

## **BOARD OF ADJUSTMENT AGENDA**

Board of Adjustment Regular Meeting - Thursday, February 12, 2026 - 2:00 p.m.  
City Hall - City Commission Chambers, 100 North U.S. #1, Fort Pierce, Florida

1. **CALL TO ORDER**
2. **PLEDGE OF ALLEGIANCE**
3. **ROLL CALL**
4. **CONSIDERATION OF ABSENCES**
5. **APPROVAL OF MINUTES**
  - a. Minutes from the January 22, 2026 meeting
6. **PUBLIC HEARINGS**
  - a. **PZVAR2025-00009**  
Variance - Lot Coverage  
Helseth Residence  
1601 Frances Avenue
  - b. **PZVAR2025-00008**  
Variance - Billboard Distance and Height  
601 N. US Highway 1
7. **DISCUSSION / OTHER BUSINESS**
8. **ELECTION OF CHAIR AND VICE-CHAIR**
9. **COMMENTS FROM THE PUBLIC**

10. **ADJOURNMENT**

Any person seeking to appeal any decision by the Board of Adjustment with respect to any matter considered at this meeting is advised that a record of proceedings is required in any such appeal and that such person may need to insure that a verbatim record of the proceedings is made including the testimony and evidence upon which the appeal is to be based.

Persons who require special accommodations under the Americans with Disabilities Act (ADA) should contact the Planning Department at (772) 467-3729, at least five (5) days prior to the meeting. Persons who are hearing or speech impaired may use the Florida Relay System by dialing 711.

**Planning Board of Adjustment Special Meeting 2 PM**

**Meeting Date:** 02/12/2026

**Re:** Board of Adjustment Minutes 1/22/26

**Submitted For:** Kev Freeman, Planning Director, Planning Department

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**Information**

**SUBJECT:**

Minutes from the January 22, 2026 meeting

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**Attachments**

Board of Adjustment Minutes 1/22/26

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**Form Review**

Form Started By: Alicia Rosenthal

Final Approval Date: 01/27/2026

Started On: 01/22/2026 04:52 PM

# DRAFT



CITY OF FORT PIERCE  
**BOARD OF ADJUSTMENT**

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**Board of Adjustment Minutes**

**OF THE REGULAR MEETING OF THE FORT PIERCE CITY BOARD OF ADJUSTMENT HELD ON THURSDAY, JANUARY 22, 2026, IN FORT PIERCE CITY HALL, COMMISSION CHAMBERS, 100 NORTH US HIGHWAY 1, FORT PIERCE, FLORIDA.**

**1. CALL TO ORDER**

**2. PLEDGE OF ALLEGIANCE**

**3. ROLL CALL**

Present: Allyson Mendez; Renella Mitchell; James Crist; Darrell Drummond; Jaimebeth Galinis, Chair

Staff Present: Felicia Holloman, Assistant City Attorney  
Kerry Driver, Senior Planner  
Alicia Rosenthal, Planning and Development Organizer

**4. CONSIDERATION OF ABSENCES**

All members were in attendance.

**5. APPROVAL OF MINUTES**

- a. Minutes from the December 4, 2025 meeting

Motion was made by Darrell Drummond, and seconded by James Crist to approve the minutes from the December 4, 2025 meeting.

AYE: James Crist, Darrell Drummond, Allyson Mendez, Renella Mitchell, Chair Jaimebeth Galinis

Passed

**6. PUBLIC HEARINGS**

- a. **PZVAR2025-00009**  
Variance - Lot Coverage  
Helseth Residence  
1601 Frances Avenue

The clerk introduced the Variance for lot coverage located at 1601 Frances Avenue.

The chair asked the Board attorney to explain the Quasi-Judicial Hearing procedures.

When acting as a quasi-judicial body, the Board is held to certain procedural requirements.

Quasi-judicial proceedings are less formal than proceedings before a circuit court, but are more formal than the other aspects of today's meeting. Quasi-judicial proceedings must follow basic standards of notice and due process, and decisions must be made based on competent substantial evidence. Therefore, board members have a duty to conduct quasi-judicial proceedings more like judges than legislators. This afternoon, the Board will follow the same uniform procedure in all quasi-judicial hearings.

The Chair called the proceeding to order.

The clerk confirmed the City complied with the advertisement and notice requirements.

The Chair inquired with the Board regarding ex-parte communications and asked the Clerk to call the roll:

Mr. Drummond - no  
Ms. Mendez - no  
Ms. Mitchell - no  
Mr. Crist - no  
Chair Galinas - no

Mr. Crist and Ms. Galinas stated they drove by the residence.

The Chair opened the public hearing.

The clerk was asked to swear in those wanting to speak during this Quasi-Judicial hearing. Individuals in the audience intending to speak on this item were asked to stand, raise their right hand, and administered an oath to tell the truth, the whole truth, and nothing but the truth. Those that were sworn in were asked to clearly state their name for the record and confirm they were sworn in at such time as they were asked to come forward to testify.

Staff Presentation: Ms. Driver gave an overview of the application and answered questions from the Board. She stated the applicant proposes to extend the roof over the existing rear driveway. Ms Driver said the site is approximately .2 acres and has a Future Land Use of RL, Residential Low and a Zoning of R-2, Single Family Intermediate. She noted the proposed carport addition has a variance amount of 486 square feet, which was different than what was presented by the applicant. Mr. Driver explained that the applicant informed her before the meeting that the existing building coverage was supposed to be 3,000 square feet and the proposed total building square footage is 3,486 feet. Ms Driver explained the variance criteria, and she showed that the applicant meets two of the five criteria. She concluded by saying the Planning Department confirms that the proposed roof extension for coverage over the carport will not be injurious to the area involved or otherwise detrimental to the public welfare and the impervious area will not increase. The Planning Department recommends approval for the roof extension.

Board questions for staff: Mr. Drummond asked if the roof extension is a permanent structure. Mr. Crist asked if the roof was going to be aluminum or trusses and incorporated into the current roof. Chair Galinas asked if the additional paved driveway was part of the original house. Chair Galinas asked if the carport met the code and if the square footage was correct, based off the St. Lucie County property appraiser's website. Chair Galinas asked Ms. Holloman, the Assistant City Attorney, if the advertisement needed to represent the correct square footage. Ms. Holloman said, in abundance of caution, the application would need to be re-advertised for another board meeting.

Applicant questions for staff: None

Applicant presentation: Stephen Helseth, applicant and owner, said he chose to file for a variance before paying \$5,000 for engineer truss drawings. He said the roof extension will be consistent with the roofline and look like the original part of the house. Mr. Helseth noted the rear driveway was part of the original house. Mr. Helseth explained there was a discrepancy in the square footage on the drawings provided by the draftsman. He said he noticed it when he looked at the drawings before coming to the Board of Adjustment meeting.

Board questions for the applicant: Mr. Drummond asked if the roof was aluminum. Mr. Helseth said the roof would be plywood sheeting with stucco underneath and the same metal roof as the rest of the house. He said it would look like a normal carport and would not be a stand-alone carport. Mr. Crist asked if the walkway would be extended on the west side of the house. Mr. Helseth said the walkway would be one (1) foot wider from the back of the house for the pilings. Chair Galinas asked if the front porch was included in the total square footage.

Public comment: None

Staff final comment: None

Board comment: Chair Galinas stated a decision can not be made today due to the incorrect square footage. Mr. Drummond asked if a special meeting could take place sooner than the next regularly scheduled Board of Adjustment meeting.

Applicant final comment: None

The Chair, seeing no one else, closed the public hearing.

to approve the roof extension over the carport.

Motion was made by Darrell Drummond, and seconded by James Crist to table the item for the next Board of Adjustment meeting due to an incorrect advertisement.

AYE: Darrell Drummond, Allyson Mendez, Renella Mitchell, James Crist, Chair Jaimebeth Galinis

Passed

## **7. DISCUSSION / OTHER BUSINESS**

## **8. COMMENTS FROM THE PUBLIC**

There were no comments from the public.

**9. ADJOURNMENT**

**Planning Board of Adjustment Special Meeting 2 PM**

Meeting Date: 02/12/2026

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Information

REQUESTED ACTION

**PZVAR2025-00009**

Variance - Lot Coverage  
Helseth Residence  
1601 Frances Avenue

SUMMARY

In accordance with Article II Division 3 Section 125 of the City Code, the applicant is requesting to deviate from City Code Section 125-192(3) as it pertains to lot coverage. The applicant proposes to extend the roof over the existing rear driveway. The zoning is Single-family Intermediate Density (R-2).

LOCATION

**Address:** 1601 Frances Avenue  
**Parcel ID:** 2401-605-0096-000-3  
**Legal Description:** THUMB POINT BLK 6 LOT 7

RESPONSIBLE STAFF

Kerry C. Driver - Senior Planner

RECOMMENDATION

Sec. 125-100 A variance may be granted only in the event that all of the following criteria are satisfied:

- Special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings in the same zoning district;
- The special conditions and circumstances do not result from the actions of the applicant;
- The literal interpretation of the provisions of the zoning ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the ordinance and would result in unnecessary and undue hardship on the applicant;
- The variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure;
- The granting of the variance will be in harmony with the general intent and purpose of the ordinance codified in this section and such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

Planning Department confirms that the proposed roof extension for coverage over the carport

will not be injurious to the area involved or otherwise detrimental to the public welfare. Furthermore, the impervious area will not increase. Lot coverage will not change nor be impacted by the extended roof, only the building coverage will increase by 4.86%.

**Due to Three of five (5) variance criteria not being met, Staff recommends Denial.**

ALTERNATE RECOMMENDATIONS:

1. Recommend approval with or without conditions

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Attachments

Staff Presentation

Staff Report

Applicant File

Staff Supporting Documents

Proof of Publication

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**Form Review**

Form Started By: Kerry Driver

Started On: 02/03/2026 03:35 PM

Final Approval Date: 02/04/2026



# CITY OF FORT PIERCE

## Board of Adjustment

February 12, 2026

Building Coverage– Variance

PZVAR2025-00009

1601 Frances Ave.

Parcel ID: 2401-605-0096-000-3

## APPLICANT

Steven Helseth

## PROPERTY OWNER(S)

Steven Helseth

## PARCEL ID #(S):

2401-605-0096-000-3

(1601 Frances Ave.)

## SUMMARY

In accordance with Article II Division 3 Section 125 of the City Code, the applicant is requesting to deviate from City Code Section 125-192(3) as it pertains to lot coverage. The applicant proposes to extend the roof over the existing rear driveway.



- SITE AREA= 0.24+/- Acres

1601 Frances Ave. Building Coverage Variance



# CITY CODE: DIVISION 3 - VARIANCES

## Sec. 125-98

The purpose of a variance is to allow a modification of certain zoning ordinance regulations when such modification will not be contrary to the public interest and when, owing to conditions peculiar to the property and not the result of the actions of the applicant, a literal enforcement of the ordinance provisions would result in unnecessary and undue hardship. Unnecessary and undue hardships may result from the size, shape or dimensions of a site; the location of existing structures on the site; geographic, topographic or physiographic features or other conditions on the site or in the immediate vicinity; or street locations or traffic conditions in the immediate vicinity.

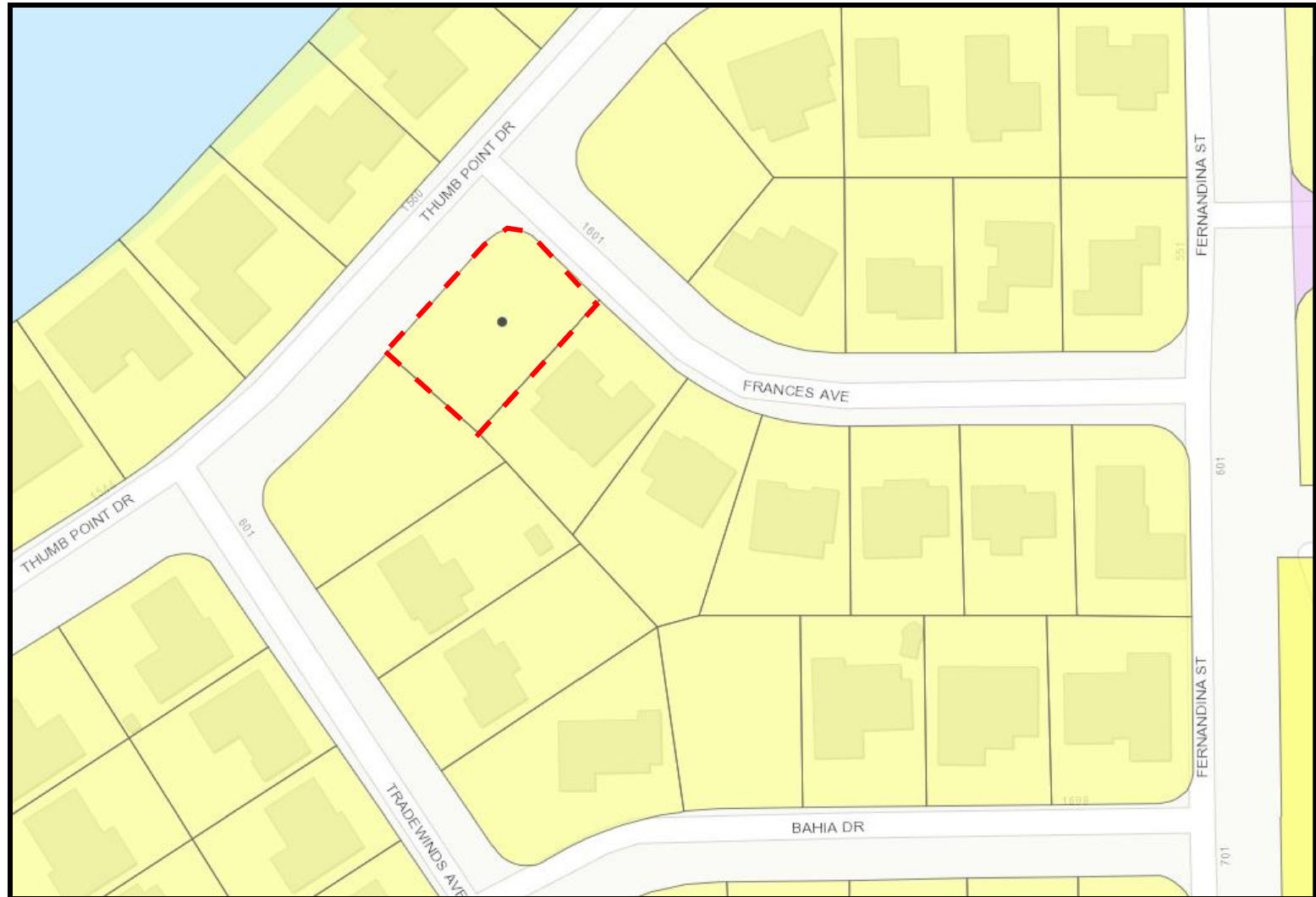
**A variance may be granted only in the event that all of the following criteria are satisfied:**

- (1)  
Special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings in the same zoning district;
- (2)  
The special conditions and circumstances do not result from the actions of the applicant;
- (3)  
The literal interpretation of the provisions of the zoning ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the ordinance and would result in unnecessary and undue hardship on the applicant;
- (4)  
The variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure; and
- (5)  
The granting of the variance will be in harmony with the general intent and purpose of the ordinance codified in this section and such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.



# FUTURE LAND USE

FLU: RL, Residential Low



1601 Frances Ave. Building Coverage Variance



# ZONING

Zoning: R-2, Single-family Intermediate



1601 Frances Ave. Building Coverage Variance



## CITY CODE: Article IV – Basic Zoning

### Sec. 125-192 Single-family Intermediate Density Zone (R-2)

#### (b) Basic use standards

- (1) Lot size: minimum 9,000 sq ft, 70ft wide, 110ft depth
- (2) Yards: 25ft in front, 7ft side (15ft corner), 7ft rear
- (3) **Lot coverage.** Buildings will not over more than 30 percent of the lot area.
- (4). Building heights: shall not exceed a height of 28ft above grade



# SITE LOCATION/CONDITION



Front view

1601 Frances Ave. Building Coverage Variance

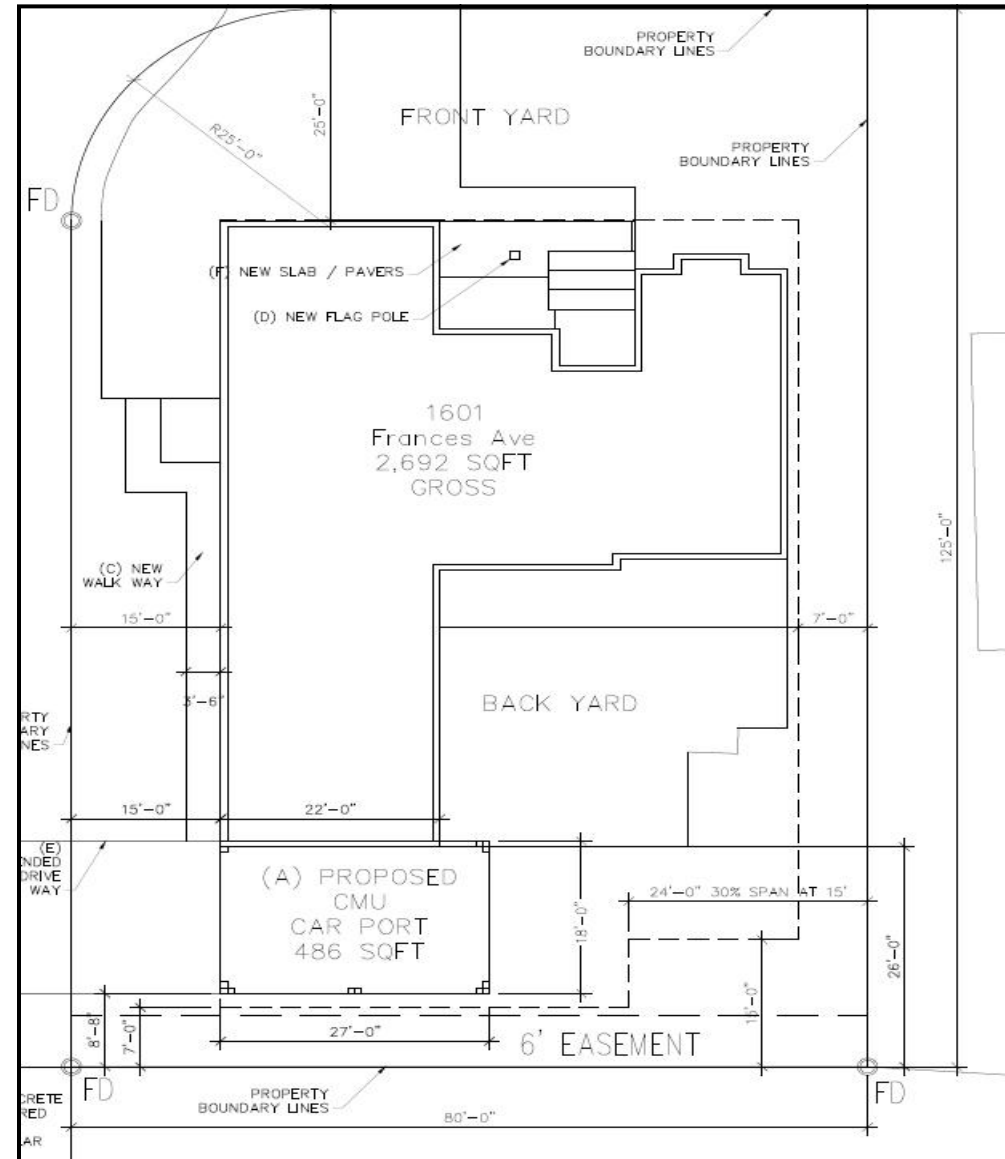


# PROPERTY/EXTENSION DETAILS

- Code
- Land size..... 10,000 sq. ft.
  - Lot coverage.....30%
  - Building allowance.....3,000 sq. ft.

- Existing
- Existing building coverage.....3,000 sq. ft.
  - Proposed carport addition.....486 sq. ft.
  - Proposed total building.....3,485 sq. ft.

