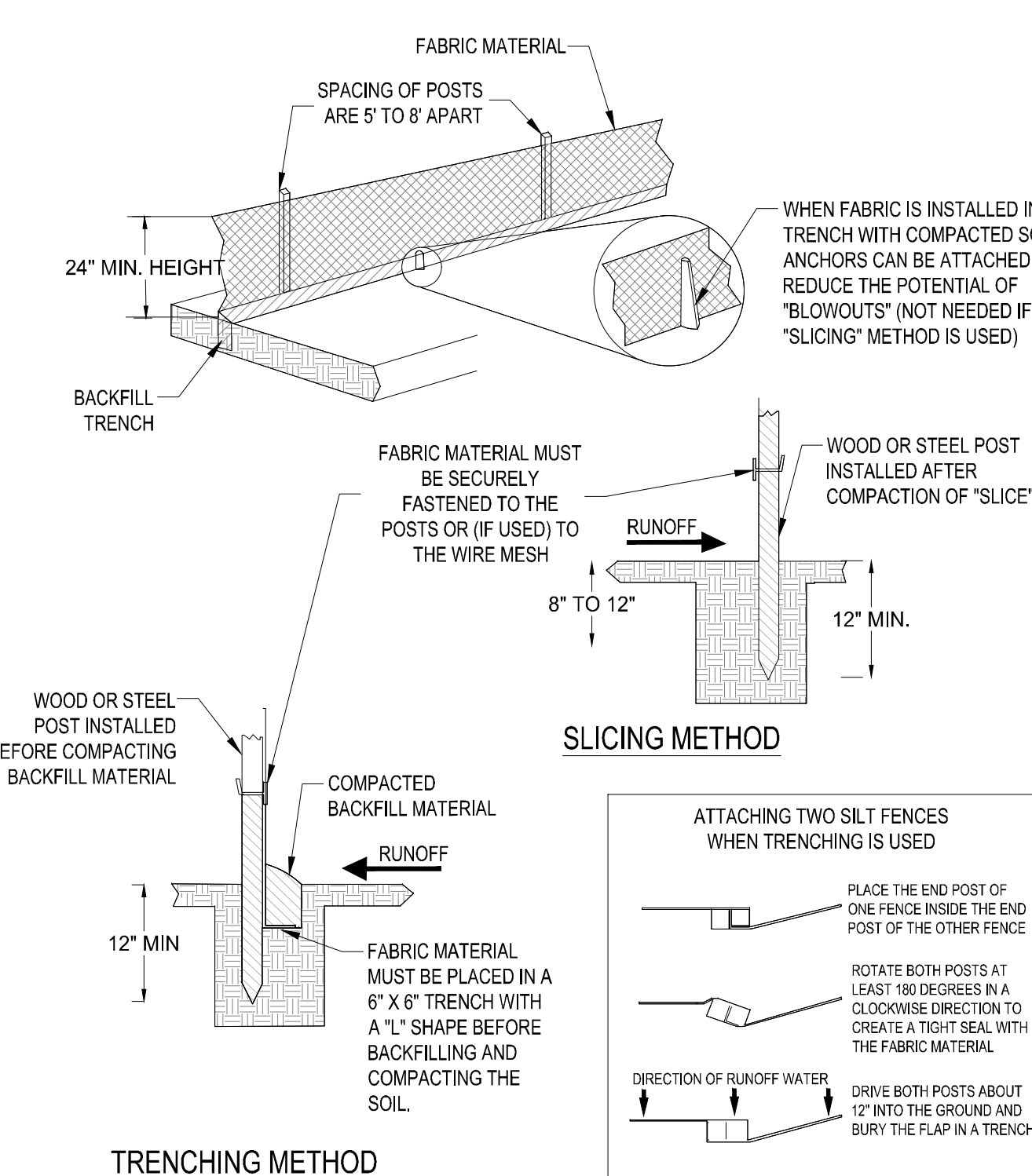
"I certify under penalty of law that I understand, and shall comply with, the terms and conditions of the State of Florida Generic Permit for Stormwater Discharge from Large and Small Construction Activities and this Stormwater Pollution Prevention Plan prepared thereunder. This document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

