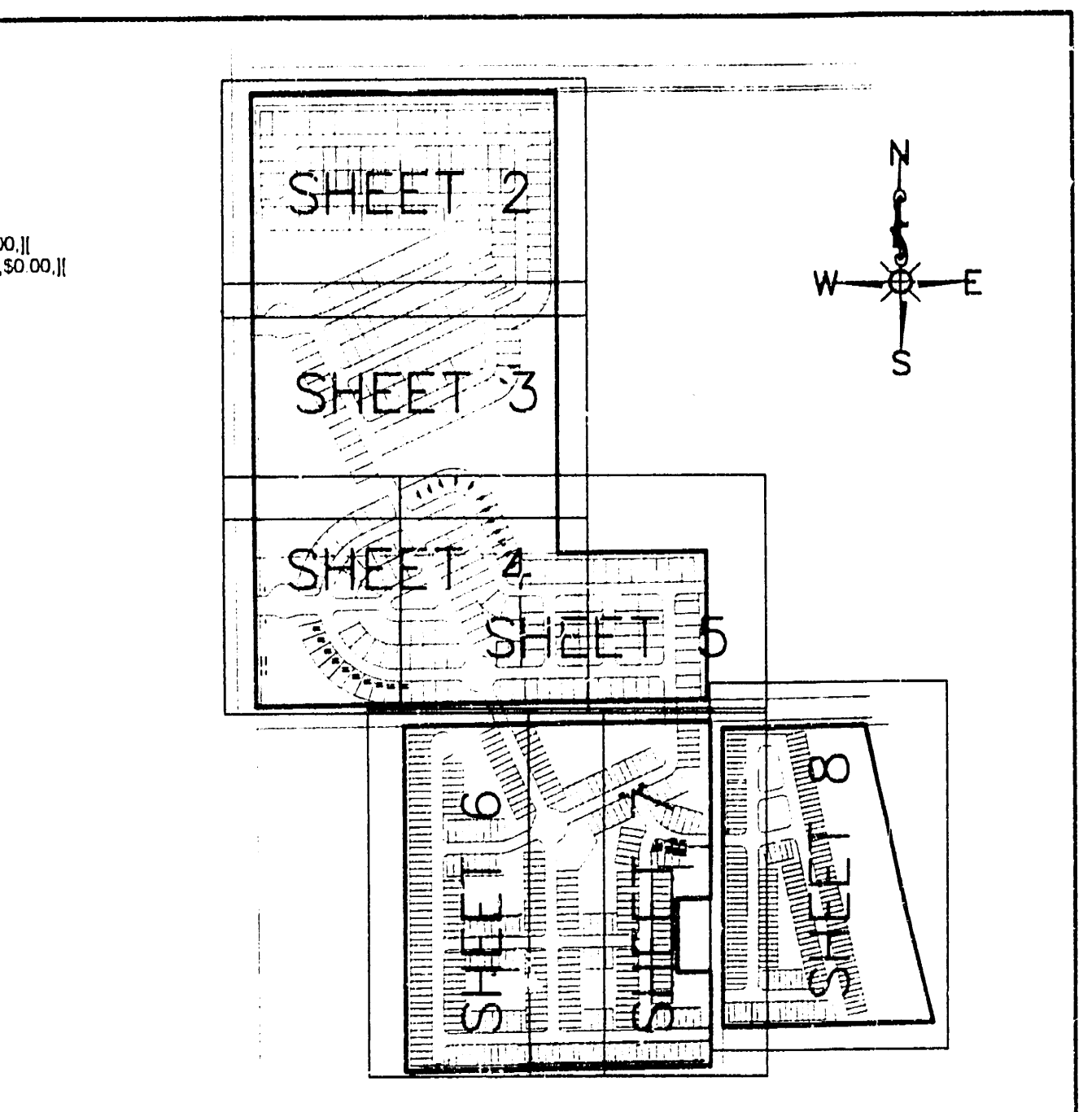


# CELEBRATION POINTE

LYING IN SECTION 18, TOWNSHIP 35 SOUTH, RANGE 40 EAST  
ST. LUCIE COUNTY, FLORIDA

INSTR # 3066992  
P BK 57 Pages 7 - 14  
RECORDED 06/11/07 15:32:23  
SAINT LUCIE COUNTY  
DOC STAMP-D Fee: Doc Stamps (Deed), \$0.00, II  
DOC STAMP-M Fee: Doc Stamps (Mortgage), \$0.00, II  
INT TAX - Fee: Intangible Tax \$0.00, II



## LEGAL DESCRIPTION:

THE NORTH 3/4 OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF SECTION 18, TOWNSHIP 35 SOUTH, RANGE 40 EAST, LESS AND EXCEPT THE WEST 40 FEET FOR ROAD RIGHT-OF-WAY AND LESS AND EXCEPT ROAD AND CANAL RIGHTS-OF-WAY.

TOGETHER WITH THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4, LESS WEST 40 FEET, FOR ROAD RIGHT OF WAY AND LESS THE CANAL RIGHT OF WAY.

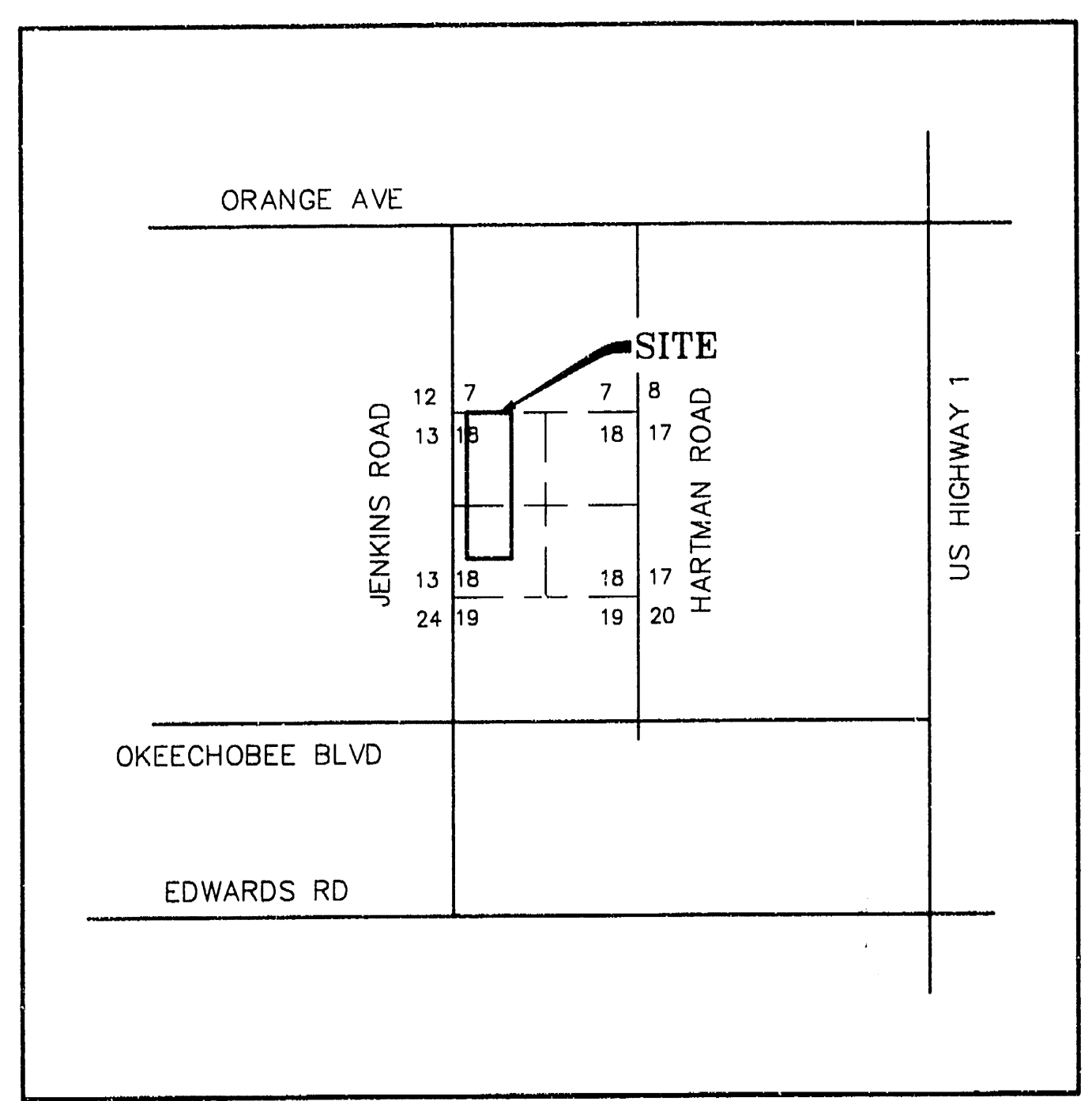
TOGETHER WITH THE SOUTHEAST 1/4 OF SOUTHWEST OF NORTHWEST 1/4, LESS CANAL RIGHT OF WAY AND THE SOUTHWEST 1/4 OF SOUTHWEST 1/4 OF NORTHWEST 1/4, LESS THE EAST 40 FEET AND LESS CANAL RIGHT OF WAY, AND THE NORTH 3/4 OF THE NORTHEAST 1/4 OF NORTHWEST 1/4 OF SOUTHWEST 1/4 AND THE NORTH 3/4 OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4, LESS THE NORTH 30 FEET OF THE EAST 5 FEET.

TOGETHER WITH THE SOUTH 1/4 OF NORTHWEST 1/4 OF NORTHEAST 1/4 OF SOUTHWEST 1/4 AND THE SOUTH 1/4 OF NORTHEAST 1/4 OF NORTHWEST 1/4 OF SOUTHWEST 1/4 AND THE SOUTHWEST 1/4 OF THE NORTHEAST OF THE SOUTHWEST 1/4, LESS 330.52 FEET, AND LESS THE TRACT 143 FEET, X 207.28 FEET, AND THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4, LESS SOUTH 330.52 FEET, AND LESS THE ROAD RIGHT OF WAY.

TOGETHER WITH THE EAST 1/2 OF NORTHEAST 1/4 OF SOUTHWEST 1/4 AND NORTHWEST 1/4 OF THE SOUTHWEST 1/4 LYING WEST OF CANAL 29, LESS ROAD RIGHT OF WAY.

TOGETHER WITH THE SOUTH 330.52 FEET OF SOUTHWEST 1/4 OF NORTHEAST 1/4 OF SOUTHWEST 1/4, LESS NORTH 97.32 FEET, OF THE WEST 143 FEET, OF THE EAST 163 FEET AND THE SOUTH 330.52 FEET OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 AND THE NORTH 1/4 OF NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SOUTHWEST 1/4 AND THE NORTH 1/4 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4, LESS THE ROAD RIGHT OF WAY.

ALL LYING IN SECTION 18, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA.



## LOCATION MAP

## DEDICATION:

STATE OF FLORIDA:  
COUNTY OF ST. LUCIE:

KNOW ALL MEN BY THESE PRESENTS, THAT LO LAND ASSETS, LP, A DELAWARE LIMITED PARTNERSHIP AND CELEBRATION POINTE COMMUNITY DEVELOPMENT DISTRICT (CDD), A NON-PROFIT FLORIDA CORPORATION, OWNERS OF THE LANDS SHOWN AND DESCRIBED HEREON HAVE CAUSED THE SAME TO BE SURVEYED, AND PLATTED AS CELEBRATION POINTE, AS SHOWN HEREON AND DO HEREBY DEDICATE THE LANDS AS FOLLOWS:

- ALL STREETS AND ALLEYS SHOWN HEREON, ARE HEREBY DEDICATED TO THE CELEBRATION POINTE COMMUNITY DEVELOPMENT DISTRICT (CDD), A NON-PROFIT FLORIDA CORPORATION, FOR PUBLIC INGRESS, EGRESS, UTILITY AND DRAINAGE PURPOSES, WITH SAID STREETS BEING THE PERPETUAL MAINTENANCE OBLIGATION OF SAID CDD.
- UTILITY EASEMENTS: THE UTILITY EASEMENTS AS SHOWN HEREON, ARE DEDICATED TO THE PUBLIC FOR THE INSTALLATION AND MAINTENANCE OF PUBLIC UTILITIES, INCLUDING FLORIDA POWER & LIGHT COMPANY, BELLSOUTH AND ALL OTHER PUBLIC UTILITIES, INCLUDING CABLE TELEVISION, FOR UTILITY PURPOSES.
- THE DRAINAGE EASEMENTS AS SHOWN HEREON ARE HEREBY DEDICATED TO THE CDD FOR DRAINAGE PURPOSES AND SHALL BE THE PERPETUAL MAINTENANCE OBLIGATION OF SAID CDD.
- THE OPEN SPACE TRACTS SHOWN HEREON ARE HEREBY DEDICATED TO THE CDD FOR RECREATION AND DRAINAGE PURPOSES AND SHALL BE THE PERPETUAL MAINTENANCE OBLIGATION OF SAID CDD.
- THE BUFFER ZONE TRACTS (B.Z.T.) SHOWN HEREON ARE HEREBY DEDICATED TO THE CDD FOR UTILITY, DRAINAGE AND LANDSCAPING PURPOSES, WITH SAID TRACTS BEING THE PERPETUAL MAINTENANCE OBLIGATION OF SAID CDD.
- THE LAKE MAINTENANCE EASEMENTS (L.M.E.) AS SHOWN HEREON ARE HEREBY DEDICATED TO THE CDD FOR DRAINAGE AND MAINTENANCE PURPOSES AND SHALL BE THE PERPETUAL MAINTENANCE OBLIGATION OF SAID CDD.
- ROADWAY TRACTS "1-4": ROADWAY TRACTS 1 THROUGH 4 SHOWN HEREON ARE HEREBY DEDICATED TO ST. LUCIE COUNTY, FLORIDA, AS PUBLIC ROAD RIGHT-OF-WAYS FOR THE USE AND BENEFIT OF THE GENERAL PUBLIC.
- THE WATER MANAGEMENT TRACTS (WMT) SHOWN HEREON, ARE HEREBY DEDICATED TO THE CDD FOR DRAINAGE PURPOSES, WITH SAID TRACTS BEING THE PERPETUAL MAINTENANCE OBLIGATION OF SAID CDD.
- THE RECREATION TRACTS SHOWN HEREON, ARE HEREBY DEDICATED TO THE CDD, FOR RECREATION PURPOSES, WITH SAID TRACTS BEING THE PERPETUAL MAINTENANCE OBLIGATION OF SAID CDD.

IN WITNESS WHEREOF, LO LAND ASSETS, LP, A DELAWARE LIMITED PARTNERSHIP, BY SAUL E. MANNING, AS UNDERWRITING DIRECTOR FOR LO LAND ASSETS, LP, AND CELEBRATION POINTE COMMUNITY DEVELOPMENT DISTRICT (CDD), A NON-PROFIT FLORIDA CORPORATION, HAS CAUSED THESE PRESENTS TO BE SIGNED, AS OWNERS OF THE ABOVE-DESCRIBED LANDS.

Signed this 22nd day of December, 2006.

By: Susan D. Vavak  
RAUL E. MANNING, AS UNDERWRITING DIRECTOR FOR LO LAND ASSETS, LP  
Susan D. Vavak  
Vice President  
LE Land Assets, LLC

Signed this 20 day of December, 2006.

