



CITY OF FORT PIERCE TECHNICAL REVIEW COMMITTEE

AGENDA

Regular Meeting of the Fort Pierce Technical Review Committee to be held Thursday, April 16, 2026 at 10:00 a.m. in the William D. Dannahower, 2nd Floor Conference Room, 100 North U.S. Highway 1.

1. **Call to Order**

2. **New Business:**
 - a. **PZVAR2025-00010**
Variance - 125-193(c)(3)
1038 S. 37th Street
Parcel ID: 2417-213-0001-000-7

 - b. **PZSITE2026-00007**
Minor Site Plan
Convenience Store
2502 Avenue M

 - c. **PZSITE2026-00003**
Minor Site Plan
All Area Roofing
3621 US Highway 1

 - d. **PZSITE2026-00008**
Major Site Plan with Conditional Use
Graceway Village
1780 Hartman Road
Parcel ID: 2417-322-0001-000-2

3. **Adjournment**

Technical Review Committee - 10:00 AM

2. a.

Meeting Date: 04/16/2026

REQUESTED ACTION

PZVAR2025-00010

Variance - 125-193(c)(3)

1038 S. 37th Street

Parcel ID: 2417-213-0001-000-7

SUMMARY

The subject property, located at 1038 S 37th Street, contains 5.28 acres (229,996.8 sq. ft.) of land and is zoned E-3, Residential Single-Family, 3 du/ac. The applicant proposes to vary LDC §125-193(c)(3) which allows only one residential building on a lot, except one building without kitchen facilities, so long as the lot area is 30,000 square feet or more.

LOCATION

1038 S. 37th Street

Parcel ID: 2417-213-0001-000-7

RESPONSIBLE STAFF

Chris Suneson, Assistant Planning Direction

RECOMMENDATION

TBD

Attachments

Applicant Variance Review Criteria

Applicant Exhibit: Comp Plan Density Bonus Jusitification

Applicant Exhibit: Density Bonus Determination from City

Existing Building Statement

Survey

Site Plan

Form Review

Form Started By: Christopher Suneson

Started On: 04/01/2026 09:22 AM

Final Approval Date: 04/01/2026

Criteria Narrative for Variance

The project will consist of exclusively single-family homes as part of a private walkable living space complete with a natural preserve area and large stormwater area. If this variance is granted I will build very nice single-family homes, each with 4 parking spaces to accommodate growing and modern family arrangements.

The specific code being varied is 125-193(c)(3) which only allows a single home to be built on the entire 5-acre lot. Without the density bonus the max is 15 homes. With the density bonus the max is 31 homes. I am humbly proposing a variance to this code so that I can build 25 single family homes on the lot at a net density of 4.7 du/ac, less than the 6 du/ac that is allowed with the included density bonus. I will also forfeit my density bonus and build no more than 15 single family homes if it should please the board by not utilizing the density bonus.

This variance is not contrary to the public interest because it does not exceed the underlying land use maximum density of 6.5 du/ac and will transform an empty infill lot within the city and FPUA limits to provide homes for the city Fort Pierce. A literal interpretation of the code only allows 1 house on a parcel with a maximum density of 31 homes. The geographic condition peculiar to this property is that it is located within the range for a density bonus. I tried to rezone but was deprived of that right by the city commission, causing me an undue and unnecessary hardship. Allowing this variance will be consistent with the underlying land use, the underlying zoning, and will provide large tax revenues to the city to fund public services.

I would like to build exactly 25 single family homes, but I will happily accept the ability to build no more than 15 homes if it should so please the board. A 5-acre parcel inside city limits that is eligible for a density bonus should be granted this variance in order to provide the maximum benefit to the community instead of remaining a vacant lot with the potential to house up to a maximum of 31 households. A property that is eligible for a density bonus should automatically be allowed to build more than 1 house on a lot in order to actually use the eligible bonus. The current zoning language for all zones except R4 and R5 completely undermine any eligible density bonuses because they all have a limit of 1 house per lot, regardless of the size. Why make a parcel eligible for a density bonus if you can only build 1 house regardless of the density bonus or not. The density bonus code should be re-written to include a provision that allows you to build more than one house on a lot that is eligible for the density bonus. Otherwise, why have the density bonus at all?

I am humbly asking you to please allow me to build 25 or at least up to 15 individual single-family homes on this vacant 5-acre parcel inside city limits by granting a variance to code 125-193(c)(3).

Thank you very much.

Criteria responses:

1. Describe those conditions peculiar to the specific property and not applicable to other lands, structures, or buildings in the same zoning district.

The city of Fort Pierce municipal code allows for density bonuses based on proximity to a transit stop. The subject property meets this requirement being entirely within a ¼ mile radius of a transit stop located on Meadow Lane and South 33rd Street, Area Regional Transit Route 3. Included with this request is a letter from the Planning Director, Kevin Freeman confirming that based on his determination the property is allowed the applicable density bonus of 3 du/ac. The property is the largest residential parcel within the ¼ radius area, has the most restrictive zoning standards of any other parcel, and is the only one that remains totally undeveloped. This condition is peculiar to the specific property and not applicable to other lands because it is the only estate-zoned parcel that is within the ¼ mile radius from a transit stop. The subject property is also the only estate-zoned parcel East of Hartman Road and West of US-1 and is sandwiched between two major commercial corridors, the Orange Avenue and Okeechobee Road.

2. Do special conditions or circumstances result from actions other than that of yours? Please explain.

Special conditions were created by the Fort Pierce legislature specifically to allow more development of housing. It is important to be able to use the code of ordinances to explicitly achieve the goals of the comprehensive plan. Granting this variance would do exactly that, by allowing development of the parcel at the eligible increased density. Special circumstances resulting from actions by the city commission exist because my application for a Planned Development was denied by the city commission in a split 3 – 2 vote after an intervener clause was filed by a non-Fort Pierce neighboring land owner, former commissioner Jeremiah K. Johnson, the manager of the LLC that owns a parcel of land on 37th Street in unincorporated St. Lucie County. His actions have literally deprived me of my property rights and caused me undue financial and mental hardship. My application included the eligible density bonuses and had passed the technical review committee, received unanimous approval 5-0 from the planning board, and was recommended for approval by the planning department and the planning director Kevin Freeman. The commissioners and the mayor are supposed to listen to their planning staff and vote in the best interests of the residents of Fort Pierce and based on substantial competent evidence. Instead they failed the citizens of Fort Pierce when they voted to prioritize the preservation of a “rural” county lifestyle of unincorporated county land owners, of which there are 9 total improved county lots on 37th Street. Instead of showing consistency with their own code of ordinances and comprehensive plan (of which they violated numerous policies by denying the application) and act as judges in a quasi-judicial setting, they allowed their emotions and the wishes of 9 non-city residents to influence their opinions and voted to actively deprive me of my rights as a property owner and to continue to deprive 60 Fort Pierce households (and future tax payers) the economically viable housing options we desperately need.

3. Identify any undue hardships or deprivation of commonly enjoyed property rights that would result in the literal interpretation of the code for the zoning district.

A literal interpretation of the current zoning district code would deprive me of commonly enjoyed property rights by entirely undermine the eligible density bonus because the density would not be possible to achieve if only a single detached home is allowed to be built on the entire 5+ acre lot. This unnecessary and undue hardship results from the geographic feature of the site, specifically that it is located within the proximity to a bus stop to allow a density bonus. This density bonus is part of the code of ordinances which establish the commonly enjoyed property rights of Fort Pierce residents whose property meet specific requirements. By allowing this variance I will still adhere to the current E-3 zone development standards will ensure that the parcel remains consistent with the underlying zoning characteristics and development standards, while not causing me any undue hardship and allows me to enjoy my common property rights granted to me by the code of ordinances and the comprehensive plan. In order to use the eligible bonus, I tried to rezone to a Planned Development which got unanimous planning board approval and recommended for approval by the planning department, only to have the mayor decide she would rather appease the former commissioner and non-Fort Pierce residents instead of providing for more affordable housing for city residents. This has caused me an undue hardship of my commonly enjoyed property rights because the literal interpretation of the code necessitated a rezoning in order to utilize eligible bonuses and it was denied even though it met the code and is supported by numerous comprehensive plan policies, the planning board, and the planning department.

4. What is the minimum variance that would give the reasonable use of the land, building, or structure?

The variance we are requesting is regarding section (c)(2) of the E-3 zoning standards:

(2) On any lot used for residential purposes, no more than one residential building will be allowed on the lot, except one building without kitchen facilities may be allowed as a guest house, provided that the lot on which such guest house is located is 30,000 square feet or more in size.

A lot of this size with the unique zoning density bonuses allowed by the code permit a maximum density of 6 dwelling units per acre and therefore could provide housing for up to 31 Fort Pierce households instead of remaining empty or only being allowed up build a single residence. I will still be limited to building single family detached homes on the lot and will otherwise adhere to all E3 development standards. I am humbly asking you to please allow me to exercise my property rights recognized by the city of Fort Pierce Code of Ordinance and allow me to build more than a single residential building. And if absolutely needed, I will also happily accept no density bonuses and be limited to the currently allowed density of 3 du/ac which would allow a maximum of 15 homes to be built on the lot, if you wish to make that a condition of the variance to allow more than 1 single residential building. I am pleading with you to please allow me the most basic ability to develop this vacant infill lot beyond a single residence. While I do think it is important that my property rights under the code be recognized, if I must relinquish my bonus in order to allow the variance at the current density then I will be very happy and grateful for that outcome as well.

5. Explain how the variance request would not impair the intent of the zoning ordinance or be detrimental to the general public welfare.

Granting this variance would allow development of the property that would be consistent with the comprehensive plan and municipal code because gross residential density does not increase. The allowed 3 du/ac bonus would raise the total density of the property to 6 du/ac, which would still be less than the 6.5 du/ac limit for the underlying future land use of Residential Low, confirming once again that this request is consistent with the comprehensive plan because gross residential density does not increase. Because the amount of available housing in the city is such a big issue, it is important to be able to apply the eligible density bonuses to be able to effectively achieve the goals of the comprehensive plan. The variance will not be detrimental to the public welfare because development of this parcel at the eligible density would provide new, safe homes for families and will meet the needs of all population groups including school-age groups, working-age groups, and retirement-age groups. It will also generate up to an estimated \$155,000 in property tax revenue per year that will go to fund local government services and programs. This variance request would not impair the intent of the zoning ordinance because I am still adhering to the all development standards of the E-3 zone Sec. 125-190 including total building coverage, and building heights. This is all to help improve the general public welfare by providing more housing for Fort Pierce residents on a residential parcel that has been vacant since before the city incorporated in 1901.

Project Name: 1038 South 37th Street
Date: 10/17/2023

The purpose of this narrative is to establish the applicable density bonuses in accordance with the City of Fort Pierce Comprehensive Plan and Code of Ordinances, specifically those described herein pertaining to the subject property 1038 South 37th Street, Fort Pierce, FL 34947, parcel ID 2417-213-0001-000-7.

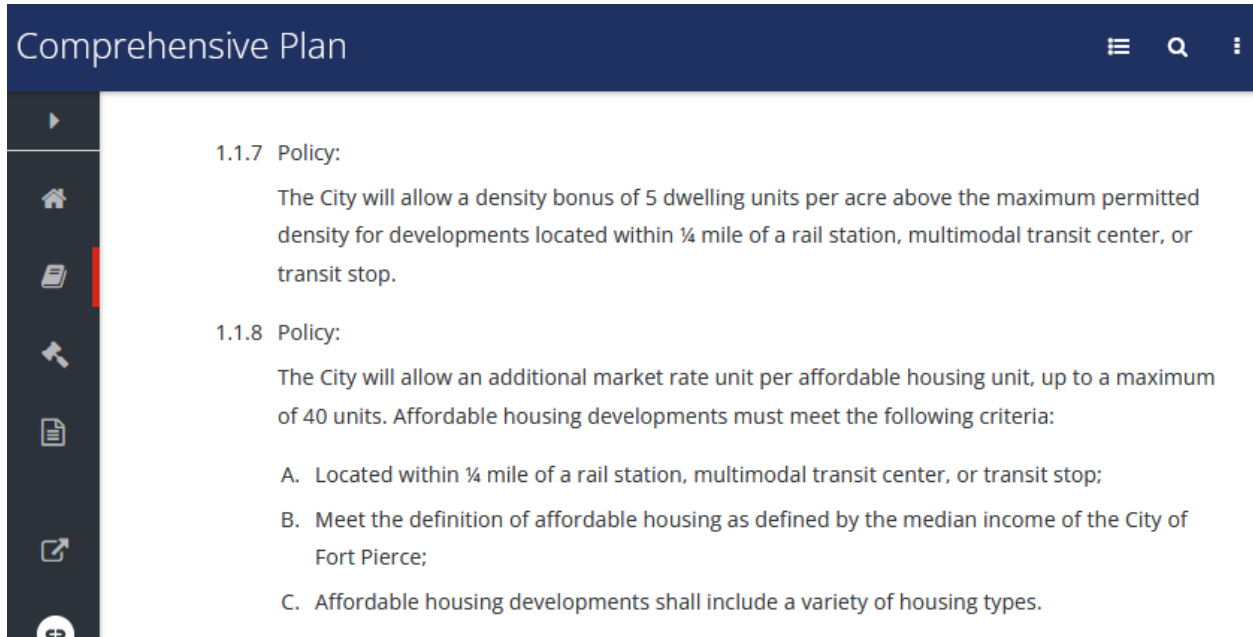
Figures 1 and 2 show density bonuses permitted by the City of Fort Pierce Comprehensive Plan and Code of Ordinances. This narrative pertains specifically to the requirement under Policy 1.1.7, 1.1.8A, and Ordinance 125-326(a), that the property be located within one-fourth mile radius of a transit stop.

Figure 3 shows a map depicting one-fourth mile radius from Area Regional Transit Route 3 Meadow Lane and South 33rd Street transit stop. The subject property is shown to be located inside the one-fourth mile radius.

Figure 4 shows the sign located at the aforementioned transit stop, confirming its existence and active service as a fixed route bus of the St. Lucie County Area Regional Transit system, part of the St. Lucie Transit Municipal Services Taxing Unit (MSTU). Additional information can be found on this URL: <https://www.stlucieco.gov/home/showdocument?id=8413>

Figure 5 shows the definition of 'transit stop' as is defined by the City of Fort Pierce Code of Ordinances. The aforementioned transit stop meets this definition, being a form of public transportation.

Figure 1 – Comprehensive Plan Policy 1.1.7 and 1.1.8:



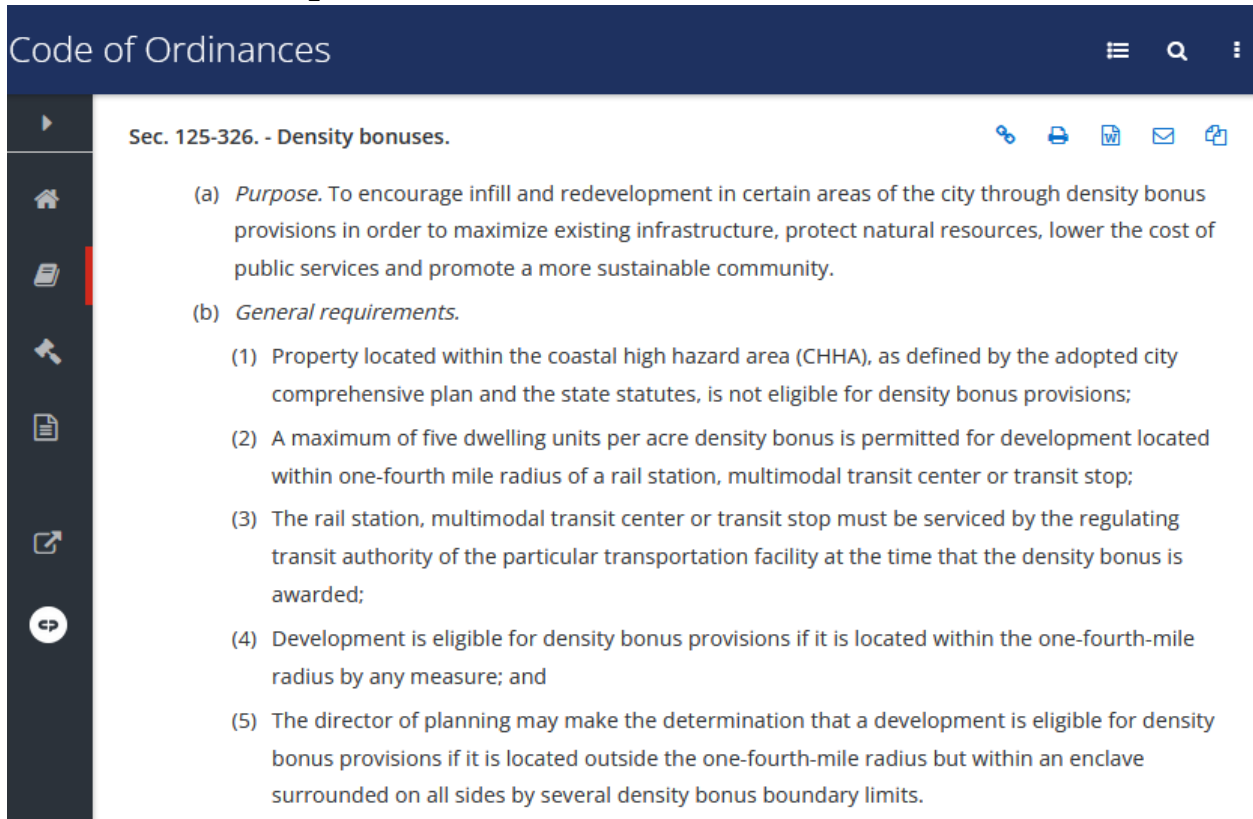
The screenshot shows a web application interface for the 'Comprehensive Plan'. The header is dark blue with the title 'Comprehensive Plan' and navigation icons. A left sidebar contains icons for home, documents, and other functions. The main content area displays two policy sections:

1.1.7 Policy:
The City will allow a density bonus of 5 dwelling units per acre above the maximum permitted density for developments located within ¼ mile of a rail station, multimodal transit center, or transit stop.

1.1.8 Policy:
The City will allow an additional market rate unit per affordable housing unit, up to a maximum of 40 units. Affordable housing developments must meet the following criteria:

- A. Located within ¼ mile of a rail station, multimodal transit center, or transit stop;
- B. Meet the definition of affordable housing as defined by the median income of the City of Fort Pierce;
- C. Affordable housing developments shall include a variety of housing types.

Figure 2 – Section 125-326(a) and Section 125-326(b) of the City of Fort Pierce Code of Ordinances:



The screenshot shows a web application interface for the 'Code of Ordinances'. The header is dark blue with the title 'Code of Ordinances' and navigation icons. A left sidebar contains icons for home, documents, and other functions. The main content area displays the following text:

Sec. 125-326. - Density bonuses.

(a) *Purpose.* To encourage infill and redevelopment in certain areas of the city through density bonus provisions in order to maximize existing infrastructure, protect natural resources, lower the cost of public services and promote a more sustainable community.

(b) *General requirements.*

- (1) Property located within the coastal high hazard area (CHHA), as defined by the adopted city comprehensive plan and the state statutes, is not eligible for density bonus provisions;
- (2) A maximum of five dwelling units per acre density bonus is permitted for development located within one-fourth mile radius of a rail station, multimodal transit center or transit stop;
- (3) The rail station, multimodal transit center or transit stop must be serviced by the regulating transit authority of the particular transportation facility at the time that the density bonus is awarded;
- (4) Development is eligible for density bonus provisions if it is located within the one-fourth-mile radius by any measure; and
- (5) The director of planning may make the determination that a development is eligible for density bonus provisions if it is located outside the one-fourth-mile radius but within an enclave surrounded on all sides by several density bonus boundary limits.

Franco Prado, President
Martin & Sons Residential Services, Inc.
4581 Weston Road, Suite 154
Weston, FL 33331
Tel: 954-389-0220

Figure 3 - Map depicting location of subject property with relation to transit stop, being located within a ¼ mile radius of transit stop:

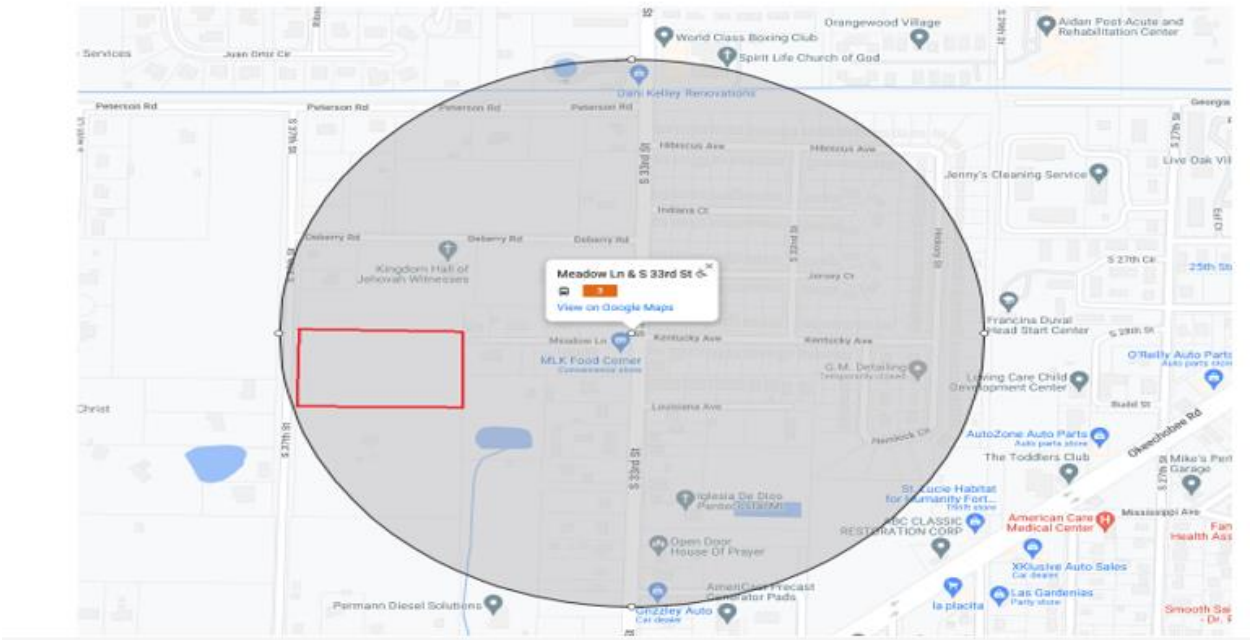
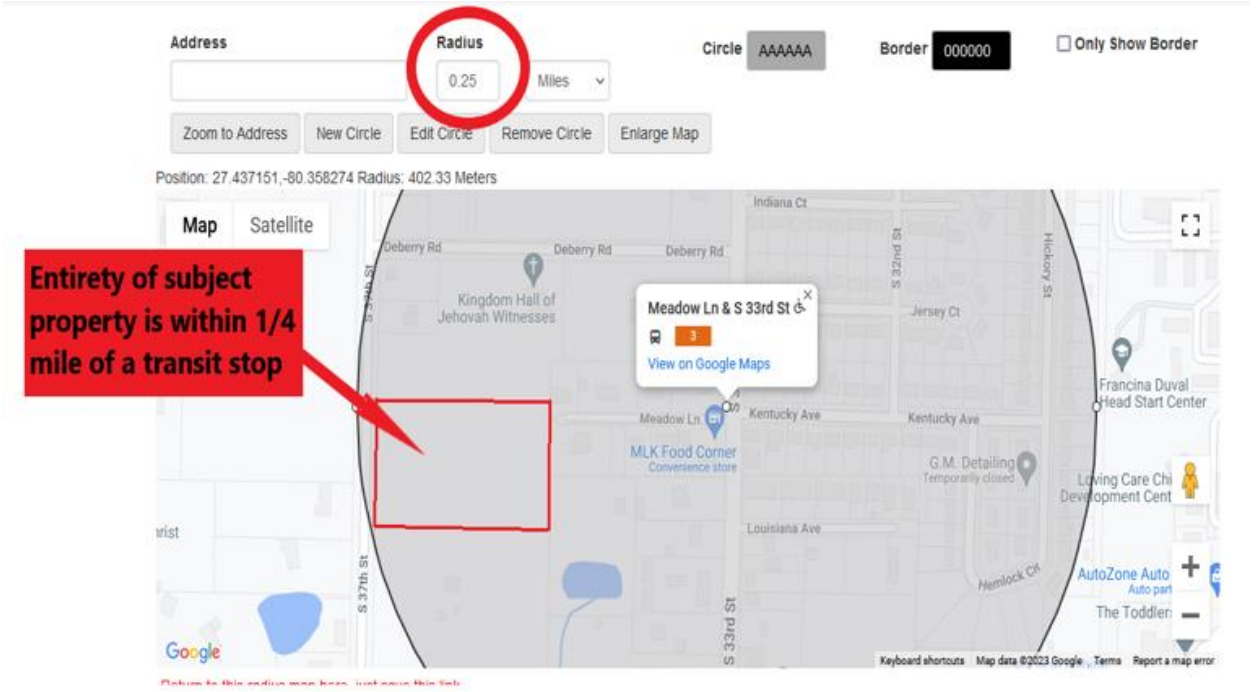
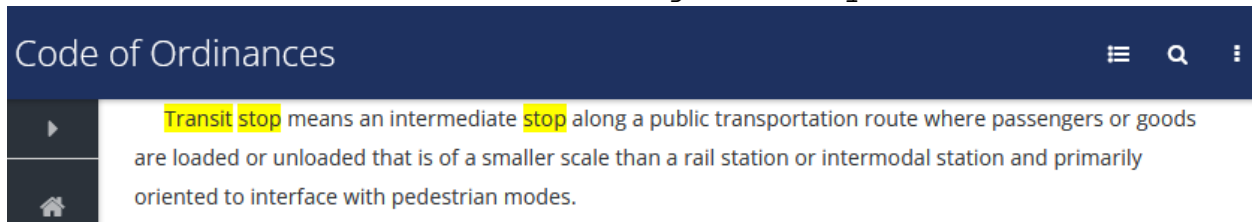


Figure 4 - Area Regional Transit Route 3 Meadow Lane and South 33rd Street transit stop sign:



Figure 5 - City of Fort Pierce Code of Ordinances definition of 'Transit Stop' under Section 125-3.- Definitions; generally:



We humbly request the City of Fort Pierce Planning Department acknowledge that the subject property 1038 South 37th Street, Fort Pierce, FL 34947, parcel ID 2417-213-0001-000-7, being located within one-fourth mile radius of a transit stop, specifically Area Regional Transit Route 3 Meadow Lane and S 33rd Street transit stop, meeting the location requirement of Comprehensive Plan Policy 1.1.7 and 1.1.8A of the City

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of Fort Pierce Comprehensive Plan, meeting the location requirement of the City of Fort Pierce Code of Ordinances Section 125-326(b)(2), is permitted to density bonuses applicable to properties located within one-fourth mile radius of a transit stop as specified in the City of Fort Pierce Comprehensive Plan and Code of Ordinances.

Sincerely,
Franco Prado

Addendum 1

This addendum contains the municipal code language with regards to the compatibility review requirements for density bonuses under section 125-326(d)(3). Responses are shown in ***bold italics***:

(3) Compatibility review.

a. A determination shall be made as to whether the *density* bonus provisions will result in a significantly greater negative impact on the surrounding property. The determination shall be based upon a comparison between the development impacts of the site before and after applying the *density* bonus provisions to the surrounding property and shall address:

The eligible density bonus would result in a 6 du/ac density limit. This will not result in a negative impact because the gross residential density remains unchanged under the current land use of Residential Low, having a 6.5 du/ac limit.

1. Whether the increase in *density* will decrease visual access to the surrounding vista by existing development, especially with regard to historic sites, waterfront or open space areas by more than 25 percent;

Density increase will not affect visual access. No historic site or waterfront are present.

2. Whether buffer landscaping provides sufficient screening between sites;

Yes, landscaping details will be subject to approval by planning department with final site plan submittal and shall incorporate appropriate buffer landscaping.

3. Whether the orientation of buildings, doors or windows allow for sufficient sight-line separation between building sites; and

Yes, building details will be subject to approval by planning department with final site plan submittal and shall incorporate appropriate structure orientation.

4. Whether the increase in *density* will result in the decrease the level of service for public facilities.

No. In fact, level of service for public facilities will increase from associated improvements required for development at the increased density.



November 21st, 2023

Mr. Franco Prado,
President Martin & Sons Residential Services, Inc.
4581 Weston Road, Suite 154,
Weston,
FL 33331

RE: 1038 South 37th Street, Fort Pierce, and the applicability of Density Bonuses.

Dear Mr. Prado,

I'm writing with regard to your emailed correspondence dated 10/17/2023, received 11/17/2023, in which you provide documentary evidence which demonstrates that 1038 South 37th Street (the "subject property") is located within a ¼ mile of a transit stop. That being the case, I accept that the subject property meets Policy 1.1.7 and Policy 1.1.8 of the City's Comprehensive Plan in that it may be considered for Density Bonuses. In addition, and as you also point out, Sec. 125-326 of the City's Code of Ordinances confirms the qualifications required for the city to permit up to a maximum of five units per acre as a density bonus.

However, to be able to accommodate any density bonus the site will need to meet the City Zoning Code relating to site development and layout and be in accordance with the current zoning and future land use designations.

At present the property is Zoned E-3 and has the Future Land Use designation of Low Density Residential (1 to 6.5 du/acre) as described in GOP Table 1-1 of the City's Comprehensive Plan.

Sec. 125 E-3 (attached below) limits development to single-family dwellings at a density of less than 3 units per acre. In the case of the subject property the maximum permitted number of units is therefore set at (5.28 Acres x 3 dwelling units) = 15 single-family units. Further, each lot would need to meet the minimums set out within the zoning code.

The underlying Future Land Use designation of Low Density Residential allows a density of up to 6.5 dwelling units per acre, with the potential of the Density Bonuses as allowed within the Comprehensive Plan. However, any density above the 3 units per acre allowed by the E-3 zoning can only be utilized by the granting of an alternative zoning district.

Should the property be granted an alternative zoning designation through a rezoning to a standard zoning district, an innovative residential development (Sec. 125-243), or to a planned

development, then a density bonus may be applied up to an additional 5 dwelling units per acre (du/ac) but limited to the maximum allowed in the Future Land Use designation (in the case of the subject property, this would get us from 3 du/ac to a maximum total of 6.5 du/ac = 34 single-family units). Please note Comprehensive Plan Policy 1.1.2. (cited below).

Note: The PD, rezoning, or innovative residential development would require action by the City Commission to approve a site plan.

1.1.2 Policy:

Gross site density and intensity of the individual Future Land Use designations depicted under Policy 1.1.1 are described in GOP Table 1-1. Within each Future Land Use Category one or more zoning districts may be permitted as set forth in the Land Development Regulations, **provided that the density or intensity authorizations of the particular zoning district does not exceed general limitations set forth in GOP Table 1-1.**

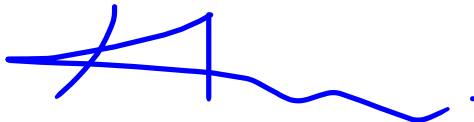
Sec. 125-190. E-3 Residential single-family—three units per acre.

- (a) *Purpose.* This classification is primarily intended to provide for areas of single-family dwellings with an average net density of less than three units per acre for conventional developments. Regulations for the district are designed to promote sound neighborhoods and accommodate compatible nonresidential uses. Water and sewer service should be available.
- (b) *Basic use standards.* Uses in an E-3 zone, except innovative residential developments, must meet the requirements of this section. More restrictive requirements, set forth in accordance with other provisions of this chapter, must be satisfied by some conditional uses.
 - (1) *Lot size.*
 - a. The minimum lot area for single-family dwellings shall be 12,000 square feet.
 - b. The minimum lot width shall be 75 feet.
 - c. The minimum lot depth shall be 110 feet.
 - (2) *Yards.*
 - a. The minimum depth of the front yard will be 25 feet.
 - b. The minimum depth of the side yards shall be ten feet, except on corner lots the minimum side yard depth on a street side will be 20 feet.
 - c. The minimum depth of the rear yard shall be 20 feet for a distance equal to 30 percent of the length of a line which is parallel to the rear lot line, is 20 feet from the rear lot line and extends to the closest property lines. The minimum depth of the rear yard for the remainder of the lot will be seven feet, except on double-frontage and waterfront lots it shall be 20 feet.

- (3) *Lot coverage.* Buildings will not cover more than 25 percent of the lot.
 - (4) *Building heights.* No building shall exceed a height of 28 feet above grade, except that conditional uses with buildings that have a maximum height of 35 feet above grade may be approved.
- (c) *Other applicable use standards.*
- (1) Accessory buildings shall comply with all yard, lot coverage and building height requirements of this chapter, except that buildings not on double-frontage lots may be in the rear yard if they are at least seven feet from the rear lot line.
 - (2) On any lot used for residential purposes, no more than one residential building will be allowed on the lot, except one building without kitchen facilities may be allowed as a guest house, provided that the lot on which such guest house is located is 30,000 square feet or more in size.
 - (3) Every lot shall abut a street other than an alley for at least 25 feet, except the minimum frontage for a lot on a cul-de-sac shall be 15 feet.
 - (4) Materials or objects which would detract from the open space character of an uncovered or unenclosed area will not be permitted in such an area.
 - (5) All uses will comply with applicable access, parking and loading standards sections 125-315 and 125-316.
 - (6) Conditional uses will meet the requirements in sections 125-235 through 125-247.
 - (7) Signs will comply with standards referred to in section 125-310.
 - (8) All other applicable ordinance requirements will also be satisfied.

I hope this answers your question.

Best regards,

A handwritten signature in blue ink, appearing to be 'Kev Freeman', with a horizontal line extending to the right and a small dot at the end.

Kev Freeman
Planning Director
City of Fort Pierce

No buildings exist, lot is vacant/empty.

ROLAND E. ROLLINS
PROFESSIONAL LAND SURVEYOR
 3221 SW CRUMPACKER STREET
 PORT ST. LUCIE, FLORIDA 34953
 772-873-4700

BOUNDARY AND TOPOGRAPHIC SURVEY

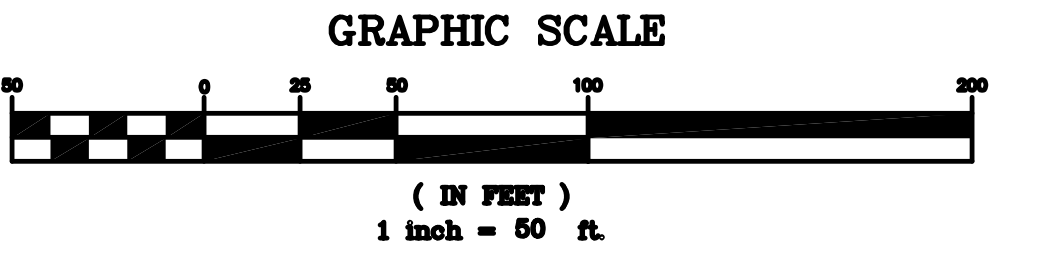
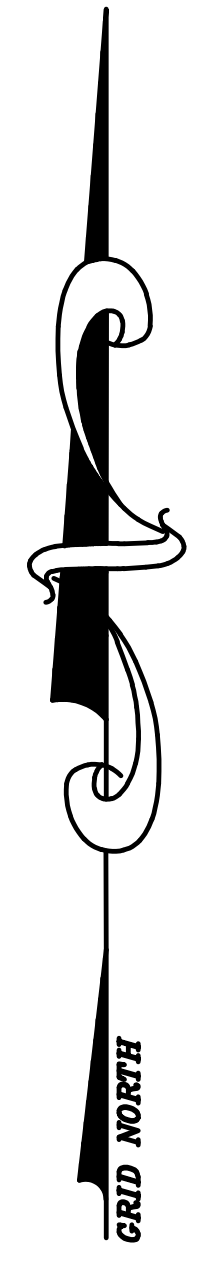
LEGAL DESCRIPTION

THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA; LESS THEREFROM THE NORTH 445 FEET AND THE WEST 40 FEET.

AND

THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA; LESS THEREFROM THE NORTH 445 FEET AND THE WEST 40 FEET.

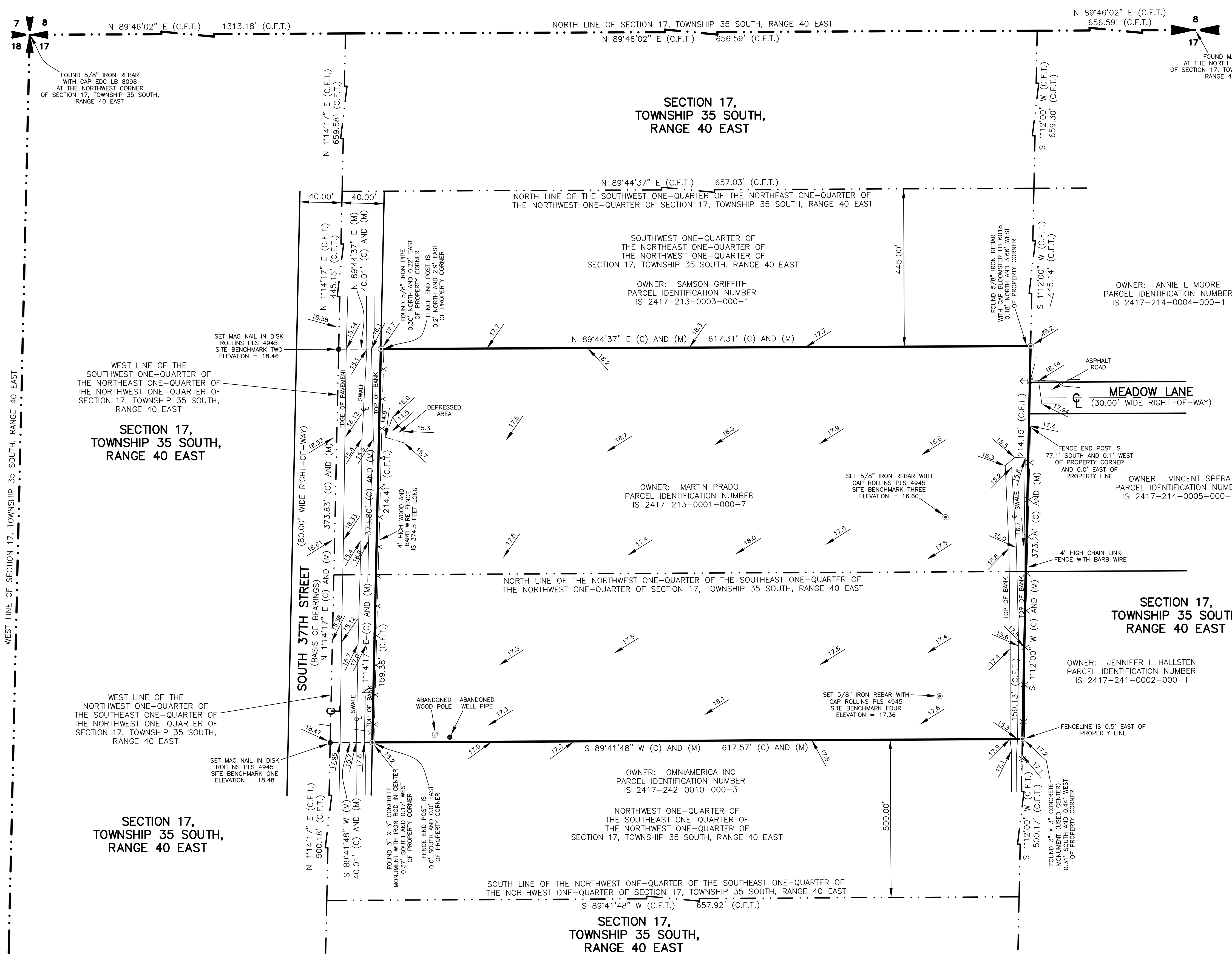
- ABBREVIATIONS:
- A/C = AIR CONDITIONER
 - (C) = CALCULATED
 - (C.F.T.) = CALCULATED FROM TRAVERSE
 - C = CENTERLINE
 - C.B.S. = CONCRETE BLOCK STRUCTURE
 - C.L.S. = CONSTRUCTION LAYOUT SURVEY
 - E/P = EDGE OF PAVEMENT
 - E.O.W. = EDGE OF WATER
 - E.F.B. = ELECTRONIC FIELD BOOK
 - EL. = ELEVATION
 - FIRM = FLOOD INSURANCE RATE MAPS
 - FND. = FOUND
 - (L.D.) = LEGAL DESCRIPTION
 - (M) = MEASURED
 - N.G.V.D. OF 1929 = NATIONAL GEODETIC VERTICAL DATUM OF 1929
 - N.A.V.D. OF 1988 = NORTH AMERICAN VERTICAL DATUM OF 1988
 - N.T.S. = NOT TO SCALE
 - O/S = OFFSET
 - P.C.P. = PERMANENT CONTROL POINT
 - (P) = PLAT
 - P.O.B. = POINT OF BEGINNING
 - P.R.M. = PERMANENT REFERENCE MONUMENT
 - (R) = RECORD
 - P.C. = POINT OF CURVATURE
 - P.I. = POINT OF INTERSECTION
 - S/W = SIDEWALK
 - T.O.S. = TOE OF SLOPE
 - T.O.B. = TOP OF BANK



NOTE: THE BEARINGS ARE REFERENCED ON THE CENTERLINE OF SOUTH 37TH STREET AND THE WEST LINE OF THE NORTHWEST ONE-QUARTER OF THE SOUTHWEST ONE-QUARTER OF THE NORTHWEST ONE-QUARTER OF SECTION 17, TOWNSHIP 35 SOUTH, RANGE 40 EAST ON GRID NORTH FLORIDA EAST NAD83 PROJECTION WHICH BEARS NORTH 01°14'17" EAST

NOTE: ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

ADDRESS OF SUBJECT PROPERTY:
 1038 SOUTH 37TH STREET, FORT PIERCE, FLORIDA



BENCHMARK REFERENCE:
 FOUND SAINT LUCIE COUNTY 1999 VERTICAL CONTROL DISK "MATT" IN CONCRETE 75 FEET PLUS OR MINUS SOUTH OF THE CENTERLINE OF WHITE DAIRY ROAD ON HARTMAN ROAD, 28 FEET PLUS OR MINUS EAST OF THE EAST EDGE OF PAVEMENT OF HARTMAN ROAD, 55 FEET PLUS OR MINUS SOUTH OF A WOOD UTILITY POLE.
 ELEVATION = 15.125 US SURVEY FEET
 VERTICAL DATUM N.A.V.D. OF 1988

ELEVATIONS BASED ON N.A.V.D. OF 1988 AND SHOWN THUS 100

FLOOD ELEVATION INFORMATION

MAP NUMBER 12111C0178 J DATE OF FIRM FEB. 16, 2012

COMMUNITY NUMBER 120285 PANEL 0178

FIRM ZONE X SUFFIX J

ADDENDUM	FIELD BOOK	PAGE	DATE	BY	CHECKED
BOUNDARY SURVEY	E.F.B.		05/03/2023	R.E.R.	R.E.R.
TOPOGRAPHIC SURVEY	E.F.B.		05/03/2023	R.E.R.	R.E.R.

- LEGEND:**
- ⊙ = SET 5/8" IRON REBAR WITH CAP P.L.S. NUMBER 4945
 - = SET NAIL IN DISK P.L.S. NUMBER 4945 UNLESS OTHERWISE NOTED.
 - ⊕ = MANHOLE (M.H.)
 - ⊕ = CATCH BASIN (C.B.)
 - ⊕ = FIRE HYDRANT (F.H.)
 - ⊕ = WATER METER (W.M.)
 - ⊕ = WOOD POWER POLE (WD. P.P.)
 - ⊕ = CONCRETE POWER POLE (CONC. P.P.)
 - ⊕ = ANCHOR AND GUY WIRE
 - ⊕ = OVERHEAD WIRES
 - ⊕ = NOT TO SCALE
 - ⊕ = FENCELINE

NOTES:

- LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS, OWNERSHIP AND/OR RIGHT-OF-WAYS OF RECORD.
- NO UNDERGROUND OR INTERIOR IMPROVEMENTS WERE LOCATED EXCEPT AS NOTED.
- LEGAL DESCRIPTION AS SUPPLIED BY CLIENT.
- BUILDING TIES ARE 90° OR RADIAL TO THE PROPERTY LINE.
- ALL EASEMENTS SHOWN ARE PER RECORD PLAT UNLESS OTHERWISE NOTED.

TRACT SQUARE FOOTAGE: 5.293± ACRES

SCALE: 1" = 50'

CERTIFICATIONS AS PROVIDED AND WORDED BY CLIENT:

CERTIFY TO:

1) FRANCO PRADO

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

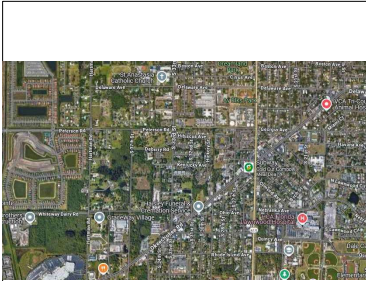
PLOT DATE AND TIME: 05/04/2023 8:00 AM EST

DATE OF LAST FIELD WORK: 05/03/2023

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON COMPLIES WITH STANDARDS OF PRACTICE FOR SURVEYS AS CONTAINED IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

ROLAND E. ROLLINS DATE OF SIGNATURE
 PROFESSIONAL LAND SURVEYOR
 FLORIDA REGISTRATION NUMBER 4945

JOB NUMBER: RR230407



VICINITY MAP
1" = 1,000'

JURISDICTION:
CITY OF FORT PIERCE
NORTH ST LUCIE RIVER WATER CONTROL DISTRICT

OWNERSHIP:
MARTIN PRADO
4368 PINE RIDGE CT
WESTON, FL 33331

PARCEL ID:
2417-213-0001-000-7

LEGAL DESCRIPTION:
17 35 40 SW 1/4 OF NE 1/4 OF NW 1/4-LESS N 445 FT AND LESS W 40 FT-AND NW 1/4 OF SE 1/4 OF NW 1/4-LESS S 500 FT AND LESS W 40 FT-(5.28 AC)

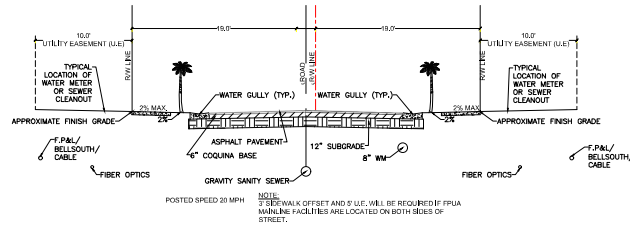
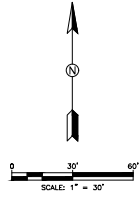
ZONING:
RESIDENTIAL

TOTAL SITE AREA: 229,996 SF (5.28 AC) (100%)
PROPERTY SIZE

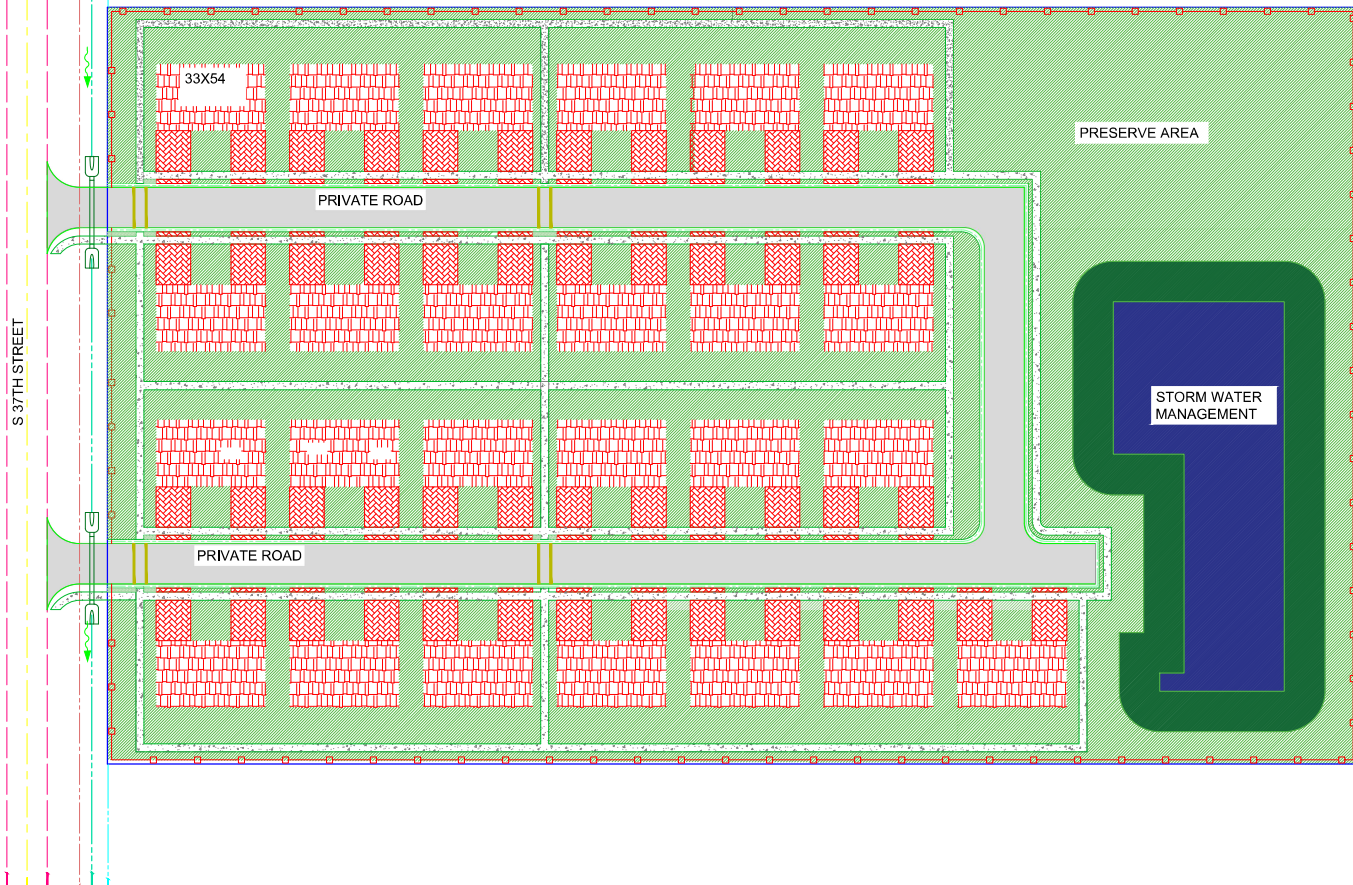
PROPOSED DEVELOPMENT: SINGLE FAMILY HOUSING 25 UNITS

PROPOSED PERVIOUS:
OPEN GREEN SPACE 98,531 SF (2.26 AC) (43%)
STORMWATER RETENTION AREA 38,173 SF (0.88 AC) (17%)
TOTAL PERVIOUS 136,704 SF (3.14 AC) (60%)

- LEGEND**
- EXIST. EDGE OF PAVEMENT
 - PROPERTY BOUNDARY
 - PROP. FENCELINE
 - DRAINAGE FLOW ARROW
 - PROP. SINGLE FAMILY
 - PROP. RIGHT-OF-WAY
 - PROP. DRIVEWAY
 - GRASS AREA
 - CONG. SIDEWALK



36' RIGHT-OF-WAY
TYPICAL SECTION
N.T.S.



N

Dylan O'Berry, P.E.
Civil Engineer
Art of Engineering
Port St. Lucie, Florida
(772) 203-0094
dylan@artofengineering.net
https://artofengineering.net

Digitally signed by Dylan O'Berry, DN: cn=Dylan O'Berry, o=Art of Engineering, Inc., ou=Port St. Lucie, Florida, email=dylan@artofengineering.net, c=US
Reason: I attest to the accuracy and integrity of this document.
Contact info: dylan@artofengineering.net
phone: (772) 203-0094
Date: 2024.07.07 13:04:05-0500'

Landel A. Smith
AutoCAD Civil Design Services
Art of Engineering
www.artofengineering.net
(772) 203-0094
landel@artofeng.com

PERMITS REQUIRED
CITY OF FORT PIERCE

PERMIT#

NO.	REVISIONS	DATE

MARTIN & SONS
1038 S 37TH STREET
FORT PIERCE
FLORIDA 34947

SHEET TITLE
MASTER SITE PLAN

DATE 07/07/2025	SHEET
SCALE 1"=30'	01
DRAWN BY L.S.	

Technical Review Committee - 10:00 AM

2. b.

Meeting Date: 04/16/2026

REQUESTED ACTION

PZSITE2026-00007

Minor Site Plan
Convenience Store
2502 Avenue M

SUMMARY

Project #: PZSITE2026-00007

The applicant is requesting a minor site plan review for development of a 2,799 sq ft convenience store with 8 parking spaces. The site is located on Parcel ID: 2405-524-0039-000-0, and is approximately 0.35 acres.

Please review and provide comments at least two days before the meeting date. Comments can either be emailed directly to bromer@cityoffortpierce.com and planning@cityoffortpierce.com or uploaded onto the Tyler portal. Should you choose to upload directly to Tyler, please email me that you have done so as Tyler does not provide notifications of new uploads.. Should you require additional information, please do not hesitate to reach via email or dialing 772-467-3099.

LOCATION

Address: 2502 Avenue M

Parcel ID: 2405-524-0039-000-0

Legal Description: CARVER HEIGHTS BLK 2 LOTS 19 AND 20 (0.35 AC - 15,228 SF)

RESPONSIBLE STAFF

Bridgette Romer - Planner

RECOMMENDATION

N/A

Attachments

TRC Review Package

Form Review

Form Started By: Bridgette Romer
Final Approval Date: 04/01/2026

Started On: 03/30/2026 04:40 PM

Property Identification

Site Address: 2502 AVENUE M
 Sec/Town/Range: 05/35S/40E
 Parcel ID: **2405-524-0039-000-0**
 Jurisdiction: Fort Pierce
 Land Use Code: 1000 - Vac Comm
 Account #: **18364**
 Map ID: [24/05N](#)
 Zoning: General Co



Legal Description

CARVER HEIGHTS BLK 2 LOTS 19 AND 20 (0.35 AC - 15,228 SF)

Total Areas

Finished/Under Air (SF): 0
 Gross Sketched Area (SF): 0
 Land Size (acres): 0.35
 Land Size (SF): 15,228

Map



Building Wind Speed

Occupancy Category	I	II	III & IV
Speed	140	150	160

[Sources/links:](#)

State of Florida, Microsoft, Vantor

Powered by Esri

Ownership

Tony Philip
 2402 Blossom CT
 Fort Pierce, FL 34982-5604

Current Values

Just/Market value: \$28,600
 Assessed value: \$28,600
 Exemption value: **\$0**
 Taxable value: \$28,600

Important

Property taxes are subject to change upon change of ownership.

- **Past taxes are not a reliable projection of future taxes.**
- **The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.**

Links

Taxes for this parcel: [SLC Tax Collector's Office](#)

Download TRIM for this Parcel: [Download PDF](#)

[File for homestead exemptions.](#)

[View associated Tax Map.](#)

[Report Homestead Fraud on this parcel.](#)

All information is believed to be correct at this time, but is subject to change and is provided without any warranty.

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Prepared by and Return to Kendahl Galego,
an employee of First International Title, Inc.
107 North 2nd Street
Fort Pierce, FL 34950
File No.: 109252-41

WARRANTY DEED

This indenture made on August 15, 2017, by **Roosevelt Nelson, as Trustee of the Roosevelt Nelson Revocable Trust dated October 23, 2008, and Individually** whose address is: 1502 Avenue O, Fort Pierce, FL 34950 hereinafter called the "grantor",

to **Tony Philip, a single man**, whose address is: 2402 Blossom Ct, Fort Pierce, FL 34982 hereinafter called the "grantee":

(Which terms "Grantor" and "Grantee shall include singular or plural, corporation or individual, and either sex, and shall include heirs, legal representatives, successors and assigns of the same)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in St. Lucie County, **Florida**, to-wit:

Lot 19, Block 2, CARVER HEIGHTS, according to the Plat thereof, recorded in Plat Book 10, Page(s) 19, of the Public Records of St. Lucie County, Florida.

and

Lot 20, Block 2, CARVER HEIGHTS, according to the Plat thereof, recorded in Plat Book 10, Page(s) 19, of the Public Records of St. Lucie County, Florida.

Parcel Identification Number: 2405-524-0039-000/0 and 2405-524-0040-000/0

The land is not the homestead of the Grantor under the laws and Constitution of the State of Florida and neither the Grantor nor any person(s) for whose support the Grantor is responsible reside on or adjacent to the land.

Subject to all reservations, covenants, conditions, restrictions and easements of record and to all applicable zoning ordinances and/or restrictions imposed by governmental authorities, if any,

Together with all the tenements, hereditaments and appurtenances thereto belonging or in any way appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31st of 2017.

In Witness Whereof, the grantor has hereunto set their hand(s) and seal(s) the day and year first above written.

Roosevelt Nelson

Roosevelt Nelson, as Trustee of the Roosevelt Nelson Revocable Trust dated October 23, 2008

Roosevelt Nelson

Roosevelt Nelson, individually

Signed, sealed and delivered in our presence:

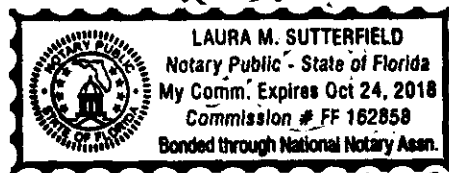
Margarita Hunt
Witness Signature
Print Name: Margarita Hunt

Laura M. Sutterfield
Witness Signature
Print Name: Laura M. Sutterfield

State of FLORIDA
County of St. Lucie

The Foregoing Instrument Was Acknowledged before me on August 15, 2017, by **Roosevelt Nelson, as Trustee of the Roosevelt Nelson Revocable Trust dated October 23, 2008, and Individually**, who is/are personally known to me or who has/have produced a valid FL driver's license as identification.