Name (Operator and/or Responsible Authority) \_\_\_\_\_ Date \_\_\_\_\_

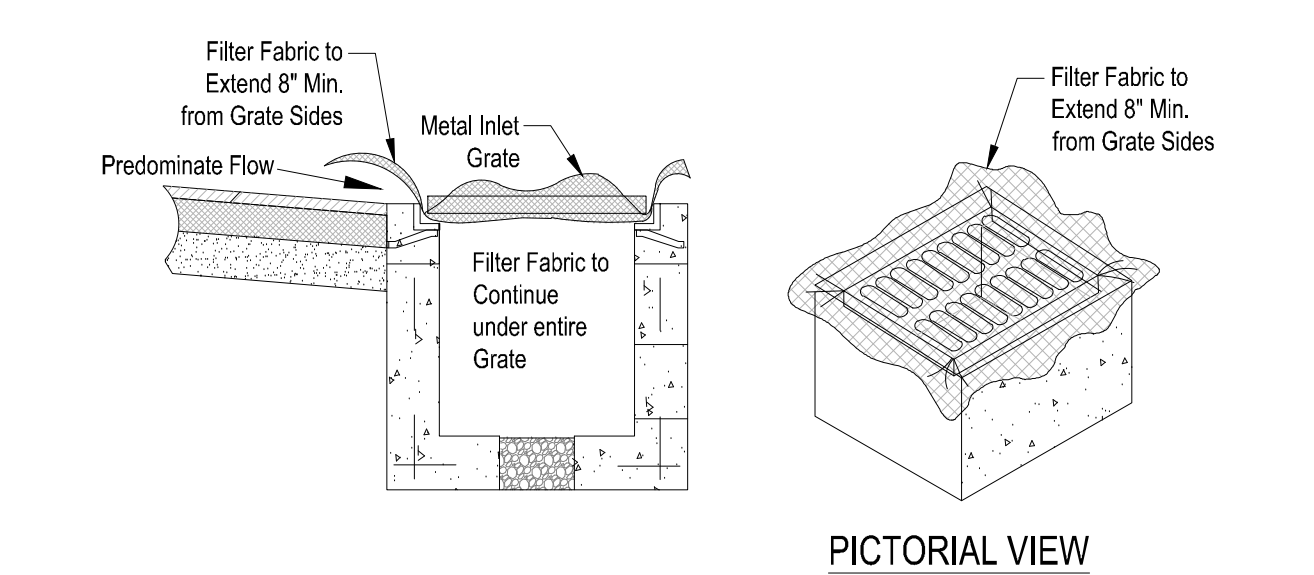
Name	Title	Company Name, Address and Phone Number	Responsible Items	Date



