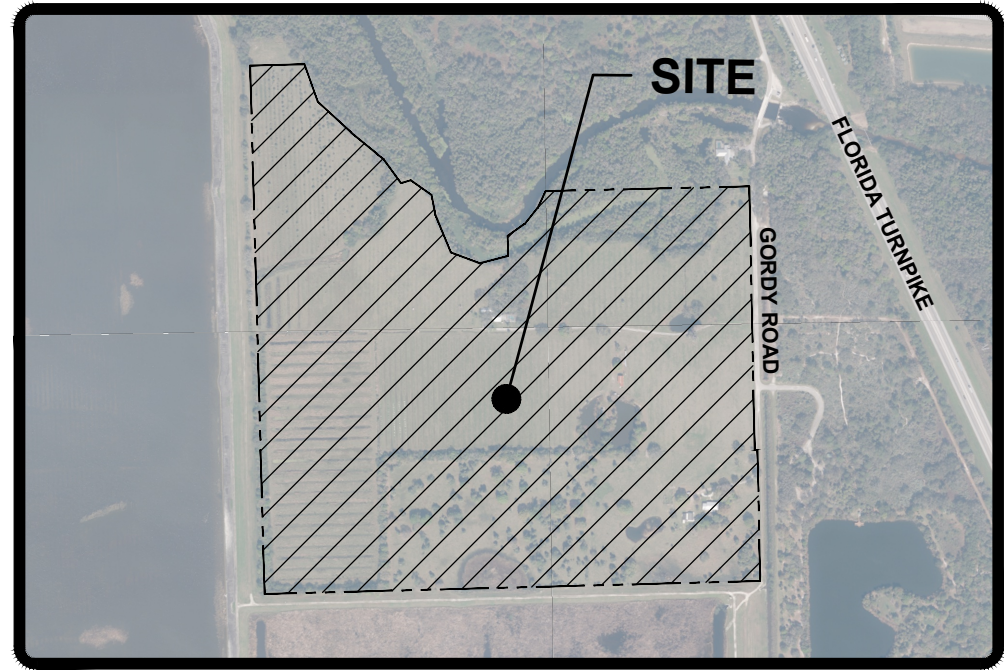
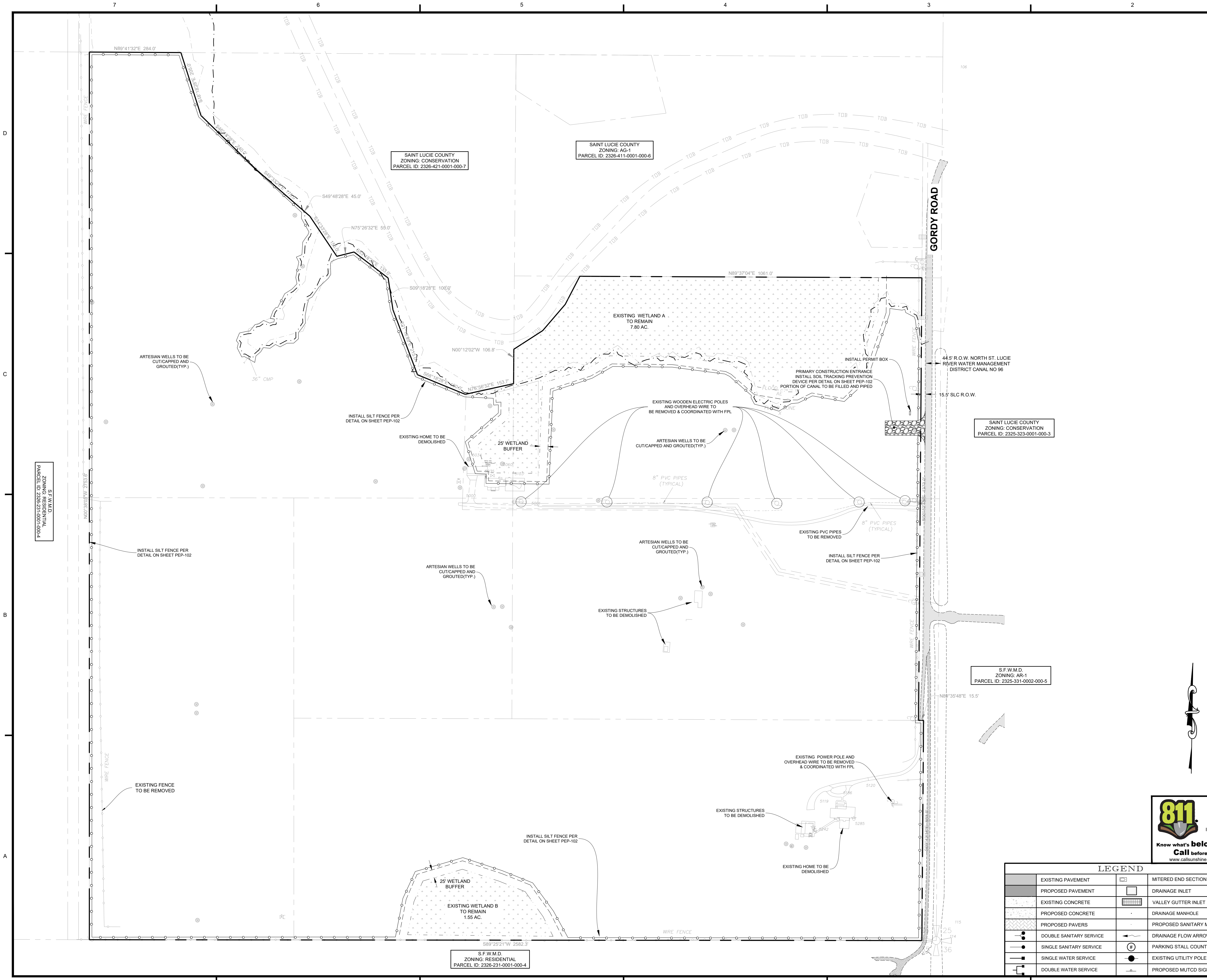


FILE LOCATION: Z:\EPC-2025\25-131 - RYAN HOMES - GORDY ROAD HICKORY BRANCH PROPERTIES\ENGINEERING\TODOS\DWGS\25-131 E-12.DWG, 2025-01-08, 12:42 PM



