

Prepared by and return to:  
Christopher C. Campione, Esq.  
Campione, Campione & Leonard, P.A.  
4445 Highway A1A Suite 110  
Vero Beach, FL 32963  
File Number: 23-375.v

**OE RECORDED DOCUMENT**  
Official Records Book 5175 Page 2901 of the Public  
Records of St. Lucie County, Florida  
Date: July 10, 2024 Time: 11:55 a.m.  
Documentary stamps: \$11,084.50 Int. Tax:0.00  
CFN: 5360354 Page 1 of 5

[Space Above This Line For Recording Data]

## Special Warranty Deed

**This Special Warranty Deed** made this 8th day of July, 2024 between B. Adam Berlin, a/k/a Brian Adam Berlin, individually and as Trustee of the B. Adam Berlin 2009 Irrevocable Trust dated December 29, 2009; and B. Adam Berlin, a/k/a Brian Adam Berlin, individually and as Trustee of the B. Adam Berlin Revocable Trust dated 4/11/07; Susan Berlin Green, a/k/a Susan Esther Berlin, individually and as Trustee of the Susan Berlin Green 2009 Irrevocable Trust dated December 29, 2009; and Charles L. LaFevers, Jr., individually and as Trustee of the Charles L. LaFevers, Jr., Trust dated 1/6/95 whose post office address is P.O. Box 1002, Vero Beach, FL 32961, Grantor, and Duff Real Estate, LLC, a Mississippi limited liability company whose post office address is 800 US Hwy. 98, Columbia, MS 39429, Grantee:

(Whenever used herein the terms grantor and grantee include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

**Witnesseth**, that said grantor, for and in consideration of the sum TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, subject to those matters as set forth on Exhibit A attached hereto, situate, lying and being in Saint Lucie County, Florida, to-wit:

**The West 171.47 feet of Lot 9 in the SE 1/4 and that part of Lots 10 and 15, lying East of Turnpike Frontage Road and that part of the West 171.47 feet of Lot 16 North of Okeechobee Road and East of Turnpike Frontage Road, Model Land Co's Subdivision, according to the Plat there of recorded in Plat Book 2, Page 10, Public Records of St. Lucie County, Florida. Less as in O.R. Book 630, Page 1633, Public Records of St. Lucie County, Florida.**

**Parcel Identification Number: 2323-501-0061-000-1**

**Together** with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**To Have and to Hold**, the same in fee simple forever.

**And** the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under grantors.


**In Witness Whereof**, grantor has hereunto set grantor's hand and seal the day and year first above written.


Neither Grantor nor anyone dependent on Grantor resides on the property described above or property adjoining to the property described above, and the property does not constitute the homestead of Grantor within the meaning of Article X of the Florida Constitution. Grantor hereby represents that the property described above is unimproved vacant land.

**Warranty Deed**  
**Page Two**

**In Witness Whereof**, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

  
Witness Name: Christopher C. Campione  
Witness Address: 4445 Highway A1A, Ste. 110  
Vero Beach, FL 32963

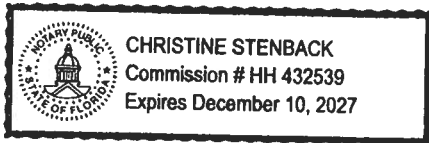
  
B. Adam Berlin, a/k/a Brian Adam Berlin,  
individually, as Trustee of the B. Adam  
Berlin 2009 Irrevocable Trust dated December  
29, 2009, as Trustee of the B. Adam Berlin  
Revocable Trust dated 4/11/07

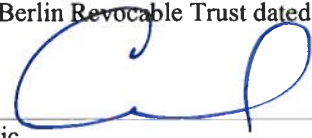
  
Witness Name: Christine Stenback  
Witness Address: 4445 Highway A1A, Ste. 110  
Vero Beach, FL 32963

State of Florida  
County of Indian River

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization, this 3<sup>rd</sup> day of July, 2024 by B. Adam Berlin, a/k/a Brian Adam Berlin, individually, as Trustee of the B. Adam Berlin 2009 Irrevocable Trust dated December 29, 2009, and as Trustee of the B. Adam Berlin Revocable Trust dated 4/11/07, who  is personally known or  has produced a driver's license as identification.

[Notary Seal]



  
\_\_\_\_\_  
Notary Public

Printed Name: \_\_\_\_\_

My Commission Expires: \_\_\_\_\_

**Warranty Deed  
Page Three**

**In Witness Whereof**, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

● Tyler Stokes  
Witness Name: Tyler Stokes  
Witness Address: 10735 Kingston Pike  
Knoxville, TN 37934

● Susan Berlin Green  
Susan Berlin Green, a/k/a Susan Esther Berlin,  
Individually and as Trustee of the Susan Berlin  
Green 2009 Irrevocable Trust dated December  
29, 2009

● Farimah Behzadi  
Witness Name: Farimah Behzadi  
Witness Address: 10735 Kingston Pike  
Knoxville TN 37934

State of TN  
County of KNOX

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization, this 8 day of July, 2024 by Susan Berlin Green, a/k/a Susan Esther Berlin, individually and as Trustee of the Susan Berlin Green 2009 Irrevocable Trust dated December 29, 2009, who  is personally known or  has produced a driver's license as identification.

[Notary Seal]





● Virginia L Sharp  
Notary Public  
Printed Name: Virginia L. Sharp  
My Commission Expires: 11-24-2024


**Warranty Deed  
Page Four**

**In Witness Whereof**, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

  
Witness Name: BORYS KOPCZYNSKI  
Witness Address: 362 N PARK AVE  
GLENCOE, IL 60022

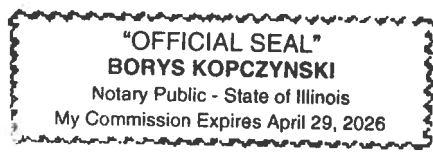
  
Charles L. LaFevers, Jr., individually and as  
Trustee of the Charles L. LaFevers, Jr. Trust  
Dated 1/6/95


  
Witness Name: SADIA SIDDIQUI  
Witness Address: 362 PARK AVE  
GLENCOE, IL - 60022

State of ILLINOIS  
County of DUKE

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization, this 5<sup>th</sup> day of July, 2024 by Charles L. LaFevers, Jr., individually and as Trustee of the Charles L. LaFevers, Jr., Trust dated 1/6/95, who  is personally known or  has produced a driver's license as identification.

[Notary Seal]



  
Notary Public  
Printed Name: BORYS KOPCZYNSKI  
My Commission Expires: 7-29-26

## **Exhibit "A"**

### **THIS CONVEYANCE IS SUBJECT TO THE FOLLOWING:**

1. Subject to Easements as set forth in Order of Taking recorded in O.R. Book 3867, Page 2021, Public Records of Saint Lucie County, Florida.
2. Easement Grant recorded in Deed Book 244, Page 597, Public Records of Saint Lucie County, Florida.
3. Easement in favor of the City of Fort Pierce recorded in O.R. Book 1109, Page 349, as affected by Subordination Agreement for Temporary Easements recorded in O.R. Book 3985, Page 2581, Public Records of Saint Lucie County, Florida.
4. All matters contained on the Plat of Model Land Co's Subdivision, according to the Plat thereof recorded in Plat Book 2, Page 10, Public Records of St. Lucie County, Florida.

**1 TITLE DESCRIPTION**

THE WEST 171.47 FEET OF LOT 9 IN THE SE 1/4 AND THAT PART OF LOTS 10 AND 15, LYING EAST OF TURNPIKE FRONTAGE ROAD AND THAT PART OF THE WEST 171.47 FEET OF LOT 16 NORTH OF OKEECHOBEE ROAD AND EAST OF TURNPIKE FRONTAGE ROAD, MODEL LAND CO'S SUBDIVISION, ACCORDING TO THE PLAT THERE OF RECORDED IN PLAT BOOK 2 PAGE 10, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, LESS AS IN O.R. BOOK 630, PAGE 1633, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

THE LAND SHOWN IN THIS SURVEY IS THE SAME AS THAT DESCRIBED IN TITLE COMMITMENT PREPARED BY OLD REPUBLIC NATIONAL 1111-E INSURANCE COMPANY FILE NO: 1449467 WITH AN EFFECTIVE DATE OF SEPTEMBER 25, 2023 AT 11:00 PM

**2 TITLE INFORMATION**

THE TITLE DESCRIPTION AND SCHEDULE B ITEMS HEREON ARE FROM TITLE COMMITMENT PREPARED BY OLD REPUBLIC NATIONAL 1111-E INSURANCE COMPANY FILE NO: 1449467 WITH AN EFFECTIVE DATE OF SEPTEMBER 25, 2023 AT 11:00 PM

**4 SURVEYOR CERTIFICATION**

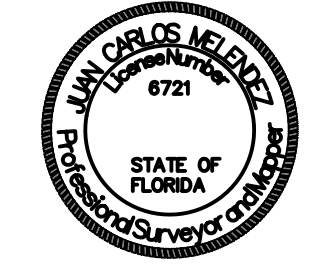
To: CDS - COMMERCIAL DUE DILIGENCE SERVICES; OLD REPUBLIC NATIONAL 1111-E INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA / NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 7(A), 7(B)(1), 7(R), 8, 9, 13, 14 (DISTANCE TO NEAREST RIGHT OF WAY ALONG FRONTAGE ROAD), 16, 17, 19 AND 20 CAD FILE, OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 10/23/2023.

DATE: \_\_\_\_\_ (SIGNED) \_\_\_\_\_ (SEAL)  
REGISTRATION NO. LS8721

Date of Plat or Map: 12/11/23

JUAN C. MELENDEZ  
8865 NW 102ND CT.  
DORAL FL 33178  
ORTHOTEK@OTKMAP.COM



**5 FLOOD INFORMATION**

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 12111C0167J, WHICH BEARS AN EFFECTIVE DATE OF 2/15/2012 4:00 PM AND IS LOCATED IN NOT A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY. NO LOMAs WERE NOTED ON THE PROPERTY.

FLOOD ZONE X AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

**12 PARKING INFORMATION**

PARKING ON SITE

HANDICAP PARKING = N/A  
REGULAR PARKING = N/A  
TOTAL PARKING = N/A

**6 CEMETERY**

THERE IS NO VISIBLE EVIDENCE OF CEMETERIES ON THE SUBJECT PROPERTY AT THE TIME OF SURVEY.

**14 BUILDING AREA**

MAIN STRUCTURE AT GROUND LEVEL N/A

**15 BUILDING HEIGHT**

MAIN STRUCTURE: N/A

**3 SCHEDULE 'B' ITEMS**

NOTES CORRESPONDING TO SCHEDULE "B":

- 1 - ANY DEFECT, LIEN, ENCUMBRANCE, ADVERSE CLAIM, OR OTHER MATTER THAT APPEARS FOR THE FIRST TIME IN THE PUBLIC RECORDS OR IS CREATED, ATTACHES, OR IS DISCLOSED BETWEEN THE COMMITMENT DATE AND THE DATE ON WHICH ALL OF THE SCHEDULE B, PART 1 REQUIREMENTS ARE MET. **NOT SURVEY RELATED-NOT PLOTTABLE**
- 2 - GENERAL OR SPECIAL TAXES AND ASSESSMENTS REQUIRED TO BE PAID IN THE YEAR 2023 AND SUBSEQUENT YEARS. **NOT PLOTTABLE**
  - b. RIGHTS OR CLAIMS OF PARTIES IN POSSESSION NOT RECORDED IN THE PUBLIC RECORDS.
  - c. ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION, OR ADVERSE CIRCUMSTANCE THAT WOULD BE DISCLOSED BY AN INSPECTION OR AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND AND INSPECTION OF THE LAND.
  - d. EASEMENTS OR CLAIMS OF EASEMENTS NOT RECORDED IN THE PUBLIC RECORDS.
  - e. ANY LIEN, OR RIGHT TO A LIEN, FOR SERVICES, LABOR OR MATERIAL FURNISHED, IMPOSED BY LAW AND NOT RECORDED IN THE PUBLIC RECORDS.
- 3 - ANY OWNER'S POLICY ISSUED PURSUANT HERETO WILL CONTAIN UNDER SCHEDULE B THE FOLLOWING EXCEPTION: ANY ADVERSE OWNERSHIP CLAIM BY THE STATE OF FLORIDA BY RIGHT OF SOVEREIGNTY TO ANY PORTION OF THE LAND INSURED HEREUNDER, INCLUDING SUBMERGED, FILLED AND ARTIFICIALLY EXPOSED LANDS, AND LANDS ACCRETTED TO SUCH LANDS. **NOT SURVEY RELATED-NOT PLOTTABLE**
- 4 - ANY LIEN PROVIDED BY COUNTY ORDINANCE OR BY CHAPTER 159, F.S., IN FAVOR OF ANY CITY, TOWN, VILLAGE OR PORT AUTHORITY, FOR UNPAID SERVICE CHARGES FOR SERVICES BY ANY WATER SYSTEMS, SEWER SYSTEMS OR GAS SYSTEMS SERVING THE LAND DESCRIBED HEREIN; AND ANY LIEN FOR WASTE FEES IN FAVOR OF ANY COUNTY OR MUNICIPALITY. **NOT SURVEY RELATED-NOT PLOTTABLE**
- 5 - RIGHTS OF THE LESSEES UNDER UNRECORDED LEASES. **NOT SURVEY RELATED-NOT PLOTTABLE**
- 6 - SUBJECT TO EASEMENTS AS SET FORTH IN ORDER OF TAKING RECORDED IN O.R. BOOK 3867, PAGE 2021, PUBLIC RECORDS OF SAINT LUCIE COUNTY, FLORIDA. **SHOWN ON THE SURVEY**
- 7 - EASEMENT IN FAVOR OF FORT PIERCE UTILITIES AUTHORITY RECORDED IN O.R. BOOK 635, PAGE 103, SUBORDINATION OF CITY UTILITY INTERESTS RECORDED IN O.R. BOOK 3840, PAGE 140, PUBLIC RECORDS OF SAINT LUCIE COUNTY, FLORIDA. **DOES NOT AFFECT**
- 8 - EASEMENT GRANT RECORDED IN DEED BOOK 244, PAGE 597, PUBLIC RECORDS OF SAINT LUCIE COUNTY, FLORIDA. **AFFECTS-NOT PLOTTABLE**
- 9 - EASEMENT IN FAVOR OF THE CITY OF FORT PIERCE RECORDED IN O.R. BOOK 1109, PAGE 349, AS AFFECTED BY SUBORDINATION AGREEMENT FOR TEMPORARY EASEMENTS RECORDED IN O.R. BOOK 3985, PAGE 2581, PUBLIC RECORDS OF SAINT LUCIE COUNTY, FLORIDA. **SHOWN ON THE SURVEY**
- 10 - EASEMENT FOR RIGHT OF WAY PURPOSES SET FORTH IN ORDER OF TAKING RECORDED IN COUNTY COMMISSIONERS MINUTE BOOK 19, PAGE 349, PUBLIC RECORDS OF SAINT LUCIE COUNTY, FLORIDA. **DOCUMENT NOT PROVIDED**
- 11 - ALL MATTERS CONTAINED ON THE PLAT OF MODEL LAND CO'S SUBDIVISION, ACCORDING TO THE PLAT THERE OF RECORDED IN PLAT BOOK 2, PAGE 10, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA. **SHOWN ON THE SURVEY**

**7 SIGNIFICANT OBSERVATIONS**

NO SIGNIFICANT OBSERVATION NOTED

**11 SURVEYOR'S NOTES**

1. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF CLOSED GEOMETRIC FIGURES WAS FOUND TO EXCEED THIS REQUIREMENT 1 FT. IN 10,000 FT. (REQUIRED)
2. PRIMARY CONTROL WAS ESTABLISHED USING RTK (REAL TIME KINEMATIC) FIELD PROCEDURES. POSITIONAL ACCURACY FOR HORIZONTAL CONTROL IS +/- 0.06 FT.
3. THE HORIZONTAL CONTROL IS REFERENCED TO NAD\_83 (2011) (EPOCH 2010.0000)
4. ELEVATIONS SHOWN ON THIS SURVEY ARE REFERENCED TO THE N.A.V.D.88 VERTICAL DATUM
5. THE RIGHT OF WAY LINE AND THE PROPERTY LINE FOR THIS SITE ARE THE SAME.
6. THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN IN THIS SURVEY THAT MAY BE FOUND IN THE COUNTY PUBLIC RECORDS.
7. THIS SURVEY IS FOR USE AS PER REQUEST AND NOT FOR ANY OTHER USE.
8. NO EXCAVATION OR DETERMINATION WAS MADE AS TO HOW THE SUBJECT PROPERTY IS SERVED BY UTILITIES, SUBSURFACE UTILITIES, INCLUDING, BUT WITHOUT LIMITATION TO PIPES, WIRES, VAULTS, BOXES, DRAIN TILES, VOIDS, CABLES AND OTHER MATERIALS AUXILIARY TO THE DELIVERY AND/OR DISPOSAL OF WATER, WASTEWATER, SEWAGE, ELECTRICITY, GAS, TELEPHONE SERVICE, CABLE TELEVISION, AS THEY MAY EXIST WITHIN, UPON, ACROSS OR ABUTTING THE SUBJECT PROPERTY WERE NOT LOCATED. SURFACE STRUCTURES AS THEY MAY EXIST WITHIN, UPON, ACROSS OR ABUTTING THE SUBJECT PROPERTY WERE NOT LOCATED UNLESS OTHERWISE SHOWN ON THE SURVEY MAP.
9. ALL STATEMENTS WITHIN THE CERTIFICATION, AND OTHER REFERENCES LOCATED ELSEWHERE HEREON, RELATED TO: UTILITIES, IMPROVEMENTS, STRUCTURES, BUILDINGS, PARTY WALLS, PARKING, EASEMENTS, SERVITUDES, AND ENCROACHMENTS ARE BASED SOLELY ON ABOVE-GROUND, VISIBLE EVIDENCE, UNLESS ANOTHER SOURCE OF INFORMATION IS SPECIFICALLY REFERENCED HEREON.
10. WELL-IDENTIFIED FEATURES AS DEPICTED ON THE SURVEY MAP WERE MEASURED TO AN ESTIMATED HORIZONTAL POSITIONAL ACCURACY OF 1/10 FOOT, UNLESS OTHERWISE SHOWN
11. THE ACREAGE WAS CALCULATED BASED ON THE PROVIDED DEED DESCRIPTION.
12. NO UNDERGROUND UTILITIES HAVE BEEN MARKED PER REQUEST.
13. PROPERTY HAS DIRECT PHYSICAL ACCESS TO A PUBLIC RIGHT-OF-WAY BEING S.R. NO. 70-OKEECHOBEE RD.
14. NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
15. AFTER CONSULTING THE NATIONAL WETLAND INVENTORY, THE PROPERTY DOES NOT CONTAIN WETLAND. NO VISUAL EVIDENCE OF WETLAND IS PRESENT ON THE PROPERTY.
16. NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES, EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
17. ADDRESS OF PROPERTY WAS NOTED ON FRONT OF PROPERTY.
18. PARCELS ARE CONTIGUOUS WITH NO GAPS, GORES OR OVERLAPS
19. NO EVIDENCE OF CEMETERIES OR BURIAL GROUNDS WAS OBSERVED

**10 BASIS OF BEARINGS**

THE BEARINGS 02° 02' 19"E, BEING THE CENTER LINE OF S.R. NO. 70-OKEECHOBEE RD. FOR THIS SURVEY, BEARINGS ARE REFERENCED TO THE STATE PLANE COORDINATE SYSTEM NAD83, FLORIDA EAST.

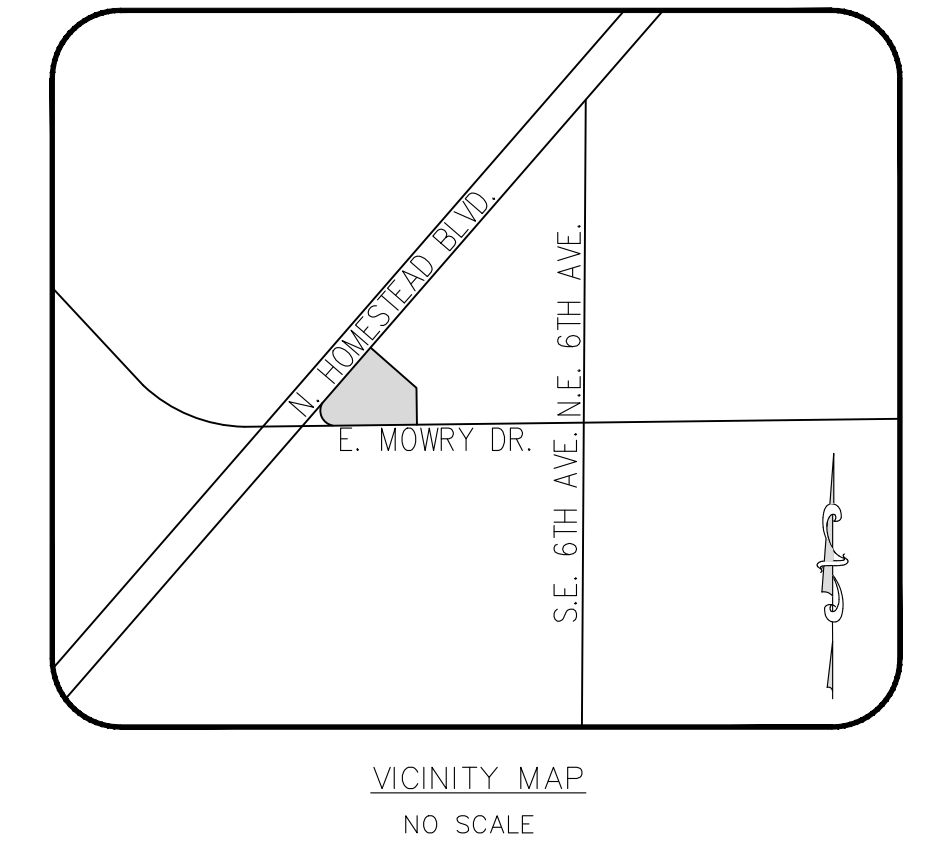
**13 LAND AREA**

233368.8 SQUARE FEET OR 5.82 ACRES

**8 ZONING INFORMATION**

ZONING COMPLIANCE REPORT NOT PROVIDED

**16 VICINITY MAP**



**Key to CDS ALTA Survey**

- 1 TITLE DESCRIPTION
- 2 TITLE INFORMATION
- 3 SCHEDULE 'B' ITEMS
- 4 SURVEYOR CERTIFICATION
- 5 FLOOD INFORMATION
- 6 CEMETERY
- 7 SIGNIFICANT OBSERVATIONS
- 8 ZONING INFORMATION
- 9 LEGEND
- 10 BASIS OF BEARING
- 11 SURVEYOR'S NOTES
- 12 PARKING INFORMATION
- 13 LAND AREA
- 14 BUILDING AREA
- 15 BUILDING HEIGHT
- 16 VICINITY MAP
- 17 NORTH ARROW / SCALE
- 18 CLIENT INFORMATION BOX
- 19 SURVEY DRAWING
- 20 PROJECT ADDRESS

**18 ALTA/NSPS Land Title Survey**

This survey prepared in accordance with the "2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys" (Effective February 23, 2021)

This Work Coordinated By:  
FA Commercial Due Diligence Services Co.

**CDS**  
COMMERCIAL  
DUE DILIGENCE SERVICES

3550 W. Robinson Street, Third Floor  
Norman, Oklahoma 73072  
Office: 405-253-2444  
website: www.firstamdcms.com  
Toll Free: 888.322.7371

Drawn By: DT	Date: Revision:
Surveyor Ref No.:	Date: Revision:
Apprd By: JC	Date: Revision:
Field Date: 10/23/2023	Date: Revision:
Scale: 1" = 40'	Date: Revision:

Prepared For:

Client Ref. No.:

**20 PROJECT ADDRESS**

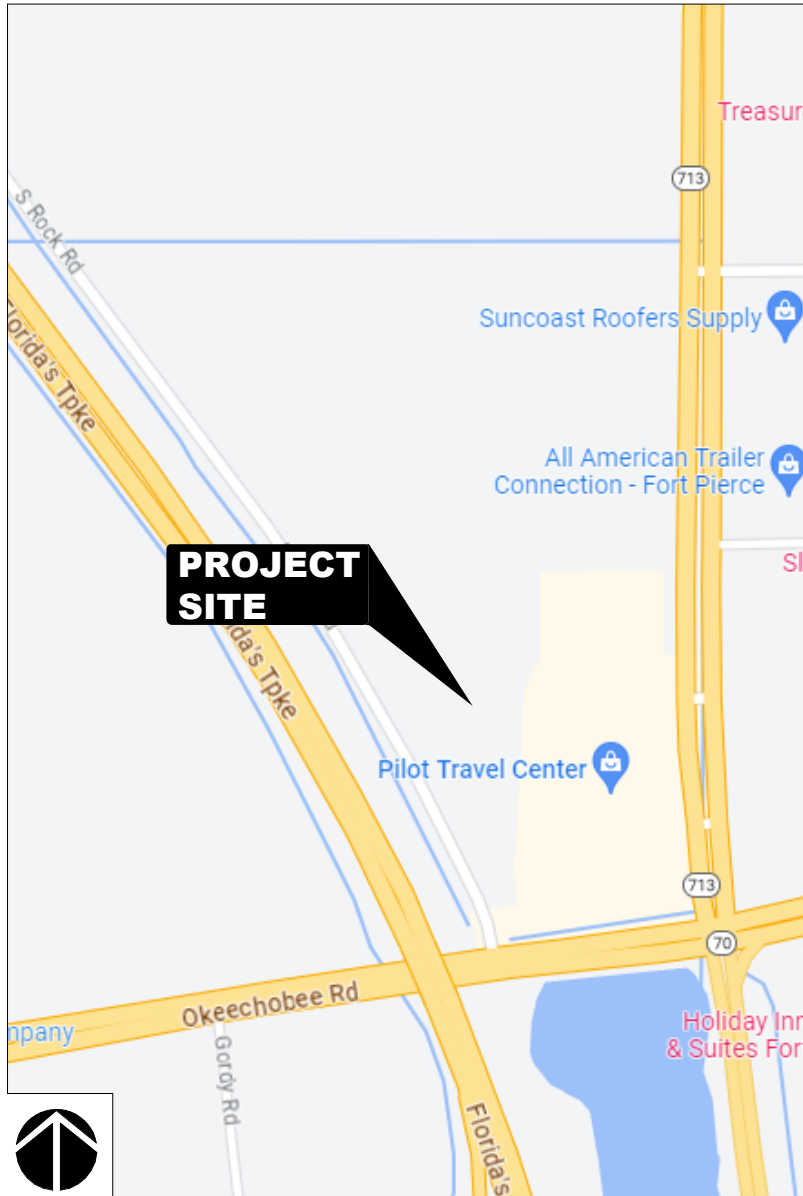
OKEECHOBEE RD, FT. PIERCE, FL  
....

Project Name:  
OKEECHOBEE RD-FT. PIERCE, FL  
CDS Project Number:  
23-09-0250



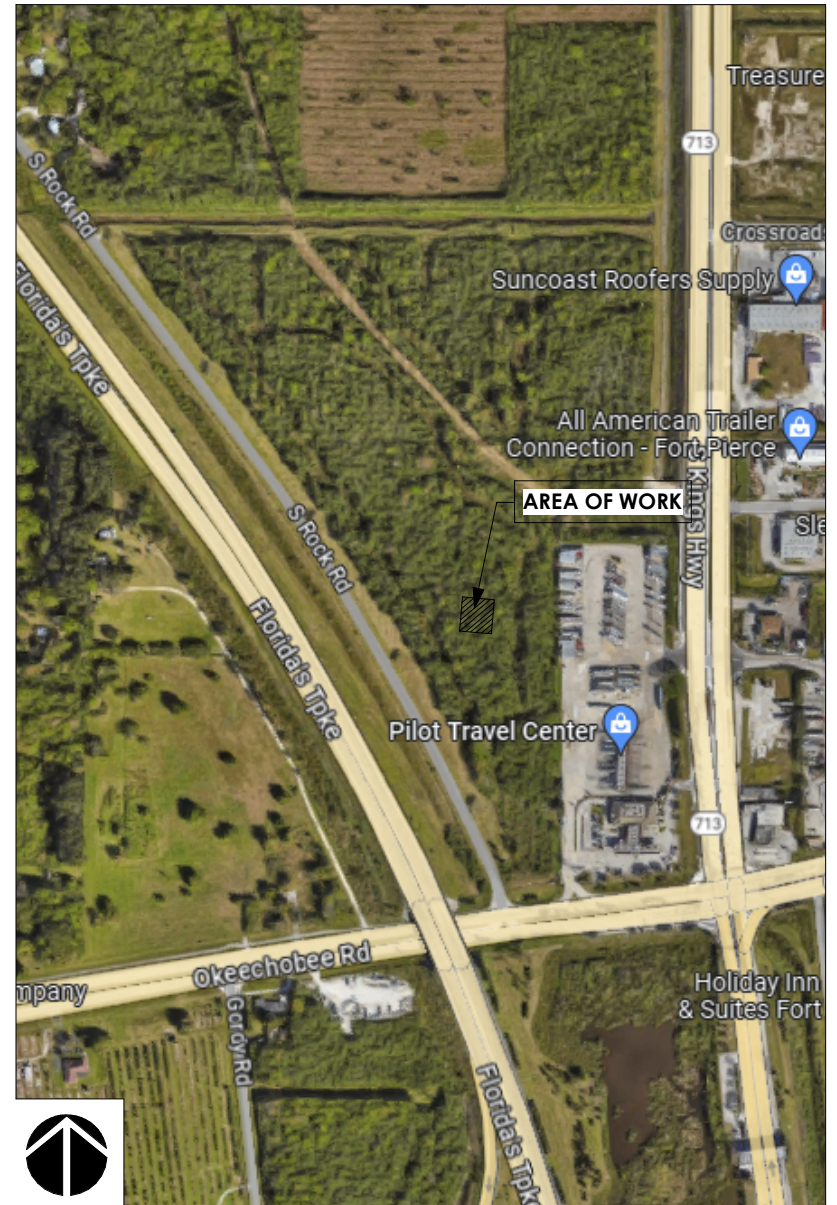


# VICINITY MAP



SCALE: N.T.S.

# SITE LOCATION



SCALE: N.T.S.

### Property Identification

Site Address: OKEECHOBEE RD  
 Sec/Town/Range: 23/35S/39E  
 Parcel ID: 2323-501-0061-000-1  
 Jurisdiction: Fort Pierce

Use Type: 1000  
 Account #: 14148  
 Map ID: 23/23S  
 Zoning: General Co

### Ownership

Duff Real Estate LLC  
 800 Highway 98  
 Columbia, MS 39429-8255

### Legal Description

MODEL LAND CO'S S/D 23 35 39 W 171.47 FT OF LOT 9 IN SE 1/4 AND THAT PART OF LOTS 10 AND 15 LYG E OF TRNPK FRONTAGE RD AND THAT PART OF W 171.47 FT OF LOT 16 N OF OKEE RD AND E OF TRNPK FRONTAGE RD-LESS AS IN OR 630-1633- (6.34AC)

### Current Values

Just/Market Value: \$111,028  
 Assessed Value: \$111,028  
 Exemptions: \$0  
 Taxable Value: \$111,028



### Total Areas

Finished/Under Air (SF): 0  
 Gross Sketched Area (SF): 0  
 Land Size (acres): 6.34  
 Land Size (SF): 276,170.4

**Property taxes are subject to change upon change of ownership.**

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Taxes for this parcel: SLC Tax Collector's Office [📄](#)  
 Download TRIM for this parcel: [Download PDF](#) [📄](#)

## Building Design Wind Speed

Occupancy Category	I	II	III
Speed	140	150	160

Sources/links:

### Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
Jul 8, 2024	5175 / 2901	0001	SPWD	Lafavers Jr Charles L	\$1,583,500
Dec 13, 2012	3465 / 2802	0311	TRUST	Lafavers Jr Charles L	\$100
Apr 12, 2007	2798 / 2304	XX03	WD	Lafavers Jr Charles L	\$100
Nov 21, 2001	1467 / 0874	XX02	PRDEED	Lafavers Jr Charles L	\$100
Sep 7, 2000	1328 / 2731	XX02	WD	Lafavers Jr Charles L	\$100
Jan 4, 1996	0995 / 1257	XX02	PRDEED	Charles L Lafavers	\$100
Jan 31, 1995	0946 / 1190	XX02	PRDEED	Charles L Lafavers	\$100
Jan 12, 1995	0945 / 1616	XX02	WD	C L Lafavers	\$100
Sep 21, 1988	0604 / 2110	XX02	QC	C L Lafavers	\$100
Jul 1, 1985	0472 / 0260	XX02	CV		\$1,364,800

### Special Features and Yard Items

Type Qty Units Year Blt

## Current Year Values

### Current Values Breakdown

Building and SFYI:	\$0
Land:	\$111,028
Just/Market:	\$111,028
Ag Credit:	\$0
Save Our Homes or 10% Cap:	\$0
Assessed:	\$111,028
Exemption(s):	\$0
Taxable:	\$111,028

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### Current Year Exemption Value Breakdown

### Current Year Special Assessment Breakdown

Start Year	AssessCode	Units	Description	Amount
2013	0054	6.34	North St. Lucie Water Management District	\$152.16
Start Year	AssessCode	Units	Description	Amount
2016	0041	14	Fort Pierce Stormwater Charge	\$966.00

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office

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## Historical Values

Year	Just/Market	Assessed	Exemptions	Taxable
2024	\$111,028	\$111,028	\$0	\$111,028
2023	\$111,028	\$111,028	\$0	\$111,028
2022	\$111,028	\$111,028	\$0	\$111,028
2021	\$319,000	\$12,680	\$0	\$12,680

## Permits

Number	Issue Date	Description	Amount	Fee
BP23-3762	Sep 22, 2023	Electric	\$200	\$0

Notice: This does not necessarily represent all the permits for this property.  
 Click the following link to check for additional permit data in Fort Pierce

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All information is believed to be correct at this time, but is subject to change and is provided without any warranty.  
 © Copyright 2025 Saint Lucie County Property Appraiser. All rights reserved.





28 July 2025

City of Fort Pierce  
100 N U.S. Highway 1  
Fort Pierce, FL 34950

**Re: Southern Tire Mart at Pilot, Fort Pierce, FL**

## PROJECT NARRATIVE

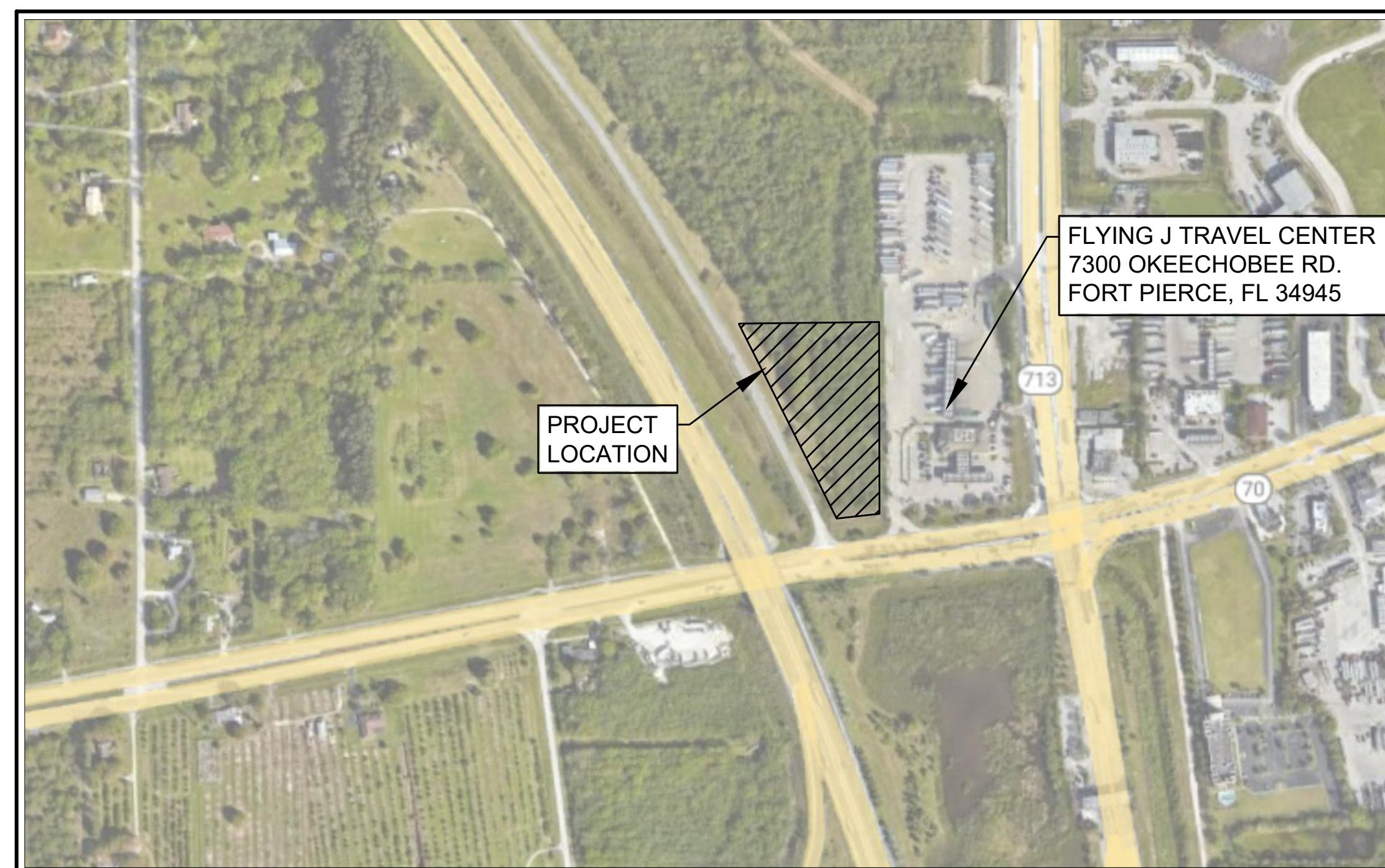
The subject site is located at 2800 S Rock Road, Fort Pierce, FL and is under the authority having jurisdiction (AHJ) of the City of Fort Pierce and St. Lucie County, Florida. The existing site is an undeveloped lot adjacent to a Pilot travel center. We understand that the intent of the project is for the development of a new Southern Tire Mart at Pilot Flying J facility. The new facility will consist of an approximately 23,500 SF preventative maintenance facility with six (6) drive-thru truck bays, three (3) retail bays, and two (2) truck service bays. The building will also include an approximately 4,800 SF deep and shallow dock area connected to the building.

# SITE DEVELOPMENT PLANS

FOR



2800 S. ROCK ROAD  
FT. PIERCE, FLORIDA  
ST. LUCIE COUNTY



SITE MAP  
NTS

JULY 2025

Sheet List Table	
Sheet Number	Sheet Title
C1.0	COVER SHEET
C1.1	TOPOGRAPHY SURVEY
C1.2	GENERAL NOTES
C2.0	SWPPP SITE MAP
C2.1	SWPPP DETAILS
C3.0	DEMOLITION PLAN
C4.0	SITE PLAN
C5.0	GRADING PLAN
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C9.4	FDOT DETAILS

Date	Description	No.
Revisions		
		7/31/25
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CITY OF FT. PIERCE		
ST. LUCIE COUNTY		FLORIDA
Drawing Title		
<b>COVER SHEET</b>		
Project No.	Drawing No.	
532055101	<b>C1.0</b>	
Date		
JULY 2025		
Drawn By		
Checked By		

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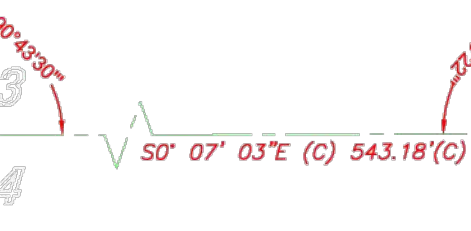
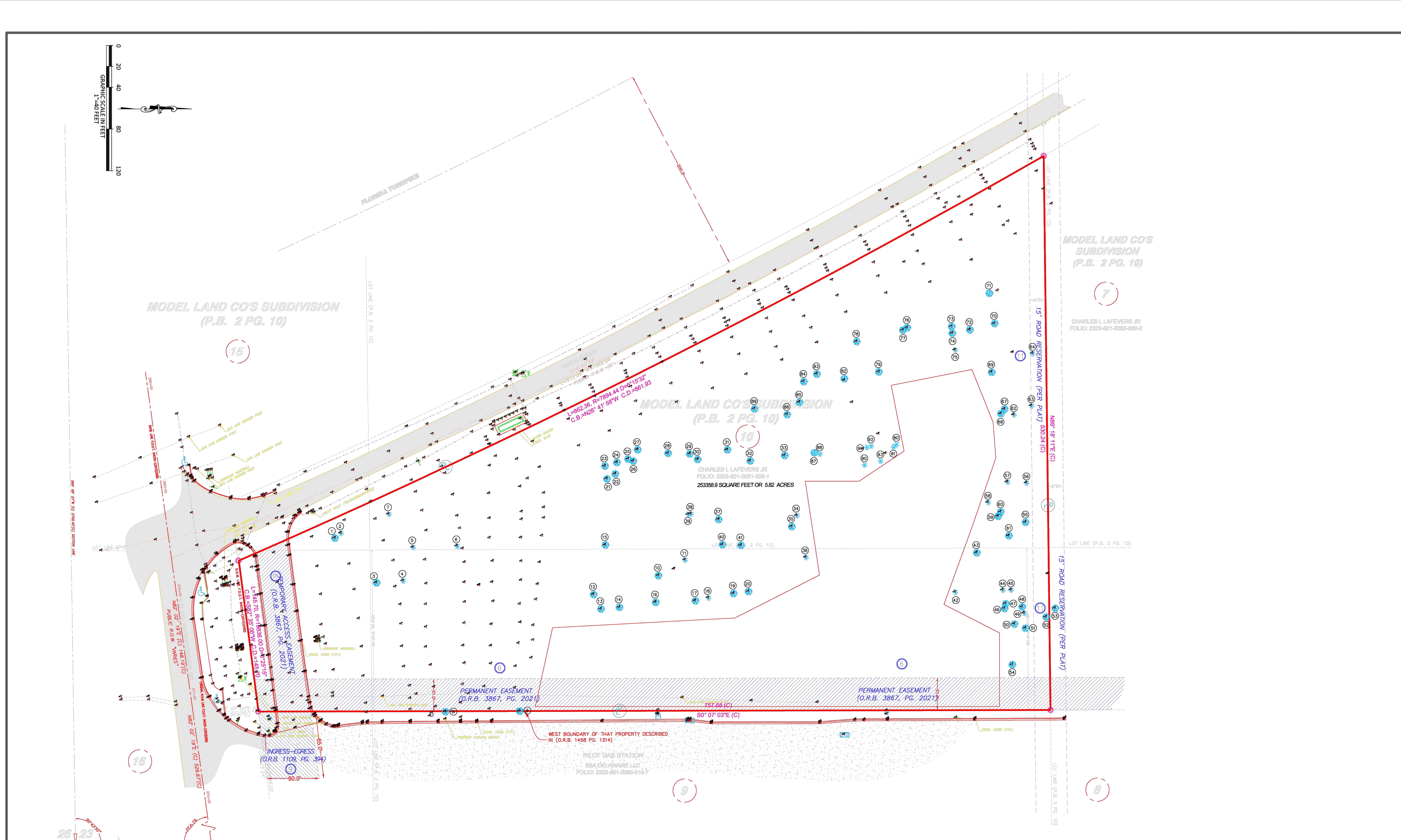
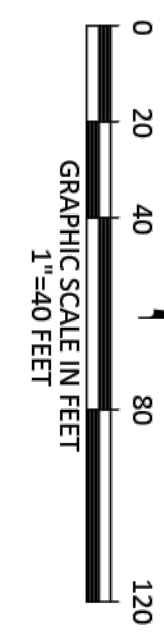
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**LEGEND**

- |                       |                            |                             |                                 |
|-----------------------|----------------------------|-----------------------------|---------------------------------|
| PROPERTY LINE         | ELECTRICAL BOX CONDUIT     | MAIL BOX                    | WATER LINE                      |
| SIGN                  | TELEPHONE BOX              | CLEANOUTS                   | TELEPHONE/FIBER                 |
| CATCH BASIN GRATES    | TRAFFIC SIGNAL CONDUIT     | MONITORING WELL             | OPTIC CABLE                     |
| LIGHT LIGHT           | PEDESTRIAN CROSSING SIGNAL | TREE                        | GAS LINE                        |
| TRAFFIC SIGNAL POLE   | POLE POWER                 | PALM                        | C.M.U. CONCRETE MASONRY UNIT    |
| MANHOLE STORM         | IRRIGATION CONTROL BOX     | MANHOLE SANITARY            | F.F.E. FINISHED FLOOR ELEVATION |
| MANHOLE TELEPHONE     | VALVE GAS                  | VALVE                       |                                 |
| HANDICAP ACCESS RAMPS | MANHOLE ELECTRICITY        | UTILITY PEDESTAL TELEVISION |                                 |
| FIRE HYDRANT          | MANHOLE WATER              | WATER METER                 |                                 |
| VALVE SANITARY        | GUY WIRE ANCHOR            | EASEMENT LINE               |                                 |

**PROFESSIONAL SURVEYOR AND MAPPER CERTIFICATE**

I HEREBY CERTIFY THAT THE ATTACHED BOUNDARY SURVEY OF THE PROPERTY DESCRIBED IS TO THE BEST OF MY KNOWLEDGE AND BELIEF ACCURATE AS RECENTLY SURVEYED UNDER MY DIRECTION; AND THAT THIS SURVEY MEETS THE MINIMAL TECHNICAL STANDARD SET BY THE FLORIDA BOARD OF LAND SURVEYORS AS SET FORTH IN RULE 5J-17 OF THE FLORIDA ADMINISTRATION CODE.

**JUAN C. MELENDEZ**  
PROFESSIONAL SURVEYOR AND MAPPER  
LB7920  
LS6721

THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND RAISED/DIGITAL SEAL OF A FLORIDA REGISTERED PROFESSIONAL SURVEYOR AND MAPPER.

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**SPECIFIC PURPOSE SURVEY**  
OKEECHOBEE RD, FT. PIERCE, FL.

TITLE: SPECIFIC PURPOSE SURVEY  
CLIENT: WALLACE CONSTRUCTION  
SURVEY DATE: 02/12/2025 SCALE: 1"=20'  
PLOT DATE: 3/7/2025 DRAWN BY: JCM  
SHEET SIZE: 24" BY 36" CHECKED BY: JCM  
FILE NAME: CAD DRAFT REV 2.DWG

REVISION NOTES:

DATE:	

**SHEET**  
**2 OF 2**

GENERAL CONSTRUCTION NOTES:

- CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE UTILITIES, PAVEMENT, STRIPING, CURB, SIDEWALKS, DRIVEWAYS, FENCES, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
- CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURE. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO, ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
- ALL WORK ON THIS PLAN SHALL BE DONE IN STRICT ACCORDANCE WITH THE SITEWORK SPECIFICATIONS.
- CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND REQUIREMENTS. CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE UTILITY COMPANIES AND OWNER'S INSPECTING AUTHORITIES.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE PROTECTION OF ALL PROPERTY CORNER MONUMENTS, AND SHALL HAVE REPLACED, AT HIS EXPENSE, ALL CORNER MONUMENTS WHICH ARE DISTURBED BY CONSTRUCTION ACTIVITIES.

DEMOLITION NOTES:

- NO EARTH-DISTURBING ACTIVITIES SHALL COMMENCE UNTIL ALL PERIMETER EROSION CONTROL MEASURES ARE IN PLACE IN ACCORDANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN SITE MAP AND THE SPECIFICATIONS (REFER TO SWPPP).
- INGRESS AND EGRESS POINTS MUST BE APPROVED BY CITY AND COUNTY OFFICIALS PRIOR TO REMOVAL OF DEMOLITION DEBRIS OFF-SITE. REFER TO SITE PLAN FOR LOCATION OF INGRESS AND EGRESS POINTS.
- CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH ALL REGULATIONS GOVERNING THE DEMOLITION, REMOVAL, TRANSPORTATION AND DISPOSAL OF ALL DEMOLITION DEBRIS.
- THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS FOR DEMOLITION OF STRUCTURES.
- NOTES SHOWN HEREON REGARDING SPECIFIC ITEMS OF DEMOLITION ARE GENERAL IN NATURE, AND ARE NOT INTENDED TO BE WHOLLY INCLUSIVE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE AND DETERMINING THE EXTENT OF EXISTING IMPROVEMENTS TO BE REMOVED FROM THE SITE.
- THE CONTRACTOR SHALL LOCATE, REMOVE AND/OR RELOCATE ALL UNDERGROUND UTILITY PIPING, CONDUIT, AND CABLES, REGARDLESS OF DEPTH, IN THE AREA OF THE PROPOSED BUILDING(S) PER THE SITEWORK SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY COMPANIES ON THE DISCONNECTION OR TERMINATION OF ANY UTILITIES SERVING THIS SITE, AND SHALL OBTAIN APPROVAL FROM SAME PRIOR TO CUTTING, PLUGGING OR REMOVING ANY ON-SITE UTILITY PIPES, LINES AND/OR APPURTENANCES.
- ALL FENCING, TREES, AND ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED AND DISPOSED OF OFF SITE. ANY BURNING ON SITE SHALL BE SUBJECT TO LOCAL ORDINANCES AND SITEWORK SPECIFICATIONS.
- REMOVAL OF ANY TREES OTHER THAN THOSE SPECIFIED IN THESE PLANS SHALL BE COORDINATED WITH THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY REQUIRED DEMOLITION PERMITS.
- REFER TO THE SITEWORK SPECIFICATIONS FOR ADDITIONAL INFORMATION REGARDING DEMOLITION, SITE PREPARATION AND EARTHWORK FOR THIS PROJECT.

SITE NOTES:

- CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS (BUT NOT LIMITED TO) DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTION & REPLACEMENT OF ALL PROPERTY CORNERS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS, BUILDING ENTRANCE LOCATIONS, BUILDING UTILITY ENTRY LOCATIONS, DOWNSPOUT LOCATIONS, ETC.
- ALL PAVING DIMENSIONS ARE TO FACE OF CURB, WHERE APPLICABLE, OR TO THE EDGE OF PAVEMENT WHEN NO CURB IS PROPOSED, UNLESS OTHERWISE NOTED.
- ALL CURB RADII ARE 2.5' UNLESS OTHERWISE SHOWN.
- CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT, WHERE APPLICABLE.
- CONTRACTOR SHALL MATCH EXISTING CURB AND GUTTER IN GRADE, SIZE, TYPE AND ALIGNMENT AT ADJACENT ROADWAYS.
- ALL FLATWORK DIRECTLY ADJACENT TO BUILDING(S) SHALL BE DETAILED BY THE ARCHITECT. ENGINEER SHALL DESIGN ALL SIDE WALKS.
- ALL TRAFFIC CONTROL SIGNS SHALL BE FABRICATED AS SHOWN IN THE NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
- ALL SIGNS PLACED IN AREAS ACCESSIBLE BY VEHICLE TRAFFIC SHALL BE PLACED IN PIPE BOLLARD.
- ALL PARKING LOT STRIPING SHALL BE 4-INCH WIDE WHITE TRAFFIC PAINT, UNLESS NOTED OTHERWISE HEREIN.

GRADING NOTES:

- NO EARTH-DISTURBING ACTIVITIES SHALL COMMENCE UNTIL ALL PERMITS HAVE BEEN OBTAINED AND PERIMETER EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAY PRIOR TO EXCAVATION. CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY AND LOCATE ALL UTILITIES PRIOR TO GRADING START.
- CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
- THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS, AND THE GEOTECHNICAL REPORT.
- UNDERCUT AND REPLACEMENT WITH SELECT FILL BENEATH ALL BUILDING SLABS, IF REQUIRED, SHALL BE IN ACCORDANCE WITH THE SITEWORK SPECIFICATIONS AND GEOTECHNICAL REPORT.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT SIZE, NUMBER & LOCATION OF BUILDING ROOF DRAINS.
- ALL PIPES ENTERING STORM SEWER STRUCTURES SHALL BE GROUTED WITH NON-SHRINK GROUT TO ASSURE A WATER-TIGHT FIT.
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES LOCATED IN PAVED OR OTHER VEHICULAR AREAS SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY.
- PROPOSED SPOT GRADES SHOWN ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
- EXISTING AND PROPOSED GRADE CONTOURS INTERVALS SHOWN AT ONE FOOT (1').
- ACCESSIBLE ROUTES SHALL HAVE A RUNNING SLOPE OF MAX. 5.0% AND CROSS SLOPE OF MAX. 2.0%, PER ADA REQUIREMENTS.
- ACCESSIBLE SPACES SHALL HAVE A MAX. OF 2.0% SLOPE IN ANY DIRECTION.
- ADJUST PAVEMENT AND/OR CURB ELEVATIONS AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE WITH EXISTING, WHERE APPLICABLE.
- CONTRACTOR SHALL PLACE 4" OF TOPSOIL (LOOSE) ON ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATIONS. PLACE STABILIZATION FABRIC ON ALL SLOPES STEEPER THAN 3H:1V. SEED OR SOG ALL DISTURBED AREAS IN ACCORDANCE WITH THE SPECIFICATIONS AND MAINTAIN SAME UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- RIPRAP GRADATION SHALL BE IN ACCORDANCE WITH THE SITEWORK SPECIFICATIONS & DETAILS.
- IF THE CONTRACTOR RELOCATES BENCHMARK WITH A NEW BENCHMARK, IT SHALL BE LOCATED WITHIN A TOLERANCE OF 0.010'.

