



THE SUNRISE CITY
FORT PIERCE
ENGINEERING
DEPARTMENT

Florida

To : Kerry C. Driver, Senior Planner

FROM : Tanner Retherford, Project Engineer

Thru : Mark Zrallack, P.E. City Engineer

**RE : 3700 Okeechobee Road Site Plan & CU – Tank Farm
Project No. PZSITE2025-00029**

DATE : June 17, 2026

This is to advise you that we have completed the review of the following documents as received by this office on June 16, 2026:

- | | |
|---|--|
| ☐ Building Permit Application | ☒ Site Plan/CU Application |
| ☐ Test Reports & Related Documents | ☐ Certificate of Completion |
| ☐ Record Drawings | ☐ Permits from applicable Local, State & Federal Agencies |
| ☐ Clearances from all applicable Local, State and Federal Agencies | |

Based on our reviews and appropriate site final inspection, we

- | | | |
|--|---|------------------------------|
| ☒ Recommend | ☐ Do Not Recommend | |
| ☒ Approval of Site Plan & CU | ☐ Building Permit Approval | ☐ C/O |

Developer, Owner, Engineer, Contractor and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

- ☐ See attached for engineering comments

District Use Only: No. _____ - 025 - 009 - FNC

NORTH ST. LUCIE RIVER WATER CONTROL DISTRICT

("District")

14666 Orange Avenue • Fort Pierce, Florida 34945 • (772) 461-5050 • FAX (772) 461-9446

Application to Connect to, or Use, District Facilities, or for Utility Construction*

3700 Okeechobee Rd

A. General Information:

Applicant Information:

Name: Brian Murphy/ Troil South LLC

Address: 2485 E State Street Ext

Trenton, NJ 08619

Telephone: (754) 205-6269

Email: brian.murphy@traprockind.com

Engineer of Record Information (if applicable):

Name: Leo Giangrande, PE

Address: 710 SE Ocean Blvd Stuart, FL 34996

Telephone: (772) 888 - 9076

Email: leo@gep-llc.com

Owner Information (if different from Applicant):

Name: _____

Address: _____

Telephone: ()

Email: _____

Billing Contact Information:

Name: John Hockey

Address: 2600 S Kanner Hwy APT X12

Stuart, FL 34994

Telephone: (772) 285- 5212

Email: john@calibecontractinginc.com

B. Project Information: (Check appropriate box and attach drawings to show location and details):

☒ Culvert Connection to District canal for irrigation or gravity drainage.

☐ Pump Connection to District canal for irrigation or drainage.

☐ Installation of culvert or water control structure in District canal for crossing or water control.

☐ Utility Crossing:

☐ Electric

☐ Telephone

☐ Gas

☐ Cable Television

☐ Water Main

☐ Force Main

☐ Other (specify): _____

Location: Section(s): 17 Township: 35S Range: 40E Canal No.: FIVE MILE CREEK

Description of Indirect Connection: Stormwater is discharged offsite through a control structure to the Okeechobee Rd storm system until it is

Drainage area served: 2.36 acres (Culvert or pump Connections.) eventually discharged to the west at Five Mile Creek.

C. Construction Schedule:

Estimated commencement date: October 2025 Estimated completion date: June 2026

D. Application, Use Fee: \$ 750 Review Deposit: \$ 4,000

(Submit fee with this application in accordance with the District's fee schedule.)

ACKNOWLEDGEMENT AND ACCEPTANCE:

As reflected by my signature below, I hereby certify that the information shown above is accurate to the best of my knowledge, and that I agree to satisfy or abide by all requirements of this Permit, including "Standard Provisions" itemized on the reverse, and "Special Conditions" imposed by the District. Further, I acknowledge that the District and its Engineers are doing work to benefit the property and non-payment may result in the filing of a construction lien as permitted by the Florida Statutes.

Owner Signature: _____

Owner Name (Type or Print): Brian Murphy

Date: 8/7/2025

NORTH ST. LUCIE RIVER WATER CONTROL DISTRICT

("District")

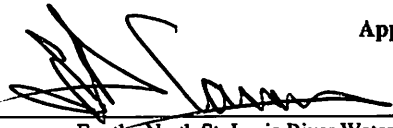
14666 Orange Avenue • Fort Pierce, Florida 34945 • (772) 461-5050 • FAX (772) 461-9446

Application to Connect to, or Use, District Facilities, or for Utility Construction*

SPECIAL CONDITIONS: (for District Use Only):

Attached

Application Approved and Permit for Construction Issued:

By:  Date of Approval: 10-30-25
For the North St. Lucie River Water Control District

Permit Expiration Date: 10-25-30-27 Construction Expiration Date: _____

Project Certification Received and Accepted:

By: _____ Date of Approval: _____
For the North St. Lucie River Water Control District

Certification Expiration Date: _____

**This Application will become a Permit if and when approved and signed by an authorized representative of the District.*

October 30, 2025

3700 Okeechobee Rd- Proposed Industrial Use Tank Farm Site

NSLRWCD Permit Application No. 025-009-029

Permit Summary:

The 2.36-acre 3700 Okeechobee Road project site will be developed with one mixed-use building containing office and light-industrial units, along with associated parking and infrastructure. The proposed stormwater management system consists of a dry retention pond designed to provide water-quality treatment and attenuate discharges to meet NSLRWCD's volumetric discharge criteria of 2 inches over the site area during the 10-year, 3-day storm event. Runoff will be collected via on-site inlets and piped to the west side of the property before discharging to the existing Okeechobee Road drainage system, which ultimately flows to NSLRWCD Five Mile Creek.

Permit Conditions

1. At least two (2) week prior to commencement of construction, the permittee shall contact the District Office and District Engineer to schedule a pre-construction meeting.
2. The permittee shall notify the District Supervisor of Works prior to the start of construction.
3. The contractor shall provide the NSLRWCD with a 24-hour contact number and personnel for emergency situations
4. The District Engineer shall be contacted in advance of the following construction activities to schedule a site inspection by the District Engineer or his designated representative. No work may proceed without District acknowledgment of such requested inspection.
 - a. Outfall Culvert Installation – including placement, alignment, bedding, joint wrapping and backfilling.
 - b. Riprap Installation – including gradation, bedding, apron, side slopes, and toe protection.
 - c. Other Work Within District Right-of-Way – including excavation, embankment, grading, utility crossings, or temporary access.
 - d. Final Certification & Inspection – following receipt, review, and acceptance of as-built or record drawings to confirm compliance with approved plans and permit conditions.
 - e. Other District-directed Inspections – as may be reasonably required to confirm construction conforms to District standards and does not impair canal capacity or impact canal maintenance, or limit District access.

Failure to contact the District and obtain inspections at these milestones shall constitute a violation of permit conditions and may result in enforcement action, including work stoppage, permit revocation, and/or restoration at the permittee's sole expense.

5. The permittee shall be responsible for all review fees associated with this permit application.
6. The applicant shall be responsible for notifying the District of deviations from the approved plans during construction that would impact or affect District right-of-way or facilities. Any revisions or modifications to the approved plans shall be submitted to the District for review and approval.
7. All disturbed areas shall be sodded and pinned, except for areas calling for other material (i.e. riprap stabilization) as on the approved plans.
8. The applicant shall provide a one (1) year warranty on the slope areas affected by the proposed project within the District Right-of-Way. If any failure occurs during this one (1) year time frame, the applicant shall repair to the satisfaction of the District.

9. Pursuant to the NSLRWCD Permit Information and Criteria Manual, the installation and maintenance responsibility for the use of, or construction of facilities, in, on, or over District rights-of-ways shall be that of the permittee or the entity identified in the permit. Failure to maintain the permitted use or works may result in the revocation of the permit, and at the District's sole discretion, the removal of the crossing, connection, or use.
10. If dewatering is proposed, the permittee shall furnish a copy of the proposed dewatering plan and SFWMD permit (if applicable) to this District prior to the start of construction. The permittee may need to provide a standby pump for bypassing the canal flow around a temporary canal blockage/closure. However, in the event of forecasted landfall of a named storm event, the permittee shall be prepared to provide additional pumping capabilities or completely reopen the canal so that the historical canal flow can be maintained. The permittee shall coordinate with the District Superintendent of Works to assess if, or when, bypass pumping is necessary.
11. The applicant shall ensure that the project complies with current State Water Quality Standards. The permittee shall be responsible for installing and maintaining measures to prevent sedimentation and turbidity issues within District canals. At a minimum, the Board recommends installing turbidity curtains downstream of the construction site and installing silt fence as applicable. The contractor shall stake all turbidity barriers at the canal high water line at minimum. Please be advised that the contractor will need to coordinate with the District Supervisor or Works as necessary for the removal of any turbidity barriers in the event of forecasted landfall of a named storm event.
12. Within 30 days after completion of the permitted activity, the permittee shall submit notice of completion to the District for approval. This shall consist of a written, signed, and sealed statement of completion and certification by a Florida Registered Professional Engineer, and two (2) complete sets of the final "Record Drawings", signed and sealed by the project engineer of record or licensed surveyor. These statements must specify the actual date of construction completion and must certify that all improvements have been constructed in substantial conformance with the plans and specifications approved by the District and will function as intended and designed. If deviations from the approved drawings are discovered during the certification process, the certification must be accompanied by a copy of the approved permit drawings with deviations noted. All surveyed dimensions and elevations shall be certified by a registered surveyor. If as-built certification is not received within thirty days of installation, the District will either have certification completed at owner/applicant's expense or order removal of the installation.