- CLEARING NOTE:**
1. LIMITS OF CLEARING TO INCLUDE ALL AREA WITHIN BOUNDARY LINE AND UP TO THE SILT FENCE.
 2. PROPERTY CORNERS SHALL BE LOCATED BY A LICENSED LAND SURVEYOR AND CLEARLY MARKED IN THE FIELD PRIOR TO THE ENGINEERING DEPARTMENT'S PRE-CONSTRUCTION MEETING FOR SITE DEVELOPMENT.
 3. AUTHORIZATION TO INSTALL EROSION CONTROL DEVICES AND PRESERVE BARRICADES WILL BE GRANTED AT THE PRE-CONSTRUCTION MEETING. THIS AUTHORIZATION SHALL BE POSTED ON THE SITE. IN THE PERMIT BOX, ITS LOCATION SHOWN ELSEWHERE ON THIS PAGE.
 4. NO ADDITIONAL LAND CLEARING SHALL COMMENCE UNTIL A SATISFACTORY INSPECTION OF THE REQUIRED CONTROL STRUCTURES AND BARRICADES HAS BEEN OBTAINED.
 5. A LAND CLEARING PERMIT MAY BE OBTAINED SUBSEQUENT TO THE SATISFACTORY INSPECTION OF THE CONTROL STRUCTURES AND BARRICADES. THIS PERMIT SHALL BE POSTED IN THE PERMIT BOX, LOCATION SHOWN ELSEWHERE ON THIS PAGE.
 6. ALL CONSTRUCTION BARRICADES AND SILT FENCE WILL REMAIN IN PLACE AND BE MONITORED FOR COMPLIANCE BY THE PERMIT HOLDER DURING PERMITTED DEVELOPMENT ACTIVITIES.
 7. ALL TREES TO BE PRESERVED SHALL BE PROTECTED BY TREE BARRICADES. SEE DETAIL ON LANDSCAPE PLANS.
 8. CLEARING DATES, METHOD OF EROSION AND SEDIMENT CONTROL, METHOD OF DEBRIS DISPOSAL AND SOIL STABILIZATION PROCEDURES TO BE IMPLEMENTED AFTER LAND CLEARING WILL BE CONFIRMED AND DOCUMENTED BY THE ENGINEER OF RECORD PRIOR TO THE PRE-CONSTRUCTION MEETING.

- DRAINAGE NOTES:**
1. SEE PAVING, GRADING, AND DRAINAGE PLAN SHEETS AND DETAILS FOR MODIFICATIONS OR REMOVAL INSTRUCTIONS OF EXISTING DRAINAGE.
 2. CONTRACTOR SHALL LOCATE AND MARK ALL EXISTING DRAINAGE BEFORE COMMENCEMENT OF CLEARING ACTIVITIES. FOR SAFETY PURPOSES ALL MISSING RIMS, GRATES, MANHOLE LIDS, ETC. SHOULD BE IDENTIFIED IN THE FIELD AND REMAIN COVERED DURING CONSTRUCTION. DAMAGES (EXISTING OR CAUSED) TO ANY EXISTING STRUCTURES OR PIPING THAT ARE TO REMAIN SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. ANY EXISTING INLET PROTECTION (FABRIC, SOCKS, ETC) FROM PREVIOUS CONSTRUCTION ACTIVITIES SHALL BE REPLACED. COSTS ASSOCIATED WITH ADDRESSING FIELD CONFLICTS SHALL BE INCLUDED IN THE CONTRACTORS BID SCOPE FOR THE PROJECT AS AGREED UPON BY THE DEVELOPER.

LAND CLEARING DEBRIS DISPOSAL METHOD:

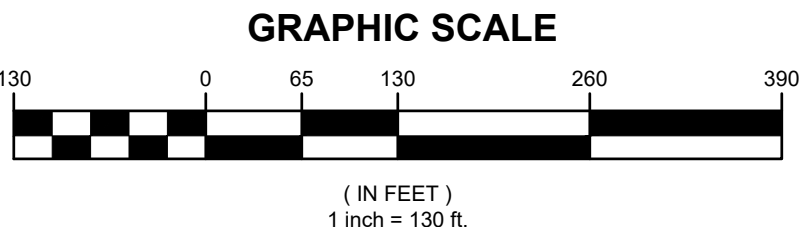
DEBRIS WILL BE SORTED ON-SITE IN THE STOCKPILE AREA AND HAULED OFF-SITE FOR REMOVAL. NO BURNING WILL OCCUR ON-SITE WITHOUT APPROVAL FROM CITY OF FORT PIERCE ST. LUCIE COUNTY FIRE DISTRICT, AND/OR FLORIDA FOREST SERVICE.

- NOTE TO CONTRACTOR:**
1. ALL PIPE ELEVATIONS SHALL BE FIELD VERIFIED BEFORE COMMENCEMENT.
 2. CONTRACTOR TO REGRADE & SOD ALL DISTURBED AREAS.
 3. THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL, AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA FROM THE EDGE OF PAVEMENT TO THE PROPERTY LINE WITHIN THE CITY'S RIGHT-OF-WAY.
 4. CONTRACTOR TO INSTALL SOD ADJACENT TO SIDEWALK AT FINISHED GRADE. ALL HANDHOLE RIMS ARE TO BE INSTALLED AT FINISHED GRADE.

PLAN REFERENCE:

INFORMATION BASED ON ELEVATIONS THAT ARE SHOWN RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D.88) AND ARE GIVEN IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED.

*GENERAL ACCEPTED CONVERSION: NAVD + 1.475 = NGVD



REV.	DATE	DESCRIPTION	BY	CHK.
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DRAWING ISSUE STATUS

NOT FOR CONSTRUCTION

HALEY WARD
ENGINEERING | ENVIRONMENTAL | SURVEYING
LAND PLANNING | INTERIOR DESIGN
10250 Village Parkway, Suite 201
Port Saint Lucie, Florida 34987
772.462.2455
WWW.HALEYWARD.COM

PROJECT

**GORDY ROAD
HICKORY BRANCH PROPERTIES**
3601, 3605, 3725 GORDY ROAD, ST. LUCIE COUNTY, FLORIDA

TITLE

**STORMWATER POLLUTION
PREVENTION PLAN**

DATE	12/8/2025	SCALE	AS SHOWN
DRAWN BY	VER	DESIGNED BY	MDL
CHECKED BY	MDL		
PROJECT No.	25-131 PEP 12-8-25 DWG		
DRAWING No.	PEP-101		

