

KMA
ENGINEERING & SURVEYING, LLC
3001 INDUSTRIAL AVE 2
FT. PIERCE, FL 34986
PHONE: (772) 388-5005
L.B. NO. 8351

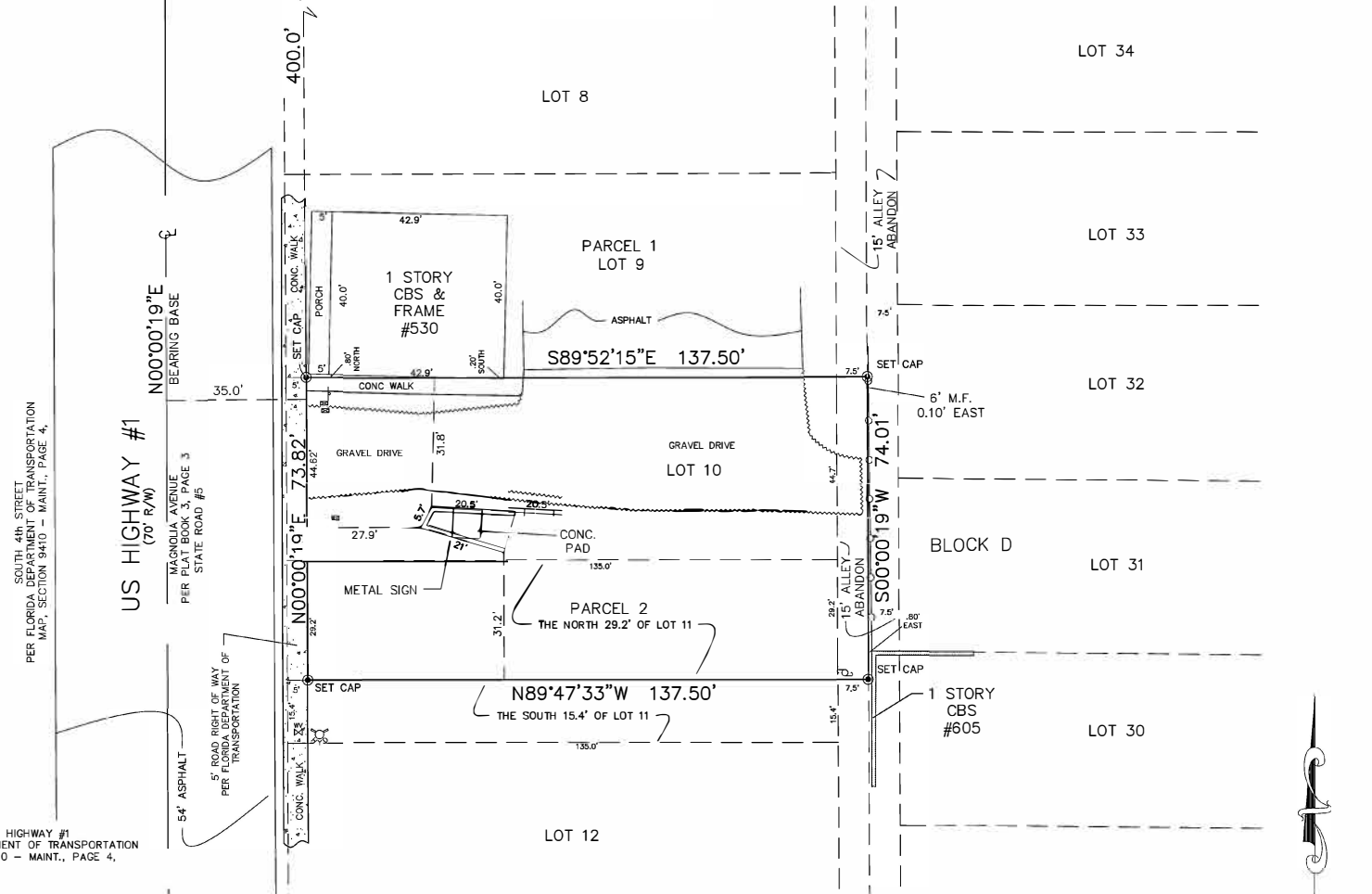
REVISIONS:		
BY:	DATE:	COMMENT:
RWC	9/26/24	REVISED CERTIFICATIONS

530 S. US HIGHWAY #1
FT. PIERCE, FLORIDA

BOUNDARY
SURVEY

PROJECT NO.:	24-2192
DRAWN BY:	RWC
CHECKED BY:	WEH
DATE:	09/24/24
SCALE:	1"=20'
SHEET NUMBER	
1	

DELAWARE AVENUE (30' R/W)
OAK AVENUE
PER PLAT BOOK 3, PAGE 3



SOUTH 4th STREET
PER FLORIDA DEPARTMENT OF TRANSPORTATION
MAP, SECTION 9410 - MAINT., PAGE 4.

US HIGHWAY #1
(70' R/W)

MAGNOLIA AVENUE
PER PLAT BOOK 3, PAGE 3
STATE ROAD #5

NOTE: US HIGHWAY #1
PER FLORIDA DEPARTMENT OF TRANSPORTATION
MAP, SECTION 9410 - MAINT., PAGE 4.

LEGEND OF ABBREVIATIONS

AVE.	AVENUE	ORB	OFFICIAL RECORDS BOOK
B.B.	BEARING BASE	PG.	PAGE