STANDARD PROVISIONS

for

Application / Permit No. 025-009-FMC

If this Application for a Permit is approved, I do acknowledge, understand, and agree that:

1. I hereby indemnify and hold the District harmless from claims for property damage or personal injury arising from the installation or use of the permitted facility, and that this indemnification extends to damage to the facility itself that may occur from District operation and maintenance work.
2. Approval of this application does not relieve the Permittee from securing any and all other permits that may be required by other entities or governmental agencies, including, but not limited to, the South Florida Water Management District, the Florida Department of Environmental Protection, and St. Lucie County.
3. The use of, or construction within, the District's right-of-way shall conform to the details of the attached approved drawings supporting this application. **Modifications must be approved by the District in writing prior to construction.**
4. If required in the interests of the District's operation and maintenance program, or by any modifications to the District's Standard Provisions, I agree to alter, replace, relocate, or remove the permitted facilities at no cost to the District, all as is more fully set forth by District Policy Resolution duly recorded in O.R. Book 669 at page 699 of the Public Records of St. Lucie County, Florida, but subject to the limitations thereof.
5. The lands to be benefited by this application are, or may be, subject to flooding during periods of high water resulting from heavy rains or other acts of God. This Permit will be accepted subject to this possibility, which is recognized not to be within the control of the District.
6. Any other requirements that may be imposed by the District are binding upon me, my successors and assigns.
7. Any Permit issued as an approval of this application other than one issued in irrevocable, recordable form pursuant to the Policy Resolution referenced in item 4, above, shall not be transferable from the Permittee to a subsequent owner or owners of all, or a portion of, the subject property without the express, written approval of the District.
8. Any Permit issued as approval of this application is strictly subject to all of the rules of the District, duly promulgated from time to time, which are on file and available for examination at the offices of the District by those having interest.
9. If a Permit is granted, I shall notify the District not less than 24 hours prior to the beginning and completion of the work, to enable the coordination and scheduling of inspections.
10. I accept total responsibility for any erosion of, or shoaling in, the District's right-of-way or canals that results from the permitted work, and I shall repair or remove same promptly, at no expense to the District.
11. During and after construction, I shall prevent material from the construction area from being discharged to, or settling in, District canals.
12. Unless authorized by Permit, I shall neither place, construct or plant, nor cause to be placed, constructed or planted, any object or improvement within the District right-of-way without the express written prior approval of the District.
13. Within thirty (30) days of completion of the work, I shall submit a written statement to the District certifying that the work was performed and completed in accordance with the Permit and the approved drawings. If the work deviates from the Permit or approved drawings, the certification shall state the nature and extent of those deviations.
14. If this Permit is for a drainage connection, then drainage discharge from the area served shall not exceed the volumetric equivalent of 2.0 inches of depth over the area for any 24-hour period (38 gallons per minute per acre) from the 10-year frequency, 72-hour duration rainfall.
15. If a Permit is issued for a hydraulic connection of property with a District canal, I shall not discharge hyacinths or other aquatic vegetation into the District canal.
16. The Permittee, his agents and contractors, shall conduct the work in a manner that will not impair the use, or potential use, of the District right-of-way and facilities. In no case shall drainage or irrigation canals or appurtenant works be obstructed or restricted.
17. All irrigation and drainage connections to District facilities shall be clearly marked with a post of contrasting colors to identify the location and extent of the permitted installation.
18. If access is permitted via an existing culvert crossing installed in District right-of-way, the Permittee is advised that the crossing may be permitted for use by other affected owners, as such crossings are limited in number by the District.
19. The District reserves the right to permit the use of culvert crossings installed in rights-of-ways by other affected owners of District lands, as culvert crossings are subject to distance limitations imposed by the District.
20. All utility installations shall be clearly marked with above-ground signs or markers, as required by the District's "Permit Information and Criteria Manual."



North St. Lucie River Water Control District

14666 Orange Avenue
Fort Pierce, Florida 34945

April 13, 2026

Leo Giangrande, P.E.
Via email: leo@gep-llc.com
Giangrande Engineering and Planning
710 SE Ocean Blvd.
Stuart, Florida 34994

**RE: NSLRWCD Permit Applications No. 025-009-FMC
3700 Okeechobee Rd – Letter Modification**

Dear Mr. Giangrande,

On behalf of the North St. Lucie River Water Control District (NSLRWCD), we have reviewed the revised plans for the proposed project located at 3700 Okeechobee Road in Fort Pierce, Florida. The original permit for this project was approved by the NSLRWCD Board of Supervisors at their October 10, 2025 meeting.

Based on our review, the reduction in the dry retention area is considered minor and results in no adverse impact to the District's system. The project, as revised, remains in compliance with NSLRWCD criteria.

Accordingly, this correspondence shall serve as a permit modification in lieu of formal reissuance. The revised plans have been incorporated into the District's records, and all terms, conditions, and requirements of the original permit remain in full force and effect.

If you have any questions, please contact me or Patricia Kuta at the NSLRWCD office at (772) 461-5050.

Sincerely,

Patrick D. Helms, P.E.
NSLRWCD – District Engineer
(561) 718-0899
patrickh@higginsfl.com

cc: Patricia Kuta – NSLRWCD (nslrwcd@bellsouth.net)
Tyler Davidson – GEP (tyler@gep-llc.com)
Jarrod Stern – GEP (jarrod@gep-llc.com)



South Florida Water Management District
Individual Environmental Resource Permit No. 56-114480-P
Date Issued: November 25, 2025

Permittee: Troil South, LLC
2485 E State Street Ext
Trenton, NJ 08619

Project: 3700 Okeechobee Road

Application No. 250218-50293

Location: St Lucie County, See Exhibit 1

Your application for an Individual Environmental Resource Permit is approved. This action is taken based on Chapter 373, Part IV, of Florida Statutes (F.S.) and the rules in Chapter 62-330, Florida Administrative Code (F.A.C.). Unless otherwise stated, this permit constitutes certification of compliance with state water quality standards under section 401 of the Clean Water Act, 33 U.S.C. 1341, and a finding of consistency with the Florida Coastal Management Program. Please read this entire agency action thoroughly and understand its contents.

This permit is subject to:

- Not receiving a filed request for a Chapter 120, F.S., administrative hearing.
- The attached General Conditions for Environmental Resource Permits.
- The attached Special Conditions.
- All referenced Exhibits.

All documents are available online through the District's RegPermitting site at www.sfwmd.gov/regpermitting.

If you object to these conditions, please refer to the attached "Notice of Rights" which addresses the procedures to be followed if you desire a public hearing or other review of the proposed agency action. Please contact this office if you have any questions concerning this matter. If we do not hear from you in accordance with the "Notice of Rights", we will assume that you concur with the District's action.

The District does not publish notices of action. If you wish to limit the time within which a person may request an administrative hearing regarding this action, you are encouraged to publish, at your own expense, a notice of agency action in the legal advertisement section of a newspaper of general circulation in the county or counties where the activity will occur. Legal requirements and instructions for publishing a notice of agency action, as well as a noticing format that can be used, are available upon request. If you publish a notice of agency action, please send a copy of the affidavit of publication provided by the newspaper to the District's West Palm Beach office for retention in this file.

If you have any questions regarding your permit or need any other information, please call us at 1-800-432-2045 or email regpermitting@sfwmd.gov.

A handwritten signature in blue ink, appearing to read "M. Lawrence", enclosed within a blue oval.

Melissa M. Lawrence, P.E.
Bureau Chief, Environmental Resource Bureau

**South Florida Water Management District
Individual Environmental Resource Permit No. 56-114480-P**

Date Issued:	November 25, 2025	Expiration Date:	November 25, 2030
Project Name:	3700 Okeechobee Road		
Permittee:	Troil South, LLC 2485 E State Street Ext Trenton, NJ 08619		
Operating Entity:	Troil South, LLC 2485 E State Street Ext Trenton, NJ 08619		
Location:	St Lucie County		
Permit Acres:	2.36 acres		
Project Land Use:	Industrial including Utilities		
Special Drainage District:	North St Lucie River Water Control District North St Lucie River Water Control District		
Water Body Classification:	CLASS III		
FDEP Water Body ID:	3194D		
Conservation Easement to District:	No		
Sovereign Submerged Lands:	No		

Project Summary

This Environmental Resource Permit (ERP) authorizes construction and operation of a stormwater management (SWM) system serving 2.36 acres of industrial development known as 3700 Okeechobee Road.

The project proposes the construction of a commercial building, supporting infrastructure, and a SWM system. The SWM system consists of inlets and storm sewer to collect and convey runoff to a dry retention system with outfall through a control structure to the SR 70 (Okeechobee Road) SWM system. Refer to the Engineering Evaluation and Exhibit Nos. 2.0 and 2.1 for additional information.

Issuance of this permit constitutes certification of compliance with state water quality standards in accordance with Rule 62-330.062, FAC.

Site Description

The site is undeveloped land located at the intersection of S 37th Street and Okeechobee Road in St. Lucie County. Refer to Exhibit No. 1.0 for a location map.

For information on wetland and other surface water (OSW) impacts, please see the Wetlands and OSWs section of this permit.

Ownership and Operation & Maintenance (O&M)

Perpetual O&M of the SWM system will be the responsibility of Troil South, LLC. Upon conveyance or division of ownership or control of the property or the system, the permittee must notify the Agency in writing within 30 days, and the new owner must request transfer of the permit.

According to the SWM plans submitted and attached hereto as Exhibit 2.0, this project includes works on Okeechobee Road right of way and 37th Street. Issuance of this permit does not constitute authorization on behalf of Saint Lucie County and City of Fort Pierce, to perform those works or install any improvements within the roadways. Pursuant to General Condition 9, it is the responsibility of the permittee to obtain proper authorization that allows for this.

Engineering Evaluation:

Land Use

Please refer to the Engineering Evaluation Tables for land use details

Water Quality

The project is located within a watershed identified by the Florida Department of Environmental Protection as impaired; therefore, the design includes a site-specific pollutant loading analysis and an additional 50% water quality treatment volume above the amounts required pursuant to Section 4.2.1, ERP Applicant's Handbook (AH) Volume (Vol.) II, as reasonable assurances that the projects discharge will not cause or contribute to violations of State water quality standards.

Please refer to the Engineering Evaluation Tables for water quality treatment volumes and methods.

The project includes implementation of a Turbidity and Erosion Control Plan (Exhibit No. 2.0) as additional reasonable assurance of compliance with water quality criteria during construction.

Discharge

As found in the Water Quantity Data Table, the SWM design meets the criteria of Section 3.2(a), ERP AH Vol. II based on a pre- vs. post-development analysis.

Parking Lot Design

As found in the Water Quantity Data Table, minimum parking lot elevations have been set at or above the peak design storm elevation.

Perimeter Berm

As found in the Water Quantity Data Table, minimum perimeter berm elevations have been set at or above the peak design storm elevation.

Finished Floors

As found in the Water Quantity Data Table, minimum finished floor elevations have been set at or above the peak design storm elevation.

Construction Completion Certification (CCC) and O&M

Pursuant to Chapter 62-330.310, F.A.C., Individual Permits will not be converted from the construction phase to the operation phase until CCC of the project is submitted to and accepted by the District. This includes compliance with all permit conditions, except for any long-term maintenance and monitoring requirements. It is suggested that the permittee retain the services of an appropriate professional registered in the State of Florida for periodic observation of construction of the project.

For projects permitted with an operating entity that is different from the permittee, it should be noted that until the CCC is accepted by the District and the permit is transferred to an acceptable operating entity pursuant to Sections 12.1 - 12.3, ERP AH Vol. I and Section 62-330.310, F.A.C., the permittee is liable for O&M in compliance with the terms and conditions of this permit.