By: Kenneth R. Mitchell  
KENNETH R. MITCHELL, PRESIDENT FOR CELEBRATION POINTE COMMUNITY DEVELOPMENT DISTRICT

## ACKNOWLEDGMENT:

STATE OF FLORIDA:  
COUNTY OF ORANGE:

On December 22, 2006 Before me, Jaime Lawrence, Notary Public, personally appeared Kenneth R. Mitchell, personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

Witness my hand and official seal, this 22nd day of December, 2006.

By: Jaime Lawrence  
Jaime Lawrence  
Notary Public (Printed Name)

## ACKNOWLEDGMENT:

STATE OF FLORIDA:  
COUNTY OF BREVARD:

Before me personally appeared Kenneth R. Mitchell, to me well known and known to me to be the individual described in and who executed the foregoing dedication and he acknowledged to and before me that he executed such instrument as the President of the Celebration Pointe Community Development District (CDD), a non-profit Florida corporation, and that such execution was his free act and deed.

Witness my hand and official seal, this 20 day of December, 2006.

By: Heather Baird  
Heather Baird  
Notary Public (Printed Name)

## ACCEPTANCE OF DEDICATIONS:

Celebration Pointe Community Development District (CDD), a non-profit Florida corporation, accepts the dedications or reservations to said District as stated and shown hereon.

Dated this 20 day of December, 2006.

By: Kenneth R. Mitchell  
Kenneth R. Mitchell, President

## ACKNOWLEDGEMENT:

Before me personally appeared Kenneth R. Mitchell, to me well known and known to me to be the individual described in and who executed the foregoing acceptance and he acknowledged to and before me that he executed such instrument as the President of the Celebration Pointe Community Development District (CDD), a non-profit Florida corporation, and that such execution was his free act and deed.

Witness my hand and official seal, this 20 day of December, 2006.

By: Heather Baird  
Heather Baird  
Notary Public (Printed Name)

## LEGEND:

- Δ = CURVE CENTRAL ANGLE
- R = CURVE RADIUS
- L = CURVE LENGTH
- O.R.B. = OFFICIAL RECORD BOOK
- C.B. = CHORD BEARING
- CH. = CHORD
- P.L.S. = PROFESSIONAL LAND SURVEYOR
- W.M.T. = WATER MANAGEMENT TRACT
- R/W = RIGHT-OF-WAY
- P.B. = PLAT BOOK
- PG. = PAGE
- GW = GREENWAY TRACT
- O.S.T. = OPEN SPACE TRACT
- U.E. = UTILITY EASEMENT
- B.Z.T. = BUFFER ZONE TRACT
- U.E. = UTILITY EASEMENT
- D.E. = DRAINAGE EASEMENT
- L.M.E. = LAKE MAINTENANCE EASEMENT
- NSLRWCD = NORTH ST. LUCIE RIVER WATER CONTROL DISTRICT
- AC. = ACRES
- NR = NON RADIAL
- NO. = NUMBER
- = PERMANENT REFERENCE MONUMENT
- 4"x4" CONCRETE MONUMENT "PRM LB 7056"
- = PERMANENT CONTROL POINT
- NAIL & DISK "PCP LB 7056"

NOTICE: 2nd 30 TO 48th 1/2  
Requirements on page 8 of  
this instrument as  
shown on plat.

## TITLE CERTIFICATION:

STATE OF FLORIDA:  
COUNTY OF ORANGE:

I, Brian Jones, Esquire, a duly licensed attorney in the State of Florida, do hereby certify that I have examined the title to the hereon described property and that I find the title to the property is vested in Lo Land Assets, LP a Delaware limited partnership, and that current taxes have been paid and that all encumbrances affecting the subject property (if any) are shown hereon.

None

Dated this 7 day of JANUARY, 2007

By: Brian Jones, Esquire

## COUNTY COMMISSION:

STATE OF FLORIDA:  
COUNTY OF ST. LUCIE:

It is hereby certified that this plat has been officially approved for record by the Board of County Commissioners of St. Lucie County, Florida, this 11 day of January, 2007.

By: Chairperson, Board of County Commissioners

## CLERK OF CIRCUIT COURT:

STATE OF FLORIDA:  
COUNTY OF ST. LUCIE:

I, Edwin M. Fox Jr., Clerk of Circuit Court of St. Lucie County, Florida, do hereby certify that this plat has been examined and that it complies in form with all of the requirements of the laws of Florida pertaining to Maps and Plats, and that this plat has been filed for public record in Plat Book 57, Page 7, of the Public Records of St. Lucie County, Florida, this 11 day of January, 2007.

By: Darlisha Kern Deputy Clerk  
Darlisha Kern  
Clerk of Circuit Court  
St. Lucie County, Florida

## COUNTY ATTORNEY:

STATE OF FLORIDA:  
COUNTY OF ST. LUCIE:

This plat is hereby approved as to form.

By: Daniel S. McIntyre, Esquire  
Daniel S. McIntyre, Esquire  
County Attorney  
St. Lucie County, Florida

## COUNTY ENGINEER:

STATE OF FLORIDA:  
COUNTY OF ST. LUCIE:

It is hereby certified that this plat meets all minimum subdivision platting requirements as set forth in Section 16.03 of the St. Lucie County Land Development Code.

By: Michael V. Powley  
Michael V. Powley, P.E.  
County Engineer  
St. Lucie County, Florida

## GROWTH MANAGEMENT:

STATE OF FLORIDA:  
COUNTY OF ST. LUCIE:

It is hereby certified that this plat meets the minimum lot dimension requirements of the zoning district as set forth in the St. Lucie County Land Development Code.

By: Michael V. Powley  
Michael V. Powley, P.E.  
County Engineer  
St. Lucie County, Florida

## KEY MAP

(NOT TO SCALE)

## COUNTY SURVEYOR:

STATE OF FLORIDA:  
COUNTY OF ST. LUCIE:

It is hereby certified that the undersigned Surveyor and Mapper duly licensed in the State of Florida has reviewed this plat for conformity with the requirements of Chapter 177, Part 1, Florida Statutes.

By: Ronald L. Laventure  
Ronald L. Laventure  
Professional Land Surveyor  
County Surveyor  
St. Lucie County, Florida

## SURVEYOR'S CERTIFICATE:

STATE OF FLORIDA:  
COUNTY OF ST. LUCIE:

I, RICHARD C. LAVENTURE, DO HEREBY CERTIFY THAT THIS PLAT OF CELEBRATION POINTE IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION AND THAT SAID SURVEY IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT PERMANENT REFERENCE MONUMENTS AND ALL MONUMENTATION HAS BEEN PLACED AS REQUIRED BY LAW AND THE SURVEY DATA COMPLIES WITH ALL THE REQUIREMENTS OF CHAPTER 177, PART 1, FLORIDA STATUTES, AS AMENDED, AND ORDINANCES OF ST. LUCIE COUNTY, FLORIDA.

DATED THIS 12th DAY OF JANUARY, 2007

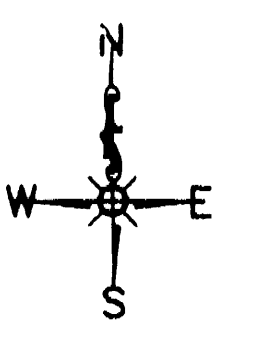
By: Richard C. Laventure  
Richard C. Laventure  
PROFESSIONAL LAND SURVEYOR  
FLORIDA CERTIFICATE NO. 5209

## SURVEYOR'S NOTES:

- THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT.
- THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.
- THE EAST RIGHT-OF-WAY LINE OF JENKINS ROAD IS ASSUMED TO BEAR N 0°15'57" W, AS MONUMENTED, AND ALL OTHER BEARINGS SHOWN HEREON ARE RELATIVE THERETO.
- THIS PLAT CONTAINS 147.14 ACRES, MORE OR LESS.
- THIS PLAT CONTAINS 755 LOTS.
- A 5/8" IRON ROD AND CAP STAMPED LB (LICENSED BUSINESS) 7056 HAS BEEN OR WILL BE SET AT ALL LOT CORNERS AND CHANGES IN DIRECTION, IN COMPLIANCE WITH CHAPTER 177, PART 1 OF THE FLORIDA STATUTES.

## PREPARED BY:

LAVENTURE & ASSOCIATES, INC.  
PROFESSIONAL SURVEYING AND MAPPING  
1840 SE Port St. Lucie Blvd.  
Port St. Lucie, Florida 34952  
(772) 398-6430 Phone (772) 398-6426 Fax  
FLORIDA LICENSED BUSINESS # 7056  
RICHARD C. LAVENTURE  
FLORIDA PROFESSIONAL LAND SURVEYOR # 5209

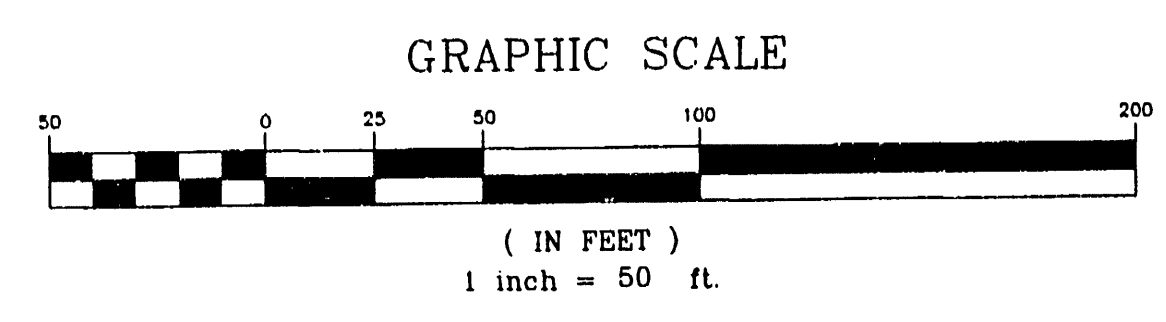


# CELEBRATION POINTE

LYING IN SECTION 18, TOWNSHIP 35 SOUTH, RANGE 40 EAST  
ST. LUCIE COUNTY, FLORIDA

PREPARED BY:  
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(772) 398-6430 Phone (772) 398-6426 Fax  
FLORIDA LICENSED BUSINESS # 7056  
RICHARD C. LAVENTURE  
FLORIDA PROFESSIONAL LAND SURVEYOR # 5209

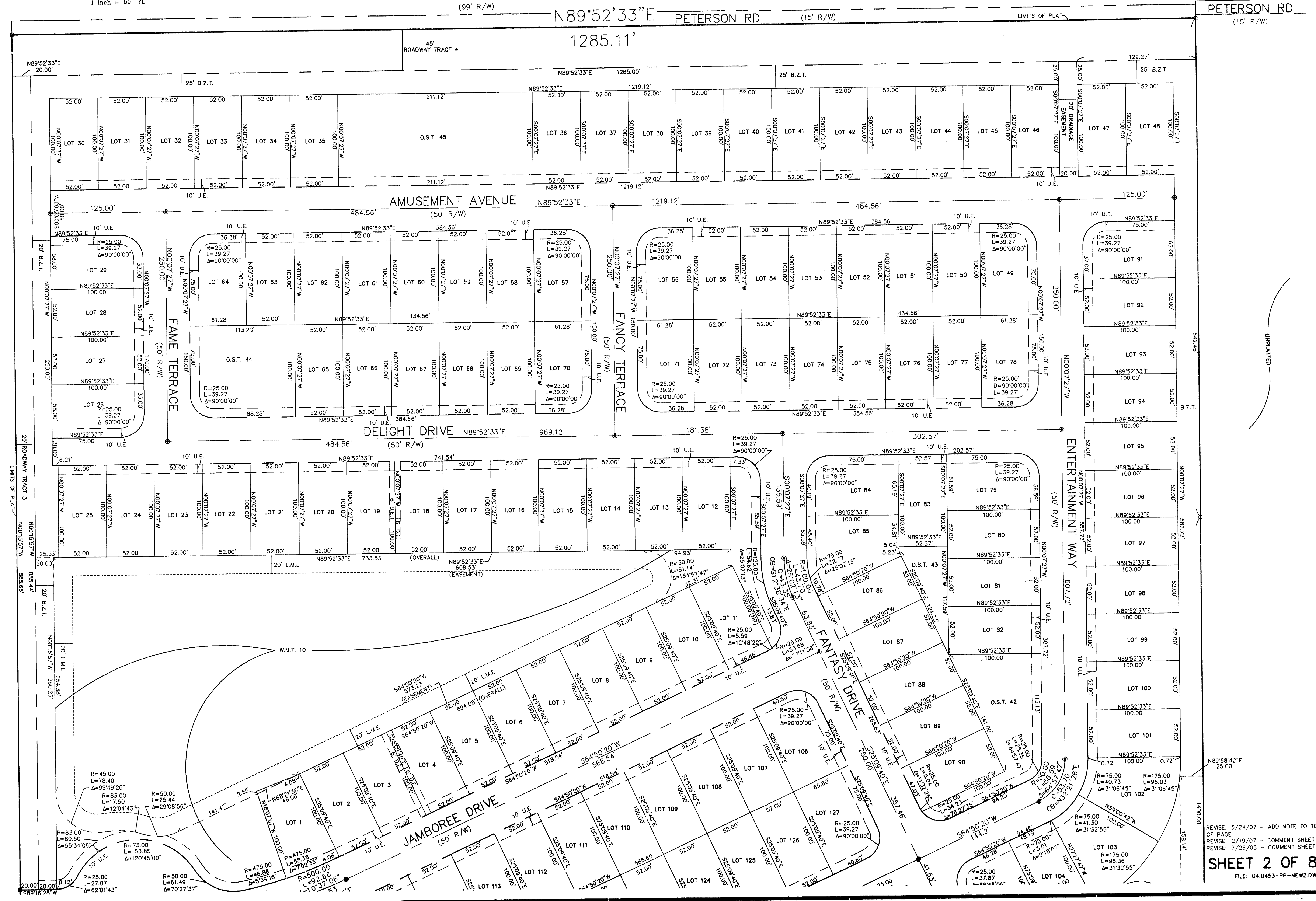
PLAT BOOK 57  
PAGE 8



NOTICE: LOTS 30 TO 48 AS DEPICTED  
ARE DESIGNATED AS SINGLE STORY  
RESIDENCES

NSLRWCD CANAL NO. 35  
(99' R/W)