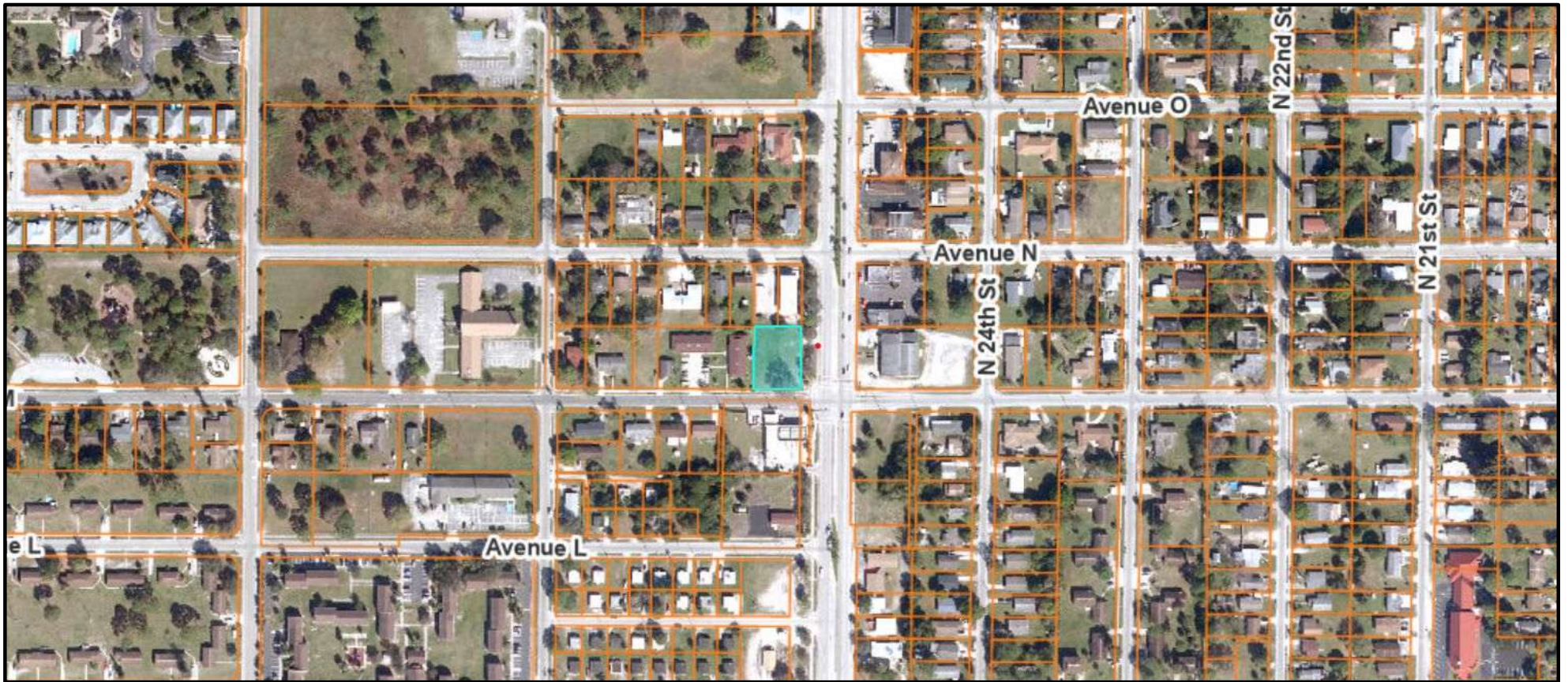
Laura M. Sutterfield
Notary Public
Printed Name: Laura M. Sutterfield
My Commission expires: 10/24/2018



Narrative:

The proposed project consists of a convenience store, parking lot, sidewalk and driveway improvements. The project was discussed at a pre-application meeting with the planning department.

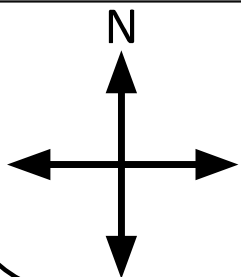




2/4/2026

Location Map

Map Source: St. Lucie County



**2502 Avenue M
Fort Pierce, FL**



Advanced Restoration Ecology



Avenue N

N 24th St

N 23rd St

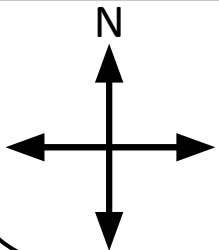
Avenue M



2/4/2026

Species Survey Map

Map Source: St. Lucie County



**2502 Avenue M
Fort Pierce, FL**



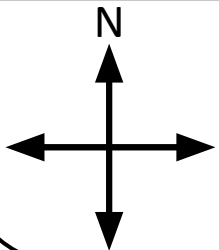
18211 - Urban Open Land



2/4/2026

CLC Map

Map Source: St. Lucie County



**2502 Avenue M
Fort Pierce, FL**



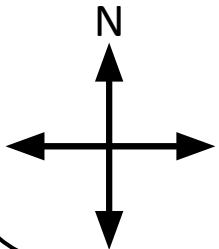
St. Lucie County, Florida (FL111)			
St. Lucie County, Florida (FL111)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
50	Waveland and Immokalee fine sands	0.3	100.0%
Totals for Area of Interest		0.3	100.0%



2/4/2026

Soil Map

Map Source: Web Soil

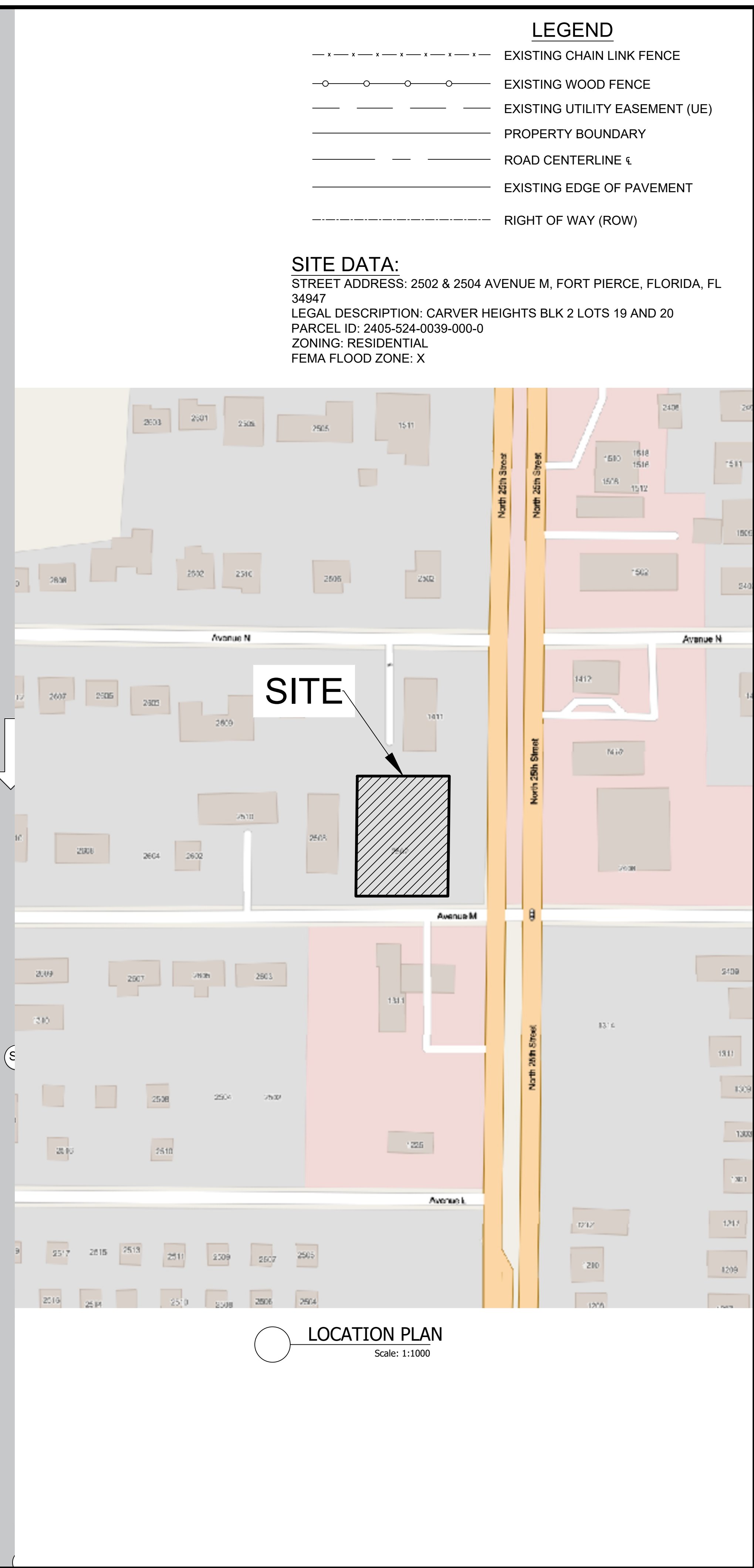
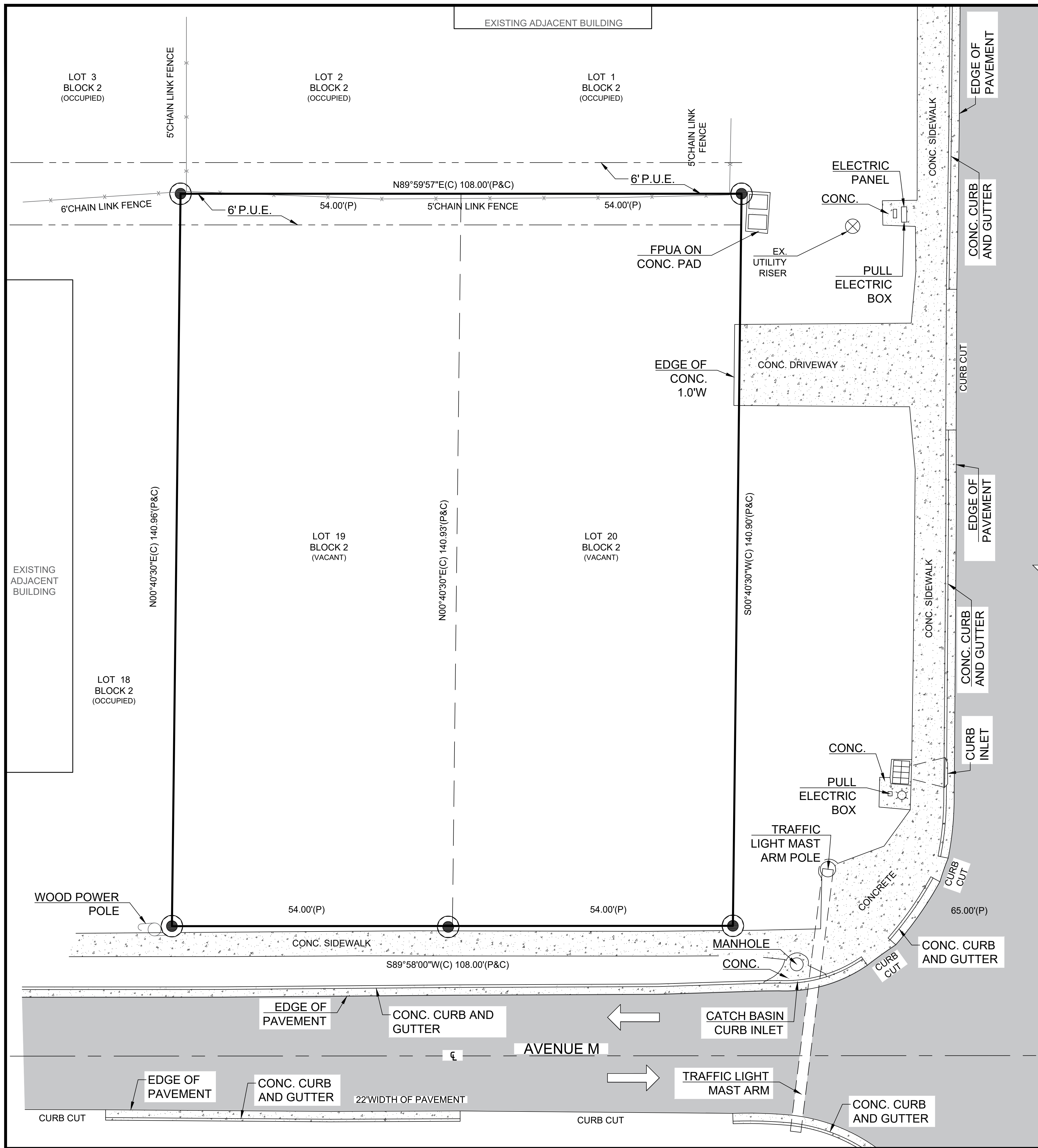


**2502 Avenue M
Fort Pierce, FL**



Justification Statement

The proposed project consists of a convenience store, parking lot, sidewalk and driveway improvements. The project was discussed at a pre-application meeting with the planning department.



- LEGEND**
- EXISTING CHAIN LINK FENCE
 - EXISTING WOOD FENCE
 - - - EXISTING UTILITY EASEMENT (UE)
 - PROPERTY BOUNDARY
 - ROAD CENTERLINE
 - EXISTING EDGE OF PAVEMENT
 - RIGHT OF WAY (ROW)

SITE DATA:
 STREET ADDRESS: 2502 & 2504 AVENUE M, FORT PIERCE, FLORIDA, FL 34947
 LEGAL DESCRIPTION: CARVER HEIGHTS BLK 2 LOTS 19 AND 20
 PARCEL ID: 2405-524-0039-000-0
 ZONING: RESIDENTIAL
 FEMA FLOOD ZONE: X

N

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 https://artofengineering.net/ | (772) 203-0664
 smithlandel@outlook.com

PERMITS REQUIRED

CITY OF FORT PIERCE

PERMIT#

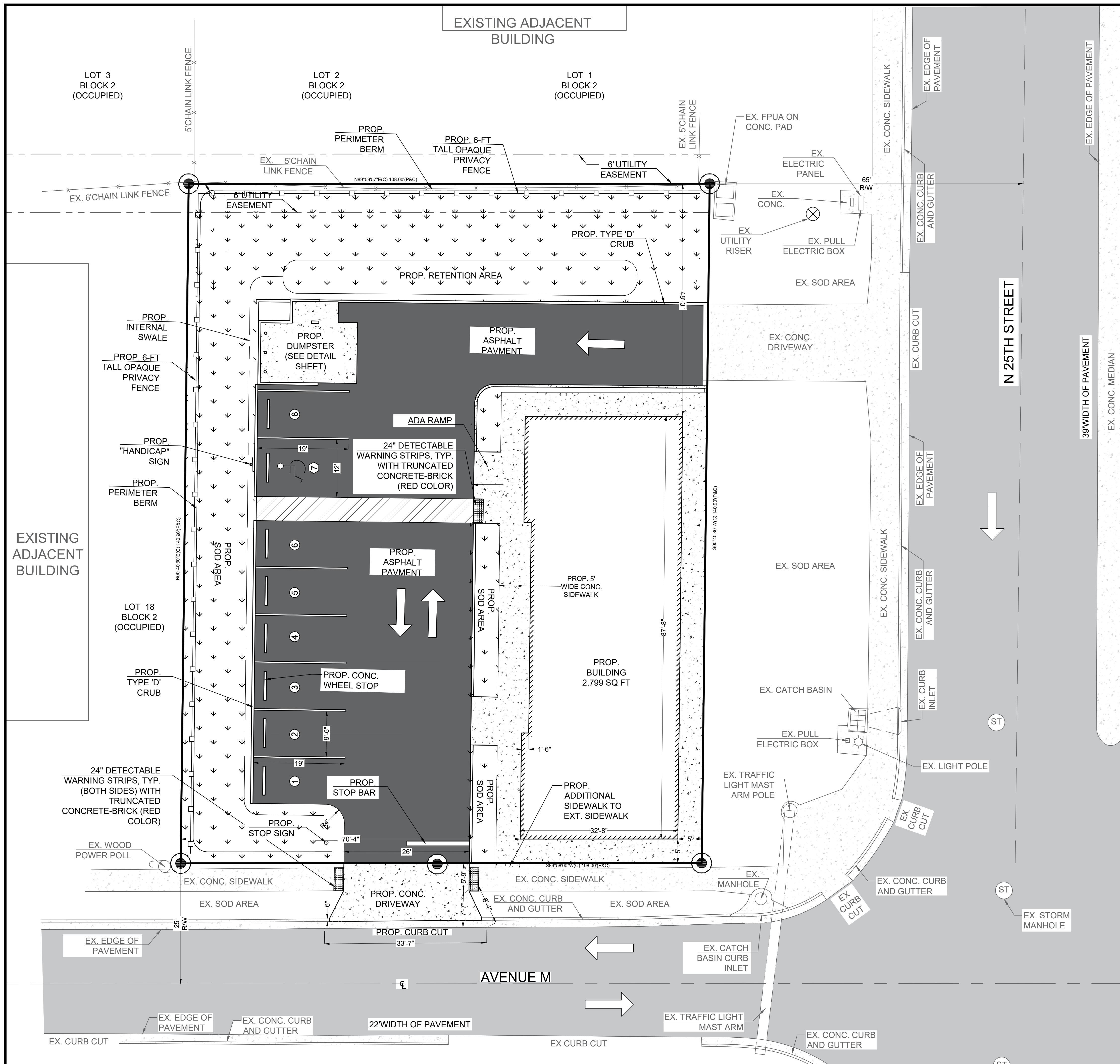
NO.	REVISIONS	DATE

PROPOSED CONVENIENCE STORE
TONY PHILLIP
 2502 & 2504 AVENUE M
 FORT PIERCE, FL 34947

LOCATION PLAN
 Scale: 1:1000

SHEET TITLE
 EXISTING SITE PLAN

DATE 08/27/2025	SHEET
SCALE 1"=10'	C-101
DRAWN BY L.S	



LEGEND

- EXISTING CHAIN LINK FENCE
- EXISTING UTILITY EASEMENT (UE)
- PROPERTY BOUNDARY
- ROAD CENTERLINE
- EXISTING EDGE OF PAVEMENT
- EXISTING CONCRETE
- EXISTING ASPHALT
- PROPOSED ASPHALT
- PROPOSED SODDED AREA
- PROPOSED CONCRETE
- PROPOSED BUILDING

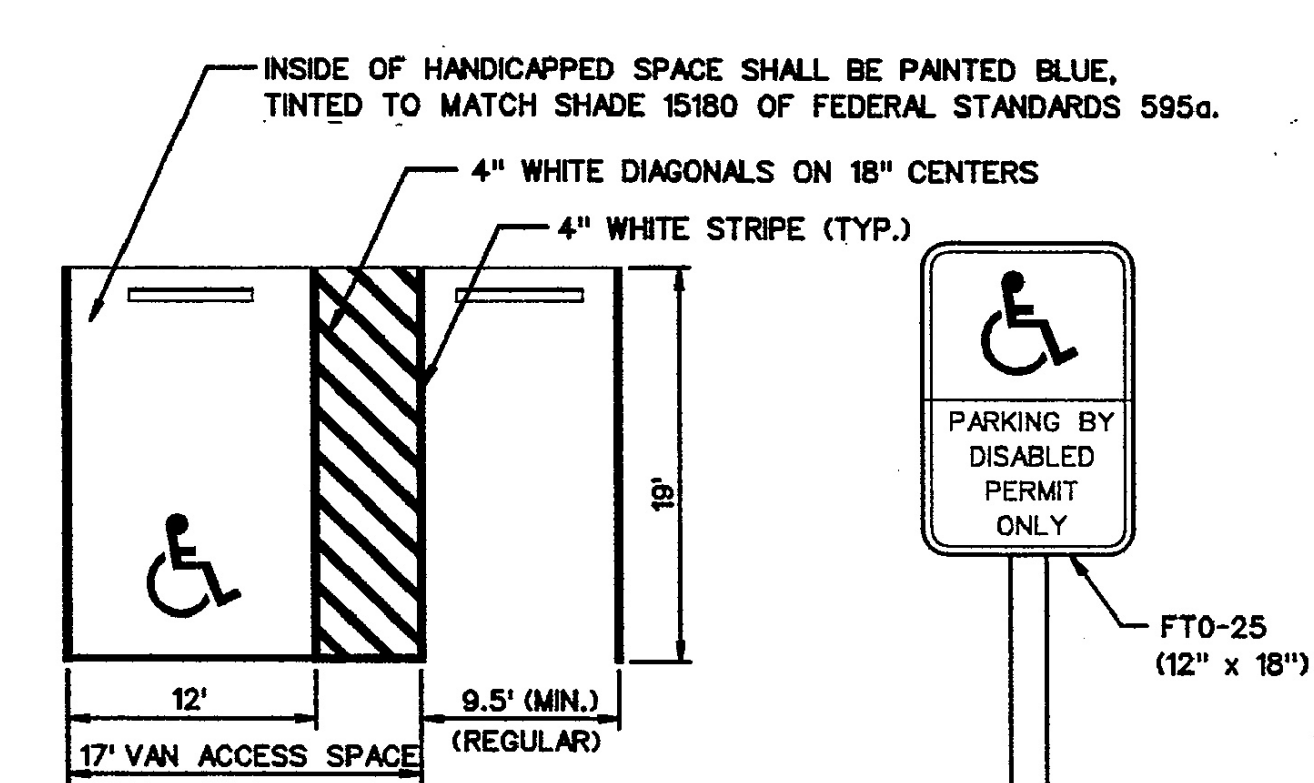
SITE DATA:
 STREET ADDRESS: 2502 & 2504 AVENUE M, FORT PIERCE, FL 34947
 LEGAL DESCRIPTION: CARVER HEIGHTS BLK 2 LOTS 19 AND 20 PARCEL
 ID: 3402-605-0041-000-9
 ZONING: GENERAL CO
 FEMA FLOOD ZONE: X

PARKING PER SEC 135-315 RETAIL 1 SPACE PER 200 SQ FT GROSS FLOOR AREA OF RETAIL SPACE

TOTAL BUILDING 2,799 SQ FT OF RETAIL - SITE LOCATED WITHIN FT PIERCE CRA AREA WHICH ALLOWS FOR PARKING REDUCTION 1,200 SQ FT - 7 SPACES REQUIRED - 8 PROVIDED

TOTAL PARKING
 7 REGULAR SPACES
 1 ADA ACCESSIBLE SPACE
 8 TOTAL

THE PROPOSED CONSTRUCTION HAS BEEN DESIGNED TO BE CONSTRUCTED SO THAT THE DIVERSION OF POST DEVELOPMENT STORMWATER RUNOFF AND OTHER SURFACE WATERS SHALL NOT RESULT IN FLOODING OR DAMAGE TO ADJACENT PROPERTIES, IN ACCORDANCE WITH SECTION 103-203(B), OF THE CITY OF FORT PIERCE CODE OF ORDINANCES.



PAVEMENT MARKINGS

INSIDE OF HANDICAPPED SPACE SHALL BE PAINTED BLUE, TINTED TO MATCH SHADE 15180 OF FEDERAL STANDARDS 595d.

4" WHITE DIAGONALS ON 18" CENTERS

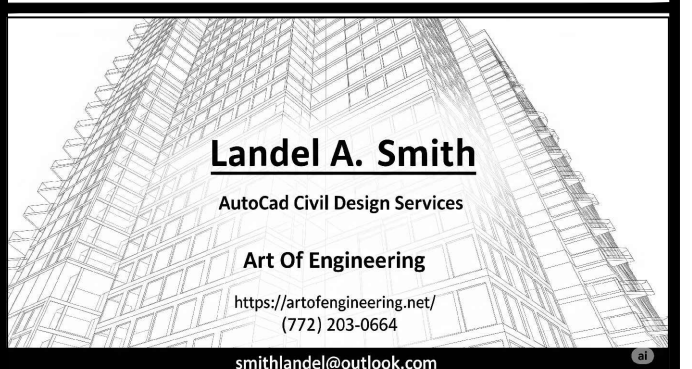
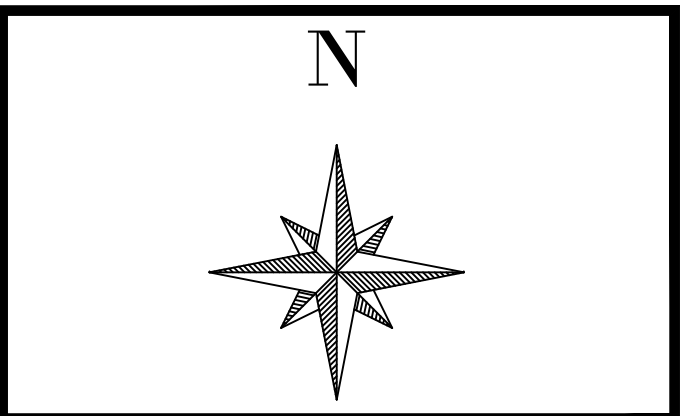
4" WHITE STRIPE (TYP.)

17' VAN ACCESS SPACE

9.5' (MIN.) (REGULAR)

HANDICAPPED PARKING SIGN

MOUNT 7'-0" ABOVE GRADE ON STEEL U-PICKET OR ALUMINUM POLE.



PERMITS REQUIRED

CITY OF FORT PIERCE

PERMIT#

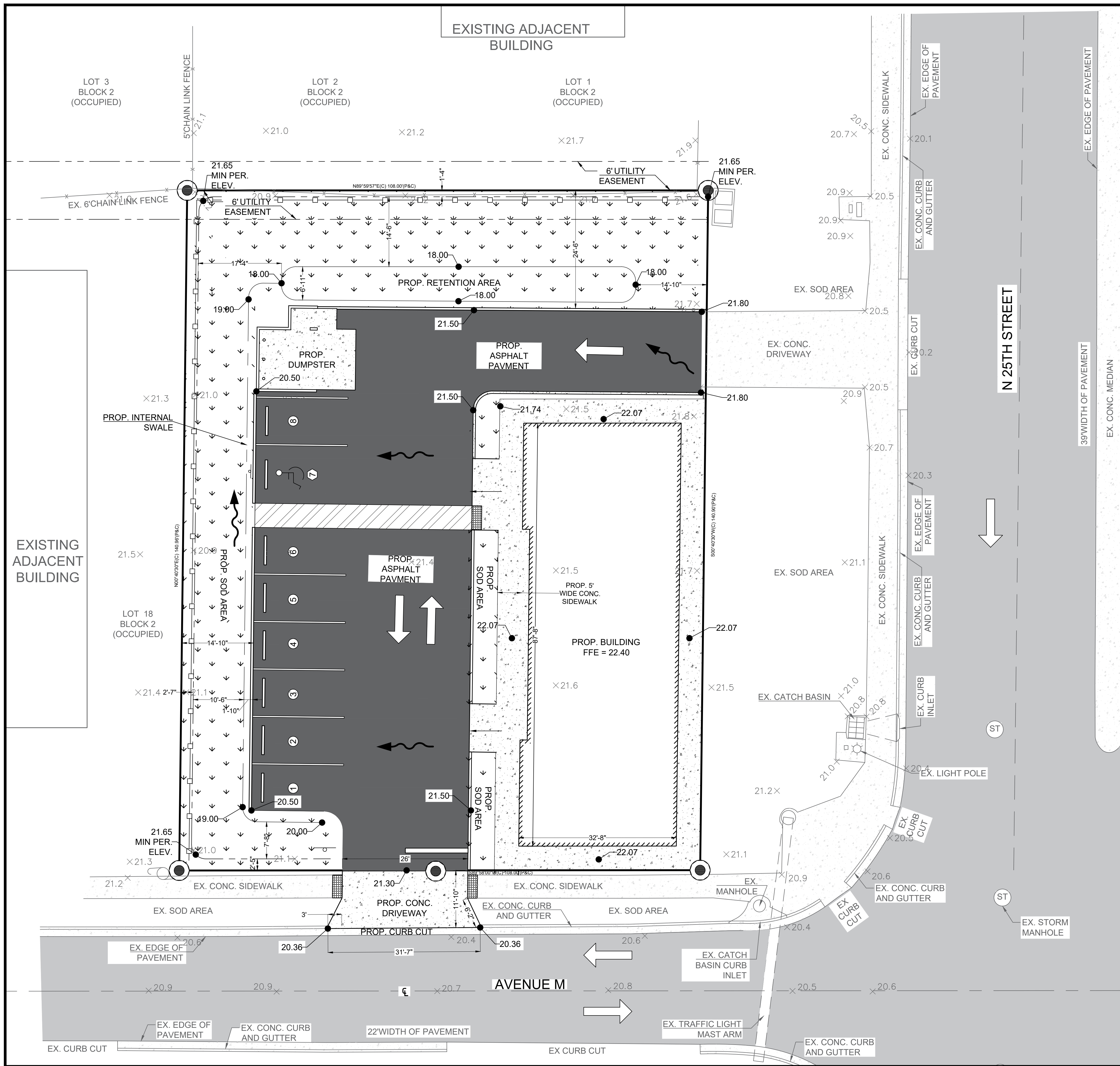
NO.	REVISIONS	DATE

PROPOSED CONVENIENCE STORE
TONY PHILLIP

2502 & 2504 AVENUE M
 FORT PIERCE, FL 34947

SHEET TITLE
 PROPOSED SITE PLAN

DATE 08/27/2025	SHEET
SCALE 1"=10'	C-102
DRAWN BY L.S	



- LEGEND**
- *—*— EXISTING CHAIN LINK FENCE
 - - - - - EXISTING UTILITY EASEMENT (UE)
 - — — — — PROPERTY BOUNDARY
 - - - - - ROAD CENTERLINE ϵ
 - — — — — EXISTING EDGE OF PAVEMENT
 - - - - - PROPOSED INTERNAL SWALE

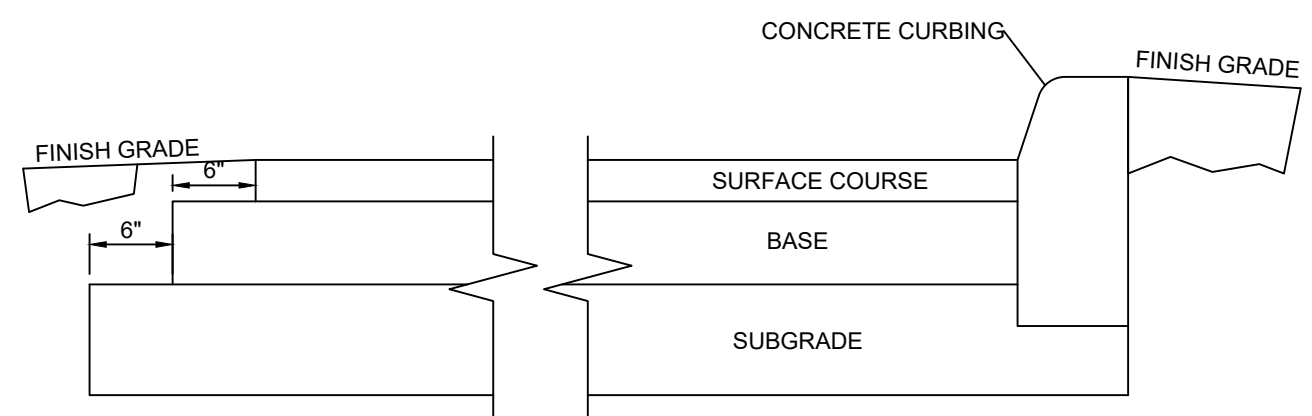
- EXISTING CONCRETE
- EXISTING ASPHALT
- PROPOSED ASPHALT
- PROPOSED SODDED AREA
- PROPOSED CONCRETE
- $\times 21.0$ EXISTING ELEVATION GRADE
- $\bullet 22.07$ PROPOSED ELEVATION GRADE
- PROPOSED BUILDING
- PROPOSED DRAINAGE FLOW

SITE DATA:
 STREET ADDRESS: 2502 & 2504 AVENUE M, FORT PIERCE, FL 34947
 LEGAL DESCRIPTION: CARVER HEIGHTS BLK 2 LOTS 19 AND 20 PARCEL
 ID: 3402-605-0041-000-9
 ZONING: GENERAL CO
 FEMA FLOOD ZONE: X

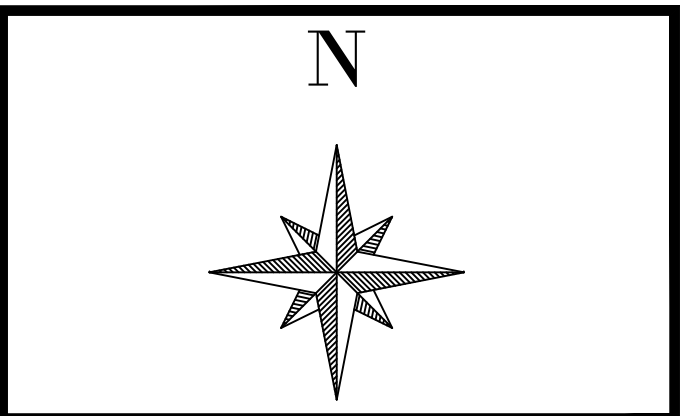
TOTAL AREA = 0.35 ACR (15,220 SQ FT) (100%)
 PROP. BUILDING = 2,799 SQ FT (0.06 ACR) (17.14%)
 PAVEMENT/SIDEWALK/CONC. = 7,079 SQ FT (0.16 ACR) (45.71%)
 TOTAL IMPERVIOUS = 9,878 SQ FT (0.23 ACR) (62.85%)

PERVIOUS = 5,344 SQ FT (0.12 ACR) (37.15%)

THE PROPOSED CONSTRUCTION HAS BEEN DESIGNED TO BE CONSTRUCTED SO THAT THE DIVERSION OF POST DEVELOPMENT STORMWATER RUNOFF AND OTHER SURFACE WATERS SHALL NOT RESULT IN FLOODING OR DAMAGE TO ADJACENT PROPERTIES, IN ACCORDANCE WITH SECTION 103-203(B), OF THE CITY OF FORT PIERCE CODE OF ORDINANCES.



- MATERIALS**
- SURFACE COURSE: 1 1/2" FDOT S-III ASPHALT PAVEMENT
 - BASE: 6" COMPACTED LIMEROCK OR COQUINA BASE SAME DENSITY AS SUBGRADE
 - SUBGRADE: 8" THICK STABILIZED SUBGRADE (FBV 75)



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 smithlandel@outlook.com

PERMITS REQUIRED

CITY OF FORT PIERCE

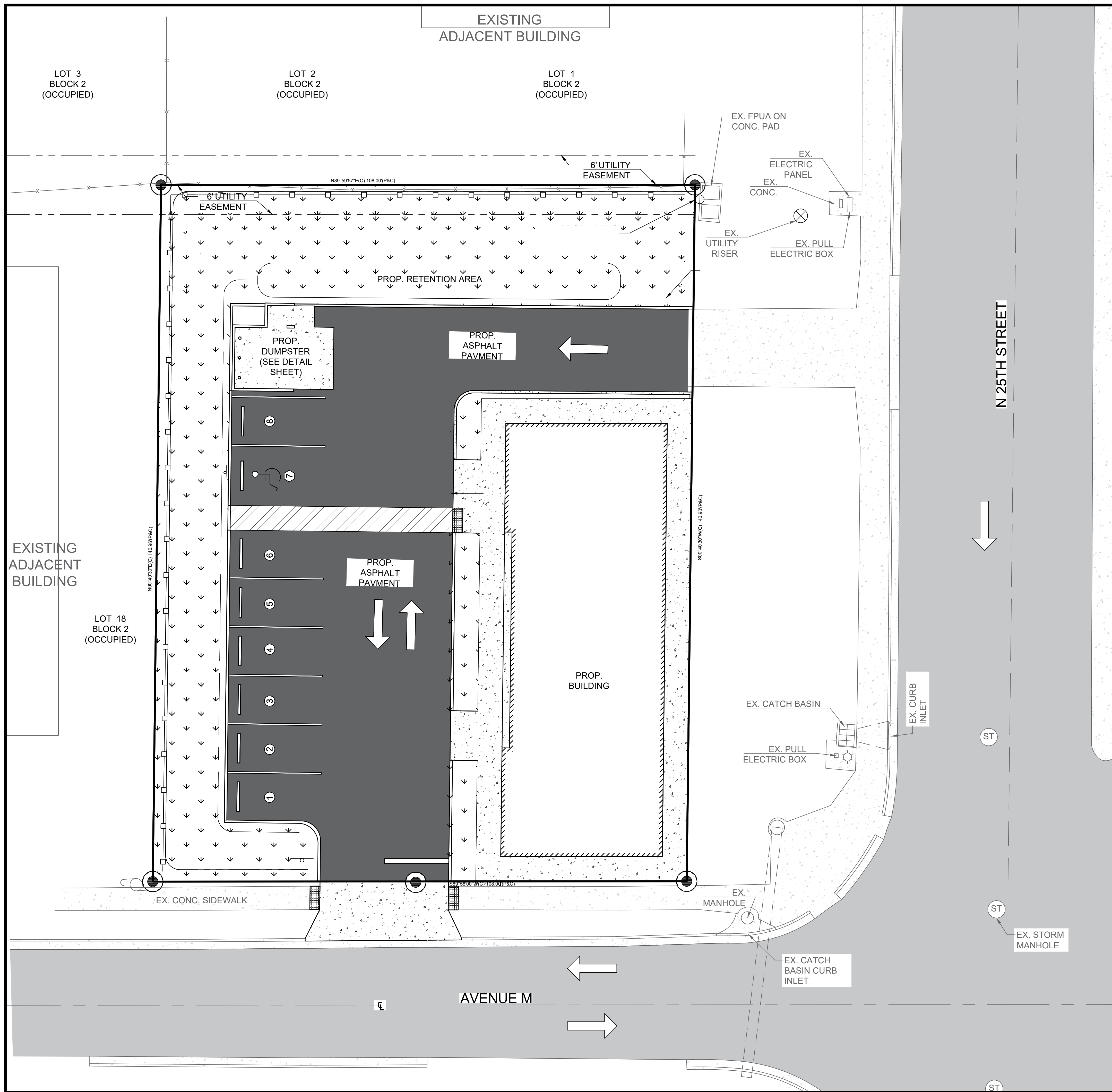
PERMIT#

NO.	REVISIONS	DATE

**PROPOSED CONVENIENCE STORE
 TONY PHILLIP**

2502 & 2504 AVENUE M
 FORT PIERCE, FL 34947

SHEET TITLE	
DRAINAGE & GRADING PLAN	
DATE	SHEET
08/27/2025	C-103
SCALE	
1"=10'	
DRAWN BY	
L.S	



LEGEND

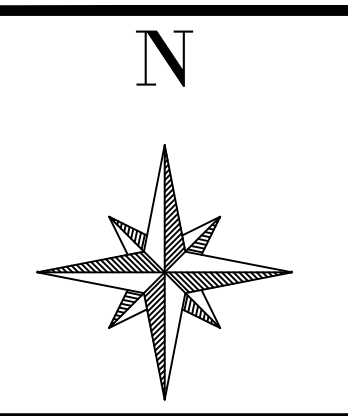
- W — W — W — PROPOSED PVC WATER SERVICE LINE
- 6"WM --- 6"WM --- 6"WM --- 6"WM --- EXISTING FPUA WATER MAIN
- SM — SM — EXISTING FPUA SEWER MAIN
- 6S — 6S — PROPOSED PVC SANITARY SEWER SERVICE

CLIENT TO COORDINATE WITH FPUA FOR WATER & SEWER SERVICE CONNECTIONS

PLEASE REFER TO FPUA STANDARD DETAILS FOR WATER AND SEWER SERVICE CONNECTIONS PROVIDED ON THE DETAIL SHEET C-502 AND C-503

FPUA ELECTRIC, WATER AND SEWER SERVICE.

ELECTRIC CONNECTION SHALL BE UNDERGROUND. CONTRACTOR TO COORDINATE WITH FPUA. SEE ELECTRICAL RISER DIAGRAM (SEE ARCHITECTURAL PLANS)



PERMITS REQUIRED

CITY OF FORT PIERCE

PERMIT#

NO.	REVISIONS	DATE

**PROPOSED CONVENIENCE STORE
TONY PHILLIP**

2502 & 2504 AVENUE M
FORT PIERCE, FL 34947

SHEET TITLE
UTILITY PLAN

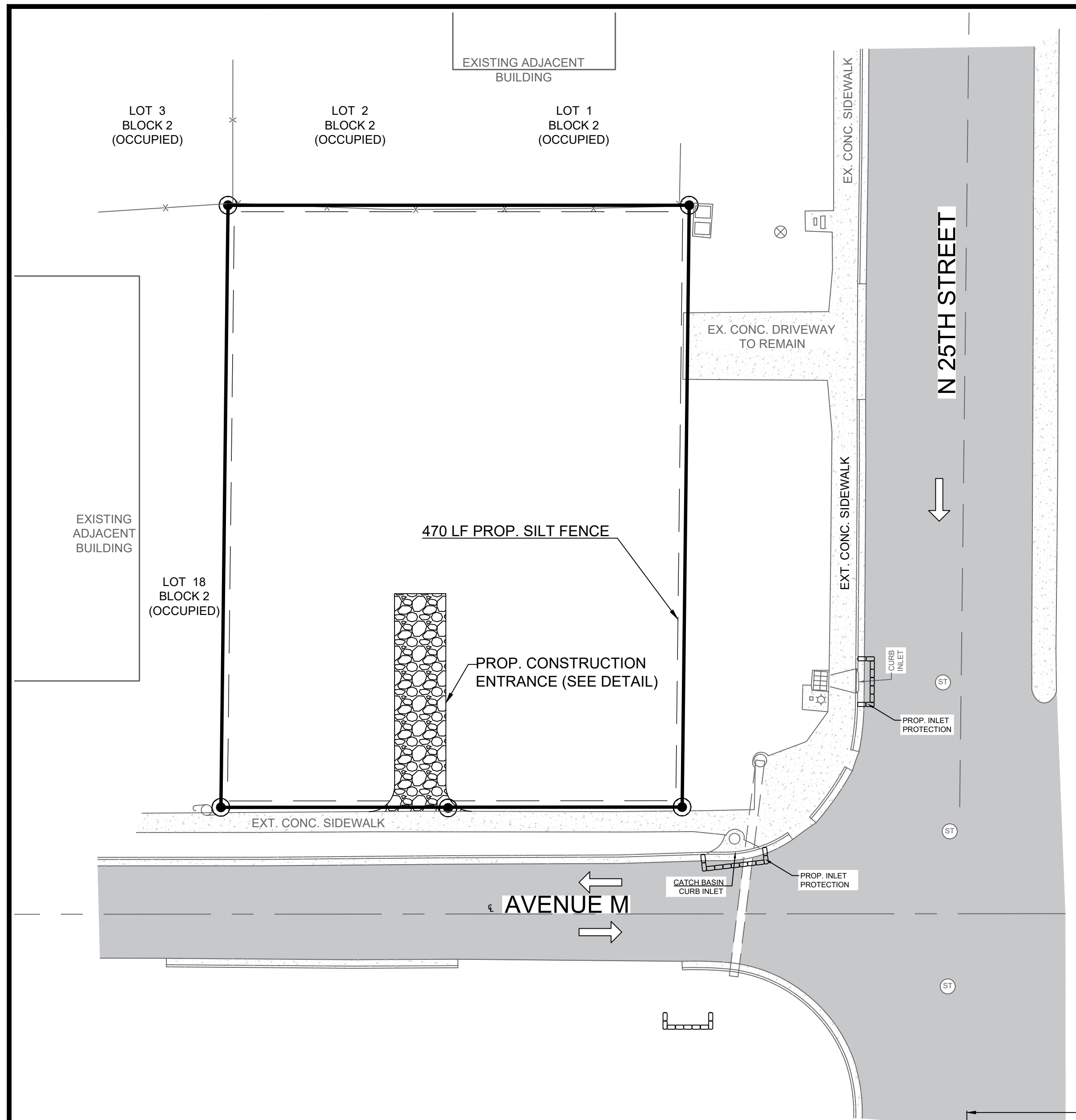
DATE
08/27/2025

SCALE
1"=10'

DRAWN BY
L.S

SHEET

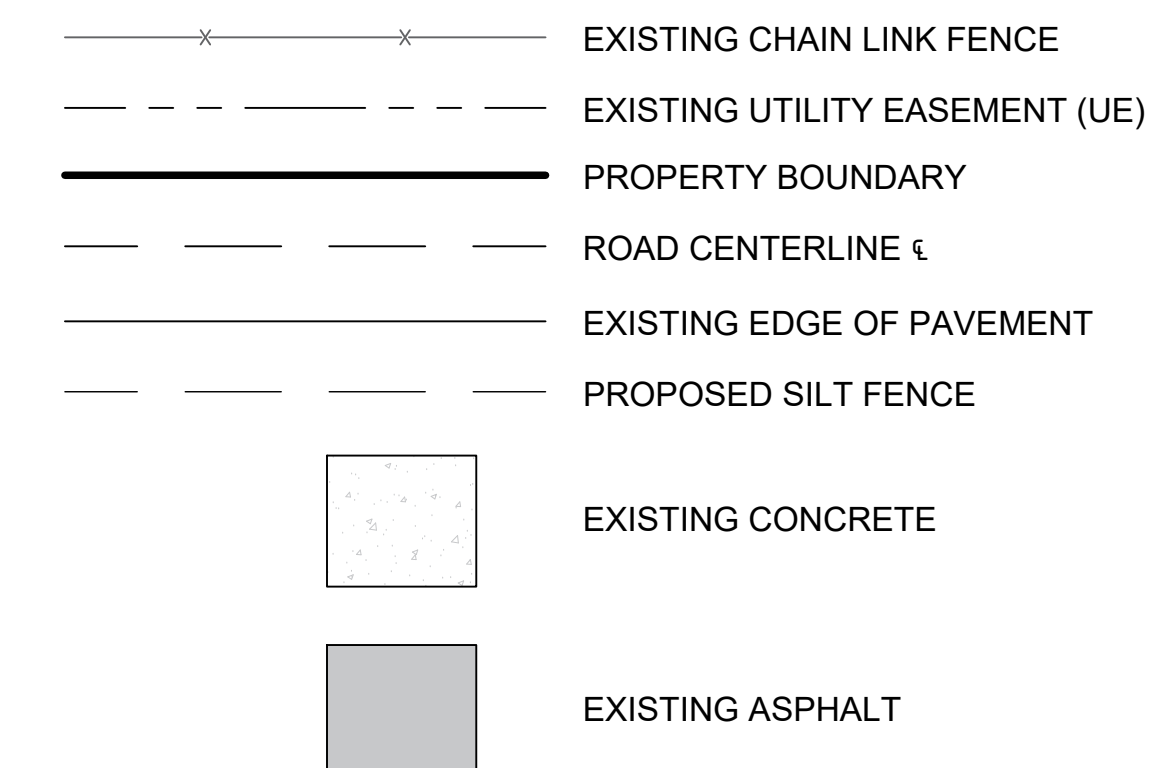
C-104



EROSION CONTROL NOTES:

- THIS PROJECT IS SUBJECT TO ALL RELATED ENVIRONMENTAL REQUIREMENTS WHICH INCLUDE A "CONTROL OF EROSION AND SEDIMENTATION PLAN". THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY AND ADEQUATE MEASURES FOR PROPER CONTROL OF EROSION DUE TO SEDIMENTATION RUNOFF FROM THE SITE PRIOR TO CONSTRUCTION OPERATIONS IN A PARTICULAR AREA. ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO START OF CONSTRUCTION. FIELD ADJUSTMENTS WITH RESPECT TO LOCATIONS AND DIMENSIONS MAY BE DIRECTED BY THE ENGINEER AS REQUIRED.
- EROSION CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RAIN EVENT FOR DAMAGE AND GENERAL EFFECTIVENESS. ANY DAMAGED OR INEFFECTIVE CONTROLS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED, IF DEEMED NECESSARY, BY THE ON-SITE INSPECTOR.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. TEMPORARY AND PERMANENT MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ALL TEMPORARY SEDIMENT CONTROL DEVICES SHALL BE LEFT IN PLACE AND MAINTAINED UNTIL THE AREA HAS BEEN COMPLETELY STABILIZED WITH PERMANENT VEGETATION.
- ALL CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ON TO ANY PUBLIC RIGHT-OF-WAY. THIS SHALL REQUIRE PERIODIC TOP DRESSING WITH STONE, AS CONDITIONS REQUIRE. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED ON TO PUBLIC RIGHT-OF-WAY OR INTO STORM DRAINS SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
- TURBIDITY SCREENS OR EQUIVALENT SHALL BE PROPERLY EMPLOYED AND MAINTAINED AS NECESSARY DURING CONSTRUCTION ACTIVITIES SO THAT TURBIDITY LEVELS DO NOT EXCEED 29 NTUS ABOVE NATURAL BACKGROUND 50 FEET DOWNSTREAM OF POINT OF DISCHARGE. IF TURBIDITY LEVELS EXCEED THESE LIMITS, PROJECT ACTIVITIES SHALL IMMEDIATELY CEASE, AND WORK SHALL NOT RESUME UNTIL TURBIDITY LEVELS DROP TO WITHIN THESE LIMITS.
- CONTRACTOR SHALL SOD GRASS AREAS DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE ENVIRONMENTAL PROTECTION AGENCY (EPA) AND THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES).
- SEDIMENT BARRIERS SHALL BE PLACED PRIOR TO ANY WORK ON THE SITE. SEDIMENT BARRIERS SHALL BE PLACED AS SHOWN ON THESE CONSTRUCTION PLANS.
- PRESERVE AREAS ARE TO REMAIN UNDISTURBED. VEHICLE AND CONSTRUCTION EQUIPMENT TRAFFIC IS PROHIBITED WITHIN THESE AREAS.
- DAMAGED TURBIDITY CONTROLS SHALL BE REPAIRED PROMPTLY AND BEFORE ANY SUBSEQUENT RAINFALL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND IMPLEMENTATION OF THE NPDES AND RELATED STORM WATER PLAN FOR THE DURATION OF THE PROJECT. UPON COMPLETION THE CONTRACTOR SHALL REMOVE ALL TEMPORARY STORM WATER MANAGEMENT MEASURES AND SHALL DISPOSE OF THEM AS REQUIRED.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR AT LEAST 21 DAYS SHALL BE STABILIZED WITH SEED & MULCH NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA. THE SEEDING SHALL FOLLOWING TYPICAL CONSTRUCTION PRACTICES TO INSURE A YEAR ROUND STABILIZED AREA.
- CONTRACTOR SHALL COMPLY WITH SPILL PREVENTION, CONTROL AND COUNTER MEASURES (SPEC) REQUIREMENTS PURSUANT TO EPA RULES AND REGULATIONS.
- ALL CONSTRUCTION WASTE MATERIAL SHALL BE COLLECTED AND STORED IN A SECURED METAL DUMPSTER RENTED / LEASED FROM A LOCAL WASTE MANAGEMENT COMPANY. THE DUMPSTER SHALL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. ALL PERSONNEL SHALL BE INSTRUCTED REGARDING THE CORRECT PROCEDURES FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES SHALL BE POSTED IN THE OFFICE TRAILER / CONSTRUCTION TRAILER AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.
- ALL SANITARY WASTE SHALL BE COLLECTED FROM THE PORTABLE UNITS AT A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.
- TRUCKS / EQUIPMENT IMPORTING OR EXPORTING FILL SHALL COVER THEIR LOADS WITH A TARPULIN TO AVOID UNNECESSARY GENERATION OF DUST.
- ALL HAZARDOUS WATER MATERIAL SHALL BE DISPOSED OF AS PER LOCAL / STATE REGULATIONS OR AS RECOMMENDED BY THE MANUFACTURER. SITE PERSONNEL SHALL BE INSTRUCTED IN THESE PRACTICES AND THE CONTRACTOR IS RESPONSIBLE TO FOLLOW THESE PRACTICES.
- THE GENERAL CONTRACTOR'S SITE SUPERINTENDENT SHALL SELECT INDIVIDUALS, TYPICALLY THREE, WHO WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES AND FILING OUT OF INSPECTION REPORTS. PERSONNEL SELECTED SHALL BE RECEIVE PROPER TRAINING, AT THE CONTRACTOR'S EXPENSE, PRIOR TO SITE CONSTRUCTION COMMENCEMENT.
- ALL EROSION AND SEDIMENTATION CONTROLS SHALL BE INSPECTED EVERY 7 DAYS OR WITHIN 24 HOURS OF A STORM OF 0.5 INCHES OR MORE IN RAINFALL. ALL CONTROLS MUST BE IN PROPER ORDER AS REQUIRED UNTIL SITE COMPLETION.
- SILT FENCE SHALL BE INSPECTED FOR TEARS, DEPTH OF SEDIMENT, AND TO INSURE THE FENCE IS SECURELY FASTENED TO THE POSTS AND ALSO THAT POSTS ARE FIRMLY IN PLACE. SEDIMENT SHALL BE REMOVED IF THE DEPTH OF SEDIMENT IS GREATER THAN ONE-THIRD THE HEIGHT OF THE SILT FENCE.
- THE INSPECTOR SHALL RECORD ANY DAMAGES OR DEFICIENCIES IN THE TURBIDITY CONTROLS IN THE REPORT FORM FOR THIS PURPOSE. A COPY OF ALL RECORDING AND REPORTS SHALL BE FORWARDED TO THE ENGINEER FOR REVIEW.
- THE REQUIREMENTS LISTED ABOVE AND DETAILS PRESENTED ON THIS SHEET SHALL BE CONSIDERED MINIMUM REQUIREMENTS AND THE CONTRACTOR SHALL USE WHATEVER METHODS THE CONTRACTOR DEEMS NECESSARY TO PREVENT EROSION AND SILTATION AS MAY BE REQUIRED FOR THE PROJECT.
- LOCATIONS OF ANY MATERIALS TO BE TEMPORARILY STOCKPILED TO INCLUDE LAND CLEARING DEBRIS OR EXCAVATED MATERIALS SHALL BE PER THE DIRECTION OF THE MARTIN COUNTY PROJECT MANAGER.
- PROPERTY CORNERS SHALL BE LOCATED BY A LICENSED LAND SURVEYOR AND CLEARLY MARKED IN THE FIELD PRIOR TO THE ENGINEERING DEPARTMENT'S PRE-CONSTRUCTION MEETING FOR SITE DEVELOPMENT.
- AUTHORIZATION TO INSTALL EROSION CONTROL DEVICES AND PRESERVE BARRICADES WILL BE GRANTED AT THE PRE-CONSTRUCTION MEETING. THIS AUTHORIZATION SHALL BE POSTED ON THE SITE, IN THE PERMIT BOX, ITS LOCATION SHOWN ELSEWHERE ON THIS PAGE.
- NO ADDITIONAL LAND CLEARING SHALL COMMENCE UNTIL A SATISFACTORY INSPECTION OF THE REQUIRED EROSION CONTROL BARRICADES HAS BEEN OBTAINED.
- ALL CONSTRUCTION BARRICADES AND SILT FENCES WILL REMAIN IN PLACE AND BE MONITORED FOR COMPLIANCE BY THE PERMIT HOLDER DURING THE PERMITTED DEVELOPMENT ACTIVITIES.
- PRIOR TO SCHEDULING A FINAL ENVIRONMENTAL INSPECTION FOR THE INFRASTRUCTURE, ALL BARRICADES AND EROSION CONTROL DEVICES SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR.

LEGEND



N

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PERMITS REQUIRED

CITY OF FORT PIERCE

PERMIT#

NO.	REVISIONS	DATE

**PROPOSED
CONVENIENCE
STORE
TONY PHILLIP**

2502 & 2504 AVENUE M
FORT PIERCE, FL 34947

INSTALLATION:
STONE FILLED BAGS SHALL BE WOVEN POLYPROPYLENE BAGS WITH APPROXIMATE DIMENSIONS OF 12 INCHES BY 24 INCHES.

THE BAGS SHALL BE FILLED TO 3/4 FULL WITH KTC #57 STONE. TIE THE ENDS OF FILLED BAGS USING EITHER DRAW STRINGS OR WIRE TIES.

INTERWEAVE THE LOSE ENDS OF THE BAGS SO THAT THE GAPS BETWEEN BAGS ARE FILLED AND THE ENDS OF THE BAGS ARE SEALED.