**SOIL TRACKING PREVENTION DEVICE**

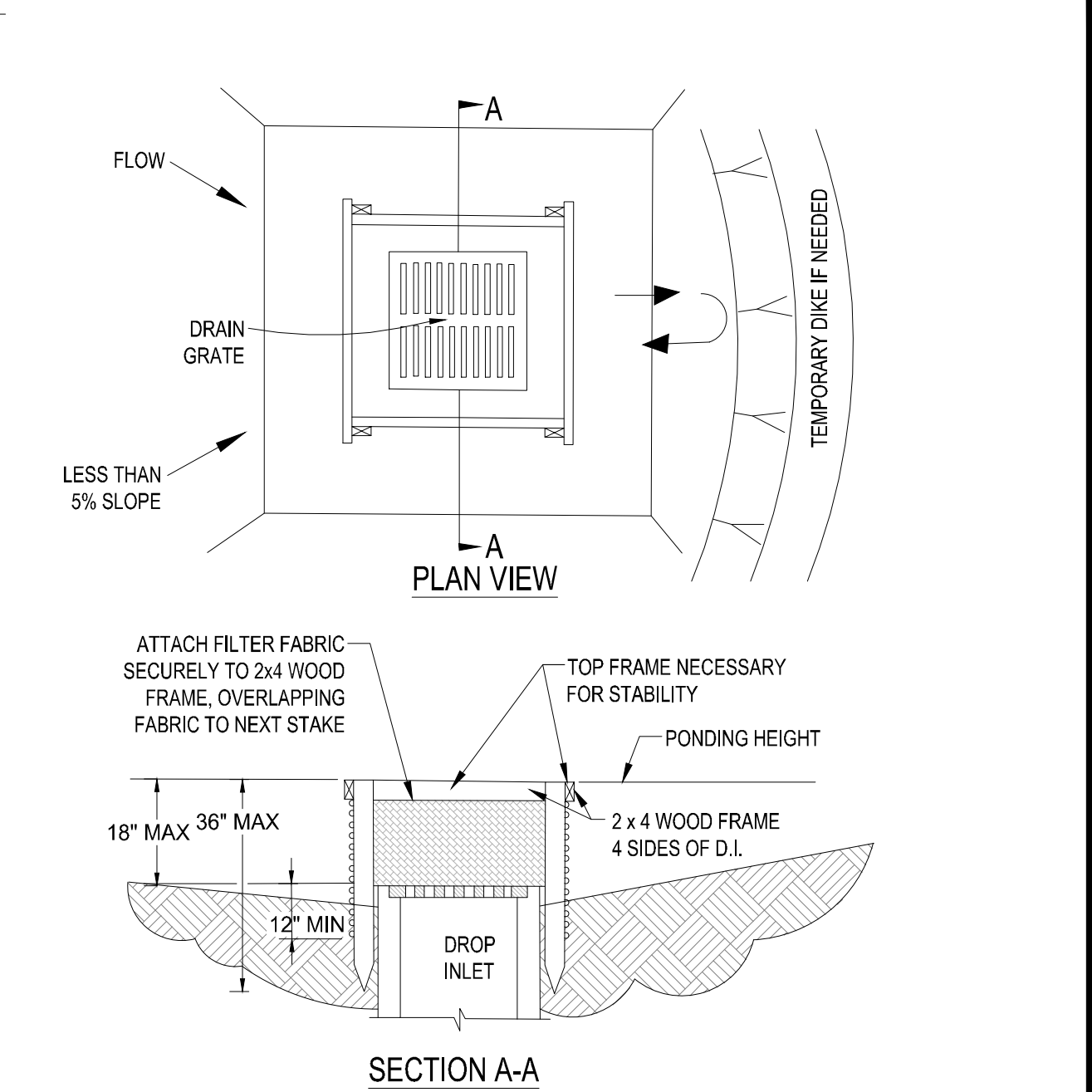


**SILT FENCE BARRIER INSTALLATION**

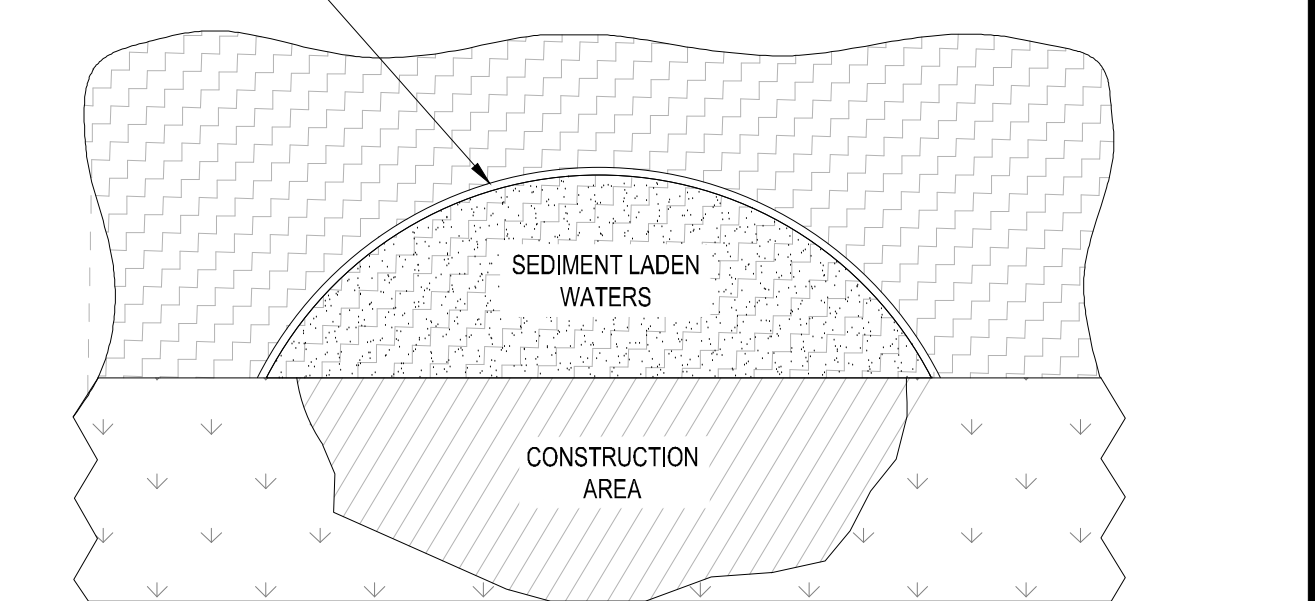
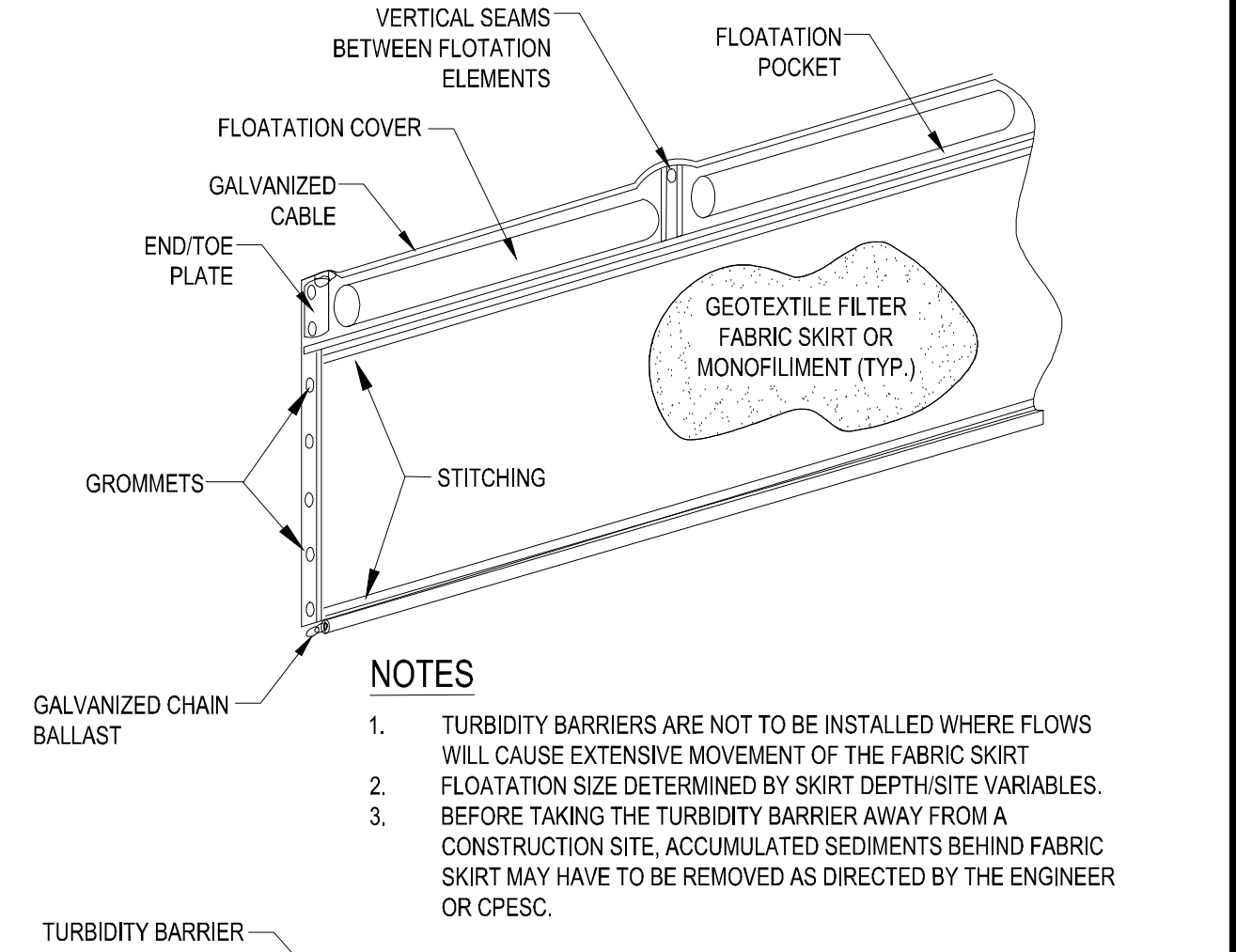


