

**KMA Engineering & Surveying, LLC**

1176 25<sup>th</sup> St.

Vero Beach, FL 32960

(772) 569-550

March 31, 2026

City of Fort Pierce  
Planning Department  
2300 Virginia Avenue  
Fort Pierce, FL 34982

Re: All Area Roofing

We are proposing a 9,955 sf. building on 1.5 acres at 3621 US HWY 1 Fort Pierce, FL. Currently the property is zoned C-3 with a future land use of GC. The site is bordered by Industrial land use on the north and west and GC to the south. The hours of operation will be from 7 a.m. to 5 p.m. daily and the showroom will be open to the public. Heavy duty pickup trucks & dump trucks will be accessing and be stored on site.

Should you have any questions or require additional information, please feel free to contact this office at your earliest convenience.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Blaine Bergstresser', is written over a light blue horizontal line.

Blaine Bergstresser, P.E.  
Florida License No. 84598



**KMA Engineering & Surveying, LLC**

1176 25<sup>th</sup> St.  
Vero Beach, FL 32960  
(772) 569-550

January 28, 2026

City of Fort Pierce  
Planning Department  
100 N. US Highway 1  
Fort Pierce, FL 34950

Re: All Area Roofing

We are proposing a 9,955 sf. building on 1.5 acres at 3621 US HWY 1 Fort Pierce, FL. Currently the property is zoned C-3 with a future land use of GC. The site is bordered by Industrial land use on the north and west and GC to the south.

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Vero Beach, FL 32960  
(772) 569-550

Prepared by and return to:

Alicia M. Kilbourne  
Premier Title Partners of Florida, LLC  
3885 20th Street, Suite 202, Vero Beach, FL 32960  
(772) 206-4601  
File No PTP22-6503F

Parcel Identification No 2434-601-0025-000-5

[Space Above This Line For Recording Data]

## WARRANTY DEED

(STATUTORY FORM - SECTION 689.02, F.S.)

This indenture made the 5<sup>TH</sup> day of August, 2022 between **Kieran Casey and Nikki Casey, husband and wife** whose post office address is **3900 Shoreside Drive, Hutchinson Island, FL 34949**, of the County of St. Lucie, State of Florida, and **Anna Casey, a married woman**, whose post office address is **12600 Southwest 92nd Court, Miami, FL 33176**, County of Dade-Broward, State of Florida, Grantors, to **Coastal Utopia, LLC, a Florida Limited Liability Company and Douglas Richards and Elsa Richards, husband and wife, as Joint Tenants with Rights of Survivorship** whose post office address is **3415 West Busch Boulevard, Tampa, FL 33618**, of the County of Hillsborough, State of Florida, Grantees:

**Witnesseth**, that said Grantors, for and in consideration of the sum of TEN DOLLARS (U.S.\$10.00) and other good and valuable considerations to said Grantors in hand paid by said Grantees, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said Grantees, and Grantees' heirs and assigns forever, the following described land, situate, lying and being in St. Lucie, Florida, to-wit:

**The North 165 feet of the East 440 feet of Lot 7, J.I. Kellem's Subdivision, according to the plat thereof, as recorded in Plat Book 3, Page 85, Public Records of Saint Lucie County, Florida.**

**Together with** all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**Subject to** taxes for 2022 and subsequent years, not yet due and payable; covenants, restrictions, easements, reservations and limitations of record, if any.

**Property is not the constitutional homestead of the Grantor(s) under the laws and constitution of the State of Florida and neither the Grantor(s) nor any person(s) for whose support the Grantor(s) is responsible reside on or adjacent to the land and this property is VACANT LAND.**

**TO HAVE AND TO HOLD** the same in fee simple forever.

**And** Grantors hereby covenant with the Grantees that the Grantors are lawfully seized of said land in fee simple, that Grantors have good right and lawful authority to sell and convey said land and that the Grantors hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever.

AS to Kieran Casey and Nikki Casey:

In Witness Whereof, Grantors have hereunto set Grantors' hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

V. White - Isaacs  
WITNESS

V. White - Isaacs  
Printed Name of First Witness

J. Shaw  
WITNESS

Lertine Shaw  
Printed Name of Second Witness

[Signature]  
Kieran Casey

[Signature]  
Nikki Casey

[Signature]  
Anna Casey

STATE OF FLORIDA  
COUNTY OF Miami - Dade

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization this 5<sup>TH</sup> day of August, 2022, by Kieran Casey and Nikki Casey, husband and wife and Anna Casey, a married woman.

[Signature]  
Signature of Notary Public  
Print, Type/Stamp Name of Notary

Personally Known:  OR Produced Identification:   
Type of Identification  
Produced: \_\_\_\_\_



# Property Identification

Site Address: 3621 US HIGHWAY 1  
 Sec/Town/Range: 34/35S/40E  
 Parcel ID: **2434-601-0025-000-5**  
 Jurisdiction: Fort Pierce  
 Land Use Code: 1000 - Vac Comm  
 Account #: **33434**  
 Map ID: [24/34N](#)  
 Zoning: General Co



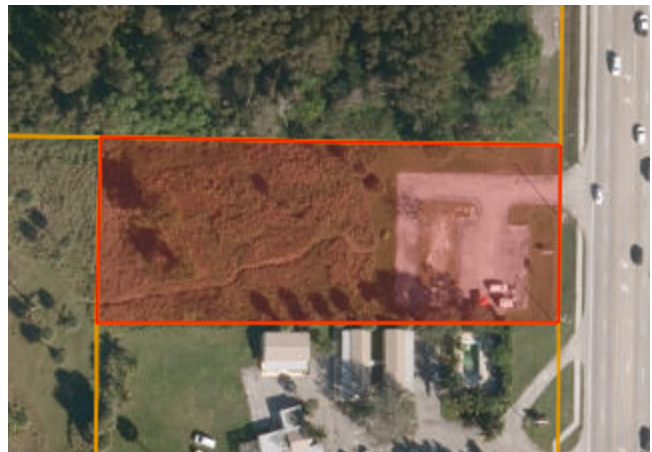
# Legal Description

KELLEM'S S/D N 165 FT OF E 440 FT OF LOT 7-LESS RD R/W- (1.51 AC)

## Total Areas

Finished/Under Air (SF): 0  
 Gross Sketched Area (SF): 0  
 Land Size (acres): 1.51  
 Land Size (SF): 65,670

## Map



State of Florida, Microsoft, Vantor

Powered by Esri

# Building Wind Speed

Occupancy Category	I	II	III & IV
Speed	140	160	160

[Sources/links:](#)

# Ownership

Coastal Utopia LLC  
 Douglas Richards  
 Elsa Richards  
 3415 W Busch BLVD  
 Tampa, FL 33618-4401

# Current Values

Just/Market value: \$269,200  
 Assessed value: \$234,300  
 Exemption value: **\$0**  
 Taxable value: \$234,300

## Important

**Property taxes are subject to change upon change of ownership.**

- **Past taxes are not a reliable projection of future taxes.**
- **The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.**

## Links

Taxes for this parcel: [SLC Tax Collector's Office](#)

Download TRIM for this Parcel: [Download PDF](#)

[File for homestead exemptions.](#)

[View associated Tax Map.](#)

[Report Homestead Fraud on this parcel.](#)

All information is believed to be correct at this time, but is subject to change and is provided without any warranty.

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# Property Identification

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 Sec/Town/Range: 34/35S/40E  
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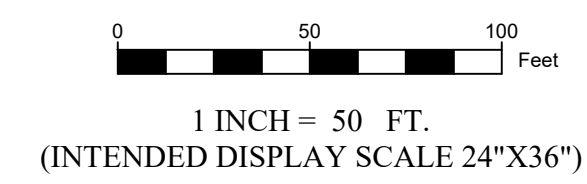
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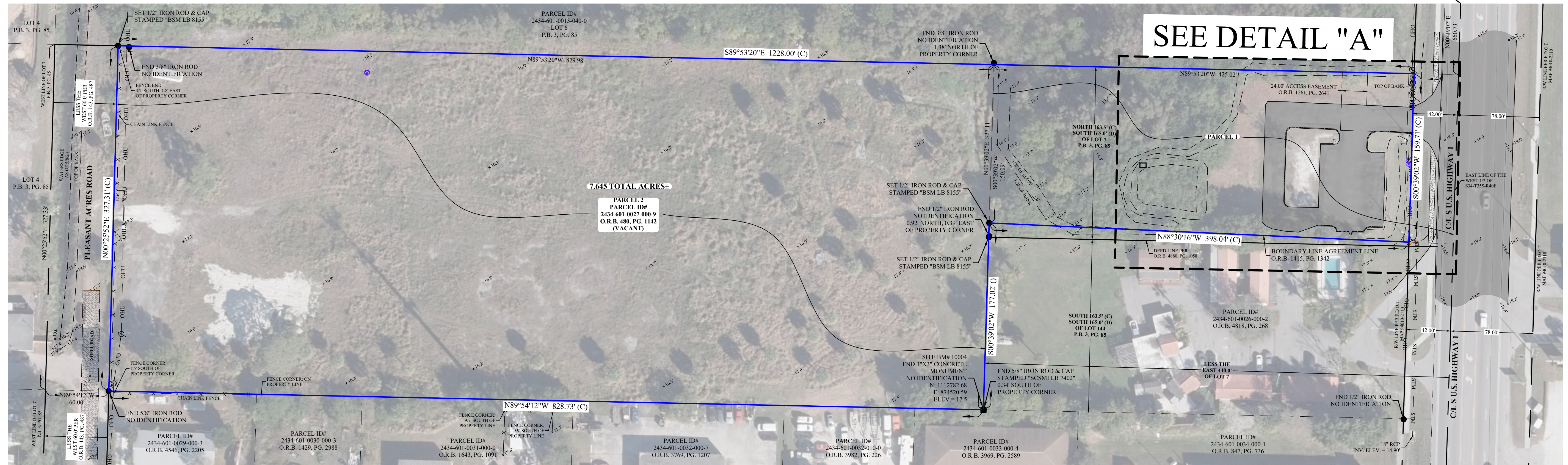
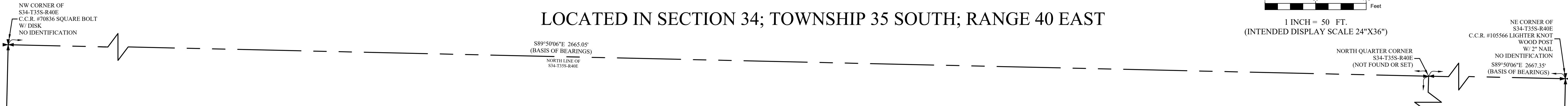
# BOUNDARY & TOPOGRAPHIC SURVEY

LOCATED IN SECTION 34; TOWNSHIP 35 SOUTH; RANGE 40 EAST

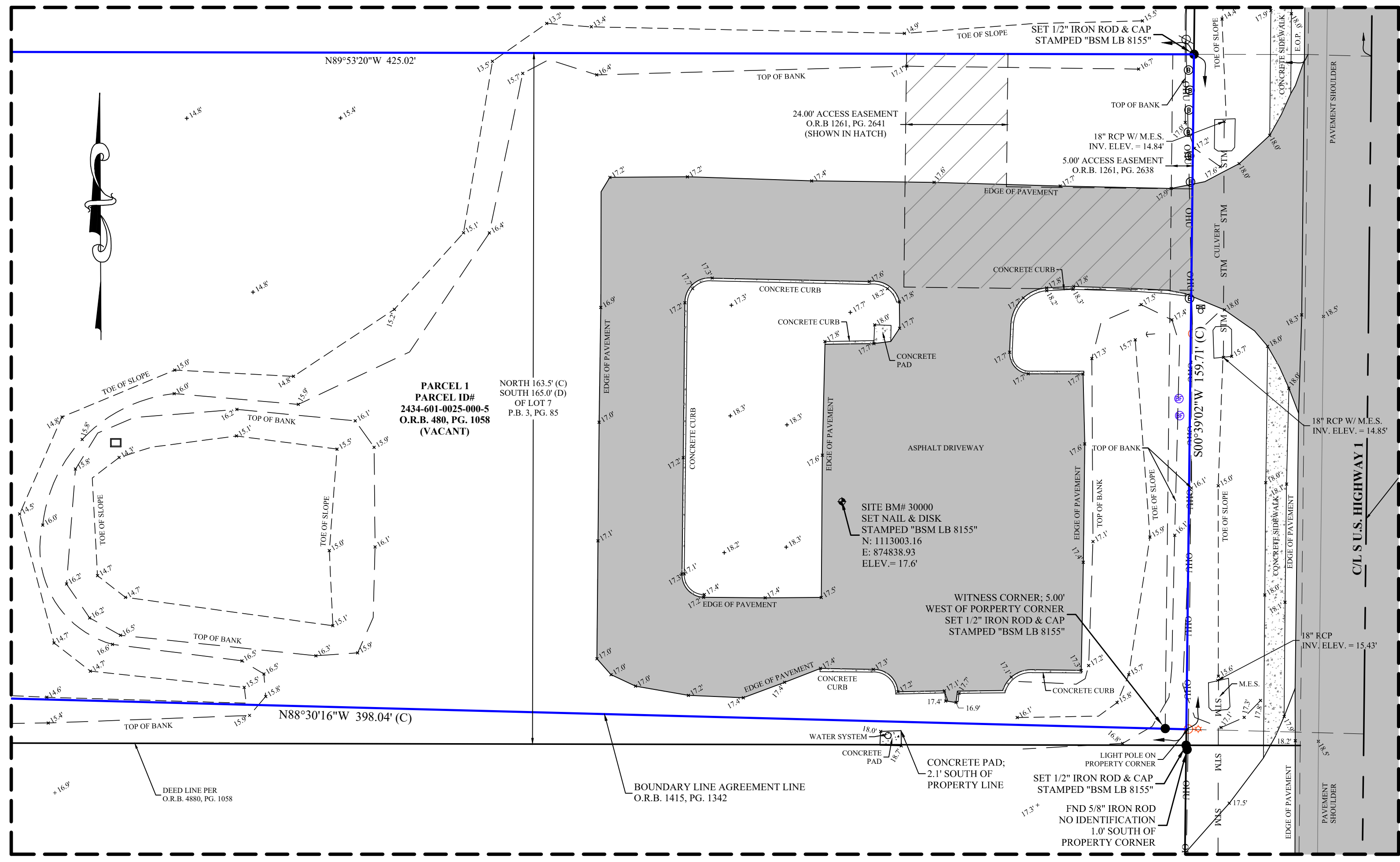
## GRAPHIC SCALE



**B.S.M. & ASSOCIATES**  
LAND SURVEYING SERVICES  
80 SE 31st Lane, Okeechobee, FL 34974  
ricky.barnes@bamsurvey.com  
863.484.8324  
LB 8155