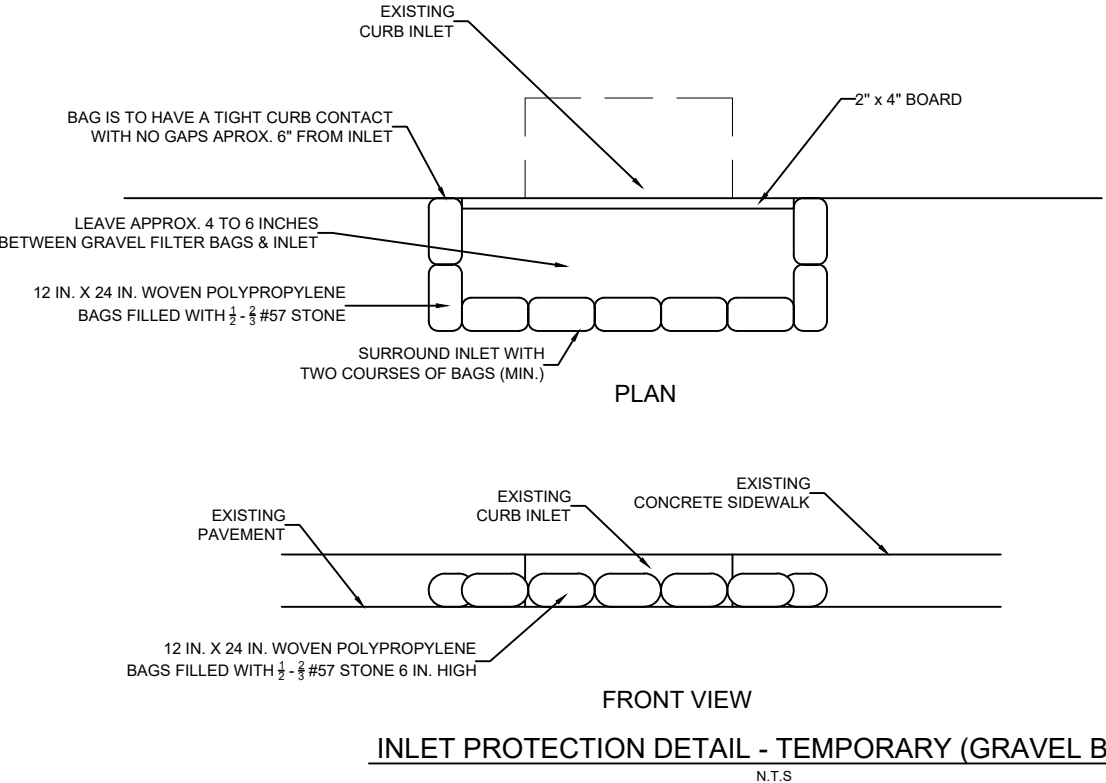
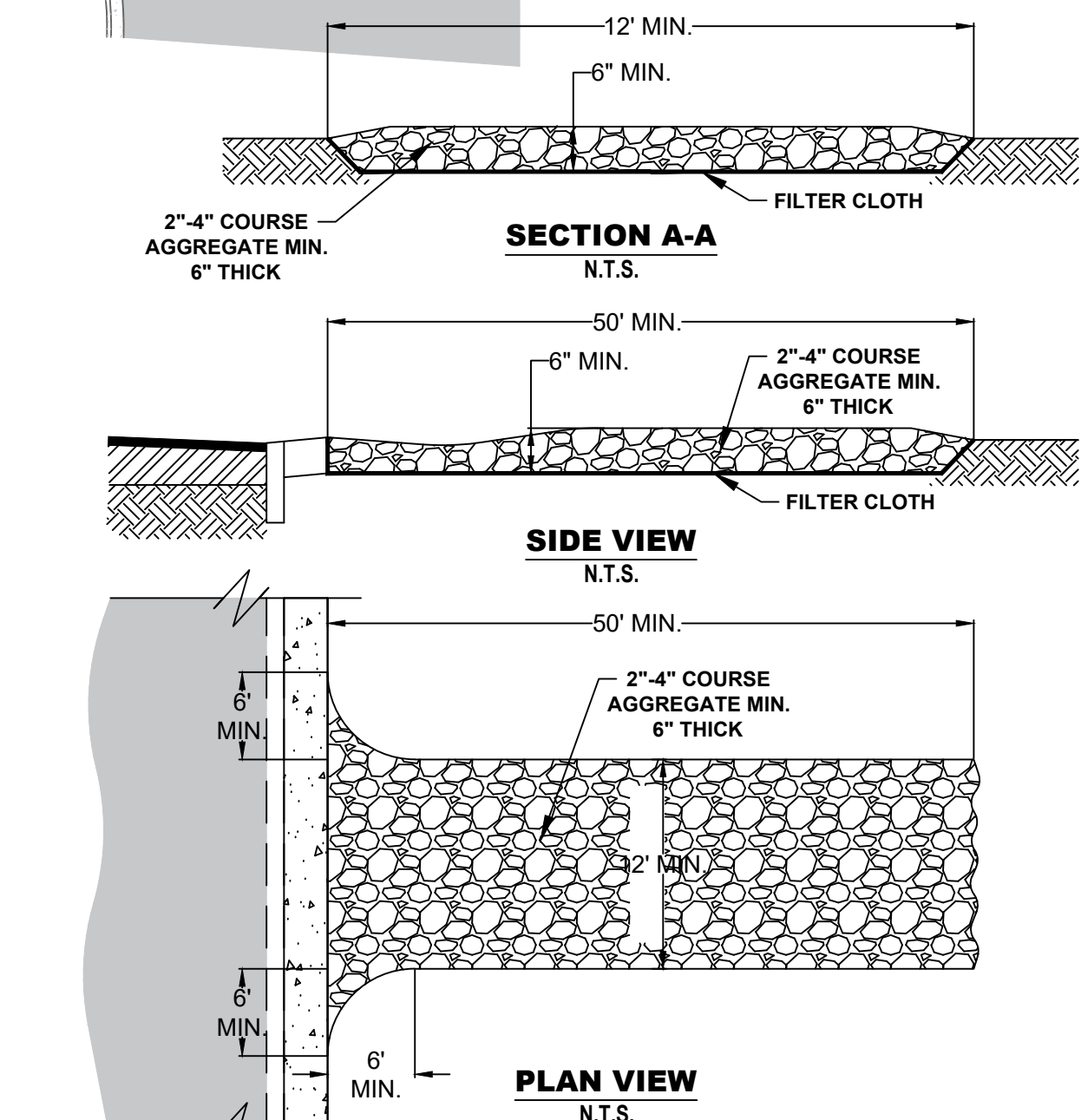
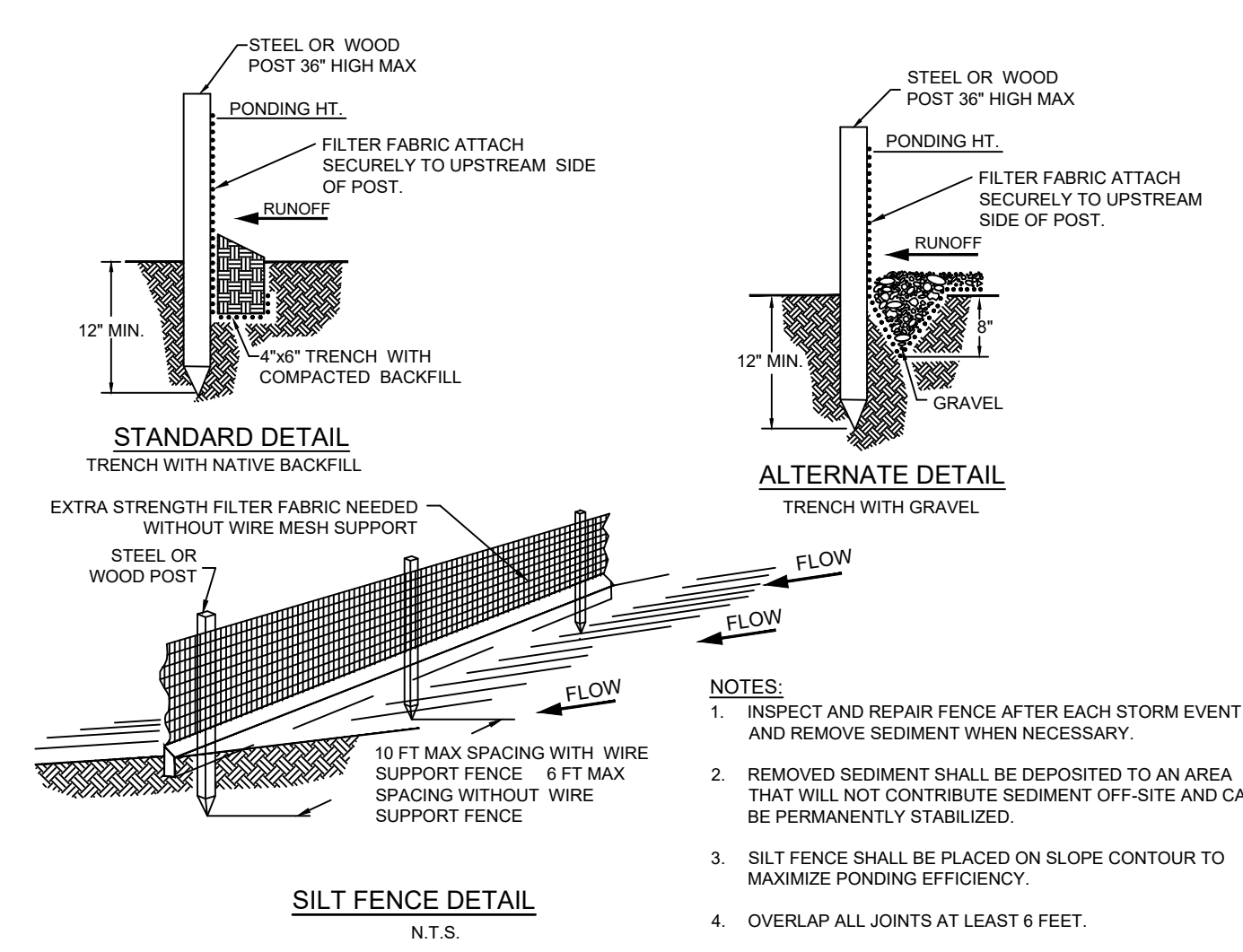
COMPLETELY SURROUND THE INLET WITH A MINIMUM OF TWO (2) ROWS OF BAGS TO A MINIMUM OF 12 INCHES IN HEIGHT.

INSPECTION AND MAINTENANCE:
INSPECTION SHOULD BE MADE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24-HOURS AFTER EACH RAINFALL EVENT THAT PRODUCES 1/2-INCHES OF MORE OF PRECIPITATION. ANY NEEDED REPAIRS SHOULD BE HANDLED IMMEDIATELY.

IF SEDIMENT ACCUMULATES, REMOVE IT FROM THE FACE OF THE BAGS BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO 1/2 THE STRUCTURAL HEIGHT. ANY NEEDED REPAIRS SHOULD BE HANDLED IMMEDIATELY. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE BAGS WHEN REMOVING SEDIMENT.

REMOVE AND REPLACE ANY DAMAGED BAGS AND DISPOSE OF THEM PROPERLY.

STORM DRAIN INLET PROTECTION STRUCTURES SHOULD BE REMOVED ONLY AFTER THE DISTURBED AREA ARE PERMANENTLY STABILIZED. REMOVE ALL CONSTRUCTION MATERIAL AND SEDIMENT, AND DISPOSE OF THEM PROPERLY. GRADE THE DISTURBED AREA TO THE ELEVATION OF THE DROP INLET STRUCTURE CREST. USE APPROPRIATE STABILIZATION METHODS TO STABILIZE BARE AREAS AROUND THE INLET.



- NOTES:**
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

CONSTRUCTION ENTRANCE DETAIL
N.T.S.

SHEET TITLE	
EROSION CONTROL PLAN	
DATE	SHEET
08/27/2025	C-105
SCALE	DRAWN BY
1"=20'	
L.S	

PERMITS REQUIRED

CITY OF FORT PIERCE

PERMIT#

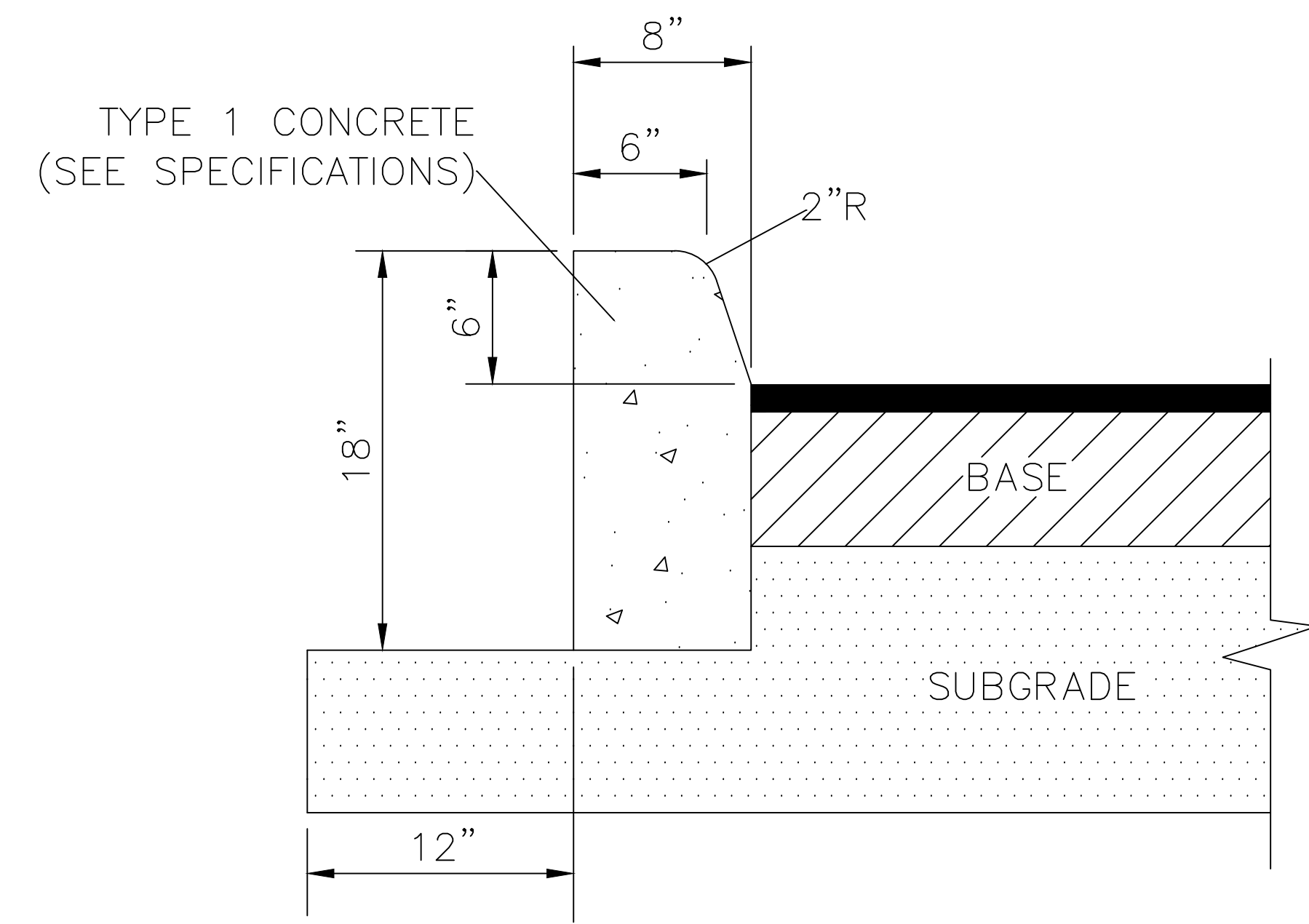
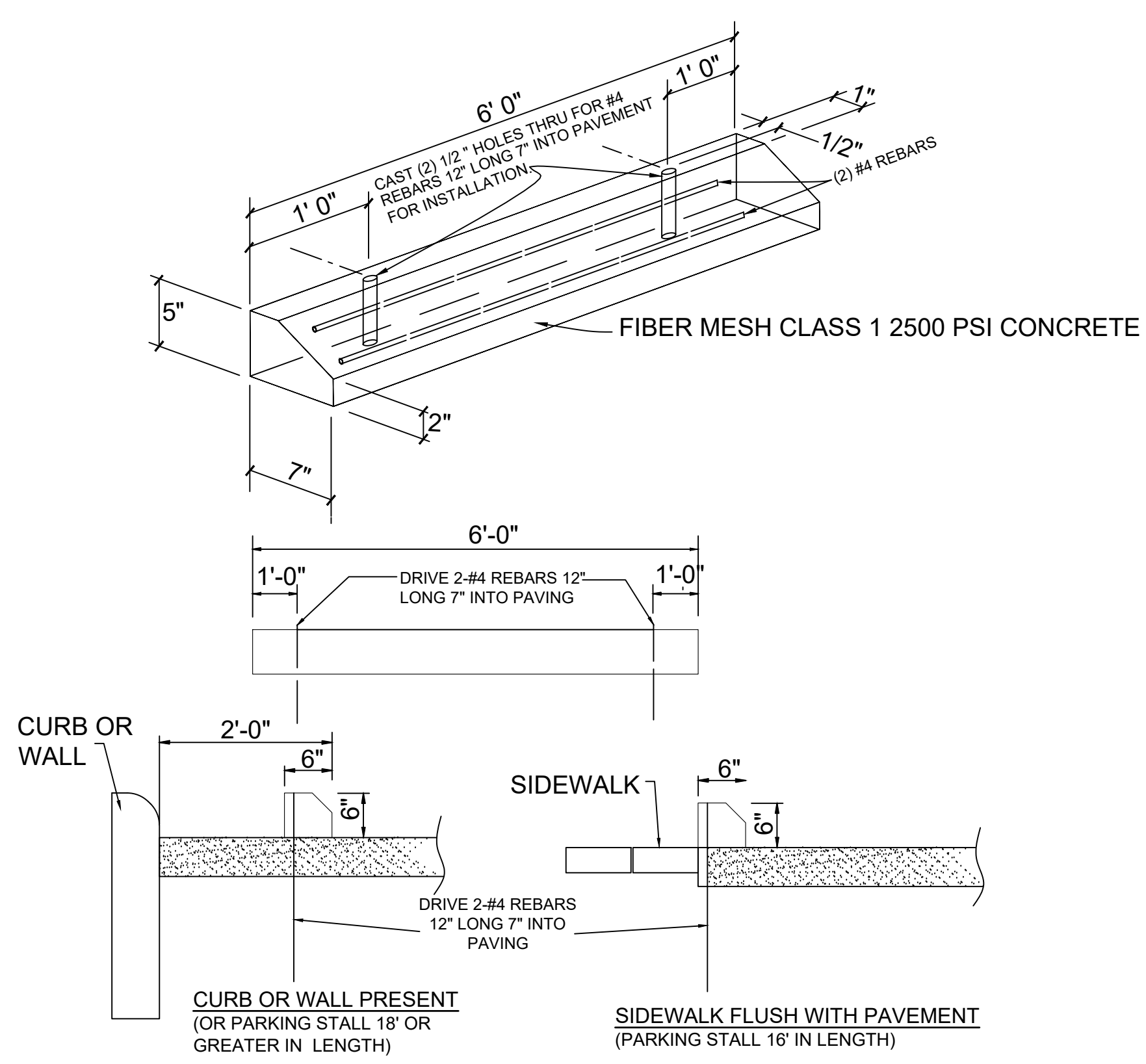
NO.	REVISIONS	DATE

**PROPOSED
CONVENIENCE
STORE
TONY PHILLIP**

2502 & 2504 AVENUE M
FORT PIERCE, FL 34947

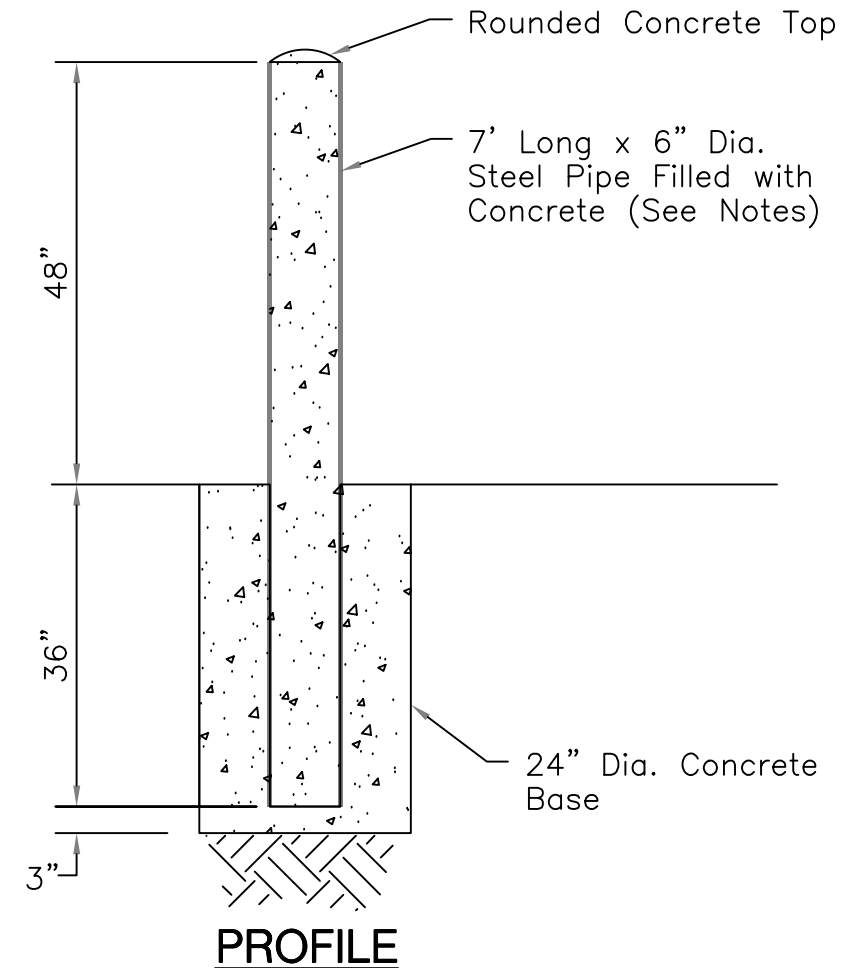
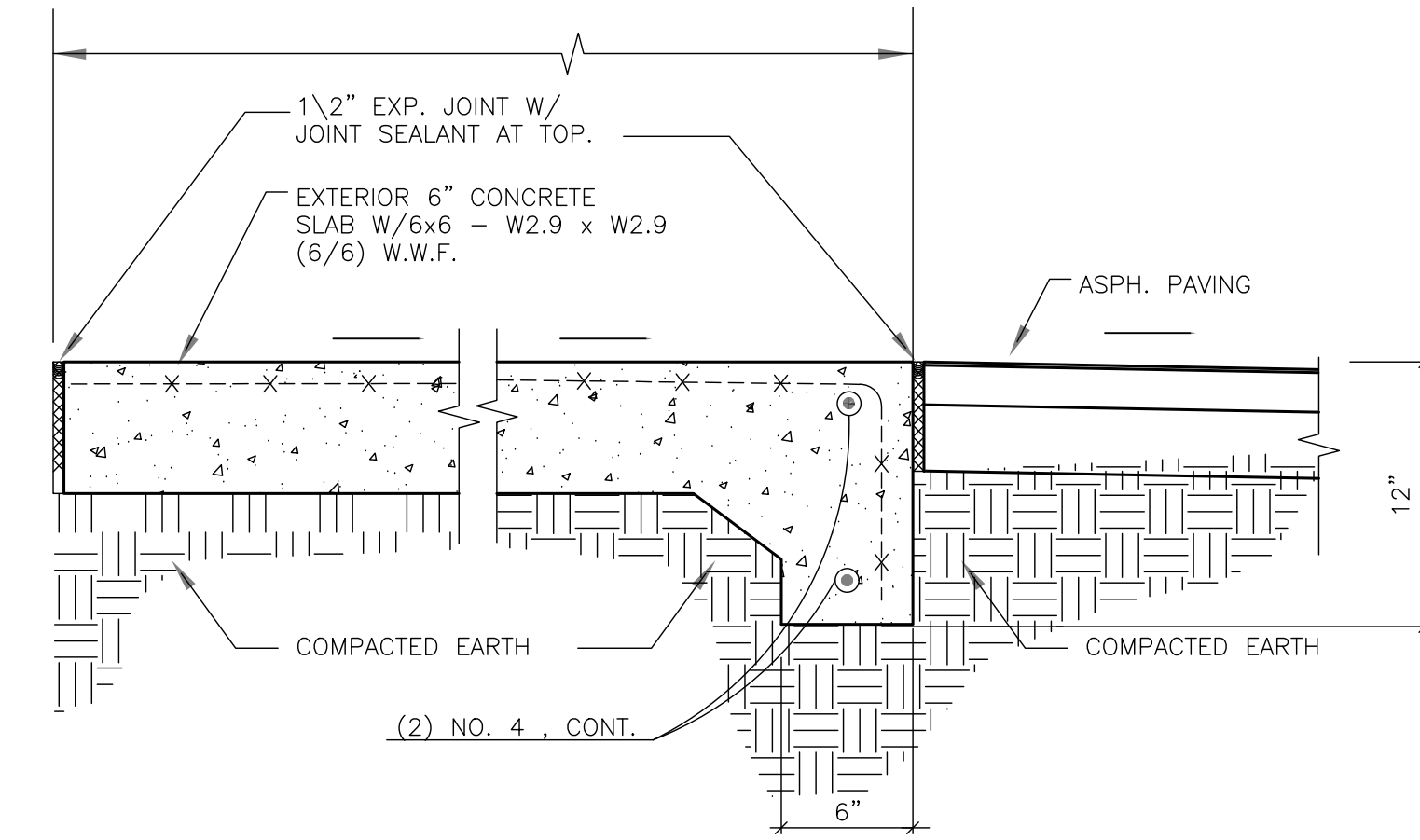
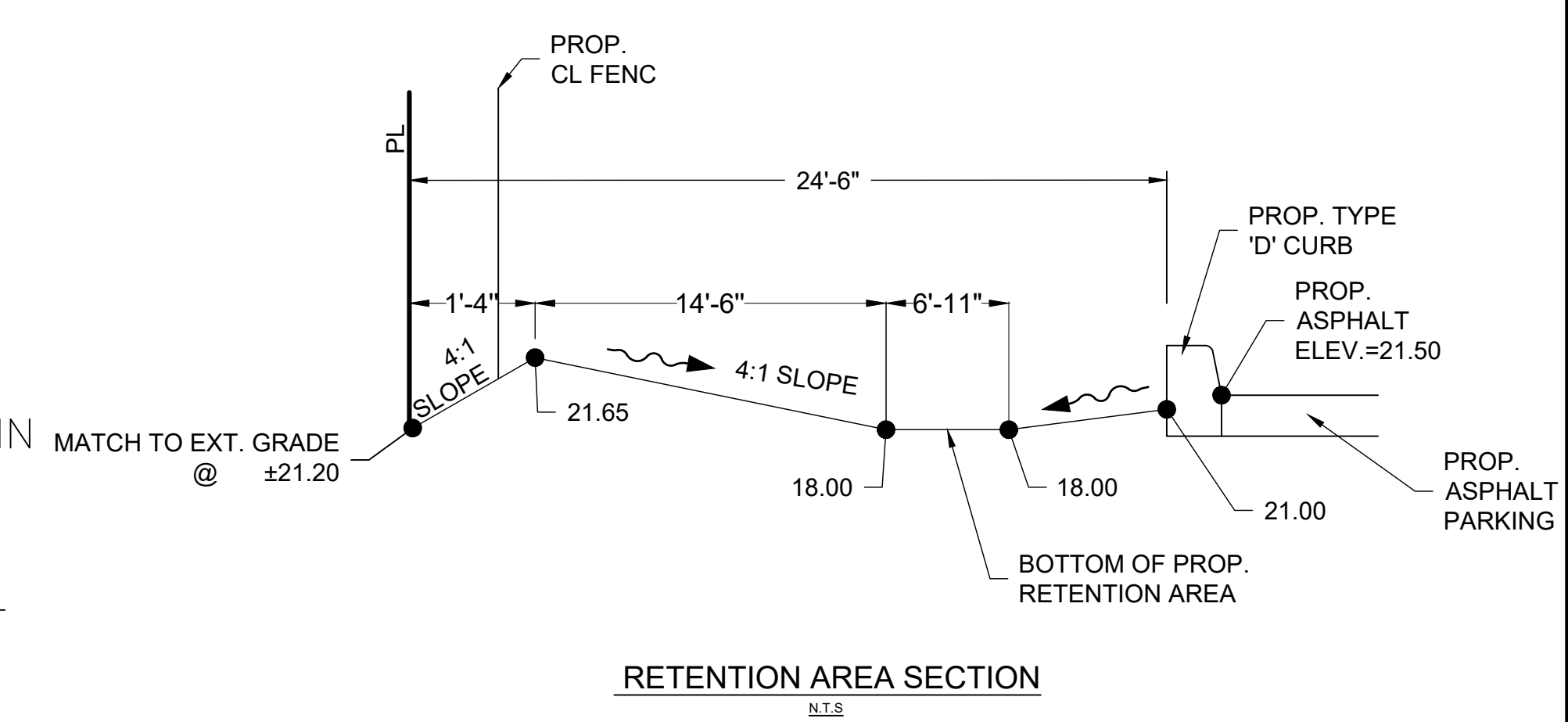
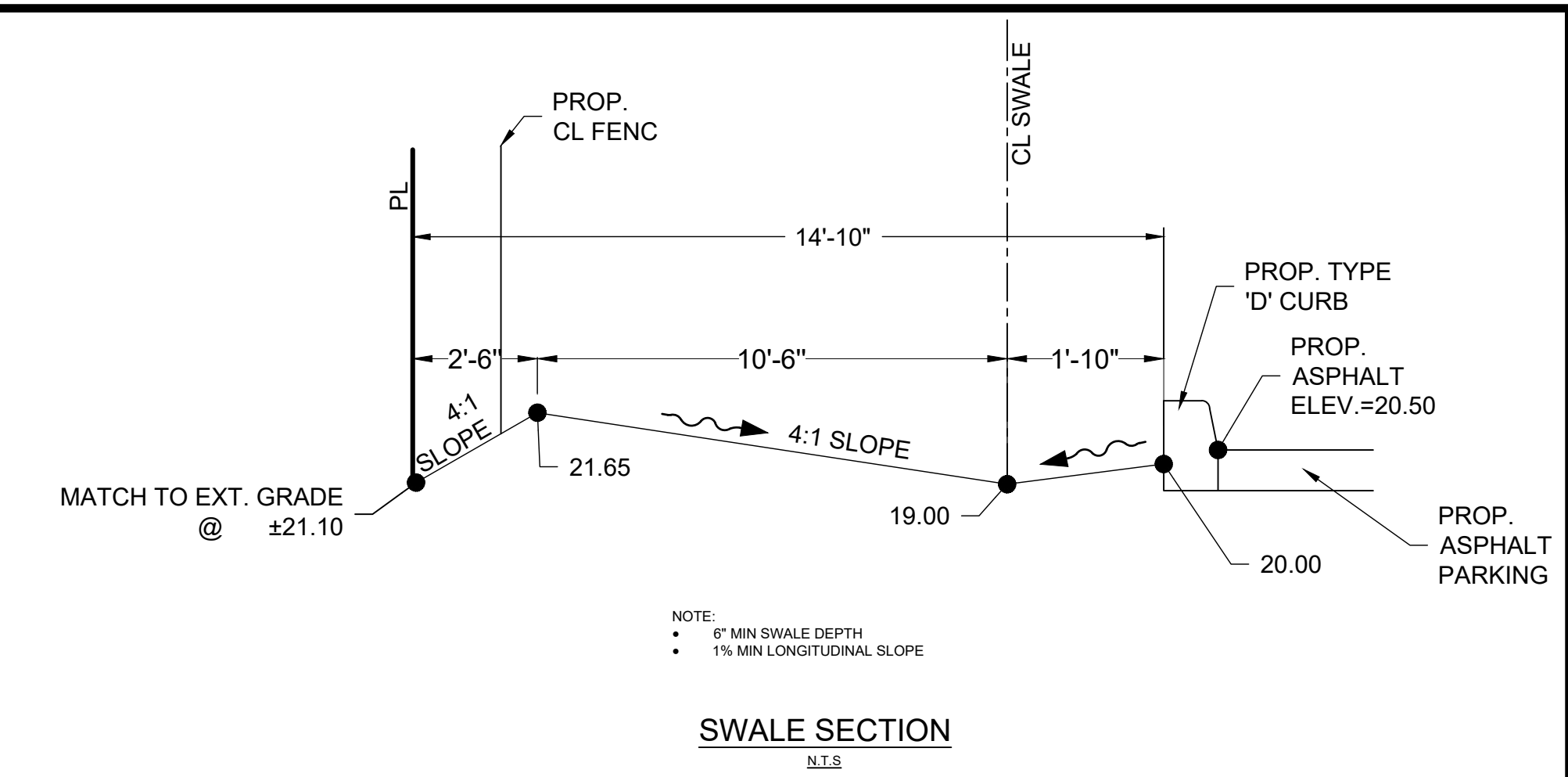
SHEET TITLE
SITE DETAILS

DATE 08/27/2025	SHEET
SCALE N.T.S.	C-501
DRAWN BY L.S.	

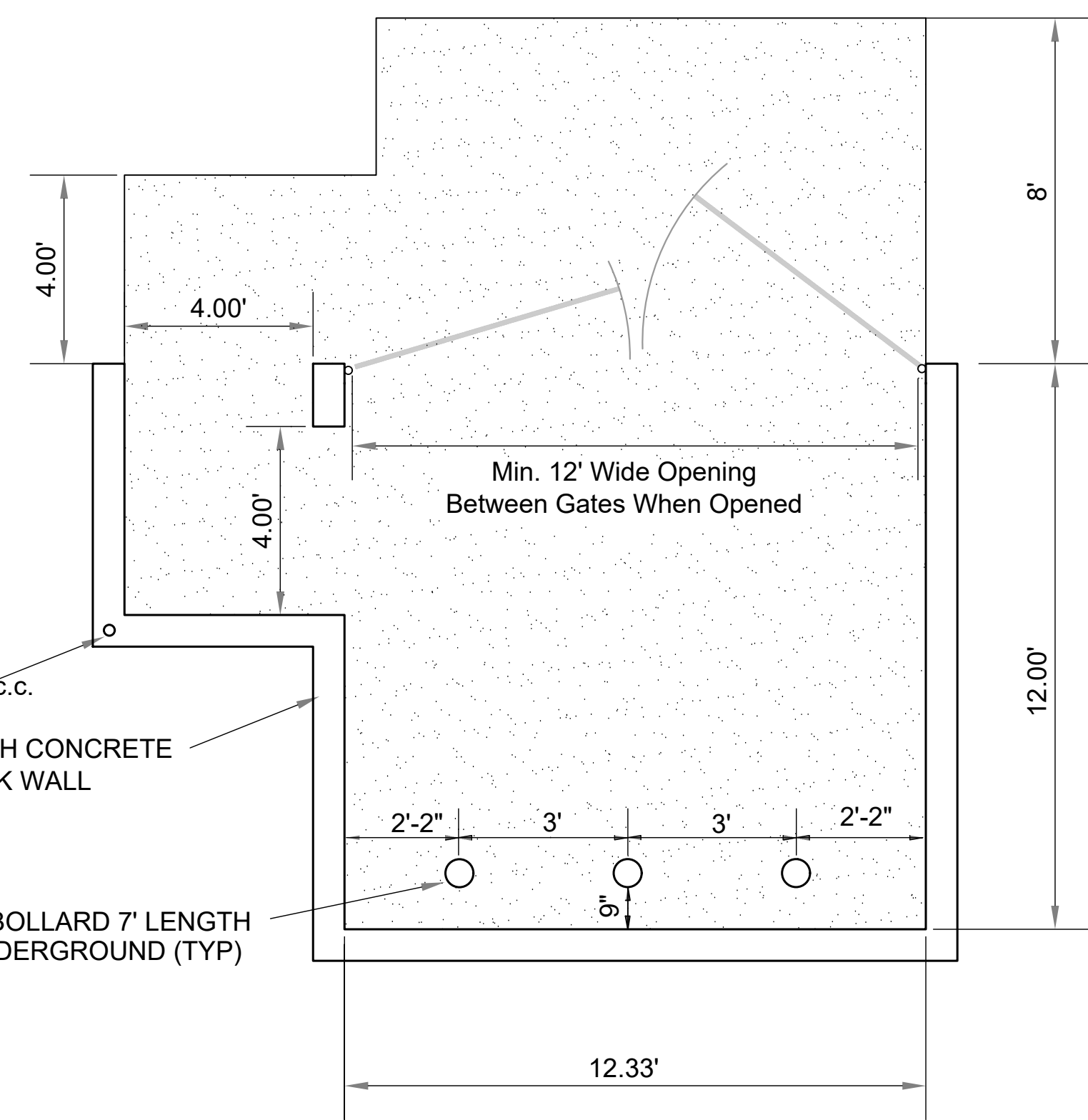


SECTION VIEW

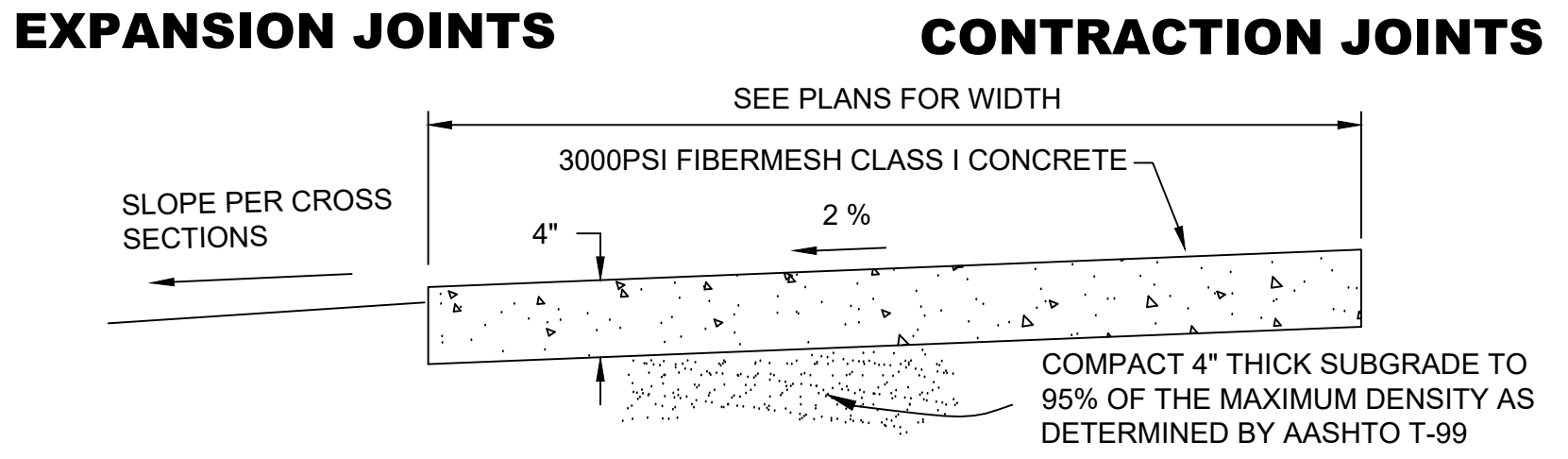
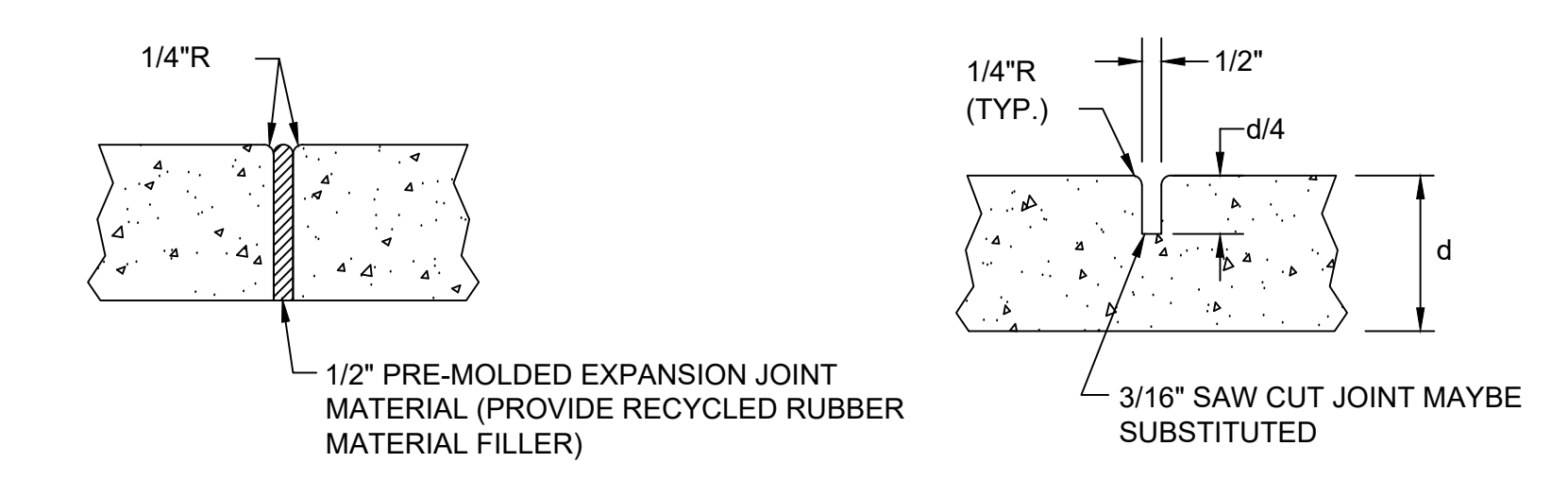
- NOTES:**
- SAW CUT CONTRACTION JOINTS ON 10' CENTERS MAX. WITHIN 48 HOURS AFTER POURING CURB.
 - ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH FDOT SPECIFICATIONS SECTION 520 AND FDOT ROADWAY & TRAFFIC DESIGN STANDARDS INDEX NUMBER 300.



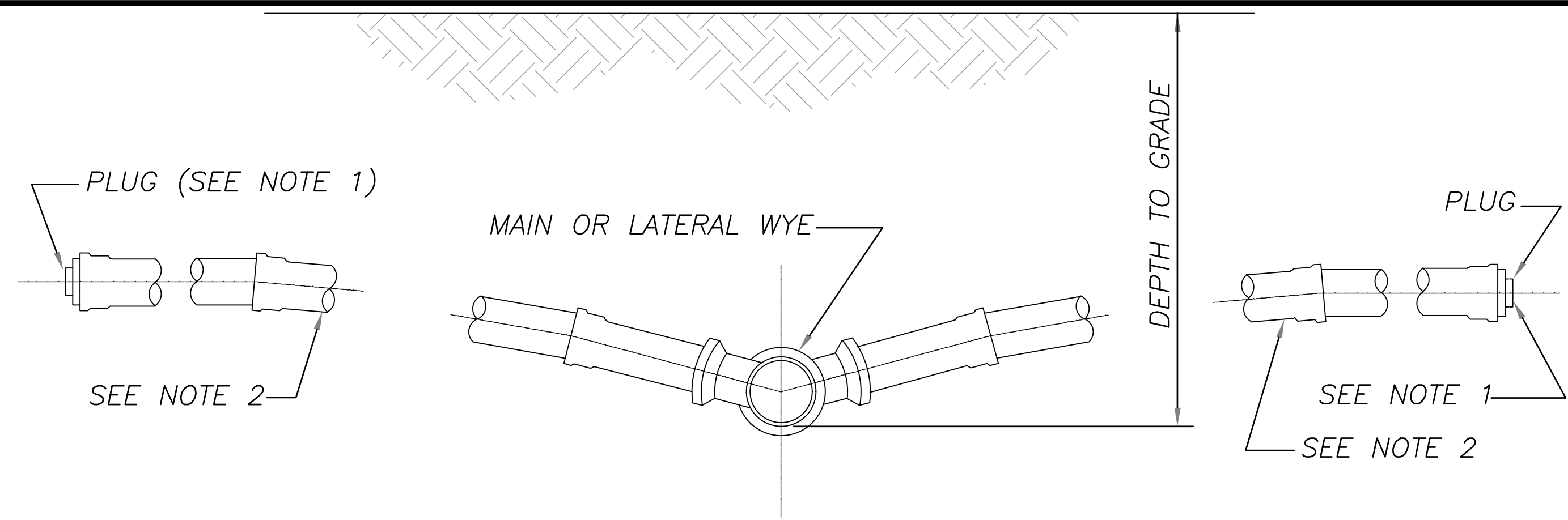
- NOTES:**
- The minimum wall thickness of the pipe shall be 0.188".
 - All posts shall have 2 coats of primer and 2 coats of Yell w top coat, unless otherwise noted.
 - The primer c at shall meet the requirements of FDOT 971-5.
 - All concrete shall be FDOT class 1.



DUMPSTER DETAIL



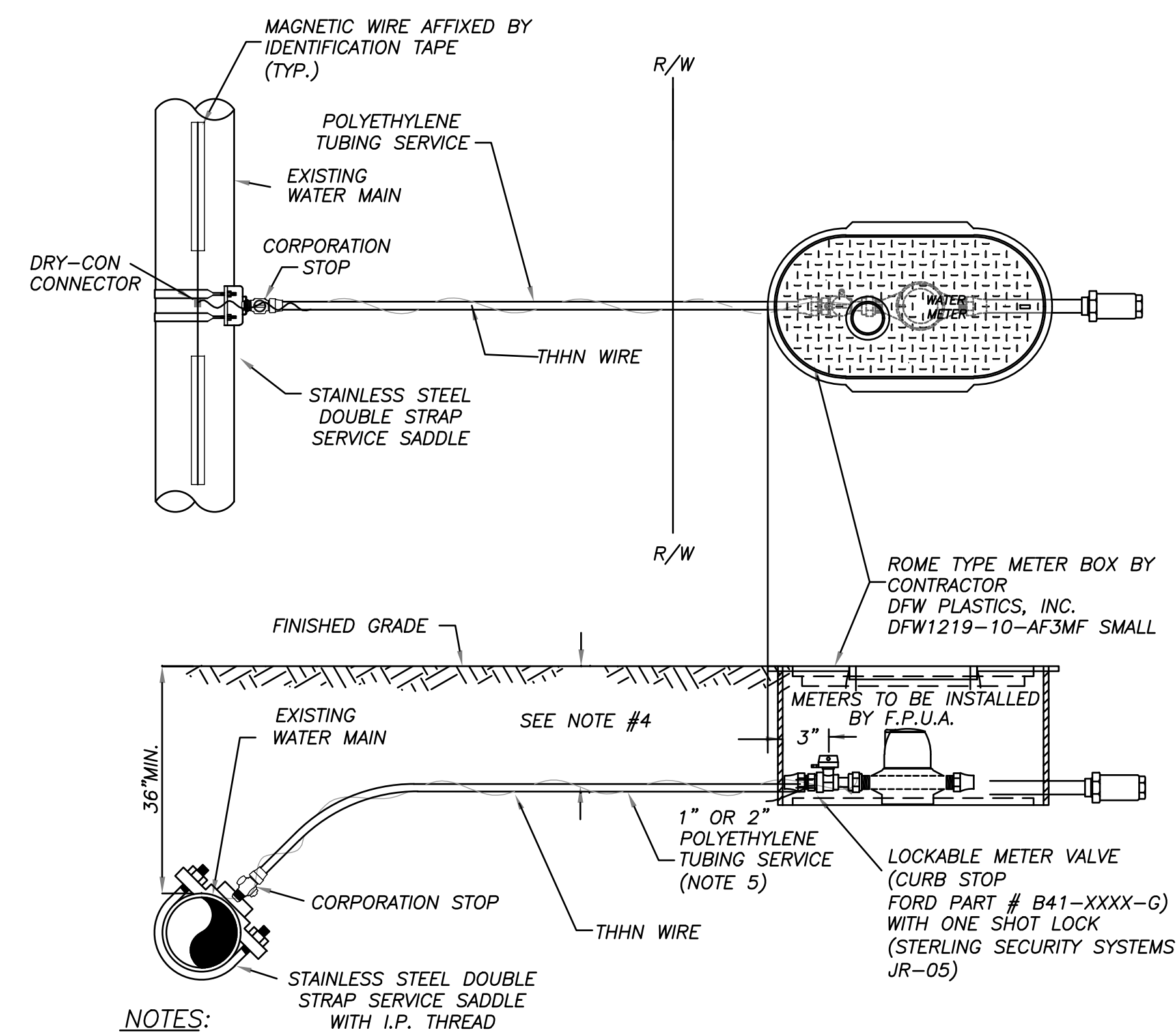
- NOTES:**
- PROVIDE EXPANSION JOINTS 20' CENTER TO CENTER, AT PC & PT OF CURVES, JUNCTIONS OF EXISTING & NEW SIDEWALKS, AND WHERE SIDEWALK ABUTS CURBS, DRIVEWAYS & SIMILAR STRUCTURES.
 - PROVIDE CONTRACTION JOINTS EQUAL TO WIDTH OF 6' SIDEWALK AND 5' CENTER TO CENTER ALL OTHERS.
 - SOD SHALL BE PLACED BELOW EDGE OF SIDEWALK TO ALLOW DRAINAGE.
 - FIBERMESH TO BE INCLUDED WRITHTEN CONCRETE MIX.



NOTES:

- 1) BALL TYPE WASTEWATER LOCATOR BY 3M CORP. OR APPROVED EQUAL.
- 2) MINIMUM SLOPE OF 1/8" PER FOOT, USE GREATER SLOPE WHERE POSSIBLE.
- 3) SERVICE LATERAL SHALL TERMINATE WITH A CLEANOUT.
- 4) INSTALL CLEANOUT AT THE PROPERTY LINE. REFER TO DETAIL S-1 FOR SPECIFIC PROPERTY LAYOUT.

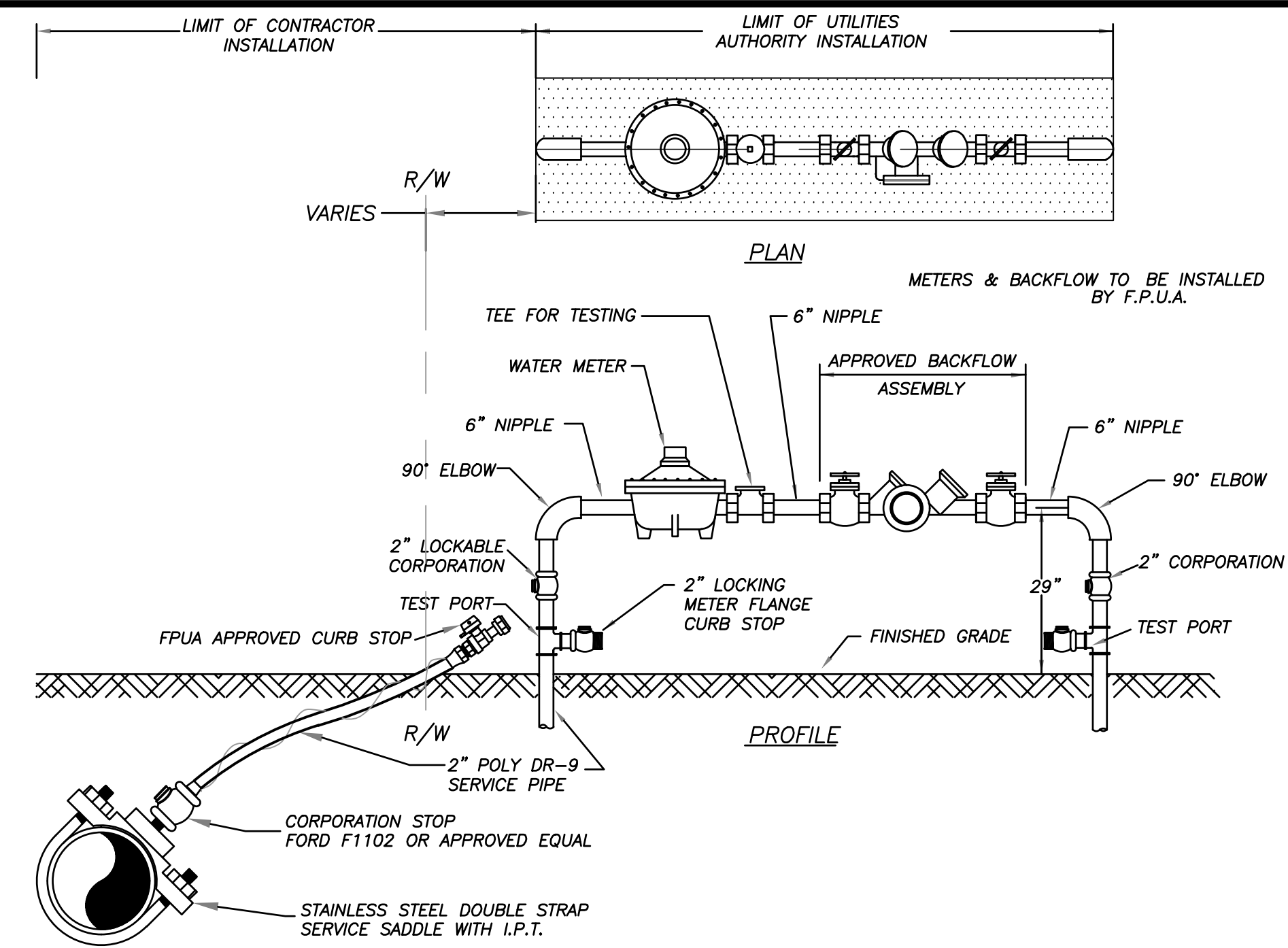
SERVICE CONNECTION
(N.T.S.)



NOTES:

1. BLUE 10 GAUGE THHN WIRE SHALL BE ATTACHED TO THE SERVICE LINE.
2. WHERE SERVICES UNDER PAVEMENT ARE REQUIRED, THE POLYETHYLENE TUBING SHALL BE INSTALLED WITHIN SCHEDULE 40 PVC CASING PIPE.
3. 1" & 3/4" METER SIZES SHALL REQUIRE A LOCKABLE METER VALVE. (CURB STOP)
4. MINIMUM COVER IN UNPAVED AREAS SHALL BE 30", IN PAVED AREAS OR PLANNED ROADWAYS OR SWALES MIN. COVER SHALL BE 36".
5. FOR 2" COMMERCIAL SERVICE INSTALLATIONS, FPUA WILL INSTALL ABOVE GROUND METER PER DETAIL W-8.

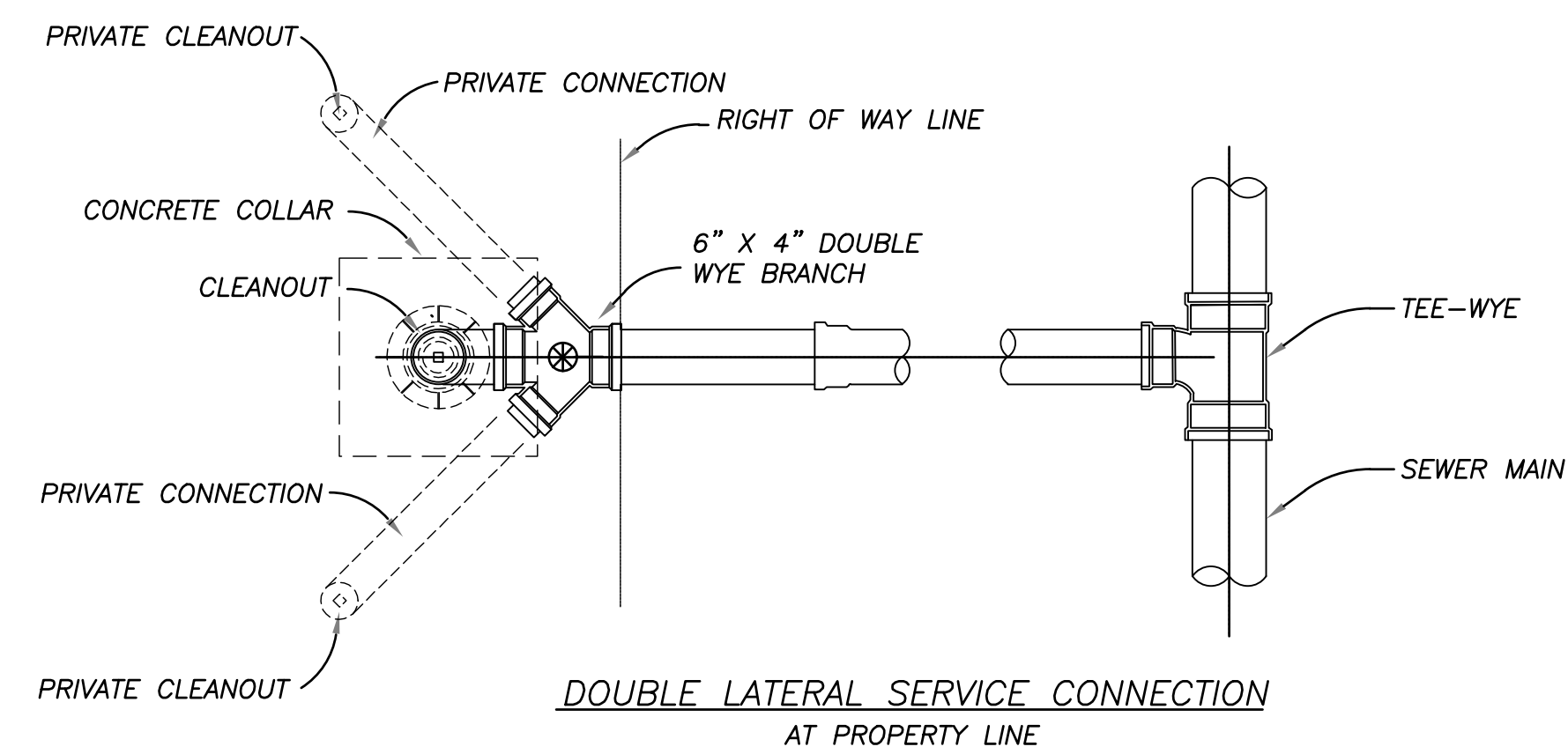
TYPICAL SINGLE WATER SERVICE CONNECTION
(N.T.S.)