**GENERAL NOTES:**  
 1. THIS INLET IS DESIGNED WITH FILTER FABRIC PROTRUDING 8" FROM SIDES FOR GRIPPING WHEN SEDIMENT NEEDS TO BE CLEARED AFTER FINAL CONSTRUCTION.  
 2. FILTER FABRIC TO BE INSTALLED AND TRIMMED BEFORE GRATE IS INST.

**FILTER FABRIC DETAIL**



**SILT FENCE DROP INLET SEDIMENT BARRIER**



**TURBIDITY BARRIER**

**ELECTRONICALLY SIGNED & SEALED**  
 Darren C. Guettler, State of Florida  
 Professional Engineer, License No. 74637  
 This item has been electronically signed and sealed by Darren C. Guettler on the date indicated here using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.



KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG  
 811  
 www.call811.com



REVISIONS:	BY:	DATE:	COMMENT:

PROJECT: **SAN JUAN DIEGO MULTI-PURPOSE BUILDING**

CLIENT: **BISHOP OF DIOCESE OF PALM BEACH CITY OF FORT PIERCE**



**DARREN GUETTLER, PE**  
 FLORIDA LICENSE No. 74637  
 6/17/25

PROJECT No.: 25-1003  
 DRAWN BY: MF  
 CHECKED BY: XXX  
 DATE: 06/16/2025  
 CAD ID: 25-1003 STORMWATER POLLUTION PREVENTION PLAN  
 SHEET TITLE:

**STORMWATER POLLUTION PREVENTION PLAN**

SHEET NUMBER: **07**

# TRAFFIC STATEMENT

**SAN JUAN DIEGO**  
Site Plan Amendment  
July 2025

To:  
Planning Department

Prepared by:



**Redtail DG**  
100 S. 2nd Street



**Redtail DG**  
100 S. 2nd Street  
Fort Pierce, Florida 34950  
772.742.1555  
www.redtaildg.com  
todm@redtaildg.com

Dear Members of the Planning & Zoning Department,

The proposed amendment does not change the number of seatings which are used in calculating the generated traffic, and the multipurpose use will not generate any additional activities when the service is ongoing, so there will be no additional traffic generated.

Sincerely,

A handwritten signature in black ink that reads "Vlada". The signature is written in a cursive, flowing style.

Sincerely,  
Vlada Peterka  
Redtail DG

Project Name	Type
Catalog #	Date

# VIENTO AREA LUMINARE



### APPLICATIONS

- Area Lighting
- Retail Spaces
- Street Lighting
- Auto Dealerships & Sales Lots
- Parks & Recreation Areas
- Safety & Security

### APPROVALS

- ETL Listed
- Complies with UL 1598 and CSA C22.2
- Suitable for wet locations
- 3G Vibration Rated
- IP66 Rated
- BAA Compliant
- RoHS Compliant
- ATAL Tested [www.ata-labs.com](http://www.ata-labs.com)
- Select models DLC Premium. For a complete list of DLC Premium products visit: [www.xtralight.com/dlc](http://www.xtralight.com/dlc) or [qpl.designlights.org](http://qpl.designlights.org)



### FEATURES

- Lumen packages ranging from 5000L to 55000L.
- Outstanding photometric performance results in excellent uniformity, optimal pole spacing and lower power density.
- Low profile architectural design offers a contemporary appearance with excellent light output.
- Enhanced foot candles delivered utilizing multiple optical options.
- Full cut-off optics with zero uplight.

### CONSTRUCTION

- Thermal management achieved with a one-piece die-cast aluminum has integral heat sink fins and a hinged electrical compartment.
- Thermoset powder coat, available in bronze, white or custom colors (consult factory)
- IP66, precision molded, polycarbonate optics providing impact resistance and UV stabilization.
- Upgraded door to provide better protection from water intrusion.

### ELECTRICAL

- Voltage: 120-277V or 347-480V AC input
- Driver: Class 1, constant current, calibrated to lumen package (0-10V dimming standard)
- Surge Protection: 20kA standard.
- Operating temperature: -40°C to +50°C (-40°F to +122°F)

### CONTROLS

- Programmable smart sensor and twist-lock receptacle control options available.

### MOUNTING

- Integral arm with key hole slot facilitates quick and easy installation.
- Adjustable slip fitter, round pole adaptor, universal pole adaptor, and other mounting options available as accessories.