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Section 14	Waste disposal, this may include construction debris, chemicals, litter, and sanitary wastes:	All construction materials and debris will be placed in a dumpster and hauled off site to a landfill or other proper disposal site. No materials will be buried on site.
Section 15	Offsite vehicle tracking from construction entrances/exits:	Off site vehicle tracking of sediments and dust generation will be minimized via a rock construction entrance, street sweeping and the use of water to keep dust down.
Section 16	The proper application rates of all fertilizers, herbicides and pesticides used at the construction site:	Florida-friendly fertilizers and pesticides will be used at a minimum and in accordance with the manufacturer's suggested application rates.
Section 17	The storage, application, generation and migration of all toxic substances:	All paints and other chemicals will be stored in a locked covered shed.
Section 18	Other:	Port-o-lets will be placed away from storm sewer systems, storm inlet(s), surface waters and wetlands. No vehicle maintenance shall be conducted on-site. A washdown area shall be designated at all times and will not be located in any area that will allow for the discharge of polluted runoff.
Section 19	Provide a detailed description of the maintenance plan for all structural and non-structural controls to assure that they remain in good and effective operating condition.	
	Contractor shall provide routine maintenance of permanent and temporary sediment and erosion control features in accordance with the technical specifications or as follows, whichever is more stringent: • Silt fence shall be inspected at least weekly. Any required repairs shall be made immediately. Sediment deposits shall be removed when they reach approximately one-half the height of the barrier. • Maintenance shall be performed on the rock entrance when any void spaces are full of sediment. • Inlet(s)/outfalls shall be inspected immediately after each rain event and any required repairs to the filter inlets, silt fence, or filter fabric shall be performed immediately. • Bare areas of the site that were previously seeded shall be reseeded per manufactures' instructions. • Mulch and sod that has been washed out shall be replaced immediately. • Maintain all other areas of the site with proper controls as necessary.	
Section 20	Inspections: Describe the inspection and inspection documentation procedures, as required by the FDEP NPDES Generic Permit for Stormwater Discharge from Large and Small Construction Activities.	
	Qualified personnel will inspect all points of discharges, all disturbed areas of construction that have not been stabilized, constructed areas and locations where vehicles enter and exit the site, and all BMPs at least once every 7 calendar days and within 24 hours of the end of a rainfall event that is 0.5 inches or greater. Where sites have been finally stabilized, said inspections shall be conducted at least once every month until the Notice of Termination is filed.	
Section 21	Identify and describe all sources of non-stormwater discharges as allowed by the FDEP NPDES Generic Permit for Stormwater Discharge from Large and Small Construction Activities.	
	It is expected that the following non-stormwater discharges may occur from the site during construction period: wash water (where no spills or leaks of toxic or hazardous materials have occurred), and uncontaminated groundwater (from dewatering excavation). Dewatering shall be done in accordance with the requirements of the SFWMD Water Use Permit. If said discharges do occur, they will be directed to the temporary sediment basin prior to discharge. Turbid water from the stormwater pond shall not be pumped directly into the receiving waters. Any pumped water from the stormwater pond shall be treated so as to not allow a discharge of polluted stormwater. Treatment can include silt fences, settling ponds, the proper use of flocculating agents, or other appropriate means.	
Section 22	All contractor(s) and subcontractor(s) identified in the SWPPP must sign the following certification:	"I certify under penalty of law that I understand, and shall comply with, the terms and conditions of the State of Florida Generic Permit for Stormwater Discharge from Large and Small Construction Activities and this Stormwater Pollution Prevention Plan prepared hereunder."

Name	Title	Company Name, Address and Phone Number	Date



EXCAVATION WARNING SIGN DETAIL

N.T.S.

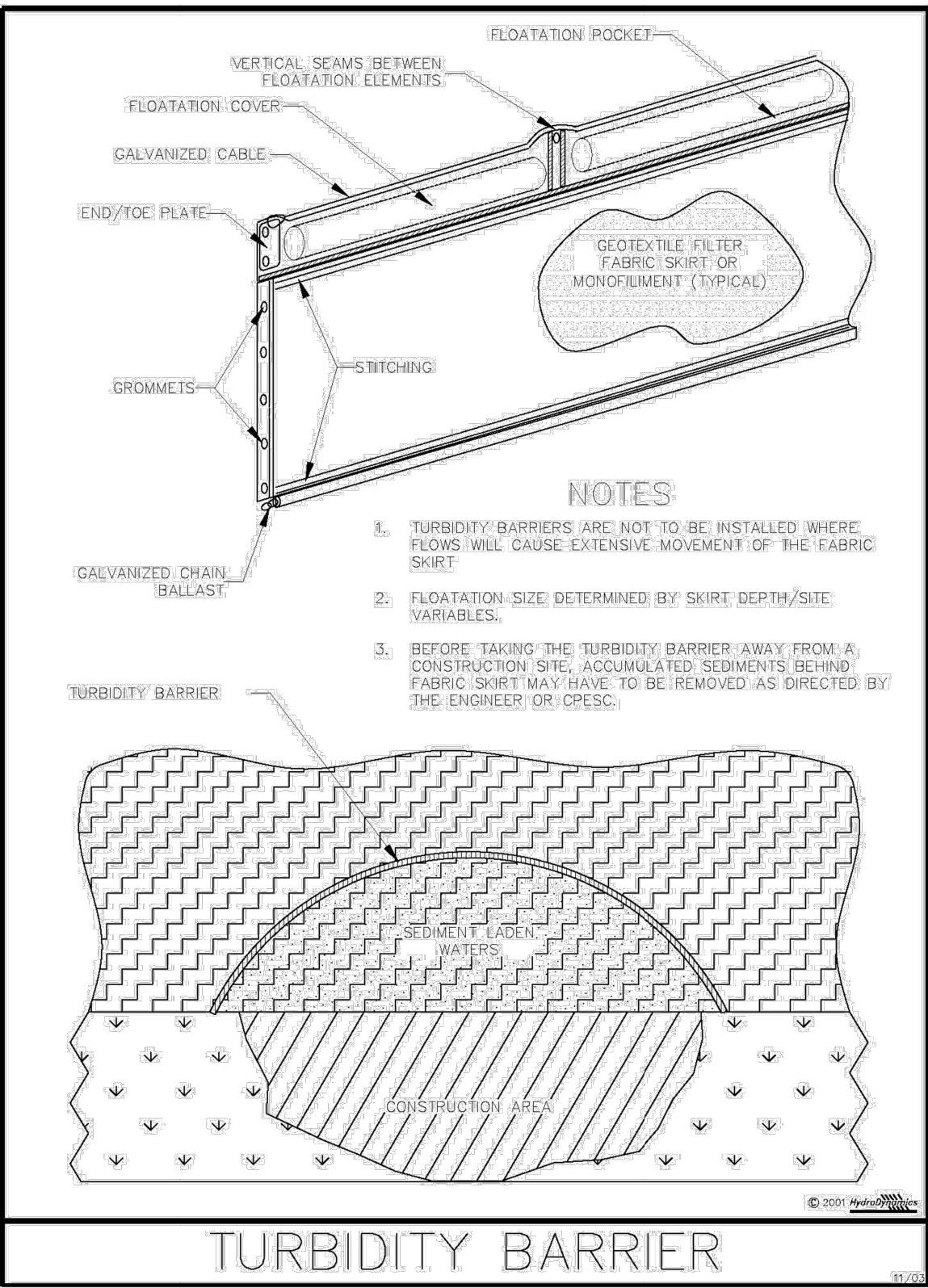


Figure V-44: Illustration of a Turbidity Barrier Curtain

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V-15

CHAPTER 4: BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENTATION CONTROL

