



CITY OF FORT PIERCE TECHNICAL REVIEW COMMITTEE

AGENDA

Regular Meeting of the Fort Pierce Technical Review Committee to be held Thursday, January 15, 2026 at 10:00 a.m. in the William D. Dannahower, 2nd Floor Conference Room, 100 North U.S. Highway 1.

1. **New Business:**
 - a. **PZVAR2025-00008**
Variance - Billboard
601 N. US Highway 1
 - b. **PZZAM2025-00001**
Zoning Map Amendment
4560 S. 25th Street
 - c. **PZSITE2025-00045**
Minor Site Plan
Mixed Use Medical Office/Retail
1415 S. 25th Street

Technical Review Committee - 10:00 AM

1. a.

Meeting Date: 01/15/2026

REQUESTED ACTION

PZVAR2025-00008

Variance - Billboard
601 N. US Highway 1

SUMMARY

A variance applicant has been submitted by applicant Savannah Prophete to build a 25 feet in height billboard and deviate from the 5,000 feet distance of another billboard sign, according to city code Sec. 117-6. The current billboard is located at 601 North US Highway 1, parcel ID: 2403-705-0067-000-4 is approximately 0.12 acres. The future land use is General Commercial (GC) and has a zoning of General Commercial (C-3).

Please review the attached file and provide comments at least two days before the scheduled TRC meeting date by either emailing them to kdriver@cityoffortpierce.com and planning@cityoffortpierce.com or direct upload onto Tyler. Please be sure to notify me via email if comments are directly uploaded. Should you require additional information, you may contact me at 773-467-3739.

LOCATION

Address: 601 N US Hwy 1

Parcel ID: 2403-705-0067-000-4

Legal Description: ASSESSOR`S MAP OF N PART OF FORT PIERCE BLK 5 BEG SW COR LOT 5, RUN N 0 DEG 04 MIN 30 SEC E ON W LI LOT 5 6.85 FT, TH N 88 DEG E 86.23 FT TO W CURB N 4 ST, TH S 2DEG E 60 FT TO S LI LOT 5, TH N 89 DEG 55 MIN 30 SEC W 88.34 FT TO POB (MAP 24/10C) (OR 3800-2921)

RESPONSIBLE STAFF

Kerry C. Driver - Senior Planner

RECOMMENDATION

N/A

Attachments

TRC Packet

Form Review

Form Started By: Kerry Driver
Final Approval Date: 12/11/2025

Started On: 12/11/2025 10:51 AM

Variance Narrative – Proposed Billboard Location

Parcel ID: 2403-705-0067-000-4

Address: 601 N US Highway 1, Fort Pierce, FL 34950

Applicant: Lesly Prophete (Owner) / Savannah (Authorized Representative)

Request: Variance from the billboard spacing requirement (1,500 ft)

1. Purpose of Request

The applicant is requesting a variance from the City of Fort Pierce's 1,500-ft spacing requirement for off-premise billboards in order to install a single-faced, 25-ft-tall static billboard on the subject parcel located at 601 N US Highway 1. The proposed billboard will meet all structural requirements. The only condition requiring a variance is the spacing distance to the nearest existing billboard.

2. Location of Existing Billboard Creating the Conflict

The nearest existing billboard is the Hoskins billboard located at 936 N 4th Street, approximately 1,250 ft north of the subject parcel. This billboard sits on the east side of US-1, on the opposite visual corridor, and is separated by highway lanes, a raised median, and a railroad corridor.

3. Unique Conditions of the Subject Property

A. Opposite-Side Placement

The proposed billboard is on the west side of US-1, while the Hoskins billboard is on the east side, resulting in no shared sightline.

B. Railroad + Median Separation

A full railroad track and raised median create natural separation that prevents visual clutter and ensures safety.

C. Small, Irregular Parcel

The parcel's size limits commercial development; a billboard is the highest and best economic use.

4. Consistency With Public Interest

The variance will not negatively impact traffic, neighborhood character, or commercial properties. The sign is modest, code-compliant, and consistent with the US-1 commercial corridor.

5. Compliance With Zoning Intent

The request supports economic use of a small parcel, does not increase clutter due to opposite-side placement, and meets all structural requirements. The hardship arises from existing conditions and is not self-created.

6. Conclusion

For these reasons, the applicant respectfully requests approval of the spacing variance to allow installation of a single-face, static billboard at 601 N US Highway 1. The unique site conditions justify the variance without compromising public safety or corridor aesthetics.

I, Lesly Prophete, am the legal owner of the property located at:

601 N U.S. Highway 1 Fort Pierce, FL 34950 Parcel ID: 2403-705-0067-000-4

I hereby authorize my daughter, Savannah Prophete, to act as my representative in all matters related to billboard variance application for this property. She has my full permission to submit documents, communicate with the City of Fort Pierce, and complete all requirements on my behalf.

Owner Name Lesly Prophete

Signature: Lesly Prophete

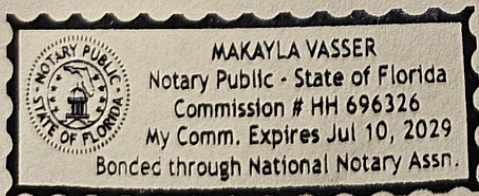
Date: 12-04-25

To Be Completed by Notary Public.

State of Florida

County of Saint Lucie

This Instrument was signed or acknowledged before me on December 4, 2025 by Lesly Prophete.



Makayla Vasser

Signature of Notary Public

BOUNDARY SURVEY

LEGAL DESCRIPTION:

BEGINNING AT THE SOUTHWEST CORNER OF LOT 3, BLOCK 5 OF DRYMAY'S ADDITION TO EDGEMOON, AS PER PLAT THEREOF RECORDED IN PLAT BOOK 1, PAGE 111 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, RUN THENCE NORTH 00°04'30" EAST ALONG THE WEST LINE OF SAID LOT 3, 54.63 FEET; THENCE NORTH 88°00'00" EAST, 88.34 FEET TO A POINT ON THE BACK OF THE CURB OF NORTH 4th STREET; THENCE SOUTH 03°00'00" EAST, ALONG THE LINE OF THE BACK OF THE WEST CURB OF NORTH 4th STREET, 43.00 FEET TO A POINT ON THE SOUTH LINE OF ADJACENT LOT 5, BLOCK 5, DRYMAY'S ADDITION; THENCE NORTH 88°53'30" WEST, ALONG THE SOUTH LINE OF SAID LOT 5, 88.14 FEET TO THE POINT OF BEGINNING.

SURVEYOR'S NOTES:

1. NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND ENJOIN ADJACENT TO THIS SITE. THE APPROXIMATE LOCATION OF ALL UTILITIES SHOWN HEREON WERE TAKEN FROM AS-BUILT DRAWINGS AND/OR ON SITE LOCATION AND SHOULD BE VERIFIED BEFORE CONSTRUCTION.
2. NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND FOOTINGS OF BUILDINGS OR FENCES OR/AND ADJACENT TO THIS SITE.
3. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS AND/OR RIGHTS OF WAY OF RECORD EXCEPT AS SHOWN ON THE RECORDS PLAT THEREOF.
4. BEARINGS SHOWN HEREON REFER TO AN ASSUMED MERIDIAN OF 118°53'30"W ALONG THE CENTERLINE OF AVENUE 'E'.
5. THIS SITE LIES IN FLOOD ZONE "X" AS SCALED AND INTERPOLATED ON FEMA MAP NO. FIRM-87-03-010-DATED: NOVEMBER 4, 1982.
6. SITE AREA, 3083.87 SQUARE FEET OR 0.112 ACRES MORE OR LESS.
7. LEGAL DESCRIPTION FURNISHED BY CLIENT.

CERTIFICATIONS:

1. LEONARD GROUP LTD. REALTY

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAT OF SURVEY WAS PREPARED UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH IN THE FLORIDA STATUTES OF PROFESSIONAL LAND SURVEYORS AND MAPMONGERS IN CHAPTER 81C17-6, FLORIDA STATUTES, AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, NOT HELD WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A LICENSED FLORIDA SURVEYOR AND MAPMONGER.

ROBERT BLOOMSTER, JR.
PROFESSIONAL LAND SURVEYOR
NO. 4134 STATE OF FLORIDA

BLOOMSTER PROFESSIONAL LAND SURVEYORS, INC. L.S. #61015 791 HE GENE HIGHWAY JORDON BEACH, FLORIDA 34997 PHONE 732-334-0865	SHEET 1 OF 1 DATE: 11/12/87 PLAN: 1112 CASE: 7122 WHAT? WHERE? WHY? IS?	
	PREPARED FOR: LEONARD GROUP LTD. REALTY 501 NORTH U.S. HIGHWAY #1 FORT PIERCE, ST. LUCIE COUNTY, FLORIDA	

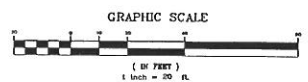
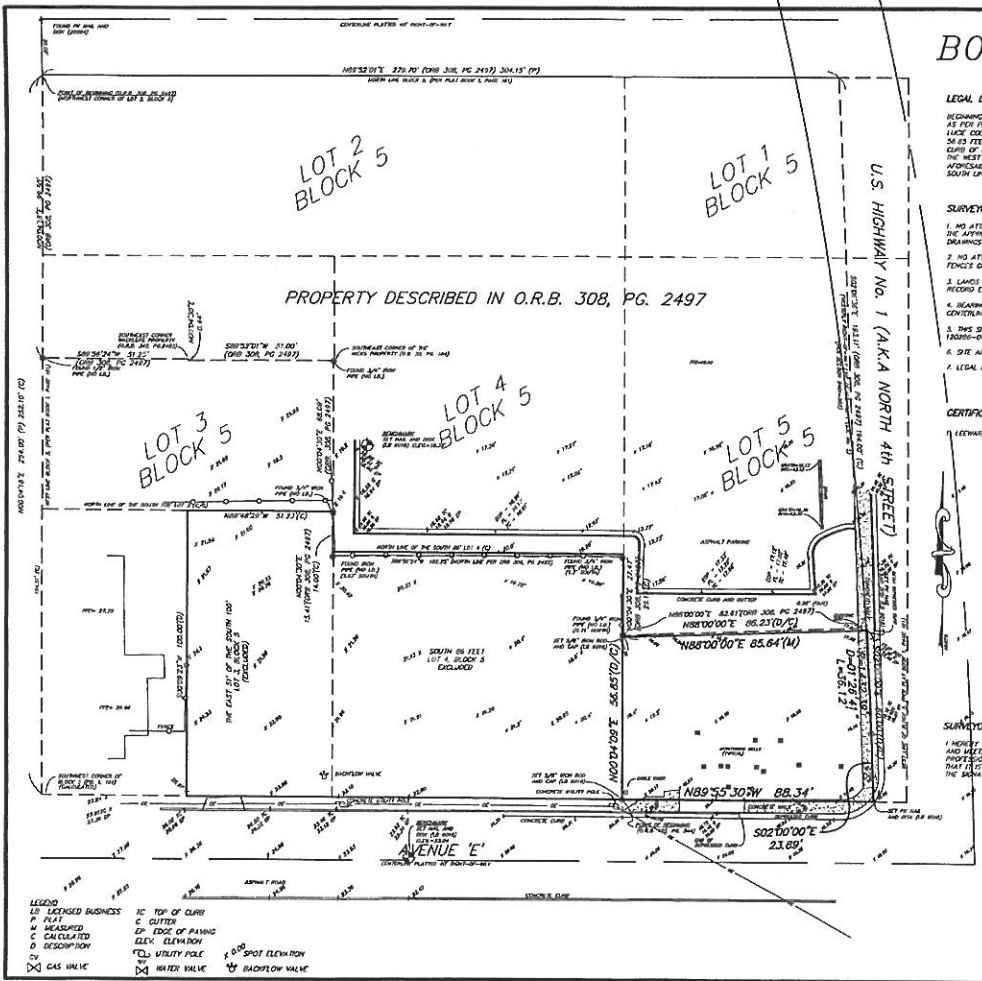


Exhibit A

State: Florida

County: Saint Lucie

City: Fort Pierce

APN: 24-03-705-0067-0004 & 24-03-705-0065-0000

Legal: To be supplied by closing agent

Address: 601 N US Highway 1, Fort Pierce, FL 34950

Abbreviated Legal:

ASSESSOR S MAP OF N PART OF FORT PIERCE BLK 5 BEG SW COR LOT 5, RUN N 0 DEG 04 MIN 30 SEC E ON W LI LOT 5 6.85 FT, TH N 88 DEG E 86.23 FT TO W CURB N 4 ST, TH S 2DEG E 60 FT TO S LI LOT 5, TH N 89 DEG 55 MIN 30 SEC W 88.34 FT TO POB (MAP 24/10C) (OR 3800-

ASSESSOR S MAP OF N PART OF FORT PIERCE BLK 5 E 51 FT OF S 100 FT OF LOT 3 AND S 86 FT LOT 4 (MAP 24/10C) (OR 3800-2921)

Vesting Deed Legal:

The East 51 feet of the South 100 feet of Lot 3 and the South 86 feet of Lot 4, Block 5, ASSESSOR'S MAP OF NORTH PART OF FORT PIERCE, according to the Plat thereof as recorded in Plat Book 1, Page 164, Public Records of St. Lucie County, Florida.

AND

Beginning at the SW corner of Lot 5, Block 5, Dittmar' s Addition to Edgartown, as per plat thereof recorded in Plat Book 1, Page 164, Public Records of St. Lucie County, Florida; thence North 0°04'30" East along the West line of Lot 5, 56.85 feet; thence North 88°0' East 86.23 feet to North 4th; thence South 2° East 60 feet to a point on the South line of Lot 5; thence North 89°55'30" West along the South line of Lot 5, 88.34 feet to Point of Beginning, as recorded in Official Records Book 125, Page 544, Public Records of St. Lucie County, Florida.



"↑ North"

Approx. 1,250 ft north to existing Hoskins billboard (across US-1)"

Railroad (not shown on parcel map — east side)

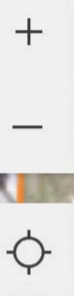
US-1 (N US Highway 1)

601 N US Highway 1
- Subject Parcel

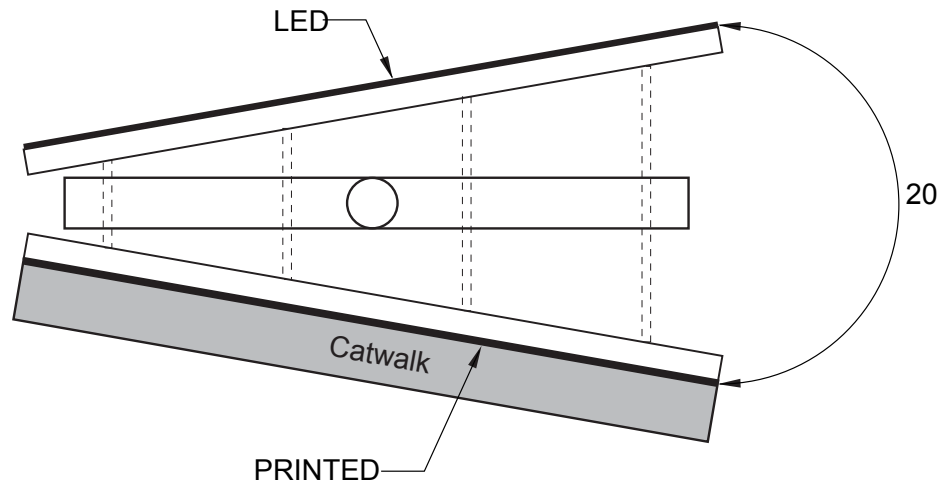
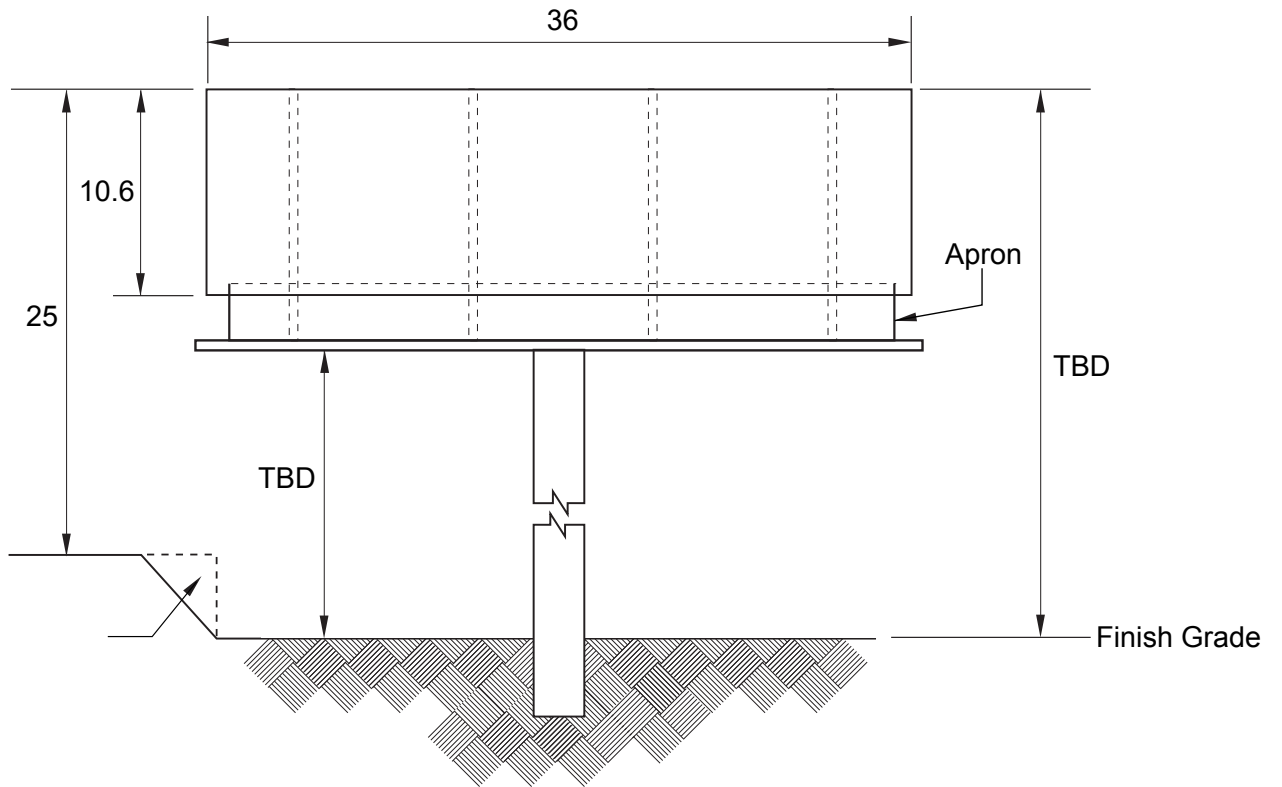
Sign Face: 10.5 ft x 36 ft
(standard static)

Proposed Billboard Location
(1 face, 25 ft height)

SITE PLAN - Proposed Billboard Location
(601 N US Highway 1

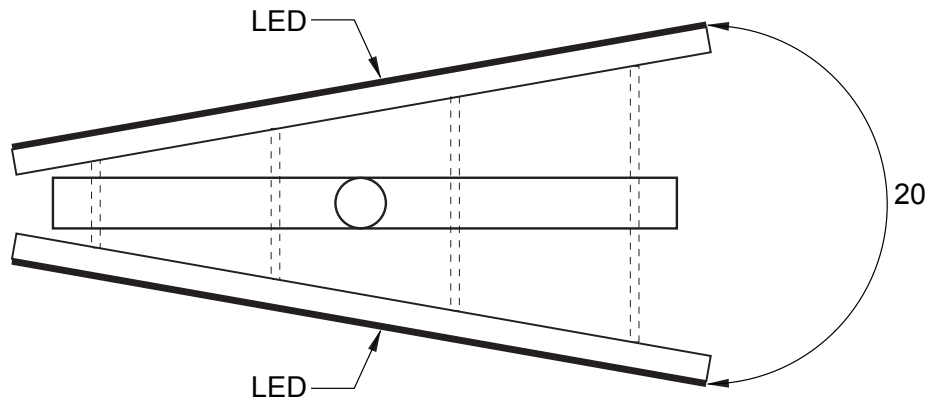
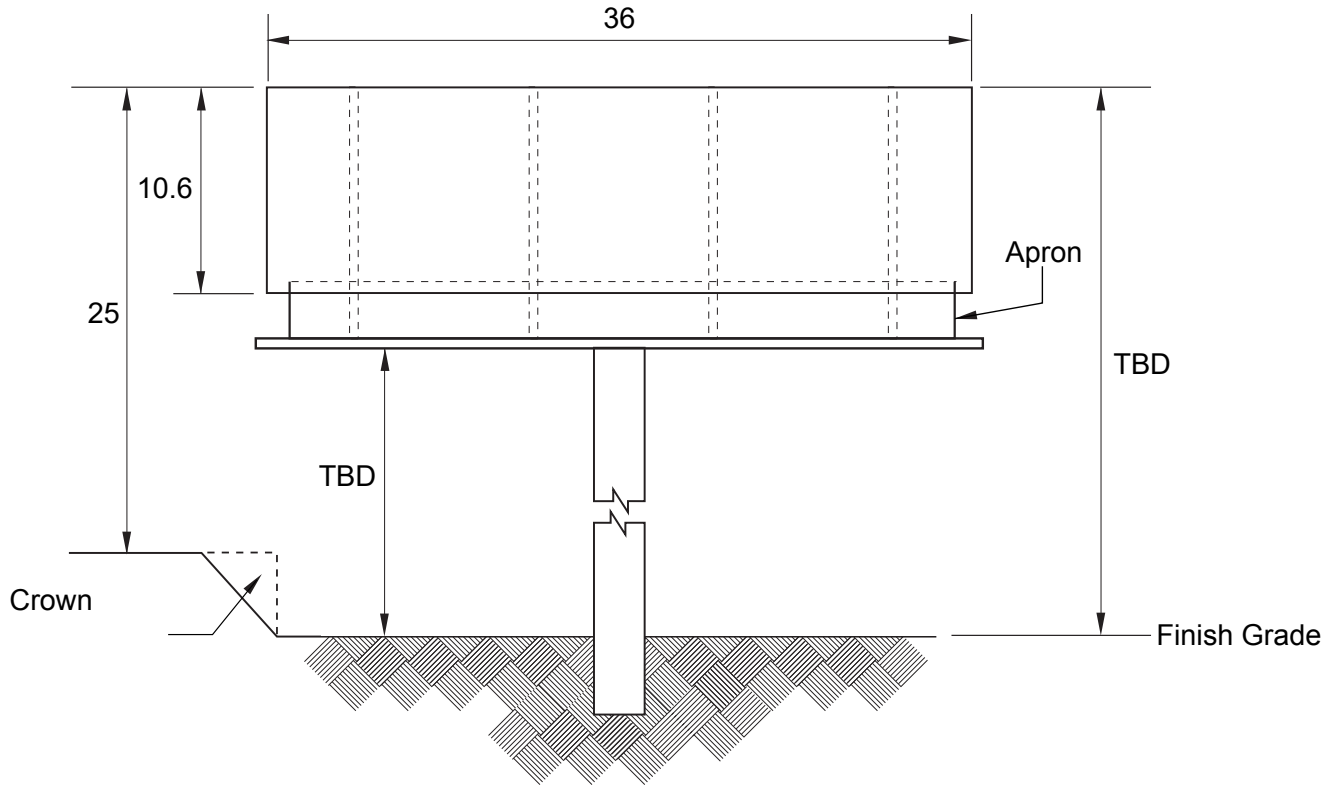


SIGN DETAIL



NOT TO SCALE

SIGN DETAIL



NOT TO SCALE

> *“No structures exist on the parcel. This is a vacant commercial lot.”*

← Select Text

Billboard Variance Narrative

Applicant: Savannah Prophete (on behalf of property owner)

Property Address: 601 N US Highway 1, Fort Pierce, FL 34950

Parcel ID: 240370500670004

Purpose of Request

This request seeks a variance from the 1,500-foot billboard spacing requirement in the City of Fort Pierce Code to allow a new off-premise sign (billboard) on the west side of U.S. Highway 1, approximately 1,200–1,300 feet south of the existing "Hoskins" billboard at 936 N 4th Street.

Justification for Variance

The subject property is uniquely situated on the opposite side of U.S. 1 from the nearest billboard and is separated by both a **railroad corridor and a divided highway**, creating a clear visual and physical break. Because of these barriers, the proposed billboard would not share the same line of sight or compete for driver attention with the existing billboard.

Strict application of the 1,500-foot rule would impose an **unnecessary hardship**, as it would prohibit any billboard installation on the southbound side of this corridor, depriving the property owner of a reasonable commercial use available to others in similar zones. The hardship arises entirely from pre-existing site conditions and not from any actions of the applicant.

Consistency with Public Interest

Granting this variance will **not impair the intent of the zoning ordinance** or negatively affect public safety or aesthetics. The proposed billboard will comply with all design, height, and lighting standards and will enhance the property's economic use while maintaining the City's visual character along U.S. 1.

Minimum Relief Requested

Approval of a spacing reduction from 1,500 feet to approximately 1,200 feet to allow one single-faced billboard oriented toward southbound traffic.



Summary Record Card



Map

Full Card

TRIM



Property Information

Parcel ID: 2403-705-0067-000-4

Site Address: 601 N US HIGHWAY 1

Jurisdiction: 9022 - Fort Pierce

Land Use: 1000 - Vac Comm

Land Acres: 0.12

Finished Area: 0 SF

Ownership

Owner: Lesly Prophete

Mailing Address: 6453 NW Fontana ST
Port St Lucie, FL 34986-3765

Current Value

Just/Market Value: \$39,500.00

Assessed Value: \$18,739.00

Last Sale

Date: 10/19/2015

BK: 3800 PG: 2921

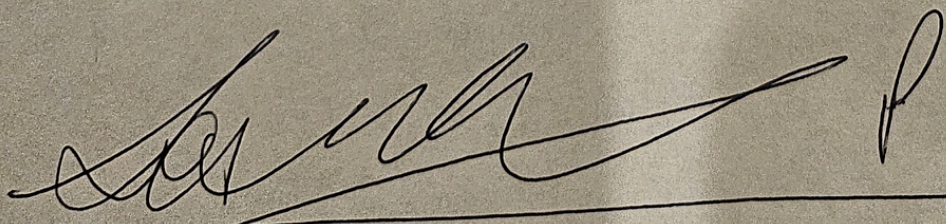
Sale Code: 1000

Price: \$100,000.00

I Lesly Prophete owner of 601 N
US Highway 1 (Fort Pierce, FL 34950,
(Parcel ID 240370500670004)

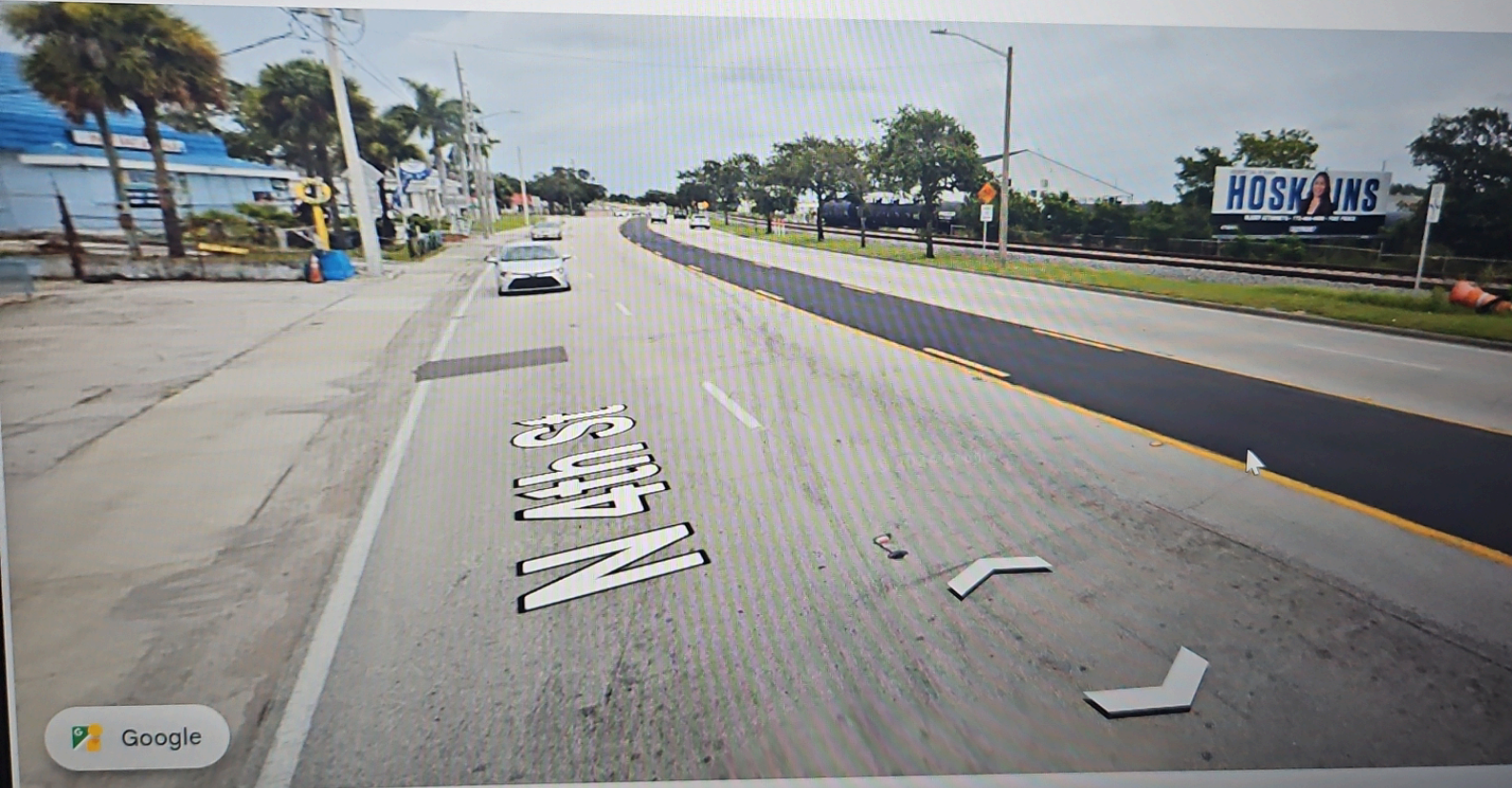
authorize my daughter,
Savannah Prophete, to act on
my behalf and submit this
variance application to
the city of Fort Pierce.

Include Signature Here

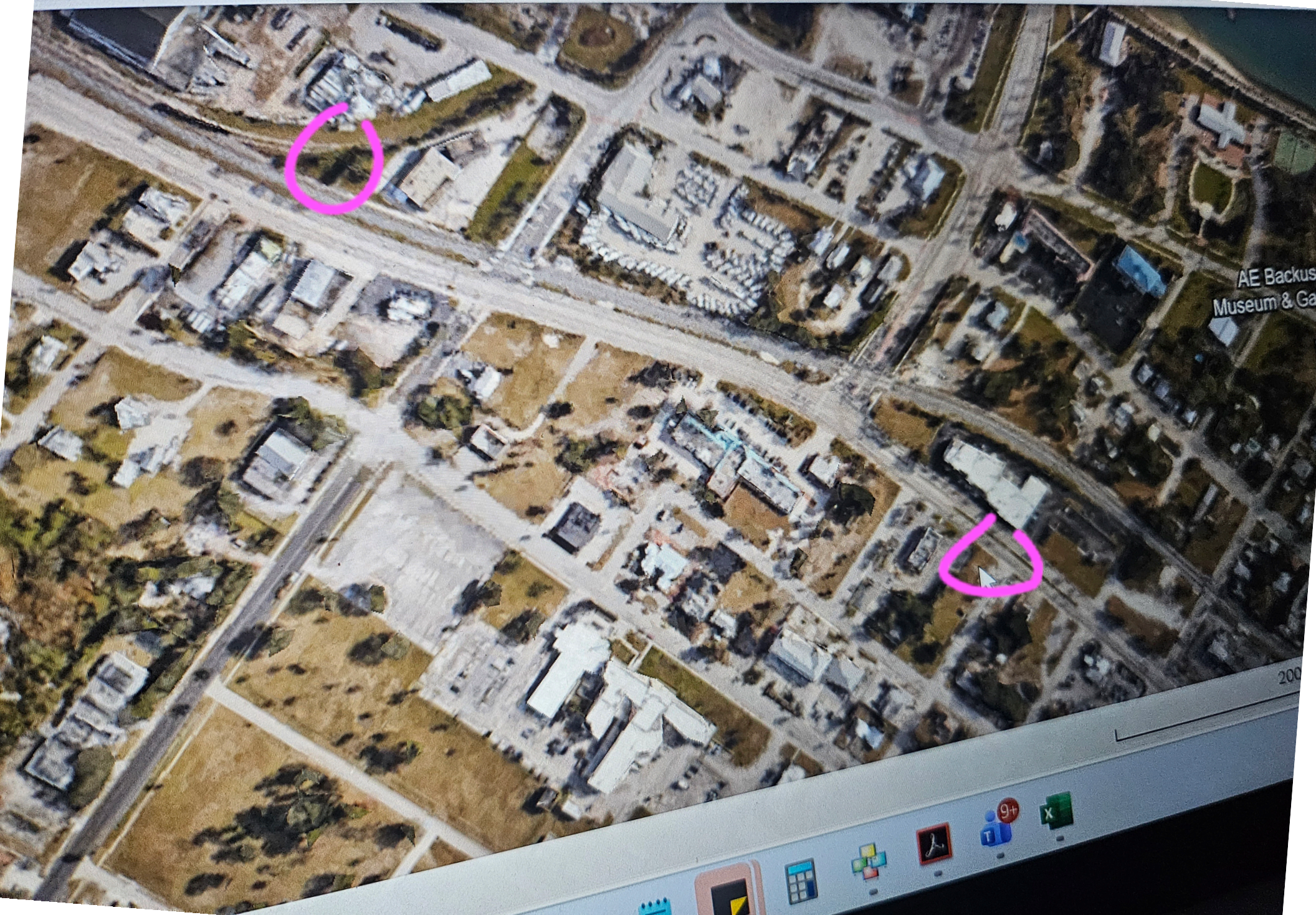
A handwritten signature in black ink, appearing to read 'Lesly Prophete', written over a horizontal line.

LESLY PROPHETE

← 936 N 4th St
Fort Pierce, Florida



Google



AE Backus
Museum & Ga

Technical Review Committee - 10:00 AM

1. b.

Meeting Date: 01/15/2026

REQUESTED ACTION

PZZAM2025-00001

Zoning Map Amendment
4560 S. 25th Street

SUMMARY

A zoning amendment application has been submitted by applicant Dennis Murphy of Culpepper & Terpenining, Inc. to change the zoning classification for the property located at 4560 S 25th Street, parcel ID: 2433-333-0001-000-6 is approximately 20.06 acres. The current zoning is (SLC) Agriculture Residential (AR-1). The proposed city zoning is Single Family Estate Density (E-1).

Please review the attached file and provide comments at least two days before the scheduled TRC meeting date by either emailing them to kdriver@cityoffortpierce.com and planning@cityoffortpierce.com or direct upload onto Tyler. Please be sure to notify me via email if comments are directly uploaded. Should you require additional information, you may contact me at 773-467-3739.

LOCATION

Address: 4560 S. 25th Street

Parcel ID: 2433-333-0001-000-6

Legal Description: 33 35 40 SW 1/4 OF SW 1/4 LESS THE S 78 FT AND ALSO LESS THE W 40 FT AND ALSO LESS THE N 800 FT AND ALSO LESS THAT PART FOR ADDN RD R/W MPDAF: FROM SW COR OF SEC RUN N 89 54 00 E ALG S SEC LI 40 FT, TH N 00 14 50 W 0.03 FT, TH N 00 02 57 E 77.97 FRT TO POB, TH CONT N 00 02 57 W 442.78 FT, TH N 89 42 06 EF 30.33 FT, TH S 00 07 38 E 283.99 FT TO N R/W LI OF CANAL NO. 102, TH S 89 54 00 W 32.28 FT TO POB AS IN OR 1194-2358. TOG WITH THE E 381.10 FT OF N 800 FT OF SW 1/4 OF SW 1/4 WITHIN THE SAME SECTION (20.06 AC / 873,814 SF) (OR 4123-1821 / 4400-1083)

RESPONSIBLE STAFF

Kerry C. Driver - Senior Planner

RECOMMENDATION

N/A

Attachments

TRC Packet

Form Review

Form Started By: Kerry Driver
Final Approval Date: 12/15/2025

Started On: 12/15/2025 01:14 PM

LEGAL DESCRIPTION

The Southwest Quarter of the Southwest Quarter of Section 33, Township 35 South, Range 40 East, St. Lucie County, Florida, less therefrom the North 800 feet and the West 40 feet and the South 78 feet, and also less therefrom that certain parcel of land conveyed to St. Lucie County by and described in Deed recorded in Official Records Book 1866, Page 2109 and Official Records Book 1912, Page 2106, Public Records of St. Lucie County, Florida.

Property Identification

Site Address: 4560 S 25TH ST
 Map ID: [24/33S](#)

Parcel ID: 2433-333-0001-000-6
 Zoning: AR-1 Count

Account #: 131870
 Land Use Code: 0100

Sec/Town/Range: 33/35S/40E
 Jurisdiction: Fort Pierce

Ownership

ITALIAN CASTLE OF THE TREASURE COAST LLC
 3389 Sheridan ST # 471
 Hollywood, FL 33021-3606

Legal Description

33 35 40 SW 1/4 OF SW 1/4 LESS THE S 78 FT AND ALSO LESS THE W 40 FT AND ALSO LESS THE N 800 FT AND ALSO LESS THAT PART FOR ADDN RD R/W MPDAF: FROM SW COR OF SEC RUN N 89 54 00 E ALG S SEC LI 40 FT, TH N 00 14 50 W 0.03 FT, TH N 00 02 57 E 77.97 FRT TO POB, TH CONT N 00 02 57 W 442.78 FT, TH N 89 42 06 EF 30.33 FT, TH S 00 07 38 E 283.99 FT TO N R/W LI OF CANAL NO. 102, TH S 89 54 00 W 32.28 FT TO POB AS IN OR 1194-2358. TOG WITH THE E 381.10 FT OF N 800 FT OF SW 1/4 OF SW 1/4 WITHIN THE SAME SECTION (20.06 AC / 873,814 SF) (OR 4123-1821 / 4400-1083)

Current Values

Just/Market: \$2,246,200
 Exemptions: \$0

Assessed: \$2,246,200
 Taxable: \$2,246,200

Year: 2024
 2023
 2022

Historical Values 3-year

Just/Market	Assessed	Exemptions	Taxable
\$2,268,000	\$2,077,158	\$0	\$2,077,158
\$2,331,000	\$1,888,326	\$0	\$1,888,326
\$2,031,800	\$1,716,660	\$0	\$1,716,660

Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
03-20-2020	4400/1083	0003	WD	First Baptist Church of Fort Pierce Inc	\$175,000
04-19-2018	4123/1821	0001	WD	Owens John	\$1,420,000
07-12-2002	1554/1736	XX04	WD	Hargrave Maxine R	\$27,000

Primary Building Information

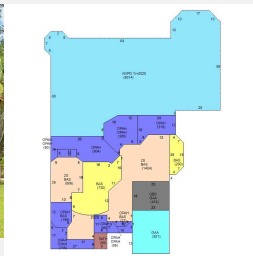
Finished Area of this building: 5,387 SF
 Gross Sketched Area: 15,172 SF

Exterior Data

View:	Roof Cover: Metal	Roof Structure: Hip	Building Type: SFE
Year Built: 2007	Quality: SFE-Avg	Effective Year: 2007	Primary Wall: Field Stone
Story Height: 2 Story	Number of Units: 1	Secondary Wall:	

Interior Data

Bedrooms: 5	A/C %: 100	Electric: AVERAGE	Primary Int Wall: Drywall
Full Baths: 3	Heated %: 100	Heat Type: FrcdHotAir	Half Baths: 1
Heat Fuel: Electric	Primary Floors: Tile-Ceramic		



Total Areas

Finished/Under Air (SF):	5,387
Gross Sketched Area (SF):	16,162
Land Size (acres):	20.06
Land Size (SF):	873,814
Total Building Count:	2

Special Features and Yard Items

Type	Qty	Units	Year Blt
POOL DK-GOOD	1	5126	800
Driv-Concret	1	2000	2007
POOL HEATER	1	1	2020
RES POOL AVG	1	800	2020
4FT CB Wall	1	240	2020
SPA-HOT TUB	1	88	2020

All information is believed to be correct at this time, but is subject to change and is provided without any warranty.

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Prepared by:
Ryan Grazi, Esq.
Grazi & Gianino, LLP,
217 E. Ocean Blvd.
Stuart, Florida 34994

File Number: GG-16-20

Corporate Warranty Deed

This Indenture, made March 20, 2020 A.D. **Between**
First Baptist Church of Fort Pierce, Inc. whose post office address is: 4500 S.
25th Street, Fort Pierce, Florida 34981 a corporation existing under the laws of the
State of Florida, Grantor and **Italian Castle of the Treasure Coast, LLC** whose
post office address is: 4560 S. 25th Street, Fort Pierce, Florida 34981, Grantee,

Witnesseth, that the said Grantor, for and in consideration of the sum of Ten and No/100 Dollars (\$10.00), to it in hand paid by the said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said Grantee forever, the following described land, situate, lying and being in the County of Saint Lucie, State of Florida, to wit:

THE EAST 381.1 FEET OF THE NORTH 800 FEET OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 LOCATED IN SECTION 33 TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA.

A copy of the corporate Resolution is attached as Exhibit A.

Subject to taxes for the current year, covenants, restrictions and easements of record, if any.

Parcel Identification Number: 2433-331-0001-000/0

And the said Grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

In Witness Whereof, the said Grantor has caused this instrument to be executed in its name by its duly authorized officer and caused its corporate seal to be affixed the day and year first above written.

First Baptist Church of Fort Pierce, Inc.

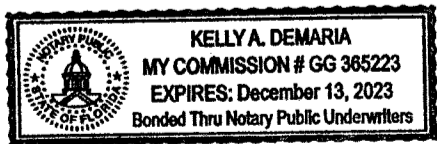
By: David Morse
David Morse
Its: President

Signed and Sealed in Our Presence:

John W. Crawford
Witness Print Name: John W. Crawford
Kelly A. DeMaria
Witness Print Name: Kelly A. DeMaria

State of Florida
County of Martin

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this ____ day of March, 2020, by David Morse, the President of First Baptist Church of Fort Pierce, Inc. A corporation existing under the laws of the State of Florida, on behalf of the corporation. ____ He is personally known to me or has produced _____ as identification.



Kelly A. DeMaria (Seal)
Notary Public
Notary Printed Name: Kelly A. DeMaria
My Commission Expires::

Prepared By & Return To:
Ryan Grazi, Esq.
Grazi & Gianino, LLP
217 E. Ocean Boulevard
Stuart, FL 34994

CORPORATE RESOLUTION
of
FIRST BAPTIST CHURCH OF FORT PIERCE, INC.

Sale of Property: 4500 S. 25th Street, Fort Pierce, FL 34981

WHEREAS First Baptist Church of Fort Pierce, Inc. (the "Transferor") is currently the registered and beneficial owner of the property described as follows:

THE EAST 381.1 FEET OF THE NORTH 800 FEET OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 LOCATED IN SECTION 33 TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA.