B.M.	BENCH MARK	P.B.	PLAT BOOK
CAP	5/8" IRON ROD & CAP STAMPED "KMA ENG & SURVEY LB 8351"	PID	PARCEL IDENTIFICATION NUMBER
		P.O.B.	POINT OF BEGINNING
		P.O.C.	POINT OF COMMENCEMENT
CMD	CONCRETE MONUMENT & DISK (AS NOTED)	PRM	PERMANENT REFERENCE MONUMENT
		R/W	RIGHT OF WAY
		S.	SOUTH
CMC	CONCRETE CONCRETE MONUMENT	SEC.	SECTION
(D)	DEED	SQ.FT.	SQUARE FEET
D.B.	DEED BOOK	ST.	STREET
E	EAST	SUB.	SUBDIVISION
ESMT.	EASEMENT	TR.	TRACT
FND.	FOUND	TWSP.	TOWNSHIP
IR	IRON ROD	W.	WEST
IRC	IRON ROD & CAP AS NOTED	⊙	MONUMENTATION AS NOTED
ID	IDENTIFICATION	⊕	WELL
(M)	MEASURED	⊙	UTILITY POLE
M.F.	METAL FENCE	⊕	WATER VALVE
M.H.	MANHOLE	⊕	SEWER VALVE
M.H.W.L.	MEAN HIGH WATER LINE	⊕	HYDRANT
MISC	MISCELLANEOUS	⊕	WATER METER
N&D	NAIL & DISK	⊕	SIGN
Nb.	NORTH		
NO.	NUMBER		
N.I.C.	NOT INCLUDED		