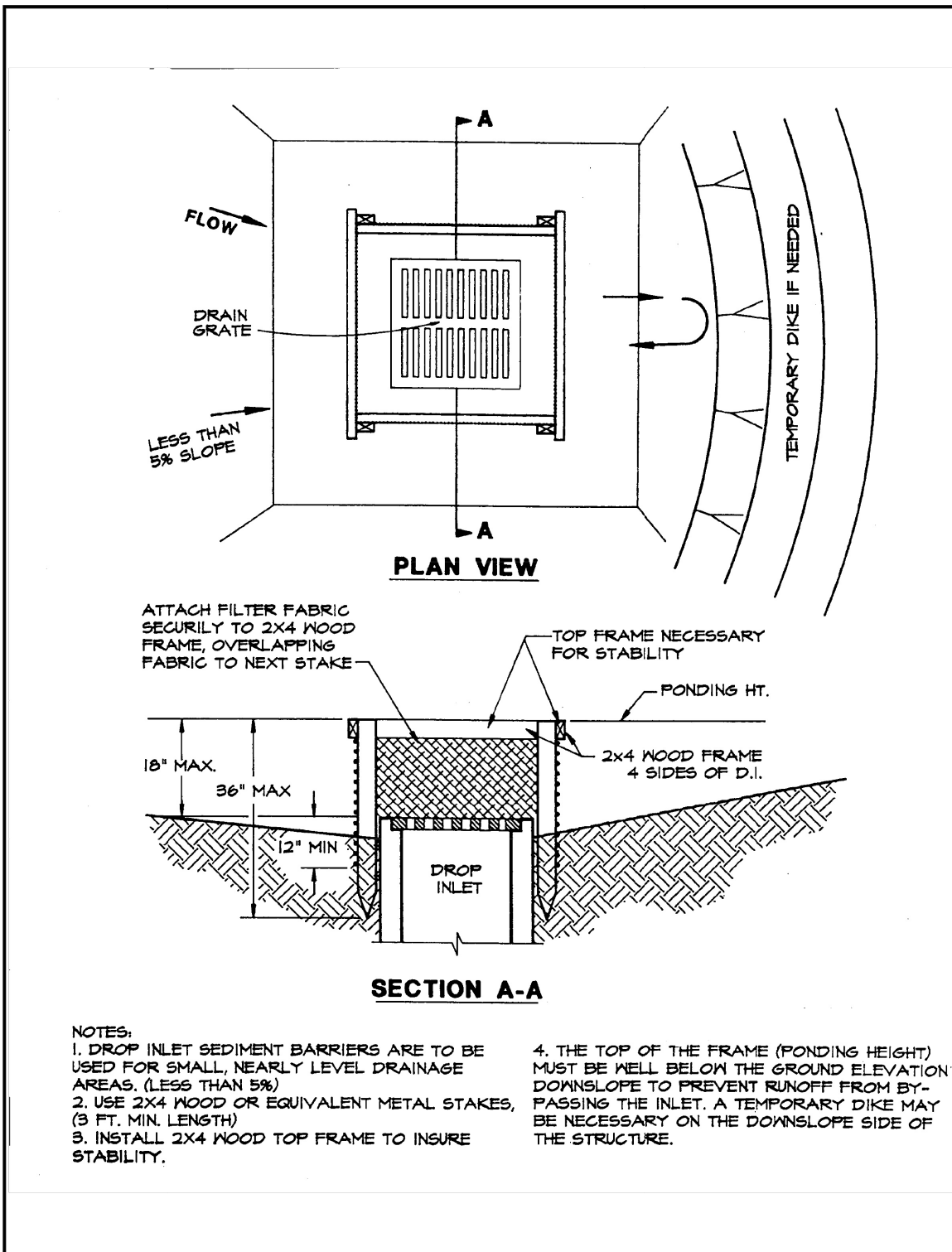


Figure 4.5a: Silt Fence Drop Inlet Sediment Barrier

Source: Erosion Draw

STATE OF FLORIDA EROSION & SEDIMENT CONTROL - DESIGNER & REVIEWER MANUAL

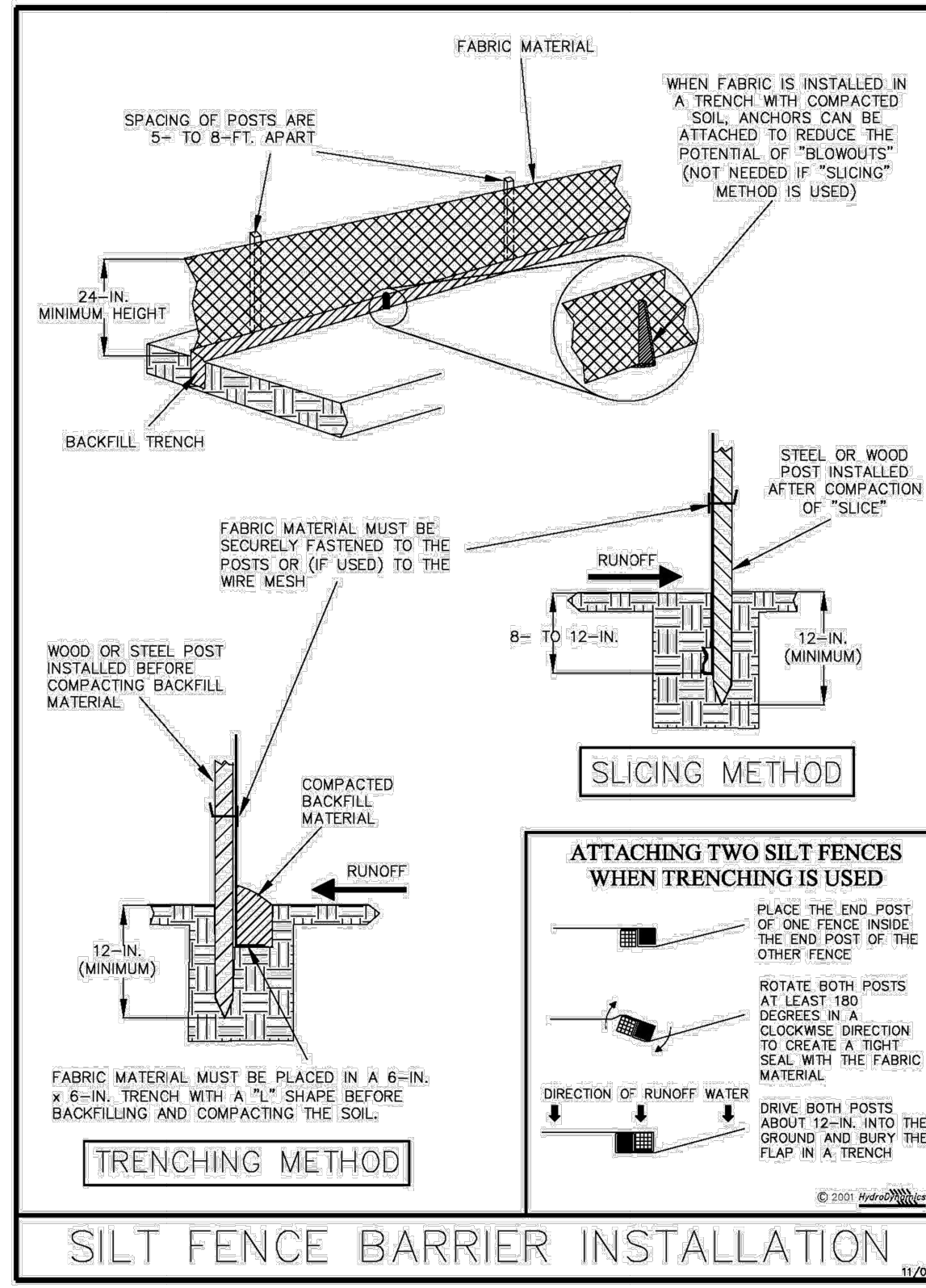


Figure V-40: Illustration of a Silt Fence Barrier