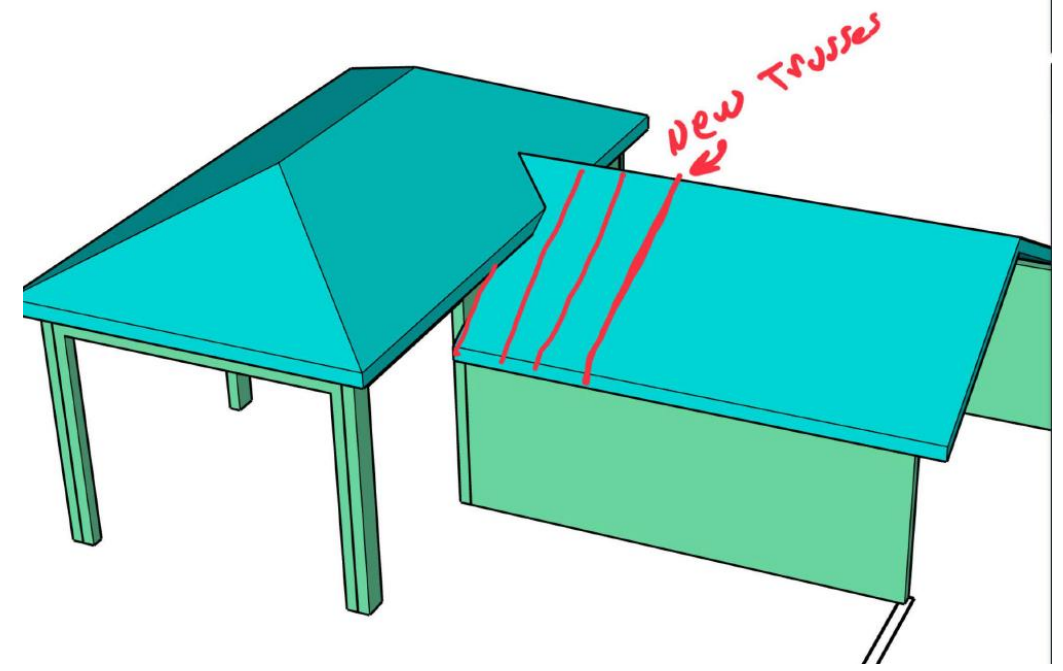
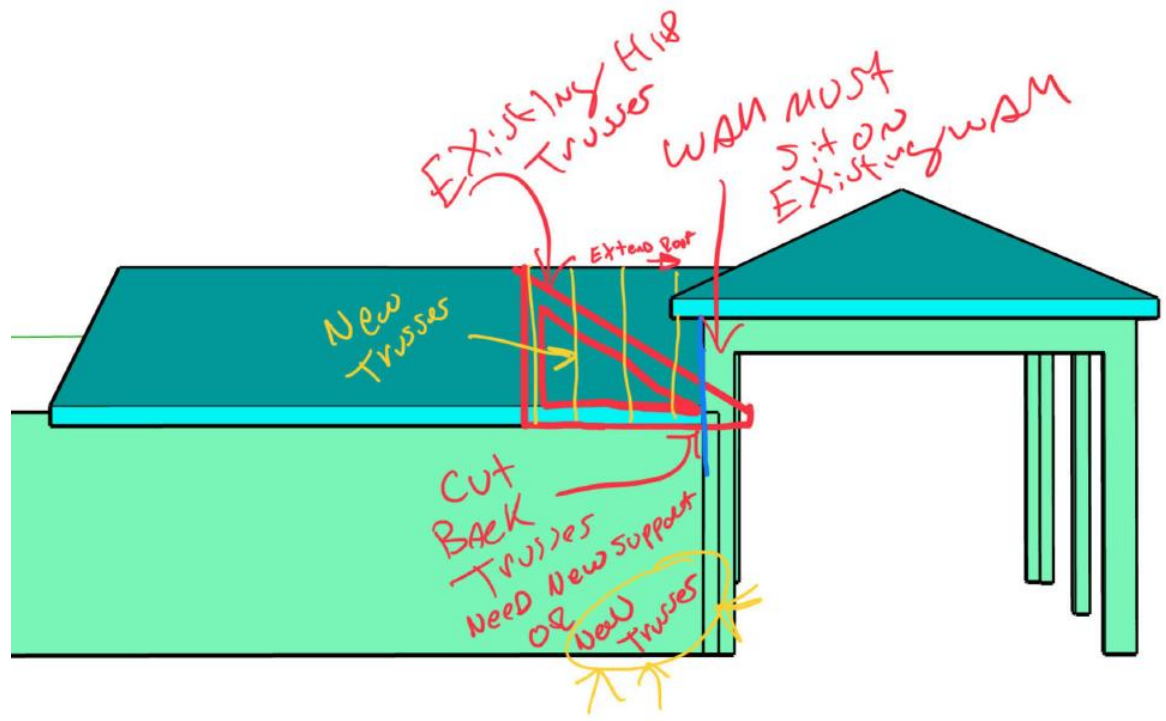
- Request
- Variance amount.....486 sq. ft.
  - Open-ended carport (no walls)
  - On-site drainage maintained



1601 Frances Ave. Building Coverage Variance



# PROPOSED BUILDING EXTENSION



# VARIANCE CRITERIA

**Sec. 125-100 A variance may be granted only in the event that all of the following criteria are satisfied:**

- x Special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings in the same zoning district;
- x The special conditions and circumstances do not result from the actions of the applicant;
- x The literal interpretation of the provisions of the zoning ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the ordinance and would result in unnecessary and undue hardship on the applicant;
- ✓ The variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure;
- ✓ The granting of the variance will be in harmony with the general intent and purpose of the ordinance codified in this section and such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.



\*At the 01/22/26 BOA hearing, the project review was recessed due to a discrepancy with the building coverage.

## **RECOMMENDATION**

Planning Department confirms that the proposed roof extension for coverage over the carport will not be injurious to the area involved or otherwise detrimental to the public welfare. Furthermore, the impervious area will not increase.

Due to the five (5) variance criteria's not being met, Planning Department **cannot** recommend approval for the roof extension.

## **ALTERNATE RECOMMENDATIONS:**

1. Recommend approval with or without conditions





# CITY OF FORT PIERCE

## Board of Adjustment

February 12, 2026

Building Coverage – Variance

1601 Frances Ave.

Parcel ID: 2401-605-0096-000-3







THE SUNRISE CITY  
**FORT PIERCE**  
PLANNING DEPARTMENT *Florida*

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**TO:** Richard Chess, MBA City Manager

**THROUGH:** Kevin Freeman, Planning Director

**FROM:** Kerry C. Driver, Senior Planner

**RE:** **Variance: Lot Coverage  
1601 Frances Ave.**

**BOARD DATE:** February 12, 2026

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**STAFF REPORT**

**Owner:** Steven Helseth  
1601 Frances Ave  
Fort Pierce, FL 34949

**Applicant:** Steven Helseth  
1601 Frances Ave.  
Fort Pierce, FL 34949

**Applicant's Request:** Approval of Variance: Lot Coverage with roof extension

**Location(s):** 1601 Frances Ave.

**Parcel ID:** 2401-605-0096-000-3

**Future Land Use:** Residential Low (RL)

**Current Zoning:** Single Family Intermediate (R-2)



**Surrounding FLU:**

North	East	South	West
RL	RL	RL	RL

**Surrounding Zoning:**

North	East	South	West
R-2	R-2	R-2	R-2

**Site Area:** +/- 0.23 acres

**Utilities:** FPUA

**Staff Analysis:**

**Variance Request**

In accordance with Article VII of Section 125-322 of the City Code, the applicant is requesting a variance against the zoning district 30% lot coverage.

**Project Summary**

The applicant is seeking to extend the roof coverage of their by home by 486 SF, providing coverage over the existing carport.

**Sec. 125-192 Single-Family Intermediate Density Zone (R-2)**

**Lot Area:** min. 9,000 sq. ft. (the lot size is 10,000 sq. ft., exceeding the minimum lot area)

**Lot Width:** 70 ft. (the lot width is 76.75 ft., exceeding the minimum lot width requirement)

**Lot Depth:** 110 ft. (the lot depth is 114 ft., exceeding the minimum lot depth requirement)

**Building Coverage:** building will not cover more than 30% of the lot area (the extended roof

**Building Height:** not to exceed 28 ft. above grade (the building height is 15 ft.)

**Front Yard:** 25 ft. (the building front setback complies with the code)

**Rear Yard:** 7 ft. (the building rear setback complies with the code)

**Side Yard:** 7 ft. infill and 15 ft. corner (the building side setback complies with the code)

**Hardship Documentation**

No hardship documentation provided.

**Landscaping**

No landscape details were provided as the roof extension will not disturb or increase impervious calculation.

**Existing Conditions`**

The single-family, corner lot has a garage driveway and uncovered carport. The existing home is located on a 10,000 square foot lot. The total home structure is 3,000 square feet.

**Lighting**

No lighting details were provided as the roof extension will not require additional illumination.

**Variance Criteria**

According to Section 125-100, Criteria for granting variances, a variance may be granted only in the event that all of the following criteria are satisfied:

1. Special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings in the same zoning district;
2. The special conditions and circumstances do not result from the actions of the applicant;
3. The literal interpretation of this provisions of the zoning ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the ordinance and would result in unnecessary and undue hardship on the applicant;
4. The variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure; and
5. The granting of the variance will be in harmony with the general intent and purpose of the ordinance codified in this section and such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

***Applicant's Response***

***Describe those conditions peculiar to the specific property and not applicable to other lands, structures, or buildings in the same zoning district.***

The corner lot geometry and rear-yard formula constrain buildable area. Achieving required clearances and functional on-site covered parking within the setbacks creates a unique difficulty at this parcel. The minimum necessary relief of 178 SF variance requested is the least departure that yields functional covered parking on this constrained corner lot.

***Do special conditions or circumstances result from actions other than that of yours? Please explain.***

Corner Lot which limits the amount of building coverage allowed per code.

***Identify any undue hardships or deprivation of commonly enjoyed property rights that would result in the literal interpretation of the code of the zoning district.***

The corner lot geometry and rear-yard formula constrain buildable area. Achieving required clearances and functional on-site covered parking within the setbacks creates a unique difficulty at this parcel. The minimum necessary relief of 178 SF variance requested is the least departure that yields functional covered parking on this constrained corner lot.

***What is the minimum variance that would give the reasonable use of the land, building, or structure?***

The minimum necessary relief of 178 SF variance requested is the least departure that yields functional covered parking on this constrained corner lot.

***Explain how the variance request would not impair the intent of the zoning ordinance or be detrimental to the general public welfare.***

The concrete stucco pilings and metal roof Construction of covered carport would be consistent with design of current home and compatible with others in the neighborhood. Open form (no walls) preserves light/air and on site drainage is maintained per plan. No new enclosed area requested. The roof Variance amount requested is 4.78 % over the limit.

***Technical Review Committee***

All affected departments have reviewed the proposed Variance application regarding the requirements of the City Code. Findings from the review by corresponding departments and the associated responses by the applicant are provided with the staff's supporting documents.

***Property Owner Response Summary***

A total of 3 notifications of the proposal were mailed to the owners of property adjacent of the subject property. As of January 12, 2026, there have been zero (0) responses by adjacent property owners regarding the request. An update will be provided by the Board of Adjustment at the public hearing.

***Staff Recommendation:***

Planning Department confirms that the proposed roof extension for coverage over the carport will not be injurious to the area involved or otherwise detrimental to the public welfare. Furthermore, the impervious area will not increase. Lot coverage will not change nor be impacted by the extended roof, only the building coverage

will increase by 4.86%.

Due to the five (5) variance criteria not being met, Planning Department cannot recommend approval for the extension.

#### Alternate Recommendations

- 1) Recommend approval with or without conditions

## Variance Request

Helseth Residence  
1601 Frances Avenue  
Lot 7 Block 6 of Thumb Point  
Parcel ID# 2401-605-0096-000-3

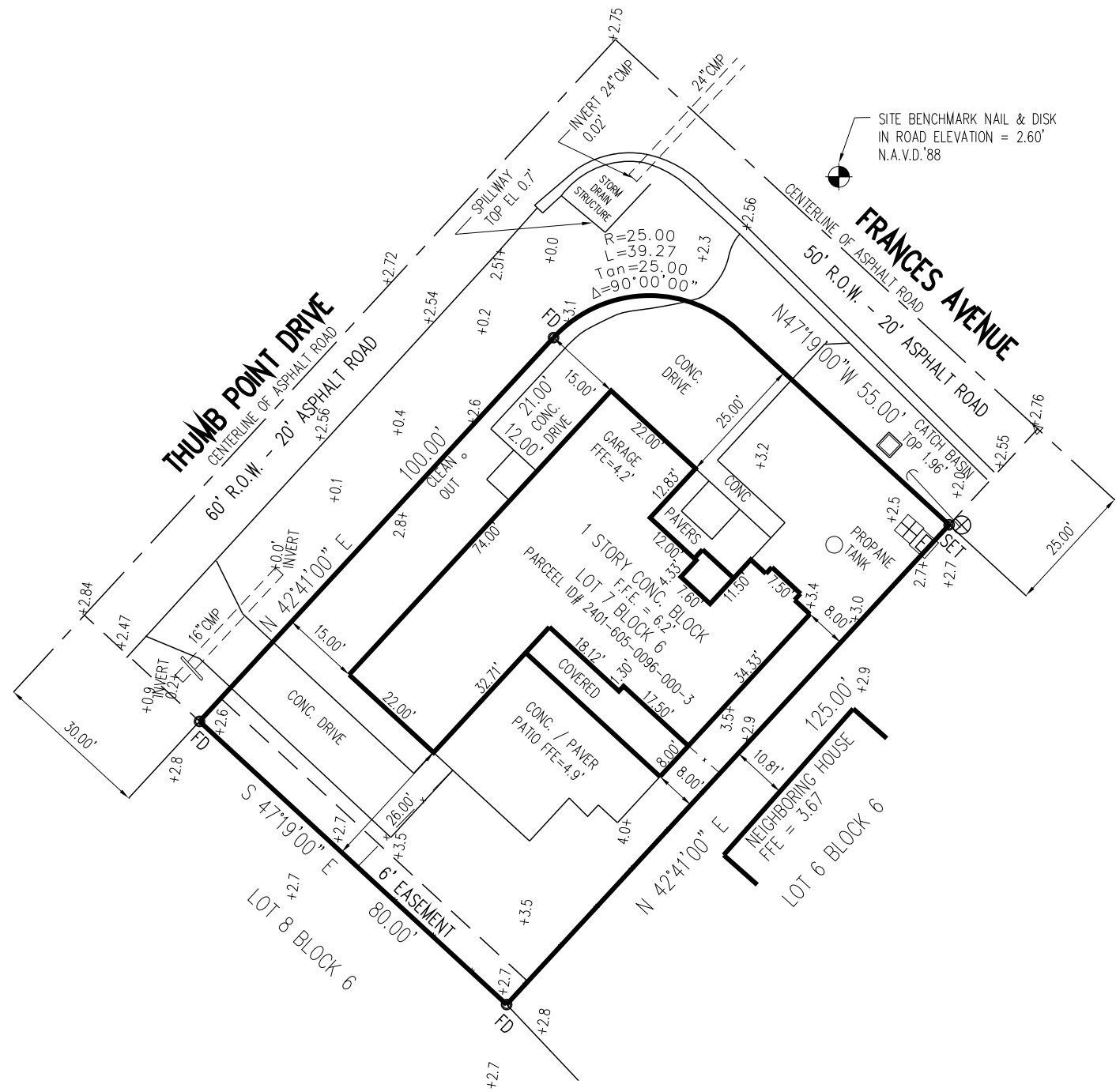
Mr. Helseth is seeking a dimensional variance from the current lot coverage code standard of 30% maximum building coverage (R-2).

His home is on a 10,000 SF lot with an allowed building coverage of 3,000 SF. Building a proposed roof extension over the existing rear driveway would provide necessary covered storage. The proposed covered carport addition would add 486 SF of coverage. If approved, his existing building coverage of 3,000 SF + 486 SF additional = 3,486 SF Total building / lot coverage.

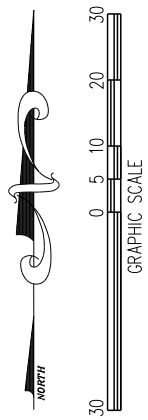
The 486 SF variance amount is the least departure from code standard which yields functional covered parking on this constrained corner lot with limited rear buildable area. Achieving required clearances and functional on-site covered parking within the setbacks creates a unique difficulty at this corner lot parcel.

The minimum impact design of this open ended carport (no walls) would allow for safe covered parking, maneuvering and storage of vehicles. No new enclosed area is requested beyond the roof. The design would ensure property setback compliance with no encroachments. The proposed construction quality is engineered to ASCE 7-22 wind loads and complies with impact protection as required in hurricane prone regions. The proposed concrete stucco / metal roof carport addition is compatible with similar structures in the neighborhood and would match the current home design. The roof addition would be well under the maximum height allowed by R-2 zoning requirements and under the highest point of the current home roof. On-site drainage would be maintained per current existing rear driveway plan.

# BOUNDARY SURVEY



ALL ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D.'88)



### LEGAL DESCRIPTION:

(Supplied by Client)  
 LOT 7 IN BLOCK 6 OF THUMB POINT ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 10, PAGE 79, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

### ABBREVIATIONS:

SET = SET 5/8" IRON REBAR WITH YELLOW CAP MARKED "PSM5543"  
 FD = FOUND 5/8 IRON REBAR  
 R/W = RIGHT OF WAY  
 (M) = MEASURED  
 (P) = PLATTED  
 (C) = CALCULATED  
 R = RADIUS OF CURVE  
 L = LENGTH OF CURVE  
 D= DELTA OF CURVE  
 FFE = FINISHED FLOOR ELEVATION  
 OH-OH-OH- = OVERHEAD WIRES  
 X-X-X- = CHAINLINK FENCE  
 □-□-□- = PLASTIC FENCE  
 O-O-O- = WOOD FENCE  
 CONC. = CONCRETE  
 C.P.= CONCRETE PAD  
 Cov.= COVERED

### SURVEYORS NOTES:

- UNLESS OTHERWISE NOTED ONLY PLATTED EASEMENTS ARE SHOWN HEREON.
- ALL LOT DIMENSIONS SHOWN ARE PER PLAT UNLESS OTHERWISE SHOWN.
- NO UNDERGROUND UTILITIES OR IMPROVEMENTS WERE LOCATED UNLESS OTHERWISE SHOWN.
- THIS SITE LIES WITHIN FLOOD INSURANCE RATE MAP ZONE AE5 MAP# 12111C0181K DATED: 2-19-20.
- FLOOD ZONE SHOWN HEREON IS AN INTERPRETATION BY THE SURVEYOR AND IS PROVIDED AS A COURTESY. THE FLOOD ZONE SHOULD BE VERIFIED BY A DETERMINATION AGENCY.
- BEARINGS SHOWN HEREON ARE BASED ON THE SOUTHEAST LINE OF LOT 7 BLOCK 6 AS BEING N42°41'00"E ACCORDING TO THE PLAT DESCRIBED HEREON.
- P.U.D.E. DENOTES PUBLIC UTILITIES AND DRAINAGE EASEMENT, U.E. DENOTES UTILITY EASEMENT.
- THE ACCURACY OF THIS SURVEY IS PREMISED ON THE EXPECTED USE OF THE SURVEY. THE EXPECTED USE/PURPOSE OF THIS SURVEY IS HOME ADDITION CONSTRUCTION. ACCURACY=1 FOOT IN 7.500 FEET OR BETTER.
- ADDITIONS OR DELETIONS TO THIS SURVEY MAP BY ANYONE OTHER THAN THE SIGNING SURVEYOR IS PROHIBITED WITHOUT WRITTEN CONSENT.

### SYMBOLS:

- ☐ = CATCH BASIN
- ☒ = ELECTRIC BOX
- ☼ = FIRE HYDRANT
- ⚡ = FPL TRANSFORMER
- = GUY WIRE
- ☀ = LIGHT POLE
- ⚡ = PROPANE TANK
- ⊗ = WOOD POWER POLE
- ⊗ SAN = SANITARY SEWER MANHOLE
- ⊗ = SEWER VALVE
- ⊗ = WATER METER
- ⊗ = WATER VALVE
- ⊗ = WELL
- = DRAINAGE PROPOSED AND EXISTING

<b>1601 FRANCES AVENUE</b>	
<b>SCALE:</b> 1"=30'	<b>Atlantic Land Designs</b>
<b>DATE:</b> 9/16/25	of the Treasure Coast, LB7468
<b>DRAWN:</b> MC/JC	754 NE Jensen Beach Blvd. Jensen Beach, FL 34957
<b>2025-0568</b>	<b>Mailing Address:</b>
	P.O. Box 1421 Jensen Beach, FL 34958
	ALD5543@gmail.com (772) 398-4290
<b>DATE:</b>	<b>REVISIONS</b>
<b>LAST FIELD DATE: 9/3/25</b>	

Certified to: STEVEN HELSETH

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I HEREBY CERTIFY THAT THIS SURVEY MEETS OR EXCEEDS THE STANDARDS OF PRACTICE PER CHAPTER 5J-17.051 AND 5J-17.052 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES AND THAT ELECTRONIC SIGNATURE AND SEAL HEREON MEETS PROCEDURES AS SET FORTH IN CHAPTER 5J-17.062, PURSUANT TO SECTION 472.025, FLORIDA STATUTES.

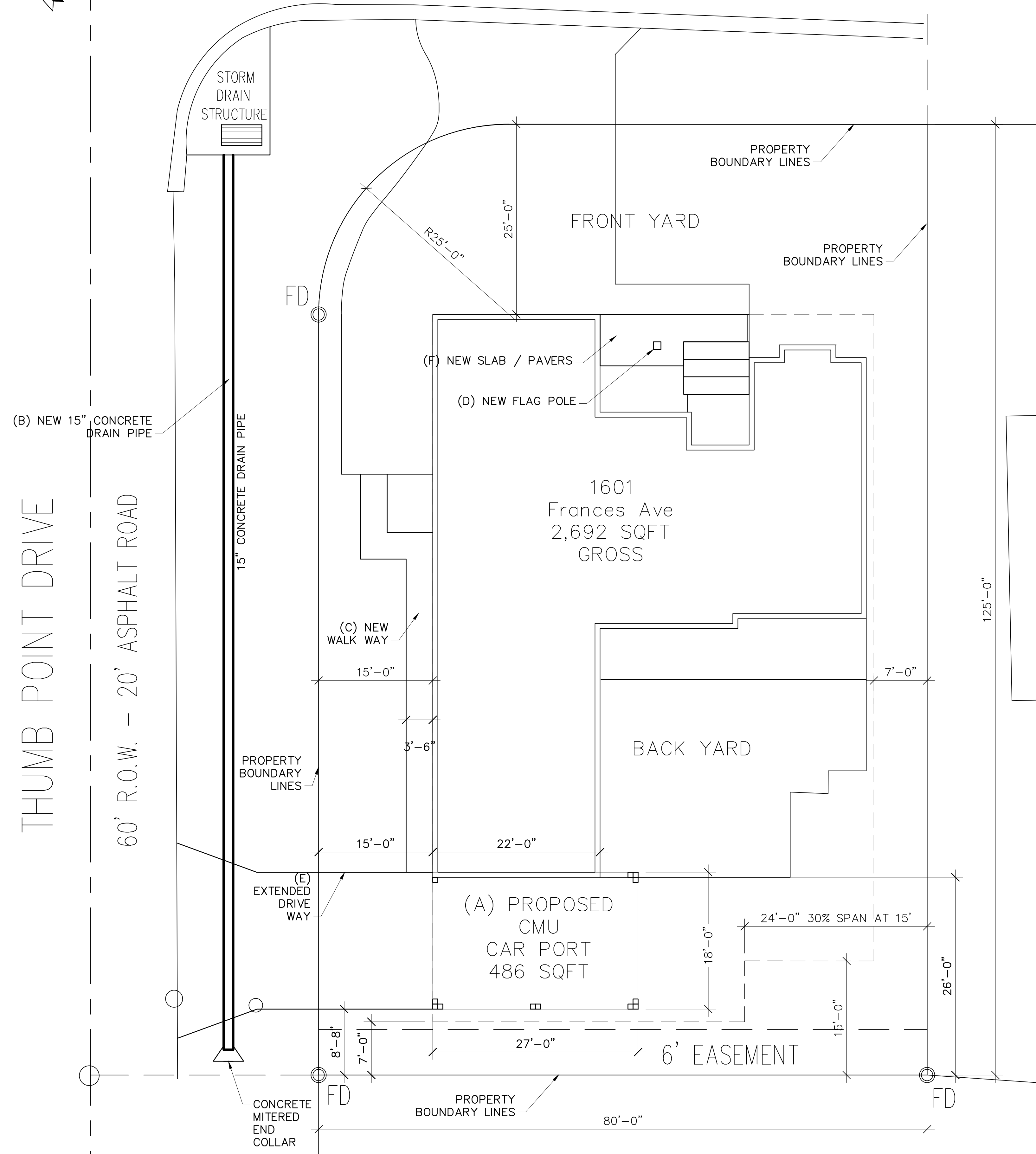
**CERTIFICATE**  
No. 5543  
STATE OF FLORIDA  
REGISTERED SURVEYOR & MAPPER

---

JAMES A. CESIRO JR. PROFESSIONAL SURVEYOR & MAPPER  
 FLORIDA REGISTRATION NO. 5543  
 NOT VALID WITHOUT AN AUTHENTICATED ELECTRONIC SEAL

# FRANCES AVENUE

50' R.O.W. - 20' ASPHALT ROAD



- SITE PLAN SCOPE OF WORK:**
- (A) PROPOSED CMU CAR PORT 486 SQFT
  - (B) NEW 15" CONCRETE DRAIN PIPE
  - (C) NEW WALK WAY
  - (D) NEW FLAG POLE
  - (E) EXTENDED DRIVE WAY
  - (F) NEW SLAB / PAVERS

PROJECT DESIGN DATA	
JURISDICTION	City of Fort Pierce
CODE	FBC 2023 8th Edition, FBCR 2023 8th Edition
PROJECT NAME	1601 Frances Ave, Fort Pierce, FL 34949
PROJECT ADDRESS	1602 Frances Ave, Fort Pierce, FL 34949
RISK CATEGORY	II
WIND SPEED ASCE 7-16 (3 Sec Gust)	160 MPH
ASD	132 MPH
EXPOSURE	C
MEAN BUILDING HEIGHT	<15'-0"

PRELIMINARY CODE REVIEW / ZONING NOTES (SHEET-READY)

ADDRESS: 1601 FRANCES AVE, FORT PIERCE, FL • ZONING: R-2 (SINGLE-FAMILY INTERMEDIATE DENSITY) • LOT TYPE: CORNER LOT.