In accordance with Section 373.416(2), F.S., unless revoked or abandoned, all SWM systems and works permitted under Part IV of Chapter 373, F.S., must be operated and maintained in perpetuity.

The efficiency of SWM systems, dams, impoundments, and most other project components will decrease over time without periodic maintenance. The O&M entity must perform periodic inspections to identify if there are any deficiencies in structural integrity, degradation due to insufficient maintenance, or improper operation of projects that may endanger public health, safety, or welfare, or the water resources. If deficiencies are found, the O&M entity is responsible for correcting the deficiencies in a timely manner to prevent compromises to flood protection and water quality. See Section 12.4, ERP AH Vol. I for Minimum

Operation and Maintenance Standards.

Notable project components requiring routine inspection and maintenance include but are not limited to:

- Side slopes for stormwater lakes and ponds – maintain side slopes no steeper than 4:1 (horizontal:vertical) to a depth of 2.0 feet below the control elevation and nurtured or planted from 2.0 feet below to 1.0 feet above the control elevation pursuant to Section 5.4.2, ERP AH Vol. II.
- Conveyance pipes, conveyance structures and discharge structures – all pipes and structures must be inspected for structural integrity and be maintained clear of trash, sediment and vegetative debris.
- Exfiltration trenches – all pipes and structures must be inspected for structural integrity and be maintained clear of trash, sediment and vegetative debris.
- Swales – maintain the permitted cross-section and vegetative cover.
- Underground storage facilities – all facilities must be inspected for structural integrity and be maintained clear of trash, sediment and vegetative debris.
- Pumps – float switches should be inspected and any obstructions removed to ensure proper operation; intake and discharge pipes should be maintained clear of trash, sediment and vegetative debris; motors should be maintained to ensure proper operation.

Engineering Evaluation Tables:

Land Use

Basin	Land Type	Area (ac)	% of Total Basin
Site	Building Coverage	0.22	9.32
	Concrete	0.13	5.51
	Pavement	1.03	43.64
	Open Space	0.70	29.66
	Dry Retention Bottom	0.07	2.97
	Dry Retention Sides	0.21	8.90
	Total:	2.36	100%

Water Quality Volumetric

Basin	Treatment Type	Treatment System	Volume Required (ac-ft)	Volume Provided (ac-ft)
Site	Treatment	DRY RETENTION	0.57	0.57

Water Quantity

Basin	Elevation Type	Storm Event (Yr/Day)	Precipitation Depth (in)	Peak Stage (ft NAVD88)	Min. EL (ft NAVD88)	Peak Discharge Rate (cfs)	Allowable Discharge Rate (cfs)
Site	Finished Floor	100Y3D	12.00	18.59	19.50	N/A	N/A
	Perimeter Berm/ Discharge	25YR3D	9.50	18.08	18.10	6.08	11.58
	Parking Lot	10YR1D	6.00	17.57	17.60	N/A	N/A

Weir

Basin	Control EL (ft NAVD88)	Structure #	Structure Type	Count	Type	Dia (in)	Crest EL (ft NAVD88)	Receiving Body
Site	14.00	CS	Water Quality	1	Circular Orifice	3.0	17.10	SR 70 SWM System
Site	14.00	CS	Water Quality	1	Sharp Crested	36.0	17.92	SR 70 SWM System

Environmental Evaluation:

Wetland and OSW Description

There are no wetlands or OSWs located within the project site or affected by this project.

Fish, Wildlife, and Listed Species

The project site does not contain significant habitat for wetland-dependent endangered or threatened wildlife species, or species of special concern. No wetland-dependent endangered or threatened species or species of special concern were observed onsite. Submitted information indicates that potential use of the site by such species is minimal.

This permit does not relieve the permittee from complying with all applicable rules and any other agencies' requirements if, in the future, endangered or threatened species or species of special concern are discovered on the site.

Related Concerns:

Water Use Permit (WUP) Status

- The permittee has indicated that public water supply will be used as a source for irrigation water for the project.
- The permittee has indicated that dewatering is not required for construction of this project.

This permit does not release the permittee from obtaining all necessary Water Use authorization(s) prior to the commencement of activities which will require such authorization, including construction dewatering and irrigation.

Water and Wastewater Service

Fort Pierce Utility Authority

Historical/ Archaeological Resources

The District has received correspondence from the Florida Department of State, Division of Historical Resources indicating that no significant archaeological or historical resources are recorded on the project site; therefore, the project is unlikely to have an effect upon any such resources.

This permit does not release the permittee from complying with any other agencies' requirements in the event that historical and/or archaeological resources are found on the site.

General Conditions for Individual Environmental Resource Permits, 62-330.350, F.A.C.

1. All activities shall be implemented following the plans, specifications and performance criteria approved by this permit. Any deviations must be authorized in a permit modification in accordance with rule 62-330.315, F.A.C. Any deviations that are not so authorized may subject the permittee to enforcement action and revocation of the permit under Chapter 373, F.S.
2. A complete copy of this permit shall be kept at the work site of the permitted activity during the construction phase, and shall be available for review at the work site upon request by the Agency staff. The permittee shall require the contractor to review the complete permit prior to beginning construction.
3. Activities shall be conducted in a manner that does not cause or contribute to violations of state water quality standards. Performance-based erosion and sediment control best management practices shall be installed immediately prior to, and be maintained during and after construction as needed, to prevent adverse impacts to the water resources and adjacent lands. Such practices shall be in accordance with the State of Florida Erosion and Sediment Control Designer and Reviewer Manual (Florida Department of Environmental Protection and Florida Department of Transportation, June 2007), and the Florida Stormwater Erosion and Sedimentation Control Inspector's Manual (Florida Department of Environmental Protection, Nonpoint Source Management Section, Tallahassee, Florida, July 2008), which are both incorporated by reference in subparagraph 62-330.050(9)(b)5., F.A.C., unless a project-specific erosion and sediment control plan is approved or other water quality control measures are required as part of the permit.
4. At least 48 hours prior to beginning the authorized activities, the permittee shall submit to the Agency a fully executed Form 62-330.350(1), "Construction Commencement Notice," (October 1, 2013), (<http://www.flrules.org/Gateway/reference.asp?No=Ref-02505>), incorporated by reference herein, indicating the expected start and completion dates. A copy of this form may be obtained from the Agency, as described in subsection 62-330.010(5), F.A.C., and shall be submitted electronically or by mail to the Agency. However, for activities involving more than one acre of construction that also require a NPDES stormwater construction general permit, submittal of the Notice of Intent to Use Generic Permit for Stormwater Discharge from Large and Small Construction Activities, DEP Form 62-621.300(4)(b), shall also serve as notice of commencement of construction under this chapter and, in such a case, submittal of Form 62-330.350(1) is not required.
5. Unless the permit is transferred under rule 62-330.340, F.A.C., or transferred to an operating entity under rule 62-330.310, F.A.C., the permittee is liable to comply with the plans, terms, and conditions of the permit for the life of the project or activity.
6. Within 30 days after completing construction of the entire project, or any independent portion of the project, the permittee shall provide the following to the Agency, as applicable:
 - a. For an individual, private single-family residential dwelling unit, duplex, triplex, or quadruplex- "Construction Completion and Inspection Certification for Activities Associated With a Private Single-Family Dwelling Unit"[Form 62-330.310(3)]; or
 - b. For all other activities- "As-Built Certification and Request for Conversion to Operational Phase" [Form 62-330.310(1)].
 - c. If available, an Agency website that fulfills this certification requirement may be used in lieu of the form.
7. If the final operation and maintenance entity is a third party:
 - a. Prior to sales of any lot or unit served by the activity and within one year of permit issuance, or within 30 days of as-built certification, whichever comes first, the permittee shall submit, as applicable, a copy of the operation and maintenance documents (see sections 12.3 thru 12.3.4 of Volume I) as filed with the Florida Department of State, Division of Corporations, and a copy of any easement, plat, or deed restriction needed to operate or maintain the project, as recorded with the Clerk of the Court in the

County in which the activity is located.

- b. Within 30 days of submittal of the as-built certification, the permittee shall submit "Request for Transfer of Environmental Resource Permit to the Perpetual Operation and Maintenance Entity" [Form 62-330.310(2)] to transfer the permit to the operation and maintenance entity, along with the documentation requested in the form. If available, an Agency website that fulfills this transfer requirement may be used in lieu of the form.
8. The permittee shall notify the Agency in writing of changes required by any other regulatory agency that require changes to the permitted activity, and any required modification of this permit must be obtained prior to implementing the changes.
9. This permit does not:
 - a. Convey to the permittee any property rights or privileges, or any other rights or privileges other than those specified herein or in Chapter 62-330, F.A.C.;
 - b. Convey to the permittee or create in the permittee any interest in real property;
 - c. Relieve the permittee from the need to obtain and comply with any other required federal, state, and local authorization, law, rule, or ordinance; or
 - d. Authorize any entrance upon or work on property that is not owned, held in easement, or controlled by the permittee.
10. Prior to conducting any activities on state-owned submerged lands or other lands of the state, title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund, the permittee must receive all necessary approvals and authorizations under Chapters 253 and 258, F.S. Written authorization that requires formal execution by the Board of Trustees of the Internal Improvement Trust Fund shall not be considered received until it has been fully executed.
11. The permittee shall hold and save the Agency harmless from any and all damages, claims, or liabilities that may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any project authorized by the permit.
12. The permittee shall notify the Agency in writing:
 - a. Immediately if any previously submitted information is discovered to be inaccurate; and
 - b. Within 30 days of any conveyance or division of ownership or control of the property or the system, other than conveyance via a long-term lease, and the new owner shall request transfer of the permit in accordance with Rule 62-330.340, F.A.C. This does not apply to the sale of lots or units in residential or commercial subdivisions or condominiums where the stormwater management system has been completed and converted to the operation phase.
13. Upon reasonable notice to the permittee, Agency staff with proper identification shall have permission to enter, inspect, sample and test the project or activities to ensure conformity with the plans and specifications authorized in the permit.
14. If prehistoric or historic artifacts, such as pottery or ceramics, projectile points, stone tools, dugout canoes, metal implements, historic building materials, or any other physical remains that could be associated with Native American, early European, or American settlement are encountered at any time within the project site area, the permitted project shall cease all activities involving subsurface disturbance in the vicinity of the discovery. The permittee or other designee shall contact the Florida Department of State, Division of Historical Resources, Compliance Review Section (DHR), at (850)245-6333, as well as the appropriate permitting agency office. Project activities shall not resume without verbal or written authorization from the Division of Historical Resources. If unmarked human remains are encountered, all work shall stop immediately and the proper authorities notified in accordance with section 872.05, F.S. For project activities subject to prior consultation with the DHR and as an alternative to the above requirements, the permittee may follow procedures for unanticipated discoveries as set forth within a cultural resources assessment survey determined complete and sufficient by DHR and included as a specific permit condition herein.

15. Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered binding unless a specific condition of this permit or a formal determination under Rule 62-330.201, F.A.C., provides otherwise.
16. The permittee shall provide routine maintenance of all components of the stormwater management system to remove trapped sediments and debris. Removed materials shall be disposed of in a landfill or other uplands in a manner that does not require a permit under Chapter 62-330, F.A.C., or cause violations of state water quality standards.
17. This permit is issued based on the applicant's submitted information that reasonably demonstrates that adverse water resource-related impacts will not be caused by the completed permit activity. If any adverse impacts result, the Agency will require the permittee to eliminate the cause, obtain any necessary permit modification, and take any necessary corrective actions to resolve the adverse impacts.
18. A Recorded Notice of Environmental Resource Permit may be recorded in the county public records in accordance with Rule 62-330.090(7), F.A.C. Such notice is not an encumbrance upon the property.

Special Conditions for Individual Environmental Resource Permits, 62-330.350, F.A.C.

1. The construction authorization for this permit shall expire on the date shown on page 2.
2. Perpetual O&M of the SWM system shall be the responsibility of Troil South LLC. The permittee shall notify the Agency in writing within 30 days of any conveyance or division of ownership or control of the property of the system, and the new owner must request transfer of the permit in accordance with Rule 62-330.340, F.A.C.
3. A stable, permanent and accessible elevation reference shall be established on or within 100 feet of all permitted discharge structures no later than the submission of the certification report. The location of the elevation reference must be noted on or with the certification report.
4. Prior to any future construction, the permittee shall apply for and receive an Individual ERP. As part of the permit application, the applicant for that phase shall provide documentation verifying that the proposed construction is consistent with the design of the master stormwater management system, including the land use and site grading assumptions.
5. Prior to initiating construction activities associated with this ERP, the permittee is required to hold a pre-construction meeting with field representatives, consultants, contractors, District Environmental Resource Bureau (ERB) staff, and any other local government entities as necessary. The purpose of the pre-construction meeting is to discuss construction methods, sequencing, best management practices, identify work areas, staking and roping of preserves where applicable, and to facilitate coordination and assistance amongst relevant parties. To schedule a pre-construction meeting, please contact ERB staff from the Okeechobee Service Center at (863) 462-5260 or via e-mail at: precon@sfwmd.gov. When sending a request for a pre-construction meeting, please include the application number, permit number, and contact name and phone number.
6. This permit does not authorize the permittee to cause any adverse impact to or "take" of state listed species and other regulated species of fish and wildlife. Compliance with state laws regulating the take of fish and wildlife is the responsibility of the owner or permittee associated with this project. Please refer to Chapter 68A-27, F.A.C. for definitions of "take" and a list of fish and wildlife species. If listed species are observed onsite, FWC staff are available to provide decision support information or assist in obtaining the appropriate FWC permits. Most marine endangered and threatened species are statutorily protected and a "take" permit cannot be issued. Requests for further information or review can be sent to: FWCConservationPlanningServices@MyFWC.com.
7. In addition to the requirements of General Condition No. 6, the permittee shall provide the following at the time of certification and request to transfer the permit to the operation phase: a. Record drawings signed and sealed by a registered professional in the State of Florida per Subsection 12.2(b)2, ERP AH Vol. I. b. A copy of the O&M plan, revised as necessary to be applicable to the SWM system as designed and permitted per Subsection 12.2.1.(b)5, ERP AH Vol. I. c. An updated copy of the cost estimate per Subsections 12.2.1.(b)6 & 12.3.5(a)4, ERP AH Vol. I.
8. In accordance with Exhibit No. 2.2 and Sections 12.5 and 12.6, ERP AH Vol. I, the permittee shall inspect the SWM system and submit an annual inspection report.

Project Work Schedule for Permit No. 56-114480-P

The following activities are requirements of this Permit and shall be completed in accordance with the Project Work Schedule below. Please refer to General Conditions, Special Conditions and/or Specific Conditions for more information. Any deviation from these time frames will require prior approval from the District's Environmental Resources Bureau and may require a modification to this permit. Such requests must be made in writing and shall include: (1) reason for the change, (2) proposed start/finish and/or completion dates, and (3) progress report on the status of the project.

Condition No.	Date Added	Description (Application Number)	Due Date	Date Satisfied
GC 4	11/25/2025	Construction Commencement Notice	Prior to Construction	
GC 6	11/25/2025	Submit Certification	30 Days After Construction Completion	
GC 7	11/25/2025	Submit Operation Transfer Request	Within 30 days of Certification	
SC 5	11/25/2025	Pre-Construction Meeting	Prior to Construction	
SC 7	11/25/2025	O&M Documents	30 Days After Construction Complete Date	
SC 8	11/25/2025	O&M Inspection Report 1	With in 1 year of Certification	

GC = General Condition

SC = Special Condition

Distribution List

Leo Giangrande, Giangrande Engineering & Planning

City of Port St Lucie - Planning and Zoning Division

City of Port St Lucie - Public Works

US Army Corps of Engineers - Permit Section

St. Lucie County Engineer

St. Lucie County Planning and Development Services

City Of Fort Pierce

Exhibits

The following exhibits to this permit are incorporated by reference. The exhibits can be viewed by clicking on the links below or by visiting the District's RegPermitting website at www.sfwmd.gov/regpermitting and searching under this application number 250218-50293.

[Exhibit No. 1.0 Location Map](#)

[Exhibit No. 2.0 SWM Plans](#)

[Exhibit No. 2.1 SWM Report](#)

[Exhibit No. 2.2 O&M Manual](#)

NOTICE OF RIGHTS

As required by Chapter 120, Florida Statutes, the following provides notice of the opportunities which may be available for administrative hearing pursuant to Sections 120.569 and 120.57, Florida Statutes, or judicial review pursuant to Section 120.68, Florida Statutes, when the substantial interests of a party are determined by an agency. Please note that this Notice of Rights is not intended to provide legal advice. Some of the legal proceedings detailed below may not be applicable or appropriate for your situation. You may wish to consult an attorney regarding your legal rights.

RIGHT TO REQUEST ADMINISTRATIVE HEARING

A person whose substantial interests are or may be affected by the South Florida Water Management District's (District) action has the right to request an administrative hearing on that action pursuant to Sections 120.569 and 120.57, Florida Statutes. Persons seeking a hearing on a District decision which affects or may affect their substantial interests shall file a petition for hearing in accordance with the filing instructions set forth herein within 21 days of receipt of written notice of the decision unless one of the following shorter time periods apply: (1) within 14 days of the notice of consolidated intent to grant or deny concurrently reviewed applications for environmental resource permits and use of sovereign submerged lands pursuant to Section 373.427, Florida Statutes; or (2) within 14 days of service of an Administrative Order pursuant to Section 373.119(1), Florida Statutes. "Receipt of written notice of agency decision" means receipt of written notice through mail, electronic mail, posting, or publication that the District has taken or intends to take final agency action. Any person who receives written notice of a District decision and fails to file a written request for hearing within the timeframe described above waives the right to request a hearing on that decision.

If the District takes final agency action that materially differs from the noticed intended agency decision, persons who may be substantially affected shall, unless otherwise provided by law, have an additional point of entry pursuant to Rule 28-106.111, Florida Administrative Code.

Any person to whom an emergency order is directed pursuant to Section 373.119(2), Florida Statutes, shall comply therewith immediately, but on petition to the board shall be afforded a hearing as soon as possible.

A person may file a request for an extension of time for filing a petition. The District may grant the request for good cause. Requests for extension of time must be filed with the District prior to the deadline for filing a petition for hearing. Such requests for extension shall contain a certificate that the moving party has consulted with all other parties concerning the extension and whether the District and any other parties agree to or oppose the extension. A timely request for an extension of time shall toll the running of the time period for filing a petition until the request is acted upon.

FILING INSTRUCTIONS

A petition for administrative hearing must be filed with the Office of the District Clerk. Filings with the Office of the District Clerk may be made by mail, hand-delivery, or e-mail. Filings by facsimile will not be accepted. A petition for administrative hearing or other document is deemed filed upon receipt during normal business hours by the Office of the District Clerk at the District's headquarters in West Palm Beach, Florida. The District's normal business hours are 8:00 a.m. – 5:00 p.m., excluding weekends and District holidays. Any document received by the Office of the District Clerk after 5:00 p.m. shall be deemed filed as of 8:00 a.m. on the next regular business day.

Additional filing instructions are as follows:

- Filings by mail must be addressed to the Office of the District Clerk, 3301 Gun Club Road, West Palm Beach, Florida 33406.
- Filings by hand-delivery must be delivered to the Office of the District Clerk. Delivery of a petition to the District's security desk does not constitute filing. It will be necessary to request that the District's security officer contact the Office of the District Clerk. An employee of the District's Clerk's office will

receive and process the petition.

- Filings by e-mail must be transmitted to the Office of the District Clerk at clerk@sfwmd.gov. The filing date for a document transmitted by electronic mail shall be the date the Office of the District Clerk receives the complete document.

INITIATION OF ADMINISTRATIVE HEARING

Pursuant to Sections 120.54(5)(b)4. and 120.569(2)(c), Florida Statutes, and Rules 28-106.201 and 28-106.301, Florida Administrative Code, initiation of an administrative hearing shall be made by written petition to the District in legible form and on 8 1/2 by 11 inch white paper. All petitions shall contain:

1. Identification of the action being contested, including the permit number, application number, District file number or any other District identification number, if known.
2. The name, address, any email address, any facsimile number, and telephone number of the petitioner, petitioner's attorney or qualified representative, if any.
3. An explanation of how the petitioner's substantial interests will be affected by the agency determination.
4. A statement of when and how the petitioner received notice of the District's decision.
5. A statement of all disputed issues of material fact. If there are none, the petition must so indicate.
6. A concise statement of the ultimate facts alleged, including the specific facts the petitioner contends warrant reversal or modification of the District's proposed action.
7. A statement of the specific rules or statutes the petitioner contends require reversal or modification of the District's proposed action.
8. If disputed issues of material fact exist, the statement must also include an explanation of how the alleged facts relate to the specific rules or statutes.
9. A statement of the relief sought by the petitioner, stating precisely the action the petitioner wishes the District to take with respect to the District's proposed action.