UTILITY NOTES:

- CONTRACTOR SHALL REFER TO ARCHITECTS PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES TO INCLUDE: SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, AND TELEPHONE SERVICE.
- MATERIALS AND INSTALLATION FOR ALL PROPOSED UTILITY LINES AND APPURTENANCES SHALL COMPLY WITH THE REQUIREMENTS IN THE SITE WORK SPECIFICATIONS.
- CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURE. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS OUTLINED BY OSHA.
- CONTRACTOR SHALL ON ALL UTILITIES, COORDINATE INSPECTION WITH APPROPRIATE AUTHORITIES PRIOR TO COVERING TRENCHES AT INSTALLATION. THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE UTILITY COMPANIES AND OWNERS INSPECTING AUTHORITIES.
- CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE CITY UTILITY DEPARTMENT AS TO LOCATION AND SCHEDULING OF TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO EXISTING UTILITIES.
- THE MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER AND SEWER LINES SHALL BE 10 (TEN) FEET, AND MINIMUM VERTICAL SEPARATION BETWEEN CROSSING WATER AND SEWER LINES SHALL BE TWENTY-FOUR (24) INCHES.
- DIMENSIONS SHOWN ARE TO CENTER LINE OF PIPE OR FITTING OR TO CENTER OF MANHOLE.
- THE TOP ELEVATION OF MANHOLES CONSTRUCTED IN PAVED AREAS SHALL MATCH FINISHED GRADE. THE TOP ELEVATION OF MANHOLES CONSTRUCTED IN GRASSED AREAS SHALL BE SIX (6) INCHES ABOVE FINISHED GRADE, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL GROUT AROUND ALL PIPE ENTRANCES TO SANITARY SEWER MANHOLES WITH NON-SHRINKING GROUT TO ASSURE CONNECTION IS WATERTIGHT.
- CONTRACTOR SHALL PROVIDE 2' x 2' x 8" THICK CONCRETE APRON AT ALL CLEANOUTS OUTSIDE OF BUILDING.
- ALL WATER LINES SHALL BE INSTALLED AT DEPTHS AS REQUIRED BY THE SITEWORK SPECIFICATIONS. MINIMUM DEPTH REQUIREMENTS SHALL BE MAINTAINED FROM PROPOSED GRADES, NOT EXISTING GRADES.
- ALL WATER LINES SHALL BE INSTALLED WITH A MINIMUM VERTICAL SEPARATION BETWEEN STORM SEWER OF 18 INCHES. CONTRACTOR SHALL BE RESPONSIBLE FOR ADDING 45-DEG. BENDS WHERE NECESSARY TO ROUTE PROPOSED WATER LINES AROUND PROPOSED SANITARY OR STORM SEWERS.
- REFER TO THE LANDSCAPE ARCHITECT PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING THE ELECTRICAL CONDUIT W/PULL STRING. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING THE TRANSFORMER PAD, PER ELECTRIC COMPANY REQUIREMENTS AND DETAILS, AND SECONDARY LINES FROM THE TRANSFORMER TO THE BUILDING.
- THE ELECTRIC COMPANY WILL BE RESPONSIBLE FOR THE DESIGN OF THE ELECTRIC SERVICE TO THE TRANSFORMER PAD AND INSTALLING ALL PRIMARY ELECTRIC LINES AND TRANSFORMER.
- CONTRACTOR SHALL CONTACT THE ELECTRIC COMPANY PRIOR TO BEGINNING CONSTRUCTION TO OBTAIN A COPY OF THE PROPOSED DESIGN AND COORDINATE ALL INSTALLATION.

FORT PIERCE UTILITIES AUTHORITY  
WATER DISTRIBUTION NOTES

- ALL CONSTRUCTION MATERIAL, INSTALLATION AND TESTING SHALL CONFORM TO THE STANDARD SPECIFICATIONS OF THE FORT PIERCE UTILITIES AUTHORITY.
- WATER MAINS WHERE SPECIFIED AS POLYVINYL CHLORIDE (PVC) SHALL CONFORM TO ANMA C-800 OR C-805, PRESSURE CLASS 150, DR (10). WATER MAINS WHERE SPECIFIED AS POLYETHYLENE (PE) SHALL CONFORM TO ANMA C-801 OR C-806, STANDARD CODE DESIGNATION PEH20, PIPE CLASS 200, DIMENSION RATIO (DR) 17 FOR DIRECT BURY, (DR) 11 FOR DIRECTIONAL BORING, AND (DR) 9 FOR 2 INCH AND SMALLER PIPELINES.
- WATER MAIN, WHERE SPECIFIED AS DUCTILE IRON PIPE, SHALL CONFORM TO ANS/AWWA C151/A21.51 AND SHALL BE PRESSURE CLASS 200 (MINIMUM).
- POLYVINYL CHLORIDE WATER MAIN SHALL BE BLUE IN COLOR OR WHITE IN COLOR WITH BLUE STRIPES. THE USE OF IDENTIFICATION TAPE ATTACHED TO THE TOP OF THE PIPE MAY BE USED IN LIEU OF MARKING ON THE PIPE, ALSO DIP PIPE SHALL REQUIRE THE USE OF IDENTIFICATION TAPE AND THIN WIRE.
- FITTINGS SHALL BE DUCTILE IRON CONFORMING TO ANS/AWWA C-110/A21.10, CLASS 250 MIN., CEMENT LINED AND FACTORY COATED.
- GATE VALVES SHALL BE MUELLER RESILIENT SEAT, KENNEDY KEN-SEAL, AMERICAN OR APPROVED EQUAL. VALVES SHALL CONFORM TO ANMA C-500.
- WATER LINES SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH FPUA DESIGN AND CONSTRUCTION STANDARDS. THE CONTRACTOR SHALL SUBMIT CERTIFIED DENSITY TESTS AS REQUIRED BY FPUA ENGINEERING AND THE CITY/COUNTY, FOOT, IN CASES WHERE PAVED AREAS FALL WITHIN THE JURISDICTION OF LOCAL OR STATE AGENCIES. THE COMPACTOR REQUIREMENTS SHALL NOT BE LESS THAN THE MINIMUM REQUIRED BY THE APPROPRIATE RESPONSIBLE AGENCY.
- NO FIELD CHANGES OR DEVIATIONS FROM THE DESIGN SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE FPUA ENGINEER AND CITY/COUNTY/FDOT ENGINEER.
- THE CONTRACTOR SHALL NOTIFY FPUA ENGINEERING AND CITY/COUNTY/FDOT ENGINEERING 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
- A PRE-CONSTRUCTION CONFERENCE BETWEEN THE ENGINEER, THE CONTRACTOR, FPUA, AND CITY/ COUNTY/FDOT ENGINEER SHALL BE MANDATORY PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- TRAFFIC CONTROL, BARRICADES, ETC. SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS AND APPROVED BY THE CITY ENGINEER.
- MINIMUM COVER SHALL BE 36 INCHES EXCEPT AS APPROVED BY THE UTILITIES ENGINEER AND CITY/ COUNTY/FDOT ENGINEER. PIPES WITH COVER LESS THAN 30 INCHES SHALL BE CONSTRUCTED OF DUCTILE IRON OR IN PVC COATING.
- DISTURBED AREAS SHALL BE RESTORED IN CONFORMANCE WITH THE APPLICABLE GOVERNING AGENCY REQUIREMENTS.
- EXISTING UTILITIES AND DRAINAGE SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION AND PROTECTED BY THE CONTRACTOR.
- WATER MAINS SHALL BE TESTED AND DISINFECTED IN ACCORDANCE WITH THE APPLICABLE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND ANMA C-551 FOR DISINFECTION.

WATER DISTRIBUTION		G-1 NOTES	
DATE: 08/11/2010	REVISION:	DATE: 08/11/2010	REVISION:
DESIGNED BY: JAC	CHECKED BY: JAC	DESIGNED BY: JAC	CHECKED BY: JAC
DRAWN BY: JAC		DRAWN BY: JAC	
SCALE: AS SHOWN		SCALE: AS SHOWN	
PROJECT: 532055101		PROJECT: 532055101	
SHEET: 1 OF 2		SHEET: 1 OF 2	
DATE: 2010		DATE: 2010	
BY: JAC		BY: JAC	

FORT PIERCE UTILITIES AUTHORITY  
WATER DISTRIBUTION NOTES  
CONTINUED

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EXISTING UTILITIES AND DRAINAGE.
  - THE CONTRACTOR SHALL FURNISH RECORD DRAWING INFORMATION TO THE ENGINEER INCLUDING UTILITIES, FITTINGS, CONNECTIONS, BENCHMANS, AIR RELEASE VALVES, AND ANY OTHER PERTINENT INFORMATION NECESSARY TO LOCATE ITEMS CONSTRUCTED UNDER THIS PROJECT, AS REQUIRED BY THE UTILITIES ENGINEER.
  - THE CONTRACTOR SHALL TAP EXISTING LINES UNDER THE SUPERVISION OF THE FORT PIERCE UTILITIES AUTHORITY ONLY AFTER TESTING AND DISINFECTION HAS BEEN COMPLETED AND APPROVED ON THE TAPPING VALVE AND SLEEVE.
  - WATER MAIN SHALL BE MARKED BY THE USE OF CONTINUOUS TO GAUGE THIN MULTI STRANDED WIRE (BLUE IN COLOR) AND IDENTIFICATION TAPE WITH "WATER" MARKED ON TAPE, PERMANENTLY ATTACHED TO THE TOP OF THE WATER MAIN IN ACCORDANCE WITH THE FORT PIERCE UTILITIES AUTHORITY SPECIFICATIONS.
  - SERVICE TAPS SHALL BE PLACED APPROXIMATELY TEN FEET AWAY FROM GATE VALVES, AS SHOWN, FOR TESTING. FOLLOWING TESTING AND STERILIZATION OF WATER LINE, CONTRACTOR SHALL PLACE A BRASS PLUG IN CORPORATION STOPS AND CURB STOPS SHALL BE REMOVED FROM TESTING LOCATIONS.
  - MECHANICAL RESTRAINTS TO BE USED ON ALL FITTINGS AND PLACED IN ACCORDANCE WITH MANUFACTURER'S OR ENGINEER'S RECOMMENDATIONS (WHICHEVER IS MORE STRINGENT) AND FPUA REQUIREMENTS.
  - ALL MAINS SHALL BE TESTED AT A MINIMUM OF 150 PSI. TESTING METHODS SHALL CONFORM TO ANMA C-800, - 2 HR MINIMUM TEST
- $L = \frac{SD(D)}{2}$   
 $L = 148,000$   
 $L =$  LEAKAGE IN GPH  
 $S =$  LENGTH OF PIPE IN FEET  
 $D =$  PIPE DIAMETER IN INCHES  
 $P =$  TESTING PRESSURE IN PSI
- PRIOR TO ANY TESTING, ALL MAINS 6" IN DIA. AND LARGER SHALL HAVE A SWAB PASSED THRU THE ENTIRE LENGTH OF THE LINE. NOTE: SWAB SHOULD BE PLACED IN THE JOINT OF NEW LINE. END OF MAIN SHOULD BE TURNED UP AT 45° AND EXTENDED SO THAT SWABBING AND A FULL BORE FLUSH CAN BE ACCOMPLISHED. BLOW-OFF ASSY CAN THEN BE PLACED, WHERE LINES BRANCH, SWABS WILL BE PLACED IN BRANCH LINES AND SEQUENTIALLY SWABBED AND FLUSHED.
  - A MINIMUM SIX FEET AND PREFERABLY TEN FEET HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN THE WATER MAIN AND ANY WASTEWATER LINES. 6 INCHES MINIMUM VERTICAL SEPARATION IF WATER MAIN IS OVER WASTEWATER AND 12 INCHES IF WATER MAIN IS UNDER SHALL BE MAINTAINED BETWEEN THE WATER MAIN AND ANY WASTEWATER LINES. THE DISTANCE SHALL BE MEASURED FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE OR STRUCTURE WHERE THE MINIMUM SEPARATION CANNOT BE MAINTAINED. THE CROSSING SHALL BE ARRANGED SO THAT THE WASTEWATER PIPE JOINTS AND THE WATER MAIN PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING, AND THE WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE (DIP) AT THE CROSSING. SUFFICIENT LENGTHS OF DIP MUST BE USED TO PROVIDE A MINIMUM SEPARATION OF 10 FEET BETWEEN ANY TWO JOINTS. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED. A MINIMUM VERTICAL CLEARANCE OF 6 INCHES MUST BE MAINTAINED AT ALL CROSSINGS.
  - WHERE A WATER MAIN IS TO BE INSTALLED BELOW A STORM DRAIN PIPE, A MINIMUM OF 6 INCHES OF VERTICAL CLEARANCE BETWEEN PIPES SHALL BE CONSTRUCTED OF DIP AT THE CROSSING, AND SHALL BE MECHANICALLY RESTRAINED WITHIN 20 FEET OF THE CROSSING.
  - CONTRACTOR SHALL COMPLY WITH FLORIDA TRENCH SAFETY ACT REQUIREMENTS.

WATER DISTRIBUTION		G-1 NOTES	
DATE: 08/11/2010	REVISION:	DATE: 08/11/2010	REVISION:
DESIGNED BY: JAC	CHECKED BY: JAC	DESIGNED BY: JAC	CHECKED BY: JAC
DRAWN BY: JAC		DRAWN BY: JAC	
SCALE: AS SHOWN		SCALE: AS SHOWN	
PROJECT: 532055101		PROJECT: 532055101	
SHEET: 2 OF 2		SHEET: 2 OF 2	
DATE: 2010		DATE: 2010	
BY: JAC		BY: JAC	

- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING THE TELEPHONE CONDUIT WITH PULL STRING. ALL BENDS SHALL BE SWEEPING BENDS. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL TELEPHONE INSTALLATION WITH THE TELEPHONE COMPANY.
- THE TELEPHONE COMPANY WILL INSTALL THE UNDERGROUND TELEPHONE CABLE FROM THE END OF THE CONTRACTOR-INSTALLED CONDUIT AT THE BUILDING TO THE CONNECTION AT THE EXISTING LINES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL GAS LINE PAST THE GAS METER, AND BOLLARD PROTECTION FOR THE METER (IF LOCATED IN VEHICULAR AREA). THE GAS COMPANY WILL INSTALL THE METER AND ALL LINES FROM THE SERVICE MAIN TO THE METER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL LINES TO BE INSTALLED BY THE UTILITY COMPANIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT ALL TRENCHES ARE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.

FORT PIERCE UTILITIES AUTHORITY WASTEWATER CONSTRUCTION NOTES

- ALL CONSTRUCTION MATERIAL, INSTALLATION AND TESTING SHALL CONFORM TO THE STANDARD SPECIFICATIONS OF THE FORT PIERCE UTILITIES AUTHORITY.
- GRAVITY SEWER MAIN SHALL BE POLYVINYL CHLORIDE SDR-26, GREEN OR WHITE IN COLOR, AND SHALL CONFORM TO ASTM D-3034.
- THE MANHOLE BASE SHALL BE SET ON A FIRM, DRY AND STABLE OR COMPACTED BASE FOUNDATION. IF NECESSARY, THE CONTRACTOR SHALL UTILIZE ROCK TO PROVIDE A FIRM AND SUITABLE MANHOLE BASE FOUNDATION.
- WASTEWATER LINES SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH FPUA DESIGN AND CONSTRUCTION STANDARDS. THE CONTRACTOR SHALL SUBMIT CERTIFIED DENSITY TESTS AS REQUIRED BY FPUA ENGINEERING AND THE CITY ENGINEERING DEPARTMENT, IN CASES WHERE PAVED AREAS FALL WITHIN THE JURISDICTION OF LOCAL OR STATE AGENCIES. THE COMPACTOR REQUIREMENTS SHALL NOT BE LESS THAN THE MINIMUM REQUIRED BY THE APPROPRIATE RESPONSIBLE AGENCY.
- A 1% MINIMUM SLOPE SHALL BE MAINTAINED ON ALL SANITARY SERVICE LATERALS.
- THE CONTRACTOR SHALL FURNISH RECORD DRAWING INFORMATION TO THE ENGINEER CONSISTING OF PIPE SIZES, LOCATION OF SERVICE TEE WYES, DIAMETER OF MANHOLES AND ANY OTHER PERTINENT INFORMATION NECESSARY TO LOCATE ITEMS CONSTRUCTED UNDER THIS PROJECT.
- MAINTAIN SIX FEET AND PREFERABLY 10 FEET HORIZONTAL DISTANCE BETWEEN WATER MAINS AND SEWER MAINS AS A MINIMUM.
- WASTEWATER FORCE MAINS, WASTEWATER COLLECTION LINES, AND STORM SEWERS SHOULD CROSS UNDER WATER MAINS WHENEVER POSSIBLE. A MINIMUM VERTICAL DISTANCE OF 12 INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE SHALL BE PROVIDED WHENEVER POSSIBLE. WHERE THIS MINIMUM SEPARATION CANNOT BE MAINTAINED, THE CROSSING SHALL BE ARRANGED SO THAT THE WASTEWATER PIPE JOINTS AND THE WATER PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING, AND THE WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE (DIP) AT THE CROSSING. SUFFICIENT LENGTHS OF DIP MUST BE USED TO PROVIDE A MINIMUM SEPARATION OF 10 FEET BETWEEN ANY TWO JOINTS. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED. A MINIMUM VERTICAL CLEARANCE OF 6 INCHES MUST BE MAINTAINED AT ALL CROSSINGS.
- A PRE-CONSTRUCTION CONFERENCE BETWEEN THE ENGINEER, THE CONTRACTOR, AND FPUA/CITY COUNTY/FDOT SHALL BE MANDATORY PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- NO FIELD CHANGES OR DEVIATIONS FROM THE DESIGN SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE FPUA ENGINEER AND CITY/COUNTY/FDOT ENGINEER.
- TRAFFIC CONTROL, BARRICADES, ETC. SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS.
- CONTRACTOR SHALL NOTIFY FORT PIERCE UTILITIES AUTHORITY 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
- WASTEWATER FORCE MAIN SHALL BE POLYVINYL CHLORIDE CONFORMING TO ANMA C-800, AND SHALL BE CLASS 150, DR-18.
- WASTEWATER FORCE MAIN SHALL BE GREEN IN COLOR.
- FITTINGS SHALL BE DUCTILE IRON, CONFORMING TO ANS/AWWA C-110/A21.10 CLASS 250 MIN. AND INTERIOR EPOXY COATED.
- WASTEWATER FORCE MAIN SHALL BE MARKED BY THE USE OF CONTINUOUS TO GAUGE THIN WIRE (GREEN IN COLOR) PERMANENTLY ATTACHED TO THE TOP OF THE FORCE MAIN WITH LOCATOR TAPE MARKED "SEWER" ON TAPES IN ACCORDANCE WITH FPUA SPECIFICATIONS.
- MINIMUM COVER SHALL BE 36 INCHES. PIPES WITH COVER LESS THAN 30 INCHES SHALL REQUIRE PRIOR APPROVAL OF THE UTILITIES ENGINEER AND SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE.
- EACH SERVICE LATERAL WILL BE MARKED WITH A LOCATOR BALL AS MANUFACTURED BY 3M CORPORATION, OR APPROVED EQUAL, AS REQUIRED BY FPUA ENGINEER.
- ALL MANHOLES SHALL HAVE SEWER RAIN GUARDS INSTALLED AS REQUIRED BY FPUA ENGINEER.
- THE CONTRACTOR SHALL COMPLY WITH THE FLORIDA TRENCH SAFETY ACT REQUIREMENTS.

WASTEWATER CONSTRUCTION NOTES FPUA REQUIREMENTS		G-2 CONSTRUCTION NOTES	
DATE: 08/11/2010	REVISION:	DATE: 08/11/2010	REVISION:
DESIGNED BY: JAC	CHECKED BY: JAC	DESIGNED BY: JAC	CHECKED BY: JAC
DRAWN BY: JAC		DRAWN BY: JAC	
SCALE: AS SHOWN		SCALE: AS SHOWN	
PROJECT: 532055101		PROJECT: 532055101	
SHEET: 1 OF 1		SHEET: 1 OF 1	
DATE: 2010		DATE: 2010	
BY: JAC		BY: JAC	

Date	Description	No.
Revisions		
		7/31/25
		
		
Langan Engineering and Environmental Services, LLC 525 Okeechobee Blvd, Suite 910 West Palm Beach, Florida 33401 T: 561.473.8300      www.langan.com FL Certificate of Authorization No. 00006601L8B11L8B198		
		
CITY OF FT. PIERCE		
ST. LUCIE COUNTY      FLORIDA		
Drawing Title		
<b>GENERAL NOTES</b>		
Project No.	Drawing No.	
532055101		
Date		
JULY 2025	<b>C1.2</b>	
Drawn By		
Checked By		

**CONSTRUCTION NOTES**

- 1.) CONTRACTOR SHALL PREVENT ANY SILTATION FROM ENTERING THE STORMSEWER SYSTEM. ALL INLETS & INLET OPENINGS SHALL BE FULLY ENCLOSED WITH SILT FENCE DURING AND AFTER CONSTRUCTION OF INLET.
- 2.) NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- 3.) MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN AND AT LEAST ONCE A WEEK.
- 4.) THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE; AS THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SOIL SEDIMENT FROM LEAVING THE SITE.
- 5.) CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY.
- 6.) ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON SITE INSPECTION.
- 7.) LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY GOVERNING AUTHORITIES.
- 8.) IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
- 9.) CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.

**EROSION CONTROL NOTES**

1. ALL WASH WATER SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT BETWEEN WASH WATER POLLUTANTS AND STORM RUNOFF DISCHARGED FROM THIS SITE.
2. OIL AND GREASE ABSORBING MATERIALS SHALL BE READILY AVAILABLE ON-SITE AND SHALL BE PROMPTLY USED TO CONTAIN AND/OR CLEAN UP ALL FUEL OR CHEMICAL SPILLS OR LEAKS.
3. DUST CONTROL SHALL BE ACCOMPLISHED BY WATERING DRY, EXPOSED AREAS ON A REGULAR BASIS. SPRAYING OF PETROLEUM BASED OR TOXIC LIQUIDS FOR THIS IS PROHIBITED.
4. DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAS CEASED FOR AT LEAST FOURTEEN DAYS SHALL BE TEMPORARILY SEEDED AND WATERED.
5. DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED SHALL BE PERMANENTLY SEEDED WITHIN SEVEN DAYS PER LANDSCAPING SPECIFICATIONS.
6. ALL VEHICLES SHALL BE CLEANED AT THE CONSTRUCTION EXIT POINTS ACCORDING TO NOTES SHOWN ON THE DETAIL THEREOF.
7. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED ONTO ADJACENT ROADWAYS BY VEHICLES EXITING THE SITE SHALL BE CLEANED OR REMOVED IMMEDIATELY.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROMPT REMOVAL OF ALL ACCUMULATED SILT IN THE STORM SEWER SYSTEM AND ALONG SILT FENCES.
9. SILT FENCES SHALL BE PLACED AROUND ANY STOCKPILES USED ON THIS SITE.
10. ANY ADDITIONAL EROSION CONTROL MEASURES REQUIRED TO ENSURE COMPLIANCE WITH E.P.A. STORMWATER POLLUTION REGULATIONS SHALL BE IMPLEMENTED BY THE CONTRACTOR, AT NO ADDITIONAL EXPENSE TO THE OWNER.
11. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND PROPERLY DISPOSED OF OFF-SITE WITHIN THIRTY DAYS AFTER STABILIZATION OF ALL SURFACES.
12. THE CONTRACTOR SHALL ASSUME LIABILITY FOR DAMAGE TO ADJACENT PROPERTIES AND/OR PUBLIC RIGHT-OF-WAY RESULTING FROM FAILURE TO FULLY IMPLEMENT AND EXECUTE ALL EROSION CONTROL PROCEDURES SHOWN AND NOTED IN THESE PLANS.
13. WHENEVER DIRT, ROCK, OR OTHER MATERIALS ARE EXPORTED FOR USE OFF OF THE PRIMARY CONSTRUCTION SITE, THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THAT EPA STORM WATER PERMITTING REQUIREMENTS ARE MET. PRIOR TO ANY EXPORT OF MATERIALS, THE CONTRACTOR SHALL FURNISH THE ENGINEER WITH A WRITTEN AGREEMENT WITH ANY LANDOWNER WHO WILL RECEIVE EXPORTED MATERIALS, STATING THAT THE SITE WILL BE PROPERLY PERMITTED WHEN REQUIRED AND DESCRIBE THE EROSION CONTROL MEASURES WHICH WILL BE USED. AT A MINIMUM, EROSION CONTROL MEASURES MUST CONSIST OF PERIMETER CONTROLS (HAY BALES OR SILT FENCES) ON ALL DOWNSLOPES AND SIDESLOPE BOUNDARIES OF ANY DISTURBED AREA, PLUS PROVISIONS FOR REVEGETATION AFTER THE FILL MATERIALS ARE IN PLACE.

**EROSION CONTROL SEQUENCE**

1. INSTALL SILT FENCES & TRIANGULAR SEDIMENT FILTER DIKES AROUND PERIMETER OF PROPERTY AND DISTURBED AREAS AS SHOWN.
2. INSTALL INLET PROTECTION FOR ALL EXISTING GRATE INLETS, CURB INLETS AND AT THE ENDS OF ALL EXPOSED STORM SEWER PIPES, IF PRESENT.
3. CONSTRUCT TEMPORARY CONSTRUCTION EXIT.
4. COMMENCE GRUBBING AND REMOVAL OF VEGETATION IN AREA TO RECEIVE CUT OR FILL.
5. COMMENCE GRADING OPERATION FOR BUILDING PAD PREPARATION.
6. INSTALL ALL UNDERGROUND UTILITIES.
7. FINALIZE PAVEMENT SUBGRADE PREPARATION.
8. INSTALL ALL PROPOSED STORM SEWER PIPES AND INSTALL INLET PROTECTION SILT FENCES AT ENDS OF EXPOSED PIPES.
9. CONSTRUCT ALL GRATE INLETS AND DRAINAGE STRUCTURES. INLET PROTECTION SILT FENCES MAY BE REMOVED TEMPORARILY FOR THIS CONSTRUCTION.
10. REMOVE SILT FENCES AROUND INLETS AND MANHOLES NO MORE THAN 48 HOURS PRIOR TO PLACING STABILIZED BASE COURSE.
11. INSTALL BASE MATERIAL AS REQUIRED FOR PAVEMENT, CURB & GUTTER.
12. INSTALL ALL PAVING, CURB & GUTTER.
13. COMPLETE PLANTING AND/OR SEEDING OF VEGETATED AREAS TO ACCOMPLISH STABILIZATION, IN ACCORDANCE WITH THE LANDSCAPING PLAN.
14. REMOVE TEMPORARY CONSTRUCTION EXIT, SILT FENCES & TRIANGULAR SEDIMENT FILTER DIKES.

**\*\*NOTICE TO CONTRACTORS - UTILITIES\*\***

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF ANY EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, THE GOVERNING MUNICIPALITY, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION PROVIDED IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.

**\*\* NOTICE TO CONTRACTORS - TOPOGRAPHIC SURVEY \*\***

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY ORTHOTEK GEOSPATIAL SOLUTIONS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS (PSS&E) WHICH NEGATIVELY IMPACT THE PROJECT. THE ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

**BMP IMPLEMENTATION SCHEDULE**

BMP	WHEN IMPLEMENTED
SILT FENCE	PRIOR TO CLEARING/GRUBBING
INLET PROTECTION	PRIOR TO CLEARING/GRUBBING
CONSTRUCTION EXIT	PRIOR TO CLEARING/GRUBBING
ROCK CHECK DAM	AFTER DETENTION POND HAS BEEN GRADED
INLET PROTECTION OF NEW PIPES/MANHOLES	DURING UTILITY INSTALLATION
PERMANENT VEGETATIVE STABILIZATION	AFTER FINAL GRADING AND PAVING

**SITE DATA**

TOTAL LAND AREA: 5.82 AC  
 DISTURBED AREA: 6.61 AC  
 IMPERVIOUS: 3.38 AC  
 PERVIOUS: 3.23 AC  
 RUNOFF COEFF. PRE-DEV: 0.35  
 RUNOFF COEFF. POST-DEV: 0.66

**\*\*NOTE\*\***

AREAS TO BE PERMANENTLY STABILIZED WITH VEGETATION AND SEEDING SPECIFICATIONS ARE SHOWN ON LANDSCAPE PLAN.

**\*\*\* CAUTION: NOTICE TO CONTRACTOR \*\*\***

THE CONTRACTOR SHALL NOTE ON SITE PLAN THE LOCATION OF ALL MATERIAL STORAGE AREAS, EQUIPMENT STORAGE AREAS, PETROLEUM TANKS, SOLID WASTE RECEPTACLES, SANITARY FACILITIES, CONCRETE WASHOUT PIT, ANY ON-SITE OR OFF-SITE BORROW OR STOCKPILE AREA, ANY ON-SITE OR OFF-SITE SUPPORT ACTIVITIES (SUCH AS ASPHALT OR CONCRETE PLANTS). CONTRACTOR SHALL ALSO PREPARE, KEEP ON SITE, AND MAINTAIN CURRENT LIST OF MATERIALS WITH APPROXIMATE QUANTITIES, WHICH ARE STORED ON SITE.

**\*\*FLOOD NOTE\*\***

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY, THE ENTIRE SITE IS OUTSIDE OF THE 100 YEAR FLOOD ZONE.

**\*\*NOTE\*\***

THERE ARE NO IMPACTS TO THE WATERS OF THE U.S. ON THIS SITE.

**EROSION CONTROL MAINTENANCE NOTES**

1. ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON ON A SCHEDULE WHICH COMPLIES WITH THE GENERAL PERMIT REQUIREMENTS AND CLEANED AND REPAIRED WITHIN 48 HOURS OF THE INSPECTION IN ACCORDANCE WITH THE FOLLOWING:
  - 1.A. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
  - 1.B. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED.
  - 1.C. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
  - 1.D. THE TEMPORARY PARKING AND STORAGE AREA (IF PRESENT) SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
  - 1.E. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS OR SEDIMENT TRAPS (IF PRESENT) SHALL BE MAINTAINED IN OPERATIONAL CONDITION AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
  - 1.F. MAINTENANCE PROCEDURES FOR THE EROSION AND SEDIMENTATION CONTROL SYSTEMS SPECIFIED ARE GIVEN IN SECTION 5 OF THE STORM WATER POLLUTION PREVENTION PLAN.



THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

**CONSTRUCTION NOTES**

- 1.) CONTRACTOR SHALL PREVENT ANY SILTATION FROM ENTERING THE STORMSEWER SYSTEM. ALL INLETS & INLET OPENINGS SHALL BE FULLY ENCLOSED WITH SILT FENCE DURING AND AFTER CONSTRUCTION OF INLET.
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- 3.) MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN AND AT LEAST ONCE A WEEK.
- 4.) THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE; AS THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SOIL SEDIMENT FROM LEAVING THE SITE.
- 5.) CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY.
- 6.) ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON SITE INSPECTION.
- 7.) LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY GOVERNING AUTHORITIES.
- 8.) IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
- 9.) CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.

**EROSION CONTROL NOTES**

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6. ALL VEHICLES SHALL BE CLEANED AT THE CONSTRUCTION EXIT POINTS ACCORDING TO NOTES SHOWN ON THE DETAIL THEREOF.
7. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED ONTO ADJACENT ROADWAYS BY VEHICLES EXITING THE SITE SHALL BE CLEANED OR REMOVED IMMEDIATELY.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROMPT REMOVAL OF ALL ACCUMULATED SILT IN THE STORM SEWER SYSTEM AND ALONG SILT FENCES.
9. SILT FENCES SHALL BE PLACED AROUND ANY STOCKPILES USED ON THIS SITE.
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**EROSION CONTROL SEQUENCE**

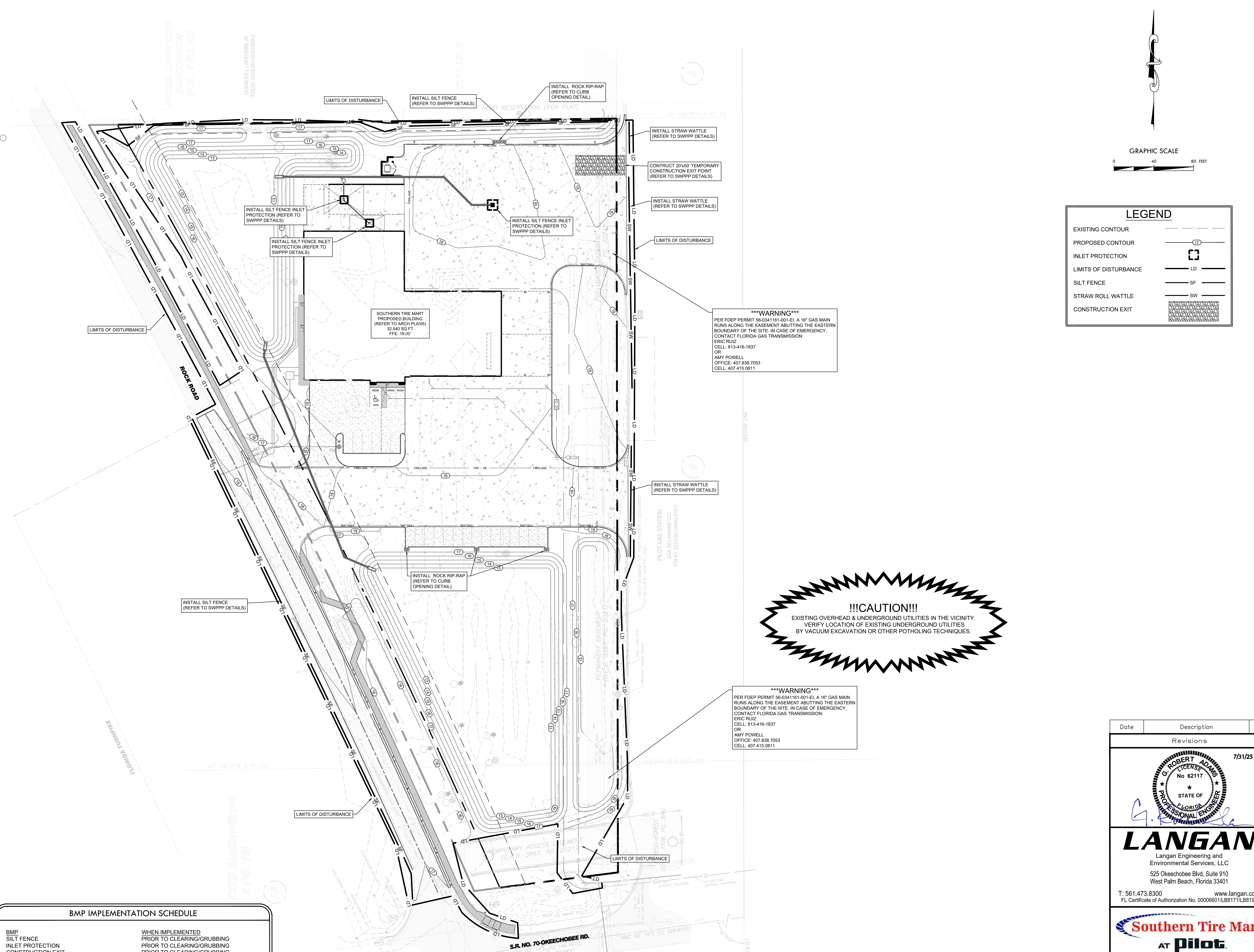
1. INSTALL SILT FENCES & TRIANGULAR SEDIMENT FILTER DIKES AROUND PERIMETER OF PROPERTY AND DISTURBED AREAS AS SHOWN.
2. INSTALL INLET PROTECTION FOR ALL EXISTING GRATE INLETS, CURB INLETS AND AT THE ENDS OF ALL EXPOSED STORM SEWER PIPES, IF PRESENT.
3. CONSTRUCT TEMPORARY CONSTRUCTION EXIT.
4. COMMENCE GRUBBING AND REMOVAL OF VEGETATION IN AREA TO RECEIVE CUT OR FILL.
5. COMMENCE GRADING OPERATION FOR BUILDING PAD PREPARATION.
6. INSTALL ALL UNDERGROUND UTILITIES.
7. FINALIZE PAVEMENT SUBGRADE PREPARATION.
8. INSTALL ALL PROPOSED STORM SEWER PIPES AND INSTALL INLET PROTECTION SILT FENCES AT ENDS OF EXPOSED PIPES.
9. CONSTRUCT ALL GRATE INLETS AND DRAINAGE STRUCTURES. INLET PROTECTION SILT FENCES MAY BE REMOVED TEMPORARILY FOR THIS CONSTRUCTION.
10. REMOVE SILT FENCES AROUND INLETS AND MANHOLES NO MORE THAN 48 HOURS PRIOR TO PLACING STABILIZED BASE COURSE.
11. INSTALL BASE MATERIAL AS REQUIRED FOR PAVEMENT, CURB & GUTTER.
12. INSTALL ALL PAVING, CURB & GUTTER.
13. COMPLETE PLANTING AND/OR SEEDING OF VEGETATED AREAS TO ACCOMPLISH STABILIZATION, IN ACCORDANCE WITH THE LANDSCAPING PLAN.
14. REMOVE TEMPORARY CONSTRUCTION EXIT, SILT FENCES & TRIANGULAR SEDIMENT FILTER DIKES.

**\*\*NOTICE TO CONTRACTORS - UTILITIES\*\***

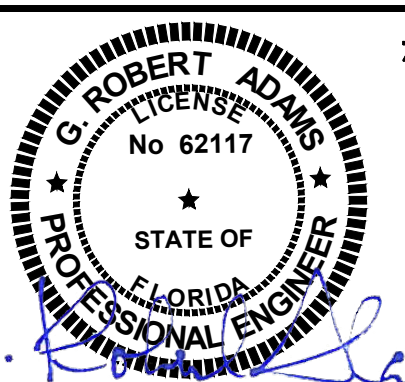
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Date	Description	No.
Revisions		
		7/31/25



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 525 Okeechobee Blvd., Suite 910  
 West Palm Beach, Florida 33401  
 T: 561.473.8300 www.langan.com  
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CITY OF FT. PIERCE

ST. LUCIE COUNTY FLORIDA

Drawing Title

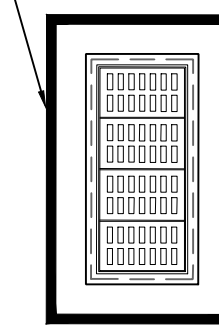
**SWPPP SITE MAP**

Project No.	Drawing No.
532055101	C2.0
Date	
JULY 2025	
Drawn By	
Checked By	

**STEPS FOR CONSTRUCTION:**

1. DRIVE POST 18" INTO GROUND AND EXCAVATE A 6"x6" TRENCH UPHILL ALONG THE LINE OF POST.
2. ATTACH WIRE FENCE TO THE POST AND EXTEND BOTTOM OF FENCE 6" INTO THE EXCAVATED TRENCH.
3. ATTACH THE SILT FABRIC TO THE WIRE FENCE AND EXTEND THE BOTTOM OF THE FABRIC 6" INTO THE TRENCH.
4. BACKFILL THE TRENCH WITH SOIL & COMPACT OR PLACE WASHED STONE TO THE HEIGHT OF 6" ABOVE GROUND LEVEL. BOTTOM OF FENCE MUST BE ANCHORED SO THAT RUNOFF IS FORCED THROUGH THE FENCE AND CAN NOT GO UNDER IT.

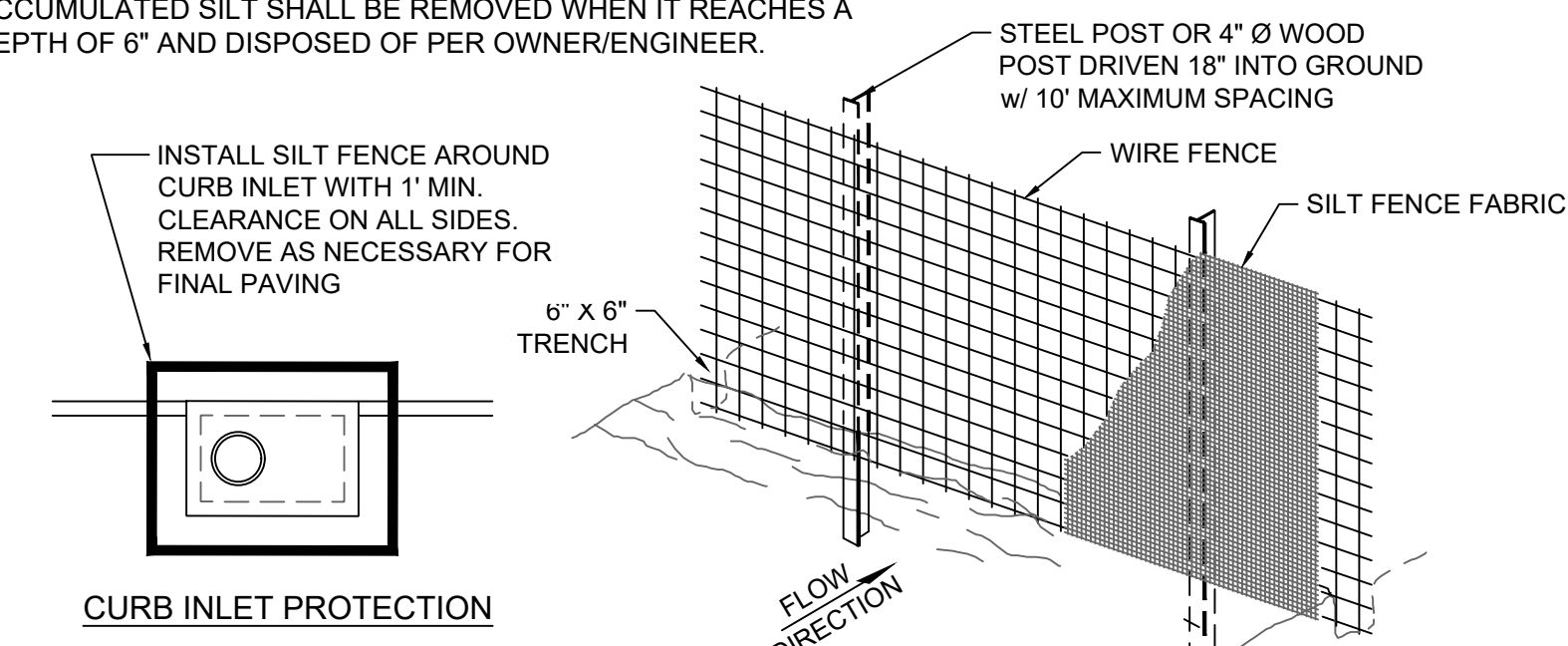
INSTALL SILT FENCE AROUND CURB INLET WITH 1" MIN. CLEARANCE ON ALL SIDES. REMOVE AS NECESSARY FOR FINAL PAVING



GRATE INLET PROTECTION

**INSPECTION & MAINTENANCE:**

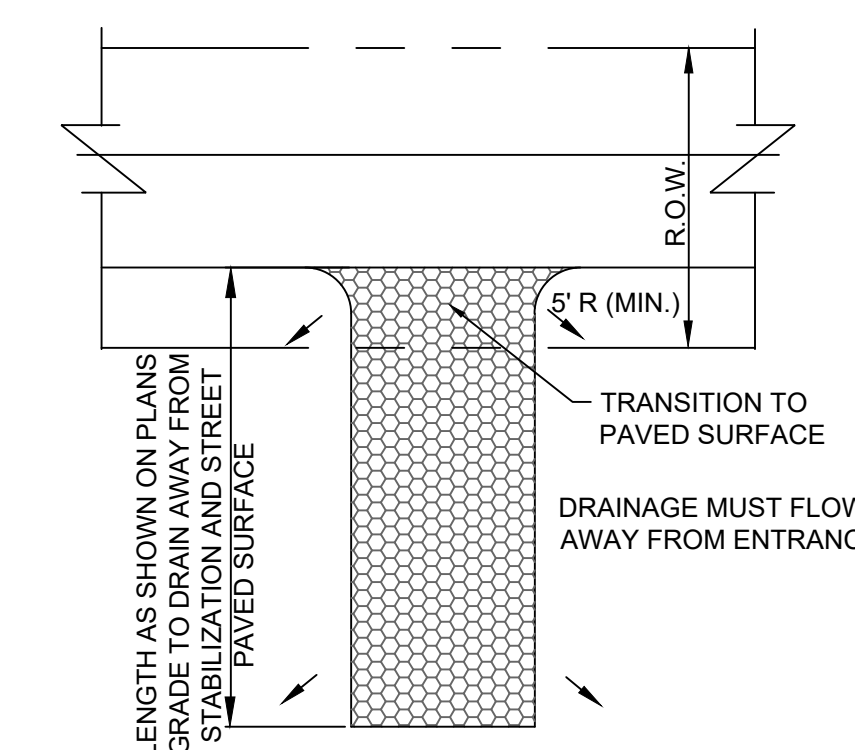
1. INSPECTION OF FENCES SHALL BE FREQUENT AND REPAIR OR REPLACEMENT MADE PROMPTLY AS NEEDED.
2. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6" AND DISPOSED OF PER OWNER/ENGINEER.



CURB INLET PROTECTION

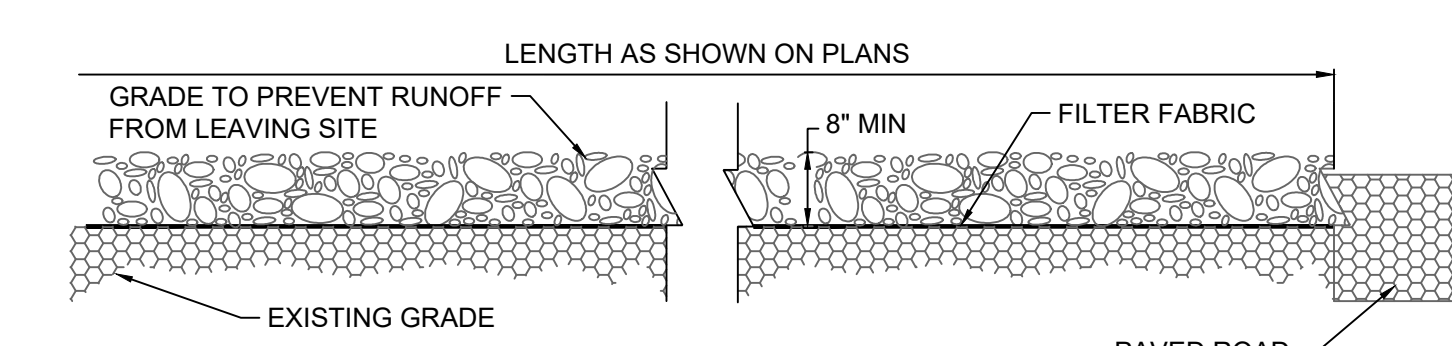
SILT FENCE/INLET PROTECTION DETAIL

N.T.S.



CONSTRUCTION EXIT

N.T.S.



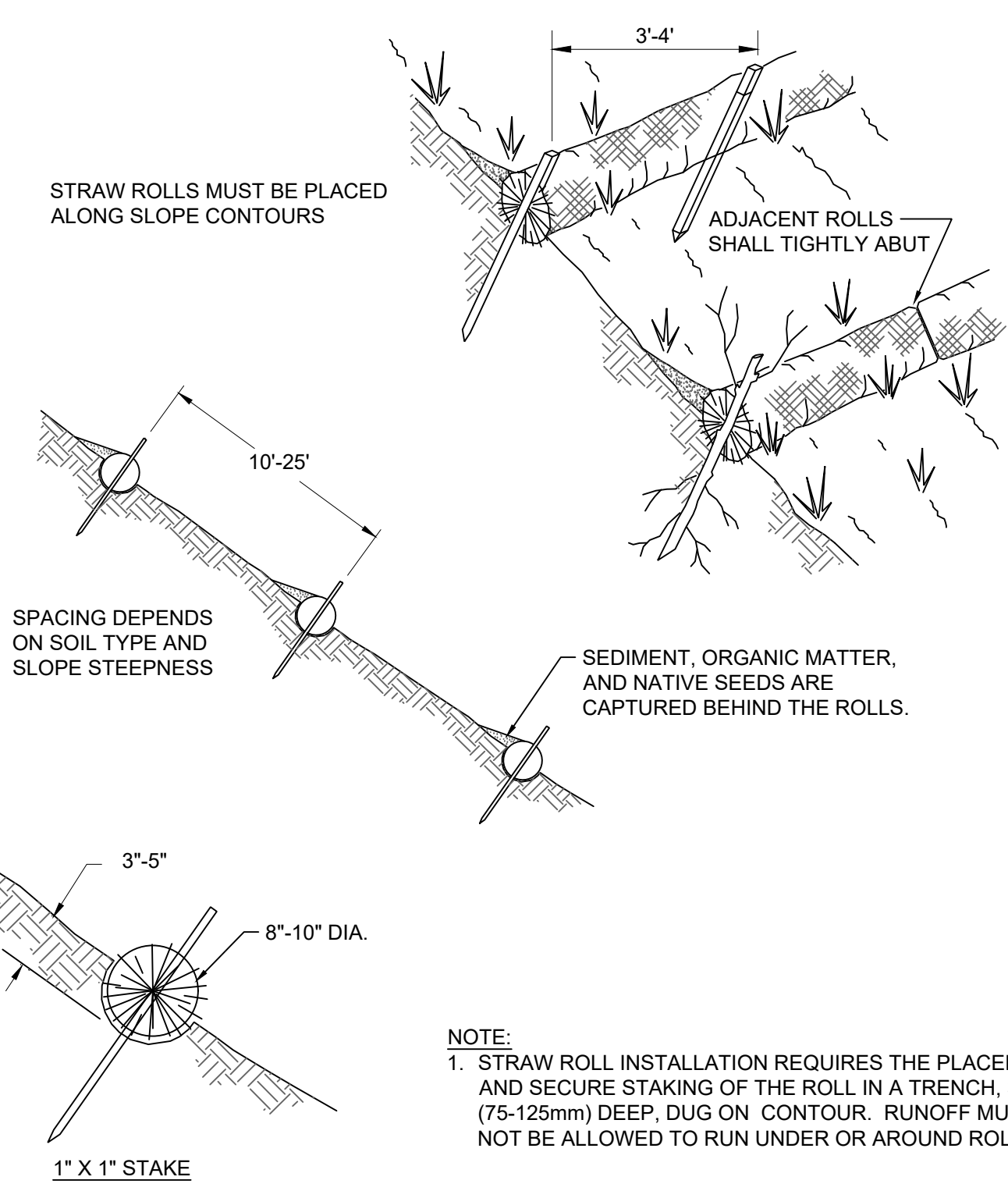
CONSTRUCTION EXIT PROFILE VIEW

N.T.S.

**STABILIZED CONSTRUCTION EXIT**

1. STONE SHALL BE 5 TO 10 INCH DIAMETER CRUSHED ROCK OR ACCEPTABLE CRUSHED PORTLAND CEMENT CONCRETE.
2. LENGTH SHALL BE SHOWN ON PLANS, WITH A MINIMUM LENGTH OF 30 FEET FOR LOTS WHICH ARE LESS THAN 150 FEET FROM EDGE OF PAVEMENT. THE MINIMUM DEPTH IN ALL OTHER CASES SHALL BE 50 FEET.
3. THE THICKNESS SHALL NOT BE LESS THAN 8 INCHES.
4. THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
5. WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN FLUSHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PAVED SURFACES, MUST BE REMOVED IMMEDIATELY.
7. THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.



STRAW ROLL WATTLE

N.T.S.