### WARRANTY

- Backed by XtraLight's limited 5-year warranty.

### ORDER LOGIC

**SAMPLE CATALOG NUMBER: VNTL-55000L-50K-DIM-5SN-BZ**

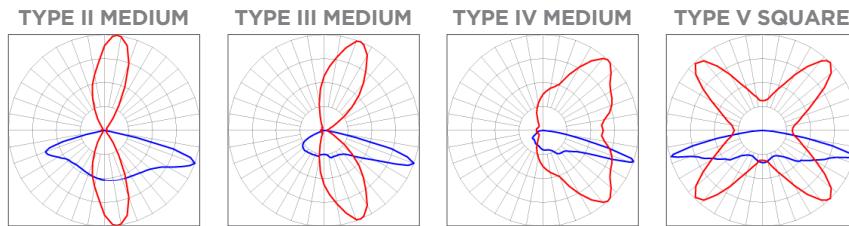
SIZE	MODEL	CCT <sup>1</sup>	DRIVER	OPTICS	ORIENTATION	FINISH	CONTROLS	OPTIONS										
S Small	<b>5000L</b>	<b>30K</b> 3000K	<b>DIM</b> Dim 0-10V, 120-277V	<b>2M</b> Type II Medium	<b>N</b> Normal (forward)	<b>BZ</b> Bronze	<b>XX</b> No Fixture Controls	<b>HSS</b> House-side Shield										
	<b>10000L</b>	<b>40K</b> 4000K							<b>ASF<sup>6</sup></b> Adjustable Slip Fitter Cord Whip									
	<b>15000L</b>	<b>50K</b> 5000K																
M Medium	<b>15000L</b>	<b>HVD</b> to off	<b>DIMO<sup>2</sup></b> Dim 0-10V, 120-277V	<b>3M</b> Type III Medium	<b>L</b> Left	<b>WH</b> White	<b>IS3<sup>5</sup></b> IR Smart Sensor, 20'H/40'D	<b>3'</b> NEMA 3-Pin Twist-Lock Receptacle										
	<b>20000L</b>								<b>4M</b> Type IV Medium	<b>R</b> Right	<b>IS7<sup>5</sup></b> IR Smart Sensor, 40'H/100'D	<b>5'</b> NEMA 5-Pin Twist-Lock Receptacle						
	<b>25000L</b>												<b>5S<sup>3</sup></b> Type V Square	<b>BS3<sup>5</sup></b> Bluetooth Smart Sensor, 20'H/40'D	<b>7'</b> NEMA 7-Pin Twist-Lock Receptacle			
	<b>30000L</b>															<b>BS7<sup>5</sup></b> Bluetooth Smart Sensor, 40'H/100'D	<b>CAS</b> Casambi Controlled	<b>SP<sup>8</sup></b> Selectable Power
	<b>35000L</b>																	
L Large	<b>30000L</b>	<b>5S<sup>3</sup></b> Type V Square	<b>5S<sup>3</sup></b> Type V Square	<b>5S<sup>3</sup></b> Type V Square	<b>CC<sup>4</sup></b> Custom Color	<b>IS7<sup>5</sup></b> IR Smart Sensor, 40'H/100'D	<b>BS3<sup>5</sup></b> Bluetooth Smart Sensor, 20'H/40'D	<b>7'</b> NEMA 7-Pin Twist-Lock Receptacle										
	<b>35000L</b>								<b>CUS</b> Custom Sensor (Factory Installed)	<b>SWX</b> Sensorworx Controlled	<b>CUS</b> Custom Sensor (Factory Installed)							
	<b>40000L</b>											<b>SYN</b> Synapse Controlled	<b>CUS</b> Custom Sensor (Factory Installed)					
	<b>45000L</b>													<b>SWX</b> Sensorworx Controlled	<b>CUS</b> Custom Sensor (Factory Installed)			
	<b>50000L</b>															<b>CUS</b> Custom Sensor (Factory Installed)	<b>CUS</b> Custom Sensor (Factory Installed)	
<b>55000L</b>	<b>CUS</b> Custom Sensor (Factory Installed)	<b>CUS</b> Custom Sensor (Factory Installed)	<b>CUS</b> Custom Sensor (Factory Installed)															

1. Custom CCT available from 2700K - 6500K.
2. Some models may not be available with **DIMO** (Dim to off).
3. The **5S** (Type V Square) optic option is not available with **L** (Left) or **R** (Right) orientations.
4. Provide the desired RAL number for custom colors.
5. Sensor integrated in bottom fixture. (See dimensional drawing)
6. The **ASF** (Adjustable Slip Fitter Cord Whip) must be paired with the Adjustable Slip Fitter accessory (sold separately).
7. Photocell ordered separately. (See page 6)
8. See page 3 for selectable power table.