LOT & BASIS OF DESIGN

PLATTED DIMENSIONS USED ON THIS SHEET: 80' (REAR WIDTH) x 125' (DEPTH).

LOT AREA USED ON PLANS: 10,000 SF (PER PROPERTY APPRAISER).

YARD SETBACKS - R-2 (SEC. 125-192(B)(2))

FRONT: 25 FT MINIMUM.

INTERIOR SIDE: 7 FT MINIMUM.

STREET SIDE (CORNER): 15 FT MINIMUM.

REAR (SPECIAL RULE): PROVIDE 15 FT SETBACK ALONG A CONTIGUOUS 30% OF THE REAR WIDTH; THE REMAINDER MAY BE 7 FT (WATERFRONT/DOUBLE-FRONTAGE = 15 FT ACROSS 100%).

REAR WIDTH USED = 80' → 30% = 24' AT 15' SETBACK; 70% = 56' AT ≥7'. KEEP THE 24' SPAN CONTIGUOUS.

LOT COVERAGE - R-2 (SEC. 125-192(B)(3))

MAX BUILDING COVERAGE: 30% OF LOT AREA → ALLOWED = 3,000 SF ON A 10,000 SF LOT.

EXISTING ROOFED FOOTPRINT: 2,692 SF.

PROPOSED NEW WORK: CARPORT 27' x 18' = 486 SF.

COVERAGE CHECK: 2,692 + 486 = 3,178 SF = 31.78% → OVER BY 178 SF RELATIVE TO 3,000 SF ALLOWED.

COMPLIANCE OPTIONS: SEEK VARIANCE TO 31.78% COVERAGE. (ACCESSORY COVERAGE COUNTS TOWARD THE CAP.)

BUILDING HEIGHT - R-2 (SEC. 125-192(B)(4))

MAX HEIGHT: 28 FT ABOVE GRADE (CARPORT INTENT ≈ 14 FT).

ACCESSORY STRUCTURES - R-2 (SEC. 125-192(C)(1))

ACCESSORY ELEMENTS MUST MEET ALL YARD, COVERAGE, AND HEIGHT LIMITS; ON NON-DOUBLE-FRONTAGE LOTS THEY MAY BE IN THE REAR YARD IF ≥7' FT FROM THE REAR LINE (SUBJECT TO THE REAR-YARD RULE ABOVE).

WIND DESIGN (ASCE 7-22)

ULTIMATE 3-SEC GUST (RISK CAT II): VULT = 160 MPH AT THIS SITE; HURRICANE-PRONE REGION; GLAZED OPENINGS REQUIRE WIND-BORNE DEBRIS PROTECTION PER §26.12.3. DESIGNING TO 180 MPH IS ACCEPTABLE WITH ENGINEERING/PRODUCT APPROVALS.

ACCESS / PARKING / DRAINAGE

PROVIDE DRIVEWAY/GRADING/DRAINAGE TO MEET JURISDICTIONAL STANDARDS; ALL USES MUST COMPLY WITH ACCESS, PARKING, AND LOADING REQUIREMENTS (CODE §§125-315, 125-316).

PLAN NOTES / APPROVALS

PRELIMINARY ZONING/CODE REVIEW FOR PERMITTING GUIDANCE. FINAL COMPLIANCE SUBJECT TO CURRENT SURVEY, FIELD VERIFICATION, PRODUCT APPROVALS, AND ENGINEERED CONSTRUCTION DOCUMENTS (FOUNDATIONS, CONNECTIONS, UPLIFT/OVERTURNING CHECKS, ROOF SYSTEM, DEBRIS PROTECTION).

REQUESTED RELIEF (DIMENSIONAL VARIANCE — LOT COVERAGE) CODE STANDARD: 30% MAXIMUM BUILDING COVERAGE (R-2).

LOT AREA (USED ON PLANS): 10,000 SF ALLOWED COVERAGE: 3,000 SF EXISTING ROOFED FOOTPRINT: 2,692 SF

PROPOSED ROOFED ADDITION: CARPORT 27' x 18' = 486 SF PROPOSED TOTAL COVERAGE: 3,178 SF = 31.78%

VARIANCE AMOUNT REQUESTED: +178 SF OVER THE 3,000 SF CAP (≈ +1.78 PERCENTAGE POINTS OVER THE 30% LIMIT).

JUSTIFICATION (SUMMARY POINTS FOR NARRATIVE)

CORNER-LOT GEOMETRY + REAR-YARD FORMULA CONSTRAIN BUILDABLE AREA; ACHIEVING REQUIRED CLEARANCES AND FUNCTIONAL ON-SITE COVERED PARKING WITHIN SETBACKS CREATES A UNIQUE DIFFICULTY AT THIS PARCEL.

MINIMUM-IMPACT DESIGN: OPEN-SIDED CARPORT (NO WALLS) AT 27' x 18' FOR SAFE MANEUVERING; NO NEW ENCLOSED AREA REQUESTED BEYOND THE ROOF.

SETBACK COMPLIANCE: NO SETBACK ENCROACHMENTS—FRONT 25', STREET-SIDE 15', INTERIOR SIDE 7', AND REAR-YARD RULE ALL SATISFIED; THE REQUEST IS COVERAGE-ONLY.

PUBLIC SAFETY / CONSTRUCTION QUALITY: ENGINEERED TO ASCE 7-22 WIND LOADS; SITE VULT ≈ 160 MPH (OWNER REQUESTS 180 MPH DESIGN). IMPACT PROTECTION AS REQUIRED IN HURRICANE-PRONE REGIONS.

NEIGHBORHOOD COMPATIBILITY: NO HEIGHT INCREASE; OPEN FORM PRESERVES LIGHT/AIR; ON-SITE DRAINAGE MAINTAINED PER PLAN.

MINIMUM NECESSARY RELIEF: THE +178 SF REQUEST IS THE LEAST DEPARTURE THAT YIELDS FUNCTIONAL COVERED PARKING ON THIS CONSTRAINED CORNER LOT.

1 PROPOSED SITE PLAN (10,000 sqft lot)  
 SCALE: 1/8" = 1'-0" A/R:N/A

REVISIONS	BY
10-23-25	RAT

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CAD-CON DESIGN DRAFTING SERVICES  
 411@CADCONDESIGN.COM  
 WWW.CADCONDESIGN.COM  
 FORT PIERCE & STUART, FL  
 (772) 408-8175

1601 Frances Ave, Fort Pierce, FL 34949

DATE 08-20-25  
 SCALE  
 DRAWN 08-20-25  
 JOB  
 SHEET SP  
 OF SHEETS









**GENERAL ROOFING NOTES**

Roofing to be composed of and attached to pre-manufactured wood trusses as follows:  
 Felt underlayment (min. ASTM 0 226 Type II) with 4" min. side and end laps, fasten with corrosion resistant annular ring shank nails at 6" o.c. in laps and in staggered rows spaced 12" o.c. in field. If roof pitch is < 4/12 install (2) layers 15# felt. If roof pitch is 4/12 or greater, install (1) layer 30# felt.

7/16" o.s.b. sheathing or equal installed with staggered joints & GI clips, nailed to trusses with 8d corrosion resistant annular ring shank nails spaced max. 6" o.c. throughout, except max. 4" o.c. at gable ends.  
 All roof trusses are to be pre-manufactured assemblies provided by a licensed wood truss fabricator with separate drawings and data prepared for actual project conditions by a Florida registered professional engineer certified for truss design. Any deviation from the proposed plans as shown regarding placement or bearing shall be brought to the attention of the truss engineer prior to fabrication of the trusses. The truss manufacturer's certified layout shall govern after fabrication.

The handling, erection, and fixing of wood trusses shall be in accordance with the specifications contained on the certified mfr's. drawings and data.

All engineered headers and truss hangers to be provided by the truss manufacturer.

Splitting or cracking of structural components due to installation of hardware is not permitted.

Unless otherwise noted, the installation of specified hardware shall conform to the truss manufacturer's installation instructions and standard practice.

**BUCK ATTACHMENT NOTES**

AT DOORS USE P.T. PINE OR SPRUCE AND ATTACH BUCKS TO BLOCK WITH 1/4" DIA. TAPCONS WITH 2 1/4" EMBEDMENT INTO C.B.S. SET A 6" FROM CORNERS AND AT 12" o.c. MAX.

AT WINDOWS USE P.T. PINE OR SPRUCE AND ATTACH BUCKS TO BLOCK WITH 8d CASED HARD COIL NAILS OR T NAILS 4" FROM ENDS AND 12" o.c.

USE "STRUCTURAL" SHIMS DURING DOOR INSTALLATION WOOD AND/OR CEDAR SHIMS SHALL NOT BE USED.

**SHEATHING NAILING NOTES**

Nailing Pattern

Zone 1: 8d at 6" o.c. field & 4" o.c. edges  
 Zone 2: 8d at 4" o.c. edges & field  
 Zone 3: 8d at 4" o.c. edges & field

Pneumatic Nails

Pneumatic or mechanically driven nails will be accepted under the following conditions:

Min. nails size 8d or larger ring shank with Min. shank diameter: .113  
 Min. Length: 2"  
 Min. Head Diameter: .280 Full Round  
 Min. Ring Diameter .012 over shank dia.  
 Min. 16 to 20 Rings per Inch

Note

Gun nails shall be permitted as an acceptable fastener from any manufacturer

Wood screws meeting the same size requirement may be used in lieu of nails without comment

Nailing Schedule

**ROOF & FLOOR DIAGRAM**

Use sheathing with #8 gun nails at 6" o.c. at supported panel edges and #8 gun nails at 6" o.c. at intermediate supports.

**ROOF SHEATHING TO GABLE END FRAME**

Use #8 gun nails at 4" o.c.

**EXTERIOR SHEATHING**

Use #8 gun nails at 4" o.c. at panel edges and #8 gun nails at 4" o.c. at panel top and bottom and 6" o.c. in field

**EXTERIOR CEILING & SOFFIT NOTE**

7/8" Stucco finish over 3/8" high ribbed galv. wire lath fastened to framing members with No. 11 gauge nails with 1 3/4" embed. with 3/8" dia. head 6" o.c. max. edges to be tied and nailed at 9" o.c. Provide one layer of 15# felt to bottom of framing before installing lath.

**INTERIOR WALL FRAMING NOTE**

Interior non bearing walls to be 2 x 4 studs 24" o.c. Spruce, Pine, Fir (SPF) #2 Grade lumber or better or metal studs (25 Ga.) Crimper may be used in lieu of screws.

**STRUCTURAL NOTES:**

All reinforcing steel shall be high strength billet steel and shall conform to ASTM A-615 grade 60 specifications. Lap continuous reinforcing 48 bar diameters or 30" in beams and in slabs. Lap bottom steel over supports and top steel at midspan. Hook discontinuous ends of all top bars. Reinforcing steel shall have a minimum of 1" concrete cover, or as follows:

	BOTTOM	TOP	SIDES
Beams:	1 1/2"	1 1/2"	1 1/2"
Slab on Grade:	1 1/2"	1"	1"
Structural Poured:	3/4"	3/4"	3/4"
Poured Walls:	—	—	3/4"
Slabs exposed to the weather:	3/4"	1"	—

Reinforcing steel shall be detailed and fabricated in accordance with the "Manual of Standard Practice of Detailing Reinforcing Concrete Structures" and the current "ACI Building Code 318"

All structural steel shall conform to current ASTM Specification A-36

All wood in contact with masonry shall be pressure treated or approved separating material.

All dimensions shall be verified in field by the contractor. If there are any discrepancies the Architect or Engineer shall be notified before proceeding.

No slump over 5" shall be permitted for any structural concrete without the Architect or Engineer approval.

All Design and Construction shall be in accordance with the current American Concrete Institute (ACI), and the American Institute of Steel Construction (AISC), The Florida Building Code and all applicable local codes.

Structural Concrete shall attain a minimum ultimate compressive strength (Fc') in 28 days as follows:

Column Footing and Wall Footing: 3000 p.s.i.  
 Column and walls from foundation to roof: see column schedule.  
 All other concrete: 2500 p.s.i.

Footing sizes and reinforcing are based on allowable soil bearing capacity of 2000 p.s.i. All footings shall bear in virgin soil. If this is not the case, the Architect or Engineer shall be notified before proceeding with the work.

Timber (Heavy Timber Construction)  
 (a) Truss manufacturer shall submit a signed and sealed shop drawings by a registered Engineer.  
 (b) Wood rafters to have a Stress Grade of Fb=1200 p.s.i.  
 (c) Roof members should be secured to the beams or other structural components with hurricane anchors for wind uplift.

All wood members shall have a minimum fiber stress in bending of 1200 p.s.i. with 1/360 max. deflection.

All bolted connections shall be 1/2" Cadmium plated or better.

Lag bolts to be used only in shear connections with minimum 4" threaded penetration past steel plate.

Lag bolted conditions shall be drill tapped no larger than the internal thread diameter and shall not be hammer driven.

Under Girder Trusses provide equal number of studs as girder plys at frame bearing locations

**GENERAL REQUIREMENTS**

All work to be as per the current edition of the Florida Building Code and meet or exceed all applicable local requirements.

General contractor is responsible for all labor, materials, utilities, testing, waste removal, storage, securing of site, accommodation, transport/freight, and all other cost related to the completion of this project., unless explicitly identified here.

Owner is responsible for all municipal related charges such as impact fees, and water connection, except building permit fees, which are to be included in the construction bid.

General contractor to check all drawings for errors and omissions and bring them to the attention of the architect prior to starting any work, or ordering any materials of the respective division of work. If such errors and omissions are not reported in writing to the architect, any resulting damages or costs shall be born entirely by the general contractor.

Architect is not responsible for the contractors method or means of construction.

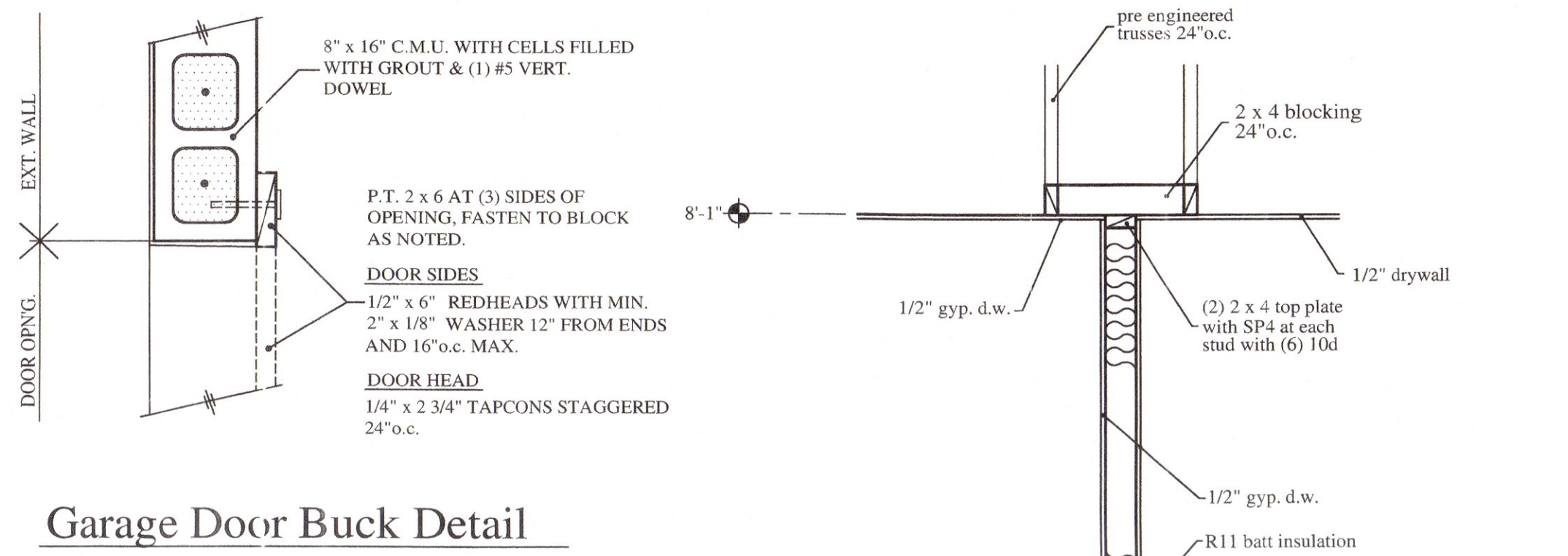
General contractor is to keep the site in a clean and safe state throughout the course of construction. On building turnover, general contractor to clean all surfaces so as to be free of dust, grease, stains, scuffs, etc.

Unless otherwise noted, the installation of specified hardware shall conform to the manufacturers instructions and standard practice.

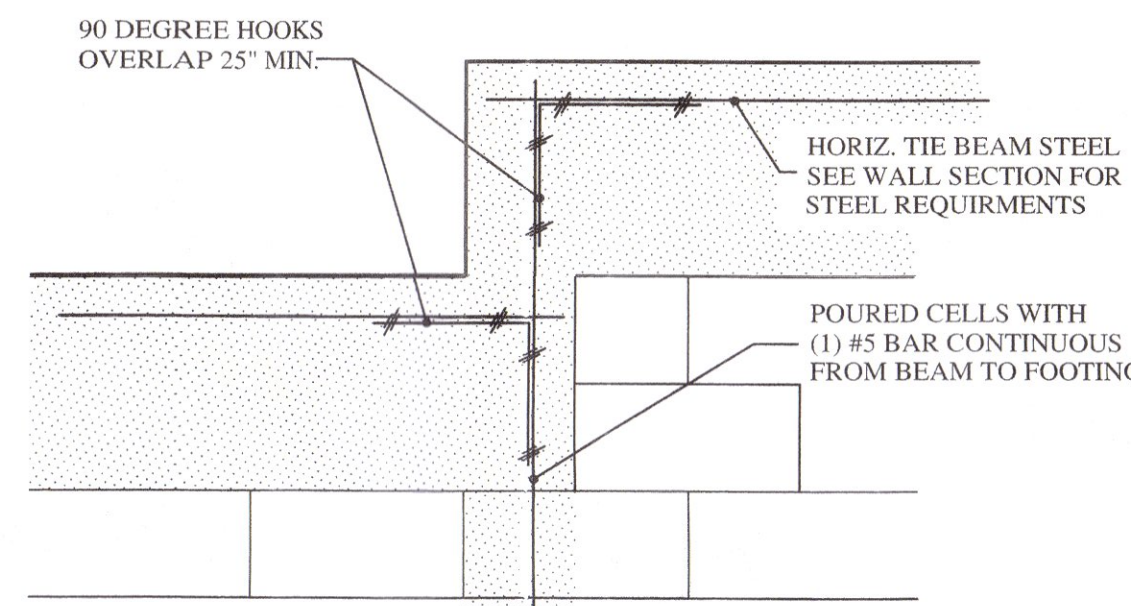
All plans and drawings are not considered complete until they have been reviewed and approved by the Building Department and the building permit has been issued.