Date	Description	No.
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7/31/25

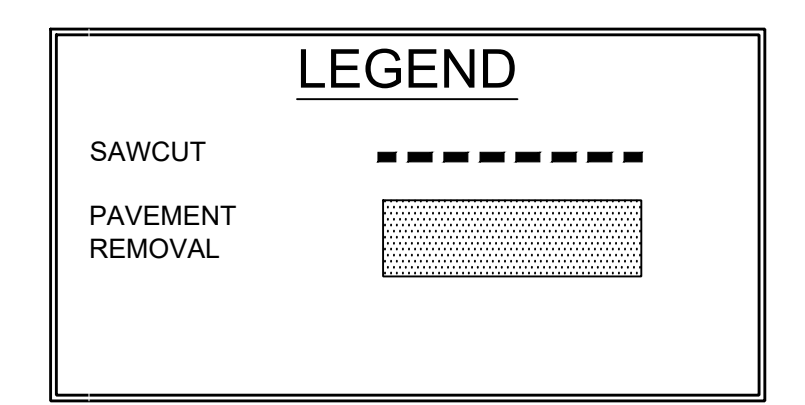
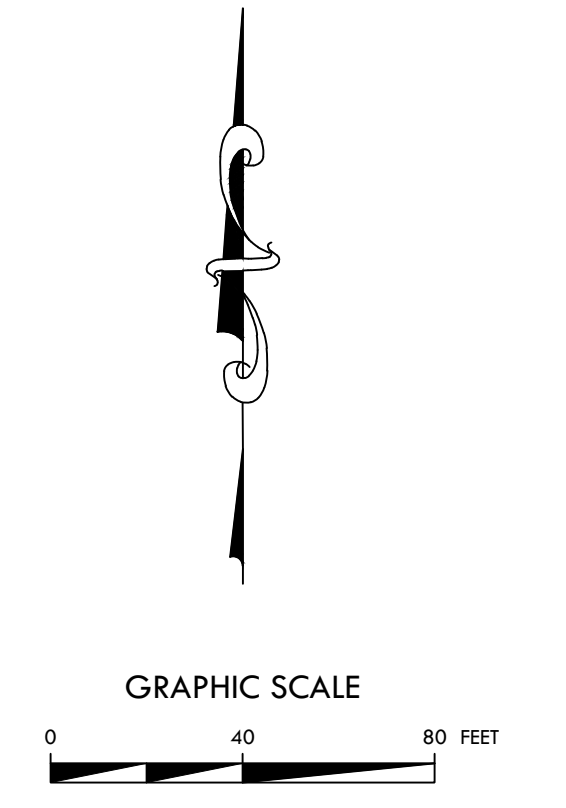
**LANGAN**  
Langan Engineering and Environmental Services, LLC  
525 Okeechobee Blvd, Suite 910  
West Palm Beach, Florida 33401

**Southern Tire Mart**  
AT **Pilot**  
CITY OF FT. PIERCE

ST. LUCIE COUNTY FLORIDA  
Drawing Title

**SWPPP DETAILS**

Project No.	Drawing No.
532055101	<b>C2.1</b>
Date	
JULY 2025	
Drawn By	
Checked By	



**\*\*\*WARNING\*\*\***  
 PER FDEP PERMIT 56-0241161-001-EL, A 16" GAS MAIN RUNS ALONG THE EASEMENT ABUTTING THE EASTERN BOUNDARY OF THE SITE. IN CASE OF EMERGENCY, CONTACT FLORIDA GAS TRANSMISSION: ERIC RUIZ, CELL: 813-416-1837 OR AMY POWELL, OFFICE: 407-838-7053, CELL: 407-415-0811

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CITY OF FT. PIERCE		
ST. LUCIE COUNTY      FLORIDA		
Drawing Title		
<b>DEMOLITION PLAN</b>		
Project No.	532055101	Drawing No.
Date	JULY 2025	<b>C3.0</b>
Drawn By		
Checked By		

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 Call before you dig.  
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# SITE MAP

NTS

**OWNER**  
 TL WALLACE CONSTRUCTION  
 4025 HWY. 35N  
 COLUMBIA, MISSISSIPPI 39429  
 CONTACT: DAVID SKINNER  
 PHONE: (601) 736-4525  
 EMAIL: dskinner@tlwallace.com

SITE INFORMATION	
ZONING:	C3 - GENERAL COMMERCIAL ZONE
BUILDING HEIGHT:	31'-2"
TOTAL LOT AREA:	253,358.9 SF (5.82 AC)
TOTAL IMPERVIOUS AREA:	130,498.25 SF (3.00 AC)
FLOOR AREA RATIO:	TBA
PARKING REQUIREMENTS	
TOTAL BUILDING AREA:	32,540± S.F.
TOTAL SPACES PROVIDED:	24
ACCESSIBLE PARKING SPACES REQUIRED:	1
ACCESSIBLE PARKING SPACES PROVIDED:	1 (1 VAN)

**NOTES:**  
 1) ALL STORM DRAINAGE FACILITIES SHALL CONFORM TO CHAPTER 32 AND 121 AND STANDARD SPECIFICATION ADOPTED BY THE COMMISSION OF FEBRUARY 13, 1973, AS AMENDED.

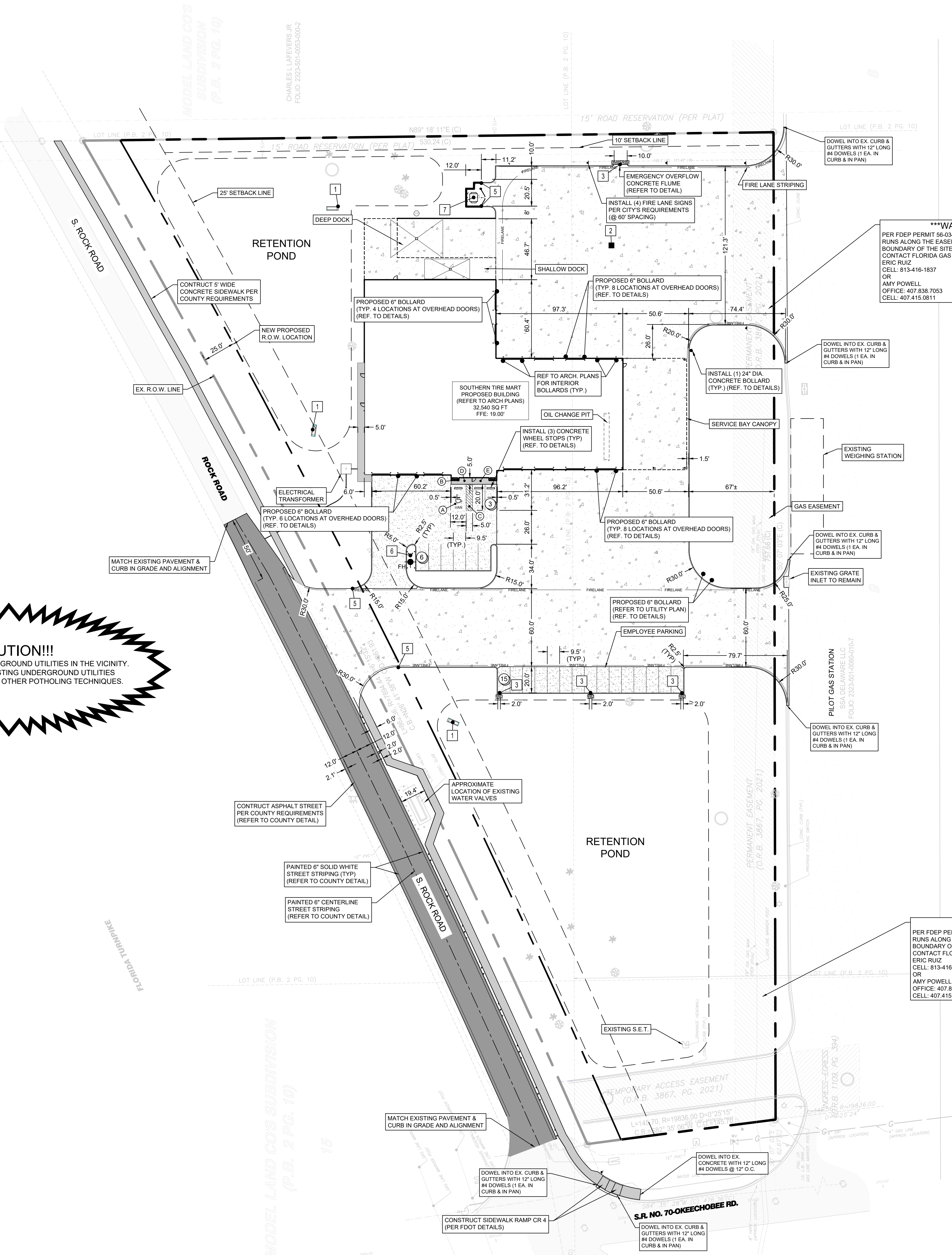
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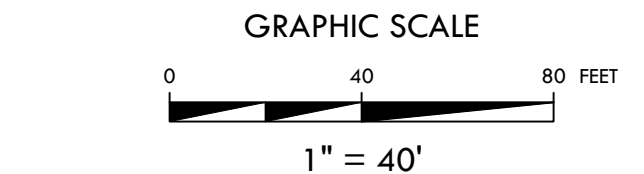


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STANDARD ACCESSIBILITY REQUIREMENTS	
<b>PARKING:</b>	
A	ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A MIN. 96" WIDE OR A MIN. 132" WIDE FOR VAN DESIGNATED SPACES WITH A MAXIMUM SLOPE OF 2% (IN ALL DIRECTIONS). ALL BUILDINGS SHALL CONTAIN AT LEAST ONE VAN ACCESSIBLE SPACE FOR NO LESS THAN ONE VAN SPACE FOR EVERY 6 ACCESSIBLE SPACES.
B	EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. APPROPRIATE VAN ACCESSIBLE SPACES MUST INCORPORATE "VAN-ACCESSIBLE" BELOW THE SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE LOCATED AS NOTED TO 80" (MIN.) ABOVE THE ADJACENT PAVED SURFACE TO BOTTOM OF SIGN.
C	ALL ACCESS AISLES SERVING ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A 60" WIDE MINIMUM.
<b>SIDEWALKS AND ACCESSIBLE ROUTES:</b>	
D	SIDEWALKS (ACCESSIBLE ROUTES) MUST BE AT LEAST 36" WIDE WITH 5'X5' CLEAR PASSING OPPORTUNITIES IN INCREMENTS LESS THAN 150 LF SIDEWALK. CROSS SLOPE SHALL NOT EXCEED 1:48 (2%).
E	LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%).

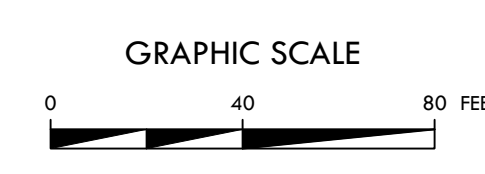
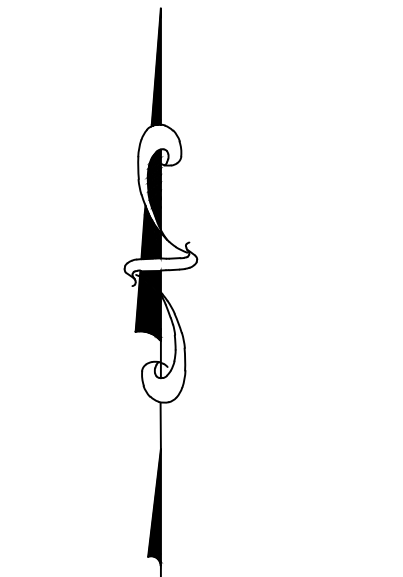
KEYNOTE LEGEND	
1	PROPOSED SAFETY END TREATMENT (REFER TO STORM SEWER PLAN)
2	PROPOSED GRATE INLET (REFER TO STORM SEWER PLAN)
3	PROPOSED CURB OPENING (REFER TO GRADING PLAN & DETAILS)
4	PROPOSED CONCRETE FLUME
5	CURB TRANSITION
6	REMOTE FDC AND BOLLARDS (REFER TO UTILITY PLAN & DETAILS)
7	PROPOSED DUMPSTER ENCLOSURE (REF. ARCH. PLANS)



LEGEND	
PROPOSED FACE AND BACK OF CURB	[Symbol]
PROPOSED HEAVY DUTY CONCRETE PAVEMENT (REF. TO DETAILS)	[Symbol]
PROPOSED LIGHT DUTY CONCRETE PAVEMENT (REF. TO DETAILS)	[Symbol]
ASPHALT (REF. TO DETAILS)	[Symbol]
PARKING COUNT	(5)
PROPOSED CONCRETE SIDEWALK PAVEMENT	[Symbol]

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ST. LUCIE COUNTY      FLORIDA		
Drawing Title		
<b>SITE PLAN</b>		
Project No.	532055101	Drawing No.
Date	JULY 2025	<b>C4.0</b>
Drawn By	TC	
Checked By	MSH	

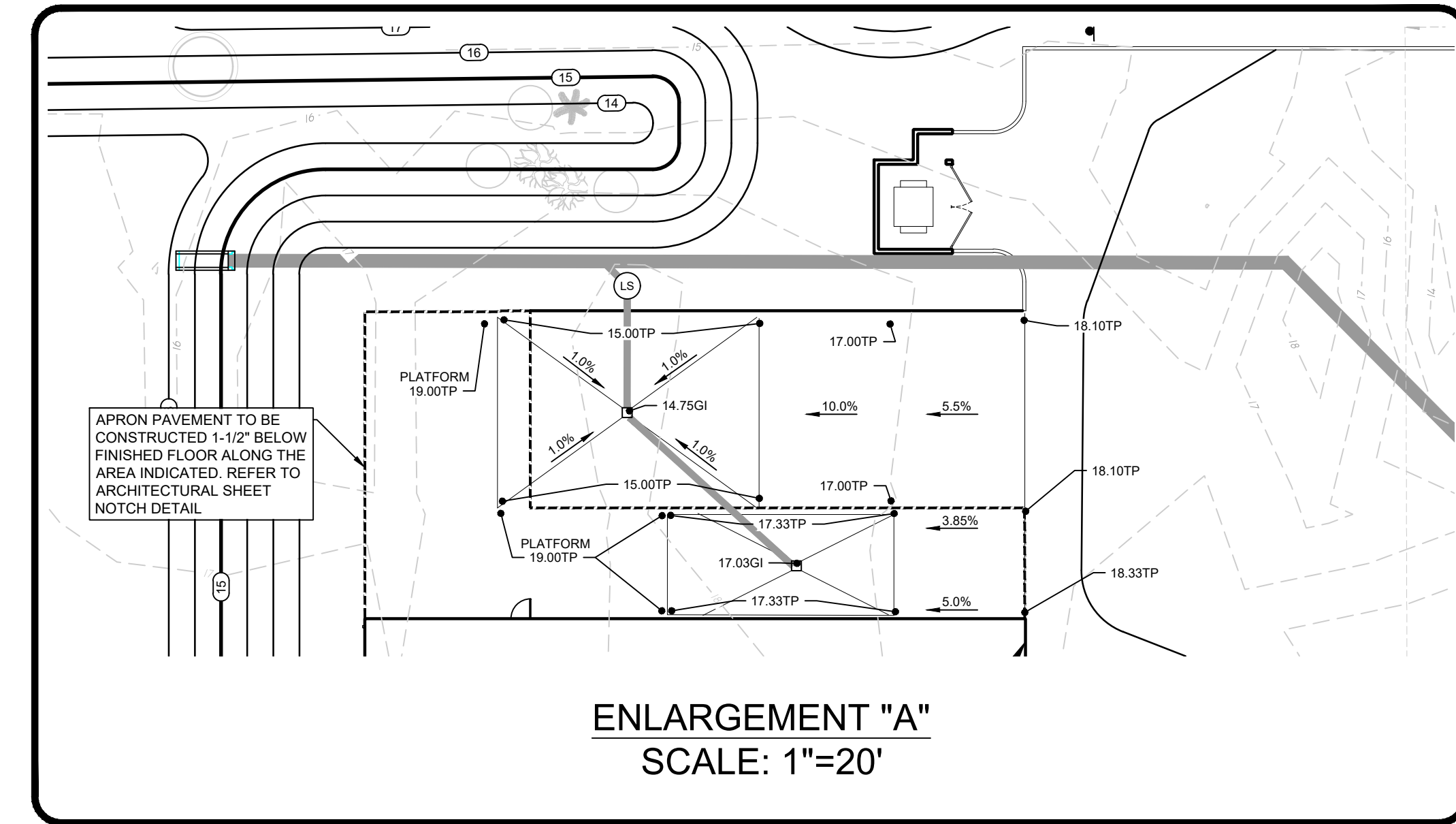
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LEGEND	
PROPOSED CONTOUR	---
EXISTING CONTOUR	---
FLOWLINE	---
GRADE BREAK	---
ACCESSIBLE ROUTE	---
SPOT GRADE	100.00 TP
EXISTING FLOW ARROW	---
PROPOSED FLOW ARROW	---
FG	FINISHED GRADE
TC	TOP OF CURB
TP	TOP OF PAVEMENT
FL	FLOWLINE
FP	FINISHED PAD
FF	FINISHED FLOOR
T	TOP OF STEPS
B	BOTTOM STEPS
TW	TOP WALL

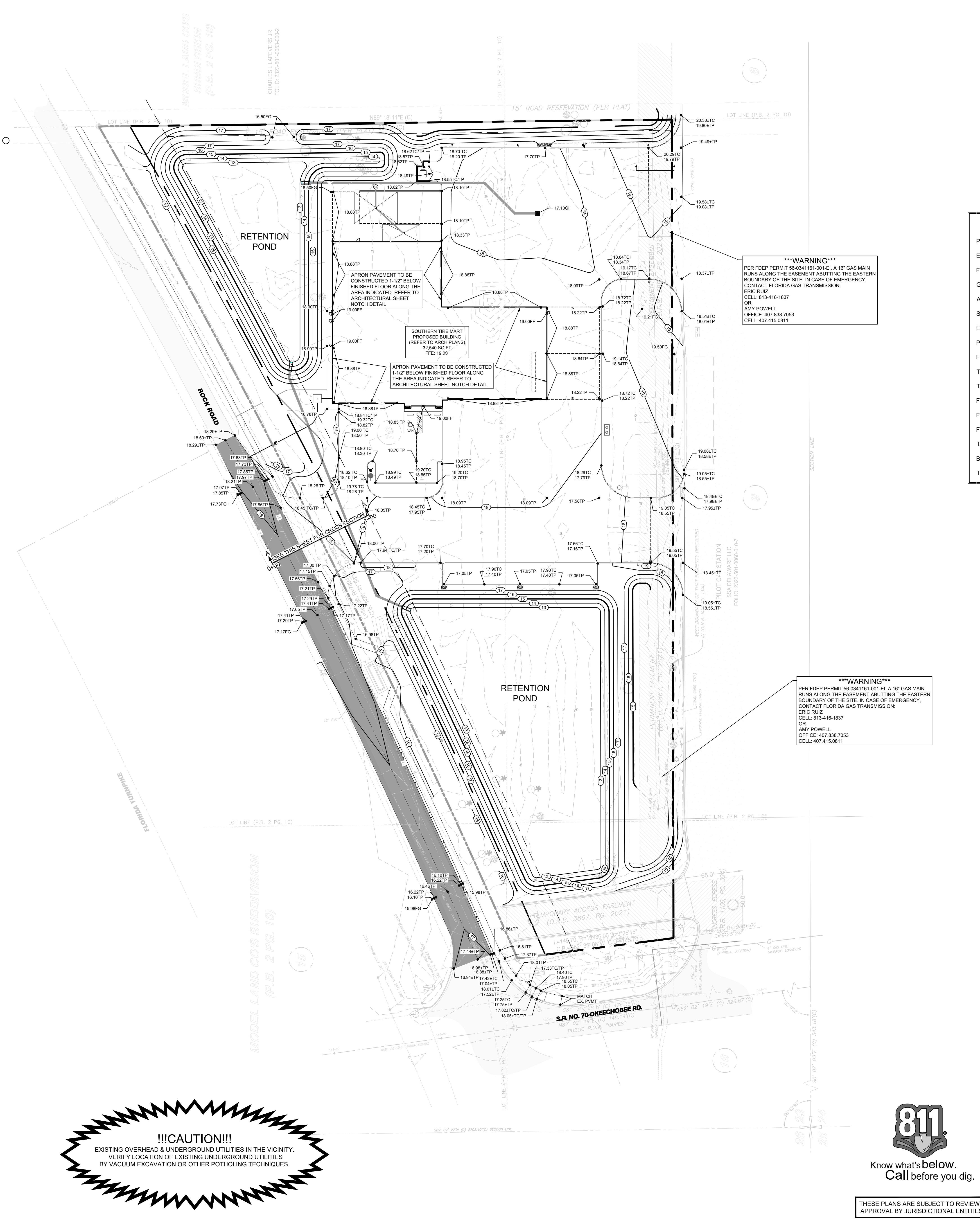
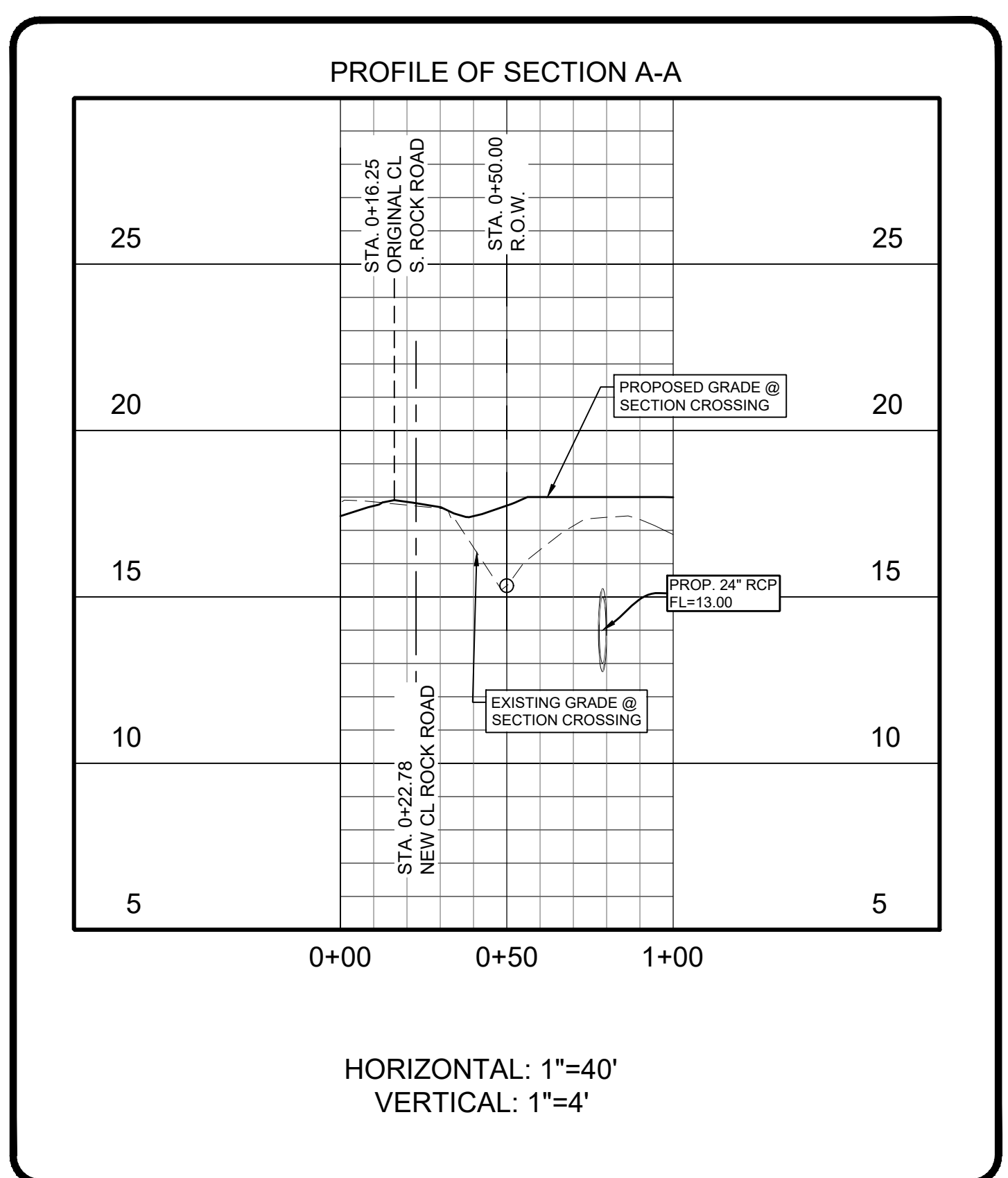
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**SITE GRADING**

THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A Slope OF NOT LESS THAN ONE UNIT VERTICAL IN 20 UNITS HORIZONTAL (5-PERCENT Slope) FOR A MINIMUM DISTANCE OF 10 FEET (3048 MM) MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET (3048 MM) OF HORIZONTAL DISTANCE, A 5-PERCENT Slope SHALL BE PROVIDED BY AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2 PERCENT WHERE LOCATED WITHIN 10 FEET (3048 MM) OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 100 FEET (3048 MM) OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING.



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<b>GRADING PLAN</b>		
Project No.	532055101	Drawing No.
Date	JULY 2025	C5.0
Drawn By		
Checked By		

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OS-1  
0.46  
8.2

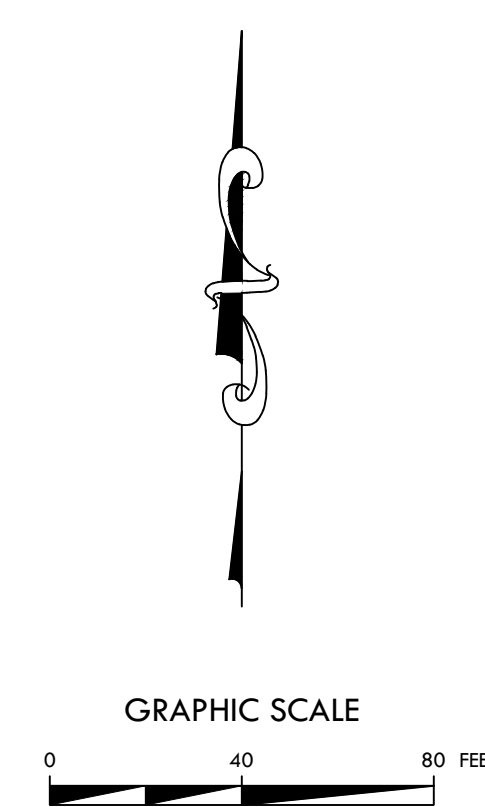
X-01  
6.02  
8.3

OS-2  
0.42  
8.8

Drainage Area Number	Curve Numbers							Total Area (acres)	Composite Curve Number
	Parkway (A), Road, Driveways (Soil Group D)	Industrial (Soil Group D)	Open Space, Court, Crustalline (Soil Group D)	Undeveloped Brush (Soil Group D)	Residential (Soil Group C)	Residential (Soil Group D)	Residential (Soil Group D)		
OS-1	98	93	80	83	83	87		84	
OS-2	0.13		0.24						
X-1	0.40			5.62			6.02	84	

PRE-DEVELOPMENT RUNOFF DEPTH CALCULATIONS					
Drainage Area Designation	Drainage Area (ac)	Curve Number "CN"	25-Year Rainfall Depth (25) (in)	25-Year Runoff (Q25) (in)	Comments
OS-1	0.46	83	10.30	8.2	
OS-2	0.42	88	10.30	8.8	
X-1	6.02	84	10.30	8.3	

Note: Calculations based on USDA Urban Hydrology for Small Watersheds TR-55.



LEGEND		
BASIN NAME	DA-00	
DRAINAGE BASIN ACRES	1.00	
25 YR RUNOFF (IN)	5.00	
DRAINAGE AREA		-----

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

Date	Description	No.
Revisions		
7/31/25		

**LANGAN**  
Langan Engineering and Environmental Services, LLC  
525 Okeechobee Blvd, Suite 910  
West Palm Beach, Florida 33401  
T: 561.473.8300 www.langan.com  
FL Certificate of Authorization No. 00006601/LB8171/LB8198

CITY OF FT. PIERCE  
ST. LUCIE COUNTY FLORIDA

Drawing Title  
**EXISTING DRAINAGE AREA MAP**

Project No. 532055101	Drawing No. C6.0
Date JULY 2025	
Drawn By	
Checked By	



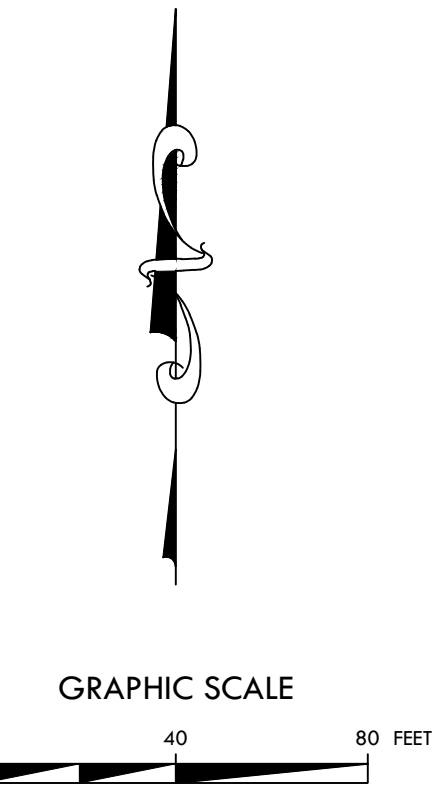
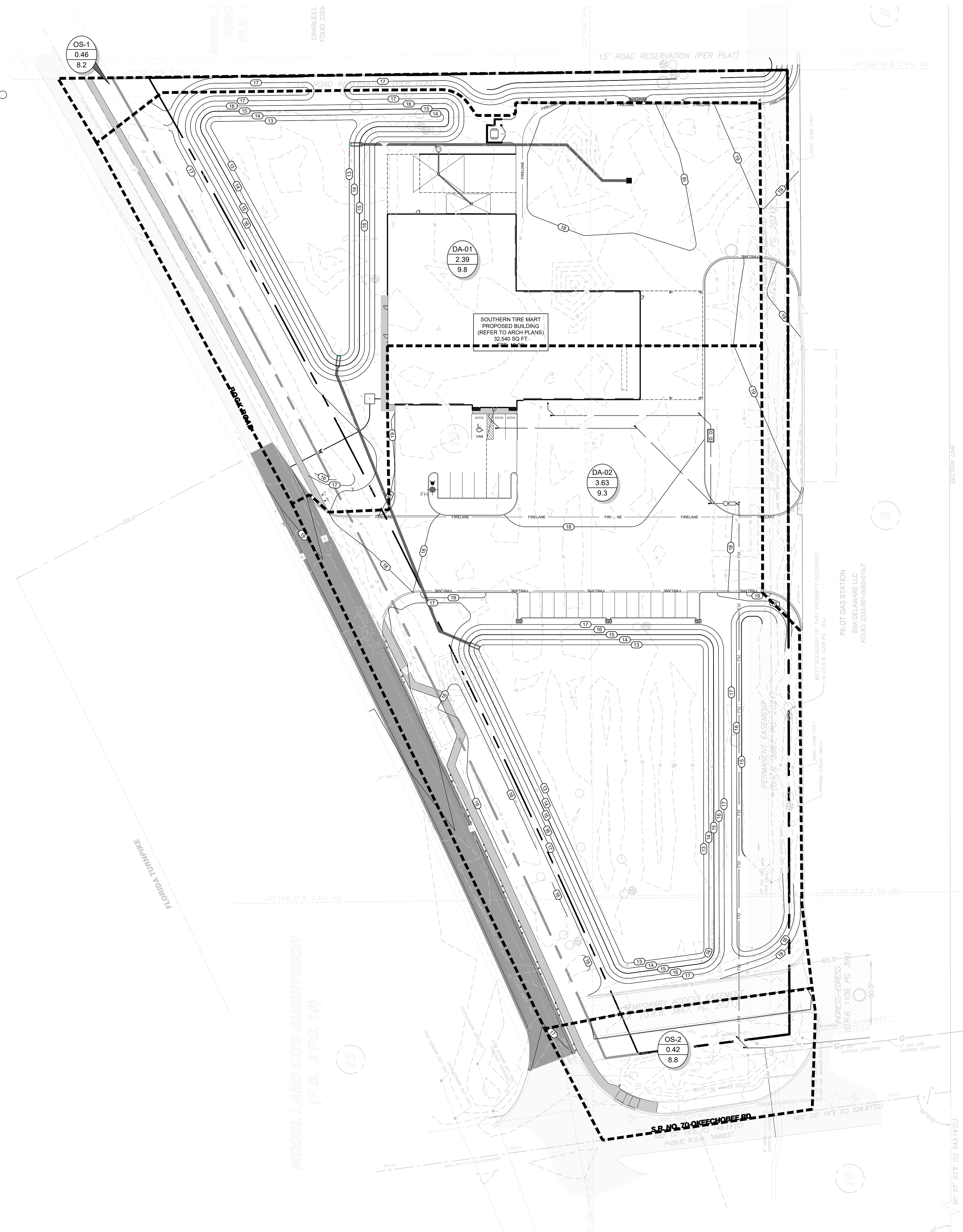
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**LEGEND**

BASIN NAME	DA-00
DRAINAGE BASIN ACRES	1.00
25 YR RUNOFF (IN)	5.00
DRAINAGE AREA	-----

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Date	Description	No.
Revisions		
		7/31/25

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CITY OF FT. PIERCE

ST. LUCIE COUNTY      FLORIDA

Drawing Title

**PROPOSED DRAINAGE AREAS -SCS**

Project No.	Drawing No.
532055101	C6.1
Date	
JULY 2025	
Drawn By	
Checked By	

**POST-DEVELOPED COMPOSITE CURVE NUMBER**

Drainage Area Number	Curve Numbers					Total Area (acres)	Composite Curve Number
	Parking Lots, Roofs, Driveways (Soil Group D)	Open Space, Good Condition (Soil Group D)	Undeveloped (Soil Group D)	Residential (Soil Group C)	Residential (Soil Group D)		
OS-1	0.08	0.38	83	84	83	0.46	83
OS-2	0.18	0.24				0.42	88
DA-1	2.10	0.29				2.39	96
DA-2			1.53			3.63	92

**POST-DEVELOPMENT RUNOFF DEPTH CALCULATIONS**

Drainage Area Designation	Drainage Area (ac)	Curve Number "CN"	25-Year Rainfall Depth (25)	25-Year Runoff (Q25)
OS-1	0.46	83	10.30	8.2
OS-2	0.42	88	10.30	8.8
DA-1	2.39	96	10.30	9.8
DA-2	3.63	92	10.30	9.3

Note: Calculations based on FDOT Drainage Manual

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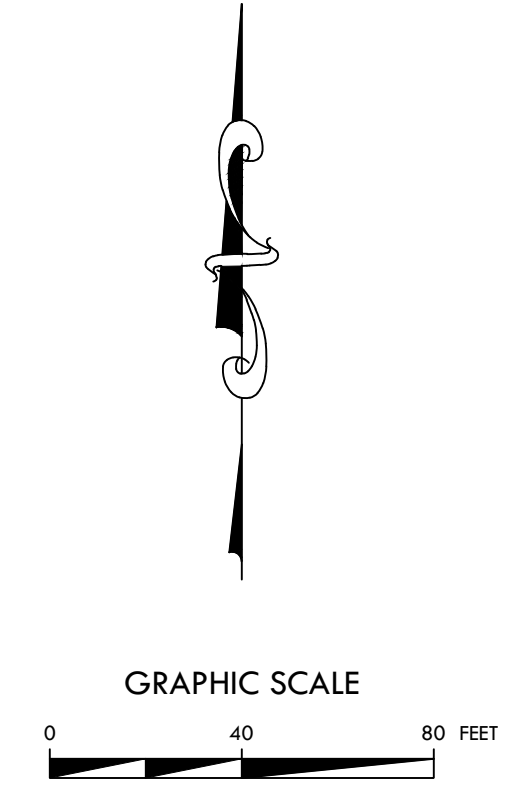
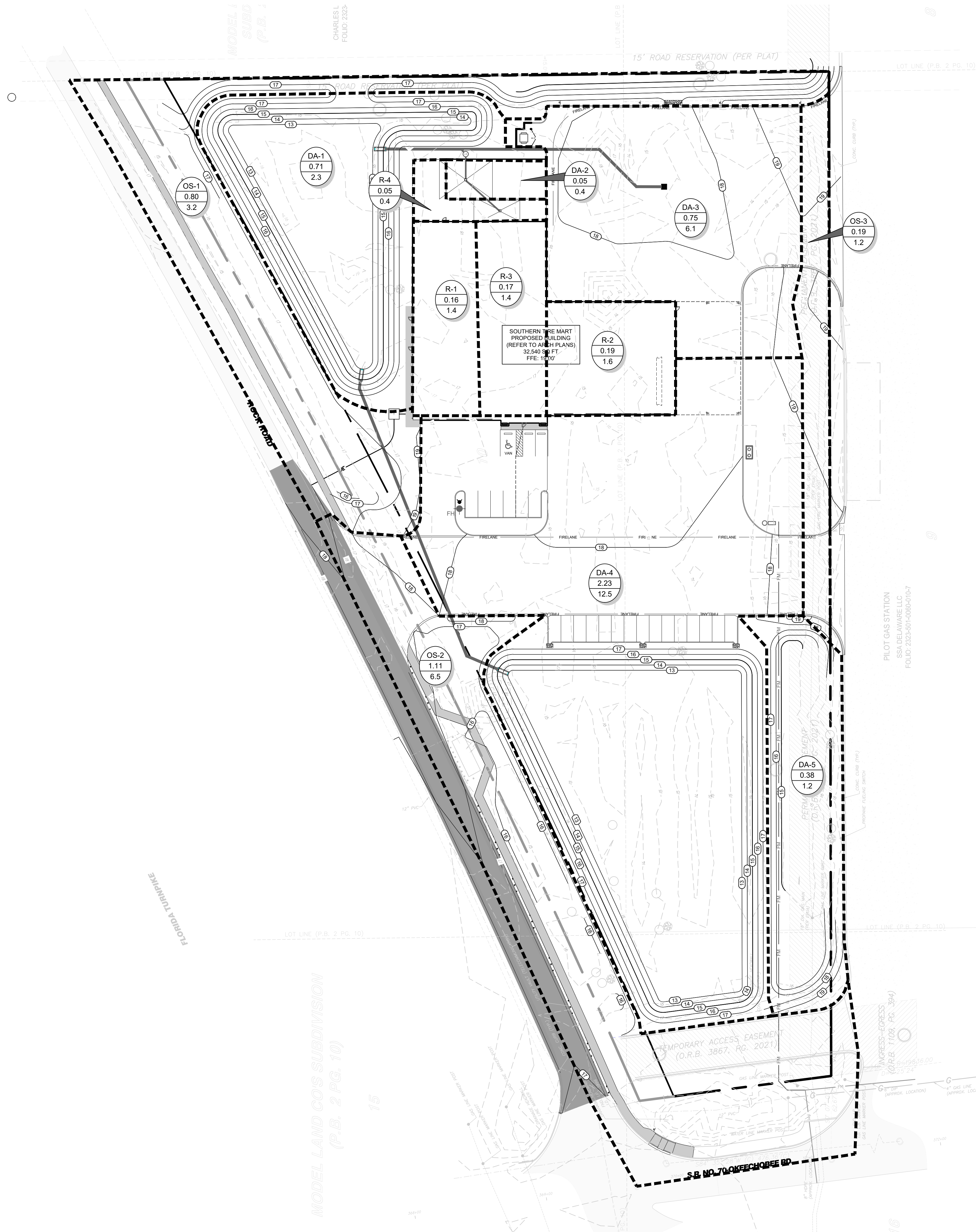
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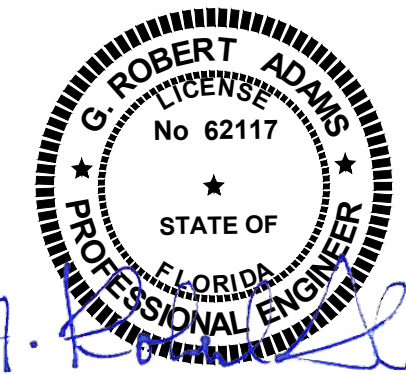
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LEGEND	
BASIN NAME	DA-00
DRAINAGE BASIN ACRES	1.00
25 YR RUNOFF (IN)	5.00
DRAINAGE AREA	-----

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Date	Description	No.
Revisions		
		7/31/25



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**Southern Tire Mart**  
**AT Pilot.**  
CITY OF FT. PIERCE

ST. LUCIE COUNTY      FLORIDA

**PROPOSED DRAINAGE AREAS - RATIONAL**

Project No.	Drawing No.
532055101	C6.2
Date	
JULY 2025	
Drawn By	
Checked By	

**POST-DEVELOPED COMPOSITE RUNOFF COEFFICIENTS**

Drainage Area Number	Runoff Coefficients		Total Acres (across)	Composite Runoff Coefficient
	Impervious	Pervious		
	0.95	0.35		
OS-1	0.13	0.67	0.80	0.45
OS-2	0.57	0.54	1.11	0.66
OS-3	0.09	0.10	0.19	0.63
DA-1	0.02	0.69	0.71	0.37
DA-2	0.05	0.05	0.05	0.95
DA-3	0.69	0.06	0.75	0.90
DA-4	1.03	1.20	2.23	0.63
DA-5		0.38	0.38	0.35
R-1	0.16		0.16	0.95
R-2	0.19		0.19	0.95
R-3	0.17		0.17	0.95
R-4	0.05		0.05	0.95

**POST-DEVELOPMENT DRAINAGE AREA CALCULATIONS**

Drainage Area Designation	Drainage Area (ac)	Runoff Coefficient "C"	Time of Concentration (min)	2-Year Rainfall Intensity (I2)	2-Year Peak Discharge (Q2)	10-Year Rainfall Intensity (I10)	10-Year Peak Discharge (Q10)	25-Year Rainfall Intensity (I25)	25-Year Peak Discharge (Q25)	100-Year Rainfall Intensity (I100)	100-Year Peak Discharge (Q100)	Comments
	(ac)	"C"	(min)	(in/hr)	(cfs)	(in/hr)	(cfs)	(in/hr)	(cfs)	(in/hr)	(cfs)	
OS-1	0.80	0.45	10	4.65	1.7	7.15	2.6	8.95	3.2	12.10	4.3	
OS-2	1.11	0.66	10	4.65	3.4	7.15	5.2	8.95	6.5	12.10	8.8	
OS-3	0.19	0.63	10	5.65	0.7	8.15	1.0	9.95	1.2	13.10	1.6	
DA-1	0.71	0.37	10	4.65	1.2	7.15	1.9	8.95	2.3	12.10	3.2	
DA-2	0.05	0.95	10	4.65	0.2	7.15	0.3	8.95	0.4	12.10	0.6	
DA-3	0.75	0.90	10	4.65	3.1	7.15	4.8	8.95	6.1	12.10	8.2	
DA-4	2.23	0.63	10	4.65	6.5	7.15	10.0	8.95	12.5	12.10	16.9	
DA-5	0.38	0.35	10	4.65	0.6	7.15	1.0	8.95	1.2	12.10	1.6	
R-1	0.16	0.95	10	4.65	0.7	7.15	1.1	8.95	1.4	12.10	1.8	
R-2	0.19	0.95	10	4.65	0.8	7.15	1.3	8.95	1.6	12.10	2.2	
R-3	0.17	0.95	10	4.65	0.8	7.15	1.2	8.95	1.4	12.10	2.0	
R-4	0.05	0.95	10	5.65	0.3	7.15	0.3	8.95	0.4	12.10	0.6	
<b>Total</b>	<b>6.57</b>				<b>19.7</b>		<b>30.3</b>		<b>37.9</b>		<b>61.2</b>	

Note: Calculations based on the Rational Method: Q = C\*IA. Rainfall Intensities Taken from NOAA Precipitation Frequency Data Server

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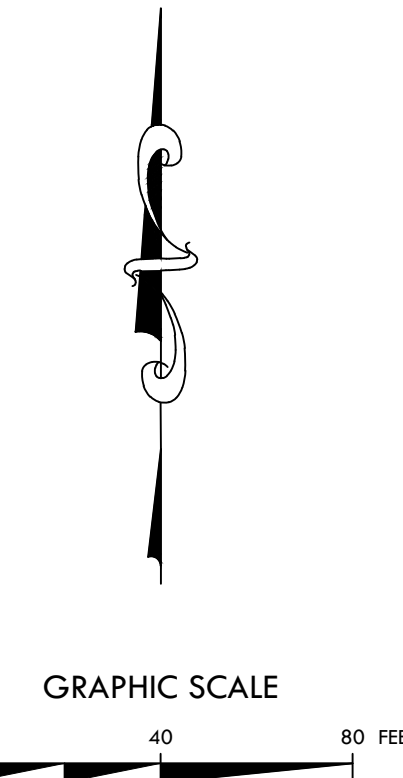
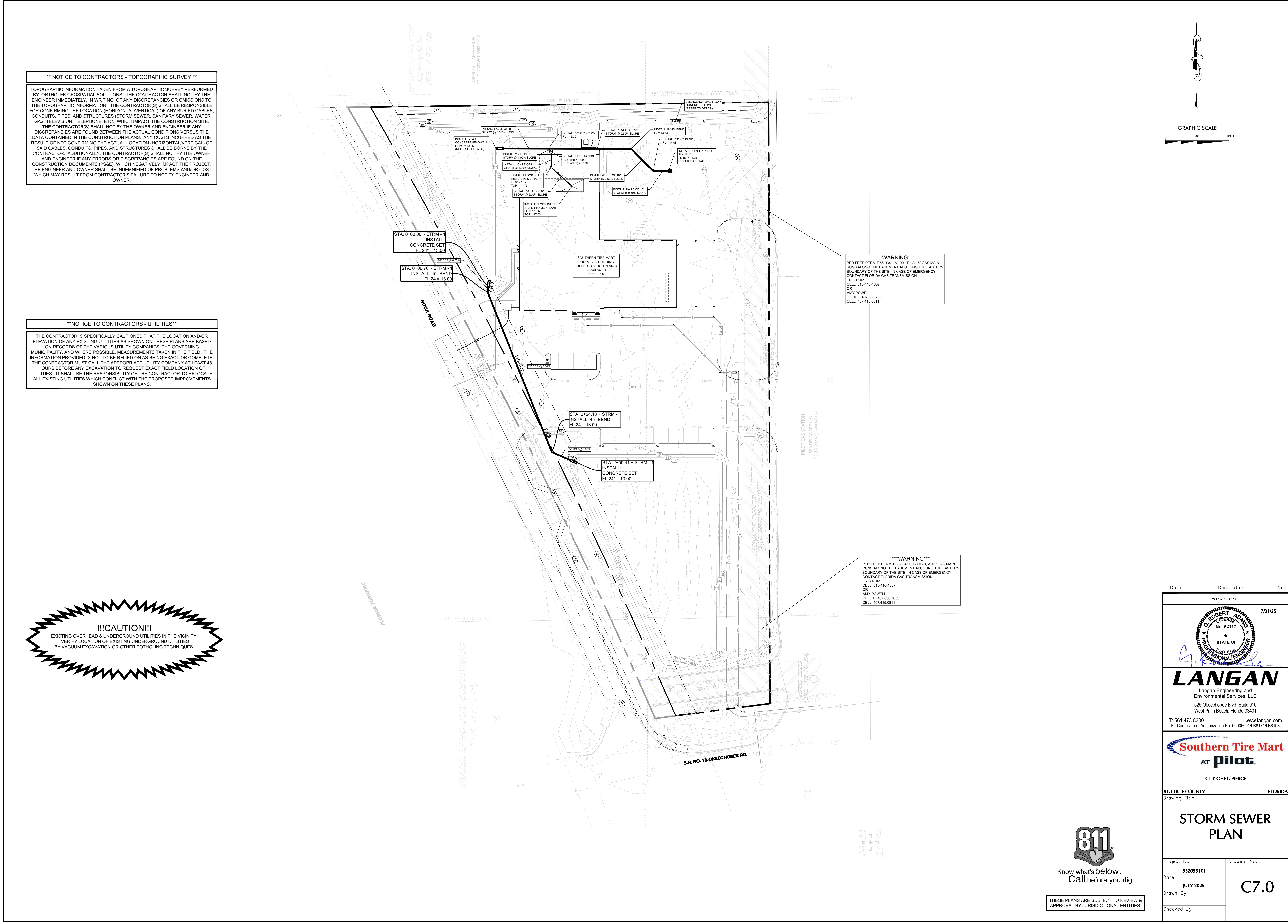
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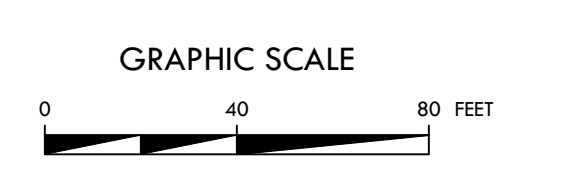
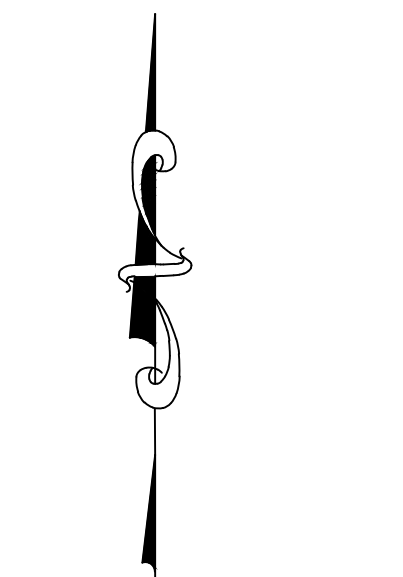
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 PER FDEP PERMIT 56-0241161-001-EL, A 10" GAS MAIN RUNS ALONG THE EASEMENT ABUTTING THE EASTERN BOUNDARY OF THE SITE. IN CASE OF EMERGENCY, CONTACT FLORIDA GAS TRANSMISSION:  
 ERIC RUIZ  
 CELL: 813-416-1837  
 OR  
 AMY POWELL  
 OFFICE: 407.838.7053  
 CELL: 407.415.0811

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CITY OF FT. PIERCE		
ST. LUCIE COUNTY      FLORIDA		
Drawing Title		
<b>STORM SEWER PLAN</b>		
Project No.	Drawing No.	
532055101	<b>C7.0</b>	
Date	JULY 2025	
Drawn By		
Checked By		



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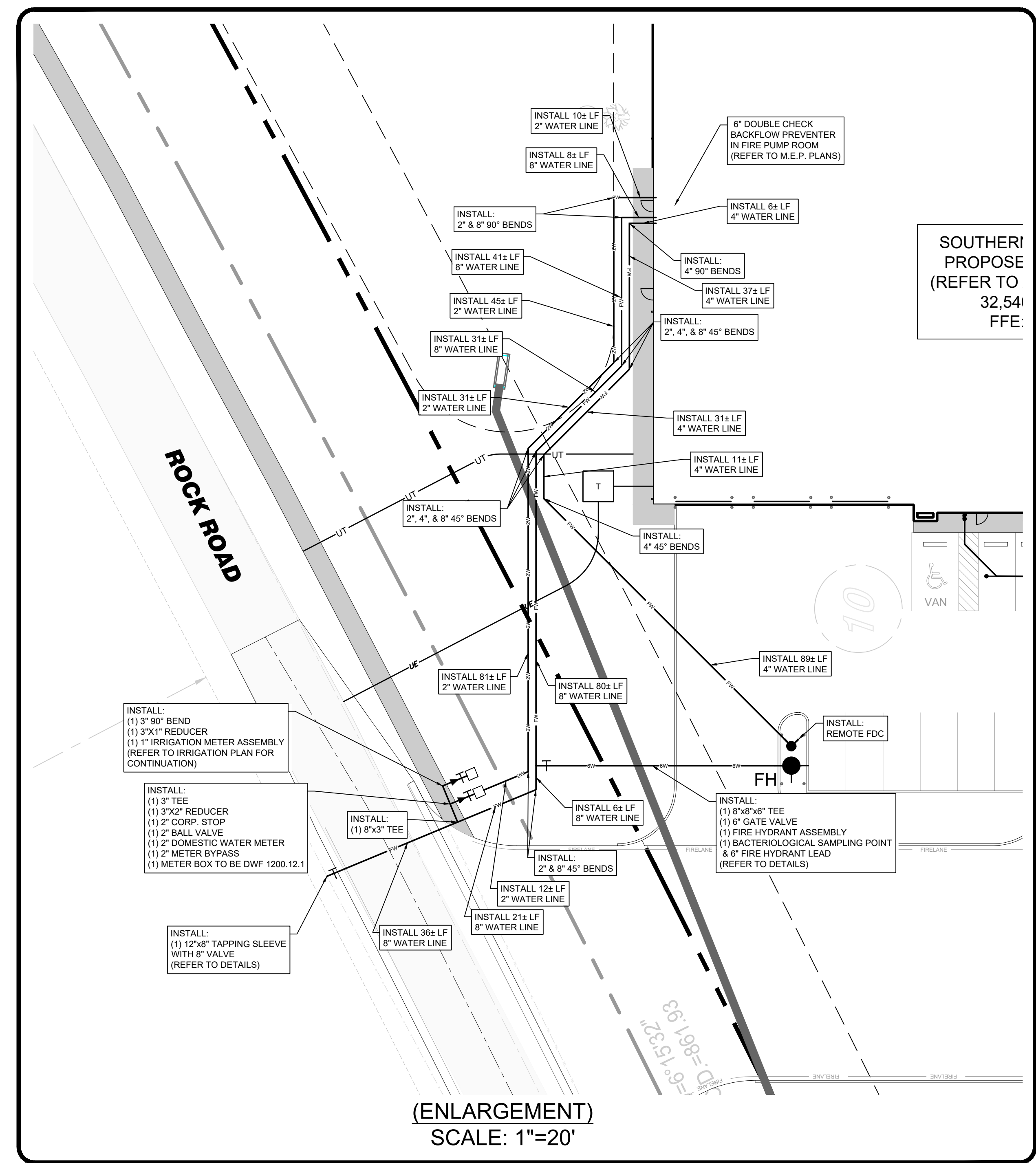
### LEGEND