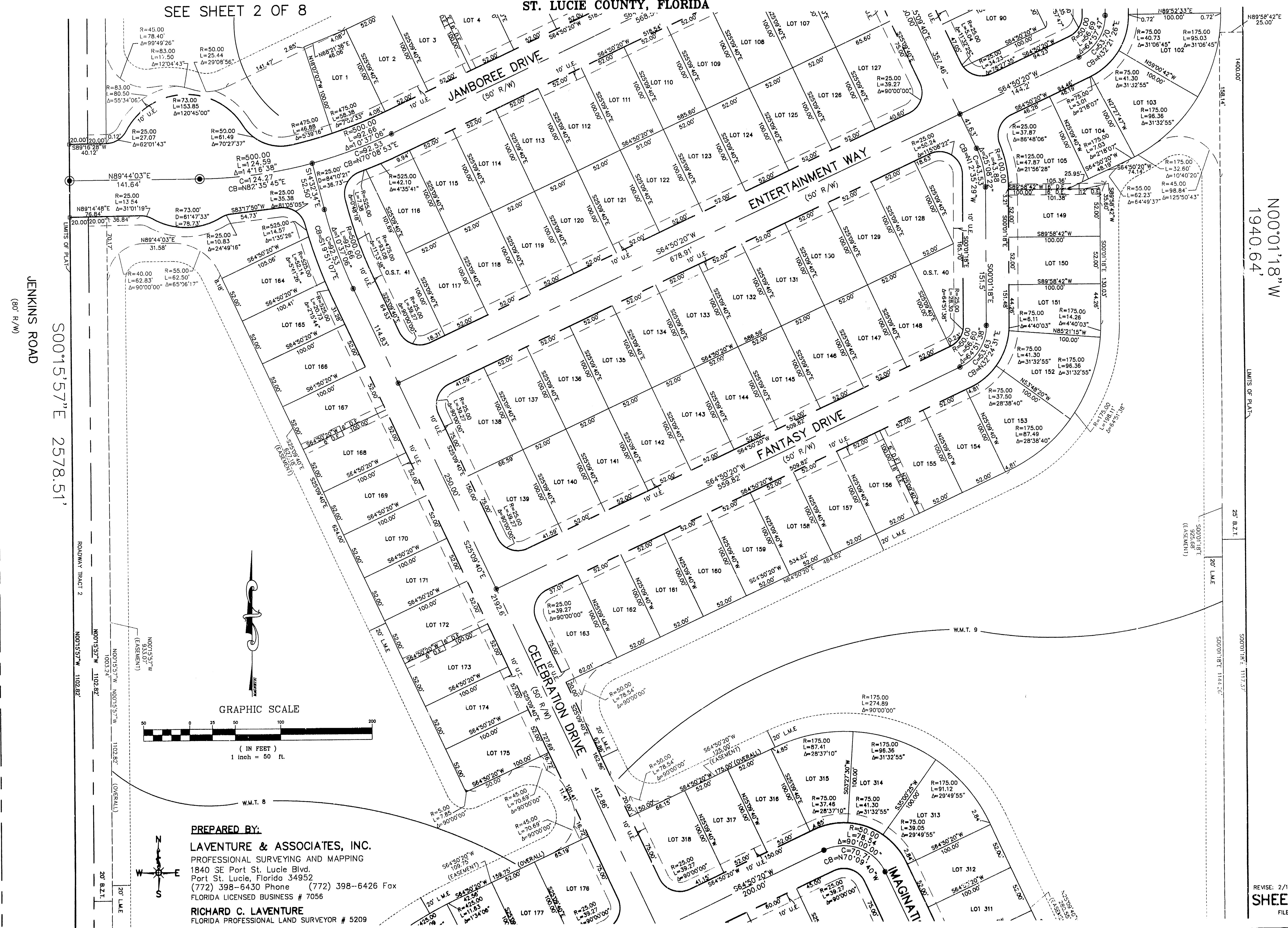
JENKINS ROAD  
(90' R/W)



# CELEBRATION POINTE

LYING IN SECTION 18, TOWNSHIP 35 SOUTH, RANGE 40 EAST  
ST. LUCIE COUNTY, FLORIDA

SEE SHEET 2 OF 8



JENKINS ROAD  
(80' R/W)

S00°15'57"E 2578.51'

ROADWAY TRACT 2  
N00°15'57"W 1102.82'

N00°15'57"W 1102.82'

N00°15'57"W 1102.82'

N00°15'57"W 1102.82'

N00°15'57"W 1102.82'

N00°15'57"W 1102.82'

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N00°15'57"W 1102.82'

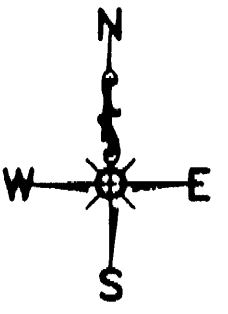
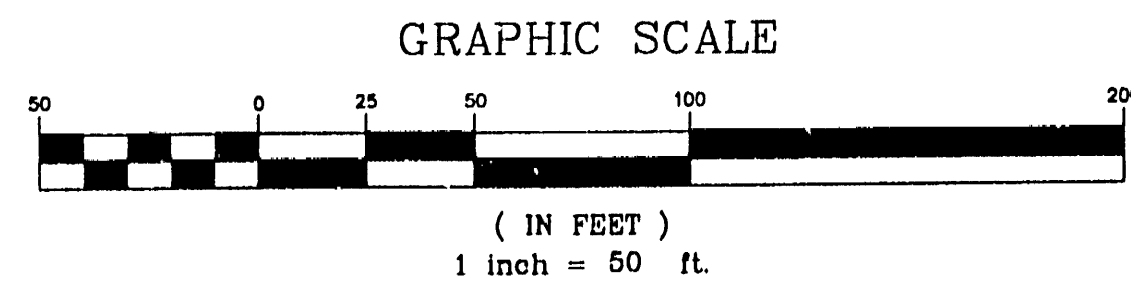
N00°15'57"W 1102.82'

N00°15'57"W 1102.82'

N00°15'57"W 1102.82'

N00°15'57"W 1102.82'

N00°15'57"W 1102.82'



**PREPARED BY:**  
**LAVENTURE & ASSOCIATES, INC.**  
 PROFESSIONAL SURVEYING AND MAPPING  
 1840 SE Port St. Lucie Blvd.  
 Port St. Lucie, Florida 34952  
 (772) 398-6430 Phone (772) 398-6426 Fax  
 FLORIDA LICENSED BUSINESS # 7056

**RICHARD C. LAVENTURE**  
 FLORIDA PROFESSIONAL LAND SURVEYOR # 5209

N00°01'18"W  
1940.64'

LIMITS OF PLAT

25' B.Z.T.

20' LAKE

5000'18"E 1144.10'

5000'18"E 1117.73'

5000'18"E 1144.10'

5000'18"E 1117.73'

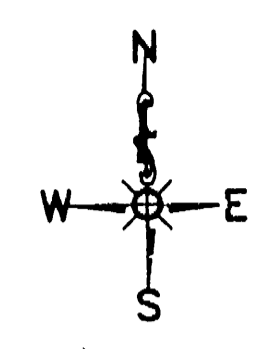
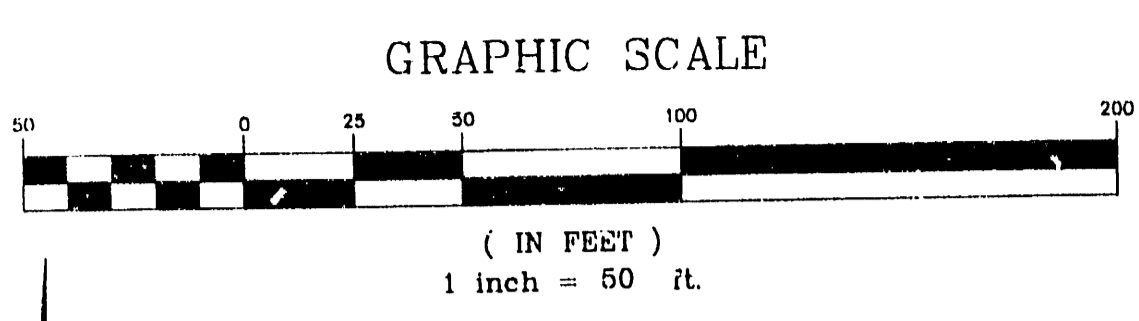
REVISE: 2/19/07 - COMMENT SHEET  
**SHEET 3 OF 8**  
 FILE: 04.0453-PP-NEW2.DWG

SEE SHEET 4 OF 8

# CELEBRATION POINTE

LYING IN SECTION 18, TOWNSHIP 35 SOUTH, RANGE 40 EAST  
ST. LUCIE COUNTY, FLORIDA

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SEE SHEET 3 OF 8

JENKINS ROAD  
(80' R/W)



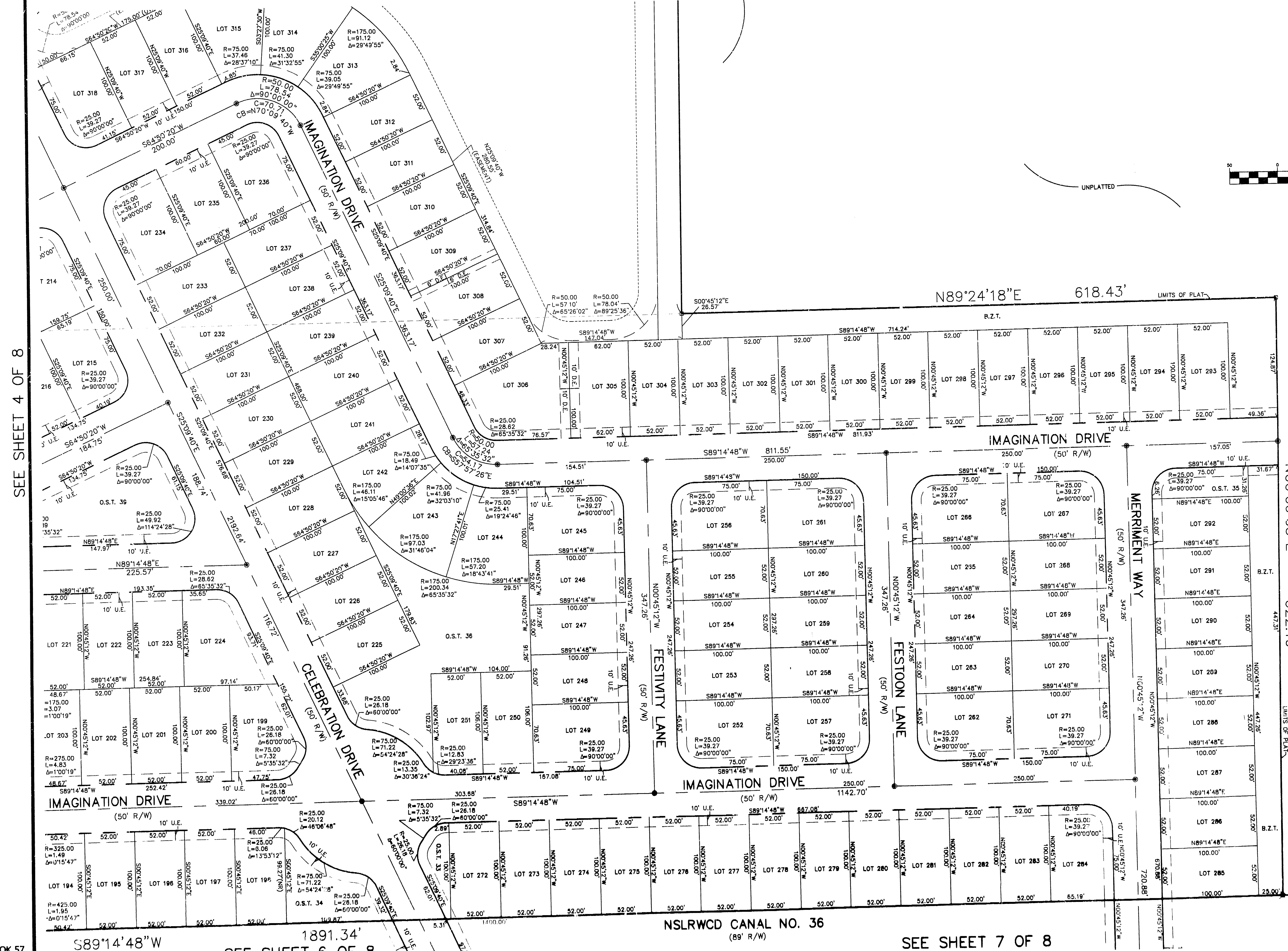
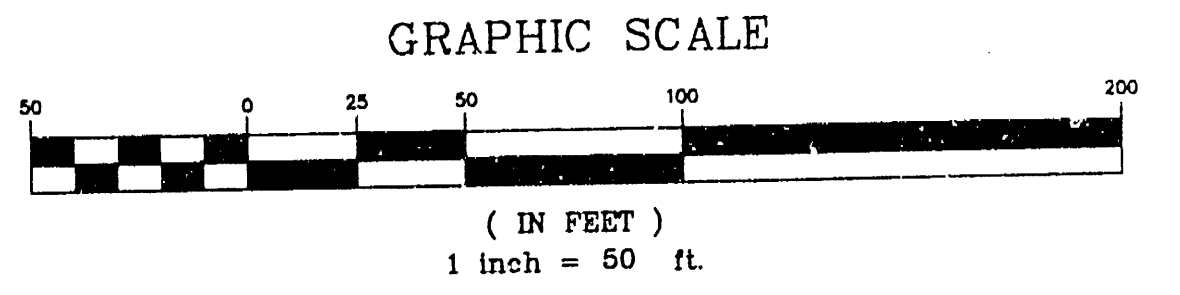
SEE SHEET 5 OF 8