# VIENTO AREA LUMINARE

## VNT

### ISO LINES



• Red: Horizontal / Blue: Vertical

### PHOTOMETRIC DATA

#### STANDARD

SIZE	MODEL	OPTICS	3000K		4000K		5000K		WATTAGE	BUG RATING
			LUMENS	EFFICACY	LUMENS	EFFICACY	LUMENS	EFFICACY		
VNTS SMALL	5000L	2M	5418	151	5644	156	5559	154	36	B2-U0-G2
		3M	5113	142	5326	148	5246	146		B2-U0-G3
		4M	5054	140	5265	146	5186	144		B1-U0-G3
		5S	5172	144	5387	149	5306	147		B3-U0-G2
	10000L	2M	11533	152	12014	158	11834	156	76	B3-U0-G3
		3M	10855	143	11307	149	11137	147		B2-U0-G2
		4M	10765	142	11214	148	11046	145		B2-U0-G4
		5S	11005	145	11464	151	11292	149		B4-U0-G3
	15000L	2M	15802	145	16460	152	16213	149	109	B3-U0-G3
		3M	15022	138	15648	144	15413	141		B3-U0-G3
		4M	14911	137	15532	143	15299	140		B3-U0-G5
		5S	15252	140	15887	146	15649	144		B4-U0-G3
	18000L	2M	18315	142	19078	147	18792	146	129	B3-U0-G3
		3M	17206	133	17923	139	17654	137		B3-U0-G3
		4M	17270	134	17990	139	17720	137		B3-U0-G5
		5S	17461	135	18189	141	17916	139		B4-U0-G3
VNTM MEDIUM	15000L	2M	15802	146	16460	152	16213	150	108	B3-U0-G3
		3M	15022	139	15648	145	15413	143		B3-U0-G3
		4M	14911	138	15532	143	15299	142		B3-U0-G5
		5S	15252	141	15887	146	15649	145		B4-U0-G3
	20000L	2M	23067	152	24028	158	23668	156	152	B3-U0-G3
		3M	21709	143	22614	149	22275	147		B3-U0-G3
		4M	21531	142	22428	148	22092	145		B3-U0-G5
		5S	22011	145	22928	151	22584	149		B4-U0-G3
	25000L	2M	25861	144	26939	149	26535	147	180	B4-U0-G4
		3M	23574	131	24556	136	24188	134		B4-U0-G3
		4M	23645	131	24630	136	24261	135		B3-U0-G4
		5S	24347	135	25362	141	24981	139		B5-U0-G3
	30000L	2M	31340	144	32646	151	32156	148	217	B4-U0-G4
		3M	29674	137	30910	142	30446	140		B4-U0-G4
		4M	29881	138	31126	144	30659	141		B4-U0-G5
		5S	30148	139	31404	145	30933	143		B5-U0-G4
35000L	2M	35492	143	36971	148	36416	146	249	B4-U0-G4	
	3M	33668	135	35071	141	34545	139		B4-U0-G3	
	4M	33458	134	34852	140	34329	138		B4-U0-G5	
	5S	34451	138	35886	144	35348	142		B5-U0-G4	

• Some Photometric Data is extrapolated and subject to change.

# VIENTO AREA LUMINARE

## VNT

### PHOTOMETRIC DATA

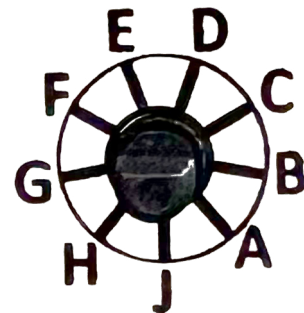
#### STANDARD

SIZE	MODEL	OPTICS	3000K		4000K		5000K		WATTAGE	BUG RATING
			LUMENS	EFFICACY	LUMENS	EFFICACY	LUMENS	EFFICACY		
VNTL LARGE	30000L	2M	31340	144	32646	151	32156	148	217	B4-U0-G4
		3M	29674	137	30910	142	30446	140		B4-U0-G4
		4M	29881	138	31126	144	30659	141		B4-U0-G5
		5S	30148	139	31404	145	30933	143		B5-U0-G4
	35000L	2M	35492	143	36971	148	36416	146	249	B4-U0-G4
		3M	33668	135	35071	141	34545	139		B4-U0-G3
		4M	33458	134	34852	140	34329	138		B4-U0-G5
		5S	34451	138	35886	144	35348	142		B5-U0-G4
	40000L	2M	40952	146	42658	152	42018	150	280	B5-U0-G4
		3M	38022	136	39606	141	39012	139		B5-U0-G4
		4M	38370	137	39969	143	39369	141		B4-U0-G5
		5S	39267	140	40903	146	40289	144		B5-U0-G5
	45000L	2M	46738	143	48685	150	47955	147	326	B5-U0-G4
		3M	43393	133	45201	139	44523	137		B5-U0-G4
		4M	43522	134	45335	139	44655	137		B4-U0-G5
		5S	44814	137	46681	143	45981	141		B5-U0-G5
	50000L	2M	51723	143	53878	149	53070	147	361	B5-U0-G5
		3M	47148	131	49112	136	48375	134		B5-U0-G5
		4M	47292	131	49263	136	48524	134		B4-U0-G5
		5S	48694	135	50723	141	49962	138		B5-U0-G5
	55000L	2M	54761	141	57043	147	56187	145	388	B5-U0-G5
		3M	51948	134	54112	139	53300	137		B5-U0-G5
		4M	52141	134	54314	140	53499	138		B4-U0-G5
		5S	53689	138	55926	144	55087	142		B5-U0-G5

- Some Photometric Data is extrapolated and subject to change.