**THRESHOLD NOTE**

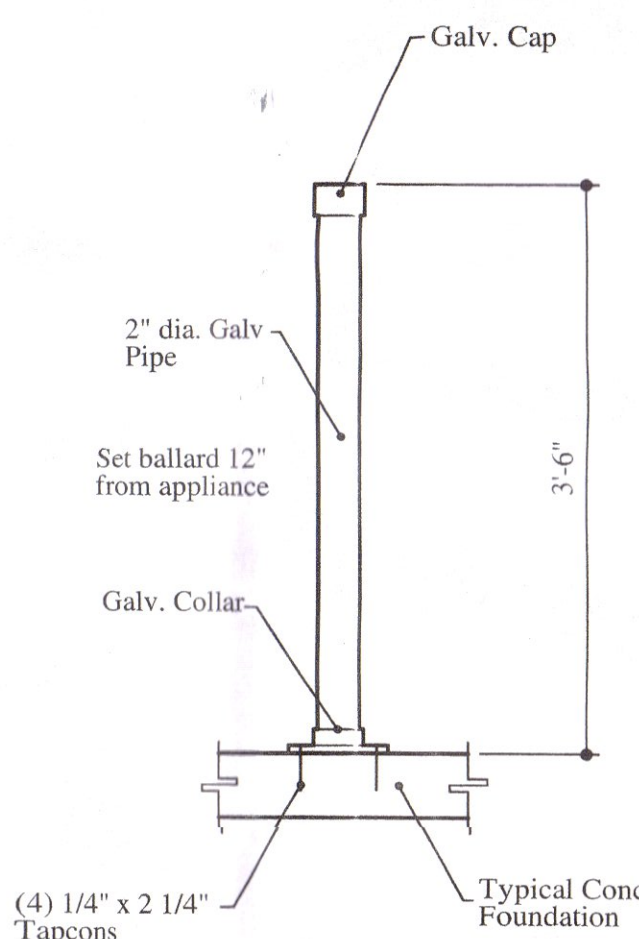
At egress door (Entry Door) the max. hgth. of the threshold shall be 1/2"



**Garage Door Buck Detail**

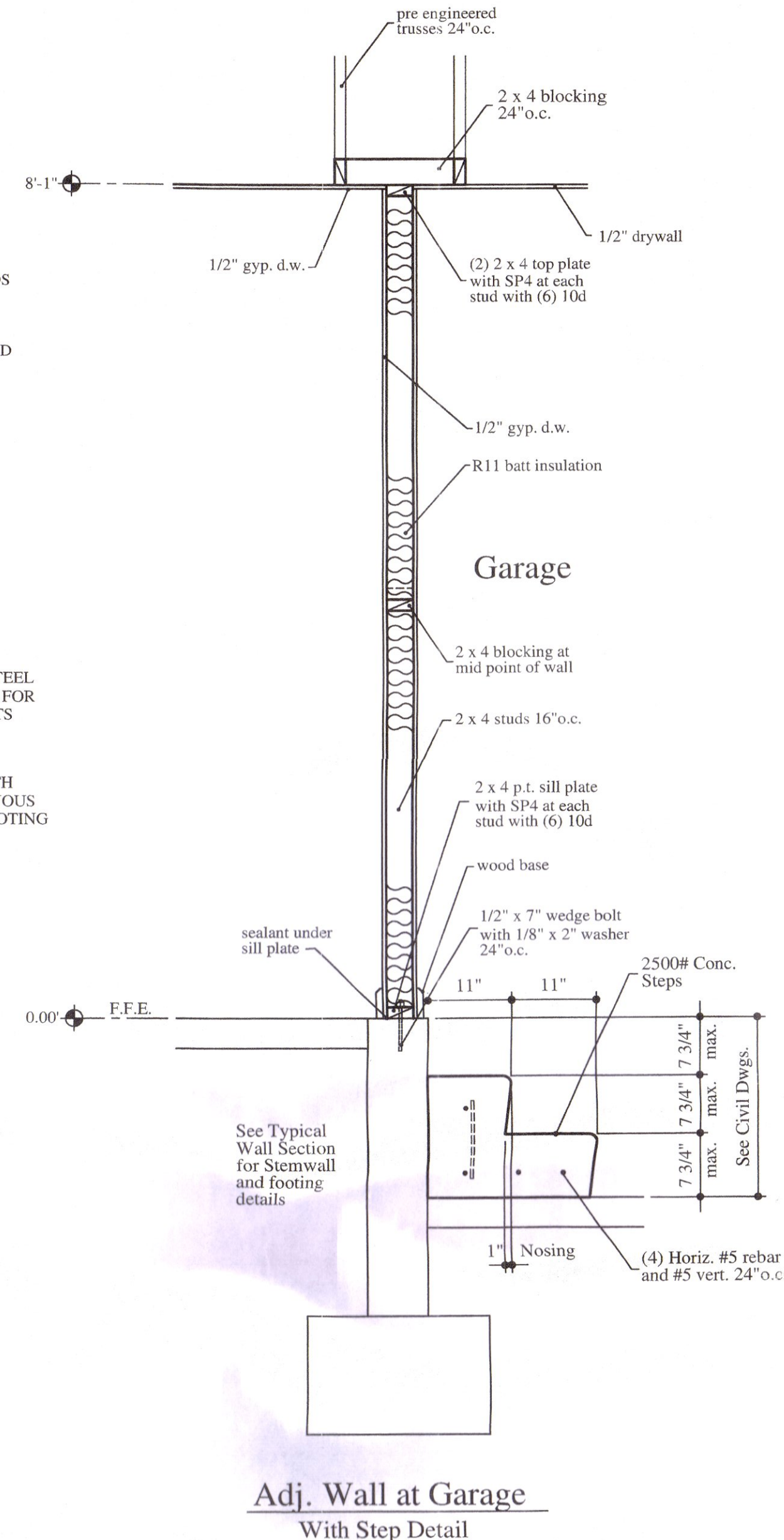


**Change in Bond Beam Elev.**

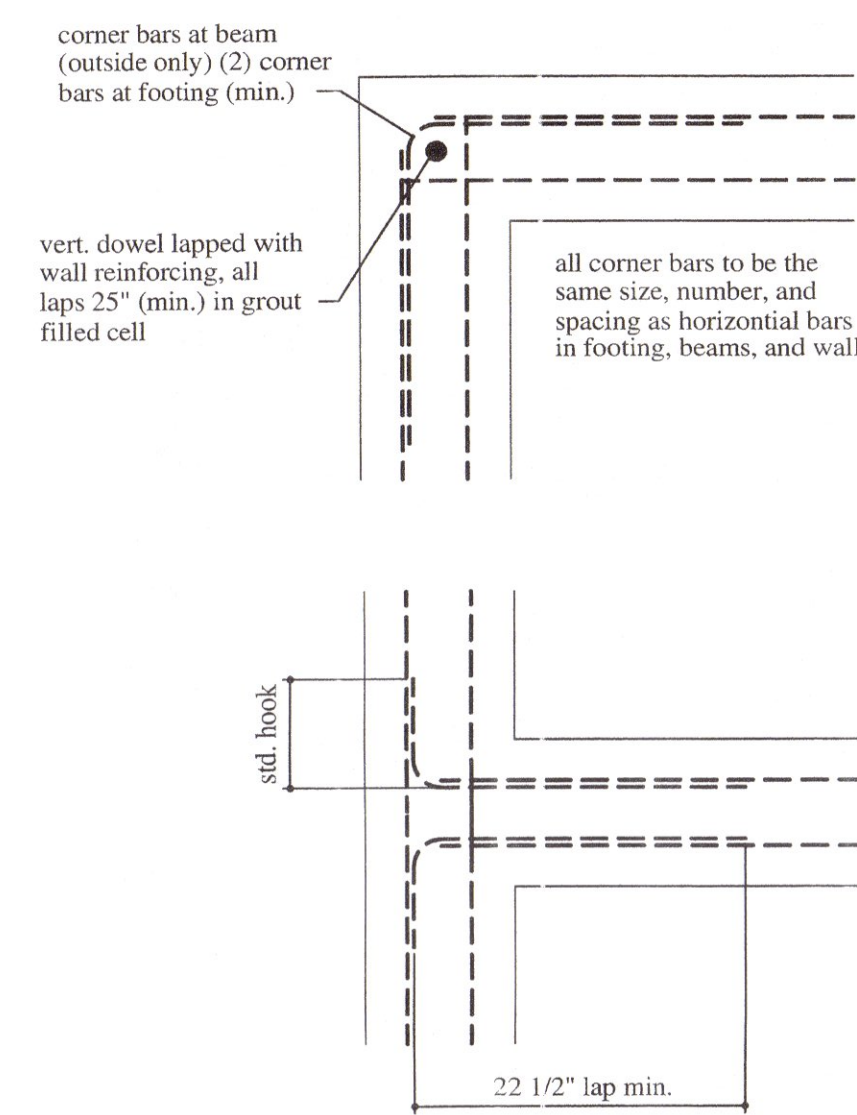


**Ballard Detail**

scale: 1" = 1'-0"



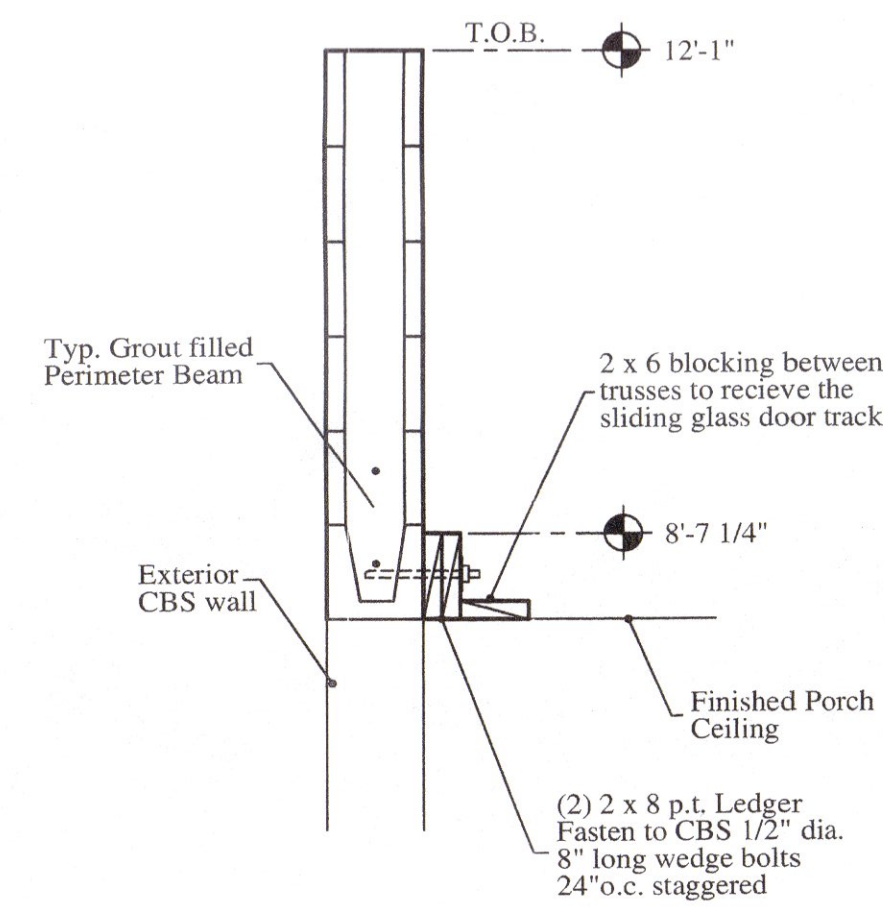
**Adj. Wall at Garage With Step Detail**



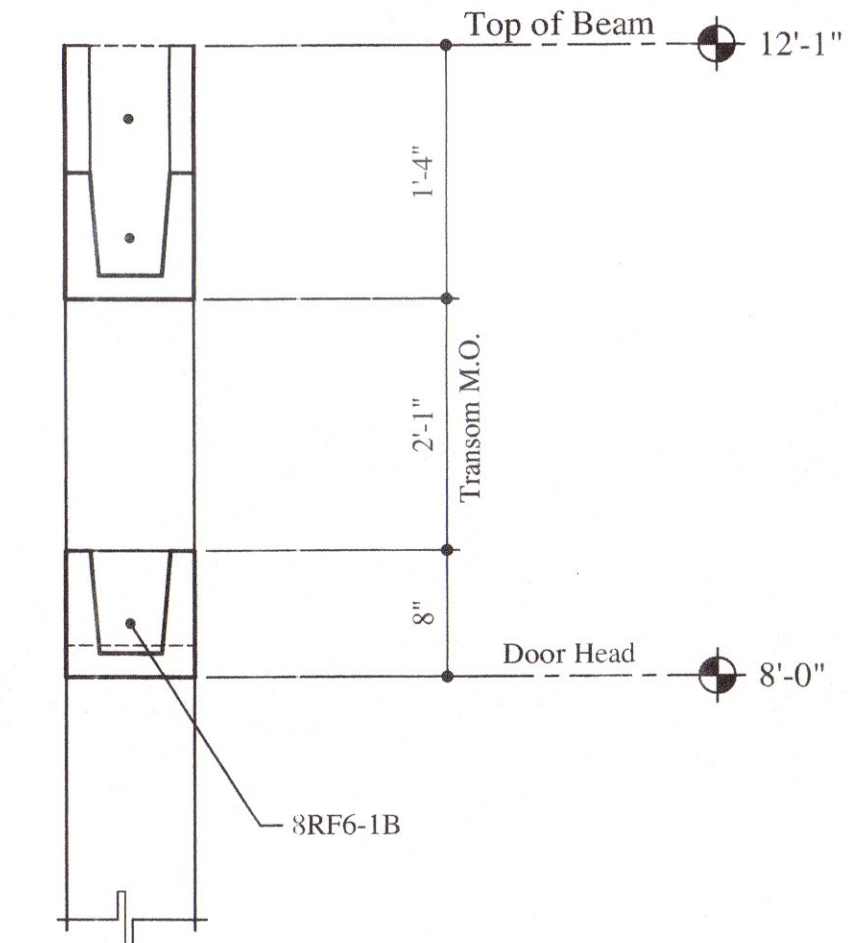
**Corner Reinforcing Detail**



**Bottom Cord Lateral Bracing**



**Ledger to CBS Detail**



**Door Tranom Detail**

**Associated Homes, Inc.**  
 Helseth Residence  
 1601 Frances Ave. Ft. Pierce  
 Parcel ID: 2401-605-0096-000-3  
 Lot 7, Block 6 of Thumb Point

**Steve I. Causi Design Group, Inc.**  
 RESIDENTIAL DESIGNERS  
 10710 SW Westlawn Blvd., Fort St. Laucie, FL, 34987  
 Office & Fax: (772) 785-6465

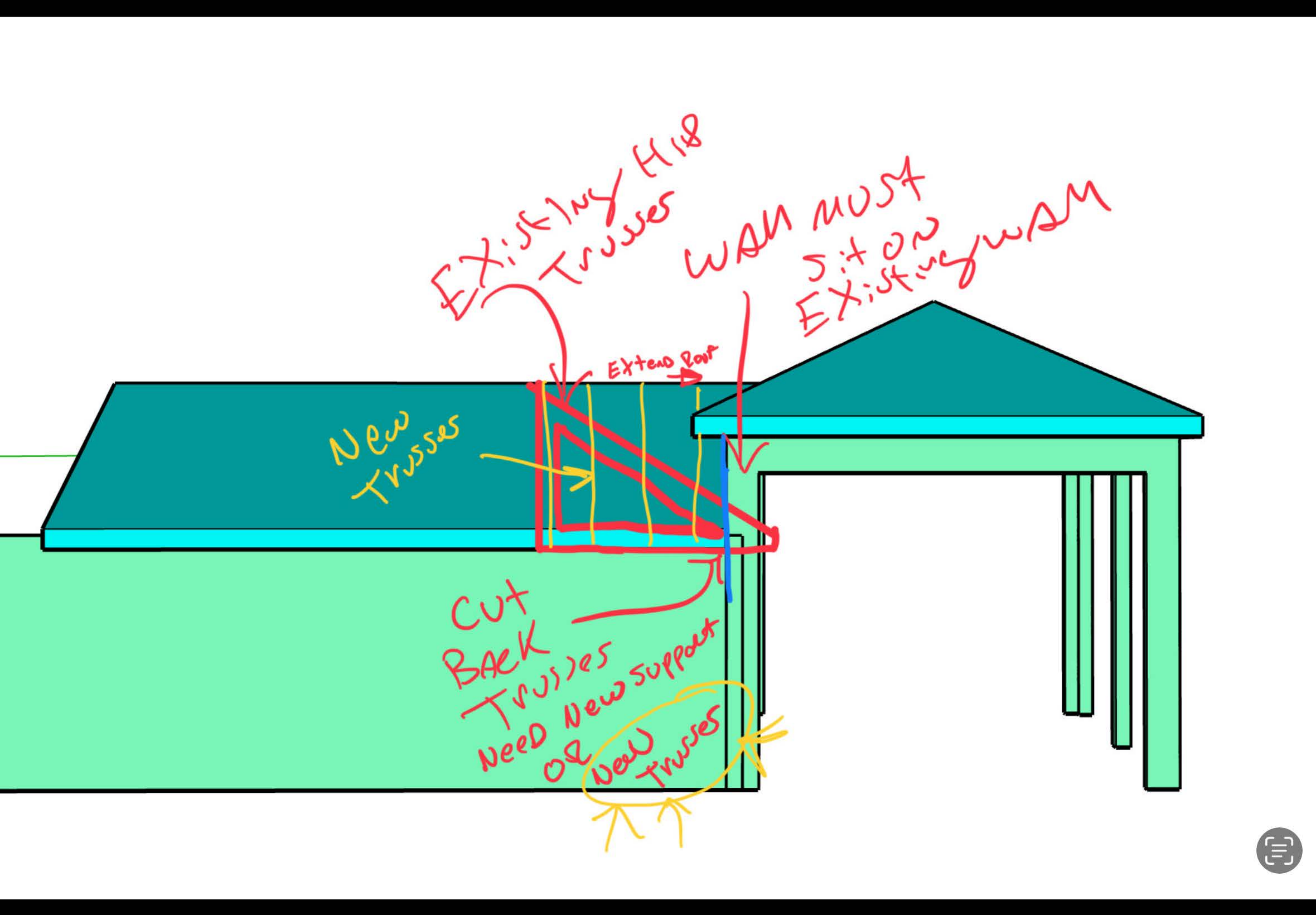
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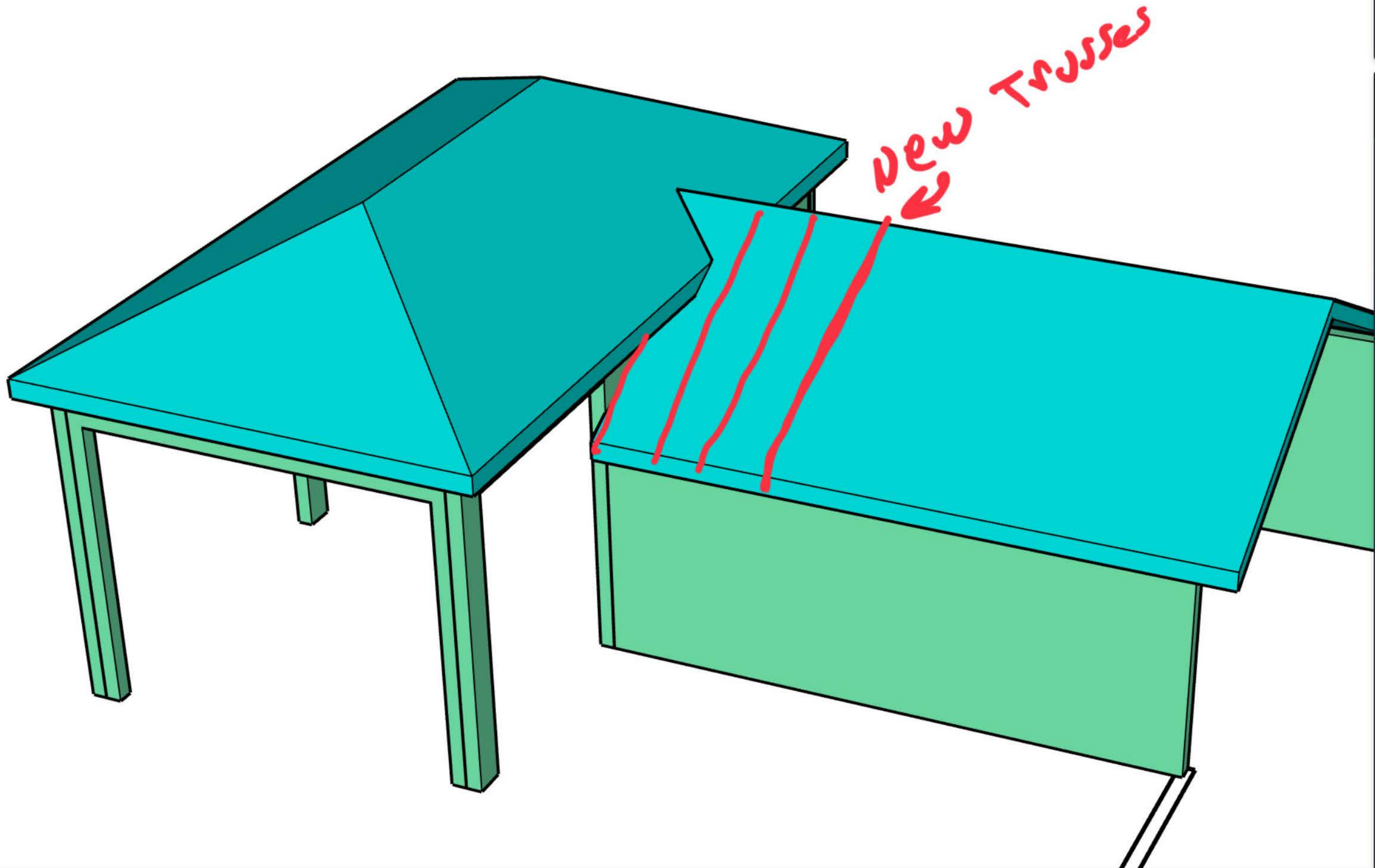












## Variance Request

Helseth Residence  
1601 Frances Avenue  
Lot 7 Block 6 of Thumb Point  
Parcel ID# 2401-605-0096-000-3

Mr. Helseth is seeking a dimensional variance from the current lot coverage code standard of 30% maximum building coverage (R-2).

His home is on a 10,000 SF lot with an allowed building coverage of 3,000 SF. Building a proposed roof extension over the existing rear driveway would provide necessary covered storage. The proposed covered carport addition would add 486 SF of coverage. If approved, his existing building coverage of 2,692 SF + 486 SF additional = 3,178 SF Total building / lot coverage.

The 178 SF variance amount is the least departure from code standard which yields functional covered parking on this constrained corner lot with limited rear buildable area. Achieving required clearances and functional on-site covered parking within the setbacks creates a unique difficulty at this corner lot parcel.

The minimum impact design of this open ended carport (no walls) would allow for safe covered parking, maneuvering and storage of vehicles. No new enclosed area is requested beyond the roof. The design would ensure property setback compliance with no encroachments. The proposed construction quality is engineered to ASCE 7-22 wind loads and complies with impact protection as required in hurricane prone regions. The proposed concrete stucco / metal roof carport addition is compatible with similar structures in the neighborhood and would match the current home design. The roof addition would be well under the maximum height allowed by R-2 zoning requirements and under the highest point of the current home roof. On-site drainage would be maintained per current existing rear driveway plan.



THE SUNRISE CITY  
**FORT PIERCE**  
PLANNING DEPARTMENT *Florida*

Steven Helseth  
1601 Frances Ave.  
Fort Peirce, FL 34949

**Project#: PZVAR2025-00009 – Variance (Lot Coverage) @ 1601 Frances Ave  
Technical Review Committee comments for December 18, 2025, TRC Meeting**

**City of Fort Pierce Planning Department**

Planning Department has no objections to the lot coverage variance



**To : Kerry Driver, Senior Planner**

**FROM : Tanner Retherford, P.E., Project Engineer**

**THRU : Mark Zrallack, P.E., City Engineer**

**RE : Variance – Lot Coverage – Parcel ID: 2401-605-0096-000-3  
Application No. PZVAR2025-00009**

**DATE : December 8, 2025**

This is to advise you that we have completed the review of the following documents received by this office on December 8, 2025:

Variance

Building Construction Plans

Test Reports & Related Documents

Certificate of Completion

Record Drawings

Permits from applicable Local,  
State & Federal Agencies

Clearances from all applicable Local,  
State and Federal Agencies

Based on our reviews and appropriate site final inspection, we

Recommend

Do Not Recommend

Variance

DPCR

C/O

Developer, Owner, Engineer, Contractor and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

See attached for comments



Fort Pierce Utilities Authority  
Water/Wastewater Engineering  
1701 South 37<sup>th</sup> Street  
Fort Pierce, FL 34947  
772.466.1600 Ext 3473

## Technical Review Committee Meeting

TECHNICAL REVIEW PROJECT: PZVAR2025-00009

**Lot Coverage Helseth Residence - 1601 Frances Ave**

W/WW Engineering: No comment.