MEDIATION

The procedures for pursuing mediation are set forth in Section 120.573, Florida Statutes, and Rules 28-106.111 and 28-106.401–.405, Florida Administrative Code. The District is not proposing mediation for this agency action under Section 120.573, Florida Statutes, at this time.

RIGHT TO SEEK JUDICIAL REVIEW

Pursuant to Section 120.68, Florida Statutes, and in accordance with Florida Rule of Appellate Procedure 9.110, a party who is adversely affected by final District action may seek judicial review of the District's final decision by filing a notice of appeal with the Office of the District Clerk in accordance with the filing instructions set forth herein within 30 days of rendition of the order to be reviewed, and by filing a copy of the notice with the appropriate district court of appeals via the Florida Courts E-Filing Portal.



Grant M. Chambers<Grant.M.Chambers@stlucieco.gov>

To: Kerry Driver



Reply



Reply all



Forward



Thu 6/25/2026 12:54 PM

 You replied on Thu 6/25/2026 1:01 PM

SECURITY WARNING: This email has been generated from external sources and is not affiliated with the City of Fort Pierce systems. Exercise caution while clicking on links or opening attachments. If you have any questions or concerns, please reach out to the IT department promptly.

Good afternoon Kerry,

The applicant has satisfied the County's comments and a permit for the driveway connection has been issued.

Grant Chambers, P.E. | Sr. Project Engineer

Ph: 772-462-2741 | Cell: 772-834-1067 | 2300 Virginia Ave. Fort Pierce 34982

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THE SUNRISE CITY

FORT PIERCE

ENGINEERING
DEPARTMENT

Florida

To : Kerry C. Driver, Senior Planner

FROM : Tanner Retherford, Project Engineer

Thru : Mark Zrallack, P.E. City Engineer

**RE : 3700 Okeechobee Road Site Plan & CU – Tank Farm
Project No. PZSITE2025-00029**

DATE : April 21, 2026

This is to advise you that we have completed the review of the following documents as received by this office on April 21, 2026:

- | | |
|---|--|
| ☐ Conditional Use Application | ☒ Site Plan Application |
| ☐ Test Reports & Related Documents | ☐ Certificate of Completion |
| ☐ Record Drawings | ☐ Permits from applicable Local, State & Federal Agencies |
| ☐ Clearances from all applicable Local, State and Federal Agencies | |

Based on our reviews and appropriate site final inspection, we

- | | | |
|--|--|------------------------------|
| ☐ Recommend | ☒ Do Not Recommend | |
| ☒ Approval of Site Plan & CU | ☐ Building Permit Approval | ☐ C/O |

Developer, Owner, Engineer, Contractor and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

- ☒ See attached for engineering comments

ENGINEERING COMMENTS:

1. The revised Site Plan and Dumpster Detail show a sidewalk leading to the side of the double dumpster enclosure. The sidewalk dead-ends at the masonry wall of the dumpster with no access. Also, the dumpster detail shows a 8' extended concrete apron from the dumpster enclosure, which is not represented on the plans. Please revise Site Plan or the dumpster detail to solve this issue.

MZ/TR



SITE PLAN REVIEW

TO: Site Plan Applicant

SITE PLAN: 3700 Okeechobee Road PZSITE2025-00029

REVIEW DATE: 7/9/2025

PLANNER: KERRY DRIVER

REVIEWED BY: Captain Jesse Almand

Site Plan Approved with conditions: X

Site Plan Requires Re-submittal:

The following Conditions/Revisions are necessary:

- 1. ~~Please submit a completed application for Development/Site Plan Review (St. Lucie County Fire District Development & Site Plan Review Application). This form is available on-line at <https://www.slcfld.com>. Received 9/19/2025~~**
- 2. ~~Invoicing contact information will need to be provided in the Applicant/Agent for Owner section on the application. Please be sure to include the assigned project number, business name, address, primary contact name, phone number and email address for the responsible party. Invoices will be generated upon receipt of application and supporting documents. An abbreviated fee schedule is included on the application form. Payment can be made by credit card or check.~~**
- 3. ~~Written acknowledgement of the conditions/comments provided, as well as any required revisions are due at the time of application submittal. Received 5/21/2026~~**
- 4. ~~Fire District review fees are due at the time of submittal. An abbreviated fee schedule is included on the application form. Received 9/23/2025~~**

"Our Family Serving Yours"

5160 N.W. Milner Drive, Port St. Lucie, Florida 34983-3392
Telephone: (772) 621-3400 Fax: (772) 621-3400
www.slcfld.com



5. ~~Fire District Development/Site Plan Review application, supporting documentation, and the associated review fee, are due prior to site plan approval.~~
6. ~~A separate submittal to SLCFD for review and permitting will be required for any Fire Alarm, Fire Sprinkler, Underground Fire Main, or other life safety systems where required by the currently adopted version of the *Florida Fire Prevention Code*.~~
7. ~~Fire department access roads provided in accordance with 18.2.3 shall be provided at the start of a project and shall be maintained throughout construction. (NFPA 1-16.1.4). Surface. Fire department access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be provided with an all-weather driving surface. (NFPA 1.18.2.3.5.2)~~
8. ~~Electronic security gates must have an access control key switch on the control panel to allow for Fire Department entry in an emergency. Manual security gates that will be locked require a Knox lock. All security gates shall maintain a clear width of 12 feet when open and provide a means to open the gates manually upon loss of power. (SLCFD Resolution 740-23)~~
9. ~~Per the St. Lucie County Fire District Fire Prevention Code Resolution 740-23, at least 13 feet 6 inches nominal vertical clearance shall be provided and maintained over the full width of all means of access (including, but not limited to trees, canopies, etc.)~~
10. ~~The Fire District reserves the right for future comments at the site plan & building construction phase.~~
11. ~~Please provide a truck circulation detail.~~
12. ~~Be advised: Dimensions of largest vehicle are as follows: 38 tons or 77,000 lbs, 47.5 ft. total length, 21.5 ft. wheel base, 10.5 ft. total width, 41.5 degree turning radius. (SLCFD Resolution 740-23)~~

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13. ~~Minimum roadway pavement width (two-way traffic) shall be twenty (20) ft. (SLCFD Resolution 740-23)~~
14. ~~Minimum roadway pavement width (one-way traffic) shall be twelve (12) ft. (SLCFD Resolution 740-23)~~
15. ~~Fire apparatus access roads connecting to roadways shall be provided with curb cuts extending at least 2 ft (0.61 m) beyond each edge of the fire apparatus access road. (NFPA 1-18.2.3.5.3.3)~~
16. ~~The angle of approach and departure for any means of fire apparatus access road shall not exceed 1 ft drop in 20 ft (0.3 m drop in 6 m) or the design limitations of the fire apparatus of the fire department, and shall be subject to approval by the AHJ. (NFPA 1-18.2.3.5.6.2)~~
17. ~~A fire department access road shall extend to within 50 ft (15 m) of at least one exterior door that can be opened from the outside and that provides access to the interior of the building. (NFPA 1-18.2.3.2.1)~~
18. ~~Fire hydrants (shall be) are provided for buildings other than detached one and two-family dwellings IAW both of the following 1) The maximum distance to a fire hydrant from the closest point in the building shall not exceed 400 feet. 2) The maximum distance between fire hydrants shall not exceed 500 feet. NFPA 1-18.5.3. Please provide fire flow calculations for hydrants.~~
19. ~~An approved water supply capable of supplying the required fire flow for fire protection (shall be) is identified to all premises upon which facilities, buildings, or portions of buildings which are to be constructed or moved into the jurisdiction. The approved water supply shall be in accordance with NFPA 1-18.4.~~
20. ~~Fire department connections shall be located on the street side of buildings and shall be located and arranged so that hose lines can be readily attached to the inlets without interference from any nearby objects, including buildings, fences, landscaping, or other fire department connections. The locations of connections shall be based upon the access requirements of the fire department.~~
21. ~~The distance allowed between the fire department connection and a fire hydrant shall be no more than one hundred fifty (150) feet as a vehicle travels.~~

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- 22. ~~Where underground water mains and hydrants are to be provided, they shall be installed, completed, and in service prior to commencing construction work on any structure. It is not intended to prohibit the construction of non-combustible structure foundation elements such as foundations and footings prior to the completion of underground water mains and hydrants (NFPA 1-16.4.3.1.3).~~**
- 23. ~~The minimum size of water mains for supplying water for firefighting purposes shall be six (6) inches. b. The minimum size of water mains supplying hydrants on a dead end main shall be eight (8) inches. c. The maximum number of hydrants located on a dead end main shall be one (1). d. Grid or Tee systems shall be supplied by a minimum of an eight (8) inch looped main. Exceptions may be granted based on the capacity of the water distribution system but in no case shall the main size be less than six (6) inches. e. The minimum size water main(s) shall be determined by the needed fire flow as established by the Fire Marshal and based on the current Insurance Service Office (ISO) requirements.~~**
- 24. ~~Hydrants shall be located no more than 12ft. from the curb of roadways or from the edge of payment. Clearances of three feet (3 ft.) shall be maintained around the circumference of hydrants. A clear space of not less than five feet (5ft.) shall be provided in front of each hydrant connection having a diameter greater than 2 ½ inches. The center of hose outlet shall be not less than 18 inches above final grade. (SLCFD Fire Prevention Code Resolution 740-23).~~**
- 25. ~~Site Plans submitted in accordance with this Fire Prevention Code shall include the size, layout, and offsite connections for the water distribution system and the location of all existing and proposed fire hydrants within one thousand (1,000) feet of the proposed project.~~**



THE SUNRISE CITY
FORT PIERCE
ENGINEERING
DEPARTMENT

Florida

To : Kerry C. Driver, Senior Planner

FROM : Tanner Retherford, Project Engineer

Thru : Mark Zrallack, P.E. City Engineer

**RE : 3700 Okeechobee Road Site Plan & CU – Tank Farm
Project No. PZSITE2025-00029**

DATE : April 8, 2026

This is to advise you that we have completed the review of the following documents as received by this office on April 7, 2026:

- | | |
|---|--|
| ☐ Conditional Use Application | ☒ Site Plan Application |
| ☐ Test Reports & Related Documents | ☐ Certificate of Completion |
| ☐ Record Drawings | ☐ Permits from applicable Local, State & Federal Agencies |
| ☐ Clearances from all applicable Local, State and Federal Agencies | |

Based on our reviews and appropriate site final inspection, we

- | | | |
|--|--|------------------------------|
| ☐ Recommend | ☒ Do Not Recommend | |
| ☒ Approval of Site Plan & CU | ☐ Building Permit Approval | ☐ C/O |

Developer, Owner, Engineer, Contractor and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

- ☒ See attached for engineering comments

ENGINEERING COMMENTS:

1. The revised Site Plan and Dumpster Detail show a sidewalk leading to the side of the double dumpster enclosure. The sidewalk dead-ends at the masonry wall of the dumpster with no access. Also, the dumpster detail shows a 8' extended concrete apron from the dumpster enclosure, which is not represented on the plans. Please revise Site Plan or the dumpster detail to solve this issue.