PROPOSED UNDERGROUND ELECTRIC	—UE—
PROPOSED GAS	—GAS—
PROPOSED SANITARY SEWER	—S—
PROPOSED FORCE MAIN	—FM—
PROPOSED UNDERGROUND TELEPHONE	—UT—
PROPOSED FIRE WATER (AS NOTED ON UTILITY PLAN)	—FW—
PROPOSED 2" DOMESTIC WATER LINE	—2W—
PROPOSED FIRE HYDRANT	—FH—
PROPOSED TRANSFORMER	—T—

**\*\*\*WARNING\*\*\***  
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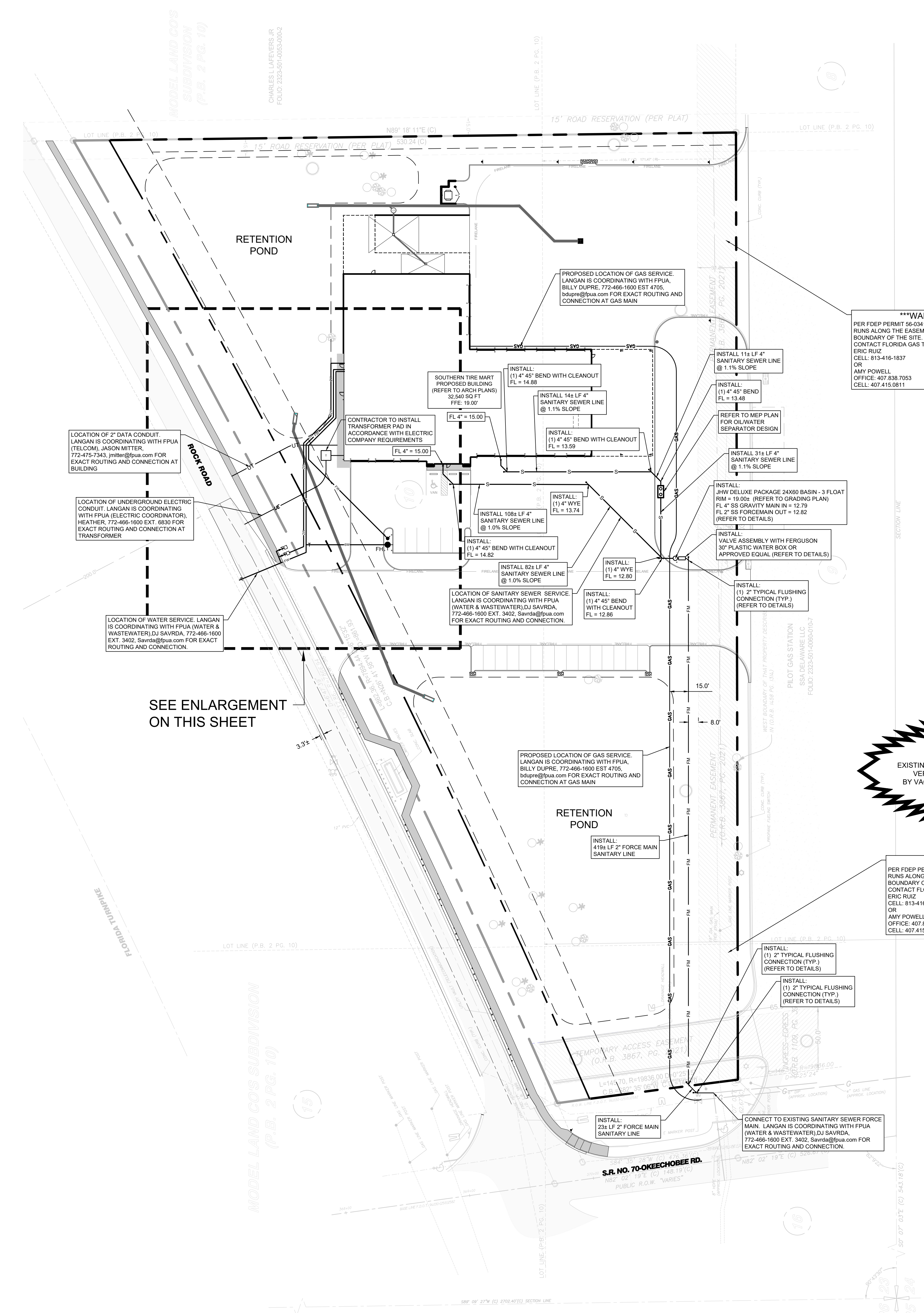


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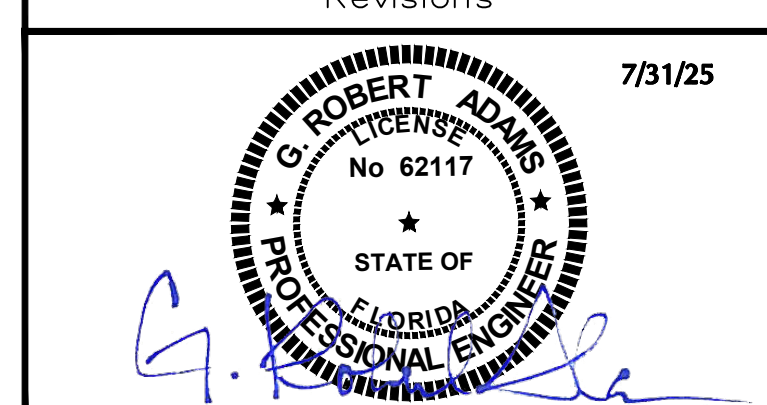
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		7/31/25



**LANGAN**  
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 FL Certificate of Authorization No. 00006601/LB8171L/B9198



ST. LUCIE COUNTY FLORIDA

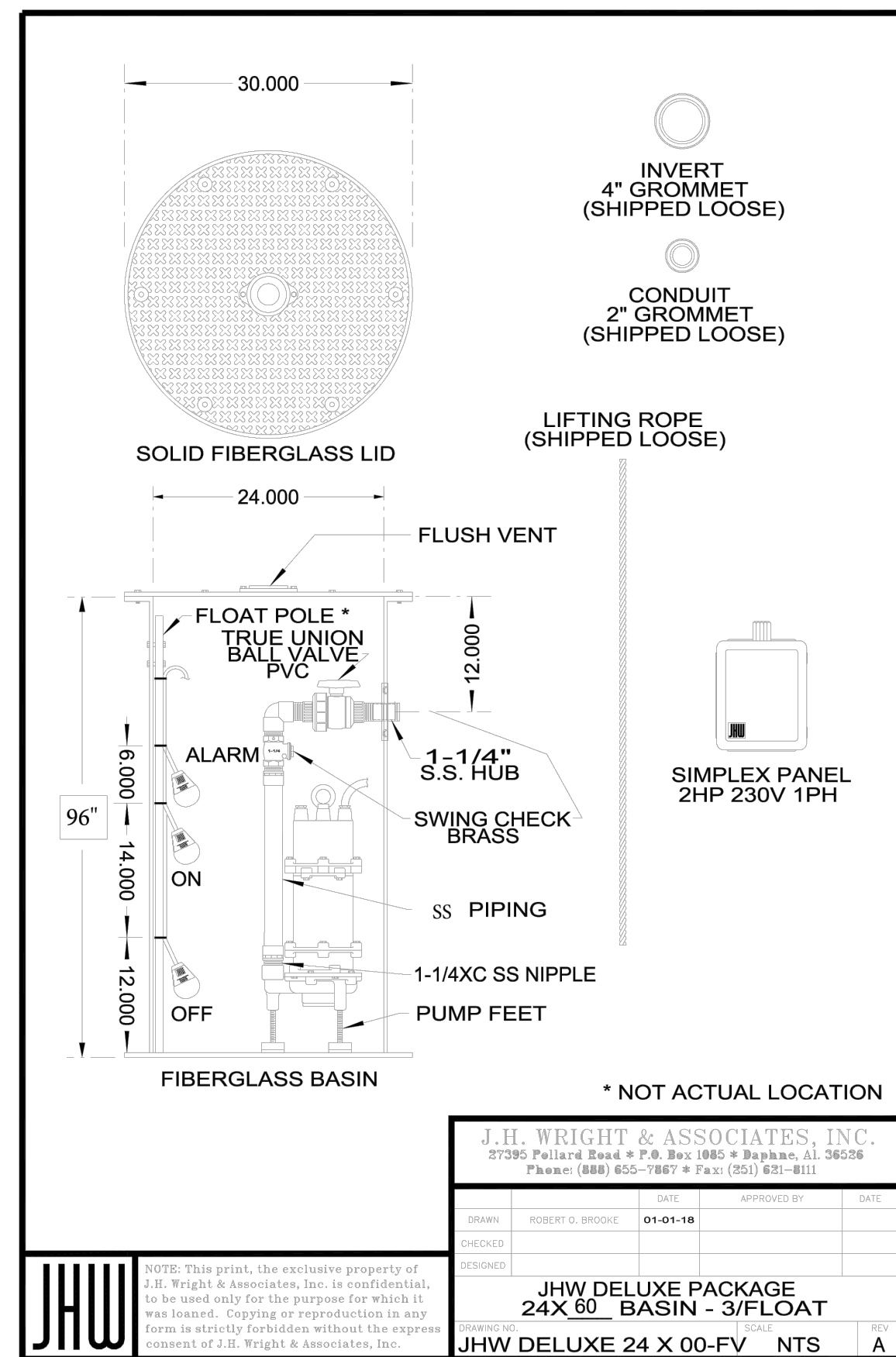
## UTILITY PLAN

Project No.	Drawing No.
532055101	C8.0
Date	
JULY 2025	
Drawn By	
Checked By	

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.



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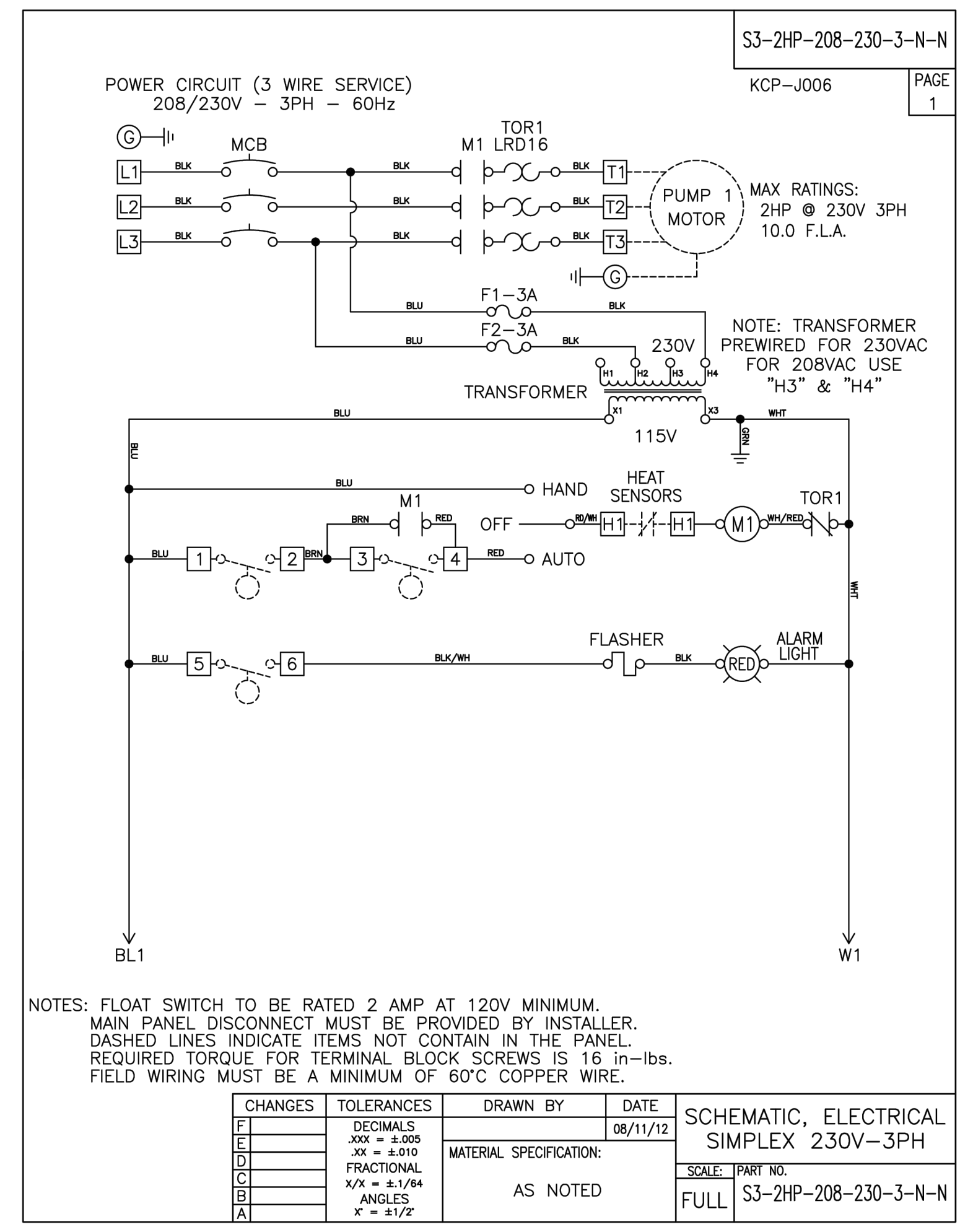


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J.H.W. DELUXE PACKAGE  
24X60 BASIN - 3/FLOAT  
J.H.W. DELUXE 24 X 60-FV NTS A

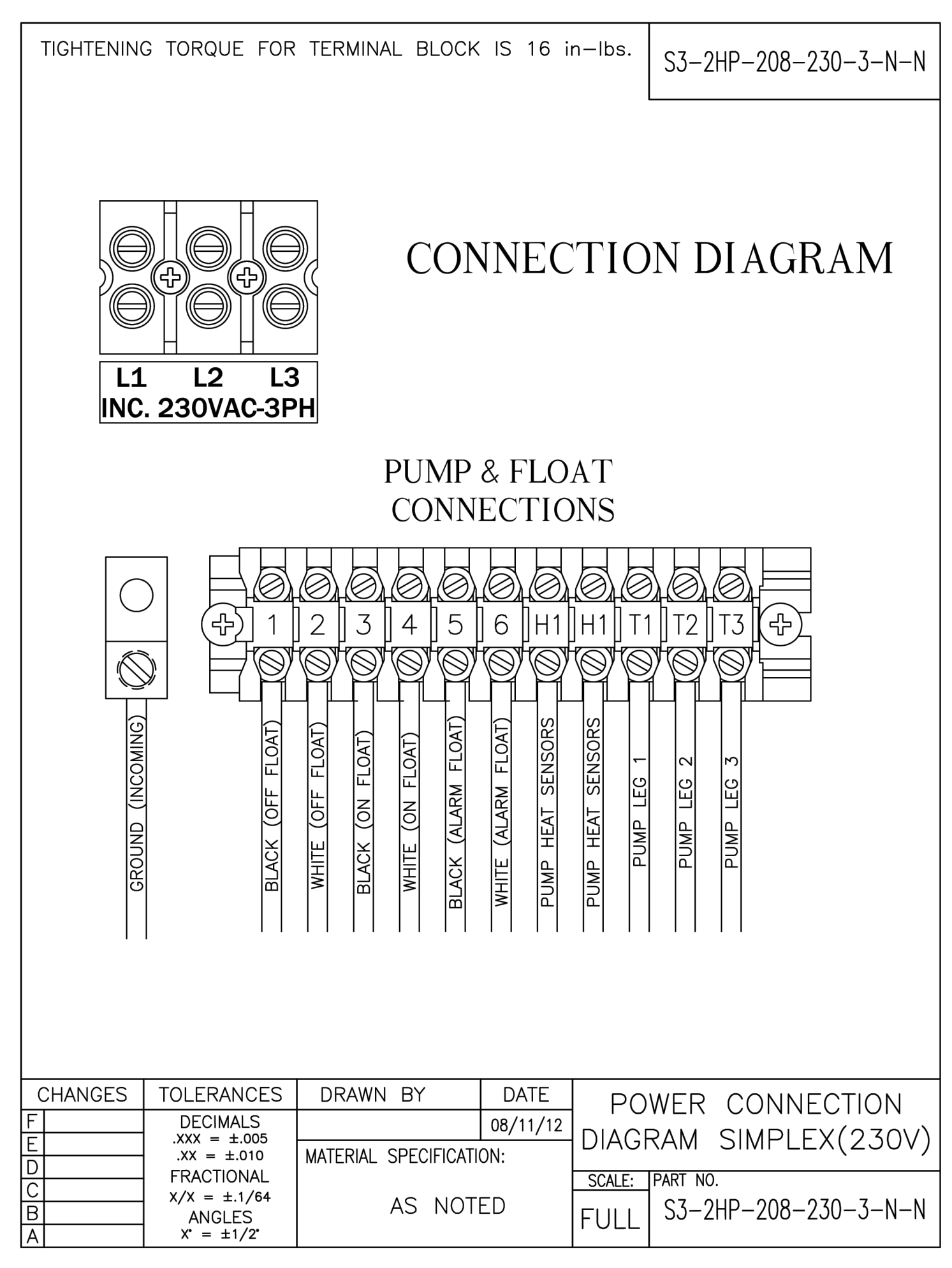
J.H. WRIGHT & ASSOCIATES, INC.  
27290 Pacific Road • Ft. St. Louis • Missouri • 63026  
Phone: (888) 825-7887 • Fax: (636) 632-8811

DATE	REVISION	BY	APPROVED BY
08/11/12			



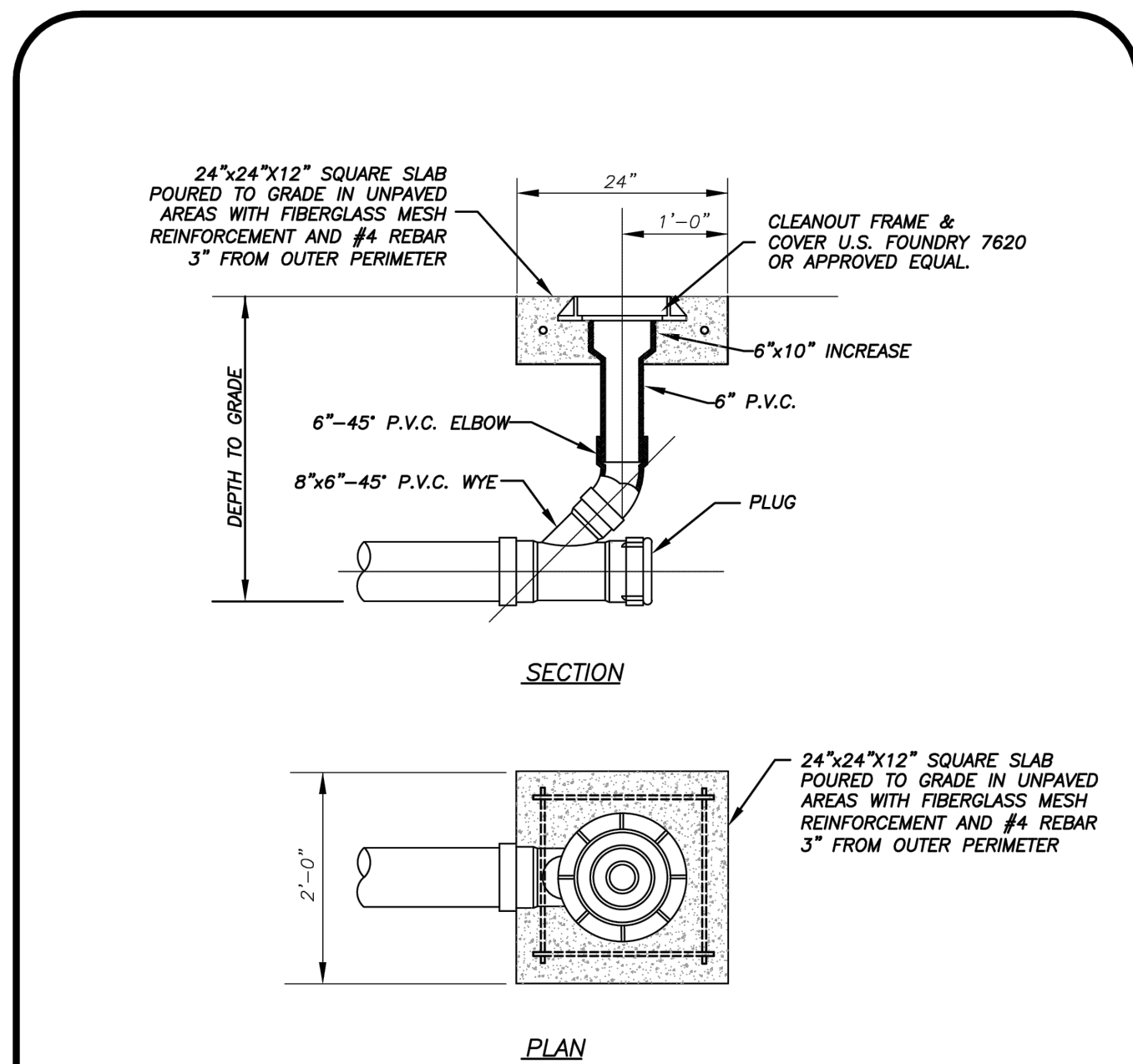
NOTES: FLOAT SWITCH TO BE RATED 2 AMP AT 120V MINIMUM.  
MAIN PANEL DISCONNECT MUST BE PROVIDED BY INSTALLER.  
DASHED LINES INDICATE ITEMS NOT CONTAIN IN THE PANEL.  
REQUIRED TORQUE FOR TERMINAL BLOCK SCREWS IS 16 in-lbs.  
FIELD WIRING MUST BE A MINIMUM OF 60°C COPPER WIRE.

CHANGES	TOLERANCES	DRAWN BY	DATE	SCHEMATIC, ELECTRICAL
F	DECIMALS		08/11/12	SCHEMATIC, ELECTRICAL
E	.xxx = ±.005			SIMPLEX 230V-3PH
D	.xx = ±.010			
C	FRACTIONAL			
B	X/X = ±1/64			
A	ANGLES			



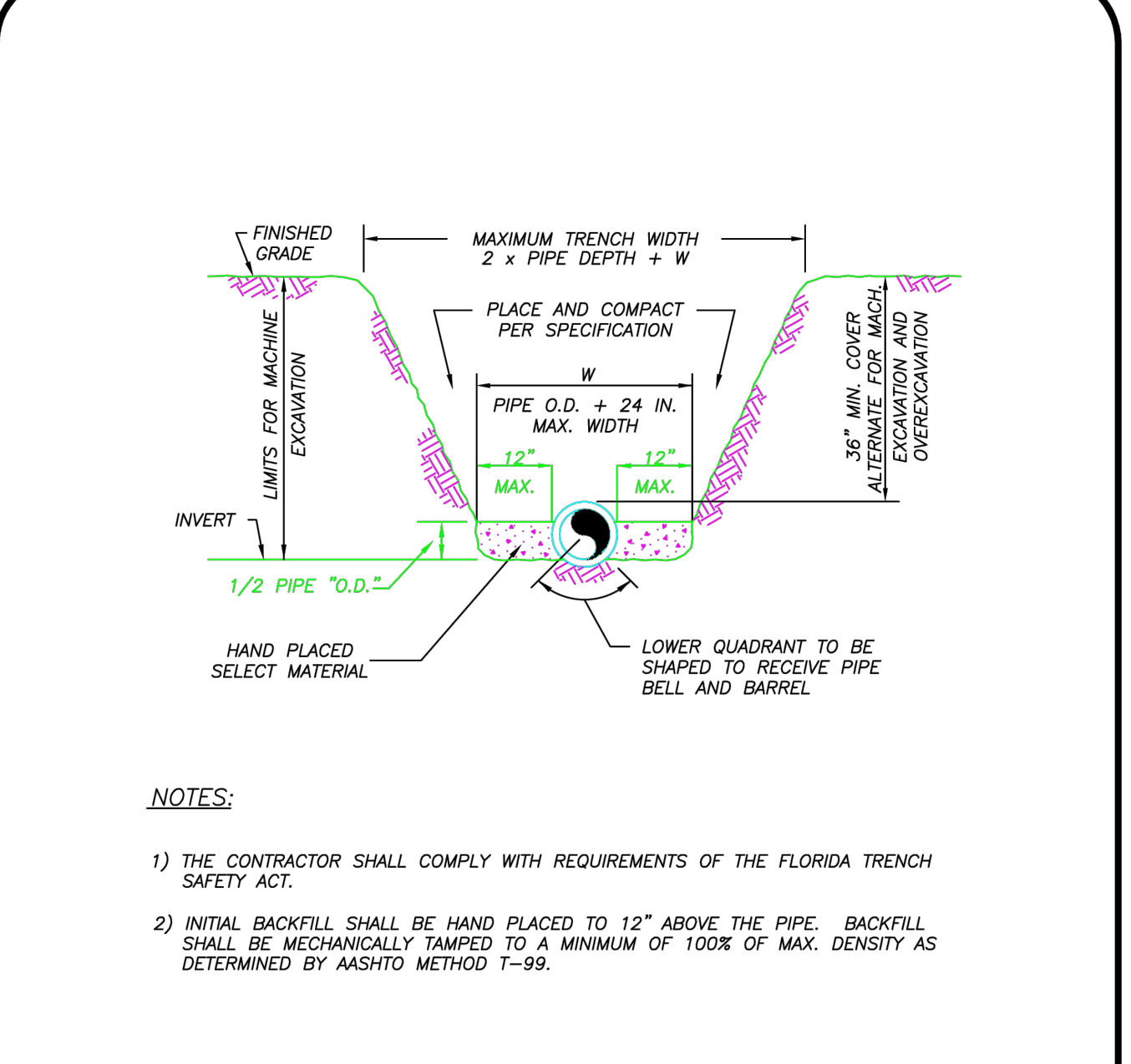
CHANGES	TOLERANCES	DRAWN BY	DATE	POWER CONNECTION
F	DECIMALS		08/11/12	POWER CONNECTION
E	.xxx = ±.005			DIAGRAM SIMPLEX(230V)
D	.xx = ±.010			
C	FRACTIONAL			
B	X/X = ±1/64			
A	ANGLES			

Date	Description	No.
Revisions		
Langan Engineering and Environmental Services, LLC 525 Okeechobee Blvd, Suite 910 West Palm Beach, Florida 33401 T: 561.473.8300      www.langan.com FL Certificate of Authorization No. 00006601/LB8171/LB8198		
CITY OF FT. PIERCE		
ST. LUCIE COUNTY      FLORIDA		
Drawing Title		
<h1>LIFT STATION DETAILS</h1>		
Project No.	Drawing No.	
532055101	<h1>C8.1</h1>	
Date		
JULY 2025		
Drawn By		
Checked By		



TERMINAL CLEANOUT DETAIL (COMMERCIAL)  
(N.T.S.)

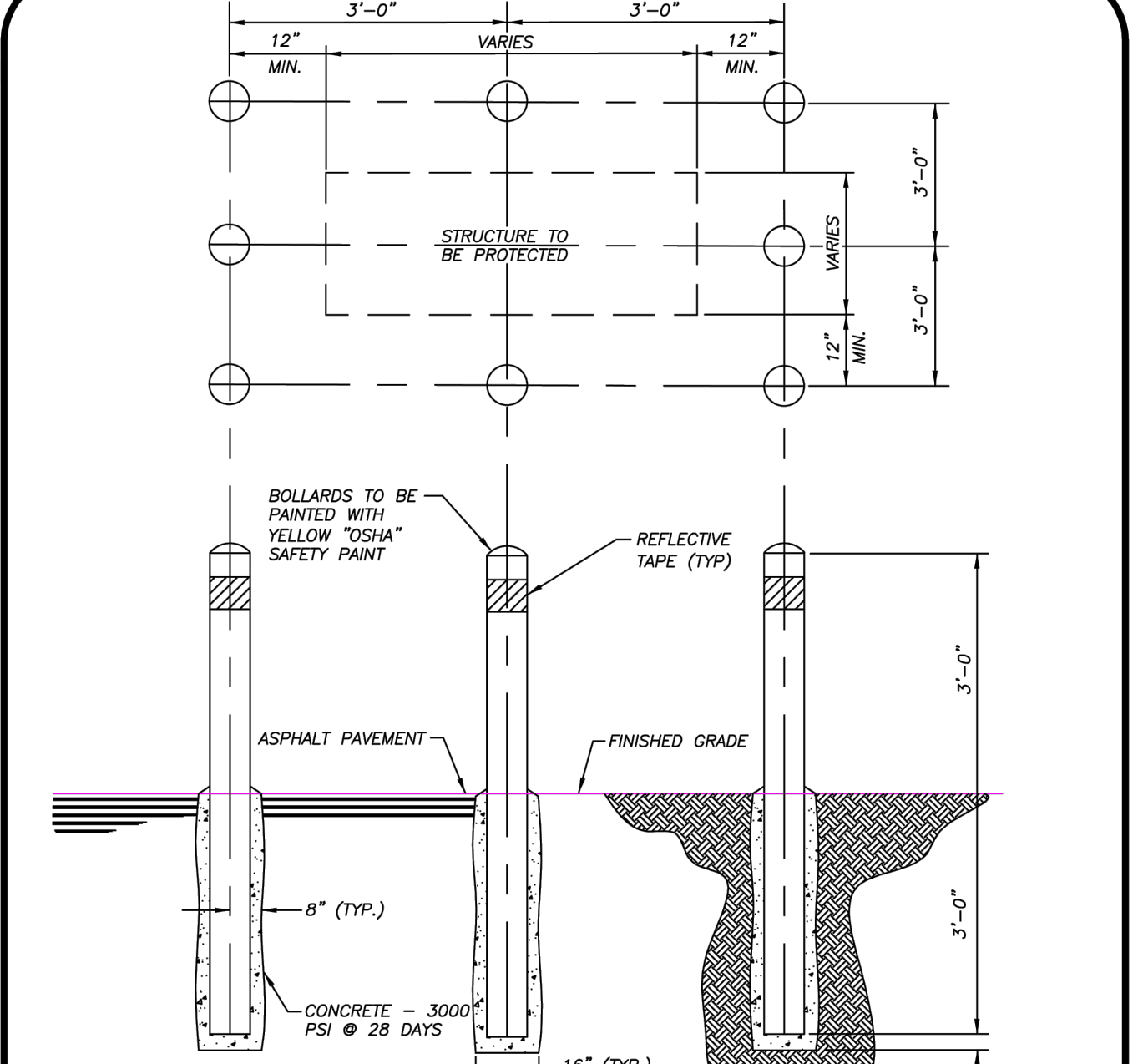
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DATE: 02-19-2019	REVISION:	BY: JAC	APP: JAC	WATER/WASTEWATER ENGINEERING	
DESIGNED BY: JAC	COMPUTER FILE #:	MISC. DETAILS 200002.DWG		FT. PIERCE UTILITIES AUTHORITY	
DRAWN BY: JAC	SCALE:	AS SHOWN			
APPROVED: JAC	DATE:	2019		SHEET 2 OF 3	



- NOTES:
- 1) THE CONTRACTOR SHALL COMPLY WITH REQUIREMENTS OF THE FLORIDA TRENCH SAFETY ACT.
  - 2) INITIAL BACKFILL SHALL BE HAND PLACED TO 12" ABOVE THE PIPE. BACKFILL SHALL BE MECHANICALLY TAMPED TO A MINIMUM OF 100% OF MAX. DENSITY AS DETERMINED BY AASHTO METHOD T-99.

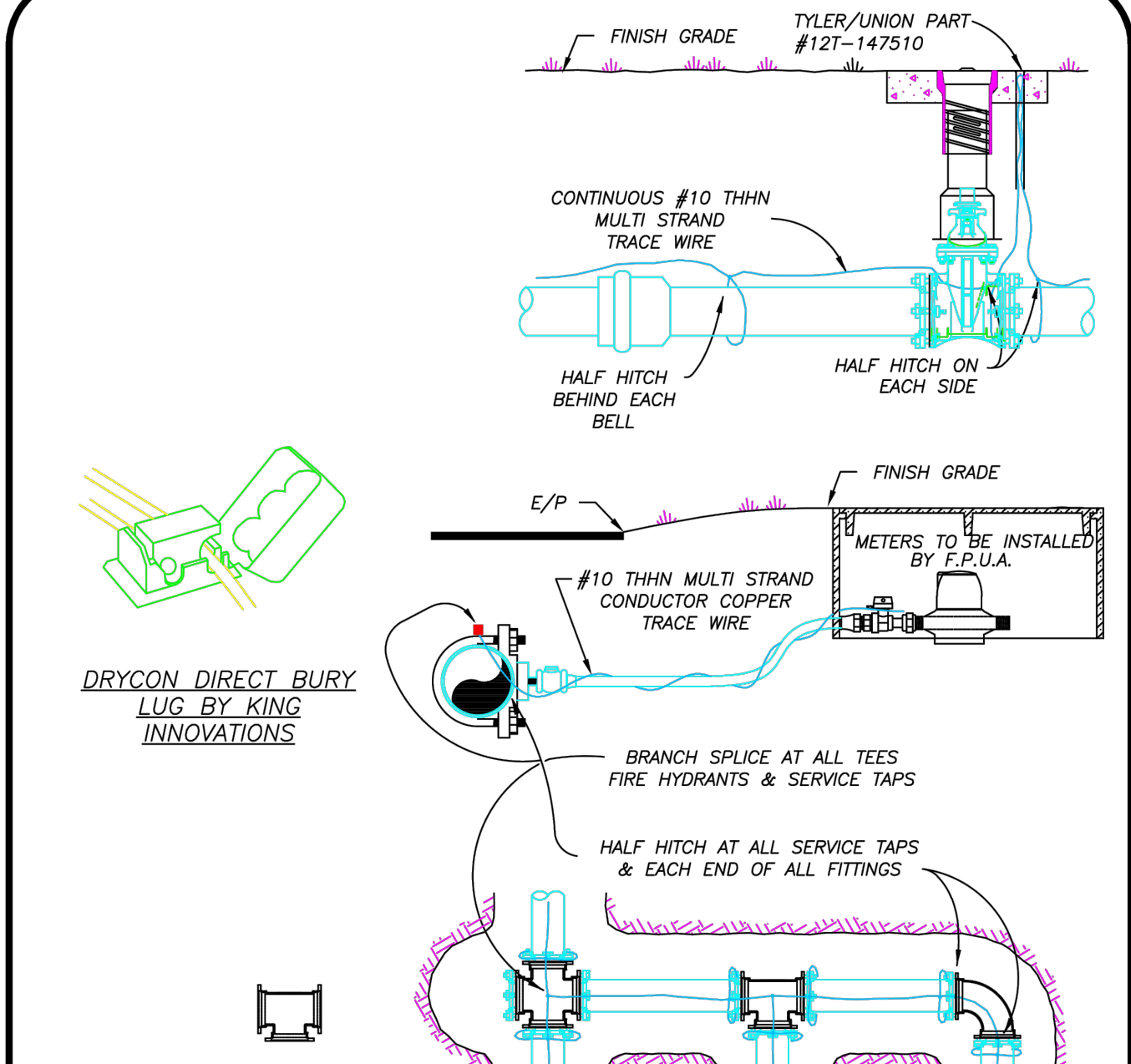
TYPICAL TRENCH DETAIL  
(N.T.S.)

TYPICAL TRENCH DETAIL		M-1			
DATE: 02-19-2019	REVISION:	BY: JAC	APP: JAC	WATER/WASTEWATER ENGINEERING	
DESIGNED BY: JAC	COMPUTER FILE #:	MISC. DETAILS 200002.DWG		FT. PIERCE UTILITIES AUTHORITY	
DRAWN BY: JAC	SCALE:	AS SHOWN			
APPROVED: JAC	DATE:	2019		SHEET 1 OF 1	



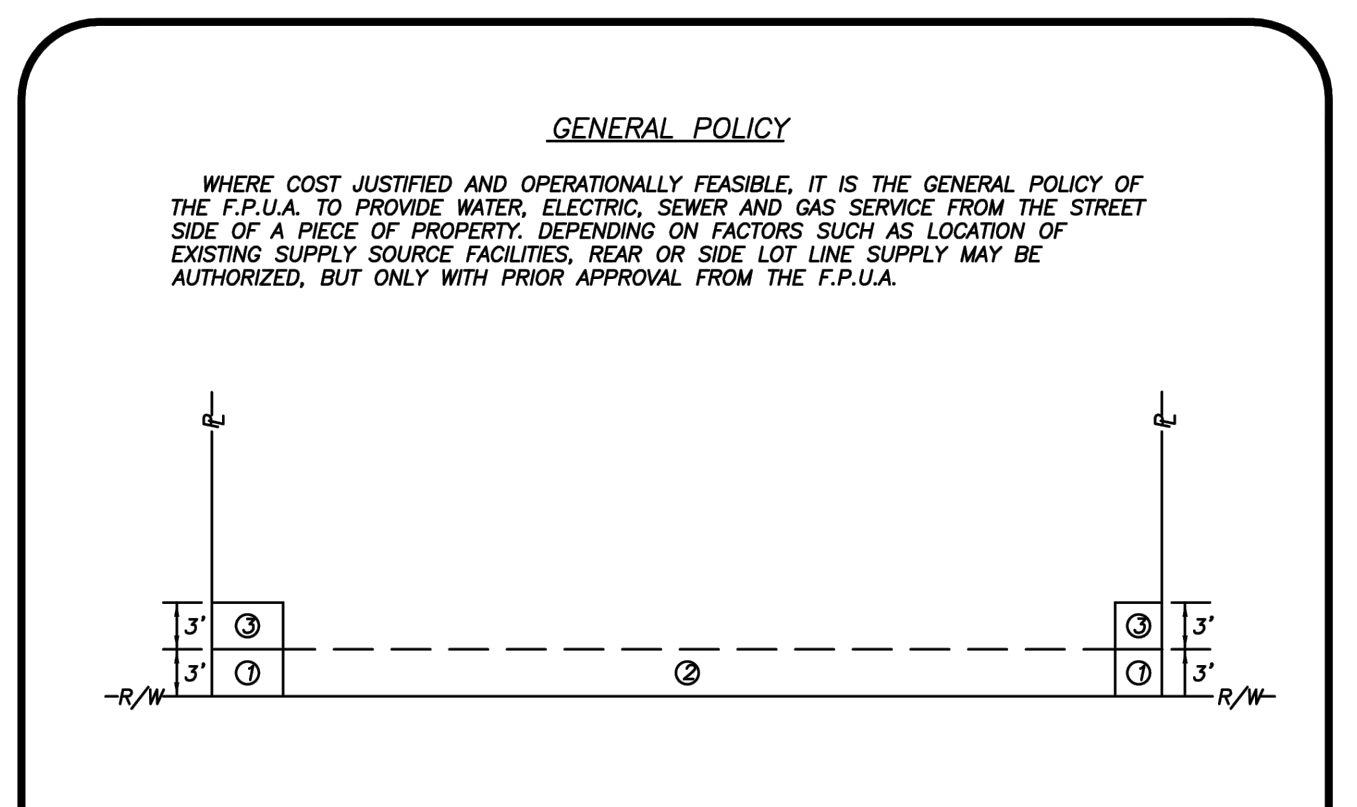
- NOTES:
- 1) BOLLARDS TO BE 6" SCHEDULE 40 STEEL PIPE, 6'-0" LONG AND FILLED WITH CONCRETE.
  - 2) BOLLARDS ON SIDE NOT ACCESSIBLE TO VEHICLES MAY BE OMITTED BY THE APPROVING AGENCY.
  - 3) PLACE 6" WIDE YELLOW CLASS 4 REFLECTIVE TAPE 4" DOWN FROM TOP FOR FULL DIAMETER ON ALL BOLLARDS.
  - 4) CONTRACTOR TO ASSURE THAT BOLLARDS ARE PLACED TO ALLOW FULL ACCESS TO THE PROTECTED FACILITY.

BOLLARD DETAIL		M-12			
DATE: 02-19-2019	REVISION:	BY: JAC	APP: JAC	WATER/WASTEWATER ENGINEERING	
DESIGNED BY: JAC	COMPUTER FILE #:	MISC. DETAILS 200002.DWG		FT. PIERCE UTILITIES AUTHORITY	
DRAWN BY: JAC	SCALE:	AS SHOWN			
APPROVED: JAC	DATE:	2019		SHEET 1 OF 1	



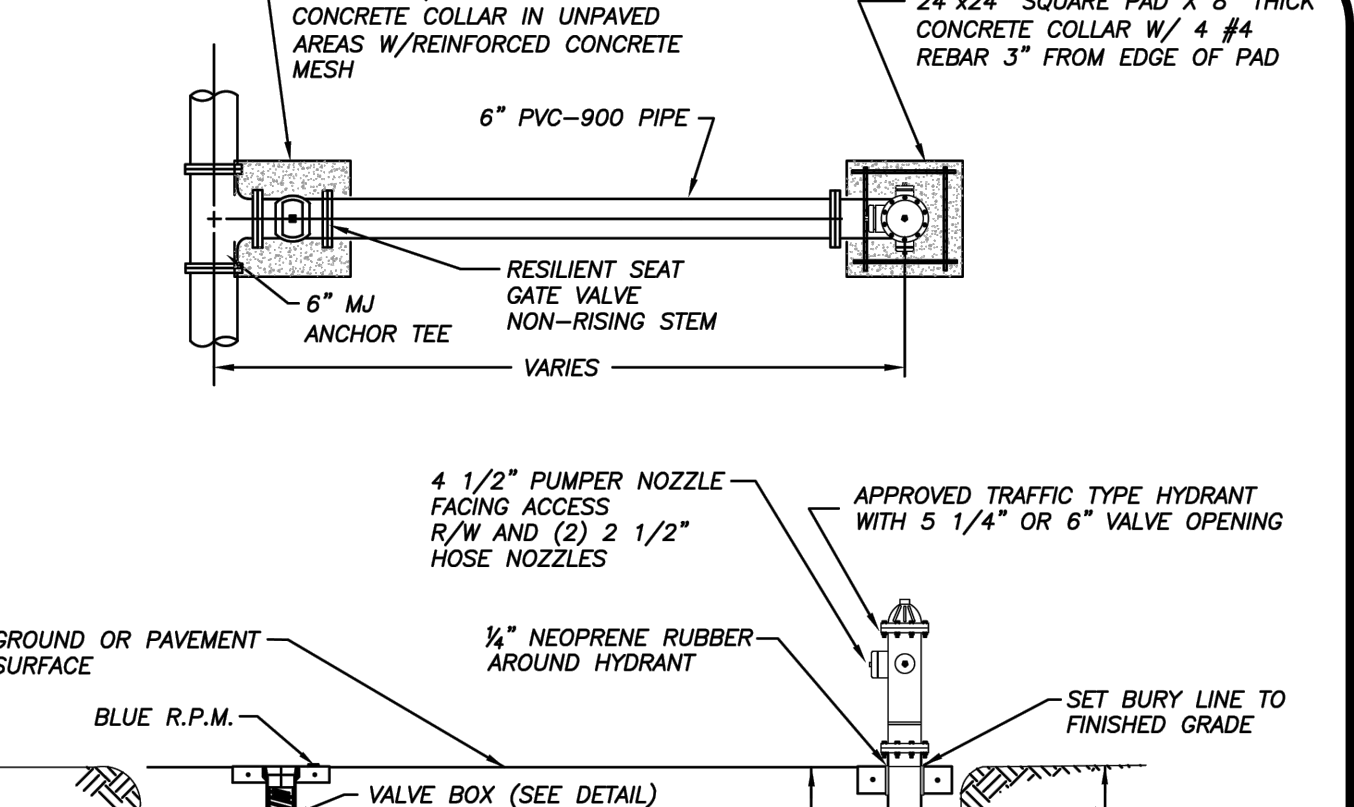
- NOTES:
- 1) TRACE WIRE IS REQUIRED ON ALL PIPE AS NOTED BY UTILITIES ENGINEER AND SHOWN IN STANDARD DETAILS.
  - 2) INCLUDE ALL COST OF MATERIAL & LABOR IN PRICE OF PIPE.
  - 3) CONTRACTOR IS RESPONSIBLE FOR CONTINUITY OF ALL TRACE WIRE.

TRACE WIRE DETAIL		M-11			
DATE: 02-19-2019	REVISION:	BY: JAC	APP: JAC	WATER/WASTEWATER ENGINEERING	
DESIGNED BY: JAC	COMPUTER FILE #:	MISC. DETAILS 200002.DWG		FT. PIERCE UTILITIES AUTHORITY	
DRAWN BY: JAC	SCALE:	AS SHOWN			
APPROVED: JAC	DATE:	2019		SHEET 1 OF 1	



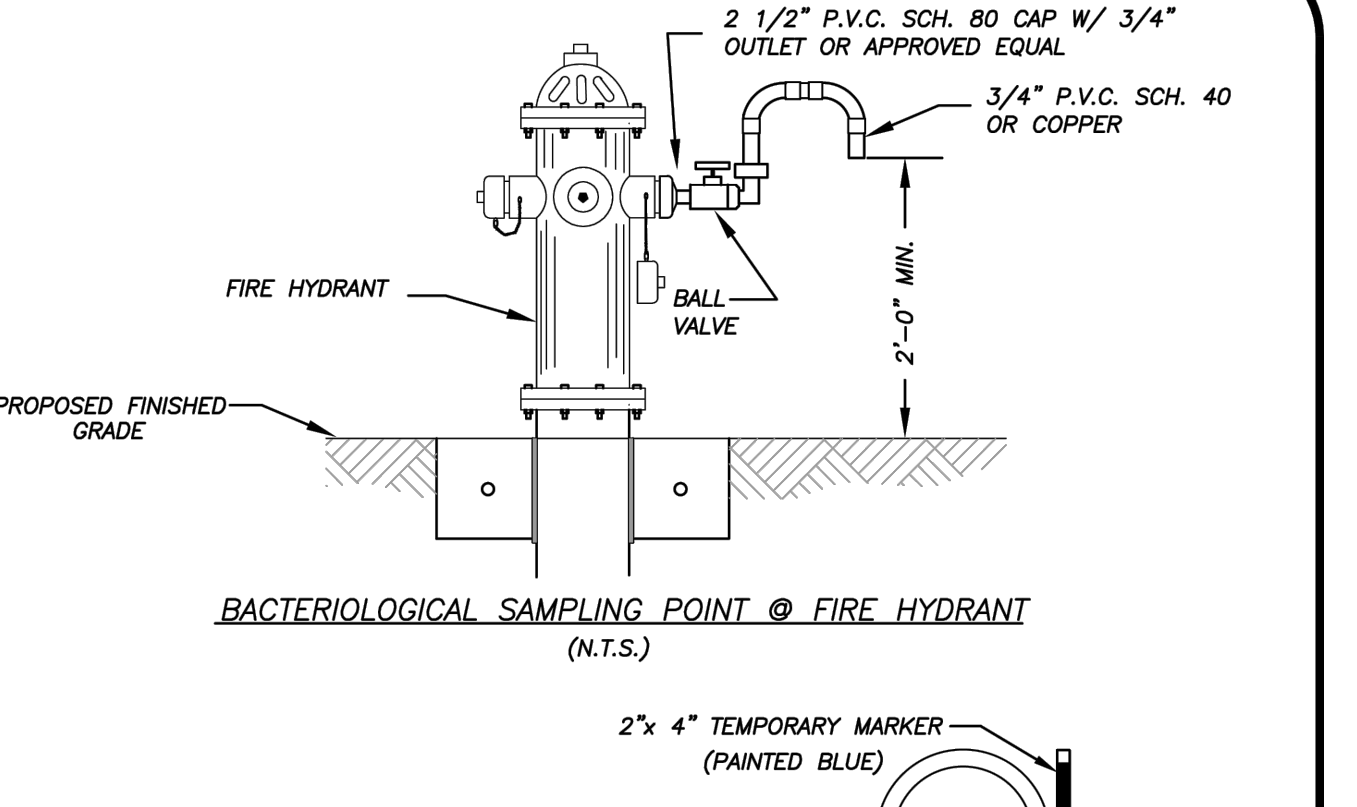
- GENERAL POLICY
- WHERE COST JUSTIFIED AND OPERATIONALLY FEASIBLE, IT IS THE GENERAL POLICY OF THE F.P.U.A. TO PROVIDE WATER, ELECTRIC, SEWER AND GAS SERVICES FROM THE STREET SIDE OF A PIECE OF PROPERTY. DEPENDING ON FACTORS SUCH AS LOCATION OF EXISTING SUPPLY SOURCE FACILITIES, REAR OR SIDE LOT LINE SUPPLY MAY BE AUTHORIZED, BUT ONLY WITH PRIOR APPROVAL FROM THE F.P.U.A.
- NOTES:
1. THE PREFERRED POINT OF CONNECTION TO THE F.P.U.A. WATER METER, AREA (C) SHALL BE LOCATED IN THE CORNER OF THE PROPERTY. SELECTED BY THE F.P.U.A. AS THE BEST LOCATION FOR THE WATER METER. EVERY EFFORT WILL BE MADE TO SELECT THE CORNER WHERE TWO WATER SERVICES AND METERS CAN BE CONNECTED.
  2. IF PHYSICAL BARRIERS OR OTHER OBSTACLES PREVENT THE CONNECTION OF THE BUILDING SERVICE LINE TO THE F.P.U.A. WATER SERVICE, WITHIN AREA (C), THE F.P.U.A. ENGINEERING DEPARTMENT MAY AUTHORIZE THE CONNECTION ALONG THE PORTION OF THE R/W LINE MARKED AREA (D), OR ALONG THE PROPERTY LINES MARKED AREA (E).
  3. HORIZONTAL SEPARATION OF WATER AND WASTEWATER SERVICES SHOULD BE A MINIMUM OF 6 FEET AND PREFERABLY 10 FEET.
  4. ALL METERS SHALL BE INSTALLED IN AN UNRESTRICTED AREA FOLLOWING EASE OF ACCESS AND PROVIDING ADEQUATE PROTECTION.
  5. THE F.P.U.A. SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF THE WATER LATERAL WITHIN THE EASEMENT OR RIGHT-OF-WAY UP TO THE POINT OF CONNECTION.

WATER METER PLACEMENT POLICY		W-1			
DATE: 02-19-2019	REVISION:	BY: JAC	APP: JAC	WATER/WASTEWATER ENGINEERING	
DESIGNED BY: JAC	COMPUTER FILE #:	MISC. DETAILS 200002.DWG		FT. PIERCE UTILITIES AUTHORITY	
DRAWN BY: JAC	SCALE:	AS SHOWN			
APPROVED: JAC	DATE:	2019		SHEET 1 OF 1	



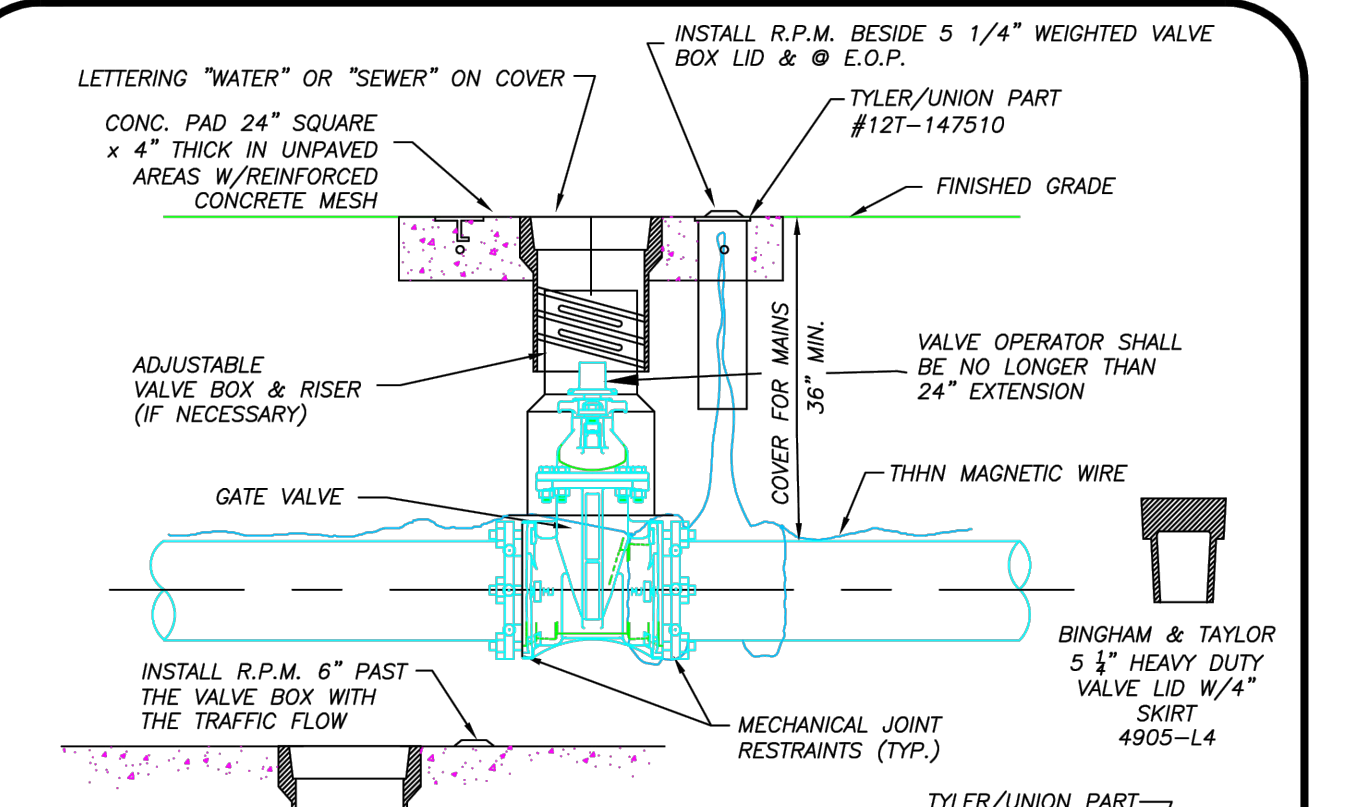
- NOTES:
1. HYDRANT SHALL BE INSTALLED PLUMB & TRUE.
  2. HYDRANT SHALL BE PAINTED CARNIVAL RED FROM FACTORY.
  3. HEEL TO REST IN UNDISTURBED SOIL.
  4. THE ONLY HYDRANTS ACCEPTABLE ARE MUELLER SUPER CENTURION 250 OR AMERICAN DARLING B-84-B-S.
  5. HYDRANT ASSEMBLY MUST BE RESTRAINED TO TEE.
  6. ALL FITTINGS SHALL BE MECHANICAL JOINT.
  7. ENTIRE ASSEMBLY TO BE MECHANICALLY RESTRAINED.
  8. BLUE LOCATOR SHALL BE PLACED IN CENTER OF TRAVEL LANE CLOSEST TO HYDRANT.
  9. ALL HYDRANT VALVE BOX COVERS SHALL BE PAINTED CARNIVAL RED.
  10. LOCATE WIRE SHALL TERMINATE AT HYDRANT ISOLATION VALVE.
  11. HYDRANTS SHALL BE NO MORE THAN FIFTEEN FEET (15 FT.) FROM THE CURB OF ROADWAYS OR FROM THE EDGE OF PAVEMENT. CLEARANCES OF SEVEN AND ONE HALF FEET (7'-6") IN FRONT OF AND TO THE SIDES OF THE FIRE HYDRANTS, WITH FOUR FOOT (4 FT.) CLEARANCE TO THE REAR OF HYDRANTS SHALL BE MAINTAINED.