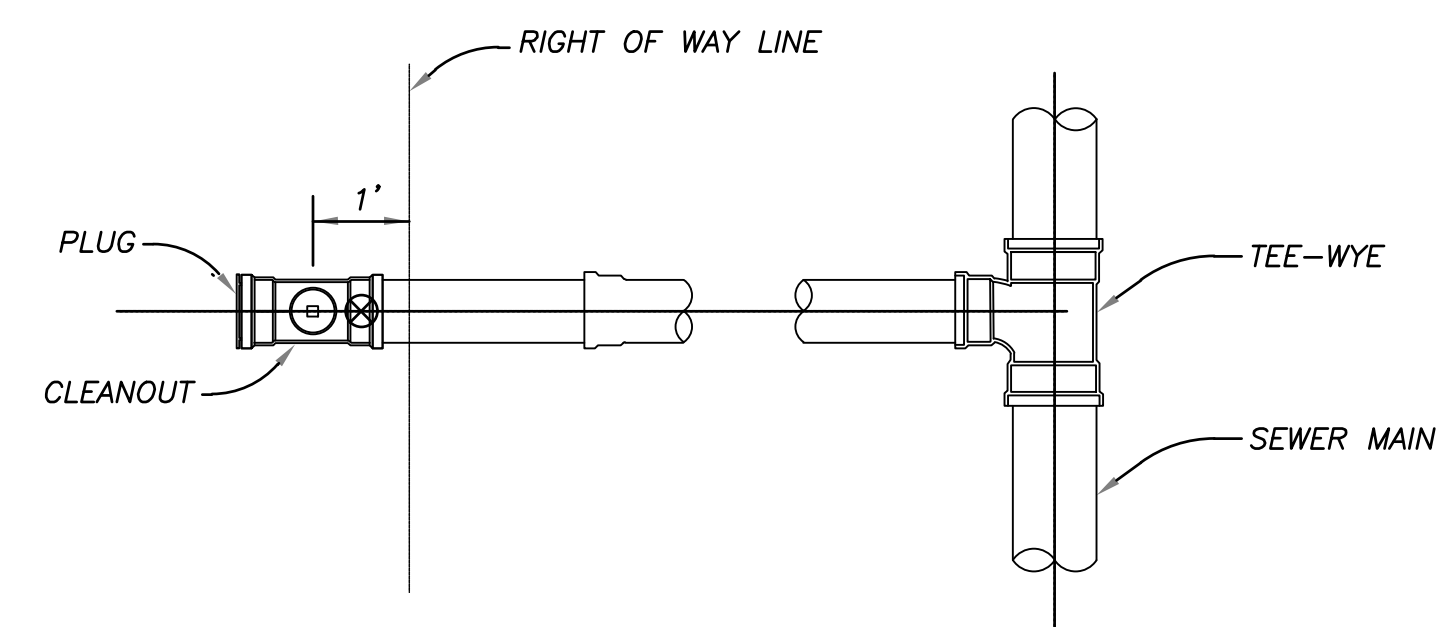
NOTES:

1. LANDSCAPING REQUIRED PER CITY OF FORT PIERCE OR ST. LUCIE COUNTY ORDINANCE. NO PLANTS OR TREES WITHIN 18" AROUND METER OR BACKFLOW. NO SOLDER JOINTS.
2. ASSEMBLY TO BE 29" FROM FINISH GRADE TO CENTERLINE OF THE FLANGED 90° BEND.

WATER METER/BACKFLOW PREVENTER ASSEMBLY
DOMESTIC SERVICE (COMMERCIAL)
(N.T.S.)



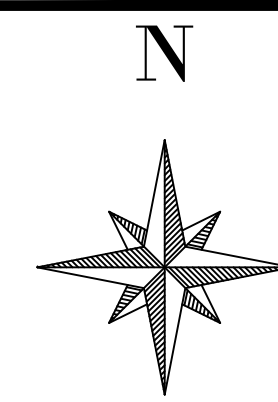
DOUBLE LATERAL SERVICE CONNECTION
AT PROPERTY LINE



SINGLE SERVICE LATERAL CONNECTION

- ⊗ = BALL TYPE WASTEWATER LOCATOR INSTALLED ABOVE THIS POINT
- BALL BY 3M CORP. OR APPROVED EQUAL
- SERVICE LATERAL SHALL TERMINATE WITH A CLEANOUT

WASTEWATER SERVICE CONNECTION
(N.T.S.)



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PERMITS REQUIRED

CITY OF FORT PIERCE

PERMIT#

NO.	REVISIONS	DATE

PROPOSED CONVENIENCE STORE
TONY PHILLIP

2502 & 2504 AVENUE M
FORT PIERCE, FL 34947

SHEET TITLE
UTILITY DETAILS

DATE
08/27/2025

SHEET

SCALE
N.T.S.

DRAWN BY
L.S.

C-502

**FORT PIERCE UTILITIES AUTHORITY
WATER DISTRIBUTION NOTES**

- ALL CONSTRUCTION MATERIAL, INSTALLATION AND TESTING SHALL CONFORM TO THE STANDARD SPECIFICATIONS OF THE FORT PIERCE UTILITIES AUTHORITY.
- WATER MAINS WHERE SPECIFIED AS POLYVINYL CHLORIDE (PVC) SHALL CONFORM TO AWWA C-900 OR C-905, PRESSURE CLASS 150, DR (18). WATER MAINS WHERE SPECIFIED AS POLYETHYLENE (PE) SHALL CONFORM TO AWWA C-901 OR C-906, STANDARD CODE DESIGNATION PE3408, PIPE CLASS 200, DIMENSION RATIO (DR) 17 FOR DIRECT BURY, (DR) 11 FOR DIRECTIONAL BORING, AND (DR) 9 FOR 2 INCH AND SMALLER PIPELINES.
- WATER MAIN, WHERE SPECIFIED AS DUCTILE IRON PIPE, SHALL CONFORM TO ANSI/AWWA C151/A21.51 AND SHALL BE PRESSURE CLASS 250 (MINIMUM).
- POLYVINYL CHLORIDE WATER MAIN SHALL BE BLUE IN COLOR OR WHITE IN COLOR WITH BLUE STRIPES. THE USE OF IDENTIFICATION TAPE ATTACHED TO THE TOP OF THE PIPE MAY BE USED IN LIEU OF MARKING ON THE PIPE, ALSO DIP PIPE SHALL REQUIRE THE USE OF IDENTIFICATION TAPE AND THHN WIRE.
- FITTINGS SHALL BE DUCTILE IRON CONFORMING TO ANSI/AWWA C-110/A21.10, CLASS 250 MIN., CEMENT LINED AND FACTORY COATED
- GATE VALVES SHALL BE MUELLER RESILIENT SEAT, KENNDY KEN-SEAL, AMERICAN OR APPROVED EQUAL. VALVES SHALL CONFORM TO AWWA C-509.
- WATER LINES SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH FPUA DESIGN AND CONSTRUCTION STANDARDS. THE CONTRACTOR SHALL SUBMIT CERTIFIED DENSITY TESTS AS REQUIRED BY FPUA ENGINEERING AND THE CITY, COUNTY, FDOT. IN CASES WHERE PAVED AREAS FALL WITHIN THE JURISDICTION OF LOCAL OR STATE AGENCIES, THE COMPACTION REQUIREMENTS SHALL NOT BE LESS THAN THE MINIMUM REQUIRED BY THE APPROPRIATE RESPONSIBLE AGENCY.
- NO FIELD CHANGES OR DEVIATIONS FROM THE DESIGN SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE FPUA ENGINEER AND CITY/COUNTY/FDOT ENGINEER.
- THE CONTRACTOR SHALL NOTIFY FPUA ENGINEERING AND CITY/COUNTY/FDOT ENGINEERING 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
- A PRE-CONSTRUCTION CONFERENCE BETWEEN THE ENGINEER, THE CONTRACTOR, FPUA, AND CITY/COUNTY/FDOT ENGINEER SHALL BE MANDATORY PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- TRAFFIC CONTROL, BARRICADES, ETC., SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS AND APPROVED BY THE CITY ENGINEER.
- MINIMUM COVER SHALL BE 36 INCHES EXCEPT AS APPROVED BY THE UTILITIES ENGINEER AND CITY/COUNTY/FDOT ENGINEER. PIPES WITH COVER LESS THAN 30 INCHES SHALL BE CONSTRUCTED OF DUCTILE IRON OR IN PVC CASING.
- DISTURBED AREAS SHALL BE RESTORED IN CONFORMANCE WITH THE APPLICABLE GOVERNING AGENCY REQUIREMENTS.
- EXISTING UTILITIES AND DRAINAGE SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION AND PROTECTED BY THE CONTRACTOR.
- WATER MAINS SHALL BE TESTED AND DISINFECTED IN ACCORDANCE WITH THE APPLICABLE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND AWWA C-651 FOR DISINFECTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EXISTING UTILITIES AND DRAINAGE.
- THE CONTRACTOR SHALL FURNISH RECORD DRAWING INFORMATION TO THE ENGINEER INCLUDING LOCATIONS OF VALVES, FITTINGS, SERVICE CONNECTIONS, BLOWOFFS, AIR RELEASE VALVES, AND ANY OTHER PERTINENT INFORMATION NECESSARY TO LOCATE ITEMS CONSTRUCTED UNDER THIS PROJECT, AS REQUIRED BY THE UTILITIES ENGINEER.
- THE CONTRACTOR SHALL TAP EXISTING LINES UNDER THE SUPERVISION OF THE FORT PIERCE UTILITIES AUTHORITY ONLY AFTER TESTING AND DISINFECTION HAS BEEN COMPLETED AND APPROVED ON THE TAPPING VALVE AND SLEEVE.
- WATER MAIN SHALL BE MARKED BY THE USE OF CONTINUOUS 10 GAUGE THHN MULTI STRANDED WIRE (BLUE IN COLOR) AND IDENTIFICATION TAPE WITH "WATER" MARKED ON TAPE, PERMANENTLY ATTACHED TO THE TOP OF THE WATER MAIN IN ACCORDANCE WITH THE FORT PIERCE UTILITIES AUTHORITY SPECIFICATIONS.
- SERVICE TAPS SHALL BE PLACED APPROXIMATELY TEN FEET AWAY FROM GATE VALVES, AS SHOWN, FOR TESTING. FOLLOWING TESTING AND STERILIZATION OF WATER LINE. CONTRACTOR SHALL PLACE A BRASS PLUG IN CORPORATION STOPS AND CURB STOPS SHALL BE REMOVED FROM TESTING LOCATIONS.
- MECHANICAL RESTRAINTS TO BE USED ON ALL FITTINGS AND PLACED IN ACCORDANCE WITH MANUFACTURER'S OR ENGINEER'S RECOMMENDATIONS (WHICHEVER IS MORE STRINGENT) AND FPUA REQUIREMENTS.
- ALL MAINS SHALL BE TESTED AT A MINIMUM OF 150 PSI. TESTING METHODS SHALL CONFORM TO AWWA C-600. - 2 HR MINIMUM TEST

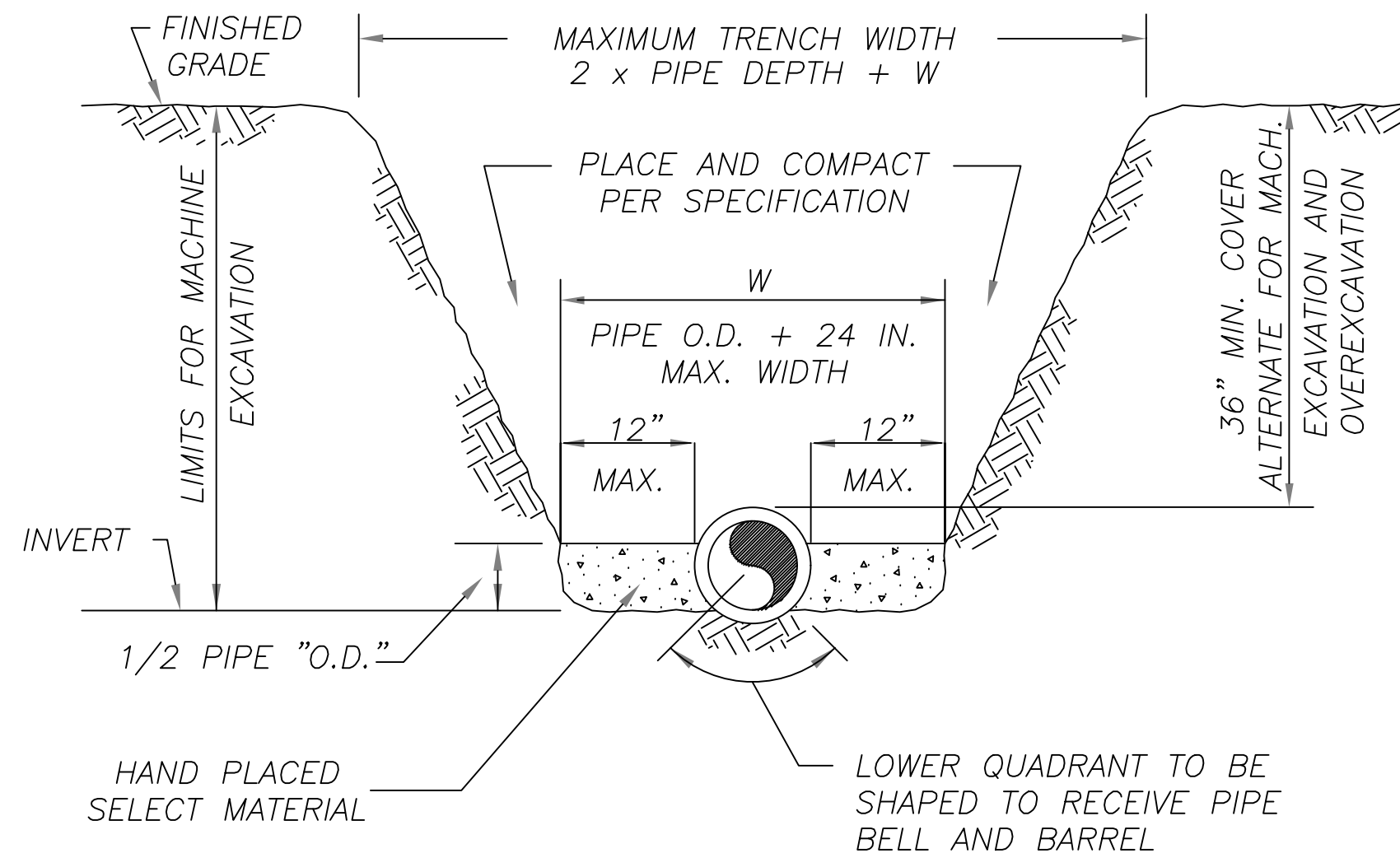
$$L = \frac{SD(P)}{148,000} \times \frac{1}{2}$$

L = LEAKAGE IN GPH
S = LENGTH OF PIPE IN FEET
D = PIPE DIAMETER IN INCHES
P = TESTING PRESSURE IN PSI

- PRIOR TO ANY TESTING, ALL MAINS 6" IN DIA. AND LARGER SHALL HAVE A SWAB PASSED THRU THE ENTIRE LENGTH OF THE LINE. NOTE: SWAB SHOULD BE PLACED IN 1st. JOINT OF NEW LINE. END OF MAIN SHOULD BE "TURNED UP" AT 45% AND EXTENDED SO THAT SWABBING AND A FULL BORE FLUSH CAN BE ACCOMPLISHED. BLOW-OFF ASSY CAN THEN BE PLACED. WHERE LINES BRANCH, SWABS WILL BE PLACED IN BRANCH LINES AND SEQUENTIALLY SWABBED AND FLUSHED.
- A MINIMUM SIX FEET AND PREFERABLY TEN FEET HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN THE WATER MAIN AND ANY WASTEWATER LINES. 6 INCHES MINIMUM VERTICAL SEPARATION IF WATER MAIN IS OVER WASTEWATER AND 12 INCHES IF WATER MAIN IS UNDER SHALL BE MAINTAINED BETWEEN THE WATER MAIN AND ANY WASTEWATER LINES. THE DISTANCE SHALL BE MEASURED FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE OR STRUCTURE. WHERE THIS MINIMUM SEPARATION CANNOT BE MAINTAINED, THE CROSSING SHALL BE ARRANGED SO THAT THE WASTEWATER PIPE JOINTS AND THE WATER MAIN PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING, AND THE WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE (DIP) AT THE CROSSING. SUFFICIENT LENGTHS OF DIP MUST BE USED TO PROVIDE A MINIMUM SEPARATION OF 10 FEET BETWEEN ANY TWO JOINTS. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED. A MINIMUM VERTICAL CLEARANCE OF 6 INCHES MUST BE MAINTAINED AT ALL CROSSINGS.
- WHERE A WATER MAIN IS TO BE INSTALLED BELOW A STORM DRAIN PIPE, A MINIMUM OF 6 INCHES OF VERTICAL CLEARANCE BETWEEN PIPES SHALL BE CONSTRUCTED OF DIP AT THE CROSSING, AND SHALL BE MECHANICALLY RESTRAINED WITHIN 20 FEET OF THE CROSSING.
- CONTRACTOR SHALL COMPLY WITH FLORIDA TRENCH SAFETY ACT REQUIREMENTS.

FORT PIERCE UTILITIES AUTHORITY WASTEWATER CONSTRUCTION NOTES

- ALL CONSTRUCTION MATERIAL, INSTALLATION AND TESTING SHALL CONFORM TO THE STANDARD SPECIFICATIONS OF THE FORT PIERCE UTILITIES AUTHORITY.
- GRAVITY SEWER MAIN SHALL BE POLYVINYL CHLORIDE SDR-26, GREEN OR WHITE IN COLOR, GRAVITY SEWER MAIN SHALL HAVE LOCATOR TAPE WITH "SEWER" MARKED ON TAPE AND SHALL CONFORM TO ASTM D-3034.
- THE MANHOLE BASE SHALL BE SET ON A FIRM, DRY AND STABLE OR COMPACTED BASE FOUNDATION. IF NECESSARY, THE CONTRACTOR SHALL UTILIZE ROCK TO PROVIDE A FIRM AND SUITABLE MANHOLE BASE FOUNDATION.
- WASTEWATER LINES SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH FPUA DESIGN AND CONSTRUCTION STANDARDS. THE CONTRACTOR SHALL SUBMIT CERTIFIED DENSITY TESTS AS REQUIRED BY FPUA ENGINEERING AND THE CITY ENGINEERING DEPARTMENT. IN CASES WHERE PAVED AREAS FALL WITHIN THE JURISDICTION OF LOCAL OR STATE AGENCIES, THE COMPACTION REQUIREMENTS SHALL NOT BE LESS THAN THE MINIMUM REQUIRED BY THE APPROPRIATE RESPONSIBLE AGENCY.
- A 1% MINIMUM SLOPE SHALL BE MAINTAINED ON ALL SANITARY SERVICE LATERALS.
- THE CONTRACTOR SHALL FURNISH RECORD DRAWING INFORMATION TO THE ENGINEER CONSISTING OF PIPE SIZES, LOCATION OF SERVICE TEE WYES, DIAMETER OF SERVICES, LOCATION OF ANY FITTINGS, FINAL RIM AND INVERT ELEVATION OF ALL MANHOLES AND ANY OTHER PERTINENT INFORMATION NECESSARY TO LOCATE ITEMS CONSTRUCTED UNDER THIS PROJECT.
- MAINTAIN SIX FEET AND PREFERABLY 10 FEET HORIZONTAL DISTANCE BETWEEN WATER MAINS AND SEWER MAINS AS A MINIMUM.
- WASTEWATER FORCE MAINS, WASTEWATER COLLECTION LINES, AND STORM SEWERS SHOULD CROSS UNDER WATER MAINS WHENEVER POSSIBLE. A MINIMUM VERTICAL DISTANCE OF 12 INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE SHALL BE PROVIDED WHENEVER POSSIBLE. WHERE THIS MINIMUM SEPARATION CANNOT BE MAINTAINED, THE CROSSING SHALL BE ARRANGED SO THAT THE WASTEWATER PIPE JOINTS AND THE WATER PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING, AND THE WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE (DIP) AT THE CROSSING. SUFFICIENT LENGTHS OF DIP MUST BE USED TO PROVIDE A MINIMUM SEPARATION OF 10 FEET BETWEEN ANY TWO JOINTS. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED. A MINIMUM VERTICAL CLEARANCE OF 6 INCHES MUST BE MAINTAINED AT ALL CROSSINGS.
- A PRE-CONSTRUCTION CONFERENCE BETWEEN THE ENGINEER, THE CONTRACTOR, AND FPUA/CITY COUNTY/FDOT SHALL BE MANDATORY PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- NO FIELD CHANGES OR DEVIATIONS FORM THE DESIGN SHALL BE MADE WITHOUT PRIOR APPROVAL FPUA/CITY/COUNTY/FDOT ENGINEER.
- TRAFFIC CONTROL, BARRICADES, ETC. SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS.
- CONTRACTOR SHALL NOTIFY FORT PIERCE UTILITIES AUTHORITY 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
- WASTEWATER FORCE MAIN SHALL BE POLYVINYL CHLORIDE CONFORMING TO AWWA C-900, AND SHALL BE CLASS 150, DR-18.
- WASTEWATER FORCE MAIN SHALL BE GREEN IN COLOR.
- FITTINGS SHALL BE DUCTILE IRON, CONFORMING TO ANSI/AWWA C-110/A21.10 CLASS 250 MIN. AND INTERIOR EPOXY COATED.
- WASTEWATER FORCE MAIN SHALL BE MARKED BY THE USE OF CONTINUOUS 10 GAUGE THHN WIRE (GREEN IN COLOR) PERMANENTLY ATTACHED TO THE TOP OF THE FORCE MAIN WITH LOCATOR TAPE MARKED "SEWER" ON TAPE IN ACCORDANCE WITH FPUA SPECIFICATIONS.
- MINIMUM COVER SHALL BE 36 INCHES, PIPES WITH COVER LESS THAN 30 INCHES SHALL REQUIRE PRIOR APPROVAL OF THE UTILITIES ENGINEER AND SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE.
- EACH SERVICE LATERAL WILL BE MARKED WITH A LOCATOR BALL AS MANUFACTURED BY 3M CORPORATION, OR APPROVED EQUAL AS REQUIRED BY FPUA ENGINEER.
- ALL MANHOLES SHALL HAVE SEWER RAIN GUARDS INSTALLED AS REQUIRED BY FPUA ENGINEER.
- THE CONTRACTOR SHALL COMPLY WITH THE FLORIDA TRENCH SAFETY ACT REQUIREMENTS.



NOTES:

- THE CONTRACTOR SHALL COMPLY WITH REQUIREMENTS OF THE FLORIDA TRENCH SAFETY ACT.
- INITIAL BACKFILL SHALL BE HAND PLACED TO 12" ABOVE THE PIPE. BACKFILL SHALL BE MECHANICALLY TAMPED TO A MINIMUM OF 100% OF MAX. DENSITY AS DETERMINED BY AASHTO METHOD T-99.

TYPICAL TRENCH DETAIL

N.T.S.

STANDARD SEPARATION STATEMENT FOR WATER / SEWER CONFLICTS

1. SANITARY SEWER, FORCE MAINS, AND STORM SEWERS SHOULD CROSS UNDER WATER MAINS WHENEVER POSSIBLE. SANITARY SEWERS, FORCE MAINS AND STORM SEWERS CROSSING UNDER WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 6 INCHES, PREFERABLY 12 INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE WHEN ABOVE, AND AT LEAST 12 INCHES OF SEPARATION WHEN THE WATER MAIN IS BELOW.

WHERE SANITARY SEWER, FORCE MAINS, STORM SEWERS MUST CROSS A WATER MAIN WITH LESS THAN 6 INCHES VERTICAL SEPARATION, BOTH THE SEWER AND WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE (DIP) CENTERED ON THE CROSSING. (DIP IS NOT REQUIRED FOR STORM SEWERS.) SUFFICIENT LENGTHS OF DIP MUST BE USED TO PROVIDE A MINIMUM SEPARATION OF 10 FEET BETWEEN TWO JOINTS. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED.

ALL CROSSINGS SHALL BE ARRANGED SO THAT THE SEWER PIPE JOINTS AND WATER MAIN PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING (PIPES CENTERED ON THE CROSSING). AT SUCH CROSSINGS PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORMWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY OR PRESSURE TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

WHERE A NEW PIPE CONFLICTS WITH AN EXISTING PIPE WITH LESS THAN 6 INCHES VERTICAL CLEARANCE, THE NEW PIPE SHALL BE CONSTRUCTED OF DIP (EXCEPT STORM SEWERS) AND NEW PIPES SHALL BE ARRANGED TO MEET THE CROSSING REQUIREMENTS ABOVE.

2. A MINIMUM 3-FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF STORM SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.

A MINIMUM 3-FOOT, AND PREFERABLE 10-FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN VACUUM TYPE SANITARY SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.

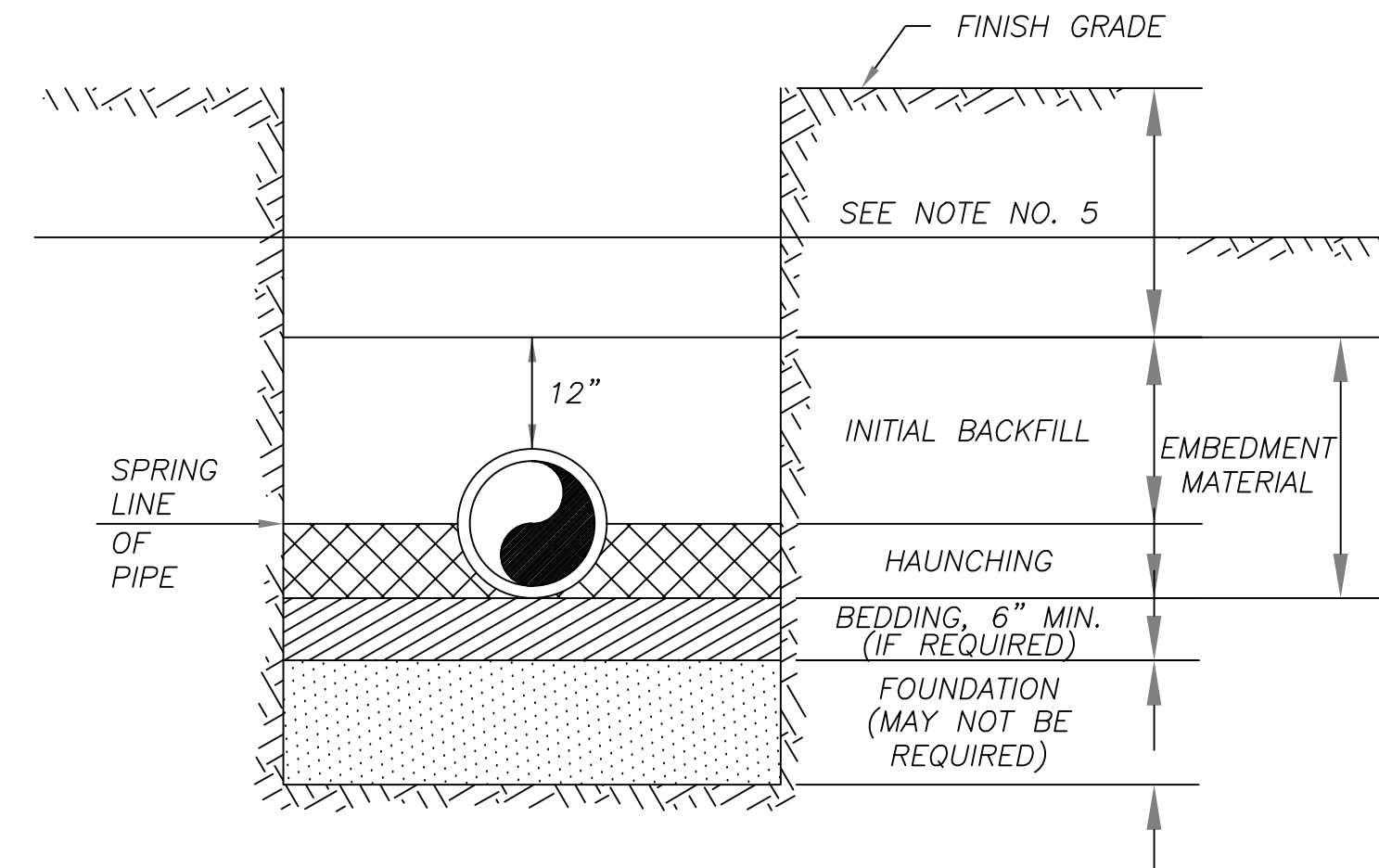
A MINIMUM 10-FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.

A MINIMUM 6-FOOT, AND PREFERABLE 10-FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN GRAVITY OR PRESSURE TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO 3 FOOT WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER

IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10-FOOT HORIZONTAL SEPARATION, THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON A UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 6 INCHES ABOVE THE TOP OF THE SEWER.

WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 6 INCHES IN PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SEWER OR THE FORCE MAIN SHALL BE CONSTRUCTED OF DIP (EXCEPT STORM SEWER) WITH A MINIMUM VERTICAL DISTANCE OF 6 INCHES. THE WATER MAIN SHOULD ALWAYS BE ABOVE THE SEWER. JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED JOINTS).

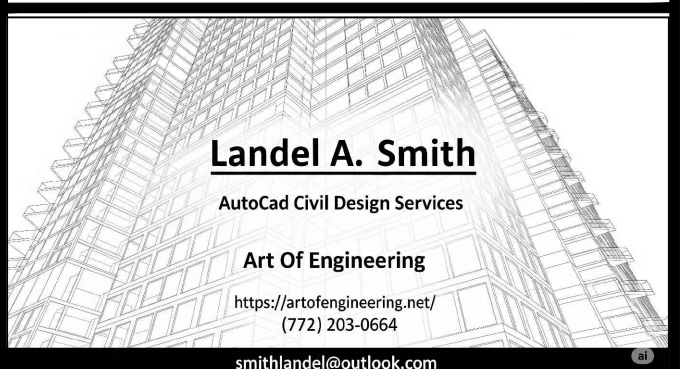
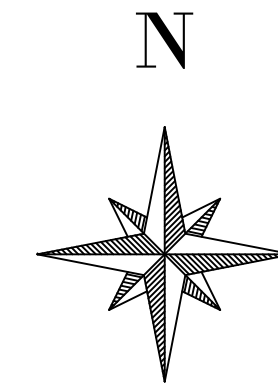
3. ALL DIP SHALL BE PRESSURE CLASS 250 MIN. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED AS DETERMINED BY THE DESIGN ENGINEER.



BACKFILLING REQUIREMENTS
N.T.S.

NOTES:

- IN CERTAIN SOIL CONDITIONS A FOUNDATION MAY BE REQUIRED.
- BEDDING IS REQUIRED PRIMARILY TO BRING THE TRENCH BOTTOM UP TO GRADE. BEDDING MATERIALS SHALL PROVIDE A UNIFORM AND ADEQUATE LONGITUDINAL SUPPORT UNDER THE PIPE.
- HAUNCHING MATERIAL SHALL BE HAND PLACED TO THE SPRINGLINE OF THE PIPE. MATERIAL SHALL BE CONSOLIDATED UNDER THE PIPE AND HAND TAMPED TO PROVIDE ADEQUATE SIDE SUPPORT.
- INITIAL BACKFILL MATERIAL SHALL BE HAND PLACED TO 12" ABOVE THE TOP OF PIPE. THE SOIL SHALL BE COMPACTED TO 100% MAX. DENSITY.(AASHTO T-99)
- BACKFILL SHALL BE COMPACTED TO 100% OF MAX. DENSITY AS PER AASHTO T-99, TO A POINT 30" BELOW PROPOSED PROFILE GRADE OR EXISTING GRADE. THE FINAL 30" OF BACKFILL SHALL BE COMPACTED TO 98% OF MAX. DENSITY AS PER AASHTO T-180.
- DENSITY TEST SHALL BE PERFORMED AT AREAS DETERMINED BY THE UTILITIES ENGINEER OR PERMIT AGENCY HAVING JURISDICTION, AT THE CONTRACTORS EXPENSE.
- CONTRACTOR TO COMPLY WITH ALL FEDERAL, STATE AND LOCAL TRENCH SAFETY REGULATIONS.



PERMITS REQUIRED

CITY OF FORT PIERCE

PERMIT#

NO.	REVISIONS	DATE

**PROPOSED
CONVENIENCE
STORE
TONY PHILLIP**

2502 & 2504 AVENUE M
FORT PIERCE, FL 34947

**SHEET TITLE
UTILITY NOTES & DETAILS**

DATE 08/27/2025	SHEET
SCALE N.T.S.	C-503
DRAWN BY L.S.	

PROJECT DATA:

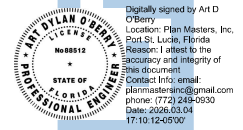
ADDRESS: 2502 AVENUE M FORT PIERCE, FL
 BUILDING AREA: 2799 SQ. FT. (ALLOWABLE: 9000 S.F. PER FBC TBL 506.2)
 OCCUPANCY CLASSIFICATION: GROUP M (PER FBC309.1)
 HAZARDOUS MATERIALS: NO HAZARDOUS MATERIALS TO BE STORED ON SITE
 OCCUPANCY LOAD: (PER FBC TBL 1004.5)
 MERCANTILE [1993 S.F.] @ 1/60 = 34 PEOPLE
 STORAGE [671 S.F.] @ 1/300 = 3 PEOPLE
 TOTAL OCCUPANTS = 37 PEOPLE
 TYPE OF CONSTRUCTION: V B
 FIRE SPRINKLERS: NOT PROPOSED
 BUILDING HEIGHT: 18' MAX (ALLOWABLE: 40' PER FBC TBL 504.3)
 NUMBER OF STORIES: 1 (ALLOWABLE: 1 STORY PER FBC TBL 504.4)

SITE PLAN REVIEW NOTE:

THESE PLANS HAVE BEEN PREPARED FOR SITE PLAN REVIEW PURPOSES ONLY. STRUCTURAL, ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION, AND ALL OTHER DISCIPLINE-SPECIFIC CONSTRUCTION DOCUMENTS ARE NOT PART OF THIS SUBMITTAL AND SHALL BE PROVIDED AS DEFERRED SUBMITTALS FOR SEPARATE BUILDING DEPARTMENT REVIEW AND PERMITTING.

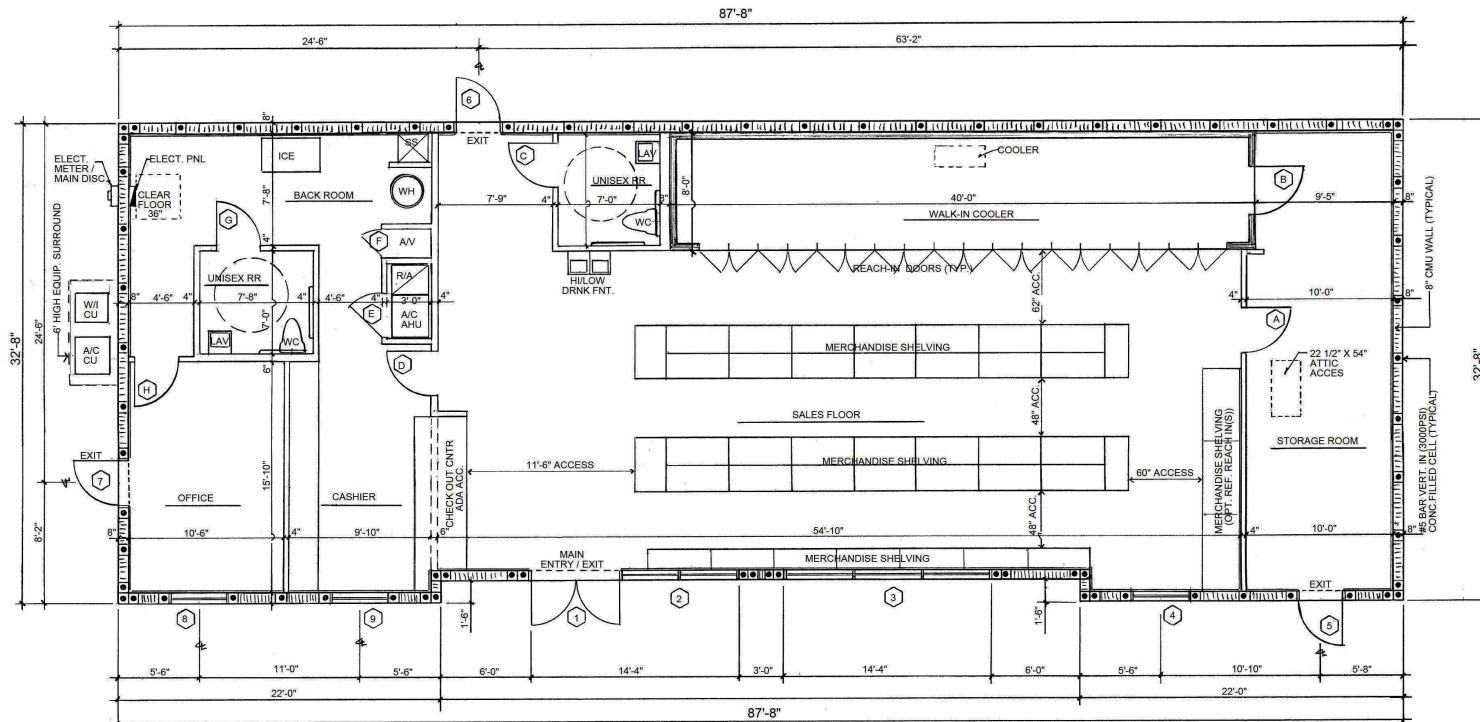
EXTERIOR SIGN:

EXTERIOR SIGNAGE IS NOT INCLUDED IN THIS SUBMITTAL AND IS PROPOSED AS A DEFERRED SUBMITTAL, AND SHALL BE DESIGNED, REVIEWED, AND PERMITTED SEPARATELY IN ACCORDANCE WITH APPLICABLE CITY OF FORT PIERCE SIGN REGULATIONS.



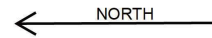
SCOPE OF WORK

CONSTRUCT A NEW STAND-ALONE, ONE-STORY COMMERCIAL CONVENIENCE STORE BUILDING, INCLUDING ASSOCIATED INTERIOR LAYOUT FOR RETAIL SALES AND SUPPORT SPACES, AND ARCHITECTURAL FACADE ELEMENTS AS SHOWN.



FLOOR PLAN

SCALE: 1/4" = 1'-0"



PLAN MASTERS INC.
 194 SW Billmore St. Suite #114 Fort St. Lucie, FL 34984
 Phone: (772) 248-9930 / Email: planmasterinc@gmail.com
CONVENIENCE STORE
 2502 AVENUE M FORT PIERCE, FL

SHEET #
 1
 2

EXTERIOR COLOR SELECTIONS

FROM CITY OF FORT PIERCE ARCHITECTURAL STANDARDS



Pantone Cool Gray 1 C

PRIMARY COLOR

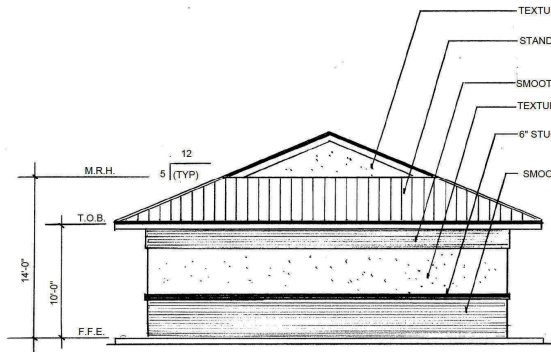


Pantone 2767 C

SECONDARY COLOR FOR 6" STUCCO BAND ONLY

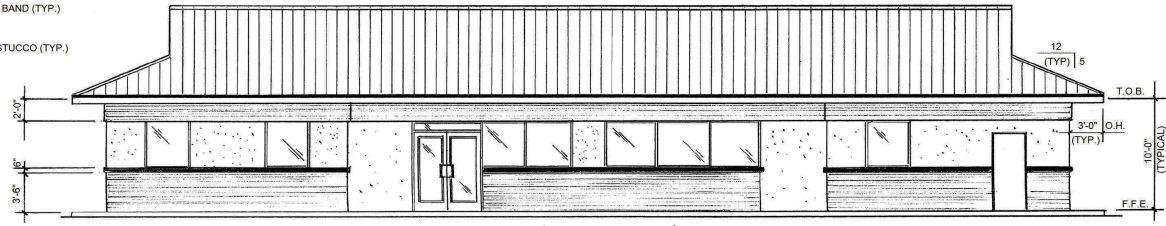
FORT PIERCE ARCHITECTURAL DESIGN STANDARDS COMPLIANCE STATEMENT:

THE PROPOSED ONE-STORY COMMERCIAL BUILDING HAS BEEN DESIGNED IN ACCORDANCE WITH THE CITY OF FORT PIERCE ARCHITECTURAL DESIGN STANDARDS. THE BUILDING SCALE, ROOF FORMS, AND PROPORTIONS ARE COMPATIBLE WITH SURROUNDING DEVELOPMENT AND PROVIDE AN APPROPRIATE STREET-ORIENTED PRESENCE. ARCHITECTURAL ARTICULATION, INCLUDING STUCCO FINISH VARIATION AND HORIZONTAL BANDING, IS PROVIDED ON ALL ELEVATIONS TO AVOID LARGE UNBROKEN WALL PLANES. DURABLE MATERIALS, INCLUDING STUCCO WALL SYSTEMS AND STANDING SEAM METAL ROOFING, ARE UTILIZED TO CREATE A COHESIVE ARCHITECTURAL CHARACTER. MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN COMPLIANCE WITH CITY REQUIREMENTS.



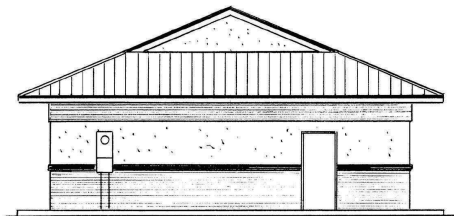
NORTH ELEVATION

SCALE: 3/16" = 1'-0"



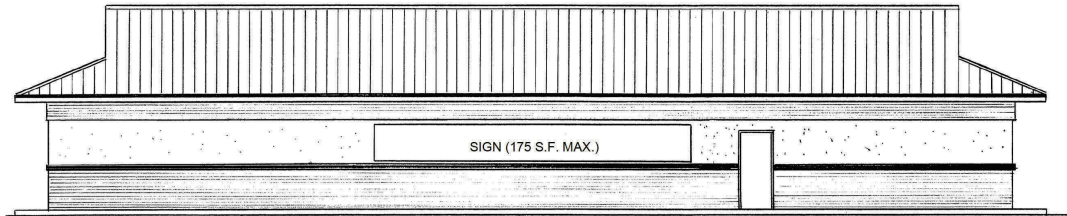
WEST ELEVATION

SCALE: 3/16" = 1'-0"



SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



EAST ELEVATION

SCALE: 3/16" = 1'-0"



LANDSCAPE SPECIFICATIONS

PART 1: GENERAL CONDITIONS

- 1.01 SCOPE:**
A. The landscape contract includes the supplying and planting of all trees, shrubs, vines, and ground cover together with all necessary labor, equipment, tools and materials needed for the successful completion, execution and maintenance of the landscape plans.
- 1.02 AGENCY STANDARDS:**
A. Grades and standards of plant materials to be used shall be true to name, size, condition and graded Florida #1 or better as stated in Grades and Standards of Florida Plant Materials published by the State of Florida Department of Agriculture, Tallahassee, Florida.
- 1.03 SITE EXAMINATION:**
A. The Landscape Contractor shall personally examine the site and fully acquaint himself with all of the existing conditions in order that no mis-understanding may afterwards arise as to the character or extent of the work to be performed, and additionally, in order to acquaint himself with all precautions to be taken in order to avoid injury to property or persons. No additional compensation will be granted because of any unusual difficulties which may be encountered in the execution or maintenance of any portion of the work.
- 1.04 ERRORS AND OMISSIONS:**
A. The plant list as a part of the drawings and is furnished as a convenience. The plant list indicates the name, size and quantities of specific plant materials as called for and is located on the drawings. The Landscape Contractor is responsible for his/her own quantity count, and any discrepancy between drawings and plant list shall be considered as correct on the drawings.
B. The Landscape Contractor shall not take advantage of errors or omissions in the specifications or contract drawings. Full instruction will be given if such errors are discovered. Upon the discovery of any discrepancies in, or omissions from the drawings or documents, or should the Landscape Contractor be in doubt as to their meaning, the Landscape Architect shall be notified and will determine the actions necessary to each query.
C. If plans and specifications are found to disagree after the contract is awarded, the Landscape Architect shall be the judge as to which was intended.
- 1.05 EXECUTION OF THE WORK:**
A. The Landscape Contractor shall have his labor crews controlled and directed by a Foreman well versed in plant materials, planting methods, reading blueprints, and coordination between job and nursery in order to execute installation correctly and in a timely manner.
B. The Landscape Contractor shall provide a competent English-speaking Foreman on the project at all times, who shall be fully authorized as the Contractor's agent on the work. The Superintendent shall be capable of reading and thoroughly understanding the Plans, Specifications and other Contract Documents. If the Superintendent is deemed incompetent by the Landscape Architect, he (the superintendent) shall be immediately replaced.
C. The Landscape Contractor shall be available for any meetings with the Owner and/or Landscape Architect during implementation of the job. Any additional work or changes required as a result of failure to communicate with the Owner or Landscape Architect during implementation will be the responsibility of the Landscape Contractor.

- 1.06 PROTECTION OF PUBLIC AND PROPERTY:**
A. The Landscape Contractor shall protect all materials and work against injury from any cause and shall provide and maintain all necessary safeguards for the protection of the public. He shall be held responsible for any damage or injury to persons or property which may occur as a result of his fault or negligence in the execution of the work, i.e. damage to underground pipes or cables.
- 1.07 CHANGES AND EXTRAS:**
A. The Contractor shall not start work on any changes or "extras" in the project until a written agreement setting forth the adjusted prices has been executed by the Owner and the Contractor. Any work performed on changes or "extras" prior to execution of a written agreement may or may not be compensated for by the Owner at his discretion.
- 1.08 GUARANTEE:**
A. The Landscape Contractor shall furnish a written guarantee warranting all materials, workmanship and plant materials, except sod, for a period of ONE (1) YEAR from the time of completion and acceptance by the Landscape Architect and Owner. Sod shall be guaranteed to 90 calendar days after acceptance by the Landscape Architect and Owner. All plant material shall be alive and in satisfactory condition and growth for each specific kind of plant at the end of the guarantee period. The guaranteeing of plant material shall be construed to mean complete and immediate replacement with plant material of the same variety, type, size, quality and grade as that of the originally specified material. During the guarantee period it shall be the Landscape Contractor's responsibility to immediately replace any dead or unhealthy material as determined by the Landscape Architect. The guarantee will be null and void if plant material is damaged by lightning, hurricane force winds, or any other acts of God, as well as vandalism or lack of proper maintenance.

- B. At the end of the specified guarantee period, any plant required under this contract that is dead or not in satisfactory condition, as determined by the Landscape Architect, shall be replaced. The Landscape Contractor shall be responsible for the full replacement cost of plant materials for the first replacement and share subsequent replacement (s) costs equally with the Owner, should the replacement plant fail to survive.

- 1.09 CARE AND MAINTENANCE:**
A. The Landscape Contractor shall be responsible for the care and maintenance of all plant materials and irrigation when applicable until final acceptance by the Owner or Landscape Architect.
B. The Owner agrees to execute the instructions for such care and maintenance.

- 1.10 SAFETY:**
A. It shall be the responsibility of the Landscape Contractor to protect all persons from injury and to avoid property damage. Adequate warning devices shall be placed and maintained during the progress of the work.
B. It shall be the contractor's responsibility to conform to all local, state, and federal safety laws and codes including the Federal Occupational Safety And Health Act (O.S.H.A.).

- 1.11 CONTRACTOR QUALIFICATION:**
A. The Owner may require the apparent contractor (s) to qualify himself/herself to be a responsible entity by furnishing any or all of the following documentary data:
1. A financial statement showing assets and liabilities of the company current to date.
2. A listing of not less than (3) completed projects of similar scope and nature.
3. Permanent name and address of place of business.
4. The number of regular employees of the organization and length of time the organization has been in business under the present name.

- 1.12 INSURANCE AND BONDING:**
A. The contractor (s) shall submit proof of insurance for this job for the time period that the work is done. The minimum amount of insurance shall be \$300,000.00 per person and \$300,000.00 per aggregate or as required by owner and agreed to in the contract. The successful bidder shall be required to have this coverage in effect before beginning work on the site.

- B. The Owner shall have the right to require the Contractor to furnish bonds covering faithful performance of the Contract and payment obligations arising thereunder as stipulated in bidding requirements or specifically required in the Contract Documents on the date of execution of the Contract.

- 1.13 PERMITS AND CERTIFICATES:**
A. All contractors shall secure and pay for all permits and certificates required for his/her class of work.

PART 2: MATERIALS

- 2.01 PLANT MATERIALS:**
A. A complete list of plants is shown on the drawings, including a schedule of quantities, sizes, and such other requirements deemed necessary. In the event discrepancies occur, the specifications on the drawings shall govern.
B. Substitutions: Substitutions of plant materials or changes in size or spacing of materials will be permitted ONLY upon written authorization by the Owner or the Landscape Architect. If plant material is not of sufficient size to meet applicable codes, a letter of variance from the appropriate agency must be obtained by the Contractor prior to issuance of any change order. If material of smaller size is to be accepted, the quantity of material shall be increased, at no additional cost to the Owner, to meet the intent of the drawings.
C. All plant materials shall have a habit of growth that is normal for the species and shall be healthy, vigorous and equal to or exceed the measurements specified in the plant list, which are the minimum acceptable sizes. Plants shall be measured before pruning with branches in normal position. Any necessary pruning shall be done at the time of planting.
D. All plant materials shall be nursery grown, unless otherwise noted, Florida #1 or better and shall comply with all required inspections, grading standards and plant regulations as set forth by the Florida Department of Agriculture's Grades and Standards for Nursery Plants, most current addition and Grades and Standards for Nursery Plants, most current addition.
E. Plants that do not have the normal balance of height and spread typical for the respective plant shall not be acceptable.
F. The Landscape Contractor shall install each plant to display its best side. Adjustments may be required if plants are not installed properly and/or approved by the Landscape Architect at no additional cost to owner.

- 2.02 INSPECTION:**
A. The Landscape Architect and Owner may inspect trees and shrubs at place of growth or at site before planting, for compliance with requirements for growth, species, variety, size and quality. The Landscape Architect and Owner retain the right to further inspect trees and shrubs for size and condition of balls and root systems, insects, injuries and latent defects, and to reject unsatisfactory or defective material at any time during progress of work. Rejected plant materials shall be immediately removed from project site.
- 2.03 PROTECTION OF PLANT MATERIALS:**
A. Balled and burlapped plants (B & B) shall be dug with firm natural balls of earth of sufficient diameter and depth to encompass the fibrous and feeding root system necessary for full recovery of the plant. Balls shall be firmly wrapped with burlap similar materials and bound with cord, rope, or wire mesh. All collected plants shall be balled and burlapped.
B. Plants with broken, damaged or insufficient rootballs will be rejected.
C. All plant material shall be protected from possible bark injury or breakage of branches. All plants transported by open trucks shall be adequately covered to prevent windburn, drying or damage to plants.
D. Plants which cannot be planted immediately on delivery to the site shall be covered with moist soil, mulch or other protection from the drying of wind and sun. All plants shall be watered as necessary by the Landscape Contractor until planted.

- 2.04 STORAGE:**
A. All plant materials shall be stored on the site in designated areas, specified by the Landscape Architect or Owner's agent.
B. No plant material shall be stored longer than seventy-two (72) hours unless approved by the Landscape Architect and/or owner.
C. The Landscape Architect reserves the right to reject any plant materials not in conformance with these specifications.
D. All rejected material shall be immediately removed from the site and replaced with acceptable material at no cost to the Owner.

- 2.05 PROTECTION DURING PLANTING:**
A. Trees moved by winch or crane shall be thoroughly protected from chain marks, girdling or bark slippage by means of burlap, wood battens or other approved methods. Battens shall NOT be attached to the tree with nails.
B. Thoroughly mixed 3 lbs. of commercial fertilizer to each cubic yard of planting soil.

- 2.06 PLANTING SOIL:**
A. Planting soil for all plantings shall consist of existing native soil and shall be free of debris, roots, clay, stones, plants or other foreign materials which might be a hindrance to planting operations or be detrimental to good growth.
B. FERTILIZER:
A. Commercial fertilizer shall comply with the state fertilizer laws. Nitrogen shall not be less than 40% from organic source. Inorganic chemical nitrogen shall not be derived from the sodium form of nitrate. Fertilizers shall be delivered to the site in unopened original containers, each bearing the manufacturer's guaranteed analysis. Any fertilizer that becomes caked or otherwise damaged shall be rejected.
B. Thoroughly mixed 3 lbs. of commercial fertilizer to each cubic yard of planting soil.

- C. Tableted fertilizer shall be Agriform planting tablets 20-10-5 formula, 21 gram or equal. All trees and shrubs shall be fertilized with tableted fertilizer as follows. While backfilling plant holes, fertilizer tablets shall be equally spaced and placed adjacent to the ball mid-way in depth in accordance with the following rates:
1 gallon container 1 tablet
3 gallon container 2 tablets
5 gallon container 3 tablets
7 gallon 5 tablets
Large tubs, wire baskets, grow bags, and balled and burlapped material shall have 1 tablet for each 1/2 inch of trunk diameter (measured 3 feet from ground) or for each foot of height or spread of larger shrub material. The Landscape Architect reserves the right to inspect and review the application of fertilizer.

- 2.08 MULCH:**
A. Mulch material shall be clean, dry, free of weeds, seeds and pests, moistened at the time of application to prevent wind displacement. Cypress or Red mulch is prohibited.
B. All trees and shrub beds shall receive 3" mulch immediately after planting and thoroughly watered, or as required by local jurisdiction. Apply 2" max on tree & palm rootballs, keep away from tree & palm trunks

PART 3: EXECUTION

- 3.01 DIGGING:**
A. The Landscape Contractor shall exercise care in digging and other work so as not to damage existing work, including overhead wires, underground pipes and cables and the pipes and hydrants of water systems. Should such overhead or underground obstructions be encountered which interferes with planting, the Owner shall be consulted and contractor will adjust the location of plants to clear such obstruction. The Contractor shall be responsible for the immediate repair of any damage caused by his work.
3.02 GRADING:
A. Grading for drainage, swales, etc. to within 4 inches of the finished grade to be provided by others.
B. It shall be the responsibility of the Landscape Contractor to provide the final grading during the course of landscape installation so as to bring sod and planting areas to their proper elevations in relation to walks, paving, drain structures, and other site conditions. The site grading plan must be checked prior to installation of sod to insure that drainage and other conditions will NOT be modified.
3.03 PLANTING:
A. Planting shall take place during favorable weather conditions.
B. The Contractor shall call for utility locations and ascertain the location of all utilities and easements so proper precautions can be taken not to damage or encroach on them.
C. Tree Planting shall be located where it is shown on the plan. No planting holes shall be dug until the proposed locations have been staked on the ground by the Contractor.
D. Excavation of holes shall extend to the required subgrades as specified on the planting diagrams located in the planting plans. Plant pits shall be circular in outline and shall have a profile which conforms to the aforementioned "Tree and Shrub Planting Diagrams".
E. A representative number of planting pits (a minimum of one in every 25 feet throughout the entire site) shall be tested for proper drainage. See Landscape Plan for complete testing methods and requirements.
F. Planting pits shall be excavated to the following dimensions and refilled with a mixture of (1/2) planting soil (1/2) existing native soil:
1 Gallon material (1 gal.); 12" x 12" x 12" min.
3 Gallon material (3 gal.); 20" x 20" x 18" min.
Lerio material (7 gal.); 30" x 30" x 24" min.
Field grow material and trees: 1-1/2 times width of ball and depth of ball plus 12" min.

- G. No planting or laying of sod shall be initiated until the area has been cleaned of existing sod or other plant materials, rough grass, weeds, debris, stones etc. and the ground has been brought to an even grade, with positive drainage away from buildings and towards drain inlets and swales and approved by Landscape Architect or owner's rep.
H. Each plant shall be planted in an individual hole as specified for trees, shrubs, and vines.
I. All plants shall be set to ultimate finished grade. No filling will be permitted around trunks or stems. All ropes, wire, stakes, etc., shall be removed from sides and top of the ball and removed from hole before filling in.
J. All flagging ribbon shall be removed from trees and shrubs before planting.
K. Excess excavation (fill) from all holes shall be removed from the site, at no additional expense to Owner.
L. All palms shall be backfilled with sand, thoroughly washed in during planting operations and with a shallow saucer depression left at the soil line for future waterings. Saucer areas shall be top-dressed two (2") inches deep with topsoil raked and left in a neat, clean manner.

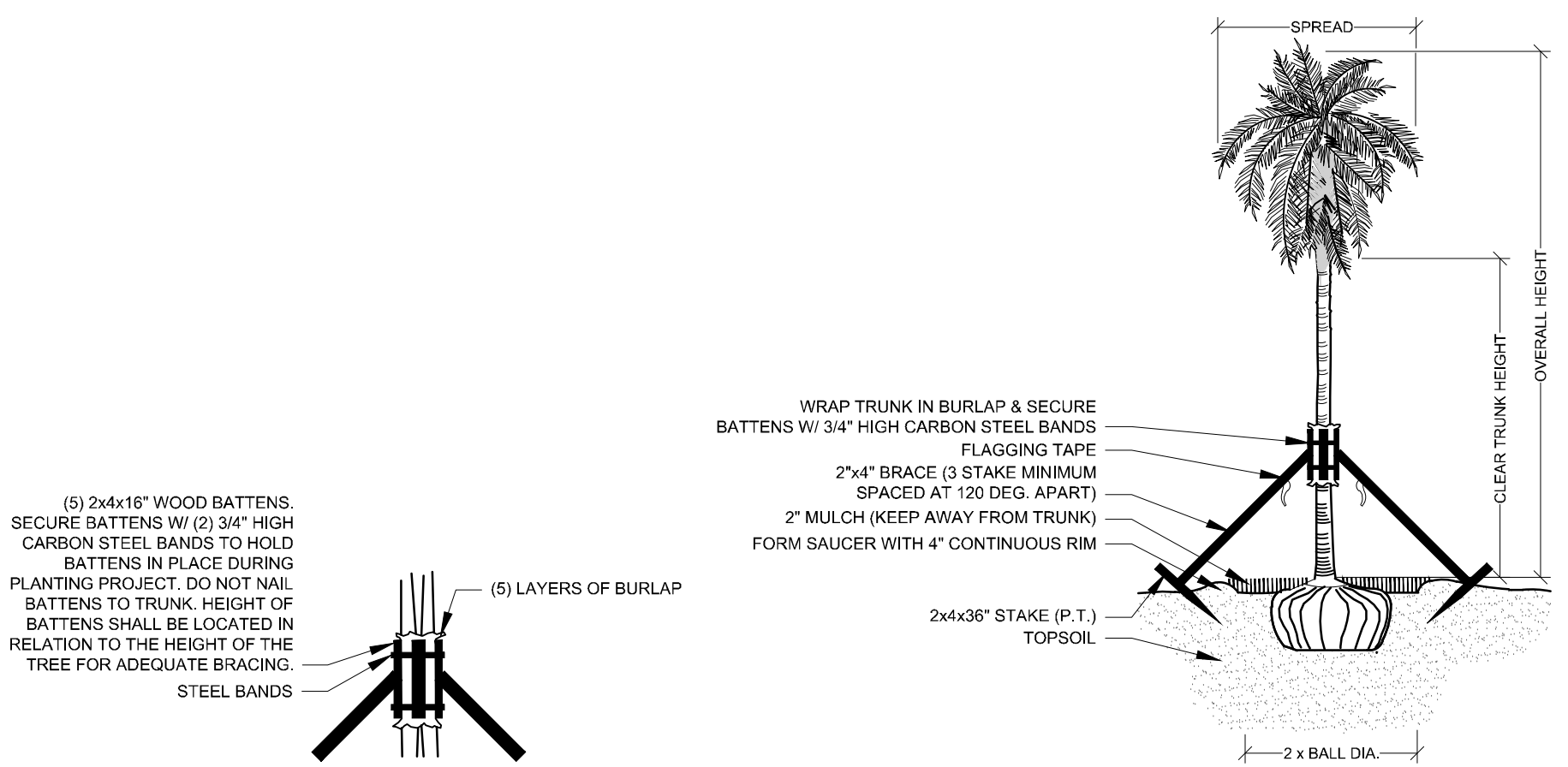
- 3.04 PRUNING:**
A. Remove dead and broken branches from all plant material. Prune to retain typical growth habit of individual plants with as much height and spread as possible in a manner which will preserve the plant's natural character.
B. Make all cuts with sharp instruments flush with trunk or adjacent branch, in such a manner as to insure elimination of stubs. Cuts made at right angles to line of growth will not be permitted.
C. Trees shall not be poled or topped.
D. Remove all trimmings from site.