NOW THEREFORE BE IT RESOLVED THAT the officers of the corporation having complied with all corporate formalities or having waived them accordingly, all hereby approve and consent to the transfer by the Transferor of the property located at 4500 S. 25th Street, Fort Pierce, Florida 34981 to Italian Castle of the Treasure Coast, LLC, of the full and complete corporate interest in the Property.

NOW THEREFORE BE IT FURTHER RESOLVED THAT said sale does not constitute all of the assets of the company and is being made to further the company's corporate interests.

NOW THEREFORE BE IT FURTHER RESOLVED THAT this transfer was approved by all the members of the company, and David Morse as President is appointed as the signatory for this transaction.

Dated this 15 day of March, 2020.

FIRST BAPTIST CHURCH OF FORT PIERCE, INC.

By Charlotte W. DeVane
Charlotte DeVane
Secretary

By David Morse
David Morse
President

By Richard A. Ferry
Richard A. Ferry
Vice President/Treasurer



CONCURRENCY CAPACITY ANALYSIS

I. Site Data:

	Existing Use	Future Land Use	Zoning
North			
South			
East			
West			

	Future Land Use	Zoning Classification	Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage	Total Acreage	Flood Zone
Current					
**Proposed					N/A

II. Public Facilities Information:

A. Potable Water:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.125 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day
**Proposed Zoning/FLU	Total gallons per day
**Change in Demand	Total gallons per day

B. Wastewater:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.1 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day
**Proposed Zoning/FLU	Total gallons per day
**Change in Demand	Total gallons per day

C. Parks and Recreation (Residential Classifications Only): (Du x 2.6 = persons + 44,227 = population /LOS)				
Park Type	LOS	Existing Population Park Demand	Proposed Population Park Demand	Change in Demand
Regional	20 acres per 1,000 people			
Urban District	5 acres per 1,000 people			
Community	2.5 acres per 1,000 people			
Neighborhood	1.36 acres per 1,000 people			

D. Public Schools (Residential Classifications Only): Single Family: (du x 0.405 = students/70% K-8/30% High) Multi-family: (du x 0.207 = students/70% K-8/30% High)		
	K-8	High
School Name		
City		
Distance		
Current Zoning/FLU	Enrollment	
**Proposed Zoning/FLU	Enrollment	
**Change in Demand		

E. Solid Waste: Residential (2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units)	
Demand Analysis	Maximum
Current Zoning/FLU	
**Proposed Zoning/FLU	
*Change in Demand	

F. Stormwater:
Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year – 1 day storm event)

NON-RESIDENTIAL DATA					
Type(s) specify	Phase	Square footage	Acres	Expecting beginning date	Expected completion date

- A. Indicate whether the proposed project will be eliminating any existing recreational facilities. If yes, detail the number and type being eliminated. Yes No
- B. 1. Does this application involve demolition or re-use of any structure(s)? Yes No
If yes, what is the size of the structure(s) to be demolished or re-used? _____
2. What is the current use of the structure to be demolished or re-used? _____
3. Are you claiming trip credits for the demolition or re-use of a structure(s) at the site? Yes No
If yes, provide estimates of credits for each previous use at the site. (Attach sheet with calculations)

C. Exemptions Requested:

** Complete section if requesting a change in zoning, future land use, or expanding

Historic statement

Not required – no historic structures or features

Why is there a need for this change in zoning:-

This change in zoning is for the purpose of placing the annexed property into a conforming city zoning classification.

Traffic statement

Not required – no changes are proposed to property

Drainage statement

Not required – no changes are proposed to property

Environmental statement

Not required – no changes are proposed to property

Technical Review Committee - 10:00 AM

1. c.

Meeting Date: 01/15/2026

REQUESTED ACTION

PZSITE2025-00045

Minor Site Plan

Mixed Use Medical Office/Retail

1415 S. 25th Street

SUMMARY

Review and approval of a Minor Site Plan by owner, H&N 402 SW Friar Street LLC, represented by Stephen Cooper PE and Associates, Inc. to construct a two-story, 9,876 sq. ft. building with first floor retail use and second floor medical office use located at 1415 S 25th Street. The site is located on two parcels (2417-144-0013-000-3 and 2417-144-0001-010-9). The Future Land Use is OP, Office-Professional and Business Services, and the property is zoned C-1, Office Commercial.

LOCATION

1415 S 25th Street

Parcels 2417-144-0013-000-3 and 2417-144-0001-010-9

RESPONSIBLE STAFF

Chris Suneson - Assistant Director

RECOMMENDATION

N/A

Attachments

Aerial

Project Description

Project Narrative

Warranty Deed

Appraiser Information

Traffic Impact

Environmental Analysis

Capacity Analysis

Survey

Site Plan

Architectural

Landscape Plan

Lighting Plan

Form Review

Form Started By: Christopher Suneson
Final Approval Date: 12/30/2025

Started On: 12/30/2025 10:55 AM





**STEPHEN COOPER, P.E.
& ASSOCIATES, INC.**

~CONSULTING ENGINEER~

• CIVIL ENGINEERING • SITE PLANNING • ENVIRONMENTAL PERMITTING

7450 S. Federal Highway • Port St. Lucie, FL 34952

Phone: 772-336-2933 • Fax: 844-273-5465

FLORIDA CERTIFICATE OF AUTHORIZATION No. 00008856

scooper@scpeinc.com

**City of Ft. Piece
Proposed Office/Retail Center
1415 S. 25th Street**

PROJECT DESCRIPTION

The proposed commercial development consists of a 2 Story Building. The first floor is proposed to include 4,938 sf of Retail Use and the second floor is proposed to include 4,938 sf of Office Use for a total of 9,876 sf.

The project intends to meet all City Zoning criteria with no variances requested. The proposed commercial development will provide parking and loading per City criteria, including landscaping and Tree preservation as best as possible.

Water and Wastewater service to the site will be from Ft Pierce Utility Authority (FPUA) via existing water mains and gravity sewer apparently available along the perimeter of the site.

Stormwater retention is proposed per SFWMD and City of Ft Pierce criteria via incorporation of a dry retention system. Presently, based on preliminary design the SWM System will be 100% onsite retention via open and possibly underground exfiltration.

The project will access 25th Street (FDOT) and 26th Street, as shown on the site plan. A FDOT access management pre-app was conducted and the access on 25th St has been adjusted to comply with their requirements.

The project is proposed to meet ADA access requirements. The project includes a double dumpster configuration to handle solid waste. The project will include a Monument sign per City criteria off 25th St as depicted on the site plan. Finally, landscaping will be provided per City criteria as demonstrated on the site plan submitted for review.



**STEPHEN COOPER, P.E.
& ASSOCIATES, INC.**

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**City of Ft. Piece
Proposed Office/Retail Center
1415 S. 25th Street**

PROJECT NARRATIVE

The proposed commercial development consists of a 2 Story Building. The first floor is proposed to include 4,938 sf of Retail Use and the second floor is proposed to include 4,938 sf of Office Use for a total of 9,876 sf.

The project is located within a C-1 Zoning District and intends to meet all City Zoning criteria with no variances requested. The underlying land use OP appears to be compatible with the proposed office/retail use.

The project is being designed to be compatible with the adjacent uses, including buffering to the adjacent residential use (25th St). The proposed commercial development will provide parking and loading per City criteria, including landscaping and Tree preservation.

Prepared by: NEAL B. LECHTNER, ESQ.
1985 South Ocean Drive, Lower Lobby
Hallandale, Florida 33009
Return to: Treasure Coast Title
The Historic Poppell House
426 Avenue A
Fort Pierce, FL 34950
Folio # 2417-144-0013-000-3 and 2417-144-0001-010-9

WARRANTY DEED

THIS WARRANTY DEED, made this 25th day of February, 2022, between SCOTT S. KATZMAN, M.D., P.A., a Florida corporation, with a mailing address of 3355 Burns Road, Suite 304, Palm Beach Gardens, FL 33410, Grantor, and H & N 402 SW Friar Street, LLC, a Florida Limited Liability Company, of 7892 Saddlebrook Dr.,
Grantee, Port. St. Lucie 34986

WITNESSETH, That Grantor, for and in consideration of the sum of \$10.00 dollars, in hand paid by the Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the Grantee, its heirs and assigns forever, the following described land, to wit:

See Exhibit "A" attached hereto

Subject to the following:

1. Taxes for the year 2022 and subsequent years which are not yet due and payable.
2. Zoning, restrictions, prohibitions and other requirements imposed by governmental authority, restrictions and matters appearing on the plat or otherwise common to the subdivision and public utility assessments of record, without the intention of reimposing the same.

Together, with all tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2021.

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

WITNESSES:

SCOTT S. KATZMAN, M.D., P.A.

By: [Signature]
Scott S. Katzman, President

#1 Katherine Courshon (Sign)

Katherine Courshon (Print)

#2 Neal Lechtner (Sign)

Neal Lechtner (Print)

STATE OF FLORIDA
COUNTY OF PALM BEACH

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 20th day of February, 2022 by SCOTT S. KATZMAN as President of SCOTT S. KATZMAN, M.D., P.A., a Florida corporation, who is personally known to me or has produced a _____ as identification.

MY COMMISSION EXPIRES: [Signature]
NOTARY PUBLIC

[Official Seal] Neal B. Lechtner

Printed, typed or stamped name of Notary Public

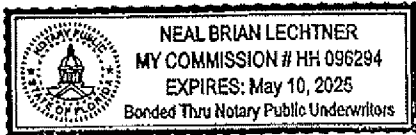


EXHIBIT "A" - LEGAL DESCRIPTION

Parcel 1 - Folio #2417-144-0013-000-3

The North 120 feet of the South 368 feet of the East ½ of the SE 1/4 of the SE 1/4 of the NE 1/4 of Section 17, Township 35 South, Range 40 East, less the East 35 feet and less the West 25 feet, said lands situated in St. Lucie County, Florida.

Parcel 2 - Folio #2417-144-0001-010-9

The North 80 feet of the South 448 feet of the East ½ of the SE 1/4 of the SE 1/4 of the NE 1/4 of Section 17, Township 35 South, Range 40 East, less the East 35 feet and less the West 25 feet, said lands situated in St. Lucie County, Florida.

**Resolutions of Unanimous Consent
and Incumbent Certification of the Sole Shareholder of
SCOTT S. KATZMAN, M.D., P.A.**

The undersigned, being the sole Shareholder of **SCOTT S. KATZMAN, M.D., P.A., a Florida Corporation** (hereafter "Corporation"), acting by unanimous written consent and pursuant to the Articles of Incorporation, does hereby consent to and adopt the following resolutions:

BE IT RESOLVED: that the Corporation acknowledges and approves of the sale of St. Lucie County Parcel numbers 2417-144-0013-000-3 and 2417-144-0001-010-9 to **HH & N 402 SW Friar Street, LLC, a Florida Limited Liability Company**, for \$235,000.00 which real property is more fully described as follows:

See legal description attached hereto as Exhibit "A"

BE IT RESOLVED: that the Company shall, and does hereby appoint **SCOTT S. KATZMAN** as the designated officer to execute and deliver on behalf of the Company a Deed, Bill of Sale, Seller's Affidavit and any and all other documents, instruments, certificates, consents, and affidavits required or appropriate to effectuate the transaction contemplated by said sale; and is otherwise empowered to take such actions as may be necessary to carry out the intents and purposes of the foregoing resolution.

BE IT RESOLVED: that the following is a sample of the designated officer's signature as witnessed by the sole Member:



SCOTT S. KATZMAN

This Resolution and Incumbency Certificate is made and entered into this 2nd day of March, 2022.



Scott S. Katzman, President

12. Subsequent to December 2, 2021 Affiant has not and Affiant hereby agrees that she will not execute any instrument, or do any act whatsoever, that in any way would or may affect the title to the Property, including but not limited to mortgaging or conveying the Property or any interest in it or causing any liens to be recorded against the Property or against Affiant.

13. This affidavit is made to induce **H & N 402 SW Friar Street, LLC**, a Florida **Limited Liability Company**, to purchase all of the property and to induce **Treasure Coast Title & Escrow, LLC** as agent of **Chicago Title Insurance Company** to issue policies to insure the title to the property.

14. This affidavit is made and given by Affiant with full knowledge of applicable Florida laws regarding sworn affidavits and the penalties and liabilities resulting from false statements and misrepresentations therein.



Scott S. Katzman, President

The foregoing instrument was sworn to, subscribed and acknowledged before me this 20th day of February, 2022 by Scott S. Katzman who is personally known to me, and, to me known to be the person described in and who executed the foregoing instrument and acknowledged before me that he executed the same.

Witness my hand and official seal in the County and State last aforesaid this 20th day of February, 2022.



NOTARY PUBLIC

MY COMMISSION EXPIRES:



EXHIBIT "A"

Parcel 1

The North 120 feet of the South 368 feet of the East 1/2 of the SE 1/4 of the SE 1/4 of the NE 1/4 of Section 17, Township 35 South, Range 40 East, less the East 35 feet and less the West 25 feet, said lands situated in St. Lucie County, Florida.

Parcel 2

The North 80 feet of the South 448 feet of the E 1/2 of the SE 1/4 of the SE 1/4 of the NE 1/4 of Section 17, Township 35 South, Range 40 East, less the East 35 feet and less the West 25 feet, said lands situated in St. Lucie County, Florida.

Property Identification

Site Address: 1415 S 25TH ST
 Sec/Town/Range: 17/35S/40E
 Parcel ID: **2417-144-0013-000-3**
 Jurisdiction: Fort Pierce
 Land Use Code: 1000 - Vac Comm
 Account #: **138742**
 Map ID: [24/17N](#)
 Zoning: Office Co



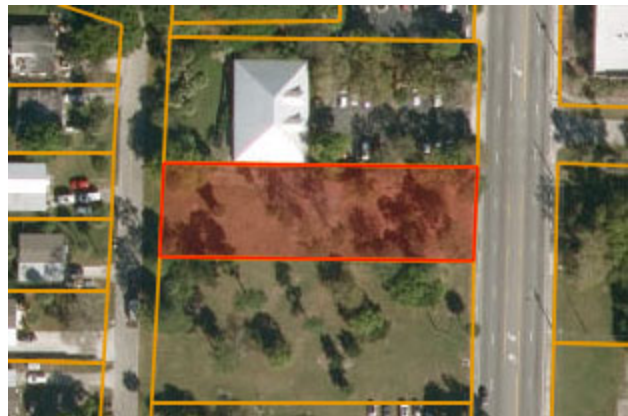
Legal Description

17 35 40 N 80 FT OF S 448 FT OF E 1/2 OF SE 1/4 OF NE 1/4-LESS E 35 FT AND LESS W 25 FT-(0.50 AC)

Total Areas

Finished/Under Air (SF): 0
 Gross Sketched Area (SF): 0
 Land Size (acres): 0.5
 Land Size (SF): 21,600

Map



Building Wind Speed

Occupancy Category	I	II	III & IV
Speed	140	150	160

[Sources/links:](#)

State of Florida, Microsoft, Vantor

Powered by Esri

Ownership

H And N 402 SW Friar Street LLC
 7892 Saddlebrook Dr
 Port St Lucie, FL 34986-0000

Current Values

Just/Market value: \$81,000
 Assessed value: \$81,000
 Exemption value: **\$0**
 Taxable value: \$81,000

Important

Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Links

Taxes for this parcel: [SLC Tax Collector's Office](#)

Download TRIM for this Parcel: [Download PDF](#)

[File for homestead exemptions.](#)

[View associated Tax Map.](#)

[Report Homestead Fraud on this parcel.](#)

Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
Feb 25, 2022	4791/2735	0205	WD	Katzman Scott S	\$235,000
Feb 26, 2007	2775/2204	XX00	WD	Furst Jeffrey S	\$197,900
Jan 1, 1900	/				\$0

Special Features and Yard Items

Type	Qty	Units	Year Blt
------	-----	-------	----------

Building Information

(1 of 1)

Finished Area: 0 SF

Gross Area: 0 SF



Image
or
Sketch
unavailable
for display

Exterior

Interior

Building Type:		Bedrooms:	0
Quality:		Full Baths:	0
Number of Units:	0	Half Baths:	0
Year Built:		A/C %:	0%
Effective Year:		Electric:	
Story Height:		Heat Type:	
Roof Structure:		Heat Fuel:	
Roof Cover:		Heated %:	%
Primary Wall:		Primary Int Wall:	
Secondary Wall:		Primary Floors:	
View:			

Values Breakdown

2025 ▼

Building	\$0
SFYI	\$0
Land	\$81,000
Just/Market	\$81,000
Ag Credit	\$0
Save Our Homes or 10% Cap	\$0
Assessed	\$81,000
Exemptions	\$0
Taxable	\$81,000

Current Year Exemption Value Breakdown

Tax Year	Grant Year	Description	Amount
----------	------------	-------------	--------

Important

Property taxes are subject to change upon change of ownership.

- **Past taxes are not a reliable projection of future taxes.**
- **The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.**

Current Year Special Assessment Breakdown

Start Year	Units	Description	Amount
1999	1.4	Fort Pierce Stormwater Charge	\$96.60

This does not necessarily represent the total Special Assessments that could be charged against this property.

The total amount charged for special assessments is reflected on the most current tax statement and information is available with the [SLC Tax Collector's Office](#)

Permits

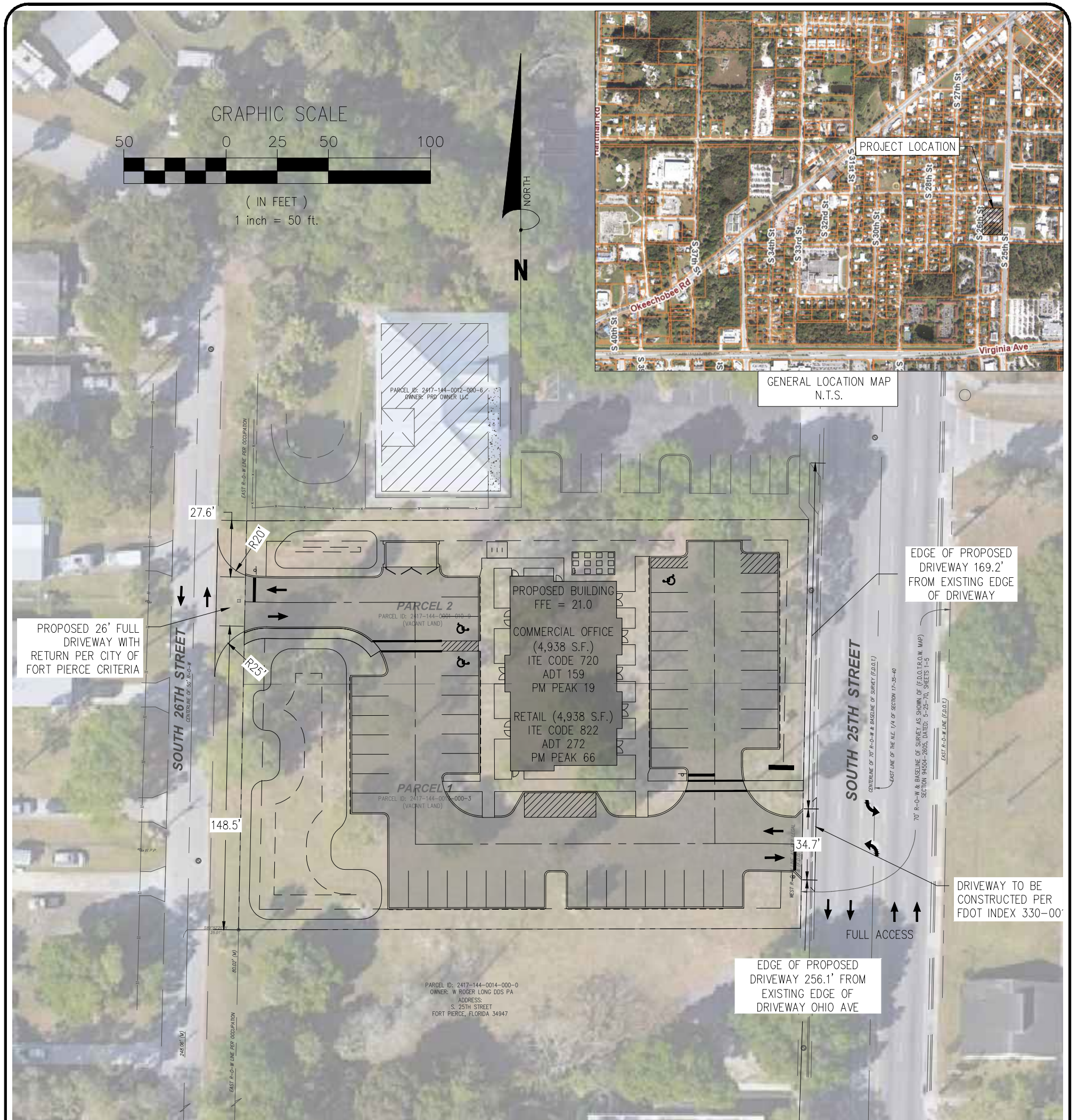
Number	Issue Date	Description	Amount	Fees
--------	------------	-------------	--------	------

Notice: This does not necessarily represent all the permits for this property.

Click the following link to check for additional permit data in [Fort Pierce](#)

All information is believed to be correct at this time, but is subject to change and is provided without any warranty.

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TRAFFIC STATEMENT

PER THE INSTITUTE OF TRAFFIC ENGINEERS (ITE), 11TH/ EDITION, BASED ON ITE CODES 822 (STRIP RETAIL - 4,938 SF PLUS CODE 720 (MEDICAL OFFICE - 4,938 SF), THE PROPOSED TWO-STORY FACILITY HAS THE FOLLOWING ANTICIPATED AVERAGE RATE DAILY, AM AND PM PEAK TRIPS;

ITE CODE	ADT (TRIPS)	AM PEAK (TRIPS)	PM PEAK (TRIPS)
822	272 (136 IN/136 OUT)	38 (19 IN/19 OUT)	66 (36 IN/30 OUT)
720	159 (80 IN/79 OUT)	17 (10 IN/7 OUT)	19 (7 IN/12 OUT)

TOTAL SITE IMPACT ADT = 431 TRIPS (216 INBOUND/215 OUTBOUND)*

AM PEAK HOUR = 55 TRIPS (29 INBOUND/26 OUTBOUND)

PM PEAK = 85 TRIPS (43 INBOUND/42 OUTBOUND)

*NOTE THE TOTAL ADT IS DISTRIBUTED BETWEEN 2 DRIVE CONNECTIONS

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADOPTION BY STEPHEN COOPER P.E. & ASSOCIATES, P.A. CONSULTING ENGINEERS SHALL BE WITHOUT LIABILITY TO STEPHEN COOPER P.E. & ASSOCIATES, P.A. CONSULTING ENGINEERS

DATE:	SEP 2025
DRAWN BY:	EC
DESIGNED BY:	SC
CHECKED BY:	SC
HORIZ. SCALE:	1"=50'
VERT. SCALE:	N/A
DRAWING NO.	E1
JOB NO.	2024-132

1415 SOUTH 25TH ST.

DRIVEWAY EXHIBIT

CITY OF FORT PIERCE FLORIDA

SCOPE

STEPHEN COOPER, P.E. & ASSOCIATES, INC.
- CONSULTING ENGINEER -

CIVIL ENGINEERING * SITE PLANNING * ENVIRONMENTAL PERMITTING

7450 SOUTH FEDERAL HIGHWAY
PORT ST. LUCIE, FLORIDA 34952
Tel 1-772-336-2933

FLORIDA CERTIFICATE OF AUTHORIZATION No. 00008856



10		
9		
8		
7		
6		
5		
4		
3		
2		
1		
No.	REVISION	DATE



Advanced Restoration Ecology

2417-144-0001-010-9
2417-144-0013-000-3

Saint Lucie County, FL

Environmental Assessment

Prepared For:
Dr. Humayun Shareef

Prepared By:
Drew Gatewood, MS, PWS
2593 NE Roberta St
Jensen Beach, FL 34957
772-242-7200
813-784-8891

©ARE, Inc. December 2024

The environmental assessment report below has been compiled in accordance with the Saint Lucie County Development Review Division and provisions set forth by the state of Florida. The parcels are listed by the Saint Lucie County Property Appraiser as Parcel ID numbers 2417-144-0013-000-3 and 2417-144-0001-010-9 and are a total of 1.24 acres. The property is located on 1415 S 25th St, in Fort Pierce, Florida. The following report describes the findings of our recent on-site review and database research as it pertains to Saint Lucie County and the State of Florida.

LAND USE RECORDS

The Saint Lucie County Property Appraiser's Report lists these properties as 1000 Vacant Commercial.

SOIL COMPOSITION

Based on a review of the United State Department of Agriculture's Web Soil Survey database the site's soils are comprised of the following:

Tantile Sands - consists of very deep, poorly drained, slowly or very slowly permeable soils on broad areas in the flatwoods of Peninsular Florida. They formed in sandy and loamy marine sediments. Most areas of Tantile soils are used for rangeland with lesser acreage planted to citrus, improved pasture grasses, and vegetables. Some areas are used for community development. The principal vegetation is longleaf pine and slash pine with an understory of saw palmetto, running oak, pineland threeawn, and Florida threeawn. Inkberry and fetterbush are in some places.

Pomona Sands - consists of very deep, poorly and very poorly drained soils that formed in sandy and loamy marine sediments. Pomona soils are on flats and flatwoods on marine terraces. Under natural conditions Pomona soils are used for water quality and wildlife habitat. Cultivated areas are used for truck crops and tame pasture.

WILDLIFE EVALUATION

On December 3rd, 2024, ARE conducted pedestrian transects across 100% of the property looking for local, state and federally listed or endangered species present on the site. This survey primarily focused on the presence of gopher tortoise burrows or recent activity. During the pedestrian transects of the property, gopher tortoise activity was observed on site. No other listed plant or animal species were observed on site during the site visit.

NATIVE HABITAT

The site investigation conducted by ARE, Inc. did not find native upland habitat on the site. The site consists of open urban land with little native. Species observed during the site reconnaissance included the following:

Slash Pine (*Pinus densa*)

Bahia grass (*Paspalum notatum*)

Lead Tree (*Leucaena leucocephala*)

WETLAND DELINEATION

Based on the State definition of a wetland in 62-340 FAC, there are three components: hydric soils, wetland plants, and hydrologic indicators. None of these factors listed were present during the site investigation. ARE concludes this property does not likely include state or federally jurisdictional wetlands on site in its current configuration.

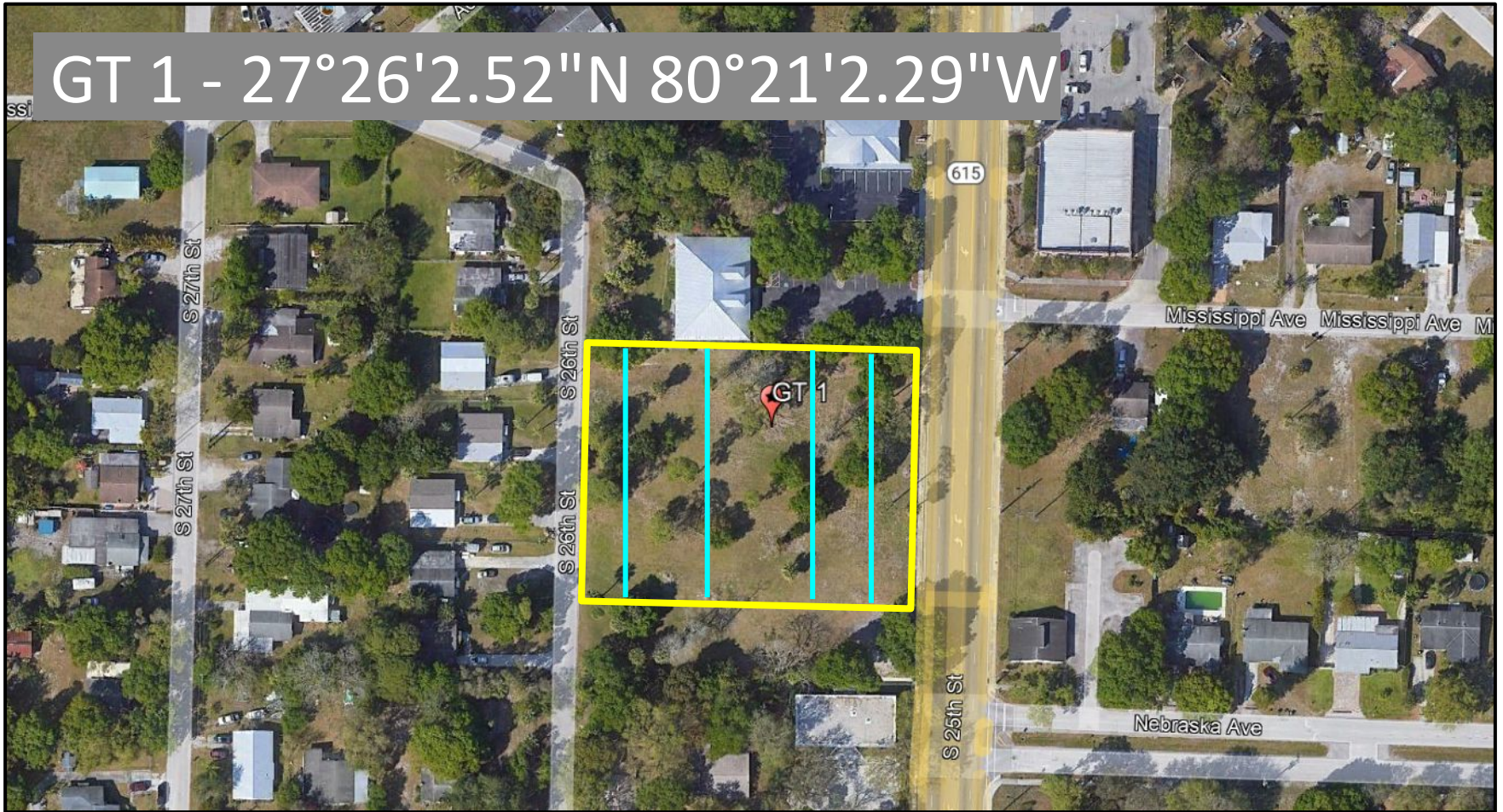
COUNTY REQUIREMENTS

The County will require proof of a completed gopher tortoise survey by a licensed agent. Please submit this document with any applications to use as the needed verification of a 100% gopher tortoise survey has been completed on the site. Per FWC regulations a gopher tortoise survey is good for 90 days, and any clearing must have a valid survey prior to commencement. The County will not authorize/issue any permitting without a current gopher tortoise survey.

CONCLUSION

Based on County requirements, ARE, Inc. conducted a site investigation throughout the property to survey for the presence of any listed plant or animal species. Gopher tortoise burrows were observed on site, no other State or Federally listed species were observed on the property during the site visit. A 100% gopher tortoise survey of the property was conducted and completed by an FWC licensed gopher tortoise agent during the site investigation. Native habitat was determined not to be on site due to the lack of native content throughout. It is the professional opinion of ARE, Inc. that there are no State or Federally jurisdictional wetlands on the site as the site's characteristics do not meet the minimum thresholds required for wetland classification.

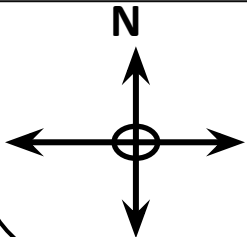
GT 1 - 27°26'2.52"N 80°21'2.29"W



12/3/2024

Species Survey Map

Map Source: Google Earth



**1415 S 25th St
Fort Pierce, FL**



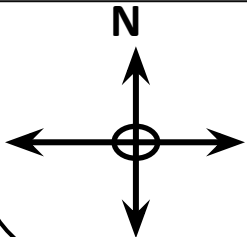
18211 - Urban Open Land



12/3/2024

CLC

Map Source: St. Lucie County



**1415 S 25th St
Fort Pierce, FL**

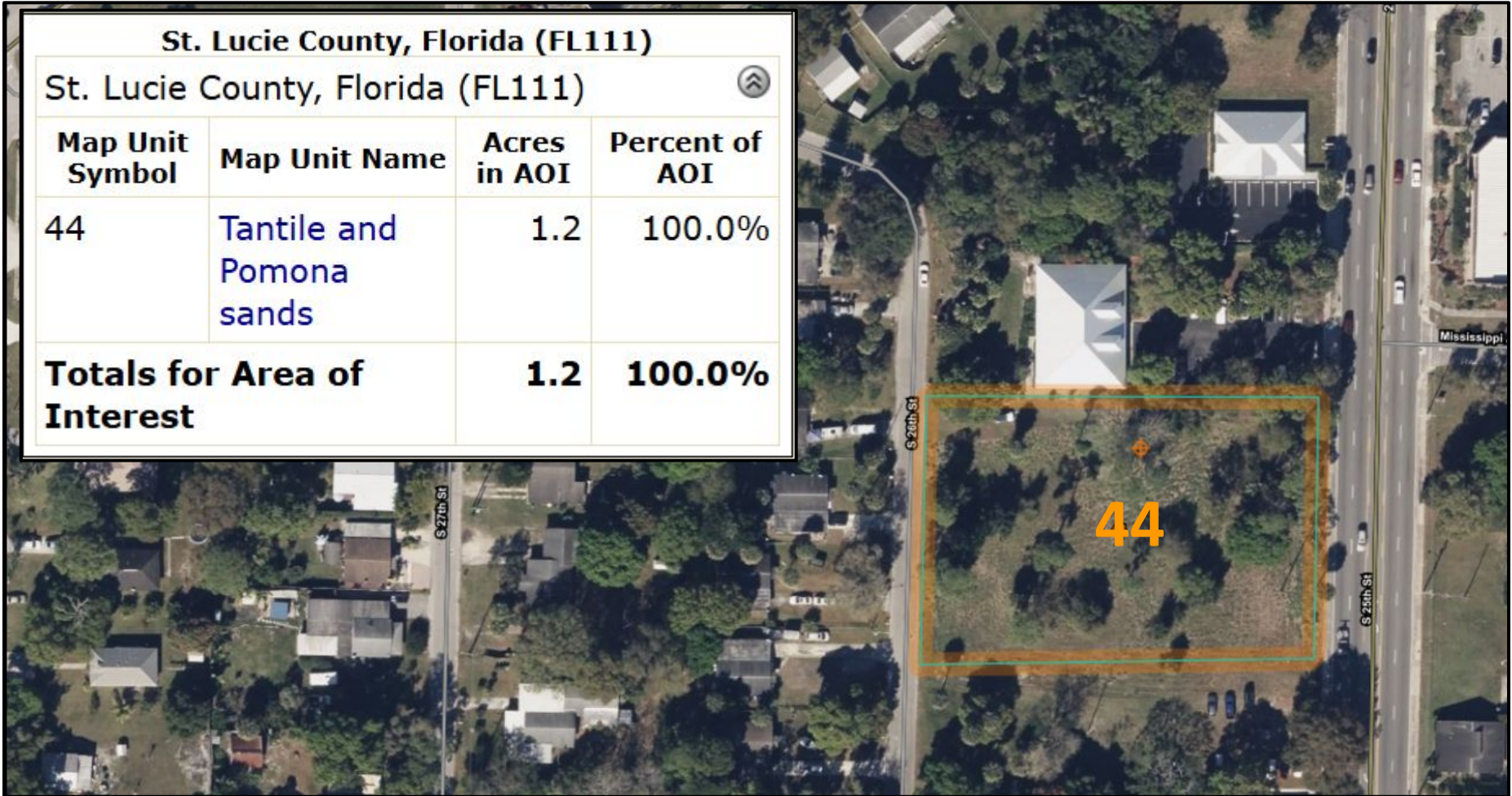


St. Lucie County, Florida (FL111)

St. Lucie County, Florida (FL111)



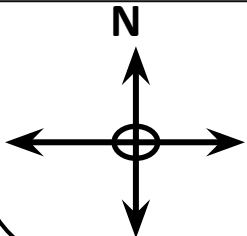
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
44	Tantile and Pomona sands	1.2	100.0%
Totals for Area of Interest		1.2	100.0%



12/3/2024

Soil Map

Map Source: Web Soil



1415 S 25th St
Fort Pierce, FL



Advanced Restoration Ecology



CONCURRENCY CAPACITY ANALYSIS

I. Site Data:

	Existing Use	Future Land Use	Zoning
North			
South			
East			
West			

	Future Land Use	Zoning Classification	Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage	Total Acreage	Flood Zone
Current					
**Proposed					N/A

II. Public Facilities Information:

A. Potable Water:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.125 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day
**Proposed Zoning/FLU	Total gallons per day
**Change in Demand	Total gallons per day

B. Wastewater:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.1 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day
**Proposed Zoning/FLU	Total gallons per day
**Change in Demand	Total gallons per day

C. Parks and Recreation (Residential Classifications Only): (Du x 2.6 = persons + 44,227 = population /LOS)				
Park Type	LOS	Existing Population Park Demand	Proposed Population Park Demand	Change in Demand
Regional	20 acres per 1,000 people			
Urban District	5 acres per 1,000 people			
Community	2.5 acres per 1,000 people			
Neighborhood	1.36 acres per 1,000 people			

D. Public Schools (Residential Classifications Only): Single Family: (du x 0.405 = students/70% K-8/30% High) Multi-family: (du x 0.207 = students/70% K-8/30% High)		
	K-8	High
School Name		
City		
Distance		
Current Zoning/FLU	Enrollment	
**Proposed Zoning/FLU	Enrollment	
**Change in Demand		

E. Solid Waste: Residential (2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units)	
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Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year – 1 day storm event)

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Type(s) specify	Phase	Square footage	Acres	Expecting beginning date	Expected completion date

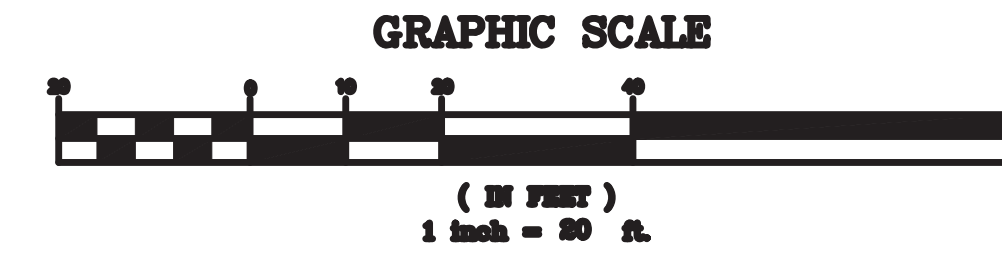
- A. Indicate whether the proposed project will be eliminating any existing recreational facilities. If yes, detail the number and type being eliminated. Yes No
- B. 1. Does this application involve demolition or re-use of any structure(s)? Yes No
If yes, what is the size of the structure(s) to be demolished or re-used? _____
2. What is the current use of the structure to be demolished or re-used? _____
3. Are you claiming trip credits for the demolition or re-use of a structure(s) at the site? Yes No
If yes, provide estimates of credits for each previous use at the site. (Attach sheet with calculations)

C. Exemptions Requested:

** Complete section if requesting a change in zoning, future land use, or expanding

BOUNDARY & TOPOGRAPHIC SURVEY

LOCATED IN THE CITY OF FORT PIERCE
SECTION 17 - TOWNSHIP 35 SOUTH - RANGE 40 EAST
ST LUCIE COUNTY, FLORIDA



LEGAL DESCRIPTION:

PARCEL 1
THE NORTH 120 FEET OF THE SOUTH 368 FEET OF THE EAST 1/2 OF THE SE 1/4 OF THE SE 1/4 OF THE NE 1/4 OF SECTION 17, TOWNSHIP 35 SOUTH, RANGE 40 EAST, LESS THE EAST 35 FEET AND LESS THE WEST 25 FEET, SAID LANDS SITUATED IN ST. LUCIE COUNTY, FLORIDA.

PARCEL 2
THE NORTH 80 FEET OF THE SOUTH 448 FEET OF THE E 1/2 OF THE SE 1/4 OF THE SE 1/4 OF THE NE 1/4 OF SECTION 17, TOWNSHIP 35 SOUTH, RANGE 40 EAST, LESS THE EAST 35 FEET AND LESS THE WEST 25 FEET, SAID LANDS SITUATED IN ST. LUCIE COUNTY, FLORIDA.

FLOOD ZONE:

LANDS SHOWN HEREON ARE LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION OF "X" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 12111C0186J (CITY OF FORT PIERCE 120286), DATED FEBRUARY 16, 2012.

TREE NOTE:

CRAIG D. WATSON, P.S.M. ACCEPTS NO RESPONSIBILITY FOR THE IDENTIFICATION OF THE TREE SPECIES SHOWN HEREON. EVERY EFFORT HAS BEEN MADE TO PROPERLY IDENTIFY TREES SHOWN, HOWEVER, TREE IDENTIFICATION IS OUTSIDE THE AREA OF EXPERTISE OF THIS SURVEYOR. THE TREE SPECIES AS LISTED HEREON IS FOR INFORMATION PURPOSES ONLY AND SHOULD BE CONFIRMED BY A CERTIFIED ARBORIST.

WETLAND NOTE:

LIMITS OF JURISDICTIONAL WETLANDS, DITCHES, DRAINAGE WAYS, WATER FLOWS, AND/OR BODIES OF WATER, IF ANY, ARE NOT DETERMINED BY THIS SURVEY. CLIENT IS ADVISED TO CONTACT APPROPRIATE GOVERNING AGENCIES FOR POSSIBLE LIMITS OF JURISDICTION.

HORIZONTAL AND VERTICAL CONTROL NOTE:

- BEARINGS AND COORDINATES SHOWN ON THIS SURVEY MAP ARE BASED ON THE FLORIDA STATE COORDINATE SYSTEM, EAST ZONE 8390 NORTH AMERICAN DATUM, 2011 ADJUSTED, DERIVING A BEARING OF N01°08'28"E ALONG THE CENTERLINE OF SOUTH 25TH STREET.
- ELEVATIONS SHOWN, ALONG WITH THE SITE BENCHMARKS ARE BASED ON A ST LUCIE COUNTY VERTICAL CONTROL DISK STAMPED 'VIR 3-04'; ELEVATION = 16.81' (NAVD 88).

SURVEYOR'S NOTES:

- NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND UTILITIES ON/OR ADJACENT TO THIS SITE. THE APPROXIMATE LOCATION OF ALL UTILITIES SHOWN HEREON WERE TAKEN FROM ASBUILT DRAWINGS AND/OR ON-SITE LOCATION AND SHOULD BE VERIFIED BEFORE CONSTRUCTION.
- NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND FOOTINGS OF BUILDINGS OR FENCES ON OR ADJACENT TO THIS SITE.
- LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS OF WAY OF RECORD EXCEPT AS SHOWN ON THE RECORD PLAT IF ANY.
- THE BEARING BASE OF THIS SURVEY IS ALONG THE CENTERLINE OF SOUTH 25TH STREET (SEE SURVEYOR'S HORIZONTAL NOTE BELOW).
- ALL BEARINGS AND DISTANCES SHOWN ARE PLAT AND MEASURED UNLESS OTHERWISE NOTED.
- ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- THE EXPECTED USE FOR THIS SURVEY AND MAP IS FOR COMMERCIAL PURPOSES.
- ALL MEASUREMENTS ARE IN ACCORDANCE WITH THE UNITED STATES STANDARD, IN FEET.