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V-7

STATE OF FLORIDA EROSION & SEDIMENT CONTROL - DESIGNER & REVIEWER MANUAL

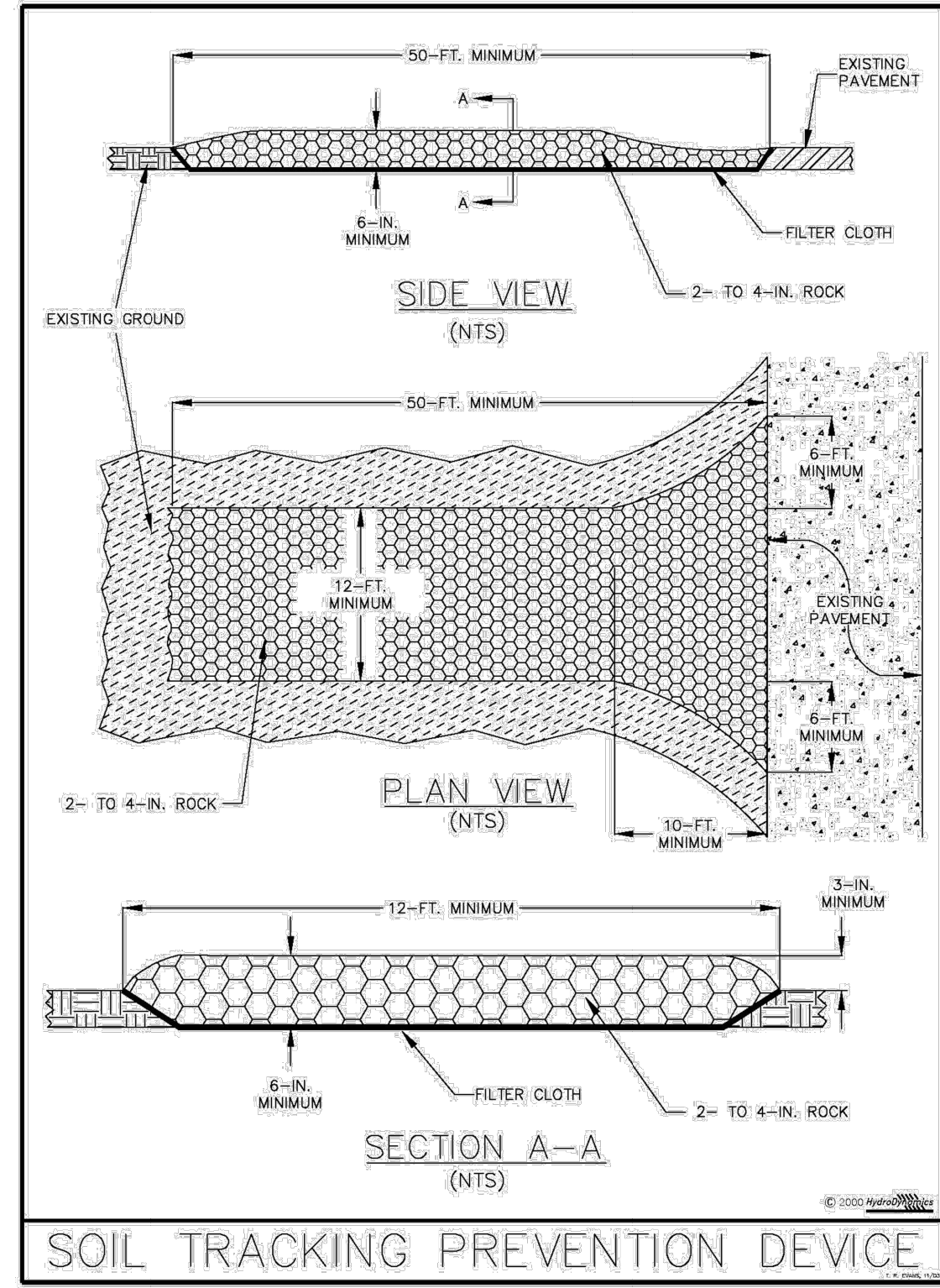


Figure V-52: Illustration of a Soil Tracking Prevention Device

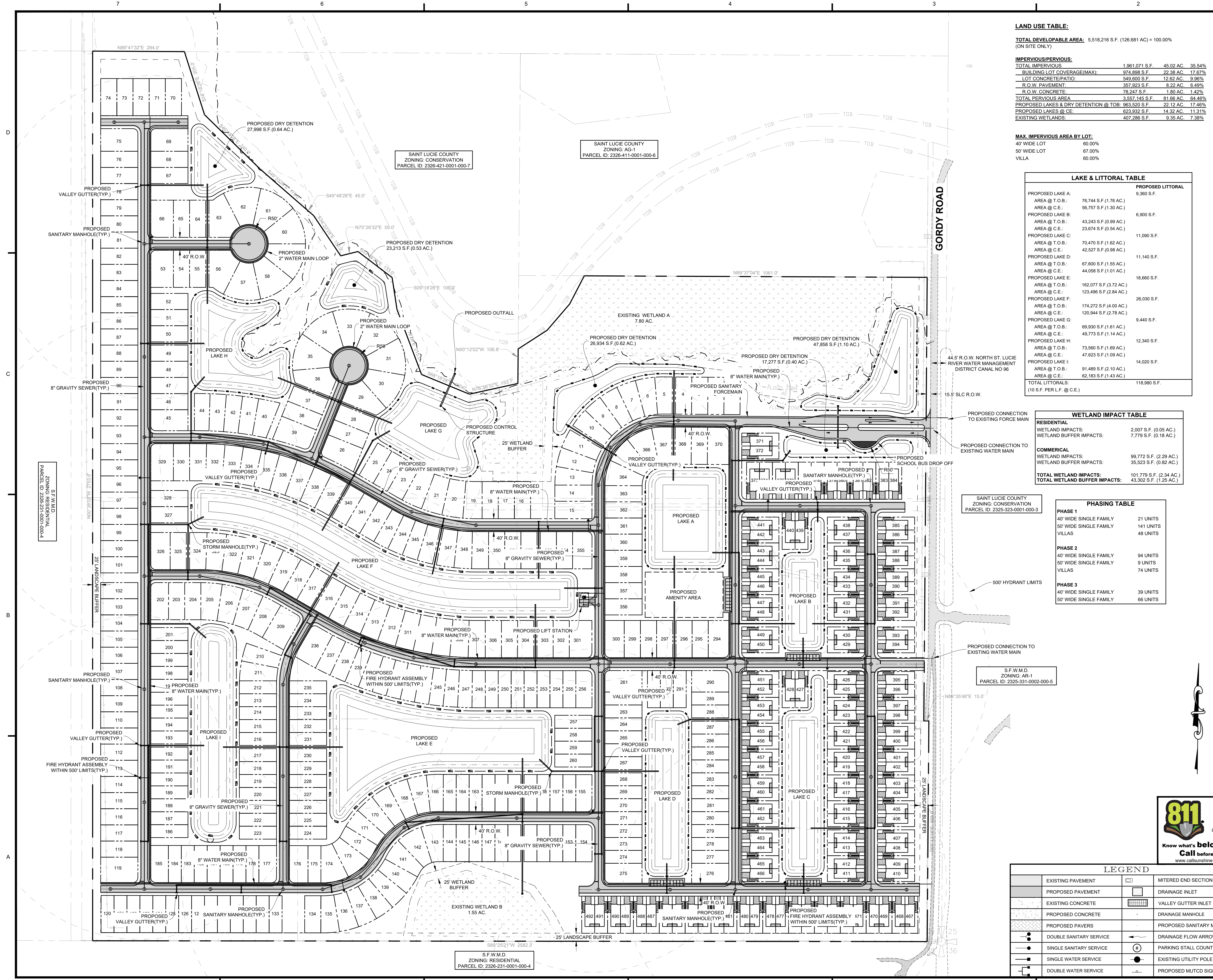
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V-31