TYPICAL FIRE HYDRANT ASSEMBLY		W-5			
DATE: 02-19-2019	REVISION:	BY: JAC	APP: JAC	WATER/WASTEWATER ENGINEERING	
DESIGNED BY: JAC	COMPUTER FILE #:	MISC. DETAILS 200002.DWG		FT. PIERCE UTILITIES AUTHORITY	
DRAWN BY: JAC	SCALE:	AS SHOWN			
APPROVED: JAC	DATE:	2019		SHEET 1 OF 1	



- NOTE:
- AFTER TESTING REMOVE 1" P.E. LINE AND CAP WITH BRASS PLUG AT CORPORATION STOP.

BACTERIOLOGICAL SAMPLING POINT DETAIL		W-6			
DATE: 02-19-2019	REVISION:	BY: JAC	APP: JAC	WATER/WASTEWATER ENGINEERING	
DESIGNED BY: JAC	COMPUTER FILE #:	MISC. DETAILS 200002.DWG		FT. PIERCE UTILITIES AUTHORITY	
DRAWN BY: JAC	SCALE:	AS SHOWN			
APPROVED: JAC	DATE:	2019		SHEET 1 OF 1	



- NOTES:
1. BLUE REFLECTIVE PAVEMENT MARKER (RPM) FOR WATER VALVES AND GREEN RPM FOR WASTEWATER VALVES PAVEMENT EDGE.
  2. FOR WATER AND WASTEWATER VALVES INSTALLED IN PAVED AREAS, ELIMINATE CONCRETE PAD AND ENCASE THE MAGNETIC WIRE IN 1/2" PVC INSIDE THE VALVE BOX SEVEN INCHES BELOW GRADE.
  3. DIP MAY BE USED AS RISERS ONLY IF A VALVE BOX IS NOT MANUFACTURED FOR THAT DEPTH. NO PVC RISERS SHALL BE USED IN ANY CIRCUMSTANCES.

TYPICAL GATE VALVE & VALVE BOX DETAIL		M-6			
DATE: 02-19-2019	REVISION:	BY: JAC	APP: JAC	WATER/WASTEWATER ENGINEERING	
DESIGNED BY: JAC	COMPUTER FILE #:	MISC. DETAILS 200002.DWG		FT. PIERCE UTILITIES AUTHORITY	
DRAWN BY: JAC	SCALE:	AS SHOWN			
APPROVED: JAC	DATE:	2019		SHEET 1 OF 1	

Date	Description	No.
Revisions		

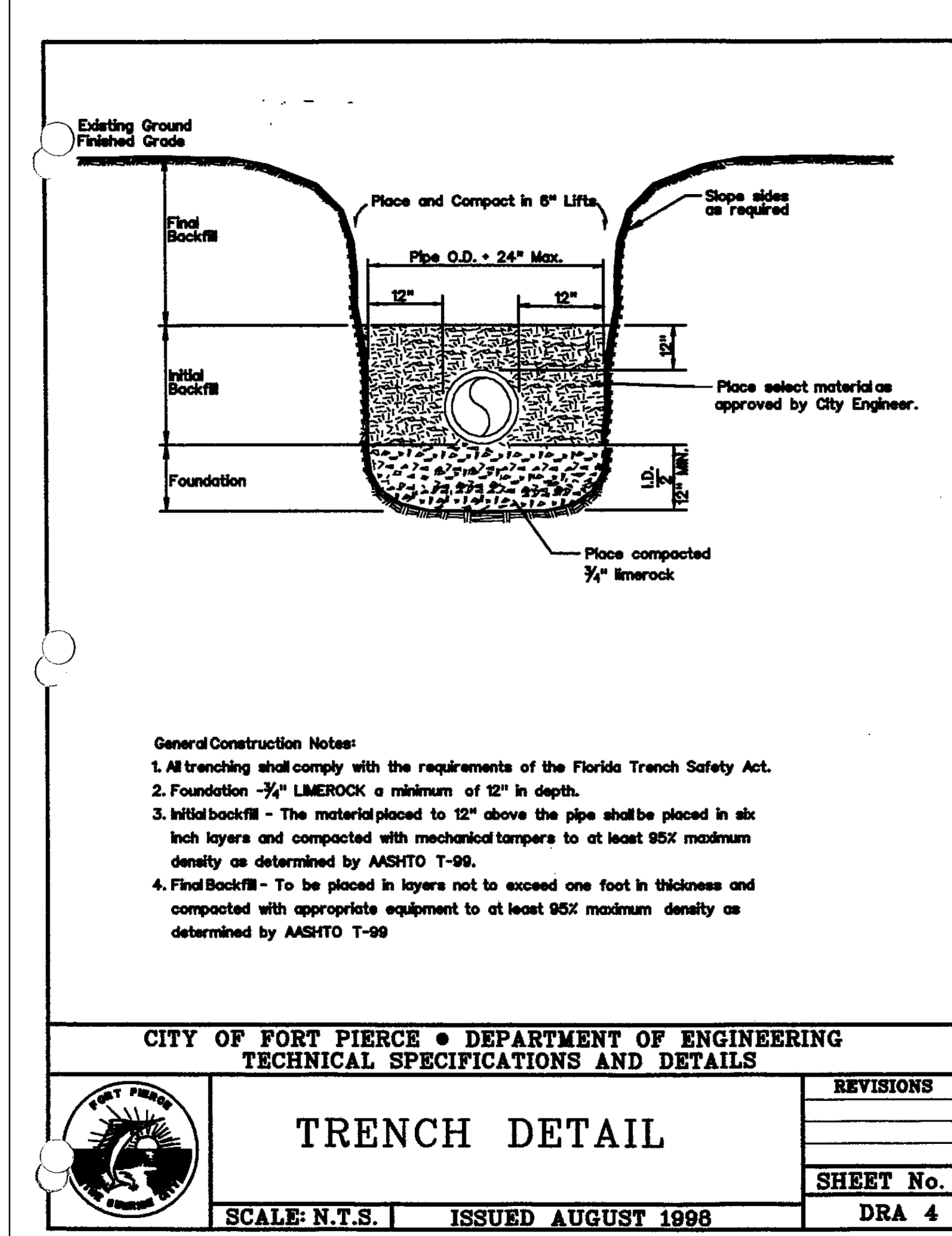
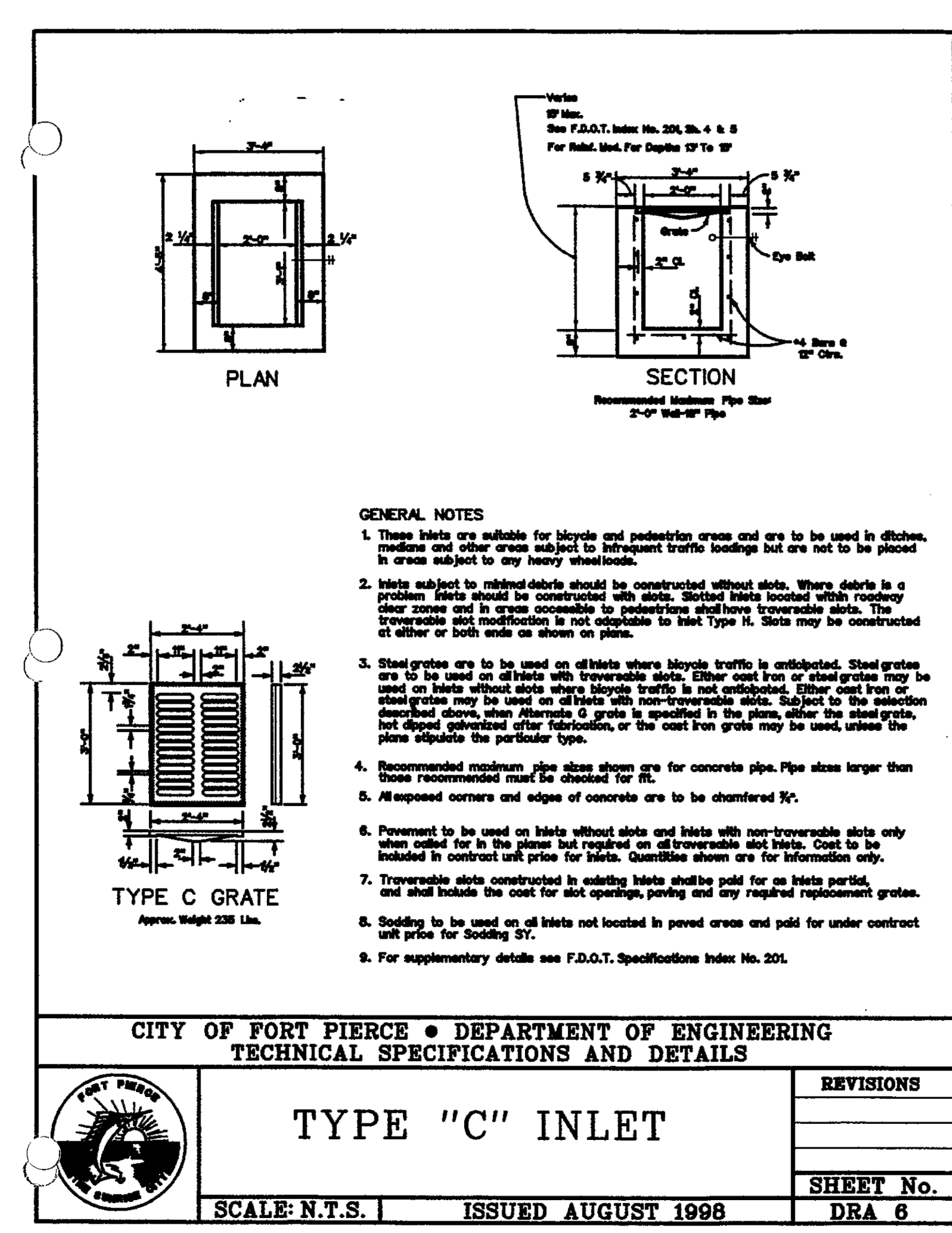
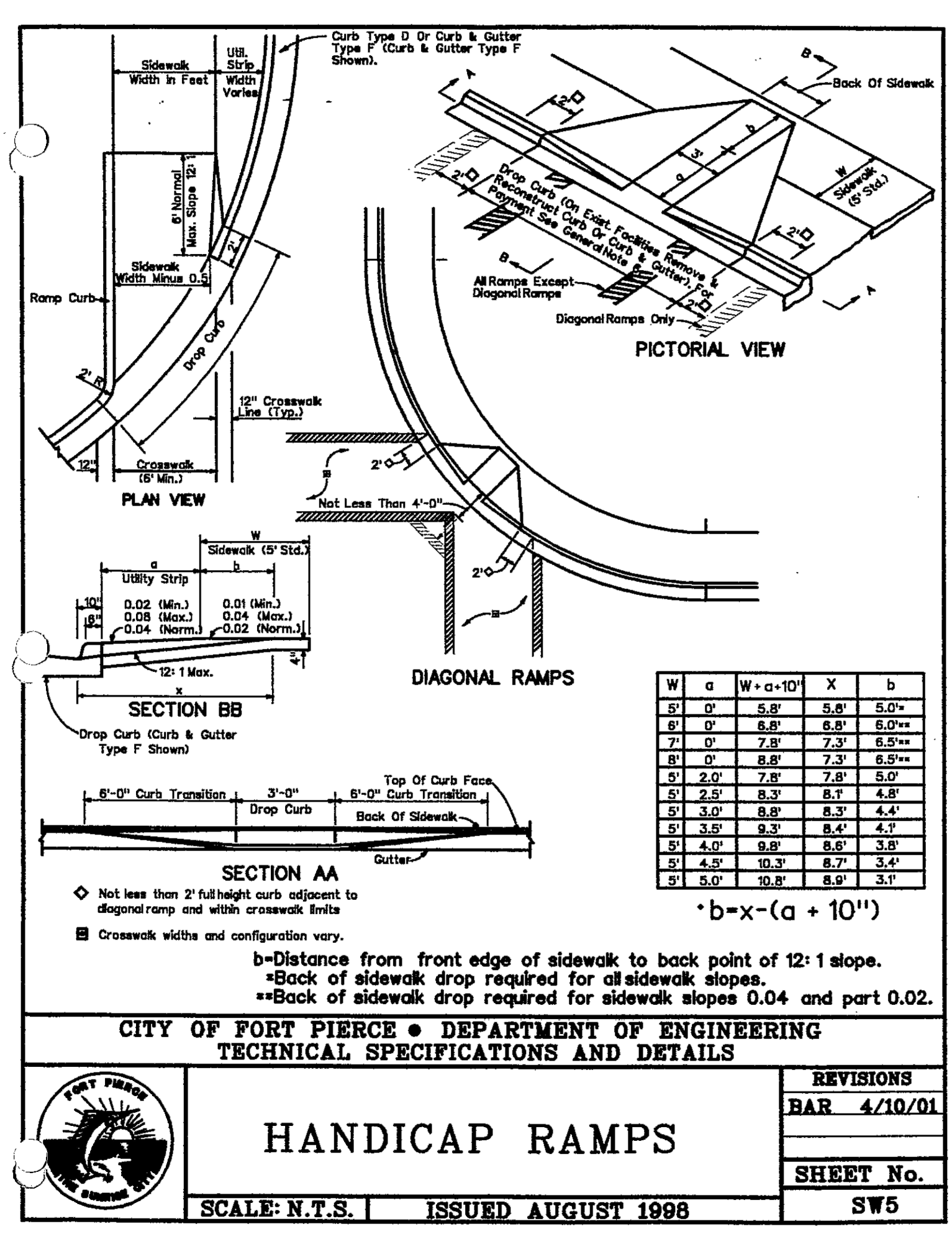
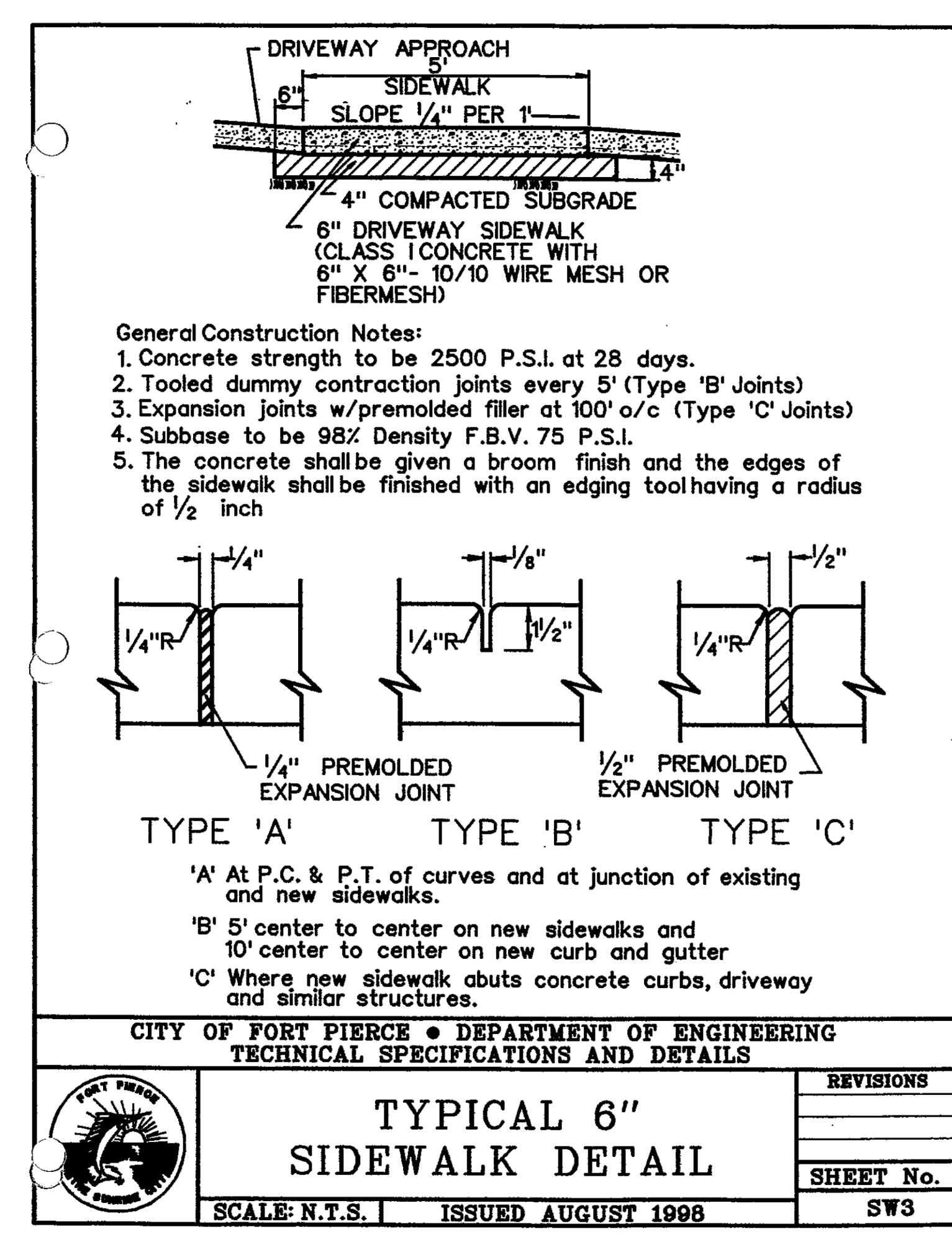
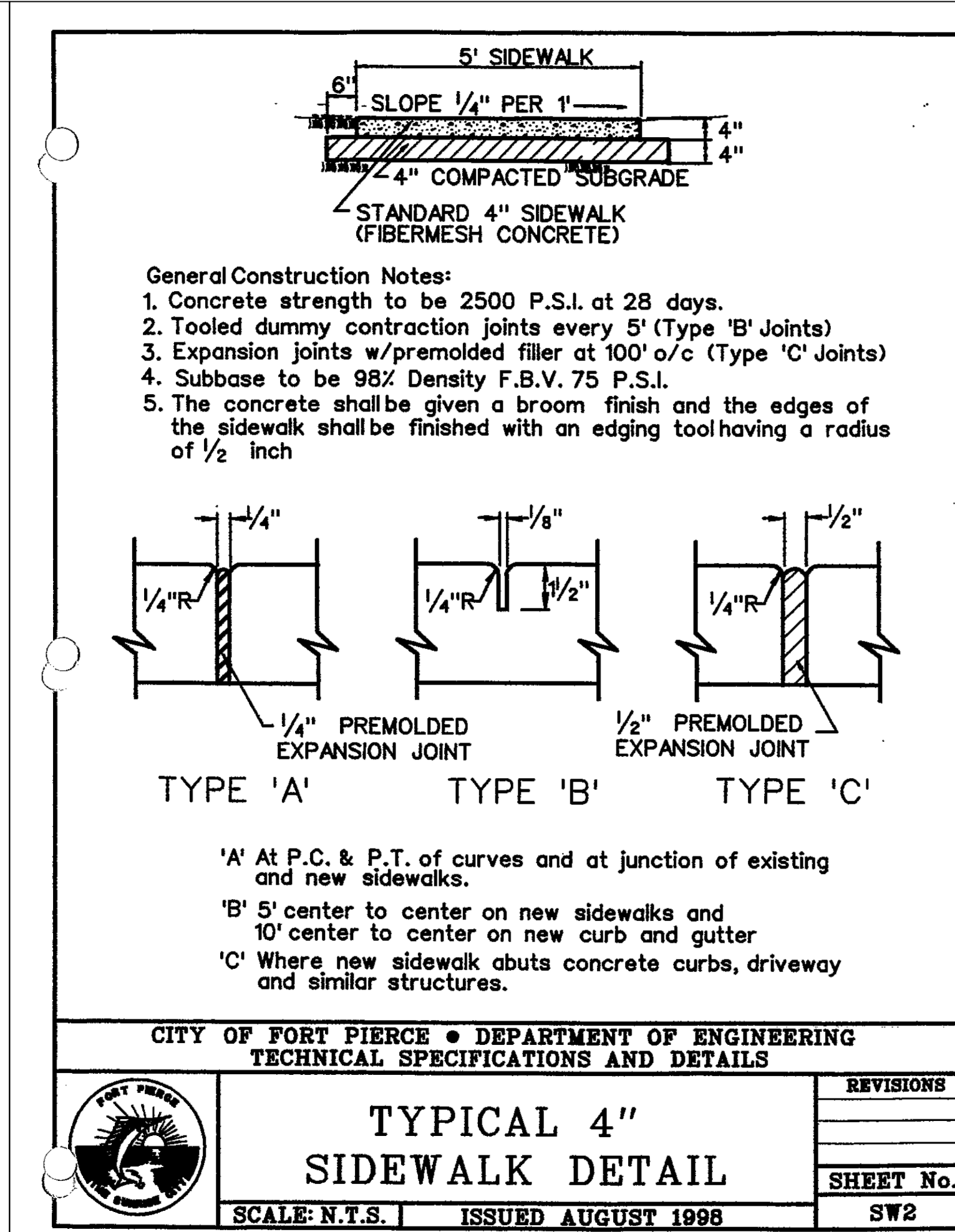
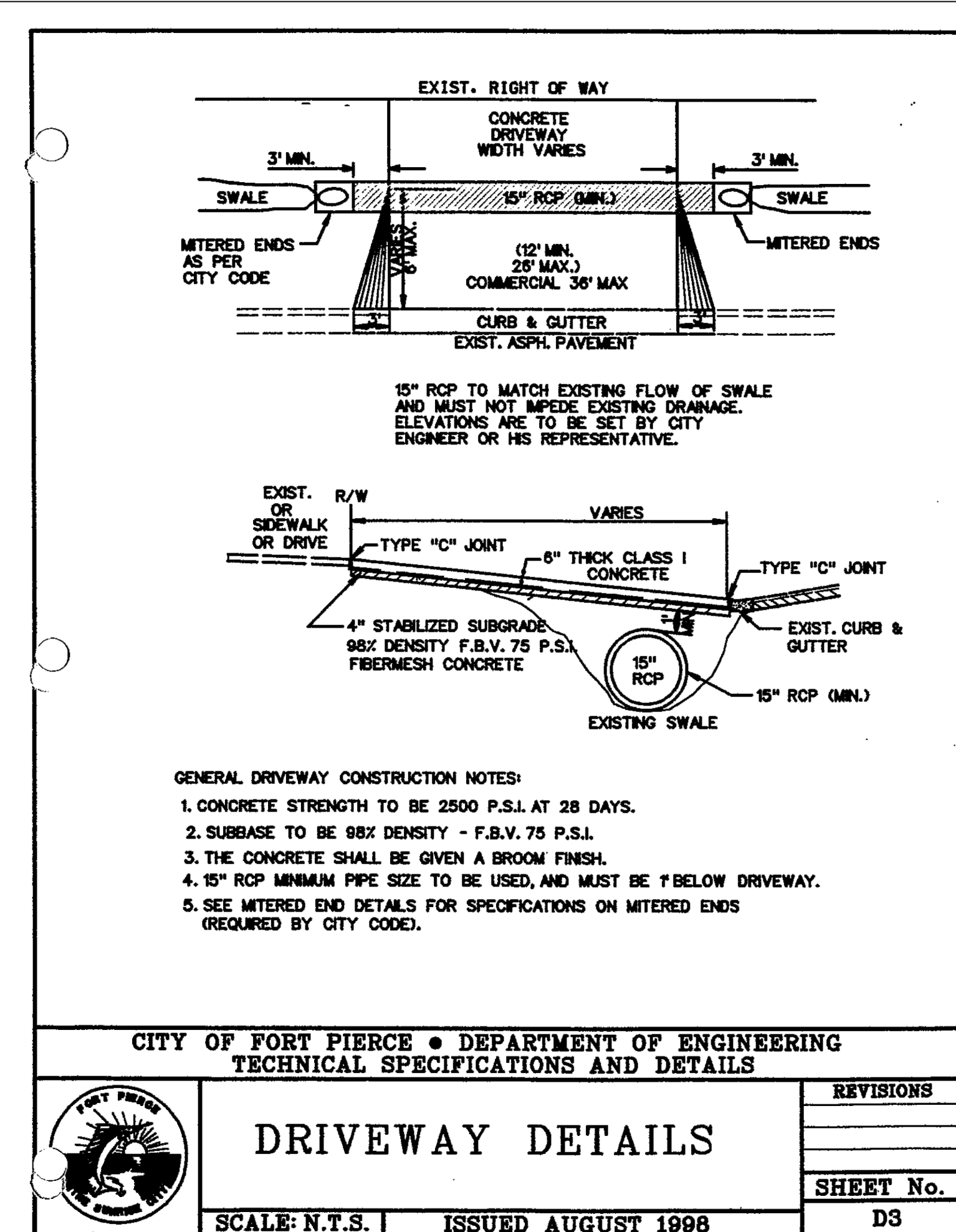
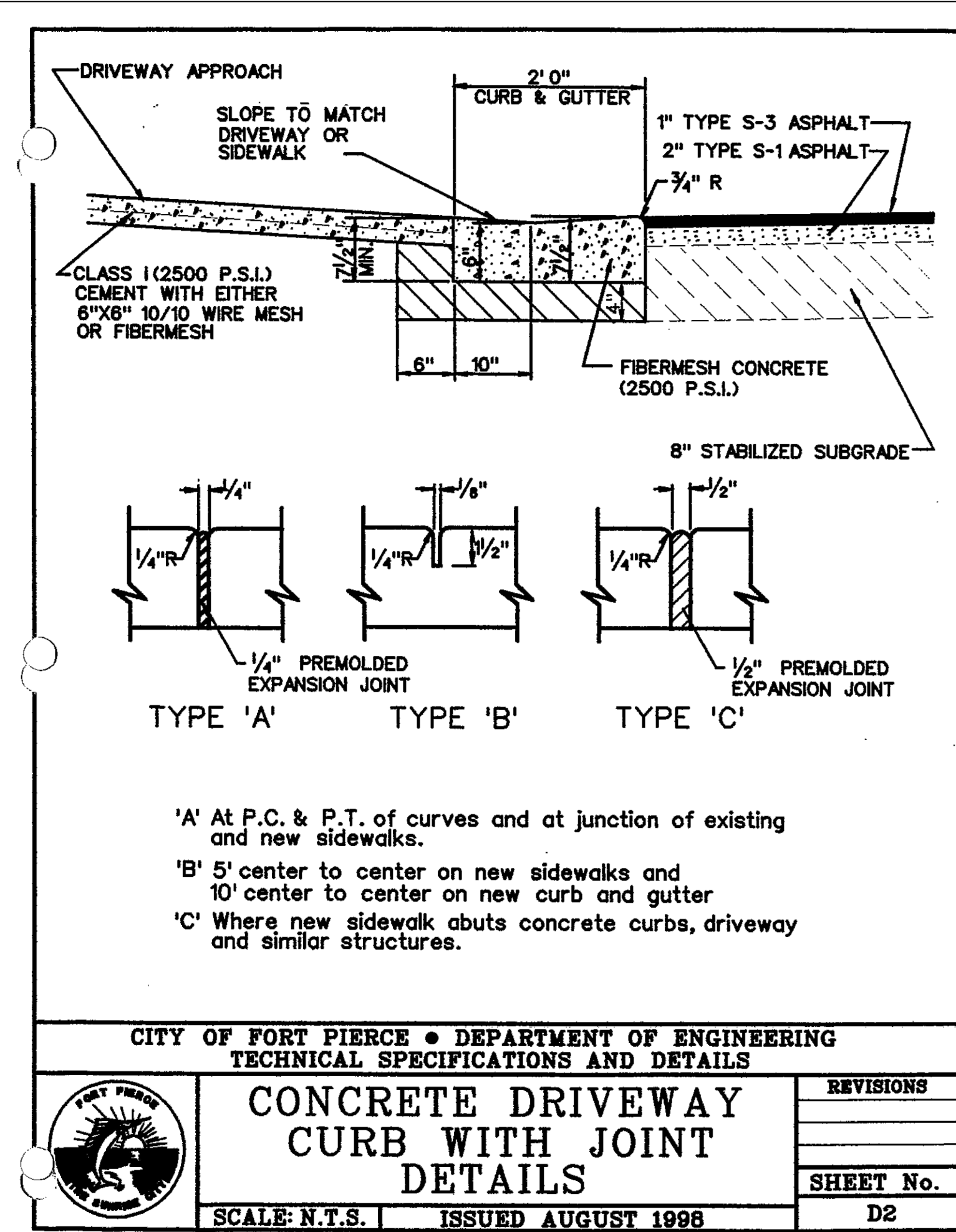
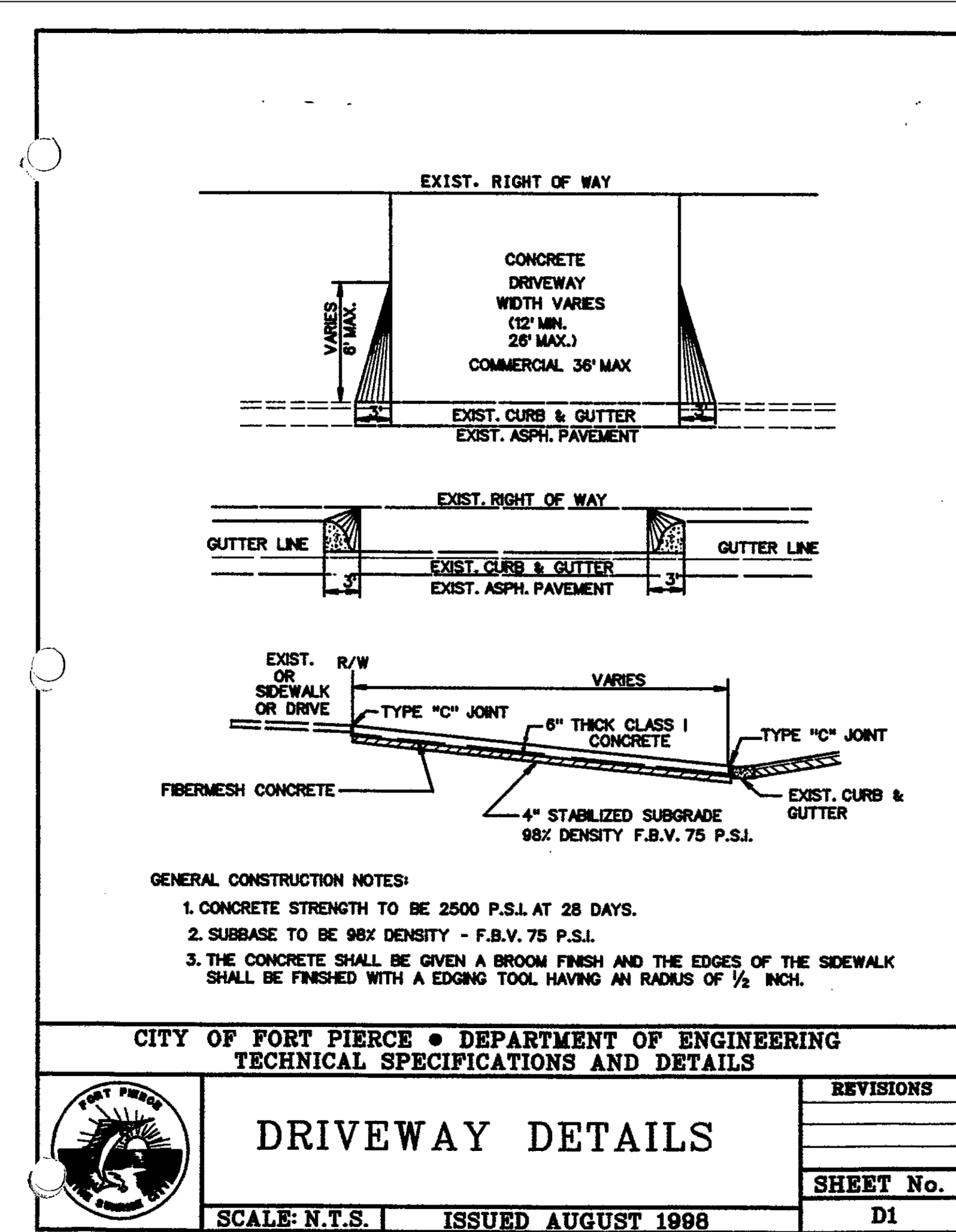
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FL Certificate of Authorization No. 00006601LB8171LB9198

**Southern Tire Mart**  
AT **Pilot**  
CITY OF FT. PIERCE

ST. LUCIE COUNTY      FLORIDA

Drawing Title  
**FPUA DETAILS**

Project No.	Drawing No.
532055101	C9.0
Date	
JULY 2025	
Drawn By	
Checked By	



Date	Description	No.
Revisions		

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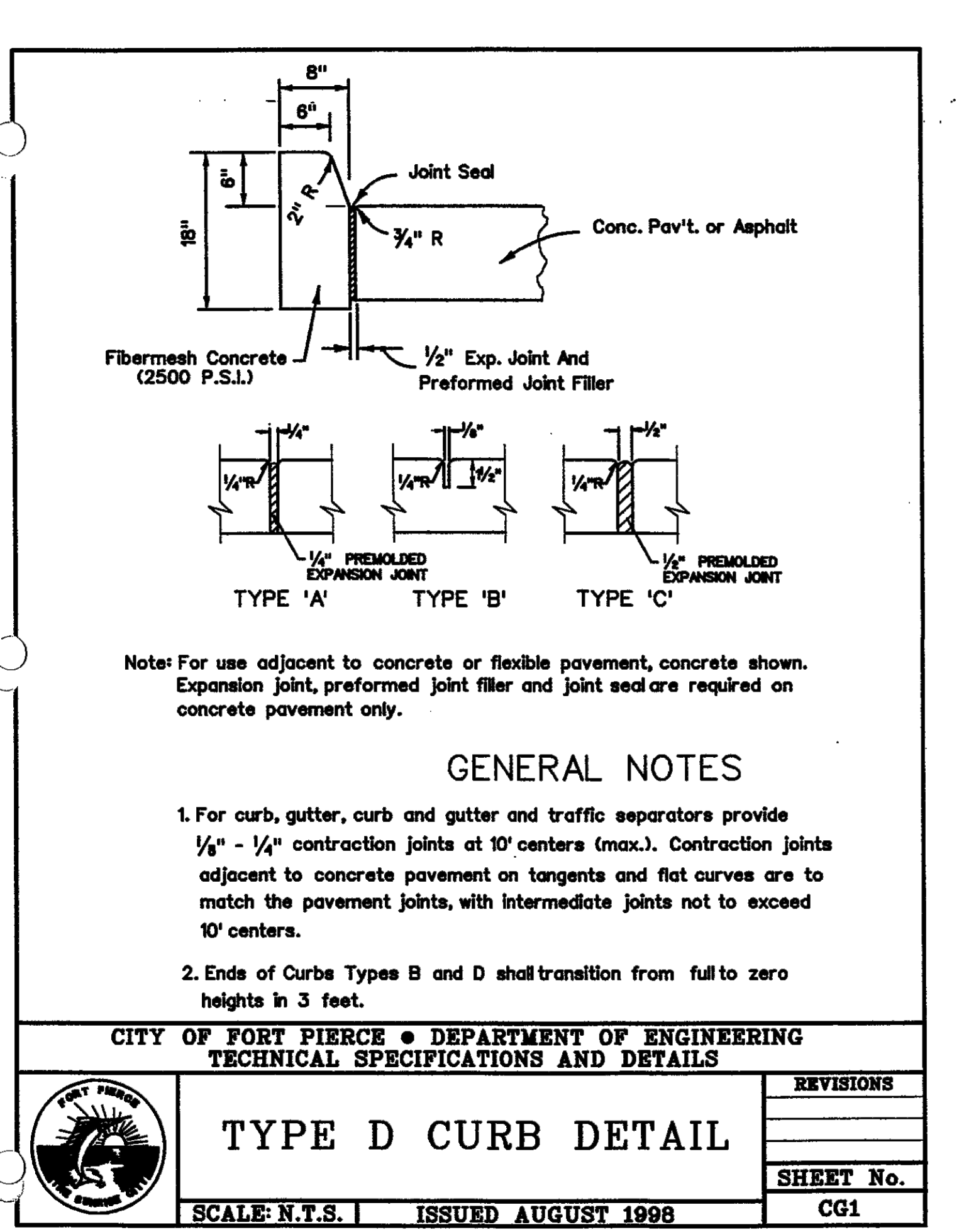
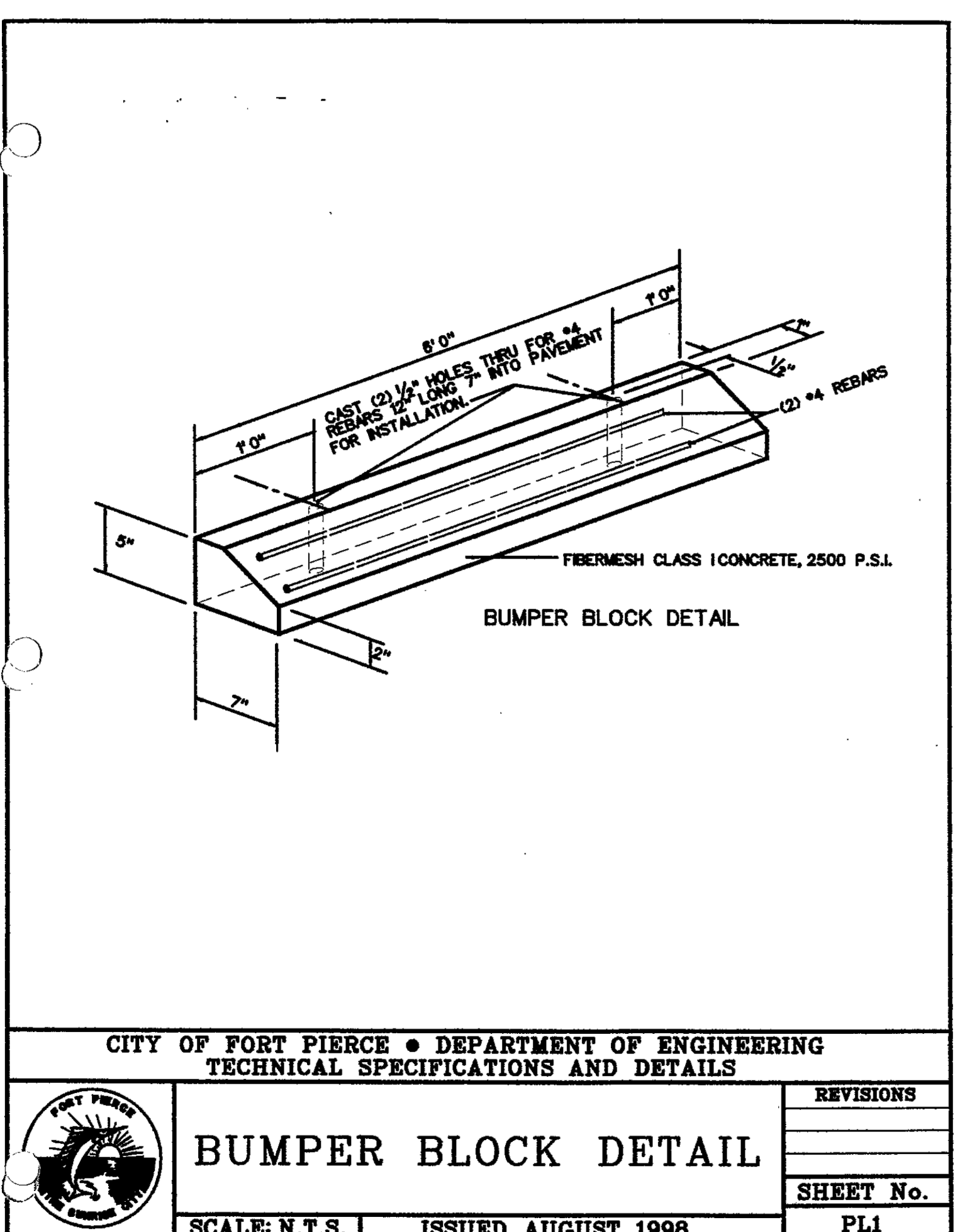
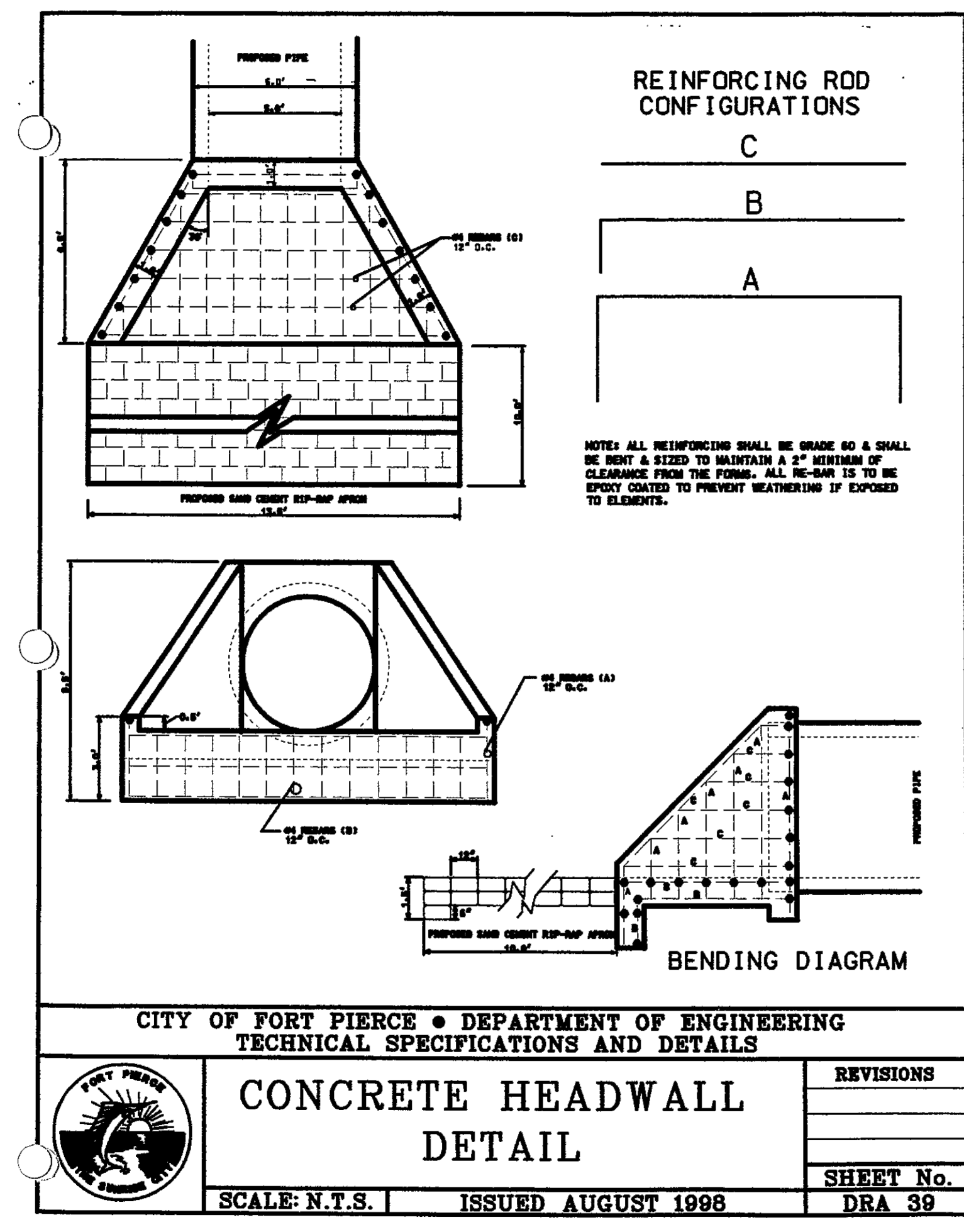
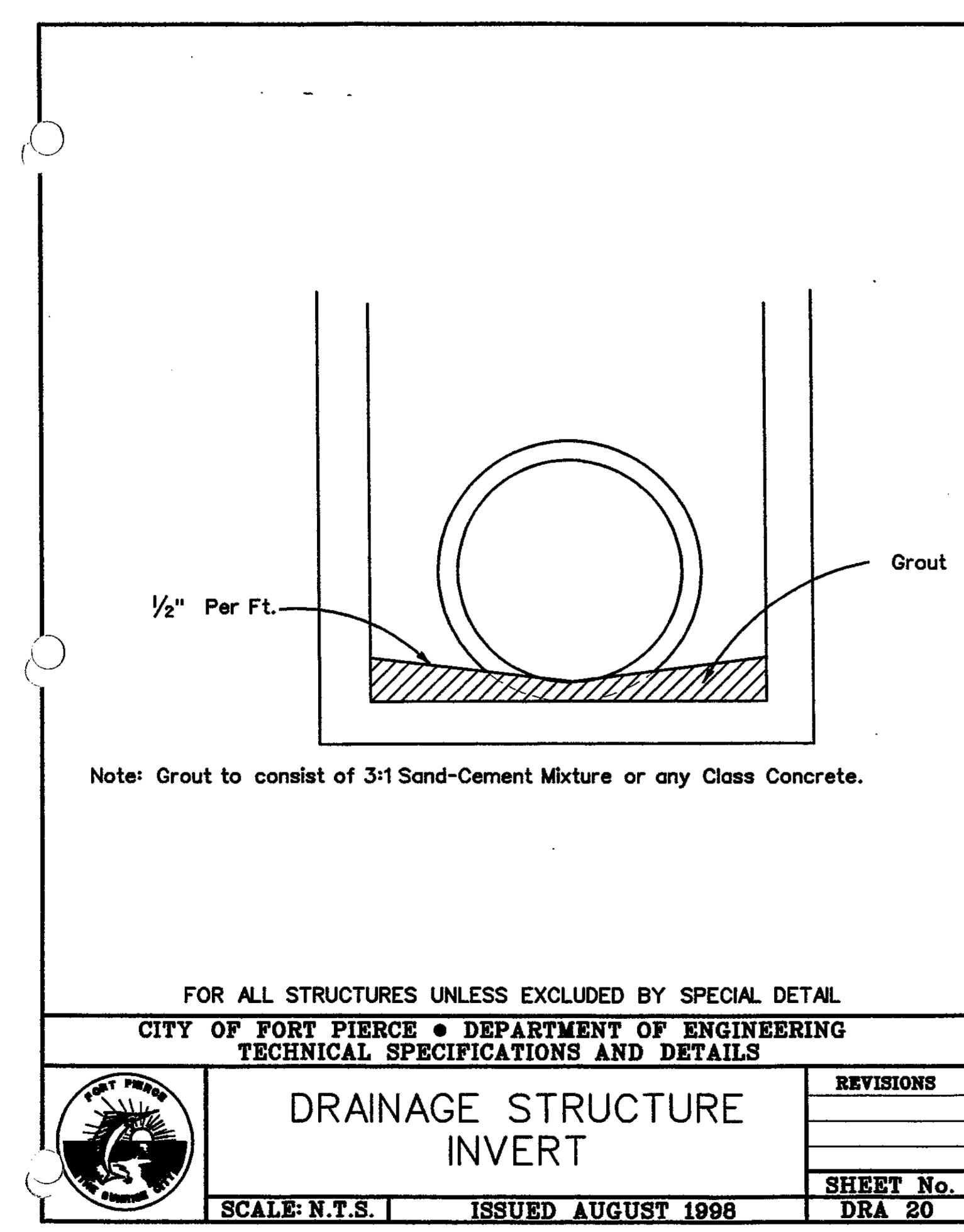
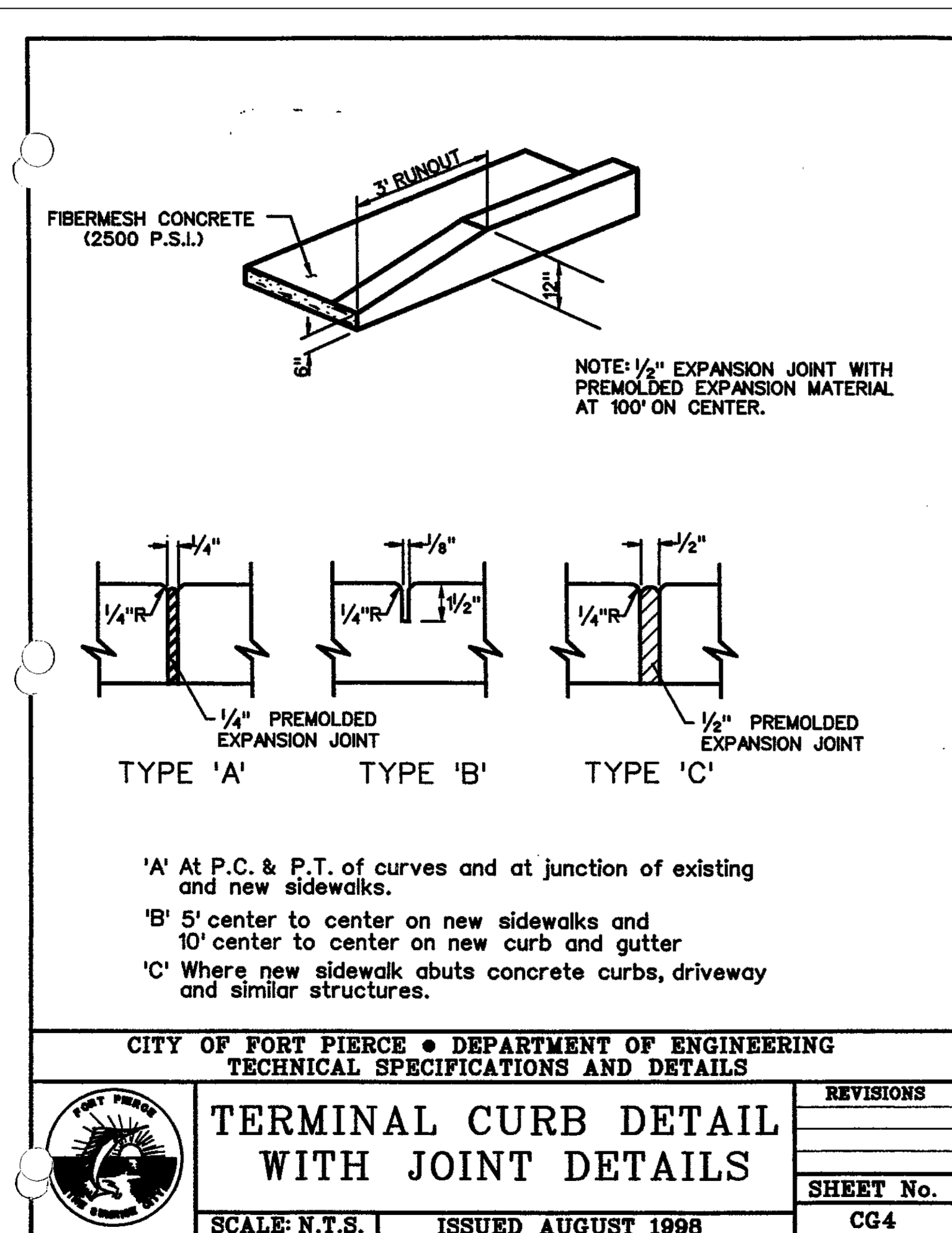
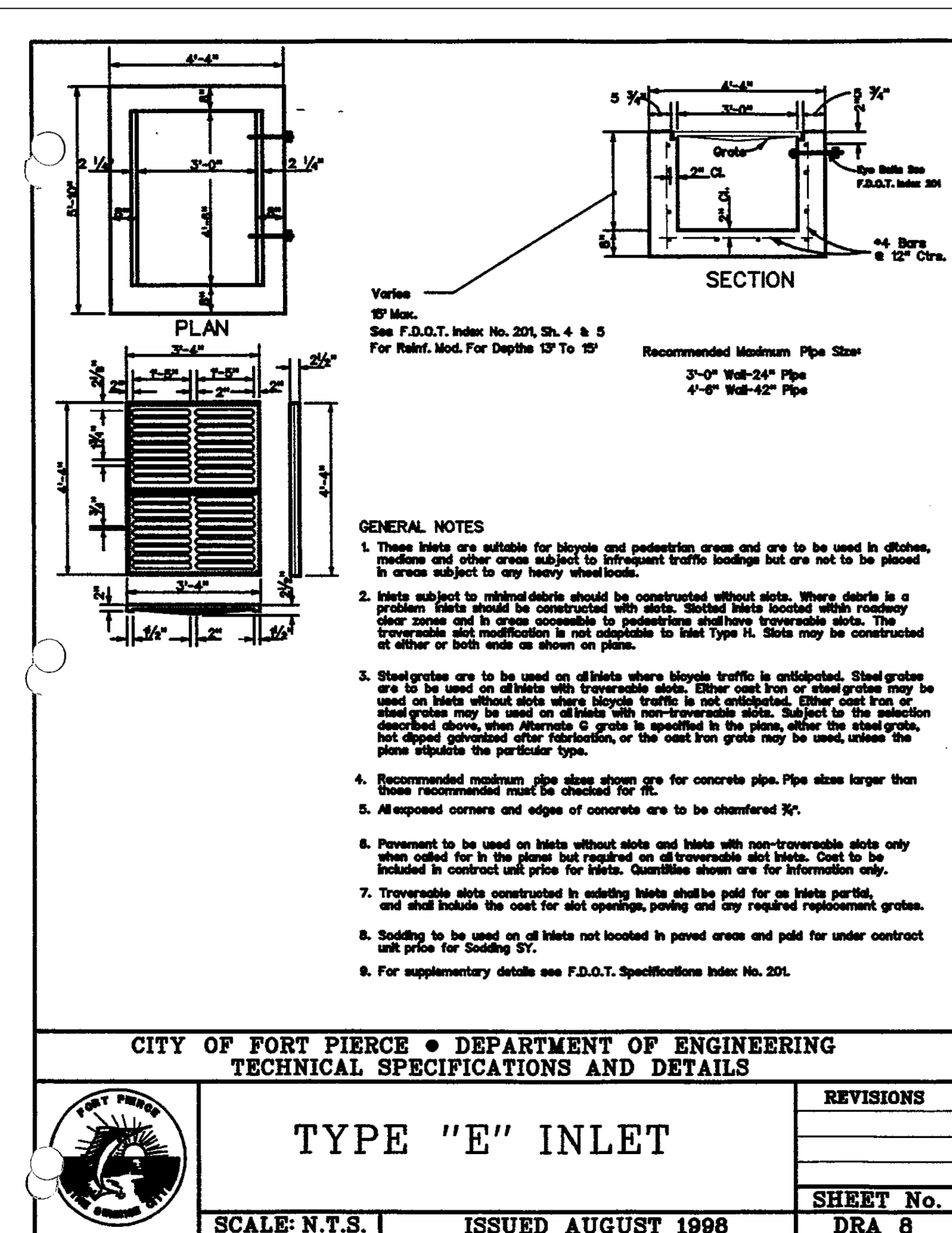
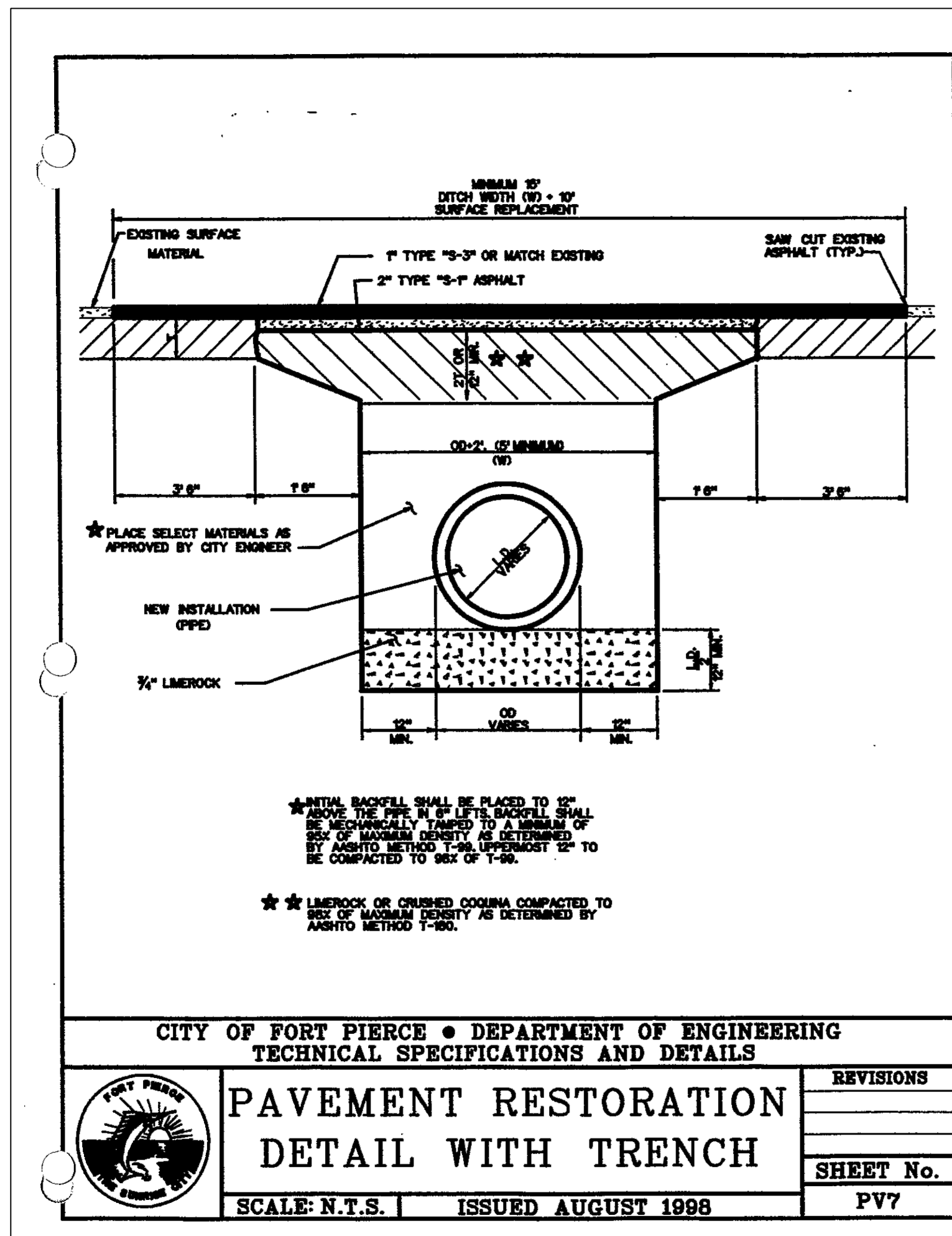
**Southern Tire Mart**  
 AT **Pilot**  
 CITY OF FT. PIERCE