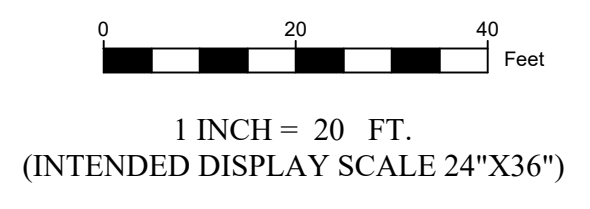
## DETAIL "A"



### SURVEYOR'S NOTES:

1. THE SURVEY DATE IS MAY 18, 2023.
2. THIS IS A **BOUNDARY & TOPOGRAPHIC SURVEY**, AS DEFINED IN CHAPTER 5J-17.050(11) OF THE FLORIDA ADMINISTRATIVE CODE.
3. THIS SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
4. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
5. BEARINGS SHOWN HEREON ARE BASED ON GRID NORTH, AND ARE REFERENCED TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT. THE BEARING BASE FOR THIS SURVEY IS THE NORTH LINE OF SECTION 34, TOWNSHIP 35 SOUTH, RANGE 40 EAST, SAID LINE BEARS SOUTH 89°50'06\"/>
- 6. THE COORDINATES SHOWN HEREON ARE REFERENCED TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT (NAD83 2011), AS ESTABLISHED USING REAL-TIME KINEMATIC GLOBAL POSITIONING SYSTEM (RTK GPS) SURVEY METHODS. THE CORRECTED POSITIONS COMPUTED WERE VERIFIED THROUGH A REDUNDANCY OF MEASUREMENTS. ALL DISTANCES SHOWN HEREON ARE IN GRID U.S. SURVEY FEET.
- 7. ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). ELEVATION DEPICTED ON THIS SURVEY WERE OBTAINED USING REAL TIME KINEMATIC (RTK) GPS METHODS WITH AN EXPECTED ACCURACY OF +/- 0.1'.
- 8. THIS SURVEY DOES NOT HAVE THE BENEFIT OF A CURRENT TITLE COMMITMENT, OPINION, OR ABSTRACT. DURING THE COURSE OF THE SURVEY SOME SEARCHES OF THE PUBLIC RECORDS WERE MADE, BUT THESE SEARCHES WERE NOT EXHAUSTIVE AND SHOULD NOT BE CONSIDERED A SUBSTITUTE FOR A PROPER TITLE COMMITMENT, OPINION, OR ABSTRACT OBTAINED FROM A TITLE AGENCY OR OTHER TITLE PROFESSIONAL.
- 9. THE LEGAL DESCRIPTION OF THE LAND CONTAINED IN THIS BOUNDARY SURVEY IS BASED ON THE DESCRIPTION RECORDED IN OFFICIAL RECORDS BOOK 4880, PAGE 1058 AND 1142, AS RECORDED IN THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.
- 10. THIS SURVEY DELINEATES THE LOCATIONS OF THE LEGAL DESCRIPTIONS ON THE GROUND, BUT DOES NOT DETERMINE OWNERSHIP OR PROPERTY RIGHTS.
- 11. ADJOINING PROPERTY INFORMATION WAS OBTAINED FROM ST. LUCIE COUNTY PROPERTY APPRAISER OFFICE AND IS SHOWN PER PLAT.
- 12. AERIAL IMAGERY SHOWN HEREON WAS OBTAINED FROM THE LAND BOUNDARY INFORMATION SYSTEM (F.D.O.T. AERIALS) DATED 2023 AND IS SHOWN FOR INFORMATIONAL PURPOSES ONLY.
- 13. SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE X PER FEMA MAP NUMBER 12111C, PANEL NUMBER 0189K, WITH AN EFFECTIVE DATE OF 02/19/20.

### DETAIL SCALE



### LEGEND:

BM	BENCHMARK	F.D.O.T.	FLORIDA DEPARTMENT OF TRANSPORTATION	W/	WITH
(C)	CALCULATED	C.C.R.	CERTIFIED CORNER RECORD	⊕	BOLLARD
(D)	DEED	OHU	OVERHEAD UTILITY LINE	⊙	MAILBOX
E.	EASTING	(P)	PLAT	⊙	UTILITY POLE
ELEV.	ELEVATION	PG.	PAGE	⊙	GUY ANCHOR
E.O.P.	EDGE OF PAVEMENT	P.B.	PLAT BOOK	⊙	EXISTING ELEVATION
FND	FOUND	R/W	RIGHT OF WAY	⊙	CATCH BASIN
ID	IDENTIFICATION	RCP	REINFORCED CONCRETE PIPE	⊙	WELL
INV.	INVERT	S	SECTION OR SOUTH	⊙	BACKFLOW PREVENTER
M.E.S.	MITERED END SECTION	T	TOWNSHIP	⊙	LIGHT POLE
N.	NORTHING	R	RANGE	—	PROPERTY LINE
O.R.B.	OFFICIAL RECORDS BOOK				

### LEGAL DESCRIPTION:

**PARCEL 1 (O.R.B. 4880, PG. 1058)**  
THE NORTH 165 FEET OF THE EAST 440 FEET OF LOT 7, J.I. KELLEM'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 85, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

**PARCEL 2 (O.R.B. 480, PG. 1142)**  
LOT 7, LESS THE EAST 440 FEET THEREOF, JI KELLEM'S SUBDIVISION OF THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 85, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, LESS THE WEST 60 FEET FOR ROAD RIGHT-OF-WAY AS DESCRIBES IN DEED BOOK 143, PAGE 487, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

### CERTIFICATION:

I HEREBY CERTIFY THAT THE ATTACHED SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND THAT IT MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE.

FOR THE BENEFIT OF THE FOLLOWING PARTIES ONLY:  
1) COASTAL UTOPIA LLC.

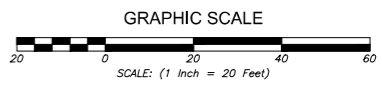
FOR THE FIRM:  
BSM & ASSOCIATES, INC.  
DATE \_\_\_\_\_  
RICHARD E. BARNES III  
PROFESSIONAL SURVEYOR AND MAPPER  
STATE OF FLORIDA LICENSE NO. 7074

CAD: G:\My Drive\BSM & ASSOCIATES, INC.\2023\23-082 ALL AREA ROOFING - S US HWY 1 FORT PIERCE\DRAWING\23-082 SURVEY.dwg 24X36 SHEET May 24, 2023.

REF: G:\My Drive\BSM & ASSOCIATES, INC.\2023\23-082 ALL AREA ROOFING - S US HWY 1 FORT PIERCE\DRAWING\23-082 SURVEY.dwg

FLD	JF	DF	FB	PG	RJ	#	20	22
OFF	EG	B	DATE	05	18	23	DWG	23-082 SURVEY
CKD	REB	SHEET	1	OF	1	DATE:	BY:	

**BOUNDARY & TOPOGRAPHIC SURVEY**  
3621 US HIGHWAY 1  
FORT PIERCE, FLORIDA 34982



**KMA**  
ENGINEERING & SURVEYING, LLC  
3001 INDUSTRIAL AVE 2  
FORT PIERCE, FL 34946  
PHONE: (772) 568-5055  
FPIRE C.O.A. # 33105

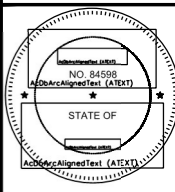
REVISIONS:

BY:	DATE:	COMMENT:

**NOT FOR CONSTRUCTION**

PROJECT:  
**ALL AREA ROOFING SITE PLAN**  
ST. LUCIE COUNTY  
FLORIDA

CLIENT:  
**ALL AREA ROOFING & CONSTRUCTION**  
FORT PIERCE  
FLORIDA



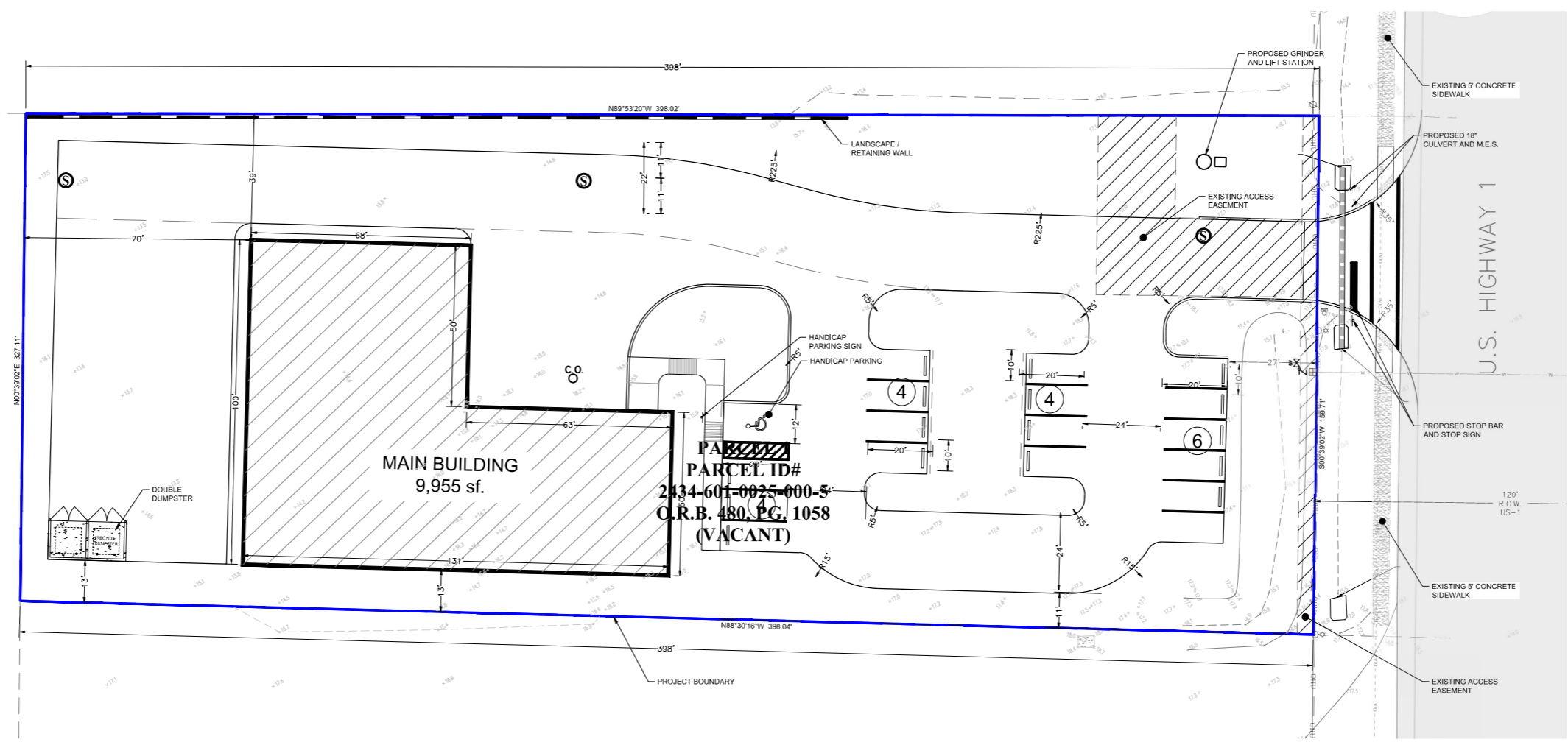
BLAINE BERGSTRESSER, P.E.  
FLORIDA LICENSE No. 84598  
**12/18/2025**



PROJECT No.: 24-1009  
DRAWN BY: SCB  
CHECKED BY: BRB  
DATE: 07/25/2024  
CAD I.D.: 24-1009\_SITE PLAN

SHEET TITLE:  
**SITEPLAN**

SHEET NUMBER:  
**C-100**



**LINWORK & SYMBOL LEGEND**

- DENOTES PROPERTY BOUNDARY
- DENOTES ROW DEDICATION
- DENOTES RIGHT-OF-WAY
- DENOTES CENTERLINE
- DENOTES EASEMENT
- DENOTES SWALE FLOWLINE
- DENOTES WATER MAIN
- DENOTES GRAVITY SEWER
- DENOTES FORCE MAIN
- DENOTES GAS MAIN
- DENOTES DRAINAGE PIPE
- DENOTES DITCH BOTTOM INLET
- DENOTES DRAINAGE STRUCTURE
- DENOTES PROPOSED GRADE
- DENOTES EXISTING GRADE
- DENOTES SEWER MANHOLE
- DENOTES GATE VALVE
- DENOTES FIRE HYDRANT
- DENOTES POWER POLE
- DENOTES TRANSITION MANHOLE

**HATCH LEGEND**

- PROPOSED STRUCTURES
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE PAVEMENT

**SITE DATA & DEVELOPMENT CRITERIA**

OWNER: ALL AREA ROOFING & CONSTRUCTION  
FT. PIERCE FL.