Electric Engineering: FPUA Electric & Gas Engineering has reviewed the application.  
**Approved.**

Gas: N/A

FPUAnet Fiber: N/A



Our mission is to provide our customers with economical, reliable, and friendly service in a continuous effort to enhance the quality of life in our community.



JA

Jesse Almand <jalmand@slcfd.org>

To: Kerry Driver; **Planning Department**

😊 ↩ Reply ↩ Reply all → Forward 📧 📎 🗺 ⋮

Mon 12/8/2025 12:28 PM

SECURITY WARNING: This email has been generated from external sources and is not affiliated with the City of Fort Pierce systems. Exercise caution while clicking on links or opening attachments. If you have any questions or concerns, please reach out to the IT department promptly.

Good afternoon,

SLCFD has no comments for this review.

Respectfully,

**Jesse Almand 736**

**Captain, Development/Site Planning Review**

Saint Lucie County Fire District

Community Risk Reduction

(772) 621-3385





## PUBLIC NOTIFICATION CERTIFICATION

**PROJECT NAME:** Variance (Lot Coverage) – 1601 Franes Ave. – 2401-605-0096-000-3

**NOTICES PROVIDED PURSUANT TO:** City Code Section 125-37

**NOTICE BY NEWSPAPER:** January 4, 2026

**NOTICE BY MAIL:** January 5, 2026

**NOTICE BY SIGNS:** N/A

**VERIFIED BY:** Kerry C. Driver

**TITLE:** Senior Planner

**SIGNATURE:** 

**DATE:** January 6, 2026



January 5, 2026

Dear Property Owner:

The applicant and owner, **Steven Helseth**, is requesting approval of a **Variance** application to extend their roof by 486 SF, providing coverage over their existing carport. The address is located at 1601 Frances Avenue., Parcel ID 2401-605-0096-000-3.

*Legal description: THUMB POINT BLK 6 LOT 7*

According to Sec. 125-98 Purpose of the city's code, the purpose of a variance is to allow a modification of certain zoning ordinance regulations when such modification will not be contrary to the public interest and when, owing to conditions peculiar to the property and not the result of the actions of the applicant, a literal enforcement of the ordinance provisions would result in unnecessary and undue hardship. Unnecessary and undue hardships may result from the size, shape or dimensions of a site; the location of existing structures on the site; geographic, topographic or physiographic features or other conditions on the site or in the immediate vicinity; or street locations or traffic conditions in the immediate vicinity.

The property has a zoning classification of Single-Family Intermediate (R-2) and a future land use designation of Residential Low (RL).

A public hearing is scheduled before the **Board of Adjustments** of the City of Fort Pierce, Florida, at their **Thursday, January 22, 2026**, meeting which begins at **2:00 p.m.**, in the City Hall Commission Chambers, 100 North U.S. Highway 1, Fort Pierce, Florida. You are provided with the opportunity to attend the public hearing and to speak in favor of, or in opposition to, the requested **Variance** application. If you have any inquiries, or would like to review the complete application, please dial (772) 467-3739 or email [kdriver@cityoffortpierce.com](mailto:kdriver@cityoffortpierce.com). Furthermore, published agenda packets for each City Commission meeting are provided a few days in advance at the following web address: <http://cityoffortpierce.com/223/Agendas-Minutes>.

Sincerely,

Kerry C. Driver  
Senior Planner

ST. LUCIE NEWS TRIBUNE

ATTN: LEGAL ADVERTISING

RE: Planning

RUN ONCE: Sunday, February 1, 2026

Send Proof of Publication to: Kerry Driver @ [kdriver@cityoffortpierce.com](mailto:kdriver@cityoffortpierce.com)

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CITY OF FORT PIERCE  
NOTICE OF PUBLIC HEARING

The City Commission of the City of Fort Pierce, Florida, pursuant to Section 125-37 of the Code of Ordinances of the City of Fort Pierce, will on Thursday, February 12, 2026, hold a Board of Adjustments Public Hearing in the City Hall Commission Chambers, 100 North U.S. Highway 1, Fort Pierce, Florida, at their meeting which begins at 2:00 p.m., to consider review and approval of the following:

1. Application for Variance, submitted by applicant and owner, Steven Helseth to extend the roof coverage by 486 SF, extending the building coverage from 3,000 sq. ft. to 3,486 sq.ft at 1601 Frances Ave., more specifically located at Parcel Control Number: 2401-605-0096-000-3.

All interested parties may appear at the meeting and be heard with respect to the Applications. Said applications will be available for inspection in the City Clerk's Office, City Hall, 100 North U.S. Highway 1, Fort Pierce, Florida.

ANY PERSON SEEKING TO APPEAL THE DECISION OF THE CITY COMMISSION AS TO THE FOREGOING IS ADVISED THAT A RECORD OF PROCEEDINGS IS REQUIRED IN ANY SUCH APPEAL AND THAT SUCH PERSON MAY NEED TO ENSURE THAT A VERBATIM RECORD OF PROCEEDINGS IS MADE INCLUDING THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED.

In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this meeting should contact the City Clerk's Office at (772) 467-3065 at least 48 hours prior to the meeting.

/s/ Kerry C. Driver, Senior Planner  
Publish: 02/01/2026

Wilda Rodriguez (LF EST)  
1605 Frances AVE  
Fort Pierce, FL 34949-3560

Candice K Porter (LF EST)  
Donald W Porter (LF EST)  
1933 Wages WAY  
Jacksonville, FL 32218-8057



January 27, 2026

Dear Property Owner:

The applicant and owner, **Steven Helseth**, is requesting approval of a **Variance** application to extend their roof by 486 SF, providing coverage over their existing carport. The address is located at 1601 Frances Avenue., Parcel ID 2401-605-0096-000-3.

*Legal description: THUMB POINT BLK 6 LOT 7*

According to Sec. 125-98 Purpose of the city's code, the purpose of a variance is to allow a modification of certain zoning ordinance regulations when such modification will not be contrary to the public interest and when, owing to conditions peculiar to the property and not the result of the actions of the applicant, a literal enforcement of the ordinance provisions would result in unnecessary and undue hardship. Unnecessary and undue hardships may result from the size, shape or dimensions of a site; the location of existing structures on the site; geographic, topographic or physiographic features or other conditions on the site or in the immediate vicinity; or street locations or traffic conditions in the immediate vicinity.

The property has a zoning classification of Single-Family Intermediate (R-2) and a future land use designation of Residential Low (RL).

A public hearing is scheduled before the **Board of Adjustments** of the City of Fort Pierce, Florida, at their **Thursday, February 12, 2026**, meeting which begins at **2:00 p.m.**, in the City Hall Commission Chambers, 100 North U.S. Highway 1, Fort Pierce, Florida. You are provided with the opportunity to attend the public hearing and to speak in favor of, or in opposition to, the requested **Variance** application. If you have any inquiries, or would like to review the complete application, please dial (772) 467-3739 or email [kdriver@cityoffortpierce.com](mailto:kdriver@cityoffortpierce.com). Furthermore, published agenda packets for each City Commission meeting are provided a few days in advance at the following web address: <http://cityoffortpierce.com/223/Agendas-Minutes>.

Sincerely,

Kerry C. Driver  
Senior Planner



## PUBLIC NOTIFICATION CERTIFICATION

**PROJECT NAME:** Variance (Building Coverage) – 1601 Franes Ave. – 2401-605-0096-000-3

**NOTICES PROVIDED PURSUANT TO:** City Code Section 125-37

**NOTICE BY NEWSPAPER:** February 1, 2026

**NOTICE BY MAIL:** January 27, 2026

**NOTICE BY SIGNS:** N/A

**VERIFIED BY:** Kerry C. Driver

**TITLE:** Senior Planner

**SIGNATURE:** 

**DATE:** February 2, 2026

## **AFFIDAVIT OF PUBLICATION**

Kerry Driver  
Accounts Payable Dept  
City Of Fort Pierce Legals  
Po Box 1480  
Fort Pierce FL 34954-1480

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Before the undersigned authority personally appeared, who on oath says that he or she is the Legal Advertising Representative of the Indian River Press Journal/St Lucie News Tribune/Stuart News, newspapers published in Indian River/St Lucie/Martin Counties, Florida; that the attached copy of advertisement, being a Legal Ad in the matter of Public Notices, was published on the publicly accessible websites of Indian River/St Lucie/Martin Counties, Florida, or in a newspaper by print in the issues of, on:

SCN StLucie-IndianRv-Stuart 02/01/2026  
SCN tcpalm.com 02/01/2026

Affiant further says that the website or newspaper complies with all legal requirements for publication in chapter 50, Florida Statutes.

Subscribed and sworn to before me, by the legal clerk, who is personally known to me, on 02/01/2026

\_\_\_\_\_  
Legal Clerk

\_\_\_\_\_  
Notary, State of WI, County of Brown

9-3-29

My commission expires

Publication Cost: \$103.84  
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## **CITY OF FORT PIERCE NOTICE OF PUBLIC HEARING**

The City Commission of the City of Fort Pierce, Florida, pursuant to Section 125-37 of the Code of Ordinances of the City of Fort Pierce, will on Thursday, February 12, 2026, hold a Board of Adjustments Public Hearing in the City Hall Commission Chambers, 100 North U.S. Highway 1, Fort Pierce, Florida, at their meeting which begins at 2:00 p.m., to consider review and approval of the following:

1. Application for Variance, submitted by applicant and owner, Steven Helseth to extend the roof coverage by 486 SF, extending the building coverage from 3,000 sq. ft. to 3,486 sq.ft at 1601 Frances Ave., more specifically located at Parcel Control Number: 2401-605-0096-000-3.

All interested parties may appear at the meeting and be heard with respect to the Applications. Said applications will be available for inspection in the City Clerk's Office, City Hall, 100 North U.S. Highway 1, Fort Pierce, Florida.

ANY PERSON SEEKING TO APPEAL THE DECISION OF THE CITY COMMISSION AS TO THE FOREGOING IS ADVISED THAT A RECORD OF PROCEEDINGS IS REQUIRED IN ANY SUCH APPEAL AND THAT SUCH PERSON MAY NEED TO ENSURE THAT A VERBATIM RECORD OF PROCEEDINGS IS MADE INCLUDING THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED.

In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this meeting should contact the City Clerk's Office at (772) 467-3065 at least 48 hours prior to the meeting.  
/s/ Kerry C. Driver, Senior Planner  
Publish: 02/01/2026  
TCN12034556



**KONGMENG YANG**  
Notary Public  
State of Wisconsin

# USA TODAY CO.



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## **AFFIDAVIT OF PUBLICATION**

Kerry Driver  
Accounts Payable Dept  
City Of Fort Pierce Legals  
Po Box 1480  
Fort Pierce FL 34954-1480

STATE OF WISCONSIN, COUNTY OF BROWN

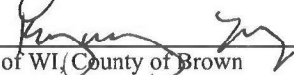
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Subscribed and sworn to before me, by the legal clerk, who is personally known to me, on 02/01/2026

  
\_\_\_\_\_  
Legal Clerk

  
\_\_\_\_\_  
Notary, State of WI, County of Brown

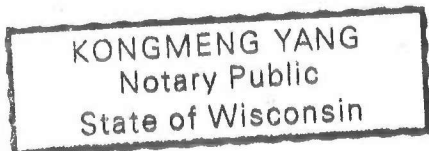
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1. Application for Variance, submitted by applicant Savannah Prophete on behalf of owner, Lesty Prophete to build a billboard within 1,300 feet from the nearest existing billboard that is located at 936 N. 4th Street. The proposed location for the new billboard is 601 N. US Highway 1., more specifically located at Parcel Control Number: 2403-705-0067-000-4.

All interested parties may appear at the meeting and be heard with respect to the Applications. Said applications will be available for inspection in the City Clerk's Office, City Hall, 100 North U.S. Highway 1, Fort Pierce, Florida.

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/s/ Kerry C. Driver, Senior Planner  
Publish: 02/01/2026  
TCN12034524



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<b>Customer Name:</b>	City Of Fort Pierce Legals
<b>Customer Address:</b>	City Of Fort Pierce Legals Po Box 1480 Accounts Payable Dept Fort Pierce FL 34954-1480
<b>Contact Name:</b>	Alicia Rosenthal
<b>Contact Phone:</b>	
<b>Contact Email:</b>	arosenthal@cityoffortpierce.com
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# Ad Preview

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/s/ Kerry C. Driver, Senior Planner  
Publish: 02/01/2026  
TCN12034556

## Planning Board of Adjustment Special Meeting 2 PM

Meeting Date: 02/12/2026

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### Information

#### REQUESTED ACTION

##### **PZVAR2025-00008**

Variance - Billboard Distance and Height  
601 N. US Highway 1

#### SUMMARY

A variance application has been submitted by applicant Savannah Prophete to build a 25 feet in height billboard and deviate from the 500 feet distance of another billboard sign, according to city code Sec. 117-6. The current billboard is located at 601 North US Highway 1, parcel ID: 2403-705-0067-000-4 is approximately 0.12 acres. The future land use is General Commercial (GC) and has a zoning of General Commercial (C-3).

#### LOCATION

**Address:** 601 N U.S. Highway 1

**Parcel ID:** 2403-705-0067-000-4

**Legal Description:** ASSESSOR'S MAP OF N PART OF FORT PIERCE BLK 5 BEG SW COR LOT 5, RUN N 0 DEG 04 MIN 30 SEC E ON W LI LOT 5 6.85 FT, TH N 88 DEG E 86.23 FT TO W CURB N 4 ST, TH S 2DEG E 60 FT TO S LI LOT 5, TH N 89 DEG 55 MIN 30 SEC W 88.34 FT TO POB (MAP 24/10C) (OR 3800-2921)

#### RESPONSIBLE STAFF

Kerry C.Driver - Senior Planner

#### RECOMMENDATION

Sec. 125-100 A variance may be granted only in the event that all of the following criteria are satisfied:

- Special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings in the same zoning district;
- The special conditions and circumstances do not result from the actions of the applicant;
- The literal interpretation of the provisions of the zoning ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the ordinance and would result in unnecessary and undue hardship on the applicant;
- The variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure;
- The granting of the variance will be in harmony with the general intent and purpose of the ordinance codified in this section and such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

According to Sec. 117-6, ground signs ***less than or equal to three acres shall have a maximum height of ten feet in height*** Additionally, ***Sec. 117-6(c)(5) restricts two off-premises signs within a five hundred feet distance.***

Based on the listed variance criteria from Section 125-100, Staff has determined that ***none of the five (5) variance criteria have been met.***

In addition, the vacant parcel is in the City's Community Redevelopment Agency (CRA) district, and the proposed use does not align with the city's vision to take advantage of opportunities for economic, social, or aesthetic improvements.

Therefore, Planning Department Recommends **Denial**.

#### ALTERNATE RECOMMENDATIONS

1.Recommend approval with or without conditions

---

#### Attachments

Staff Presentation

Staff Report

Applicant File

Staff Supporting Documents

Proof of Publication

---

#### Form Review

Form Started By: Kerry Driver

Started On: 02/02/2026 12:19 PM

Final Approval Date: 02/04/2026



# CITY OF FORT PIERCE

## Board of Adjustment

February 12, 2026

### **Billboard** (Distance & Height) **Variance** **601 N. US Highway 1**

Parcel ID: 2403-705-0067-000-4

## APPLICANT

Lesly Prophete

## PROPERTY OWNER(S)

Savannah Prophete

## PARCEL ID #(S):

2403-705-0067-000-4

(601 N US Hwy 1)

## SUMMARY

The applicant is seeking approval for a 25' height billboard on 0.12 acres and a distance waiver from a nearby billboard that is located within 1,300 feet of proposed new billboard location.



# CITY CODE: DIVISION 3 - VARIANCES

## Sec. 125-98

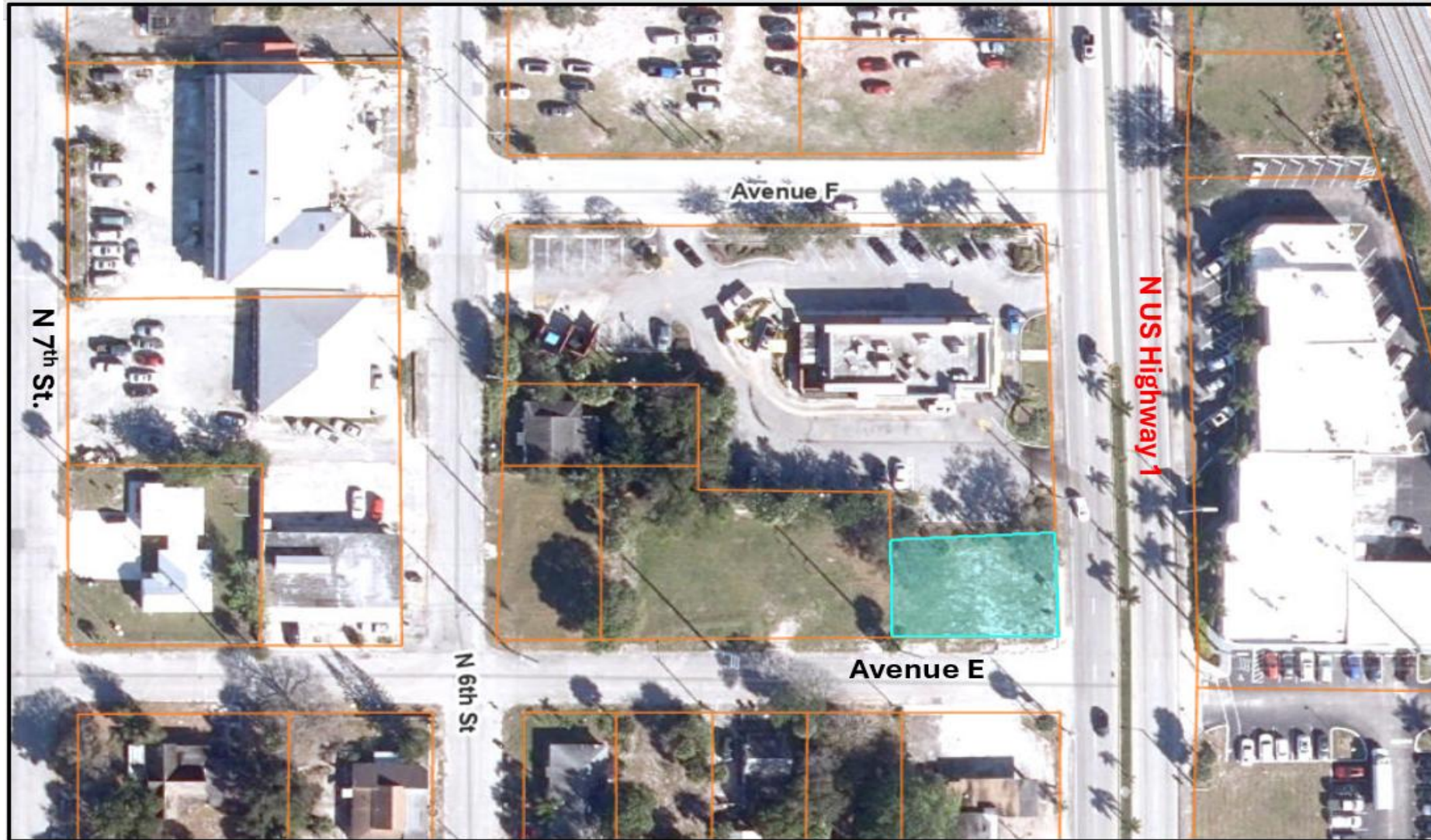
The purpose of a variance is to allow a modification of certain zoning ordinance regulations when such modification will not be contrary to the public interest and when, owing to conditions peculiar to the property and not the result of the actions of the applicant, a literal enforcement of the ordinance provisions would result in unnecessary and undue hardship. Unnecessary and undue hardships may result from the size, shape or dimensions of a site; the location of existing structures on the site; geographic, topographic or physiographic features or other conditions on the site or in the immediate vicinity; or street locations or traffic conditions in the immediate vicinity.

**A variance may be granted only in the event that all of the following criteria are satisfied:**

- (1)  
Special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings in the same zoning district;
- (2)  
The special conditions and circumstances do not result from the actions of the applicant;
- (3)  
The literal interpretation of the provisions of the zoning ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the ordinance and would result in unnecessary and undue hardship on the applicant;
- (4)  
The variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure; and
- (5)  
The granting of the variance will be in harmony with the general intent and purpose of the ordinance codified in this section and such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.



# SITE LOCATION/CONDITION



- SITE AREA= 0.12+/- Acres

Parcel ID: 2403-705-0067-000-4 (601 N US Hwy 1) Billboard Variance (Distance & Height)



# CITY CODE: Chapter 117 – SIGNS

## Sec. 117-1 Definitions

- Billboard (See Off-premises sign)
- Off-premises sign means any sign which advertises a use, establishment, product or service that is sold, produced, manufactured or furnished at a place other than on the property on which said sign is located. (Also called an outdoor advertising sign or billboard)
- Ground signs means a sign affixed to the ground, either flush or on poles, and not attached to any building for support, which may include a reader board

## Sec. 117-6(b)(3) Regulation: Ground Signs

(a) Ground signs sites that are less than or equal to 3 acres shall have a min. height of 10 ft.



## CITY CODE: Chapter 117 – SIGNS cont'd

2. Sites that are greater than five acres and less than or equal to ten acres shall have a maximum height of 15 feet.
3. Sites that are greater than ten acres and less than or equal to 20 acres shall have a maximum height of 18 feet.
4. Sites that are greater than 20 acres shall have a maximum height of 20 feet.

### Sec. 117-6 (c) Off-premises signs

- (5) Shall have the following minimum distances between any two off-premises signs:
- a. Five hundred feet where at least one off-premises sign is more than 100 square feet in sign area.
  - b. Five thousand feet where both signs are more than 100 square feet in off-premise sign area.

### Sec. 117-7(5) Permitted Signs: General Commercial and Industrial Zoning Districts (C-3, C-4, CP, I-1, I-2, and I-3)

#### a. *Semi-restricted uses.*

5. Off-premises signs.

*Conditional uses.* Same as semi-restricted uses.

b.