ST. LUCIE COUNTY FLORIDA  
 Drawing Title

**CITY OF FT. PIERCE DETAILS**

Project No. S32055101  
 Date: JULY 2025  
 Drawn By: [Blank]  
 Checked By: [Blank]

Drawing No. **C9.1**



Date	Description	No.
Revisions		

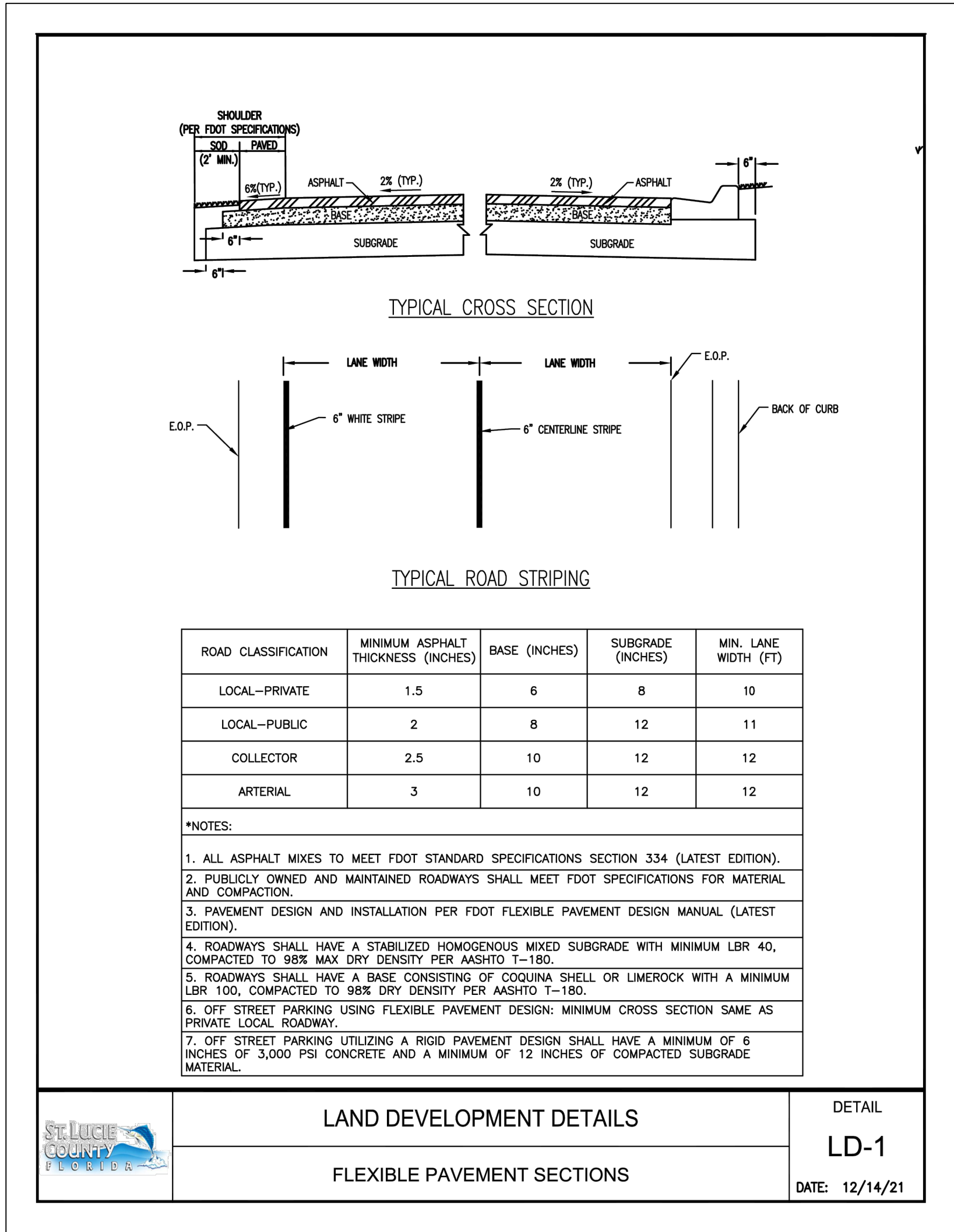
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West Palm Beach, Florida 33401  
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**Southern Tire Mart**  
AT **Pilot**  
CITY OF FT. PIERCE

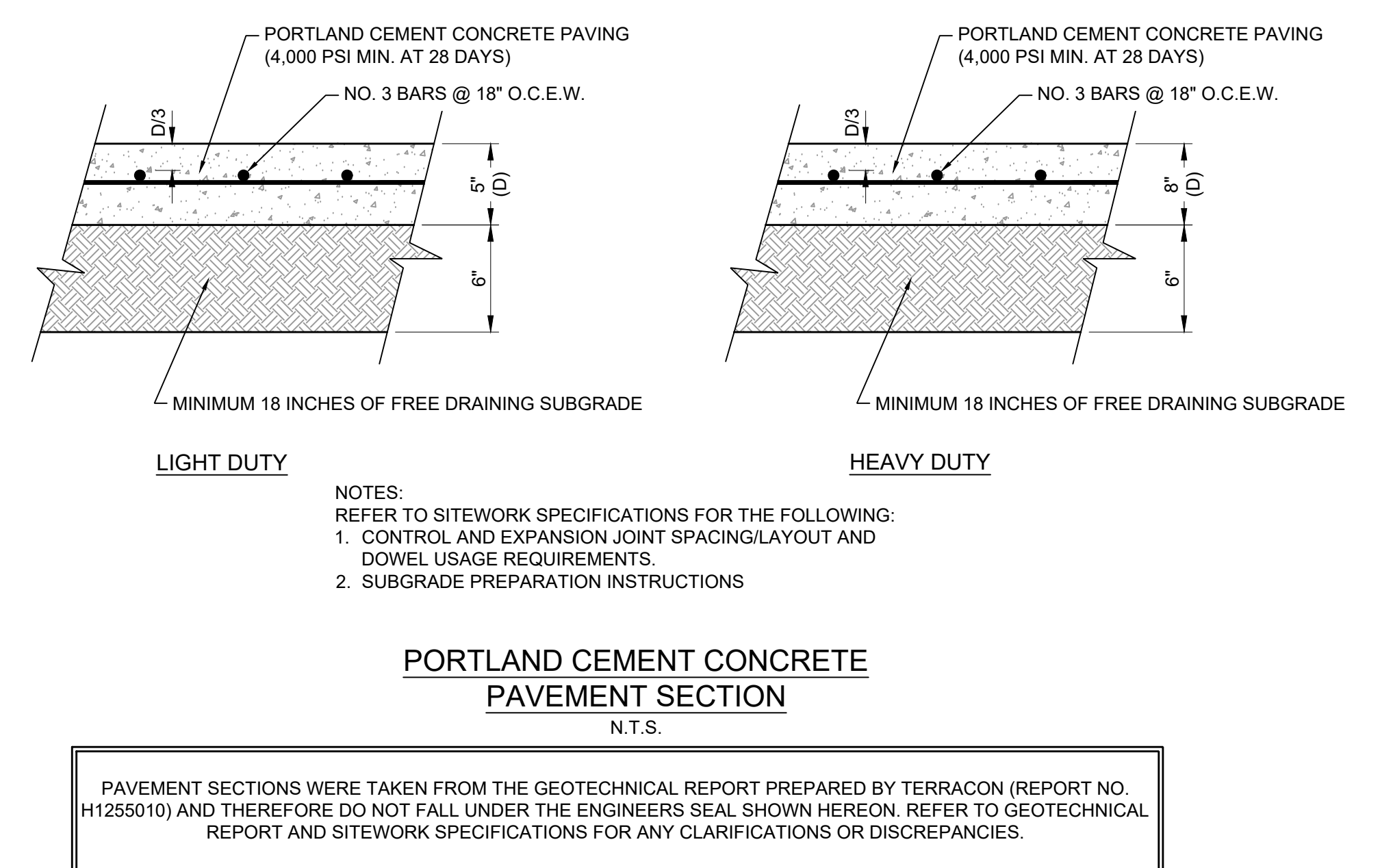
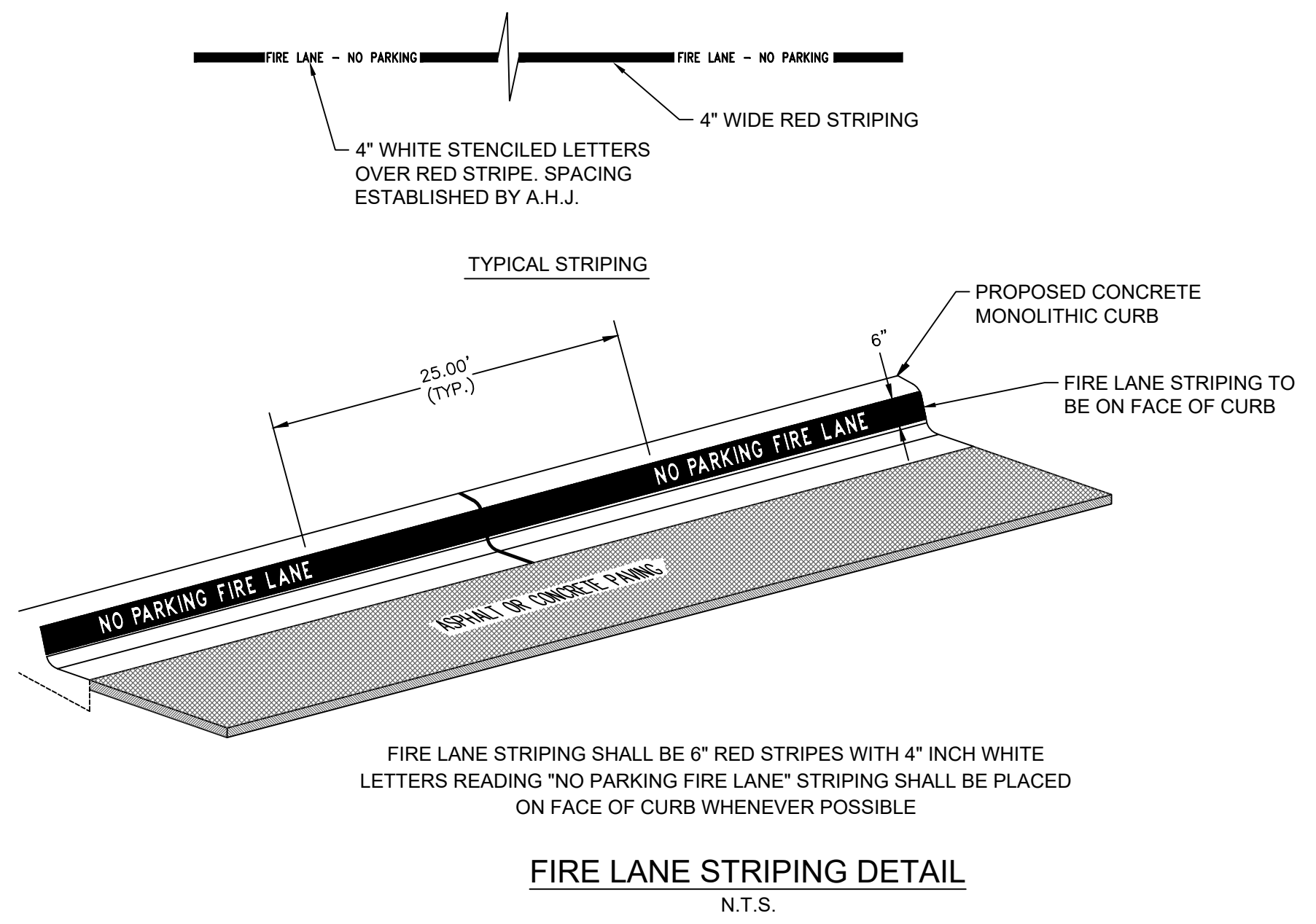
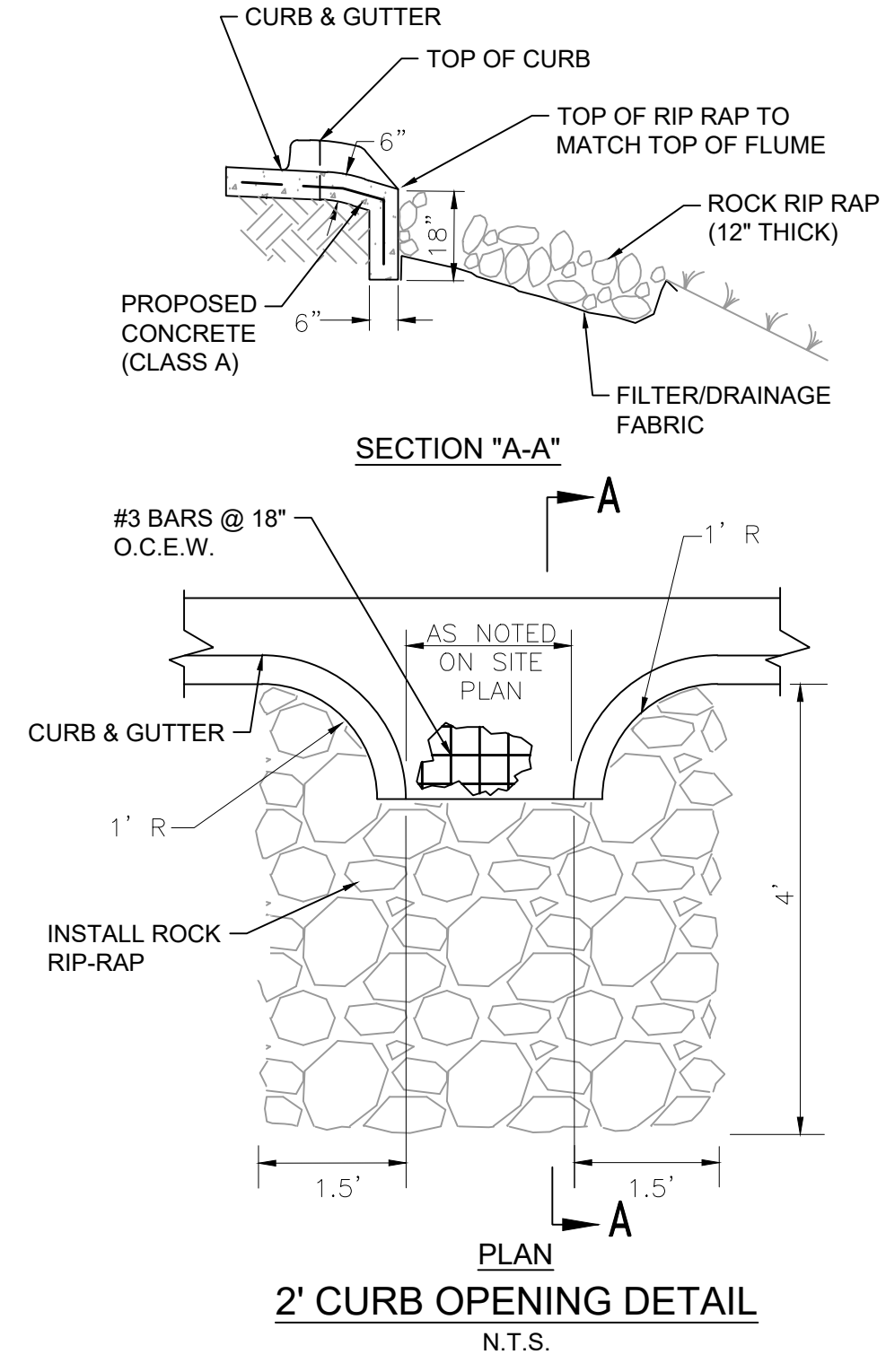
ST. LUCIE COUNTY FLORIDA  
Drawing Title

**CITY OF FT. PIERCE  
DETAILS**

Project No. 532055101	Drawing No. C9.2
Date JULY 2025	
Drawn By	
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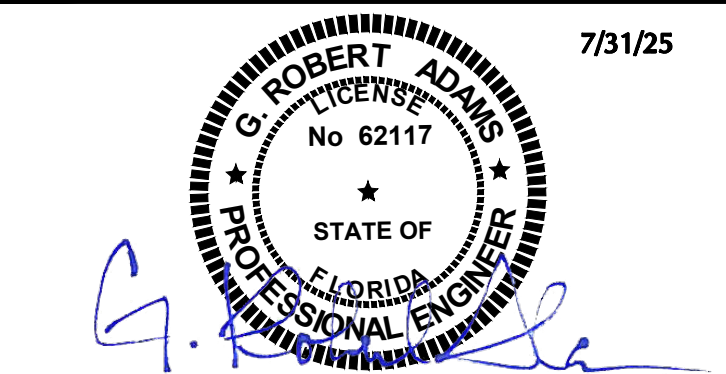


THIS COUNTY DETAIL DOES NOT FALL UNDER THE AUTHORITY OF SEALING ENGINEER.



Date	Description	No.
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Revisions



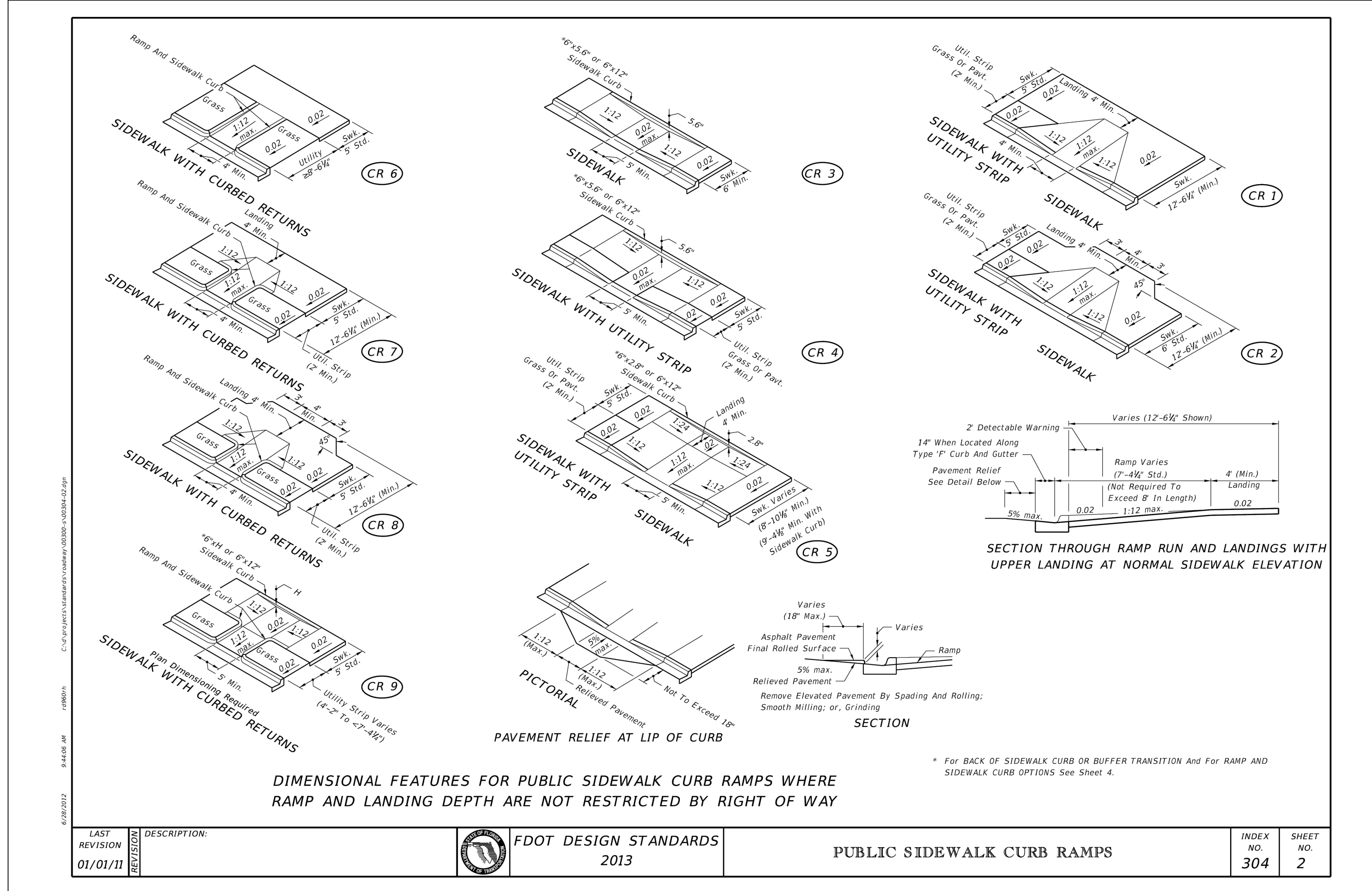
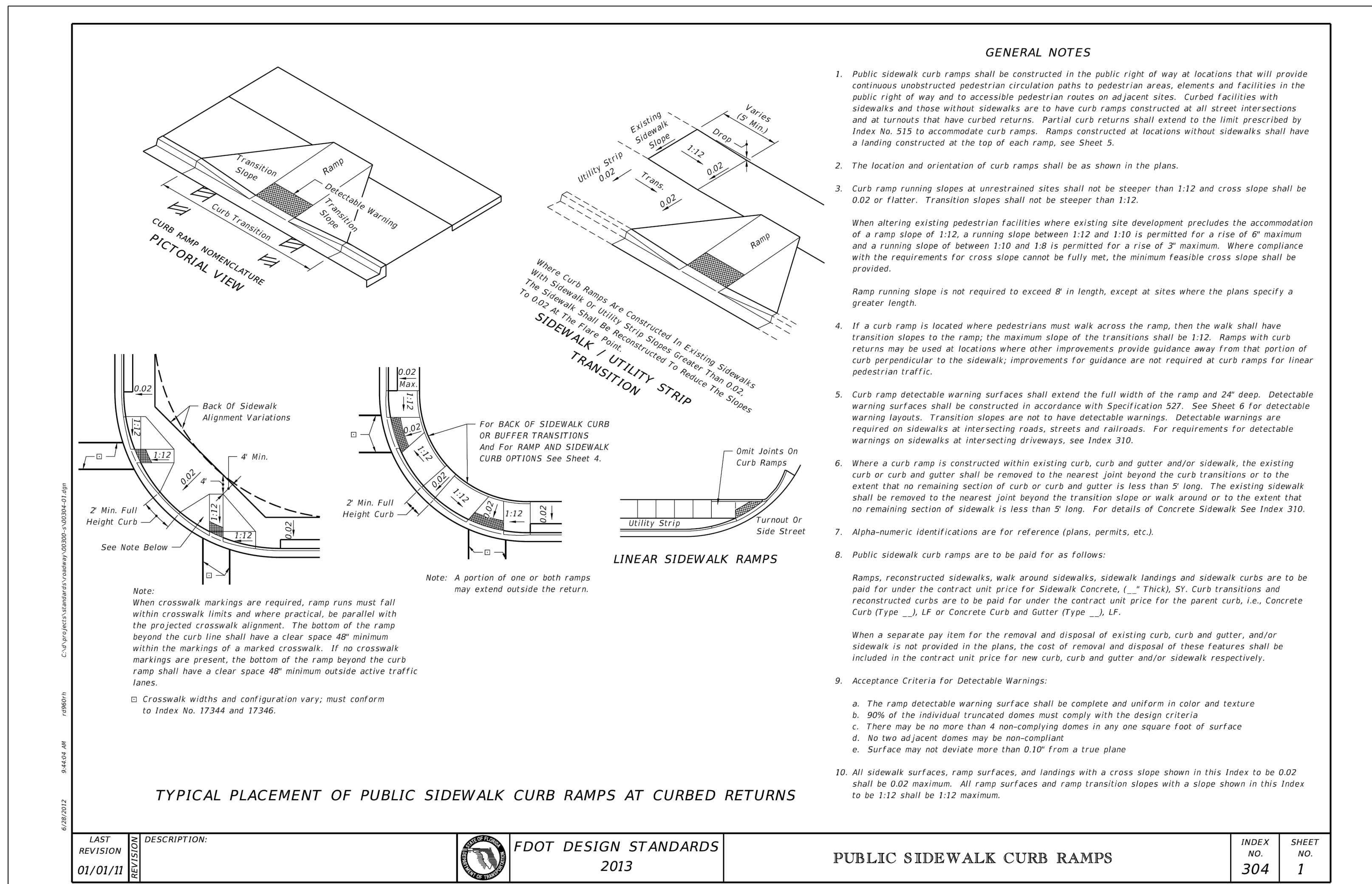
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**Southern Tire Mart**  
**AT Pilot**  
 CITY OF FT. PIERCE

ST. LUCIE COUNTY FLORIDA

Drawing Title  
**ST. LUCIE COUNTY & LANGAN DETAILS**

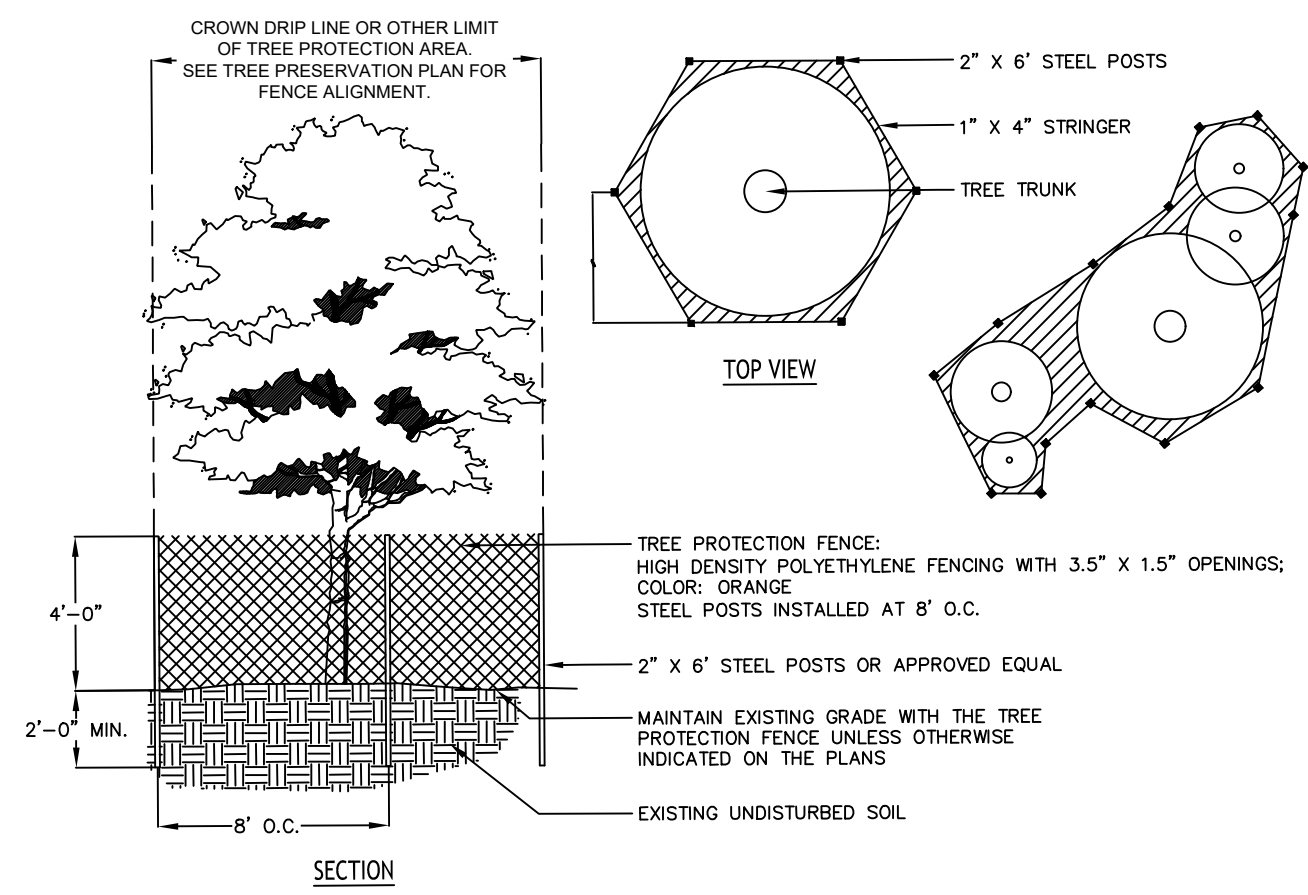
Project No. 532055101	Drawing No. C9.3
Date JULY 2025	
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Date	Description	No.
Revisions		
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 CITY OF FT. PIERCE		
ST. LUCIE COUNTY FLORIDA		
Drawing Title		
<h1>FDOT DETAILS</h1>		
Project No.	Drawing No.	
532055101	C9.4	
Date	JULY 2025	
Drawn By		
Checked By		

# TREE PROTECTION NOTES:

1. ALL EXISTING TREES WITHIN THE LIMITS OF TREE PROTECTION FENCING SHALL BE PROTECTED THROUGHOUT THE DURATION OF WORK. THE LIMIT OF TREE PROTECTION FENCE SHALL BE 10 FT BEYOND THE DRIP LINES UNLESS CONDITIONS WARRANT THE FENCE TO BE LOCATED CLOSER TO THE TREE. THE PROJECT LANDSCAPE ARCHITECT TO APPROVE THE LOCATION OF ALL FENCING PRIOR TO EXCAVATION.
2. TREE PROTECTION PLANKING SHALL BE INSTALLED ON ALL EXISTING TREES WHERE WORK IS TO BE DONE WITHIN THE LIMIT OF TREE PROTECTION FENCING. REFER TO TREE PROTECTION FENCING AND TREE PLANKING DETAIL.
3. IF TREE PROTECTION FENCING NEEDS TO BE MOVED OR BREACHED DUE TO TEMPORARY CONSTRUCTION ACTIVITY WITHIN THE TREE PROTECTION ZONE, THE FENCING WILL BE RESET TO ITS ORIGINAL LOCATION IMMEDIATELY AFTER CONSTRUCTION WITHIN THE TREE PROTECTION ZONE IS COMPLETE.
4. TREE PROTECTION FENCING SHALL BE MAINTAINED TO PROTECT TREES AT ALL TIMES. ANY DAMAGED FENCING SHALL BE REPLACED IMMEDIATELY.
5. DEMOLITION WORK WITHIN THE TREE PROTECTION FENCE OF PROTECTED TREES SHALL BE PERFORMED BY NON-MECHANICAL METHODS. CONTRACTOR TO PROTECT ROOT MASS AGAINST DAMAGE DURING EXCAVATION. ANY TREE ROOTS THAT ARE DISTURBED, BROKEN, OR CUT SHALL BE PRUNED BACK WITH CLEAN SHARP TOOLS.
6. ALL TEMPORARILY EXPOSED TREE ROOTS SHALL BE COVERED WITH 2 INCHES OF SHREDDED HARDWOOD MULCH AND THOROUGHLY IRRIGATED ON A DAILY BASIS AS DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT.
7. ALL WORK TO BE PERFORMED UNDER THE DIRECT SUPERVISION OF EITHER THE OWNER'S REPRESENTATIVE OR THE PROJECT LANDSCAPE ARCHITECT.
8. ALL AREAS WHERE NATURAL VEGETATION AND/OR SPECIMEN TREES ARE TO REMAIN SHALL BE PROTECTED BY THE ERECTION OF FENCING, AND NO DISTURBANCE SHALL OCCUR PRIOR TO INSPECTION BY THE TOWNSHIP ENGINEER AND THE ISSUANCE OF WRITTEN AUTHORIZATION TO PROCEED WITH CONSTRUCTION. THESE PROTECTIVE MEASURES SHALL NOT BE ALTERED OR REMOVED WITHOUT APPROVAL OF THE TOWNSHIP ENGINEER.



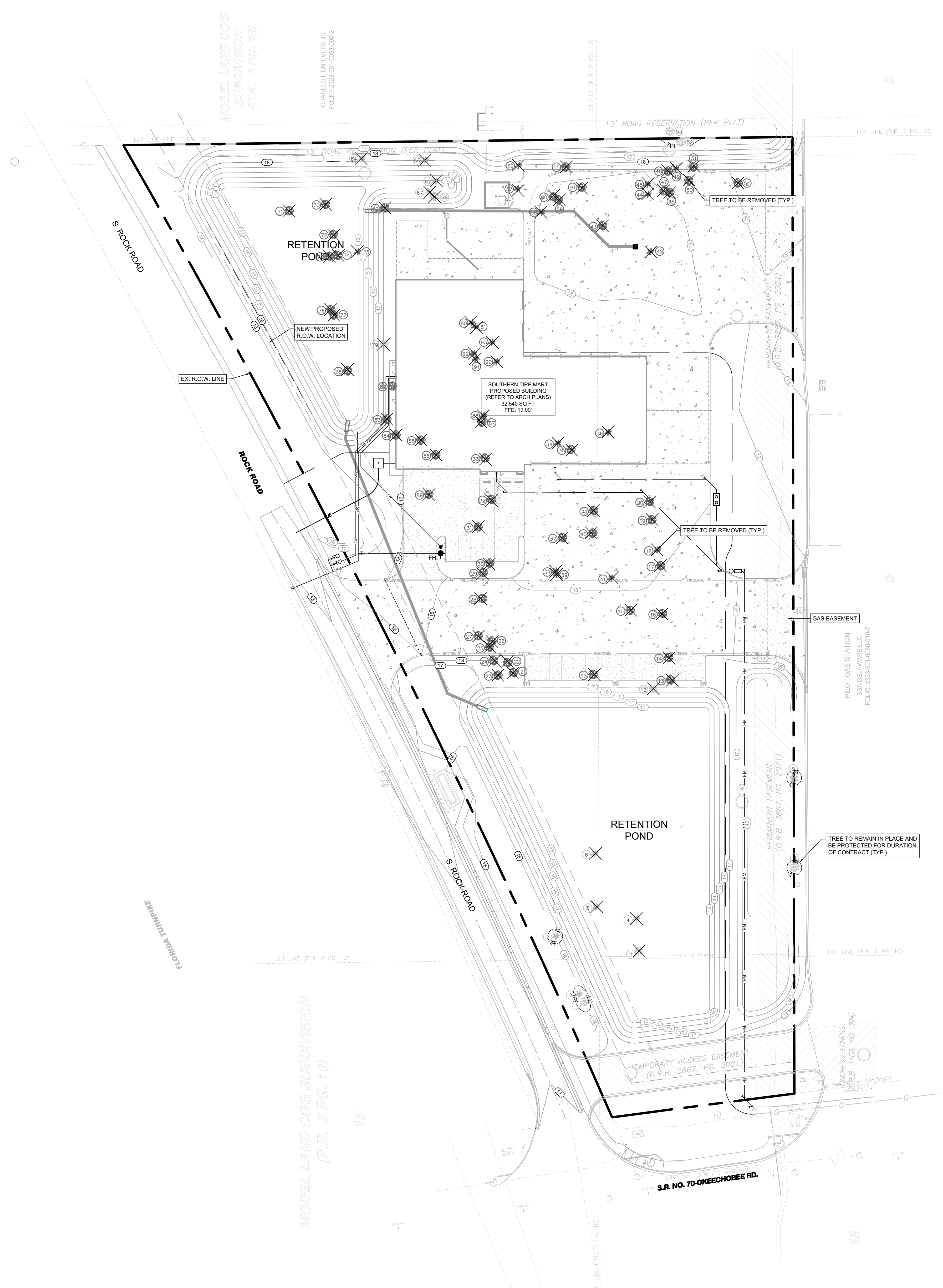
- NOTES:**
1. BARRICADE ORICLE TO BE CENTERED ON THE TREE TRUNK(S). FOR GROUPS OF TREES, PLACE BARRICADES BETWEEN TREES AND CONSTRUCTION ACTIVITY.
  2. TREE PROTECTION BARRICADES SHALL BE LOCATED TO PROTECT EXISTING, RELOCATED AND NEW TREES AT A DISTANCE 6 FEET FROM THE TREE TRUNK OR AT THE CANOPY DRIP LINE, WHICHEVER IS GREATER OR AS SHOWN ON LANDSCAPE PLAN.
  3. SEE SPECIFICATIONS FOR ADDITIONAL TREE PROTECTION REQUIREMENTS.
  4. IF THERE IS NO EXISTING IRRIGATION, SEE SPECIFICATIONS FOR WATERING REQUIREMENTS.
  5. NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
  6. NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
  7. SEE SITE PREPARATION PLAN FOR ANY MODIFICATIONS WITH THE TREE PROTECTION AREA.

## TREE PROTECTION FENCING AND TREE PLANKING

NTS

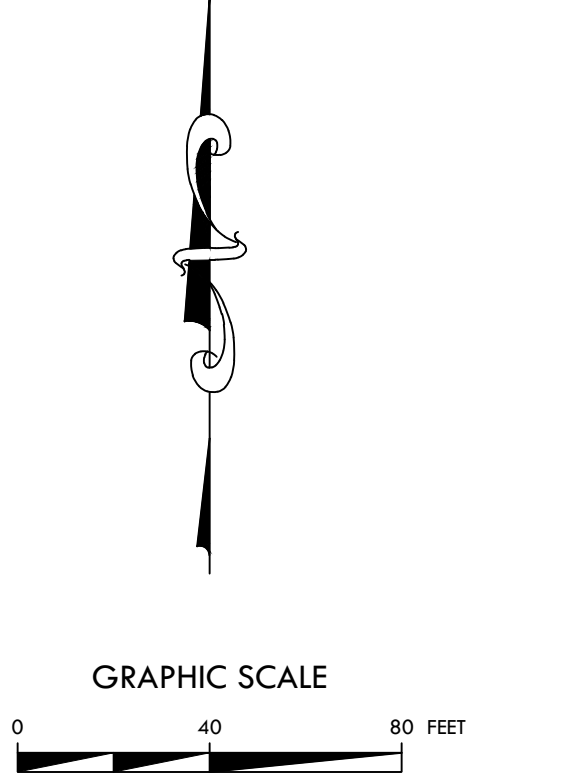
### LEGEND

- EXISTING TREE
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN IN PLACE WITH TREE PROTECTION

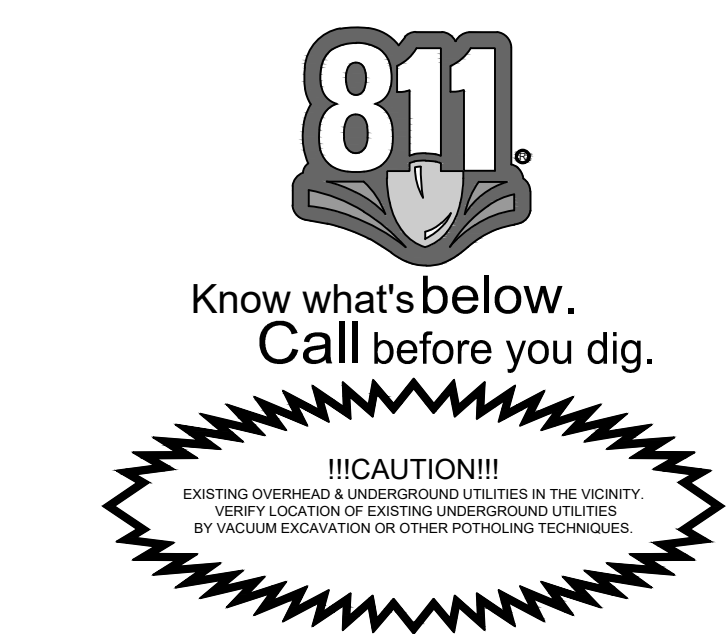


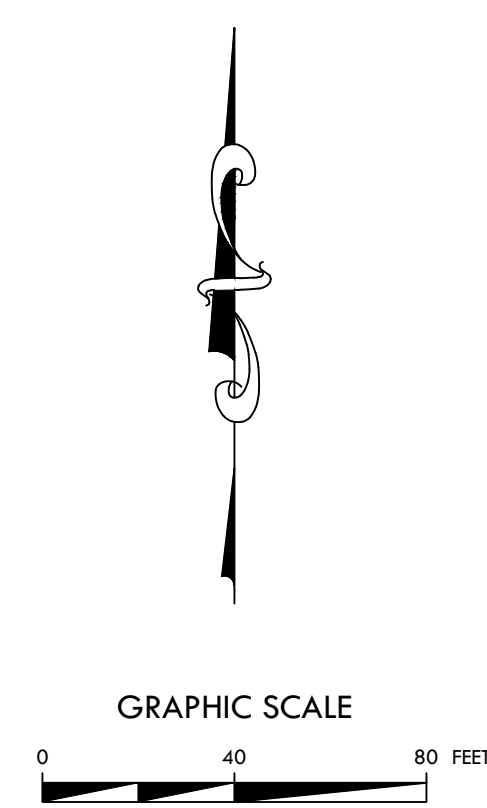
Tree Species and Trunk Diameter Table				
Tree No.	Species	Trunk Diameter (inch)	Tree Canopy (ft.)	Tree High (ft.)
1	Tree	0	0	18.3
2	Palm	13	14	25.1
3	Tree	24	38	30.0
4	Palm	15	13	21.8
5	Palm	12	15	23.1
6	Palm	15	16	22.5
7	Cluster (2 Palms)	14	18	23.6
8	Tree	18	30	28.4
9	Tree	24	52	34.4
10	Tree	11	22	29.6
11	Palm	14	10	21.4
12	Cluster (7 Trees)	6	30	25.8
13	Cluster (6 Trees)	8	20	25.9
14	Cluster (10 Trees)	7	30	25.9
15	Cluster (6 Trees)	10	26	20.7
16	Cluster (8 Trees)	8	28	21.4
17	Cluster (12 Trees)	8	34	21.7
18	Palm	10	8	14.2
19	Cluster (9 Trees)	7	24	27.1
20	Cluster (3 Trees)	8	24	27.3
21	Tree	8	16	21.9
22	Tree	16	40	37.8
23	Cluster (2 Trees)	10	20	37.8
24	Cluster (3 Trees)	7	18	37.3
25	Tree	14	34	41.1
26	Cluster (2 Trees)	19 / 14	48	40.9
27	Tree	10	16	41.7
28	Tree	31	50	41.4
29	Tree	21	38	41.4
30	Cluster (8 Trees)	10	28	41.8
31	Tree	21	48	41.3
32	Tree	20	30	41.9
33	Tree	20	40	41.7
34	Palm	13	18	23.8
35	Cluster (4 Trees)	7	26	23.2
36	Palm	18	12	24.7
37	Tree	24	30	24.0
38	Palm	13	14	27.9
39	Palm	13	15	30.1
40	Cluster (6 Trees)	24	18	22.5
41	Cluster (3 Trees)	26	16	22.5
42	Palm	17	14	33.0
43	Tree	34	10	38.2
44	Palm	11	15	22.1
45	Palm	16	12	29.1
46	Tree	11	16	23.8
47	Cluster (2 Trees)	6	14	24.5
48	Tree	10	26	30.8
49	Palm	16	6	10.8
50	Cluster (5 Trees)	14	20	29.3
51	Cluster (5 Trees)	10	14	30.3
52	Cluster (3 Trees)	10	20	21.2
53	Tree	12	24	30.3
54	Cluster (4 Trees)	8	26	30.3
55	Cluster (3 Trees)	7	22	29.6
56	Palm	16	14	27.1
57	Palm	14	12	26.1
58	Palm	13	16	26.6
59	Cluster (3 Trees)	5	18	27.8
60	Cluster (6 Trees)	7	24	27.4
61	Cluster (4 Trees)	10	28	26.2
62	Palm	11	16	10.0
63	Palm	14	17	27.9
64	Palm	14	18	27.5
65		20	22	18.3
66		20	14	18.3
67	Tree	12	36	23.9
68	Cluster (6 Trees)	7	24	21.3
69	Tree	17	38	25.3
70	Cluster (6 Trees)	7	36	23.1
71	Cluster (12 Trees)	7	50	28.2
72	Cluster (7 Trees)	7	48	28.0
73	Cluster (7 Trees)	7	38	27.8
74	Cluster (4 Trees)	12	32	28.2
75	Palm	12	14	29.1
76	Cluster (8 Trees)	7	32	27.6
77	Cluster (8 Trees)	8	40	27.6
78	Cluster (5 Trees)	10	50	28.7
79	Cluster (4 Trees)	6	28	22.0
80	Palm	13	12	28.0
81	Palm	14	10	28.0
82	Cluster (2 Trees)	8	42	28.0
83	Cluster (4 Trees)	6	26	28.0
84	Cluster (7 Trees)	7	34	28.9
85	Cluster (6 Trees)	6	24	29.1
86	Tree	10	20	28.6
87	Cluster (4 Trees)	7	28	28.6
88	Palm	18	10	28.6
89	Tree	21	28	28.5
90	Palm	16	12	28.0
91	Palm	16	14	32.5
92	Palm	13	11	28.0
93	Palm	20	12	28.0

REPLACEMENT CALCULATIONS	
Total Inches to be Removed from the Site	651
** Mitigation Requirements to be paid into the City of Fort Pierce Tree Preservation Funds	



Date	Description	No.
Revisions		
SIGNATURE		DATE SIGNED
THOMAS G. MEAD		
PROFESSIONAL LA FL Lic. No. 6667354		
<b>LANGAN</b>		
Langan Engineering and Environmental Services, LLC 525 Okeechobee Blvd, Suite 910 West Palm Beach, Florida 33401		
T: 561.473.8300		www.langan.com
FL Certificate of Authorization No. 00006601/LB8171/LB8198		
<b>Southern Tire Mart</b> AT <b>Pilot</b>		
CITY OF FT. PIERCE		
ST. LUCIE COUNTY		FLORIDA
Drawing Title		
<b>TREE MITIGATION PLAN</b>		
Project No.	Drawing No.	
532055101		
Date		
JULY 2025		
Drawn By		
SH		
Checked By		
TM		