SEE SHEET 6 OF 8

# CELEBRATION POINTE

LYING IN SECTION 18, TOWNSHIP 35 SOUTH, RANGE 40 EAST  
ST. LUCIE COUNTY, FLORIDA

SEE SHEET 3 OF 8

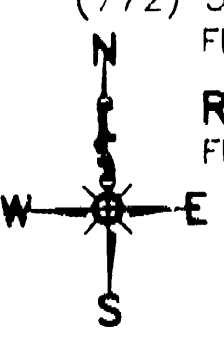


SEE SHEET 4 OF 8

SEE SHEET 6 OF 8

SEE SHEET 7 OF 8

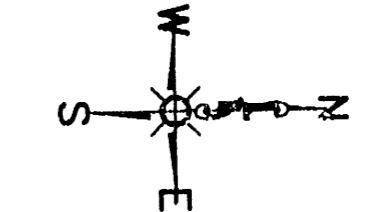
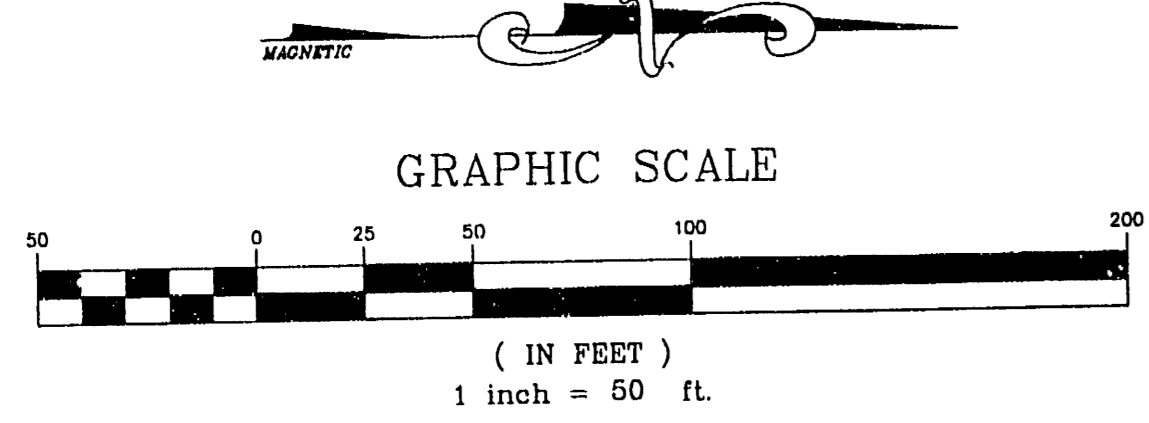
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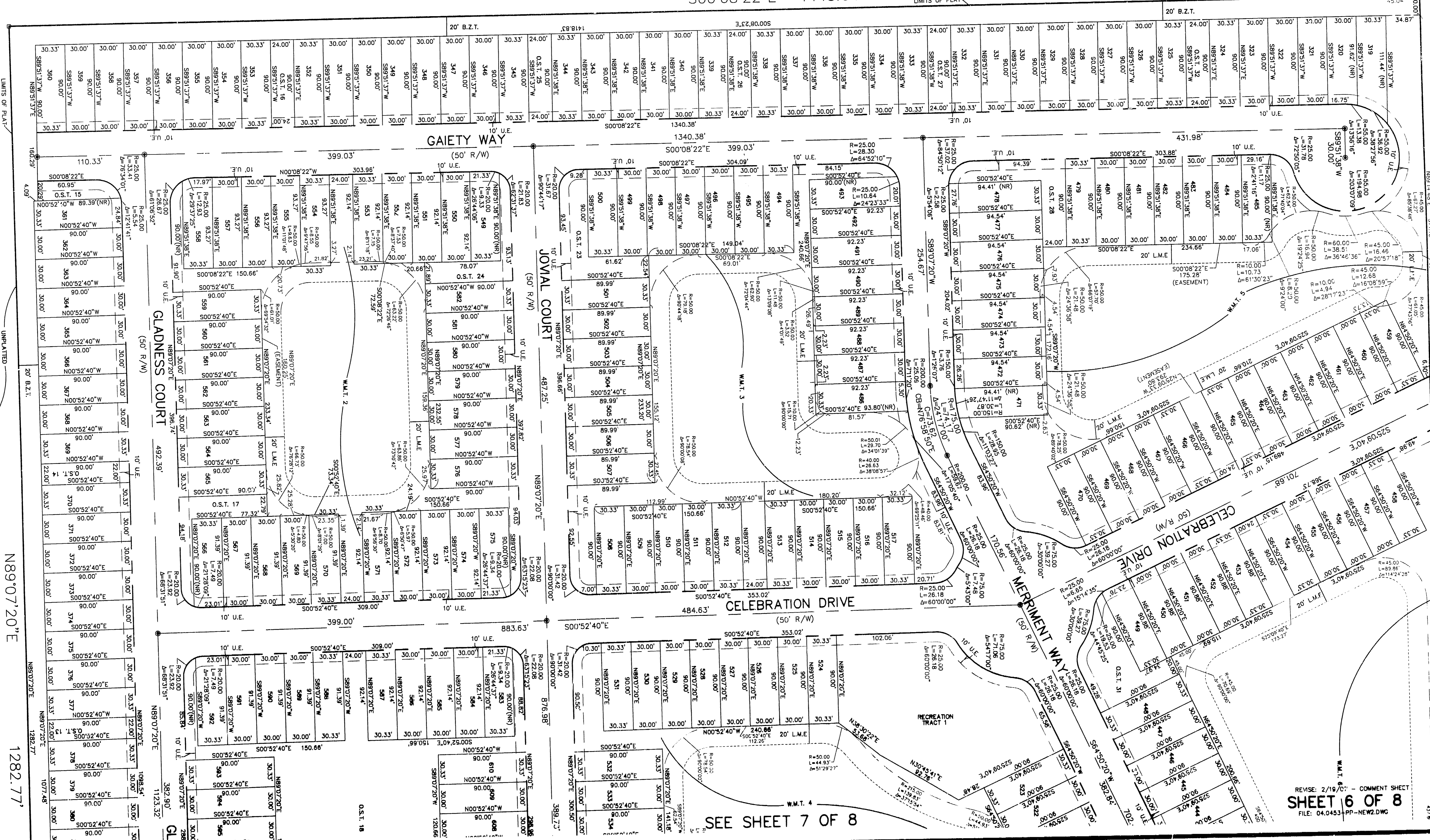
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FLORIDA PROFESSIONAL LAND SURVEYOR # 5209



500'08'22"E 1445.04'



SEE SHEET 4 OF 8  
NSLRWCD CANAL NO. 36  
(99' R/W)

889'14'48" W

1288.85'

REVISION: 2/19/07 - COMMENT SHEET  
**SHEET 6 OF 8**  
FILE: 04.04531-PP-NEW2.DWG

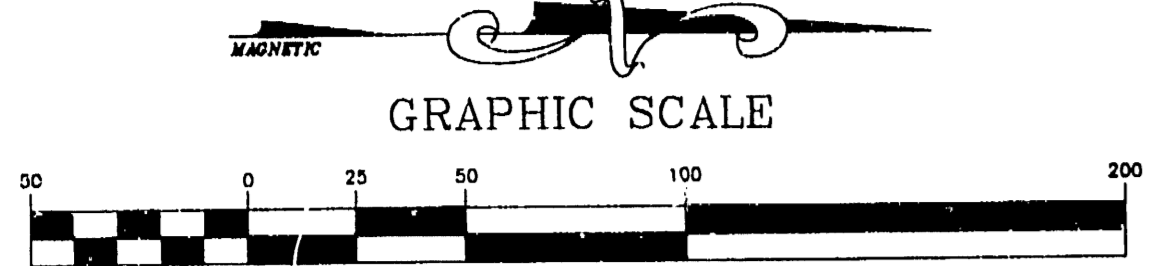
# CELEBRATION POINTE

LYING IN SECTION 18, TOWNSHIP 35 SOUTH, RANGE 40 EAST

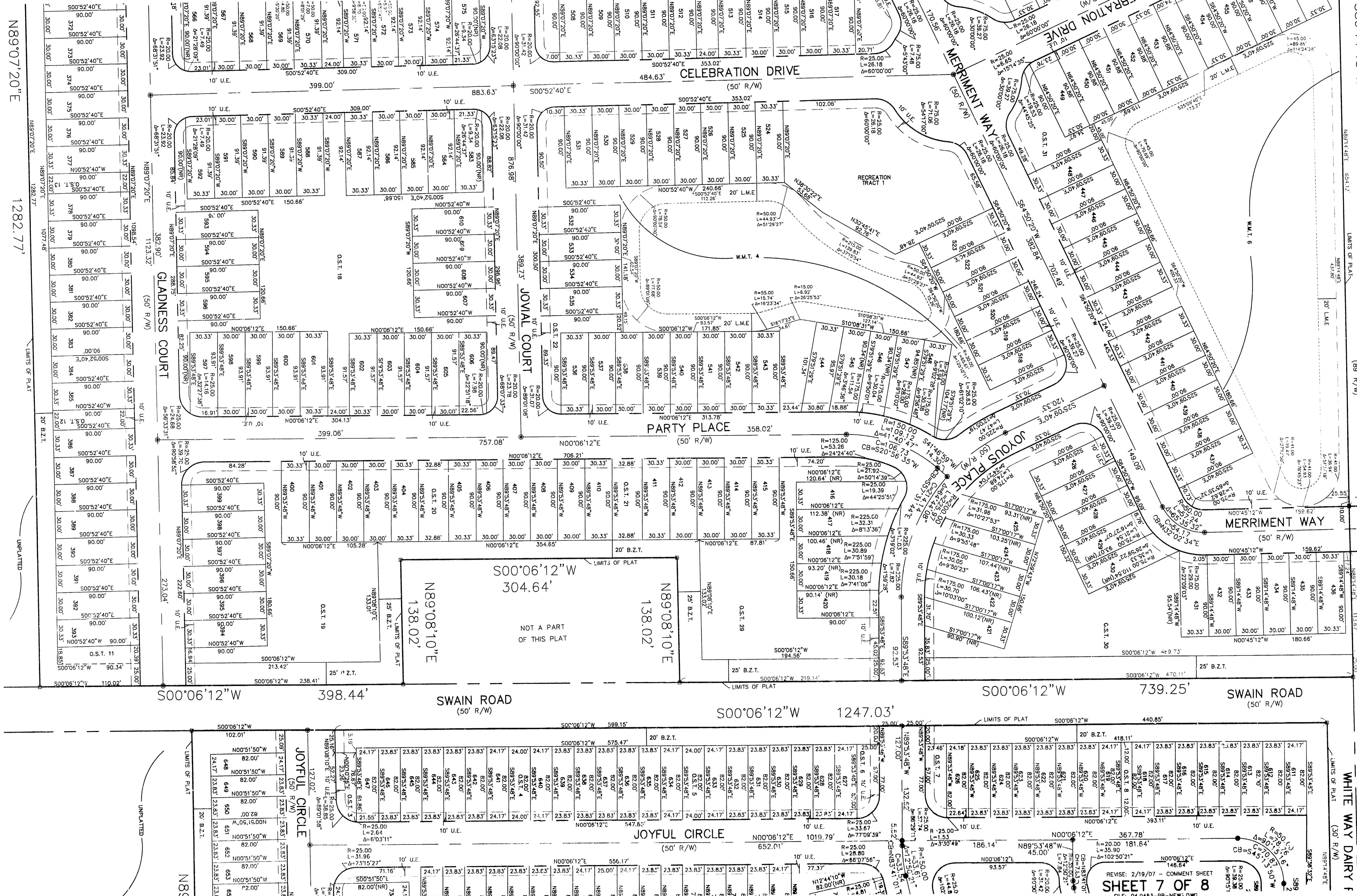
ST. LUCIE COUNTY, FLORIDA

PREPARED BY:  
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FLORIDA LICENSED BUSINESS # 7056

PLAT BOOK 57  
PAGE 13  
RICHARD C. LAVENTURE  
FLORIDA PROFESSIONAL LAND SURVEYOR # 5209



SEE SHEET 6 OF 8



N89°07'20"E

1282.77'

1282.77'

1282.77'

1282.77'

S89°14'48"W

1288.85'

NSLRWCD CANAL NO. 36

1282.77'

1282.77'

NSLRWCD CANAL NO. 36

WHITE WAY DAIRY



# **Celebration Pointe Major Amendment**

**City of Fort Pierce, Florida**

**Applicant**

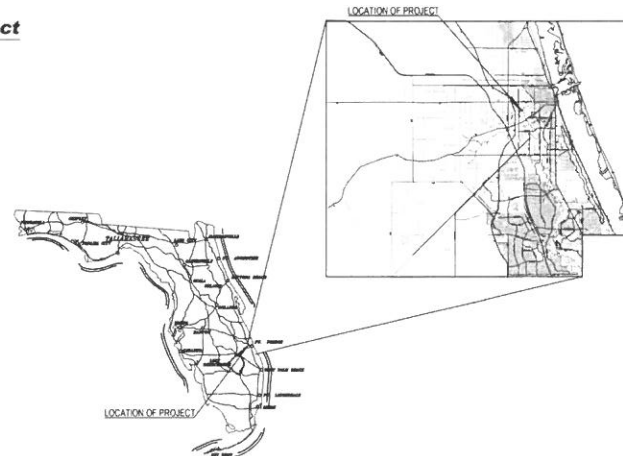
LGI Homes - Florida, LLC  
100 Ashley Drive South, Ste 210  
Tampa, FL 33602

**Land Planner/Landscape Architect**

Lucido & Associates, P.A  
701 East Ocean Blvd.  
Stuart, FL 34994  
P: 772.220.2100

**Property Owner**

Celebration Pointe Property Development LLC  
380 Creekstone Ct.  
Longwood, FL 32779



**Sheet Index**

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Typical Lots Exhibit	3 of 7
Amenity Center Exhibit	4 of 7
Phase Plan	5 of 7
Landscape Details	6 of 7
Landscape Specifications	7 of 7





Project Team:  
 Property Owner: Celebration Pointe Property Development LLC  
 3800 Chesapeake Ct.,  
 Longwood, FL 32779  
 Applicant: J. D. Morris, Florida LLC  
 1300 Avenida Ocean North, Box 210,  
 Fortera, FL 32807  
 Land Planner: Lucido & Associates  
 Landscape Architect: 201 East Ocean Boulevard  
 Stuart, Florida 34984

**Celebration Pointe  
 Major Amendment**  
 City of Fort Pierce  
 Approved Site Plan  
 Exhibit

Date	By	Description
6.28.15	JJ	Final Submittal
7.26.15	AJ	Response to Comments

SCALE: 1" = 100'  
 SHEET # 1018  
 Thomas P. Lucido

Designer: JJ  
 Manager: BN  
 Project Number: 18.081  
 Municipal Number: ---  
 Computer File: ---

**Typical Lot - Single Family**  
 62' x 200' N.T.S.

**Typ. Lot - 1 Story Townhome**  
 (90.3' x 90') N.T.S.

**Typ. Lot - 2 Story Townhome**  
 (23.8' x 82') N.T.S.

**Typical Landscape Buffer Section**  
 Scale 1"=30'

**Site Data:**

Existing Zoning	Former
Proposed Zoning	Existing
Land Use Designation	RM
Total Site Area	47.14 ac
Total Dwelling Units	755 units
Single Family Homes	318
Single Story Villas	202
Two Story Townhomes	145
Density	5.12 du/ao
Open Space	53.50 ac (56.35%)
Landscape Area/Open Space	3162 ac
Lake	2198 ac
Total Impervious Area	58.79 ac (59.95%)
Dwelling Units	357 ac (69.6%)
Pavement (Road, Drive, Stewal)	25.91 ac (68.26%)
Total Pervious Area	88.36 ac (80.05%)
w/ In Lot	23.66 ac (68.22%)
w/ In ROW	10.00 ac (7.48%)
Landscape Area/Common Area	3162 ac (51.49%)
Lake	2198 ac (54.87%)

**Minor Adjustment Notes:**  
 Celebration Point PUD approved January 18, 2005  
 Minor Adjustment as follows:  
 1. Relocation of Sales Office  
 2. Relocation of Models  
 3. Location of Construction Trailer

**General Notes:**

- All existing public or private roadways within 150' of the project's access points are shown on plan.
- Irrigation will conform to Local and State Regulations regarding water conservation.
- All utilities will be placed underground.
- Foot and patio structures allowed 6' side setbacks on interior lots, 10' setback on corner lots, 0' rear, 6' setback interior lots only for single family residences.
- Site clearing has commenced as of March 2006, with the infrastructure to be completed by the beginning of 2008.
- Proposed residences will be two and three bedroom dwelling units.
- Refer to Engineering Drawings for the following information:  
 Identification of maximum residential buildable area  
 Existing and proposed utility and drainage easements  
 boundary/topographic/tree survey  
 conceptual water and sewer
- All residences shall maintain minimum 6' side setbacks and minimum 12' impervious.
- Site architectural concepts for information on typical single-family units. No two adjoining homes shall have the same street elevation.
- Utilities will be provided by Fort Pierce Utility Authority.
- Parking requirements of two parking spaces per unit are provided in the garage spaces and driveways.
- All requirements of Section 602.03 and Section 600.05.C with regards to wetland and tree protection are to be met.
- Per St. Lucie County Conservation Policy 612.2, a vegetated and functional littoral zone will be established as part of the surface water management system for all upland water bodies occurring on the site.