ABBREVIATIONS:

WM = WATER MAIN
VCP = VITRIFIED CLAY PIPE
-I- = OVERHEAD UTILITIES
(M) = MEASURED
(C) = CALCULATED
ID = IDENTIFICATION
F.F.E. = FINISH FLOOR ELEVATION
INV. = INVERT

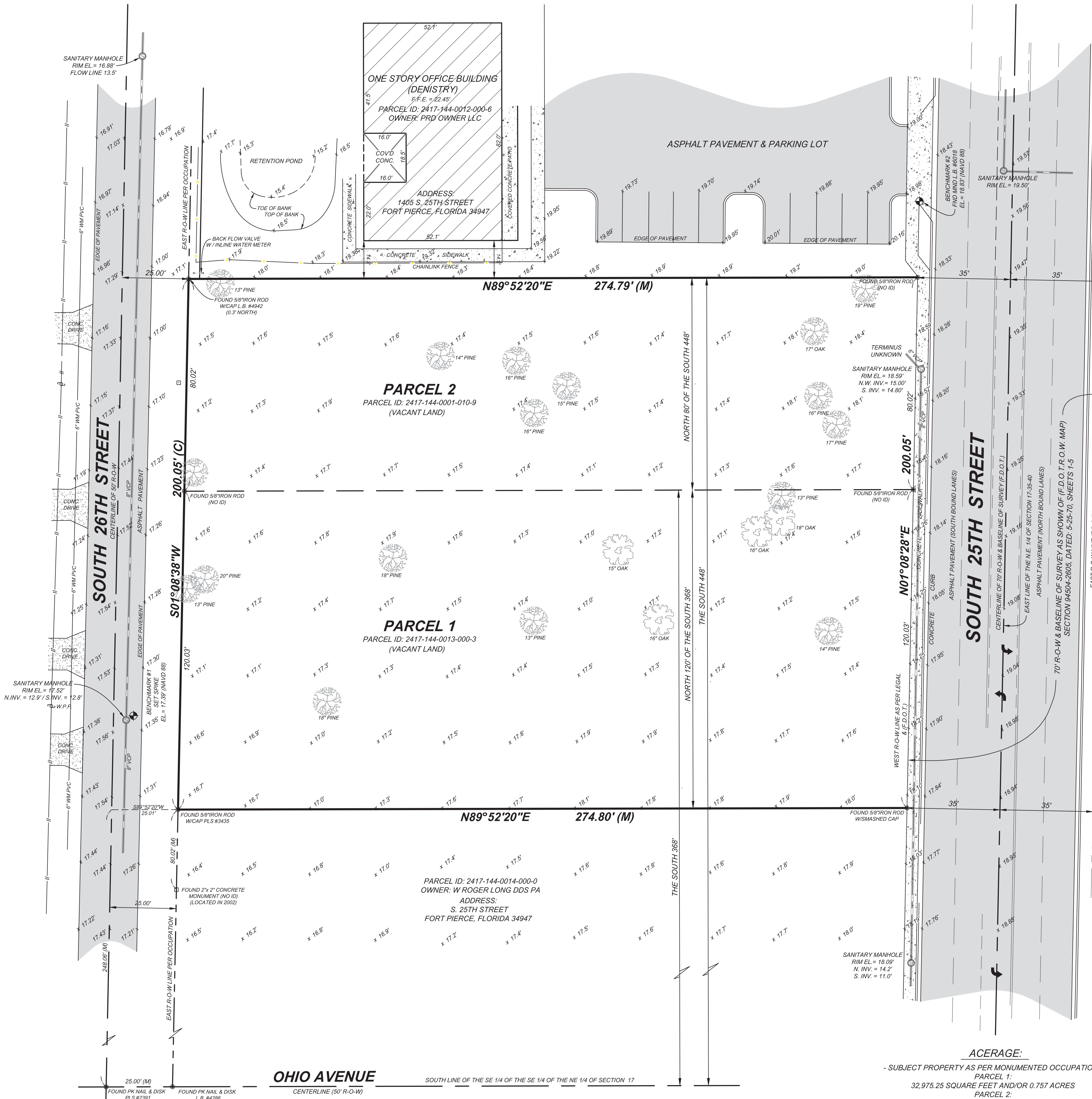
FDOT = FLORIDA DEPARTMENT OF TRANSPORTATION
L.B. = LICENSED BUSINESS
PLS = PROFESSIONAL LAND SURVEYOR
EL. = ELEVATION
CONC. = CONCRETE
W.P.P. = WOOD POWER POLE
R-O-W = RIGHT OF WAY
x = 12.00' = SPOT ELEVATION

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THIS SURVEY MAP AND/OR REPORT WAS PREPARED UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

Digitally signed by
Craig
Watson
Date: 2023.10.16
08:46:08
-04'00'

CRAIG D. WATSON
PROFESSIONAL SURVEYOR & MAPPER
NO. 5647 STATE OF FLORIDA



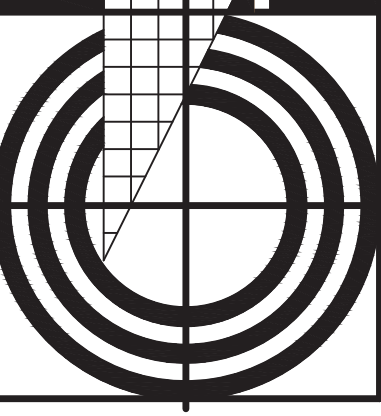
ACERAGE:
- SUBJECT PROPERTY AS PER MONUMENTED OCCUPATION -
PARCEL 1:
32,975.25 SQUARE FEET AND/OR 0.757 ACRES
PARCEL 2:
21,983.10 SQUARE FEET AND/OR 0.505 ACRES
OVERALL TOTAL:
54,958.35 SQUARE FEET AND/OR 1.26 ACRES

DATE	REVISIONS

PREPARED FOR:
HAND N 402 SW FRIAR STREET LLC
A FLORIDA LIMITED LIABILITY COMPANY

CRAIG WATSON AND ASSOCIATES LLC
PROFESSIONAL SURVEYING & MAPPING

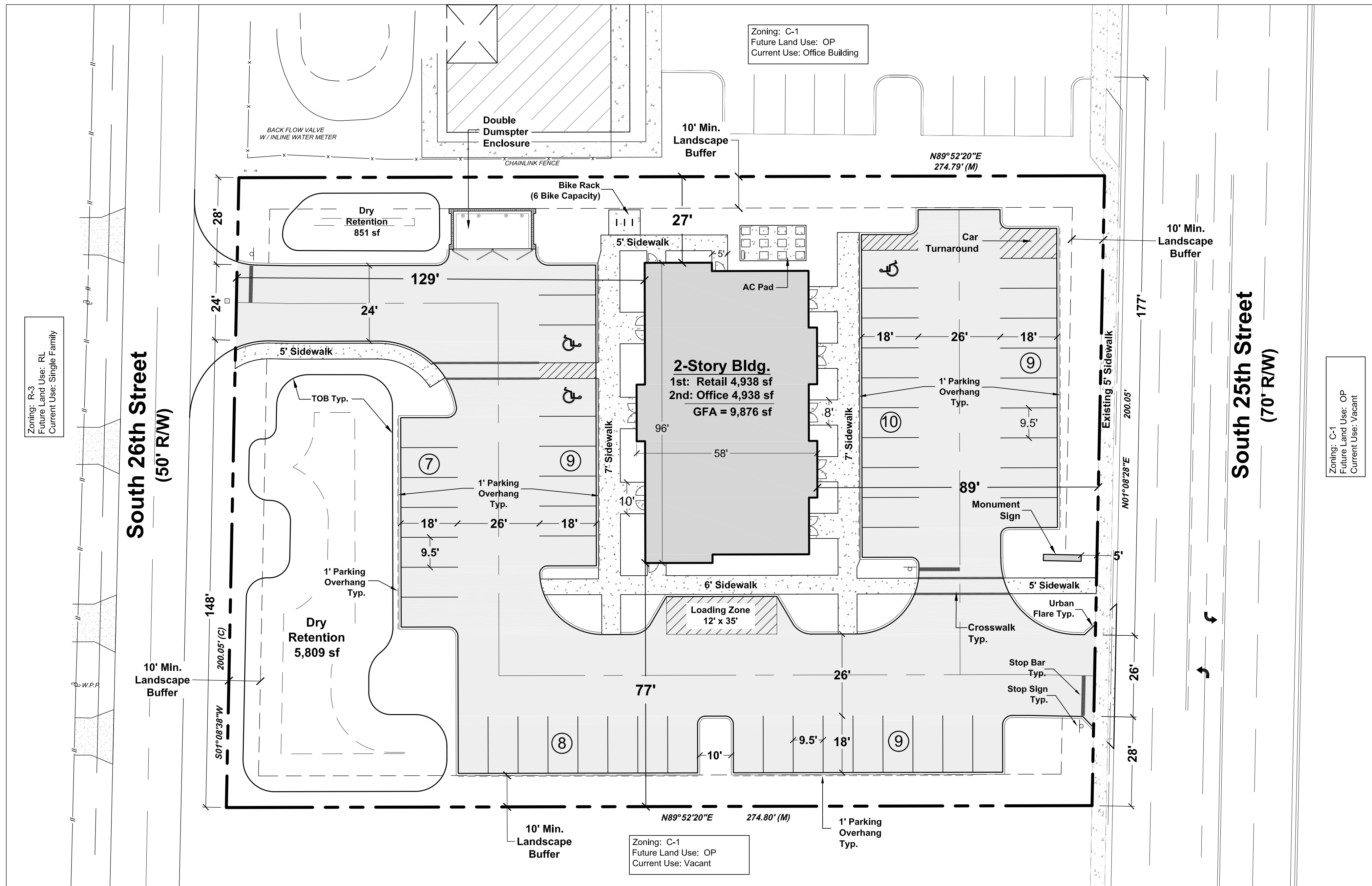
130 S INDIAN RIVER DRIVE · SUITE 202 · FORT PIERCE, FLORIDA 34950
O 772-334-0867 C 772-260-0249 EMAIL craigwatson@live.com



130 S INDIAN RIVER DRIVE
SUITE 202
FT. PIERCE, FLORIDA 34950
PHONE 772-334-0868
CELL 772-260-0249

FIELD DATE: 9-23,24-2023
SCALE: 1" = 20'
DWG. BY: C.D.W.
CHECKED BY: C.D.W.
JOB NUMBER: 23101

SHEET NUMBER
1 OF 1



Location Map



3500 SW Corporate Parkway, Suite 203
Palm City, Florida 34990

T 772.678.7200
www.hjadesignstudio.com
LA 0000905

Site Data

Total Gross Site Area	1.26 Ac. / 54,958 sf
Site Address	1415 S. 25th Street
Zoning District	C-1 (Office Commercial)
Future Land Use	OP (Office-Professional & Business Services)
Parcel Control Number	2417-144-0001-010-9 2417-144-0013-000-3
Existing Use	Vacant
Proposed Use	Retail & Medical Office

Maximum Permitted Building Height	65'
Proposed Building Height	2-Stories / 36' (Top of Pitched Roof)
Maximum Permitted FAR	1.0
Proposed FAR	0.2

Building Data

2-Story Mixed Use Building	
1st Floor: Retail	4,938 sf
2nd Floor: Medical Office	4,938 sf
Total Gross Floor Area	9,876 sf

Building Setback Requirements

Front Yard Building Setback:	(from S. 25th Street)	25' Min.
Side Yard Building Setback:	(from North & South Property Boundary)	15' Min.
Rear Yard Building Setback:	(from S. 26th Street)	15' Min.

Site Calculations

	Acres	SF	%
Total Gross Site Area	1.26 Ac.	54,958 sf	100%
Total Impervious Area	0.76 Ac.	33,331 sf	60%
Building Coverage	0.11 Ac.	4,938 sf	9%
Vehicular Use Area	0.56 Ac.	23,987 sf	44%
Sidewalks, Other Pavement & Pads	0.09 Ac.	4,406 sf	7%
Total Pervious Area	0.50 Ac.	21,627 sf	40%
Dry Retention Area	0.15 Ac.	6,660 sf	12%
Open Space / Landscape Area	0.35 Ac.	14,967 sf	28%

Parking Data

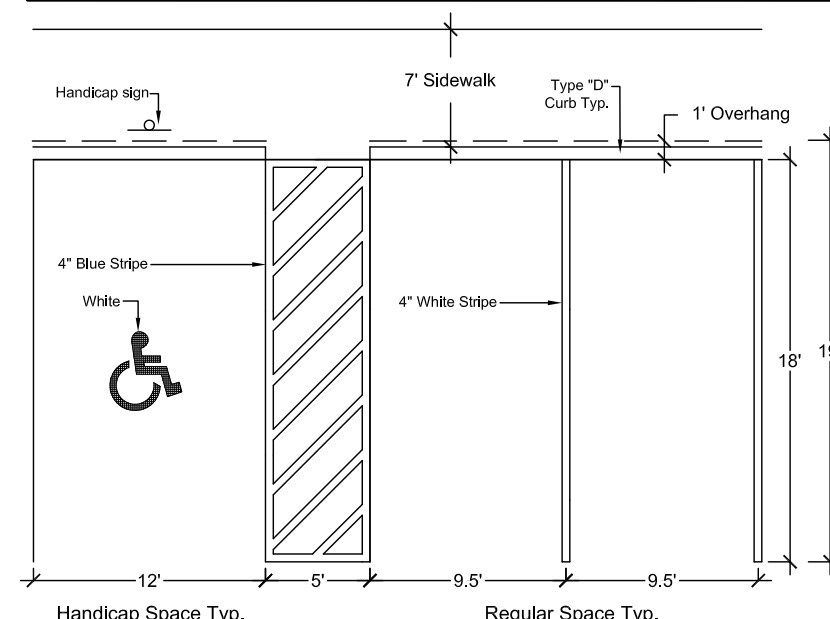
	Required	Provided
Retail (1st Floor): 4938 sf		
Retail Less than 50,000 sf		
1 Space per 200 sf (4,938 sf / 200 sf)	25 Spaces	26 Spaces
Medical Office (2nd Floor): 4938 sf		
Medical Office		
1 Space per 200 sf (4,938 sf / 200 sf)	25 Spaces	26 Spaces
Total Parking:	50 Spaces	52 Spaces

*(The total provided 52 parking spaces includes handicap spaces)

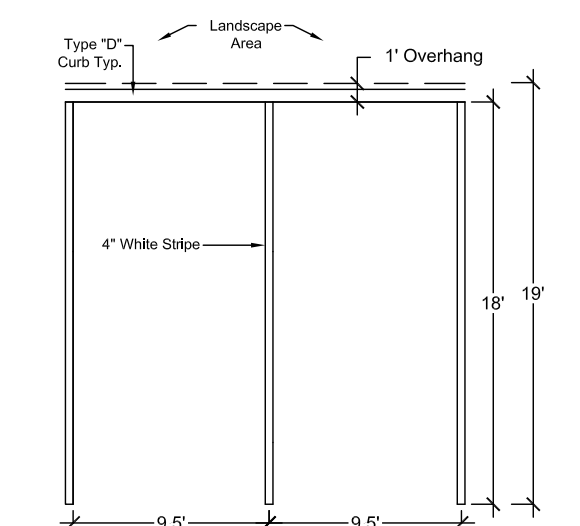
	Required	Provided
Handicap Parking	Required	Provided
(Total Required Parking Spaces Between 25 - 50)	2 Spaces	3 Spaces
Bicycle Parking Requirement	Required	Provided
1 space per 10 Required Parking Spaces	5 Spaces	6 Spaces (1 Bike Rack w/ 6 Bike Capacity)
Loading Requirement	Required	Provided
1 loading space (12' x 35')	1 Space	1 Space

Parking Space Details

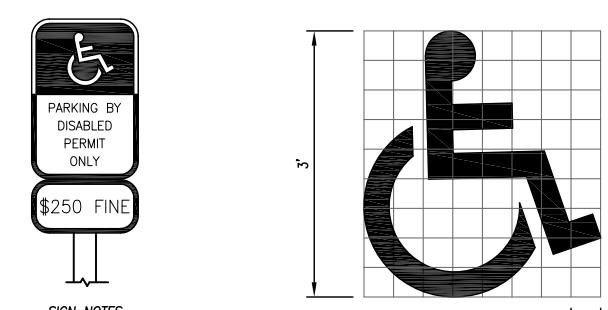
Scale: N.T.S.



Parking Detail Adjacent to Sidewalk
Scale: N.T.S.



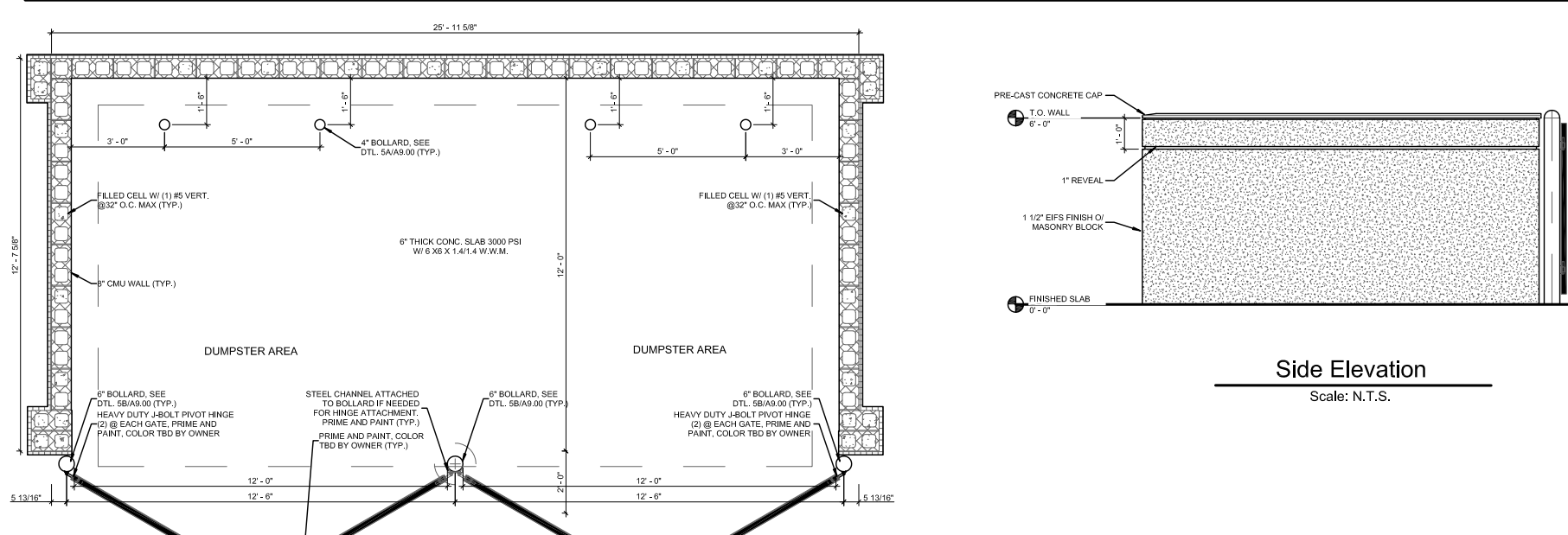
Parking Detail Adjacent to Perimeter Landscape
Scale: N.T.S.



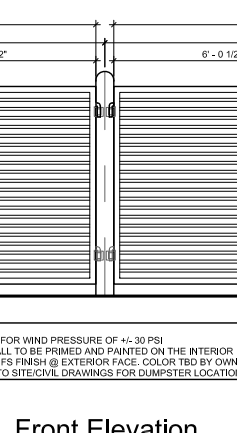
- SIGN NOTES**
- TOP PORTION OF SIGN (12"x18") SHALL HAVE A REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER.
 - BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK SPINCE LEGEND AND BORDER.
 - BOTTOM OF SIGN SHALL BE 7'-0" ABOVE FRESH GRADE.
 - SIGN SHALL BE MOUNTED ON A 2" SCH 40 ALUMINUM POST.
- ACCESSIBLE PARKING SIGN

Double Dumpster Enclosure Detail

Scale: N.T.S.



Plan View
Scale: N.T.S.

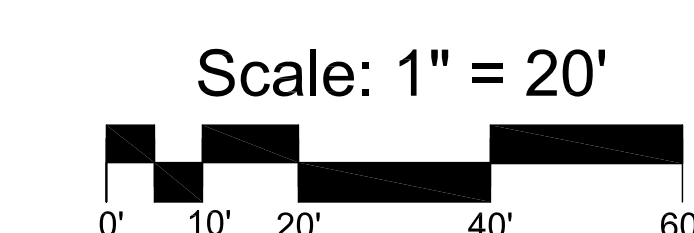


Front Elevation
Scale: N.T.S.

Legal Description

Parcel 1:
THE NORTH 130 FEET OF THE SOUTH 360 FEET OF THE EAST 10 OF THE SE 1/4 OF THE SE 1/4 OF SECTION 17, TOWNSHIP 35 SOUTH, RANGE 40 EAST, LESS THE EAST 35 FEET AND LESS THE WEST 25 FEET SANDS SITUATED IN ST. LUCIE COUNTY, FLORIDA.

Parcel 2:
THE NORTH 80 FEET OF THE SOUTH 448 FEET OF THE E 1/2 OF THE SE 1/4 OF THE SE 1/4 OF SECTION 17, TOWNSHIP 35 SOUTH, RANGE 40 EAST, LESS THE EAST 35 FEET AND LESS THE WEST 25 FEET, SAND LANDS SITUATED IN ST. LUCIE COUNTY, FLORIDA.



25th Street Mixed Use Development

City of Fort Pierce
Site Plan

Florida

Job No. 2024-34
Drawn By TT
Checked By MH
Approved By MH
Submission Dates 9-29-25

Revision Dates

SP-1

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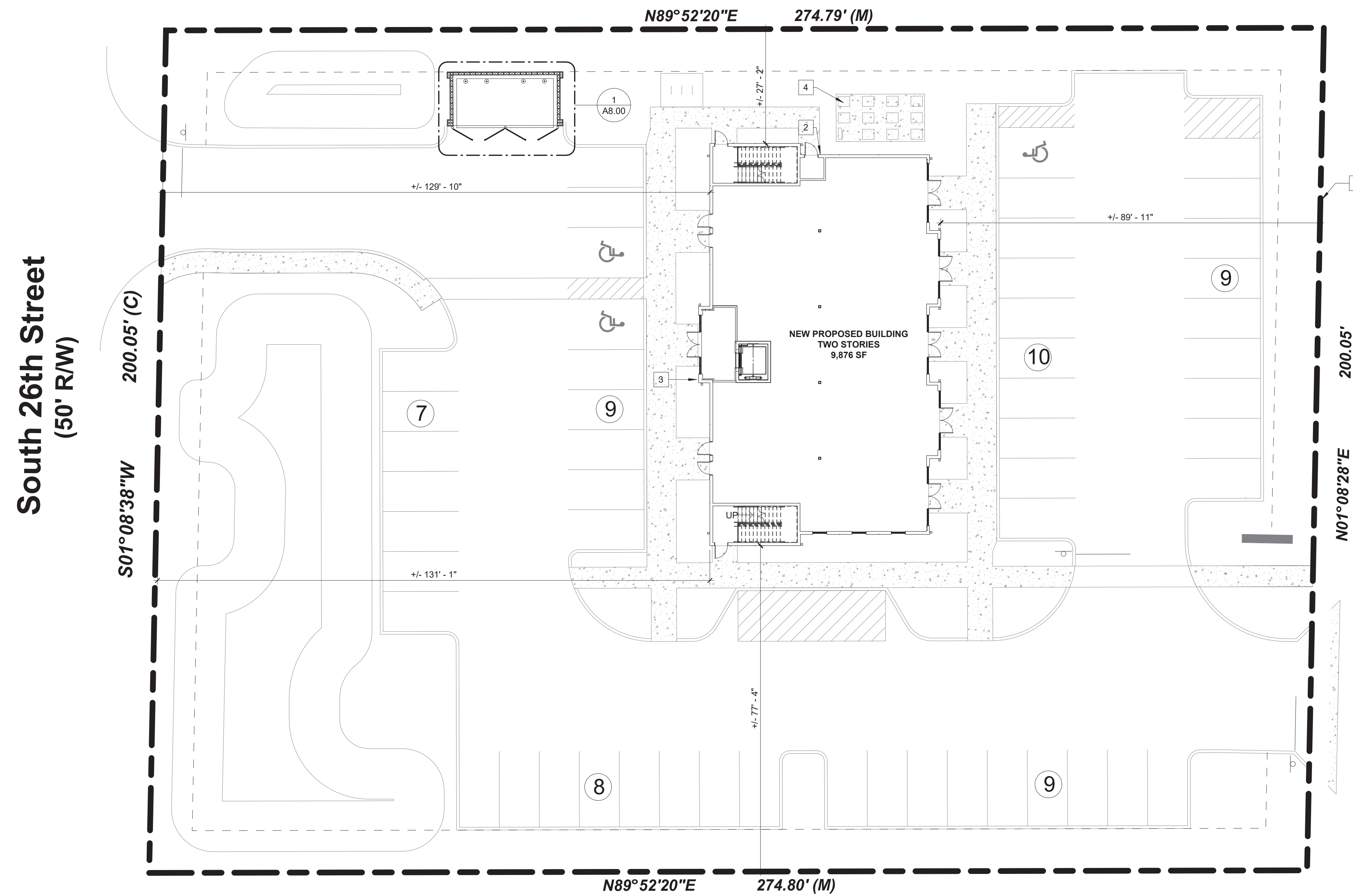


ROMERO TRUMPP FARMER ARCHITECTS

Romero Trumpp & Farmer Architects, Inc.
500 Delaney Avenue,
Suite 200
Orlando, Florida 32801
Phone: 321.441.3320

ARCHITECTURAL SITE PLAN NOTES	
1.	ARCHITECTURAL SITE PLAN SHOWN FOR REFERENCE ONLY. REFER TO CIVIL DRAWINGS FOR SITE DETAILS AND CALCULATIONS.
2.	REFER TO ELECTRICAL DRAWINGS FOR SITE LIGHTING PHOTOMETRIC SPECIFICATIONS AND DETAILS.
3.	REFER TO CIVIL FOR ADDITIONAL INFORMATION.

ARCHITECTURAL SITE PLAN REFERENCE NOTES	
1	PROPERTY LINE. REFER TO CIVIL DRAWINGS AND PROPERTY SURVEY
2	PROVIDE SIGNAGE AT FIRE RISER ROOM TO READ "FIRE RISER CONTROL VALVE" PER FIRE MARSHALL'S REQUIREMENTS
3	KNOX BOX AT EXTERIOR ELEVATION. LOCATED AT +/- 6' - 0" A.F.F. INSTALLED PER FIRE MARSHALL'S REQUIREMENTS
4	PROPOSED LOCATION FOR FUTURE CONDENSING UNITS. SEE MECHANICAL PLANS.



**South 25th Street
(70' R/W)**

**South 26th Street
(50' R/W)**



1 ARCHITECTURAL SITE PLAN
1/16" = 1'-0"

Seal
Andres Romero - AR102974

Consultant

PROPOSED NEW CONSTRUCTION FOR:

DR. SHAREEF OFFICE

Revisions

Issued For:
Permit Set
Issue Date: 09/19/2025
Project Number: 24082

DRAWN BY: DRT
CHECKED BY: AR

ARCHITECTURAL SITE PLAN
A0.10

CHANGES IN LEVEL

- CHANGES IN LEVEL OF 1/4 INCH HIGH MAXIMUM SHALL BE PERMITTED TO BE VERTICAL.
- CHANGES IN LEVEL BETWEEN 1/4 INCH HIGH MINIMUM AND 1/2 INCH HIGH MAXIMUM SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2.
- A CHANGE IN LEVEL OF 1/2 INCH IS PERMITTED TO BE 1/4 INCH VERTICAL PLUS 1/4 INCH BEVELED. HOWEVER, IN NO CASE MAY THE COMBINED CHANGE IN LEVEL EXCEED 1/2 INCH. CHANGES IN LEVEL EXCEEDING 1/2 INCH MUST COMPLY WITH RAMPS OR CURB RAMPS REQUIREMENTS PER THE MOST CURRENT ACCESSIBILITY CODE.

RAMP ACCESSIBILITY NOTES

- SLOPE: RAMP RUNS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:12.
- CLEAR WIDTH: THE CLEAR WIDTH OF A RAMP RUN AND, WHERE HANDRAILS ARE PROVIDED, THE CLEAR WIDTH BETWEEN HANDRAILS SHALL BE 36 INCHES (915 MM) MINIMUM.
- SIDES OF CURB RAMPS: WHERE PROVIDED, CURB RAMP FLARES SHALL NOT BE STEEPER THAN 1:10.

SYMBOL LEGEND

- WINDOW DESIGNATION SYMBOL: REFER TO WINDOW SCHEDULE SHEET.
- DOOR AND HARDWARE DESIGNATION SYMBOL: REFER TO DOOR SCHEDULE SHEET.
- INDICATES WALL TYPE AND FIRE RATING (IF NEEDED) REFER TO PLAN AND WALL TYPES LEGEND.
- INDICATES ELEVATION DETAIL AND SHEET NUMBER, REFER TO ELEVATION SHEETS.
- INDICATES SECTION / DETAIL AND SHEET NUMBER, REFER TO BUILDING SECTIONS AND DETAIL SHEETS.
- INDICATES ENLARGED PLAN / DETAIL AND SHEET NUMBER, REFER TO ENLARGED PLANS, SECTIONS AND DETAIL SHEETS.

PROVISIONS FOR BARRIER FREE DOORS:

(A) FRONT APPROACHES

NOTE: X = 12 IN IF THE DOOR HAS BOTH A CLOSER AND A LATCH

NOTE: ALL DOORS IN ALCOVES SHALL COMPLY WITH THE CLEARANCES FOR FRONT APPROACHES.

(B) HINGE SIDE APPROACHES

NOTE: X = 36 IN MINIMUM IF Y = 60 IN X = 42 IN MINIMUM IF Y = 54 IN.

NOTE: Y = 48 IN MIN. IF DOOR HAS BOTH A LATCH AND A CLOSER

(C) LATCH SIDE APPROACHES

NOTE: X = 36 IN MINIMUM IF Y = 60 IN X = 42 IN MINIMUM IF Y = 54 IN.

NOTE: Y = 48 IN MIN. IF DOOR HAS BOTH A LATCH AND A CLOSER

PROJECT INFORMATION

PROJECT JURISDICTION: ST. LUCIE COUNTY

APPLICABLE CODES:

BUILDING: 2023 FLORIDA BUILDING CODE 8TH EDITION
 ADA: 2023 FLORIDA ACCESSIBILITY CODE 8TH EDITION
 ENERGY: 2023 FLORIDA ENERGY CODE 8TH ED.
 MECH: 2023 FLORIDA MECHANICAL CODE 8TH EDITION
 PLUMB: 2023 FLORIDA PLUMBING CODE 8TH EDITION
 ELECT: NATIONAL ELECTRIC CODE - 2020 EDITION
 FIRE: 2023 FLORIDA FIRE PREVENTION CODE 8TH EDITION
 LIFE SAFETY: 2021 NFPA 1 UNIFORM CODE AND NFPA 101 FLA EDITION W/ AMENDMENTS

BUILDING CONSTRUCTION:

SPRINKLERED OR NON-SPRINKLERED: SPRINKLERED
 NUMBER OF STORIES: 2 STORIES
 CONSTRUCTION TYPE: V-B
 FIRE ALARM: YES

HEIGHT ABOVE GRADE PLANE: PER FBC TABLE 504.3a	ALLOWED	PROPOSED
GROUP M - TYPE VB GROUP B - TYPE VB (S=SPRINKLERED)	60' 60'	+/-38'-0" OVERALL BLDG HT.
NUMBER OF STORIES ABOVE GRADE PLANE: PER FBC TABLE 504.4	2 STORIES 3 STORIES	1 STORY 1 STORY
ALLOWABLE AREA: PER FBC TABLE 506.2	27,000 SF 27,000 SF	4,938 SF 4,938 SF 9,876 SF

FIRE RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE. PER FBC TABLE 705.5

FIRE SEPARATION DISTANCE *	TYPE OF CONST.	OCCUPANCY GROUP (M)
X < 5	V-B	2-HR
5 ≤ X < 10		1-HR
10 ≤ X < 30		0-HR
X ≥ 30		0-HR
FIRE SEPARATION DISTANCE *	TYPE OF CONST.	OCCUPANCY GROUP (B)
X < 5	V-B	1-HR
5 ≤ X < 10		1-HR
10 ≤ X < 30		0-HR
X ≥ 30		0-HR

* FIRE SEPARATION DISTANCE MEASURED FROM THE BUILDING FACE TO THE CLOSEST INTERIOR LOT LINE.

MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION. PER FBC TABLE 705.8

FIRE SEPARATION DISTANCE (FEET)	DEGREE OF OPENING PROTECTION	ALLOWABLE AREA
0 TO LESS THAN 3	UNPROTECTED, SPRINKLERED (UP, S)	NOT PERMITTED
3 TO LESS THAN 5		15%
5 TO LESS THAN 10		25%
10 TO LESS THAN 15		45%
15 TO LESS THAN 20		75%
20 TO LESS THAN 25		NO LIMIT
25 TO LESS THAN 30		NO LIMIT
30 OR GREATER		NO LIMIT

FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS

BUILDING ELEMENT	REQD	PROVIDED	TESTED ASSEMBLY
PER FBC TABLE 601			
PRIMARY STRUCTURAL FRAME	0	1 (1ST LVL ONLY)	X827 (COLUMNS)
EXTERIOR BEARING WALLS	0	0	
INTERIOR BEARING WALLS	0	0	
EXTERIOR NON-BEARING WALLS & PARTITIONS (PER FBC 705.5)	0	0	
INTERIOR NON-BEARING WALLS AND PARTITIONS	0	0	
FLOOR CONSTRUCTION AND SECONDARY MEMBERS	0	1 (2ND LVL SLAB ONLY) *FOR SEPARATION OF OCCUPANCIES	D902 - FLOOR AND BEAMS *FOR SEPARATION OF OCCUPANCIES
ROOF CONSTRUCTION AND SECONDARY MEMBERS (PER FBC 603.1)	0	0	
STAIR AND ELEVATORS	1	1	PRESCRIPTIVE METHOD
CEILING	1	1	I504

BUILDING OCCUPANCY:

EXISTING USE / OCCUPANCY: N/A NEW CONSTRUCTION

PROPOSED OCCUPANCY(S) / GROUP CLASSIFICATION: 1ST MERCANTILE - GROUP M
 2ND BUSINESS - GROUP B

PER FBC TABLES 309.1(M), 304.1 (B)

OCCUPANCY AREA

MERCANTILE - GROUP M 4,938 SF
 BUSINESS - GROUP B 4,938 SF

GROSS BUILDING AREA: 9,876 SF

OCCUPANT LOAD CALCULATIONS

LEVEL ONE

FUNCTION OF SPACE	SQ. FT.	FACTOR	OCCUPANTS
MERCANTILE AREAS PER FBC TABLE 1004.5	4,938	1/60	83
TOTAL OCCUPANTS			83
TOTAL AREA			4,938 SF

LEVEL TWO

FUNCTION OF SPACE	SQ. FT.	FACTOR	OCCUPANTS
BUSINESS AREAS PER FBC TABLE 1004.5	4,938	1/150	33
TOTAL OCCUPANTS			33
TOTAL AREA			4,938 SF
TOTAL BUILDING OCCUPANTS			116
TOTAL BUILDING AREA			9,876 SF

LIFE SAFETY SUMMARY

LEVEL ONE	REQUIRED	PROVIDED
NUMBER OF EXITS (PER FBC TABLE 1006.3.2)	2	12
MINIMUM STAIR WIDTH (PER FBC 1011.2)	44" MIN.	N/A
EGRESS WIDTH (2" X 83 OCC.)	23.2" MIN	748"
COMMON PATH OF TRAVEL (FBC TABLE 1006.2.1) MERCANTILE - M	75' MAX.	58' - 7"
EXIT ACCESS TRAVEL DISTANCE (FBC TABLE 1017.2) MERCANTILE - M	250' MAX	58' - 7"
MINIMUM CORRIDOR/AISLE WIDTH	44" MIN.	N/A
MAXIMUM DEAD END CORRIDOR (PER FBC 1020.5) MERCANTILE - M	50' MAX	N/A

LEVEL TWO	REQUIRED	PROVIDED
NUMBER OF EXITS (PER FBC TABLE 1006.3.2)	2	14
MINIMUM STAIR WIDTH (PER FBC 1011.2)	44" MIN.	N/A
EGRESS WIDTH (2" X 33 OCC.)	6.6" MIN	748"
COMMON PATH OF TRAVEL (FBC TABLE 1006.2.1) BUSINESS - B	100' MAX.	48' - 9"
EXIT ACCESS TRAVEL DISTANCE (FBC TABLE 1017.2) BUSINESS - B	300' MAX	92' - 4"
MINIMUM CORRIDOR/AISLE WIDTH (FBC TABLE 1020.3)	44" MIN.	N/A
MAXIMUM DEAD END CORRIDOR (PER FBC 1020.5) BUSINESS - B	50' MAX	N/A

*REFER TO PLANS FOR DETAILS

PLUMBING FIXTURE NOTES

SHELL BUILDING ONLY. PLUMBING FIXTURES TO BE INSTALLED UNDER TENANT IN SCOPE OF WORK UNDER SEPARATE PERMIT.

NFPA 101 - SEPARATED OCCUPANCIES - SECTION 6.1.14.4.1

WHERE SEPARATED OCCUPANCIES ARE PROVIDED, EACH PART OF THE BUILDING COMPRISING A DISTINCT OCCUPANCY, AS DESCRIBED IN THIS CHAPTER, SHALL BE COMPLETELY SEPARATED FROM OTHER OCCUPANCIES BY FIRE BARRIERS, AS SPECIFIED IN TABLE 6.1.14.4.1 (A), TABLE 6.1.14.4.1 (B), AND 6.1.14.4.2 THROUGH 6.1.14.4.4, UNLESS SEPARATION IS PROVIDED BY APPROVED EXISTING SEPARATIONS OR AS OTHERWISE PERMITTED BY 6.1.14.4.6.

PER TABLE 6.1.14.4.1 (B)	REQUIRED	EXCEPTION (*)
MERCANTILE BUSINESS	2HRS 2HRS	1HR 1HR

* FIRE RESISTANCE RATING IS PERMITTED TO BE REDUCED BY 1HR, BUT IN NO CASE TO LESS THAN 1 HR, WHERE THE BUILDING IS PROTECTED THROUGHOUT BY AN APPROVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH 9.7.1.1(1) AND SUPERVISED IN ACCORDANCE WITH 9.7.2.

UL DESIGN ASSEMBLIES

PRESCRIPTIVE METHOD UL # U485 UL # WL-2002 UL # WL-3077 UL # D902	1HR FIRE RATED WALL - CMU 1 HR FIRE RATED WALL - METAL STUD 1HR FIRE RATED PENETRATION 1HR FIRE RATED - SLAB AND BEAMS (2ND LVL SLAB ONLY) 1HR FIRE RATED - COLUMNS (1ST LVL ONLY) 1HR FIRE RATED - CEILING MEMBRANE (STAIRS AND ELEVATOR ONLY)
---	--

- PROJECT NOTES**
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL GOVERN. LARGE SCALE DRAWINGS SHALL GOVERN OVER SMALLER SCALE DRAWINGS. CONTACT INTERIOR DESIGNER/ARCHITECT TO CONFIRM ALL DISCREPANCIES.
 - ALL DIMENSIONS ARE FROM FINISH FACE UNLESS OTHERWISE NOTED.
 - ALL INTERIOR DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH (FOF) UNLESS OTHERWISE NOTED AS FACE OF STUD (FOS) OR FACE OF MASONRY (FOM). ALL DIMENSIONS TO GLASS PARTITIONS ARE TAKEN FROM CENTERLINE OF GLASS PANEL.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ISSUING COMPLETE SETS OF THE CONTRACT DOCUMENTS AND DESCRIPTION OF THE SCOPE OF WORK TO EACH OF THE SUBCONTRACTORS, PERSONS, OR ENTITIES FOR BIDDING, COORDINATION AND EXECUTION OF THEIR WORK.
 - ALL WORK SHALL CONFORM WITH DRAWINGS AND SPECIFICATIONS AND SHALL BE IN CONFORMANCE WITH ALL APPLICABLE GOVERNING MUNICIPAL AND REGULATORY AGENCIES, CODES AND REQUIREMENTS. IT SHALL BE UNDERSTOOD THAT ALL INTENDED WORK IS SUBJECT TO REVIEW AND INTERPRETATION BY THE ADMINISTRATIVE AUTHORITY HAVING JURISDICTION AND IN NO CASE SHALL WORK BE PERFORMED WITHOUT THE REVIEW AND WRITTEN APPROVAL OF SAID AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES RELATED TO THE ISSUE OF PERMITS, INSPECTIONS AND CERTIFICATES NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK AND THE OCCUPANCY OF THE AREA OF WORK.
 - GC SHALL VISIT THE SITE PRIOR TO COMMENCING WORK. VERIFY AND DISCREPANCIES BETWEEN DRAWINGS AND ACTUAL JOB CONDITIONS PRIOR TO PROCEEDING WITH THE JOB. CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR THE ACCURACY OF FIELD MEASUREMENTS AND CONDITIONS AND SHALL BE RESPONSIBLE FOR THE PROPER COORDINATION OF THEIR WORK TO ANY EXISTING WORK OR PREVIOUSLY INSTALLED WORK OF OTHER TRADES. WRITTEN APPROVAL MUST BE OBTAINED FROM THE ARCHITECT PRIOR TO MAKING ANY FIELD CHANGES. ANY COSTS ASSOCIATED WITH FIELD CHANGES OR DEVIATIONS FROM THE DRAWINGS AND SPECIFICATIONS MADE WITHOUT PRIOR APPROVAL FROM THE ARCHITECT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
 - CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS HE MAY DISCOVER PRIOR TO PURCHASING, INSTALLATION AND/OR CONSTRUCTION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ERRORS AT NO ADDITIONAL COST TO THE ARCHITECT OR OWNER ONCE WORK HAS COMMENCED. THE MEANS OF CORRECTING THESE ISSUES SHALL BE APPROVED BY THE OWNER.
 - IF REQUIRED, CONTRACTOR SHALL CONTRACT WITH A SPECIALTY ENGINEER LICENSED IN THE STATE OF FLORIDA FOR DESIGNING AN AUTOMATIC SPRINKLER SYSTEM COMPLYING WITH ALL APPLICABLE CODES. G.C. SHALL SUBMIT SPRINKLER DESIGN AND LAYOUT TO OWNER AND ARCHITECT FOR REVIEW PRIOR TO PURCHASE, INSTALLATION AND/OR CONSTRUCTION.
 - (IF APPLICABLE) ANY EXISTING CONCEALED BUILDING STRUCTURAL CONDITIONS NOT INDICATED IN BASE BUILDING ARCHITECTURAL PLANS OR UNCOVERED DURING DEMOLITION WHICH MAY REQUIRE DESIGN REWORK AND A CHANGE IN CONSTRUCTION SHALL HOLD THE AUTHOR OF THESE DOCUMENTS HARMLESS FROM ANY CLAIM, LIABILITY OR COSTS ASSOCIATED WITH THE HIDDEN CONDITION. THE CLIENT SHALL UNDERSTAND THAT CERTAIN PROFESSIONAL DESIGN INDUSTRY ASSUMPTIONS SHALL BE MADE REGARDING THE EXISTING CONDITIONS AND SOME OF THESE ASSUMPTIONS MAY NOT BE VERIFIABLE WITHOUT EXPANDING ADDITIONAL SUMS OF MONEY OR DESTROYING OTHERWISE ADEQUATE OR SERVICEABLE PORTIONS OF THE BUILDING
 - ALL WORK SHALL BE FREE OF DEFECTS, FOR A PERIOD OF ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION. ALL SUCH DEFECTS SHALL BE CORRECTED BY THE CONTRACTOR(S) AT NO EXPENSE TO THE OWNER.
 - THE SPACE SHALL BE THOROUGHLY CLEANED, INCLUDING WINDOWS AND BLINDS, BEFORE TURN OVER TO THE TENANT. CONTRACTOR SHALL PROVIDE A TRASH DUMPSTER FOR TRASH REMOVAL. TRASH REMOVAL FROM THE SITE SHALL OCCUR BEFORE THE END OF EACH WORKDAY.
 - FIRE RETARDANT, PRESSURE TREATED LUMBER SHALL BE USED IN WALLS WHERE WOOD IS REQUIRED, INCLUDING BLOCKING FOR WORK SURFACES, SHELVING, BRACKETS, DISPLAYS, AND/OR EQUIPMENT WHICH WILL BE MOUNTED OR ATTACHED TO FACE OF WALL AT AREAS POTENTIALLY EXPOSED TO MOISTURE.
 - ALL GYPSUM WALLBOARD INSTALLED ON RESTROOM WET WALLS AND OTHER WET AREA TO BE OF MOISTURE RESISTANT MATERIAL.
 - AT ALL RATED PARTITIONS: PARTITION TO HAVE STENCILED NOTE: "X HR FIRE BARRIER PROTECT ALL PENETRATIONS" EVERY 4'-0" O.C. AT 11'-0" A.F.F. PROVIDE MINIMUM 3" HIGH STENCILING AT LOCATIONS WITHIN 15' OF END OF WALL AND AT INTERVALS NOT EXCEEDING 30'
 - GENERAL CONTRACTOR SHALL PROVIDE AS BUILT DRAWINGS TO THE OWNER. COORDINATE ADDITIONAL REQUIREMENTS WITH OWNER.
 - CURTAIN WALL AND STOREFRONT WINDOW DIMENSIONS ARE ROUGH OPENING DIMENSIONS.