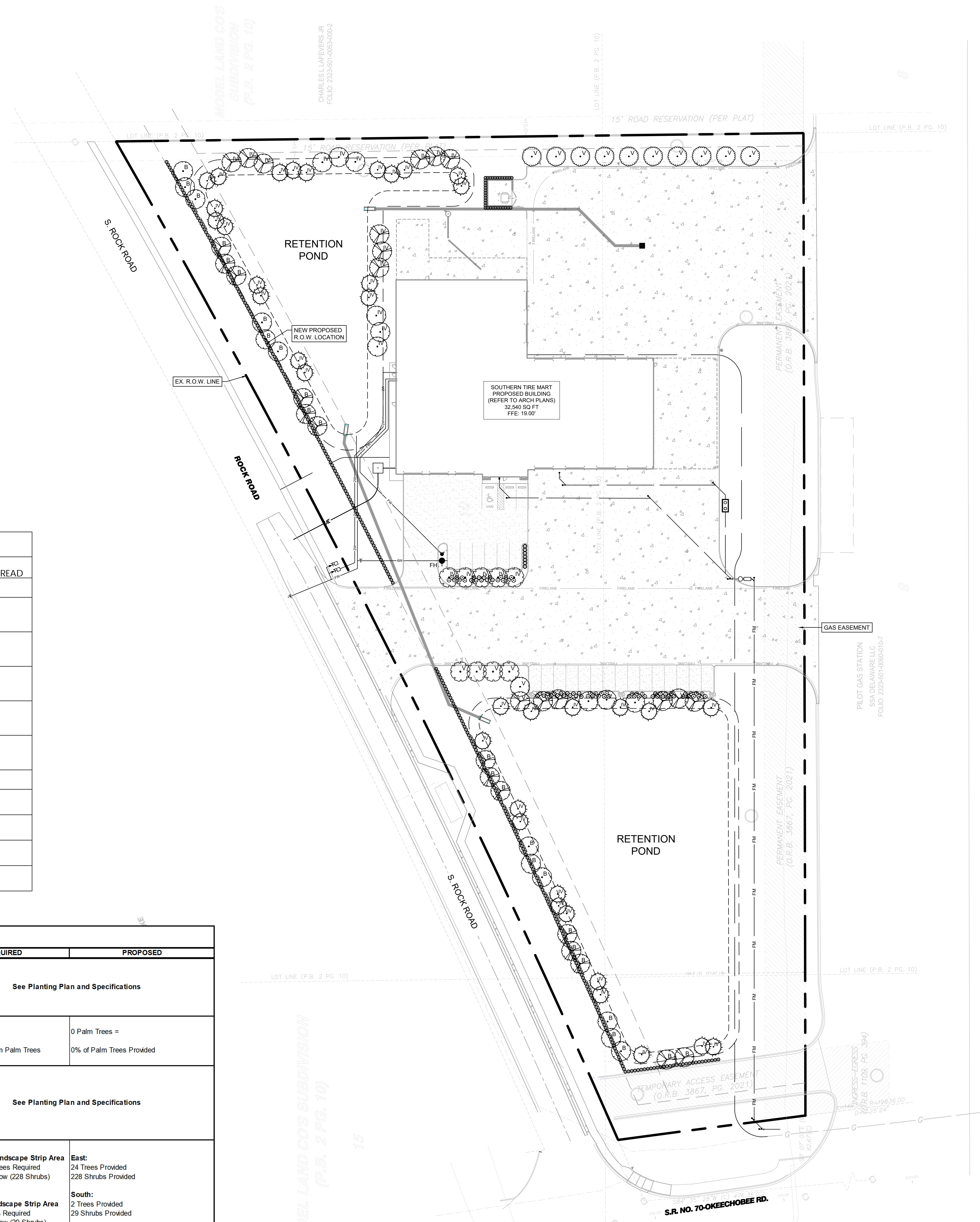




TREE COMPLIANCE LEGEND	
	VEHICULAR USE BUFFER TREES (NOT ABUTTING R-O-W)
	INTERNAL VEHICULAR USE TREES
	BUFFER TREES FACING R-O-W

PLANT SCHEDULE						
SYMBOL	KEY	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT	HEIGHT / SPREAD
<b>TREES</b>						
	AR	22	ACER RUBRUM / RED MAPLE	2.5" CAL.	B&B	12' HT.
	BL	10	BUCIDA BUCERAS 'SHADY LADY' / SHADY LADY BLACK OLIVE	2.5" CAL.	B&B	12' HT.
	IC	9	ILEX CASSINE / DAHOON HOLLY	2.5" CAL.	B&B	12' HT.
	QV	29	QUERCUS VIRGINIANA / SOUTHERN LIVE OAK	2.5" CAL.	B&B	12' HT.
	TD	36	TAXODIUM DISTICHUM / BALD CYPRESS	2.5" CAL.	B&B	12' HT.
<b>SHRUBS</b>						
	CP	39	CERATOSTIGMA PLUMBAGINOIDES / DWARF PLUMBAGO	24-36" HT.	CONTAINER	
	HC	7	HAMELIA PATENS 'COMPACTA' / DWARF FIREBUSH	24-36" HT.	CONTAINER	
	MP	351	MYRICA PUMILA / DWARF WAX MYRTLE	24-36" HT.	CONTAINER	
	SA	33	SCHEFFLERA ARBORICOLA 'DWARF' / DWARF SCHEFFLERA	24-36" HT.	CONTAINER	

SOUTHERN TIRE MART CITY OF FORT PIERCE- COMPLIANCE CHART			
SECTION 123-37	DESCRIPTION	REQUIRED	PROPOSED
SEC 1.A.1	<b>TREES</b> Typical Tree Size: 12' H and 5' C.T. at time of planting 2.5" Minimum DBH 5' Spread Minimum  At least 50% of required trees must be non-palm species	106 Trees Provided 50% = 53 Maximum Palm Trees	0 Palm Trees = 0% of Palm Trees Provided
SEC 1.B	<b>SHRUBS</b> Shrubs: 24" H at time of planting Hedges: 36" H and 30" O.C. at time of planting Must form a continuous and solid visual screen	See Planting Plan and Specifications	
SEC 4	<b>LANDSCAPE STRIPS</b> Landscape Strips: Between R-O-W and vehicular use, buildings, and retention ponds 10' Width 1 tree per 300 SQ FT of required landscape area Continuous hedgerow	East: 7,150 SQ FT of Landscape Strip Area 7,150 / 300 = 24 Trees Required Continuous Hedgerow (228 Shrubs)  South: 564 SQ FT of Landscape Strip Area 564 / 300 = 2 Trees Required Continuous Hedgerow (29 Shrubs)	East: 24 Trees Provided 228 Shrubs Provided  South: 2 Trees Provided 29 Shrubs Provided
SEC 6	<b>VEHICULAR USE, BUILDING, RETENTION/DETENTION AREAS ADJACENT TO OTHER PROPERTY</b> Landscape Strips: Vehicular use not abutting R-O-W 10' Width 1 tree per 200 SQ FT of required landscape area Grass, ground cover, or other landscape treatment	North: 1,826 SQ FT of Landscape Strip Area 1,826 / 200 = 10 Trees Required  South: 2,671 SQ FT of Landscape Strip Area 2,671 / 200 = 14 Trees Required	North: 10 Trees Provided  South: 14 Trees Provided
SEC 7	<b>INTERIOR VEHICULAR USE AREAS</b> Interior Vehicular Use Areas: Shall be curbed and contain a minimum of 100 SQ FT At least 10'x10'  1 SQ FT of landscape area per 15 SQ FT of VUA 1 Tree required for every 100 SQ FT of landscape area	83,836 SQ FT of VUA area  83,836 / 15 = 5,589 SQ FT of Planting Area Required 5,589 / 100 = 56 Trees Required	1,026 SQ FT of Planting Area Provided 56 Trees Provided
SEC 10	<b>SCREENING OF REFUSE COLLECTION AREAS</b> Screened on all sides by a 6H Masonry wall or wooden fence 1 shrub planted 24" O.C. along the perimeter	34 Shrubs Required along the perimeter of the Collection area	34 Shrubs Provided



Date	Description	No.
Revisions		
SIGNATURE: THOMAS G. MEAD DATE SIGNED: _____ PROFESSIONAL LA FL Lic. No. 6667354		
 Langan Engineering and Environmental Services, LLC 525 Okeechobee Blvd, Suite 910 West Palm Beach, Florida 33401 T: 561.473.8300 www.langan.com FL Certificate of Authorization No. 00006601/LB8171/LB8198		
 CITY OF FT. PIERCE ST. LUCIE COUNTY FLORIDA		
Drawing Title		
<h1>PLANTING PLAN</h1>		
Project No.	Drawing No.	
532055101	L2.0	
Date	JULY 2025	
Drawn By	SH	
Checked By	TM	



## GENERAL LANDSCAPE PLANTING NOTES

### PLANTING MATERIALS

1. NAMES OF PLANTS AS DESCRIBED ON THIS PLAN CONFORM TO THOSE GIVEN IN "STANDARDIZED PLANT NAMES", 1942 EDITION PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE. NAMES OF PLANT VARIETIES NOT INCLUDED THEREIN CONFORM TO NAMES GENERALLY ACCEPTED IN NURSERY TRADE.

STANDARDS FOR NEW PLANT MATERIAL SHALL BE IN ACCORDANCE WITH THE "FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS 2015" PUBLISHED BY FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. ALL PLANTS MUST MEET FLORIDA GRADE NO. 1 OR BETTER. PLANT MATERIAL SHALL HAVE NORMAL HABIT OF GROWTH AND BE HEALTHY, VIGOROUS, AND FREE FROM DISEASES AND INSECT INFESTATION.

3. NEW PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS SPECIFIED OTHERWISE. ALL PLANTS SHALL BE SET PLUMB AND SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING. PLANT MATERIAL OF THE SAME SPECIES AND SPECIFIED AS THE SAME SIZE SHOULD BE SIMILAR IN SHAPE, COLOR AND HABIT. THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REJECT PLANT MATERIAL THAT DOES NOT CONFORM TO THE TYPICAL OR SPECIFIED HABIT OF THAT SPECIES.

4. THE CONTRACTOR SHALL NOT MAKE SUBSTITUTIONS, IF THE SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, THE CONTRACTOR SHALL SUBMIT PROOF OF NON-AVAILABILITY TO THE LANDSCAPE ARCHITECT AND OWNER TOGETHER WITH A WRITTEN PROPOSAL FOR USE OF AN EQUIVALENT MATERIAL.

5. THE LANDSCAPE ARCHITECT MAY REVIEW PLANT MATERIALS AT THE SITE, BEFORE PLANTING, FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE, AND QUALITY. THE LANDSCAPE ARCHITECT RETAINS THE RIGHT TO FURTHER REVIEW PLANT MATERIALS FOR SIZE AND CONDITION OF BARKS AND ROOT SYSTEM, INSECTS, INJURIES, AND LATENT DEFECTS, AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK. THE CONTRACTOR SHALL REMOVE REJECTED PLANT MATERIALS IMMEDIATELY FROM PROJECT SITE AS DIRECTED BY THE LANDSCAPE ARCHITECT OR OWNER.

ALL PLANTS MUST MEET FLORIDA GRADE NO.1 OR BETTER AND SELECTED FROM THE FLORIDA FRIENDLY LANDSCAPE GUIDE AND THE INSTALLATION MUST FOLLOW THE FFL GUIDELINES AND EMPS.

### DELIVERY, STORAGE, AND HANDLING

1. PACKAGED MATERIALS: PACKAGED MATERIALS SHALL BE DELIVERED IN CONTAINERS SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. MATERIALS SHALL BE PROTECTED FROM DEGRADATION DURING DELIVERY, AND WHILE STORED AT SITE.

2. TREES AND SHRUBS: THE CONTRACTOR SHALL PROVIDE TREES AND SHRUBS DUG FOR THE GROWING SEASON FOR WHICH THEY WILL BE PLANTED, DO NOT PRUNE PRIOR TO DELIVERY UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT. DO NOT BIND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DAMAGE BARK, BREAK BRANCHES, OR DESTROY NATURAL SHAPE. PROVIDE PROTECTIVE COVERING DURING TRANSPORT. DO NOT DROP OR BREAK BALLED STOCK DURING DELIVERY OR HANDLING.

3. ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT BALL WRAPPING AND BINDING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED FROM THE TOP OF THE BALL AT THE TIME OF PLANTING. IF THE PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, THE WIRE BASKET SHALL BE CUT AND FOLDED DOWN 8" INTO THE PLANTING HOLE. WITH CONTAINER-GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE ROOT BALL SHALL BE CUT THROUGH THE SURFACE IN TWO LOCATIONS.

4. THE CONTRACTOR SHALL HAVE TREES AND SHRUBS DELIVERED TO SITE AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND PLANT IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN 6 HOURS AFTER DELIVERY, THE CONTRACTOR SHALL SET TREES AND SHRUBS IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE AND KEEP ROOTS MOIST BY COVERING WITH MULCH, BURLAP OR OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE.

CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITY AND SEWER LINES PRIOR TO THE START OF EXCAVATION ACTIVITIES BASED ON AVAILABLE SURVEY INFORMATION AND BY CALLING 811 IN ACCORDANCE WITH THE FLORIDA STATE UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT, CHAPTER 656 AT LEAST TWO FULL BUSINESS DAYS PRIOR TO PLANNED EXCAVATION OR DEMOLITION ACTIVITIES. THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AND OWNER.

2. THE CONTRACTOR TO STAKE OUT PLANTING LOCATIONS, FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT AND/OR OWNER BEFORE PLANTING WORK BEGINS. THE LANDSCAPE ARCHITECT AND/OR OWNER SHALL DIRECT THE CONTRACTOR IN THE FINAL PLACEMENT OF ALL PLANT MATERIAL AND LOCATION OF PLANTING BEDS TO ENSURE COMPLIANCE WITH DESIGN UNLESS OTHERWISE INSTRUCTED.

3. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT OR PROJECT ENGINEER.

4. ALL LANDSCAPED AREAS TO BE CLEARED OF ROCKS, STUMPS, TRASH AND OTHER UNSIGHTLY DEBRIS. ALL FINE GRADED AREAS SHOULD BE HAND RAKED SMOOTH ELIMINATING ANY CLUMPS AND UNEVEN SURFACES PRIOR TO PLANTING OR

5. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS, NOTES AND CONTRACT SPECIFICATIONS. THE LANDSCAPE ARCHITECT MAY REVIEW INSTALLATION AND MAINTENANCE PROCEDURES.

6. THE CONTRACTOR SHALL KEEP AREA CLEAN DURING DELIVERY AND INSTALLATION OF PLANT MATERIALS. REMOVE AND DISPOSE OF OFF-SITE ANY ACCUMULATED DEBRIS OR UNUSED MATERIALS. REPAIR DAMAGE TO ADJACENT AREAS CAUSED BY LANDSCAPE INSTALLATION OPERATIONS.

7. AFTER PLANT IS PLACED IN TREE PIT LOCATION, ALL TWINE HOLDING ROOT BALL TOGETHER SHOULD BE COMPLETELY REMOVED AND THE BURLAP SHOULD BE PULLED DOWN SO 1/3 OF THE ROOT BALL IS EXPOSED. SYNTHETIC BURLAP SHOULD BE COMPLETELY REMOVED AFTER INSTALLATION.

MAINTAIN A 2" TO 3" LAYER AROUND ESTABLISHED TREES, SHRUBS, AND BEDDING PLANTS. COARSE MATERIALS, SUCH AS PINE NUGGETS, MAY BE APPLIED TO A DEPTH OF 12" BUT NOT TO ALLOW MULCH TO ACCUMULATE TO A GREATER DEPTH. CYPRESS MULCH WILL NOT BE ACCEPTED.

9. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR AS REQUIRED BY SITE AND WEATHER CONDITIONS TO MAINTAIN VIGOROUS AND HEALTHY PLANT GROWTH.

10. AFTER COMPLETION OF A PROJECT, ALL EXPOSED GROUND SURFACES THAT ARE NOT PAVED WITHIN THE CONTRACT LIMIT LINE, EXCEPT FOR THE AREA FROM THE BUILDING OUT TO THE SURROUNDING CURBS, AND THAT ARE NOT COVERED BY LANDSCAPE PLANTING OR SEEDING AS SPECIFIED, SHALL BE COVERED BY A SHREDDED HARDWOOD BARK OR APPROVED EQUAL MULCH THAT WILL PREVENT SOIL EROSION AND THE EMANATION OF DUST.

11. TREES MAY BE STAKED AT LANDSCAPE CONTRACTOR'S DISCRETION. CURRENT HORTICULTURAL PRACTICE DOES NOT RECOMMEND STAKING TREES EXCEPT IN CONDITIONS WHERE TREES ARE SUBJECT TO BLOW DOWNS DUE TO SOIL CONDITIONS, HEAVY WINDS, OR A HIGH RATIO OF ROOT BALL TO STAKING MATERIAL. STAKING IS CONSIDERED NECESSARY BY CONTRACTOR, STAKE AND GUYS SHOULD BE LOCATED AND FLAGGED IN A MANNER TO PREVENT TRIPPING HAZARDS. WIRE OR GUYS SHOULD BE LOCATED AND COVERED SO AS NOT TO PULL OR DAMAGE BRANCHES AND SHALL BE REMOVED AT THE END OF THE GUARANTEE PERIOD.

12. NEW TREES MAY HAVE TEMPORARY DEER PROTECTION MEASURES INSTALLED AROUND TRUNKS AT THE LANDSCAPE CONTRACTOR'S DISCRETION. SUBMIT MATERIAL CUT SHEETS FOR REVIEW PRIOR TO PURCHASE AND INSTALLATION.

1. NEW PLANT MATERIAL SHALL BE GUARANTEED TO BE ALIVE AND IN VIGOROUS GROWING CONDITION FOR A PERIOD OF ONE YEAR FOLLOWING ACCEPTANCE BY THE OWNER. PLANT MATERIAL FOUND TO BE UNHEALTHY, DYING OR DEAD DURING THIS PERIOD, SHALL BE REMOVED AND REPLACED IN KIND BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.

2. ALL SCREENING AND REQUIRED LANDSCAPE PLANTINGS SHALL BE MAINTAINED FOR THE LIFE OF THE USE AND SHALL BE REPLACED OR RESTORED AS NECESSARY IN ORDER TO MAINTAIN THEIR EFFECTIVENESS. ANY LOSSES DUE TO STORM DAMAGE, DISEASE OR OTHER FACTORS SHALL BE REPLACED IN KIND WITHIN A PERIOD OF NOT MORE THAN SIX MONTHS.

## PLANTING SOIL SPECIFICATIONS

1. PLANTING SOIL, ALTERNATELY MAY BE REFERRED TO AS TOPSOIL, SHOULD BE FRIABLE, FERTILE, WELL DRAINED, FREE OF DEBRIS, TOXINS, TRASH AND STONES OVER 1/2" DIA., IT SHOULD HAVE A HIGH ORGANIC CONTENT SUITABLE TO SUSTAIN HEALTHY PLANT GROWTH AND SHOULD LOOK AESTHETICALLY PLEASING HAVING NO NOXIOUS ODORS.

### 2. PLANTING SOIL:

REUSE SURFACE SOILS STOCKPILED ON SITE, VERIFYING COMPLIANCE WITH PLANTING SOIL AND TOPSOIL CRITERIA IN THIS SPECIFICATION THROUGH TESTING. CLEAN SURFACE SOIL OF ALL ROOTS, PLANTS, SOD, AND GRAVEL OVER 1" IN DIAMETER AND CLETERIOUS MATERIALS. IF ON-SITE SOILS ARE TO BE USED FOR PROPOSED PLANTING, THE CONTRACTOR SHALL DEMONSTRATE, THROUGH SOIL TESTING, THAT ON-SITE SOILS MEET THE SAME CRITERIA AS INDICATED IN NOTES PLANS AND SPECIFICATIONS.

SUPPLEMENT WITH IMPORTED OR MANUFACTURED TOPSOIL FROM OFF SITE SOURCES WHEN TOPSOIL AND PLANTING SOIL QUANTITIES ARE INSUFFICIENT. OBTAIN SOIL DISPLACED FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST 4" DEEP. DO NOT OBTAIN FROM AGRICULTURAL LAND, Bogs, MARSHES OR CONTAMINATED SITES.

AT A MINIMUM, PLANTING SOILS MEETING THESE SPECIFICATIONS MAY BE OBTAINED FROM WECARE DENALI, P: 888-325-1522, OR APPROVED EQUAL.

CONTRACTOR SHALL TEST SOILS AND FURNISH SAMPLES UPON REQUEST. PACKAGED MATERIALS SHALL BE UNOPENED BAGS OR CONTAINERS, EACH BEARING A NAME, GUARANTEE, AND TRADEMARK OF THE PRODUCER, MATERIAL COMPOSITION, MANUFACTURER'S CERTIFIED ANALYSIS, AND THE WEIGHT OF THE MATERIALS. SOIL OR AMENDMENT MATERIALS SHALL BE STORED ON SITE TEMPORARILY IN STOCKPILES PRIOR TO PLACEMENT AND SHALL BE PROTECTED FROM INTRUSION OF CONTAMINANTS AND EROSION. AFTER MIXING, SOIL MATERIALS SHALL BE COVERED WITH A TARP UNTIL TIME OF ACTUAL USE.

ALL PLANTING SOILS SHALL BE SUBMITTED FOR TESTING TO COUNTY EXTENSION OFFICES OR THE UNIVERSITY OF FLORIDA/FAAS EXTENSION SOIL TESTING LABORATORY, OR APPROVED EQUAL, PRIOR TO DELIVERY TO THE SITE. CONTRACTOR SHALL FURNISH SOIL SAMPLES AND SOIL TEST RESULTS TO LANDSCAPE ARCHITECT OR OWNER AT A RATE OF ONE SAMPLE PER 500 CUBIC YARDS TO ENSURE CONSISTENCY ACROSS THE TOTAL VOLUME OF PLANTING REQUIRED. TEST RESULTS SHALL EVALUATE FOR ALL CRITERIA LISTED IN THIS SPECIFICATION. IF TESTING AGREE DETERMINES THAT THE SOILS ARE DEFICIENT IN ANY MANNER AND MAY BE CORRECTED BY ADDING AMENDMENTS, THE CONTRACTOR SHALL FOLLOW STATED RECOMMENDATIONS FOR SOIL IMPROVEMENT AND FURNISH SUBMITTALS FOR ALL AMENDMENTS PRIOR TO DELIVERY OF SOIL TO THE PROJECT SITE.

3. WHERE PLANTING AREAS ARE PROPOSED FOR FORMER PAVED OR GRAVEL AREAS, BEDS SHALL BE EXCAVATED TO A MINIMUM 30" DEPTH AND, AT A MINIMUM, BE BACKFILLED WITH BOTTOM LAYER OF SANDY LOAM (ORGANIC CONTENT LESS THAN 2%) OVER WHICH TOPSOIL AND PLANTING SOILS WILL BE PLACED AT DEPTHS INDICATED IN PLANS, DETAILS AND NOTES.

### 4. CLEAN SOIL FILL IN LANDSCAPE AREAS:

LANDSCAPE FILL MATERIAL, BELOW PLANTING SOILS, SHALL HAVE THE PHYSICAL PROPERTIES OF A SANDY LOAM WITH AN ORGANIC CONTENT OF LESS THAN 2% AND A PH BETWEEN 5 - 7.

### 5. SOIL BY ACCIDENT:

A. IMPROVE ENTIRE DEPTH OF PLANTING BEDS RATHER THAN PROVIDING SELECT BACKFILL ONLY AROUND PLANTS. CONTRACTOR TO PROVIDE SIX INCHES (6") MINIMUM DEPTH PLANTING SOIL LAYER IN LAWN AREAS, TWELVE INCHES (12") MINIMUM DEPTH PLANTING SOIL LAYER IN GROUNDCOVER AND PERENNIAL AREAS, EIGHTEEN INCHES (18") MINIMUM DEPTH PLANTING SOIL LAYER IN SHRUB AREAS, AND THIRTY-SIX INCHES (36") MINIMUM DEPTH PLANTING SOIL LAYER IN TREE PLANTING AREAS.

B. SCARIFY AND/OR TILL COMPACTED SUBSOILS TO A MINIMUM DEPTH OF 6 INCHES. THOROUGHLY MIX A 6 INCH DEPTH LAYER OF PLANTING SOIL INTO THE SUBSOIL PRIOR TO PLACING PLANTING SOIL AT THE DEPTHS INDICATED ABOVE. PLANTING SOIL SHALL BE PLACED IN 12-18" LIFTS AND WATER THOROUGHLY BEFORE INSTALLING NEXT LIFT. REPEAT UNTIL DEPTHS AND FINISH GRADES HAVE BEEN ACHIEVED. NO SOILS SHALL BE PLACED IN A FROZEN OR MUDDY CONDITION.

C. PLANTING SOIL PRESENT AT THE SITE, IF ANY, MAY BE USED TO SUPPLEMENT TOTAL AMOUNT REQUIRED. CONTRACTOR TO FURNISH AN ANALYSIS OF ON-SITE PLANTING SOIL UTILIZED IN ALL PLANTING AREAS.

D. ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE.

## LANDSCAPE MAINTENANCE NOTES

### 1. MAINTENANCE OPERATIONS BEFORE APPROVAL:

A. PLANT CARE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS SATISFACTORILY INSTALLED AND SHALL CONTINUE THROUGHOUT THE LIFE OF THE CONTRACT UNTIL FINAL ACCEPTANCE OF THE PROJECT.

B. CARE SHALL INCLUDE, BUT NOT BE LIMITED TO, REPLACING MULCH THAT HAS BEEN DISPLACED BY EROSION OR OTHER MEANS, REPAIRING AND RESHAPING WATER RINGS OR SAUCERS, MAINTAINING STAKES AND GUYS AS ORIGINALLY INSTALLED, WATERING WHEN NEEDED OR DIRECTED, AND PERFORMING ANY OTHER WORK REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION.

C. CONTRACTOR SHALL REMOVE AND REPLACE ALL DEAD, DEFECTIVE AND/OR REJECTED PLANTS AS REQUIRED BEFORE FINAL ACCEPTANCE.

### 2. MAINTENANCE DURING CONSTRUCTION:

A. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING. PLANTS SHALL BE WATERED, MULCHED, WEEDED, PRUNED, SPRAYED, FERTILIZED, CULTIVATED, AND OTHERWISE MAINTAINED AND PROTECTED UNTIL PROVISIONAL ACCEPTANCE. SETTLING PLANTS SHALL BE RESET TO PROPER GRADE AND POSITION, PLANTING SAUCER RESTORED AND DEAD MATERIAL REMOVED. STAKES AND WIRES SHALL BE TIGHTENED AND REPAIRED. DEFECTIVE WORK SHALL BE CORRECTED AS SOON AS POSSIBLE AFTER IT BECOMES APPARENT AND WEATHER AND SEASON PERMIT.

B. IF A SUBSTANTIAL NUMBER OF PLANTS ARE SICKLY OR DEAD AT THE TIME OF INSPECTION, ACCEPTANCE SHALL NOT BE GRANTED AND THE CONTRACTOR'S RESPONSIBILITY FOR MAINTENANCE OF ALL PLANTS SHALL BE EXTENDED FROM THE TIME REPLACEMENTS ARE MADE OR EXISTING PLANTS ARE DEEMED ACCEPTABLE BY THE LANDSCAPE ARCHITECT.

C. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE SPECIFIED ON THE PLANT LIST OR THAT WHICH WAS TO REMAIN OR BE RELOCATED. THEY SHALL BE FURNISHED AND PLANTED AS SPECIFIED. THE COST SHALL BE BORNE BY THE CONTRACTOR. REPLACEMENTS RESULTING FROM REMOVAL, LOSS, OR DAMAGE DUE TO OCCUPANCY OF THE PROJECT IN ANY PART, VANDALISM, PHYSICAL DAMAGE BY ANIMALS, VEHICLES, ETC., AND LOSSES DUE TO CURTAILMENT OF WATER BY LOCAL AUTHORITIES SHALL BE APPROVED AND PAID FOR BY THE OWNER.

D. PLANTS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER INSPECTION AND PROVISIONAL ACCEPTANCE.

E. AT THE END OF THE ESTABLISHMENT PERIOD, INSPECTION SHALL BE MADE AGAIN. ANY PLANT REQUIRED UNDER THIS CONTRACT THAT IS DEAD OR UNSATISFACTORY TO THE LANDSCAPE ARCHITECT OR OWNER SHALL BE REMOVED FROM THE SITE AND REPLACED DURING THE NORMAL PLANTING SEASON.

### 3. LAWN MAINTENANCE:

A. BEGIN MAINTENANCE IMMEDIATELY AFTER EACH PORTION OF LAWN IS PLANTED AND CONTINUE FOR 8 WEEKS AFTER ALL LAWN PLANTING IS COMPLETED.

B. WATER TO KEEP SURFACE SOIL MOIST, REPAIR WASHED OUT AREAS BY FILLING WITH TOPSOIL, LIMING, FERTILIZING AND RE-SEEDING.

C. MOW AT THE HIGHEST RECOMMENDED HEIGHT FOR THE GRASS SPECIES:

BERMUDA GRASS: 3.5 - 4"

D. NEVER REMOVE MORE THAN 1/3 OF THE LEAF BLADE. "SCALPING" (MOWING TOO LOW) CAN BADLY STRESS YOUR TURF, LEAVING IT VULNERABLE TO DISEASE, DROUGHT, AND INSECT OR WEED INVASION.

E. LEAVE GRASS CLIPPINGS ON THE GROUND. THESE ACTUALLY ACT AS COMPOST, RETURNING VALUABLE NUTRIENTS TO THE LAWN. GRASS CLIPPINGS CAN REDUCE LAWN FERTILITY REQUIREMENTS AND ADD ORGANIC MATTER TO THE SOIL.

F. KEEP MOWER BLADES SHARP. DULL MOWERS TEAR LEAF BLADES, STRESSING THE GRASS AND MAKING IT MORE VULNERABLE TO PESTS AND DISEASE.

G. DO NOT MOW WHEN LAWN IS WET. WET GRASS CLIPPINGS PREVENT MOWER BLADES FROM MAKING THE CLEANEST POSSIBLE CUT.

## SOD SPECIFICATIONS

1. SOG IS TO BE THE BAHIA GRASS (PASPALUM NOTATUM ARGENTINE). SOG IS TO BE INDIGENOUS TO THE AREA AND BE FURNISHED BY A REPUTABLE GROWER WITH A MINIMUM 5 YEARS EXPERIENCE.

2. PRIOR TO SODDING ALL AREAS ARE TO BE TOPSOILED, FINE GRADED, RAKED, WATERED LIGHTLY, AND FERTILIZED WITH A STARTER FERTILIZER.

3. ALL STONES GREATER THAN 2" DIAMETER SHALL BE REMOVED.

4. SOG TO BE INSTALLED PERPENDICULAR TO ALL SLOPED AREAS. SOG STRIPS TO BE LAID OUT SO JOINTS ARE NOT CLOSER THAN ONE FOOT (1'-0") FROM EACH OTHER.

5. SOG IS TO BE WATERED AT A RATE OF AT LEAST ONE AND A HALF INCHES (1 1/2") PER WEEK UNTIL ROOT MASS WEIGHS WITH SOIL. AFTER THIS HAS OCCURRED NORMAL WATERING OF AT LEAST ONE INCH (1") PER WEEK IS TO COMMENCE.

6. ALL SOG AREAS ARE TO BE ROLLED IF ANY HEAVING OR DEPRESSIONS OCCUR.

## CITY OF FORT PIERCE NOTES

ALL LANDSCAPING REQUIRED BY THIS ARTICLE SHALL BE INSTALLED IN COMPLIANCE WITH THESE REQUIREMENTS:

1. LANDSCAPING SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN, INCLUDING ALL SPECIFIED CONDITIONS TO A PARTICULAR LANDSCAPE. APPROVAL AND SIGNATURE OF THE CITY ENGINEER AND A CERTIFICATE OF OCCUPANCY SUCH INSPECTION SHALL INCLUDE VERIFICATION THAT PLANTING SOIL MEETS SPECIFIED COMPOSITION AND DEPTH REQUIREMENTS. IN THE EVENT THERE ARE ANY CHANGES TO THE APPROVED LANDSCAPE PLAN, SUCH CHANGES MUST BE REVIEWED AND APPROVED BY THE DEPARTMENT AND NOTED ON THE PLAN PRIOR TO NOTIFICATION FOR THE FINAL INSPECTION FOR A CERTIFICATE OF OCCUPANCY.

2. LANDSCAPED AREAS SHALL BE COVERED IN THEIR ENTIRETY WITH SHRUBS, GROUND COVER, TURF, OR THREE INCHES OF BULK ORGANIC MULCH OR OTHER SUITABLE MATERIAL WHICH PERMITS PERCOLATION AND IS APPROVED BY THE DEPARTMENT. WHERE MULCH IS USED, IT MUST BE PROTECTED FROM WASHING OUT OF THE PLANTING BED. INORGANIC MULCH, SUCH AS GRAVEL OR ROCK, SHOULD ONLY BE USED WHERE WASHOUTS OCCUR. THE FINAL INSPECTOR PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY, SHALL INCLUDE VERIFICATION THAT ANY MULCH IS INSTALLED AT THE REQUISITE DEPTH.

3. TREES WHICH ARE BALLED AND BURLAPPED MUST HAVE THE BURLAP REMOVED OR FOLDED DOWN AT THE TIME OF PLANTING. ALL TWINE OR ROPE MUST BE REMOVED. IF WIRE BASKETS ARE USED, THE UPPER ROWS MUST BE CUT BEFORE PLANTING. REMOVE ALL SOIL FROM ABOVE THE ROOT FLARE AND PLANT THE TREE SO THE TOP OF THE ROOT BALL IS TEN PERCENT ABOVE THE LANDSCAPE SOIL. DO NOT PLACE ANY SOIL OR MULCH OVER THE ROOT BALL. IF STAKES OR GUIDE WIRES ARE USED TO SUPPORT A TREE, THE WIRE MUST BE COVERED WITH PROTECTIVE MATERIAL WHERE IT IS IN CONTACT WITH THE TREE, AND THE STAKES OR GUIDE WIRES MUST BE REMOVED AFTER ONE YEAR.

4. ALL LANDSCAPING REQUIRED BY THE CITY MUST BE PROTECTED FROM VEHICULAR AND PEDESTRIAN TRAFFIC BY THE INSTALLATION OF CURBING, WHEEL STOPS OR OTHER PROTECTIVE DEVICES ALONG THE PERIMETER OF ANY LANDSCAPING WHICH ADJACENT VEHICULAR USE AREAS OR SIDEWALKS. THESE PROTECTED DEVICES SHALL HAVE A MINIMUM HEIGHT OF SIX INCHES ABOVE GRADE.

5. NO PARKING, DISPLAY OF VEHICLES OR OUTSIDE STORAGE OR DISPLAY OF MERCHANDISE IS PERMITTED IN OR OVER ANY REQUIRED LANDSCAPE AREA, NOR ARE VEHICLES PERMITTED TO OVERHANG ANY REQUIRED LANDSCAPED AREA.

6. SOIL, EXCEPT FOR PLANTING SOIL, IN WHICH REQUIRED LANDSCAPE IS TO BE INSTALLED MUST BE GENERALLY INDIGENOUS TO THE LOCAL SOIL. SOIL MUST BE LOOSE, FRIABLE, AND FREE OF LIMESTONE AND OTHER CONSTRUCTION MATERIALS, ROAD BASE MATERIAL, ROCKS, GRASSES, HARD PAN, CLAY OR OTHER DEBRIS. PH SHALL BE ADJUSTED WHERE NECESSARY TO BE COMPATIBLE WITH THE PLANT SPECIES BEING INSTALLED. SOIL SHALL BE SLIGHTLY SHADED TO RETAIN SURFACE STORMWATER. BAKED, SOIL MATERIAL SHALL BE THOROUGHLY WATERED IN AND AROUND PLANT ROOT BALLS TO PREVENT ANY AIR POCKETS. THE USE OF AMENDED AND ENRICHED SOILS MAY BE REQUIRED BY THE DEPARTMENT WHERE NECESSARY TO INCREASE THE WATER RETENTION CAPABILITIES OF SOIL IN ORDER TO REDUCE THE AMOUNT OF WATERING NEEDED TO MEET THE LANDSCAPING WATER REQUIREMENT. FINAL INSPECTION OF REQUIRED LANDSCAPE PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY SHALL INCLUDE PH TESTING TO VERIFY COMPATIBILITY WITH PERMITTED PLANTINGS.

7. TO MINIMIZE TRAFFIC HAZARDS AT STREET OR DRIVEWAY INTERSECTIONS, ALL LANDSCAPING INSTALLATIONS MUST PROVIDE UNOBSTRUCTED VIEWS AS REQUIRED IN SECTION 125-308.

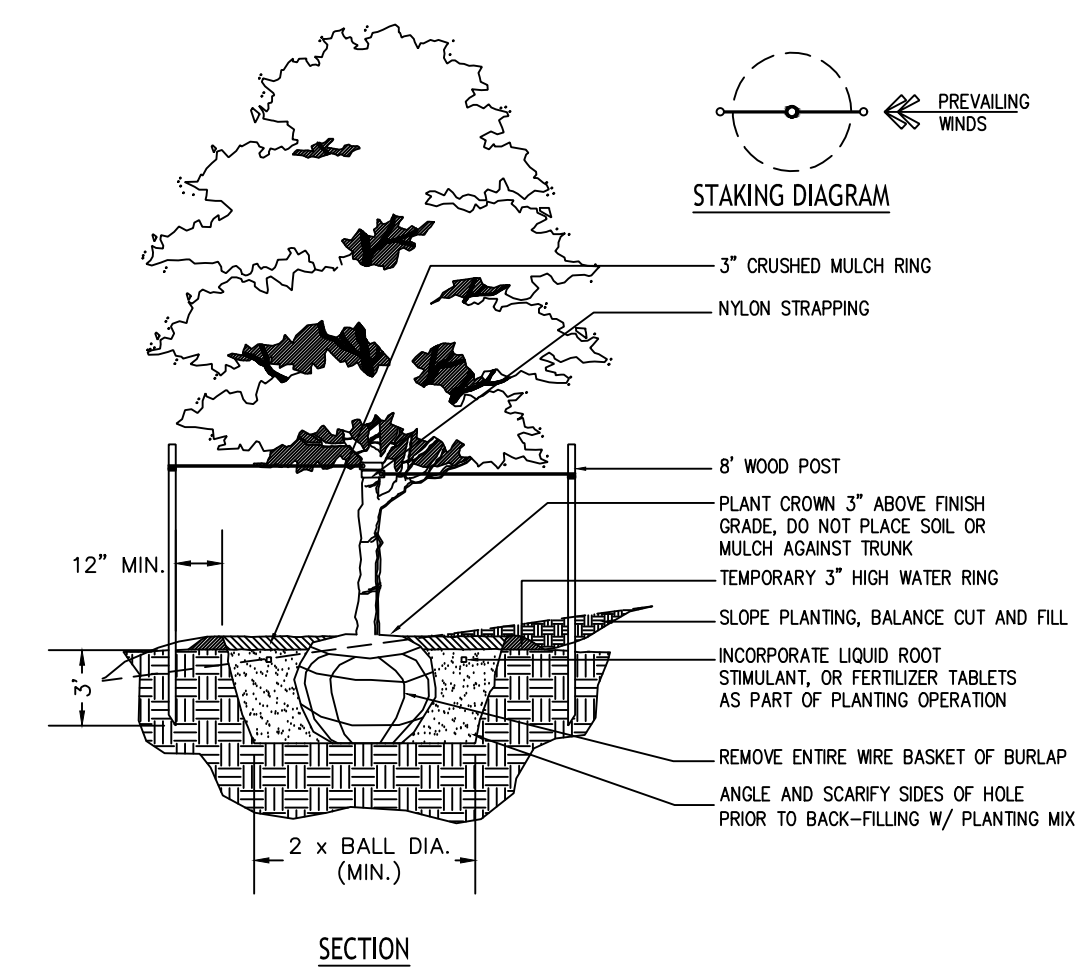
8. ANY IRRIGATION SYSTEM PLACED ON CITY RIGHT-OF-WAY WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER WHO SHALL RELOCATE, REPLACE OR REPAIR THE SYSTEM AS APPROPRIATE IN THE EVENT IT IS DAMAGED DUE TO PERMITTED CONSTRUCTION IN THE RIGHT-OF-WAY.

9. PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY, FINAL LANDSCAPE INSTALLATION SHALL BE CERTIFIED AS COMPLETE AND IN CONFORMANCE TO THE APPROVED LANDSCAPE PLAN BY SUBMISSION OF A CERTIFICATION LETTER BY A LANDSCAPE ARCHITECT.

PROPERTY OWNERS SHALL MAINTAIN ALL REQUIRED LANDSCAPING SO THAT IT CONTINUES TO PRESENT A HEALTHY, NEAT AND ORDERLY APPEARANCE FREE OF REFUSE AND DEBRIS, IN CONFORMITY WITH THE FOLLOWING REQUIREMENTS:

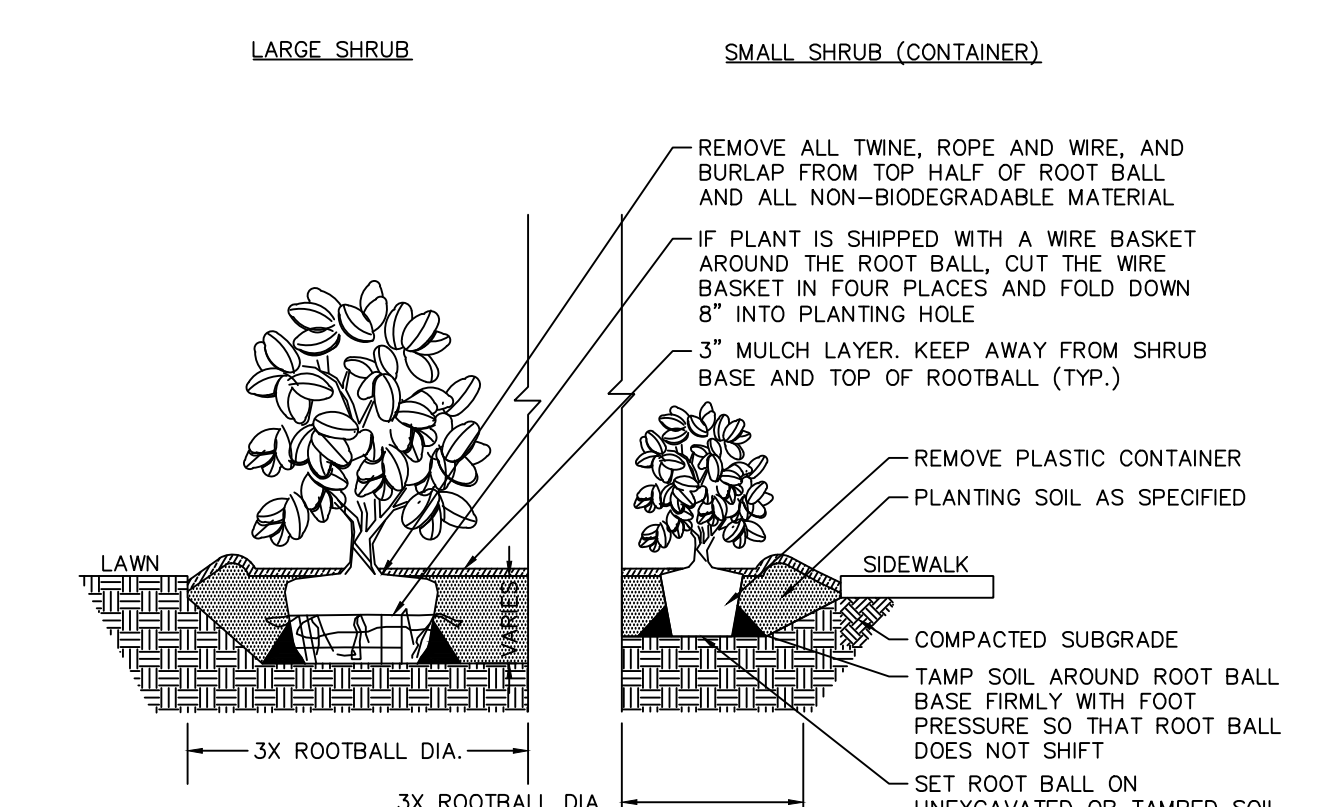
1. VEGETATION REQUIRED BY THIS ARTICLE SHALL BE REPLACED WITH EQUIVALENT VEGETATION IF IT IS NOT LIVING. ALL TREES FOR WHICH CREDIT IS AWARDED AND WHICH SUBSEQUENTLY DIE SHALL BE REPLACED BY THE SAME NUMBER OF LIVING TREES ACCORDING TO THE STANDARDS ESTABLISHED IN THIS ARTICLE.

2. MAINTENANCE SHALL INCLUDE SUFFICIENT WEEDING, WATERING, FERTILIZING, PRUNING, MOWING, EDDING, MULCHING AND OTHER HORTICULTURAL PRACTICES SO AS TO ENSURE THAT THE LANDSCAPING CONTINUES TO MAINTAIN A HEALTHY, NEAT AND ORDERLY APPEARANCE.

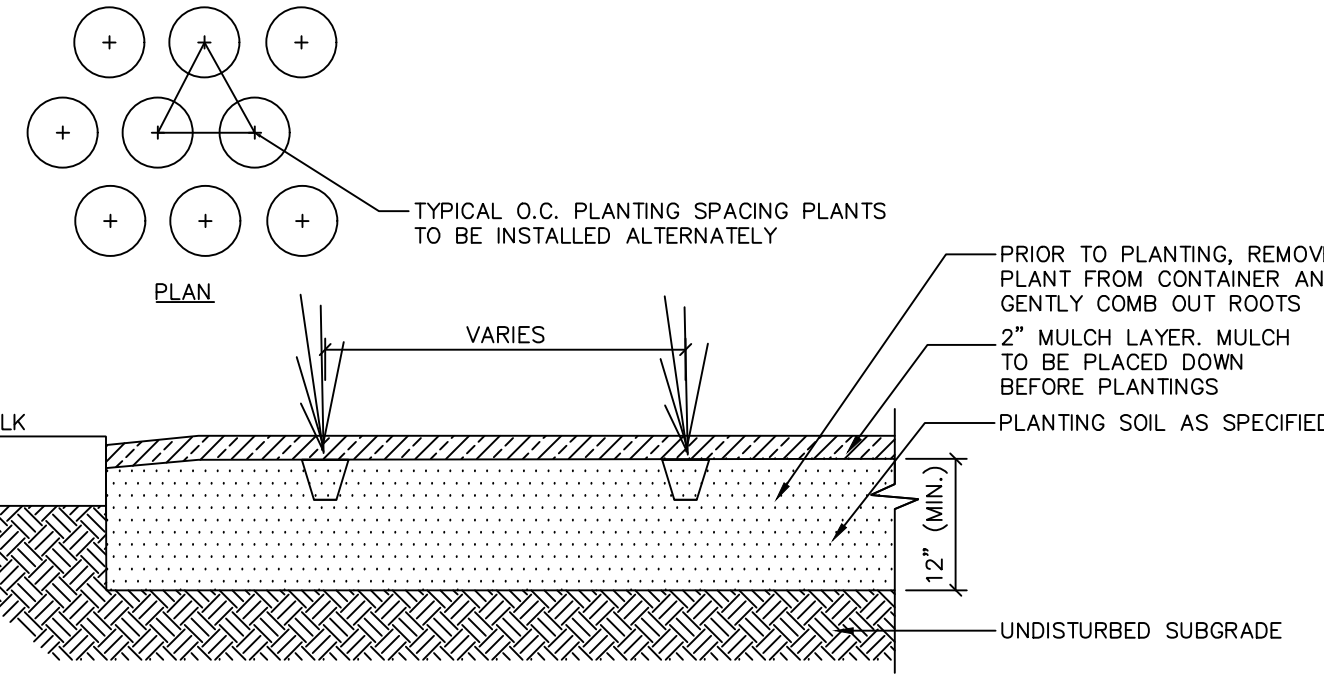


- NOTES:
- MINIMUM MULCH RING WILL BE 3" IN DIAMETER. 6" RING AROUND EACH TRUNK WILL REMAIN FREE OF MULCH.
  - IF USING CONTAINER STOCK, THE ROOT BALL SHEARING REMEDIATION FOLLOWING ANSI STANDARDS WILL BE REQUIRED.
  - TOP 1/3 OF ROOT BALL SHOULD BE FREE OF BURLAP AND WIRE/BALING MATERIAL FOR PROPER ROOT DEVELOPMENT.

## 1 TREE PLANTING NTS



- NOTES:
- ALL SHRUBS TO BE SET PLUMB.
  - REFER TO LANDSCAPE PLAN FOR SPACING OF INDIVIDUAL PLANTS.
  - REMOVE ALL WIRE, PLASTIC, TAGS OR SYNTHETIC MATERIAL FROM PLANTS PRIOR TO PLANTING.

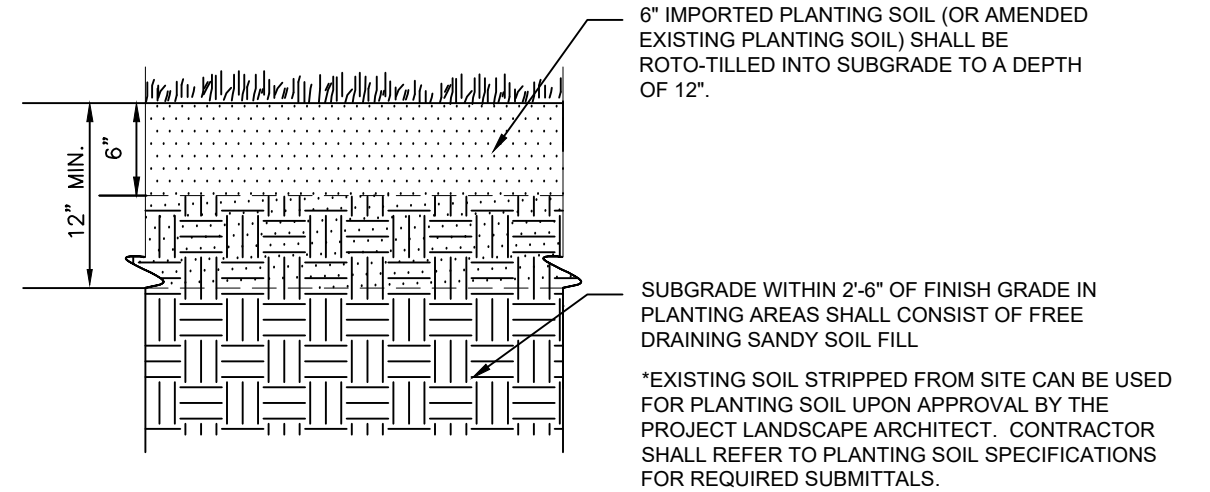


- NOTES:
- PLANTS ARE TO BE SPACED EQUIDISTANT FROM EACH OTHER.
  - REFER TO PLAN AND SCHEDULE FOR SPACING OF INDIVIDUAL PLANTS.
  - REMOVE ALL WIRE, PLASTIC, TAGS OR SYNTHETIC MATERIAL FROM PLANTS PRIOR TO PLANTING.

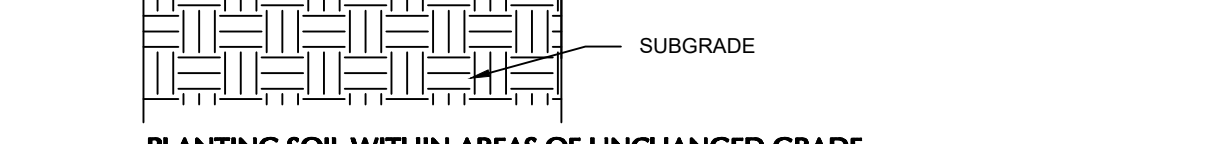
## 2 SHRUB PLANTING NTS

## 3 PLANTING SOIL NTS

GENERAL NOTE:  
DUE TO GENERAL CONSTRUCTION ACTIVITIES AND ADJACENT SITE COMPACTION REQUIREMENTS, SUBGRADE SOILS WITHIN PROPOSED PLANTING AREAS TEND TO BECOME HIGHLY COMPACTED. IN ORDER TO CREATE A HEALTHY GROWTH MEDIUM TO ALLOW PROPOSED PLANTINGS TO ESTABLISH A VIGOROUS ROOT MASS, THIS SUBGRADE SOIL MUST UNDERGO A RESTORATION PROCESS. IN ADDITION, IMPORTED OR AMENDED EXISTING SOILS SHALL BE MIXED WITH SUBGRADE SOILS WHERE THEY MEET IN ORDER TO CREATE A TRANSITIONAL GRADIENT TO ALLOW FOR PROPER DRAINAGE.



EXISTING SOIL IN ALL PROPOSED PLANTING AREAS SHALL BE ROTO-TILLED TO A DEPTH OF 12" (EXCLUDING TREE PROTECTION AREAS) AND AMENDED IN ACCORDANCE WITH PLANTING SOIL SPECIFICATIONS. EXISTING SOIL WITH TREE PROTECTION AREAS SHALL BE LOOSENEED AND AMENDED BY NON-MECHANICAL METHODS, PROTECTING ROOT MASS AGAINST DAMAGE.