**Landscape Legend:**

- 7/4 Shrub Tree: Live Oak, Laurel Oak, East Palmetto Holly, Slash Pine, Flowering Tree, Crape Myrtle, Magnolia, Tree Ligustrum
- 4/0 Palm Tree: Cabbage Palm, Mexican Fan Palm, Medjool
- 7/80 Shrub & Groundcover: Manis, Hibiscus, Cordyline, Wax Myrtle, Firebush, Thymus, Pittosporum, Azalea, Liriodendron, Juniper, Blackberry

**Lighting Legend:**

- Streetlight 12' Mounting Height

**Site Data:**

Existing Zoning: Former  
 Proposed Zoning: Existing  
 Land Use Designation: RM  
 Total Site Area: 47.14 ac  
 Total Dwelling Units: 755 units  
 Single Family Homes: 318  
 Single Story Villas: 202  
 Two Story Townhomes: 145  
 Density: 5.12 du/ao  
 Open Space: 53.50 ac (56.35%)  
 Landscape Area/Open Space: 3162 ac  
 Lake: 2198 ac  
 Total Impervious Area: 58.79 ac (59.95%)  
 Dwelling Units: 357 ac (69.6%)  
 Pavement (Road, Drive, Stewal): 25.91 ac (68.26%)  
 Total Pervious Area: 88.36 ac (80.05%)  
 w/ In Lot: 23.66 ac (68.22%)  
 w/ In ROW: 10.00 ac (7.48%)  
 Landscape Area/Common Area: 3162 ac (51.49%)  
 Lake: 2198 ac (54.87%)

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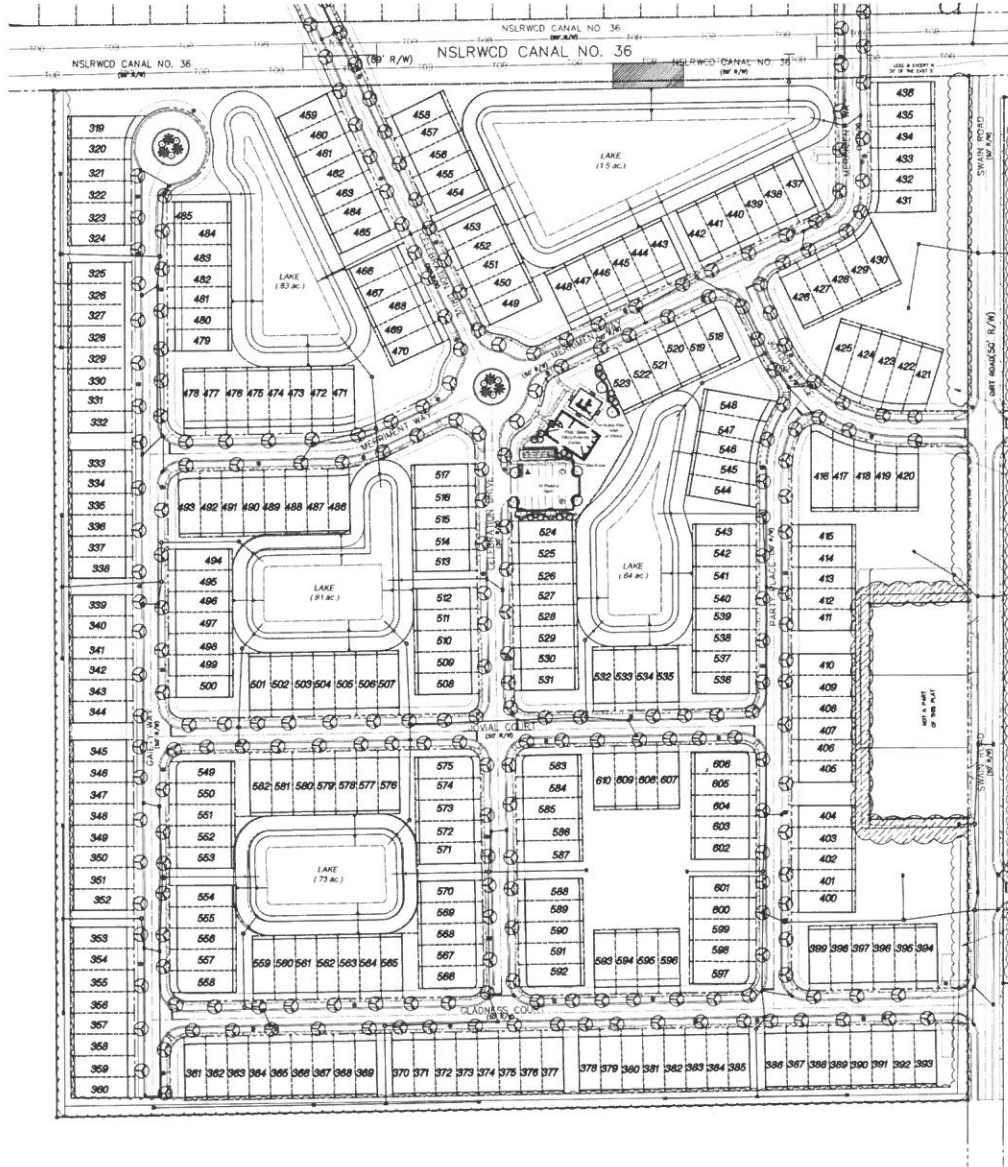
Area of Amendment

Thomas Lucido & Associates, P.A.  
 Land Planning/Landscape Architecture  
 146-811-0000/335  
 100 Avenue A, Suite 20, Ft. Pierce, FL 34946  
 770-547-1001, Fax 770-547-1005

Celebration Pointe  
 St. Lucie County, Florida  
 Minor Adjustment to PUD - Amended

Sheet  
 1  
 of  
 7

No.	Date	Description of Revision
1	08/25/07	Initial Design
2	09/10/07	Revised Design
3	10/15/07	Final Design
4	11/20/07	Final Design
5	12/15/07	Final Design
6	01/10/08	Final Design
7	02/10/08	Final Design
8	03/10/08	Final Design
9	04/10/08	Final Design
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197	12/10/23	Final Design
198	01/10/24	Final Design
199	02/10/24	Final Design
200	03/10/24	Final Design



**Site Data**

Total Site Area: 41.65 ac. (+/-)  
 Existing Use: Vacant/Semi-Improved Residential  
 Proposed Use: PD (Planned Development)  
 Zoning: RM (Medium Density Residential)  
 Future Land Use: RM (Medium Density Residential)

**Purpose of Amendment**

1. Replace clubhouse with new clubhouse that serves as a sales office. Add parking lot for sales office with landscape buffers for screening.
2. Add mail kiosk
3. Revise villa footprint with a "buildable area" footprint
4. Revise setbacks for all 292 plated villa lots



**Project Team:**

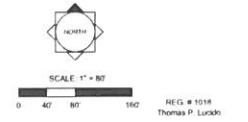
**Property Owner:** Celebration Home Properties Development LLC  
8800 Clearwater Ct  
 Longwood, FL 32779  
**Applicant:** CDT Homes - Florida LLC  
1700 Sandy Creek Road, Ste 210  
 Tampa, FL 33605  
**Lead Planner / Landscape Architect:** LUCIDO & ASSOCIATES  
10116 Clearwater Court  
 Fort Lauderdale, FL 33308

**Celebration Pointe Major Amendment**

City of Fort Pierce

**Area of Amendment Exhibit**

Date	By	Description
6.28.18	JJ	Initial Submittal
7.26.18	JJ	Response to Comments



Designer: JJ Sheet  
 Manager: BN  
 Project Number: 18-081 **2 of 7**  
 Municipal Number: ---  
 Computer File: ---

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Project Team:

Property Owner: Celebration Pointe Property Development LLC  
 8611 Woodstone Dr.  
 Longwood, FL 32779  
 Applicant: J.J. Lucido & Associates, LLC  
 128 Academy Street, Suite 200  
 Tampa, FL 33607  
 Land Planner: Lucido & Associates  
 Landscape Architect: J.J. Lucido & Associates  
 Staff: Thomas P. Lucido

## Celebration Pointe Major Amendment

City of Fort Pierce

### Typical Lot Exhibit

Date	By	Description
6/28/18	JJ	Initial Submittal
7/26/18	JJ	Response to Comments



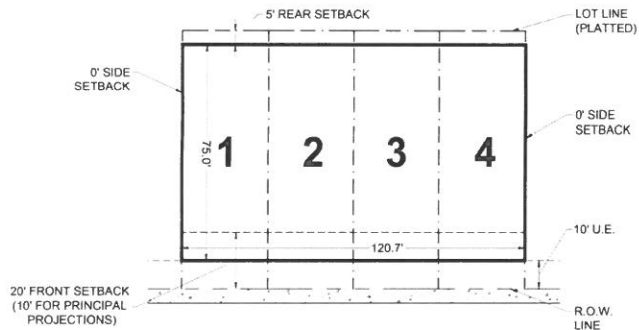
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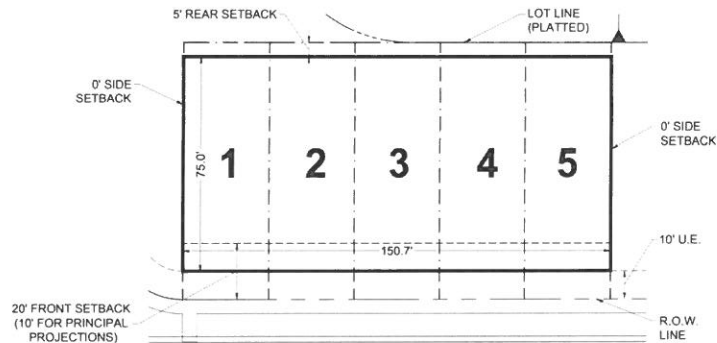
07/27/18  
Thomas P. Lucido

Designer: JJ  
 Manager: BN  
 Project Number: 18-081  
 Municipal Number: ---  
 Computer File: ---  
**3 of 7**

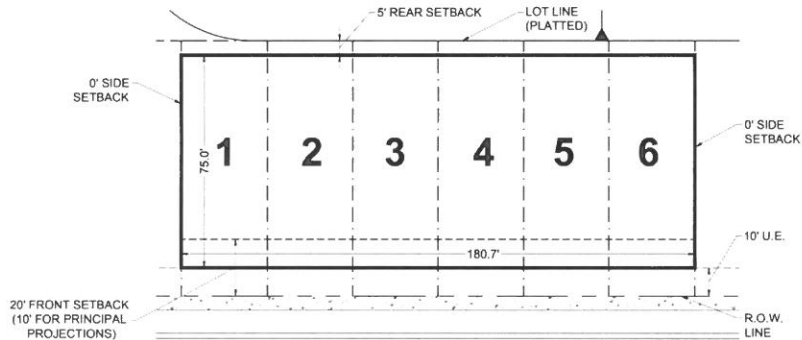
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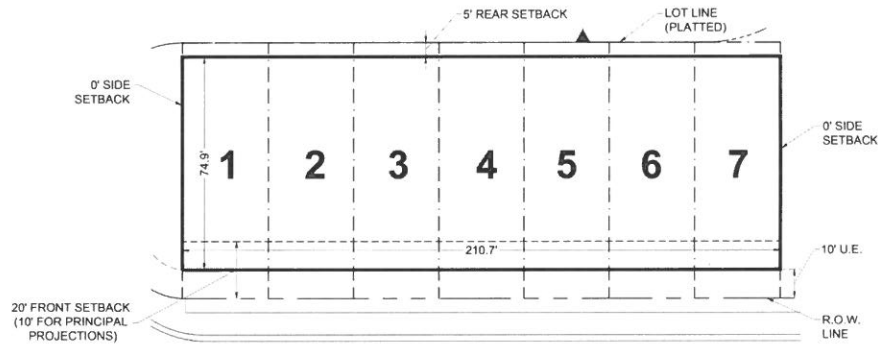
**Typical Lot: Typ. Lot - 1 Story Townhome (4-Unit Building)**  
Scale: 1" = 20' - 0"



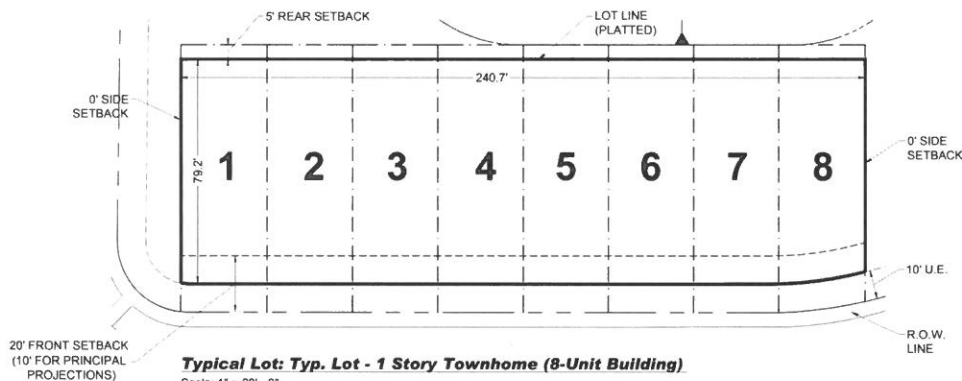
**Typical Lot: Typ. Lot - 1 Story Townhome (5-Unit Building)**  
Scale: 1" = 20' - 0"



**Typical Lot: Typ. Lot - 1 Story Townhome (6-Unit Building)**  
Scale: 1" = 20' - 0"



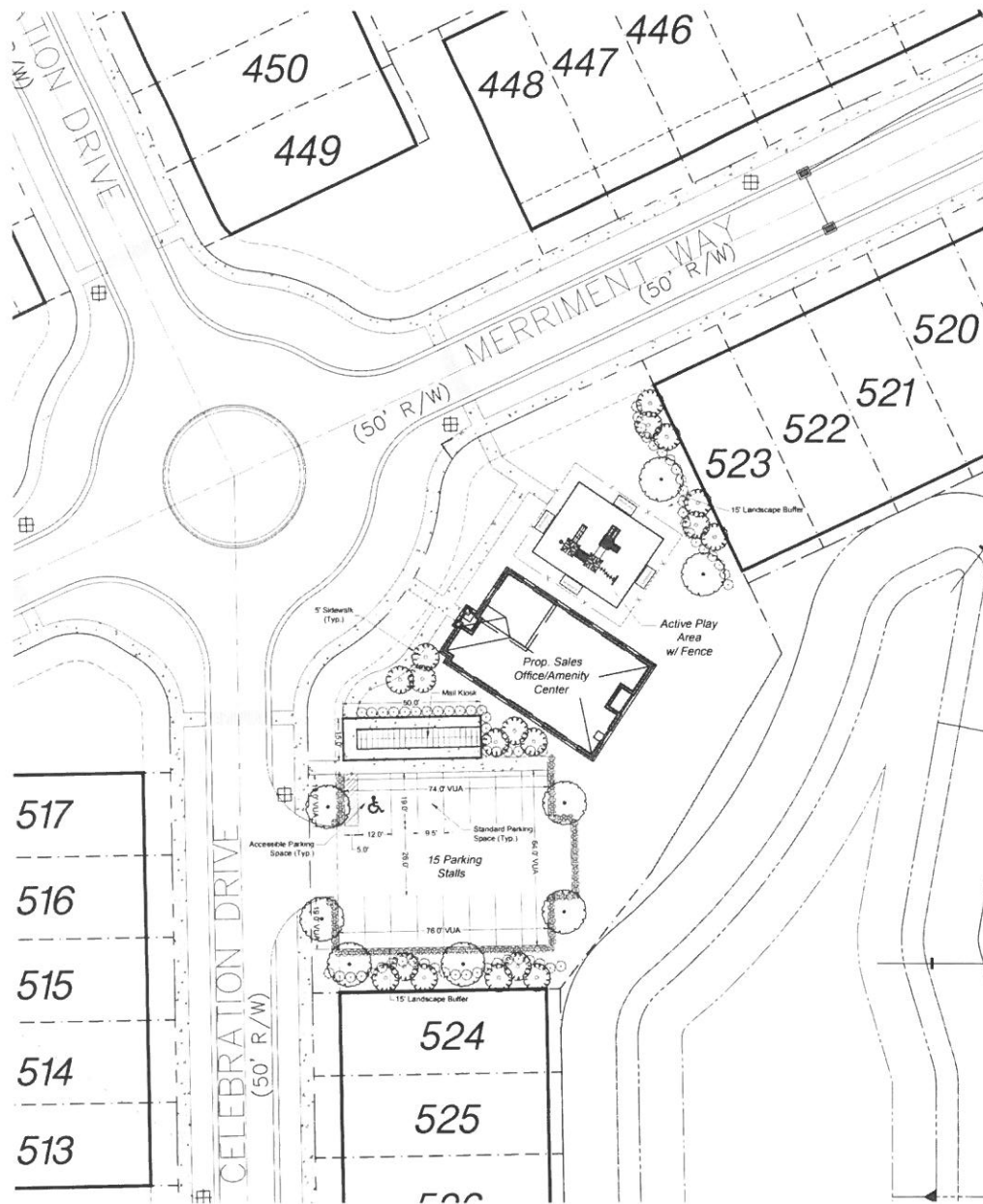
**Typical Lot: Typ. Lot - 1 Story Townhome (7-Unit Building)**  
Scale: 1" = 20' - 0"



**Typical Lot: Typ. Lot - 1 Story Townhome (8-Unit Building)**  
Scale: 1" = 20' - 0"

#### Setback Data Table

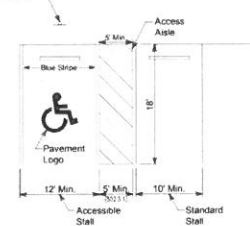
Front:	20' from Garage/10' from Principal Projection
Side:	0'
Side to Corner:	0'
Rear:	5' from Principal Projection/ 0' for Porches, Patios, and Balconies



**PLANT SCHEDULE AMENITY CENTER**

TREES	QTY	BOTANICAL NAME	COMMON NAME	SPECIES
	8	Quercus laevis	Southern Live Oak	250
	18	Salix glutinosa	Sweet Gum	FG
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SPECIES
	60	Chrysanthemum leucanthemum	White Flower Chrysanthemum	NC
	64	Munja verticillata	Red Muhlenbergia	30, 24' (H. F.)