REV.	DATE	DESCRIPTION	BY	CHK.
DRAWING ISSUE STATUS				
NOT FOR CONSTRUCTION				
 HALEY WARD ENGINEERING ENVIRONMENTAL SURVEYING LAND PLANNING INTERIOR DESIGN 10250 Village Parkway, Suite 201 Port Saint Lucie, Florida 34987 772.462.2455 WWW.HALEYWARD.COM				
PROJECT				
GORDY ROAD HICKORY BRANCH PROPERTIES 3601, 3605, 3725 GORDY ROAD, ST. LUCIE COUNTY, FLORIDA				
TITLE				
STORMWATER POLLUTION PREVENTION DETAILS				
DATE		SCALE		
1/8/2026		AS SHOWN		
DRAWN BY		DESIGNED BY		CHECKED BY
VER		MDL		MDL
PROJECT NO.				
25-131 ENG 1-8-26.DWG				
DRAWING No.				REV.
PEP-102				



FILE LOCATION: Z:\2023-2025-031 - RYAN HOMES - GORDY ROAD HICKORY BRANCH PROPERTY\RESUBMITTALS\PEP\032025-031 ENG 1-8-26.DWG, 2025-03-18, 12:44 PM



LAND USE TABLE:

TOTAL DEVELOPABLE AREA: 5,518,216 S.F. (126.681 AC) = 100.00% (ON SITE ONLY)

IMPERVIOUS/PERVIOUS:

TOTAL IMPERVIOUS	1,961,071 S.F.	45.02 AC	35.54%
TOTAL PERVIOUS	3,557,145 S.F.	81.66 AC	64.46%
BUILDING LOT COVERAGE(MAX):	974,898 S.F.	22.38 AC	17.67%
LOT CONCRETE/PATIO:	549,600 S.F.	12.62 AC	9.96%
R.O.W. PAVEMENT:	357,923 S.F.	8.22 AC	6.49%
R.O.W. CONCRETE:	78,247 S.F.	1.80 AC	1.42%
TOTAL PERVIOUS AREA	3,557,145 S.F.	81.66 AC	64.46%
PROPOSED LAKES & DRY DETENTION @ TOB:	983,520 S.F.	22.12 AC	17.49%
PROPOSED LAKES @ CE:	623,932 S.F.	14.32 AC	11.31%
EXISTING WETLANDS:	407,286 S.F.	9.35 AC	7.38%

MAX. IMPERVIOUS AREA BY LOT:

40' WIDE LOT	80.00%
50' WIDE LOT	67.00%
VILLA	60.00%

LAKE & LITTORAL TABLE

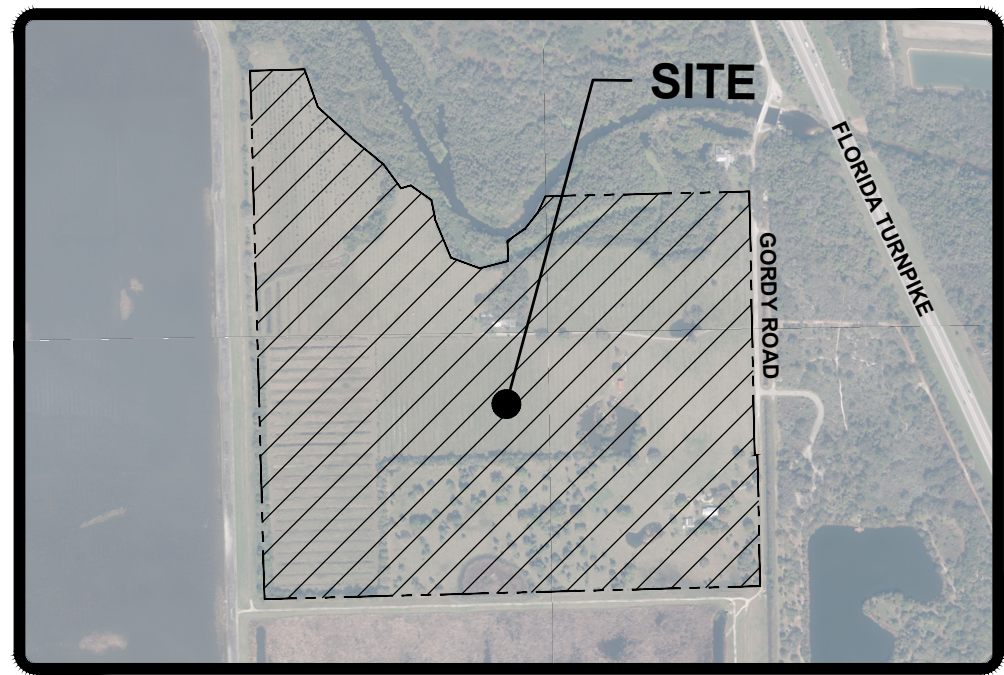
PROPOSED LAKE A:	PROPOSED LITTORAL
AREA @ T.O.B.:	76,744 S.F. (1.76 AC.)
AREA @ C.E.:	56,757 S.F. (1.30 AC.)
PROPOSED LAKE B:	6,900 S.F.
AREA @ T.O.B.:	43,243 S.F. (0.99 AC.)
AREA @ C.E.:	23,674 S.F. (0.54 AC.)
PROPOSED LAKE C:	11,090 S.F.
AREA @ T.O.B.:	70,470 S.F. (1.62 AC.)
AREA @ C.E.:	42,527 S.F. (0.98 AC.)
PROPOSED LAKE D:	11,140 S.F.
AREA @ T.O.B.:	67,800 S.F. (1.55 AC.)
AREA @ C.E.:	44,058 S.F. (1.01 AC.)
PROPOSED LAKE E:	18,660 S.F.
AREA @ T.O.B.:	162,077 S.F. (3.72 AC.)
AREA @ C.E.:	123,496 S.F. (2.84 AC.)
PROPOSED LAKE F:	26,030 S.F.
AREA @ T.O.B.:	174,272 S.F. (4.00 AC.)
AREA @ C.E.:	120,944 S.F. (2.78 AC.)
PROPOSED LAKE G:	9,440 S.F.
AREA @ T.O.B.:	69,930 S.F. (1.61 AC.)
AREA @ C.E.:	49,773 S.F. (1.14 AC.)
PROPOSED LAKE H:	12,340 S.F.
AREA @ T.O.B.:	73,560 S.F. (1.69 AC.)
AREA @ C.E.:	47,623 S.F. (1.09 AC.)
PROPOSED LAKE I:	14,020 S.F.
AREA @ T.O.B.:	91,489 S.F. (2.10 AC.)
AREA @ C.E.:	62,183 S.F. (1.43 AC.)
TOTAL LITTORALS:	118,980 S.F.
(10 S.F. PER L.F. @ C.E.)	