ENGINEER: BLAINE BERGSTRESSER P.E.  
KMA ENGINEERING & SURVEYING LLC  
3001 INDUSTRIAL AVENUE 2  
FT. PIERCE FL. 34946

SURVEYOR: RICKY BARNES, PSM  
PRESIDENT, BSM & ASSOCIATES, INC  
80 SE 31st. LANE  
OKEECHOBEE, FL 34974  
863-484-8324

SITE ADDRESS: 3621 S US HIGHWAY 1  
FT. PIERCE, FL. 34947

PARCEL ID(S): 2434-601-0025-000-5

ZONING: C-3 COMMERCIAL  
MAX BUILDING HEIGHT 65'

SETBACKS: REQUIRED PROPOSED

	REQUIRED	PROPOSED
FRONT	25'	25'
SIDE	NA'	NA'
CORNER LOT SIDE	NA'	NA'
REAR	NA'	NA'

SITE AREAS:

AREA	AREA	ACRES	PERCENT
GROSS SITE	164,109 SF	(3.8 AC)	100%
IMPERVIOUS AREA:			
BUILDING FOOTPRINTS	9,955 SF		
PAVEMENT & CURBING	32,711 SF		
SIDEWALKS & OTHER	567 SF		
TOTAL:	43,233 SF	(1.0 AC)	26.3%
PERVIOUS AREA:			
164,109-43,233=	120,876 SF	(2.8 AC)	73.7%

PARKING:  
REQUIRED: (1) COMMERCIAL BUILDING 1/600sf  
9,955/600 = 17 REQUIRED SPACES

TOTAL REQUIRED = 17 PARKING SPACES  
ADA PARKING REQUIRED = 1 of 17 SPACES

PROPOSED: 1 ADA PARKING SPACES PROVIDED  
17 STANDARD PARKING SPACES PROVIDED  
18 TOTAL SPACES PROVIDED

THE PURPOSE OF THIS LAND DEVELOPMENT IS TO CONSTRUCT (1) BUILDING ON PARCEL 2434-601-0025-000-5, ±10,000 SF

**FLOOD ZONE**  
PROPERTY LIES WITHIN FLOOD ZONE "X" ACCORDING TO THE F.I.R.M. MAP NO. 12111C0189K, 2/19/2020.



**KMA Engineering & Surveying, LLC**

1176 25<sup>th</sup> St.  
Vero Beach, FL 32960  
(772) 569-550

January 28, 2026

City of Fort Pierce  
Planning Department  
100 N. US Highway 1  
Fort Pierce, FL 34950

Re: All Area Roofing

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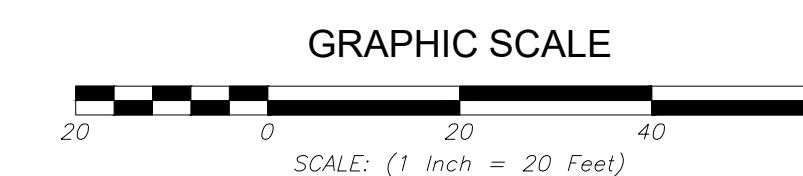
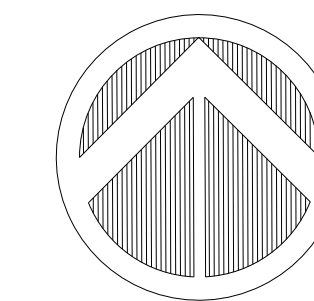
Sincerely,

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Florida License No. 84598



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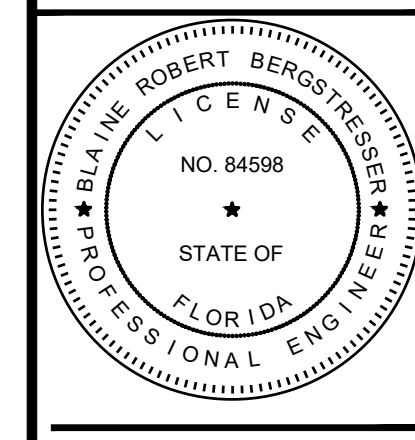


REVISIONS:		
BY:	DATE:	COMMENT:

**NOT FOR CONSTRUCTION**

PROJECT:  
**ALL AREA ROOFING SITE PLAN**  
**ST. LUCIE COUNTY**  
**FLORIDA**

CLIENT:  
**ALL AREA ROOFING & CONSTRUCTION**  
**FORT PIERCE**  
**FLORIDA**



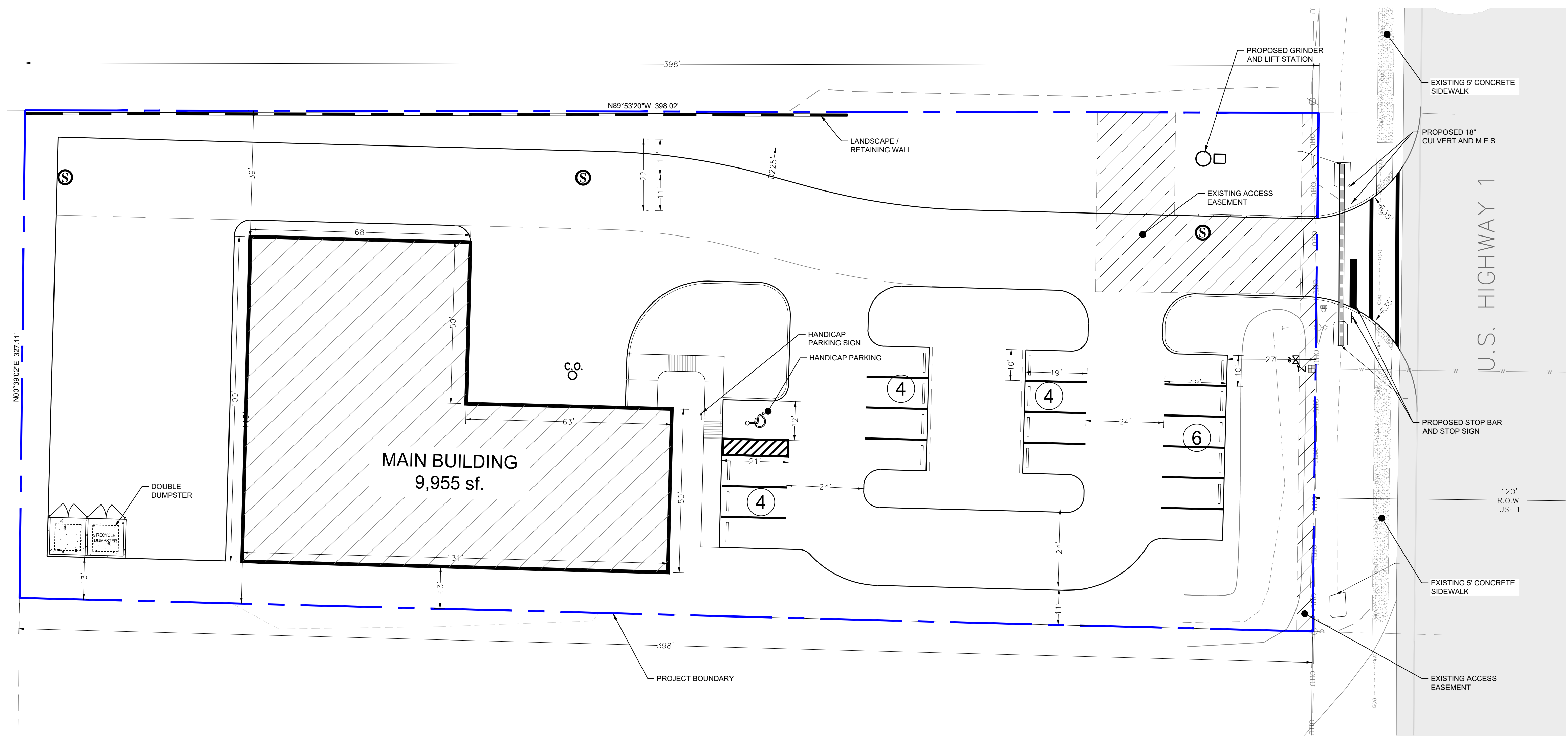
BLAINE BERGSTRESSER, P.E.  
FLORIDA LICENSE NO. 84598  
**3/30/2026**



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CHECKED BY: BRB  
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SHEET TITLE:  
**SITEPLAN**

SHEET NUMBER:  
**C-100**



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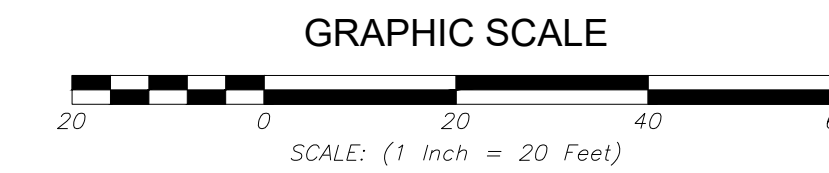
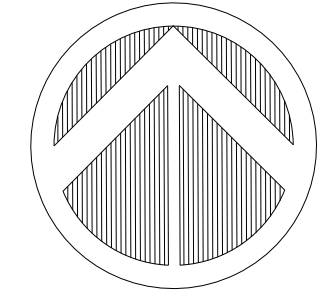
- PROPOSED STRUCTURES
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**SITE DATA & DEVELOPMENT CRITERIA**

OWNER:	ALL AREA ROOFING & CONSTRUCTION FT. PIERCE FL.	ZONING:	C-3 COMMERCIAL MAX BUILDING HEIGHT 65'	PARKING:	REQUIRED: (1) COMMERCIAL BUILDING 1/600sf 9,955/600 = 17 REQUIRED SPACES
ENGINEER:	BLAINE BERGSTRESSER P.E. KMA ENGINEERING & SURVEYING LLC 3001 INDUSTRIAL AVENUE 2 FT. PIERCE FL. 34946	SETBACKS:	REQUIRED      PROPOSED		TOTAL REQUIRED = 17 PARKING SPACES ADA PARKING REQUIRED = 1 of 17 SPACES
SURVEYOR:	RICKY BARNES, PSM PRESIDENT, BSM & ASSOCIATES, INC 80 SE 31st LANE OKEECHOBEE, FL 34974 863-484-8324	FRONT	25'	25'	
		SIDE	NA'	NA'	
		CORNER LOT SIDE	NA'	NA'	
		REAR	NA'	NA'	
		<b>SITE AREAS:</b>			PROPOSED: 1 ADA PARKING SPACES PROVIDED 17 STANDARD PARKING SPACES PROVIDED
		GROSS SITE	164,109 SF	(3.8 AC) 100%	18 TOTAL SPACES PROVIDED
		IMPERVIOUS AREA:			
		BUILDING FOOTPRINTS	9,955 SF		
		PAVEMENT & CURBING	32,711 SF		
		SIDEWALKS & OTHER	567 SF		
		TOTAL:	43,233 SF	(1.0 AC) 26.3%	
		PERVIOUS AREA:			
		164,109-43,233=	120,876 SF	(2.8 AC) 73.7%	
		THE PURPOSE OF THIS LAND DEVELOPMENT IS TO CONSTRUCT (1) BUILDING ON PARCEL 2434-601-0025-000-5, ±10,000 SF			

**FLOOD ZONE**  
PROPERTY LIES WITHIN FLOOD ZONE "X" ACCORDING TO THE F.I.R.M. MAP NO. 12111C0189K, 2/19/2020.

J:\24-1009 ALL AREA ROOFING S US HWY 1 FT PIERCE\ENGINEERING\DRAWINGS\DWG\CURRENT\24-1009 SITE PLAN-ALL AREA ROOFING SITEPLAN

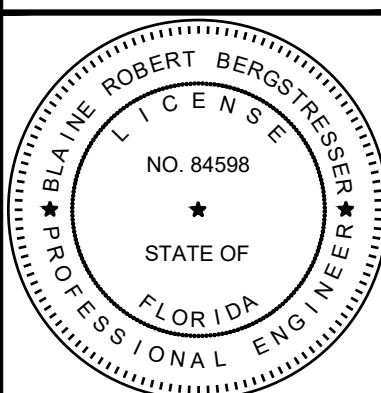


REVISIONS:		
BY:	DATE:	COMMENT:

**NOT FOR CONSTRUCTION**

PROJECT:  
**ALL AREA ROOFING SITE PLAN**  
**ST. LUCIE COUNTY**  
**FLORIDA**

CLIENT:  
**ALL AREA ROOFING & CONSTRUCTION**  
**FORT PIERCE**  
**FLORIDA**



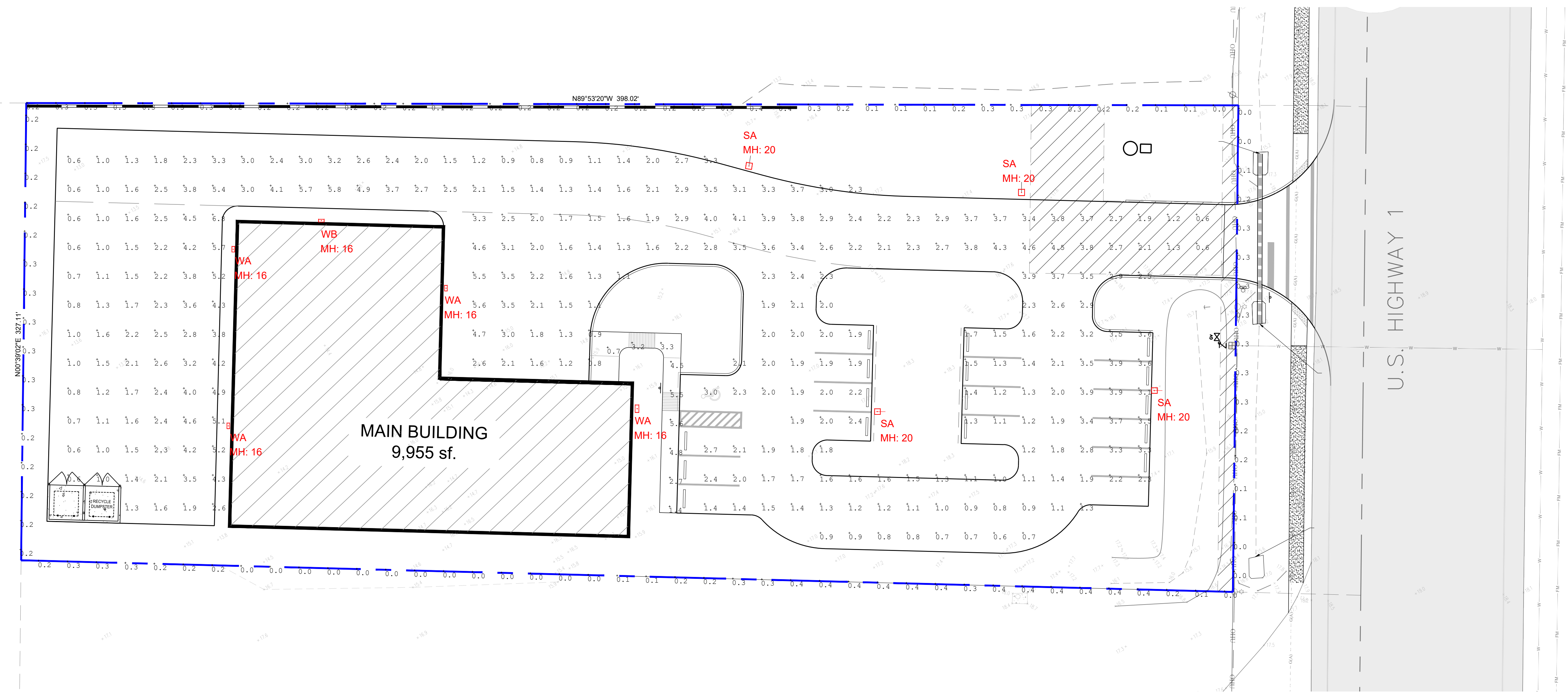
BLAINE BERGSTRESSER, P.E.  
FLORIDA LICENSE NO. 84598  
**3/30/2026**