- NOTES:
- CONTRACTOR IS RESPONSIBLE TO SEND SAMPLES OF EXISTING SOILS INTENDED FOR USE IN PLANTING AREAS (1 PER 500 CY) TO TESTING LABORATORY OR UNIVERSITY COOPERATIVE EXTENSION FOR TESTING. ALL TESTING COSTS ARE AT THE CONTRACTOR'S EXPENSE.
  - RECYCLED CRUSHED CONCRETE AND ASPHALT MILLINGS SHALL NOT BE PLACED WITHIN 2'-0" OF FINISH GRADE IN PROPOSED LANDSCAPE AREAS.
  - IMPORTED FILL SHALL CONTAIN NO CONTAMINATION IN EXCESS OF THE APPLICABLE STATE ENVIRONMENTAL STANDARDS AND MEET THE ENVIRONMENTAL REQUIREMENTS FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION OF COMPLIANCE PRIOR TO DELIVERY OF ANY FILL TO THE SITE.
  - CONTRACTOR TO LIGHTLY COMPACT ALL PLACED PLANTING SOILS AND RAISE GRADES ACCORDINGLY TO ALLOW FOR FUTURE SETTLEMENT OF PLANTING SOILS (TYP).
  - NO STONES, WOOD CHIPS, OR DEBRIS LARGER THAN 1/2" SHALL BE ACCEPTABLE WITHIN PLANTING AREAS.

Date	Description	No.
Revisions		

SIGNATURE: THOMAS G. MEAD DATE SIGNED: 6/6/23  
PROFESSIONAL L.A. FL. LIC. NO. 66673554

**LANGAN**  
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FL Certificate of Authorization No. 00006601/LB817/LB8198

**Southern Tire Mart**  
AT **pilot.**

CITY OF FT. PIERCE  
ST. LUCIE COUNTY FLORIDA  
Drawing Title

## PLANTING NOTES AND DETAILS

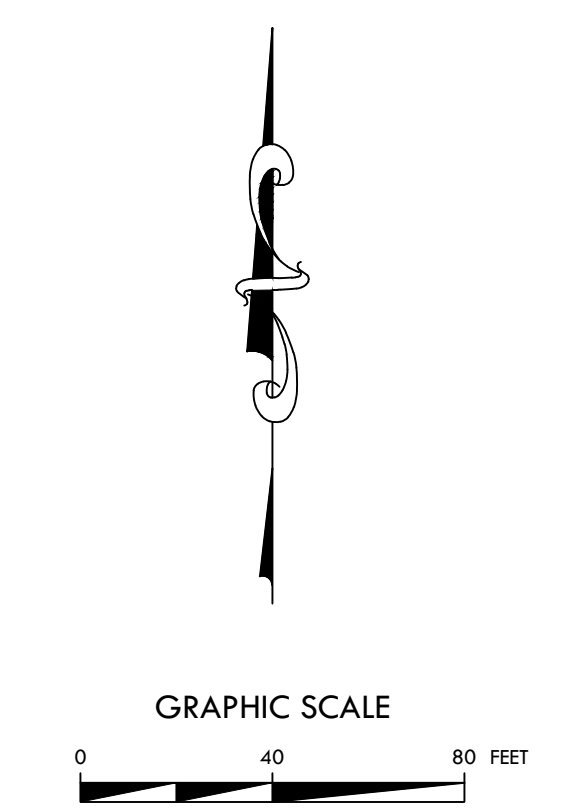
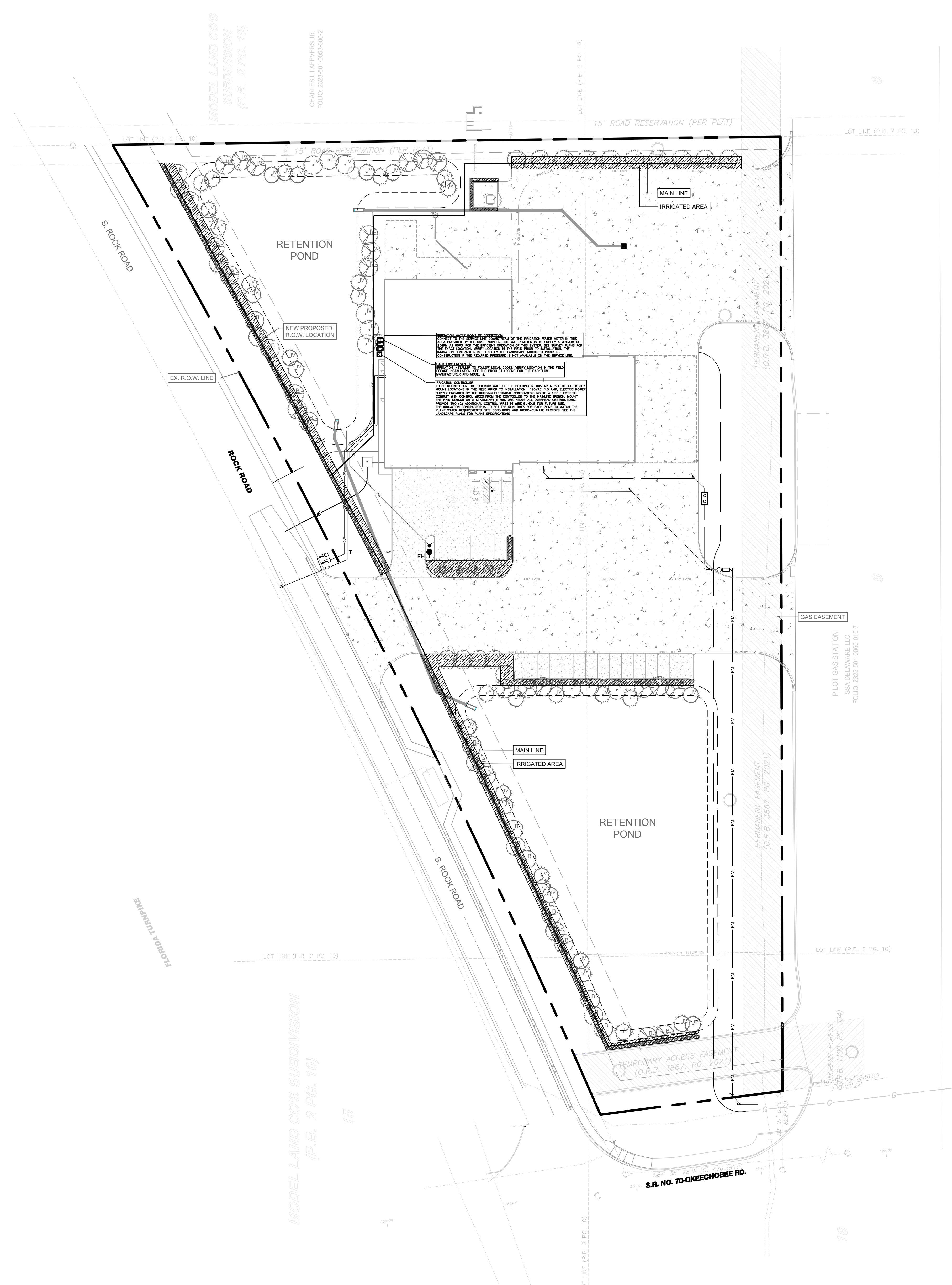
Project No.	Drawing No.
532055101	L2.1
Date	
JULY 2025	
Drawn By	
SH	
Checked By	
TM	

**CONTRACTOR NOTE**

THE IRRIGATION CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF THE IRRIGATION INSTALLATION PLAN AND CUT-SHEETS FOR ALL COMPONENTS FOR REVIEW AND APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION. THE IRRIGATION INSTALLATION PLAN SHALL BE COMPLETE WITH ZONE DESIGNATIONS AND WATER USAGE IN GALLONS PER MINUTE PER ZONE, RUN TIME SCHEDULE, LEGEND OF COMPONENTS AND PLAN GRAPHICS WITH QUANTITIES, MINIMUM SYSTEM REQUIREMENTS INCLUDING STATIC PRESSURE AT THE WATER CONNECTION POINT, ESTIMATED WATER BUDGET, CONSTRUCTION DETAILS AND IRRIGATION NOTES. THE PLAN SHALL ALSO INCLUDE LOCATIONS OF ALL PROPOSED SLEEVES AND THEIR SIZES, LOCATIONS OF ALL LATERAL LINE SIZE STEP-DOWNS WITH SIZE INDICATIONS, LOCATION OF ALL SOIL MOISTURE SENSORS, CONTROLLER, VALVES AND ALL OTHER COMPONENTS NECESSARY FOR THE SYSTEMS OPERATION.

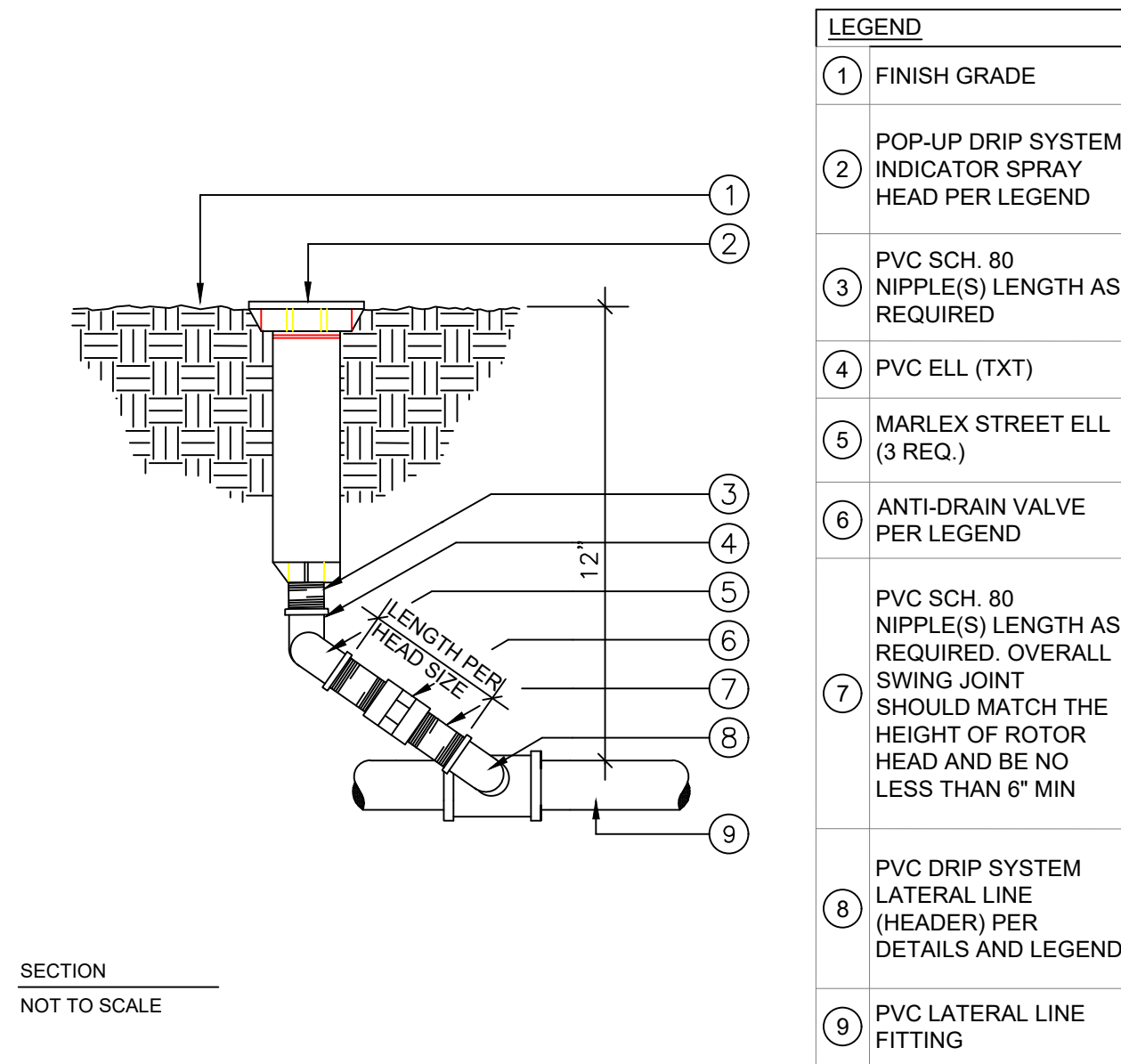
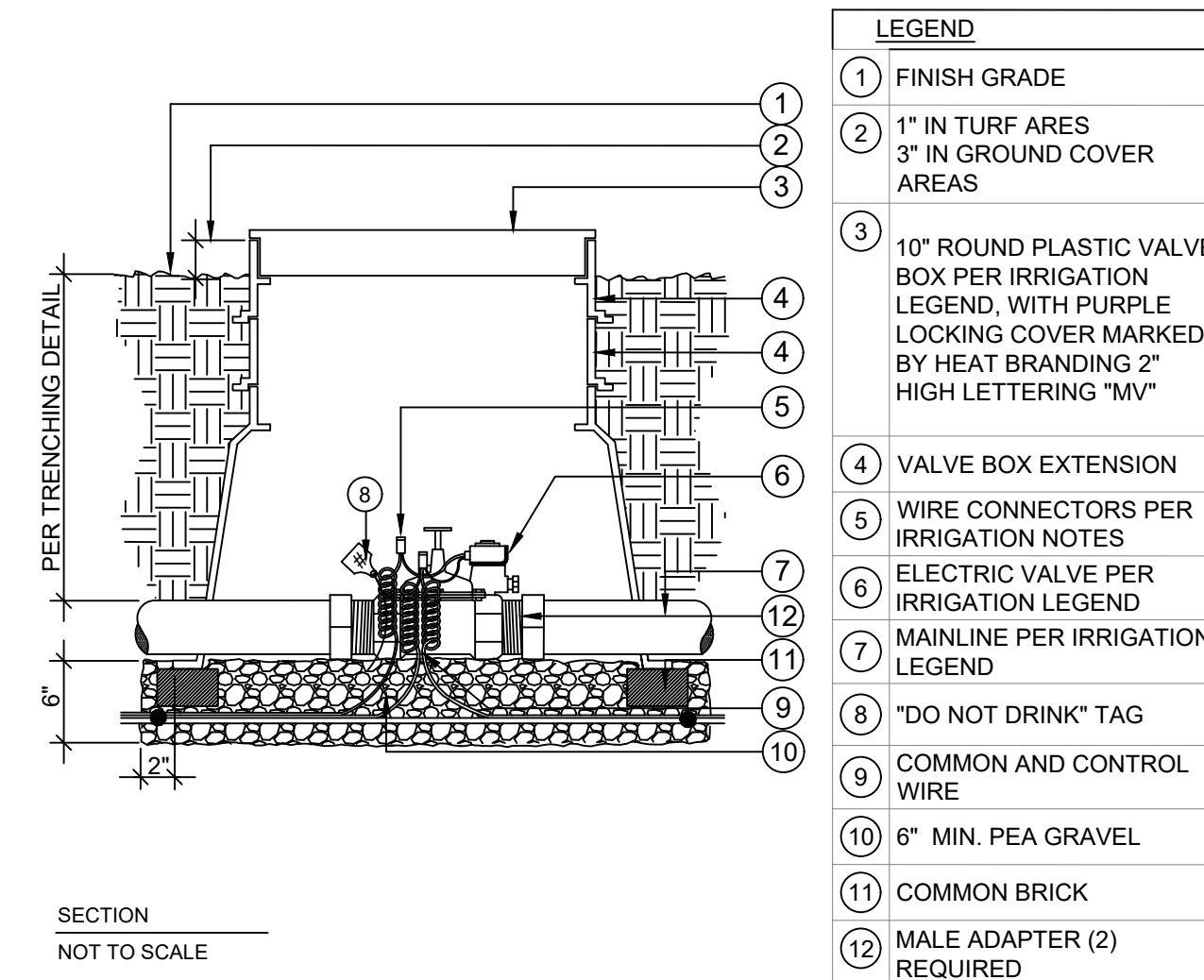
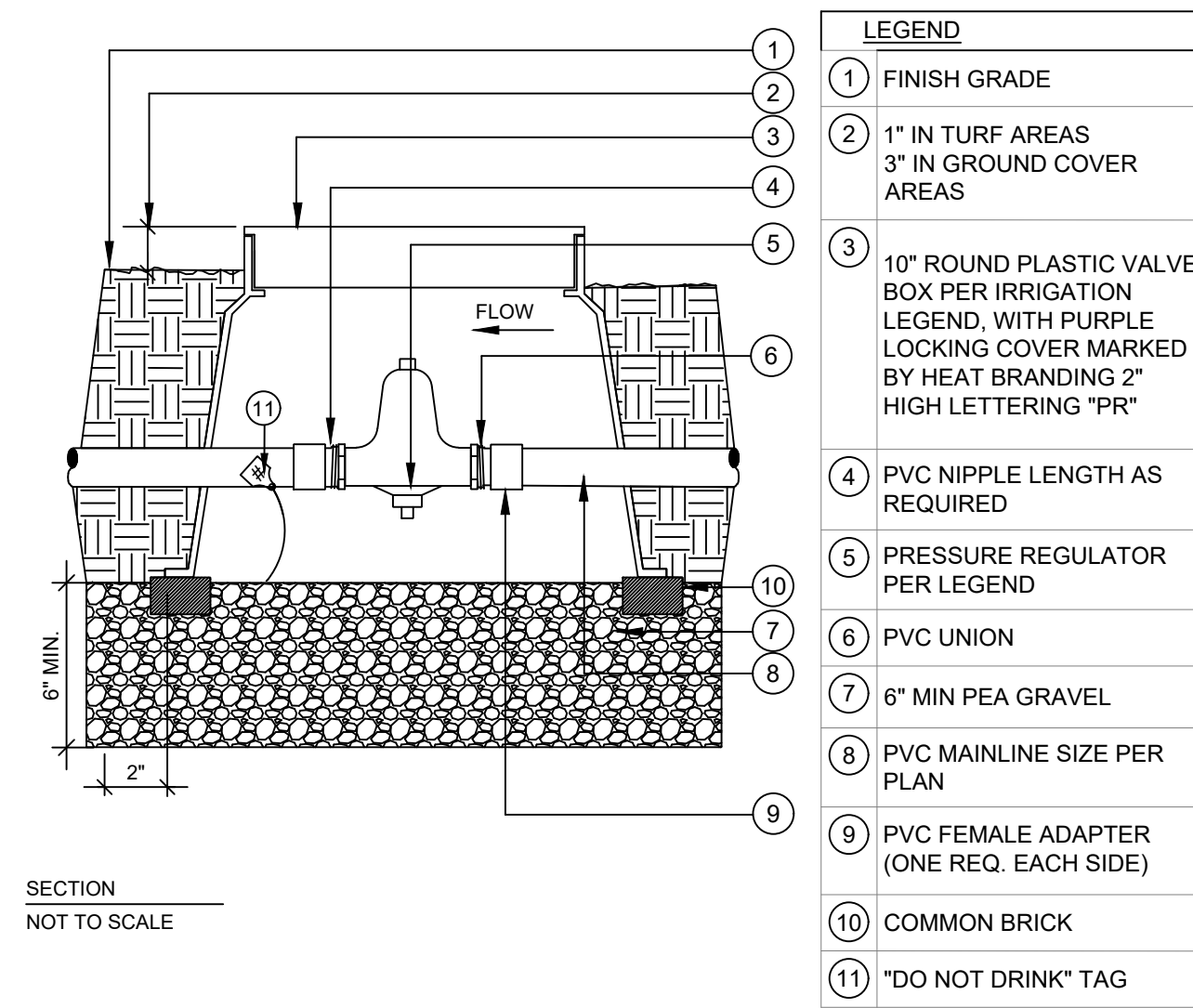
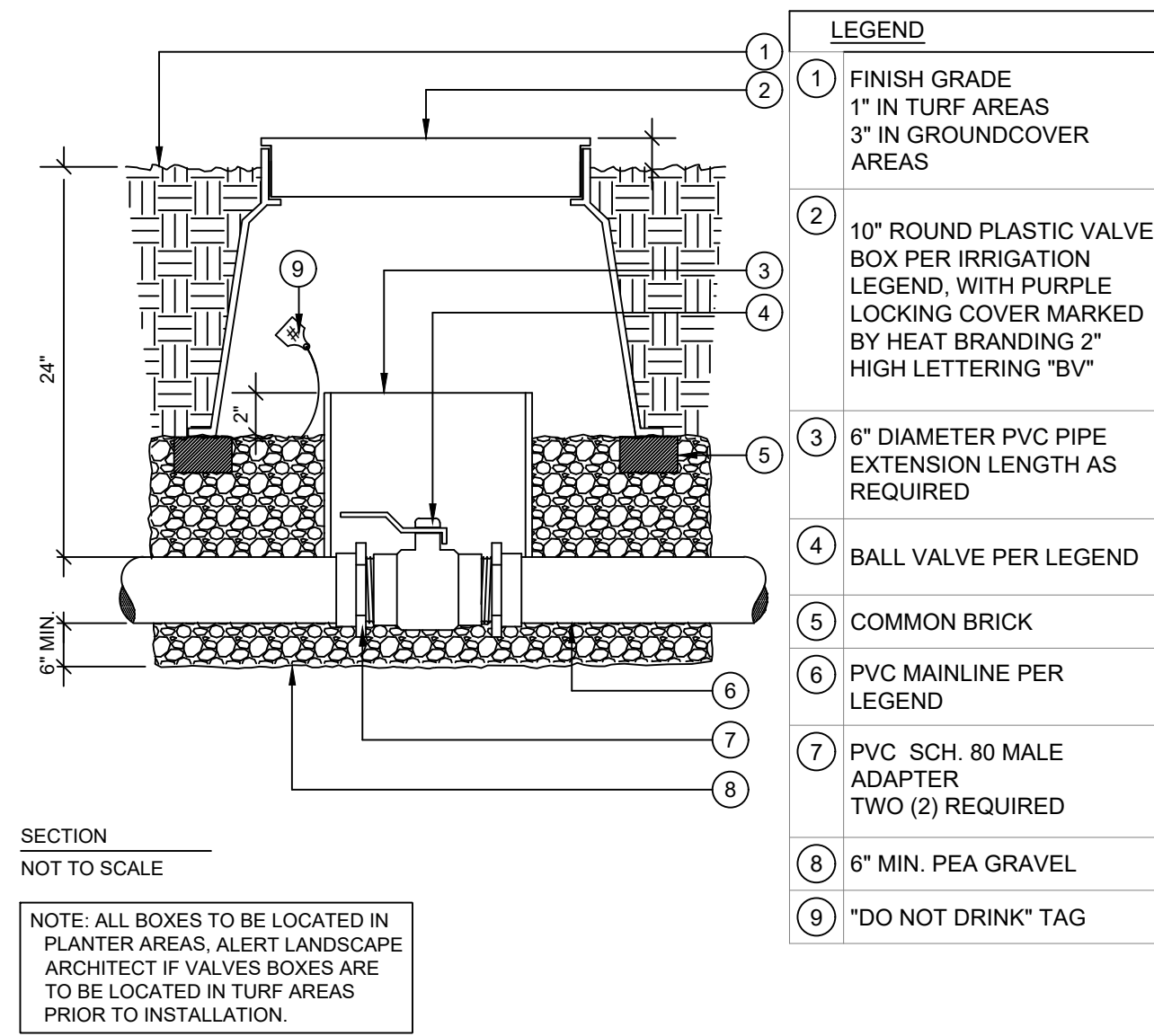
**IRRIGATION NOTES**

- LANDSCAPE AREAS SHALL BE IRRIGATED WITH POP-UP SPRAY AND ROTARY IRRIGATION HEADS, AND DRIP LINE TUBING IN SUFFICIENT DENSITY TO COVER THE ENTIRE AREA.
- CONTRACTOR TO AVOID DISTURBANCE OF EXISTING PLANT MATERIAL WHEN LOCATING VALVES AND PIPE LINES. ANY PLANT MATERIAL DAMAGED AS A RESULT OF IRRIGATION INSTALLATION SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- ALL EXCAVATION MATERIAL SHALL BE PLACED BACK IN TRENCHES.
- ALL DISTURBED LANDSCAPE AND PAVED AREAS SHALL BE RESTORED TO THE CONDITION FOUND PRIOR TO START OF INSTALLATION.
- DEPTH OF TRENCHES SHALL BE SUFFICIENT OR PROVIDE A MINIMUM COVER ABOVE THE TOP OF PIPE AS FOLLOWS:  
 12" OVER NON-PRESSURE LATERAL LINES  
 18" OVER NON-PRESSURE LATERAL LINES UNDER PAVING  
 18" OVER CONTROL WIRES  
 18" OVER MAIN LINE  
 24" OVER MAIN LINE UNDER PAVING
- THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE LOCATION OF THE PLUMBING TIE-INS, SLEEVES UNDER PAVEMENTS (AS NECESSARY), AND CONTROL DEVICES WITH THE GENERAL CONTRACTOR, OWNER, AND OWNER'S REPRESENTATIVE.
- CONTRACTOR TO COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH EXISTING AND PROPOSED UTILITIES, SITE DRAINAGE SYSTEMS, AND PAVING.
- CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER'S REPRESENTATIVE SHOULD ANY UTILITIES, NOT SHOWN ON THE PLANS, BE FOUND DURING INSTALLATION WORK.
- WATERPROOF ALL WIRE CONNECTORS USING 3M "DBY" WATERPROOF CONNECTORS OR EQUIVALENT.
- DRAIN VALVES ARE TO BE PROVIDED AT SUFFICIENT INTERVALS TO PROVIDE COMPLETE DRAINAGE OF ALL PIPING.
- COORDINATE THE LOCATION OF CONTROLS, IRRIGATION CONTROLLER, AND SOIL MOISTURE SENSORS PRIOR TO INSTALLATION.
- PROVIDE MATCHED PRECIPITATION RATE EMITTERS FOR ALL DRIP LINE TUBING. IRRIGATION CONTRACTOR SHALL MAKE FIELD ADJUSTMENTS TO IRRIGATION DESIGN WHERE REQUIRED TO PROVIDE 100% COVERAGE OF ALL LANDSCAPE AREAS, AS DESIGNATED ON THIS PLAN.
- INSTALLATION MUST COMPLY WITH ALL LOCAL CODES AND CONDITIONS.
- ALL IRRIGATION WORK SHALL BE GUARANTEED FOR 1 YEAR AFTER COMPLETION OF ALL WORK.
- CONTRACTOR TO PROVIDE THREE (3) COPIES OF AS-BUILTS, SERVICE MANUALS AND INSTRUCTIONS TO THE OWNER OR OWNERS REPRESENTATIVE.
- ALL SPRINKLER HEADS SHALL BE SET BACK 4" MINIMUM FROM BACK OF ALL CURBS.

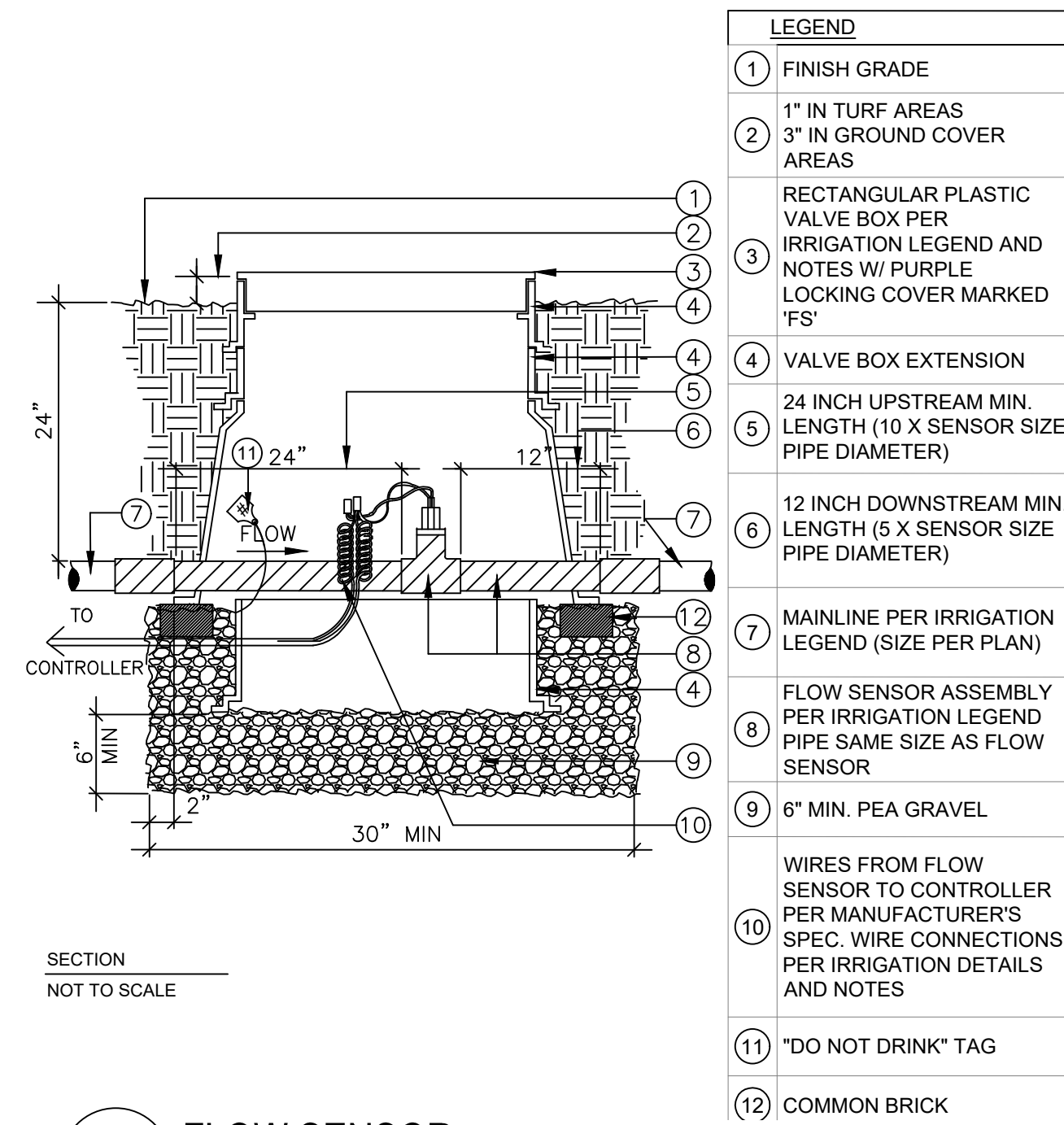


Date	Description	No.
Revisions		
SIGNATURE: THOMAS G. MEAD DATE SIGNED: _____ PROFESSIONAL LA FL Lic. No. 6667354		
 Langan Engineering and Environmental Services, LLC 525 Okeechobee Blvd, Suite 910 West Palm Beach, Florida 33401 T: 561.473.8300 www.langan.com FL Certificate of Authorization No. 00006601/LB8171/LB8198		
 CITY OF FT. PIERCE		
ST. LUCIE COUNTY FLORIDA		
Drawing Title		
<b>IRRIGATION PLAN</b>		
Project No.	Drawing No.	
532055101	<b>L3.0</b>	
Date		
JULY 2025		
Drawn By		
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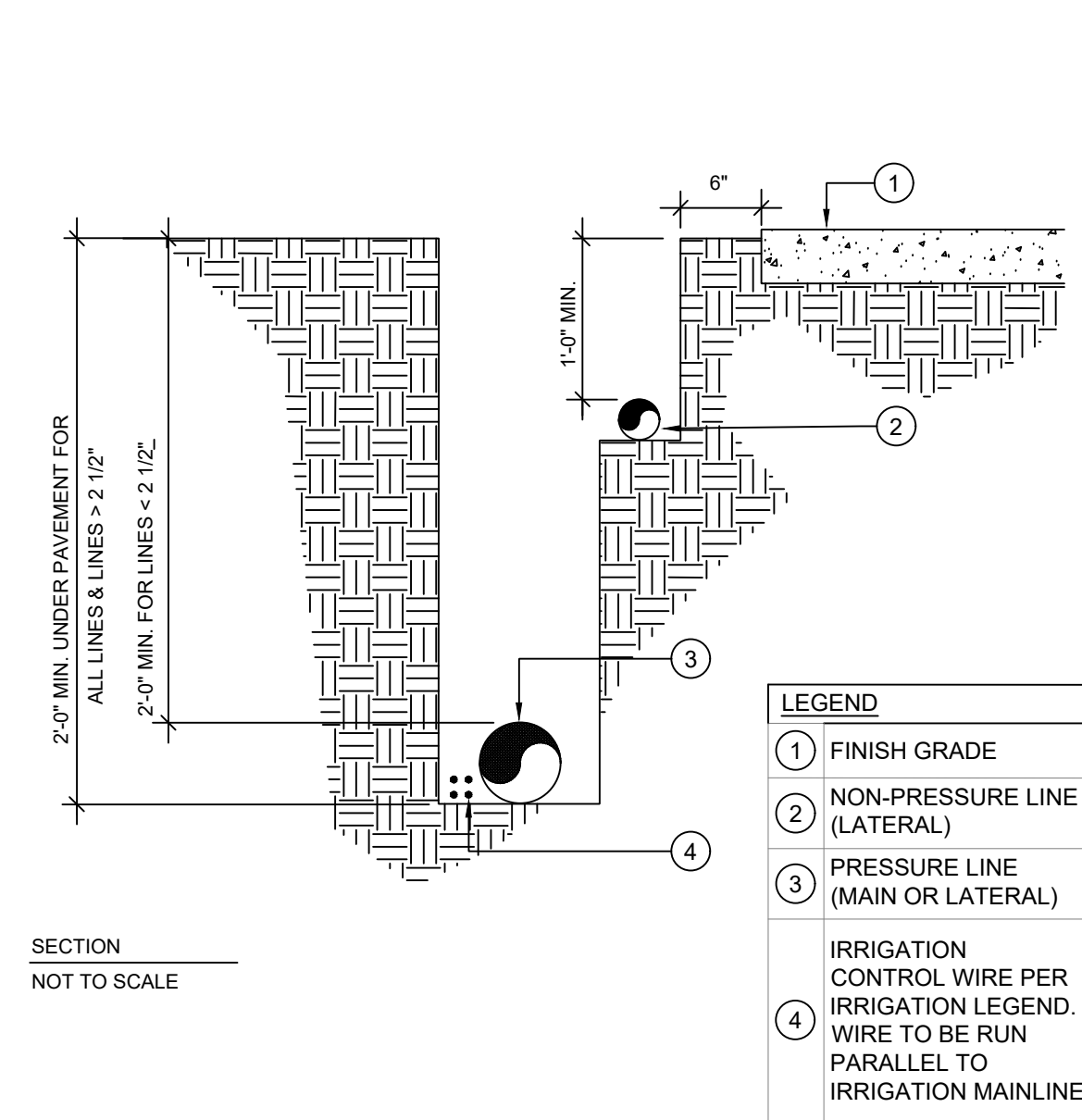


**1 BALL VALVE**  
NTS



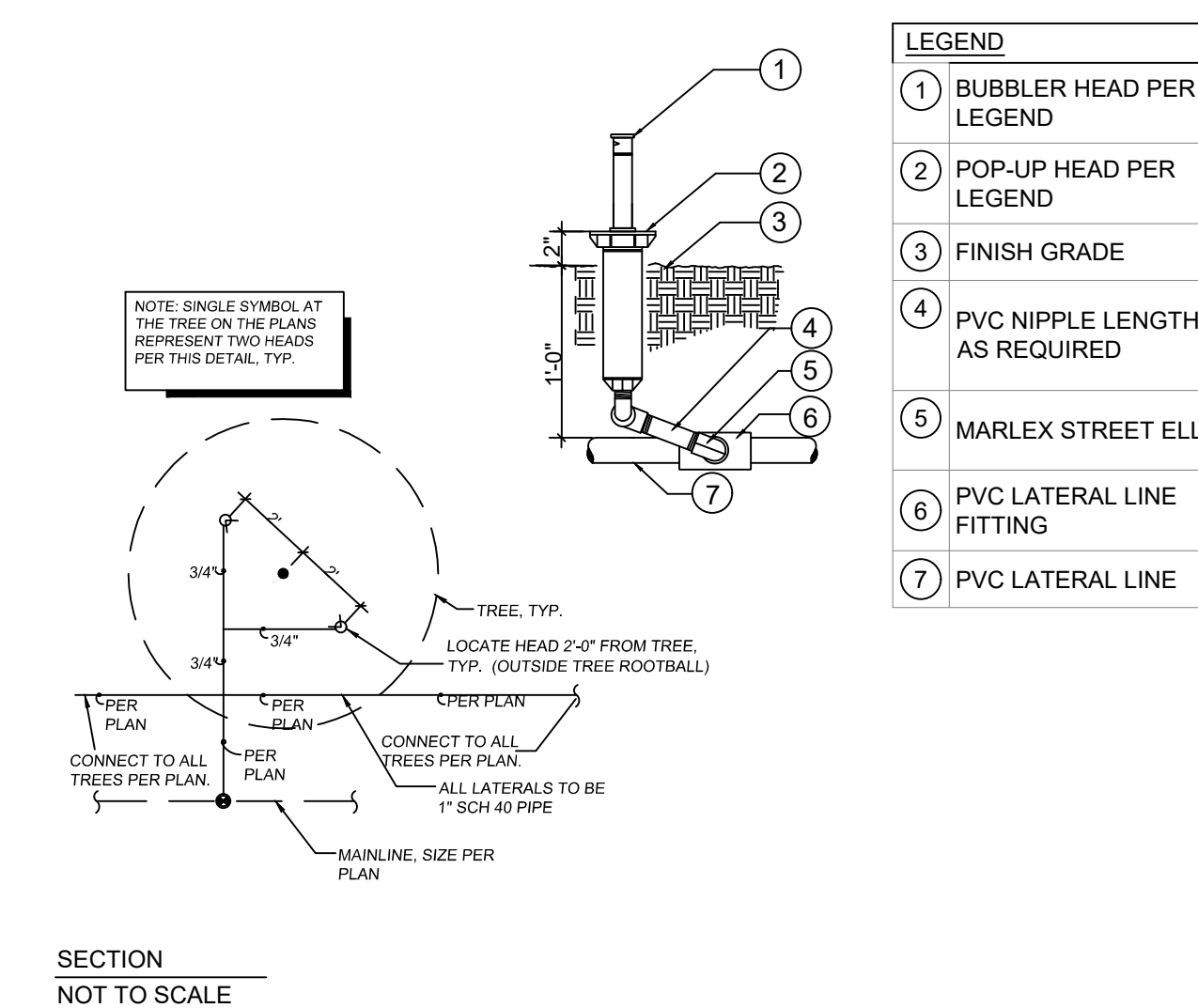
**5 FLOW SENSOR**  
NTS

**2 PRESSURE REGULATOR**  
NTS



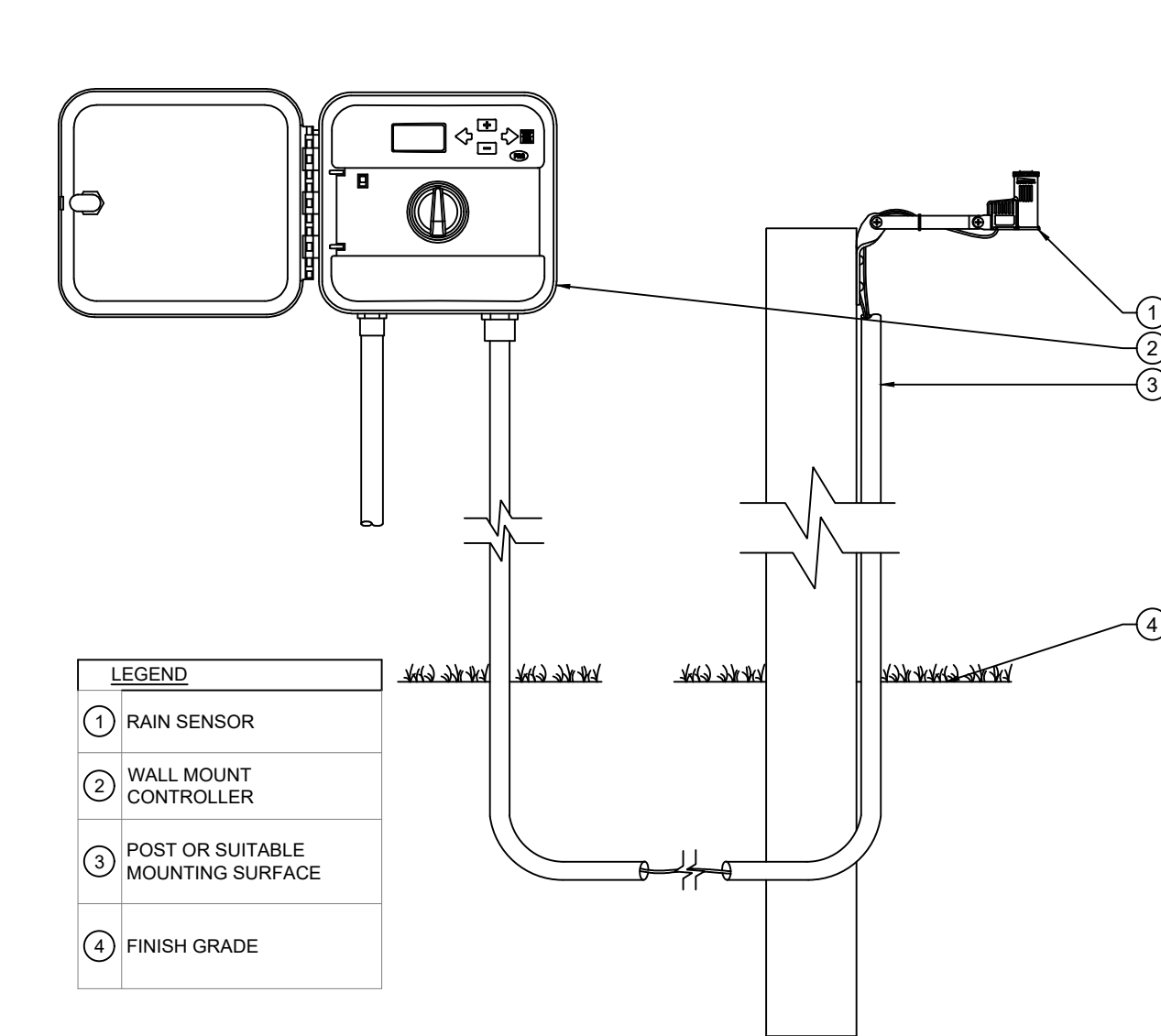
**6 TRENCHING**  
NTS

**3 MASTER CONTROL VALVE**  
NTS



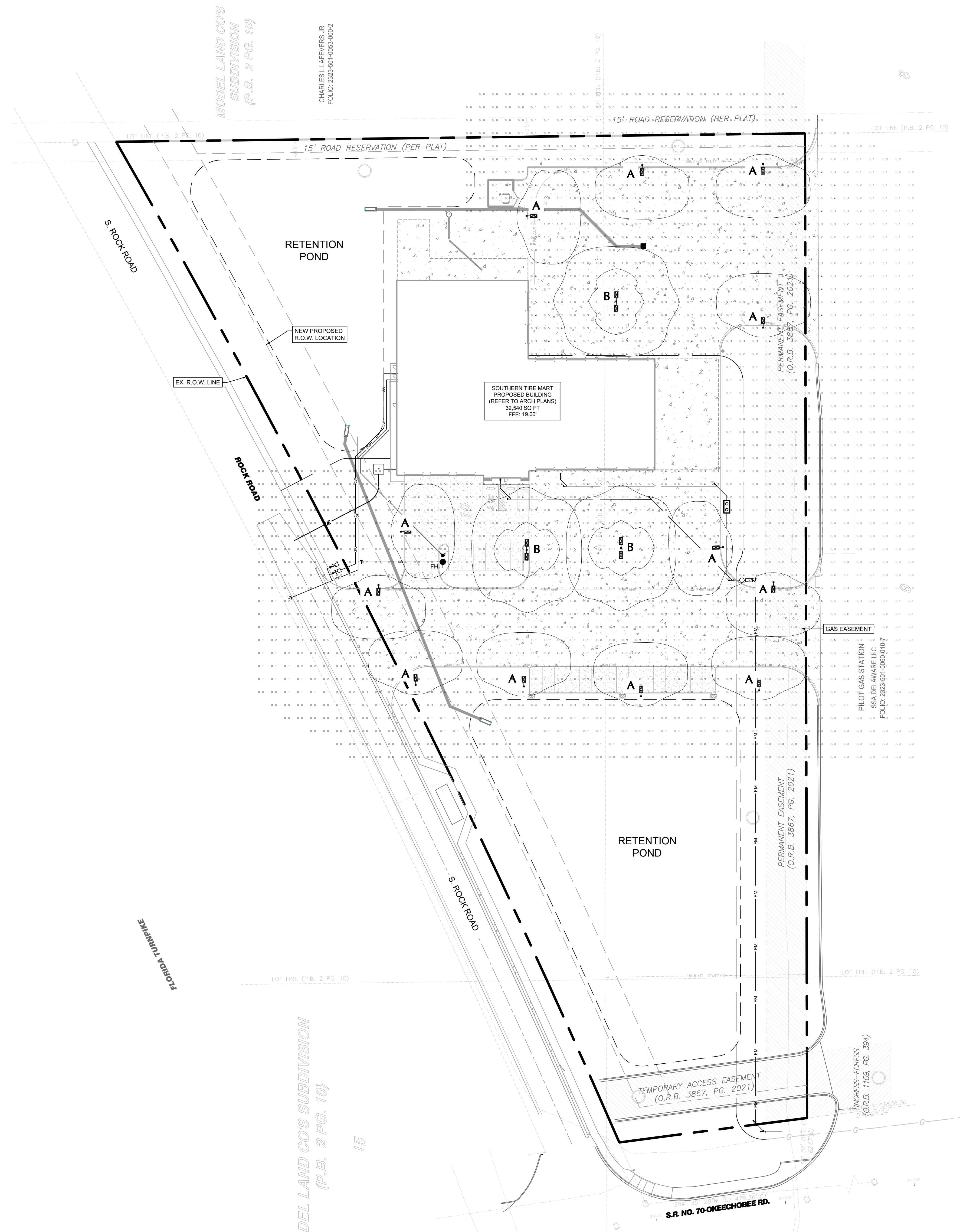
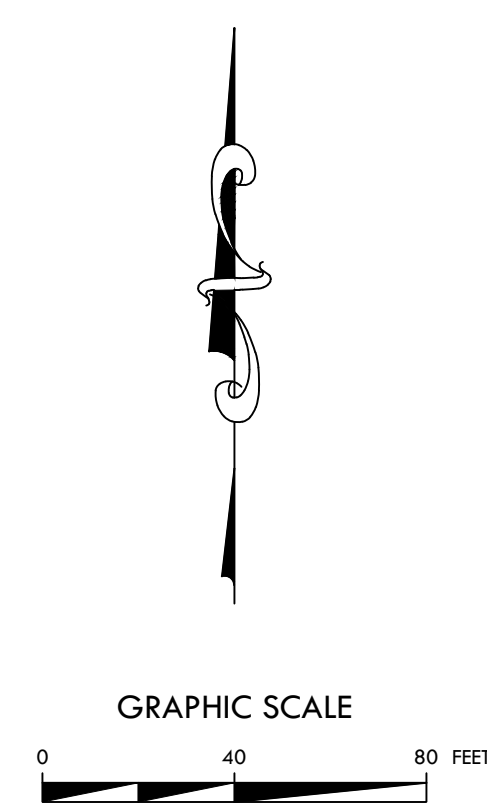
**7 TREE BUBBLER**  
NTS

**4 POP-UP HEAD INDICATOR**  
NTS



**8 RAIN SENSOR/CONTROLLER**  
NTS

Date	Description	No.
Revisions		
SIGNATURE		DATE SIGNED
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<b>LANGAN</b>		
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<b>Southern Tire Mart</b> AT <b>Pilot</b>		
CITY OF FT. PIERCE		
ST. LUCIE COUNTY		FLORIDA
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<b>IRRIGATION DETAILS</b>		
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Checked By	TM	



STATISTICS					
DESCRIPTION	AVG.	MAX.	MIN.	MAX./MIN.	AVG./MIN.
DRIVEWAY	1.0fc	1.3fc	0.6fc	2.1:1	1.6:1

NOTE: LIGHT PHOTOMETRY AND CALCULATIONS FOR EXISTING LIGHTING ARE NOT INCLUDED IN THE ABOVE STATISTICS.

SITE LIGHTING SCHEDULE																	
SYMBOL	KEY	QTY.	FIXTURE MANUFACTURER	FIXTURE MODEL	FIXTURE DESCRIPTION	FIXTURE MOUNTING HEIGHT	LAMP	COLOR TEMPERATURE	OPTICS	LUMENS	LLF	FIXTURE CATALOGUE NO.	POLE MANUFACTURER	POLE DESCRIPTION	POLE LENGTH	POLE CATALOGUE NO.	REMARKS
	A	12	LITHONIA	D-SERIES AREA	POLE MOUNTED AREA LIGHT	20'	51W	3000K	TYPE III	7,203	0.9	DSX1-LED-P1-30K-70CRI-T3M-HS-BLK	HAPCO	ROUND TAPERED STEEL POLE, COLOR: BLACK	17'	RTS39B80-4-BA-D190-VDA	POLE TO BE FACTORY CUT TO LENGTH OF 17', MOUNTED ON 3' HT. EXPOSED CONCRETE BASE
	B	2	LITHONIA	D-SERIES AREA	POLE MOUNTED AREA LIGHT	20'	51W	3000K	TYPE III	7,203	0.9	DSX1-LED-P1-30K-70CRI-T3M-HS-BLK	HAPCO	ROUND TAPERED STEEL POLE, COLOR: BLACK	17'	RTS39B80-4-BA-D190-VDA	POLE TO BE FACTORY CUT TO LENGTH OF 17', MOUNTED ON 3' HT. EXPOSED CONCRETE BASE

NOTES:  
 1. REFER TO ELECTRICAL DRAWINGS FOR SITE LIGHTING VOLTAGES  
 2. ALL POLES WITH 25' MOUNTING HEIGHT OR GREATER TO RECEIVE FACTORY-INSTALLED VIBRATION DAMPENERS.

Date	Description	No.
Revisions		
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<b>LANGAN</b>		
Langan Engineering and Environmental Services, LLC 525 Okeechobee Blvd, Suite 910 West Palm Beach, Florida 33401		
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ST. LUCIE COUNTY FLORIDA		
Drawing Title		
<b>LIGHTING PLAN</b>		
Project No.	Drawing No.	
532055101	L4.0	
Date	JULY 2025	
Drawn By	SH	
Checked By	TM	















## CONCURRENCY CAPACITY ANALYSIS

### I. Site Data:

	Existing Use	Future Land Use	Zoning
North			
South			
East			
West			

	Future Land Use	Zoning Classification	Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage	Total Acreage	Flood Zone
Current					
**Proposed					N/A

### II. Public Facilities Information:

A. Potable Water:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.125 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day
**Proposed Zoning/FLU	Total gallons per day
**Change in Demand	Total gallons per day

<b>B. Wastewater:</b>	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.1 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day
**Proposed Zoning/FLU	Total gallons per day
**Change in Demand	Total gallons per day

<b>C. Parks and Recreation (Residential Classifications Only):</b> (Du x 2.6 = persons + 44,227 = population /LOS)				
Park Type	LOS	Existing Population Park Demand	Proposed Population Park Demand	Change in Demand
Regional	20 acres per 1,000 people			
Urban District	5 acres per 1,000 people			
Community	2.5 acres per 1,000 people			
Neighborhood	1.36 acres per 1,000 people			

<b>D. Public Schools (Residential Classifications Only):</b> Single Family: (du x 0.405 = students/70% K-8/30% High) Multi-family: (du x 0.207 = students/70% K-8/30% High)		
	<b>K-8</b>	<b>High</b>
School Name		
City		
Distance		
Current Zoning/FLU	Enrollment	
**Proposed Zoning/FLU	Enrollment	
**Change in Demand		

<b>E. Solid Waste: Residential</b> (2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units)	
Demand Analysis	Maximum
Current Zoning/FLU	
**Proposed Zoning/FLU	
*Change in Demand	

**F. Stormwater:**  
Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year – 1 day storm event)



<b>NON-RESIDENTIAL DATA</b>					
<b>Type(s) specify</b>	<b>Phase</b>	<b>Square footage</b>	<b>Acres</b>	<b>Expecting beginning date</b>	<b>Expected completion date</b>

- A. Indicate whether the proposed project will be eliminating any existing recreational facilities. If yes, detail the number and type being eliminated.  Yes  No
- B. 1. Does this application involve demolition or re-use of any structure(s)?  Yes  No  
If yes, what is the size of the structure(s) to be demolished or re-used? \_\_\_\_\_
2. What is the current use of the structure to be demolished or re-used? \_\_\_\_\_
3. Are you claiming trip credits for the demolition or re-use of a structure(s) at the site?  Yes  No  
If yes, provide estimates of credits for each previous use at the site. (Attach sheet with calculations)

C. Exemptions Requested:

\*\* Complete section if requesting a change in zoning, future land use, or expanding