Accessible Parking Sign



**Standard & Accessible Parking Space Detail**  
Not to Scale

**Landscape Calculations (Sales/Amenity Center)**

**Parking - Vehicular Use Area:**  
 Interior Vehicular Use Area: 5,084 sq. ft. total Vehicular Use Area  
 5,084 / 15 = 338.9 sq. ft. required Landscape Area  
 (337.8) / 100 = 4 Trees Required  
 Total Landscape Area Required = 337.8 sq. ft.  
 Total Trees Required = 4  
 Trees Provided = 4 Canopy Trees

**Parking Calculations**

Recreation Establishment: 2,369 sq. ft. @ 1 space per 200 sq. ft.  
 Parking Required: 12 Spaces  
 Parking Provided: 15 Spaces  
 Includes 1 Accessible Space

**General Notes**

- Parking space striping shall conform to Section 22-40C(8) of the Fort Pierce City Code.
- A fence shall be placed around all back flow prevention devices in accordance with Section 22-70(b) of the Fort Pierce City Code.
- All mirror assemblies to be 6" wide minimum.
- Parking space bumper rails shall comply with Section 22-63C(1) of the Fort Pierce City Code.
- Chapters 17 and 22, as well as Article XII, of the City of Fort Pierce Code shall be adhered to.
- All signage is to comply with Chapter 15 of the City of Fort Pierce Code of Ordinances.

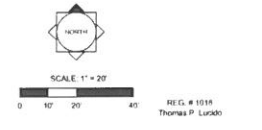


**Project Team:**  
 Property Owner: Celebration Pointe Property Development LLC  
 9800 Celebration Ct.,  
 Longwood, FL 32779  
 Architect: LDM Architects, LLC  
 138 Ashley Drive South, Suite 210  
 Tampa, FL 33607  
 Land Planner: Lucido & Associates  
 Landscape Architect: 177 East Street, Longwood  
 County, Florida 32709

**Celebration Pointe  
Major Amendment**

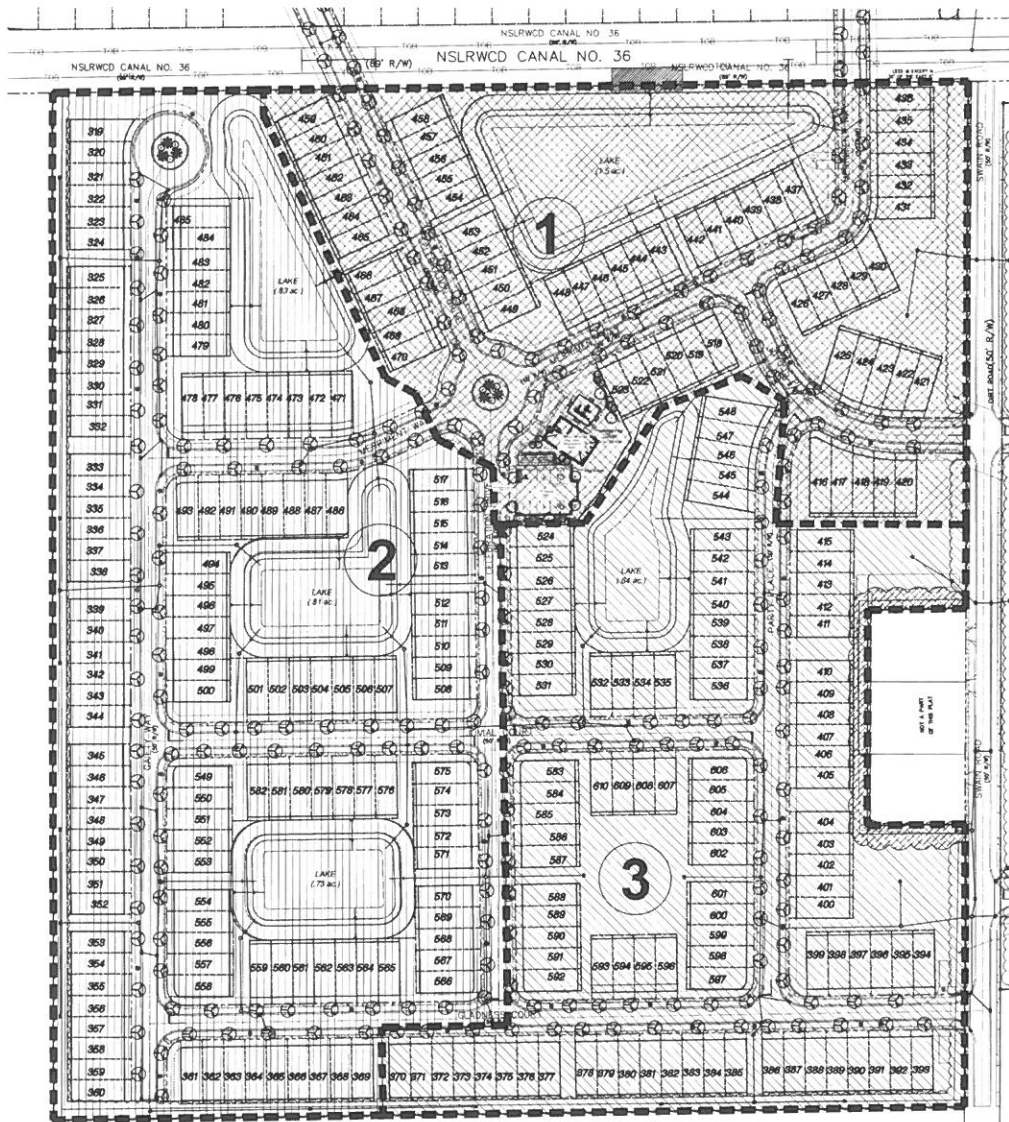
City of Fort Pierce  
 Amenity Center  
 Landscape Plan

Date	By	Description
6/28/18	JJ	Issue Submitted
7/26/18	JJ	Response to Comments



Designer: JJ Sheet  
 Manager: BN  
 Project Number: 18-081  
 Municipal Number:  
 Computer File:  
**4 of 7**

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- \*Phase Description:**
- Phase I
    - 61 Lots
    - Amenity Center (Sales Office and Active Play Area w/Fence)
    - Amenity Center Parking Lot and
    - Parking Lot Landscape
    - Mail Kiosk
    - Sidewalks
    - Street Trees
    - Buffer Landscape
  - Phase II
    - 132 Lots
    - Sidewalks
    - Street Trees
    - Buffer Landscape
  - Phase III
    - 99 Lots
    - Sidewalks
    - Street Trees
    - Buffer Landscape

- \*Approximate Dates of Construction:**
- Phase I
    - Start: March 2019
    - End: August 2019
  - Phase II
    - Start: September 2019
    - End: August 2020
  - Phase III
    - Start: September 2020
    - End: August 2021

**Phase Notes:**  
 As determined appropriate by the Developer, the following conditions shall apply to the Phase Description and Approximate Dates of Construction:  
 1.) The Phasing start dates and end dates are estimates only. The actual start dates and end dates for the Phases will be determined by market conditions.  
 2.) Developer reserves the right to construct multiple phases at the same time.

PREVIOUSLY APPROVED BUFFER (TYP.)

PREVIOUSLY APPROVED STREET TREES (TYP.)

PREVIOUSLY APPROVED BUFFER (TYP.)



**Project Team:**

Property Owner: Celebration Pointe Property Development LLC  
 3800 Clearwater St  
 Longwood, FL 32779

Applicant: Lucido & Associates LLC  
 1000 N. University Blvd, Ste 210  
 Tampa, FL 33602

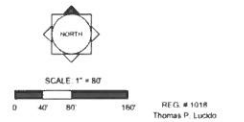
Lead Planner / Landscape Architect: Lucido & Associates  
 701 E. Hill Street, Suite 100  
 Miami, Florida 33131

## Celebration Pointe Major Amendment

City of Fort Pierce

### Phase Plan

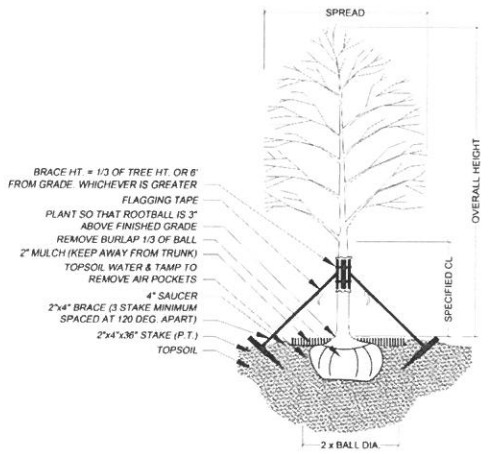
Date	By	Description
6/28/18	JJ	Initial Submittal
7/26/18	JJ	Response to Comments



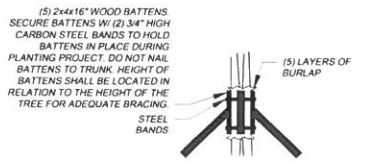
Designer: JJ  
 Manager: BN  
 Project Number: 18-081  
 Municipal Number: ---  
 Computer File: ---

Sheet  
**5 of 7**

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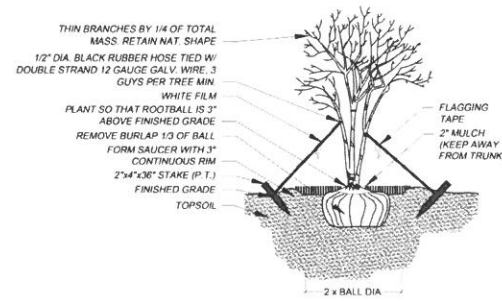
**TREE PLANTING & STAKING**  
NOT TO SCALE



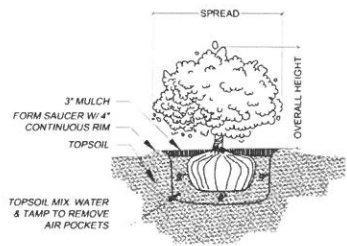
**BRACING DETAIL**  
NOT TO SCALE



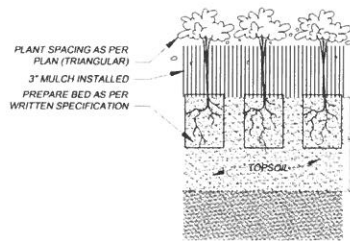
**PALM PLANTING - ANGLE STAKE**  
NOT TO SCALE



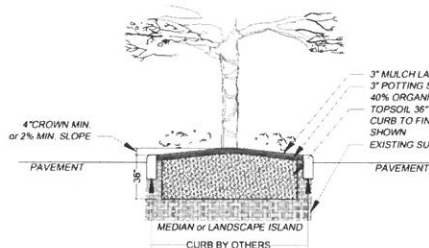
**MULTI-TRUNK PLANTING & GUYING**  
NOT TO SCALE



**SHRUB PLANTING**  
NOT TO SCALE

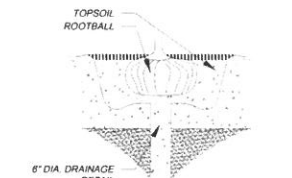


**GROUNDCOVER PLANTING DETAIL**  
NOT TO SCALE



**LANDSCAPE AREA PREPARATION DETAIL**  
NOT TO SCALE

- TOPSOIL SHALL BE NATURAL, PRIMA, FINE CHAMP SOIL POSSESSING CHARACTERISTICS OF REFINE SINTATIDE TOPSOIL IN THE VICINITY OF THE PROJECT SITE THAT PRODUCE A HIGH CROP RATE
- TOPSOIL SHALL HAVE A PH RANGE OF 5.5 TO 6.5 FREE FROM SUBSOL. PH TOX. LITTE. SOILS, CLAY, STONES
- STUBBLE ROOTS, TRUNKS, HORIZONTAL ROOTS, BRANCHES OR ANY OTHER MATERIAL WHICH MAY BE HARMFUL TO PLANT GROWTH OR UNDER PLANTING OPERATIONS
- TOPSOIL SHALL CONTAIN A MINIMUM OF 2% ORGANIC MATERIAL
- TOPSOIL MUST PERCOLATE WATER AT A RATE OF 1" PER HOUR (SEE ALSO DRAINAGE TESTING DETAIL FOR TESTS)
- LANDSCAPE AREA SOILS SHALL BE APPROVED BY LANDSCAPE ARCHITECT/OWNER PRIOR TO PLANTING

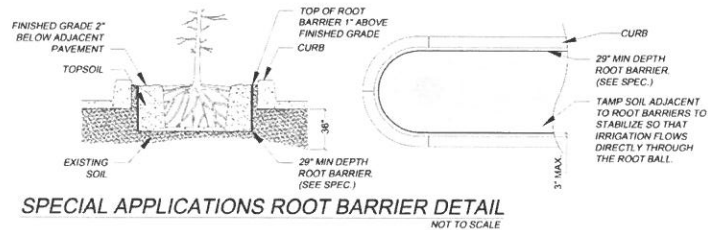


**DRAINAGE TESTING DETAIL**  
NOT TO SCALE

**DRAINAGE TESTING/DRAINAGE CHANNEL REQUIREMENTS.**

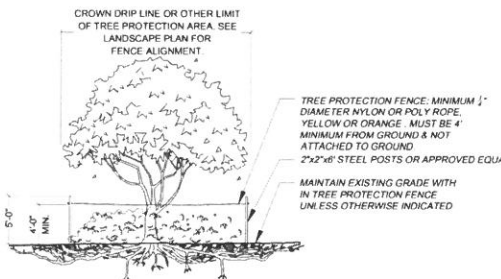
PRIOR TO PLANTING, ALL PLANTING PITS SELECTED FOR TESTING SHALL BE TESTED IN THE FOLLOWING MANNER:

- DIG EACH PLANTING PIT TO THE MINIMUM SPECIFIED SIZE
- FILL PLANTING PIT WITH TWELVE INCHES (12") OF WATER. IF THE WATER LEVEL DROPS FOUR (4") OR MORE WITHIN FOUR (4) HOURS, THE DRAINAGE IS SUFFICIENT AND A DRAINAGE CHANNEL IS NOT REQUIRED. IF THE WATER LEVEL DROPS LESS THAN FOUR INCHES (4") WITHIN THE FOUR (4) HOUR PERIOD, DRAINAGE CHANNEL IS REQUIRED.
- WHERE REQUIRED, THE DRAINAGE CHANNEL MUST EXTEND DOWN THROUGH THE NON POROUS SOIL AND INTO POROUS SOIL. (SEE DETAIL)
- ALL MATERIAL REMOVED FROM THE DRAINAGE CHANNEL SHALL BE DISCARDED.
- WHEN BACKFILLING PLANTING PITS WITH NATIVE TOPSOIL, CARE MUST BE TAKEN TO KEEP THE CONSISTENCY OF THE SOIL MIX THE SAME THROUGHOUT THE PLANTING PIT AND DRAINAGE CHANNEL.