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PROPOSED NEW CONSTRUCTION FOR:
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Revisions

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PROJECT INFORMATION
A0.11



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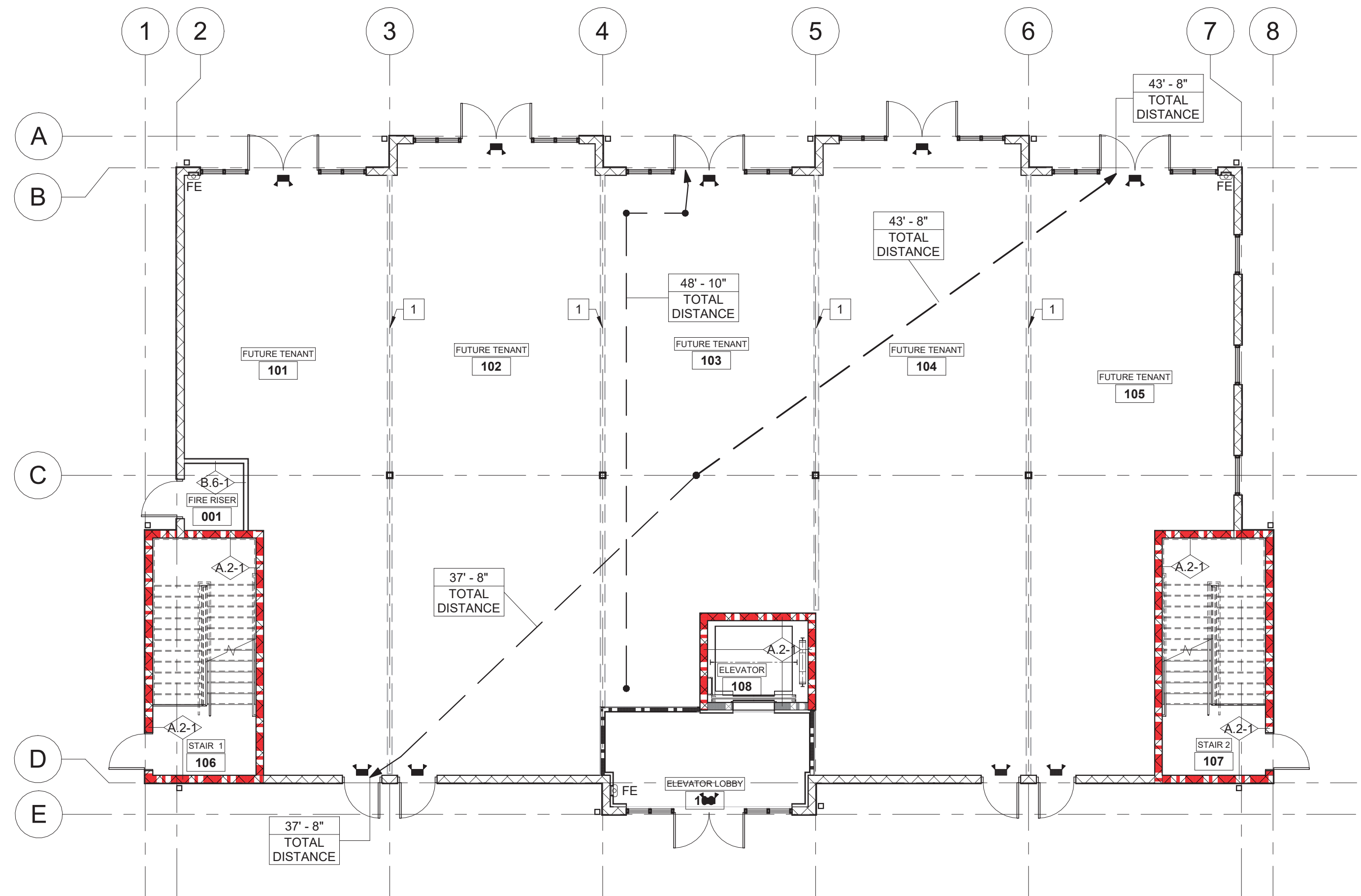
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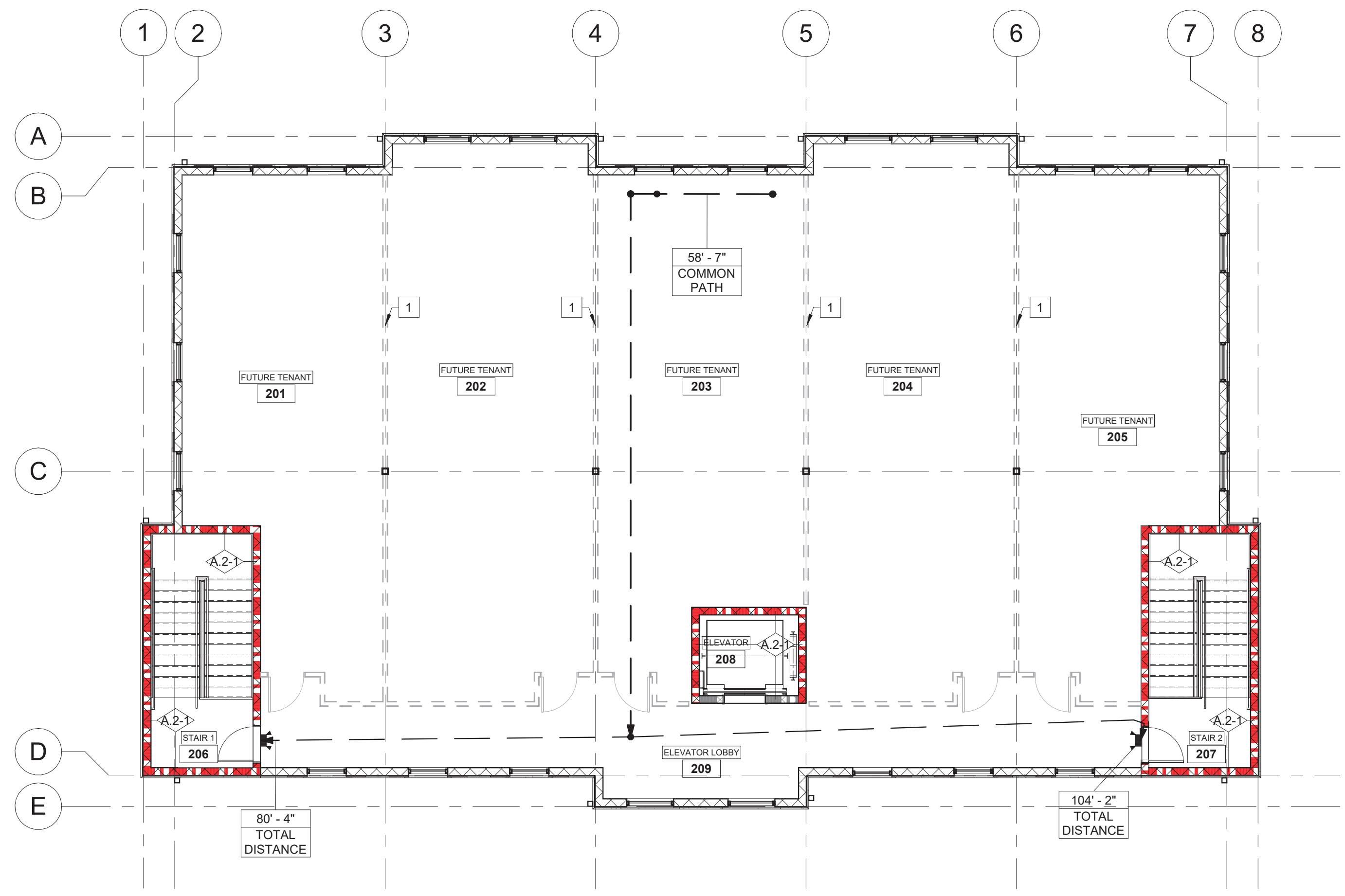
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LIFE SAFETY PLAN
A0.40



1 LIFE SAFETY PLAN - LEVEL 1
1/8" = 1'-0"



2 LIFE SAFETY PLAN - LEVEL 2
1/8" = 1'-0"

WALL / PARTITION TYPES LEGEND

- A-2-1** EXTERIOR OR INTERIOR 1-HR RATED MASONRY BLOCK WALL: 8" TWO HOUR RATED MASONRY CONSTRUCTION, SEAL ALL PENETRATIONS. PROVIDE CORE FILL 500 INSULATION OR EQUAL INSIDE BLOCK WALLS. REFER TO STRUCTURAL SHEETS, EXTERIOR ELEVATION, AND BUILDING SECTIONS FOR DETAILS AND EXTERIOR WALL FINISHES.
- A-2** EXTERIOR NON-RATED MASONRY BLOCK WALL: 8" MASONRY BLOCK WALL. PROVIDE CORE FILL 500 INSULATION OR EQUAL INSIDE BLOCK WALLS. REFER TO STRUCTURAL SHEETS, EXTERIOR ELEVATION, AND BUILDING SECTIONS FOR DETAILS AND EXTERIOR WALL FINISHES.
- 6.6-1** INTERIOR NON-RATED FULL HEIGHT PARTITION: TO BE BUILT IN ACCORDANCE TO UL U465. 3 5/8" 20 GA MIN METAL STUDS AT 16" O.C. WITH 5/8" TYPE "X" GYPSUM BOARD ON EACH SIDE FROM FLOOR SLAB TO UNDERSIDE OF BUILDING STRUCTURE. SEAL ALL PENETRATIONS. REFER TO UL DESIGN U465 AND DETAIL 3/A1.00.
- D-2** INTERIOR NON-RATED FULL HEIGHT PARTITION: 2 1/2" 20 GA MIN METAL STUDS AT 16" O.C. WITH 5/8" GYPSUM BOARD ON ONE SIDE FROM FLOOR SLAB TO UNDERSIDE OF BUILDING STRUCTURE. REFER TO DETAIL 4/A1.00.
- FUTURE INTERIOR NON-RATED TENANT SEPARATIONS. PARTITION TO BE INSTALLED UNDER SEPARATE SUBMITTAL. SHOWN FOR REFERENCE ONLY.

NOTE: REFER TO ELEVATIONS FOR FINISH DETAILS

LIFE SAFETY PLAN LEGEND

- LIGHT FIXTURE WITH EMERGENCY BATTERY BACKUP. REFER TO ELECTRICAL SHEETS.
- WALL MOUNTED EMERGENCY LIGHT FIXTURE WITH TWO (2) LAMPS AND BATTERY BACK-UP WIRED INTO BUILDING EMERGENCY SYSTEM. SEE ELECTRICAL DRAWINGS FOR FIXTURE LOCATIONS.
- ILLUMINATED EXIT LIGHT FIXTURE. SHADED QUARTER(S) DENOTE ILLUMINATED FACE(S), ARROWS DENOTE DIRECTION. SEE ELECTRICAL DRAWINGS FOR FIXTURE LOCATIONS.
- NEW FIRE EXTINGUISHER HAVING A MINIMUM RATING OF 2-A, 10-BC FOR EVERY 3,000 SQ FT. EXTINGUISHERS SHALL BE CONSPICUOUSLY LOCATED AND READILY ACCESSIBLE. THE TOP OF THE EXTINGUISHER SHALL BE MOUNTED AT 48" ABOVE FINISHED FLOOR AND IN NO CASE SHALL BE MORE THAN 5 FEET ABOVE THE FLOOR. THE BOTTOM OF THE EXTINGUISHER SHALL NOT BE LESS THAN 4 INCHES FROM THE FLOOR. TRAVEL DISTANCE TO AN EXTINGUISHER SHALL NOT EXCEED 75 FEET. INSTALL IN ACCORDANCE WITH CLASSIFICATION, RATING AND DISTRIBUTION REQUIREMENTS OF NFPA 10.
- EGRESS TAG
PROV. EGRESS WIDTH: 34" OCCUPANTS

LIFE SAFETY PLAN GENERAL NOTES

- REFER TO LIFE SAFETY PLAN FOR FIRE EXTINGUISHER LOCATIONS. FIRE EXTINGUISHER QUANTITY AND LOCATIONS SUBJECT TO AHJ FIRE MARSHAL APPROVAL.
- REFER TO AND COORDINATE WITH ELECTRICAL SHEETS FOR EXIT SIGNS AND EMERGENCY LIGHTING SPECIFICATION AND LOCATIONS.
- PER NFPA 7TH EDITION NFPA 1, SECTION 11.10.7 TWO-WAY RADIO COMMUNICATION ENHANCEMENT SYSTEMS. 11.10.1 IN ALL NEW AND EXISTING BUILDINGS, MINIMUM RADIO SIGNAL STRENGTH FOR FIRE DEPARTMENT COMMUNICATIONS SHALL BE MAINTAINED AT A LEVEL DETERMINED BY THE AHJ. PER F.A.C. 61G15-33.005 DESIGN OF COMMUNICATIONS SYSTEMS.

LIFE SAFETY PLAN REFERENCED NOTES

- FUTURE TENANT SEPARATIONS. FOR REFERENCE ONLY. TO BE SUBMITTED UNDER SEPARATE PERMIT.



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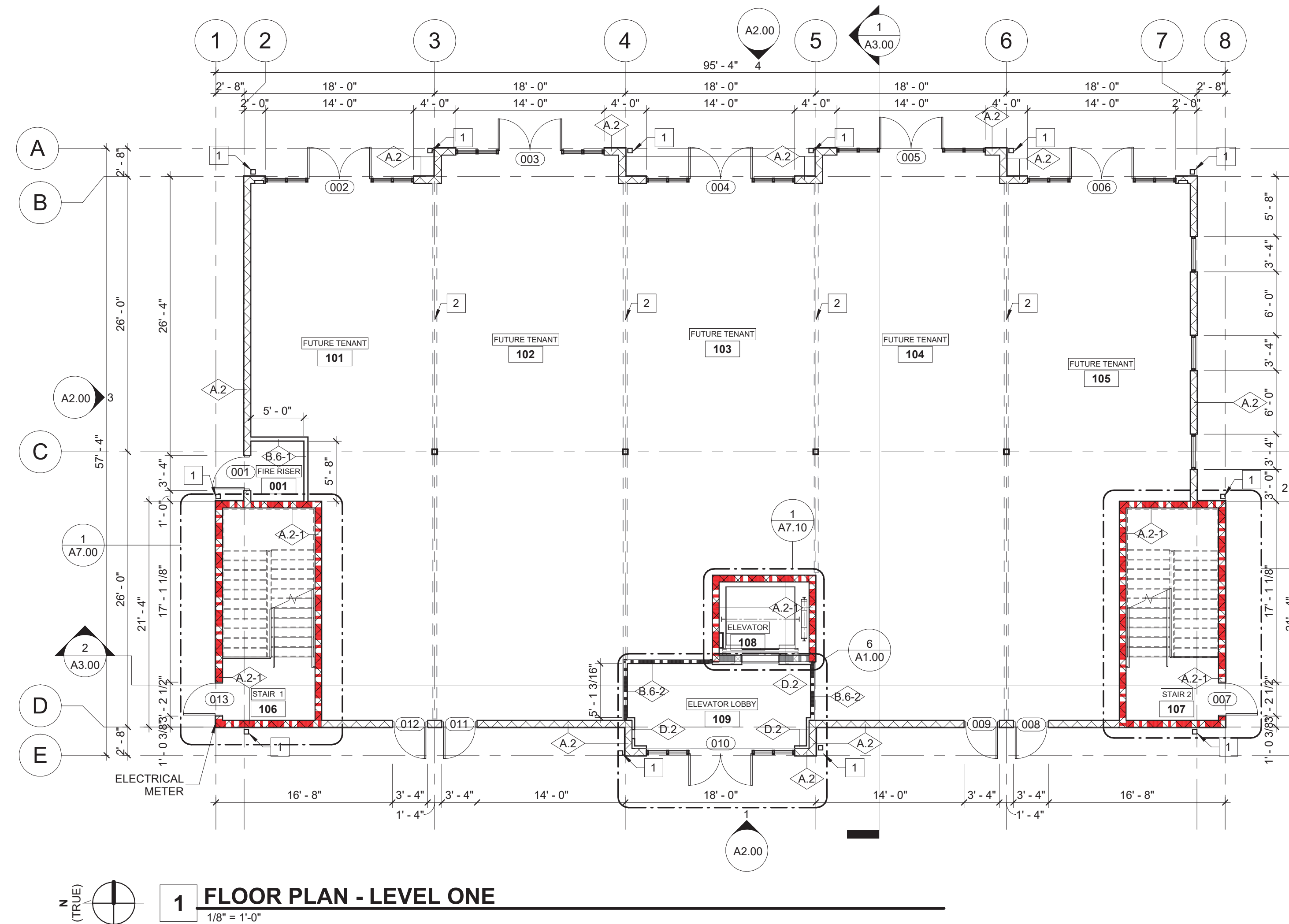
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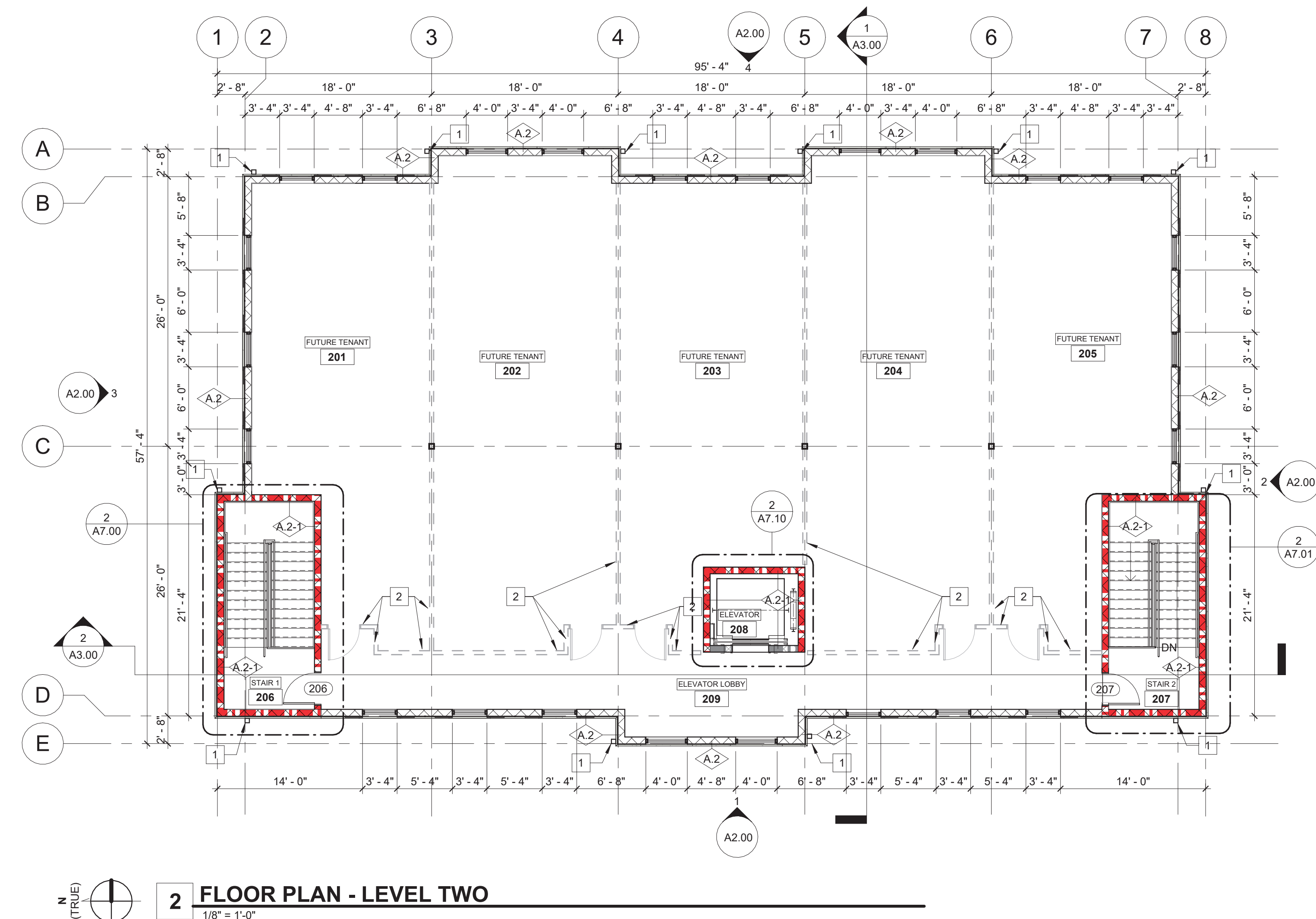
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DRAWN BY: DRT CHECKED BY: AR
FLOOR PLANS, ENLARGED RCP & WALL SECTIONS

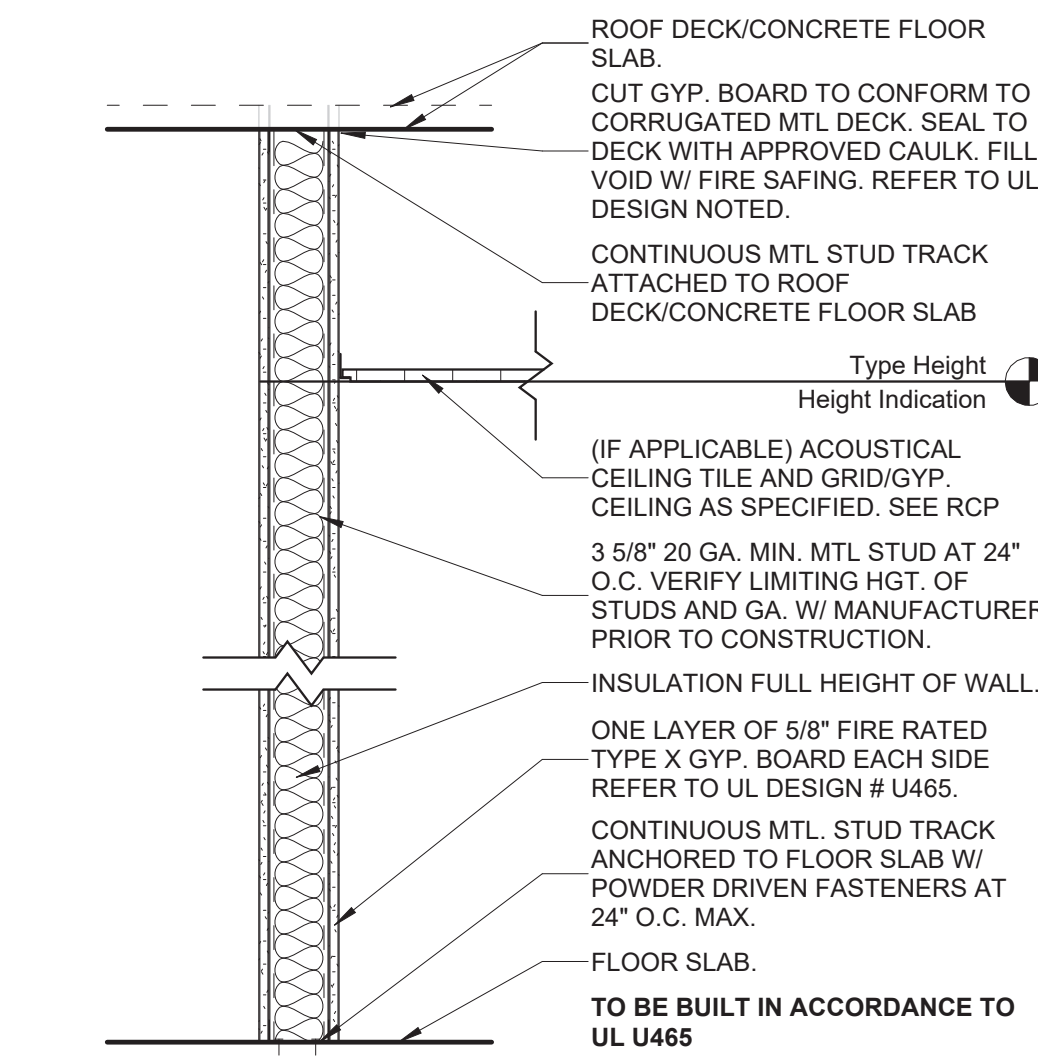
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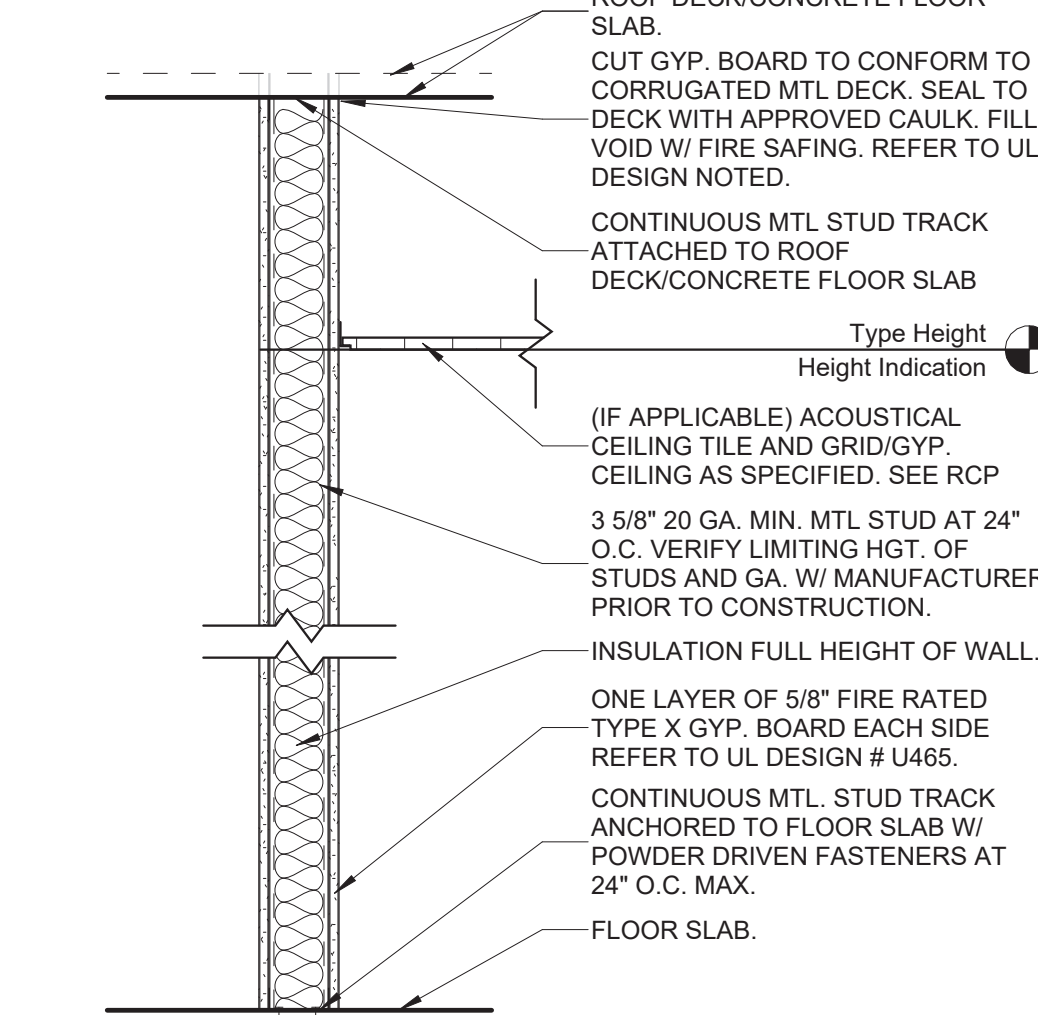
1 FLOOR PLAN - LEVEL ONE
1/8" = 1'-0"



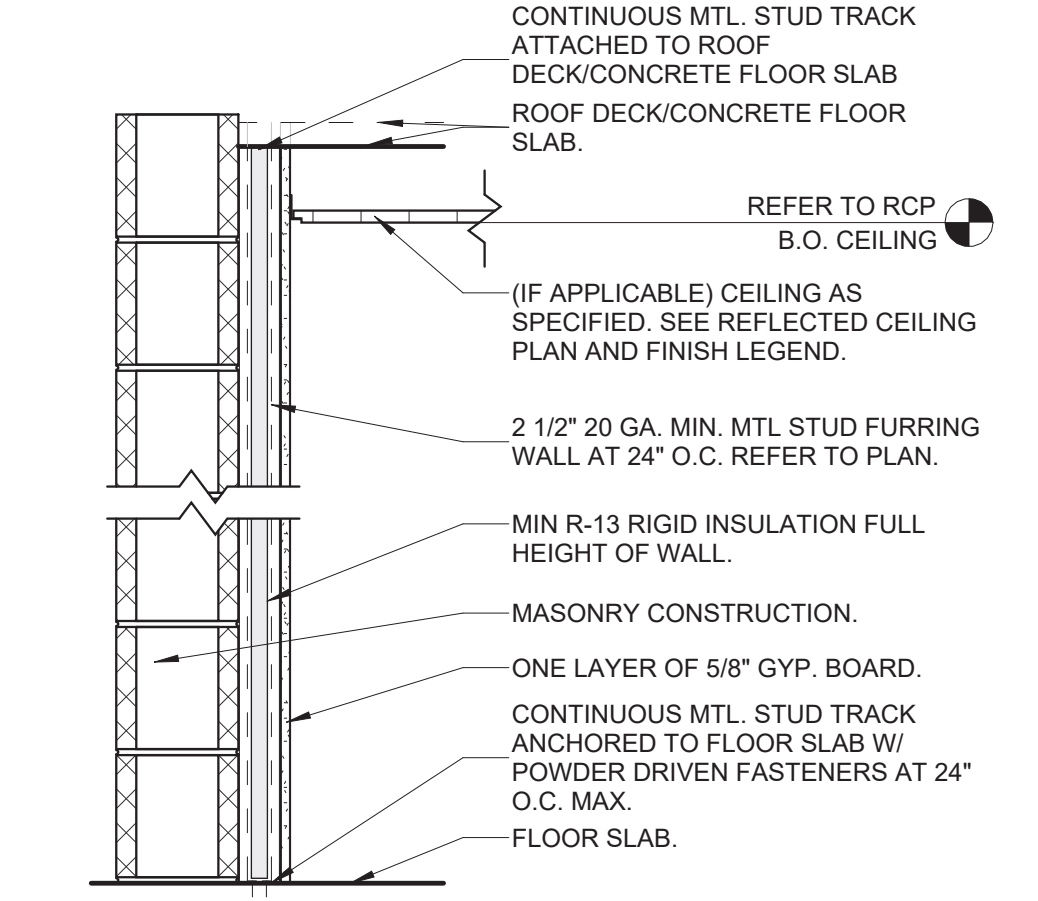
2 FLOOR PLAN - LEVEL TWO
1/8" = 1'-0"



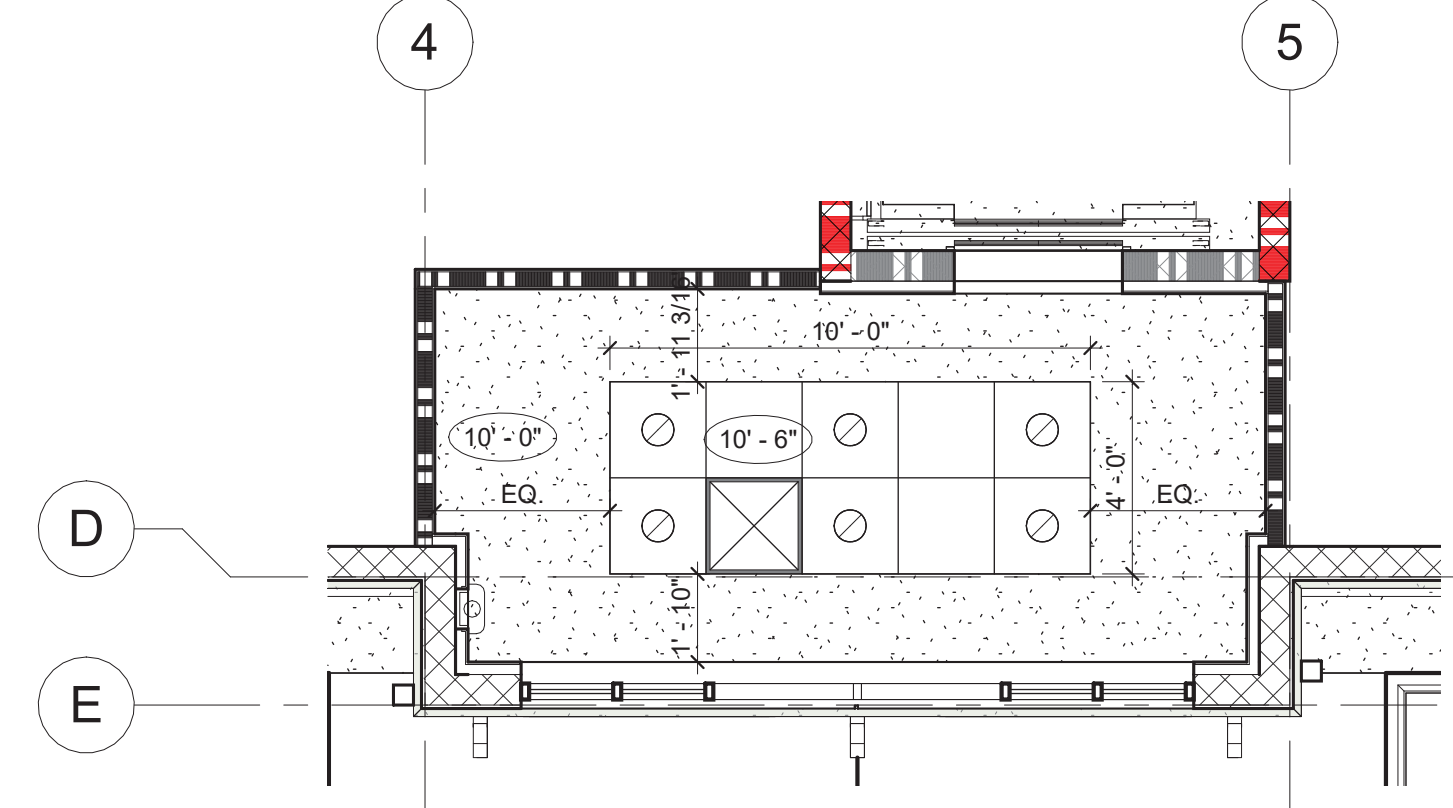
3 WALL SECTION - TYPE B6-1
1" = 1'-0"



4 WALL SECTION - TYPE B6-2
1" = 1'-0"

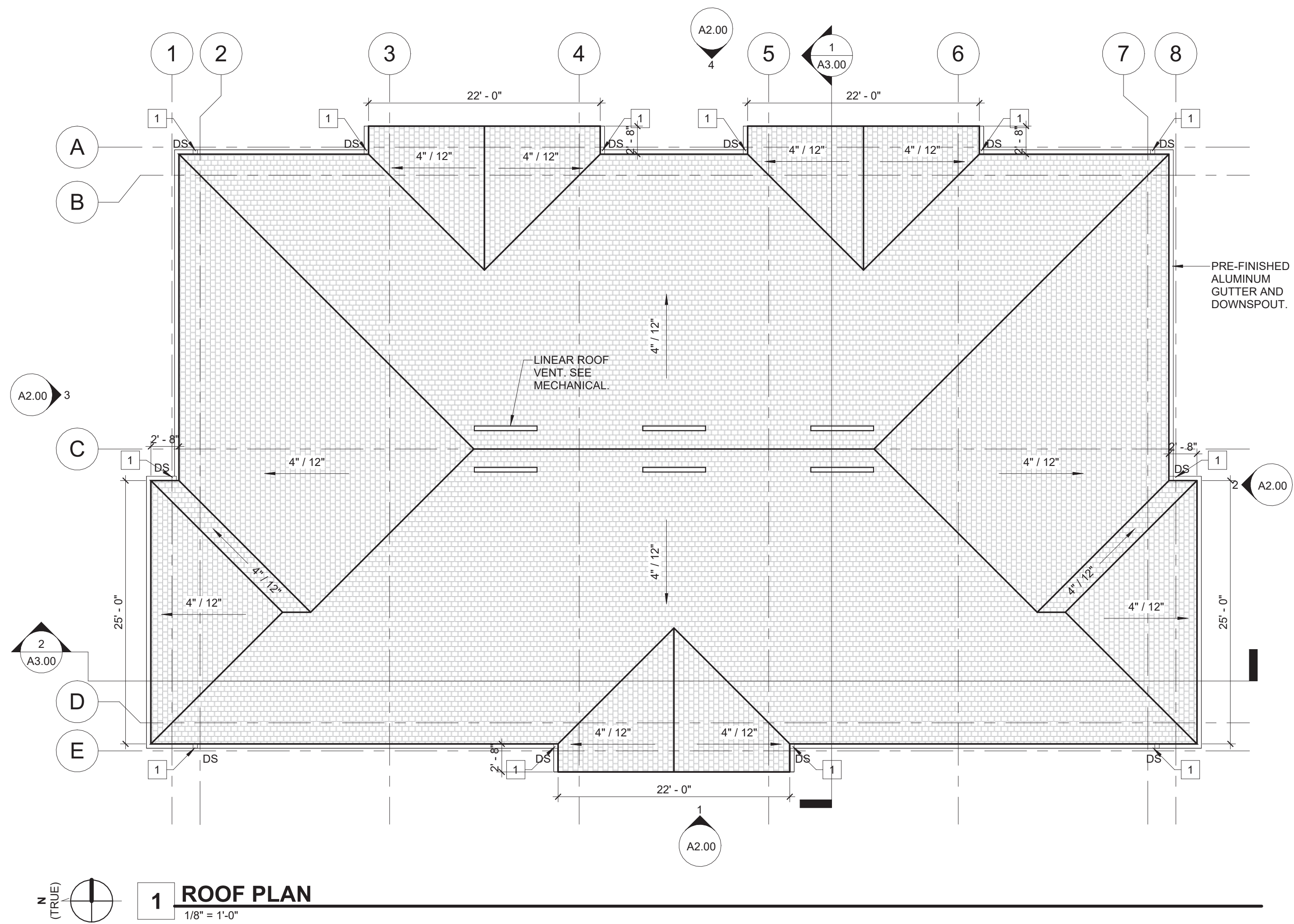


5 WALL SECTION - TYPE D.2
1" = 1'-0"



6 ENLARGED RCP
1/4" = 1'-0"

WALL / PARTITION TYPES LEGEND	
	EXTERIOR OR INTERIOR 1-HR RATED MASONRY BLOCK WALL: 8" TWO HOUR RATED MASONRY CONSTRUCTION. SEAL ALL PENETRATIONS. PROVIDE CORE FILL 500 INSULATION OR EQUAL INSIDE BLOCK WALLS. REFER TO STRUCTURAL SHEETS, EXTERIOR ELEVATION, AND BUILDING SECTIONS FOR DETAILS AND EXTERIOR WALL FINISHES.
	EXTERIOR NON RATED MASONRY BLOCK WALL: 8" MASONRY BLOCK WALL. PROVIDE CORE FILL 500 INSULATION OR EQUAL INSIDE BLOCK WALLS. REFER TO STRUCTURAL SHEETS, EXTERIOR ELEVATION, AND BUILDING SECTIONS FOR DETAILS AND EXTERIOR WALL FINISHES.
	INTERIOR NON-RATED FULL HEIGHT PARTITION: TO BE BUILT IN ACCORDANCE TO UL U465. 3 5/8" 20 GA MIN METAL STUDS AT 16" O.C. WITH 5/8" TYPE "X" GYPSUM BOARD ON EACH SIDE FROM FLOOR SLAB TO UNDERSIDE OF BUILDING STRUCTURE. SEAL ALL PENETRATIONS. REFER TO UL DESIGN U465 AND DETAIL 3/A1.00.
	INTERIOR RATED FULL HEIGHT PARTITION: 3 5/8" 20 GA MIN METAL STUDS AT 16" O.C. WITH 5/8" TYPE "X" GYPSUM BOARD ON EACH SIDE FROM FLOOR SLAB TO UNDERSIDE OF BUILDING STRUCTURE. SEAL ALL PENETRATIONS. REFER TO UL DESIGN U465 AND DETAIL 3/A1.00.
	INTERIOR NON-RATED FULL HEIGHT PARTITION: 2 1/2" 20 GA MIN METAL STUDS AT 18" O.C. WITH 5/8" GYPSUM BOARD ON ONE SIDE FROM FLOOR SLAB TO UNDERSIDE OF BUILDING STRUCTURE. REFER TO DETAIL 4/A1.00.
	FUTURE INTERIOR NON-RATED TENANT SEPARATIONS: PARTITION TO BE INSTALLED UNDER SEPARATE SUBMITTAL, SHOWN FOR REFERENCE ONLY.
NOTE: REFER TO ELEVATIONS FOR FINISH DETAILS	
FLOOR PLAN GENERAL NOTES	
1. ALL GYPSUM BOARD PARTITIONS ARE TO BE TAPED, BEDDED AND SANDED TO RECEIVE WALL FINISH.	
2. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL GOVERN. LARGE SCALE DRAWINGS SHALL GOVERN OVER SMALLER SCALE DRAWINGS. INFORM ARCHITECT OF ALL DISCREPANCIES PRIOR TO CONSTRUCTION.	
3. ALL DIMENSIONS ARE FROM FACE OF GYP. BOARD FINISH TO CONCRETE UNLESS OTHERWISE NOTED.	
4. HINGE SIDES OF ALL DOORS ARE TO BE INSTALLED 4" FROM ADJACENT WALLS UNLESS OTHERWISE NOTED.	
5. FIRE WALL TO HAVE STENCILED NOTE: "1 HR FIREWALL" PROTECT ALL PENETRATIONS" EVERY 4'-0" O.C. AT 11'-0" A.F.F.	
6. GENERAL CONTRACTOR SHALL PROVIDE AS BUILT DRAWINGS TO THE OWNER. COORDINATE ADDITIONAL REQUIREMENTS WITH OWNER.	
7. ALL EXTERIOR CMU WALLS TO HAVE CORE-FILL 500 FOAM INSULATION AS MANUFACTURED BY TAILORED CHEMICAL PRODUCTS (OR EQUAL) FROM FLOOR SLAB TO TOP OF ROOF INSULATION (TYP.)	
# FLOOR PLAN REFERENCED NOTES	
1. DOWNSPOUTS CONNECTED TO STORM SYSTEM. SEE CIVIL AND ELEVATIONS FOR DETAILS.	
2. FUTURE TENANT SEPARATIONS. FOR REFERENCE ONLY. TO BE SUBMITTED UNDER SEPARATE PERMIT.	
REFLECTED CEILING PLAN LEGEND	
	6" RECESSED LED DOWNLIGHT FIXTURE. REFER TO ELECTRICAL SHEETS FOR SPECIFICATION.
	INDICATES CEILING ELEVATION ABOVE FINISH FLOOR.