### SELECTABLE POWER (OPTION)

OPTION	SWITCH POSITION	OUTPUT PERCENTAGE	SWITCH POSITION	OUTPUT PERCENTAGE
SP	A	75%	F (DEFAULT)	100%
	B	65%	G	90%
	C	55%	H	85%
	D	50%	J	80%
	E	45%	Switch is located in driver compartment	



# VIENTO AREA LUMINARE

## VNT

### DIMENSIONAL DATA

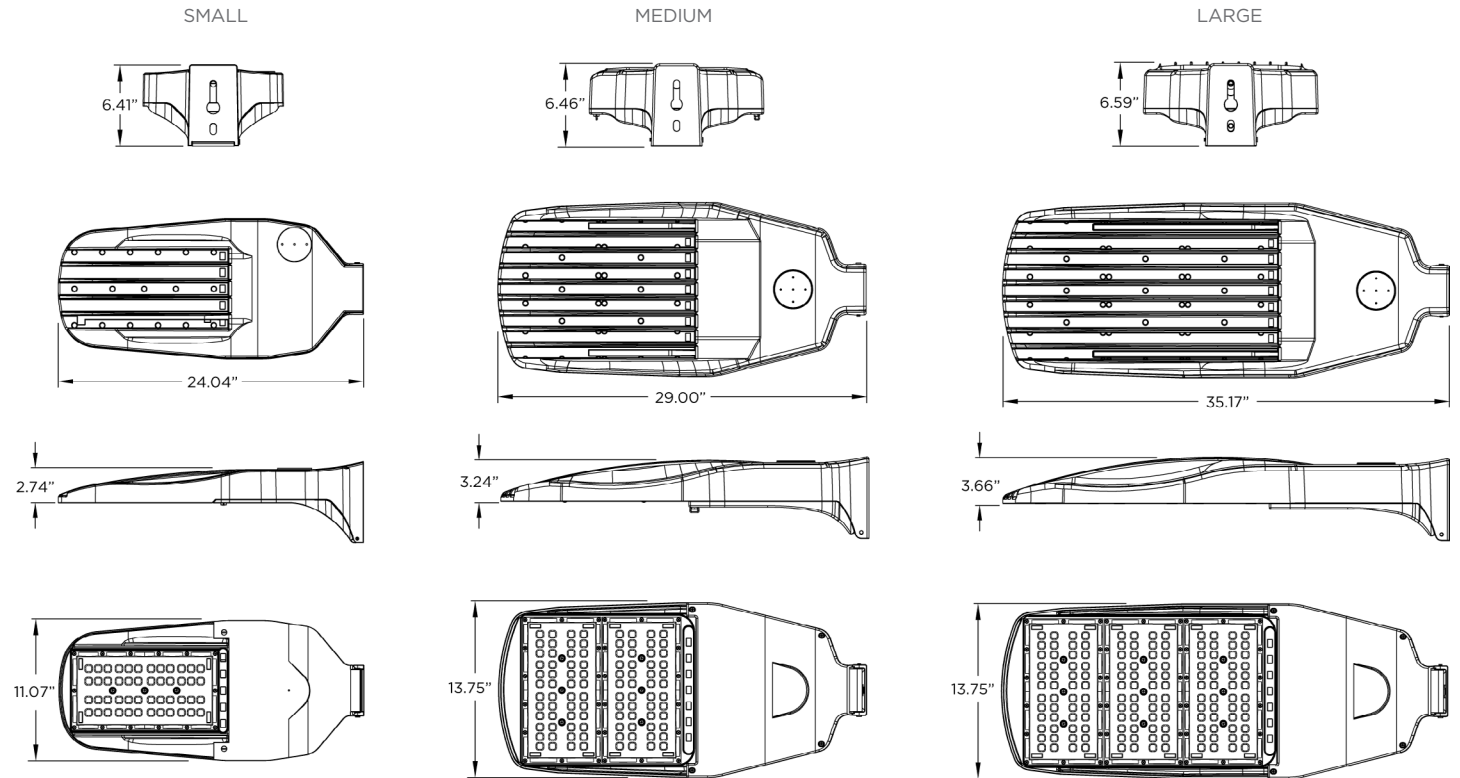
#### STANDARD SIZES

WEIGHT:

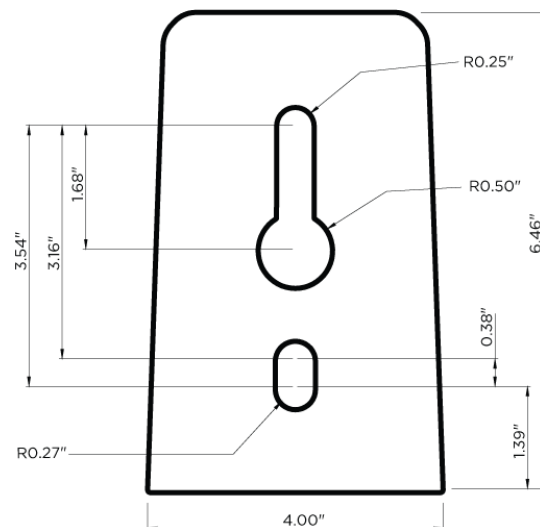
Small = 11 LB

Medium = 29 LB

Large = 39 LB



### MOUNTING





- Dimensional Data shows the end, top, side, and bottom views for all standard sizes.
- All weights are rounded up to the nearest 0.5 lb.