PROJECT No.: 24-1009  
DRAWN BY: SCB  
CHECKED BY: BRB  
DATE: 07/25/2024  
CAD: 24-1009\_PHOTOMETRIC PLAN

SHEET TITLE:  
**PHOTOMETRIC PLAN**

SHEET NUMBER:  
**C-400**



**ALL AREA ROOFING LIGHTING SCHEDULE**

TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	VOLT	LAMP COLOR	LUMENS	LAMP TYPE	DIM TYPE	WATTS	MOUNTING	NOTES
SA	LED SITE LUMINAIRE	LUMARK	PRV-PA2A-740-U-T3-SA-FINISH / MA1017-XX	UNV	4000K	15749	LED	0-10V	112W	POLE	NOTE 1, 2
SB	LED SITE LUMINAIRE	LUMARK	PRV-PA2A-740-U-5WQ-SA-FINISH / MA1017-XX	UNV	4000K	16281	LED	0-10V	112W	POLE	NOTE 1, 2
WA	LED WALL PACK	MCGRAW EDISON	GWC-SA2C-740-U-T4FT-FINISH	UNV	4000K	14850	LED	0-10V	113W	WALL	NOTE 1
WB	LED WALL PACK	MCGRAW EDISON	GWC-SA2C-740-U-SL2-FINISH	UNV	4000K	14461	LED	0-10V	113W	WALL	NOTE 1

**FIXTURE SCHEDULE NOTES**

**NOTE 1:** ADVISE FINISH  
**NOTE 2:** FIXTURE MOUNTED ON 20' DIRECT BURIAL CONCRETE POLE MODEL #: US128TIS-9666  
FOR QUESTIONS PERTAINING TO THIS FIXTURE SCHEDULE PLEASE CONTACT QUOTATIONS@LIGHTINGDYNAMICS.COM, (954) 944-0286

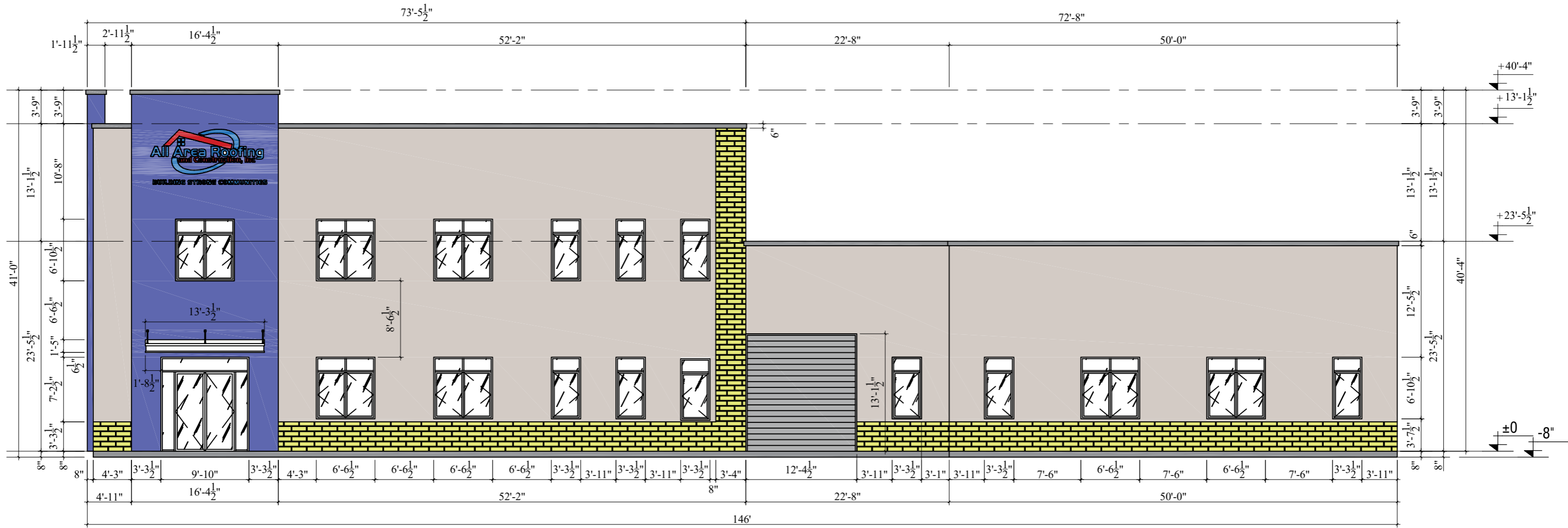
Photometrics Calculation Software Generated Luminaire Schedule

Symbol	Qty	Label	Arrangement	Lum. Lumens	Arr. Lum. Lumens	LLF	Lum. Watts	Arr. Watts
SA	3	SA	Single	15749	15749	0.900	112	112
SB	1	SB	Single	16281	16281	0.900	112	112
WA	4	WA	Single	14850	14850	0.900	113	113
WB	1	WB	Single	14461	14461	0.900	113	113

Calculation Summary





Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING	Illuminance	Fc	2.31	6.8	0.6	3.85	11.33
PROPERTY LINE	Illuminance	Fc	0.21	0.5	0.0	N.A.	N.A.
WALKWAY	Illuminance	Fc	3.52	5.6	0.7	5.03	8.00

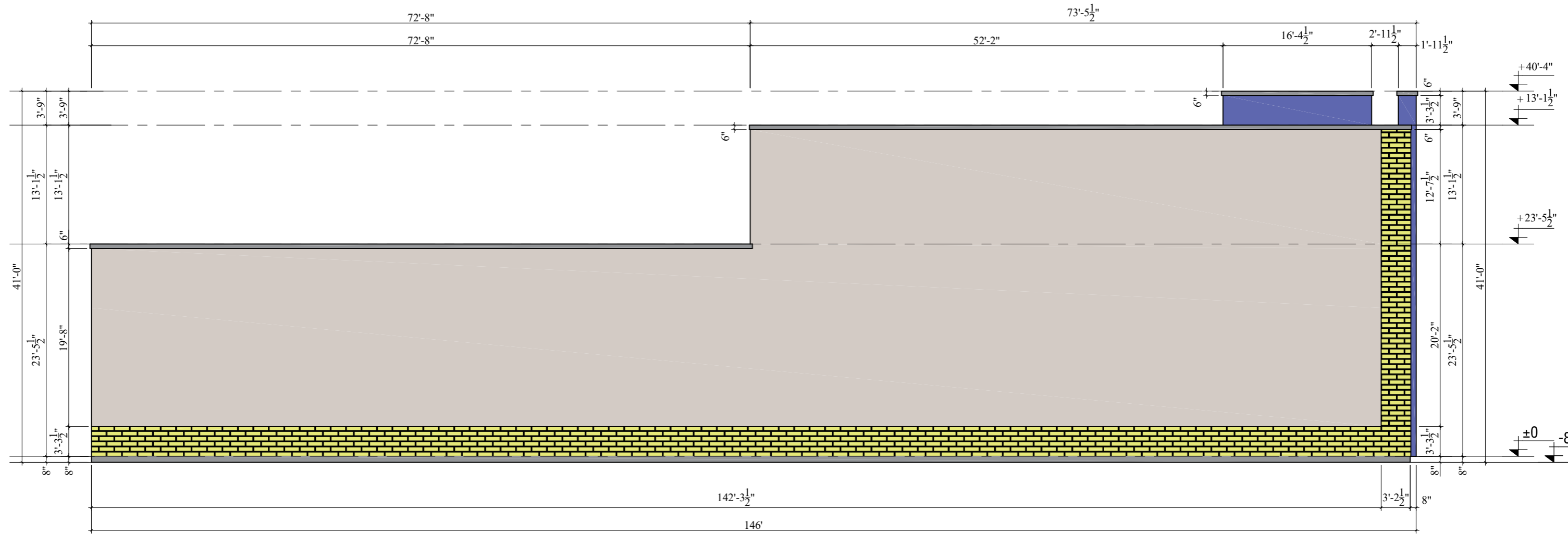
J:\24-1009 ALL AREA ROOFING 5.05 HWY 1 FT PERCEIVED\DRAWINGS\CAD\CURRENT\24-1009 PHOTOMETRIC PLAN.dwg - SCB - 07/25/2024



# Front Main Office Building





**NOTE :**

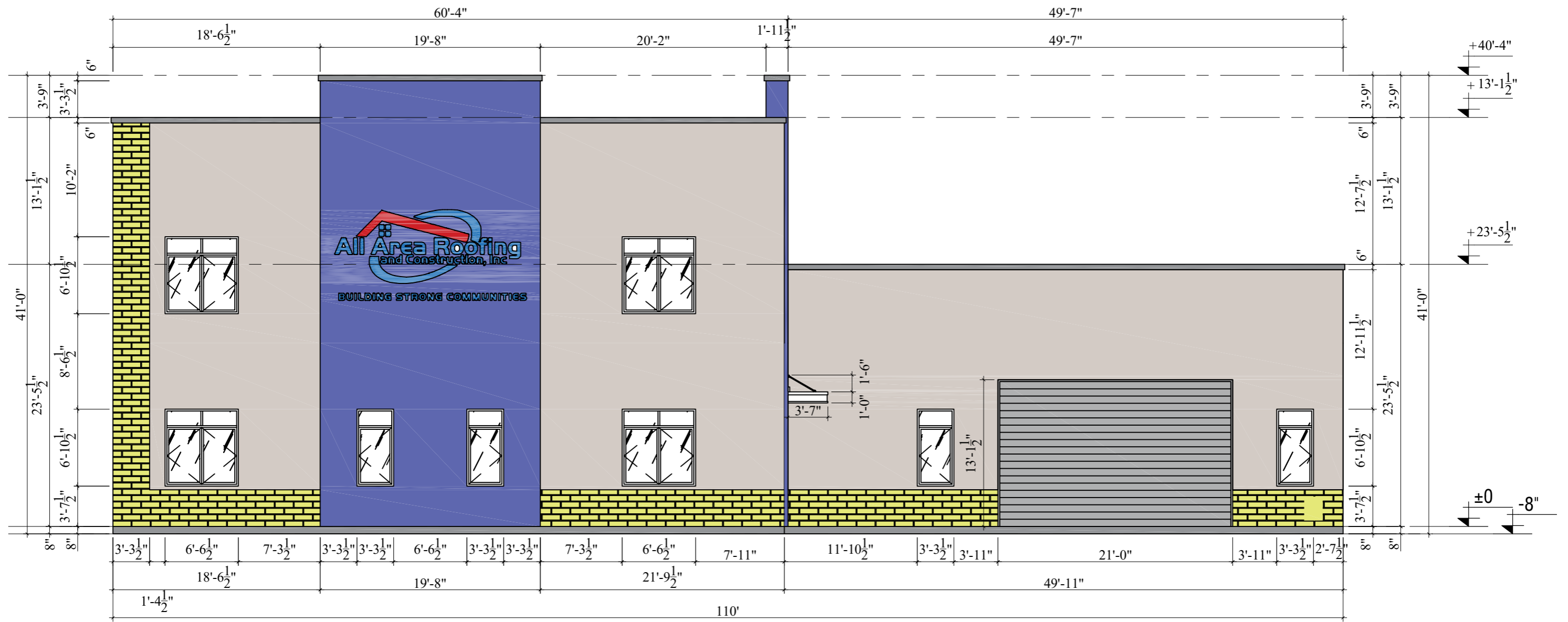
-  NATURAL STONE WALL TILES
-  STONE WALL
-  BLUE PAINT WALL
-  CREAM PAINT WALL