MZ/TR

To: Kerry Driver; Tanner Retherford

Thu 4/16/2026 7:12 PM

📧 You replied on Mon 4/20/2026 11:08 AM

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Good evening,

The only comment the County has at this time on the resubmittal is to identify the right-of-way dedication on the landscape plan. No required landscaping shall be within the Right-of-Way.

The applicant has provided a site development permit application. Comments have been provided on the application and we are awaiting resubmittal.

Thank you,

Grant Chambers, P.E. | Senior Project Engineer | Engineering Division - PW

Ph: 772-462-1707 | Direct: 772-462-2741 | 2300 Virginia Ave. Fort Pierce 34982

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To: Jarrod Stern
Giangrande Engineering & Planning

From: Kerry C. Driver, Senior Planner

Re: **Project#: PZSITE2025-00029** – Conditional Use w New Construction
Parcel IDs: 2417-331-0010-0006- (3700 Okeechobee Rd.)

Meeting Date: Technical Review Committee Thursday, July 17, 2025
Re-review date: November 20, 2025

City of Fort Pierce Planning Department

The application **Requires Resubmittal** for the following reasons:

1. Okeechobee Road is a gateway road into the city. The site plan should be revised so that the front entrance of the building faces Okeechobee Road and not the back end of the site. The loading docks/zone should not be visible from the road
2. ADA accessible area is missing. Identify the ADA parking stall dimensions on site plan
3. Provide dumpster details, according to Major and Minor Site Plan city code, Sec. 125-313
4. Identify stop bar and stop signs on the site plan
5. A tree mitigation plan is required
6. The proposed architectural design is not satisfactory to the city's Design Review standards. Okeechobee Road is a collector's road and therefore, the architectural designs should encompass architectural elements, **articulations, colors and signage**. Please reference the Architectural Design Standards for commercial buildings. (document attached)
7. Color board and updated renderings of proposed building, per Sec. 125-314, shall consist of primary colors and secondary accent colors from the Architectural Design Color Palette



THE SUNRISE CITY
FORT PIERCE
ENGINEERING
DEPARTMENT

Florida

To : Kerry C. Driver, Senior Planner

FROM : Tanner Retherford, Project Engineer

Thru : Mark Zrallack, P.E. City Engineer

**RE : 3700 Okeechobee Road Site Plan & CU – Tank Farm
Project No. PZSITE2025-00029**

DATE : November 4, 2025

This is to advise you that we have completed the review of the following documents as received by this office on November 3, 2025:

- | | |
|---|--|
| ☐ Conditional Use Application | ☒ Site Plan Application |
| ☐ Test Reports & Related Documents | ☐ Certificate of Completion |
| ☐ Record Drawings | ☐ Permits from applicable Local, State & Federal Agencies |
| ☐ Clearances from all applicable Local, State and Federal Agencies | |

Based on our reviews and appropriate site final inspection, we

- | | | | |
|---|--|------------------------------|--|
| ☐ Recommend | ☒ Do Not Recommend | | |
| ☐ Approval of Site Plan & CU | ☐ Building Permit Approval | ☐ C/O | |

Developer, Owner, Engineer, Contractor and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

- ☒ See attached for engineering comments

ENGINEERING COMMENTS:

1. Revise the Site Plan to show the existing driveways on 37th Street being removed
2. Revise the site plan to include directions on the existing driveway at the NE property corner. Is it being removed? If so, how will that area be dealt with.
3. Provide ADA detectable warnings at all locations where required by ADA code.
4. Revise site plan to show existing curb on 37th street to include the minimum 5' sidewalk previously requested. Include dimensions of both the "F" curb and the sidewalk.
5. Callout stop bar and stop sign to be installed.
6. Please include a lighting plan per City of Fort Pierce Code 125-313(3)(c)(8)
7. Site Plan to include all necessary details including dumpster, curb, parking, etc.
8. Revise site plan to include the dimensions of the ADA parking spaces and access area.
9. Revise site plan to show the minimum drive isle width of 24' is met on all areas of the site.
10. Revise site plan to include bicycle parking per City of Fort Pierce Code 125-315(f)
11. Revise site plan to include an ADA accessible path to the SLC right-of-way per City of Fort Pierce Code 125-317(d)(2)
12. Provide a tree mitigation plan.
13. Provide information on the adjacent properties including finished floor elevations per City of Fort Pierce Code 119-2(a)(3)
14. Provide a note on the site plan that all construction shall comply with the City of Fort Pierce Code of Ordinances Sections 119 and 125.
15. Provide the driveway setback as measured from edge of the proposed driveway and the edge of pavement of 37th Street. Please be aware that the minimum setback of 50' per Section 125-316 does not apply in this situation as Okeechobee Road is a St. Lucie County roadway and must adhere to the requirements specified by SLC.
16. The site plan states a 15' R/W dedication. This appears to be labeled incorrectly. Please identify the 5' R/W dedication required.
17. The stop bar on 37th Street should be relocated out of the City R/W.

Landscape Plan:

1. Revise landscape plan base file to match revised site plan submitted. Include all drainage areas on the revised landscape plan.

Advisory Comments:

1. A preliminary review of the drainage plan was completed. An in-depth review of the drainage system and calculations will be completed at the time of DPCR submittal.
2. The plans indicate the stormwater treatment system is to be tie-in to the Okeechobee Road drainage system. Please be aware this system is owned and maintained by SLC and will require permitting through the County.
3. An NSLRWCD and SFWMD permit will need to be supplied to the City of Fort Pierce Engineering Department prior to project approval.
4. Construction Plans will be reviewed at the time of DPCR.



THE SUNRISE CITY
FORT PIERCE
ENGINEERING
DEPARTMENT

Florida

To : Kerry C. Driver, Senior Planner

FROM : Tanner Retherford, Project Engineer

Thru : Mark Zrallack, P.E. City Engineer

**RE : 3700 Okeechobee Road Site Plan & CU – Tank Farm
Project No. PZSITE2025-00029**

DATE : November 4, 2025

This is to advise you that we have completed the review of the following documents as received by this office on November 3, 2025:

- | | |
|---|--|
| ☐ Conditional Use Application | ☒ Site Plan Application |
| ☐ Test Reports & Related Documents | ☐ Certificate of Completion |
| ☐ Record Drawings | ☐ Permits from applicable Local, State & Federal Agencies |
| ☐ Clearances from all applicable Local, State and Federal Agencies | |

Based on our reviews and appropriate site final inspection, we

- | | | | |
|---|--|------------------------------|--|
| ☐ Recommend | ☒ Do Not Recommend | | |
| ☐ Approval of Site Plan & CU | ☐ Building Permit Approval | ☐ C/O | |

Developer, Owner, Engineer, Contractor and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

- ☒ See attached for engineering comments

ENGINEERING COMMENTS:

1. Revise the Site Plan to show the existing driveways on 37th Street being removed
2. Revise the site plan to include directions on the existing driveway at the NE property corner. Is it being removed? If so, how will that area be dealt with.
3. Provide ADA detectable warnings at all locations where required by ADA code.
4. Revise site plan to show existing curb on 37th street to include the minimum 5' sidewalk previously requested. Include dimensions of both the "F" curb and the sidewalk.
5. Callout stop bar and stop sign to be installed.
6. Please include a lighting plan per City of Fort Pierce Code 125-313(3)(c)(8)
7. Site Plan to include all necessary details including dumpster, curb, parking, etc.
8. Revise site plan to include the dimensions of the ADA parking spaces and access area.
9. Revise site plan to show the minimum drive isle width of 24' is met on all areas of the site.
10. Revise site plan to include bicycle parking per City of Fort Pierce Code 125-315(f)
11. Revise site plan to include an ADA accessible path to the SLC right-of-way per City of Fort Pierce Code 125-317(d)(2)
12. Provide a tree mitigation plan.
13. Provide information on the adjacent properties including finished floor elevations per City of Fort Pierce Code 119-2(a)(3)
14. Provide a note on the site plan that all construction shall comply with the City of Fort Pierce Code of Ordinances Sections 119 and 125.
15. Provide the driveway setback as measured from edge of the proposed driveway and the edge of pavement of 37th Street. Please be aware that the minimum setback of 50' per Section 125-316 does not apply in this situation as Okeechobee Road is a St. Lucie County roadway and must adhere to the requirements specified by SLC.
16. The site plan states a 15' R/W dedication. This appears to be labeled incorrectly. Please identify the 5' R/W dedication required.
17. The stop bar on 37th Street should be relocated out of the City R/W.

Landscape Plan:

1. Revise landscape plan base file to match revised site plan submitted. Include all drainage areas on the revised landscape plan.

Advisory Comments:

1. A preliminary review of the drainage plan was completed. An in-depth review of the drainage system and calculations will be completed at the time of DPCR submittal.
2. The plans indicate the stormwater treatment system is to be tie-in to the Okeechobee Road drainage system. Please be aware this system is owned and maintained by SLC and will require permitting through the County.
3. An NSLRWCD and SFWMD permit will need to be supplied to the City of Fort Pierce Engineering Department prior to project approval.
4. Construction Plans will be reviewed at the time of DPCR.



THE SUNRISE CITY
FORT PIERCE
PLANNING DEPARTMENT
Florida

To: Jarrod Stern
Giangrande Engineering & Planning

From: Kerry C. Driver, Senior Planner

Re: **Project#: PZSITE2025-00029** – Conditional Use w New Construction
Parcel IDs: 2417-331-0010-0006- (3700 Okeechobee Rd.)