- 3.05 GUYING:**
A. All trees over six (6) feet in height shall, immediately after setting to proper grade, be guyed with three sets of two strands, No. 12 gauge malleable galvanized iron, in tripod fashion. See Detail.
B. Wires shall not come in direct contact with the tree but shall be covered with an approved protection device at all contact points. Wires shall be fastened in such a manner as to avoid pulling crotches apart.
D. Stake & Brace all trees larger than 12" db. See detail. Stakes shall be 2" x 2" lumber of sufficient length to satisfactorily support each tree.
E. Turnbuckles for guying trees shall be galvanized or cadmium plated and shall be of adequate size and strength to properly maintain tight guy wires.
3.06 WATER:
A. Each plant or tree shall be thoroughly watered in after planting. Watering of all newly installed plant materials shall be the responsibility of the Landscape Contractor until final acceptance by the Landscape Architect.
B. See General Notes of Landscape Plan for water source.

- 3.07 SOD:**
A. The Landscape Contractor shall sod all areas indicated on the drawings.
B. It shall be the responsibility of the Landscape Contractor to fine grade all landscape areas, eliminating all bumps, depressions, sticks, stones, and other debris.
C. The sod shall be firm, tough texture, having a compacted growth of grass with good root development. It shall contain no noxious weeds, or any other objectionable vegetation, fungus, insects, or disease. The soil embedded in the sod shall be good clean earth, free from stones and debris.
D. Before being cut and lifted, the sod shall have been mowed at least three times with a lawn mower, with the final mowing not more than seven days before the sod is cut. The sod shall be carefully cut into uniform dimensions.
E. 6-6-6 fertilizer with all trace elements is to be applied at the rate of 40 lbs. per 1,000 sq. ft. prior to laying sod.
F. Solid sod shall be laid with closely abutting, staggered joints with a tamped or rolled, even surface.
G. The finished level of all sod areas after settlement shall be one (1") inch below the top of abutting curbs, walks, paving and wood borders to allow for building turf.
H. If in the opinion of the Landscape Architect, top dressing is necessary after rolling, clean yellow sand will be evenly applied over the entire surface and thoroughly washed in.

- 3.08 SEEDING:**
A. The Landscape Contractor shall remove all vegetation and rocks larger than (1") in diameter from areas to be seeded, scarify the area, then apply fertilizer at a rate of 500 lbs. per acre.
B. Application: Argentine Bahia Grass seed - 200 Pounds per acre mixed with common hulled Bermuda seed - 30 lbs. per acre. All other seed mixtures shall be applied per the manufacturer's instructions.
C. Roll immediately after seeding with a minimum 500 pound roller, then apply straw mulch at the rate of 2,500 pounds per acre.
D. Apply fertilizer at the rate of 150 lbs. per acre 45-60 days after seeding.

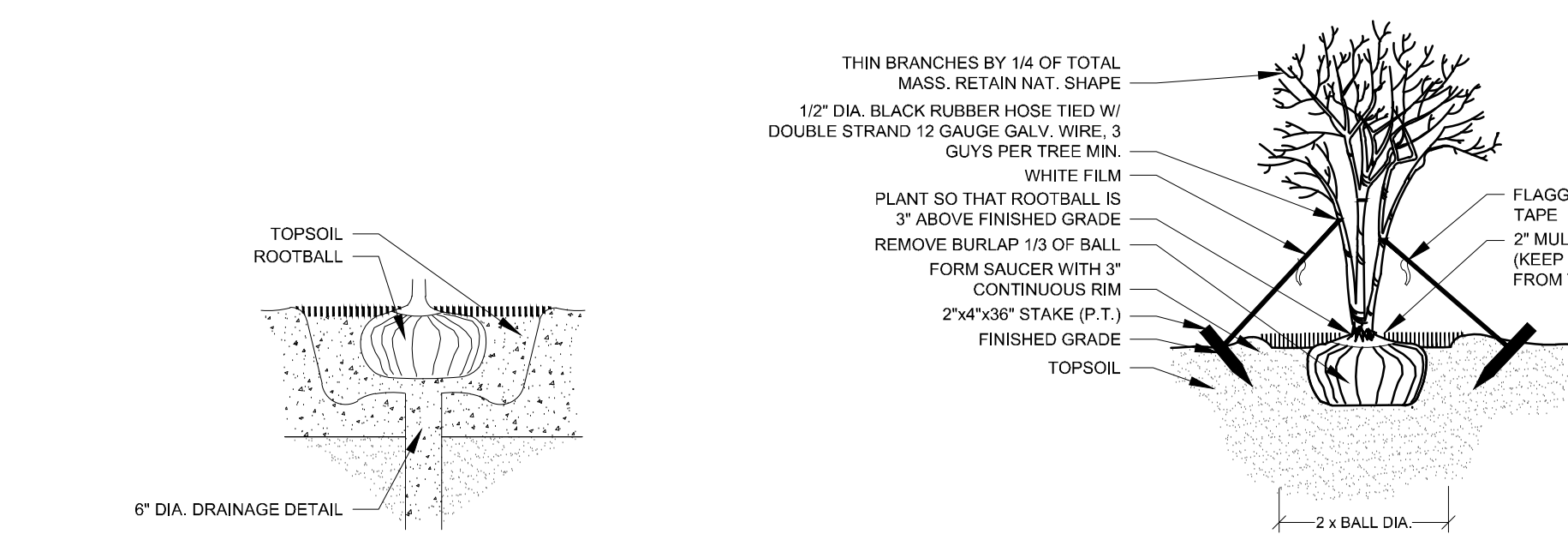
- 3.09 CLEANING UP:**
A. The contractor shall at all times keep the premises free from accumulations of waste materials or rubbish caused by his employees or work. He shall leave all paved areas "broom clean" when completed with his work.
3.10 MAINTENANCE:
A. Maintenance shall begin immediately after each plant is installed and shall continue until all planting has been accepted by the Owner or Landscape Architect. Maintenance shall include watering, weeding, removal of dead materials, resetting plants to proper grades or upright positions, spraying, restoration of planting saucer and/or any other necessary operations.
B. Proper protection to lawn areas shall be provided and any damage resulting from planting operations shall be repaired promptly.
C. Replacement of plants during the maintenance period shall be the responsibility of the Contractor, excluding vandalism or damage on the part of others, lighting, or hurricane force winds, until final acceptance.
D. In the event that weeds or other undesirable vegetation become prevalent, it shall be the Contractor's responsibility to remove them.
E. Trees or other plant material which fall or are blown over during the maintenance period will be reset by the Contractor at no additional expense to the Owner, the only exception being hurricane force winds.
3.11 COMPLETION, INSPECTION AND ACCEPTANCE:
A. Completion of the work shall mean the full and exact compliance and conformity with the provisions expressed or implied in the Drawings and in the Specifications, including the complete removal of all trash, debris, soil or other waste created by the Landscape Contractor.
B. Inspection of work to determine completion of contract, exclusive of the possible replacement of plants, will be made by the Owner and/or Landscape Architect at the conclusion of all planting and at the request of the Landscape Contractor.
C. All plant material shall be alive and in good growing condition for each specified kind of plant at the time of acceptance. The rating of each plant according to Florida Grades and Standards shall be equal to or better than that called for on the plans and in these Specifications at the time of final inspection and acceptance.
D. After inspection, the Landscape Contractor will be notified by the Owner of the acceptance of all plant material and workmanship, exclusive of the possible replacement of plants subject to guarantee.



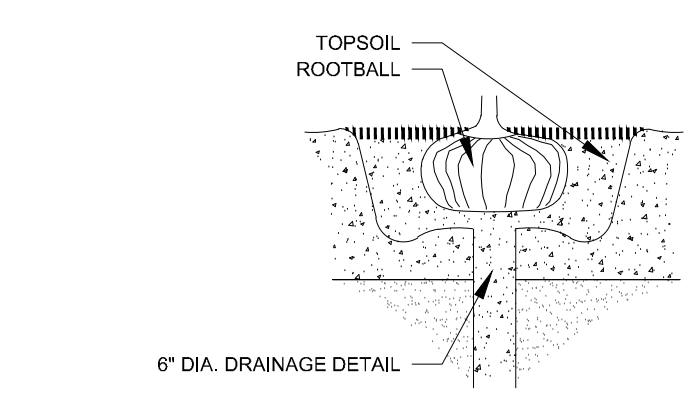
PALM PLANTING - ANGLE STAKE
NOT TO SCALE



BRACING DETAIL
NOT TO SCALE



MULTI-TRUNK PLANTING & GUYING
NOT TO SCALE

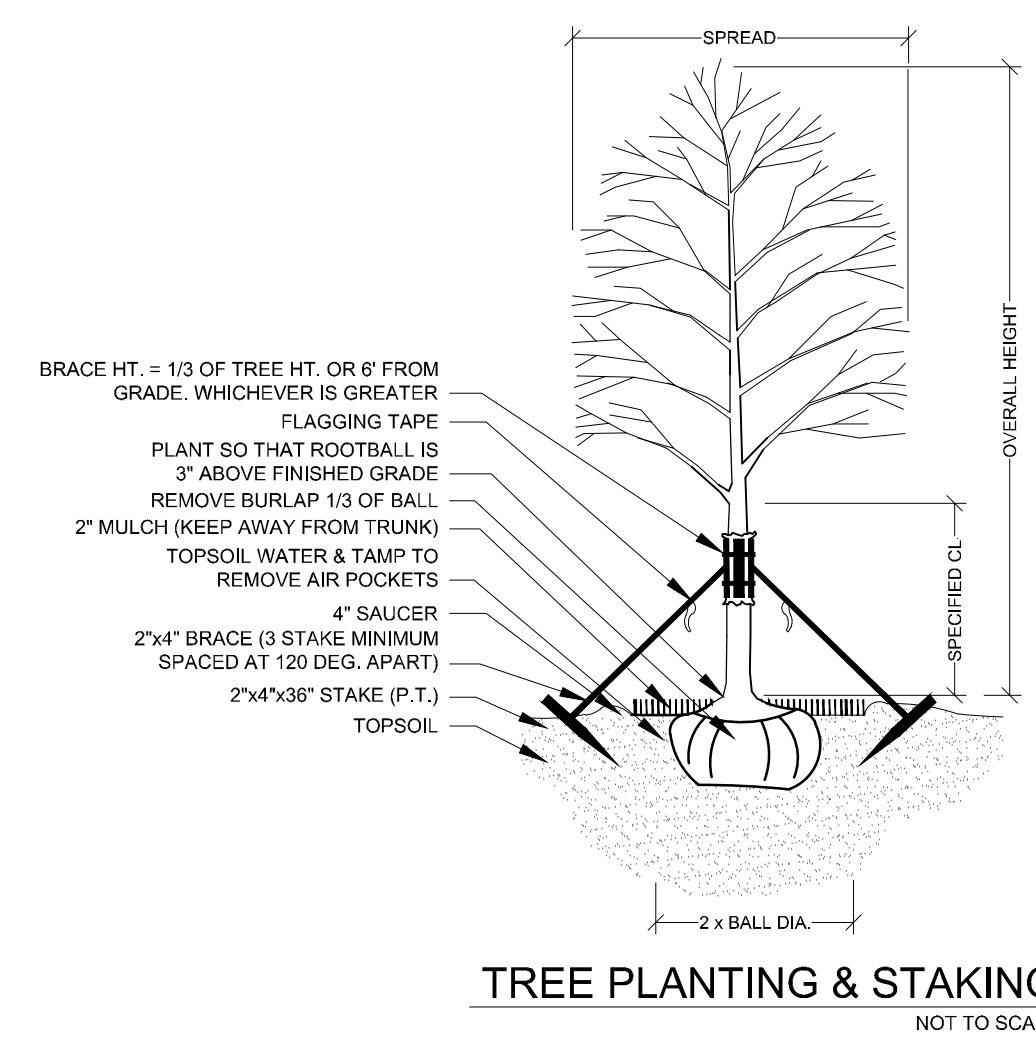


DRAINAGE TESTING DETAIL
NOT TO SCALE

DRAINAGE TESTING/DRAINAGE CHANNEL REQUIREMENTS.

PRIOR TO PLANTING, ALL PLANTING PITS SELECTED FOR TESTING SHALL BE TESTED IN THE FOLLOWING MANNER:

- A. DIG EACH PLANTING PIT TO THE MINIMUM SPECIFIED SIZE.
B. FILL PLANTING PIT WITH TWELVE INCHES (12") OF WATER. IF THE WATER LEVEL DROPS FOUR (4") OR MORE WITHIN FOUR (4) HOURS, THE DRAINAGE IS SUFFICIENT AND A DRAINAGE CHANNEL IS NOT REQUIRED. IF THE WATER LEVEL DROPS LESS THAN FOUR INCHES (4") WITHIN THE FOUR (4) HOUR PERIOD, A DRAINAGE CHANNEL IS REQUIRED.
C. WHERE REQUIRED, THE DRAINAGE CHANNEL MUST EXTEND DOWN THROUGH THE NON POROUS SOIL AND INTO POROUS SOIL. (SEE DETAIL).
D. ALL MATERIAL REMOVED FROM THE DRAINAGE CHANNEL SHALL BE DISCARDED.
E. WHEN BACKFILLING PLANTING PITS WITH NATIVE TOPSOIL, CARE MUST BE TAKEN TO KEEP THE CONSISTENCY OF THE SOIL MIX THE SAME THROUGHOUT THE PLANTING PIT AND DRAINAGE CHANNEL.
F. BRACE HT. - 1/3 OF TREE HT. OR 6' FROM GRADE, WHICHEVER IS GREATER.
G. FLAGGING TAPE PLANT SO THAT ROOTBALL IS 3\"/>

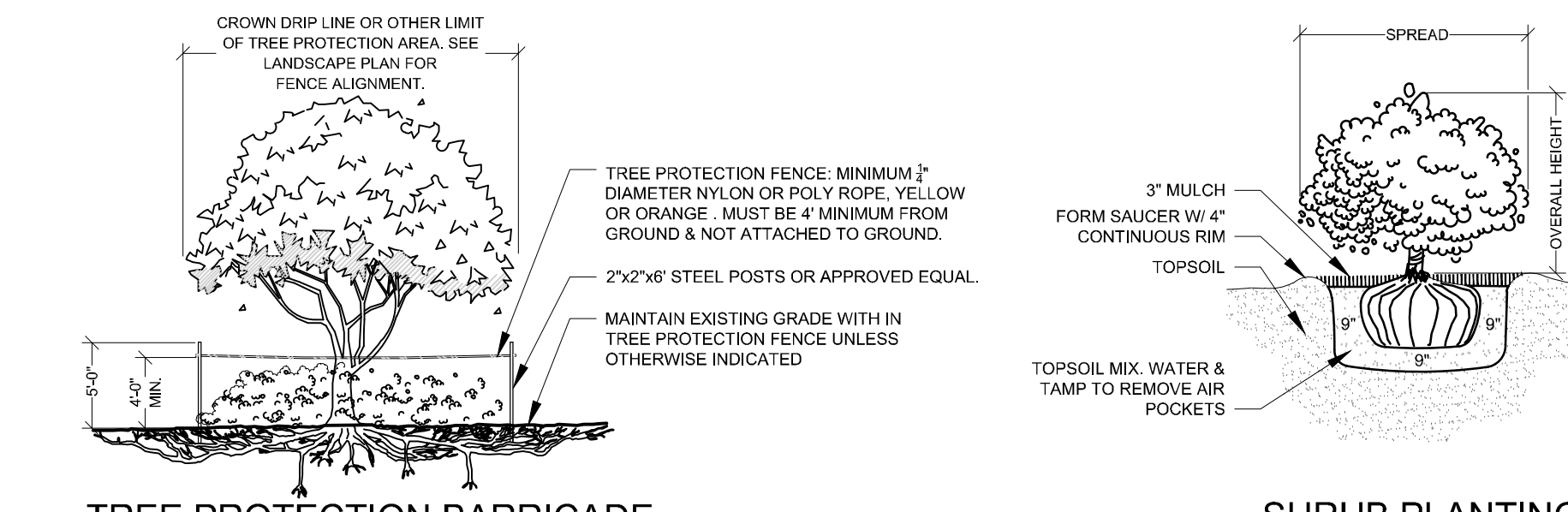


TREE PLANTING & STAKING
NOT TO SCALE

DRAINAGE TESTING/DRAINAGE CHANNEL REQUIREMENTS

PRIOR TO PLANTING ALL PLANTING PITS SELECTED FOR TESTING SHALL BE TESTED IN THE FOLLOWING MANNER:

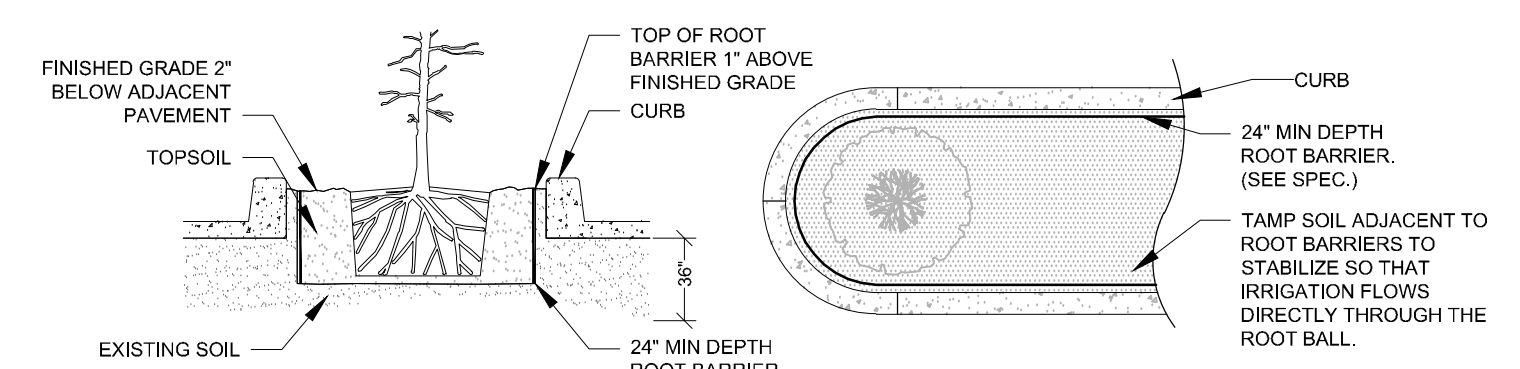
- A. DIG EACH PLANTING PIT TO THE MINIMUM SPECIFIED SIZE.
B. FILL PLANTING PIT WITH TWELVE INCHES (12") OF WATER. IF THE WATER LEVEL DROPS FOUR (4") OR MORE WITHIN FOUR (4) HOURS, THE DRAINAGE IS SUFFICIENT AND A DRAINAGE CHANNEL IS NOT REQUIRED. IF THE WATER LEVEL DROPS LESS THAN FOUR INCHES (4") WITHIN THE FOUR (4) HOUR PERIOD, A DRAINAGE CHANNEL IS REQUIRED.
C. WHERE REQUIRED, THE DRAINAGE CHANNEL MUST EXTEND DOWN THROUGH THE NON POROUS SOIL AND INTO POROUS SOIL. (SEE DETAIL).
D. ALL MATERIAL REMOVED FROM THE DRAINAGE CHANNEL SHALL BE DISCARDED.
E. WHEN BACKFILLING PLANTING PITS WITH PLANTING MIXTURE, CARE MUST BE TAKEN TO KEEP THE CONSISTENCY OF THE SOIL MIX THE SAME THROUGHOUT THE PLANTING PIT AND DRAINAGE CHANNEL.



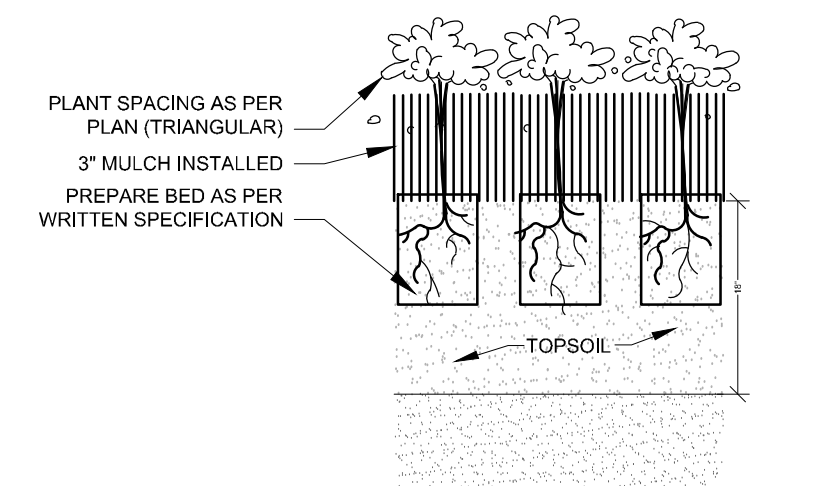
TREE PROTECTION BARRICADE
NOT TO SCALE

SHRUB PLANTING
NOT TO SCALE

- NOTES:
1- SEE LANDSCAPE PLAN FOR FENCE ALIGNMENT.
2- NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
3- NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.



SPECIAL APPLICATIONS ROOT BARRIER DETAIL
NOT TO SCALE



GROUNDCOVER PLANTING DETAIL
NOT TO SCALE

Project Team
Landscape Architect:
LAS LANDSCAPE ARCHITECTURAL SERVICES, LLC
Brandon White | Owner
772-834-1357 | brandon@las-fl.com
Paul Goulas | Owner
772-631-8400 | paul@las-fl.com
1708 SE Joy Haven Street
Port St. Lucie, FL 34983
Civil Engineer:
Dylan O'Berry, P.E.
Art of Engineering.
Port St. Lucie, Florida
722-203-0664
dylan@artofengineering.net

Proposed Convenience Store
2502 Avenue M, Fort Pierce, FL 34947
Details & Specifications

Revisions			
Date	Init.	Description	Initial
03.09.26	BW		Initial Submittal

REGISTERED LANDSCAPE ARCHITECT
PAUL A. GOULAS
LA 6668807
STATE OF FLORIDA
PAUL GOULAS, RLA
FLORIDA REG. # LA6668807

Drawn By: BW
Checked By: BW
Municipal Project:
Scale:
NORTH
SCALE: 1" = NTS
0 0 0
LS-2



Symbol	Qty	Label	(MANUFAC)	Description	Arr. Lum. Lumens	LLF	Lum. Watts	Total Watts
	1	SA	Gardco	ECF-S-32L-365-NW-G2-3-HIS POLE MOUNT 20' AFG	4518	0.900	40	40
	1	SB	Gardco	ECF-S-32L-1A-NW-G2-3-HIS POLE MOUNT 20' AFG	10665	0.900	105.6	105.6

Label	CalcType	Units	Avg	Max	Min	Avrg/Min	Max/Min
PROPERTY LINE	Illuminance	Fc	0.12	0.5	0.0	N.A.	N.A.
SITE & PARKING_Planar	Illuminance	Fc	1.64	4.0	0.5	3.28	8.00
EXTERIOR EGRESS PATH	Illuminance	Fc	2.53	3.6	1.5	1.69	2.40

Site and Area

EcoForm

ECF-S small area light

Gardco EcoForm Gen-2 combines economy with performance in an LED area luminaire. Capable of delivering up to 27,800 lumens or more in a compact, low profile LED luminaire, EcoForm offers a new level of customer value. EcoForm features an innovative retrofit arm kit, simplifying site conversions to LED by eliminating the need to drill additional holes in most existing poles. Integral control systems available for further energy savings. Includes Service Tag, our innovative way to provide assistance throughout the life of the product.

Project: _____
 Location: _____
 Date: _____
 Type: _____
 Lamp: _____
 Notes: _____

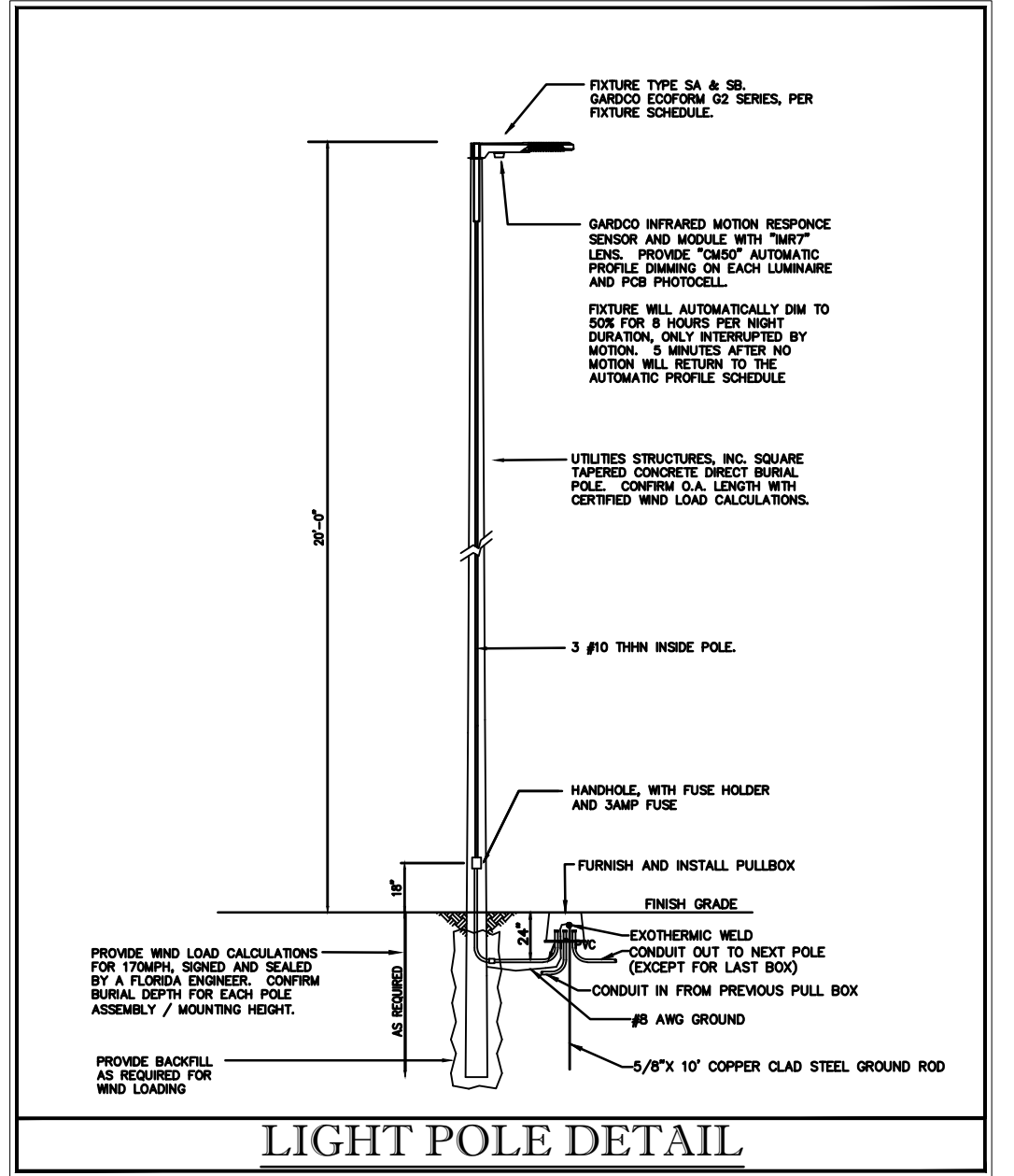
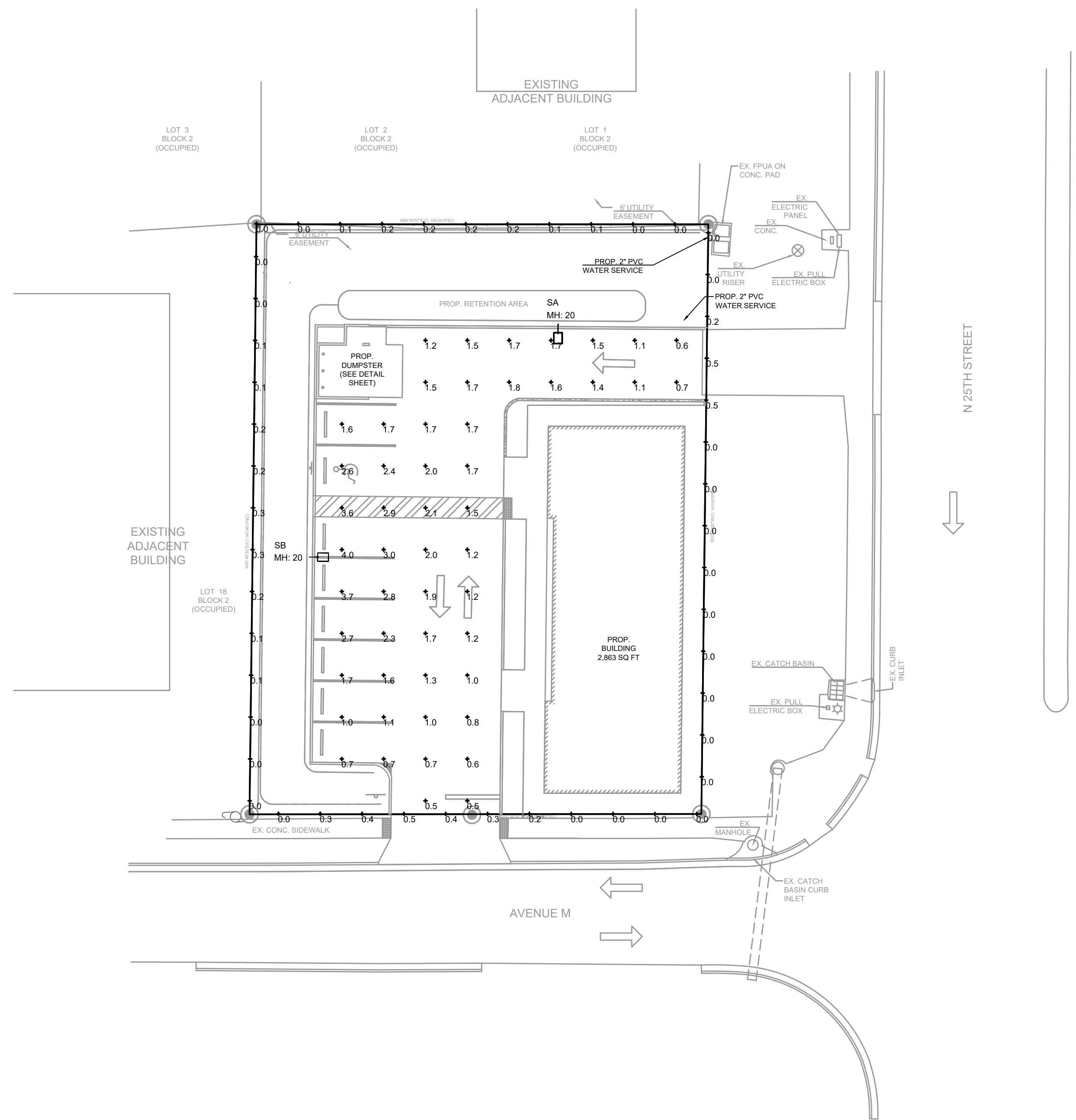
Ordering guide Example: ECF-S-64L-900-NW-G2-AR-S-100-HIS-MOY

Profile	Number of LEDs	Drive Current	LED Color - Generation	Mounting	Distribution	Voltage
ECF-S EcoForm site and area	32 LEDs (2 rows)	888 mA	3000K, Type 2	Area Mount (standard)	Type 2	120V
	500 mA	1000mA	3000K, Type 2	Area Mount (standard)	Type 2	240V
	1000mA	1000mA	3000K, Type 2	Area Mount (standard)	Type 2	480V
	15A	1000mA	3000K, Type 2	Area Mount (standard)	Type 2	277V
	48 LEDs (2 rows)	900mA	3000K, Type 2	Area Mount (standard)	Type 2	120V
	1A	1000mA	3000K, Type 2	Area Mount (standard)	Type 2	240V
	1.5A	1000mA	3000K, Type 2	Area Mount (standard)	Type 2	480V
	64 LEDs (2 rows)	900mA	3000K, Type 2	Area Mount (standard)	Type 2	120V
	1A	1000mA	3000K, Type 2	Area Mount (standard)	Type 2	240V
	1.5A	1000mA	3000K, Type 2	Area Mount (standard)	Type 2	480V

Ordering options: _____

Options: _____

Notes: _____



SITE PHOTOMETRIC PLAN

1"=30'-0"

date	revision

PRECISION TECHNICAL
 FORT PIERCE, FL 34979
 JohnM@ptllc.com
 772-528-0416

project title: **CONVENIENCE STORE SITE LIGHTING**
 2502 AVENUE M, FORT PIERCE, FL

sheet title: **SITE PHOTOMETRIC PLAN**

proj. no.: 2026-0007
 project manager: JM

scale: AS NOTED
 date: 02/11/2026

sheet

E1.1



Engineering & Planning, Inc.

1172 SW 30th Street, Suite 500 • Palm City • Florida • 34990

(772) 286-8030 • www.mackenzieengineeringinc.com

Traffic Statement

To: City of Fort Pierce Public Works Department
From: Shaun G. Mackenzie, P.E.
Date: March 2, 2026
Re: Tony Philip Convenience Store - Traffic Study Methodology

City of Fort Pierce Acceptance

The Tony Philip Convenience Store Traffic Study Methodology was

Approved on _____, 20__ by _____

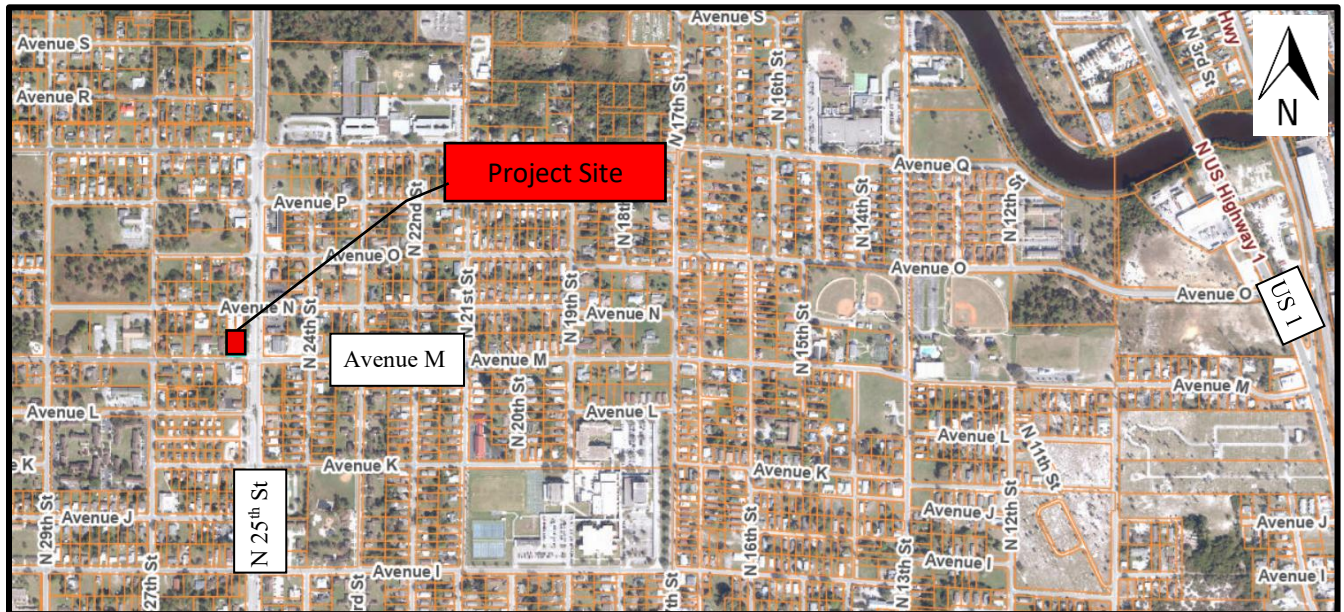
INTRODUCTION

MacKenzie Engineering and Planning, Inc. (MEP) was retained by Art of Engineering, Inc. to perform a traffic analysis for Tony Philip Convenience Store. The existing property is located at 2502 Avenue M, Fort Pierce, FL 34947 (Parcel ID: 2405-524-0039-000-0). The applicant proposes to construct a 2,799 SF Convenience Store. The buildout year is 2031.

The methodology was prepared in accordance with the Standardized Transportation Impact Studies (TIS) Methodology and procedures (STIP) (Updated August 2023). We are submitting the information to the City of Fort Pierce Public Works Department for review, and upon approval, will continue with the traffic analysis.

Figure 1 illustrates the proposed development location.

Figure 1: Proposed Site Location



TRIP GENERATION

Trip Generation

The study uses trip generation rates for Convenience Store (ITE Land Use 851) published in the Institute of Transportation Engineering's (ITE) manual, *Trip Generation Manual (12th Edition)*.

Proposed Use

The proposed project is expected to generate the following net external trips:

- 828 daily, 87 AM peak hour (44 in/43 out), and 66 PM peak hour (34 in/32 out) trips.

The proposed project is expected to generate the following driveway trips:

- 1,690 daily, 178 AM peak hour (89 in/89 out), and 135 PM peak hour (69 in/66 out) trips.

Internal Capture Rate

Internal capture is 0.

Pass-by Rate Factor

The proposed pass-by capture of 51% is used for the Convenience Store (ITE Land Use 851).

INVENTORY & PLANNING DATA

Availability / Use of County & State Data

MEP will obtain count data, use FDOT's Florida Traffic Online traffic counts, and supplement from the St. Lucie County TPO Traffic Counts and Level of Service Report (2025) for current traffic counts. Counts from 2024, 2025, or 2026 will be used.

Procedures for Intersection Analysis

MEP will utilize the software identified in the STIP.

STUDY AREA

Traffic Distribution / Assignment Technique and Approach

The traffic assignment was developed based upon PM traffic counts. As shown in Exhibit 9 (PDF Page 20), 49 percent travel north, 41 percent south, 4 percent west, and 6 percent east based on PM peak hour traffic counts at N 25th Street and Avenue M. The overall assignment is shown in Exhibit 3.

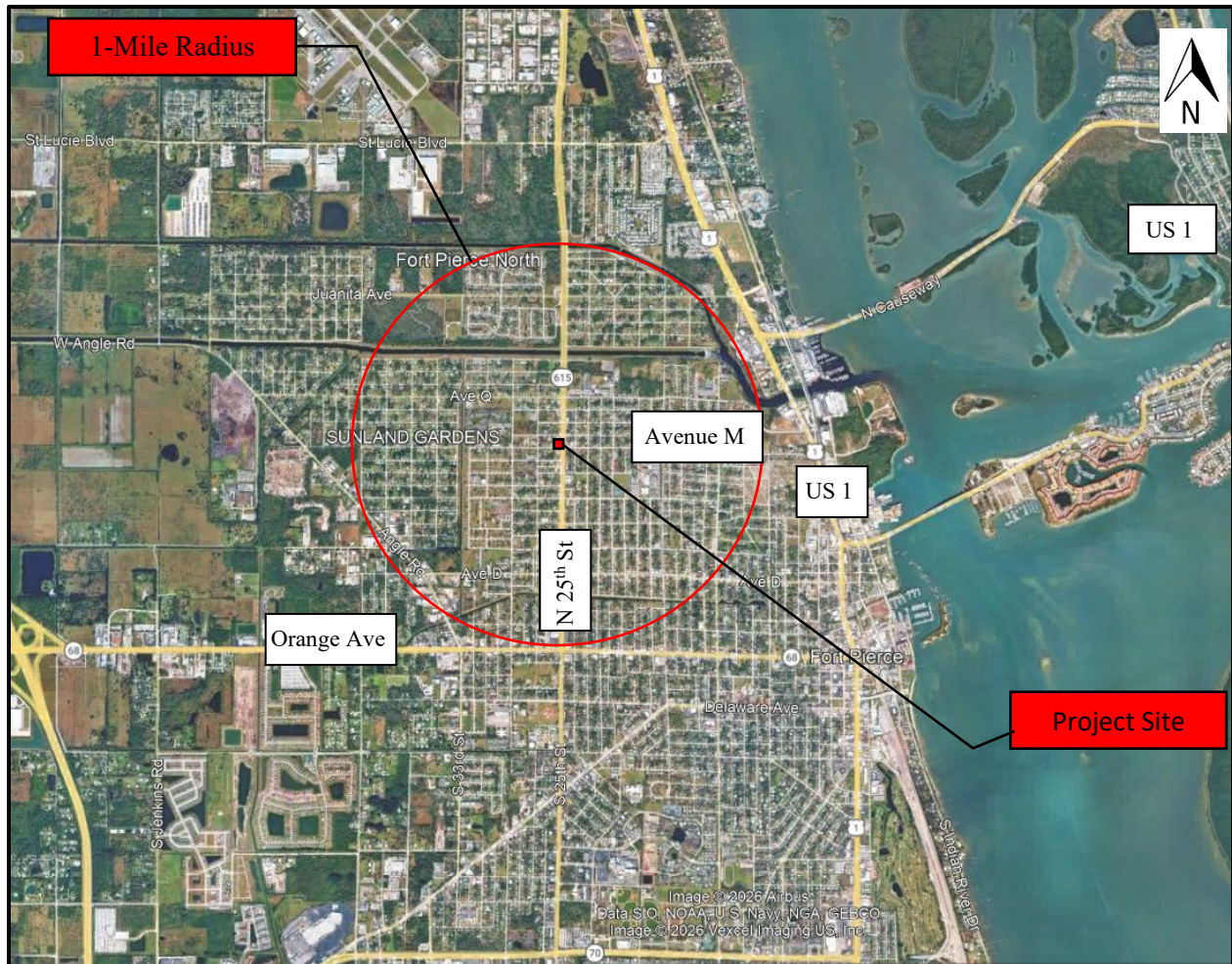
Radius of Impact (ROI)

Based on the STIP, Appendix B, the area of influence for transportation concurrency is 1 mile. City of Fort Pierce LDC evaluates concurrency based on the new external daily trips on the surrounding roads. Figure 2 illustrates the one-mile radius.

In addition, the study will analyze impacted roadways, which are any Major Road Segment on which the peak-hour project traffic consumes more than 1 percent of the roadway capacity within the ROI or 5 (five) percent or more of the existing or committed peak-hour peak direction service capacity (consistent with the STIP) outside the ROI.

Based on the significance analysis shown in Exhibit 5, the study will analyze N 25th Street Avenue M to Avenue Q.

Figure 2. One Mile (1 Mile) Radius Map



Study Intersections

The project will study the following intersections:

1. S 25th Street & Avenue M

Intersections will be analyzed using the HCM methodology using Synchro 12. Right-turns on red, as estimated by Synchro 12, will be utilized in the study.

ROADWAY ANALYSIS

Roadway Analysis

MEP will utilize AM & PM peak-hour traffic data for each roadway segment within the study area. The traffic data for each segment will be compared with the service volumes for each respective segment to determine if adequate capacity is available on each roadway segment.

Historical Growth Rate

Historic growth rates were developed based on available FDOT Traffic Online data. The historic annual growth on the surrounding facilities between 2020 and 2024 is -0.7%. Therefore, a conservative growth rate of 2.5% was used for this analysis. Data showing the growth calculations are contained in Exhibit 4.

Service Volume

MEP will utilize the TPO service volumes on all non-state study roadways. State improved or unclassified roads will utilize Service Volumes from FDOT's 2023 Multimodal Quality/Level of Service Handbook.

Background Traffic

Background traffic identifies how the study area's transportation system is forecast to operate in the buildout year. This includes traffic growth that is associated with the general (historic) growth in the area and the growth due to the development of unbuilt portions of approved major developments. The existing peak hour traffic volumes will be increased based on the greater of the annual compound growth rate or committed traffic plus 1 percent annual growth to develop the projected year 2031 background traffic volumes.

The following approved or nearly approved projects and their traffic were included in the analysis based on the Engineers' knowledge of the area and a review of the County and City of Fort Pierce Approved/Proposed Project GIS websites:

- Causeway Cove
- Millcreek
- Eagle Bend

Segment Analysis

Should an arterial analysis become necessary, an arterial analysis will be performed using the most current version of Synchro V12. The green times, cycle lengths, and volumes will be provided by St. Lucie County Traffic Timing Data or field-obtained signal timing results.

DRIVEWAY ANALYSIS

Site Access

The proposed conceptual site plan has been provided by the owner and is located in the Appendix. The project proposes the following driveways:

- Existing Driveway 1 (N 25th Street) – Right-in/Right-out only
- Proposed Driveway 2 (Avenue M) – Full opening

All full openings will be analyzed during AM & PM peak hours. All driveways connected to State or County facilities will be evaluated for turn lanes. Ingress right and left turn lane analysis at the project driveway will be performed using National Cooperative Highway research Program (NCHRP) Report 457.

COMMITTED IMPROVEMENTS

Based on review of FDOT's 5-Year Work Program and the St. Lucie TPO's Transportation Improvement Program, which includes St. Lucie County's 5-Year Capital Improvement Plan. No improvement is identified in the plans to add capacity within the study area.

APPENDIX

1. Trip Generation
2. Driveway Figure
 - A. Net Change in Trips
 - B. Pass-By Trips
 - C. Total Driveway Trips
3. Assignment Map
4. Growth Rate Calculation
5. Projected Roadway Significance (Study Roads)
6. ITE Pass-By Rates
7. FDOT's Traffic Data
 - a. Annual Average Daily Traffic Report (2024)
8. FDOT's Q/LOS – Manual 2023
9. Traffic Counts
10. ITE Land Use 851
11. Site Plan

Exhibit 1: Trip Generation

Land Use	Intensity	Daily Trips	AM Peak Hour			PM Peak Hour		
			Total	In	Out	Total	In	Out
Proposed Traffic								
Convenience Store	2.799 1000 SF	1,690	178	89	89	135	69	66
Subtotal		1,690	178	89	89	135	69	66
Pass-By Traffic								
Convenience Store	AM 51.0% PM 51.0%	862	91	45	46	69	35	34
Subtotal		862	91	45	46	69	35	34
NET CHANGE IN TRIPS (FOR THE PURPOSES OF CONCURRENCY)		828	87	44	43	66	34	32
NET CHANGE IN DRIVEWAY VOLUMES		1,690	178	89	89	135	69	66

Note: Trip generation was calculated using the following data:

Land Use	ITE Code	Unit	Daily Rate	Pass-by Rate	AM Peak Hour		PM Peak Hour	
					in/out	Rate	in/out	Equation
Convenience Store	851	1000 SF	T = 1042.07(X) - 1227.13	51%	50/50	63.76	51/49	48.3

Exhibit 2A: Net Change in Driveway Trips

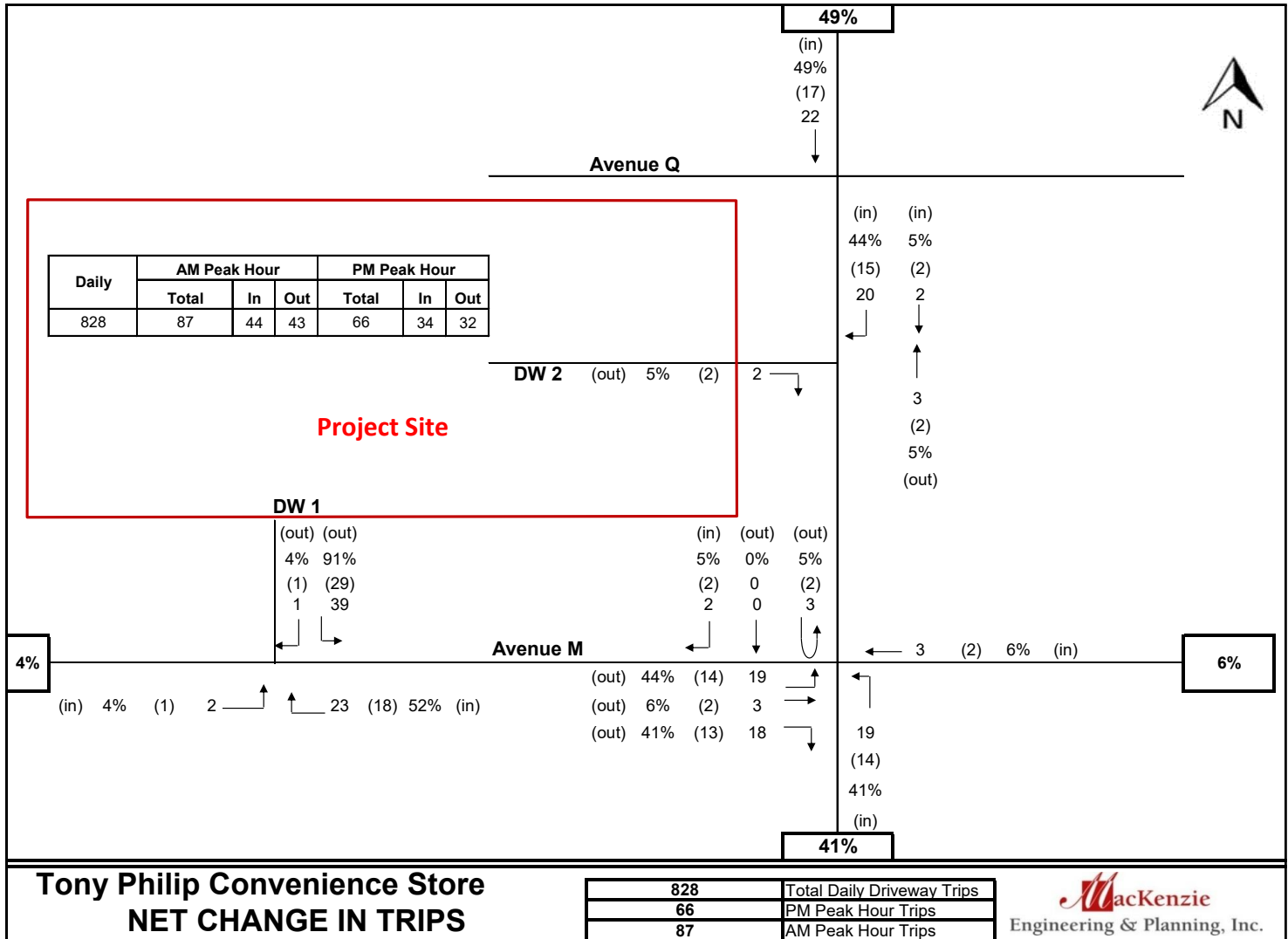
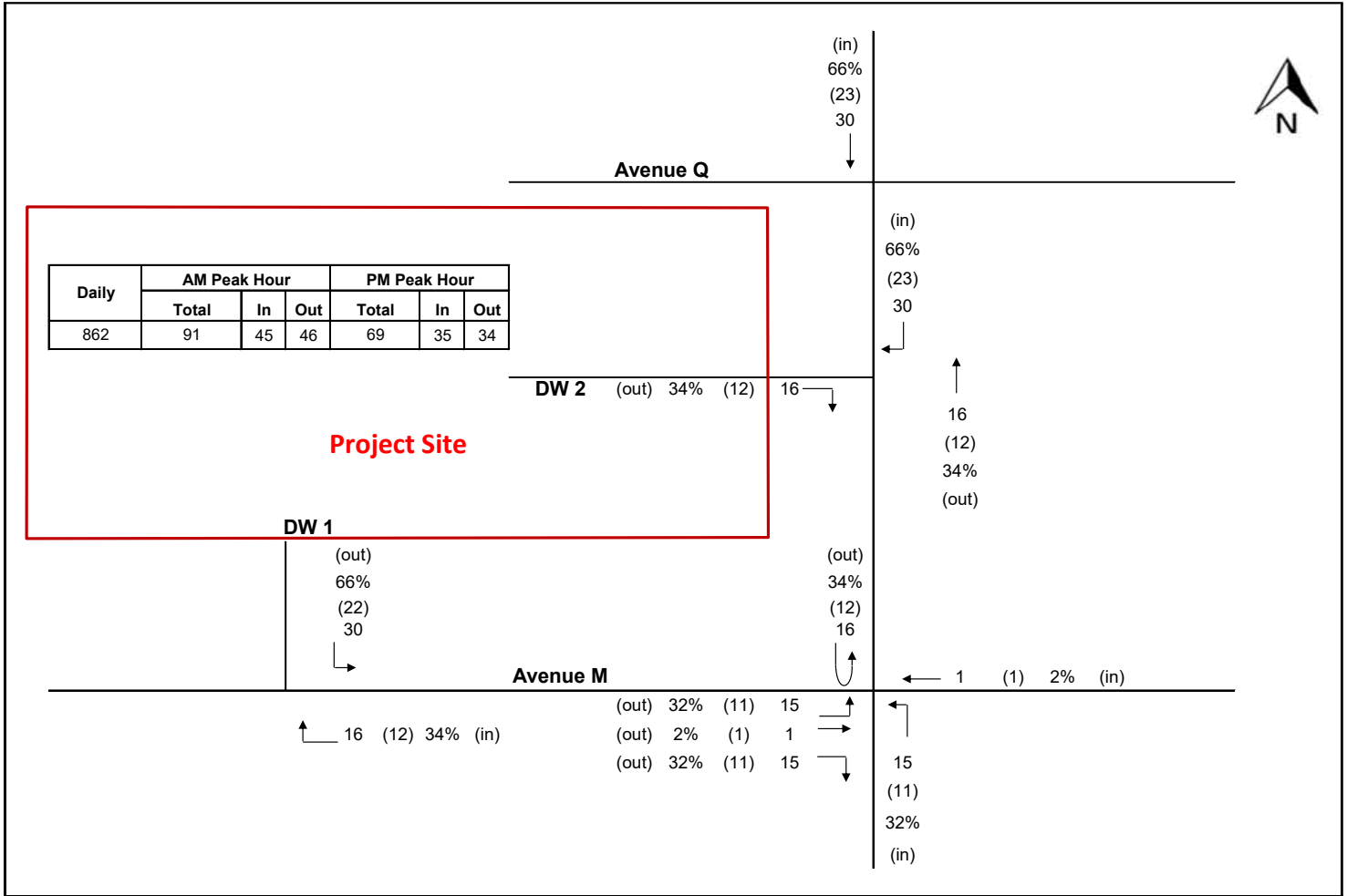
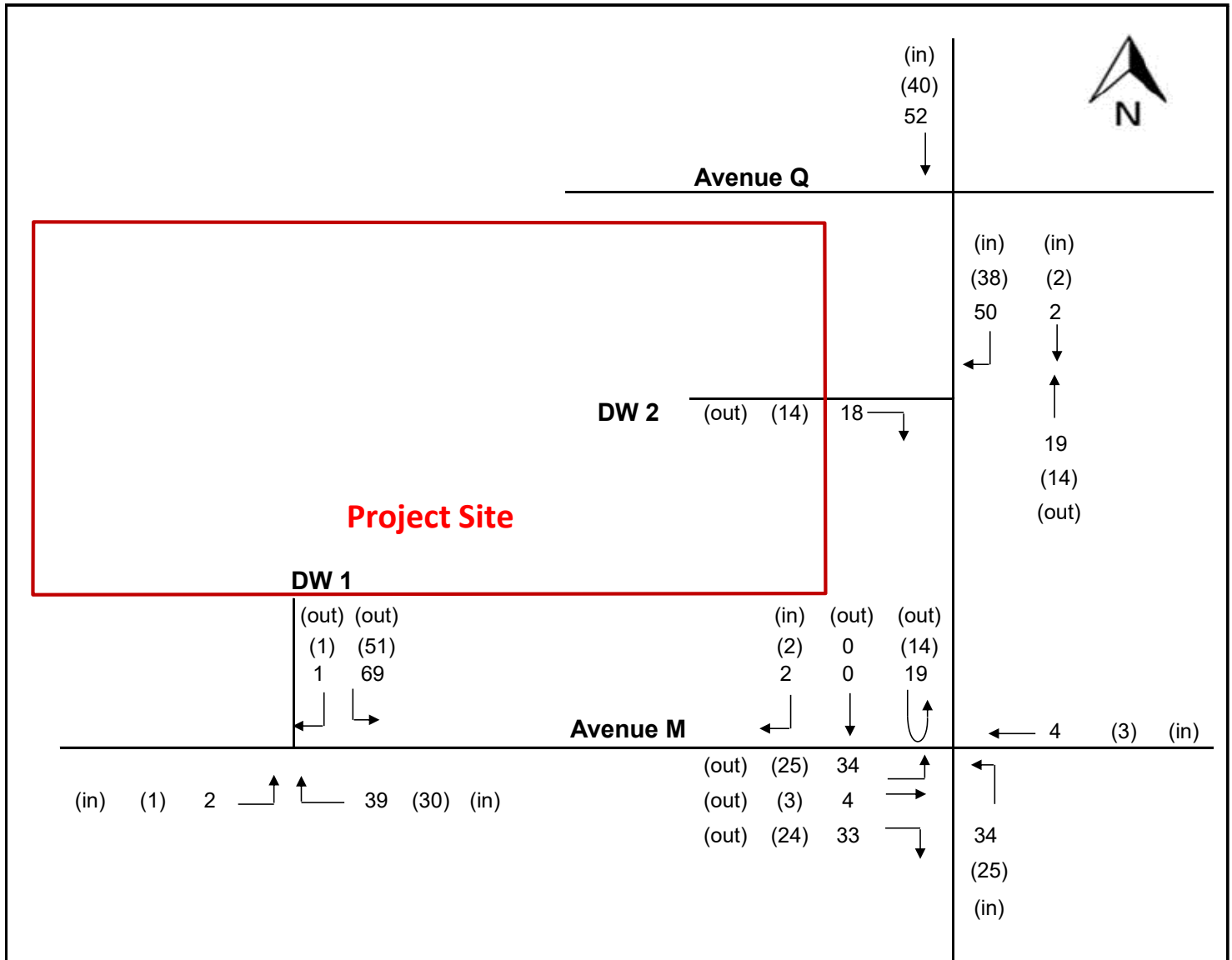