SURVEY NOTES

- PROPERTY LIES IN F.I.R.M. ZONE "X", AS PER MAP NUMBER 12111 C 0179 K, DATED 2/19/2020. FLOOD ZONES ARE APPROXIMATE AS SCALED FROM FLOOD INSURANCE RATE MAPS.
- UTILITIES SHOWN HEREON ARE VISIBLE ABOVE GROUND FEATURES. ADDITIONAL SUBSURFACE UTILITIES AND/OR FEATURES MAY EXIST.
- LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS-OF-WAY AND/OR EASEMENTS OF RECORD. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT SHOWN ON THIS SURVEY, THAT MAY BE FOUND IN THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.
- THE EXPECTED USE OF THE SURVEY AND MAP IS COMMERCIAL.
- ALL DISTANCES AND ELEVATIONS SHOWN ARE IN ACCORD WITH THE UNITED STATES STANDARD USING FEET.
- ALL DIRECTIONAL MEASUREMENTS SHOWN ARE IN THE FORMAT OF DEGREES, MINUTES AND SECONDS.
- LEGAL DESCRIPTION FROM WARRANTY DEED RECORDED IN OFFICIAL RECORD BOOK 3609, PAGE 0159, PUBLIC RECORDS OF ST. LUCIE COUNTY FLORIDA.
- SUBJECT PARCEL CONTAINS 10,147.5 SQUARE FEET.
- HORIZONTAL LOCATIONS WERE ESTABLISHED BY GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) REAL TIME KINEMATICS (RTK) USING FLORIDA DEPARTMENT OF TRANSPORTATION - FLORIDA PERMANENT REFERENCE NETWORK (FDOT - FPRN) WITH REDUNDANCY OF MEASUREMENTS PERFORMED. ALL HORIZONTAL ACCURACY IS 0.05 FOOT PLUS OR MINUS.
- ELEVATIONS (IF SHOWN) WERE ESTABLISHED BY GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) REAL TIME KINEMATICS (RTK) USING FLORIDA DEPARTMENT OF TRANSPORTATION - FLORIDA PERMANENT REFERENCE NETWORK (FDOT - FPRN) WITH REDUNDANCY OF MEASUREMENTS PERFORMED. ALL VERTICAL ACCURACY IS 0.10 FOOT PLUS OR MINUS.
- LAST DATE OF FIELD DATA ACQUISITION (BOUNDARY & TOPOGRAPHIC SURVEY) 09/03/24.
- ALL SET CAPS LABELED KMA LB 8351 ARE SUPPORTED WITH AN 18" LONG #5 REBAR. ALL FOUND CAPS ARE A 5/8" ROD WITH A CAP OR 4"x4" CONCRETE MONUMENT ON AS LABELED SURVEY.
- ALL DIMENSIONS ARE PLAT AND MEASURED UNLESS OTHERWISE NOTED.

LEGAL DESCRIPTION

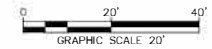
PARCEL 2
LOT 10, AND THE NORTH 29.2 FEET OF LOT 11, BLOCK "D" AND THE WEST 7.5 FEET OF VACATED ALLEY LYING IMMEDIATELY EAST AND ADJACENT THEREOF OF BOULEVARD DEVELOPMENT COMPANY'S RE-SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 3, PAGE 3 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

CERTIFIED TO:
The Lamar Company, LLC

THIS SURVEY MAP AND REPORT OR COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OR ELECTRONIC SIGNATURE OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

Digitally signed by William E Hayhurst
DN: cn=William E Hayhurst
Reason: I attest to the accuracy and integrity of this document
Date: 2024.09.27 15:16:40-0000

WILLIAM E. HAYHURST DATE
PROFESSIONAL SURVEYOR & MAPPER
FLORIDA REGISTRATION NO 4416



Produced in Florida, September 27, 2024, 3:08 PM, by 10467-7
 K:\GIS\PLATS\03-03-2024-241011_1B24

PHOTOS OF BILLBOARD









Sketch of proposed height
increase view



Site Plan



Raise height 10'

Criteria

Describe those conditions peculiar to the specific property and not applicable to other lands, structures, or buildings in the same zoning district.

Structures in this zone have a 25-foot setback. The property that is adjacent to our property has a structure with a zero-foot setback.

Do special conditions or circumstances result from actions other than that of yours? Please explain.

No special conditions result from the actions other than ours.

Identify any undue hardships or deprivation of commonly enjoyed property rights that would result in the literal interpretation of the code for the zoning district.

The adjacent building to the north sits directly on the property line with no setback obstructing the visibility of the billboard's rear face. Additionally, the current low placement of the board limits the usable space at ground level. Increasing the height will improve the visibility of the sign, enhance the visual openness of both our property and the neighboring one, and provide greater functionality and flexibility for ground-level use. Raising the billboard will also enhance safety for both drivers and pedestrians by increasing clearance and improving sightlines on the property.