# Rear Main Office Building

**NOTE :**

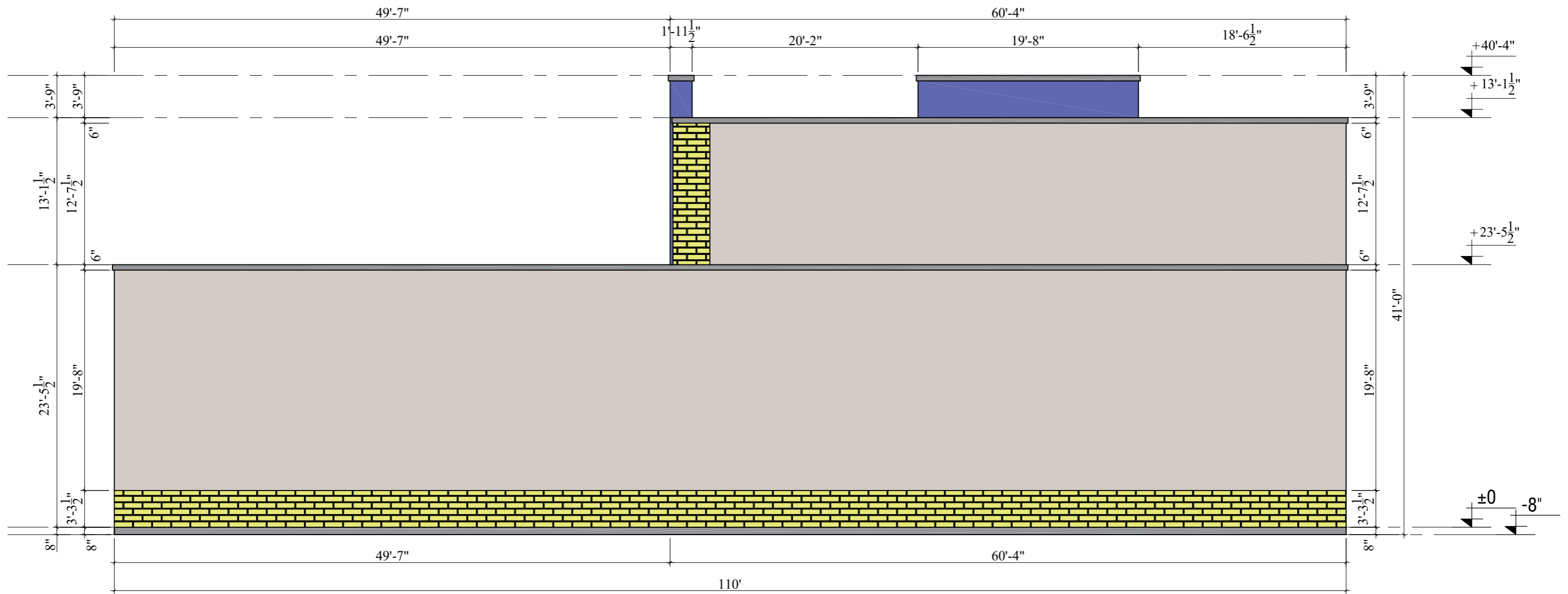
-  NATURAL STONE WALL TILES
-  STONE WALL
-  BLUE PAINT WALL
-  CREAM PAINT WALL







**NOTE :**

-  NATURAL STONE WALL TILES
-  STONE WALL
-  BLUE PAINT WALL
-  CREAM PAINT WALL

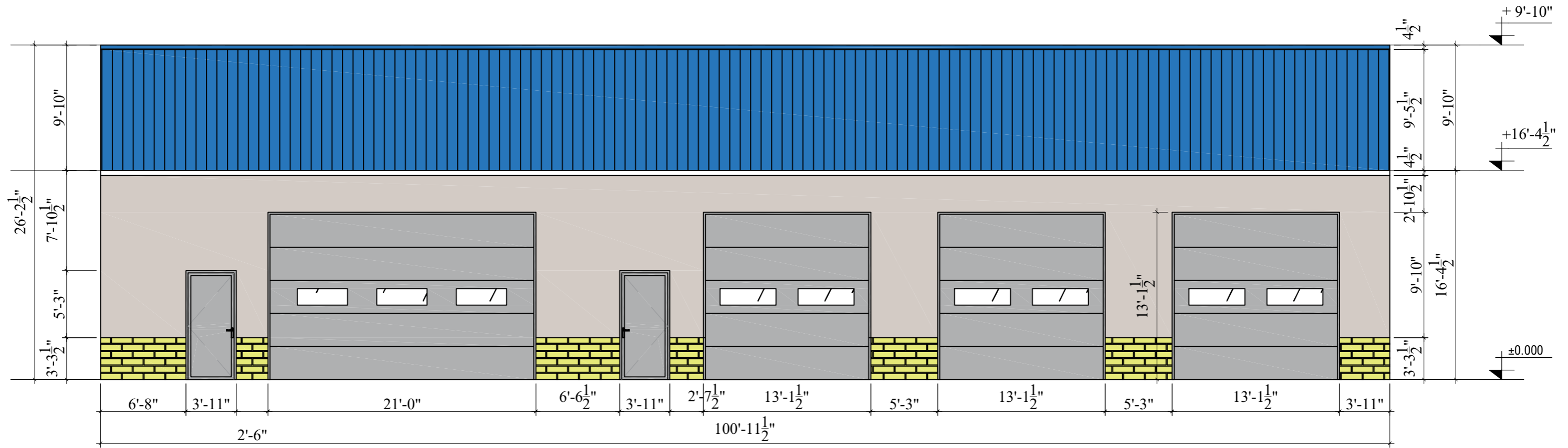
# Left Main Office Building



**NOTE :**

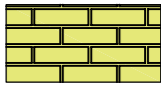
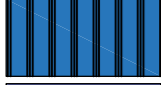


	NATURAL STONE WALL TILES
	STONE WALL
	BLUE PAINT WALL
	CREAM PAINT WALL

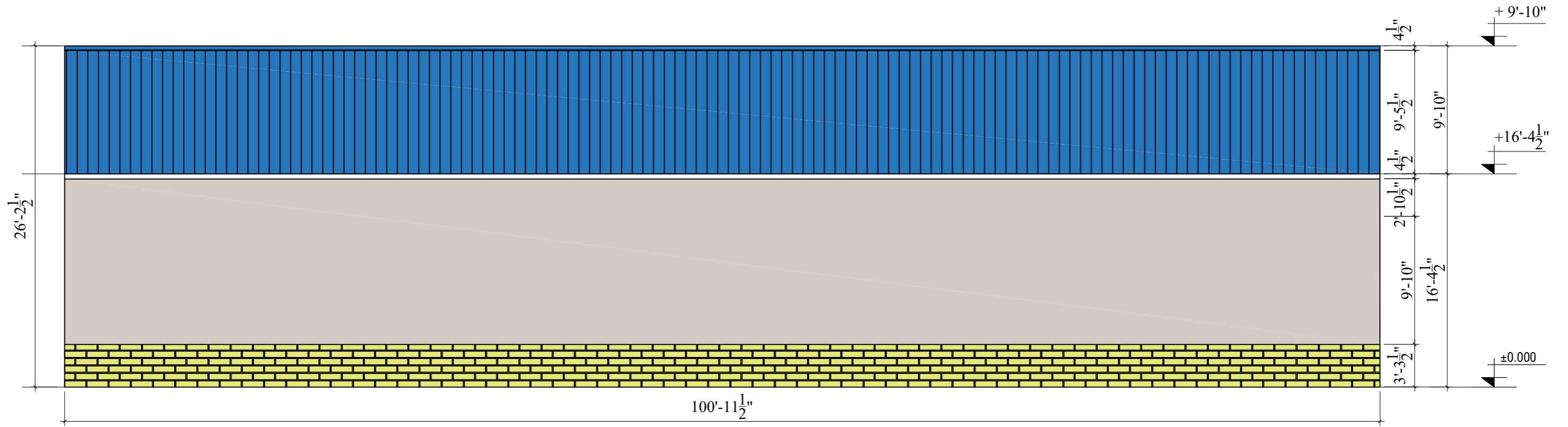
# Right Main Office Building



# Front Fabrication Shop

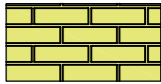
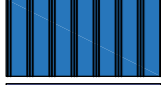


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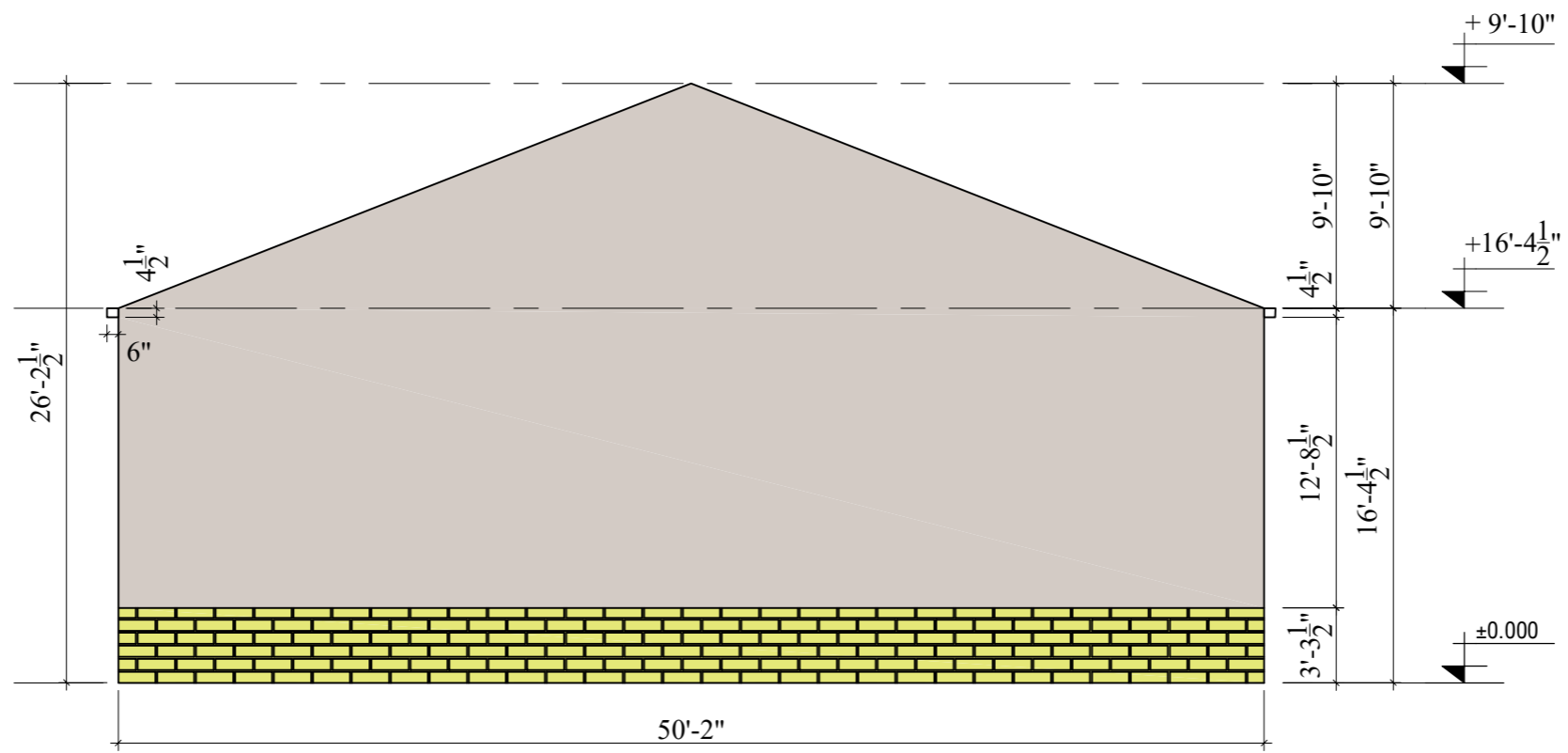
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	STONE WALL
	BLUE PAINT WALL
	CREAM PAINT WALL



# Rear Fabrication Shop

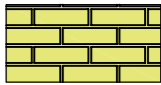
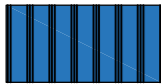


**NOTE :**

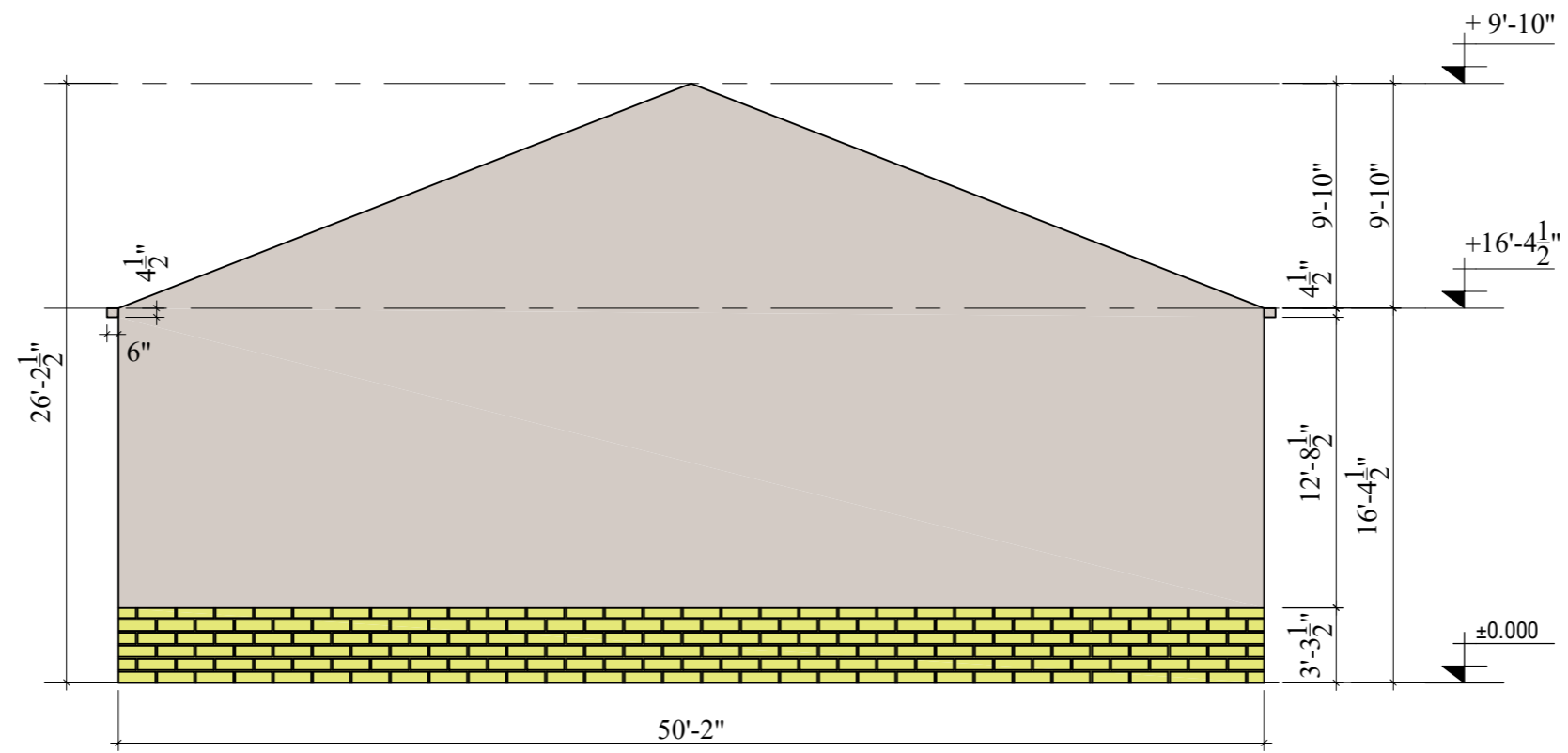
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	STONE WALL
	BLUE PAINT WALL
	CREAM PAINT WALL