1 ROOF PLAN
1/8" = 1'-0"

ROOF PRODUCT NOTES
1. ROOF SHINGLES SHALL BE MIN. 30 YEAR WARRANTY COMMERCIAL GRADE.
2. ROOF: FIBERGLASS SHINGLES ON PEEL & STICK ROOF UNDERLAYMENT O/PLYWOOD ATTACHED TO PRE-ENGINEERED WOOD ROOF TRUSSES. REFER TO STRUCTURAL PLANS. MANUFACTURER: OWENS CORNING COLOR: "SAND DUNE" NOTE: DURATION "TRUDEFINITION"
3. ASPHALT SHINGLES TO MEET REQUIREMENTS IN ACCORDANCE WITH FBC 2010 TABLE 1507.2.7.1 - COMMERCIAL BUILDINGS 160 (ult) - 130 (asd) ASTM D7158-H, ASTM D3161-F.
4. TRUSS ENGINEERING SHALL BE BROUGHT IN PRIOR TO ERECTION OF THE ROOF TRUSSES AND AFTER REVIEWED BY THE ARCHITECT OF RECORD FOR REVIEW. TRUSS CONNECTORS TO MEET ALL UPLIFTS FOR BOTH SINGLE PLY AND DOUBLE PLY GIRDERS.
5. R-38 MIN. BATT INSULATION BETWEEN TRUSSES TO BE PROVIDED WITH THE FUTURE INTERIOR TENANT DESIGN. OWENS CORNING ECOTOUCH THERMAL BATT INSULATION KRAFT-FACED.
ROOF PLAN REFERENCED NOTES
1. DOWNSPOUTS CONNECTED TO STORM SYSTEM. SEE CIVIL AND ELEVATIONS FOR DETAILS.
ROOF PLAN UNREFERENCED NOTES
1. REFER TO PLUMBING DRAWINGS FOR ROOF DRAIN, OVERFLOW DRAIN OR GUTTER AND DOWNSPOUT SIZES. SEE CIVIL FOR CONTINUATION.
ATTIC VENTILATION CALCULATIONS
REQUIRED ROOF VENTILATION 4,736 SQ FT = 711,072 SQ IN 711,072 SQ IN / 300 = 2,371 SQ IN 2,371 SQ IN / 2 = 1,186 SQ IN
ROOF OFF RIDGE CALCULATIONS ROOF OFF RIDGE REQUIRED VENTILATION = 1,186 SQ IN 6" OFF RIDGE ROOF VENT = 210 SQ IN 1,186 SQ IN / 210 SQ IN = 5.64 ~ 6
ROOF OFF RIDGE VENT PROVIDED (6) 6" OFF RIDGE ROOF VENT
ROOF SOFFIT VENT CALCULATIONS SOFFIT VENT REQUIRED VENTILATION = 1,186 SQ IN 6" SOFFIT VENT = 18 SQ IN PER LINEAR FT 1,186 SQ IN / 7.5 SQ IN = 158.1 ~ 159 SQ IN
SOFFIT VENT PROVIDED VENTILATION 320 SOFFIT LINEAR FT X 18 SQ IN = 5,760 SQ IN



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ROOF PLAN
A1.30



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EXTERIOR ELEVATIONS
A2.00

MATERIAL LEGEND

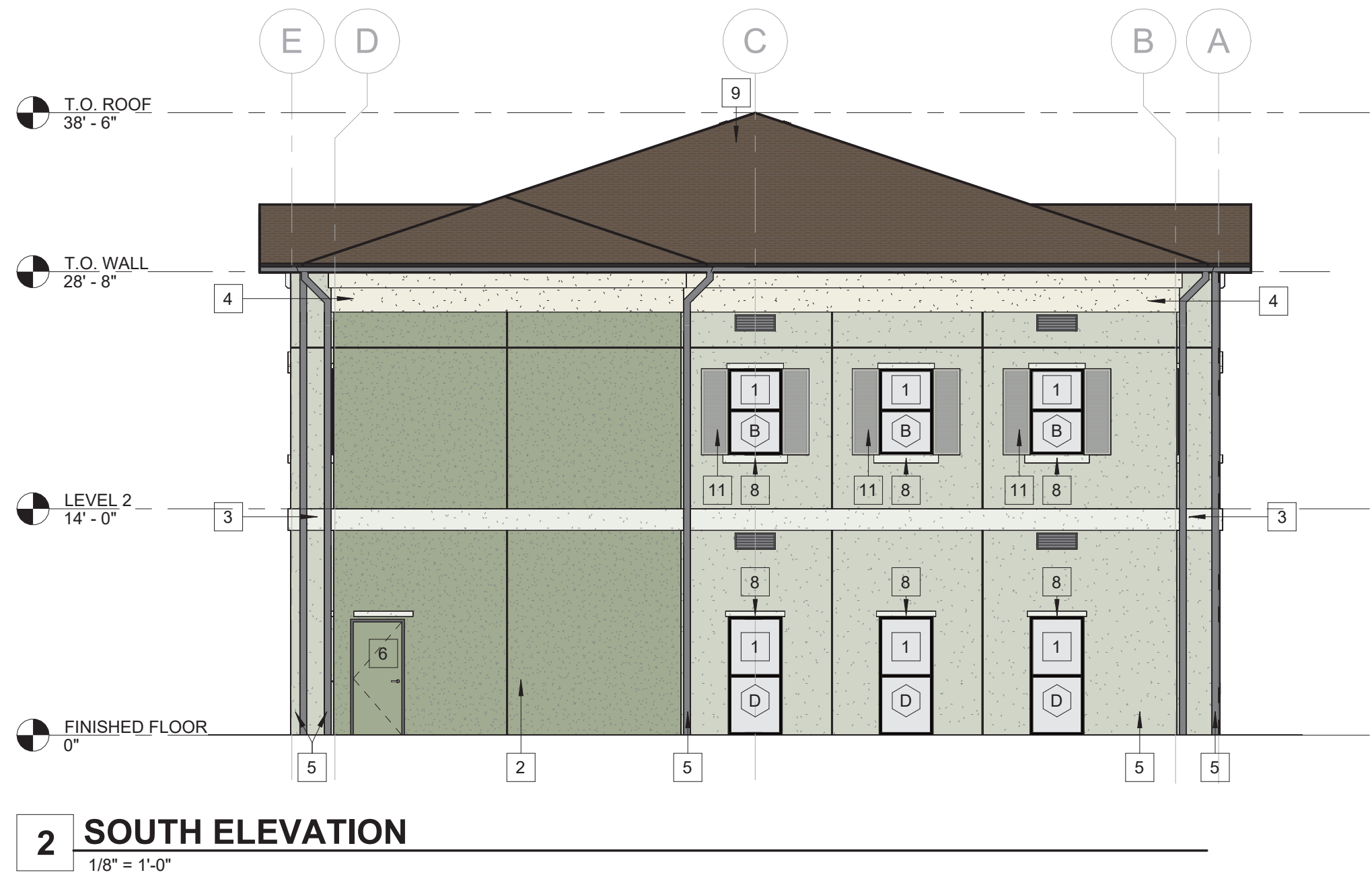
- INDICATES STUCCO FINISH
TYPE: 7/8" STUCCO FINISH (THREE LAYER SYSTEM.)
COLOR: SW6070 HERON PLUME OR APPROVED EQUAL
- INDICATES STUCCO FINISH
TYPE: 7/8" STUCCO FINISH (THREE LAYER SYSTEM.)
COLOR: SW6164 SVELTE SAGE OR APPROVED EQUAL
- INDICATES STUCCO FINISH
TYPE: 7/8" STUCCO FINISH (THREE LAYER SYSTEM.)
COLOR: SW6192 COASTAL PLAIN OR APPROVED EQUAL
- INDICATES METAL FINISH
MANUFACTURER: TBD
TYPE: PRE-FINISHED ALUMINUM
COLOR: DARK BRONZE TO MATCH STOREFRONT

ELEVATION UNREFERENCED NOTES

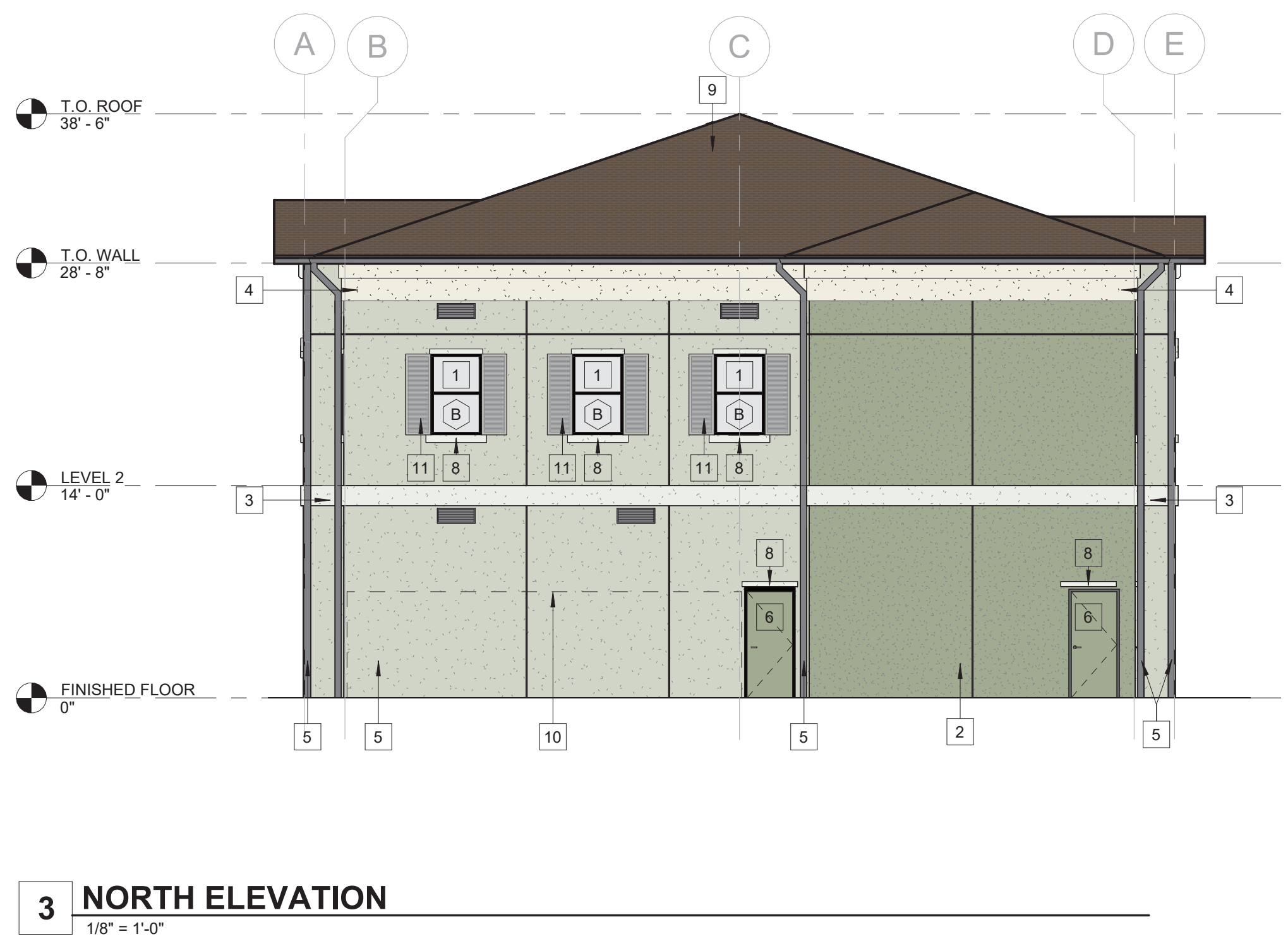
- REFER TO BUILDING SECTIONS FOR ADDITIONAL INFORMATION.
- ALL GUTTERS, DOWNSPOUTS, TRIM AND FLASHING TO BE PRE-FINISHED TO MATCH ADJACENT WALL, PANEL OR CURTAINWALL COLOR AND FINISH.
- SUBMIT FINISH SAMPLES TO OWNER/ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO ORDER.
- CONTRACTOR TO COORDINATE ANY SIGN LOCATIONS AND SIGNAGE INSTALLATION REQUIREMENTS WITH SIGN CONTRACTOR AND OWNER. SIGNAGE IF SHOWN IS FOR GENERAL REFERENCE ONLY AND TO BE SUBMITTED UNDER SEPARATE PERMIT AND COVER
- REFER TO ELECTRICAL SHEETS FOR EXTERIOR LIGHTING AND SITE LIGHTING INFORMATION.
- TOP OF ALL EIFS BANDS TO HAVE A 1/4" PER FOOT MINIMUM SLOPE. REFER TO MANUFACTURER SPECIFICATIONS.

ELEVATION REFERENCED NOTES

- ALUMINUM STOREFRONT SYSTEM. REFER TO WINDOW ELEVATIONS FOR DETAILS
- 7/8" STUCCO FINISH W/ 3/4" REVEALS
- EIFS BAND
- EIFS WALL CORNICE. SEE SECTIONS AND DETAILS
- PRE-FINISHED DOWNSPOUT TYP. TO BE COORDINATED WITH PLUMBING SHEET FOR SIZING.
- PAINTED INSULATED HOLLOW METAL DOOR TYP.
- FYPON BRACKET - BKT12X24X3
- EIFS TRIM
- ARCHITECTURAL ASPHALT SHINGLE ROOF. SEE ROOF PLAN FOR DETAILS
- PROPOSED LOCATION FOR ELECTRICAL PANELS AND MECHANICAL UNITS. SEE MECHANICAL AND ELECTRICAL PLANS FOR EXACT LOCATION.
- BAHAMA SHUTTERS, 1'-8" WIDE X 5'-4" HIGH, TO MATCH STOREFRONT HEIGHT.



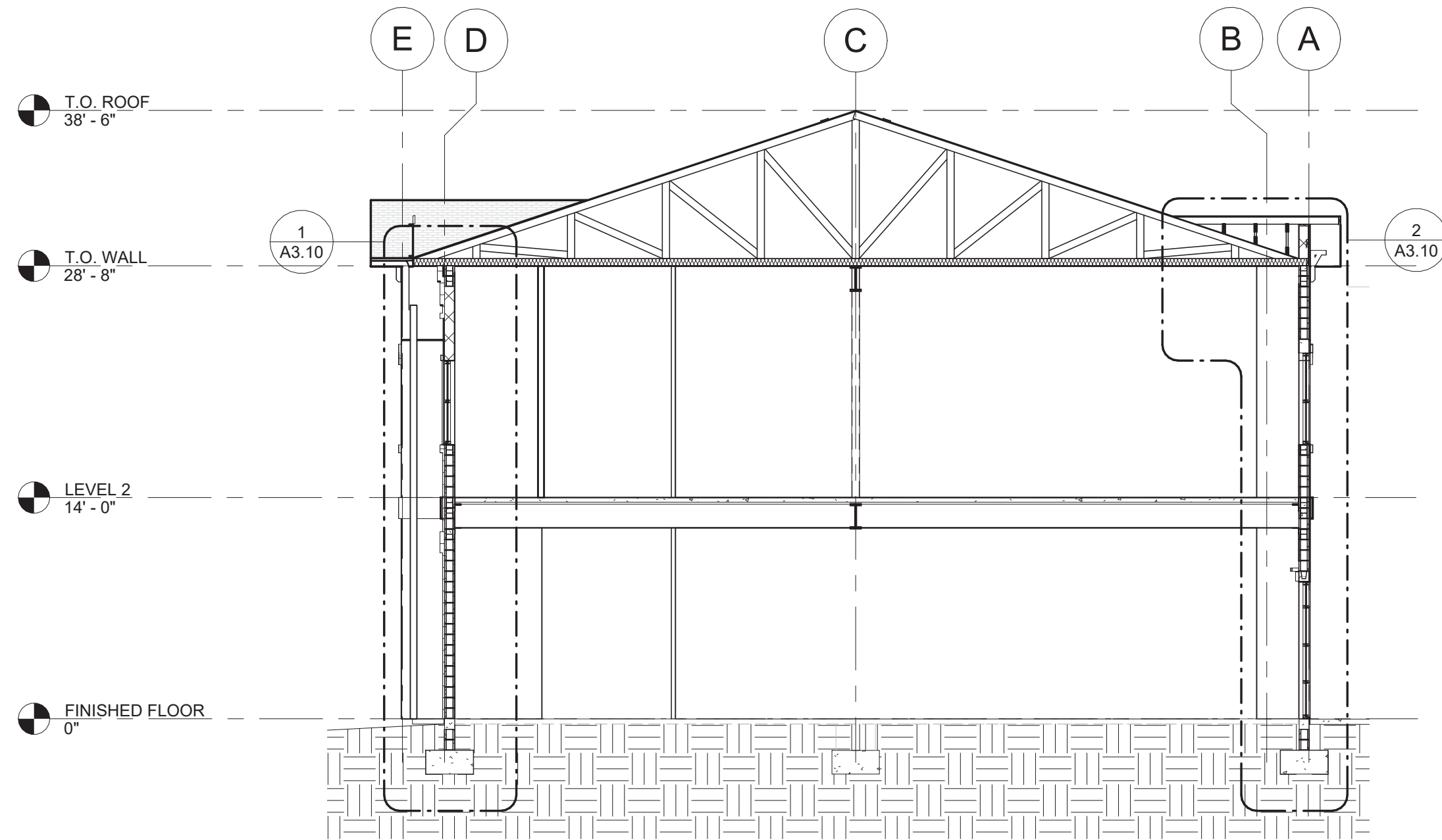
ALL LOUVERS 30X12





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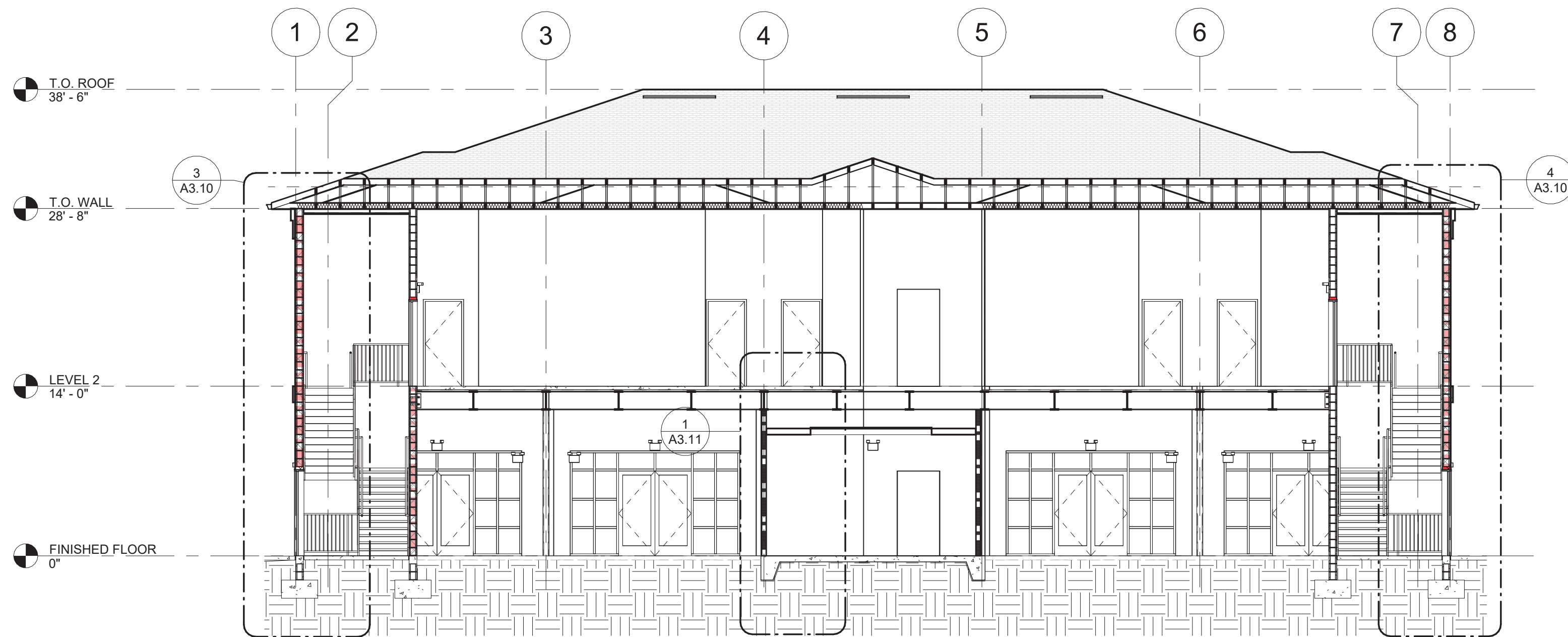
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1 BUILDING SECTION
1/8" = 1'-0"

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2 BUILDING SECTION
1/8" = 1'-0"

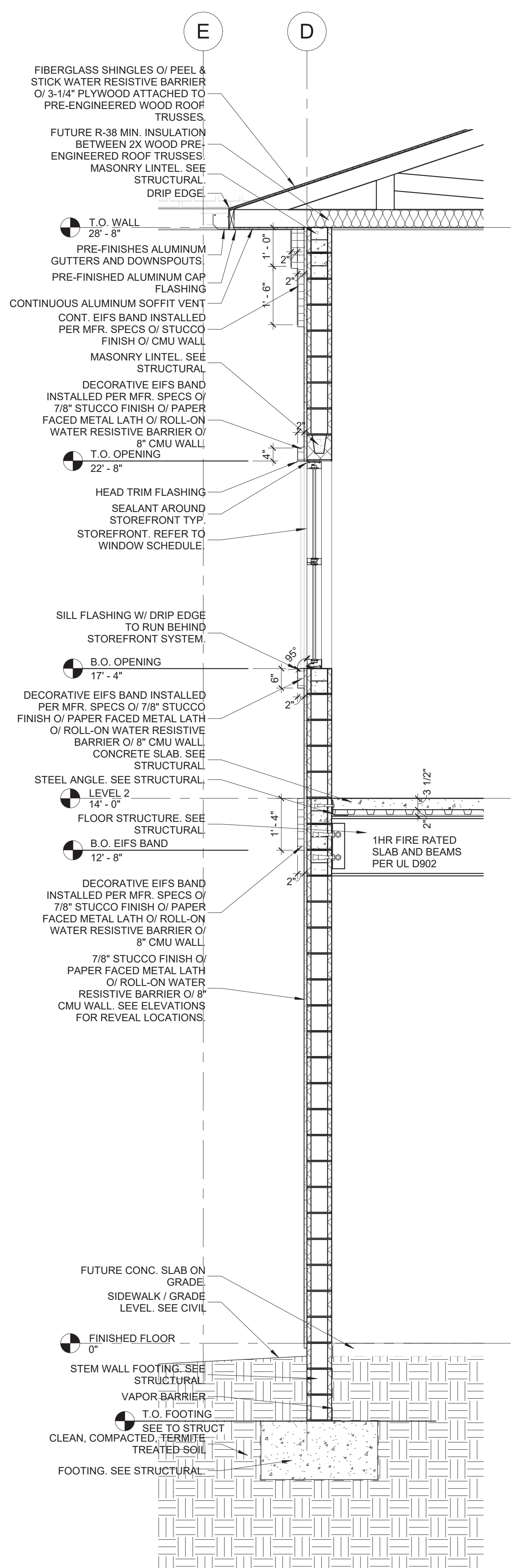
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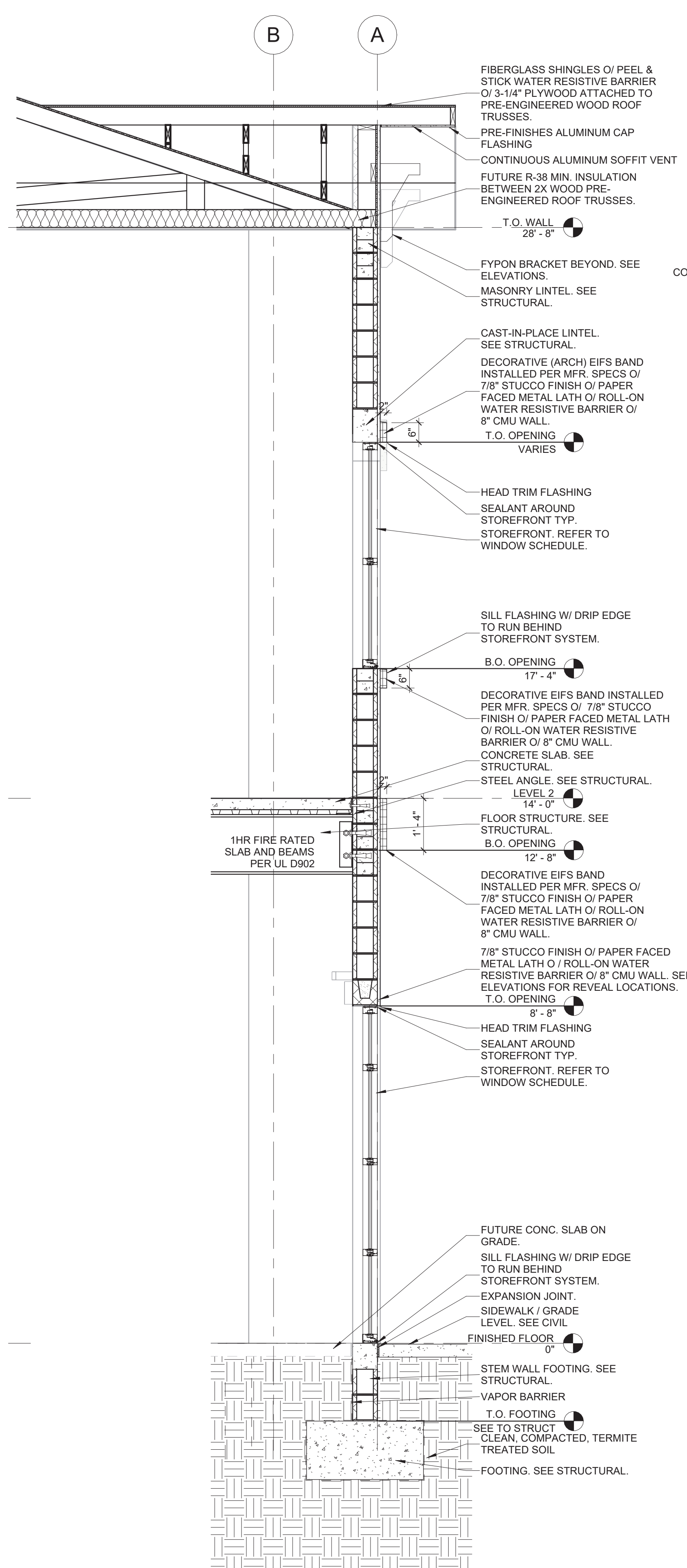
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CHECKED BY: AR

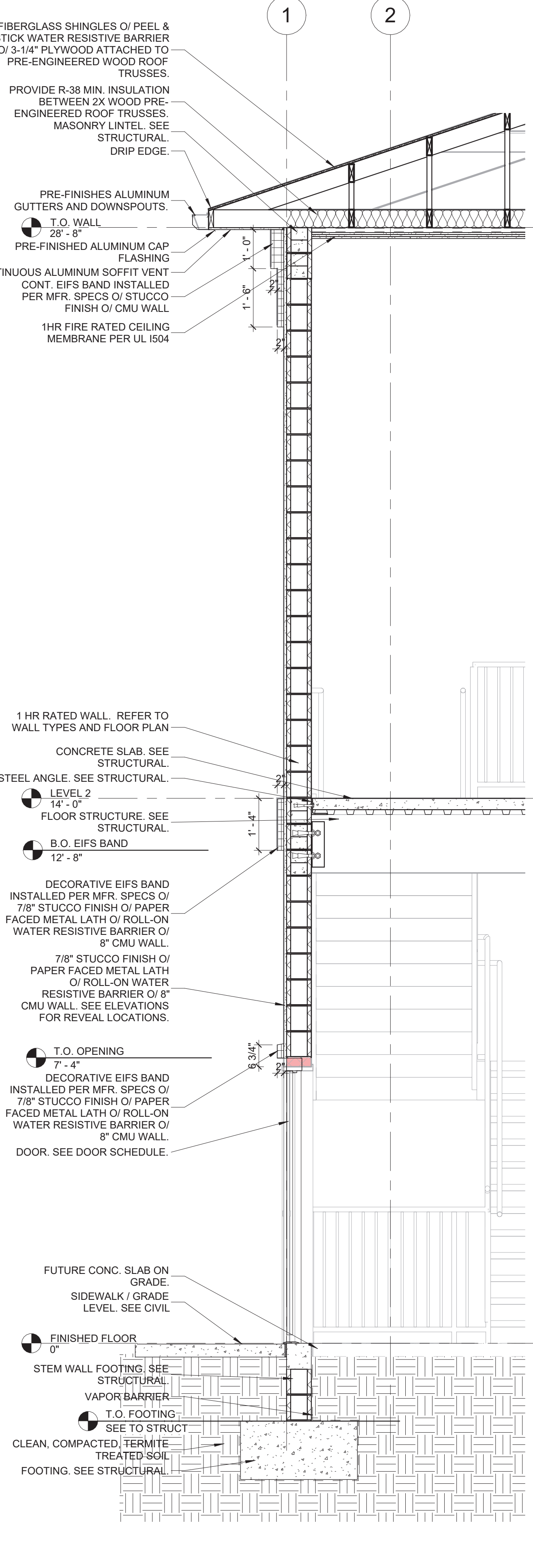
BUILDING SECTION
A3.00



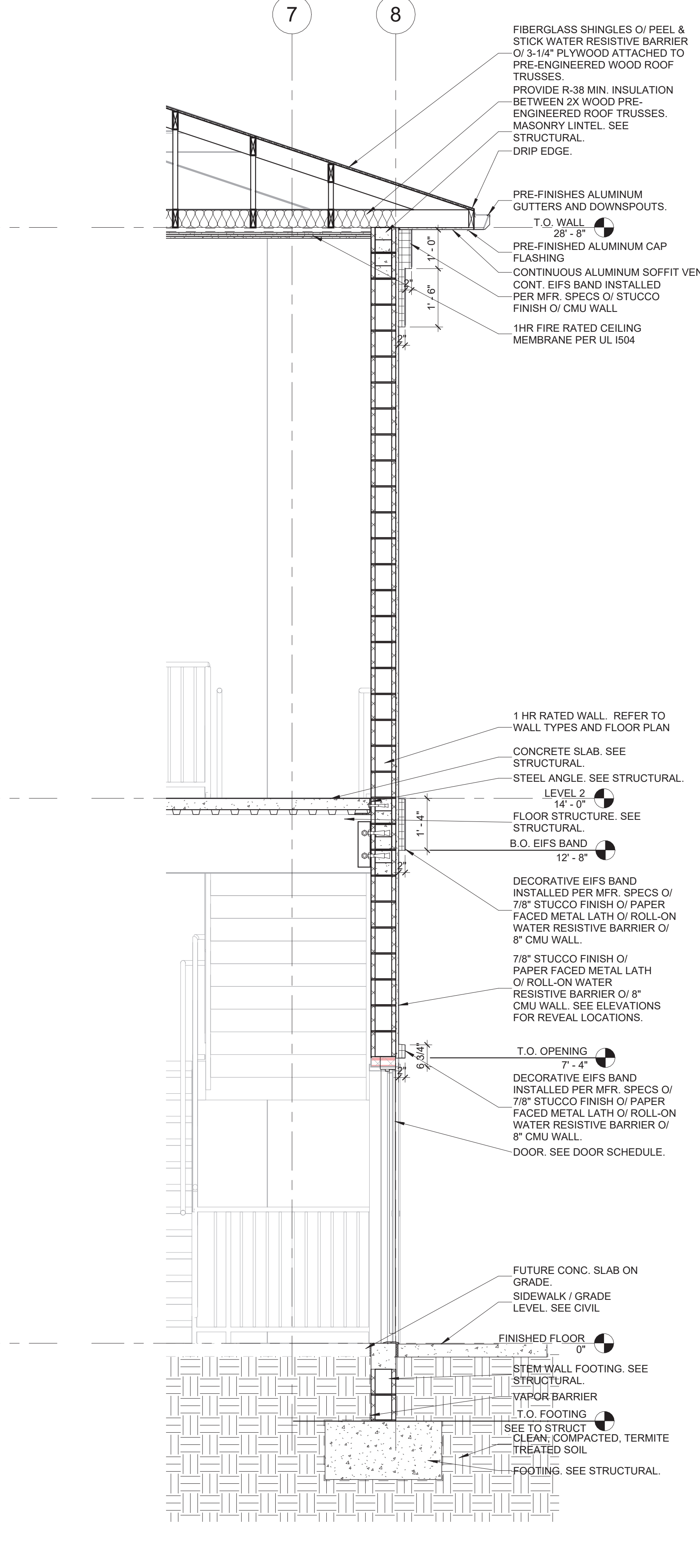
1 ENLARGED WALL SECTION
1/2" = 1'-0"



2 ENLARGED WALL SECTION
1/2" = 1'-0"



3 ENLARGED WALL SECTION
1/2" = 1'-0"



4 ENLARGED WALL SECTION
1/2" = 1'-0"



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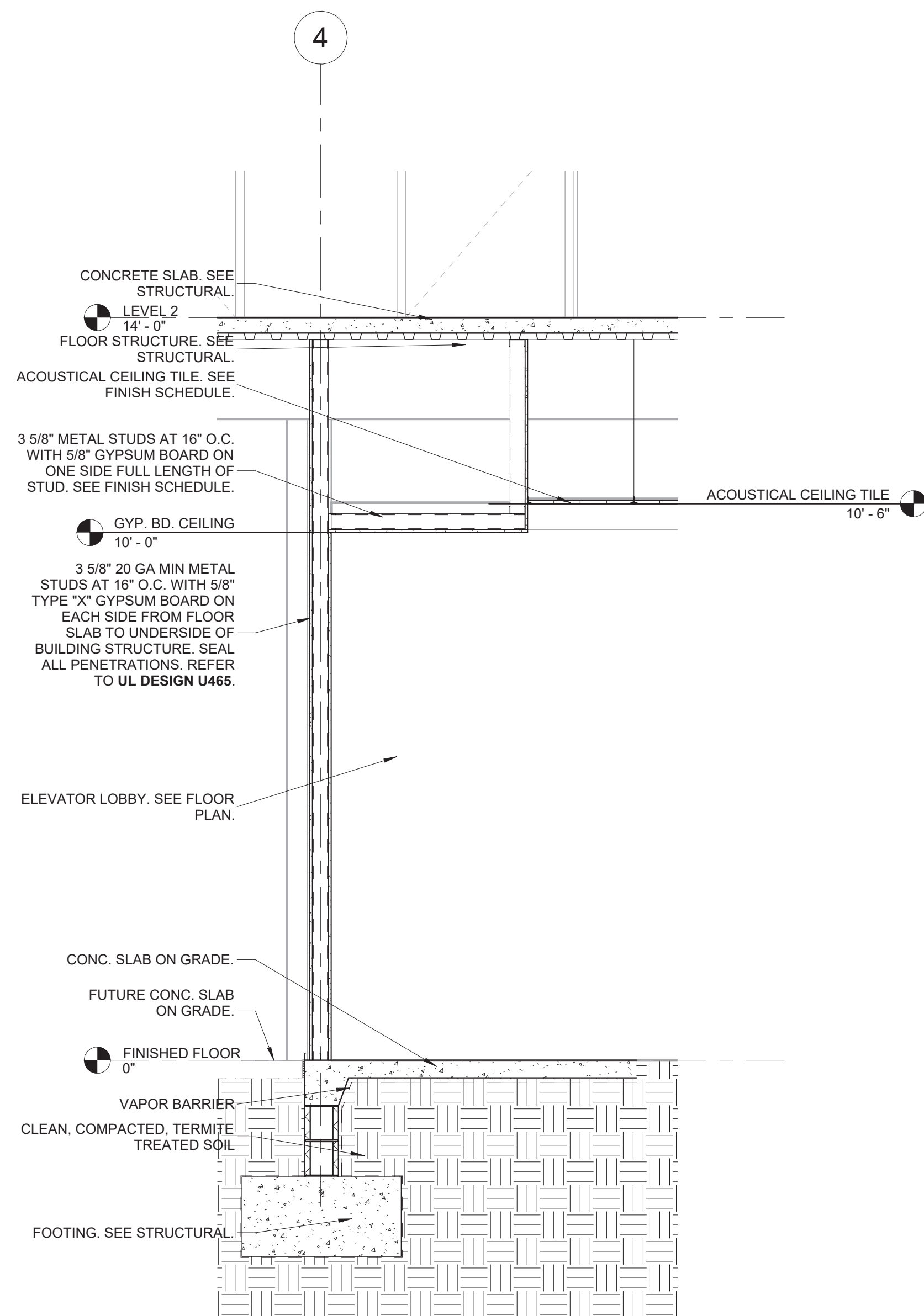
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ENLARGED SECTIONS

A3.11



1 ENLARGED WALL SECTION
1/2" = 1'-0"



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Permit Set
Issue Date: 09/19/2025
Project Number: 24082
DRAWN BY: DRT CHECKED BY: AR
DOOR, WINDOW & FINISH SCHEDULE

A5.00

DOOR AND HARDWARE SCHEDULE										DOOR HARDWARE SET LEGEND		DOOR PRODUCT NOTES:	DOOR & HARDWARE COMPLIANCE NOTES	DOOR & HARDWARE GENERAL NOTES																																																							
#	DOOR		FINISH	TYPE	FRAME		HARDWARE SET	LABEL	COMMENTS	#	DESCRIPTION	BASIS OF DESIGN:	DOOR & HARDWARE COMPLIANCE NOTES	DOOR & HARDWARE GENERAL NOTES																																																							
	SIZE COMBINED	MATERIAL			MATERIAL	TYPE																																																															
FINISHED FLOOR																																																																					
001	3'-0" x 7'-0" x 1 3/4"	HOLLOW METAL	PAINT	B	H.M.	1	4	--		1 EXTERIOR STOREFRONT DOORS	LOCK SET 1 1/2 PAIR BUTT HINGES SILENCERS (3 PER FRAME MIN) DOOR STOP. FLOOR MOUNTED CLOSER WEATHERSTRIPPING RAIN HOOD DOOR SWEEP LOW PROFILE THRESHOLD	<ul style="list-style-type: none"> EXTERIOR STEEL DOOR SYSTEM: MANUFACTURER: CECO DOOR PRODUCTS MODEL: "3070 SERIES" 16 GA. STEEL OUTSWING COMMERCIAL STEEL DOOR IN 16 GA. STEEL FRAME INSTALLATION PER MANUFACTURERS SPECIFICATIONS APPROVAL: FPA # 4553-R14 STOREFRONT DOORS: MANUFACTURER: YKK AP AMERICA YKK ENTRANCES MODEL: 35H, SINGLE ACTING, 1" GLAZING, IMPACT SERIES. INSTALLATION PER MANUFACTURERS SPECIFICATIONS APPROVAL: FLA # 16554.1-R13 	<ol style="list-style-type: none"> ALL DOORS OVER 7'-0" A.F.F. SHALL HAVE 2 PAIR BUTT HINGES. HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT-PINCHING, OR TWISTING OF THE WRIST TO OPERATE. LEVER-OPERATED MECHANISMS, PUSH-TYPE MECHANISMS, AND U-SHAPED HANDLES ARE ACCEPTABLE DESIGNS. HARDWARE REQUIRED FOR ACCESSIBLE DOOR PASSAGE SHALL BE MOUNTED NO HIGHER THAN 48 INCHES ABOVE FINISHED FLOOR. BOTH SIDES OF ALL DOORS SHALL HAVE THE SAME ELEVATION WITH NO MORE THAN 1/2" DIFFERENCE ON EITHER SIDE IN COMPLIANCE WITH CHANGES IN LEVEL DETAIL THIS SHEET. THE FORCES REQUIRED TO FULLY OPEN FIRE-RATED (LABELED) DOORS SHALL NOT EXCEED A 15 LBF TO RELEASE THE LATCH, A 30 LBF TO SET THE DOOR IN MOTION AND A 15 LBF TO OPEN THE DOOR TO THE MINIMUM REQUIRED WIDTH. THESE FORCES BEING APPLIED TO THE LATCH STILE. EXTERIOR SWINGING DOORS SHALL BE OPENABLE BY A FORCE OF NOT MORE THAN 8.5 POUNDS APPLIED TO THE LATCH STILE. NON-RATED INTERIOR SWINGING DOORS SHALL BE OPENABLE BY A FORCE OF NOT MORE THAN FIVE (5) POUNDS APPLIED TO THE LATCH STILE. ALL DOOR THRESHOLDS SHALL BE LOW PROFILE AND SHALL COMPLY WITH THE "CHANGES IN LEVEL DETAIL ON THIS SHEET. ALL DOORS SHALL BE INSTALLED TO MEET REQUIRED CLEARANCES AS SHOWN IN PROVISIONS FOR BARRIER FREE DOORS ON THIS SHEET. PROVIDE HARDWARE SUBMITTAL FOR REVIEW PRIOR TO ORDER. ALL DOORS AND HARDWARE SHALL COMPLY WITH FBCA 404.2.7 AND 309. HARDWARE SHALL BE MOUNTED MINIMUM 34" A.F.F. AND 48" MAXIMUM A.F.F. 	<ol style="list-style-type: none"> PROVIDE DOOR STOPS, HINGES AND SILENCERS AT ALL DOORS. COORDINATE ALL DOOR HEIGHTS AND ROUGH OPENINGS PRIOR TO PRICING/FABRICATIONS. ALL DOOR TYPES SHALL BE AS SPECIFIED OR APPROVED EQUAL. ALL DOOR TYPES TO BE APPROVED BY OWNER PRIOR TO ORDER. ALL SWINGING DOOR HARDWARE SHALL BE LEVER ACTION; SCHLAGE OR APPROVED EQUAL. REFER TO DOOR MANUFACTURER INSTALLATION INSTRUCTIONS FOR DOOR INSTALLATION DETAILS. COORDINATE ANY POWERED DOOR HARDWARE AND REQUIRED CONDUIT WITH ELECTRICAL AND LOW VOLTAGE AND SECURITY DESIGN FURNISHED BY OWNER'S VENDORS. GC TO COORDINATE KEYING AND LOCATIONS OF ALL LOCKSETS WITH OWNER. ALL DOOR HARDWARE TO BE APPROVED BY OWNER PRIOR TO PURCHASE AND INSTALLATION. 																																																							
002	PAIR 3'-0" x 7'-0" x 1 3/4"	GLASS / ALUMINUM	DARK BRONZE ANODIZED	A	ALUM.	--	1	--																																																													
003	PAIR 3'-0" x 7'-0" x 1 3/4"	GLASS / ALUMINUM	DARK BRONZE ANODIZED	A	ALUM.	--	1	--																																																													
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013	3'-0" x 7'-0" x 1 3/4"	HOLLOW METAL	PAINT	B	H.M.	1	3	45 MIN.																																																													
LEVEL 2																																																																					
206	3'-0" x 7'-0" x 1 3/4"	HOLLOW METAL	PAINT	B	H.M.	1	2	45 MIN.		3 EXTERIOR H.M. DOORS	EXIT DEVICE TOUCHPAD STYLE 1 1/2 PAIR BUTT HINGES SILENCERS (3 PER FRAME MIN) DOOR STOP. FLOOR MOUNTED CLOSER WEATHERSTRIPPING RAIN HOOD DOOR SWEEP LOW PROFILE THRESHOLD DUMMY HANDLE AT EXTERIOR DOOR LATCHGUARD																																																										
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FINISH SCHEDULE						
#	ROOM NAME	FLOORS	BASE	WALLS	CEILINGS	COMMENTS
FINISHED FLOOR						
109	ELEVATOR LOBBY	T-1	B-1	P-1	C-1 & C-2	