What is the minimum variance that would give the reasonable use of the land, building, or structure?

We seeking the minimum variance we would need which is a 10 foot increase.

Explain how the variance request would not impair the intent of the zoning ordinance or be detrimental to the general public welfare.

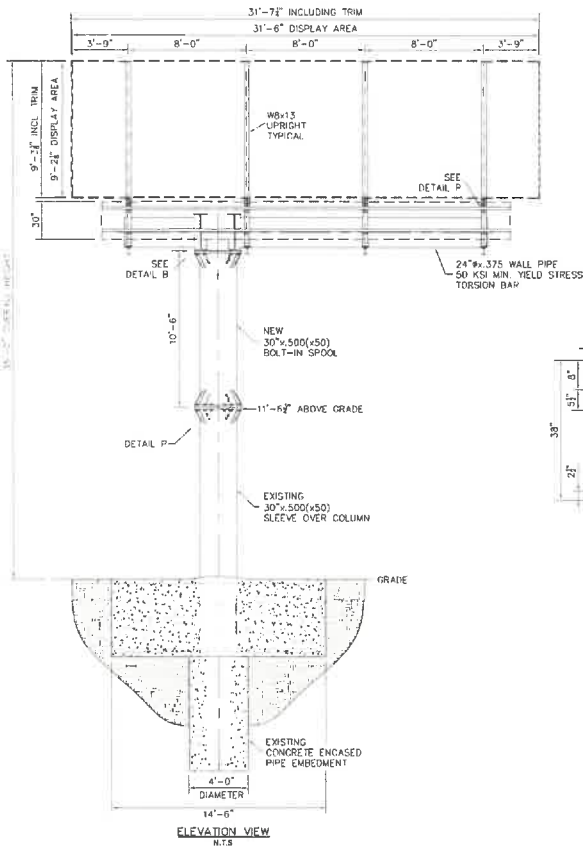
The requested variance to raise the height of the existing billboard by 10 feet will not impair the intent of the City of Fort Pierce's zoning ordinance, nor will it be detrimental to the general public welfare. The purpose of the zoning regulations is to promote the orderly and compatible use of land, ensure public safety and welfare, and support the economic and aesthetic integrity of the city. This request is consistent with those objectives for the following reasons:

Maintains Compatibility with Surrounding Development: Raising the height restores its visibility without increasing its sign face size or changing its use.

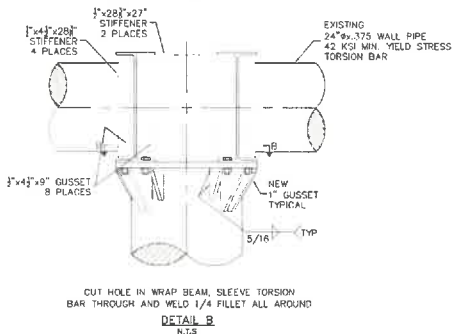
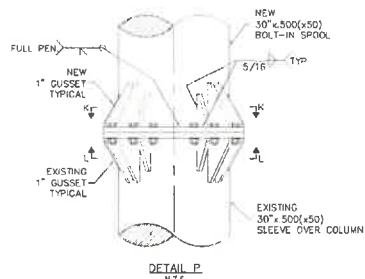
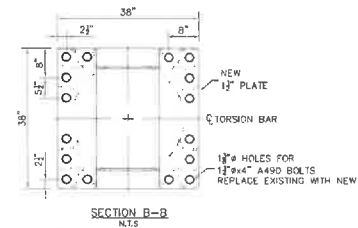
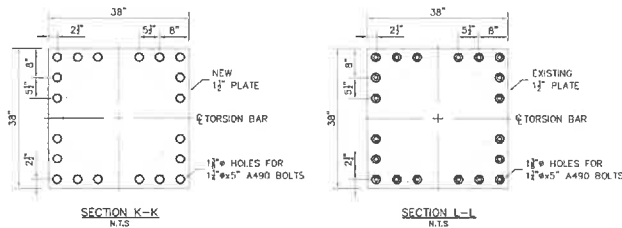
Enhances Public Safety and Property Functionality: By elevating the sign more usable space is created at the ground level, improving site circulation and allowing for safer and more efficient use of the property. This supports better land utilization in line with the city's development goals.