Exhibit 2B: Pass-By Trips



Tony Philip Convenience Store PASS-BY TRAFFIC	862	Total Daily Driveway Trips
	69	PM Peak Hour Trips
	91	AM Peak Hour Trips

Exhibit 2C: Total Driveway Trips



**Tony Philip Convenience Store
TOTAL DRIVEWAY TRAFFIC**

Exhibit 3: Trip Assignment

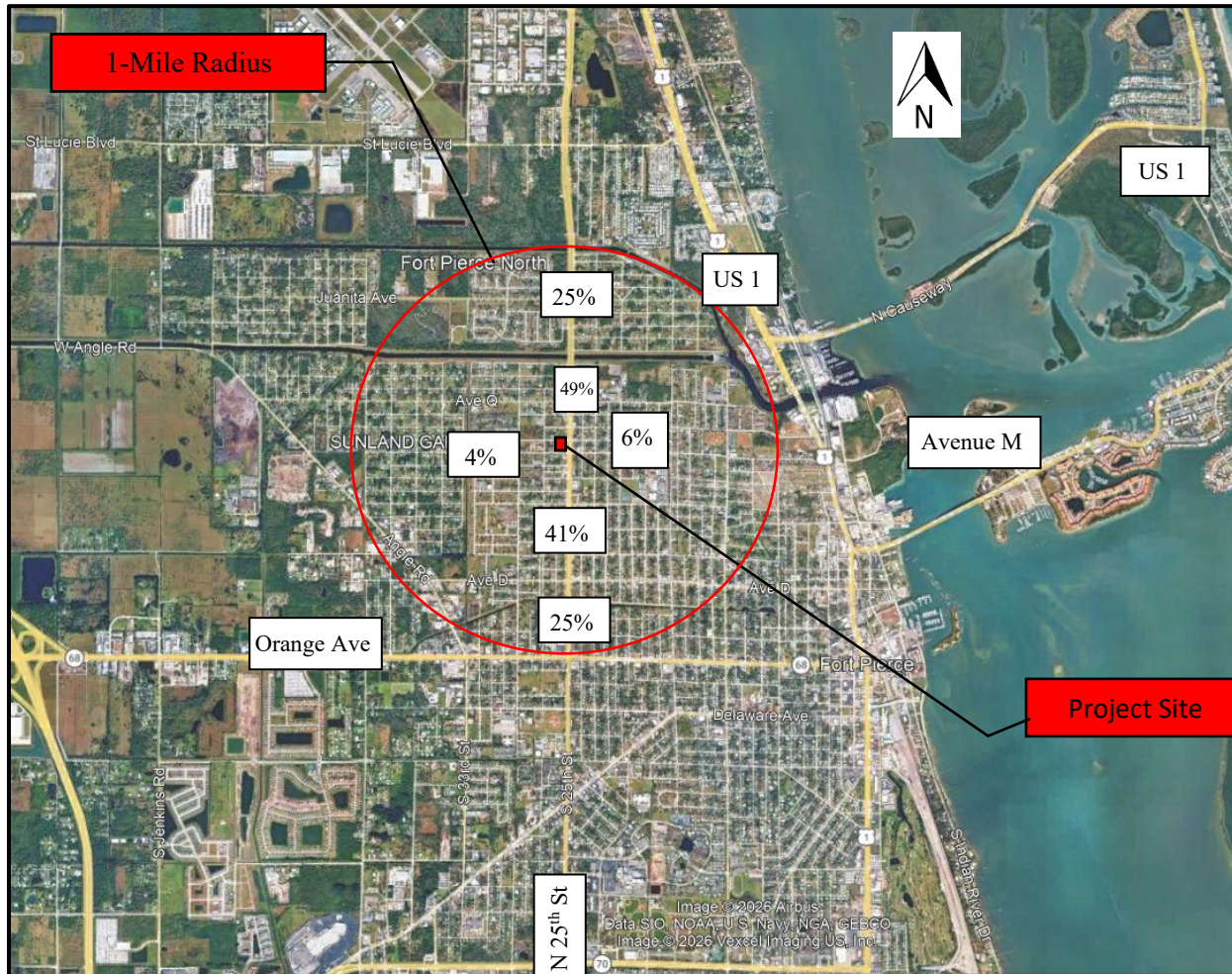


Exhibit 4: Growth Rate

Station	Description	Average Daily Traffic					Annual Absolute Growth	Growth Rate
		2020*	2021	2022	2023	2024		
94-0050	SR 615 / 25 ST - S OF AVE E & SR 68		19,300	21,000	21,000	21,000	510	2.4%
94-5152	SR 615 / 25 ST - S OF BELCHER CANAL		21,000	18,800		18,600	-700	-3.8%
94-8506	N 29TH ST FROM AVENUE D TO AVENUE Q		3,500			3,200	-100	-3.1%
							Weighted Average	-0.7%
							Growth Rate Used	2.5%

* 2020 Data were excluded due to COVID

Exhibit 5: Projected Roadway Significance (Study Roads)

Roadway	From	To	E + C Lanes	Content Class	Two-Way Roadway Capacity	Assign	Two-way Project Traffic	Impact	Significant 1%/5%	Significant Impact? (Y/N)
N 25th Street	Orange Ave	Avenue D	4	C4*	3,250	25%	17	0.52%	5%	NO
	Avenue D	Avenue E	4	C4*	3,250	36%	24	0.74%	1%	NO
	Avenue E	Avenue M	4	C4*	3,250	41%	27	0.83%	1%	NO
	Avenue M	Avenue Q	4	C4*	3,250	49%	33	1.02%	1%	YES
	Avenue Q	Juanita Ave	4	C4*	3,250	25%	9	0.28%	1%	NO

* Roadway Capacity based on FDOT Area Type

**Table E.14 Pass-By and Non-Pass-By Trips Weekday, PM Peak Period
Land Use Code 851—Convenience Market (Open 24 Hours)**

SIZE (1,000 SQ. FT. GFA)	LOCATION	WEEKDAY SURVEY DATE	NO. OF INTERVIEWS	TIME PERIOD	PASS-BY TRIP (%)	NON-PASS-BY TRIPS (%)			ADJ. STREET PEAK HOUR VOLUME	SOURCE
						PRIMARY	DIVERTED	TOTAL		
3	Overland Park, KS	Aug. 1987	68	4:30–5:30 p.m.	34	53	13	66	—	—
3	Overland Park, KS	July 1987	68	4:30–5:30 p.m.	28	50	22	72	—	—
~1.9	Billings, MT	1987	461	4:00–6:00 p.m.	62	13	25	38	—	ITE Montana Section Tech Comm
<50.0	Chicago suburbs, IL	1987	72	3:00–6:00 p.m.	28	—	—	72	—	Kenig, O'Hara, Humes, Flock
<50.0	Chicago suburbs, IL	1987	54	3:00–6:00 p.m.	78	—	—	22	—	Kenig, O'Hara, Humes, Flock
<50.0	Chicago suburbs, IL	1987	34	3:00–6:00 p.m.	69	—	—	31	—	Kenig, O'Hara, Humes, Flock
<50.0	Chicago suburbs, IL	1987	100	3:00–6:00 p.m.	63	—	—	37	—	Kenig, O'Hara, Humes, Flock
<50.0	Chicago suburbs, IL	1987	43	3:00–6:00 p.m.	43	—	—	57	—	Kenig, O'Hara, Humes, Flock
<50.0	Chicago suburbs, IL	1987	135	3:00–6:00 p.m.	39	—	—	61	—	Kenig, O'Hara, Humes, Flock
<50.0	Chicago suburbs, IL	1987	74	3:00–6:00 p.m.	53	—	—	47	—	Kenig, O'Hara, Humes, Flock
<50.0	Chicago suburbs, IL	1987	80	3:00–6:00 p.m.	64	—	—	36	—	Kenig, O'Hara, Humes, Flock

Average Pass-By Trip Percentage: 51

“—” means no data were provided

**Table E.15 Pass-By and Non-Pass-By Trips Weekday, AM Peak Period
Land Use Code 853—Convenience Market with Gasoline Pumps**

SIZE (1,000 SQ. FT. GFA)	LOCATION	WEEKDAY SURVEY DATE	NO. OF INTERVIEWS	TIME PERIOD	PASS-BY TRIP (%)	NON-PASS-BY TRIPS (%)			ADJ. STREET PEAK HOUR VOLUME	SOURCE
						PRIMARY	DIVERTED	TOTAL		
2.8	Louisville area, KY	1993	—	7:00–9:00 a.m.	54	11	35	46	1,240	Barton-Aschman Assoc.
2.4	Louisville area, KY	1993	—	7:00–9:00 a.m.	48	17	35	52	1,210	Barton-Aschman Assoc.
4.2	Louisville area, KY	1993	47	7:00–9:00 a.m.	62	19	19	38	1,705	Barton-Aschman Assoc.
2.6	Crestwood, KY	1993	—	7:00–9:00 a.m.	72	15	13	28	940	Barton-Aschman Assoc.
3.7	Louisville area, KY	1993	49	7:00–9:00 a.m.	66	16	18	34	990	Barton-Aschman Assoc.
3.0	New Albany, IN	1993	62	7:00–9:00 a.m.	74	10	16	26	790	Barton-Aschman Assoc.
2.3	Louisville, KY	1993	58	7:00–9:00 a.m.	64	5	31	36	1,255	Barton-Aschman Assoc.
2.2	New Albany, IN	1993	79	7:00–9:00 a.m.	56	6	38	44	635	Barton-Aschman Assoc.
3.6	Louisville area, KY	1993	49	7:00–9:00 a.m.	67	4	29	33	1,985	Barton-Aschman Assoc.

Average Pass-By Trip Percentage: 63

“—” means no data were provided

FLORIDA DEPARTMENT OF TRANSPORTATION
 TRANSPORTATION STATISTICS OFFICE
 2024 HISTORICAL AADT REPORT

EXHIBIT 7

COUNTY: 94 - ST.LUCIE

SITE: 0050 - SR 615 / 25 ST - S OF AVE E & SR 68 (COUNTY 50)

YEAR	AADT		DIRECTION 1		DIRECTION 2	*K FACTOR	D FACTOR	T FACTOR
2024	21000	C	N 10500		S 10500	9.00	51.10	4.10
2023	21000	C	N 10500		S 10500	9.00	51.60	4.10
2022	21000	C	N 10500		S 10500	9.00	51.40	4.10
2021	19300	C	N 9300		S 10000	9.00	50.90	7.00
2020	18900	F	N 9600		S 9300	9.00	51.30	7.00
2019	19700	C	N 10000		S 9700	9.00	51.00	7.00
2018	17800	C	N 9000		S 8800	9.00	51.30	5.10
2017	19900	C	N 10000		S 9900	9.00	50.90	5.10
2016	15800	C	N 8200		S 7600	9.00	50.90	5.10
2015	15900	C	N 8200		S 7700	9.00	51.00	3.10
2014	14700	C	N 7800		S 6900	9.00	50.80	3.10
2013	15800	C	N 8000		S 7800	9.00	50.80	3.10
2012	15400	C	N 7600		S 7800	9.00	56.80	2.40
2011	15800	C	N 7900		S 7900	9.00	57.20	2.40
2010	15600	C	N 7800		S 7800	10.32	55.40	2.40
2009	15800	C	N 7900		S 7900	10.27	57.35	4.60

AADT FLAGS: C = COMPUTED; E = MANUAL ESTIMATE; F = FIRST YEAR ESTIMATE
 S = SECOND YEAR ESTIMATE; T = THIRD YEAR ESTIMATE; R = FOURTH YEAR ESTIMATE
 V = FIFTH YEAR ESTIMATE; 6 = SIXTH YEAR ESTIMATE; X = UNKNOWN

*K FACTOR: STARTING WITH YEAR 2011 IS STANDARDK, PRIOR YEARS ARE K30 VALUES

FLORIDA DEPARTMENT OF TRANSPORTATION
 TRANSPORTATION STATISTICS OFFICE
 2024 HISTORICAL AADT REPORT

COUNTY: 94 - ST.LUCIE

SITE: 5152 - SR 615 / 25 ST - S OF BELCHER CANAL (AVENUE T -COUNTY 5152)

YEAR	AADT		DIRECTION 1		DIRECTION 2	*K FACTOR	D FACTOR	T FACTOR	
2024	18600	C	N	9400	S	9200	9.00	51.10	6.70
2023	19400	F	N	9900	S	9500	9.00	51.60	8.10
2022	18800	C	N	9600	S	9200	9.00	51.40	8.10
2021	21100	C	N	6600	S	14500	9.00	50.90	8.10
2020	17200	F	N	8700	S	8500	9.00	51.30	7.00
2019	18000	C	N	9100	S	8900	9.00	51.00	7.00
2018	15500	C	N	7900	S	7600	9.00	51.30	7.00
2017	14300	C	N	7900	S	6400	9.00	50.90	5.20
2016	14300	C	N	7300	S	7000	9.00	50.90	5.20
2015	14500	C	N	7400	S	7100	9.00	51.00	5.20
2014	13800	C	N	6900	S	6900	9.00	50.80	8.50
2013	13900	C	N	7100	S	6800	9.00	50.80	8.50
2012	13200	C	N	6800	S	6400	9.00	56.80	5.60
2011	13300	C	N	6800	S	6500	9.00	57.20	5.60
2010	14200	C	N	7300	S	6900	10.32	55.40	5.60
2009	13600	C	N	6800	S	6800	10.27	57.35	4.90

AADT FLAGS: C = COMPUTED; E = MANUAL ESTIMATE; F = FIRST YEAR ESTIMATE
 S = SECOND YEAR ESTIMATE; T = THIRD YEAR ESTIMATE; R = FOURTH YEAR ESTIMATE
 V = FIFTH YEAR ESTIMATE; 6 = SIXTH YEAR ESTIMATE; X = UNKNOWN

*K FACTOR: STARTING WITH YEAR 2011 IS STANDARDK, PRIOR YEARS ARE K30 VALUES

FLORIDA DEPARTMENT OF TRANSPORTATION
TRANSPORTATION STATISTICS OFFICE
2024 HISTORICAL AADT REPORT

COUNTY: 94 - ST.LUCIE

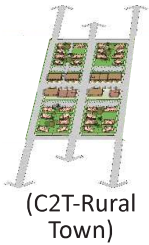
SITE: 8506 - N 29TH ST FROM AVENUE D TO AVENUE Q (HPMS)

YEAR	AADT		DIRECTION 1		DIRECTION 2	*K FACTOR	D FACTOR	T FACTOR	
2024	3200	C	N	1700	S	1500	9.00	51.10	3.90
2023	3600	S	N	2000	S	1600	9.00	51.60	7.10
2022	3500	F	N	1900	S	1600	9.00	51.40	7.10
2021	3500	C	N	1900	S	1600	9.00	50.90	7.10
2020	3300	S	N	1800	S	1500	9.00	51.30	3.00
2019	3500	F	N	1900	S	1600	9.00	51.00	3.00
2018	3500	C	N	1900	S	1600	9.00	51.30	3.00
2017	4700	S	N	1900	S	2800	9.00	50.90	5.60
2016	4700	F	N	1900	S	2800	9.00	50.90	5.60
2015	4700	C	N	1900	S	2800	9.00	51.00	5.60
2014	3800	F	N	1700	S	2100	9.00	50.80	5.50
2013	3800	C	N	1700	S	2100	9.00	50.80	5.50
2012	3300	C	N	1800	S	1500	9.00	56.80	5.50
2011	3400	T		0		0	9.00	57.20	7.60
2010	3400	S	N	1900	S	1500	10.32	55.40	12.50
2009	3400	F	N	1900	S	1500	10.27	57.35	12.50

AADT FLAGS: C = COMPUTED; E = MANUAL ESTIMATE; F = FIRST YEAR ESTIMATE
S = SECOND YEAR ESTIMATE; T = THIRD YEAR ESTIMATE; R = FOURTH YEAR ESTIMATE
V = FIFTH YEAR ESTIMATE; 6 = SIXTH YEAR ESTIMATE; X = UNKNOWN

*K FACTOR: STARTING WITH YEAR 2011 IS STANDARDK, PRIOR YEARS ARE K30 VALUES

C2T, C4, C5, & C6 EXHIBIT 8 Motor Vehicle Arterial Generalized Service Volume Tables



(C2T-Rural Town)

Peak Hour Directional

	B	C	D	E
1 Lane	*	720	940	**
2 Lane	*	1,140	1,640	**
3 Lane	*	2,120	2,510	**

Peak Hour Two-Way

	B	C	D	E
2 Lane	*	1,310	1,710	**
4 Lane	*	2,070	2,980	**
6 Lane	*	3,850	4,560	**

AADT

	B	C	D	E
2 Lane	*	13,800	18,000	**
4 Lane	*	21,800	31,400	**
6 Lane	*	40,500	48,000	**



(C4-Urban General)

	B	C	D	E
1 Lane	*	*	870	1,190
2 Lane	*	1,210	1,790	2,020
3 Lane	*	2,210	2,810	2,990
4 Lane	*	2,590	3,310	3,510

	B	C	D	E
2 Lane	*	*	1,580	2,160
4 Lane	*	2,200	3,250	3,670
6 Lane	*	4,020	5,110	5,440
8 Lane	*	4,710	6,020	6,380

	B	C	D	E
2 Lane	*	*	17,600	24,000
4 Lane	*	24,400	36,100	40,800
6 Lane	*	44,700	56,800	60,400
8 Lane	*	52,300	66,900	70,900



(C5-Urban Center)

	B	C	D	E
1 Lane	*	*	690	1,080
2 Lane	*	1,290	1,900	2,130
3 Lane	*	1,410	2,670	3,110
4 Lane	*	2,910	3,560	3,640

	B	C	D	E
2 Lane	*	*	1,250	1,960
4 Lane	*	2,350	3,450	3,870
6 Lane	*	2,560	4,850	5,650
8 Lane	*	5,290	6,470	6,620

	B	C	D	E
2 Lane	*	*	13,900	21,800
4 Lane	*	26,100	38,300	43,000
6 Lane	*	28,400	53,900	62,800
8 Lane	*	58,800	71,900	73,600



(C6-Urban Core)

	B	C	D	E
1 Lane	*	***	790	1,030
2 Lane	*	***	1,490	1,920
3 Lane	*	***	2,730	2,940
4 Lane	*	***	3,250	3,490

	B	C	D	E
2 Lane	*	***	1,440	1,870
4 Lane	*	***	2,710	3,490
6 Lane	*	***	4,960	5,350
8 Lane	*	***	5,910	6,350

	B	C	D	E
2 Lane	*	***	16,000	20,800
4 Lane	*	***	30,100	38,800
6 Lane	*	***	55,100	59,400
8 Lane	*	***	65,700	70,600

Adjustment Factors

The peak hour directional service volumes should be adjusted by multiplying by 1.2 for one-way facilities
 The AADT service volumes should be adjusted by multiplying 0.6 for one way facilities
 2 Lane Divided Roadway with an Exclusive Left Turn Lane(s): Multiply by 1.05
 2 lane Undivided Roadway with No Exclusive Left Turn Lane(s): Multiply by 0.80

Exclusive right turn lane(s): Multiply by 1.05
 Multilane Undivided Roadway with an Exclusive Left Turn Lane(s): Multiply by 0.95
 Multilane Roadway with No Exclusive Left Turn Lane(s): Multiply by 0.75
 Non-State Signalized Roadway: Multiply by 0.90

This table does not constitute a standard and should be used only for general planning applications. The table should not be used for corridor or intersection design, where more refined techniques exist.

* Cannot be achieved using table input value defaults.

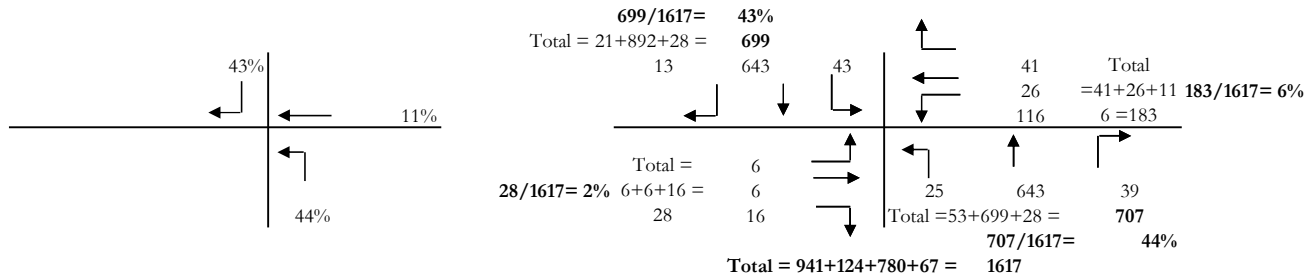
** Not applicable for that level of service letter grade. For the automobile mode, volumes greater than level of service D become F because intersection capacities have been reached.

Tony Philip Convenience Store
 AM PEAK HOUR TURNING MOVEMENTS
 EXHIBIT 9
 N 25th ST & Avenue M

		ebu	ebl	ebt	ebr	wbu	wbl	wbt	wbr	nbu	nbl	nbt	nbr	sbu	sbl	sbt	sbr	totals
7:00 AM	7:15 AM	0	1	2	2	0	50	6	15	0	5	130	19	0	22	125	3	380
7:15 AM	7:30 AM	0	1	0	4	0	49	5	15	1	5	181	6	1	11	172	3	454
7:30 AM	7:45 AM	0	2	2	3	0	6	10	8	0	6	146	6	0	7	186	6	388
7:45 AM	8:00 AM	0	2	2	7	0	11	5	3	3	5	186	8	0	2	160	1	395
8:00 AM	8:15 AM	0	2	6	2	0	12	8	7	2	4	146	9	0	5	155	2	360
8:15 AM	8:30 AM	0	0	5	4	0	8	6	4	2	5	149	2	0	3	167	4	359
8:30 AM	8:45 AM	0	3	5	4	0	11	3	3	1	5	123	5	0	5	131	4	303
8:45 AM	9:00 AM	0	4	3	4	0	10	9	5	1	10	121	3	0	5	109	2	286
Peak Hour Traffic Volume		0	16	25	31	0	157	54	60	10	45	1182	58	1	60	1205	25	2929
7:00 AM	8:00 AM	0	6	6	16	0	116	26	41	4	21	643	39	1	42	643	13	1617

Count Taken: 2/24/2026
 Buildout year: 2031
 Growth Rate: 2.0%
 Seasonal Factor: 1.00

	ebu	ebl	ebt	ebr	wbu	wbl	wbt	wbr	nbu	nbl	nbt	nbr	sbu	sbl	sbt	sbr
2/24/2026																
<u>Existing Volumes</u>	0	6	6	16	0	116	26	41	4	21	643	39	1	42	643	13
Seasonal Factor	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Adjusted Volumes		6	6	16		116	26	41		25	643	39		43	643	13

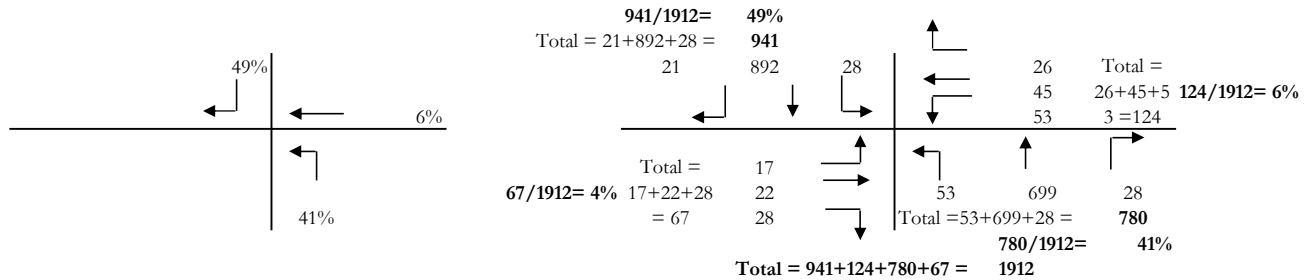


Tony Philip Convenience Store
 PM PEAK HOUR TURNING MOVEMENTS
 EXHIBIT 9
 N 25th St & Avenue M

		ebu	ebl	ebt	ebr	wbu	wbl	wbt	wbr	nbu	nbl	nbt	nbr	sbu	sbl	sbt	sbr	totals
4:00 PM	4:15 PM	0	3	5	5	0	10	9	3	4	6	172	8	1	2	220	6	454
4:15 PM	4:30 PM	0	3	6	3	0	6	10	11	1	6	170	5	1	4	181	9	416
4:30 PM	4:45 PM	0	1	4	2	0	15	12	3	0	10	169	5	1	6	234	5	467
4:45 PM	5:00 PM	0	5	4	6	0	10	12	3	2	11	197	8	3	3	211	7	482
5:00 PM	5:15 PM	0	5	6	6	0	12	12	11	3	12	154	5	1	5	231	5	468
5:15 PM	5:30 PM	0	6	8	14	0	16	9	9	2	13	179	10	1	8	216	4	495
5:30 PM	5:45 PM	0	3	4	4	0	17	12	16	1	9	118	5	4	9	164	9	375
5:45 PM	6:00 PM	0	2	11	4	0	12	14	12	6	10	168	8	1	11	178	5	442
Peak Hour Traffic Volume		0	32	52	53	0	203	111	106	20	93	1784	85	14	88	2118	62	4821
4:30 PM	5:30 PM	0	17	22	28	0	53	45	26	7	46	699	28	6	22	892	21	1912

Count Taken: 2/24/2026
 Buildout year: 2031
 Growth Rate: 2.0%
 Seasonal Factor: 1.00

	ebu	ebl	ebt	ebr	wbu	wbl	wbt	wbr	nbu	nbl	nbt	nbr	sbu	sbl	sbt	sbr
2/24/2026																
<u>Existing Volumes</u>	0	17	22	28	0	53	45	26	7	46	699	28	6	22	892	21
Seasonal Factor	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Adjusted Volumes		17	22	28		53	45	26	0	53	699	28		28	892	21



Land Use: 851 Convenience Store

Description

A convenience store is a small retail business that sells groceries and other everyday items that a person may need or want as a matter of convenience. Convenience stores are typically located along major thoroughfares to optimize motorist convenience. Extended hours of operation (with many open 24 hours, 7 days a week) further support the convenience of the store. A convenience store is also commonly called a convenience market. The product mix typically includes pre-packaged grocery items, beverages, dairy products, snack foods, confectionary, tobacco products, over-the-counter drugs, and toiletries. A convenience store commonly sells coffee and pre-made sandwiches and may sell alcohol, often limited to beer and wine. Made-to-order food orders are sometimes offered. Some stores offer limited seating. Convenience store/gas station (Land Use 945) is a related use.

Additional Data

The sites were surveyed in the 1990s, the 2000s, the 2010s, and the 2020s in Alberta (CAN), Arizona, California, New Jersey, and New York.

Source Numbers

542, 550, 862, 863, 931, 955, 975, 1236

Convenience Store (851)

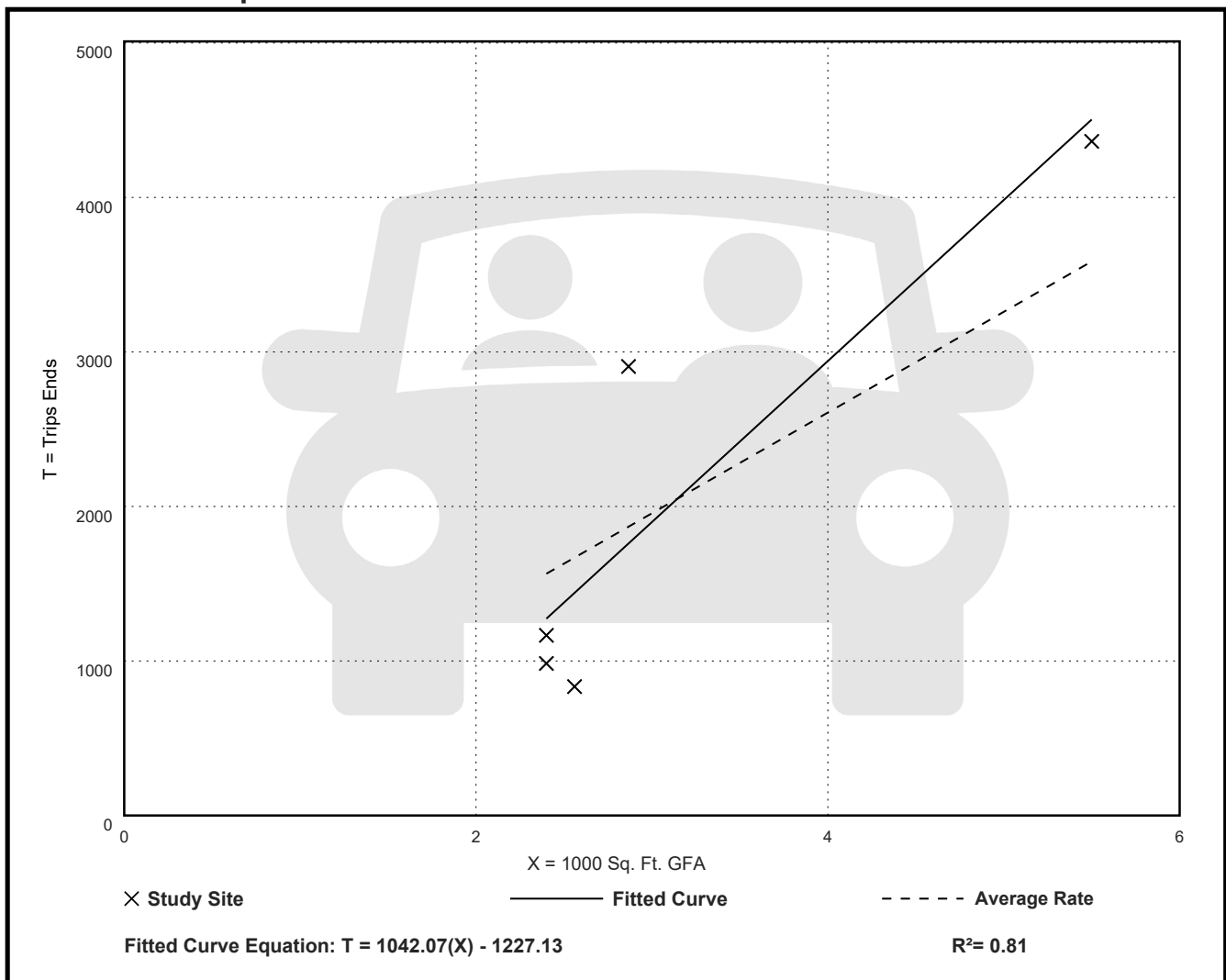
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: **Weekday**

Setting/Location: General Urban/Suburban
Number of Studies: 5
Avg. 1000 Sq. Ft. GFA: 3
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
651.94	325.78 - 1013.60	276.79

Data Plot and Equation



Convenience Store (851)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban

Number of Studies: 28

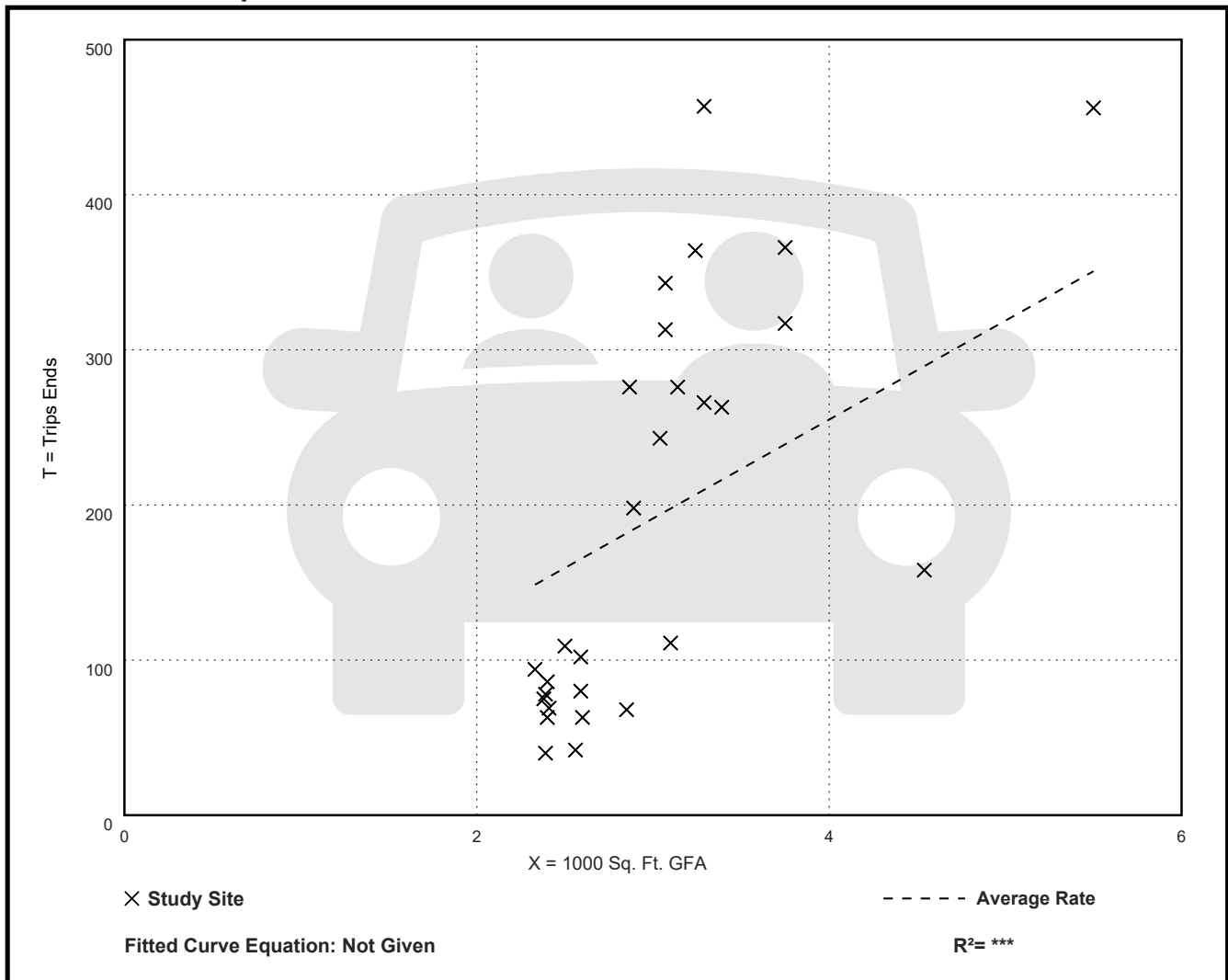
Avg. 1000 Sq. Ft. GFA: 3

Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
63.76	16.41 - 138.91	34.81

Data Plot and Equation



Convenience Store (851)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

Number of Studies: 28

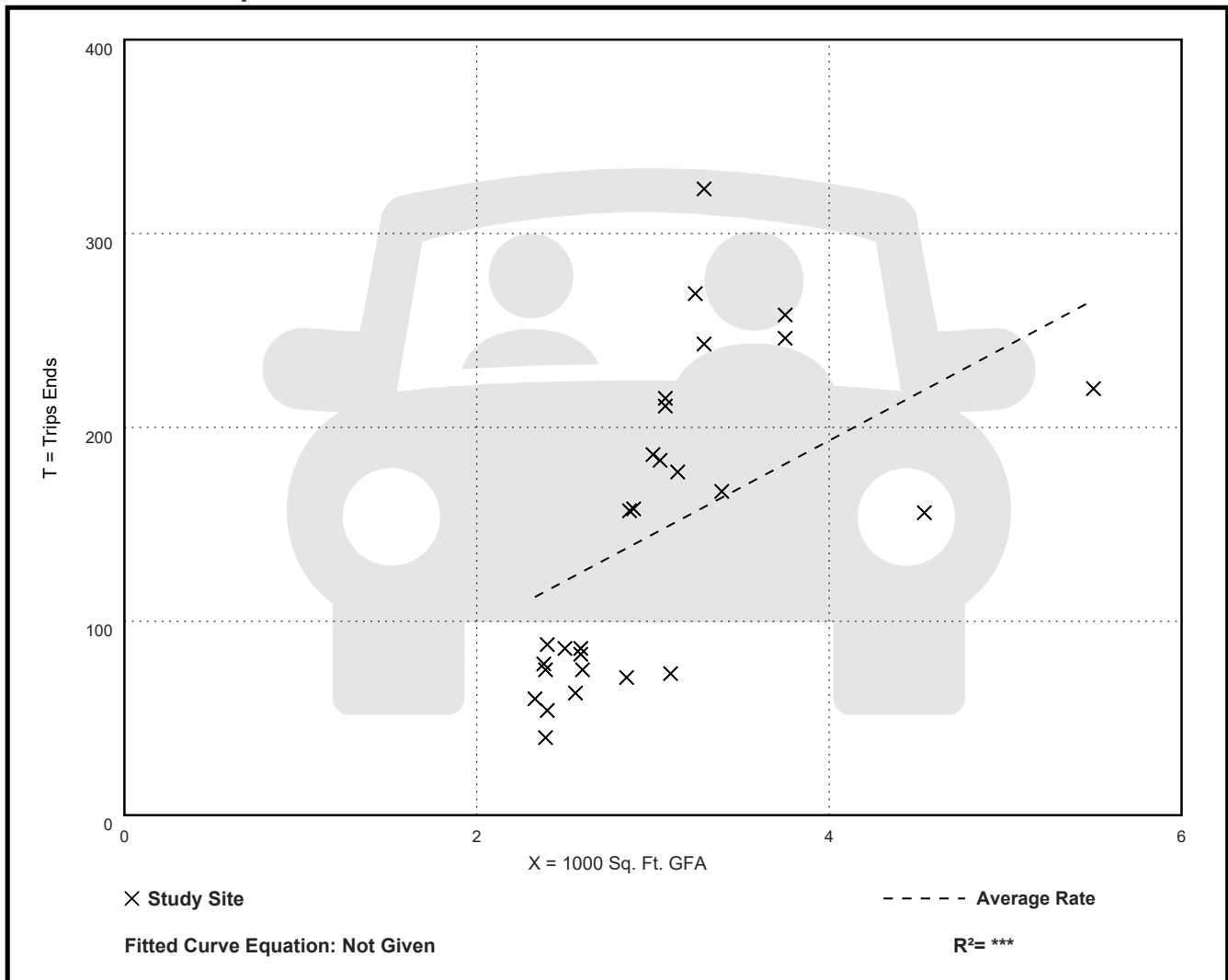
Avg. 1000 Sq. Ft. GFA: 3

Directional Distribution: 51% entering, 49% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
48.30	16.74 - 98.18	21.19

Data Plot and Equation



Drainage Report

for

2502 Avenue M
FT. Pierce, Florida 34947

Prepared By:



January 2026

DRAINAGE REPORT

Property Address: Tony Phillip
2502 Avenue M, Fort Pierce, Florida 34947

Engineer of Record: Dylan OBerry PE
Art of Engineering Inc
2674 SE Ruffin Ter Port St Lucie, FL 34952

SUMMARY

The existing site is a vacant (0.35 ac) lot. Aerial maps indicate a structure on the property prior to 2014. The site is located along Avenue M with surrounding residential and commercial development. It is within FEMA Flood Zone X. The proposed site consists of a building, sidewalk, parking lot, driveway, dumpster enclosure, green space and landscaping. The building FFE was set to be 18" above the adjacent road crown which is also above the 100-yr 3-day storm event. The site drainage is designed to fully contain the water quality treatment volume as well as the 25-yr 3-day storm event. The drainage system consists of dry retention, a side swale which leads towards the dry retention as well as a perimeter berm to the sides adjacent to neighboring residential properties.

The following table defines the required and provided on-site retention volumes per SWMD standards.

Storm Event	Required	Provided	Results
Water Quality Treatment	0.04 ac-ft at EL = 20.04	0.04 ac-ft at EL = 20.04	GOOD
10yr-1day (parking lot)	0.14 ac-ft at EL = 21.06	Parking lot EL = 21.50	GOOD
25yr-3day (perimeter)	0.26 ac-ft at EL = 21.61	0.17 ac-ft at EL = 21.65	GOOD
100yr-3day (FFE)	min FFE is EL = 22.10	FFE set at EL = 22.40	GOOD

The total nutrient loading of the 0.35 ac site was also analyzed. The swale and retention area were calculated and determined to reduce the TN and TP to an acceptable post-development condition per SFWMD standards.

Nutrient Load	Required	Provided
Total Nitrogen	80% Efficiency	94% Efficiency
Total Phosphorus	80% Efficiency	94% Efficiency

The results set forth provide the project with sufficient water quality treatment volume as well as storm water retention to fully comply with the requirements of the City of Fort Pierce. Please refer to the following calculations and analysis for reference. Additionally, the Stormwater Management Plan is included at the end of the report.

Pre-Development Land Use Calculations
Project Explanation

Project Name: PROPOSED CONVENIENCE STORE, 2502 & 2504 AVENUE M
Project #: 2025-422
Engineer: Landel Smith
Date: 1/26/2026

Engineer:
Revision Date:

Computation Type: Land Use & Stage-Storage
Datum: NAVD

Average Ground Elevation (EL_{grnd}) = 21.35 ft-NAVD **Source:** Survey
Control Elevation (CE) = 14.90 ft-NAVD **Source:** USDA Soils Report

Site Land Use

	Open Space	Building	Asphalt	Sidewalk	Exist. Area 5	Exist. Area 6	Exist. Area 7	Exist. Area 8	Exist. Area 9	Total
	(ac)	(ac)	(ac)	(ac)	(ac)	(ac)	(ac)	(ac)	(ac)	(ac)
Percentage of On-Site	100.0%	0.0%	0.0%	0.00%	0.00%	0.0%	0.0%	0.00%	0.00%	
Total Areas (SF)	15,219 SF	0 SF	0 SF	0 SF	0 SF	0 SF	0 SF	0 SF	0 SF	15,219 SF
Total Areas (A_i)	0.35	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.35
Bldg. %	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%
Bldg. Area (A_r)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Pervious %	100.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	100.00%
Pervious Area (A_p)	0.35	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.35
Impervious %	0.00%	100.00%	100.00%	100.00%	100.00%	100.00%	100.00%	100.00%	100.00%	0.00%
Impervious Area (A_i)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Open Water %	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%
Open Water Area (Ac.)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

**Pre-Development Stage-Storage Calculations
Project Explanation**

Storage Type: **Stage-Volume**
 Starting Stage = **20.00**
 Ending Stage = **24.00**
 Stage Increment = **0.10**

Name	Open Space	Building	Asphalt	Sidewalk	Exist. Area 5	Exist. Area 6	Exist. Area 7	Exist. Area 8	Exist. Area 9	
Area	0.35	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	
Start Elev	20.90	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	
End Elev	21.80	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	
Stage	Linear	Vert	Vert	Vert	Vert	Vert	Vert	Vert	Vert	Total
Feet	Storage	Storage	Storage	Storage	Storage	Storage	Storage	Storage	Storage	Storage
NAVD	Ac-ft	Ac-ft	Ac-ft	Ac-ft	Ac-ft	Ac-ft	Ac-ft	Ac-ft	Ac-ft	Ac-ft
20.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
20.10	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
20.20	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
20.30	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
20.40	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
20.50	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
20.60	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
20.70	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
20.80	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
20.90	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
21.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
21.10	0.01	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.01
21.20	0.02	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.02
21.30	0.03	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.03
21.40	0.05	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.05
21.50	0.07	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.07
21.60	0.10	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.10
21.70	0.12	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.12
21.80	0.16	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.16
21.90	0.19	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.19
22.00	0.23	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.23
22.10	0.26	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.26
22.20	0.30	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.30
22.30	0.33	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.33
22.40	0.37	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.37

22.50	0.40	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.40
22.60	0.44	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.44
22.70	0.47	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.47
22.80	0.51	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.51
22.90	0.54	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.54
23.00	0.58	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.58
23.10	0.61	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.61
23.20	0.65	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.65
23.30	0.68	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.68
23.40	0.72	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.72
23.50	0.75	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.75
23.60	0.79	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.79
23.70	0.82	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.82
23.80	0.86	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.86
23.90	0.89	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.89

**Pre-Development Stage-Area Calculations
Project Explanation**

Storage Type: Stage-Area
Starting Stage = 20.00
Ending Stage = 24.00
Stage Increment = 0.10

Name	Open Space	Building	Asphalt	Sidewalk	Exist. Area 5	Exist. Area 6	Exist. Area 7	Exist. Area 8	Exist. Area 9	
Area	0.35	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	
Start Elev	20.90	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	
End Elev	21.80	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	
Stage	Linear	Vert	Vert	Vert	Vert	Vert	Vert	Vert	Vert	Total
Feet	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area
NAVD	Ac	Ac	Ac	Ac	Ac	Ac	Ac	Ac	Ac	Ac
20.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
20.10	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
20.20	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
20.30	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
20.40	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
20.50	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
20.60	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
20.70	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
20.80	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
20.90	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
21.00	0.04	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.04
21.10	0.08	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.08
21.20	0.12	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.12
21.30	0.16	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.16
21.40	0.19	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.19
21.50	0.23	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.23
21.60	0.27	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.27
21.70	0.31	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.31
21.80	0.35	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.35
21.90	0.35	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.35
22.00	0.35	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.35
22.10	0.35	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.35
22.20	0.35	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.35
22.30	0.35	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.35
22.40	0.35	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.35

22.50	0.35	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.35
22.60	0.35	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.35
22.70	0.35	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.35
22.80	0.35	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.35
22.90	0.35	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.35
23.00	0.35	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.35
23.10	0.35	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.35
23.20	0.35	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.35
23.30	0.35	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.35
23.40	0.35	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.35
23.50	0.35	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.35
23.60	0.35	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.35
23.70	0.35	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.35
23.80	0.35	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.35
23.90	0.35	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.35

PRE-Development Stormwater Calculations

Project Explanation

Project: PROPOSED CONVENIENCE STORE, 2502 & 250
Project #: 2025-422

Revised: _____
Engineer: 46048.00
Date: #REF!

Land Use Table

<u>Use</u>	<u>Imp. (ac)</u>	<u>Bldg. (ac)</u>	<u>Pervious (ac)</u>	<u>Total (ac)</u>
Basin =	0.00	0.00	0.35	0.35
TOTAL =	0.00	0.00	0.35	0.35

Find Curve Number:

Avg. Pervious Ground El. =	21.35
Control Elev. =	14.90
Distance to Water Table =	6.45

Soil Storage Table

<u>Depth to W.T. (ft)</u>	<u>Coastal Storage (in)</u>	<u>Flatwoods Storage (in)</u>	<u>Depression Storage (in)</u>
0.0	0.0	0.0	0.0
1.0	0.6	0.6	0.6
1.5	1.6	1.6	1.4
2.0	2.5	2.5	2.1
2.5	4.6	4.0	3.3
3.0	6.6	5.4	4.4
3.5	8.8	7.2	5.6
4.0	10.9	9.0	6.8

Find the basin's soil classification and input below as "Soil Storage" using the above "Depth to W.T.".

Soil Type =	Flatwoods	
Max. Available Soil Storage (S_{max}) =	9.00	inches
Compaction Factor ($F_{compact}$) =	0%	(Use 25% for developed site)
Compacted Soil Storage ($S_{compact}$) =	9.00	inches $(S_{max})(F_{compact})$
Available Soil Storage (S_{avail}) =	9.00	inches $(A_p)(S_{compact})/(A_t)$
Curve Number (CN) =	53	$1000 / (S_{avail} + 10)$

Notes:

1. Soil Storage Table taken from Section 5.7.4.2 of the SFWMD ERP Applicant's Handbook Volume II.
2. Curve Number determination based on method presented in USDA NRCS Technical Release 55 (TR-55) "Urban Hydrology for Small Watersheds".

Post-Development Water Quality Calculations

Project: PROPOSED CONVENIENCE STORE, 2502 & 2504 AVI Project #: 2025-422	Revised: _____ Engineer: Landel Smith Date: 15-Jan-26
---	---

1-inch Over the Project Area

$$\text{(Treated Volume) } 1\text{-inch} * 1\text{-ft}/12\text{-in} * \frac{0.35}{\text{PROJECT AREA}} = \boxed{0.03} \text{ ac-ft}$$

TREATED VOLUME

Treatment System Type **Retention**

$$\text{Treatment Volume Required} = \boxed{0.05} \text{ ac-ft}$$

$$\text{Water Quality Elevation (EL}_{wq}\text{)} = \boxed{20.34} \text{ ft NAVD}$$

Estimated Required Attenuation

Project Explanation

Project: **PROPOSED CONVENIENCE STORE, 250** Revised: _____
 Project #: **2025-422** Engineer: **Landel Smith**
 Date: **1/15/2026**

Pre-Developed Runoff

10 Year - 1 Day

Area, A (ac) = 0.35
 Soil Storage, S (inches) = 9.00
 Curve Number, CN = 1000/(S+10)
 = 53

10 Year - 1 Day Rainfall, P (inches) = 6 (From Fort Pierce, Fla., Code of Ordinances § 119-3(e)(7))

Depth of Runoff, Q (inches) = $(P - 0.2S)^2 / (P + 0.8S)$
 = 1.34

Volume, V (AC-FT) = A * Q
 = 0.04

Post Developed Runoff

10 Year - 1 Day

Area, A (ac) = 0.35
 Soil Storage, S (inches) = 2.37
 Curve Number, CN = 1000/(S+10) =
 81

10 Year - 1 Day Rainfall, P (inches) = 6 (From Fort Pierce, Fla., Code of Ordinances § 119-3(e)(7))

Depth of Runoff, Q (inches) = $(P - 0.2S)^2 / (P + 0.8S)$
 = 3.87

Volume, V (AC-FT) = A * Q
 = 0.11

10Y-1D Elevation = 21.13 ft NAVD

Estimated Required Attenuation

Project Explanation

Project: **PROPOSED CONVENIENCE STORE, 2502 &** Revised: _____
 Project #: **2025-422** Engineer: **Landel Smith**
 Date: **1/15/2026**

Pre-Developed Runoff

25 Year - 3 Day

Area, A (ac) = 0.35
 Soil Storage, S (inches) = 9.00
 Curve Number, CN = $1000/(S+10)$
 = 53

25 Year - 3 Day Rainfall, P (inches) = **9.5** (From Fort Pierce, Fla., Code of Ordinances § 119-3(e)(7))

Depth of Runoff, Q (inches) = $(P - 0.2S)^2 / (P + 0.8S)$
 = 3.55

Volume, V (AC-FT) = A * Q
 = 0.10

Post Developed Runoff

25 Year - 3 Day

Area, A (ac) = 0.35
 Soil Storage, S (inches) = 2.37
 Curve Number, CN = $1000/(S+10)$ =
 81

25 Year - 3 Day Rainfall, P (inches) = **9.5** (From Fort Pierce, Fla., Code of Ordinances § 119-3(e)(7))

Depth of Runoff, Q (inches) = $(P - 0.2S)^2 / (P + 0.8S)$
 = 7.15

Volume, V (AC-FT) = A * Q
 = 0.21

25Y-3D Elevation = 21.65 ft NAVD

Estimated Required Attenuation

Project Explanation

Project: **PROPOSED CONVENIENCE STORE, 250** Revised: _____
 Project #: **2025-422** Engineer: **Landel Smith**
 Date: **1/15/2026**

Pre-Developed Runoff

100 Year - 3 Day

Area, A (ac) = 0.35
 Soil Storage, S (inches) = 9.00
 Curve Number, CN = 1000/(S+10)
 = 53

100 Year - 1 Day Rainfall, P (inches) = 12.23 (From Fort Pierce, Fla., Code of Ordinances § 119-3(e)(7))

Depth of Runoff, Q (inches) = $(P - 0.2S)^2 / (P + 0.8S)$
 = 5.60

Volume, V (AC-FT) = A * Q
 = 0.16

Post Developed Runoff

100 Year - 3 Day

Area, A (ac) = 0.35
 Soil Storage, S (inches) = 2.37
 Curve Number, CN = 1000/(S+10) =
 81

100 Year - 1 Day Rainfall, P (inches) = 12.23 (From Fort Pierce, Fla., Code of Ordinances § 119-3(e)(7))

Depth of Runoff, Q (inches) = $(P - 0.2S)^2 / (P + 0.8S)$
 = 9.78

Volume, V (AC-FT) = A * Q
 = 0.28

100Y-3D Elevation = 21.96 ft NAVD

Summary Treatment Report Version: 2.0.2

Project: 2502 Avenue M

Date:2/6/2026

Analysis Type: Specified

Removal Efficiency

Routing Summary

BMP Types:

Catchment 1 Routed to Retention

Catchment 1 – Swale

Total nitrogen target removal met? YES

Total phosphorus target removal met? YES

Summary Report

Nitrogen

Surface Water Discharge

Total N pre load	.24 kg/yr	
Total N post load	.95 kg/yr	
Target N load reduction	80 %	
Target N discharge load	.19 kg/yr	
Percent N load reduction	94 %	
Provided N discharge load	.06 kg/yr	.13 lb/yr
Provided N load removed	.89 kg/yr	1.97 lb/yr

Phosphorus

Surface Water Discharge

Total P pre load	.01 kg/yr	
Total P post load	.159 kg/yr	
Target P load reduction	80 %	
Target P discharge load	.032 kg/yr	
Percent P load reduction	94 %	
Provided P discharge load	.01 kg/yr	.02 lb/yr
Provided P load removed	.149 kg/yr	.328 lb/yr

From Pre-Condition Loads

Existing N Discharge	.19 (kg/yr)
Existing P Discharge	.032 (kg/yr)

Fort Pierce, Fla., Code of Ordinances § 119-3(e)(7)

“Rainfall quantities to be used for stormwater management design and calculations shall be as follows:

Ten-year-one-day storm = 6.00 inches (for minimum roadway/parking lot elevation).

Ten-year one-hour storm = 3.20 inches (for exfiltration trench design).

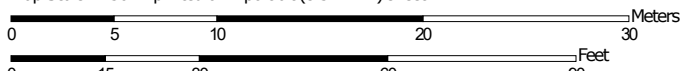
Twenty-five-year-three-day storm = 9.50 inches (for off-site discharge & min. perimeter elevation).

One-hundred-year-three-day storm = 12.23 inches (for minimum floor elevation).”

Custom Soil Resource Report Soil Map







































Map Scale: 1:367 if printed on A portrait (8.5" x 11") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 17N WGS84

MAP LEGEND

- Area of Interest (AOI)**
 -  Area of Interest (AOI)
- Soils**
 -  Soil Map Unit Polygons
 -  Soil Map Unit Lines
 -  Soil Map Unit Points
- Special Point Features**
 -  Blowout
 -  Borrow Pit
 -  Clay Spot
 -  Closed Depression
 -  Gravel Pit
 -  Gravelly Spot
 -  Landfill
 -  Lava Flow
 -  Marsh or swamp
 -  Mine or Quarry
 -  Miscellaneous Water
 -  Perennial Water
 -  Rock Outcrop
 -  Saline Spot
 -  Sandy Spot
 -  Severely Eroded Spot
 -  Sinkhole
 -  Slide or Slip
 -  Sodic Spot
- Water Features**
 -  Streams and Canals
- Transportation**
 -  Rails
 -  Interstate Highways
 -  US Routes
 -  Major Roads
 -  Local Roads
- Background**
 -  Aerial Photography
- Other**
 -  Spoil Area
 -  Stony Spot
 -  Very Stony Spot
 -  Wet Spot
 -  Other
 -  Special Line Features

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: St. Lucie County, Florida
 Survey Area Data: Version 19, Aug 29, 2025

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jan 18, 2022—Jan 30, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
50	Waveland and Immokalee fine sands	0.6	100.0%
Totals for Area of Interest		0.6	100.0%

Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however, onsite investigation is needed to define and locate the soils and miscellaneous areas.

Custom Soil Resource Report

An identifying symbol precedes the map unit name in the map unit descriptions. Each description includes general facts about the unit and gives important soil properties and qualities.

Soils that have profiles that are almost alike make up a *soil series*. Except for differences in texture of the surface layer, all the soils of a series have major horizons that are similar in composition, thickness, and arrangement.

Soils of one series can differ in texture of the surface layer, slope, stoniness, salinity, degree of erosion, and other characteristics that affect their use. On the basis of such differences, a soil series is divided into *soil phases*. Most of the areas shown on the detailed soil maps are phases of soil series. The name of a soil phase commonly indicates a feature that affects use or management. For example, Alpha silt loam, 0 to 2 percent slopes, is a phase of the Alpha series.