Meeting Date: Technical Review Committee Thursday, July 17, 2025

City of Fort Pierce Planning Department

The application **Requires Resubmittal** for the following reasons:

1. Your site plan is short one (1) parking space. Per Off-street parking city code Sec. 125-315, 17 regular stalls are required and one (1) ADA stall for your development. This should bring the total parking stalls, including ADA, to 18
2. Provide dumpster details, according to Major and Minor Site Plan city code, Sec. 125-313
3. Provide the complete dimensions for the off-street loading space
4. Provide driveway widths and access point measurements, per Access Control, city code Sec. 125-316
5. The proposed architectural design is not satisfactory to the city's Design Review standards. Okeechobee Road is a collector's road and therefore, the architectural designs should encompass architectural elements and articulations. Please reference the Architectural Design Standards for commercial buildings. (document attached)
6. Color board and updated renderings of proposed building, per Sec. 125-314, shall consist of primary colors and secondary accent colors from the Architectural Design Color Palette



Fort Pierce Utilities Authority
Water/Wastewater Engineering
1701 South 37th Street
Fort Pierce, FL 34947
772.466.1600 Ext 3473

Technical Review Committee Meeting

TECHNICAL REVIEW PROJECT: PZSITE2025-00029

Minor Site Plan and Conditional Use - New Tank Farm - 3700 Okeechobee Road

W/WW Engineering: Concept approved.

Only FPUA water service is immediately available to serve the subject property. Please refer to the link below for a step-by-step guide outlining the entire process, including utility details and permit application requirements.

For any questions, feel free to contact John Biggs at (772) 466-1600, ext. 3474.

As part of the submittal, the developer must provide three complete sets of utility construction plans along with a completed plan review application to the Water and Wastewater Engineering Department, located at 1701 S. 37th Street, Fort Pierce, Florida.

<https://fpua.com/water-and-wastewater-engineering-downloads/>

Electric Engineering: FPUA Electric & Gas Engineering has reviewed the traffic impact analysis.

No comments.

Gas: Approved.

FPUAnet Fiber: FPUAnet **Approves**.

Fiber Internet Service – **Available**. Contact Eric Peters at (772) 468-1697 or peters@fpua.com for **Fiber Internet** requirements.



Developer
Letter.pdf



Our mission is to provide our customers with economical, reliable, and friendly service in a continuous effort to enhance the quality of life in our community.





Fort Pierce Utilities Authority
FPUAnet Communications
500 Boston Avenue (PO Box 3191)
Fort Pierce, FL 34950 (34948)

Dear Developer,

I'm reaching out on behalf of **FPUAnet**, the City of Fort Pierce's municipal fiber internet provider, to introduce how we can support your next development project with fast, reliable, and cost-effective connectivity built for long-term growth.

Here's why developers like you choose **FPUAnet**:

- **Scalable Fiber Infrastructure**

Our fiber network is designed to evolve with the needs of Fort Pierce, ensuring your properties have the bandwidth to support future technologies, smart building systems, and high-demand applications.

- **Gigabit Speeds at Every Site**

Whether it's residential, commercial, or mixed-use, we deliver **consistent gigabit speeds** across our service area—ensuring your tenants and buyers enjoy fast, seamless internet.

- **Community-Wide Coverage**

We don't just serve high-density areas—we extend fiber access to underserved neighborhoods, helping developers meet connectivity requirements across all project types and locations.

- **Cost-Effective & Developer-Friendly**

With **competitive pricing** and a **community-first model**, FPUAnet offers lower rates than private ISPs—helping keep your project costs in check, with no hidden fees or profit-driven markups.

On top of that, **our dedicated local support team is available 24/7**, giving you and your buyers reliable access to real people who know the area and the network inside and out.

I'd love to discuss how we can help meet your project's specific connectivity needs. Please feel free to reach me directly at peters@fpu.com or **772-468-1697**.

Looking forward to partnering with you.

Best regards,
Eric Peters
On behalf of FPUAnet



Our mission is to provide our customers with economical, reliable and friendly service in a continuous effort to enhance the quality of life in our community.

772.466.1600

www.fpu.com





THE SUNRISE CITY
FORT PIERCE
POLICE DEPARTMENT
"In Honor We Serve"

Florida

Technical Review Committee meeting

July 17, 2025

Case #: PZSITE2025-00029

Planner: City of Ft. Pierce Planning Department.

Minor Site Plan and Conditional Use

3700 Okeechobee Rd., Ft. Pierce (New Tank Farm).

Comments:

No comments at this time.

Officer Damian Spotts

Crime Prevention Practitioner

Fort Pierce Police Department.



SITE PLAN REVIEW

TO: Site Plan Applicant

SITE PLAN: 3700 Okeechobee Road PZSITE2025-00029

REVIEW DATE: 7/9/2025

PLANNER: KERRY DRIVER

REVIEWED BY: Captain Jesse Almand

Site Plan Approved with conditions: _____

Site Plan Requires Re-submittal: ___X___

The following Conditions/Revisions are necessary:

1. Please submit a completed application for Development/Site Plan Review (St. Lucie County Fire District Development & Site Plan Review Application). This form is available on-line at <https://www.slcfcd.com>.
2. Invoicing contact information will need to be provided in the Applicant/Agent for Owner section on the application. Please be sure to include the assigned project number, business name, address, primary contact name, phone number and email address for the responsible party. Invoices will be generated upon receipt of application and supporting documents. An abbreviated fee schedule is included on the application form. Payment can be made by credit card or check.
3. Written acknowledgement of the conditions/comments provided, as well as any required revisions are due at the time of application submittal.
4. Fire District review fees are due at the time of submittal. An abbreviated fee schedule is included on the application form.

"Our Family Serving Yours"

5160 N.W. Milner Drive, Port St. Lucie, Florida 34983-3392

Telephone: (772) 621-3400 Fax: (772) 621-3400

www.slcfcd.com



5. **Fire District Development/Site Plan Review application, supporting documentation, and the associated review fee, are due prior to site plan approval.**
6. **A separate submittal to SLCFD for review and permitting will be required for any Fire Alarm, Fire Sprinkler, Underground Fire Main, or other life safety systems where required by the currently adopted version of the *Florida Fire Prevention Code*.**
7. **Fire department access roads provided in accordance with 18.2.3 shall be provided at the start of a project and shall be maintained throughout construction. (NFPA 1 16.1.4). Surface. Fire department access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be provided with an all-weather driving surface. (NFPA 1.18.2.3.5.2)**
8. **Electronic security gates must have an access control key switch on the control panel to allow for Fire Department entry in an emergency. Manual security gates that will be locked require a Knox lock. All security gates shall maintain a clear width of 12 feet when open and provide a means to open the gates manually upon loss of power. (SLCFD Resolution 740-23)**
9. **Per the St. Lucie County Fire District Fire Prevention Code Resolution 740-23, at least 13 feet 6 inches nominal vertical clearance shall be provided and maintained over the full width of all means of access (including, but not limited to trees, canopies, etc.)**
10. **The Fire District reserves the right for future comments at the site plan & building construction phase.**
11. **Please provide a truck circulation detail.**
12. **Be advised: Dimensions of largest vehicle are as follows: 38 tons or 77,000 lbs, 47.5 ft. total length, 21.5 ft. wheel base, 10.5 ft. total width, 41.5 degree turning radius. (SLCFD Resolution 740-23)**



- 13. Minimum roadway pavement width (two-way traffic) shall be twenty (20) ft. (SLCFD Resolution 740-23)**
- 14. Minimum roadway pavement width (one-way traffic) shall be twelve (12) ft. (SLCFD Resolution 740-23)**
- 15. Fire apparatus access roads connecting to roadways shall be provided with curb cuts extending at least 2 ft (0.61 m) beyond each edge of the fire apparatus access road. (NFPA 1 18.2.3.5.3.3)**
- 16. The angle of approach and departure for any means of fire apparatus access road shall not exceed 1 ft drop in 20 ft (0.3 m drop in 6 m) or the design limitations of the fire apparatus of the fire department, and shall be subject to approval by the AHJ.(NFPA 1 18.2.3.5.6.2)**
- 17. A fire department access road shall extend to within 50 ft (15 m) of at least one exterior door that can be opened from the outside and that provides access to the interior of the building. (NFPA 1.18.2.3.2.1)**
- 18. Fire hydrants (shall be) are provided for buildings other than detached one-and-two-family dwellings IAW both of the following 1) The maximum distance to a fire hydrant from the closest point in the building shall not exceed 400 feet. 2) The maximum distance between fire hydrants shall not exceed 500 feet. NFPA 1:18.5.3. Please provide fire flow calculations for hydrants.**
- 19. An approved water supply capable of supplying the required fire flow for fire protection (shall be) is identified to all premises upon which facilities, buildings, or portions of buildings which are to be constructed or moved into the jurisdiction. The approved water supply shall be in accordance with NFPA 1:18.4.**
- 20. Fire department connections shall be located on the street side of buildings and shall be located and arranged so that hose lines can be readily attached to the inlets without interference from any nearby objects, including buildings, fences, landscaping, or other fire department connections. The locations of connections shall be based upon the access requirements of the fire department.**
- 21. The distance allowed between the fire department connection and a fire hydrant shall be no more than one hundred fifty (150) feet as a vehicle travels.**

"Our Family Serving Yours"

5160 N.W. Milner Drive, Port St. Lucie, Florida 34983-3392
Telephone: (772) 621-3400 Fax: (772) 621-3400

www.slcfd.com



- 22. Where underground water mains and hydrants are to be provided, they shall be installed, completed, and in service prior to commencing construction work on any structure. It is not intended to prohibit the construction of non-combustible structure foundation elements such as foundations and footings prior to the completion of underground water mains and hydrants (NFPA 1 16.4.3.1.3).**
- 23. The minimum size of water mains for supplying water for firefighting purposes shall be six (6) inches. b. The minimum size of water mains supplying hydrants on a dead end main shall be eight (8) inches. c. The maximum number of hydrants located on a dead end main shall be one (1). d. Grid or Tee systems shall be supplied by a minimum of an eight (8) inch looped main. Exceptions may be granted based on the capacity of the water distribution system but in no case shall the main size be less than six (6) inches. e. The minimum size water main(s) shall be determined by the needed fire flow as established by the Fire Marshal and based on the current Insurance Service Office (ISO) requirements.**
- 24. Hydrants shall be located no more than 12ft. from the curb of roadways or from the edge of payment. Clearances of three feet (3 ft.) shall be maintained around the circumference of hydrants. A clear space of not less than five feet (5ft.) shall be provided in front of each hydrant connection having a diameter greater than 2 ½ inches. The center of hose outlet shall be not less than 18 inches above final grade. (SLCFD Fire Prevention Code Resolution 740-23).**
- 25. Site Plans submitted in accordance with this Fire Prevention Code shall include the size, layout, and offsite connections for the water distribution system and the location of all existing and proposed fire hydrants within one thousand (1,000) feet of the proposed project.**