No Negative Impact on Adjacent Properties or Public Welfare: The variance does not create any adverse impacts such as obstruction of views or increased noise and traffic. In fact, by raising the sign the visual openness of both the subject property and neighboring parcels is improved. The visual aesthetics of the billboard will be improved as both faces will be fully visible and utilized enhancing its appearance and functionality to the public.

THE STRUCTURE SHOWN AS DESIGNED IS CAPABLE OF SUPPORTING ONE (1) DIGITAL DISPLAY WEIGHING UP TO 3,720# EACH.



REFER TO THOMPSON ENGINEERING SERVICES, L.L.C. DRAWING #ED-11484 (PROJ. #007125) FOR EXISTING COLUMN, FOUNDATION CAP AND UPPER STRUCTURE DETAILS.



- GENERAL NOTES:**
- All design, detailing, fabricating and construction shall conform to the following codes and specifications:
 - The Florida Building Code (2023 8th Edition) Risk category II/Exposure C.
 - American Society of Testing and Materials (ASTM) specifications.
 - Building Code Requirements for Reinforced Concrete (ACI 318-(Current Edition))
 - Code for Welding in Building Construction of the American Welding Society (AWS) (Current Edition)
 - Specification for the Design, Fabrication and Erection of Structural Steel for Buildings by The American Institute of Steel Construction (AISC) (Current Edition)
 - Concrete shall be $f_c=2500$ P.S.I. @ 28 days Compressive Strength, Standard Weight (150 P.C.F.)
 - Reinforcing Steel ($f_y=60,000$) shall be ASTM A-615 Grade 60
 - All reinforcing steel shall be free from mud, oil, rust or coatings that would reduce or destroy bond.
 - All reinforcing bars shall be 3/8 diameter minimum, except as noted.
 - Minimum concrete cover on top, straps and main bars shall be 5/8 inch for slab, wall and surfaces not exposed to weather or in contact with ground; 3 inches for unformed surfaces deposited against the ground except as noted.
 - Structural Material Specifications
 - Structural Steel and Plates shall be A-36
 - W-Shape I-beams shall be (F_y=50 ksi) minimum
 - Structural tubing shall be ASTM A-500, Grade B, (F_y=46 ksi)
 - Structural piping shall be ASTM A-53, Grade B, Type C or S, (F_y=35 ksi), ASTM A572 Grade 42 (F_y=42 ksi) or ASTM A572 Grade 50 (F_y=50 ksi), unless otherwise noted (see drawing for individual member specifications).
 - Anchor Bolts ($f_y=60,000$) shall be ASTM F-1554 Grade 36, unless otherwise noted.
 - High strength bolts for connections shall be ASTM D111-(Current Edition) E70hr.
 - Welding electrodes shall comply with AWS D11-(Current Edition) E70hr.
 - Design Wind Speed= 180 MPH (F.B.C.) Equivalent Wind Load= 51.80 PSF @ 30'-0\"/>

This drawing is for permit procurement purposes only and is for the sole use of F.F.S. and its designers. Unauthorized use is strictly prohibited.

Selective Structures, LLC
 811 East Avenue
 Athens, IN 47307

CET
 CARL E. THOMPSON, JR., P.E.
 Serving The Industry Since 1984
 Phone: (423) 781-6336 Email: carl@tssengr.com
 P.O. Box 458, Madisonville, TN 37354

Professional Engineer
 No. 36839
 STATE OF TENNESSEE
 PROFESSIONAL ENGINEERING

REVISIONS:
 R1-Added bolt-in spool to raise to 35'-0" OAH

DATE:	09/18/25
SCALE:	1/4"=1'-0"
PROJ #:	031625
W/C #:	ED-11484R1
SHEET #:	1 OF 1