# FUTURE LAND USE

FLU: GC, General Commercial

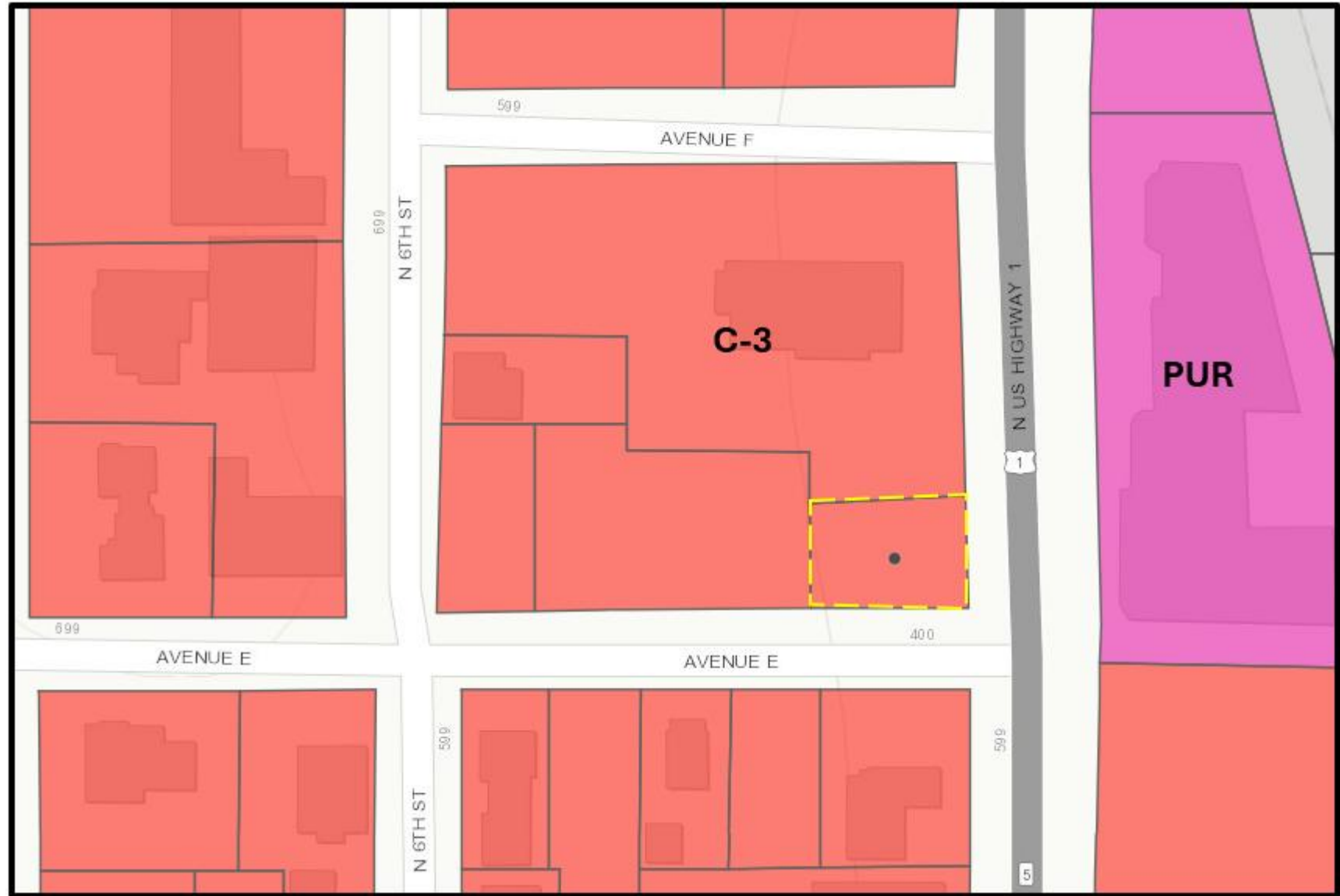


Parcel ID: 2403-705-0067-000-4 (601 N US Hwy 1) Billboard Variance (Distance & Height)



# ZONING

Zoning: C-3, General Commercial



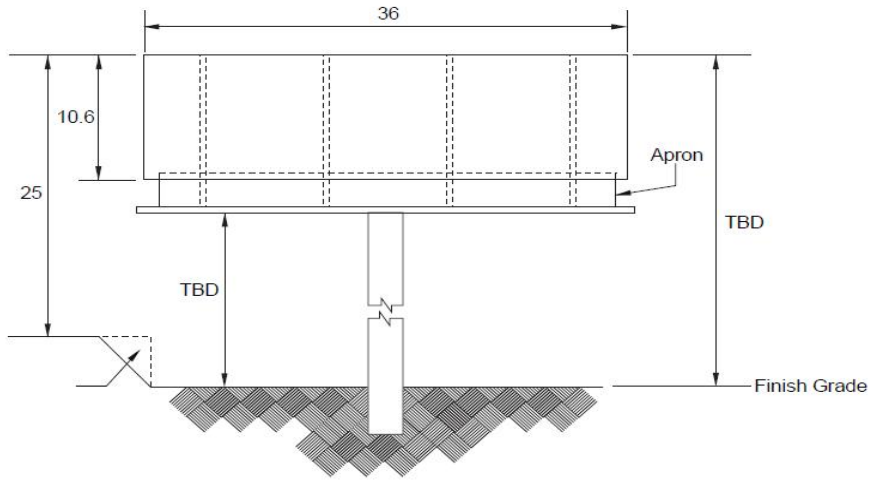
Parcel ID: 2403-705-0067-000-4 (601 N US Hwy 1) Billboard Variance (Distance & Height)



# PROPOSED BILLBOARD DETAILS/SITE LOCATION



SIGN DETAIL



Parcel ID: 2403-705-0067-000-4 (601 N US Hwy 1) Billboard Variance (Distance & Height)



# EXISTING BILLBOARD WITHIN DISTANCE



Parcel ID: 2403-705-0067-000-4 (601 N US Hwy 1) Billboard Variance (Distance & Height)



# DISTANCE LOCATION



- The proposed billboard location is located within 1,300 feet from an existing 25 ft. height billboard.
- The existing, Hopkins & Hopkins billboard is located on the east side of US Hwy 1 heading north
- The proposed billboard is on a west end parcel heading south on US Hwy 1

Parcel ID: 2403-705-0067-000-4 (601 N US Hwy 1) Billboard Variance (Distance & Height)



# VARIANCE CRITERIA

**Sec. 125-100 A variance may be granted only in the event that all of the following criteria are satisfied:**

- x Special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings in the same zoning district;
  - x The special conditions and circumstances do not result from the actions of the applicant;
  - x The literal interpretation of the provisions of the zoning ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the ordinance and would result in unnecessary and undue hardship on the applicant;
  - x The variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure;
- The granting of the variance will be in harmony with the general intent and purpose of the ordinance codified in this section and such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.



## RECOMMENDATION

According to Sec. 117-6, ground signs *less than or equal to three acres shall have a maximum height of ten feet in height. Additionally, Sec. 117-6(c)(5) restricts two off-premises signs within a five hundred feet distance.* Based on the listed variance criteria from Section 125-100, Planning Department has determined that *none of the five (5) variance criteria have been met.*

In addition, the vacant parcel is in the City's Community Redevelopment Agency (CRA) district, and the proposed use does not align with the city's vision to take advantage of opportunities for economic, social, or aesthetic improvements.

Planning Department **does not** recommend an approval.

## ALTERNATE RECOMMENDATIONS:

1. Recommend approval with or without conditions





# CITY OF FORT PIERCE

## Board of Adjustment

February 12, 2026

**Billboard (Distance & Height)– Variance**

**601 N. US Highway 1**

Parcel ID: 2403-705-0067-000-4



THE SUNRISE CITY  
**FORT PIERCE**  
PLANNING DEPARTMENT *Florida*

---

**TO:** Richard Chess, MBA City Manager  
**THROUGH:** Kevin Freeman, Planning Director  
**FROM:** Kerry C. Driver, Senior Planner  
**RE:** **Variance: Billboard**  
**601 N US Hwy 1**  
**BOARD DATE:** February 12, 2026

---

**STAFF REPORT**

**Owner:** Savannah Prophete  
6453 NW Fontana St.  
Port St. Lucie, FL 34986

**Applicant:** Lesly Prophete  
Same as Owner

**Applicant's Request:** Approval of Variance: Billboard Distance & Height

**Location(s):** 601 N US Hwy 1

**Parcel ID:** 2403-705-0067-000-4

**Future Land Use:** General Commercial (GC)

**Current Zoning:** C-3, General Commercial

**Surrounding FLU:**

North	East	South	West
GC	GC	GC	GC



Surrounding Zoning:

North	East	South	West
C-3	C-3	C-3	C-3





**Site Area:**  
601 N US Hwy 1  
+/- 0.12 acres

**Utilities:** FPUA (approved)

**Staff Analysis:**

***Variance Request***

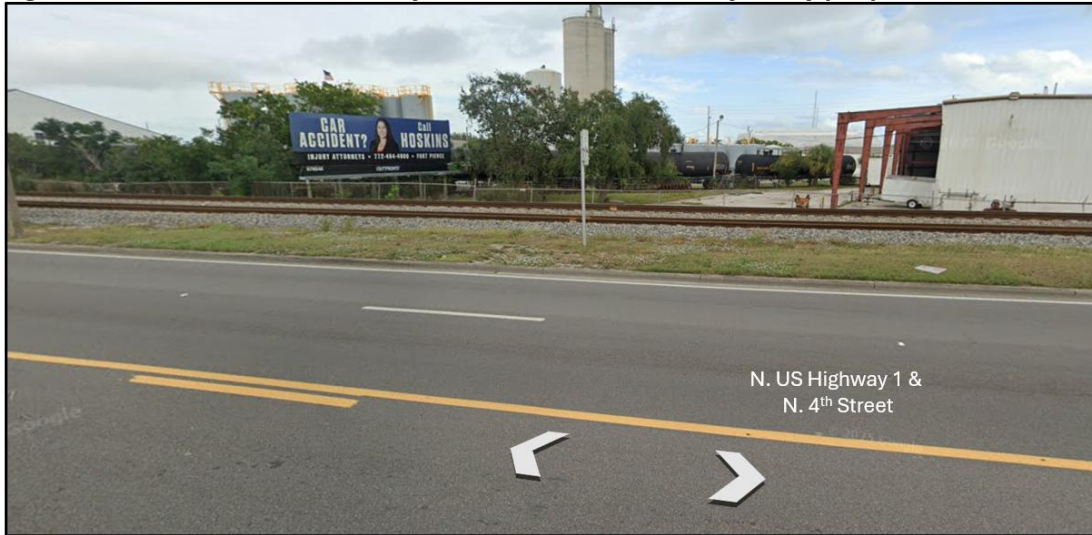
In accordance with Article II of Section 125 of the City Code, the applicant is requesting to deviate from City Code 117-6(b)(3) to allow a height above the allowance of their site location and to deviate from City Code Section 117-6(c)(5) – Off-Premises signs minimum distance.

***Project Summary***

The applicant is seeking approval for a 25' height billboard on 0.12 acres. Section 117-6 (3) Regulation of Ground Signs; sites that are less than or equal to three acres shall have a maximum height of ten feet in height. In addition, the applicant is requesting a distance variance as the proposed billboard is located within 1,300 feet of an existing billboard. Per city code section 117-6(c)(5), off-premises signs shall have the following minimum distances between any two off-premises signs:

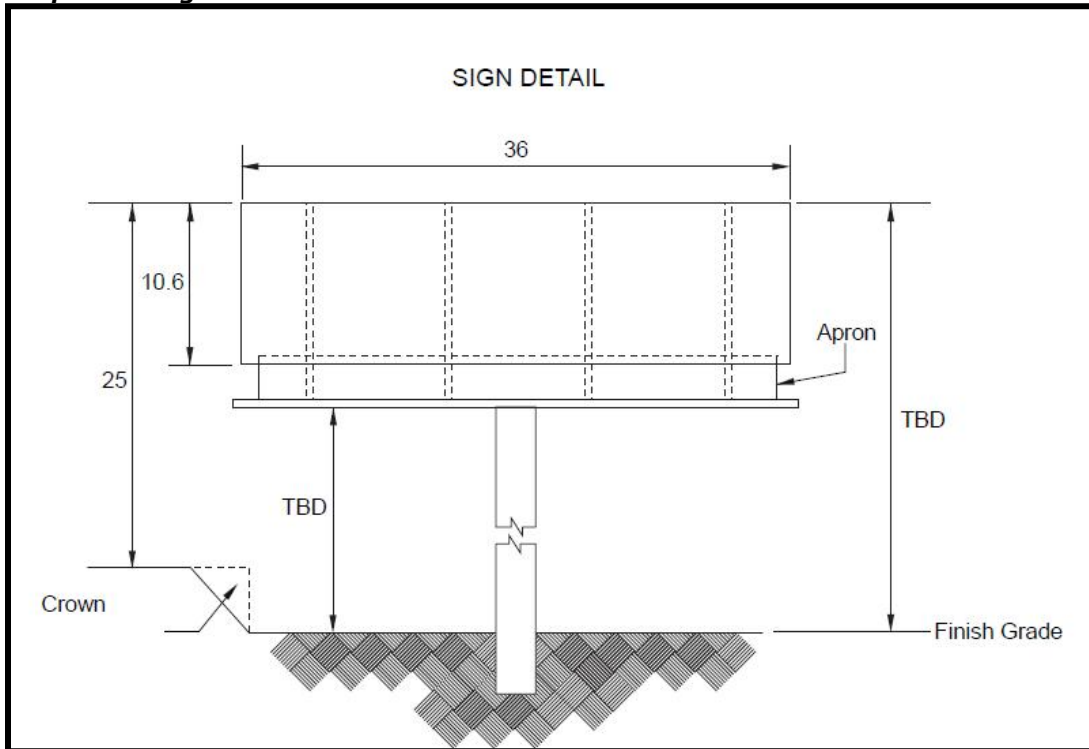
- a. Five hundred feet where at least one off-premises sign is more than 100 sq. feet in sign area
- b. Five thousand feet where both signs are more than 100 sq. ft. in off-premises sign area

**Sign Street View and location of Billboard within 1,300 feet of proposed location**



(Northbound view)

**Proposed Height**



**Landscaping**

No landscape details were provided.

***Existing Conditions***

The parcel is vacant.

***Lighting***

No lighting details were provided.

***Variance Criteria***

According to Section 125-100, Criteria for granting variances, a variance may be granted only in the event that all of the following criteria are satisfied:

1. Special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings in the same zoning district;
2. The special conditions and circumstances do not result from the actions of the applicant;
3. The literal interpretation of this provisions of the zoning ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the ordinance and would result in unnecessary and undue hardship on the applicant;
4. The variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure; and
5. The granting of the variance will be in harmony with the general intent and purpose of the ordinance codified in this section and such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

***Applicant's Response***

***Describe those conditions peculiar to the specific property and not applicable to other lands, structures, or buildings in the same zoning district.***

The property is separated from the nearest billboard by both a railroad corridor and the divided lanes of U.S. Highway 1, creating a distinct visual and geographic corridor. Unlike other nearby parcels, this site faces the opposite traffic direction and cannot share the same line of sight as the existing billboard at 936 N 4th Street.

***Do special conditions or circumstances result from actions other than that of yours? Please explain.***

Yes. The spacing conflict results from the placement of the pre-existing Hoskins billboard on the opposite side of U.S. 1, which limits new sign opportunities in this corridor despite there being no overlapping visibility or safety impact.

***Identify any undue hardships or deprivation of commonly enjoyed property rights that would result in the literal interpretation of the code for the zoning district.***

Strict enforcement of the 1,500-foot spacing rule would prevent any billboard installation on the southbound side of this section of U.S. 1, despite ample physical separation and visual distinction. This would cause unnecessary hardship by depriving the property of a reasonable commercial use consistent with other nearby properties

***What is the minimum variance that would give the reasonable use of the land, building, or structure?***

A reduction of approximately 200–300 feet from the 1,500-foot spacing requirement, allowing a minimum separation of about 1,200–1,300 feet from the nearest billboard.

***Explain how the variance request would not impair the intent of the zoning ordinance or be determined to the general public welfare.***

Granting this variance would not undermine the purpose of the spacing rule, which is to prevent visual clutter and safety hazards. Because the proposed billboard faces a separate traffic direction, is visually isolated by the railroad corridor, and meets all design, height, and safety standards, it maintains the spirit of the ordinance while supporting local business visibility and economic use of the property.

***Technical Review Committee***

All affected departments have reviewed the proposed Variance application regarding the requirements of the City Code. Findings from the review by corresponding departments and the associated responses by the applicant are provided with the staff’s supporting documents.

***Property Owner Response Summary***

A total of 2 notifications of the proposal were mailed to the owners of property located adjacent to the subject property. As of February 2, 2026, there have been zero (0) responses by adjacent property owners regarding the request. An update will be provided at the Board of Adjustment public hearing.

***Staff Recommendation:***

According to Sec. 117-6, ground signs less than or equal to three acres shall have a maximum height of ten feet in height. Additionally, Sec. 117-6(c)(5) restricts two off-premises signs within a five hundred feet distance. Based on the listed variance criteria from Section 125-100, Planning Department has determined that none of the five (5) variance criteria have been met.

In addition, the vacant parcel is located in the City’s Community Redevelopment Agency (CRA) district, and the proposed use does not align with the city’s vision to take advantage of opportunities for economic, social, or aesthetic improvements.

Therefore, Planning Department **does not** recommend an approval.

# Variance Narrative – Proposed Billboard Location

**Parcel ID:** 2403-705-0067-000-4

**Address:** 601 N US Highway 1, Fort Pierce, FL 34950

**Applicant:** Lesly Prophete (Owner) / Savannah (Authorized Representative)

**Request:** Variance from the billboard spacing requirement (1,500 ft)

## 1. Purpose of Request

The applicant is requesting a variance from the City of Fort Pierce's 1,500-ft spacing requirement for off-premise billboards in order to install a single-faced, 25-ft-tall static billboard on the subject parcel located at 601 N US Highway 1. The proposed billboard will meet all structural requirements. The only condition requiring a variance is the spacing distance to the nearest existing billboard.

## 2. Location of Existing Billboard Creating the Conflict

The nearest existing billboard is the Hoskins billboard located at 936 N 4th Street, approximately 1,250 ft north of the subject parcel. This billboard sits on the east side of US-1, on the opposite visual corridor, and is separated by highway lanes, a raised median, and a railroad corridor.

## 3. Unique Conditions of the Subject Property

### A. Opposite-Side Placement

The proposed billboard is on the west side of US-1, while the Hoskins billboard is on the east side, resulting in no shared sightline.

### B. Railroad + Median Separation

A full railroad track and raised median create natural separation that prevents visual clutter and ensures safety.

### C. Small, Irregular Parcel

The parcel's size limits commercial development; a billboard is the highest and best economic use.

## 4. Consistency With Public Interest

The variance will not negatively impact traffic, neighborhood character, or commercial properties. The sign is modest, code-compliant, and consistent with the US-1 commercial corridor.

## 5. Compliance With Zoning Intent

The request supports economic use of a small parcel, does not increase clutter due to opposite-side placement, and meets all structural requirements. The hardship arises from existing conditions and is not self-created.

## 6. Conclusion

For these reasons, the applicant respectfully requests approval of the spacing variance to allow installation of a single-face, static billboard at 601 N US Highway 1. The unique site conditions justify the variance without compromising public safety or corridor aesthetics.

I, Lesly Prophete, am the legal owner of the property located at:

601 N U.S. Highway 1 Fort Pierce, FL 34950 Parcel ID: 2403-705-0067-000-4

I hereby authorize my daughter, Savannah Prophete, to act as my representative in all matters related to billboard variance application for this property. She has my full permission to submit documents, communicate with the City of Fort Pierce, and complete all requirements on my behalf.

Owner Name Lesly Prophete

Signature: Lesly Prophete

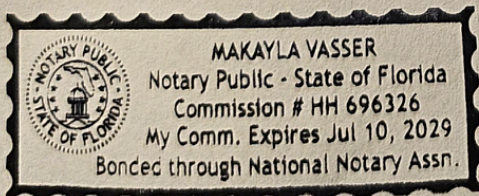
Date: 12-04-25

To Be Completed by Notary Public.

State of Florida

County of Saint Lucie

This Instrument was signed or acknowledged before me on December 4, 2025 by Lesly Prophete.



Makayla Vasser

Signature of Notary Public

# BOUNDARY SURVEY

**LEGAL DESCRIPTION:**  
 BEGINNING AT THE SOUTHWEST CORNER OF LOT 3, BLOCK 5 OF DRYMAY'S ADDITION TO EDGEMOON, AS PER PLAT THEREOF RECORDED IN PLAT BOOK 1, PAGE 111 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, RUN THENCE NORTH 00°04'30" EAST ALONG THE WEST LINE OF SAID LOT 3, 54.63 FEET; THENCE NORTH 88°00'00" EAST, 88.34 FEET TO A POINT ON THE BACK OF THE CURB OF NORTH 4th STREET; THENCE SOUTH 03°00'00" EAST, ALONG THE LINE OF THE BACK OF THE WEST CURB OF NORTH 4th STREET, 43.00 FEET TO A POINT ON THE SOUTH LINE OF ADJACENT LOT 5, BLOCK 5, DRYMAY'S ADDITION; THENCE NORTH 88°53'30" WEST, ALONG THE SOUTH LINE OF SAID LOT 5, 88.14 FEET TO THE POINT OF BEGINNING.

**SURVEYOR'S NOTES:**

1. NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND ENJOY ADJACENT TO THIS SITE. THE APPROXIMATE LOCATION OF ALL UTILITIES SHOWN HEREON WERE TAKEN FROM AS-BUILT DRAWINGS AND/OR ON SITE LOCATION AND SHOULD BE VERIFIED BEFORE CONSTRUCTION.
2. NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND FOOTINGS OF BUILDINGS OR FENCES OR/AND ADJACENT TO THIS SITE.
3. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS AND/OR RIGHTS OF WAY OF RECORD EXCEPT AS SHOWN ON THE RECORDS PLAT THEREOF.
4. BEARINGS SHOWN HEREON REFER TO AN ASSUMED MERIDIAN OF 118°53'30" W ALONG THE CENTERLINE OF AVENUE 'E'.
5. THIS SITE LIES IN FLOOD ZONE "X" AS SCALED AND INTERPOLATED ON FEMA MAP NO. FIRM-87-03-014-D, DATED: NOVEMBER 4, 1982.
6. SITE AREA, 308.87 SQUARE FEET OR 0.117 ACRES MORE OR LESS.
7. LEGAL DESCRIPTION FURNISHED BY CLIENT.