THE SUNRISE CITY
FORT PIERCE
ENGINEERING
DEPARTMENT

Florida

TO : Kerry C. Driver, Senior Planner

FROM : Tracy Telle, Engineering Manager

Thru : Mark Zrallack, P.E. City Engineer

**RE : 3700 Okeechobee Road Site Plan & CU – Tank Farm
Project No. PZSITE2025-00029**

DATE : July 16, 2025

This is to advise you that we have completed the review of the following documents as received by this office on July 15, 2025:

☒ Conditional Use Application

☒ Site Plan Application

☐ Test Reports & Related Documents

☐ Certificate of Completion

☐ Record Drawings

☐ Permits from applicable Local,
State & Federal Agencies

☐ Clearances from all applicable Local,
State and Federal Agencies

Based on our reviews and appropriate site final inspection, we

☐ Recommend

☒ Do Not Recommend

☒ Approval of Site Plan & CU

☐ Building Permit Approval

☐ C/O

Developer, Owner, Engineer, Contractor and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

☒ See attached for engineering comments

ENGINEERING COMMENTS:

1. Survey:

- a. Provide a topographic survey which includes offsite elevations 50' (min.) in accordance with the City of Fort Pierce Code of Ordinances Sections 119 and 125.
- b. The legal descriptions shall identify whether the description is for Parcel 1 or Parcel 2 and include the overall parcel size.
- c. Please correct the legal descriptions to coincide with bearings and distances reflected on the plan view.
- d. Please indicate all above ground public utilities located within the 37th Street R/W as there are utility poles and a drainage inlet missing from the survey
- e. Identify each parcel's POB and POC.

2. Landscape Plan:

- a. Revise the plan to eliminate the proposed live oak trees along S. 37th Street as a minimum horizontal clearance of 40' is required from the existing overhead power lines located within the S. 37th Street right-of-way.
- b. Update the plan to include the clear vision sight triangles at the proposed driveways as per Section 125-308.
- c. Relocate the dry retention areas to the rear of the property as per the requirements specified in the City of Fort Pierce Code of Ordinances Section 119-9.

3. Site Plan:

- a. Provide the driveway setback as measured from edge of the proposed driveway and the edge of pavement of 37th Street. Please be aware that the minimum setback of 50' per Section 125-316 does not apply in this situation as Okeechobee Road is a St. Lucie County roadway and must adhere to the requirements specified by SLC.
- b. Provide a 5' wide concrete sidewalk along 37th Street. The sidewalk shall extend the limits of the property.
- c. The proposed driveway aprons located within the 37th Street and Okeechobee Road shall be comprised of concrete as per the City of Fort Pierce Code of Ordinances Section 32-9(b).
- d. The City of Fort Pierce Code of Ordinances specifies that roadways classified as "local" shall have a minimum right-of-way width of 60'. 37th Street currently has a substandard right-of-way width of 50'. Therefore, it is requested that the applicant provide a 5' right-of-way donation, or 1/2 of the required 10', as a part of the site plan approval process.
- e. Relocate the dry retention areas to the rear of the property as per the requirements specified in the City of Fort Pierce Code of Ordinances Section 119-9.
- f. Provide a note on the site plan that all construction shall comply with the City of Fort Pierce Code of Ordinances Sections 119 and 125.
- g. Provide the driveway width of the two proposed driveways and parking stall dimensions.
- h. Provide a detail of the dumpster enclosure which shall adhere to the minimum dimensions noted on the attached detail.
- i. Provide a minimum two-way access aisle of 24' for two-way traffic.

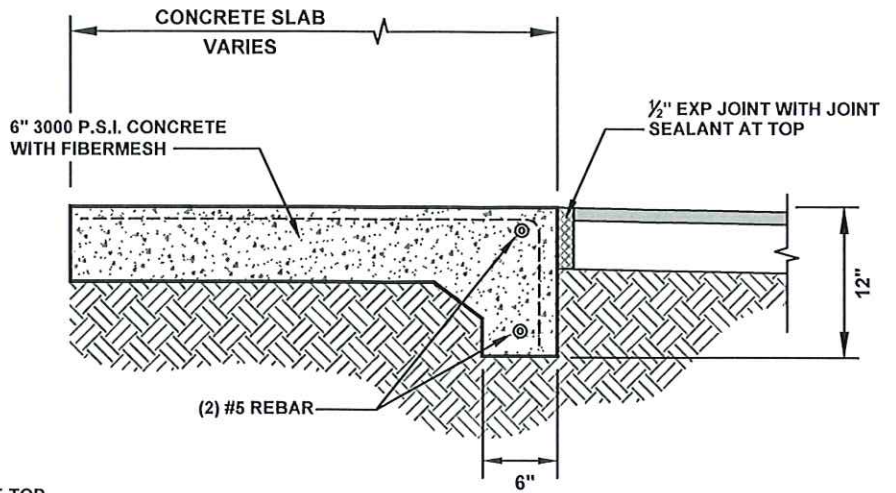
- j. Provide the setback distance eastern property line to project's proposed drive aisle located on the east side of the building.

4. Conceptual Drainage Plan:

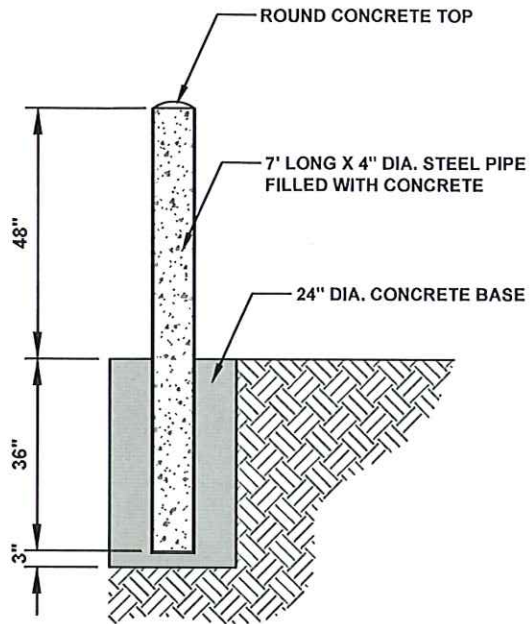
- a. Relocate the dry retention areas to the rear of the property as per the City of Fort Pierce Code of Ordinances Section 119-9.

5. Advisory Comments:

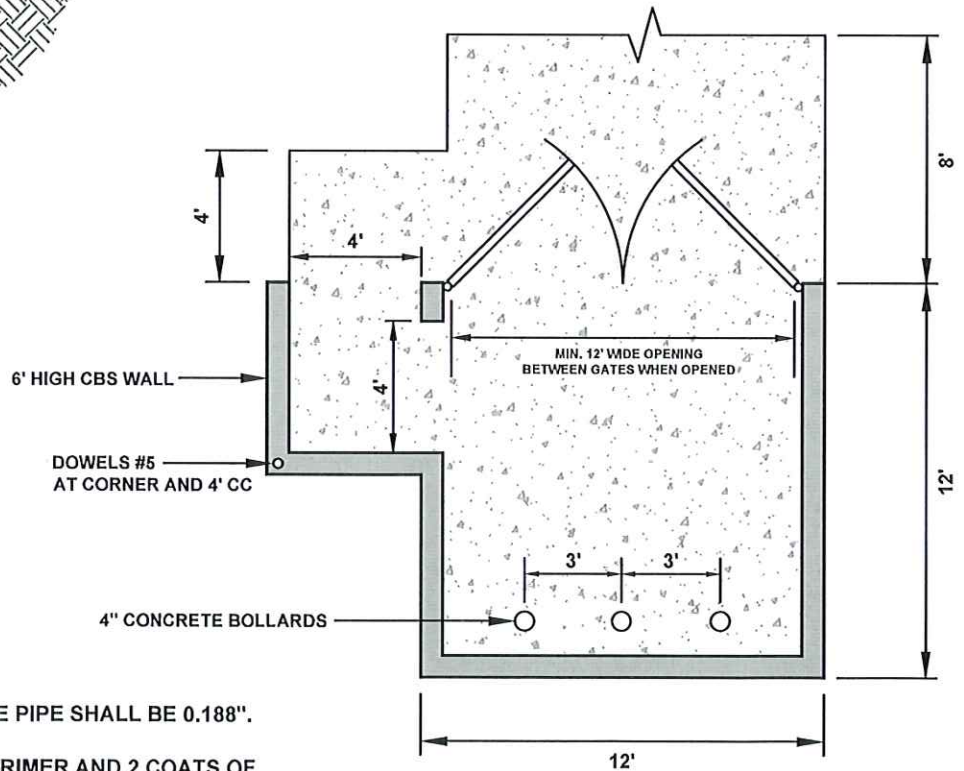
- a. The project is comprised of two (2) parcels and will require unification prior to the issuance of a site work permit.
- b. The plans indicate the stormwater treatment system is to be tie-in to the Okeechobee Road drainage system. Please be aware this system is owned and maintained by SLC and will require permitting through the County.



FOOTER FOUNDATION



BOLLARD



GENERAL CONSTRUCTION NOTES

- THE MINIMUM WALL THICKNESS OF THE PIPE SHALL BE 0.188".
- ALL POSTS SHALL HAVE 2 COATS OF PRIMER AND 2 COATS OF YELLOW TOP COAT, UNLESS OTHERWISE NOTED.
- THE PRIMER COAT SHALL MEET THE REQUIREMENTS OF FDOT 971-5.
- ALL CONCRETE SHALL BE FDOT CLASS 1.

Q:\Engineering CADD Files\Drawings\Reference\City Details\City Details 2018\000 Dumpster Enclosure Detail.dwg

July 16, 2025

PROJECT: New Tank Farm – 3700 Okeechobee Road
REF: PZSITE2025-00029
TO: Kerry Driver
FROM: Grant Chambers

The following comments are offered by SLC PW - Engineering:

1. Please refer to section 7.05.06 of the County's land development code. Sites that generate more than 50 vehicle trips per day shall not be authorized left turn movements to access the driveway unless the nearest edge of the driveway is a minimum of 350 feet from the parallel base building line. Driveways may be restricted to right in right out only.
2. Any driveway on a corner lot shall be a minimum of 50 feet from the parallel base building line.
3. A 5-foot sidewalk is required along S 37th Street.
4. A Site Development permit for access and drainage outfall from the County prior to initiation of site improvements is required. Please submit a site development permit application through the County's online permitting portal.
5. For discussion regarding these comments and response, please contact me at 772-462-2741, chambersg@stlucieco.org.

Cc: Alicia Rosenthal