FINISH LEGEND						
MARK	DESCRIPTION	MANUFACTURER	MODEL/STYLE	COLOR/FINISH	LOCATION	COMMENTS
CEILINGS						
C-1	24" x 24" ACOUSTIC CEILING TILE	ARMSTRONG CEILING OR EQUAL	ULTIMA LAY-IN TEGULAR OR EQUAL		OFFICE ONLY	15/16 GRID
C-2	PAINTED GYPSUM CEILING BOARD	--	--		SEE FINISH SCHEDULE	SEE FINISH PLANS
FLOORS						
T-1	CERAMIC TILE	TBD	TBD	TBD	SEE FINISH SCHEDULE	
WALL BASE						
B-1	CERAMIC TILE BASE	TBD	TBD	TBD	SEE FINISH SCHEDULE	
WALLS						
P-1	PAINT - LOW LUSTER	SHERWIN WILLIAMS	EGGSHELL		SEE FINISH SCHEDULE	--

A5.00



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500 Delaney Avenue,
Suite 200
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Andres Romero - AR102974

Consultant

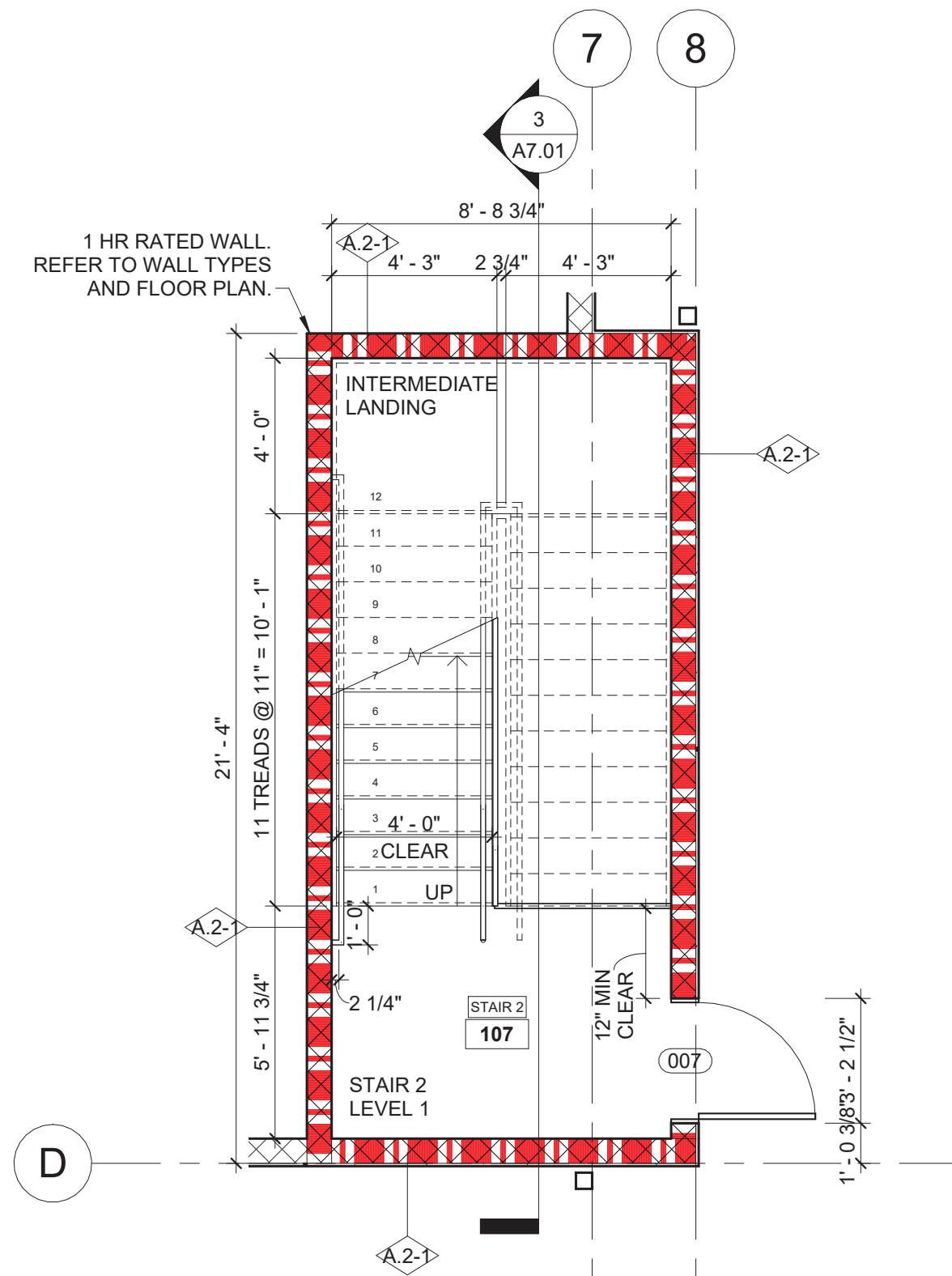
PROPOSED NEW CONSTRUCTION FOR:
DR. SHAREEF OFFICE

Revisions

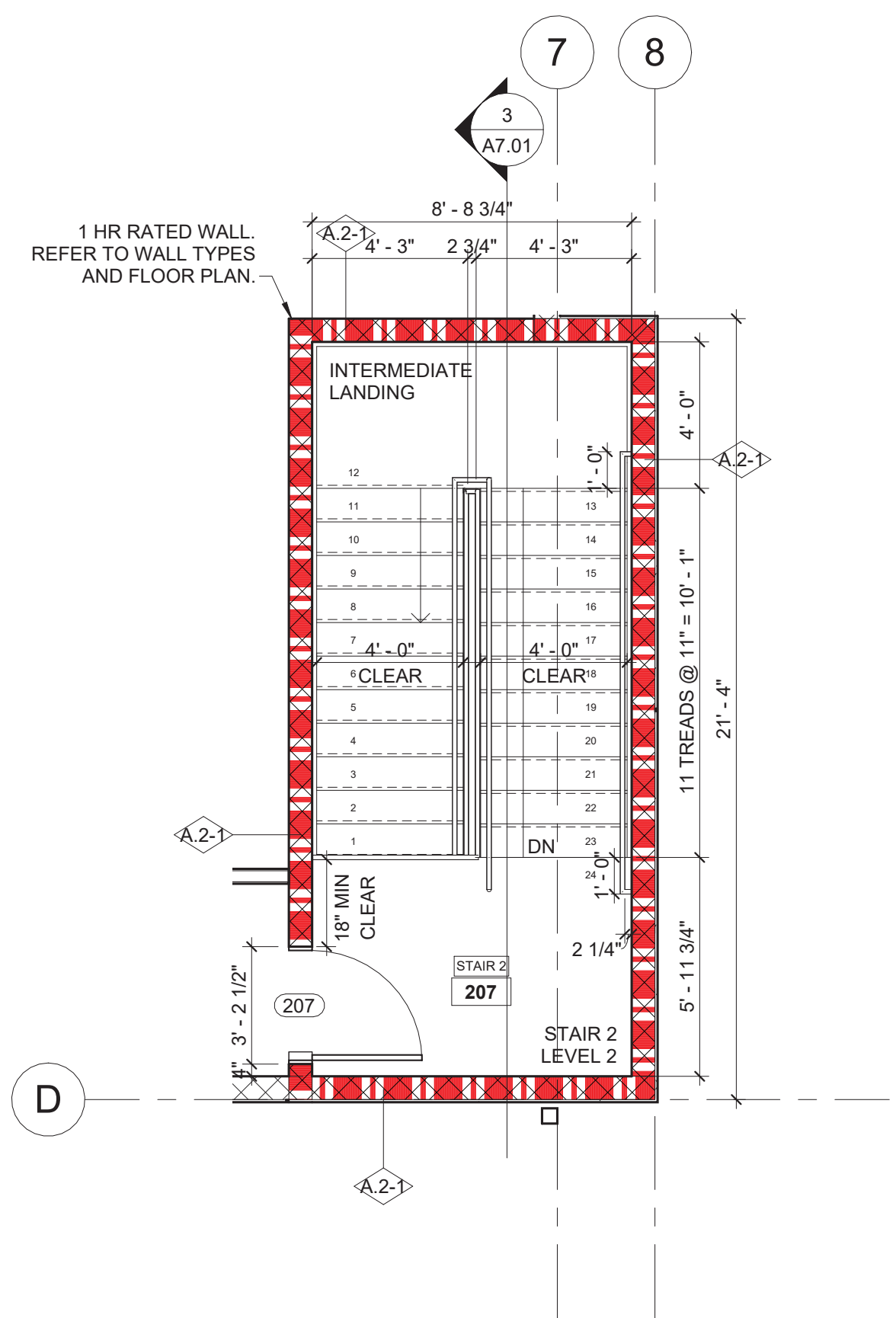
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STAIR 2 PLANS & SECTIONS

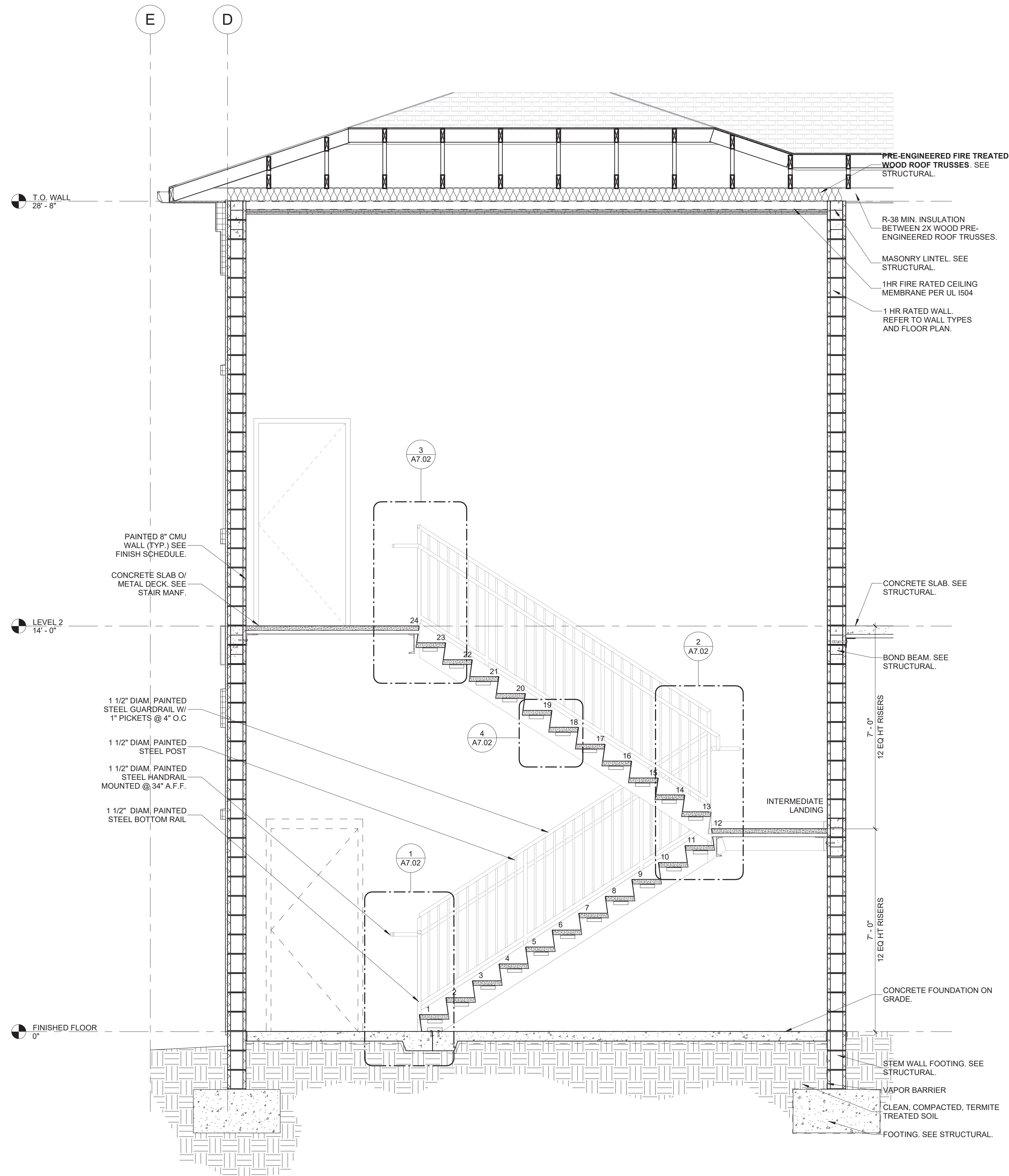
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1 STAIR 2 - LEVEL 1
1/4" = 1'-0"



2 STAIR 2 - LEVEL 2
1/4" = 1'-0"



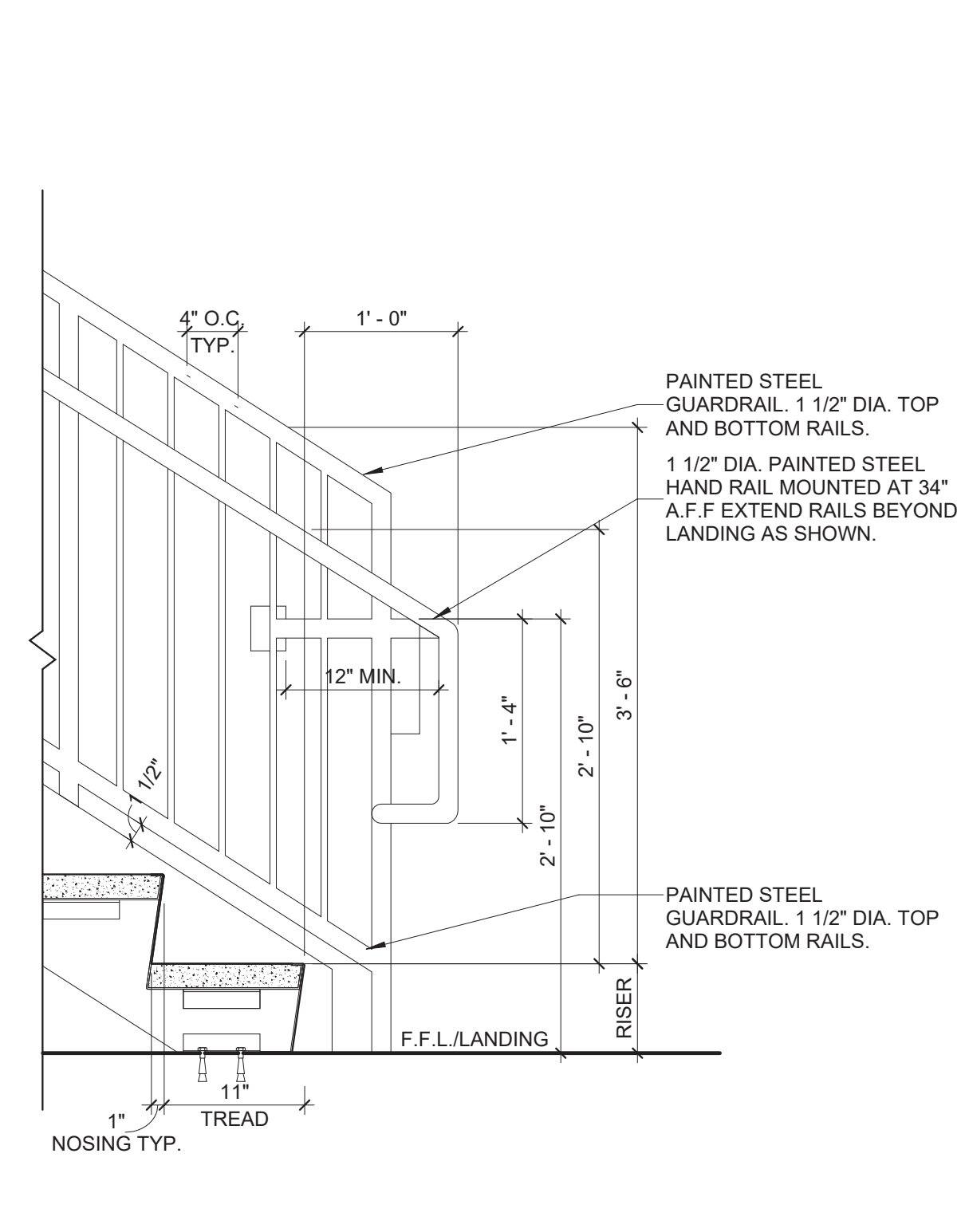
3 STAIR 2 SECTION
1/2" = 1'-0"



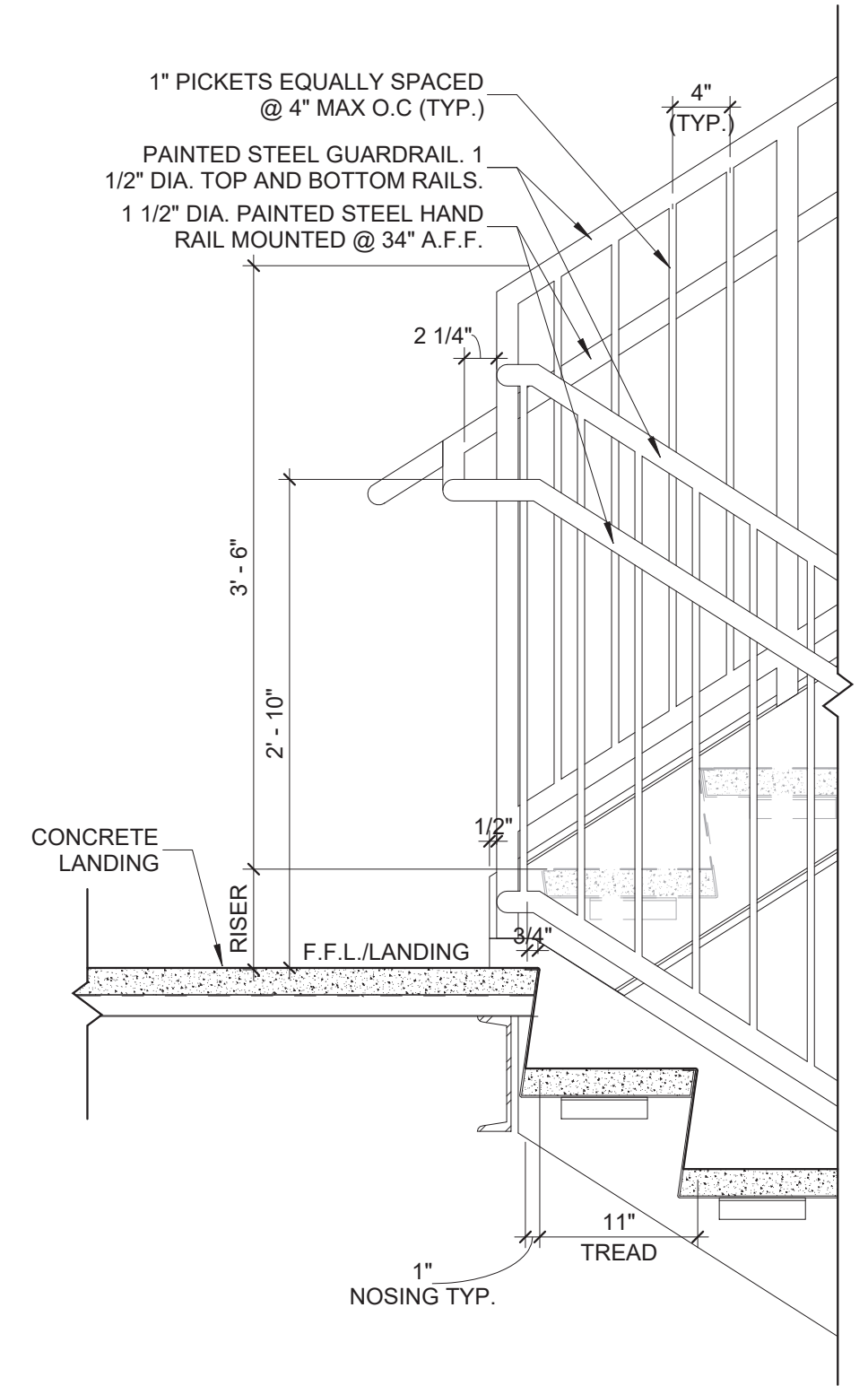
ROMERO TRUMPP FARMER ARCHITECTS

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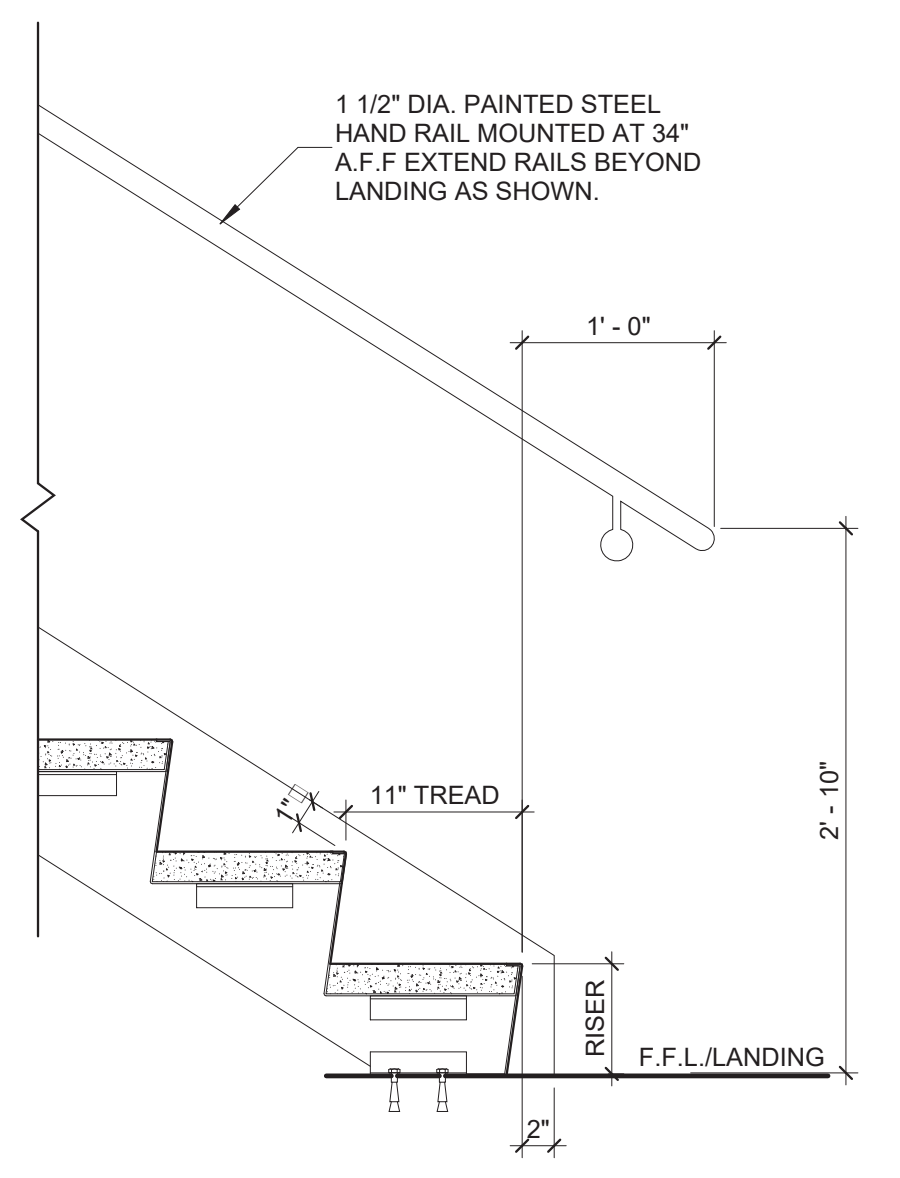
STAIR INFORMATION
ENLARGED DETAILS ON SHEET A7.02 ARE SIMILAR BETWEEN STAIR ONE AND TWO
FINISHED FLOOR TO SECOND FLOOR: 14' - 0"
NUMBER OF RISERS: 24
RISER HEIGHT: 7"



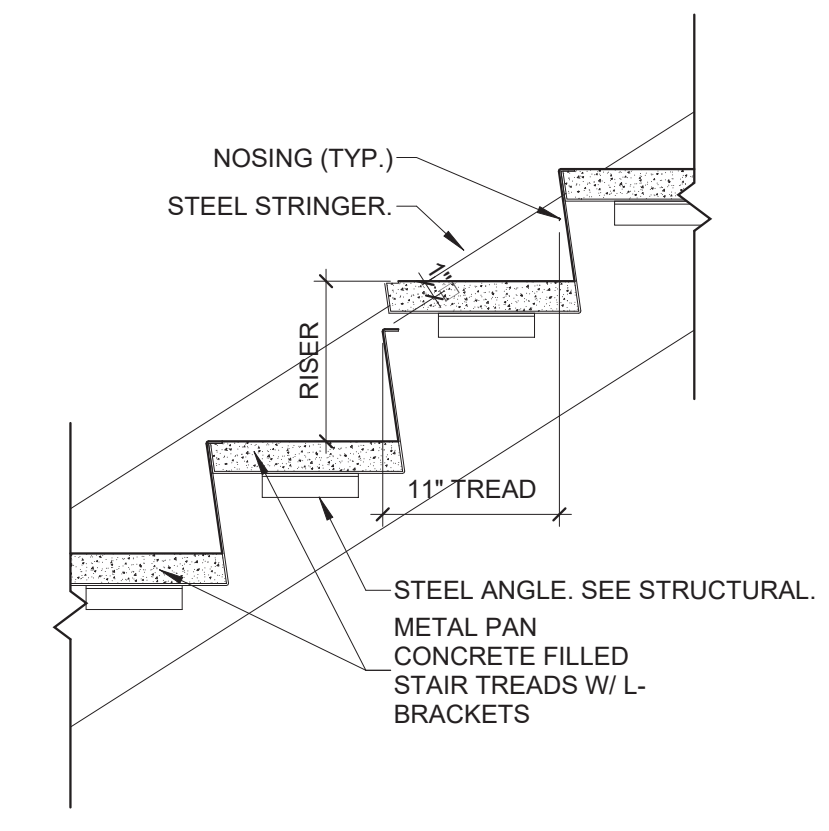
1 ENLARGED STAIR DETAILS
1" = 1'-0"



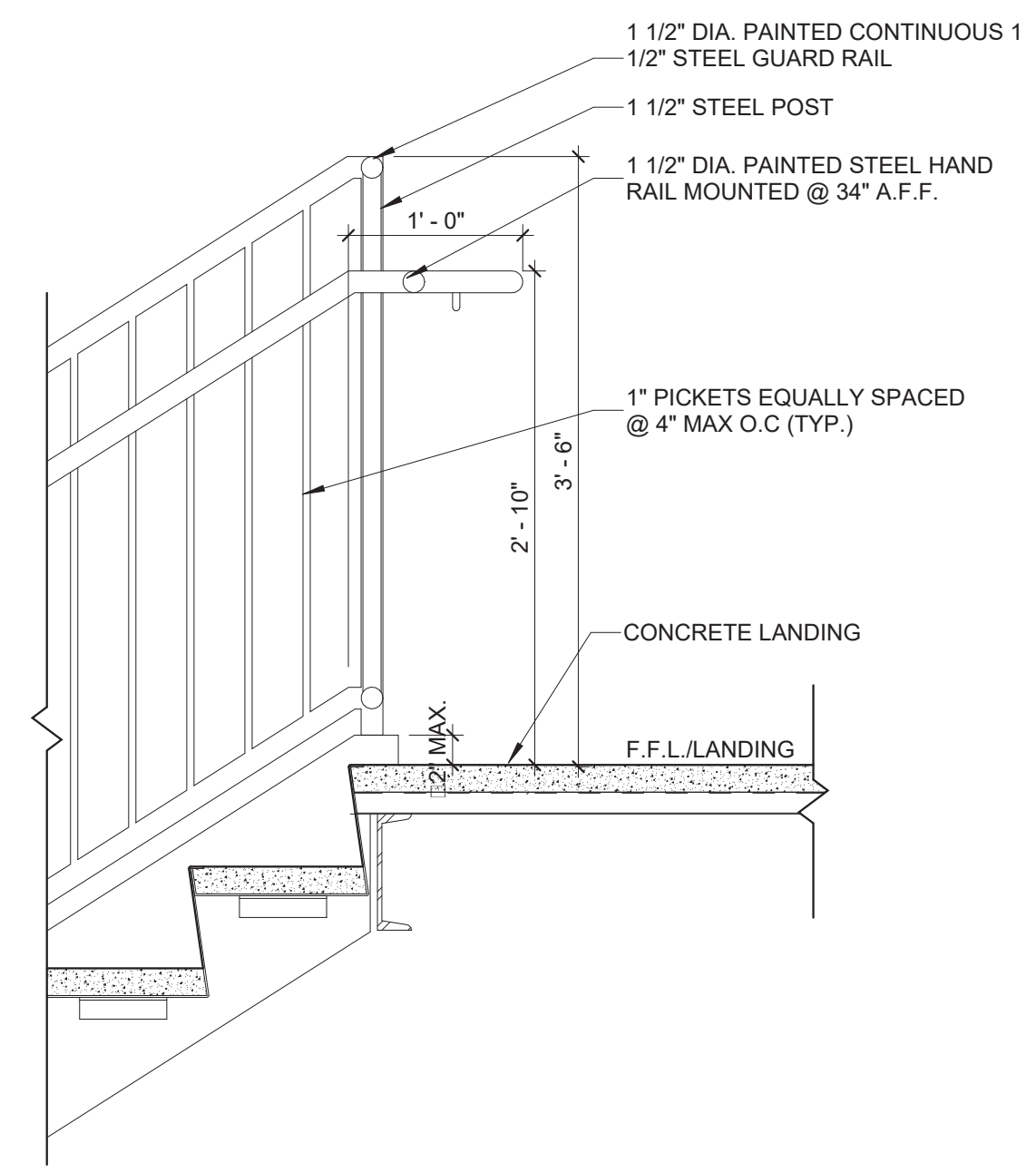
2 ENLARGED STAIR DETAILS
1" = 1'-0"



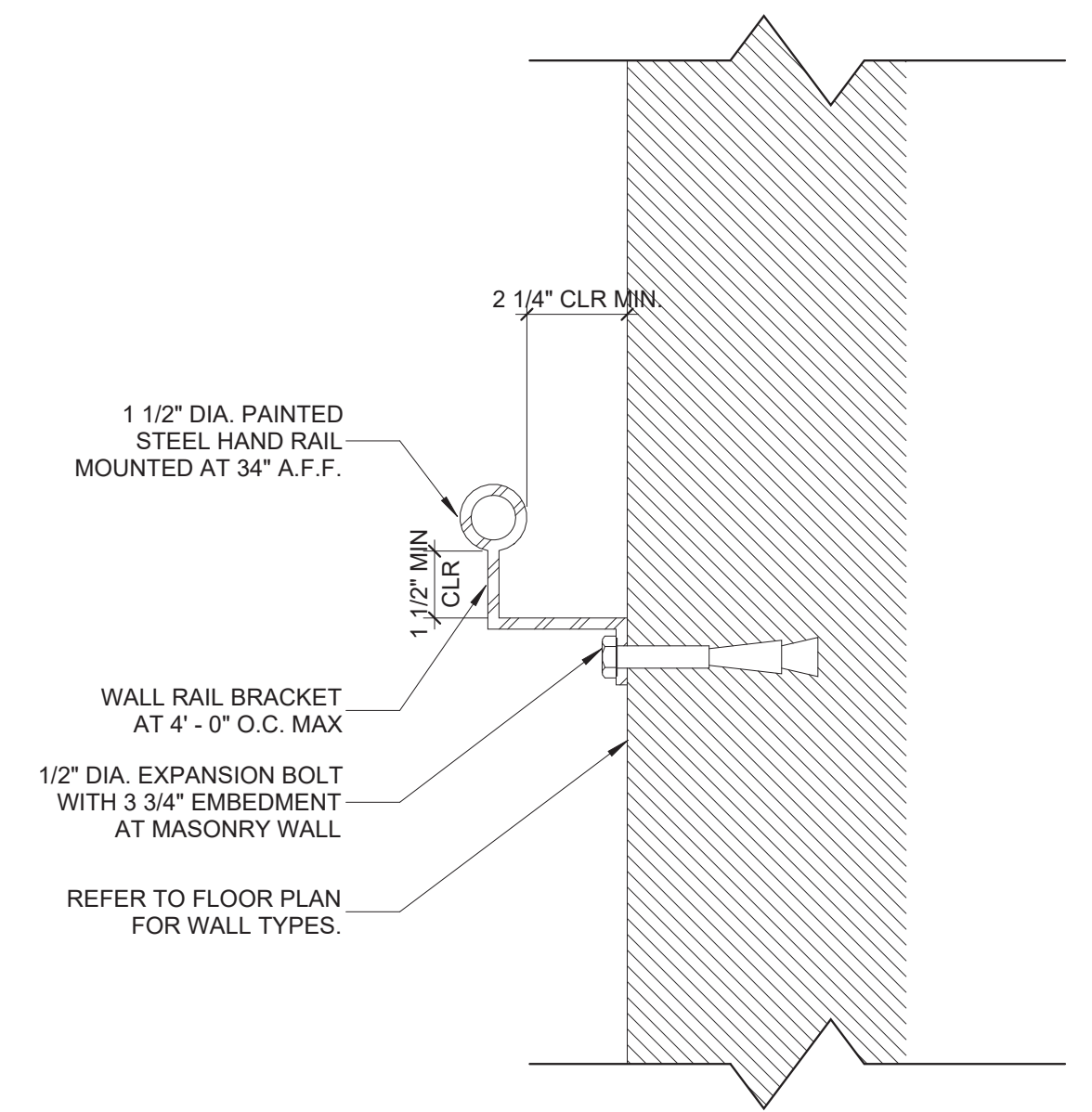
3 ENLARGED STAIR DETAILS
1" = 1'-0"



4 ENLARGED STAIR DETAILS
1" = 1'-0"



5 ENLARGED STAIR DETAILS
1" = 1'-0"



6 ENLARGED STAIR DETAILS
3" = 1'-0"

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PROPOSED NEW CONSTRUCTION FOR:
DR. SHAREEF OFFICE

Revisions

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DRT	AR

STAIR DETAILS A7.02



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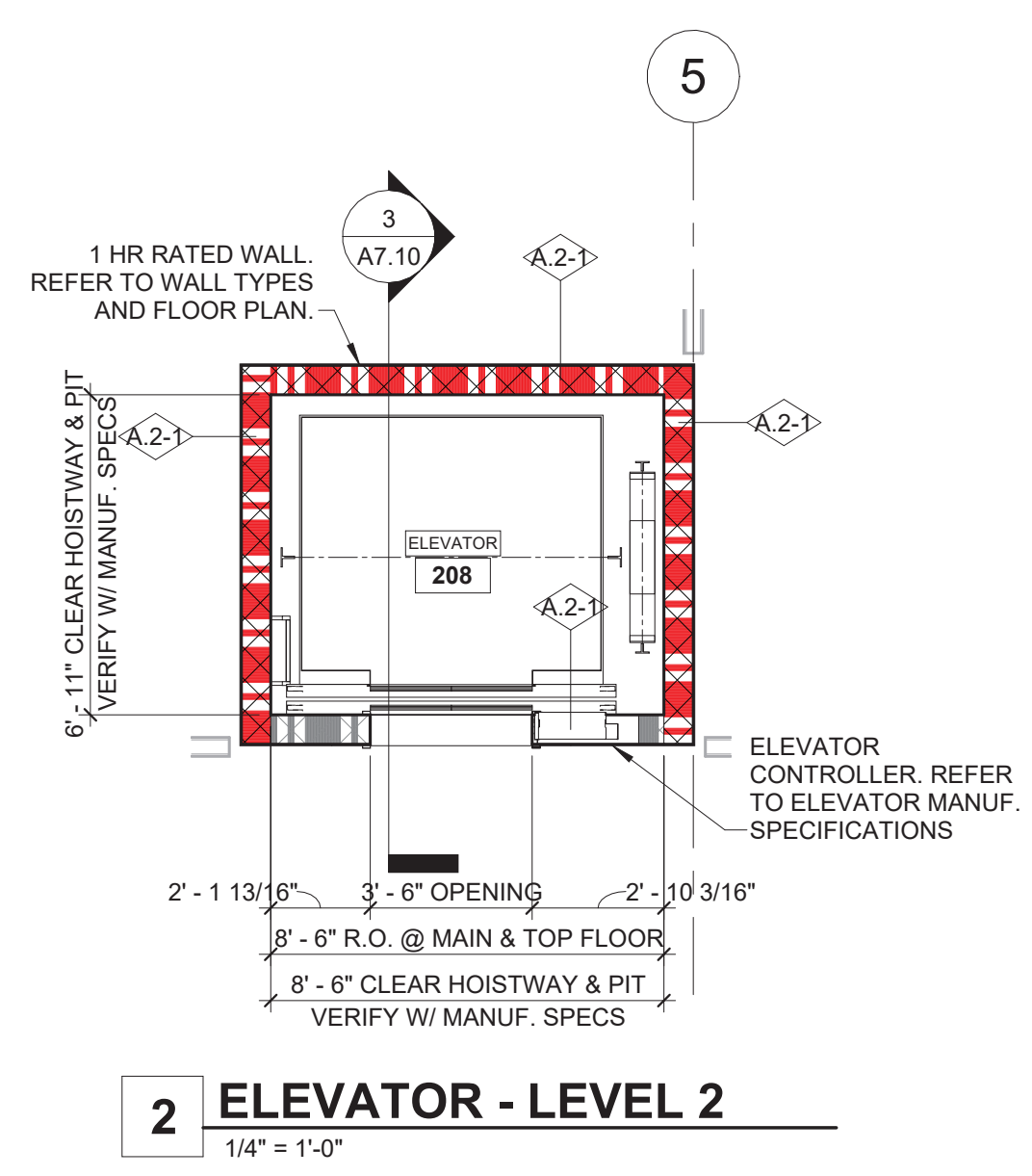
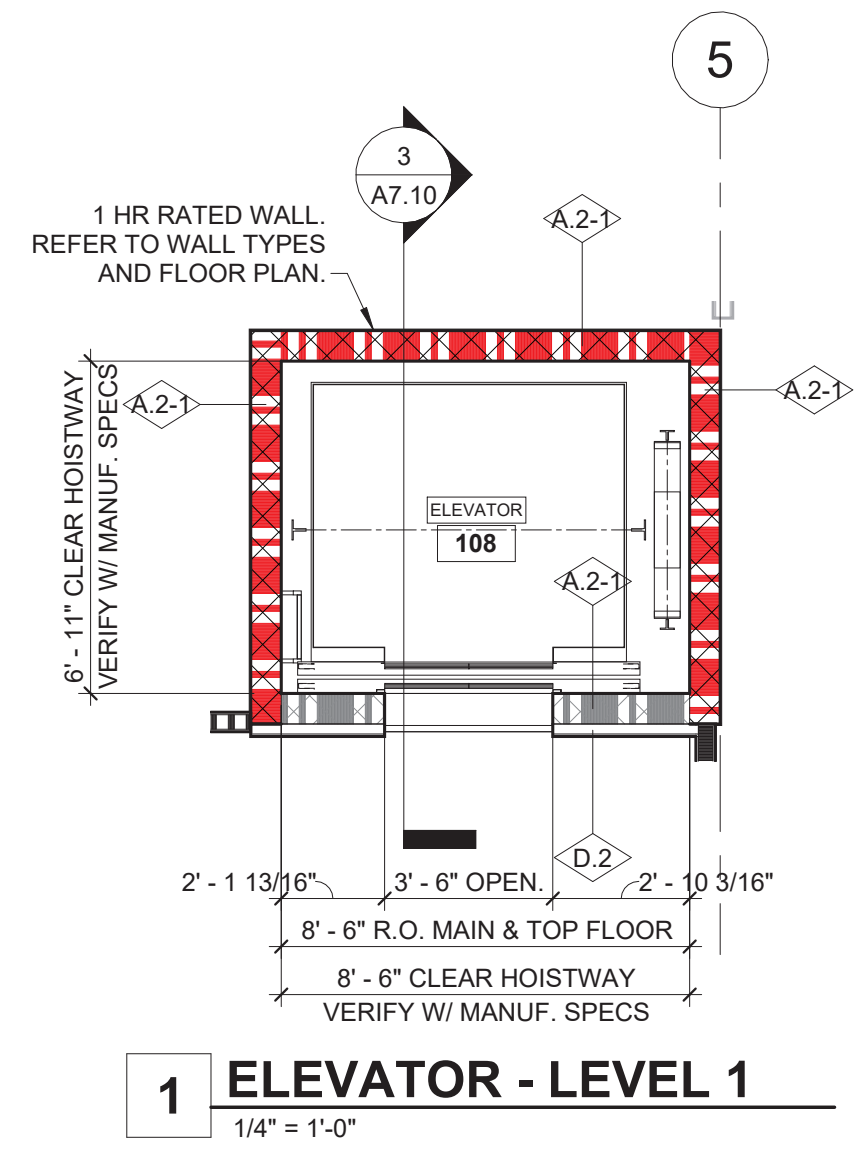
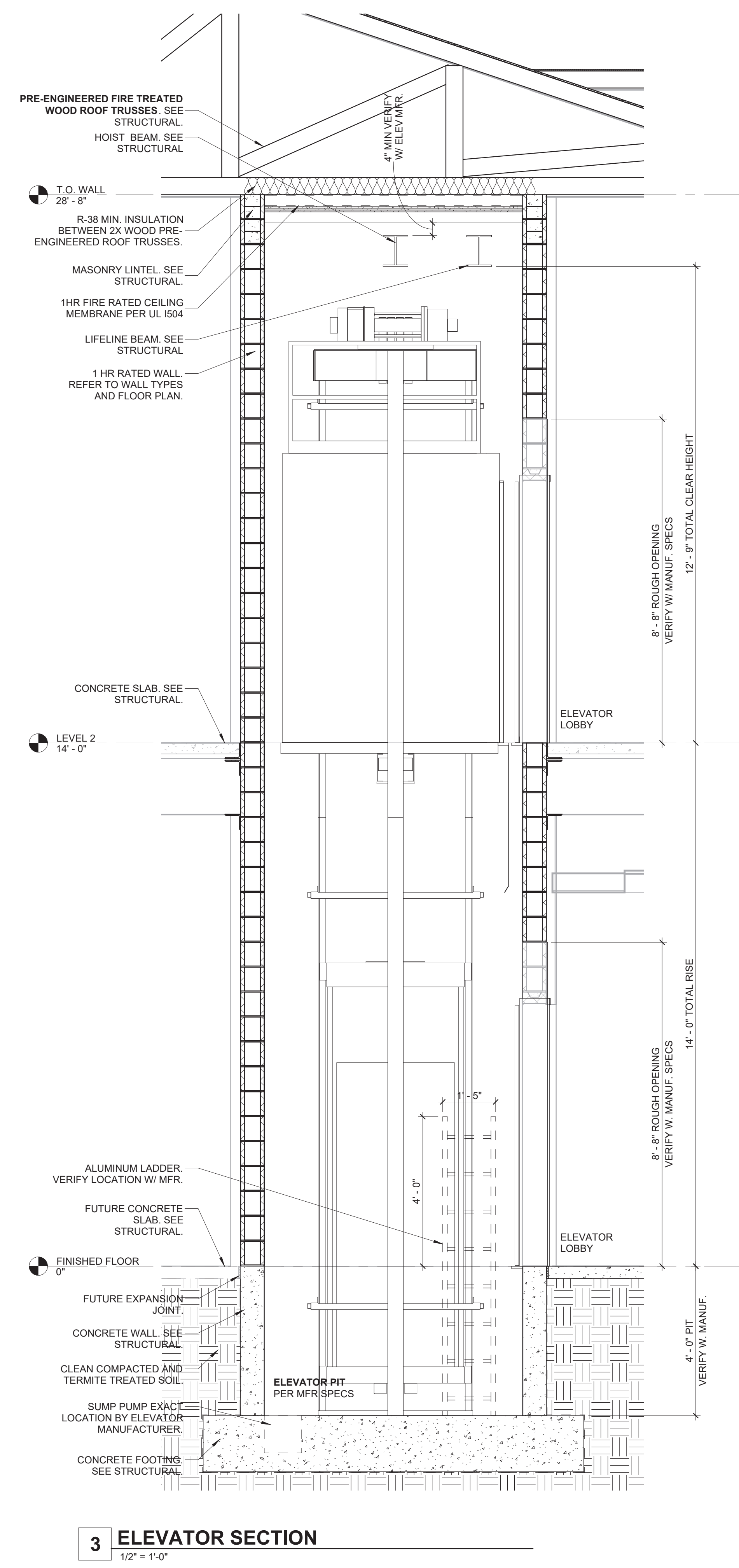
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DRAWN BY: DRT CHECKED BY: AR
ELEVATOR PLANS AND SECTIONS

A7.10

ELEVATOR INFORMATION	
ELEVATOR DESIGN IS BASED ON: MANUFACTURER: OTIS ELEVATORS MODEL: OTIS GEN3 CORE, 3500LBS, 150 FPM, PASSENGER CAB HEIGHT: 7'-9"	
1. GC IS TO SUBMIT MANUFACTURER'S SPECIFICATIONS & SHOP DRAWINGS FOR ARCHITECT/ ENGINEER REVIEW & TO THE BUILDING DEPT. PRIOR TO BUILDING CONSTRUCTION/ FIRST INSPECTION.	
2. GC TO COORDINATE SUMP PUMP LOCATION/ REQUIREMENTS PER ELEVATOR STATUTES AND RULES, LOCAL JURISDICTION, AND CURRENT APPLICABLE BUILDING CODES.	
3. GC TO VERIFY FINISHES SELECTION W/ OWNER PRIOR TO ORDERING.	
4. ELEVATOR ENCLOSURE MUST COMPLY W/ SECTION 3003 AND SECTION 7.2.12.1.1. AT ELEVATOR LOBBY (SEE ELECTRICAL PLANS.)	
5. THE CLEAR INTERIOR DIMENSIONS OF THE ELEVATOR CABS ARE 5'-5 9/16" WIDE X 6'-5 9/16" DEEP.	
ELEVATOR CAB FINISHES	
CEILING:	FLUSHED STEEL W/ COMPACT
BASE:	FLUORESCENT LIGHTS IN STAINLESS STEEL FINISH (@BOTTOM AND TOP.)
DOORS & FRAMES:	STAINLESS STEEL W/ STAINLESS STEEL TRANSOM AND FRONT RETURN REMARKS. COORDINATE ALL SELECTIONS AND COLORS W/ OWNER PRIOR TO ORDERING.
WALLS:	STAINLESS STEEL 1 1/2" DIAM. ROUND
FLOORS:	STAINLESS STEEL 1/4" ALUMINUM DIAMOND PLATE.