**SPECIAL APPLICATIONS ROOT BARRIER DETAIL**  
NOT TO SCALE

- NOTES:
- ROOT BARRIER SHALL BE INSTALLED WHEN ROOT BALL IS LOCATED WITHIN 8" OF PAVEMENT AND OR CURB
  - ROOT BARRIER SHALL BE "BIO-BARRIER 29" DEPTH OR APPROVED EQUAL
  - ROOT BARRIER SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS



**TREE PROTECTION BARRICADE**  
NOT TO SCALE

- NOTES:
- SEE LANDSCAPE PLAN FOR FENCE ALIGNMENT.
  - NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
  - NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.



Project Team:

Property Owner: Celebration Pointe Properties, Development LLC  
3600 Clearwater Tr.  
Largo, FL 32717

Architect: L. C. Lucido & Associates, LLC  
100 W. Clear Lake, Suite 1000  
Fort Lauderdale, FL 33304

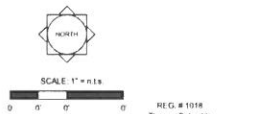
Land Planner: Lucido & Associates  
100 W. Clear Lake, Suite 1000  
Fort Lauderdale, FL 33304

**Celebration Pointe Major Amendment**

City of Fort Pierce

**Landscape Details**  
(Sales Parking and Amenity Buffers)

Date	By	Description
8.28.18	JJ	Issue Submitted
7.26.18	JJ	Response to Comments



Designer: JJ  
Manager: BN  
Project Number: 18-081  
Municipal Number: ---  
Computer File: ---

Sheet: **6 of 7**

LANDSCAPE SPECIFICATIONS  
PART 1 GENERAL CONDITIONS

- 1.01 SCOPE  
The landscape contract includes the supplying and planting of all trees, shrubs, vines, and ground cover together with all necessary labor, equipment, tools and materials needed for the successful completion, execution and maintenance of the landscape plans.
- 1.02 AGENCY STANDARDS  
Grades and standards of plant materials to be used shall be true to name, size, condition and graded Florida #1 or better as stated in Grades and Standards of Florida Plant Materials published by the State of Florida Department of Agriculture Forestry and Fisheries.
- 1.03 SITE EXAMINATION  
The Landscape Contractor shall personally examine the site and fully acquaint themselves with all of the existing conditions in order that his own understanding may afterwards arise as to the character or extent of the work to be performed, and additionally, in order to acquaint himself with all precautions to be taken in order to avoid injury to property or persons. No additional compensation will be granted because of any unusual difficulties which may be encountered in the execution or maintenance of any portion of the work.
- 1.04 ERRORS AND OMISSIONS  
The plan set is a part of the drawings and is furnished as a reference. The plan set indicates the name, size and quantities of specific plant materials as called for and is based on the drawings. The Landscape Contractor is responsible for his own quantity count, and any discrepancy between drawings and a plant list shall be considered as correct on the drawings.
- 1.05 EXECUTION OF THE WORK  
The Landscape Contractor shall have his labor crew controlled and directed by a Foreman well versed in plant materials, planting methods, making plans, and coordination between job and nursery in order to execute installation correctly and in a timely manner.
- 1.06 PROTECTION OF PUBLIC AND PROPERTY  
The Landscape Contractor shall protect all materials and work against injury from any cause and shall provide and maintain all necessary safeguards for the protection of the public. He shall be held responsible for any damage or injury to persons or property which may occur as a result of his fault or negligence in the execution of the work, i.e. damage to underground pipes or cables.
- 1.07 CHANGES AND EXTRAS  
The Contractor shall not start work on any changes or "extras" in the project until a written agreement setting forth the adjusted price has been executed by the Owner and the Contractor. Any work performed on changes or "extras" prior to execution of a written agreement may or may not be compensated for by the Owner at his discretion.
- 1.08 GUARANTEE  
The Landscape Contractor shall furnish a written guarantee warranting all materials, workmanship and plant materials, except sod, for a period of 18 MONTHS from the time of completion and acceptance by the Landscape Architect and Owner. Sod shall be guaranteed to 90 calendar days after acceptance by the Landscape Architect and Owner. All plant material shall be alive and in satisfactory condition and growth for each specific kind or plant at the end of the guarantee period. The guaranteeing of plant material shall be construed to mean complete and immediate replacement with plant material of the same variety, type, size, quality and grade as that of the originally specified material. During the guarantee period it shall be the Landscape Contractor's responsibility to immediately replace any dead or conspicuously material as determined by the Landscape Architect. The guarantee will be null and void if plant material is damaged by lightning, hurricane force winds, or any other acts of God, as well as vandalism or lack of proper maintenance.
- 1.09 CARE AND MAINTENANCE  
The Owner agrees to execute the instructions for such care and maintenance.
- 1.10 SAFETY  
It shall be the responsibility of the Landscape Contractor to protect all persons from injury and to avoid property damage. Adequate warning devices shall be placed and maintained during the progress of the work.
- 1.11 CONTRACTOR QUALIFICATION  
The Owner may require the applicant contractor (s) to qualify themselves to be a responsible entity by furnishing any or all of the following documentation:  
1. A financial statement showing assets and liabilities of the company current to date.  
2. A listing of not less than (3) completed projects of similar scope and nature.  
3. Permanent name and address of place of business.  
4. The number of regular employees of the organization and length of time the organization has been in business under the name.
- 1.12 INSURANCE AND BONDING  
The contractor shall submit proof of insurance for the job for the time period that the work is done. The minimum amount of insurance shall be \$100,000.00 per person and \$100,000.00 per aggregate or as required by owner and agreed to in the contract. The contractor/bidder shall be required to have this coverage in effect before beginning work on the site.
- 1.13 PERMITS AND CERTIFICATES  
All contractors shall secure and pay for all permits and certificates required for his/her class of work.
- PART 2 MATERIALS
- 2.01 PLANT MATERIALS  
A complete list of plants is shown on the drawings, including a schedule of quantities, sizes, and such other requirements deemed necessary. In the event discrepancies occur, the specifications on drawings shall govern.
- 2.02 Substitutions: Substitutions of plant materials or changes in size or spacing of materials will be permitted ONLY by written authorization by the Owner or the Landscape Architect. If plant material is not of sufficient size to meet specifications due to a letter of variance from the appropriate agency must be obtained by the Contractor prior to issuance of any change order. If material of greater size is to be accepted, the quantity of material shall be increased, at no additional cost to the Owner, to meet the intent of the drawings.
- 2.03 All plant materials shall have a habit of growth that is normal for the species and shall be healthy, vigorous and equal to or exceed the measurements specified in the plant list, which are the minimum acceptable sizes. Plants shall be measured before pruning with branches in normal position. Any necessary pruning shall be done at the time of planting.
- 2.04 All plant materials shall be nursery grown, unless otherwise noted. Florida #1 or better and shall comply with all required inspections, grading standards and all plant materials as set forth by the Florida Department of Agriculture's Grades and Standards for Nursery Plants, most current edition and Grades and Standards for Nursery Plants, most current edition.

- Plants that do not have the normal balance of height and spread typical for the respective plant shall not be acceptable.
- The Landscape Contractor shall install each plant to display its best side. Adjustments may be required if plants are not installed properly and/or approved by the Landscape Architect at no additional cost to owner.
- INSPECTION  
The Landscape Architect and Owner may inspect trees and shrubs at place of growth or at site before planting, for compliance with requirements for genus, species, variety, size and quality. The Landscape Architect and Owner retain the right to further inspect trees and shrubs for size and condition of balls and root systems, insects, fungus and latent defects, and to reject unsatisfactory or defective material at any time during progress of work. Rejected plant materials shall be immediately removed from project site.
- PROTECTION OF PLANT MATERIALS  
Balled and burlapped plants (B & B) shall be dug with firm natural balls of earth of sufficient diameter and depth to encompass the fibrous and feeding root system necessary for full recovery of the plant. Balls shall be firmly wrapped with burlap similar materials and bound with cord, rope, or wire mesh. All collected plants shall be balled and burlapped.
- Plants with broken, damaged or insufficient rootballs will be rejected.
- All plant material shall be protected from possible bark injury or breakage of branches. All plants transported by open trucks shall be adequately covered to prevent windburn, strong and damaging to plants.
- Plants which cannot be started immediately on delivery to the site shall be covered with moist soil, mulch or other protection from the drying of wind and sun. All plants shall be watered as necessary by the Landscape Contractor until planted.
- STORAGE  
All plant materials shall be stored on the site in designated areas specified by the Landscape Architect or Owner's agent.
- No plant material shall be stored longer than seventy-two (72) hours unless approved by Landscape Architect and/or Owner.
- The Landscape Architect reserves the right to reject any plant materials not in conformance with these specifications.
- All rejected material shall be immediately removed from the site and replaced with acceptable material at no cost to the Owner.
- PROTECTION DURING PLANTING  
Trees moved by winch or crane shall be thoroughly protected from chain marks, grinding or bark slippage by means of burlap, wood burlap or other approved methods. Batters shall NOT be attached to the tree or bark.
- TOP SOIL  
Planting soil for all plantings shall consist of topsoil and be natural, friable, fertile, free leamy soil possessing characteristics of representative topsoil in the vicinity of the project site that produces heavy growth. Topsoil shall have a PH range of 5.5 - 7.4, free from subsoil weeds, stems, roots, trash, herbicides, toxic substances, or any other material which may be harmful to plants, or hinder planting operations. Topsoil shall contain a minimum of 3% organic material. Topsoil must permeate water at a rate of 1" per hour. (See also drainage testing detail for trees).
- Landscape Area Preparation: The intent of this section is to ensure a healthy growing environment for all planting material in all landscaped areas. Landscape Contractor to assume a valid soil prior to planting to ensure conformance to all definitions of "Topsoil" (see landscape Area Preparation Detail). In addition, a 1" layer of high organic (min 60%) peat moss shall be added to the topsoil and mix in at time of planting. Fast or slow releasing N/P/K is recommended source for imported Topsoil (if needed) as well as the top 1" layer of peat moss.
- Filling soils must meet all definitions of "Topsoil" as described above in all planting areas throughout the site. If existing soils do not meet all definitions of "Topsoil", please refer to the "Landscape Area Preparation" detail. All amendment may require a valid soil to be tested by an accredited testing laboratory. A valid soil test is required. Contractor shall contact soil testing lab directly to confirm such lab's soil collection and transport protocol, all costs if any shall be provided by the Contractor. Contractor shall provide to Landscape Architect for review the results of the soil test if conducted. Contractor shall schedule an on-site meeting with Landscape Architect to review a soil test and imported soils prior to planting. The Landscape Area Preparation is the responsibility of the Landscape Contractor. He/she shall accept all responsibility of planting soils and shall honor all guarantee items in section 1.08.
- FERTILIZER  
Commercial fertilizer shall comply with the state and local fertilizer laws. Nitrogen shall not be less than 40% from organic source. Inorganic chemical nitrogen shall not be derived from the sodium form of nitrate. Fertilizers shall be delivered to the site in unopened original bags, each bearing the manufacturer's guaranteed analysis. Any fertilizer that becomes caked or otherwise damaged shall be rejected.
- 1 thoroughly mix 4 lbs. of commercial fertilizer to each cubic yard of planting soil.
- 1 amended fertilizer shall be uniform planting tablets, 30-10-5 formula, 21 gms or equal. All trees and shrubs shall be fertilized with balanced fertilizers as follows: When backfilling plants, fertilizers shall be equally applied and placed adjacent to the ball mo-way in accordance with the following rates:
- 1 gallon container 1 tablet
  - 3 gallon container 2 tablets
  - 5 gallon container 3 tablets
  - 7 gallon container 4 tablets
- Large tubs, wire baskets, grow bags, and balled and burlapped material shall have 1 tablet for each 1/2" inch of trunk diameter (measured 1' feet from ground) or for each foot of height or spread of larger shrub material. The Landscape Architect reserves the right to inspect and review the application of fertilizer.
- MULCH  
Mulch material shall be clean, dry, free of weeds, seeds and pests, mounded at the time of application to prevent wind displacement. Cypress A or Red mulch is prohibited.
- All trees and shrub balls shall receive 1" mulch immediately after planting and thoroughly watered. 1 poly 2" max. on tree & palm roots, keep 4" away from tree & palm trunks or as required by local jurisdiction.
- IRRIGATION  
The Landscape Contractor shall ensure care in digging and other work so as not to damage existing work, including overhead water, underground pipes and cables and the pipes and hydrants of watering systems. Should such overhead or underground obstructions be encountered which interfere with planting, the owner shall be consulted and contractor will adjust the location of plants to clear such obstruction. The Contractor shall be responsible for the immediate repair of any damage caused by his work.
- GRADING  
Grading for drainage, swales, etc. to within 4 inches of the finished grade to be provided by others.
- PLANTING  
Planting shall take place during favorable weather conditions.
- The Contractor shall call for utility location and ascertain the location of all utilities and easements so proper precautions can be taken to not damage or encroach on them.
- The Planting shall be located where it is shown on the plan. No planting holes shall be dug until the proposed locations have been staked on the ground by the Contractor.
- Cavation of holes shall be 4" and the required subgrade as specified on the planting details located in the landscape plans. Plant pits shall be circular in outline and shall have a profile which conforms to the aforementioned "1" tree and shrub Planting Details".
- A representative number of planting pits (a minimum of one in every 25 feet throughout the entire site) shall be tested for proper drainage. See Landscape Details for complete testing methods and requirements.
- Planting pits shall be excavated to the following dimensions and backfilled with Topsoil - see Landscape Area Preparation Detail.