Some map units are made up of two or more major soils or miscellaneous areas. These map units are complexes, associations, or undifferentiated groups.

A *complex* consists of two or more soils or miscellaneous areas in such an intricate pattern or in such small areas that they cannot be shown separately on the maps. The pattern and proportion of the soils or miscellaneous areas are somewhat similar in all areas. Alpha-Beta complex, 0 to 6 percent slopes, is an example.

An *association* is made up of two or more geographically associated soils or miscellaneous areas that are shown as one unit on the maps. Because of present or anticipated uses of the map units in the survey area, it was not considered practical or necessary to map the soils or miscellaneous areas separately. The pattern and relative proportion of the soils or miscellaneous areas are somewhat similar. Alpha-Beta association, 0 to 2 percent slopes, is an example.

An *undifferentiated group* is made up of two or more soils or miscellaneous areas that could be mapped individually but are mapped as one unit because similar interpretations can be made for use and management. The pattern and proportion of the soils or miscellaneous areas in a mapped area are not uniform. An area can be made up of only one of the major soils or miscellaneous areas, or it can be made up of all of them. Alpha and Beta soils, 0 to 2 percent slopes, is an example.

Some surveys include *miscellaneous areas*. Such areas have little or no soil material and support little or no vegetation. Rock outcrop is an example.

St. Lucie County, Florida

50—Waveland and Immokalee fine sands

Map Unit Setting

National map unit symbol: 1jpwd
Elevation: 0 to 200 feet
Mean annual precipitation: 49 to 58 inches
Mean annual air temperature: 70 to 77 degrees F
Frost-free period: 350 to 365 days
Farmland classification: Not prime farmland

Map Unit Composition

Waveland and similar soils: 45 percent
Immokalee and similar soils: 43 percent
Minor components: 12 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Waveland

Setting

Landform: Flatwoods on marine terraces
Landform position (three-dimensional): Talf
Down-slope shape: Convex
Across-slope shape: Linear
Parent material: Sandy marine deposits

Typical profile

A - 0 to 4 inches: fine sand
Eg - 4 to 32 inches: sand
Bh1 - 32 to 40 inches: loamy sand
Bh2 - 40 to 53 inches: sand
Cg1 - 53 to 66 inches: sand
Cg2 - 66 to 80 inches: sand

Properties and qualities

Slope: 0 to 2 percent
Depth to restrictive feature: 31 to 50 inches to ortstein
Drainage class: Poorly drained
Runoff class: High
Capacity of the most limiting layer to transmit water (Ksat): Moderately low to moderately high (0.06 to 0.20 in/hr)
Depth to water table: About 6 to 18 inches
Frequency of flooding: None
Frequency of ponding: None
Maximum salinity: Nonsaline to very slightly saline (0.0 to 2.0 mmhos/cm)
Sodium adsorption ratio, maximum: 4.0
Available water supply, 0 to 60 inches: Very low (about 0.8 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 4w
Hydrologic Soil Group: C/D
Ecological site: F155XY120FL - Sandy Flatwoods and Hammocks

Custom Soil Resource Report

Forage suitability group: Sandy soils on flats of mesic or hydric lowlands
(G156BC141FL)

Other vegetative classification: Sandy soils on flats of mesic or hydric lowlands
(G156BC141FL)

Hydric soil rating: No

Description of Immokalee

Setting

Landform: Flatwoods on marine terraces

Landform position (three-dimensional): Talf

Down-slope shape: Convex

Across-slope shape: Linear

Parent material: Sandy marine deposits

Typical profile

A - 0 to 6 inches: fine sand

E - 6 to 35 inches: fine sand

Bh - 35 to 54 inches: fine sand

Cg - 54 to 72 inches: fine sand

Properties and qualities

Slope: 0 to 2 percent

Depth to restrictive feature: More than 80 inches

Drainage class: Poorly drained

Runoff class: High

Capacity of the most limiting layer to transmit water (Ksat): Moderately high to high
(0.57 to 1.98 in/hr)

Depth to water table: About 6 to 18 inches

Frequency of flooding: None

Frequency of ponding: None

Maximum salinity: Nonsaline to very slightly saline (0.0 to 2.0 mmhos/cm)

Sodium adsorption ratio, maximum: 4.0

Available water supply, 0 to 60 inches: Low (about 5.3 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 4w

Hydrologic Soil Group: B/D

Ecological site: F155XY120FL - Sandy Flatwoods and Hammocks

Forage suitability group: Sandy soils on flats of mesic or hydric lowlands
(G156BC141FL)

Other vegetative classification: Sandy soils on flats of mesic or hydric lowlands
(G156BC141FL)

Hydric soil rating: No

Minor Components

Jonathan

Percent of map unit: 3 percent

Landform: Ridges on marine terraces, knolls on marine terraces

Landform position (three-dimensional): Interfluve

Down-slope shape: Convex

Across-slope shape: Linear

Ecological site: R155XY180FL - Sandy Scrub on Rises, Ridges, and Knolls of
Mesic Uplands

Custom Soil Resource Report

Other vegetative classification: Sandy soils on rises, knolls, and ridges of mesic uplands (G156BC121FL)

Hydric soil rating: No

Salerno

Percent of map unit: 3 percent

Landform: Flatwoods on marine terraces

Landform position (three-dimensional): Talf

Down-slope shape: Convex

Across-slope shape: Linear

Ecological site: F155XY120FL - Sandy Flatwoods and Hammocks

Other vegetative classification: Sandy soils on flats of mesic or hydric lowlands (G156BC141FL)

Hydric soil rating: No

Lawnwood

Percent of map unit: 3 percent

Landform: Marine terraces on flatwoods

Landform position (three-dimensional): Talf

Down-slope shape: Linear

Across-slope shape: Linear

Ecological site: F155XY120FL - Sandy Flatwoods and Hammocks

Other vegetative classification: Sandy soils on flats of mesic or hydric lowlands (G156BC141FL)

Hydric soil rating: No

Electra

Percent of map unit: 3 percent

Landform: Rises on marine terraces, knolls on marine terraces

Landform position (three-dimensional): Interfluve

Down-slope shape: Convex

Across-slope shape: Linear

Ecological site: F155XY150FL - Sandy Flatwoods and Hammocks on Rises and Knolls of Mesic Uplands

Other vegetative classification: Sandy soils on rises and knolls of mesic uplands (G156BC131FL)

Hydric soil rating: No

**SOUTH FLORIDA WATER MANAGEMENT DISTRICT
ENVIRONMENTAL RESOURCE
STANDARD GENERAL PERMIT NO. 56-01288-P**

Form #0941
08/95

DATE ISSUED: October 14, 1996

PERMITTEE: ST. LUCIE COUNTY SCHOOL BOARD
2909 DELAWARE AVENUE
FORT PIERCE, FL 34947

**REFERENCE PERMIT FOR
CONTROL ELEVATION**

PROJECT DESCRIPTION: A SURFACE WATER MANAGEMENT SYSTEM SERVING 6 ACRE(S) OF INSTITUTIONAL DEVELOPMENT KNOWN AS LINCOLN PARK ACADEMY HIGH SCHOOL ADDITION.

PROJECT LOCATION: ST LUCIE COUNTY, SECTION 4 TWP 35S RGE 40E

This is to notify you of the District's agency action concerning Notice of Intent for Permit Application No. 960729-15, dated July 29, 1996. This action is taken pursuant to Rule 40E-1.603 and Chapters 40E-40, Florida Administrative Code (F.A.C.).

Based on the information provided, District rules have been adhered to and an Environmental Resource General Permit is in effect for this project subject to:

1. Not receiving a filed request for a Chapter 120, Florida Statutes, administrative hearing,
2. the attached General Conditions,
3. the attached 8 Special Conditions, and
4. the attached 10 Exhibit(s).

Should you object to these Conditions, please refer to the attached "Notice of Rights" which addresses the procedures to be followed if you desire a public hearing or other review of the proposed agency action. Please contact this office if you have any questions concerning this matter. If we do not hear from you in accordance with the "Notice of Rights," we will assume that you concur with the District's action.

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that a "Notice of Rights" has been mailed to the Permittee (and the persons listed in the attached distribution list) no later than 5:00 p.m. on the 14th day of October, 1996, in accordance with Section 120.60(3), Florida Statutes.

BY: 

Anthony M. Waterhouse, P.E.
Director - Surface Water Management
West Palm Beach Service Center

Certified Mail No. P 370 995 835

Enclosures

SCANNED

SPECIAL CONDITIONS

1. MINIMUM BUILDING FLOOR ELEVATION: 22.2 FEET NGVD.
2. MINIMUM PARKING LOT ELEVATION: 20.3 FEET NGVD.
3. DISCHARGE FACILITIES:
 - 1-.33' WIDE SHARP CRESTED WEIR WITH CREST AT ELEV. 17.88' NGVD.
 - 1-.25' DIA. CIRCULAR ORIFICE WITH INVERT AT ELEV. 16' NGVD.
 - 20 LF OF 1.5' WIDE X 1' HIGH ELLIPTICAL CULVERT.

RECEIVING BODY : NORTH 17TH STREET SYSTEM

CONTROL ELEV : 16 FEET NGVD.

4. THE PERMITTEE SHALL BE RESPONSIBLE FOR THE CORRECTION OF ANY EROSION, SHOALING OR WATER QUALITY PROBLEMS THAT RESULT FROM THE CONSTRUCTION OR OPERATION OF THE SURFACE WATER MANAGEMENT SYSTEM.
5. MEASURES SHALL BE TAKEN DURING CONSTRUCTION TO INSURE THAT SEDIMENTATION AND/OR TURBIDITY PROBLEMS ARE NOT CREATED IN THE RECEIVING WATER.
6. THE DISTRICT RESERVES THE RIGHT TO REQUIRE THAT ADDITIONAL WATER QUALITY TREATMENT METHODS BE INCORPORATED INTO THE DRAINAGE SYSTEM IF SUCH MEASURES ARE SHOWN TO BE NECESSARY.
7. FACILITIES OTHER THAN THOSE STATED HEREIN SHALL NOT BE CONSTRUCTED WITHOUT AN APPROVED MODIFICATION OF THIS PERMIT.
8. OPERATION OF THE SURFACE WATER MANAGEMENT SYSTEM SHALL BE THE RESPONSIBILITY OF THE PERMITTEE. PRIOR TO TRANSFER OF TITLE FOR ANY PORTION OF THE PROJECT TO A THIRD PARTY, MODIFICATION OF THE PERMIT WILL BE REQUIRED.

STORMWATER MANAGEMENT PLAN

Property Address: Tony Philip
2502 Avenue M, FT. Pierce, Florida 34947

Engineer of Record: Dylan OBerry PE
Art of Engineering Inc
2674 SE Ruffin Ter Port St Lucie, FL 34952

OPERATION & MAINTENANCE PLAN

The operation and maintenance apply to the new dry retention area to be constructed. Maintenance of this overall facility will fall under the responsibility of the owner.

OPERATION

GRADING

The runoff from the improved portion of the project will be directed into a dry retention swale and ultimately towards a dry retention area.

STORAGE

The dry retention area of the Storm Water Management System will store and thus provide water quality treatment and attenuation. The system is designed to have the capacity to provide the required water quality treatment as well as the 25-year 72-hour storm event.

DISCHARGE

The system consists of dry retention.

MAINTENANCE

The OWNER will be responsible for the maintenance of the Storm Water Management System and will complete the following tasks yearly, at a minimum:

1. Inspect all surfaces of the detention areas to confirm that erosion has not occurred and that specified ground cover is in good condition. Grassed areas should be mowed on a regular basis, and any areas that have eroded should be repaired with new sod. Other materials may be necessary based on the frequency of erosion.
2. Review the remaining site to ensure that no nuisance exotics have returned to the site. If exotics are found, they should be removed from the site.
3. Although this area is not anticipated to be prone or contain sink holes, the following action should be completed upon the discovery and/or observation of a sink hole within the surface water management system. The Florida Department of Environmental Protection should be contacted within 48 hours after the discovery.
4. File a report for future review as follows:

INSPECTION REPORT

Date of Inspection: _____

Inspector: _____

1. Culverts and Pipes Inspection Corrective Action Required: YES NO

Action taken: _____

2. Catch Basin Inspection Corrective Action Required: YES NO

Action taken: _____

3. Dry Retention Area Inspection Corrective Action Required: YES NO

Action taken: _____

4. Swales and Berms Inspection Corrective Action Required: YES NO

Action taken: _____

5. Exotics Inspection Corrective Action Required: YES NO

Action taken: _____

6. Sink Hole Inspection Corrective Action Required: YES NO

Action taken: _____

Note: If sink hole is discovered within the surface water management system the Florida Department of Environmental Protection shall be contacted within 48 hours of its discovery.



Advanced Restoration Ecology

2405-524-0039-000-0

Saint Lucie County, FL

Environmental Assessment

Prepared For:
Art of Engineering

Prepared By:

Drew Gatewood, MS, PWS
2593 NE Roberta St
Jensen Beach, FL 34957
772-242-7200
813-784-8891

©ARE, Inc. February 2026

The environmental assessment report below has been compiled in accordance with the Saint Lucie County Development Review Division and provisions set forth by the State of Florida. The parcel is listed by the Saint Lucie County Property Appraiser as Parcel ID number 2405-524-0039-000-0 and is a total of .35 acres. The property is located at 2502 Avenue M, in Fort Pierce, Florida. The following report describes the findings of our recent on-site review and database research as it pertains to Saint Lucie County and the State of Florida.

LAND USE RECORDS

The Saint Lucie County Property Appraiser's Report lists this property as 1000 Vacant Commercial.

SOIL COMPOSITION

Based on a review of the United States Department of Agriculture's Web Soil Survey database the site's soils are comprised of the following:

Waveland & Immokalee fine sand - is poorly drained soil is found in broad areas of flatwoods. Typically the surface layer is very dark gray fine sand about 6 inches thick. The subsurface layer extends to a depth of 35 inches and is fine sand. The seasonal high water table in the soil is at a depth of 6 to 8 inches from June through September. During the remainder of the year it is typically at a depth of 18 to 40 inches. Natural vegetation consists of slash pine and scattered oak with an understory of saw palmetto, gallberry, fetterbush, pineland threeawn, chalky bluestem, and Indiangrass. This soil is poorly suited for crops and citrus. Water control measures are needed to overcome excessive wetness.

WILDLIFE EVALUATION

On February 4, 2026, ARE conducted pedestrian transects across 100% of the property looking for local, state, and federally listed or endangered species present on the site. This survey included searching for the presence of gopher tortoise burrows or recent activity, and included the species listed below. During the pedestrian transects of the property, no gopher tortoise activity was observed on site. No other listed plant or animal species were observed on site during the site visit. An IPaC report was generated for the project area and as well as a review of the following sources: Treasure Coast Regional Planning Council's Strategic Regional Policy Plan, Florida Fish and Wildlife Conservation Commission and U.S. Fish and Wildlife Service. The species included the following:

Puma (*Puma concolor* all subsp. except *coryi*)
Southeastern Beach mouse (*Peromyscus polionotus niveiventris*)
Crested Catacara (*Caracara plancus audubonii*)
Eastern Black Rail (*Laterallus jamaicensis ssp. jamaicensis*)
Everglades Snail Kite (*Rostrhamus sociabilis plumbeus*)
Florida Scrub-jay (*Aphelocoma coerulescens*)
American Alligator (*Alligator mississippiensis*)
Eastern Indigo Snake (*Dymarchon couperi*)
Monarch Butterfly (*Danaus plexippus*)
Beach Jacquemontia (*Jacquemontia reclinata*)
Fragrant Prickly-apple (*Cereus eriophorus var. fragrans*)
Tiny Polygala (*Polygala smallii*)

There are no critical habitats at this location.

NATIVE HABITAT

The site investigation conducted by ARE, Inc. did not find native upland habitat on the site. The site consists of urban open land. Species observed during the site reconnaissance included the following:

Laurel Oak (*Quercus laurifolia*) Cabbage Palm (*Sabal palmetto*)
Bahia grass (*Paspalum notatum*)

WETLAND DELINEATION

Based on the State of Florida definition of a wetland in 62-340 FAC, there are three components: hydric soils, wetland plants, and hydrologic indicators. Based on the characteristics of the site, ARE concludes this property does not include wetlands under the jurisdiction of the State of Florida or the federal government on site in its current configuration.

COUNTY REQUIREMENTS

The County will require proof of a completed gopher tortoise survey by a licensed agent. Please submit this document with any applications to use as the needed verification of a 100% gopher tortoise survey has been completed on the site. Per FWC regulations a gopher tortoise survey is good for 90 days, and any clearing must have a valid survey prior to commencement. The County will not authorize/issue any permitting without a current gopher tortoise survey.

CONCLUSION

Based on County requirements, ARE, Inc. conducted a site investigation throughout the property to survey for the presence of any listed plant or animal species. No gopher tortoise burrows were observed on site. No other species listed by the State of Florida or the federal government were observed on the property during the site visit. A 100% gopher tortoise survey of the property was conducted and completed by an FWC licensed gopher tortoise agent during the site investigation. Native upland habitat was determined not to be on site. It is the professional opinion of ARE, Inc., that based on the site's characteristics, there are no wetlands under the jurisdiction of the State of Florida or the federal government on the site.

Technical Review Committee - 10:00 AM

2. c.

Meeting Date: 04/16/2026

REQUESTED ACTION

PZSITE2026-00003

Minor Site Plan
All Area Roofing
3621 US Highway 1

SUMMARY

A minor site plan application has been submitted by applicant KMA Engineering & Surveying on behalf of owner, Douglas Richards of Costal Utopia to develop a 9,955 sf commercial use building. The proposed building will be a showroom, provide storage for company vehicles and access for merchandise pickup. The future land use is General Commercial (GC) and has a zoning of General Commercial (C-3).

Please review the attached file and provide comments at least two days before the scheduled TRC meeting date by either emailing them to kdriver@cityoffortpierce.com and planning@cityoffortpierce.com or direct upload onto Tyler. Please be sure to notify me via email if comments are directly uploaded. Should you require additional information, you may contact me at 773-467-3739.

LOCATION

Address: 3621 US Highway 1

Parcel ID: 2434-601-0025-000-5

Legal Description: KELLEM`S S/D N 165 FT OF E 440 FT OF LOT 7-LESS RD R/W- (1.51 AC)

RESPONSIBLE STAFF

Kerry C. Driver - Senior Planner

RECOMMENDATION

N/A

Attachments

TRC Packet

Form Review

Form Started By: Kerry Driver
Final Approval Date: 04/02/2026

Started On: 04/02/2026 11:57 AM



KMA Engineering & Surveying, LLC

1176 25th St.
Vero Beach, FL 32960
(772) 569-550

March 31, 2026

City of Fort Pierce
Planning Department
2300 Virginia Avenue
Fort Pierce, FL 34982

Re: All Area Roofing

We are proposing a 9,955 sf. building on 1.5 acres at 3621 US HWY 1 Fort Pierce, FL. Currently the property is zoned C-3 with a future land use of GC. The site is bordered by Industrial land use on the north and west and GC to the south. The hours of operation will be from 7 a.m. to 5 p.m. daily and the showroom will be open to the public. Heavy duty pickup trucks & dump trucks will be accessing and be stored on site.

Should you have any questions or require additional information, please feel free to contact this office at your earliest convenience.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Blaine Bergstresser', is written over a light blue horizontal line.

Blaine Bergstresser, P.E.
Florida License No. 84598



KMA Engineering & Surveying, LLC

1176 25th St.
Vero Beach, FL 32960
(772) 569-550

January 28, 2026

City of Fort Pierce
Planning Department
100 N. US Highway 1
Fort Pierce, FL 34950

Re: All Area Roofing

We are proposing a 9,955 sf. building on 1.5 acres at 3621 US HWY 1 Fort Pierce, FL. Currently the property is zoned C-3 with a future land use of GC. The site is bordered by Industrial land use on the north and west and GC to the south.

Should you have any questions or require additional information, please feel free to contact this office at your earliest convenience.

Sincerely,

Blaine Bergstresser, P.E.
Florida License No. 84598



KMA Engineering & Surveying, LLC

1176 25th St.
Vero Beach, FL 32960
(772) 569-550

Prepared by and return to:

Alicia M. Kilbourne
Premier Title Partners of Florida, LLC
3885 20th Street, Suite 202, Vero Beach, FL 32960
(772) 206-4601
File No PTP22-6503F

Parcel Identification No 2434-601-0025-000-5

[Space Above This Line For Recording Data]

WARRANTY DEED

(STATUTORY FORM - SECTION 689.02, F.S.)

This indenture made the 5TH day of August, 2022 between **Kieran Casey and Nikki Casey, husband and wife** whose post office address is **3900 Shoreside Drive, Hutchinson Island, FL 34949**, of the County of St. Lucie, State of Florida, and **Anna Casey, a married woman**, whose post office address is **12600 Southwest 92nd Court, Miami, FL 33176**, County of Dade-Broward, State of Florida, Grantors, to **Coastal Utopia, LLC, a Florida Limited Liability Company and Douglas Richards and Elsa Richards, husband and wife, as Joint Tenants with Rights of Survivorship** whose post office address is **3415 West Busch Boulevard, Tampa, FL 33618**, of the County of Hillsborough, State of Florida, Grantees:

Witnesseth, that said Grantors, for and in consideration of the sum of TEN DOLLARS (U.S.\$10.00) and other good and valuable considerations to said Grantors in hand paid by said Grantees, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said Grantees, and Grantees' heirs and assigns forever, the following described land, situate, lying and being in St. Lucie, Florida, to-wit:

The North 165 feet of the East 440 feet of Lot 7, J.I. Kellem's Subdivision, according to the plat thereof, as recorded in Plat Book 3, Page 85, Public Records of Saint Lucie County, Florida.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

Subject to taxes for 2022 and subsequent years, not yet due and payable; covenants, restrictions, easements, reservations and limitations of record, if any.

Property is not the constitutional homestead of the Grantor(s) under the laws and constitution of the State of Florida and neither the Grantor(s) nor any person(s) for whose support the Grantor(s) is responsible reside on or adjacent to the land and this property is VACANT LAND.

TO HAVE AND TO HOLD the same in fee simple forever.

And Grantors hereby covenant with the Grantees that the Grantors are lawfully seized of said land in fee simple, that Grantors have good right and lawful authority to sell and convey said land and that the Grantors hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever.

AS to Kieran Casey and Nikki Casey:

In Witness Whereof, Grantors have hereunto set Grantors' hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

V. White - Isaacs
WITNESS

V. White - Isaacs
Printed Name of First Witness

J. Shaw
WITNESS

Lertine Shaw
Printed Name of Second Witness

[Signature]
Kieran Casey

[Signature]
Nikki Casey

[Signature]
Anna Casey

STATE OF FLORIDA
COUNTY OF Miami - Dade

The foregoing instrument was acknowledged before me by means of physical presence or online notarization this 5TH day of August, 2022, by Kieran Casey and Nikki Casey, husband and wife and Anna Casey, a married woman.

[Signature]
Signature of Notary Public
Print, Type/Stamp Name of Notary

Personally Known: OR Produced Identification:
Type of Identification
Produced: _____



Property Identification

Site Address: 3621 US HIGHWAY 1
 Sec/Town/Range: 34/35S/40E
 Parcel ID: **2434-601-0025-000-5**
 Jurisdiction: Fort Pierce
 Land Use Code: 1000 - Vac Comm
 Account #: **33434**
 Map ID: [24/34N](#)
 Zoning: General Co



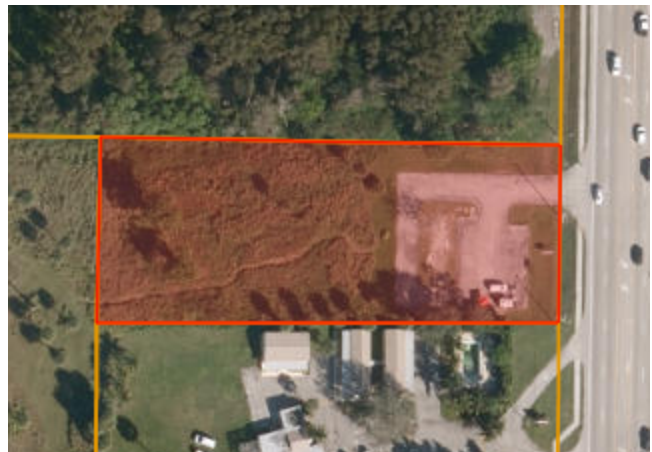
Legal Description

KELLEM'S S/D N 165 FT OF E 440 FT OF LOT 7-LESS RD R/W- (1.51 AC)

Total Areas

Finished/Under Air (SF): 0
 Gross Sketched Area (SF): 0
 Land Size (acres): 1.51
 Land Size (SF): 65,670

Map



State of Florida, Microsoft, Vantor

Powered by Esri

Building Wind Speed

Occupancy Category	I	II	III & IV
Speed	140	160	160

[Sources/links:](#)

Ownership

Coastal Utopia LLC
 Douglas Richards
 Elsa Richards
 3415 W Busch BLVD
 Tampa, FL 33618-4401

Current Values

Just/Market value: \$269,200
 Assessed value: \$234,300
 Exemption value: **\$0**
 Taxable value: \$234,300

Important

Property taxes are subject to change upon change of ownership.

- **Past taxes are not a reliable projection of future taxes.**
- **The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.**

Links

Taxes for this parcel: [SLC Tax Collector's Office](#)

Download TRIM for this Parcel: [Download PDF](#)

[File for homestead exemptions.](#)

[View associated Tax Map.](#)

[Report Homestead Fraud on this parcel.](#)

All information is believed to be correct at this time, but is subject to change and is provided without any warranty.

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Property Identification

Site Address: 3621 US HIGHWAY 1
 Sec/Town/Range: 34/35S/40E
 Parcel ID: **2434-601-0025-000-5**
 Jurisdiction: Fort Pierce
 Land Use Code: 1000 - Vac Comm
 Account #: **33434**
 Map ID: [24/34N](#)
 Zoning: General Co



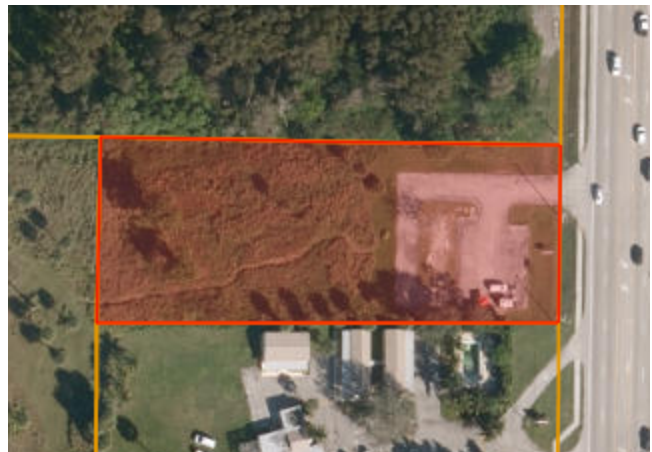
Legal Description

KELLEM'S S/D N 165 FT OF E 440 FT OF LOT 7-LESS RD R/W- (1.51 AC)

Total Areas

Finished/Under Air (SF): 0
 Gross Sketched Area (SF): 0
 Land Size (acres): 1.51
 Land Size (SF): 65,670

Map



State of Florida, Microsoft, Vantor

Powered by Esri

Building Wind Speed

Occupancy Category	I	II	III & IV
Speed	140	160	160

[Sources/links:](#)

Ownership

Coastal Utopia LLC
 Douglas Richards
 Elsa Richards
 3415 W Busch BLVD
 Tampa, FL 33618-4401

Current Values

Just/Market value: \$269,200
 Assessed value: \$234,300
 Exemption value: **\$0**
 Taxable value: \$234,300

Important

Property taxes are subject to change upon change of ownership.

- **Past taxes are not a reliable projection of future taxes.**
- **The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.**

Links

Taxes for this parcel: [SLC Tax Collector's Office](#)

Download TRIM for this Parcel: [Download PDF](#)

[File for homestead exemptions.](#)

[View associated Tax Map.](#)

[Report Homestead Fraud on this parcel.](#)

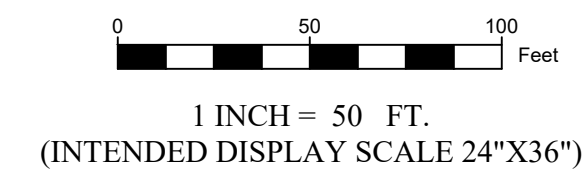
All information is believed to be correct at this time, but is subject to change and is provided without any warranty.

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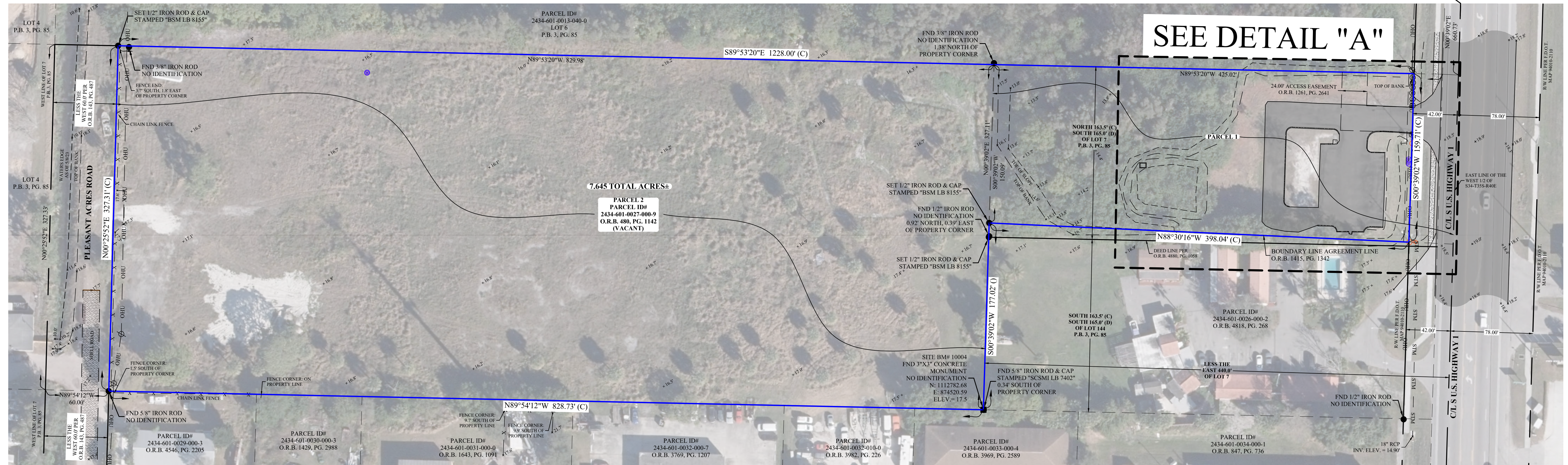
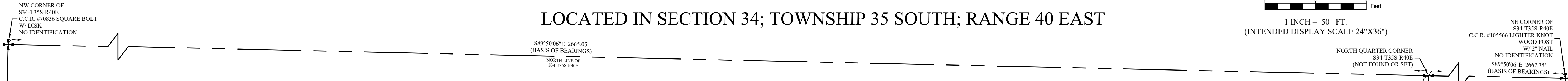
BOUNDARY & TOPOGRAPHIC SURVEY

LOCATED IN SECTION 34; TOWNSHIP 35 SOUTH; RANGE 40 EAST

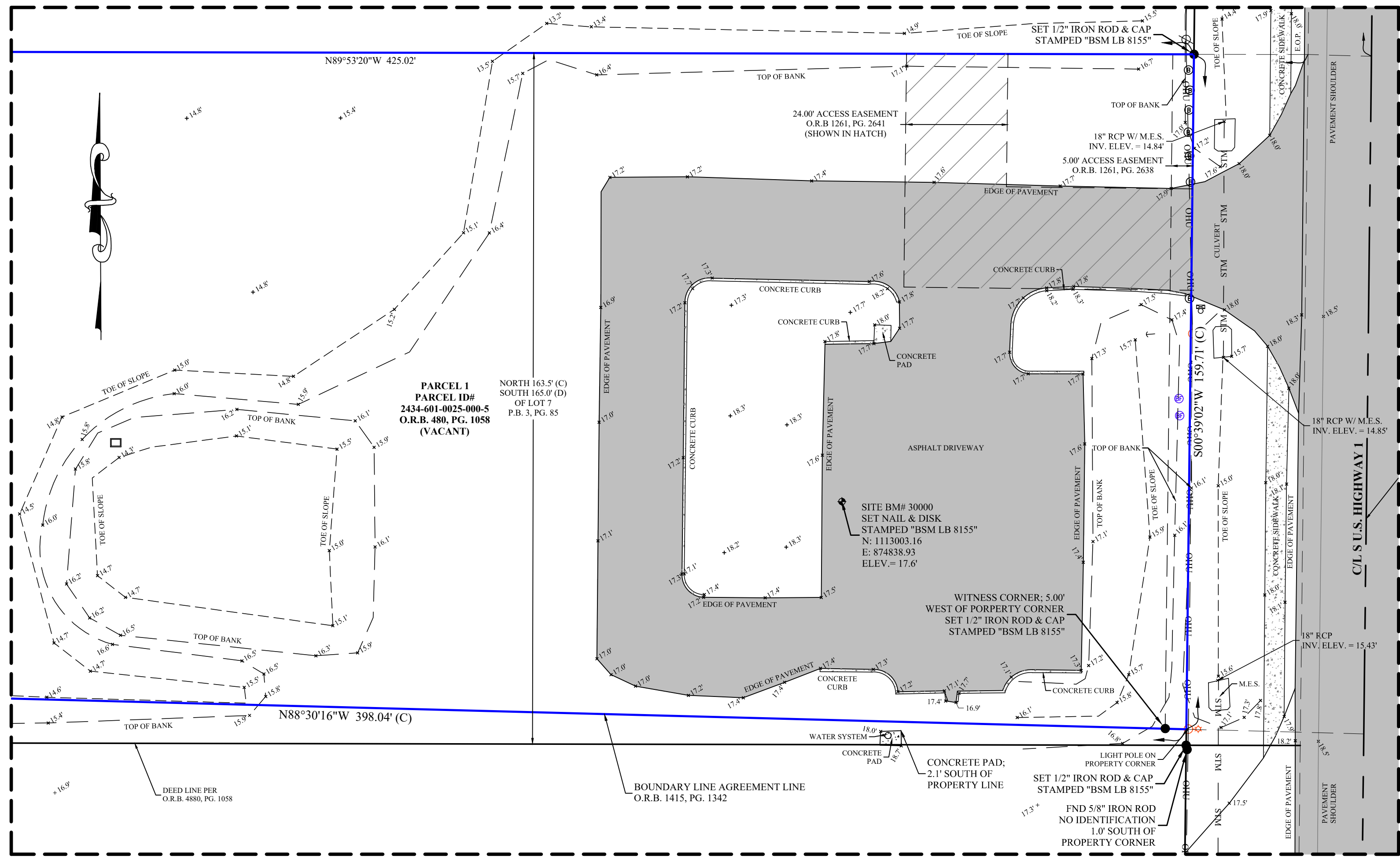
GRAPHIC SCALE



80 SE 31st Lane, Okaloosa, FL 34974
ricky.barnes@bmsurvey.com
863.484.8324
LB 8155



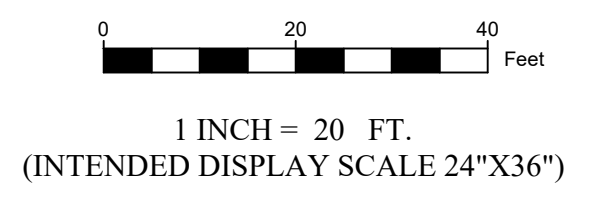
DETAIL "A"



SURVEYOR'S NOTES:

1. THE SURVEY DATE IS MAY 18, 2023.
2. THIS IS A **BOUNDARY & TOPOGRAPHIC SURVEY**, AS DEFINED IN CHAPTER 5J-17.050(11) OF THE FLORIDA ADMINISTRATIVE CODE.
3. THIS SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
4. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
5. BEARINGS SHOWN HEREON ARE BASED ON GRID NORTH, AND ARE REFERENCED TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT. THE BEARING BASE FOR THIS SURVEY IS THE NORTH LINE OF SECTION 34, TOWNSHIP 35 SOUTH, RANGE 40 EAST, SAID LINE BEARS SOUTH 89°50'06" EAST AND ALL OTHER BEARINGS ARE RELATIVE THERETO.
6. THE COORDINATES SHOWN HEREON ARE REFERENCED TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT (NAD83 2011), AS ESTABLISHED USING REAL-TIME KINEMATIC GLOBAL POSITIONING SYSTEM (RTK GPS) SURVEY METHODS. THE CORRECTED POSITIONS COMPUTED WERE VERIFIED THROUGH A REDUNDANCY OF MEASUREMENTS. ALL DISTANCES SHOWN HEREON ARE IN GRID U.S. SURVEY FEET.
7. ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). ELEVATION DEPICTED ON THIS SURVEY WERE OBTAINED USING REAL TIME KINEMATIC (RTK) GPS METHODS WITH AN EXPECTED ACCURACY OF +/- 0.1'.
8. THIS SURVEY DOES NOT HAVE THE BENEFIT OF A CURRENT TITLE COMMITMENT, OPINION, OR ABSTRACT. DURING THE COURSE OF THE SURVEY SOME SEARCHES OF THE PUBLIC RECORDS WERE MADE, BUT THESE SEARCHES WERE NOT EXHAUSTIVE AND SHOULD NOT BE CONSIDERED A SUBSTITUTE FOR A PROPER TITLE COMMITMENT, OPINION, OR ABSTRACT OBTAINED FROM A TITLE AGENCY OR OTHER TITLE PROFESSIONAL.
9. THE LEGAL DESCRIPTION OF THE LAND CONTAINED IN THIS BOUNDARY SURVEY IS BASED ON THE DESCRIPTION RECORDED IN OFFICIAL RECORDS BOOK 4880, PAGE 1058 AND 1142, AS RECORDED IN THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.
10. THIS SURVEY DELINEATES THE LOCATIONS OF THE LEGAL DESCRIPTIONS ON THE GROUND, BUT DOES NOT DETERMINE OWNERSHIP OR PROPERTY RIGHTS.
11. ADJOINING PROPERTY INFORMATION WAS OBTAINED FROM ST. LUCIE COUNTY PROPERTY APPRAISER OFFICE AND IS SHOWN PER PLAT.
12. AERIAL IMAGERY SHOWN HEREON WAS OBTAINED FROM THE LAND BOUNDARY INFORMATION SYSTEM (F.D.O.T. AERIALS) DATED 2023 AND IS SHOWN FOR INFORMATIONAL PURPOSES ONLY.
13. SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE X PER FEMA MAP NUMBER 12111C, PANEL NUMBER 0189K, WITH AN EFFECTIVE DATE OF 02/19/20.

DETAIL SCALE



LEGEND:

BM	BENCHMARK	F.D.O.T.	FLORIDA DEPARTMENT OF TRANSPORTATION	W/	WITH
(C)	CALCULATED	C.C.R.	CERTIFIED CORNER RECORD	⊕	BOLLARD
(D)	DEED	O.H.U.	OVERHEAD UTILITY LINE	⊙	MAILBOX
E.	EASTING	(P)	PLAT	⊙	UTILITY POLE
ELEV.	ELEVATION	PG.	PAGE	⊙	GUY ANCHOR
E.O.P.	EDGE OF PAVEMENT	P.B.	PLAT BOOK	⊙	EXISTING ELEVATION
F.N.D.	FOUND	R/W	RIGHT OF WAY	⊙	CATCH BASIN
ID	IDENTIFICATION	RCP	REINFORCED CONCRETE PIPE	⊙	WELL
INV.	INVERT	S	SECTION OR SOUTH	⊙	BACKFLOW PREVENTER
M.E.S.	MITERED END SECTION	T	TOWNSHIP	⊙	LIGHT POLE
N.	NORTHING	R	RANGE	—	PROPERTY LINE
O.R.B.	OFFICIAL RECORDS BOOK				

LEGAL DESCRIPTION:

PARCEL 1 (O.R.B. 4880, PG. 1058)
THE NORTH 165 FEET OF THE EAST 440 FEET OF LOT 7, J.I. KELLEM'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 85, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

PARCEL 2 (O.R.B. 480, PG. 1142)
LOT 7, LESS THE EAST 440 FEET THEREOF, JI KELLEM'S SUBDIVISION OF THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 85, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, LESS THE WEST 60 FEET FOR ROAD RIGHT-OF-WAY AS DESCRIBES IN DEED BOOK 143, PAGE 487, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

CERTIFICATION:

I HEREBY CERTIFY THAT THE ATTACHED SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND THAT IT MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE.

FOR THE BENEFIT OF THE FOLLOWING PARTIES ONLY:
1) COASTAL UTOPIA LLC.

FOR THE FIRM:
B.S.M. & ASSOCIATES, INC.

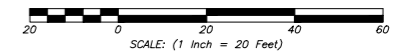
DATE _____
RICHARD E. BARNES III
PROFESSIONAL SURVEYOR AND MAPPER
STATE OF FLORIDA LICENSE NO. 7074

CAD	G:\M Drive\B.S.M. & ASSOCIATES, INC.\2023\23-082 ALL AREA ROOFING - S US HWY 1 FORT PIERCE\DRAWING\23-082 SURVEY.dwg 24X36 SHEET May 24, 2023
REF	G:\M Drive\B.S.M. & ASSOCIATES, INC.\2023\23-082 ALL AREA ROOFING - S US HWY 1 FORT PIERCE\DRAWING\23-082 SURVEY.dwg 24X36 SHEET May 24, 2023
FLD	JF:DF
OFF	EGB
CKD	REB
DATE	05/18/23
BY:	
DATE:	
REVISIONS:	
DATE:	
BY:	

BOUNDARY & TOPOGRAPHIC SURVEY
3621 US HIGHWAY 1
FORT PIERCE, FLORIDA 34982



GRAPHIC SCALE



KMA

ENGINEERING & SURVEYING, LLC
3001 INDUSTRIAL AVE 2
FORT PIERCE, FL 34946
PHONE: (772) 568-5055
FPIRE C.O.A. # 33105

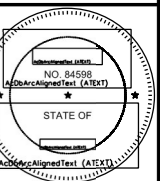
REVISIONS:

BY:	DATE:	COMMENT:

NOT FOR CONSTRUCTION

PROJECT:
ALL AREA ROOFING SITE PLAN
ST. LUCIE COUNTY
FLORIDA

CLIENT:
ALL AREA ROOFING & CONSTRUCTION
FORT PIERCE
FLORIDA



BLAINE BERGSTRESSER, P.E.
FLORIDA LICENSE NO. 84598
12/18/2025



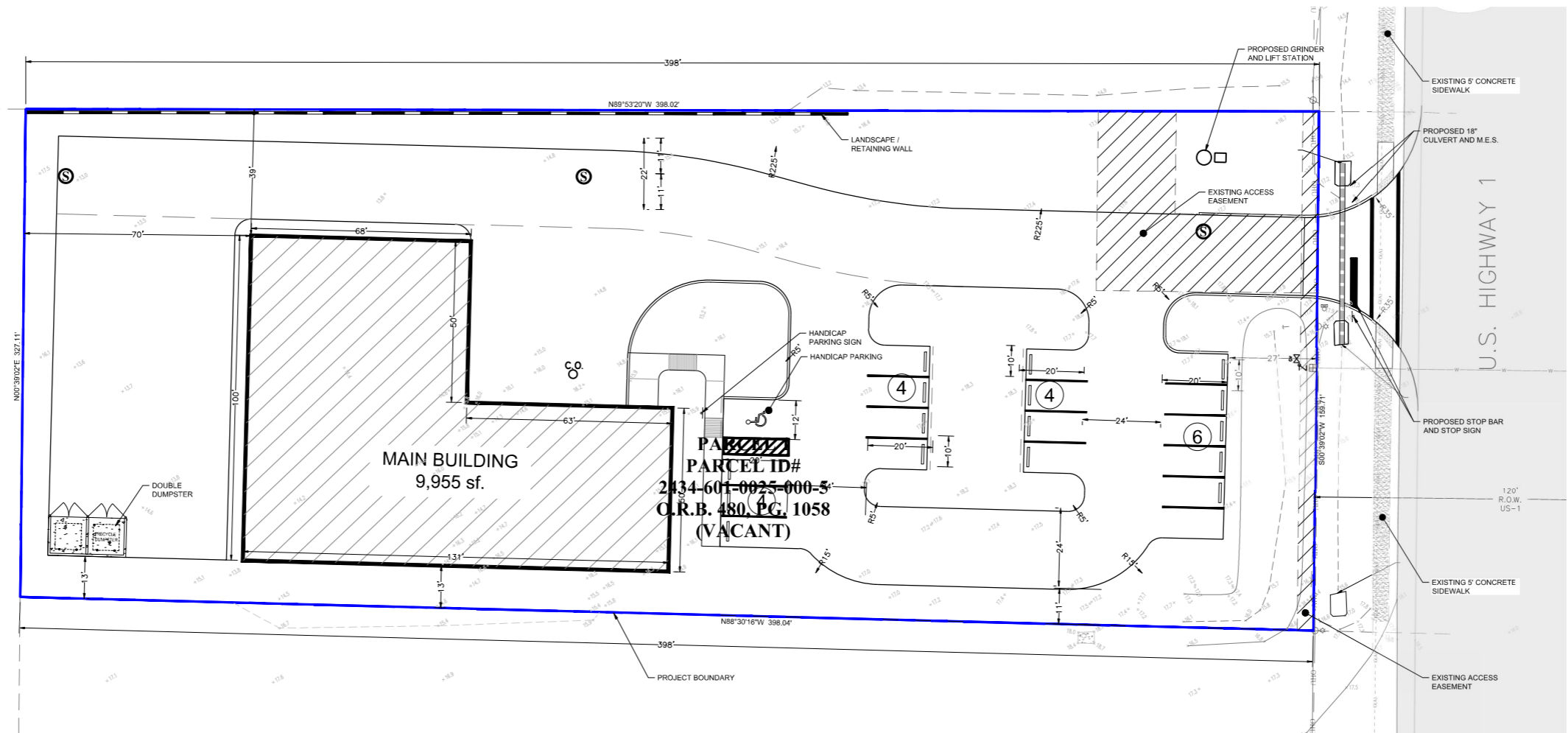
PROJECT No.: 24-1009
DRAWN BY: SCB
CHECKED BY: BRB
DATE: 07/25/2024
CAD I.D.: 24-1009_SITE PLAN

SHEET TITLE:

SITEPLAN

SHEET NUMBER:

C-100



LINWORK & SYMBOL LEGEND

- DENOTES PROPERTY BOUNDARY
- DENOTES ROW DEDICATION
- DENOTES RIGHT-OF-WAY
- DENOTES CENTERLINE
- DENOTES EASEMENT
- DENOTES SWALE FLOWLINE
- DENOTES WATER MAIN
- DENOTES GRAVITY SEWER
- DENOTES FORCE MAIN
- DENOTES GAS MAIN
- DENOTES DRAINAGE PIPE
- DENOTES DITCH BOTTOM INLET
- DENOTES DRAINAGE STRUCTURE
- DENOTES PROPOSED GRADE
- DENOTES EXISTING GRADE
- DENOTES SEWER MANHOLE
- DENOTES GATE VALVE
- DENOTES FIRE HYDRANT
- DENOTES POWER POLE
- DENOTES TRANSITION MANHOLE

HATCH LEGEND

- PROPOSED STRUCTURES
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE PAVEMENT

SITE DATA & DEVELOPMENT CRITERIA

OWNER: ALL AREA ROOFING & CONSTRUCTION
FT. PIERCE FL.

ENGINEER: BLAINE BERGSTRESSER P.E.
KMA ENGINEERING & SURVEYING LLC
3001 INDUSTRIAL AVENUE 2
FT. PIERCE FL. 34946

SURVEYOR: RICKY BARNES, PSM
PRESIDENT, BSM & ASSOCIATES, INC
80 SE 31st. LANE
OKEECHOBEE, FL 34974
863-484-8324

SITE ADDRESS: 3621 S US HIGHWAY 1
FT. PIERCE, FL. 34947

PARCEL ID(S): 2434-601-0025-000-5

ZONING: C-3 COMMERCIAL
MAX BUILDING HEIGHT 65'

SETBACKS: REQUIRED PROPOSED
FRONT 25' 25'
SIDE NA' NA'
CORNER LOT SIDE NA' NA'
REAR NA' NA'

SITE AREAS:
GROSS SITE 164,109 SF (3.8 AC) 100%

IMPERVIOUS AREA:
BUILDING FOOTPRINTS 9,955 SF
PAVEMENT & CURBING 32,711 SF
SIDEWALKS & OTHER 567 SF
TOTAL: 43,233 SF (1.0 AC) 26.3%

PERVIOUS AREA:
164,109-43,233= 120,876 SF (2.8 AC) 73.7%

PARKING:
REQUIRED: (1) COMMERCIAL BUILDING 1/600sf
9,955/600 = 17 REQUIRED SPACES
TOTAL REQUIRED = 17 PARKING SPACES
ADA PARKING REQUIRED = 1 of 17 SPACES
PROPOSED: 1 ADA PARKING SPACES PROVIDED
17 STANDARD PARKING SPACES PROVIDED
18 TOTAL SPACES PROVIDED

THE PURPOSE OF THIS LAND DEVELOPMENT IS TO CONSTRUCT (1) BUILDING ON PARCEL 2434-601-0025-000-5, ±10,000 SF

FLOOD ZONE
PROPERTY LIES WITHIN FLOOD ZONE "X" ACCORDING TO THE F.I.R.M. MAP NO. 12111C0189K, 2/19/2020.



KMA Engineering & Surveying, LLC

1176 25th St.
Vero Beach, FL 32960
(772) 569-550

January 28, 2026

City of Fort Pierce
Planning Department
100 N. US Highway 1
Fort Pierce, FL 34950

Re: All Area Roofing

We are proposing a 9,955 sf. building on 1.5 acres at 3621 US HWY 1 Fort Pierce, FL. Currently the property is zoned C-3 with a future land use of GC. The site is bordered by Industrial land use on the north and west and GC to the south.

Should you have any questions or require additional information, please feel free to contact this office at your earliest convenience.

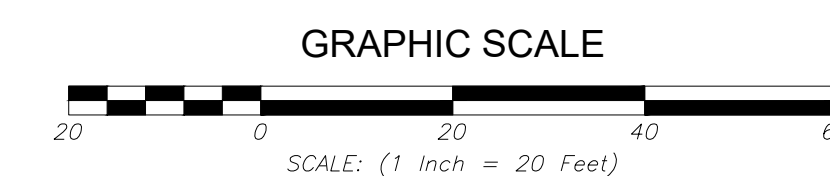
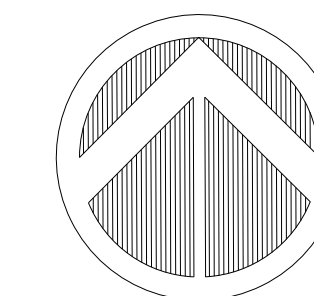
Sincerely,

Blaine Bergstresser, P.E.
Florida License No. 84598



KMA Engineering & Surveying, LLC

1176 25th St.
Vero Beach, FL 32960
(772) 569-550



KMA
ENGINEERING & SURVEYING, LLC
1176 20TH STREET
VERO BEACH, FL 32960
PHONE: (772) 589-6505
PIPE C.O.A # 33705

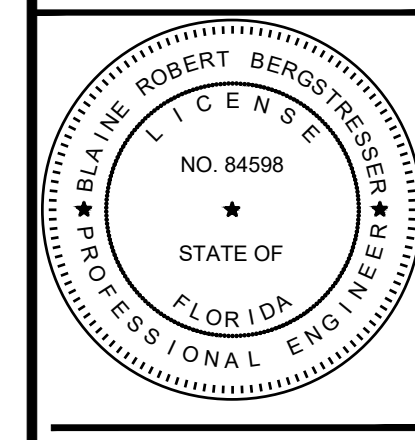
REVISIONS:

BY:	DATE:	COMMENT:

NOT FOR CONSTRUCTION

PROJECT:
ALL AREA ROOFING SITE PLAN
ST. LUCIE COUNTY
FLORIDA

CLIENT:
ALL AREA ROOFING & CONSTRUCTION
FORT PIERCE
FLORIDA



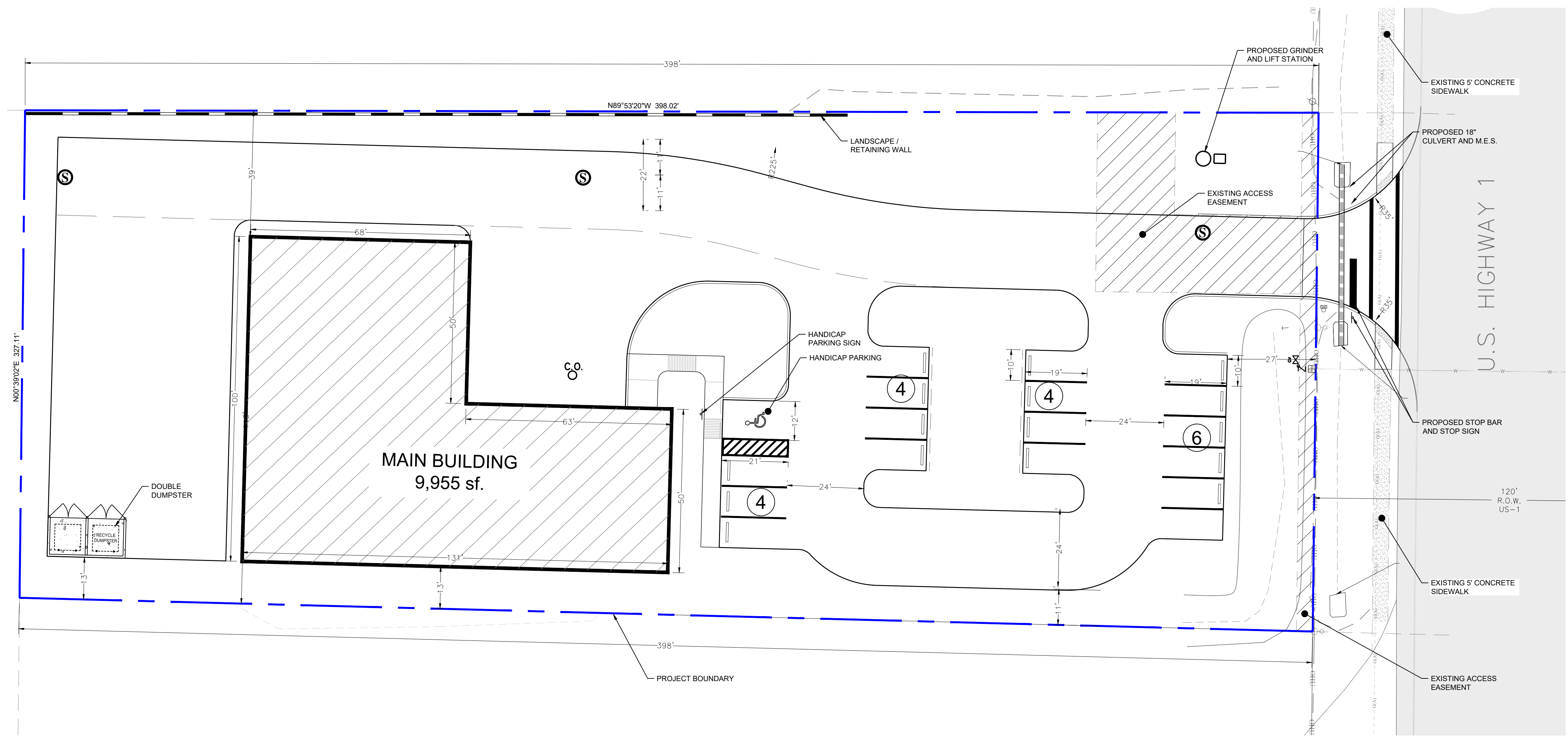
BLAINE BERGSTRESSER, P.E.
FLORIDA LICENSE NO. 84598
3/30/2026



PROJECT No.: 24-1009
DRAWN BY: SCB
CHECKED BY: BRB
DATE: 07/25/2024
CAD ID: 24-1009_SITE PLAN

SHEET TITLE:
SITEPLAN

SHEET NUMBER:
C-100



LINEWORK & SYMBOL LEGEND

- DENOTES PROPERTY BOUNDARY
- DENOTES ROW DEDICATION
- DENOTES RIGHT-OF-WAY
- DENOTES CENTERLINE
- DENOTES EASEMENT
- DENOTES SWALE FLOWLINE
- W DENOTES WATER MAIN
- OHE DENOTES GRAVITY SEWER
- FM DENOTES FORCE MAIN
- GAS DENOTES GAS MAIN
- DENOTES DRAINAGE PIPE
- DENOTES DITCH BOTTOM INLET
- DENOTES DRAINAGE STRUCTURE
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- DENOTES FIRE HYDRANT
- DENOTES POWER POLE
- DENOTES TRANSITION MANHOLE

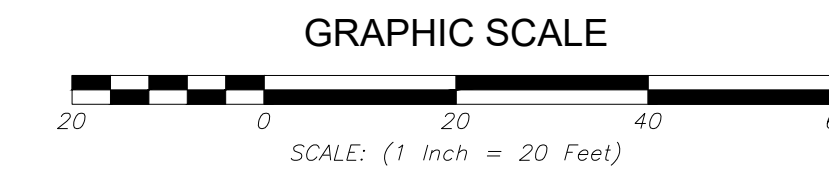
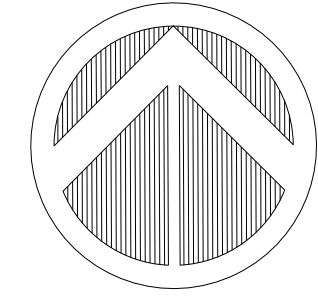
HATCH LEGEND

- PROPOSED STRUCTURES
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE PAVEMENT

SITE DATA & DEVELOPMENT CRITERIA

OWNER:	ALL AREA ROOFING & CONSTRUCTION FT. PIERCE FL.	ZONING:	C-3 COMMERCIAL MAX BUILDING HEIGHT 65'	PARKING:	REQUIRED: (1) COMMERCIAL BUILDING 1/600sf 9,955/600 = 17 REQUIRED SPACES
ENGINEER:	BLAINE BERGSTRESSER P.E. KMA ENGINEERING & SURVEYING LLC 3001 INDUSTRIAL AVENUE 2 FT. PIERCE FL. 34946	SETBACKS:	REQUIRED PROPOSED		TOTAL REQUIRED = 17 PARKING SPACES ADA PARKING REQUIRED = 1 of 17 SPACES
SURVEYOR:	RICKY BARNES, PSM PRESIDENT, BSM & ASSOCIATES, INC 80 SE 31st LANE OKEECHOBEE, FL 34974 863-484-8324	FRONT	25'	25'	
		SIDE	NA'	NA'	
		CORNER LOT SIDE	NA'	NA'	
		REAR	NA'	NA'	
SITE ADDRESS:	3621 S US HIGHWAY 1 FT. PIERCE, FL. 34947	SITE AREAS:			PROPOSED: 1 ADA PARKING SPACES PROVIDED 17 STANDARD PARKING SPACES PROVIDED
PARCEL ID(S):	2434-601-0025-000-5	GROSS SITE	164,109 SF (3.8 AC) 100%		18 TOTAL SPACES PROVIDED
		IMPERVIOUS AREA:			
		BUILDING FOOTPRINTS	9,955 SF		
		PAVEMENT & CURBING	32,711 SF		
		SIDEWALKS & OTHER	567 SF		
		TOTAL:	43,233 SF (1.0 AC) 26.3%		
		PERVIOUS AREA:			
		164,109-43,233=	120,876 SF (2.8 AC) 73.7%		
		THE PURPOSE OF THIS LAND DEVELOPMENT IS TO CONSTRUCT (1) BUILDING ON PARCEL 2434-601-0025-000-5, ±10,000 SF			
		FLOOD ZONE			
		PROPERTY LIES WITHIN FLOOD ZONE "X" ACCORDING TO THE F.I.R.M. MAP NO. 12111C0189K, 2/19/2020.			