# Left Fabrication Shop

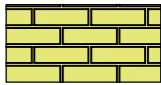
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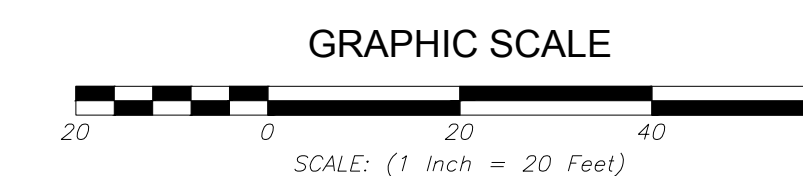
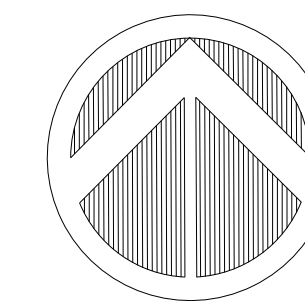
	NATURAL STONE WALL TILES
	STONE WALL
	BLUE PAINT WALL
	CREAM PAINT WALL



# Right Fabrication Shop

**NOTE :**

	NATURAL STONE WALL TILES
	STONE WALL
	BLUE PAINT WALL
	CREAM PAINT WALL

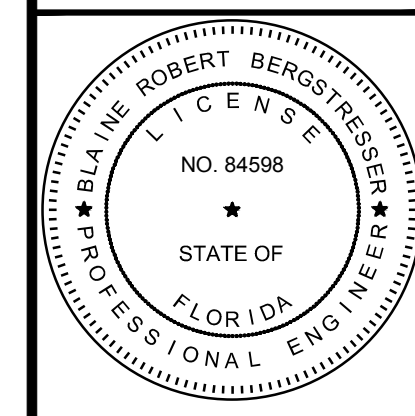


REVISIONS:		
BY:	DATE:	COMMENT:

**NOT FOR CONSTRUCTION**

PROJECT:  
**ALL AREA ROOFING SITE PLAN**  
ST. LUCIE COUNTY  
FLORIDA

CLIENT:  
**ALL AREA ROOFING & CONSTRUCTION**  
FORT PIERCE  
FLORIDA



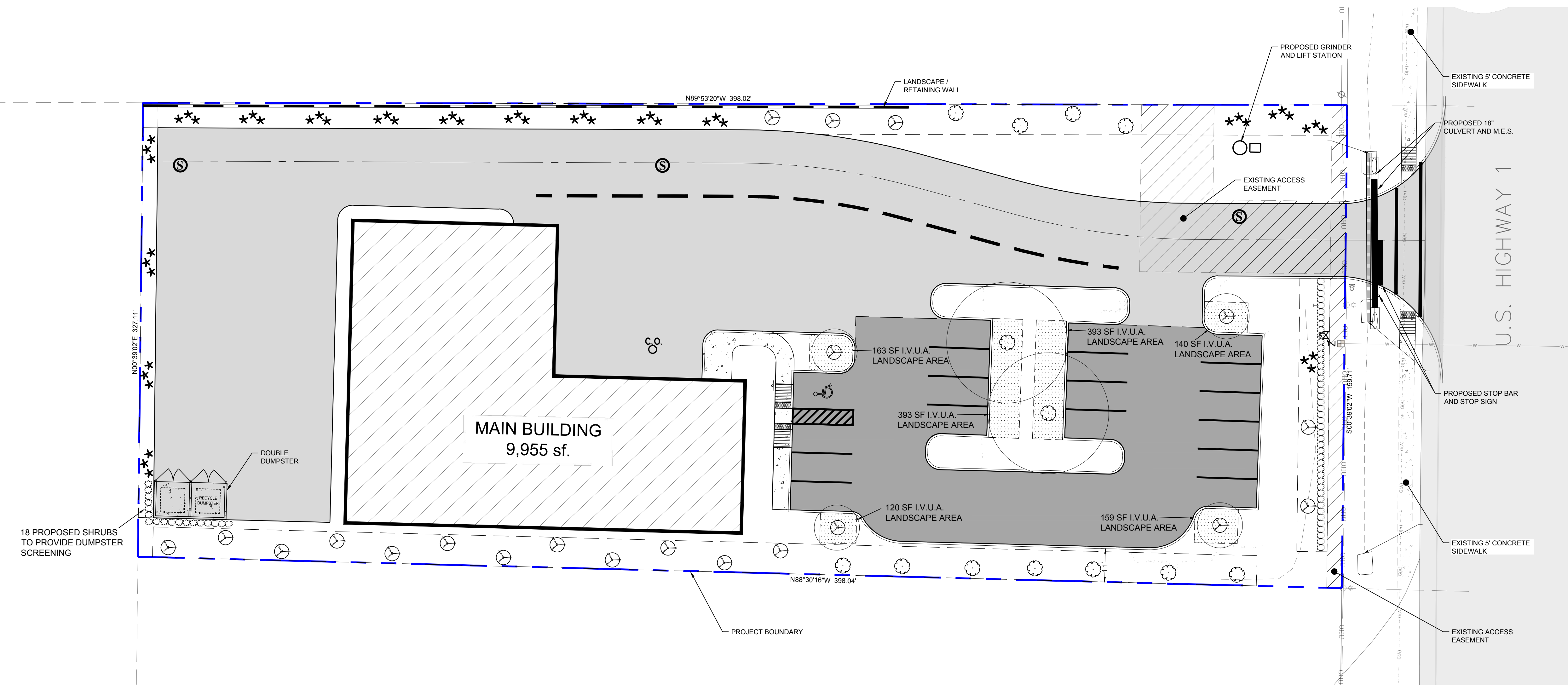
BLAINE BERGSTRESSER, P.E.  
FLORIDA LICENSE No. 84598  
**12/15/2025**



PROJECT No.: 24-1009  
DRAWN BY: CRW  
CHECKED BY: BRB  
DATE: 12/15/2025  
CAD: I.D.24-1009\_LANDSCAPE PLAN

SHEET TITLE:  
**LANDSCAPE PLAN**

SHEET NUMBER:  
**L-100**



**LANDSCAPE CALCULATIONS**

**ADJACENT TO PUBLIC RIGHT-OF-WAY:**  
REQUIRED: 890 SF LANDSCAPE STRIP CONTAINING:  
1 TREE PER 300 SF  
A CONTINUOUS HEDGE  
GRASS OR GROUND COVER FOR REMAINDER OF LANDSCAPE STRIP  
PROPOSED: 890 SF LANDSCAPE STRIP CONTAINING:  
3 TREES  
45 SHRUBS  
GRASS OR GROUND COVER FOR REMAINDER OF LANDSCAPE STRIP

**INTERIOR VEHICULAR USE AREA (I.V.U.A.):**  
REQUIRED: 1 SF OF I.V.U.A. PER 15 SF OF VEHICULAR USE W/ 1 TREE PER 200 SF OF I.V.U.A.  
8,633 SF / 15 SF = 576 SF OF I.V.U.A. = 6 TREES  
GRASS OR GROUND COVER FOR REMAINDER OF I.V.U.A.

PROPOSED: 1,368 SF OF I.V.U.A. CONTAINING:  
6 TREES  
GRASS OR GROUND COVER FOR REMAINDER OF I.V.U.A.

**ADJACENT TO OTHER PROPERTIES:**  
**NORTH:**  
REQUIRED: 393 LF LANDSCAPE STRIP CONTAINING:  
1 TREE PER 200 SF  
GRASS OR GROUND COVER FOR REMAINDER OF LANDSCAPE STRIP  
PROPOSED: 3,600 SF LANDSCAPE STRIP CONTAINING:  
18 TREES  
GRASS OR GROUND COVER FOR REMAINDER OF LANDSCAPE STRIP

**SOUTH:**  
REQUIRED: 365 LF LANDSCAPE STRIP CONTAINING:  
1 TREE PER 200 SF  
GRASS OR GROUND COVER FOR REMAINDER OF LANDSCAPE STRIP  
PROPOSED: 3,650 SF OF LANDSCAPE STRIP CONTAINING:  
19 TREES  
GRASS OR GROUND COVER FOR REMAINDER OF LANDSCAPE STRIP

**WEST:**  
REQUIRED: 129 LF LANDSCAPE STRIP CONTAINING:  
1 TREE PER 200 SF  
GRASS OR GROUND COVER FOR REMAINDER OF LANDSCAPE STRIP  
PROPOSED: 644 SF LANDSCAPE STRIP CONTAINING:  
4 TREES  
GRASS OR GROUND COVER FOR REMAINDER OF LANDSCAPE STRIP

**CANOPY TREES**

QUANTITY	SYMBOL	COMMON NAME	BOTANICAL NAME	NATIVE	PLANT SIZE
13		OAK, LIVE	<i>Quercus virginiana</i>	YES	MIN. 12' OA, 2-1/2" CALIPER AT 4-1/2' ABOVE GROUND, 5' SPREAD AT PLANTING
19		DAHOON HOLLY	<i>Llex cassine</i>	YES	MIN. 12' OA, 2-1/2" CALIPER AT 4-1/2' ABOVE GROUND, 5' SPREAD AT PLANTING
48 (16 CANOPY)		CABBAGE PALM	<i>Sabal palmetto</i>	YES	MIN. 6' CLEAR TRUNK

**SHRUBS**

QUANTITY	SYMBOL	COMMON NAME	BOTANICAL NAME	NATIVE	PLANT SIZE
63		VIBURNUM, SWEET	<i>Viburnum odoratissimum</i>	NO	3 GALLON

**HATCH LEGEND**

	PROPOSED INTERIOR VEHICULAR USE AREA
	PROPOSED INTERIOR VEHICULAR USE AREA LANDSCAPE AREA

L:\24-1009 ALL AREA ROOFING S.L.U.S.H.W. - FT. PIERCE\PROJECTS\2024\12\15\2025\LANDSCAPE PLAN\LANDSCAPE PLAN.dwg



## CONCURRENCY CAPACITY ANALYSIS

### I. Site Data:

	Existing Use	Future Land Use	Zoning
North			
South			
East			
West			

	Future Land Use	Zoning Classification	Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage	Total Acreage	Flood Zone
Current					
**Proposed					N/A

### II. Public Facilities Information:

A. Potable Water:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.125 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day
**Proposed Zoning/FLU	Total gallons per day
**Change in Demand	Total gallons per day

<b>B. Wastewater:</b>	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.1 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day
**Proposed Zoning/FLU	Total gallons per day
**Change in Demand	Total gallons per day

<b>C. Parks and Recreation (Residential Classifications Only):</b> (Du x 2.6 = persons + 44,227 = population /LOS)				
Park Type	LOS	Existing Population Park Demand	Proposed Population Park Demand	Change in Demand
Regional	20 acres per 1,000 people			
Urban District	5 acres per 1,000 people			
Community	2.5 acres per 1,000 people			
Neighborhood	1.36 acres per 1,000 people			

<b>D. Public Schools (Residential Classifications Only):</b> Single Family: (du x 0.405 = students/70% K-8/30% High) Multi-family: (du x 0.207 = students/70% K-8/30% High)		
	<b>K-8</b>	<b>High</b>
School Name		
City		
Distance		
Current Zoning/FLU	Enrollment	
**Proposed Zoning/FLU	Enrollment	
**Change in Demand		

<b>E. Solid Waste: Residential</b> (2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units)	
Demand Analysis	Maximum
Current Zoning/FLU	
**Proposed Zoning/FLU	
*Change in Demand	

**F. Stormwater:**  
Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year – 1 day storm event)



<b>NON-RESIDENTIAL DATA</b>					
<b>Type(s) specify</b>	<b>Phase</b>	<b>Square footage</b>	<b>Acres</b>	<b>Expecting beginning date</b>	<b>Expected completion date</b>

- A. Indicate whether the proposed project will be eliminating any existing recreational facilities. If yes, detail the number and type being eliminated.  Yes  No
- B. 1. Does this application involve demolition or re-use of any structure(s)?  Yes  No  
If yes, what is the size of the structure(s) to be demolished or re-used? \_\_\_\_\_
2. What is the current use of the structure to be demolished or re-used? \_\_\_\_\_
3. Are you claiming trip credits for the demolition or re-use of a structure(s) at the site?  Yes  No  
If yes, provide estimates of credits for each previous use at the site. (Attach sheet with calculations)

C. Exemptions Requested:

\*\* Complete section if requesting a change in zoning, future land use, or expanding

### Developer School Planning and Capacity

**Instructions:** Please submit completed worksheet with development plan to the governmental entity where development plan approval is sought. For projects that are expected to generate more than 200 students a pre-application conference with the School District is recommended. This may be held in conjunction with the local government preapplication meeting.

Please check [✓] type of application

- Rezoning with Residential Component** (Complete Section A only)
- Future Land Use Amendments** (Complete Section A only)
- Final Development Order// General Review and Adequate Capacity Determination** (Complete Section B only)

PROJECT INFORMATION	
Project Name	Coastal Utopia LLC
Project Type: ( Comp Plan / Rezoning / PUD / Site Plan / etc.)	Minor Site Plan
Municipality	City of Fort Pierce
Parcel Identification Number (s) (PIN) (Attach separate sheet if necessary)	2434-601-0025-000-5
Location / Address of Subject Property	3621 US HIGHWAY 1 Fort Pierce, FL 34982
Acreage of Project	1.45
Anticipated Start Date and anticipated phasing	03/2026 one-phase project
OWNERSHIP / AGENT INFORMATION	
Owner's Name	Coastal Utopia LLC
Owner's Signature	
Agent's Name/Company (if applicable)	KMA Engineering & Surveying
Mailing Address	1176 25th St. Vero Beach, FL 32960
Phone	772-569-5505
Email	blaine@gmail.com

#### SECTION A: Rezoning with Residential Component and Future Land Use Amendments

Please check [✓] to indicated that you have included the following:

- Please attach location sketch
- Please attach property survey or preliminary site plan that shows the existing and proposed zoning and land use designations.