- 1 Gallon material (1 gal.): 12" x 12" x 12" min.  
1 Gallon material (1 gal.): 20" x 20" x 18" min.  
1/2 Gallon material (1/2 gal.): 10" x 10" x 12" min.  
1/4 Gallon material (1/4 gal.): 6" x 6" x 6" min.  
1/2" x 12" x 12" x 12" min. (1/2" x 12" x 12" x 12" min.)
- No planting or laying of sod shall be initiated until the area has been cleared of a vicinity and of other plant materials, rough grass, weeds, debris, stones, etc. and the ground has been brought to an even grade, with positive drainage away from buildings and inwards down streets and gutters and Approved by Landscape Architect or Owner's rep.
- Each plant shall be planted in an individual hole as specified for trees, shrubs, and vines.
- All plants shall be set to ultimate finished grade. No filling will be permitted around trunks or stems. All ropes, wire, stakes, etc. shall be removed from sides and ends of the ball and removed from hole before filling.
- All flagging roots shall be removed from trees and shrubs before planting.
- Cuts or cavation (8" from all holes shall be removed from the site, at no additional expense to Owner).
- All palms shall be backfilled with sand, thoroughly washed in during planting operations and with a shallow saucer depression left at the soil line for future watering. A saucer area shall be top-dressed two (2") inches deep with topsoil and left in a neat, clean manner.
- PRUNING  
Remove dead and broken branches from all planting material. Prune to obtain typical growth habit of individual plants with as much height and spread as possible in a manner which will preserve the plant's natural character.
- Make all cuts with sharp instruments flush with trunk or adjacent branch, in such a manner as to ensure elimination of stubs (cuts made at right angles to line of growth will not be permitted).
- Trunks shall not be peeled or topped.
- If remove all trimming from site.
- GRUBBING  
All trees over six (6) feet in height shall immediately after setting to proper grade be pruned with three sets of two strands, 1/2" gauge machine galvanized iron in tripod fashion. See Detail.
- It shall not be necessary to cover the ground with an approved protection device at all contact points. It shall be fastened in such a manner as to avoid pulling crooked apart.
- Stake & H-rod all trees larger than 12" on 4" x 4" detail. Stakes shall be 2" x 2" lumber of sufficient length to satisfactorily support trees.
- Cables for cabling trees shall be galvanized or cadmium plated and shall be of adequate size and strength to properly sustain light duty wires.
- WATER  
Each plant or tree shall be thoroughly watered after planting. Watering of all newly installed plant materials shall be the responsibility of the Landscape Contractor until free acceptance by the Landscape Architect.
- Prior to installing any irrigation system components, the contractor shall obtain a water sample from the proposed water supply and conduct a particle size and runoff analysis on the sample using the services of a reputable lab verified in such analysis. Submit the test results to the owner's owner's representative for review and approval. Do not proceed further with system installation until given written approval to do so.
- NOTE  
The Landscape Contractor shall not add soil indicated on the drawings.
- It shall be the responsibility of the Landscape Contractor to fine grade all landscape areas, minimizing all bumps, depressions, slopes, stakes, and other debris.
- The sod shall be firm, tough, mature, having a compacted growth of grass with good root development. It shall contain no noxious weeds, or any other objectionable vegetation, fungus, insects, or disease. The soil embedded in the sod shall be good clean earth, free from stones and debris.
- Before being cut and lifted, the sod shall have been mowed at least three times with a clean mower, with the final mowing not more than seven days before the sod is cut. The sod shall be carefully cut into uniform dimensions.
- 4-6" x fertilizer with all trace elements to be applied at the rate of 40 lbs. per 1,000 sq. ft. prior to laying sod.
- Sod shall be laid with closely abutting, staggered joints with a tapered or rolled, even surface.
- The finished level of all sod areas after settlement shall be one (1") inch below the top of abutting curbs, walks, paving and wood floors to allow for building up.
- If in the opinion of the Landscape Architect, no dressing is necessary after rolling, clean yellow sand will be evenly applied over the entire surface and thoroughly mixed in.
- NOTES  
The Landscape Contractor shall remove all vegetation and rocks larger than 1" in diameter from areas to be seeded, scantily if any, then apply fertilizer at a rate of 500 lbs. per acre.
- Application: Argentine Bahia (1855 seed), 200 Pounds per acre mixed with common hulled Bermuda seed, 100 lbs. per acre. If other seed or mixes shall be applied per the manufacturer's instructions.
- It must immediately after seeding with a minimum 2000 pound roller, then apply straw mulch at the rate of 2,500 pounds per acre.
- Apply fertilizer at the rate of 150 lbs. per acre 45-60 days after seeding.
- CLEANING UP  
The contractor shall at all times keep all provisions of waste materials or rubbish caused by his employment or work. He shall leave all premises "broom clean" when completed with his work.
- MAINTENANCE  
Maintenance shall begin immediately after each plant is installed and shall continue until all planting has been accepted by the Owner or Landscape Architect. Maintenance shall include watering, weeding, removal of dead materials, resetting plants to proper grades or length positions, spraying, restoration of planting saucer and/or any other necessary operations.
- Proper protection to lawn areas shall be provided and any damage resulting from planting operations shall be repaired promptly.
- Replacement of plants during the maintenance period shall be the responsibility of the Contractor, including vandalism or damage on the part of others, lighting, or hurricane force winds, unless final acceptance.
- In the event that weeds or other undesirable vegetation become prevalent, it shall be the Contractor's responsibility to remove them.
- Trees or other plants material which fall or are blown over during the maintenance period will be reset by the Contractor at no additional expense to the Owner, the only exception being hurricane force winds.
- CUMPLETION, INSPECTION AND ACCEPTANCE  
Completion of the work shall mean the full and complete compliance and conformity with the provisions as presented or implied in the Drawings and in the Specifications, including the complete removal of all trash, debris, and any other work created by the Landscape Contractor.
- Inspection of work to determine completion of contract, a closure of the possible replacement of plants, will be made by the Owner and/or Landscape Architect at the conclusion of all planting and at the request of the Landscape Contractor.
- A plant material shall be alive and in good growing condition for each specified kind or plant at the time of acceptance. If the planting of each plant according to Florida Codes and Standards shall be equal to or better than that called for in the plans and in these Specifications at the time of final inspection and acceptance.
- A final inspection, the Landscape Contractor shall be notified by the Owner of the acceptance of all plant materials and workmanship, is a closure of the possible replacement of plants subject to guarantee.
- All trees & shrubs shall be straight and in correct position per the landscape plans, details and specifications. All nursery, shipping and identification tags & ribbons shall be removed from trees & shrubs immediately after planting.



Project Team:

Property Owner	Campanella Plaza Properties, LLC 8800 Woodloch Dr. Lauderdale, FL 33322
Architect	LUCIDO & ASSOCIATES 201 Palm Ocean Boulevard Suite 100, Fort Lauderdale, FL 33304
Landscape Architect	LUCIDO & ASSOCIATES 201 Palm Ocean Boulevard Suite 100, Fort Lauderdale, FL 33304

# Celebration Pointe Major Amendment

City of Fort Pierce

## Landscape Specifications (Sales Parking and Amenity Buffers)

Date	By	Description
6/25/18	JL	Final Submittal
7/26/18	BJ	Response to Comments



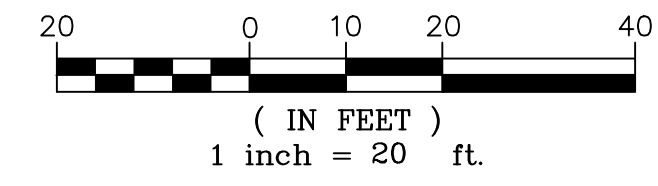
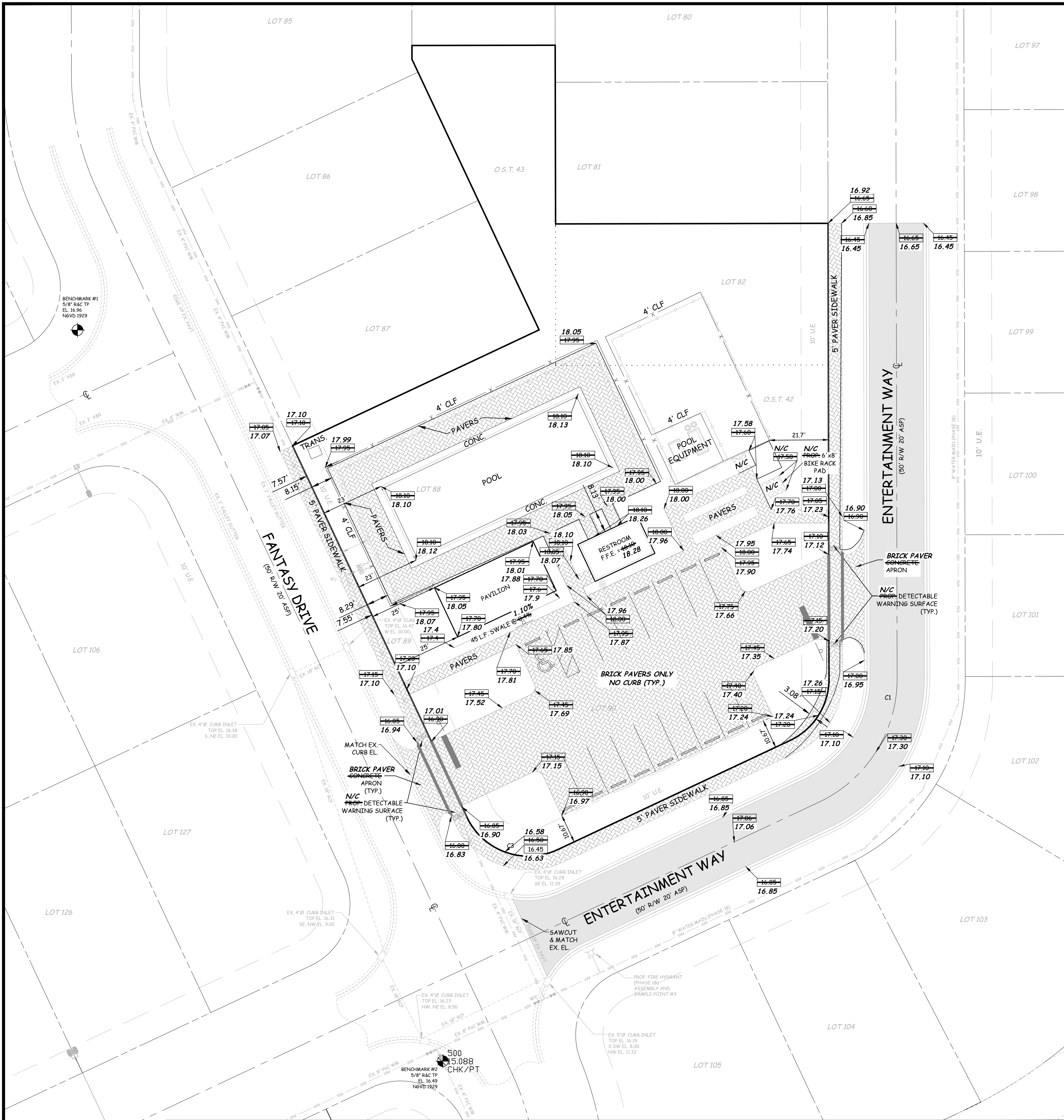
DATE: 10/18  
THOMAS P. LUCIDO

Designer	JL	Sheet
Manager	BJ	BN
Project Number	18-081	
Multiplex Number	—	
Computer File	—	

7 of 7

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# RECORD ASBUILT



LEGEND			
	EXISTING GRADE ELEVATION		EXISTING GRAVITY SEWER MAIN
	PROPOSED ELEVATION (H.P. = HIGH POINT)		EXISTING EDGE OF PAVEMENT
	RUNOFF FLOW DIRECTION		EXISTING LIGHT POLE
	PIPE INTERFERENCE POINTS		PROPOSED CATCH BASIN
	EXISTING WATER MAIN		PROPOSED CLEAN OUT
			PROPOSED ASPHALT PAVEMENT

NOTE:  
ALL ELEVATIONS SHOWN OR REFERENCED WITHIN THESE PLANS ARE BASED UPON NORTH GEODETIC VERTICAL DATUM OF 1929 (N.G.V.D.). TO CONVERT FROM N.G.V.D. '29 TO N.A.V.D. '88, SUBTRACT 1.48' TO THE N.G.V.D. ELEVATIONS TO GET N.A.V.D. ELEVATIONS.

NOTE:  
ALL DRAINAGE PIPE JOINTS, INCLUDING ROUND CONCRETE PIPES, SHALL HAVE A FILTER FABRIC JACKET IN ACCORDANCE WITH FDOT ROADWAY AND TRAFFIC DRAINAGE STANDARDS. ALL RCP PIPE USED FOR EXFILTRATION SHALL HAVE SLOTS, IN ACCORDANCE TO FDOT INDEX #285.2 OPTION 'B'.

SEAL  
ENGINEER'S APPROVAL  
M. RANDALL RODGERS, P.E.  
FL. LIC. NO. 88212

VELCON ENGINEERING & SURVEYING LLC  
590 NW PEACOCK BLVD., SUITE #8  
PORT ST. LUCIE, FLORIDA 34986  
PHONE (772) 879-0477  
FAX (772) 879-0477



REVISIONS	
DATE	DESCRIPTION
06-29-20	ADD CROSS SECTIONS B & C

PAVING, GRADING, & DRAINAGE PLAN  
& SPECIFICATIONS

CELEBRATION POINTE  
NORTH AMENITY CENTER  
CITY OF FORT PIERCE, FLORIDA

### PAVING, GRADING & DRAINAGE ASBUILTS

#### SURVEYOR'S NOTES

- ELEVATIONS SHOWN HEREON REFER TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (N.G.V.D. '29).
- THE COORDINATES SHOWN HEREON REFER TO NAD 83 STATE PLANE FLORIDA EAST ZONE (1990 ADJUSTMENTS).

#### ABBREVIATIONS

- |  |  |
|--|--|
| (ASB) = ASBUILT                        | N/C = NOT CONSTRUCTED                    |
| B/P = BOTTOM PIPE                      | N/A = NOT APPLICABLE                     |
| CB = CATCH BASIN                       | N.A.V.D. = NORTH AMERICAN VERTICAL DATUM |
| C/O = CLEAN-OUT                        | O.R.B. = OFFICIAL RECORD BOOK            |
| CS = CONTROL STRUCTURE                 | P.G. = PAGE                              |
| COR. = CORNER                          | P.I.V. = POST INDICATOR VALVE            |
| D.D.C.V. = DOUBLE DETECTOR CHECK VALVE | POLY. = POLYETHYLENE                     |
| D.I.P. = DUCTILE IRON PIPE             | PROP. = PROPERTY                         |
| EL. = ELEVATION                        | P.V.C. = POLYVINYL CHLORIDE              |
| (EX) = EXISTING                        | R.P.Z. = REDUCE PRESSURE ZONE            |
| FDC = FIRE DEPARTMENT CONNECTOR        | SAN. = SANITARY                          |
| FHYD = FIRE HYDRANT                    | S.P. = SAMPLE POINT                      |
| F.L. = FIRE LINE                       | S.S. = SANITARY SERVICE                  |
| FLNG. = FLANGE ELEVATION               | T.J. = TEMPORARY JUMPER                  |
| F.M. = FORCE MAIN                      | TRANS. = TRANSFORMER                     |
| GRD. = GROUND ELEVATION                | T/P = TOP OF PIPE ELEVATION              |
| GV = GATE VALVE                        | T/W = TOP OF WALL                        |
| H.D.P.E. = HIGH DENSITY POLYETHYLENE   | W.M. = WATER MAIN                        |
| INV. = INVERT                          | W.S. = WATER SERVICE                     |
| L.F. = LINEAR FEET                     | W.V. = WATER VALVE                       |
|  | YRD. = YARD DRAIN                        |

**VELCON ENGINEERING & SURVEYING, LLC**  
CERTIFICATE OF AUTHORIZATION NO. LS 8206  
590 SW PEACOCK BLVD., SUITE 8  
PORT ST. LUCIE, FLORIDA 34986  
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ROBERT F. KEMERSON  
PROFESSIONAL SURVEYOR AND MAPPER  
STATE OF FLORIDA (PSM)#6285

SCALE: 1" = 20'  
DATE: 03/20/19  
DRAWN BY: SA  
CHECKED BY: SA  
CADD FILE: 19-10028.DWG

SHEET NO.: **2**

OF: 1

JOB No.: 19-1002

Current Pool Fence 6' vinyl



See page 2 for what we would like to add to the top of the fence

The black piece on top of the white vinyl fence is what we wish to install – this is why we need the variance.