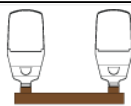
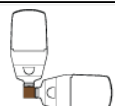

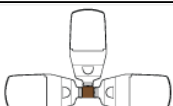

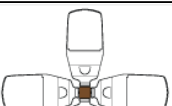
# VIENTO AREA LUMINARE

## VNT

### ACCESSORIES (SOLD SEPARATELY)

<p><b>VNT-ASF</b> <input type="text"/></p> <p><b>FINISH</b></p> <p><b>BZ</b> Bronze <b>WH</b> White <b>CC</b> Custom Color</p>	<p><b>DESCRIPTION</b></p> <ul style="list-style-type: none"> <li>Adjustable Slip Fitter</li> <li>Must select (ASF) in the order logic under the Options section.</li> <li>180° range of motion in 10° increments.</li> <li>EPA: 0.127 sq. ft. - 6.0 LB</li> <li>Viento must not be tilted more than 20° when using ASF</li> </ul>	
<p><b>VNT-RPA</b> <input type="text"/></p> <p><b>FINISH</b></p> <p><b>BZ</b> Bronze <b>WH</b> White <b>CC</b> Custom Color</p>	<p><b>DESCRIPTION</b></p> <ul style="list-style-type: none"> <li>Round Pole Adaptor</li> <li>Allows up to four Viento fixtures to be mounted to one pole.</li> <li>3" to 5" Diameter</li> <li>EPA: 0.03 sq. ft. - 0.75 LB</li> </ul>	
<p><b>VNT-WB</b> <input type="text"/></p> <p><b>FINISH</b></p> <p><b>BZ</b> Bronze <b>WH</b> White <b>CC</b> Custom Color</p>	<p><b>DESCRIPTION</b></p> <ul style="list-style-type: none"> <li>Wall Bracket</li> </ul>	
<p><b>VNT-TWB</b> <input type="text"/></p> <p><b>FINISH</b></p> <p><b>BZ</b> Bronze <b>WH</b> White <b>CC</b> Custom Color</p>	<p><b>DESCRIPTION</b></p> <ul style="list-style-type: none"> <li>Tenon Wall Bracket Horizontal Mount</li> <li>8" Square Plate - 2 3/8" OD</li> <li>Must be ordered with the Adjustable Slip Fitter (ASF) accessory.</li> </ul>	

### EPA RATINGS

	SINGLE	DUAL SSA	TWO AT 90	TWO AT 180	THREE AT 90	THREE AT 120	FOUR AT 90
							
<b>SMALL</b>	0.74 sq. ft.	1.37 sq. ft.	1.13 sq. ft.	1.27 sq. ft.	1.27 sq. ft.	1.26 sq. ft.	1.27 sq. ft.
<b>MEDIUM</b>	1.04 sq. ft.	1.50 sq. ft.	1.63 sq. ft.	1.86 sq. ft.	1.87 sq. ft.	1.85 sq. ft.	1.87 sq. ft.
<b>LARGE</b>	1.27 sq. ft.	1.54 sq. ft.	2.02 sq. ft.	2.34 sq. ft.	2.35 sq. ft.	2.27 sq. ft.	2.35 sq. ft.

- EPA calculated with the following:
  - 4" square pole (Single, Two At 90, Two At 180, Three At 90, Four At 90)
  - 4" round pole (Three At 120)
  - VNT-SSA (Dual SSA)

# VIENTO AREA LUMINARE

## VNT

### ACCESSORIES (SOLD SEPARATELY)

VNT-SSA

FINISH	
<b>BZ</b>	Bronze
<b>WH</b>	White
<b>CC</b>	Custom Color

#### DESCRIPTION

- Sholder-to-Sholder Adaptor
- EPA: 0.90 sq. ft. - 27 LB



VNT-TMA

POLE	FINISH	SIZE	MOUNTING
<b>S</b> Square	<b>BZ</b> Bronze	<b>4</b> 4"	<b>01</b> 1 Fixture
<b>R</b> Round	<b>WH</b> White	<b>5</b> 5"	<b>28</b> 2 Fixtures at 180°
		<b>6</b> 6"	<b>29</b> 2 Fixtures at 90°
			<b>39</b> 3 Fixtures at 90°
			<b>32</b> 3 Fixtures at 180°
			<b>49</b> 4 Fixtures at 90°

#### DESCRIPTION

- Tenon Mount Adaptor
- Dimensions (S): 4"/5"/6"
- Dimensions (R): 4"/5" DIA
- EPA: 0.4 sq. ft. 10 - 16 LB



VNT-UPM

POLE		FINISH	
<b>SQ</b> Square		<b>BZ</b> Bronze	
<b>RD</b> Round		<b>WH</b> White	

#### DESCRIPTION

- Universal Pole Mount Adaptor



#### DIMMING CONTROL

- MS5559** Scheduled Dimming, Standard Voltage
- MS5560** Scheduled Dimming, High Voltage
- MS5561** Constant All-Night Dimming, Standard Voltage
- MS5562** Constant All-Night Dimming, High Voltage

#### DESCRIPTION

- Dimming Control
- Standard Voltage: 105-305 VAC
- High Voltage: 312-530 VAC
- Frequency: 50/60 Hz

#### SHORTING CAP

- MS1827** Shorting Cap

#### DESCRIPTION

- Shorting Cap
- Shorting cap required if no other controls are being used in fixture receptacle.

#### PHOTOCELL STANDARD ON/OFF

- MS0192** 120/277
- MS5088** 480v