	Existing	Proposed
Land Use Designation (attach separate table for multiple uses)		
Zoning (attach separate table for multiple zoning designations)		
Maximum Number of dwelling units allowed		
Estimated Number of binding age restricted dwelling units		
Describe any other items related to the use		



**SECTION B: Final Development Order// General Review and Adequate Capacity Determination**

For projects that are expected to generate more than 200 students, we recommend that the applicant have a pre-application conference with the School District. This may be held in conjunction with the local government preapplication meeting.

Please check [✓] to indicate that you have included the following:

- Please attach location sketch, property survey or preliminary site plan that shows the proposed uses.
- If applicable, please complete the *Application for Exemption: School Impact Fees for Age Restricted Housing for Housing Older Persons.* <sup>2</sup>
- If the project is anticipated to be phased, please describe and graphic showing phasing schedule.<sup>3</sup>

Please describe project and general schedule			
Proposed Residential Uses	<b>Unit Type</b>	<b>Dwelling Units</b>	<b>Student Generation<sup>1</sup></b>
	Single Family:	0	0
	Multi-Family:	0	0
	Age Restricted <sup>2</sup> :	0	0
If the access of the project is located on a collector or arterial roadway, please address a potential bus stop location to provide safe waiting for parents and students as well as loading and disembarkment of students from buses			

<sup>1</sup>For student generation rate use 0.405 students per single family unit and 0.207 students per multi-family unit (includes townhouses).

<sup>2</sup>A Restrictive Covenant is required for age-restricted communities that are exempt from concurrency and impact fees.

<sup>3</sup>If applicable, please attach a Phasing Plan showing the number and type of units to receive certificate of occupancy by phase

**SCHOOL DISTRICT REVIEW (TO BE COMPLETED BY SCHOOL DISTRICT)**

Local Gov. Reviewer:	School CSA
	Municipality Project Number:

<b>School District Recommendations</b>	
<b>School District Representative Signature:</b>	<b>Date:</b>

Rev 11/2021



## GENERAL NOTES

1. THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE FLORIDA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (LATEST EDITION) AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK, AND, UNLESS OTHERWISE NOTED, ALL WORK SHALL CONFORM AS APPLICABLE TO THESE STANDARDS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
3. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. A LIST OF THE UTILITY COMPANIES WHICH THE CONTRACTOR MUST CALL BEFORE COMMENCING WORK IS PROVIDED ON THE COVER SHEET OF THESE CONSTRUCTION PLANS. THIS LIST SERVES AS A GUIDE ONLY AND IS NOT INTENDED TO LIMIT THE UTILITY COMPANIES WHICH THE CONTRACTOR MAY WISH TO NOTIFY.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
7. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
8. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER AND DESIGN ENGINEER OF RECORD DIRECTLY FROM THE TESTING AGENCY.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTORS RESPONSIBILITY.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A STATE OF FLORIDA PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE CONTRACTOR.
11. ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED.
12. ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.

## EROSION CONTROL

1. THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THE EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF FLORIDA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
3. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
4. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER.
5. EROSION CONTROL PLAN MUST CLEARLY DELINEATE ALL STATE WATERS, PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
6. THE CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
7. CONTRACTOR SHALL DEMOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
11. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
12. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THE PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
13. STABILIZATION PRACTICES SHOULD BE INITIATED AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN 7 DAYS WHERE CONSTRUCTION HAS TEMPORARILY CEASED.
14. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRED IN THESE AREAS. REFER TO SECTION 981 OF THE STANDARD SPECIFICATIONS FOR SEEDING AND MAINTENANCE REQUIREMENTS.
15. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
16. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED AS SOON AS POSSIBLE.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
18. ON-SITE & OFF SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE EROSION CONTROL PLAN AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
19. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
20. DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION.
21. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY, THIS INCLUDES BACK FILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

## POTABLE WATER AND SANITARY SEWER SYSTEM

1. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES GRAVITY SEWER LINES AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
2. ALL EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS FOR UTILITY LOCATION AND COORDINATION IN ACCORDANCE WITH THE NOTES CONTAINED IN THE GENERAL CONSTRUCTION SECTION OF THIS SHEET.
3. THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
4. DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATERIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.
5. ALL PHASES OF INSTALLATION, INCLUDING UNLOADING, TRENCHING, LAYING AND BACK FILLING, SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER. ALL PIPE AND FITTINGS SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE COATING OR LINING IN ANY D.I. PIPE FITTINGS. ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH HAS FLAWS OR IMPERFECTIONS WHICH, IN THE OPINION OF THE ENGINEER OR OWNER, RENDERS IT UNFIT FOR USE, SHALL NOT BE USED. ANY PIPE NOT SATISFACTORY FOR USE SHALL BE CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE, AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
6. WATER FOR FIRE FIGHTING SHALL BE AVAILABLE FOR USE PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE.
7. ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY'S SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
8. UNDERGROUND LINES SHALL BE SURVEYED BY A STATE OF FLORIDA PROFESSIONAL LAND SURVEYOR PRIOR TO BACK FILLING.
9. CONTRACTOR SHALL PERFORM, AT HIS OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION. THESE TESTS MAY INCLUDE, BUT MAY NOT BE LIMITED TO: INFILTRATION AND EXFILTRATION, TELEVISION INSPECTION AND A MANDREL TEST ON GRAVITY SEWER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE UTILITY PROVIDER, OWNER AND JURISDICTIONAL AGENCY AS REQUIRED.

## MAINTENANCE

ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED, FOR MAINTENANCE REQUIREMENTS REFER TO SECTION 981 OF THE OF THE FLORIDA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (LATEST EDITION).
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED TO 55 CUBIC YARDS / ACRE.
7. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

## STORM DRAINAGE SYSTEM

1. STANDARD INDEXES REFER TO THE 2021/2022 EDITION OF F.D.O.T. "STANDARD PLANS FOR ROADWAY CONSTRUCTION"
2. ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE CLASS III (ASTM C-76) UNLESS OTHERWISE NOTED ON PLANS. ALL DRAINAGE STRUCTURES SHALL BE IN ACCORDANCE WITH F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS UNLESS OTHERWISE NOTED ON PLANS.
3. PIPE LENGTHS SHOWN ARE APPROXIMATE AND TO CENTER OF DRAINAGE STRUCTURES, WITH THE EXCEPTION OF MITERED END AND FLARED END SECTIONS, WHICH ARE NOT INCLUDED IN LENGTHS.
4. ALL DRAINAGE STRUCTURE GRATES AND COVERS, EITHER EXISTING OR PROPOSED SHALL BE TRAFFIC RATED FOR H-20 LOADINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NECESSARY UPGRADES TO EXISTING DRAINAGE STRUCTURES.
5. CONSTRUCTION OF THE ENTIRE STORMWATER MANAGEMENT SYSTEM SHOWN ON THE PLANS MUST BE COMPLETE AND ALL DISTURBED AREAS STABILIZED IN ACCORDANCE WITH THE PERMITTED PLANS AND CONDITIONS PRIOR TO ANY OF THE FOLLOWING: ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY FOR ANY LOT; INITIATION OF INTENDED USE OF THE INFRASTRUCTURE; OR TRANSFER OF RESPONSIBILITY FOR MAINTENANCE OF THE SYSTEM TO A LOCAL GOVERNMENT OR OTHER RESPONSIBLE ENTITY.
6. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER JURISDICTION REGULATIONS (MANUFACTURER'S RECOMMENDATIONS SHALL BE UTILIZED IF MORE STRINGENT).
7. STORM WATER PIPES, STRUCTURES, MINIMUM COVER AND INSTALLATION PROCEDURES TO BE IN ACCORDANCE WITH SOUTH FLORIDA WATER MANAGEMENT DISTRICT STANDARDS.

## PAVING/GRADING TESTING AND INSPECTION

1. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SOILS ENGINEER. TESTS WILL BE REQUIRED PURSUANT WITH THE SOILS REPORT. UPON COMPLETION OF WORK THE SOILS ENGINEER WILL SUBMIT CERTIFICATIONS TO THE OWNER AND OWNER'S ENGINEER STATING THAT ALL REQUIREMENTS HAVE BEEN MET.
2. A QUALIFIED TESTING LABORATORY SHALL PERFORM ALL TESTING NECESSARY TO ASSURE COMPLIANCE OF THE IN-PLACE MATERIALS AS REQUIRED BY THESE PLANS AND GEOTECHNICAL REPORT, THE VARIOUS AGENCIES AND PERMIT CONDITIONS. SHOULD ANY RETESTING BE REQUIRED DUE TO THE FAILURE OF ANY TESTS TO MEET THESE REQUIREMENTS, THE CONTRACTOR WILL BEAR ALL COSTS OF SAID RETESTING.

## DRAINAGE SYSTEM TESTING AND INSPECTION

1. THE STORM DRAINAGE PIPING SYSTEM SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER PRIOR TO THE PLACEMENT OF BACKFILL. CONTRACTOR TO NOTIFY THE ENGINEER 2 FULL BUSINESS DAYS IN ADVANCE TO SCHEDULE INSPECTION.
2. THE CONTRACTOR SHALL MAINTAIN AND PROTECT FROM MUD, DIRT, DEBRIS, ETC. THE STORM DRAINAGE SYSTEM UNTIL FINAL ACCEPTANCE OF THE PROJECT. THE STORM SYSTEM WILL BE REINSPECTED BY THE OWNER'S ENGINEER PRIOR TO APPROVAL FOR CERTIFICATE OF OCCUPANCY PURPOSES. THE CONTRACTOR MAY BE REQUIRED TO RECLEAN PIPES AND INLETS AT THE CONTRACTORS EXPENSE AND PRIOR TO FINAL ACCEPTANCE.

## PAVING, GRADING AND DRAINAGE

1. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN COUNTY'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR FDOT SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
2. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SODDED.
3. TRAFFIC CONTROL ON ALL FDOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
4. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
5. ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE SODDED UNLESS INDICATED OTHERWISE ON THE LANDSCAPE PLAN.
6. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
7. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
8. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
9. THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
10. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.
11. STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED, IN SOME CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAPED AREAS BUT ONLY AS DIRECTED BY THE OWNER.
12. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO FDOT STANDARDS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
13. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE SODDED OR SEEDED AS SPECIFIED IN THE PLANS, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE SODDED OR SEEDED AND MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
14. ALL CUT OR FILL SLOPES SHALL BE 4 (HORIZONTAL) :1 (VERTICAL) OR FLATTER UNLESS OTHERWISE SHOWN.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
16. THE CONTRACTOR SHALL TAKE ALL REQUIRED MEASURES TO CONTROL TURBIDITY, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF TURBIDITY BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE BARRIERS, AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE WHICH VIOLATES THE WATER QUALITY STANDARDS IN CHAPTER 17-302, FLORIDA ADMINISTRATIVE CODE.
17. SOD, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
18. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE ENVIRONMENTAL RESOURCE PERMIT COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY WATER MANAGEMENT DISTRICT REPRESENTATIVES.
19. THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
20. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS.

## DEMOLITION

1. CONTRACTOR SHALL SUBMIT DEMOLITION SCHEDULE TO OWNER PRIOR TO PROCEEDING WITH DEMOLITION ACTIVITIES.
2. EXTENT OF SITE CLEARING IS SHOWN ON DRAWINGS.
3. CONTRACTOR SHALL CONDUCT SITE DEMOLITION OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION.
4. CONTRACTOR SHALL PROVIDE PROTECTION NECESSARY TO PREVENT DAMAGE TO EXISTING IMPROVEMENTS INDICATED ON PLAN "EXISTING TO REMAIN".
5. CONTRACTOR SHALL RESTORE DAMAGED IMPROVEMENTS TO THEIR ORIGINAL CONDITION, AS ACCEPTABLE TO PARTIES HAVING JURISDICTION.
6. CONTRACTOR SHALL REMOVE WASTE MATERIALS AND EXCESS TOPSOIL FROM PROPERTY AND DISPOSE OF OFF-SITE IN A LEGAL MANNER.
7. CONTRACTOR SHALL DEMOLISH AND COMPLETELY REMOVE FROM SITE MATERIAL INDICATED ON PLAN OR NOTES "TO BE REMOVED".
8. CONTRACTOR SHALL PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT AND OTHER HAZARDS CREATED BY THE DEMOLITION OPERATION
9. ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
10. REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC., LOCATED WITHIN THE PROJECT SITE. UNLESS OTHERWISE NOTED, ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS PILES, SIGNS, AND ALL APPURTENANCES ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED OF IN A LEGAL MANNER AS PART OF THIS CONTRACT. SOME ITEMS TO BE REMOVED MAY NOT BE DETECTED ON THE TOPOGRAPHIC SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
11. THE CONTRACTOR SHALL REFER TO THE DEMOLITION PLAN FOR DEMOLITION/PRESERVATION OF EXISTING TREES. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR RELOCATED SHALL BE REMOVED AS A PART OF THIS CONTRACT. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY DEMOLITION.