3 ELEVATOR SECTION
1/2" = 1'-0"

1 ELEVATOR - LEVEL 1
1/4" = 1'-0"

2 ELEVATOR - LEVEL 2
1/4" = 1'-0"



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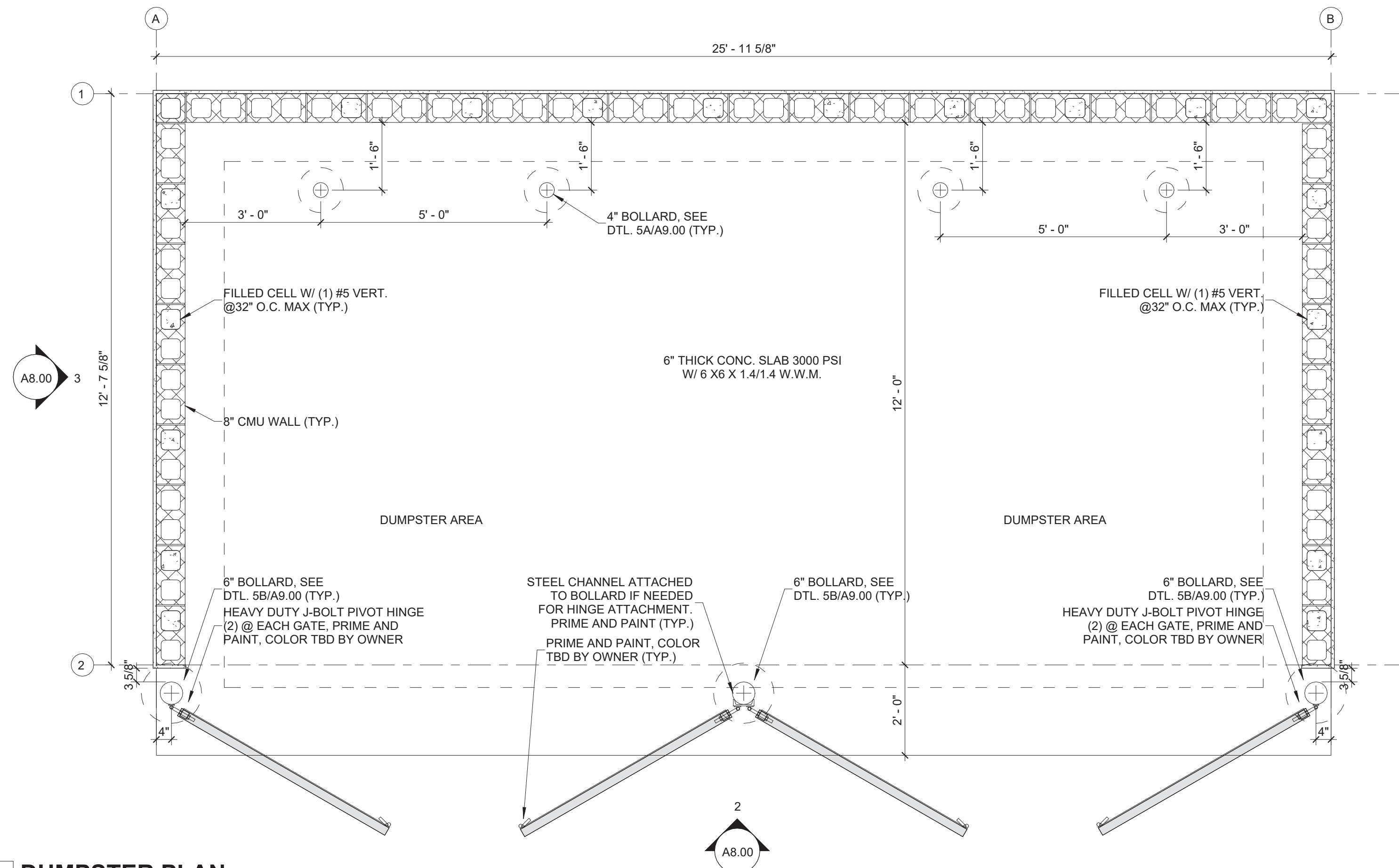
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CHECKED BY: AR

DUMPSTER DETAILS

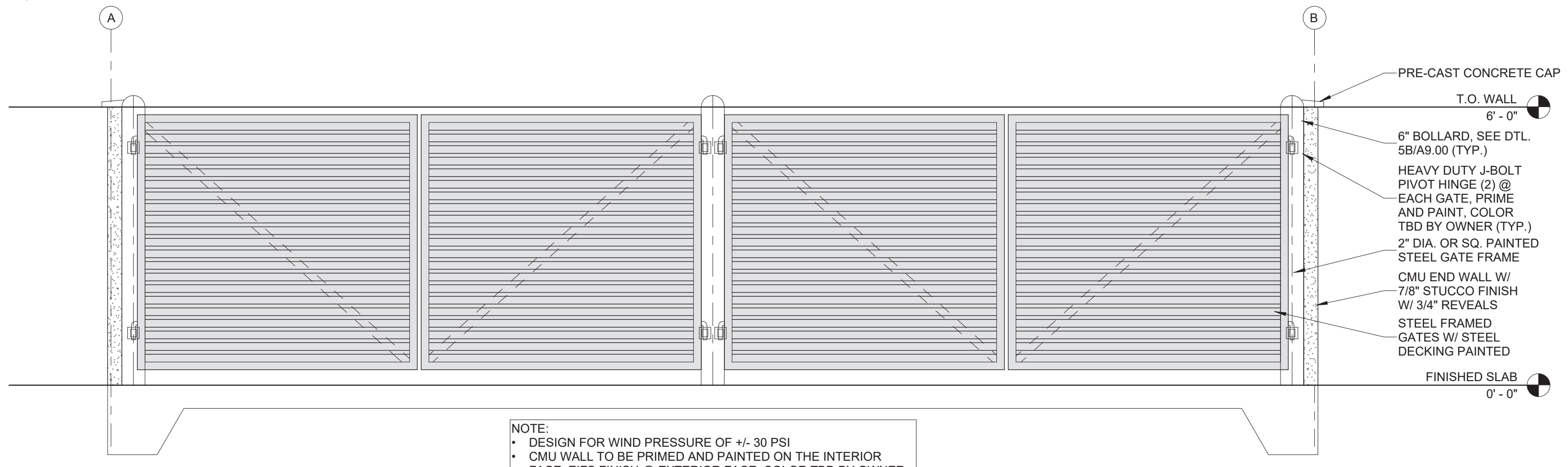
A8.00



MATERIAL LEGEND

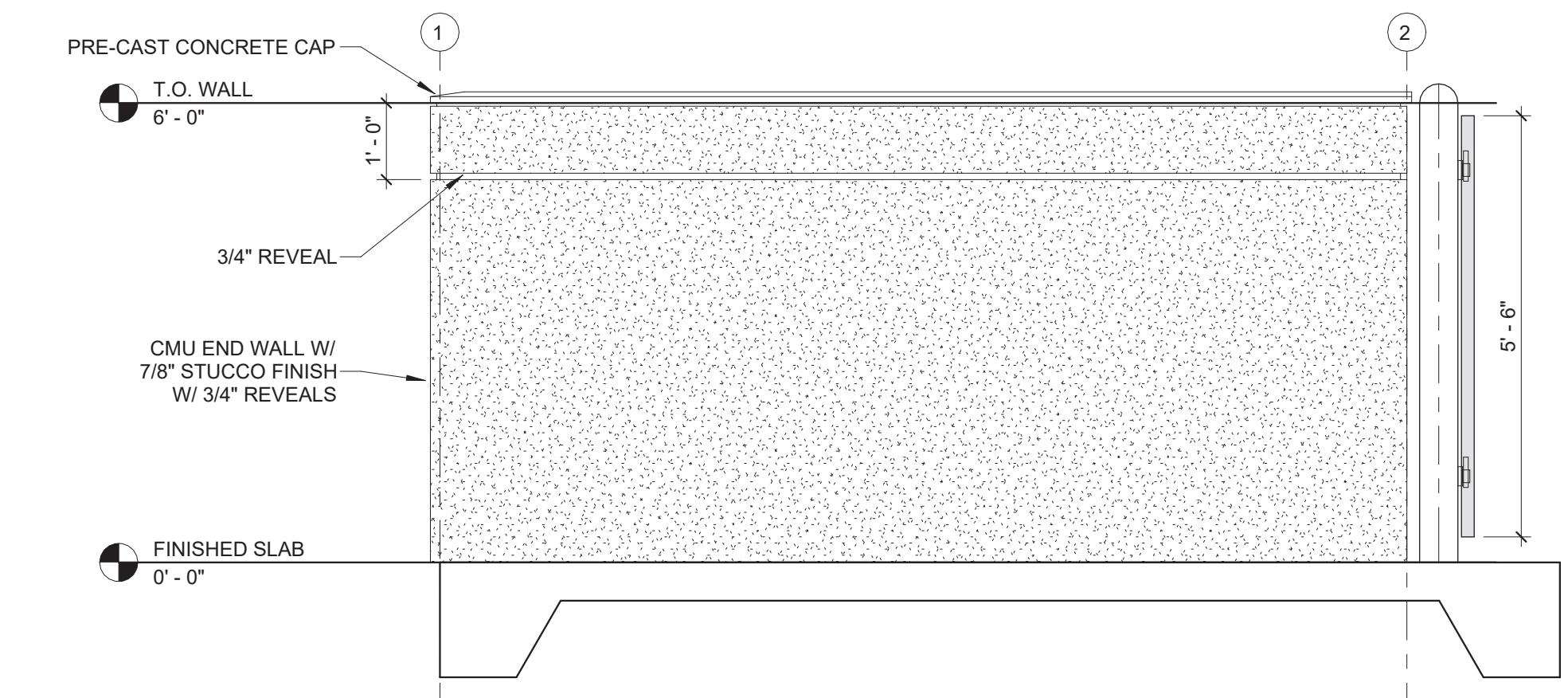
	INDICATES EIFS FINISH MANUFACTURER: DRYVIT OR APPROVED EQUAL TYPE: OUTSULATION MD SYSTEM, 1 1/2" ADD R-VALUE PER WALL LEGEND. COLOR: SW6070 HERON PLUME OR APPROVED EQUAL
	INDICATES EIFS FINISH MANUFACTURER: DRYVIT OR APPROVED EQUAL TYPE: OUTSULATION MD SYSTEM, 1 1/2" ADD COLOR: SW6164 SVELTE SAGE OR APPROVED EQUAL
	INDICATES METAL FINISH MANUFACTURER: TBD TYPE: PRE-FINISHED ALUMINUM COLOR: DARK BRONZE

1 DUMPSTER PLAN
1/2" = 1'-0"

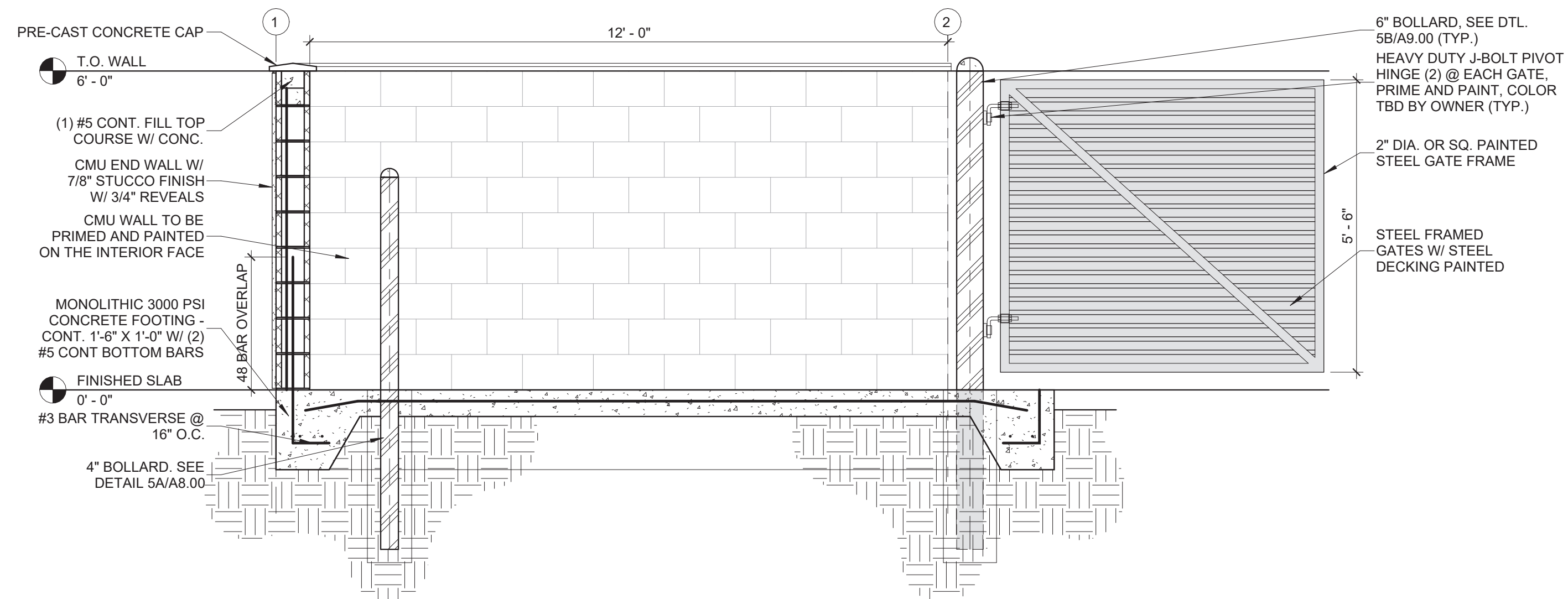


NOTE:
• DESIGN FOR WIND PRESSURE OF +/- 30 PSI
• CMU WALL TO BE PRIMED AND PAINTED ON THE INTERIOR FACE. EIFS FINISH @ EXTERIOR FACE. COLOR TBD BY OWNER.
• REFER TO SITE/CIVIL DRAWINGS FOR DUMPSTER LOCATIONS

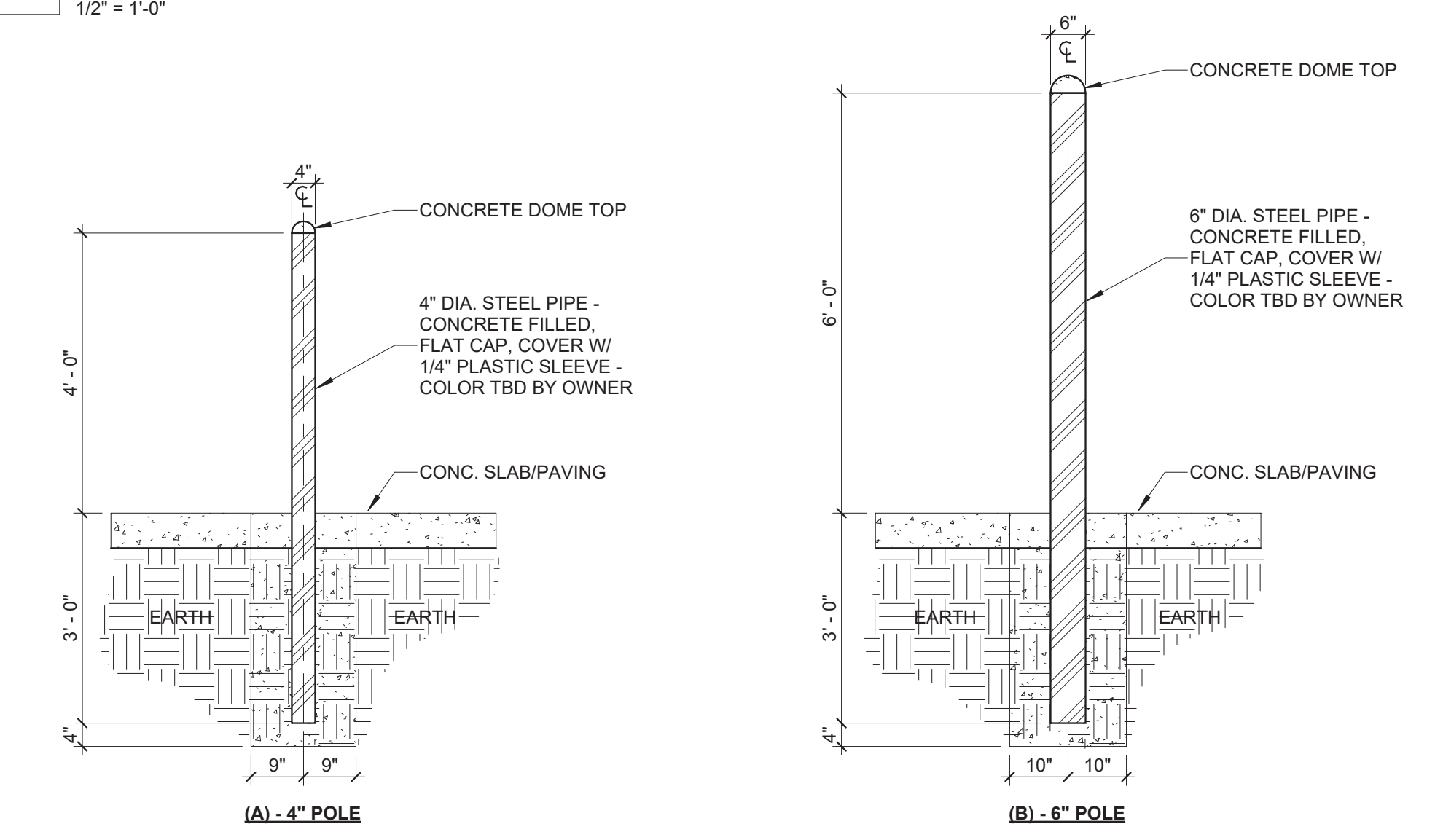
2 DUMPSTER ELEVATION
1/2" = 1'-0"



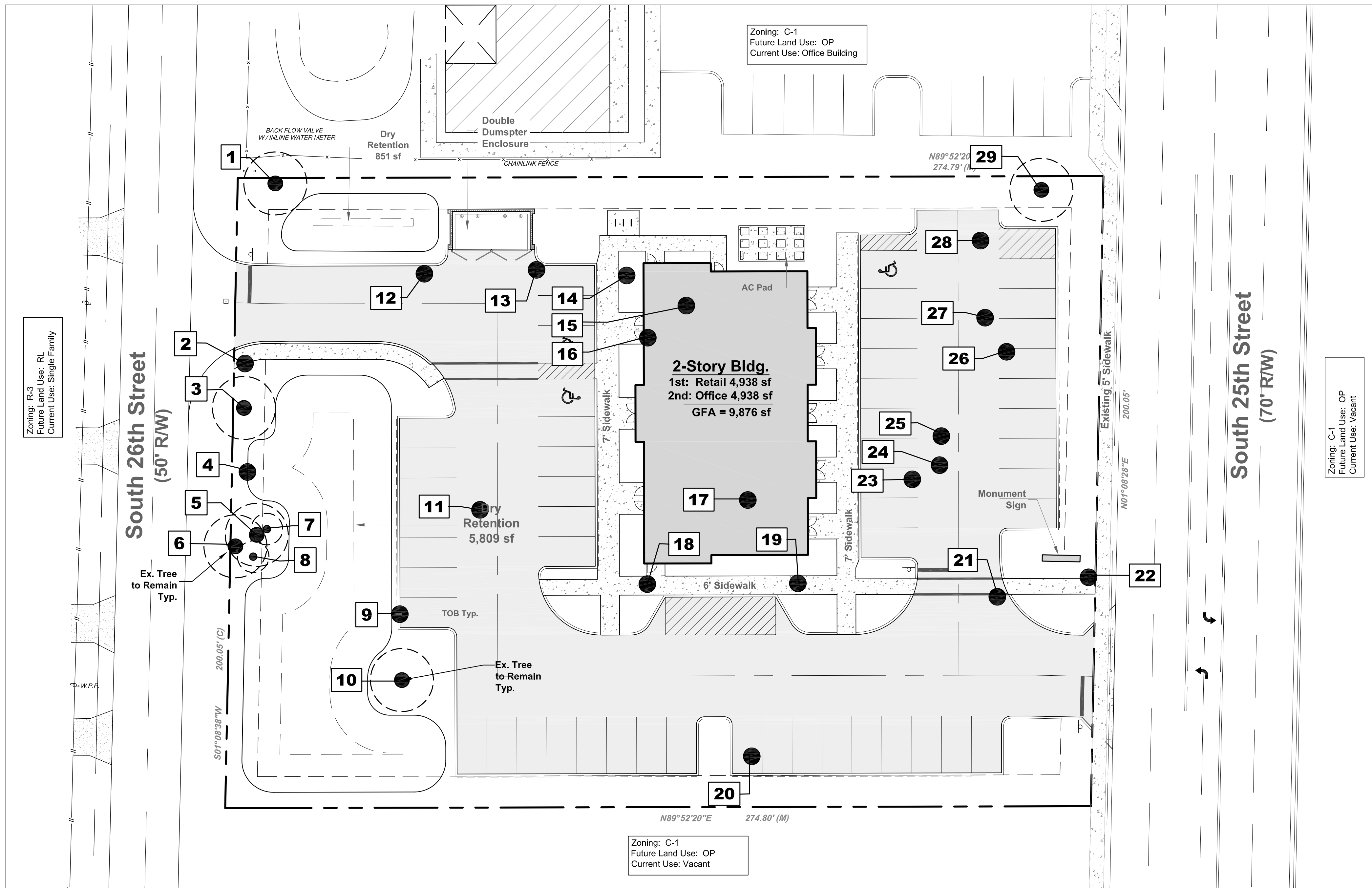
3 DUMPSTER ELEVATION
1/2" = 1'-0"



4 DUMPSTER SECTION
1/2" = 1'-0"



5 TYPICAL BOLLARD SECTIONS



Existing Tree Chart

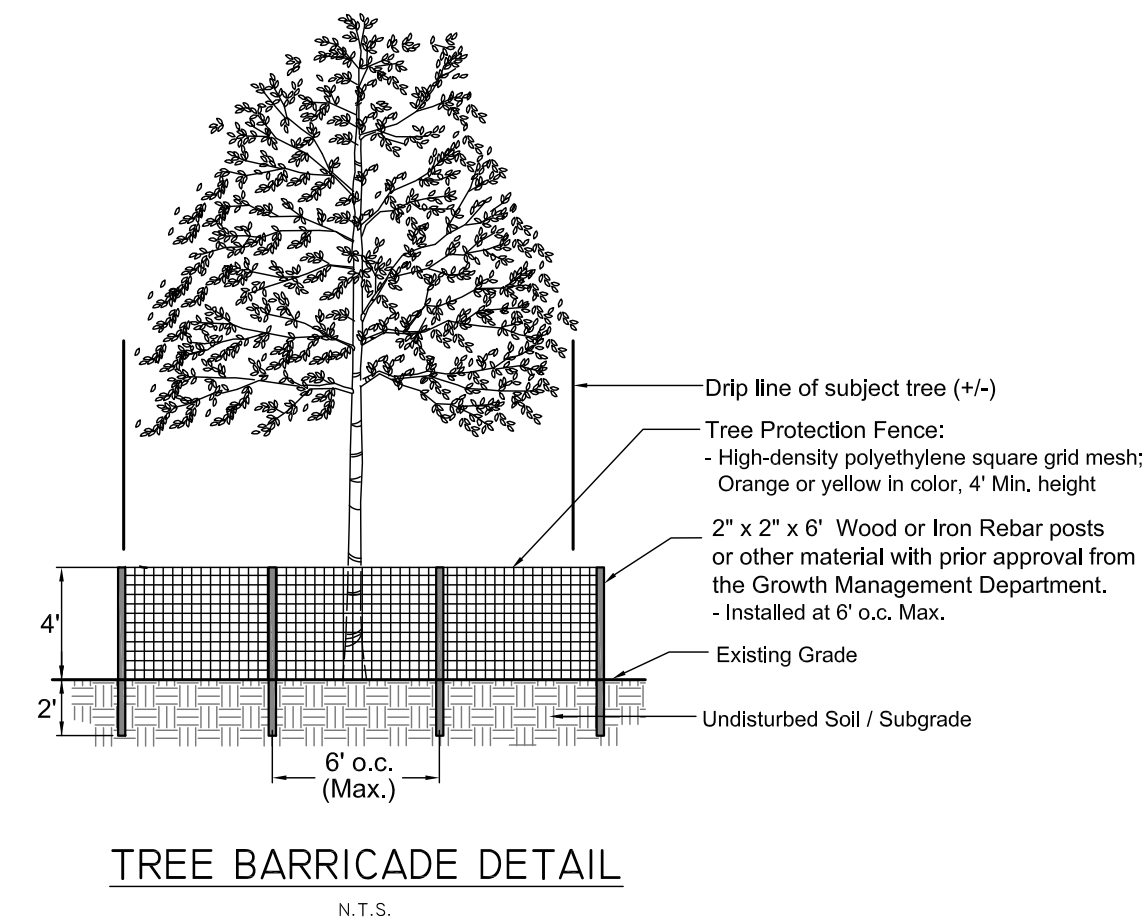
Tag #	Common Name	DBH	Height of Clear Trunk	Protected	* Condition	Status
1	Slash Pine	13		No	Good	Preserve
2	Cabbage Palm		12'-14'	Yes	Fair	Remove
3	Slash Pine	16		Yes	Good	Preserve
4	Cabbage Palm		18'-20'	Yes	Good	Remove
5	Slash Pine	20		Yes	Good	Preserve
6	Slash Pine	13		No	Good	Preserve
7	Cabbage Palm		10'	Yes	Good	Preserve
8	Cabbage Palm		13'-14'	Yes	Good	Preserve
9	Cabbage Palm		10'	Yes	Fair	Remove
10	Slash Pine	18		Yes	Good	Preserve
11	Slash Pine	18		Yes	Good	Remove
12	Cabbage Palm		14'-15'	Yes	Fair	Remove
13	Slash Pine	14		Yes	Good	Remove
14	Slash Pine	16		Yes	Good	Remove
15	Slash Pine	15		Yes	Good	Remove
16	Slash Pine	16		Yes	Good	Remove
17	Live Oak	15		Yes	Fair	Remove
18	Slash Pine	13		No	Fair	Remove
19	Live Oak	16		Yes	Fair	Remove
20	Cabbage Palm		10'-12'	Yes	Fair	Remove
21	Slash Pine	14		Yes	Good	Remove
22	Cabbage Palm		14'-15'	Yes	Fair	Remove
23	Live Oak	16		Yes	Fair	Remove
24	Live Oak	18		Yes	Fair	Remove
25	Slash Pine	13		No	Fair	Remove
26	Slash Pine	17		Yes	Good	Remove
27	Slash Pine	16		Yes	Good	Remove
28	Live Oak	17		Yes	Poor	Remove
29	Slash Pine	19		Yes	Good	Preserve

Note:

1. Condition of existing trees rated as "Poor" have not been included or calculated towards required inches for tree replacement.

Existing Tree Chart Summary

Protected Tree Inches (DBH) to be Removed:	191 Inches
Tree Inches (DBH) to be Preserved:	99 Inches
Protected Palm Trees to be Removed:	6 Trees
Protected Palm Trees to be Preserved:	2 Trees

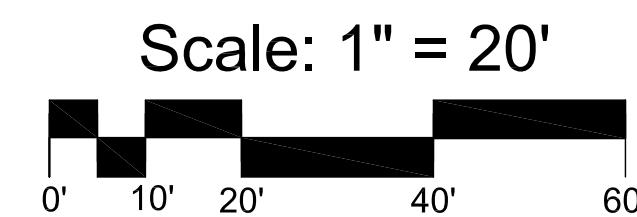


TREE PROTECTION NOTES

- Existing trees that are to be preserved shall be barricaded according to municipality regulations.
- Tree Protection Barricades shall be erected prior to the commencement of any work. All barricades must be maintained intact for the duration of construction.
- Barricades must be constructed around the critical protection zone of each tree or cluster of trees.
- During periods of development and construction, the areas within the drip-line of preserved trees shall be maintained at their original grade with pervious landscape material. Within these areas, there shall be:
 - No trenching or cutting of roots
 - No fill, compaction or removal of soil; and
 - No use of concrete, paint, chemicals or other foreign substances
- Barricades shall be constructed of a yellow or orange high density polyethylene square grid mesh with a min. height of 4 feet. Fencing shall be secured to posts with nylon cable ties at the top middle and bottom of each post. Posts shall be a 2"x2"x6" wood or iron rebar or other material with prior approval from Municipality. Posts shall be spaced a max. of 6' o.c.

Legend

- # (Tree with dashed circle) Existing Protected Tree to be Preserved Typ.
- # (Tree with solid circle) Existing Protected Tree to be Removed Typ.



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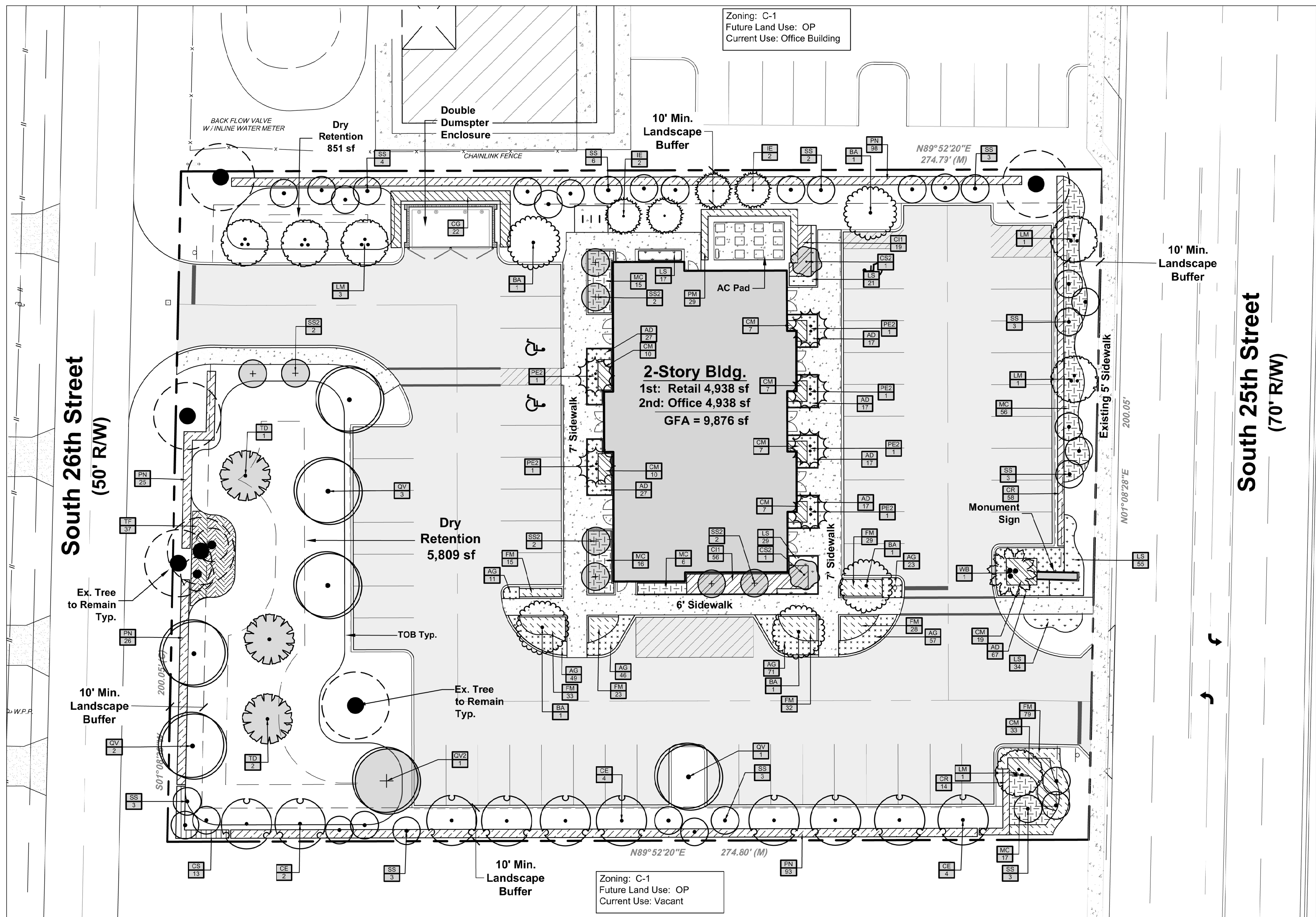
25th Street Mixed Use Development
 City of Fort Pierce
 Existing Tree Survey / Removal Plan
 Florida

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Job No. 2024-34
 Drawn By TT
 Checked By MH
 Approved By MH
 Submittal Dates 9-29-25

Revision Dates

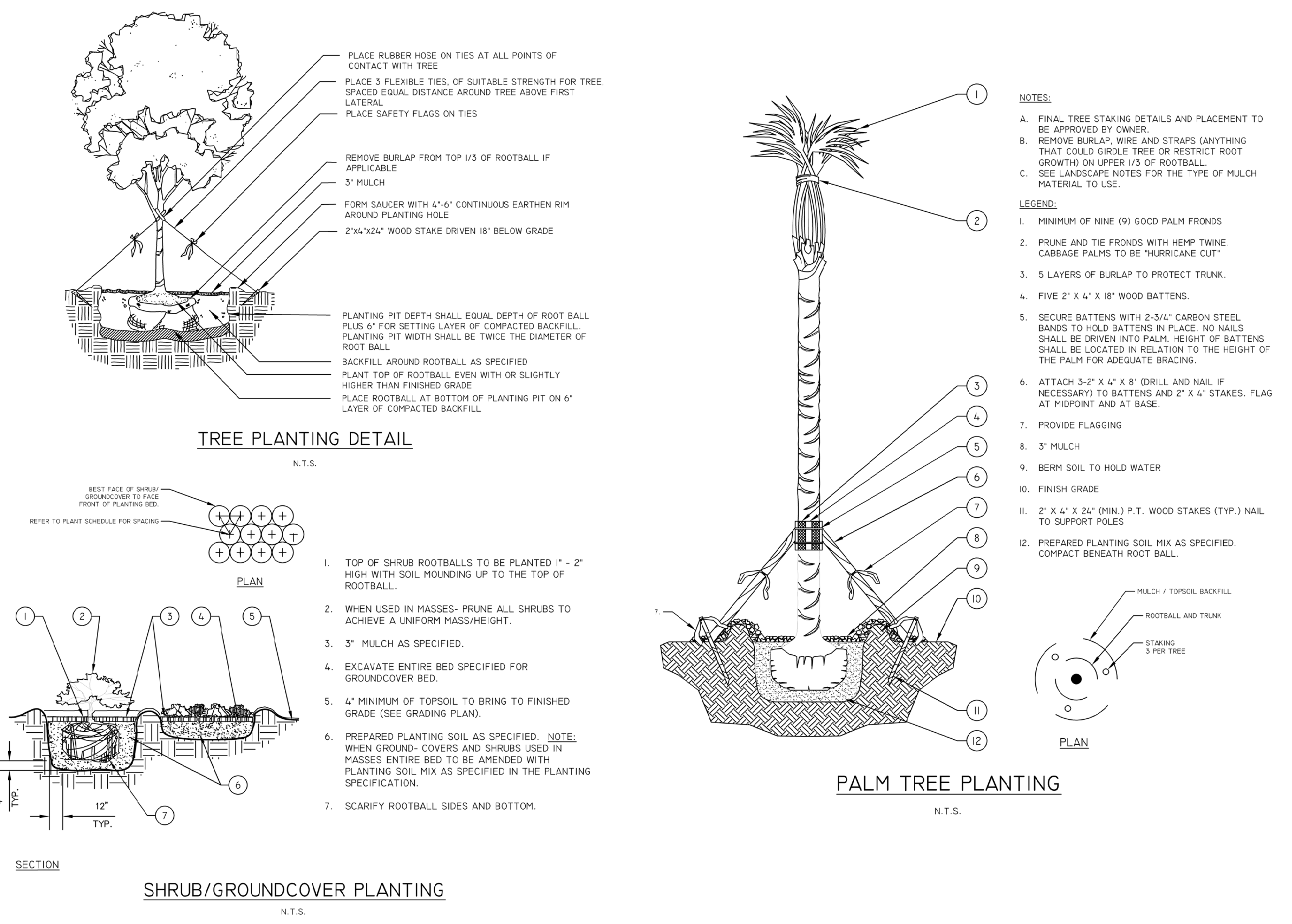
LP-1



Fort Pierce Landscape Notes

- Plant materials shall meet or exceed the standards for Florida No. 1 as set out in the most current edition of "Grades and Standards for Nursery Plants Part 1 and Part 2," State of Florida, Department of Agriculture, Tallahassee.
- All trees required by this article (excluding palms that are exempt from the grades and standards) shall have a Florida No. 1 or better "Grades and Standards" certification tag attached at time of delivery through final inspection.
- Grass sod shall be clean and free of weeds, pests and diseases.
- Planting soil for all landscaped areas shall consist of existing soil mixed with fifty (50) per cent recycled top soil. Such planting soil shall be generally indigenous to the locale, free of debris, rocks, clogs, stones, plants or other foreign materials. The planting soil shall extend to an appropriate depth so as to eliminate any hindrance to planting operations or detriment to good plant growth. Compliance with these soil requirements shall be verified as part of the final inspection.
- Landscaped areas shall be covered in their entirety with shrubs, ground cover, turf, or three (3) inches of bulk organic mulch or other suitable material which permits percolation and is approved by the department.
- Do not place any soil or mulch over the root ball. If stakes or guide wires are used to support a tree, the wire must be covered with protective material where it is in contact with the tree and the stakes or guide wires must be removed after one year.
- All landscaping must be protected from vehicular and pedestrian traffic by the installation of curbing, wheel stops or other protective devices along the perimeter of any landscaping which adjoins vehicular use areas or sidewalks. These protected devices shall have a minimum height of six (6) inches above grade.
- No parking, display of vehicles or outside storage or display of merchandise is permitted in or over any required landscaped area, nor are vehicles permitted to overhang any required landscaped area.
- To minimize traffic hazards at street or driveway intersections, all landscaping installations must provide unobstructed views.
- Any irrigation system placed on city right-of-way will be the responsibility of the property owner who shall relocate, replace or repair the system as appropriate in the event it is damaged due to permitted construction in the right-of-way.
- Prior to issuance of certificate of occupancy, final landscape installation shall be certified as complete and in conformance to the approved landscape plan by submission of a certification letter by a landscape architect.
- Property owners shall maintain all required landscaping so that it continues to present a healthy, neat and orderly appearance free of refuse and debris.
- Vegetation required shall be replaced with equivalent vegetation if it is not living. All trees for which credit is awarded and which subsequently die shall be replaced by the same number of living trees.
- Maintenance shall include sufficient weeding, watering, fertilizing, pruning, mowing, edging, mulching and other horticultural practices so as to assure that the landscaping continues to maintain a healthy, neat and orderly appearance.
- No person shall, directly or indirectly, cut down, substantially alter, destroy, remove, relocate, damage or authorize any such act involving a protected tree situated on land within the city, without first obtaining a tree removal permit.
- Removal, trimming, pruning or alteration of any tree or vegetation in an existing utility easement or public right-of-way, provided such work is done by or under the control of the operating utility company and said company has received all necessary licenses or permits to provide utility service within the easement.
- This plan has been designed to meet the tree planting requirements contained within the FPL document entitled "Plant the Right Tree in the Right Place". For existing or proposed utilities, no tree shall be planted where it could, at a mature height conflict with overhead power lines.
 - Large trees (height at maturity of more than 30') shall be planted no closer than a horizontal distance of 30' from the nearest overhead power line.
 - Medium height trees (height at maturity between 20' and 30') shall be offset at least 20' and small trees (height at maturity of less than 20') require no offset.
 - No tree shrubs, hedges or vines shall be planted within 5' of an existing or proposed utility pole, guy wire or pad-mounted transformer.
 - Palms should be planted at a distance equal to or greater than the average frond length plus two (2) feet from power lines.