**CERTIFICATIONS:**

1. LEONARD GROUP LTD. REALTY

**SURVEYOR'S CERTIFICATION:**

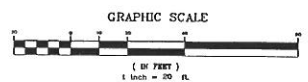
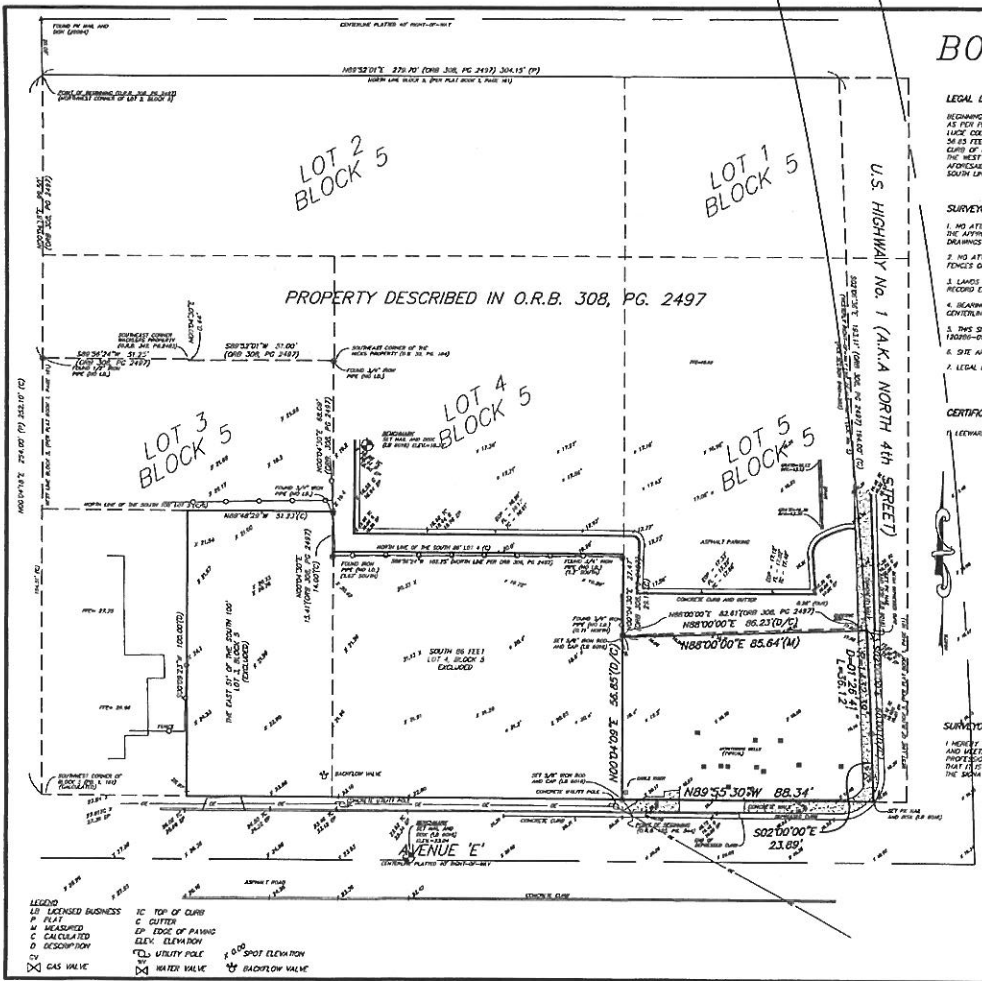
I HEREBY CERTIFY THAT THIS PLAT OF SURVEY WAS PREPARED UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH IN THE FLORIDA STATUTES OF PROFESSIONAL LAND SURVEYORS AND MAPMANS IN CHAPTER 461-1-6, FLORIDA STATUTES, AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, NOT HELD WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A LICENSED FLORIDA SURVEYOR AND MAPMAKER.

ROBERT BLOOMSTER, JR.  
 PROFESSIONAL LAND SURVEYOR  
 NO. 4134 STATE OF FLORIDA

**BLOOMSTER**  
 PROFESSIONAL LAND SURVEYORS, INC.  
 L.S. #61015  
 791 HE GENE HIGHWAY  
 JORDON BEACH, FLORIDA 34997  
 PHONE 732-334-0868

DATE	11/11/82
SCALE	1" = 20'
PLAT	7172
BOOK	
PAGE	
BY	RB

PREPARED FOR: LEONARD GROUP LTD. REALTY  
 501 NORTH U.S. HIGHWAY #1  
 FORT PIERCE, ST. LUCIE COUNTY, FLORIDA



## Exhibit A

**State:** Florida

**County:** Saint Lucie

**City:** Fort Pierce

**APN:** 24-03-705-0067-0004 & 24-03-705-0065-0000

**Legal:** To be supplied by closing agent

**Address:** 601 N US Highway 1, Fort Pierce, FL 34950

Abbreviated Legal:

ASSESSOR S MAP OF N PART OF FORT PIERCE BLK 5 BEG SW COR LOT 5, RUN N 0 DEG 04 MIN 30 SEC E ON W LI LOT 5 6.85 FT, TH N 88 DEG E 86.23 FT TO W CURB N 4 ST, TH S 2DEG E 60 FT TO S LI LOT 5, TH N 89 DEG 55 MIN 30 SEC W 88.34 FT TO POB (MAP 24/10C) (OR 3800-

ASSESSOR S MAP OF N PART OF FORT PIERCE BLK 5 E 51 FT OF S 100 FT OF LOT 3 AND S 86 FT LOT 4 (MAP 24/10C) (OR 3800-2921)

Vesting Deed Legal:

**The East 51 feet of the South 100 feet of Lot 3 and the South 86 feet of Lot 4, Block 5, ASSESSOR'S MAP OF NORTH PART OF FORT PIERCE, according to the Plat thereof as recorded in Plat Book 1, Page 164, Public Records of St. Lucie County, Florida.**

**AND**

**Beginning at the SW corner of Lot 5, Block 5, Dittmar' s Addition to Edgartown, as per plat thereof recorded in Plat Book 1, Page 164, Public Records of St. Lucie County, Florida; thence North 0°04'30" East along the West line of Lot 5, 56.85 feet; thence North 88°0' East 86.23 feet to North 4th; thence South 2° East 60 feet to a point on the South line of Lot 5; thence North 89°55'30" West along the South line of Lot 5, 88.34 feet to Point of Beginning, as recorded in Official Records Book 125, Page 544, Public Records of St. Lucie County, Florida.**



"↑ North"

Approx. 1,250 ft north to existing Hoskins billboard (across US-1)"

Railroad (not shown on parcel map — east side)

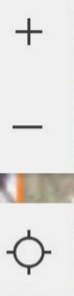
US-1 (N US Highway 1)

601 N US Highway 1  
- Subject Parcel

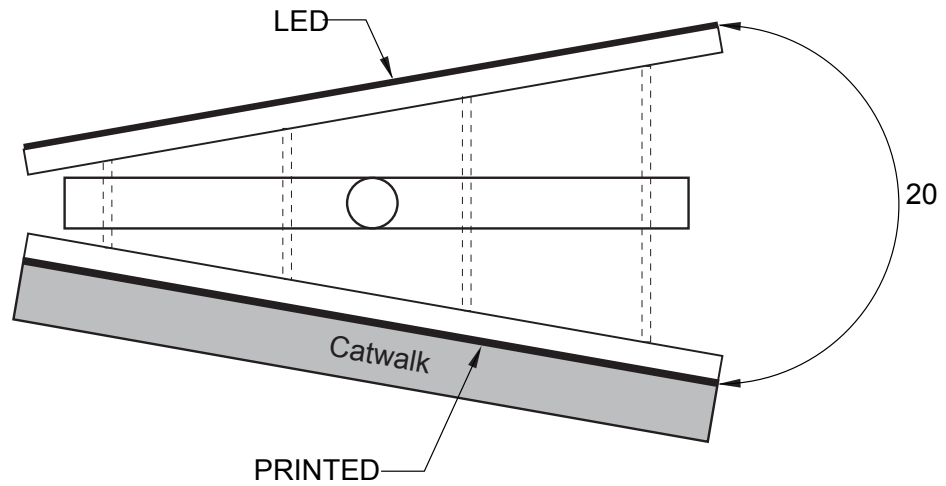
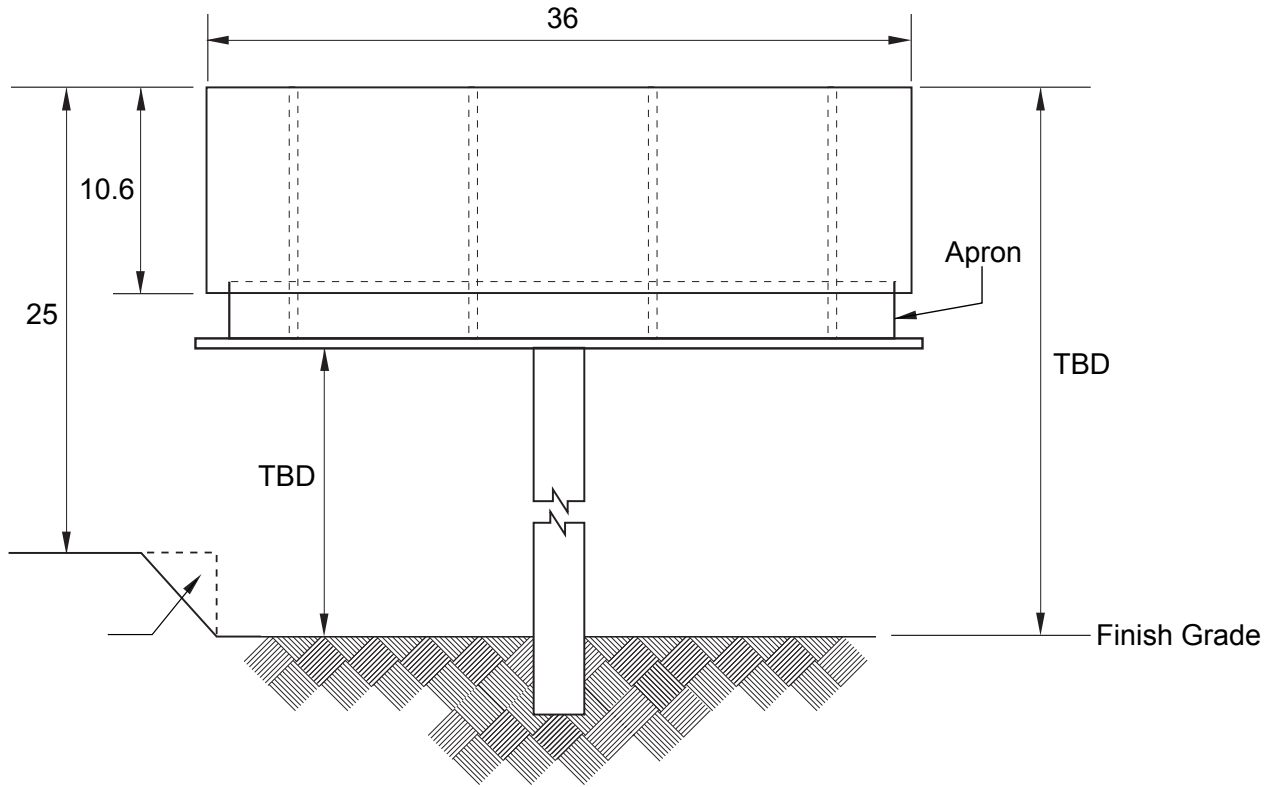
Sign Face: 10.5 ft x 36 ft  
(standard static)

Proposed Billboard Location  
(1 face, 25 ft height)

SITE PLAN - Proposed Billboard Location  
(601 N US Highway 1

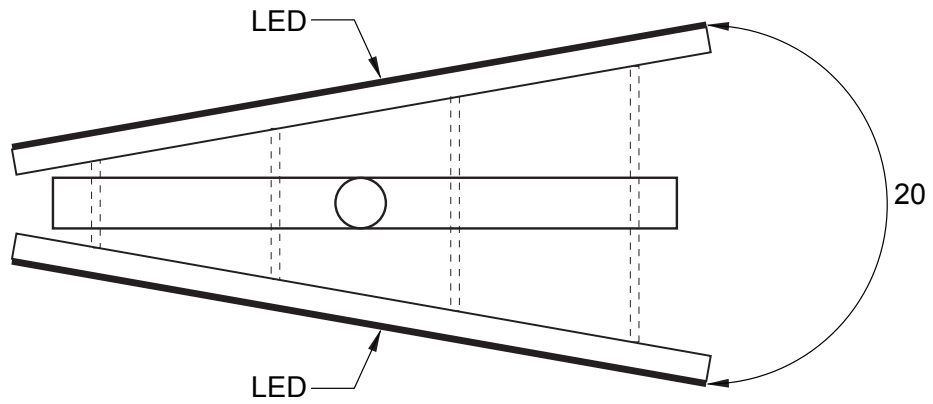
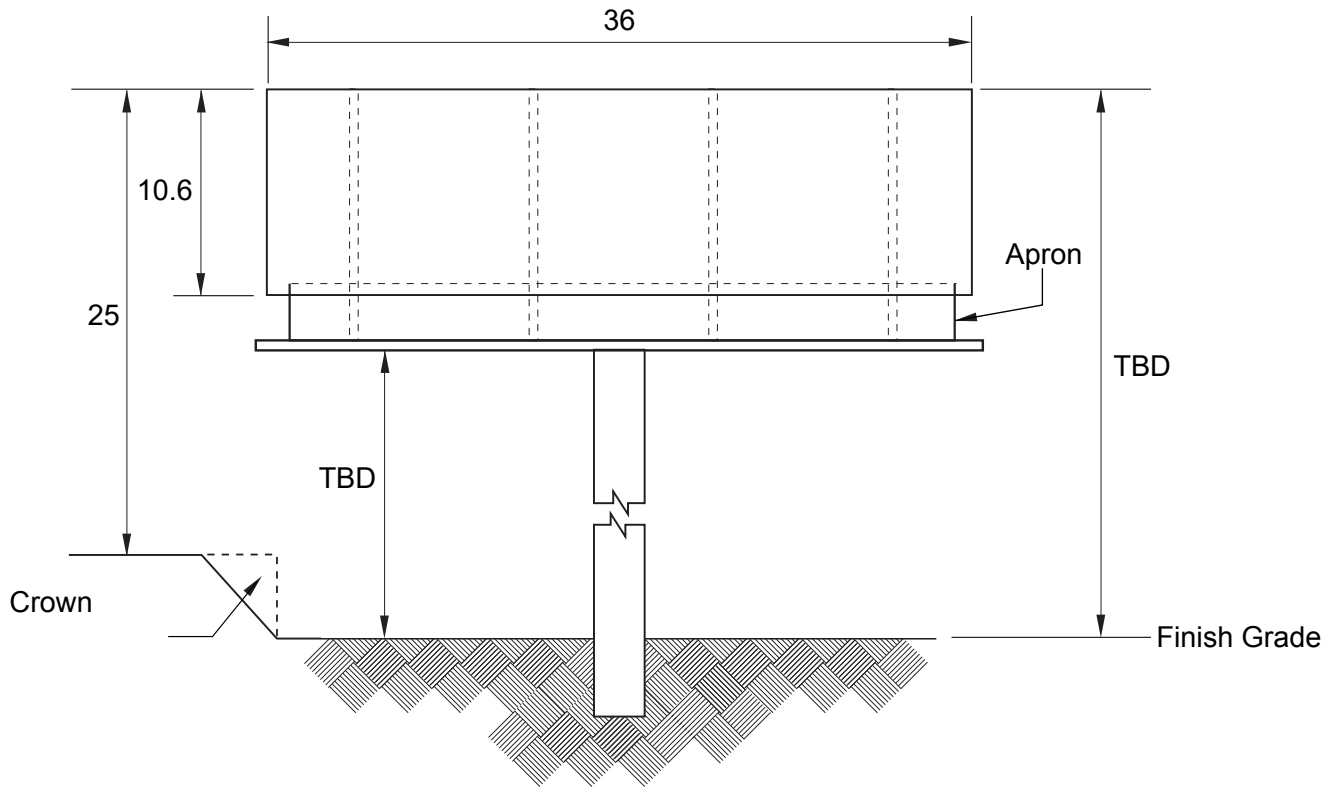


SIGN DETAIL



NOT TO SCALE

# SIGN DETAIL



NOT TO SCALE

> *“No structures exist on the parcel. This is a vacant commercial lot.”*

## ← Select Text

### Billboard Variance Narrative

**Applicant:** Savannah Prophete (on behalf of property owner)

**Property Address:** 601 N US Highway 1, Fort Pierce, FL 34950

**Parcel ID:** 240370500670004

### Purpose of Request

This request seeks a variance from the 1,500-foot billboard spacing requirement in the City of Fort Pierce Code to allow a new off-premise sign (billboard) on the west side of U.S. Highway 1, approximately 1,200–1,300 feet south of the existing "Hoskins" billboard at 936 N 4th Street.

### Justification for Variance

The subject property is uniquely situated on the opposite side of U.S. 1 from the nearest billboard and is separated by both a **railroad corridor and a divided highway**, creating a clear visual and physical break. Because of these barriers, the proposed billboard would not share the same line of sight or compete for driver attention with the existing billboard.

Strict application of the 1,500-foot rule would impose an **unnecessary hardship**, as it would prohibit any billboard installation on the southbound side of this corridor, depriving the property owner of a reasonable commercial use available to others in similar zones. The hardship arises entirely from pre-existing site conditions and not from any actions of the applicant.

### Consistency with Public Interest

Granting this variance will **not impair the intent of the zoning ordinance** or negatively affect public safety or aesthetics. The proposed billboard will comply with all design, height, and lighting standards and will enhance the property's economic use while maintaining the City's visual character along U.S. 1.

### Minimum Relief Requested

Approval of a spacing reduction from 1,500 feet to approximately 1,200 feet to allow one single-faced billboard oriented toward southbound traffic.



## Summary Record Card



Map

Full Card

TRIM



### Property Information

**Parcel ID:** 2403-705-0067-000-4

**Site Address:** 601 N US HIGHWAY 1

**Jurisdiction:** 9022 - Fort Pierce

**Land Use:** 1000 - Vac Comm

**Land Acres:** 0.12

**Finished Area:** 0 SF

### Ownership

**Owner:** Lesly Prophete

**Mailing Address:** 6453 NW Fontana ST  
Port St Lucie, FL 34986-3765

### Current Value

**Just/Market Value:** \$39,500.00

**Assessed Value:** \$18,739.00

### Last Sale

**Date:** 10/19/2015

**BK:** 3800 PG: 2921

**Sale Code:** 1000

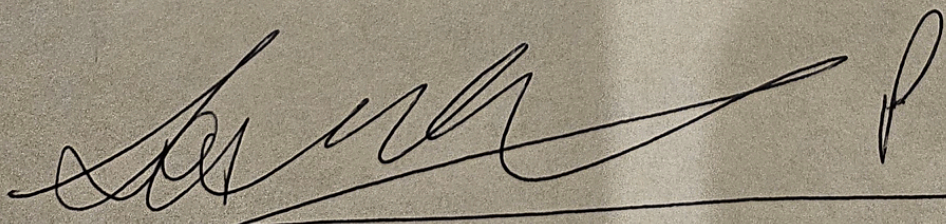
**Price:** \$100,000.00



I Lesly Prophete owner of 601 N  
US Highway 1 (Fort Pierce, FL 34950,  
(Parcel ID 240370500670004)

authorize my daughter,  
Savannah Prophete, to act on  
my behalf and submit this  
variance application to  
the city of Fort Pierce.