WETLAND IMPACT TABLE

O	RESIDENTIAL	
	WETLAND IMPACTS:	2,007 S.F. (0.05 AC.)
	WETLAND BUFFER IMPACTS:	7,779 S.F. (0.18 AC.)
	COMMERCIAL	
	WETLAND IMPACTS:	99,772 S.F. (2.29 AC.)
	WETLAND BUFFER IMPACTS:	35,523 S.F. (0.82 AC.)
	TOTAL WETLAND IMPACTS:	101,779 S.F. (2.34 AC.)
	TOTAL WETLAND BUFFER IMPACTS:	43,302 S.F. (1.25 AC.)

PHASING TABLE

PHASE 1	21 UNITS
40' WIDE SINGLE FAMILY	141 UNITS
50' WIDE SINGLE FAMILY	48 UNITS
VILLAS	
PHASE 2	94 UNITS
40' WIDE SINGLE FAMILY	9 UNITS
50' WIDE SINGLE FAMILY	74 UNITS
VILLAS	
PHASE 3	39 UNITS
40' WIDE SINGLE FAMILY	66 UNITS
50' WIDE SINGLE FAMILY	



VICINITY MAP

SCALE: 1:1,000

SITE DATA

FUTURE LAND USE:	RS/RC
ZONING:	AG-1/RC
FUTURE LAND USE:	RS/RC
PARCEL ID #:	2326-413-0000-000-5 2326-413-0001-000-2 2326-434-0000-000-0
GROSS ACREAGE:	5,518,216 S.F. (126.681 AC) = 100.00%
PROJECT DENSITY:	492 UNITS (3.88 D/U PER ACRES)
TOTAL DWELLING UNITS:	122 UNITS
DUPLEX VILLAS:	162 UNITS
40' SINGLE FAMILY:	208 UNITS
50' SINGLE FAMILY:	
MIN. OPEN SPACE REQUIRED:	1,379,556 S.F. (31.67 AC) = 25.00%
TOTAL DRAINAGE:	963,520 S.F. (22.12 AC) = 17.46%

CONSTRUCTION NOTES:

- ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF FORT PIERCE CODE OF ORDINANCES SECTIONS 17 & 22.
- TRANSFORMER AND UTILITY CONDUIT PLACEMENT & ELEVATION TO BE COORDINATED WITH FPUA AND OWNER.
- CONTRACTOR TO FIELD VERIFY LOCATION, DEPTH, AND INVERTS OF ALL UTILITIES. NOTIFY E.O.R. OF ANY DISCREPANCIES.
- ALL PIPE ELEVATIONS SHALL BE FIELD VERIFIED BEFORE COMMENCEMENT.
- ALL PROPOSED AND EXISTING UTILITIES SHALL MAINTAIN MIN. COVER REQUIREMENTS OF FDEP.
- SOD ALL DISTURBED AREAS.
- THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL, AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA FROM THE EDGE OF PAVEMENT TO THE PROPERTY LINE WITHIN THE CITY'S RIGHT-OF-WAY.
- ALL STORM DRAINAGE FACILITIES SHALL CONFORM TO CHAPTERS 32 AND 119 AND THE STANDARD SPECIFICATIONS ADOPTED BY THE CITY COMMISSION ON FEBRUARY 13, 1973, AS AMENDED.
- ALL SIDEWALKS SHALL HAVE A CROSS SLOPE OF 2% OR LESS.

FEMA FLOOD ZONE INFO:

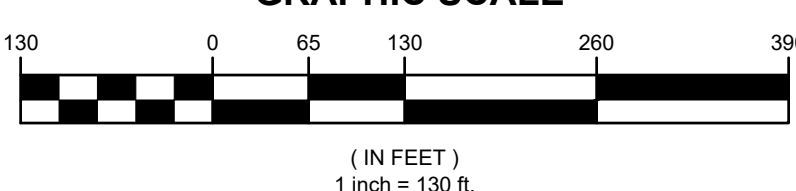
FLOOD ZONE X
FIRM PANEL: 12111C0159J
CITY OF FT PIERCE
120286

PLAN REFERENCE:

INFORMATION BASED ON ELEVATIONS THAT ARE SHOWN RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D.88) AND ARE GIVEN IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED.

*GENERAL ACCEPTED CONVERSION: NAVD + 1.475 = NGVD

GRAPHIC SCALE



REV.	DATE	DESCRIPTION	BY	CHK.
DRAWING ISSUE STATUS				
NOT FOR CONSTRUCTION				
 HALEY WARD ENGINEERING ENVIRONMENTAL SURVEYING LAND PLANNING INTERIOR DESIGN 10250 Village Parkway, Suite 201 Port Saint Lucie, Florida 34987 772.462.2455 WWW.HALEYWARD.COM				