Landscape Details



Landscape Data

Landscape Strip Adjacent to Street R.O.W

Ten (10) feet wide minimum landscape Strip. One (1) tree for each three hundred (300) square feet of required landscaped area.

South 25th Street (East) : 135 LF x 10 = 1,350 sf

Trees Required: (1,350 sf / 300) = 5 Trees
 Trees Provided: = 5 Trees
 (2 Trees +9 Palms @ 3:1)

South 26th Street (West) : 149.5 LF x 10 = 1,495 sf

Trees Required: (1,495 sf / 300) = 5 Trees
 Trees Provided: = 5 Trees
 (2 Trees + 3 Existing Trees)

Landscape Strip Adjacent to Abutting Property

Ten (10) feet wide minimum landscape Strip. One (1) tree for each two hundred (200) square feet of required landscaped area.

North Property : 255 LF x 10 = 2,550 sf

Trees Required: (2,550 sf / 200) = 13 Trees
 Trees Provided: = 13 Trees
 (7 Trees + 1 Existing Tree + 5 Palms @ 3:1)

South Property : 255 LF x 10 = 2,550 sf

Trees Required: (2,550 sf / 200) = 13 Trees
 Trees Provided: = 13 Trees
 (10 Trees + 9 Palms @ 3:1)

Interior Vehicular Use Areas

Vehicular use areas that are four thousand (4,000) or more square feet in size shall have at least one square foot of interior landscaping for each fifteen (15) square feet of vehicular use area. One tree for each one hundred (100) square feet of required landscaped area. Each separate landscaped area shall be curbed and contain a minimum of one hundred (100) square feet of area and shall be at least ten (10) feet wide and ten (10) feet deep exclusive of curbing in all locations.

Vehicular Use Area: 23,987 sf

Landscape Area Required: (23,987 sf / 15 sf) = 1,599 sf
 Landscape Area Provided: = 7,022 sf
 Trees Required: (1,599 LF / 100) = 16 Trees
 Trees Provided: = 16 Trees
 (10 Trees + 2 Existing Trees + 6 Palms @ 2:1 + 1 Palms @ 1:1)

Tree Mitigation Data

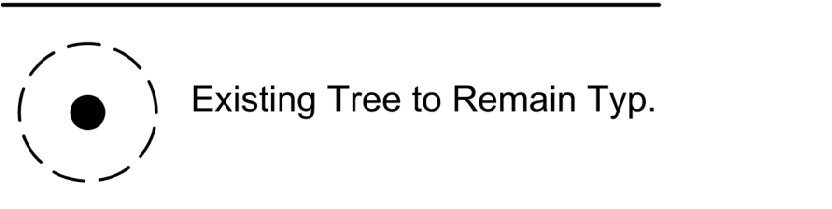
Protected Trees	Protected Palm Trees
Protected Tree Inches (DBH) to be Removed: 191 Inches	Protected Palm Trees to be Removed: 6 Trees
Tree Inches (DBH) to be Preserved: 99 Inches	Protected Palm Trees to be Preserved: 2 Trees
Total Required Inches for Tree Replacement: 92 Inches	Required On-site Palm Replacement: (4 Palm Trees x 2) 8 Trees
Provided On-site Replacement: (6 Trees @ 2.5' / 2) 7.5 Inches	Provided On-site Palm Replacement: 8 Trees
Remaining Inches to be Paid into Fund: 84.5 Inches	

Landscape Schedules

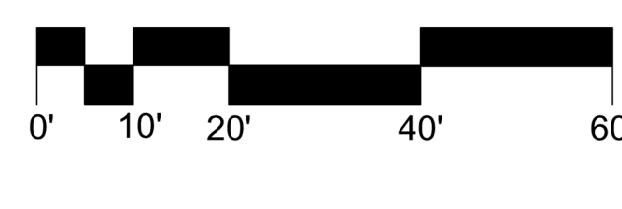
TREE SCHEDULE					
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	NATIVE
CODE TREES					
BA	5	Bulnesia arborea / Verawood	(1:1 Ratio)	2.5" Cal., 12' Ht. x 5' Spr. Min., Std., 5' ct.	No
CE	10	Conocarpus erectus / Green Buttonwood	(1:1 Ratio)	2.5" Cal., 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
IE	4	Ilex x attenuata 'Eagleston' / Eagleston Holly	(1:1 Ratio)	2.5" Cal., 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
LM	6	Lagerstroemia indica 'Muskogee' / Crape Myrtle	(1:1 Ratio)	2.5" Cal., 12' Ht. x 5' Spr. Min., Multi-trunk, 5' ct.	No
PE2	6	Ptychosperma elegans / Alexander Palm	(2:1 Ratio)	10' - 12' CT., Double Specimen	No
QV	6	Quercus virginiana / Live Oak	(1:1 Ratio)	2.5" Cal., 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
SS	33	Sabal palmetto / Cabbage Palm	(3:1 Ratio)	11 @ 14' ct., 11 @ 16' ct., 11 @ 18' ct., Slick Trunk	Yes
WB	1	Wodyetia bifurcata / Foxtail Palm	(1:1 Ratio)	10' - 12' CT., Triple Specimen	No
TREE MITIGATION					
CS2	2	Conocarpus erectus 'Sericus' / Silver Buttonwood		2.5" Cal., 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
QV2	1	Quercus virginiana / Live Oak		2.5" Cal., 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
SS2	8	Sabal palmetto / Cabbage Palm		17' - 18' ct., Slick	Yes
TD	3	Taxodium distichum / Bald Cypress		2.5" Cal., 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes

SHRUB SCHEDULE					
CODE	QTY	BOTANICAL / COMMON NAME	SIZE	NATIVE	SPACING
SHRUB AREAS					
AG	257	Arachis glabrata / Perennial Peanut	1 gal., 8" - 12" Spr., Full	Yes	15" o.c.
AD	189	Asparagus densiflorus 'Myers' / Foxtail Fern	3 gal., 12" - 14" Ht., Full	No	20" o.c.
CI1	75	Chrysobalanus icaco 'Horizontal' / Horizontal Cocoplum	3 gal., 12" - 16" Ht., Full	Yes	24" o.c.
CR	72	Chrysobalanus icaco 'Red Tip' / Red Tip Cocoplum	3 gal., 24" Ht. Min.	Yes	24" o.c.
CG	22	Klusia guttifera / Small Leaf Klusia	7 gal., 36" - 42" Ht., Full	Yes	36" o.c.
CM	100	Codiaeum variegatum 'Mammy' / Mammy Croton	3 gal., 14" - 16" Ht., Full	No	24" o.c.
CS	13	Conocarpus erectus 'Sericus' / Silver Buttonwood	3 gal., 24" Ht. Min.	Yes	30" o.c.
MF	239	Ficus microcarpa 'Green Island' / Green Island Ficus	3 gal., 12" Ht. x 12" - 14" Spr.	No	18" o.c.
LS	156	Liriope muscari 'Super Blue' / Super Blue Liriope	1 gal., 10-12" Ht., Full	No	18" o.c.
MC	110	Muhlenbergia capillaris / Pink Muhly	1 gal., 14 - 16" Ht., Full	Yes	36" o.c.
PM	29	Podocarpus macrophyllus / Yew Podocarpus	7 gal., 36" - 42" Ht. x 24" Spr., Full	No	24" o.c.
PN	242	Psychotria nervosa / Wild Coffee	3 gal., 24" Ht., full	Yes	30" o.c.
TF	37	Tripsacum dactyloides / Fakahatchee Grass	1 gal., 18" - 24" Ht. Full	Yes	36" o.c.

Legend



Scale: 1" = 20'



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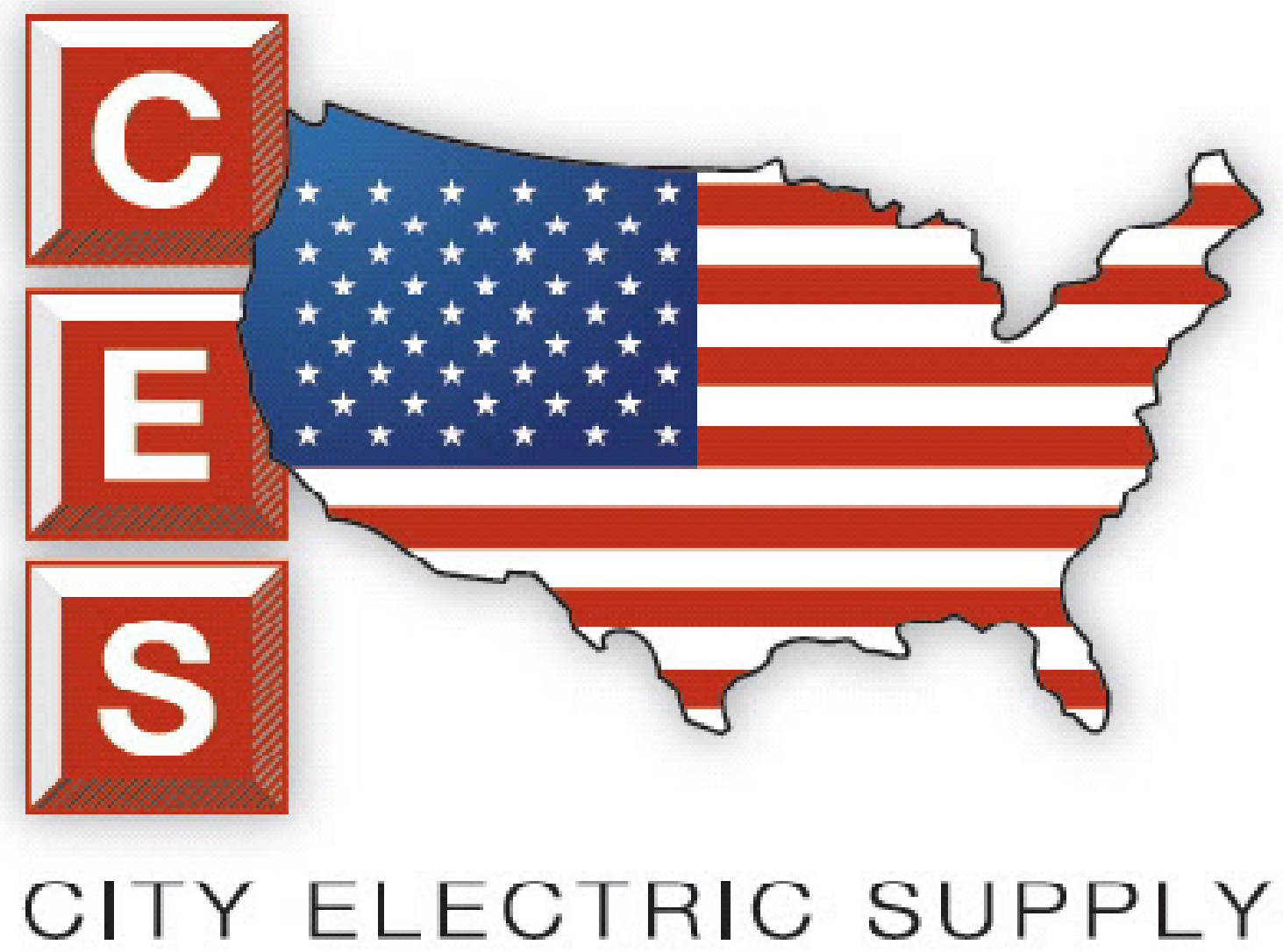
25th Street Mixed Use Development
 Florida
 City of Fort Pierce
 Landscape Plan

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Job No. 2024-34
 Drawn By TT
 Checked By MH
 Approved By MH
 Submittal Dates 9-29-25

Revision Dates

LP-2

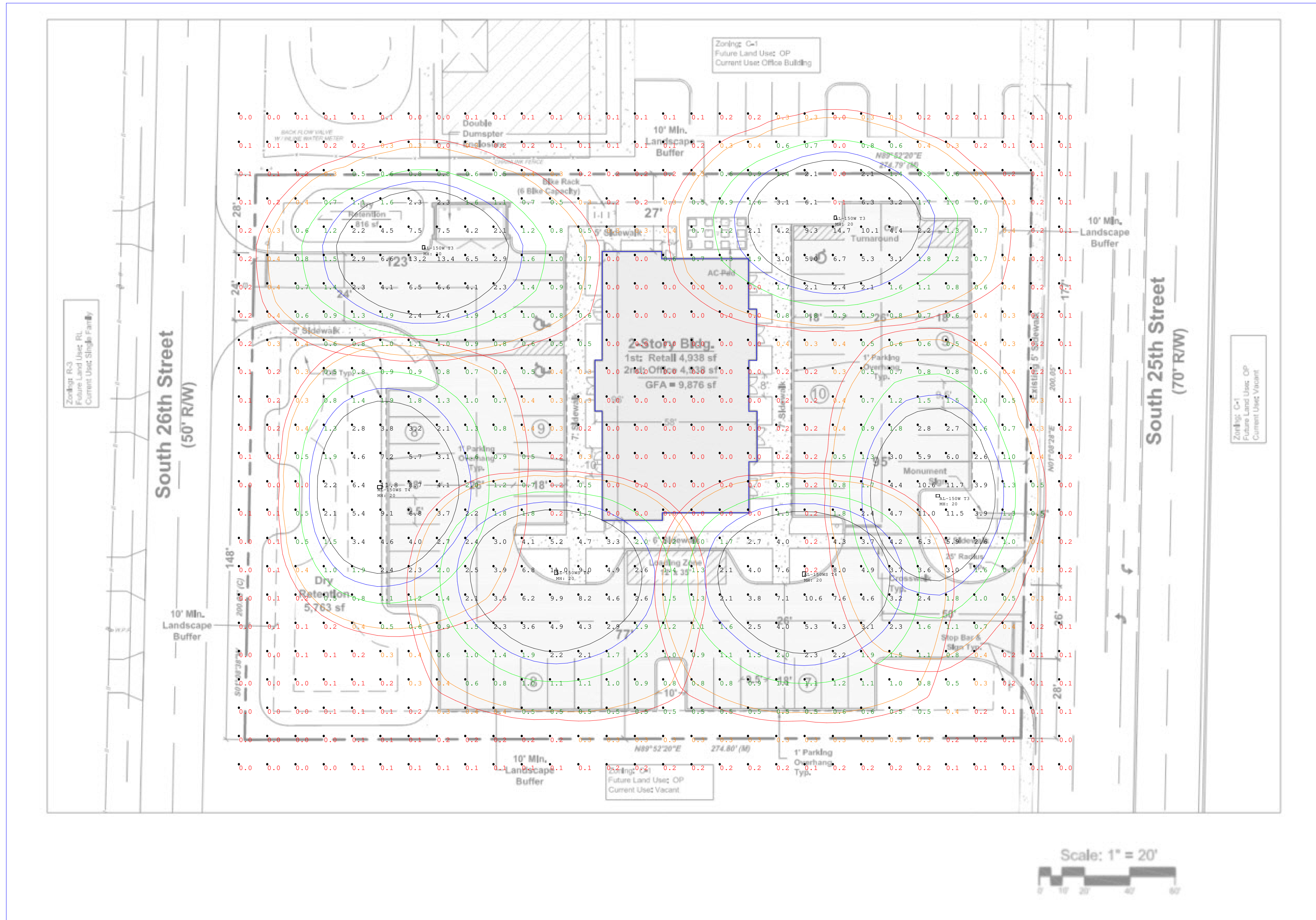


Doctor Shareef Site Plan V2

Proposed Lighting Layout

SHEET L01 : LIGHTING SCHEDULE/SUMMARY PAGE

SHEET L02 : PHOTOTMETRIC STUDY



Photometric Layout

SHEET

CLIENT

ADDRESS

STATISTICAL SUMMARY

LPD Area Summary			
Label	Area	Total Watts	LPD
LPDArea_1	151148	849.678	0.006

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	1.33	14.7	0.0	N.A.	N.A.

FIXTURE SCHEDULE

Luminaire Schedule								
Qty	Symbol	Label	Arrangement	Lum. Watts	Total Watts	Lum. Lumens	LLF	Description
3	□	AL-150W T3	Single	141.666	424.998	18448	0.930	AL-150WS-3CS-U-SO-NM-BZ(150W)-SK-T3
3	□	AL-150WS T4	Single	141.56	424.68	18535	0.930	AL-150WS-3CS-U-SO-NM-BZ

DESIGNER: SG

DATE: 11.05.25

REV: 1

SCALE: NTS

L01

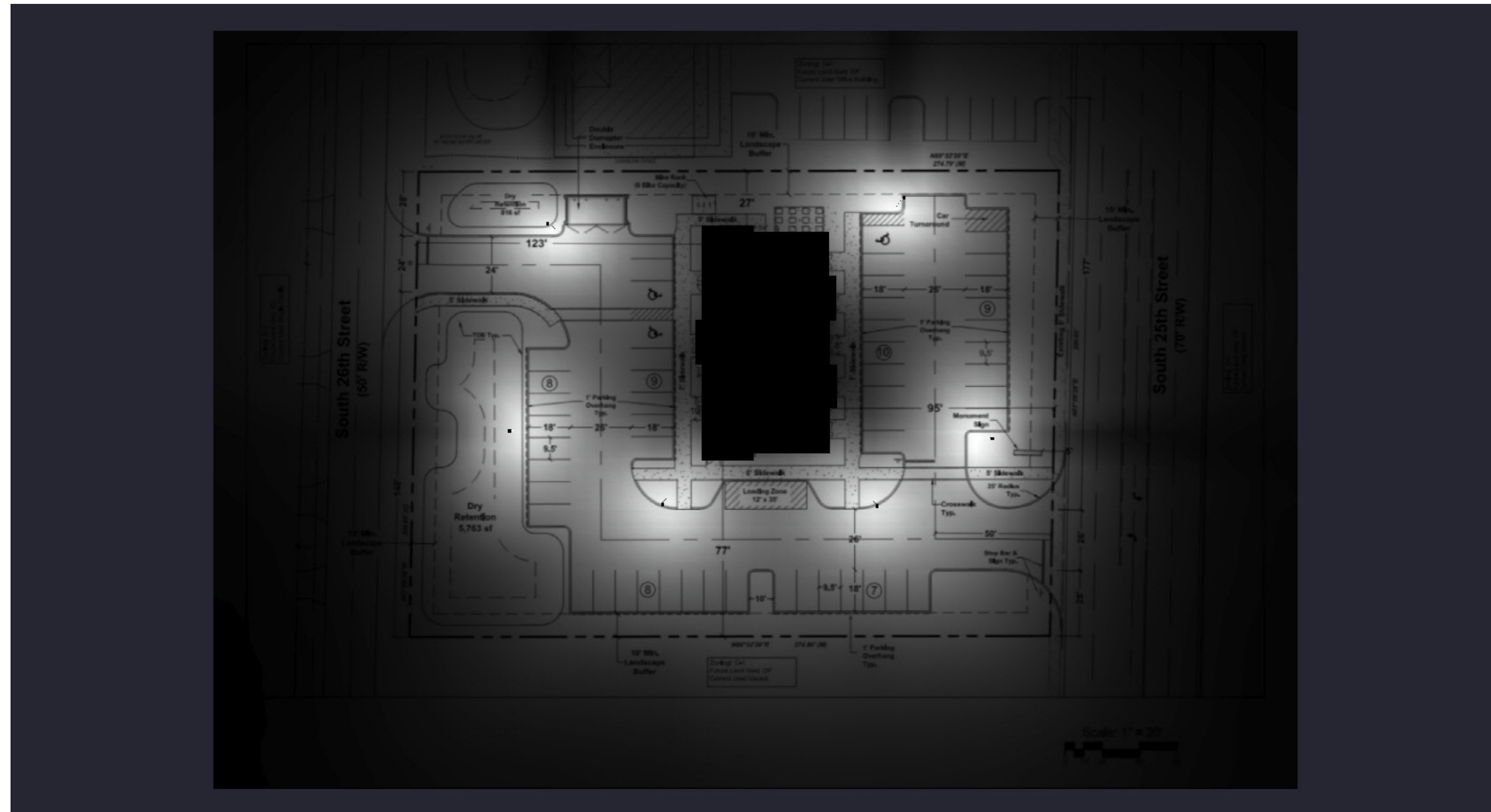
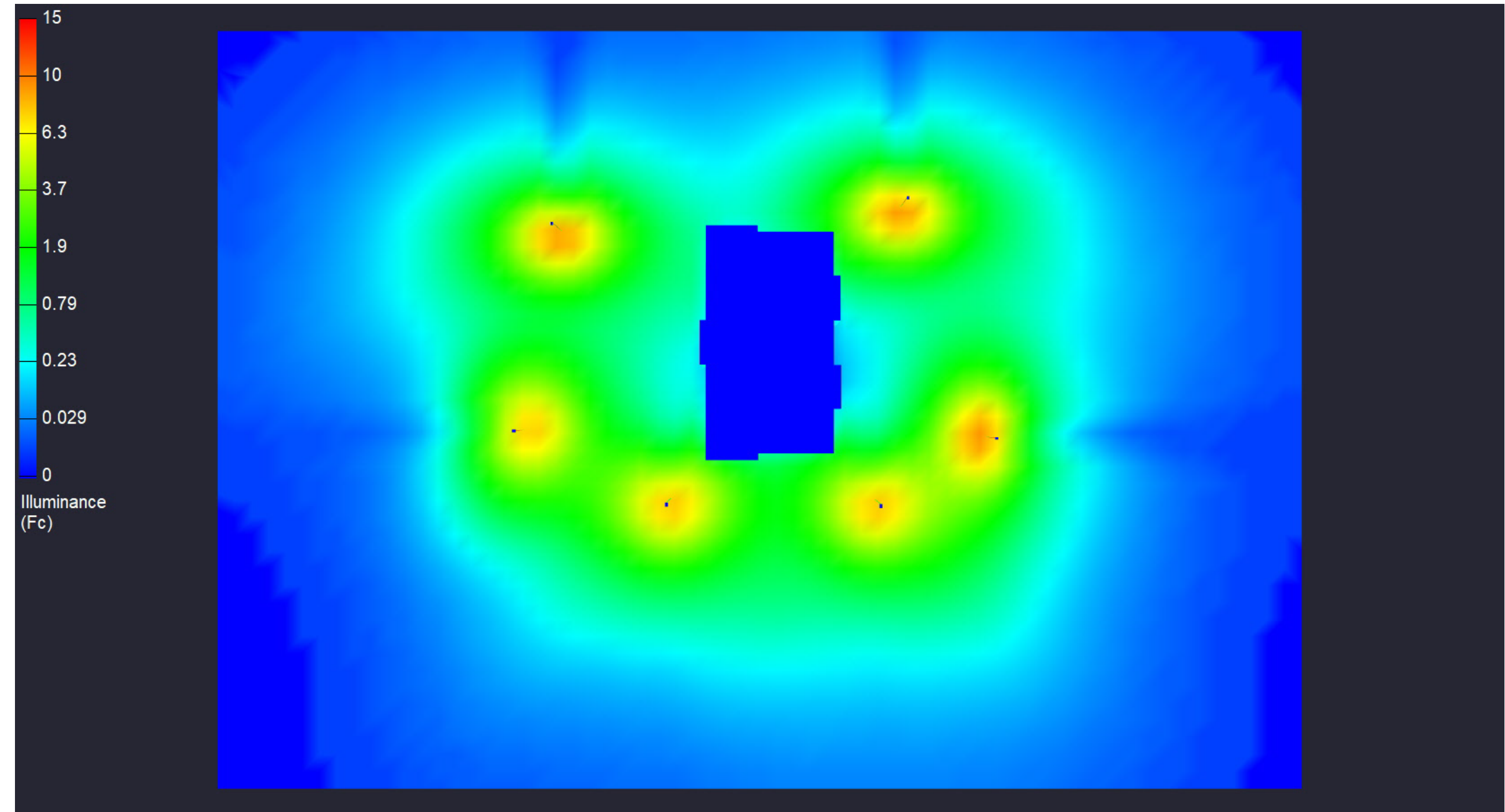


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Render Image - View Name : RenderViewpoint_2

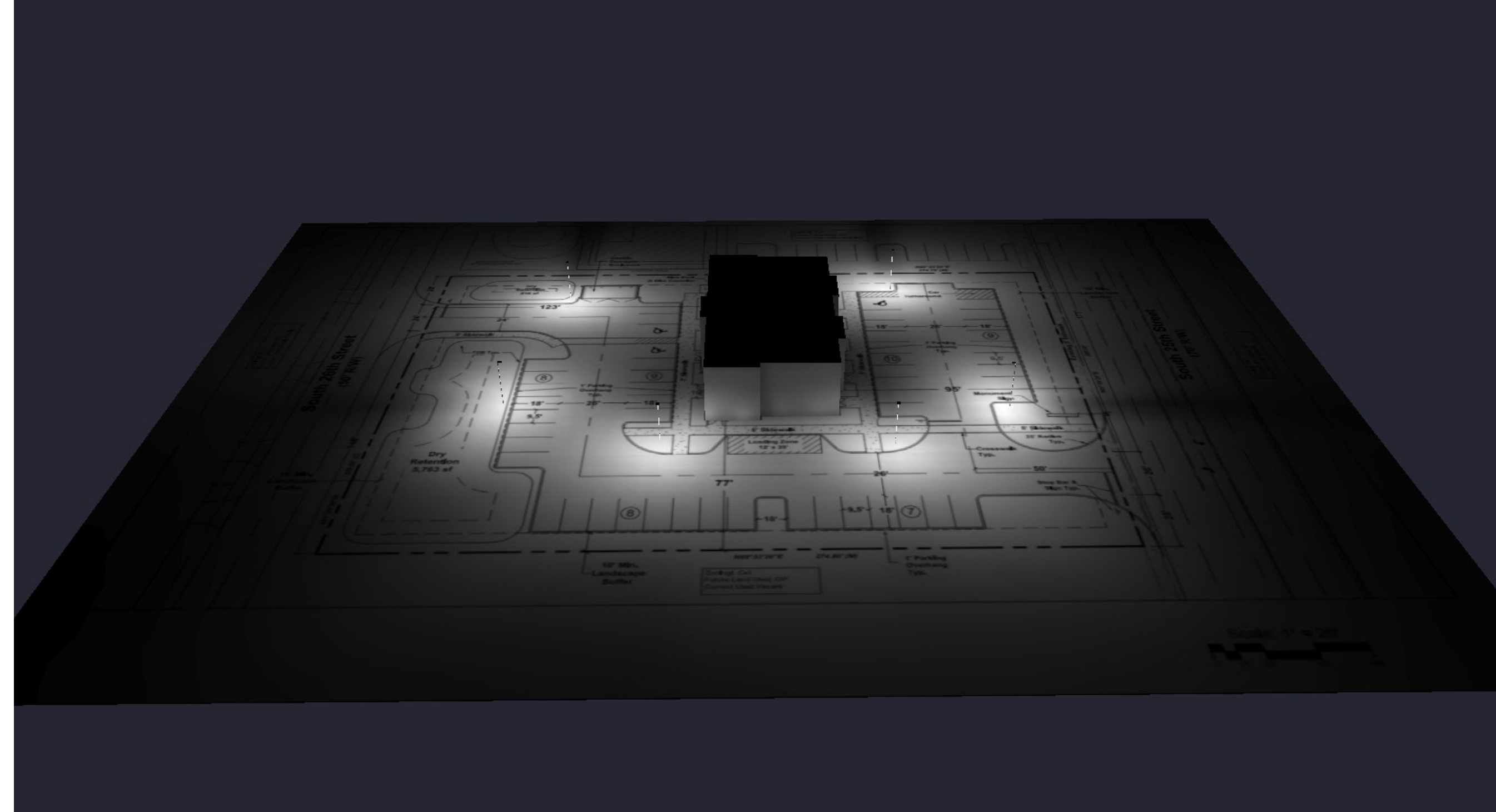


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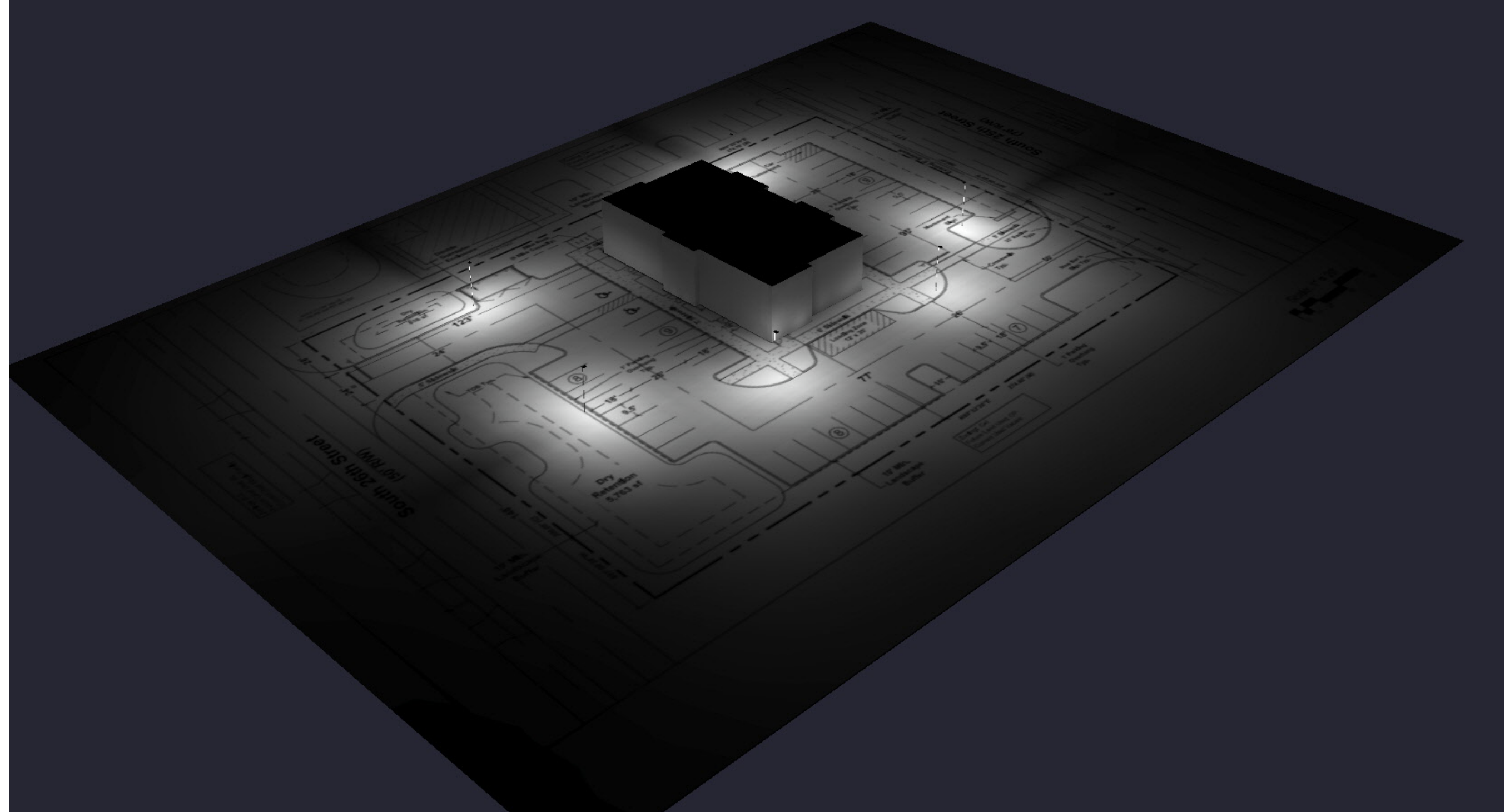


Image File : RenderViewpoint_4

Photometric Layout

SHEET

CLIENT

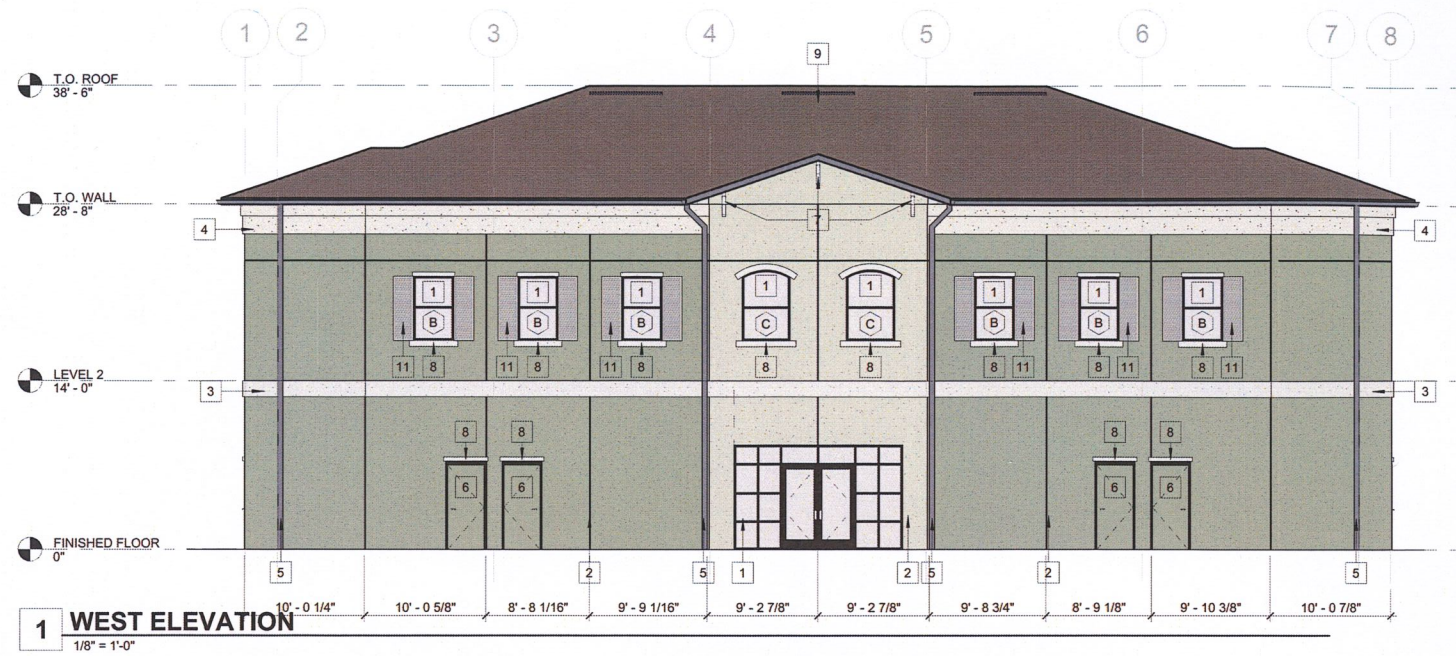
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DESIGNER: SG

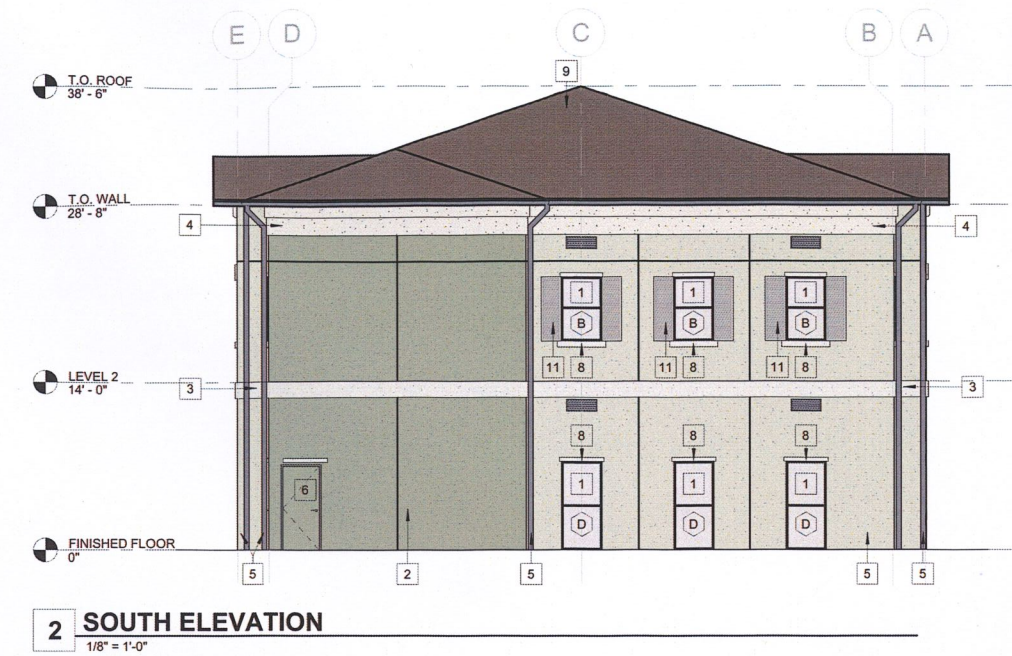
DATE: 11.05.25

REV: 1

SCALE: NTS

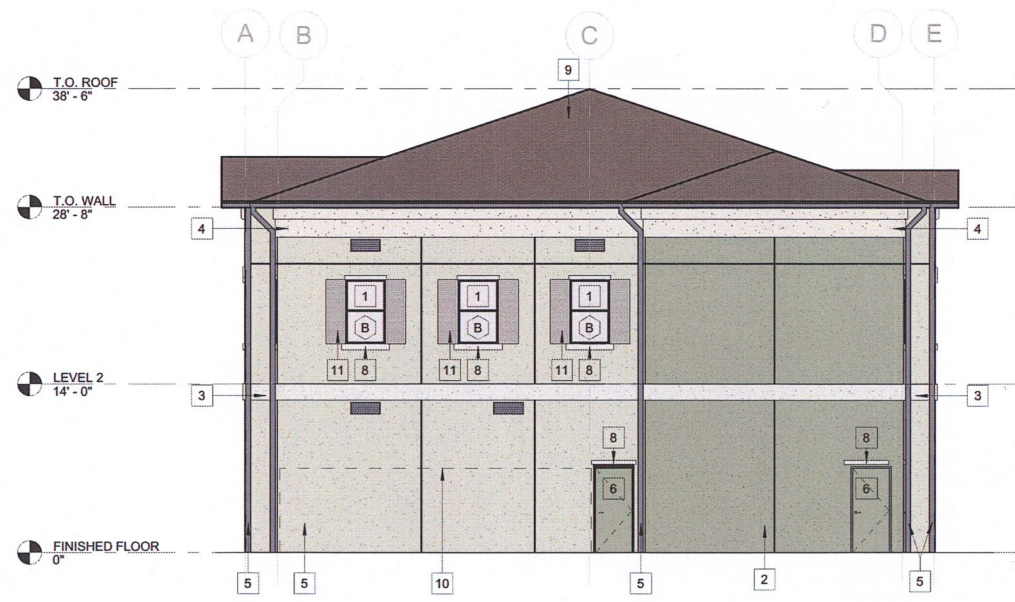


1 WEST ELEVATION
1/8" = 1'-0"

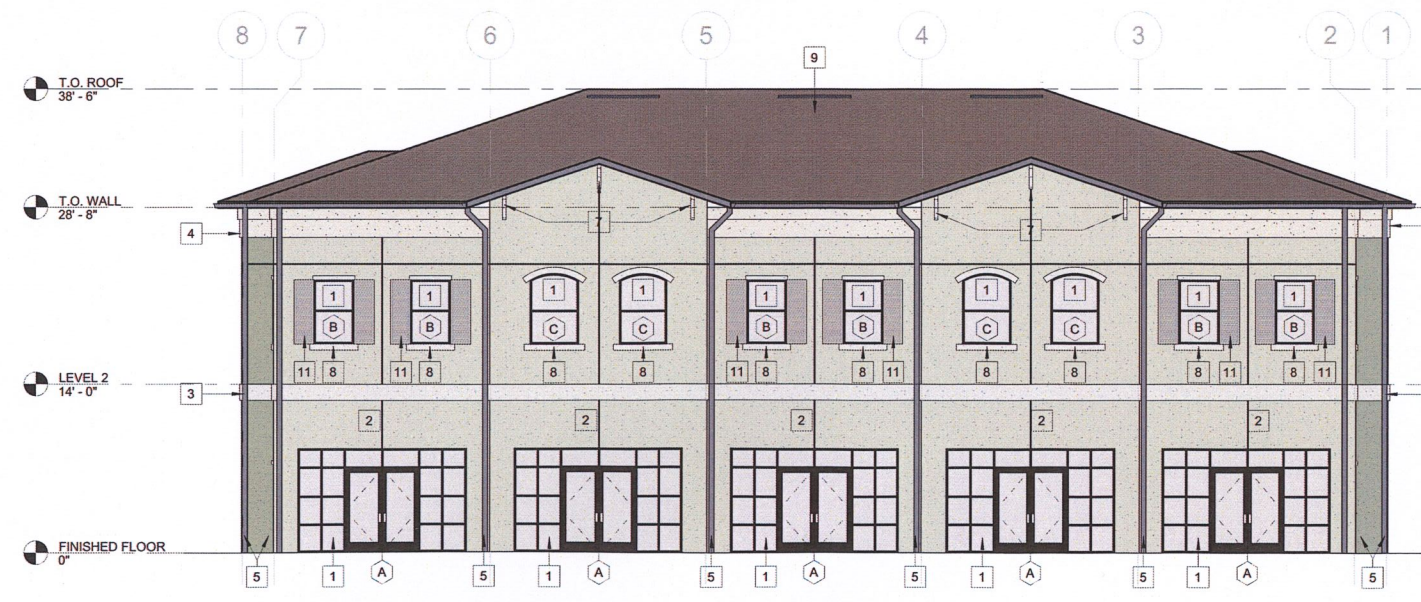


2 SOUTH ELEVATION
1/8" = 1'-0"

ALL LOUVERS 30X12



3 NORTH ELEVATION
1/8" = 1'-0"



4 EAST ELEVATION
1/8" = 1'-0"

ROOF

SW 6070 Heron Plume

259-C1

STUCCO BANDS

SW 6164 Svelte Sage

212-C3

STUCCO BASE

SW 6192 Coastal Plain

214-C3

STUCCO ACCENTS