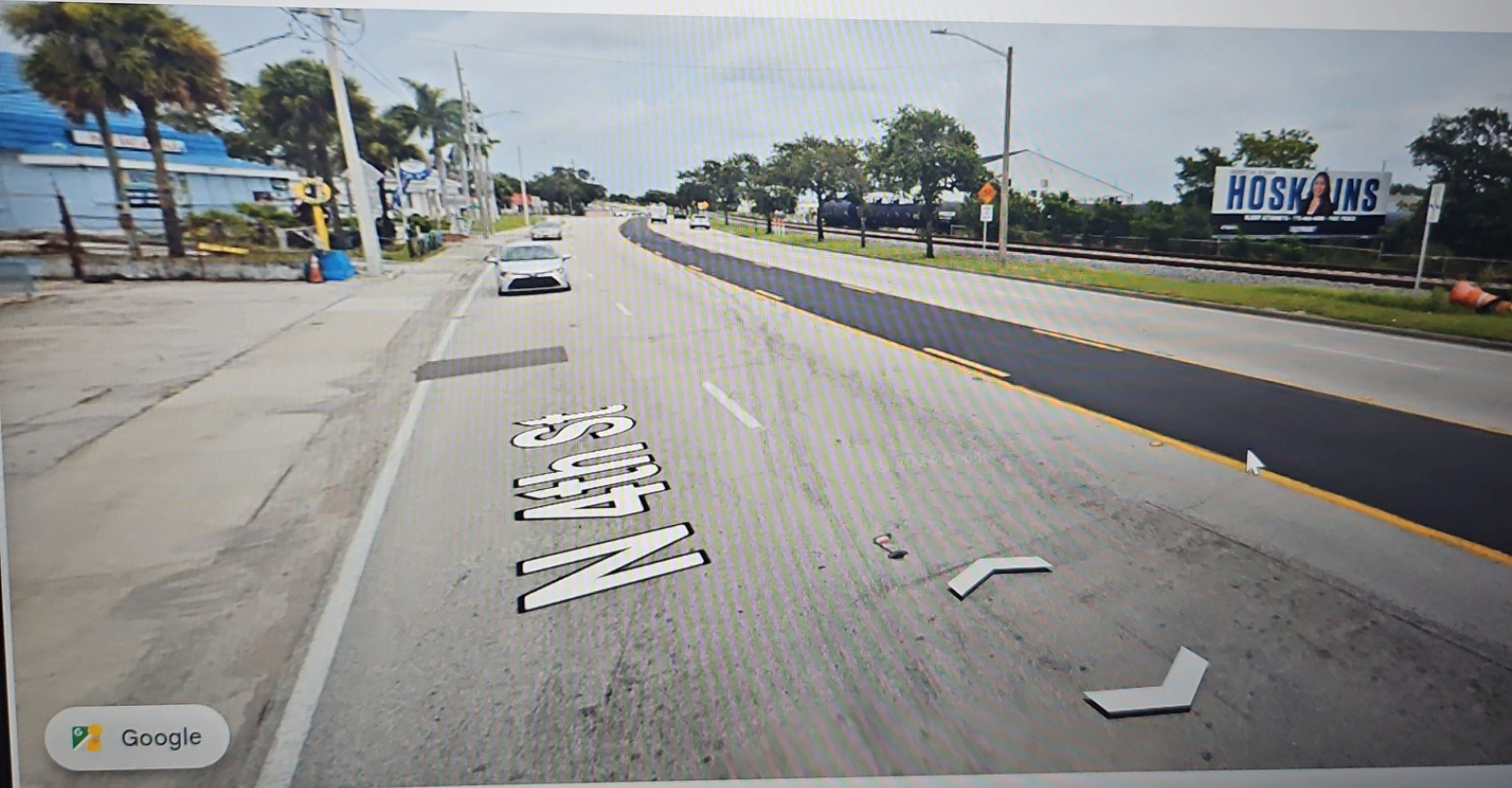
Include Signature Here



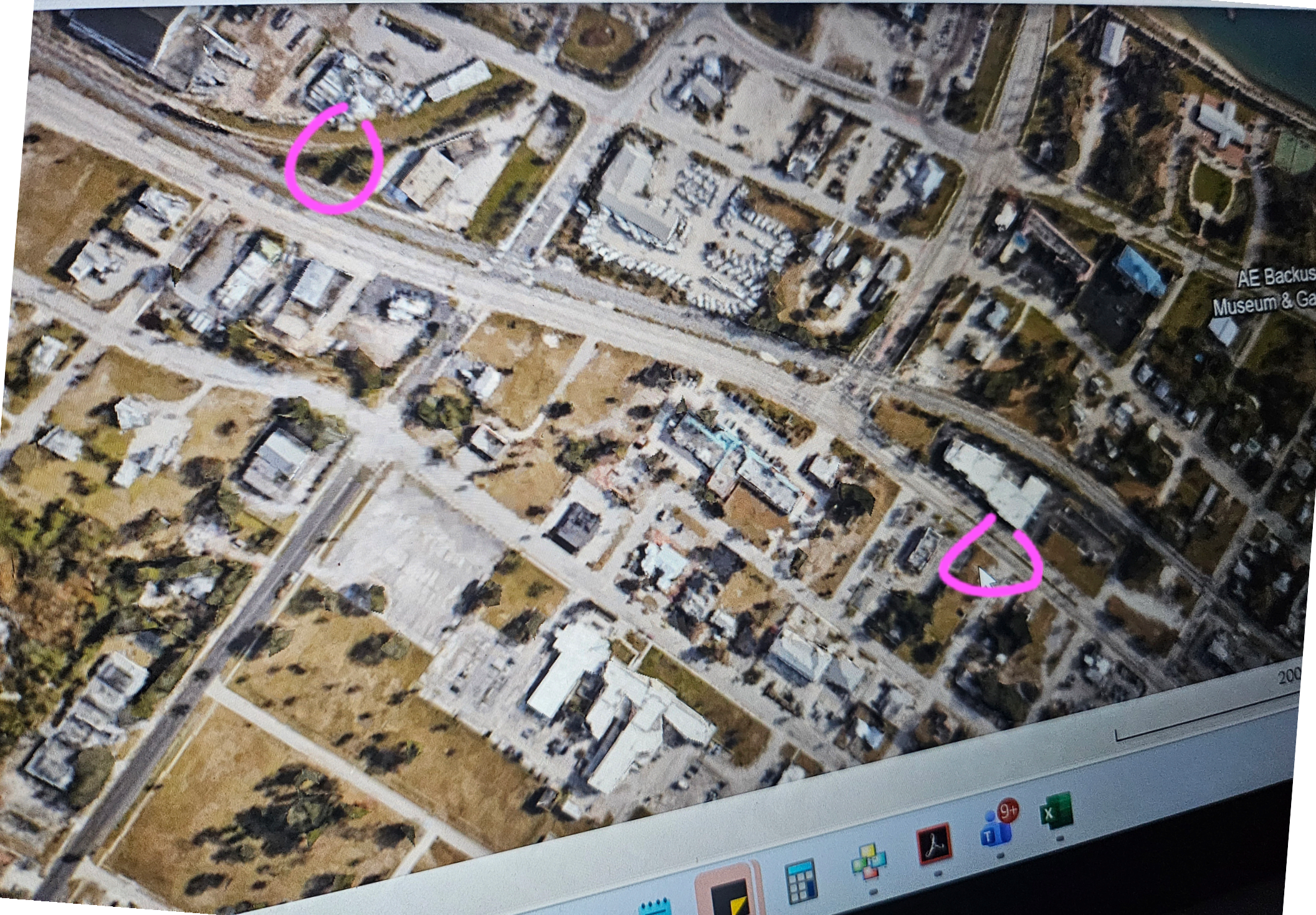
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LESLY PROPHETE

← 936 N 4th St  
Fort Pierce, Florida



Google



AE Backus  
Museum & Ga





THE SUNRISE CITY  
**FORT PIERCE**  
PLANNING DEPARTMENT  
*Florida*

Savannah Prophete  
6453 NW Fontana St.  
Port St. Lucie, FL 34986

**Project#: PZVAR2025-00008 – Variance: Billboard Distance @ 601 N US Hwy 1  
Technical Review Committee comments for January 15, 2026, TRC Meeting**

**City of Fort Pierce Planning Department**

Planning Department does not support the billboard variance request for the following reason:

1. Per City Code Sec. 117-6(c)(5): Off-premises signs aka billboards shall have the following minimum distances between any two off-premises signs
  - b. Five thousand feet where both signs are more than 100 sq. ft in off-premises sign area



THE SUNRISE CITY

# FORT PIERCE

ENGINEERING  
DEPARTMENT

Florida

**To : Kerry Driver, Senior Planner**

**FROM : Tanner Retherford, P.E., Project Engineer**

**THRU : Mark Zrallack, P.E., City Engineer**

**RE : Variance – Billboard – Parcel ID: 2403-705-0067-000-4  
Application No. PZVAR2025-00008**

**DATE : December 4, 2025**

This is to advise you that we have completed the review of the following documents received by this office on December 4, 2025:

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> Variance  | <input type="checkbox"/> Building Construction Plans                             |
| <input type="checkbox"/> Test Reports & Related Documents                                 | <input type="checkbox"/> Certificate of Completion                               |
| <input type="checkbox"/> Record Drawings  | <input type="checkbox"/> Permits from applicable Local, State & Federal Agencies |
| <input type="checkbox"/> Clearances from all applicable Local, State and Federal Agencies |  |

Based on our reviews and appropriate site final inspection, we

- |  |  |                              |
|--|--|------------------------------|
| <input type="checkbox"/> Recommend           | <input checked="" type="checkbox"/> Do Not Recommend |                              |
| <input checked="" type="checkbox"/> Variance | <input type="checkbox"/> DPCR                        | <input type="checkbox"/> C/O |

Developer, Owner, Engineer, Contractor and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

- See attached for comments

**ENGINEERING COMMENTS:**

1. The property is situated along US Highway 1 near the Downtown District. According to the City of Fort Pierce's Strategic Plan, the US 1 corridor is considered a gateway to the downtown area and the goal is to improve aesthetics by reducing visual blight and improving the streetscape appearance along this major corridor. Therefore, the Engineering Department does not recommend the Variance based on the fact that the billboard does not align with the City of Fort Pierce's Strategic Plan for this area.

MZ/TR



THE SUNRISE CITY  
**FORT PIERCE**  
POLICE DEPARTMENT  
"In Honor We Serve"

*Florida*

## Technical Review Committee meeting

January 15, 2026

Case #: PZVAR2025-00008

Planner: City of Ft. Pierce Planning Department.

Variance

601 North US-1, Ft. Pierce (Billboard)

### Comments:

No comments at this time.

Officer Damian Spotts

Crime Prevention Practitioner

Fort Pierce Police Department.



Fort Pierce Utilities Authority  
Water/Wastewater Engineering  
1701 South 37<sup>th</sup> Street  
Fort Pierce, FL 34947  
772.466.1600 Ext 3473

## Technical Review Committee Meeting

TECHNICAL REVIEW PROJECT: PZVAR2025-00008

**Billboard - 601 N US Hwy 1**

W/WW Engineering: No comment.

Electric Engineering: FPUA Electric & Gas Engineering has reviewed the application.  
**Approved.**

**Please contact Sal Scimeca for electric customer requirements and project coordination.  
Before work begins.**

Sal Scimeca  
Engineering Technician III  
Electric & Gas Engineering  
Fort Pierce Utilities Authority  
[sscimeca@fpu.com](mailto:sscimeca@fpu.com)  
772.466.1600 ext. 6957

Gas: N/A

FPUAnet Fiber: N/A



Our mission is to provide our customers with economical, reliable, and friendly service in a continuous effort to enhance the quality of life in our community.





Jesse Almand <jalmand@slcfd.org>

To: Kerry Driver; Planning Department

☺️ ↩️ Reply ↶ Reply all ↷ Forward 📎 🗒️ ⋮

Wed 1/7/2026 1:40 PM

SECURITY WARNING: This email has been generated from external sources and is not affiliated with the City of Fort Pierce systems. Exercise caution while clicking on links or opening attachments. If you have any questions or concerns, please reach out to the IT department promptly.

Good afternoon,

SLCFD has no comments for this project.

Respectfully,

**Jesse Almand 736**

**Captain, Development/Site Planning Review**

Saint Lucie County Fire District

Community Risk Reduction

(772) 621-3385



McDonalds Corp  
PO Box 182571  
Columbus, OH 43218

Lesley Prophete  
6453 NW Fontana St.  
Port St. Lucie, FL 34986



January 27, 2026

Dear Property Owner:

The applicant, Savannah Prophete and owner, **Lesly Prophete**, is requesting approval of a **Variance** application for building a billboard within 1,300 sq. ft. of existing billboard located at 936 N. 4<sup>th</sup> Street. The address for the proposed new billboard is located at 601 N. US Highway 1., Parcel ID 2403-705-0067-000-4.

*Legal description: ASSESSOR'S MAP OF N PART OF FORT PIERCE BLK 5 BEG SW COR LOT 5, RUN N 0 DEG 04 MIN 30 SEC E ON W LI LOT 5 6.85 FT, TH N 88 DEG E 86.23 FT TO W CURB N 4 ST, TH S 2 DEG E 60 FT TO S LI LOT 5, TH N 89 DEG 55 MIN 30 SEC W 88.34 FT TO POB (MAP 24/10C) (OR 3800-2921)*

According to Sec. 125-98 Purpose of the city's code, the purpose of a variance is to allow a modification of certain zoning ordinance regulations when such modification will not be contrary to the public interest and when, owing to conditions peculiar to the property and not the result of the actions of the applicant, a literal enforcement of the ordinance provisions would result in unnecessary and undue hardship. Unnecessary and undue hardships may result from the size, shape or dimensions of a site; the location of existing structures on the site; geographic, topographic or physiographic features or other conditions on the site or in the immediate vicinity; or street locations or traffic conditions in the immediate vicinity.

The property has a zoning classification of General Commercial (C-3) and a future land use designation of General Commercial (GC).

A public hearing is scheduled before the **Board of Adjustments** of the City of Fort Pierce, Florida, at their **Thursday, February 12, 2026**, meeting which begins at **2:00 p.m.**, in the City Hall Commission Chambers, 100 North U.S. Highway 1, Fort Pierce, Florida. You are provided with the opportunity to attend the public hearing and to speak in favor of, or in opposition to, the requested **Variance** application. If you have any inquiries, or would like to review the complete application, please dial (772) 467-3739 or email [kdriver@cityoffortpierce.com](mailto:kdriver@cityoffortpierce.com). Furthermore, published agenda packets for each City Commission meeting are provided a few days in advance at the following web address: <http://cityoffortpierce.com/223/Agendas-Minutes>.

Sincerely,

Kerry C. Driver  
Senior Planner

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## Sec. 117-6. Regulation.

- (a) *General.* In addition to the requirements set forth in sections 117-7 and 117-8 for permitted signs, this section shall apply to specific types of signs.
- (b) *On-premises signs.*
  - (1) *Wall signs.*
    - a. Shall not extend more than 18 inches from the wall or facade of the building to which they are attached.
    - b. Shall not extend more than 24 inches above the roof or parapet of a building, whichever is greater.
    - c. Shall be located on the main street wall face of the establishment or building they identify except that up to 50 percent of such permitted sign area may be located on other wall faces.
    - d. Shall be adequately constructed and installed in accordance with the provisions of the state building code.
  - (2) *Projecting signs.*
    - a. Shall provide a vertical clearance of not less than nine feet over any pedestrian walkway or 14 feet over any vehicular driveway.
    - b. Shall not extend closer (leading edge measured horizontally) than 18 inches to the curb face or, where no curb is installed, to the curblines as established by the city engineer, whichever is less.
    - c. Shall not extend more than 24 inches above the roof or parapet of a building, whichever is greater.
    - d. Shall be adequately constructed and installed in accordance with the provisions of the state building code.
  - (3) *Ground signs.*
    - a. Sites that are less than or equal to three acres shall have a maximum height of ten feet in height.
      - 1. Sites that are greater than three acres and less than or equal to five acres shall have a maximum height of 12 feet.
      - 2. Sites that are greater than five acres and less than or equal to ten acres shall have a maximum height of 15 feet.
      - 3. Sites that are greater than ten acres and less than or equal to 20 acres shall have a maximum height of 18 feet.
      - 4. Sites that are greater than 20 acres shall have a maximum height of 20 feet.
    - b. Any sign which was permitted on or before November 30, 2004, may not be located less than 18 inches from any public right-of-way line, adjacent property line or structure. If such sign structure sustains at least 50 percent damage and requires a new permit for repair or replacement, it shall be reconstructed under current regulations, but may maintain the 18-inch setback requirement. Any sign newly permitted on or after December 1, 2004, shall not be located less than five feet from any public right-of-way line, adjacent property line, or structure.
    - c. Shall provide a vertical clearance of not less than nine feet over any pedestrian walkway or 14 feet over any vehicular driveway.

- 
- d. Shall be adequately constructed and installed in accordance with the provisions of the state building code.
  - e. Shall conform to the clear vision areas of section 125-308 with support structures limited to a maximum two feet in diameter.
- (c) *Off-premises signs.*
- (1) Shall not exceed an aggregate sign area of 400 square feet including all trim, molding or skirting.
  - (2) Shall not exceed a sign dimension of 40 feet horizontally or 12 feet vertically including all trim, molding or skirting.
  - (3) Shall not exceed a total height above natural ground level of 25 feet.
  - (4) Shall be located a minimum of 25 feet from any right-of-way, property line or structure on the same property, except the minimum setback shall be increased one foot for each ten square feet or portion thereof that the sign exceeds 200 square feet.
  - (5) Shall have the following minimum distances between any two off-premises signs:
    - a. Five hundred feet where at least one off-premises sign is more than 100 square feet in sign area.
    - b. Five thousand feet where both signs are more than 100 square feet in off-premise sign area.
  - (6) May have two signs situated back-to-back or oriented in a single V having an included angle of not more than 30 degrees.
  - (7) Shall comply with subsection (b)(3) of this section where the off-premises sign is also a ground sign.
- (d) *Temporary signs.*
- (1) *Temporary movable A-frame—sandwich board type signs.* A single, temporary movable A-frame—sandwich board type sign is permitted. It must be no larger than two feet by three feet and placed within ten feet of the entrance to the business and may not block access to any part of the building or sidewalk per the ADA Code and Florida Accessibility Code regarding clearance standards and accessibility. Temporary A-frame signs may be placed on public sidewalks that have sufficient width to comply with this section but shall not be placed in the parking lot, city right-of-way, landscaping or swales.
  - (2) *Special event signs.* Temporary signs announcing special events may be installed subject to an approved special event permit issued under section 28-78. No special event signs may be located within a public right-of-way, except as specifically authorized herein. The signs may be in the form of freestanding signs no larger than six square feet, flags, banners, pennants, or balloons and exhibited only for that period of time specified on the special event permit. The number of special events signs shall not exceed 75 signs.
    - a. Special event sign permit applications shall include:
      - 1. Type of signage proposed. Provided information shall include, but is not limited to, the description of signage, dimensions, materials used, method of construction and placement, including dimensions from driveway, right-of-way and edge of pavement, list of sign locations, and such other information as the city may require.
      - 2. Responsible agents. Identify the name and phone number of the sponsoring entity and principle contacts responsible for erecting and removing signage.
      - 3. At the time of submission of an application for a special event sign permit, the applicant shall pay a processing fee in the amount established by resolution.

- 
- b. Shall not be illuminated.
  - c. May not be placed for a period in excess of 30 days.
  - d. May not impede the clear vision area of driveways or intersections.
  - e. May be located on the city right-of-way providing all of the above requirements are met.
- (3) *Streamers, pennants, banners and flags.*
- a. Shall be maintained in good condition; torn, weathered or otherwise deteriorated streamers, pennants, pole banners or flags shall be repaired, replaced or removed.
  - b. Banners shall not exceed 32 square feet in sign area, except that the combined area of all banners shall not exceed the sign area allowed for on-premises wall or projecting signs.
  - c. Pole banners must be spaced a minimum of 25 feet apart.
  - d. May not be placed in the right-of-way or in a way that it impedes pedestrian traffic.
  - e. May not impede the clear vision area of driveways or intersections.
- (4) *All other temporary signs.* Temporary signs, as defined in this chapter, shall comply with the following regulations:
- a. Shall be maintained in good condition; torn, weathered or otherwise deteriorated signs shall be repaired, replaced or removed.
  - b. May not impede the clear vision area of driveways or intersections.
  - c. May not be placed on city property, in the city right-of-way, medians or parks.

(Code 1960, § 23A-3; Code 1983, § 15-6; Ord. No. I-304, §§ 1—3, 12-19-1988; Ord. No. K-03, § 1, 1-18-2000; Ord. No. K-53, § 1, 1-16-2001; Ord. No. K-303, §§ 1—6, 10, 1-3-2005; Ord. No. 17-019, § 1, 6-19-2017)

## AFFIDAVIT OF PUBLICATION

Kerry Driver  
Accounts Payable Dept  
City Of Fort Pierce Legals  
Po Box 1480  
Fort Pierce FL 34954-1480

STATE OF WISCONSIN, COUNTY OF BROWN

Before the undersigned authority personally appeared, who on oath says that he or she is the Legal Advertising Representative of the Indian River Press Journal/St Lucie News Tribune/Stuart News, newspapers published in Indian River/St Lucie/Martin Counties, Florida; that the attached copy of advertisement, being a Legal Ad in the matter of Public Notices, was published on the publicly accessible websites of Indian River/St Lucie/Martin Counties, Florida, or in a newspaper by print in the issues of, on:

SCN StLucie-IndianRv-Stuart 02/01/2026  
SCN tcpalm.com 02/01/2026

Affiant further says that the website or newspaper complies with all legal requirements for publication in chapter 50, Florida Statutes.

Subscribed and sworn to before me, by the legal clerk, who is personally known to me, on 02/01/2026

\_\_\_\_\_  
Legal Clerk

\_\_\_\_\_  
Notary, State of WI, County of Brown

9-3-20

My commission expires

Publication Cost: \$103.84  
Tax Amount: \$0.00  
Payment Cost: \$103.84  
Order No: 12034556 # of Copies:  
Customer No: 1126026 1  
PO #:

**THIS IS NOT AN INVOICE!**

*Please do not use this form for payment remittance.*

## **CITY OF FORT PIERCE NOTICE OF PUBLIC HEARING**

The City Commission of the City of Fort Pierce, Florida, pursuant to Section 125-37 of the Code of Ordinances of the City of Fort Pierce, will on Thursday, February 12, 2026, hold a Board of Adjustments Public Hearing in the City Hall Commission Chambers, 100 North U.S. Highway 1, Fort Pierce, Florida, at their meeting which begins at 2:00 p.m., to consider review and approval of the following:

1. Application for Variance, submitted by applicant and owner, Steven Helseth to extend the roof coverage by 486 SF, extending the building coverage from 3,000 sq. ft. to 3,486 sq.ft at 1601 Frances Ave., more specifically located at Parcel Control Number: 2401-605-0096-000-3.

All interested parties may appear at the meeting and be heard with respect to the Applications. Said applications will be available for inspection in the City Clerk's Office, City Hall, 100 North U.S. Highway 1, Fort Pierce, Florida.

ANY PERSON SEEKING TO APPEAL THE DECISION OF THE CITY COMMISSION AS TO THE FOREGOING IS ADVISED THAT A RECORD OF PROCEEDINGS IS REQUIRED IN ANY SUCH APPEAL AND THAT SUCH PERSON MAY NEED TO ENSURE THAT A VERBATIM RECORD OF PROCEEDINGS IS MADE INCLUDING THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED.

In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this meeting should contact the City Clerk's Office at (772) 467-3065 at least 48 hours prior to the meeting.  
/s/ Kerry C. Driver, Senior Planner  
Publish: 02/01/2026  
TCN12034556



**KONGMENG YANG**  
Notary Public  
State of Wisconsin

# USA TODAY CO.



PO Box 631244 Cincinnati, OH 45263-1244

## **AFFIDAVIT OF PUBLICATION**

Kerry Driver  
Accounts Payable Dept  
City Of Fort Pierce Legals  
Po Box 1480  
Fort Pierce FL 34954-1480

STATE OF WISCONSIN, COUNTY OF BROWN

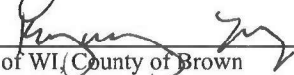
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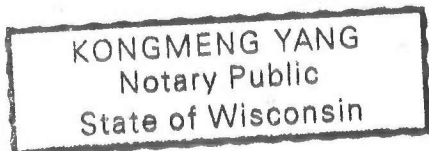
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## **CITY OF FORT PIERCE NOTICE OF PUBLIC HEARING**

The City Commission of the City of Fort Pierce, Florida, pursuant to Section 125-37 of the Code of Ordinances of the City of Fort Pierce, will on Thursday, February 12, 2026, hold a Board of Adjustments Public Hearing in the City Hall Commission Chambers, 100 North U.S. Highway 1, Fort Pierce, Florida, at their meeting which begins at 2:00 p.m., to consider review and approval of the following:

1. Application for Variance, submitted by applicant Savannah Prophete on behalf of owner, Lesty Prophete to build a billboard within 1,300 feet from the nearest existing billboard that is located at 936 N. 4th Street. The proposed location for the new billboard is 601 N. US Highway 1., more specifically located at Parcel Control Number: 2403-705-0067-000-4.

All interested parties may appear at the meeting and be heard with respect to the Applications. Said applications will be available for inspection in the City Clerk's Office, City Hall, 100 North U.S. Highway 1, Fort Pierce, Florida.

ANY PERSON SEEKING TO APPEAL THE DECISION OF THE CITY COMMISSION AS TO THE FOREGOING IS ADVISED THAT A RECORD OF PROCEEDINGS IS REQUIRED IN ANY SUCH APPEAL AND THAT SUCH PERSON MAY NEED TO ENSURE THAT A VERBATIM RECORD OF PROCEEDINGS IS MADE INCLUDING THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED.

In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this meeting should contact the City Clerk's Office at (772) 467-3065 at least 48 hours prior to the meeting.  
/s/ Kerry C. Driver, Senior Planner  
Publish: 02/01/2026  
TCN12034524



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# Ad Preview

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