**KMA**  
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3001 INDUSTRIAL AVE 2  
FORT PIERCE, FL 34904  
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FIRE C.D.A. # 33105

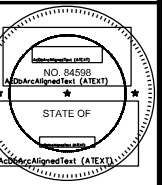
REVISIONS:

BY:	DATE:	COMMENT:

**NOT FOR CONSTRUCTION**

PROJECT:  
**ALL AREA ROOFING SITE PLAN**  
ST. LUCIE COUNTY  
FLORIDA

CLIENT:  
**ALL AREA ROOFING & CONSTRUCTION**  
FORT PIERCE  
FLORIDA



BLAINE BERGSTRESSER, P.E.  
FLORIDA LICENSE No. 84598  
**12/18/2025**



PROJECT No.: 24-1009  
DRAWN BY: SCB  
CHECKED BY: BRB  
DATE: 07/25/2024  
CAD I.D.: 24-1009\_COVER

SHEET TITLE:

**GEN NOTES**

SHEET NUMBER:

**C-001**

# Property Identification

Site Address: 3621 US HIGHWAY 1  
 Sec/Town/Range: 34/35S/40E  
 Parcel ID: **2434-601-0025-000-5**  
 Jurisdiction: Fort Pierce  
 Land Use Code: 1000 - Vac Comm  
 Account #: **33434**  
 Map ID: [24/34N](#)  
 Zoning: General Co



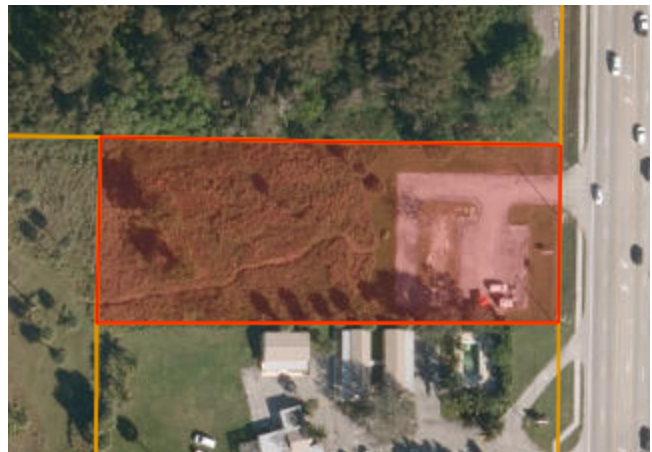
# Legal Description

KELLEM'S S/D N 165 FT OF E 440 FT OF LOT 7-LESS RD R/W- (1.51 AC)

## Total Areas

Finished/Under Air (SF): 0  
 Gross Sketched Area (SF): 0  
 Land Size (acres): 1.51  
 Land Size (SF): 65,670

## Map



State of Florida, Microsoft, Vantor

Powered by Esri

# Building Wind Speed

Occupancy Category	I	II	III & IV
Speed	140	160	160

[Sources/links:](#)

# Ownership

Coastal Utopia LLC  
 Douglas Richards  
 Elsa Richards  
 3415 W Busch BLVD  
 Tampa, FL 33618-4401

# Current Values

Just/Market value:	\$269,200
Assessed value:	\$234,300
Exemption value:	\$0
Taxable value:	\$234,300

## Important

**Property taxes are subject to change upon change of ownership.**

- **Past taxes are not a reliable projection of future taxes.**
- **The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.**

## Links

Taxes for this parcel: [SLC Tax Collector's Office](#)

Download TRIM for this Parcel: [Download PDF](#)

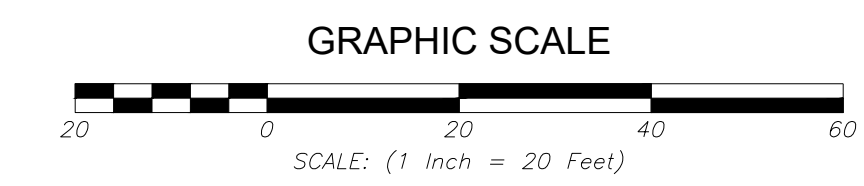
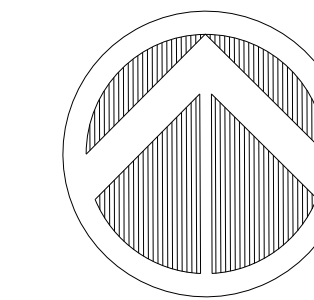
[File for homestead exemptions.](#)

[View associated Tax Map.](#)

[Report Homestead Fraud on this parcel.](#)

All information is believed to be correct at this time, but is subject to change and is provided without any warranty.

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**KMA**  
ENGINEERING & SURVEYING, LLC  
1176 20TH STREET  
VERO BEACH, FL 32960  
PHONE: (772) 589-9505  
FPIE-C.O.A # 33705

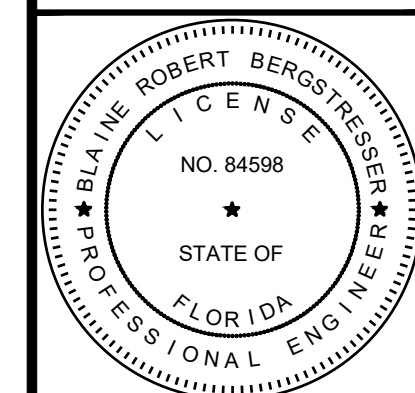
REVISIONS:

BY:	DATE:	COMMENT:

**NOT FOR CONSTRUCTION**

PROJECT:  
**ALL AREA ROOFING SITE PLAN**  
**ST. LUCIE COUNTY**  
**FLORIDA**

CLIENT:  
**ALL AREA ROOFING & CONSTRUCTION**  
FORT PIERCE  
FLORIDA

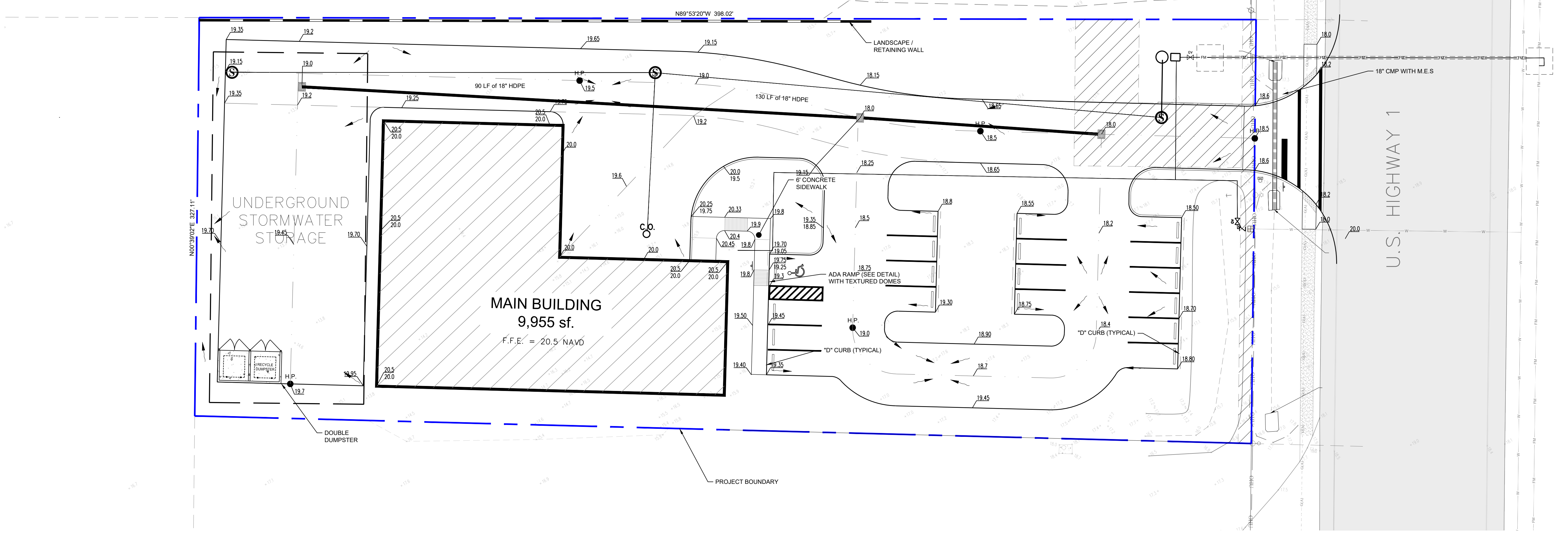


BLAINE BERGSTRESSER, P.E.  
FLORIDA LICENSE NO. 84598  
3/30/2026



PROJECT No.: 24-1009  
DRAWN BY: SCB  
CHECKED BY: BRB  
DATE: 07/25/2024  
CAD I.D.: 24-1009\_PGD

SHEET TITLE:  
**PGD-01**  
SHEET NUMBER:  
**C-200**



**LINEWORK & SYMBOL LEGEND**

	DENOTES PROPERTY BOUNDARY		DENOTES DITCH BOTTOM INLET
	DENOTES ROW DEDICATION		DENOTES DRAINAGE STRUCTURE
	DENOTES RIGHT-OF-WAY		DENOTES PROPOSED GRADE
	DENOTES CENTERLINE		DENOTES EXISTING GRADE
	DENOTES EASEMENT		DENOTES SEWER MANHOLE
	DENOTES SWALE FLOWLINE		DENOTES GATE VALVE
	DENOTES WATER MAIN		DENOTES FIRE HYDRANT
	DENOTES GRAVITY SEWER		DENOTES TRANSITION MANHOLE
	DENOTES FORCE MAIN		
	DENOTES GAS MAIN		
	DENOTES DRAINAGE PIPE		

**HATCH LEGEND**

	PROPOSED STRUCTURES
	PROPOSED ASPHALT PAVEMENT
	PROPOSED CONCRETE PAVEMENT

**DRAINAGE NOTES**

- ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD 1988.
- SURVEY INFORMATION SHOWN HEREON WAS PROVIDED BY PRINCIPAL MERIDIAN, INC.
- CONTRACTOR TO CONSTRUCT DRAINAGE STRUCTURES WITH USF GRATES, RIMS AND COVERS AS CALLED OUT OR APPROVED EQUAL. SHOP DRAWINGS ARE TO BE PROVIDED TO ENGINEER FOR APPROVAL PRIOR TO ANY CONSTRUCTION.
- CONTRACTOR TO REFER TO FDOT DESIGN STANDARD (AND NOT LIMITED TO) INDEX'S 200, 201, 210, 211, 214, 232 & 233 FOR MANHOLE, INLET AND GRATE SPECIFICATIONS.
- ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED WITH (4) SIDED BEARING HEAVY DUTY H-20 RATED TRAFFIC RIMS AND GRATES.
- CONTRACTOR TO VERIFY ALL EXISTING UTILITY RINGS AND COVERS ON SITE ARE HEAVY DUTY TRAFFIC RATED. CONTRACTOR TO REPLACE DEFICIENT RINGS AND COVERS WITH HEAVY DUTY TRAFFIC RATED RINGS AND COVERS. CONTRACTOR TO ADJUST RIM ELEVATIONS OF ANY UTILITIES THAT CHANGE IN ELEVATION DURING CONSTRUCTION.
- ALL CLEAN-OUT COVERS SHOULD BE RATED FOR HEAVY DUTY TRAFFIC.
- SIDEWALKS AND CROSSWALKS SHALL NOT EXCEED 2% CROSS SLOPE NOR 5% LONGITUDINALLY. GRADES IN ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2% IN ANY DIRECTION. IN CASES OF SIDEWALK LANDINGS AT BUILDING ENTRANCES, GRADES SHALL NOT EXCEED 2% IN ANY DIRECTION. ACCESSIBLE CURB RAMP SHALL NOT EXCEED 6' IN LENGTH AND 1:12 SLOPE. LANDINGS AT CHANGES IN DIRECTION SHALL BE MINIMUM 60"x60" AND SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
- ROOF DRAIN CONNECTIONS TO DRAINAGE PIPE SHALL BE AS FOLLOWS:
  - FOR ADS N-12 CORRUGATED POLYETHYLENE DRAINAGE PIPE USE ADS DUAL WALL FABRICATED REDUCING SADDLE TEE 4"-24" DIAMETER.
  - FOR RCP DRAINAGE PIPE MAKE CONNECTION PER FDOT INDEX 280, CONCRETE COLLAR FOR JOINING MAINLINE PIPE AND STUB PIPE DETAIL.
  - NOTIFY CONSULTANT FOR CONNECTION METHOD TO STEEL PIPE.
- ALL DRAINAGE PIPE JOINTS SHALL BE FILTER FABRIC WRAPPED PER FDOT INDEX #280. ALL DRAINAGE PIPE JOINTS NEED TO BE FILTER FABRIC WRAPPED REGARDLESS OF MATERIAL.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE.
- EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
- ALL CATCH BASINS WITHIN PROPOSED TRAFFIC AREAS SHALL HAVE BICYCLE PROOF GRATES.
- CONTRACTOR TO FLUSH AND VACUUM ENTIRE ON-SITE STORM WATER SYSTEM UPON COMPLETION OF PROPOSED WORK.
- MINIMUM DRAINAGE PIPE SHALL BE 15 INCHES PER CITY OF FORT PIERCE LAND DEVELOPMENT ORDINANCE SEC 119-3 DESIGN STANDARDS; STORMWATER MANAGEMENT, APPROVALS.

**NAVD 1988**  
ALL ELEVATIONS DEPICTED HEREON  
REFERENCE NAVD 1988. THE CONVERSION  
FACTOR TO NGVD 1929 IS +1.496'

J:\24-1009 ALL AREA ROOFING S.US HWY 1, FT PIERCE\ENGINEERING\DRAWINGS\CONSTRUCTION\24-1009\_PGD-01.dwg 3/30/2026 10:00 AM



**KMA Engineering & Surveying, LLC**

1176 25<sup>th</sup> St.  
Vero Beach, FL 32960  
(772) 569-550

March 31, 2026

City of Fort Pierce  
Planning Department  
2300 Virginia Avenue  
Fort Pierce, FL 34982

Re: Traffic Study

A traffic study determination is currently being looked at for the property at 3621 US HWY 1 Fort Pierce, FL. If it is determined that a traffic study is required we will forward to the COFP as soon as we receive it.

Should you have any questions or require additional information, please feel free to contact this office at your earliest convenience.

Sincerely,

Blaine Bergstresser, P.E.  
Florida License No. 84598

3621 S. US1  
Looking west at site

Legend



3621 S. US1

Looking north from US1 at site

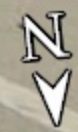
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3621 S. US1

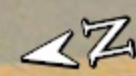
Looking south from US1 at site

Legend



3621 S. US1  
Looking east from US1 at site

Legend



3621 S. US1  
Site Aerial Photo

Legend



Tippy's Top Dogs

Extended Stay USA Motel

Self Storage at U-Haul

U-Haul Moving & Storage of Fort Pierce

S US Hwy 1

200 ft