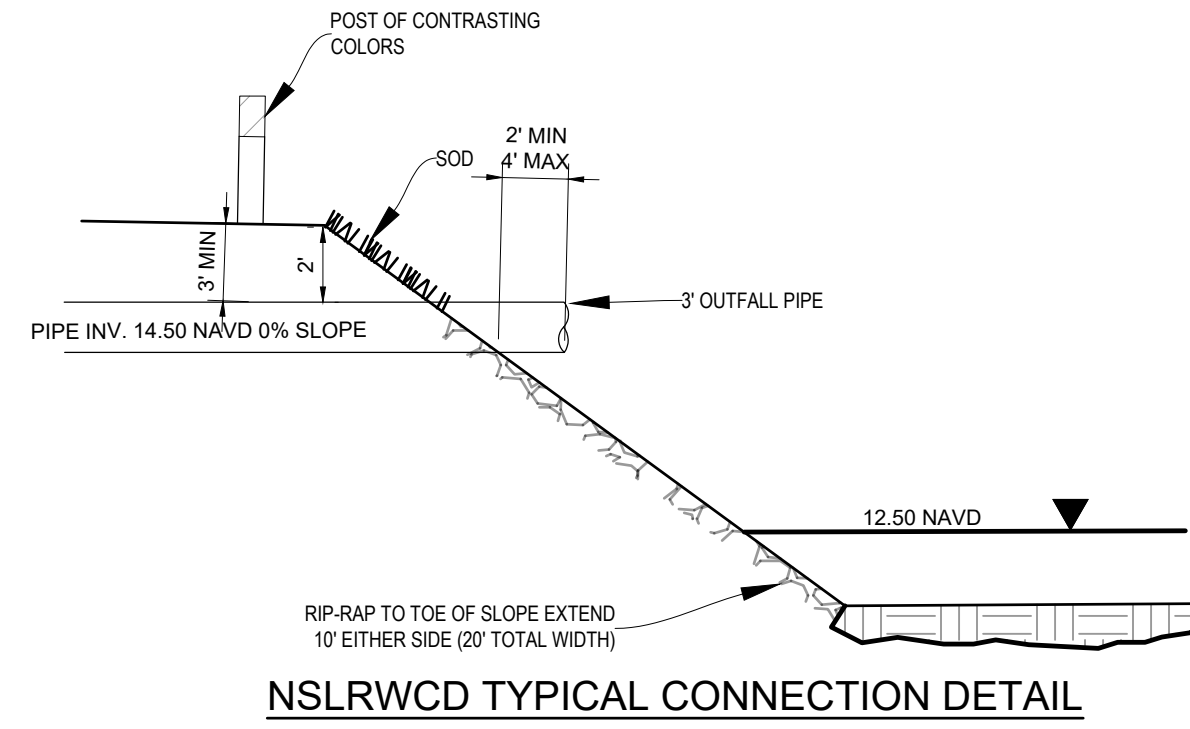
PROJECT	GORDY ROAD HICKORY BRANCH PROPERTIES 3601, 3605, 3725 GORDY ROAD, ST. LUCIE COUNTY, FLORIDA			
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TITLE	PRELIMINARY ENGINEERING PLAN			
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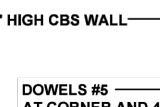
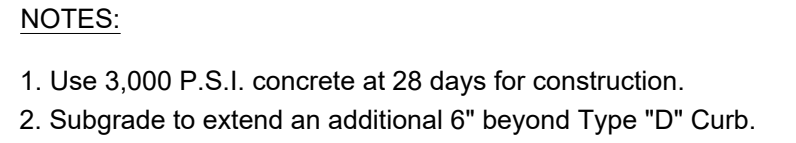
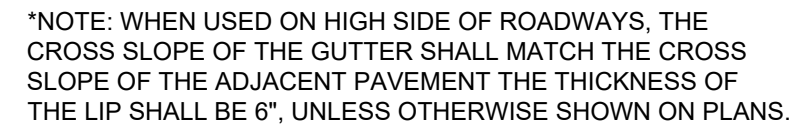
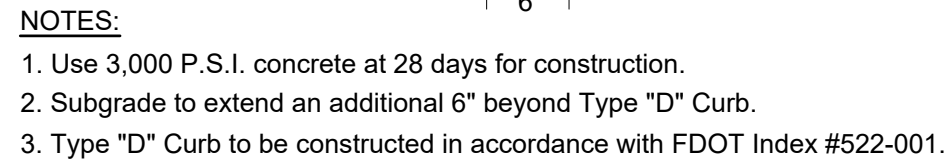
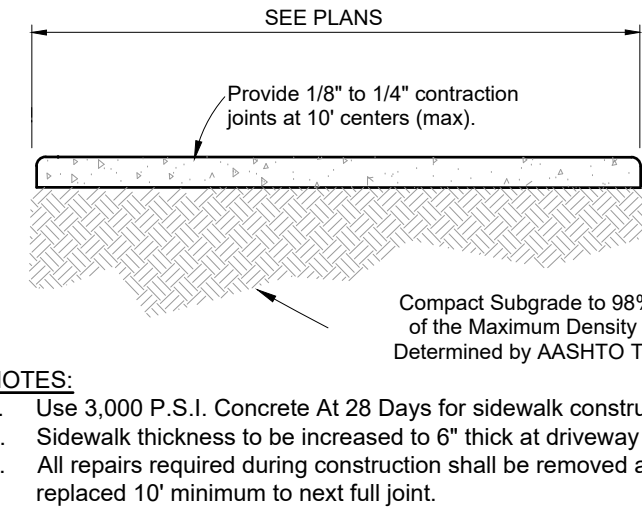
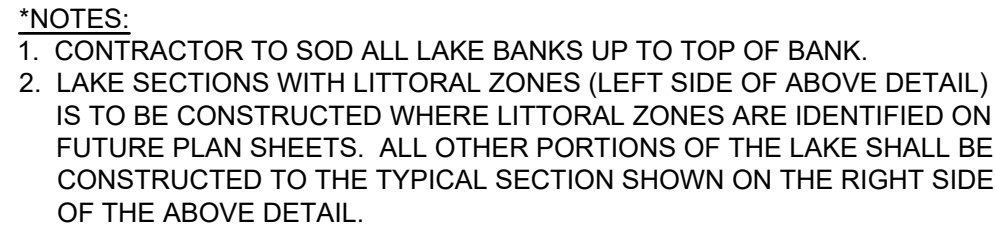
DATE	1/8/2026	SCALE	AS SHOWN
DRAWN BY	VER	DESIGNED BY	MDL
CHECKED BY	MDL		
PROJECT NO.	25-131 ENG 1-8-26.DWG		
DRAWING NO.	PEP-103		



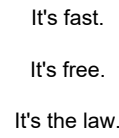
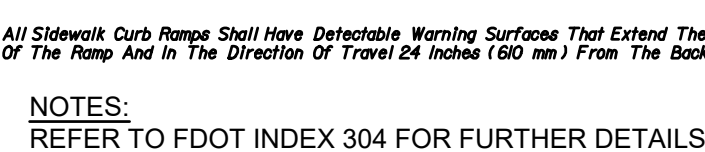
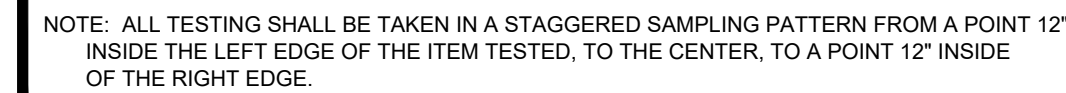
LEGEND	
EXISTING PAVEMENT	MITERED END SECTION
PROPOSED PAVEMENT	DRAINAGE INLET
EXISTING CONCRETE	VALLEY GUTTER INLET
PROPOSED CONCRETE	DRAINAGE MANHOLE
PROPOSED PAVERS	PROPOSED SANITARY MANHOLE
DOUBLE SANITARY SERVICE	DRAINAGE FLOW ARROW
SINGLE SANITARY SERVICE	PARKING STALL COUNT
SINGLE WATER SERVICE	EXISTING UTILITY POLE
DOUBLE WATER SERVICE	PROPOSED MUTCD SIGN



NSLRWCD TYPICAL CONNECTION DETAIL



- Q:\Engineering\CADD Files\Drawings\Reference\City Details\City Details 2016\000 Dumpster Enclosure Details.dwg



HALEY WARD
ENGINEERING | ENVIRONMENTAL | SURVEYING
LAND PLANNING | INTERIOR DESIGN

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Port Saint Lucie, Florida 34987
772.462.2455

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**GORDY ROAD
HICKORY BRANCH PROPERTIES**
3601, 3605, 3725 GORDY ROAD, ST. LUCIE COUNTY, FLORIDA

PRELIMINARY ENGINEERING PLAN

PEP-104