J:\24-1009 ALL AREA ROOFING S US HWY 1 FT PIERCE\ENGINEERING\DRAWINGS\DWG\CURRENT\24-1009 SITE PLAN-ALL AREA ROOFING SITEPLAN

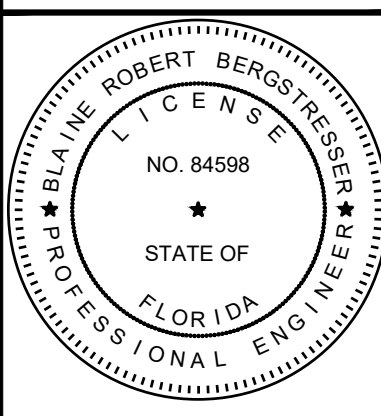


REVISIONS:		
BY:	DATE:	COMMENT:

NOT FOR CONSTRUCTION

PROJECT:
ALL AREA ROOFING SITE PLAN
ST. LUCIE COUNTY
FLORIDA

CLIENT:
ALL AREA ROOFING & CONSTRUCTION
FORT PIERCE
FLORIDA



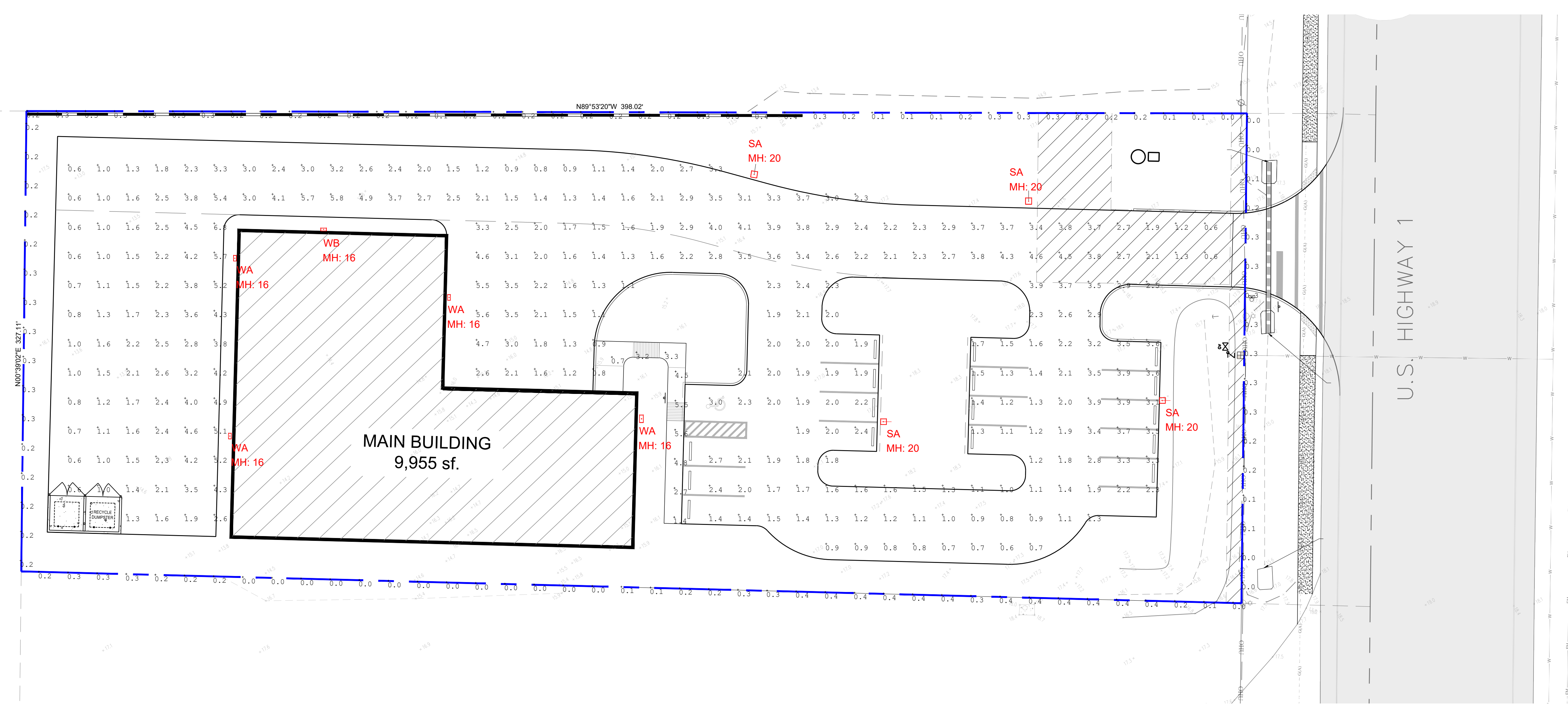
BLAINE BERGSTRESSER, P.E.
FLORIDA LICENSE NO. 84598
3/30/2026



PROJECT No.: 24-1009
DRAWN BY: SCB
CHECKED BY: BRB
DATE: 07/25/2024
CAD: 24-1009_PHOTOMETRIC PLAN

SHEET TITLE:
PHOTOMETRIC PLAN

SHEET NUMBER:
C-400



ALL AREA ROOFING LIGHTING SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	VOLT	LAMP COLOR	LUMENS	LAMP TYPE	DIM TYPE	WATTS	MOUNTING	NOTES
SA	LED SITE LUMINAIRE	LUMARK	PRV-PA2A-740-U-T3-SA-FINISH / MA1017-XX	UNV	4000K	15749	LED	0-10V	112W	POLE	NOTE 1, 2
SB	LED SITE LUMINAIRE	LUMARK	PRV-PA2A-740-U-5WQ-SA-FINISH / MA1017-XX	UNV	4000K	16281	LED	0-10V	112W	POLE	NOTE 1, 2
WA	LED WALL PACK	MCGRAW EDISON	GWC-SA2C-740-U-T4FT-FINISH	UNV	4000K	14850	LED	0-10V	113W	WALL	NOTE 1
WB	LED WALL PACK	MCGRAW EDISON	GWC-SA2C-740-U-SL2-FINISH	UNV	4000K	14461	LED	0-10V	113W	WALL	NOTE 1

FIXTURE SCHEDULE NOTES

NOTE 1: ADVISE FINISH
NOTE 2: FIXTURE MOUNTED ON 20' DIRECT BURIAL CONCRETE POLE MODEL #: US128TIS-9666
FOR QUESTIONS PERTAINING TO THIS FIXTURE SCHEDULE PLEASE CONTACT QUOTATIONS@LIGHTINGDYNAMICS.COM, (954) 944-0286

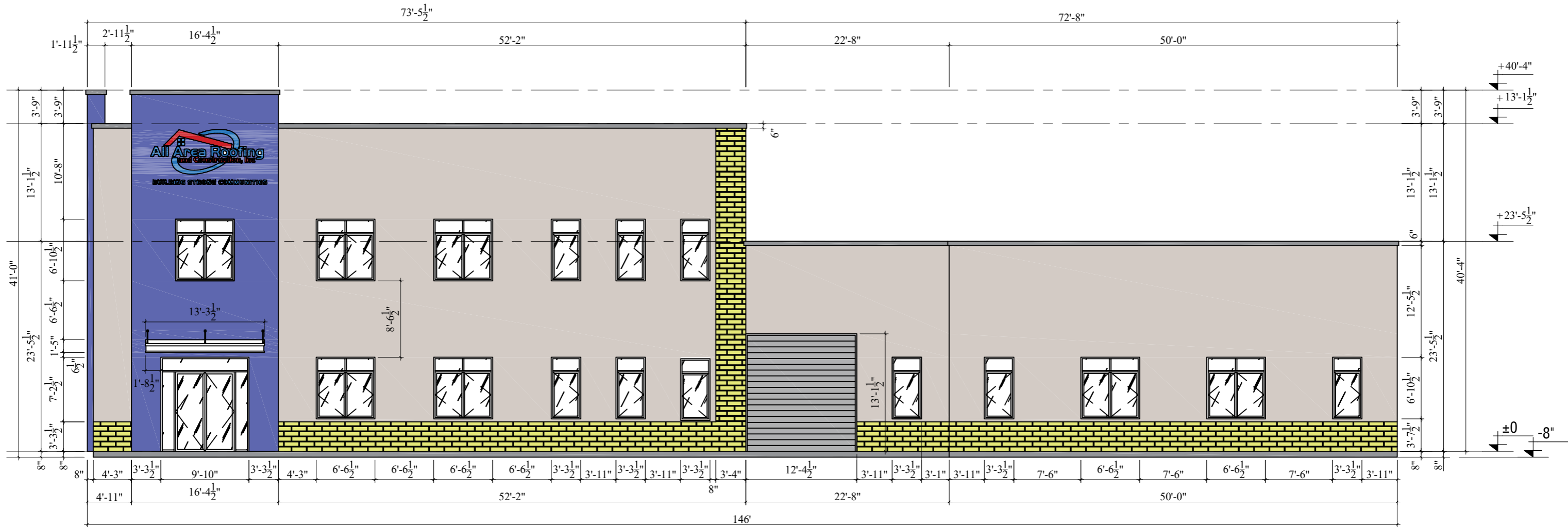
Photometrics Calculation Software Generated Luminaire Schedule

Symbol	Qty	Label	Arrangement	Lum. Lumens	Arr. Lum. Lumens	LLF	Lum. Watts	Arr. Watts
SA	3	SA	Single	15749	15749	0.900	112	112
SB	1	SB	Single	16281	16281	0.900	112	112
WA	4	WA	Single	14850	14850	0.900	113	113
WB	1	WB	Single	14461	14461	0.900	113	113

Calculation Summary




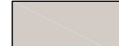
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING	Illuminance	Fc	2.31	6.8	0.6	3.85	11.33
PROPERTY LINE	Illuminance	Fc	0.21	0.5	0.0	N.A.	N.A.
WALKWAY	Illuminance	Fc	3.52	5.6	0.7	5.03	8.00

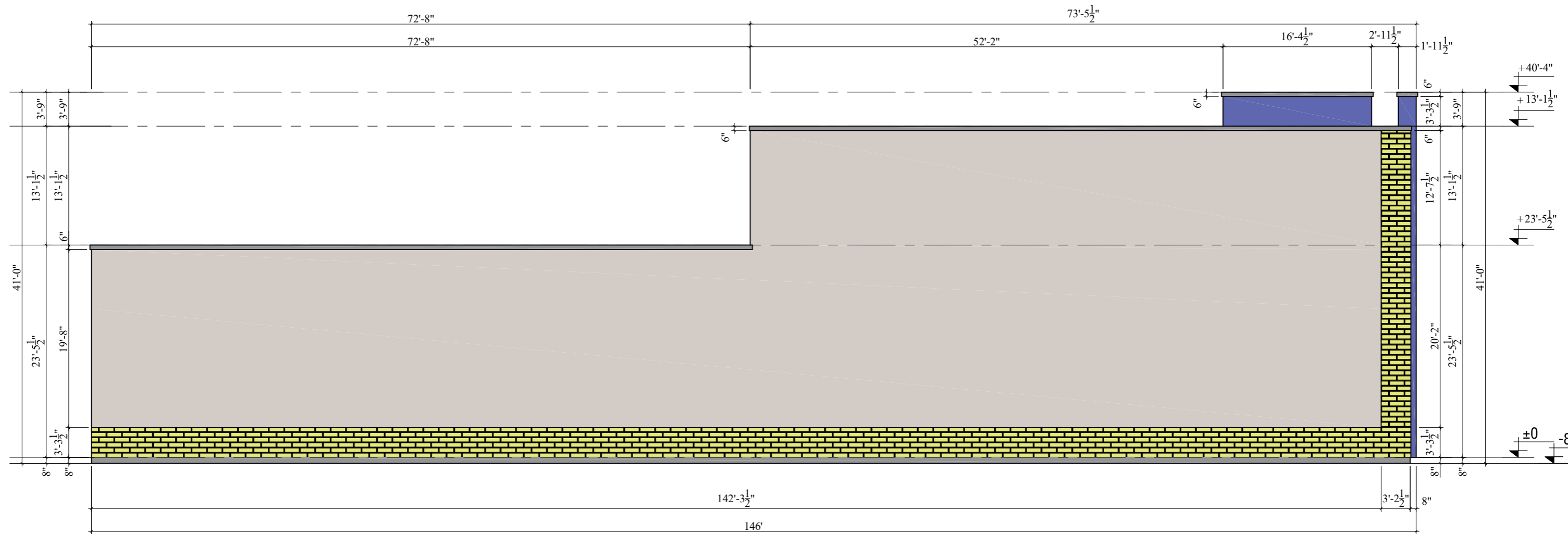
J:\24-1009 ALL AREA ROOFING 5.05 HWY 1 FT PERCEIVED\DRAWINGS\CURRENT\24-1009 PHOTOMETRIC PLAN.dwg - SCB\PLN - PHOTOMETRIC



Front Main Office Building





NOTE :

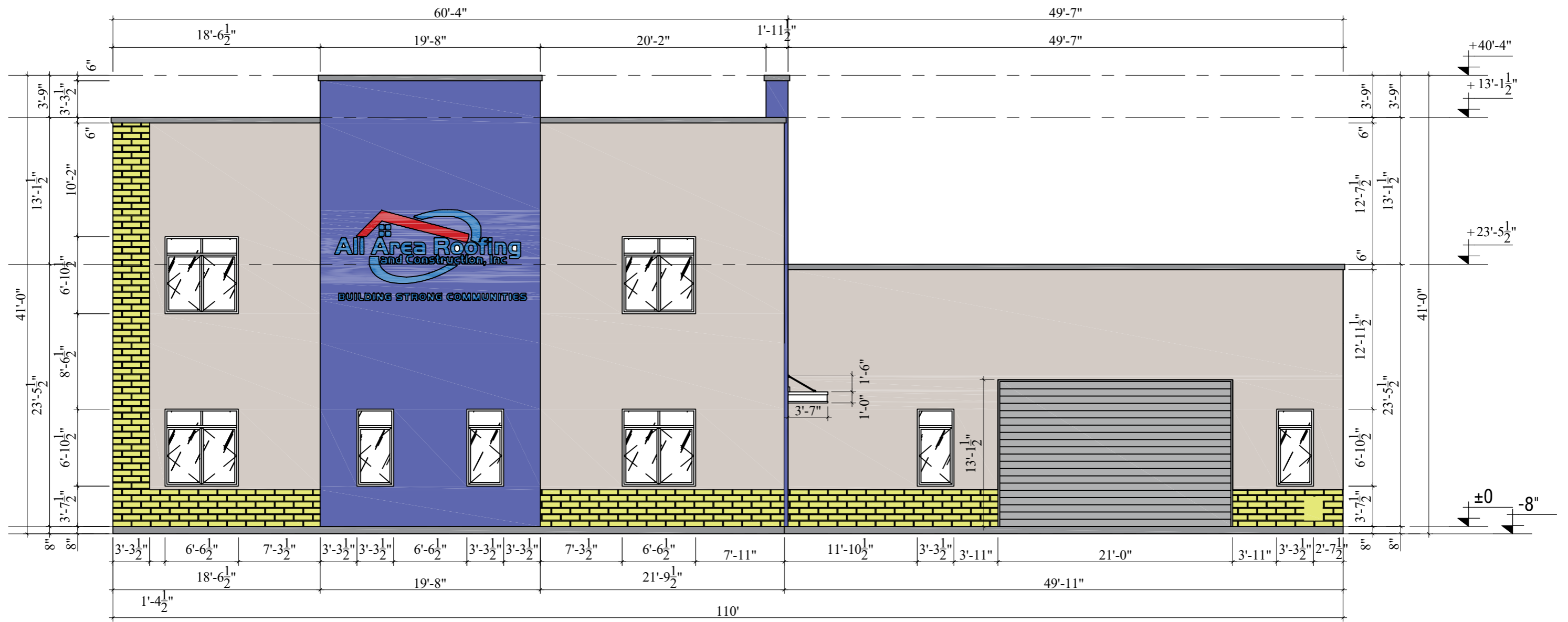
-  NATURAL STONE WALL TILES
-  STONE WALL
-  BLUE PAINT WALL
-  CREAM PAINT WALL



Rear Main Office Building





NOTE :

-  NATURAL STONE WALL TILES
-  STONE WALL
-  BLUE PAINT WALL
-  CREAM PAINT WALL

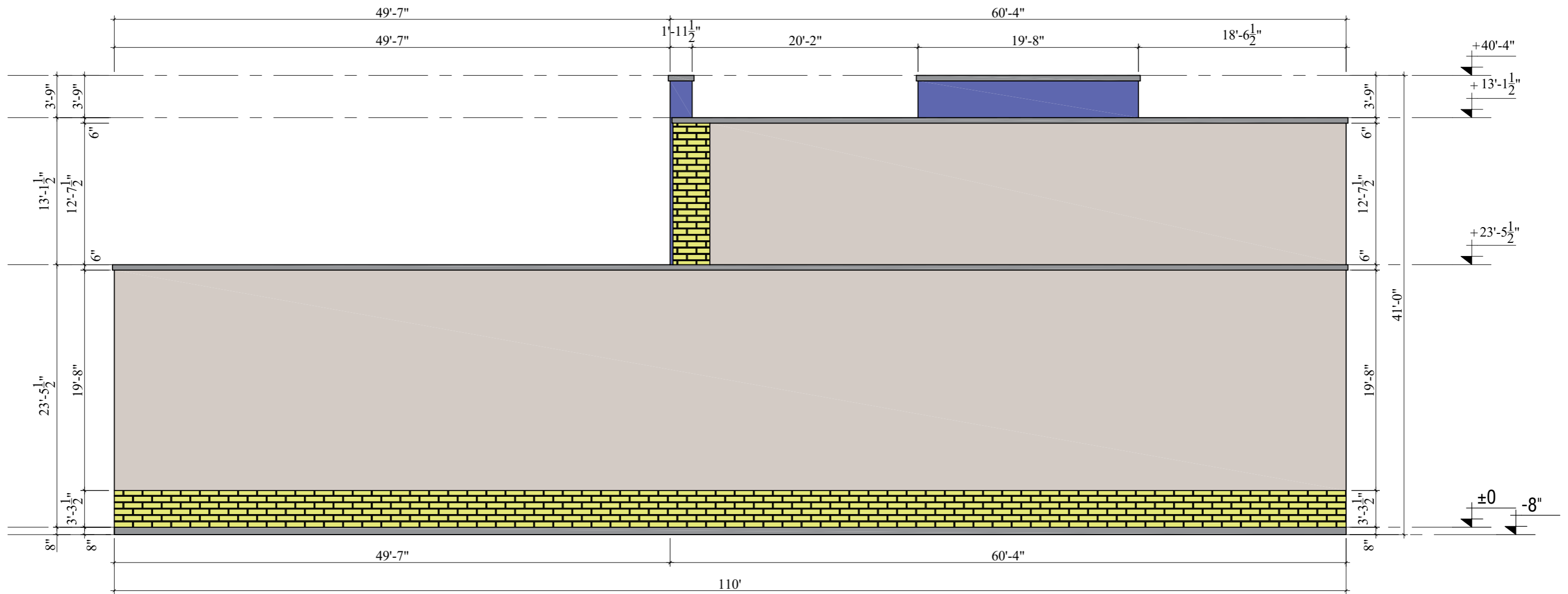


All Area Roofing
and Construction, Inc.
BUILDING STRONG COMMUNITIES


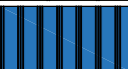


NOTE :

-  NATURAL STONE WALL TILES
-  STONE WALL
-  BLUE PAINT WALL
-  CREAM PAINT WALL

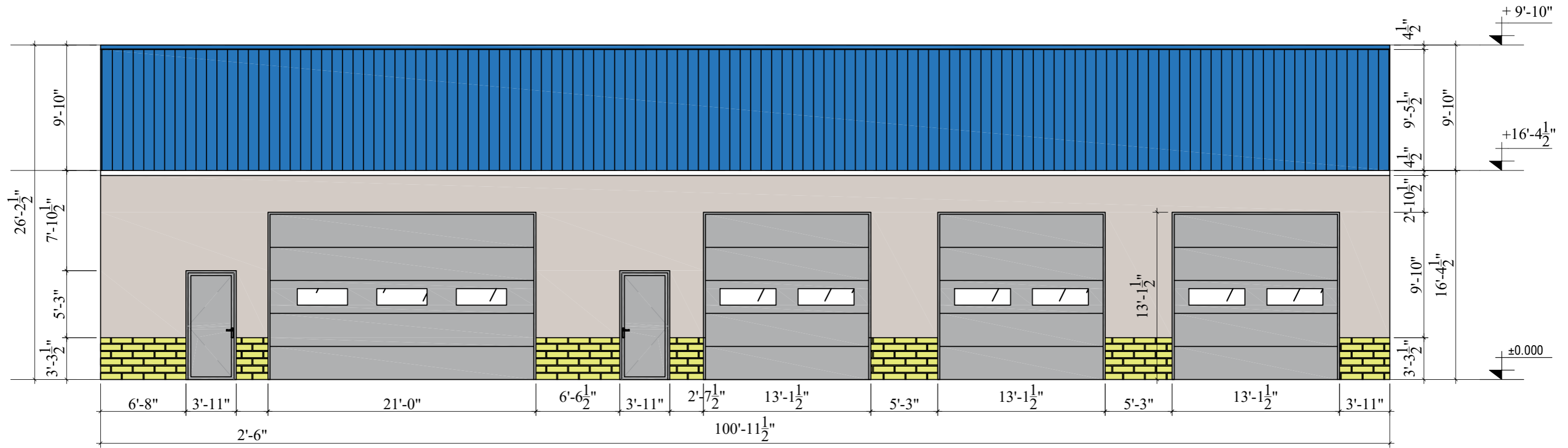
Left Main Office Building



NOTE :

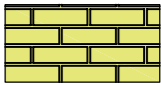
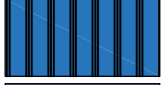


-  NATURAL STONE WALL TILES
-  STONE WALL
-  BLUE PAINT WALL
-  CREAM PAINT WALL

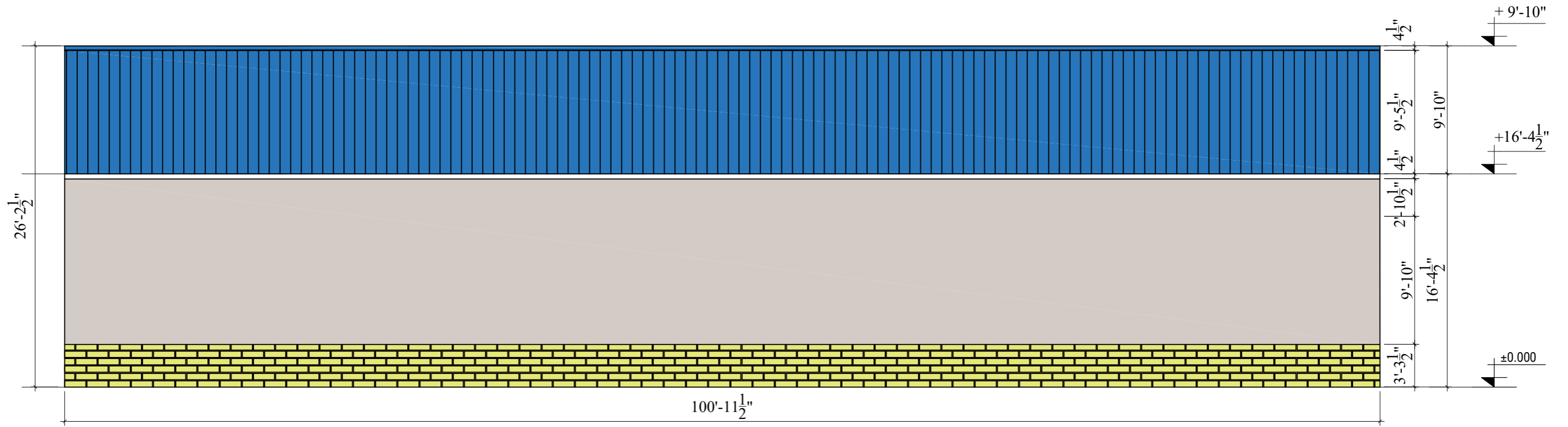
Right Main Office Building



Front Fabrication Shop

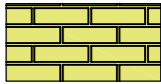
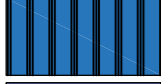


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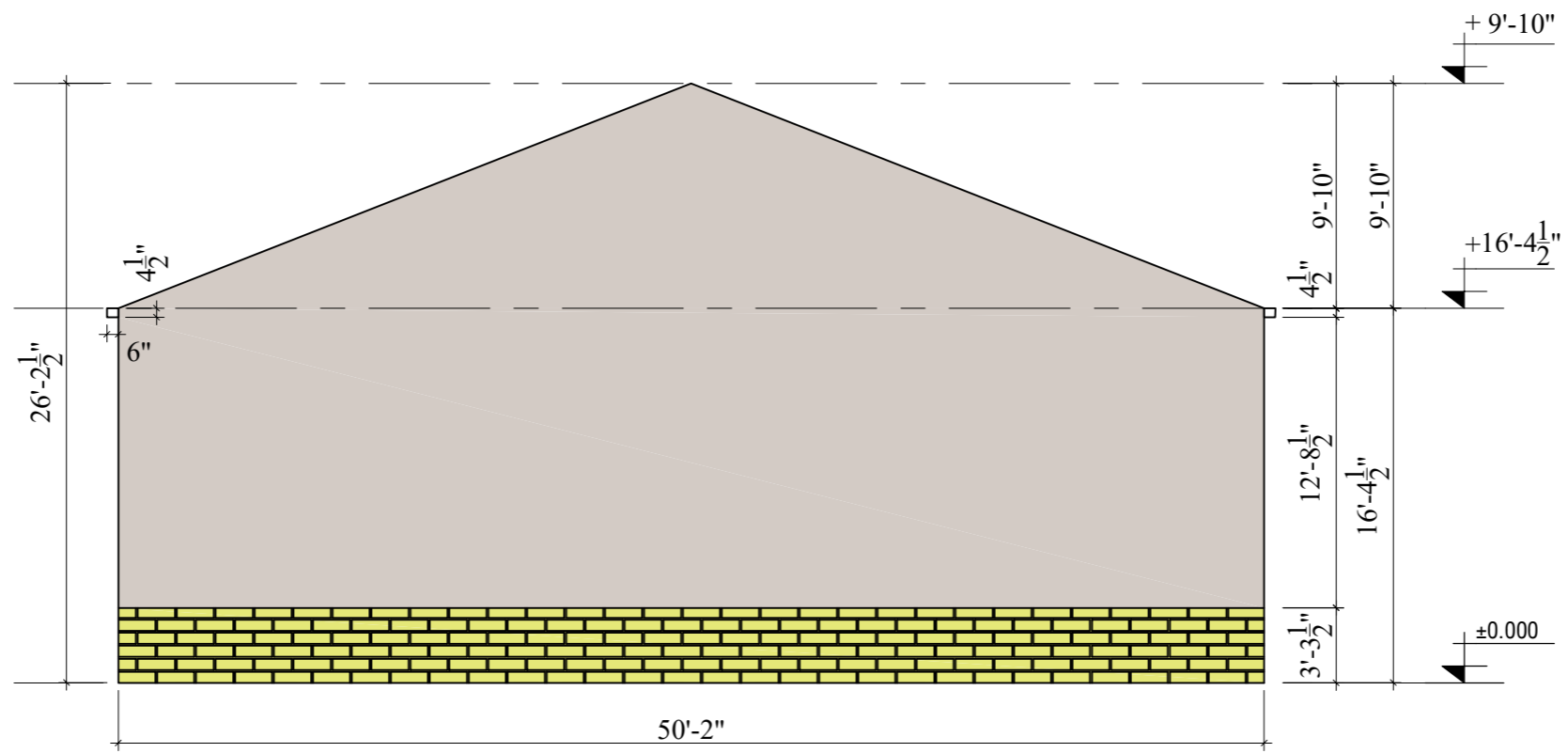
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	STONE WALL
	BLUE PAINT WALL
	CREAM PAINT WALL



Rear Fabrication Shop

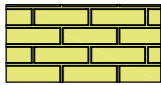
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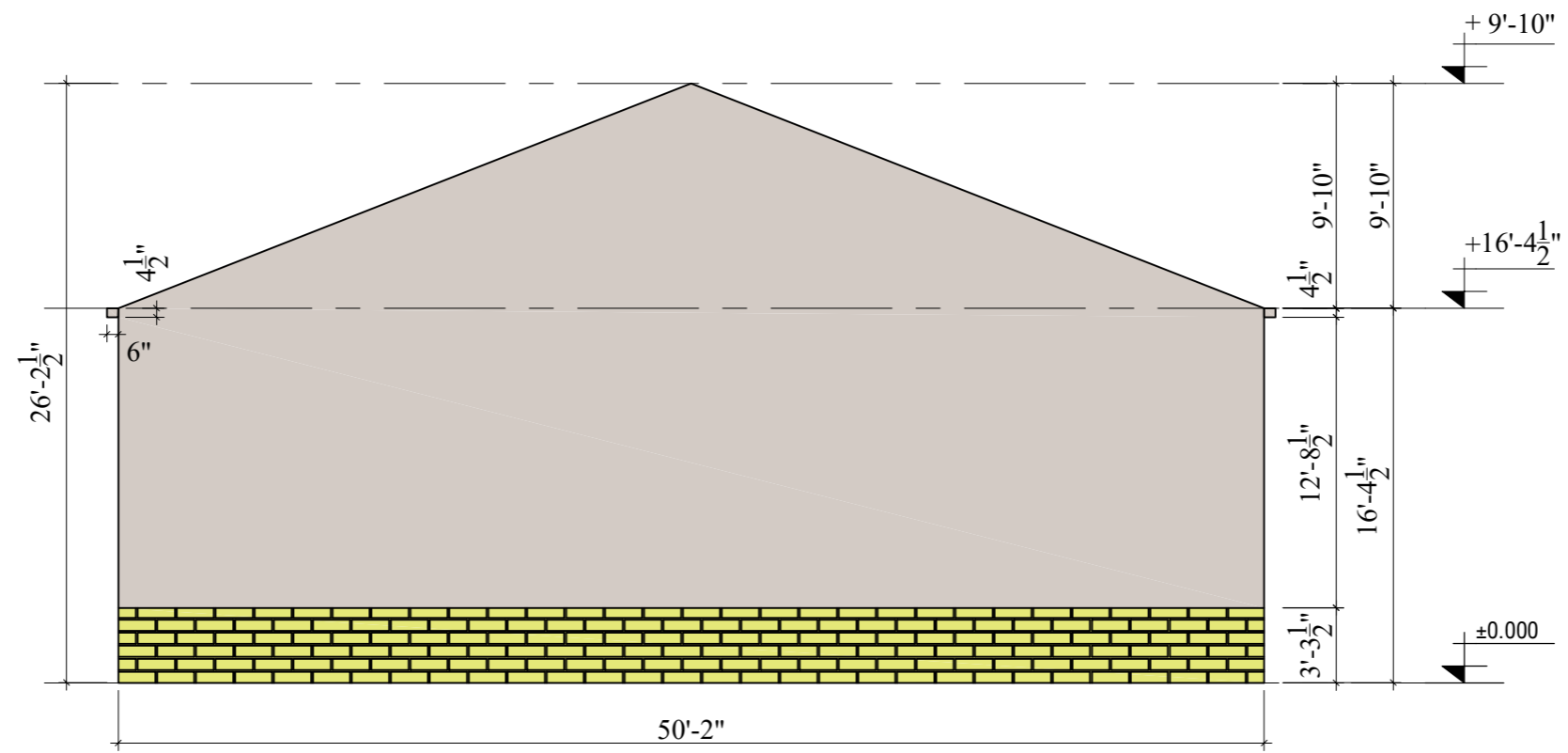
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	STONE WALL
	BLUE PAINT WALL
	CREAM PAINT WALL



Left Fabrication Shop


NOTE :

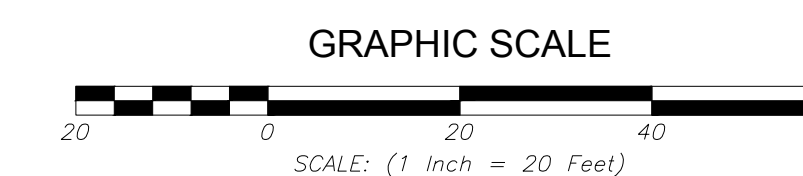
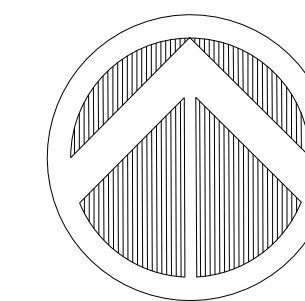
	NATURAL STONE WALL TILES
	STONE WALL
	BLUE PAINT WALL
	CREAM PAINT WALL



Right Fabrication Shop

NOTE :

	NATURAL STONE WALL TILES
	STONE WALL
	BLUE PAINT WALL
	CREAM PAINT WALL

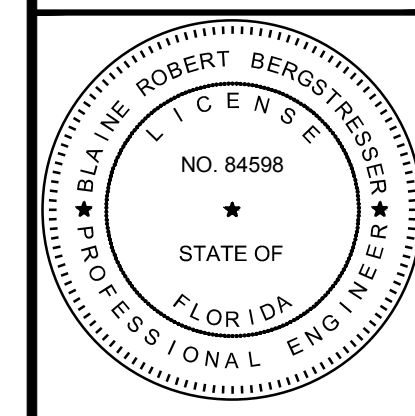


REVISIONS:		
BY:	DATE:	COMMENT:

NOT FOR CONSTRUCTION

PROJECT:
ALL AREA ROOFING SITE PLAN
ST. LUCIE COUNTY
FLORIDA

CLIENT:
ALL AREA ROOFING & CONSTRUCTION
FORT PIERCE
FLORIDA



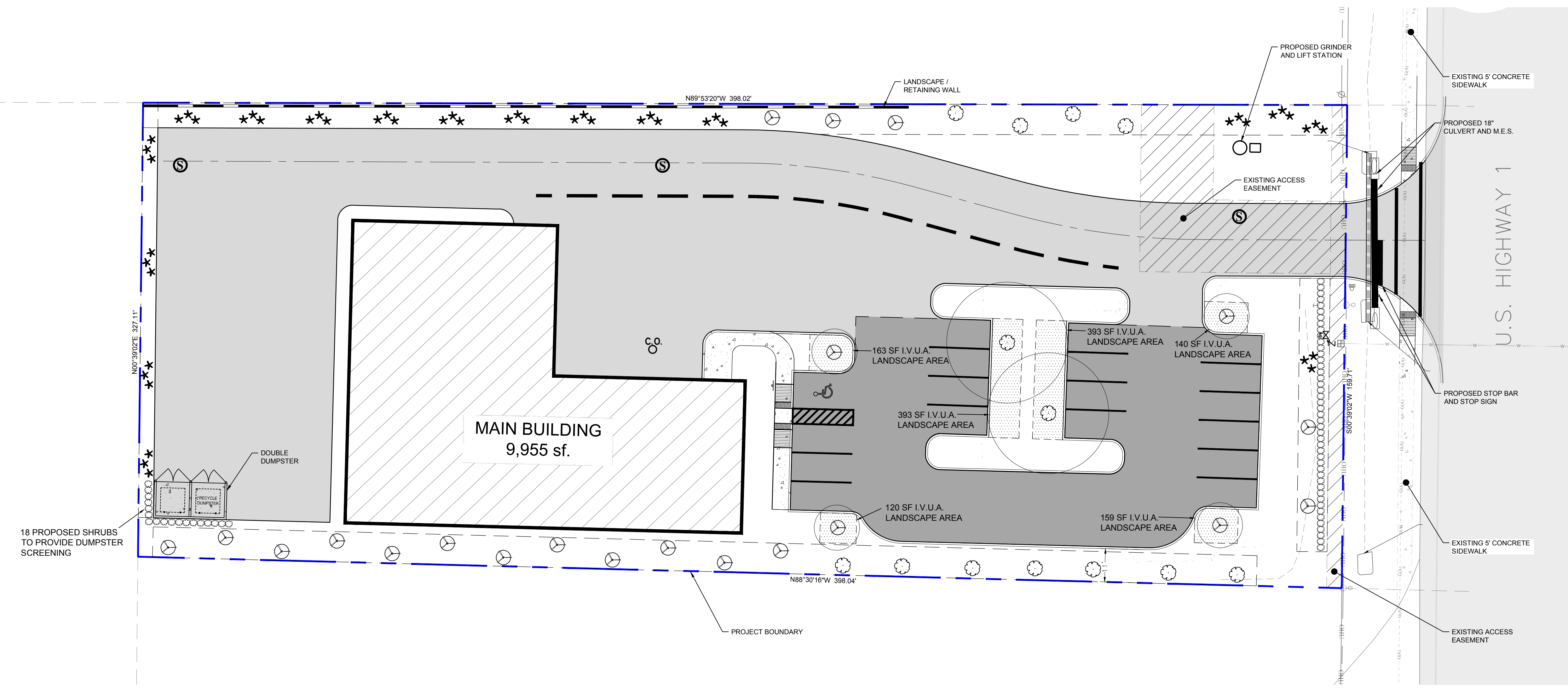
BLAINE BERGSTRESSER, P.E.
FLORIDA LICENSE No. 84598
12/15/2025



PROJECT No.: 24-1009
DRAWN BY: CRW
CHECKED BY: BRB
DATE: 12/15/2025
CAD: I.D.24-1009_LANDSCAPE PLAN

SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:
L-100



LANDSCAPE CALCULATIONS

ADJACENT TO PUBLIC RIGHT-OF-WAY:
REQUIRED: 890 SF LANDSCAPE STRIP CONTAINING:
1 TREE PER 300 SF
A CONTINUOUS HEDGE
GRASS OR GROUND COVER FOR REMAINDER OF LANDSCAPE STRIP
PROPOSED: 890 SF LANDSCAPE STRIP CONTAINING:
3 TREES
45 SHRUBS
GRASS OR GROUND COVER FOR REMAINDER OF LANDSCAPE STRIP

INTERIOR VEHICULAR USE AREA (I.V.U.A.):
REQUIRED: 1 SF OF I.V.U.A. PER 15 SF OF VEHICULAR USE W/ 1 TREE PER 200 SF OF I.V.U.A.
8,633 SF / 15 SF = 576 SF OF I.V.U.A. = 6 TREES
GRASS OR GROUND COVER FOR REMAINDER OF I.V.U.A.

PROPOSED: 1,368 SF OF I.V.U.A. CONTAINING:
6 TREES
GRASS OR GROUND COVER FOR REMAINDER OF I.V.U.A.

ADJACENT TO OTHER PROPERTIES:
NORTH:
REQUIRED: 393 LF LANDSCAPE STRIP CONTAINING:
1 TREE PER 200 SF
GRASS OR GROUND COVER FOR REMAINDER OF LANDSCAPE STRIP
PROPOSED: 3,600 SF LANDSCAPE STRIP CONTAINING:
18 TREES
GRASS OR GROUND COVER FOR REMAINDER OF LANDSCAPE STRIP

SOUTH:
REQUIRED: 365 LF LANDSCAPE STRIP CONTAINING:
1 TREE PER 200 SF
GRASS OR GROUND COVER FOR REMAINDER OF LANDSCAPE STRIP
PROPOSED: 3,650 SF OF LANDSCAPE STRIP CONTAINING:
19 TREES
GRASS OR GROUND COVER FOR REMAINDER OF LANDSCAPE STRIP

WEST:
REQUIRED: 129 LF LANDSCAPE STRIP CONTAINING:
1 TREE PER 200 SF
GRASS OR GROUND COVER FOR REMAINDER OF LANDSCAPE STRIP
PROPOSED: 644 SF LANDSCAPE STRIP CONTAINING:
4 TREES
GRASS OR GROUND COVER FOR REMAINDER OF LANDSCAPE STRIP

CANOPY TREES

QUANTITY	SYMBOL	COMMON NAME	BOTANICAL NAME	NATIVE	PLANT SIZE
13		OAK, LIVE	<i>Quercus virginiana</i>	YES	MIN. 12" OA, 2-1/2" CALIPER AT 4-1/2" ABOVE GROUND, 5' SPREAD AT PLANTING
19		DAHOON HOLLY	<i>Llex cassine</i>	YES	MIN. 12" OA, 2-1/2" CALIPER AT 4-1/2" ABOVE GROUND, 5' SPREAD AT PLANTING
48 (16 CANOPY)		CABBAGE PALM	<i>Sabal palmetto</i>	YES	MIN. 6' CLEAR TRUNK

SHRUBS

QUANTITY	SYMBOL	COMMON NAME	BOTANICAL NAME	NATIVE	PLANT SIZE
63		VIBURNUM, SWEET	<i>Viburnum odoratissimum</i>	NO	3 GALLON

HATCH LEGEND

	PROPOSED INTERIOR VEHICULAR USE AREA
	PROPOSED INTERIOR VEHICULAR USE AREA LANDSCAPE AREA

L:\24-1009 ALL AREA ROOFING S.US.HWY. 1 - FT. PIERCE\PROJECTS\CURRENT\24-1009_LANDSCAPE PLAN\24-1009_LANDSCAPE PLAN.dwg



CONCURRENCY CAPACITY ANALYSIS

I. Site Data:

	Existing Use	Future Land Use	Zoning
North			
South			
East			
West			

	Future Land Use	Zoning Classification	Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage	Total Acreage	Flood Zone
Current					
**Proposed					N/A

II. Public Facilities Information:

A. Potable Water:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.125 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day
**Proposed Zoning/FLU	Total gallons per day
**Change in Demand	Total gallons per day

B. Wastewater:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.1 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day
**Proposed Zoning/FLU	Total gallons per day
**Change in Demand	Total gallons per day

C. Parks and Recreation (Residential Classifications Only): (Du x 2.6 = persons + 44,227 = population /LOS)				
Park Type	LOS	Existing Population Park Demand	Proposed Population Park Demand	Change in Demand
Regional	20 acres per 1,000 people			
Urban District	5 acres per 1,000 people			
Community	2.5 acres per 1,000 people			
Neighborhood	1.36 acres per 1,000 people			

D. Public Schools (Residential Classifications Only): Single Family: (du x 0.405 = students/70% K-8/30% High) Multi-family: (du x 0.207 = students/70% K-8/30% High)		
	K-8	High
School Name		
City		
Distance		
Current Zoning/FLU	Enrollment	
**Proposed Zoning/FLU	Enrollment	
**Change in Demand		

E. Solid Waste: Residential (2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units)	
Demand Analysis	Maximum
Current Zoning/FLU	
**Proposed Zoning/FLU	
*Change in Demand	

F. Stormwater:
Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year – 1 day storm event)

NON-RESIDENTIAL DATA					
Type(s) specify	Phase	Square footage	Acres	Expecting beginning date	Expected completion date

- A. Indicate whether the proposed project will be eliminating any existing recreational facilities. If yes, detail the number and type being eliminated. Yes No
- B. 1. Does this application involve demolition or re-use of any structure(s)? Yes No
If yes, what is the size of the structure(s) to be demolished or re-used? _____
2. What is the current use of the structure to be demolished or re-used? _____
3. Are you claiming trip credits for the demolition or re-use of a structure(s) at the site? Yes No
If yes, provide estimates of credits for each previous use at the site. (Attach sheet with calculations)

C. Exemptions Requested:

** Complete section if requesting a change in zoning, future land use, or expanding

Developer School Planning and Capacity

Instructions: Please submit completed worksheet with development plan to the governmental entity where development plan approval is sought. For projects that are expected to generate more than 200 students a pre-application conference with the School District is recommended. This may be held in conjunction with the local government preapplication meeting.

Please check [✓] type of application

- Rezoning with Residential Component** (Complete Section A only)
- Future Land Use Amendments** (Complete Section A only)
- Final Development Order// General Review and Adequate Capacity Determination** (Complete Section B only)

PROJECT INFORMATION	
Project Name	Coastal Utopia LLC
Project Type: (Comp Plan / Rezoning / PUD / Site Plan / etc.)	Minor Site Plan
Municipality	City of Fort Pierce
Parcel Identification Number (s) (PIN) (Attach separate sheet if necessary)	2434-601-0025-000-5
Location / Address of Subject Property	3621 US HIGHWAY 1 Fort Pierce, FL 34982
Acreage of Project	1.45
Anticipated Start Date and anticipated phasing	03/2026 one-phase project
OWNERSHIP / AGENT INFORMATION	
Owner's Name	Coastal Utopia LLC
Owner's Signature	
Agent's Name/Company (if applicable)	KMA Engineering & Surveying
Mailing Address	1176 25th St. Vero Beach, FL 32960
Phone	772-569-5505
Email	blaine@gmail.com

SECTION A: Rezoning with Residential Component and Future Land Use Amendments

Please check [✓] to indicated that you have included the following:

- Please attach location sketch
- Please attach property survey or preliminary site plan that shows the existing and proposed zoning and land use designations.

	Existing	Proposed
Land Use Designation (attach separate table for multiple uses)		
Zoning (attach separate table for multiple zoning designations)		
Maximum Number of dwelling units allowed		
Estimated Number of binding age restricted dwelling units		
Describe any other items related to the use		



SECTION B: Final Development Order// General Review and Adequate Capacity Determination

For projects that are expected to generate more than 200 students, we recommend that the applicant have a pre-application conference with the School District. This may be held in conjunction with the local government preapplication meeting.

Please check [✓] to indicate that you have included the following:

- Please attach location sketch, property survey or preliminary site plan that shows the proposed uses.
- If applicable, please complete the *Application for Exemption: School Impact Fees for Age Restricted Housing for Housing Older Persons.* ²
- If the project is anticipated to be phased, please describe and graphic showing phasing schedule.³

Please describe project and general schedule			
Proposed Residential Uses	Unit Type	Dwelling Units	Student Generation¹
	Single Family:	0	0
	Multi-Family:	0	0
	Age Restricted ² :	0	0
If the access of the project is located on a collector or arterial roadway, please address a potential bus stop location to provide safe waiting for parents and students as well as loading and disembarkment of students from buses			

¹For student generation rate use 0.405 students per single family unit and 0.207 students per multi-family unit (includes townhouses).

²A Restrictive Covenant is required for age-restricted communities that are exempt from concurrency and impact fees.

³If applicable, please attach a Phasing Plan showing the number and type of units to receive certificate of occupancy by phase

SCHOOL DISTRICT REVIEW (TO BE COMPLETED BY SCHOOL DISTRICT)

Local Gov. Reviewer:	School CSA
	Municipality Project Number:

School District Recommendations

School District Representative Signature:	Date:
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GENERAL NOTES

1. THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE FLORIDA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (LATEST EDITION) AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK, AND, UNLESS OTHERWISE NOTED, ALL WORK SHALL CONFORM AS APPLICABLE TO THESE STANDARDS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
3. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. A LIST OF THE UTILITY COMPANIES WHICH THE CONTRACTOR MUST CALL BEFORE COMMENCING WORK IS PROVIDED ON THE COVER SHEET OF THESE CONSTRUCTION PLANS. THIS LIST SERVES AS A GUIDE ONLY AND IS NOT INTENDED TO LIMIT THE UTILITY COMPANIES WHICH THE CONTRACTOR MAY WISH TO NOTIFY.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
7. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
8. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER AND DESIGN ENGINEER OF RECORD DIRECTLY FROM THE TESTING AGENCY.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTORS RESPONSIBILITY.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A STATE OF FLORIDA PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE CONTRACTOR.
11. ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED.
12. ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.

EROSION CONTROL

1. THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THE EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF FLORIDA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
3. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
4. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER.
5. EROSION CONTROL PLAN MUST CLEARLY DELINEATE ALL STATE WATERS, PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
6. THE CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
7. CONTRACTOR SHALL DEMOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
11. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
12. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THE PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
13. STABILIZATION PRACTICES SHOULD BE INITIATED AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN 7 DAYS WHERE CONSTRUCTION HAS TEMPORARILY CEASED.
14. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRED IN THESE AREAS. REFER TO SECTION 981 OF THE STANDARD SPECIFICATIONS FOR SEEDING AND MAINTENANCE REQUIREMENTS.
15. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
16. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED AS SOON AS POSSIBLE.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
18. ON-SITE & OFF SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE EROSION CONTROL PLAN AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
19. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
20. DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION.
21. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY, THIS INCLUDES BACK FILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

POTABLE WATER AND SANITARY SEWER SYSTEM

1. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES GRAVITY SEWER LINES AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
2. ALL EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS FOR UTILITY LOCATION AND COORDINATION IN ACCORDANCE WITH THE NOTES CONTAINED IN THE GENERAL CONSTRUCTION SECTION OF THIS SHEET.
3. THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
4. DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATERIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.
5. ALL PHASES OF INSTALLATION, INCLUDING UNLOADING, TRENCHING, LAYING AND BACK FILLING, SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER. ALL PIPE AND FITTINGS SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE COATING OR LINING IN ANY D.I. PIPE FITTINGS. ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH HAS FLAWS OR IMPERFECTIONS WHICH, IN THE OPINION OF THE ENGINEER OR OWNER, RENDERS IT UNFIT FOR USE, SHALL NOT BE USED. ANY PIPE NOT SATISFACTORY FOR USE SHALL BE CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE, AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
6. WATER FOR FIRE FIGHTING SHALL BE AVAILABLE FOR USE PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE.
7. ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY'S SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
8. UNDERGROUND LINES SHALL BE SURVEYED BY A STATE OF FLORIDA PROFESSIONAL LAND SURVEYOR PRIOR TO BACK FILLING.
9. CONTRACTOR SHALL PERFORM, AT HIS OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION. THESE TESTS MAY INCLUDE, BUT MAY NOT BE LIMITED TO: INFILTRATION AND EXFILTRATION, TELEVISION INSPECTION AND A MANDREL TEST ON GRAVITY SEWER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE UTILITY PROVIDER, OWNER AND JURISDICTIONAL AGENCY AS REQUIRED.

MAINTENANCE

ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED, FOR MAINTENANCE REQUIREMENTS REFER TO SECTION 981 OF THE OF THE FLORIDA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (LATEST EDITION).
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED TO 55 CUBIC YARDS / ACRE.
7. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

STORM DRAINAGE SYSTEM

1. STANDARD INDEXES REFER TO THE 2021/2022 EDITION OF F.D.O.T. "STANDARD PLANS FOR ROADWAY CONSTRUCTION"
2. ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE CLASS III (ASTM C-76) UNLESS OTHERWISE NOTED ON PLANS. ALL DRAINAGE STRUCTURES SHALL BE IN ACCORDANCE WITH F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS UNLESS OTHERWISE NOTED ON PLANS.
3. PIPE LENGTHS SHOWN ARE APPROXIMATE AND TO CENTER OF DRAINAGE STRUCTURES, WITH THE EXCEPTION OF MITERED END AND FLARED END SECTIONS, WHICH ARE NOT INCLUDED IN LENGTHS.
4. ALL DRAINAGE STRUCTURE GRATES AND COVERS, EITHER EXISTING OR PROPOSED SHALL BE TRAFFIC RATED FOR H-20 LOADINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NECESSARY UPGRADES TO EXISTING DRAINAGE STRUCTURES.
5. CONSTRUCTION OF THE ENTIRE STORMWATER MANAGEMENT SYSTEM SHOWN ON THE PLANS MUST BE COMPLETE AND ALL DISTURBED AREAS STABILIZED IN ACCORDANCE WITH THE PERMITTED PLANS AND CONDITIONS PRIOR TO ANY OF THE FOLLOWING: ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY FOR ANY LOT; INITIATION OF INTENDED USE OF THE INFRASTRUCTURE; OR TRANSFER OF RESPONSIBILITY FOR MAINTENANCE OF THE SYSTEM TO A LOCAL GOVERNMENT OR OTHER RESPONSIBLE ENTITY.
6. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER JURISDICTION REGULATIONS (MANUFACTURER'S RECOMMENDATIONS SHALL BE UTILIZED IF MORE STRINGENT).
7. STORM WATER PIPES, STRUCTURES, MINIMUM COVER AND INSTALLATION PROCEDURES TO BE IN ACCORDANCE WITH SOUTH FLORIDA WATER MANAGEMENT DISTRICT STANDARDS.

PAVING/GRADING TESTING AND INSPECTION

1. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SOILS ENGINEER. TESTS WILL BE REQUIRED PURSUANT WITH THE SOILS REPORT. UPON COMPLETION OF WORK THE SOILS ENGINEER WILL SUBMIT CERTIFICATIONS TO THE OWNER AND OWNER'S ENGINEER STATING THAT ALL REQUIREMENTS HAVE BEEN MET.
2. A QUALIFIED TESTING LABORATORY SHALL PERFORM ALL TESTING NECESSARY TO ASSURE COMPLIANCE OF THE IN-PLACE MATERIALS AS REQUIRED BY THESE PLANS AND GEOTECHNICAL REPORT, THE VARIOUS AGENCIES AND PERMIT CONDITIONS. SHOULD ANY RETESTING BE REQUIRED DUE TO THE FAILURE OF ANY TESTS TO MEET THESE REQUIREMENTS, THE CONTRACTOR WILL BEAR ALL COSTS OF SAID RETESTING.

DRAINAGE SYSTEM TESTING AND INSPECTION

1. THE STORM DRAINAGE PIPING SYSTEM SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER PRIOR TO THE PLACEMENT OF BACKFILL. CONTRACTOR TO NOTIFY THE ENGINEER 2 FULL BUSINESS DAYS IN ADVANCE TO SCHEDULE INSPECTION.
2. THE CONTRACTOR SHALL MAINTAIN AND PROTECT FROM MUD, DIRT, DEBRIS, ETC. THE STORM DRAINAGE SYSTEM UNTIL FINAL ACCEPTANCE OF THE PROJECT. THE STORM SYSTEM WILL BE REINSPECTED BY THE OWNER'S ENGINEER PRIOR TO APPROVAL FOR CERTIFICATE OF OCCUPANCY PURPOSES. THE CONTRACTOR MAY BE REQUIRED TO RECLEAN PIPES AND INLETS AT THE CONTRACTORS EXPENSE AND PRIOR TO FINAL ACCEPTANCE.

PAVING, GRADING AND DRAINAGE

1. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN COUNTY'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR FDOT SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
2. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SODDED.
3. TRAFFIC CONTROL ON ALL FDOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
4. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
5. ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE SODDED UNLESS INDICATED OTHERWISE ON THE LANDSCAPE PLAN.
6. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
7. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
8. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
9. THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
10. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.
11. STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. IN SOME CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAPED AREAS BUT ONLY AS DIRECTED BY THE OWNER.
12. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO FDOT STANDARDS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
13. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE SODDED OR SEEDED AS SPECIFIED IN THE PLANS, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE SODDED OR SEEDED AND MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
14. ALL CUT OR FILL SLOPES SHALL BE 4 (HORIZONTAL) :1 (VERTICAL) OR FLATTER UNLESS OTHERWISE SHOWN.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
16. THE CONTRACTOR SHALL TAKE ALL REQUIRED MEASURES TO CONTROL TURBIDITY, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF TURBIDITY BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE BARRIERS, AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE WHICH VIOLATES THE WATER QUALITY STANDARDS IN CHAPTER 17-302, FLORIDA ADMINISTRATIVE CODE.
17. SOD, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
18. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE ENVIRONMENTAL RESOURCE PERMIT COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY WATER MANAGEMENT DISTRICT REPRESENTATIVES.
19. THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
20. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS.

DEMOLITION

1. CONTRACTOR SHALL SUBMIT DEMOLITION SCHEDULE TO OWNER PRIOR TO PROCEEDING WITH DEMOLITION ACTIVITIES.
2. EXTENT OF SITE CLEARING IS SHOWN ON DRAWINGS.
3. CONTRACTOR SHALL CONDUCT SITE DEMOLITION OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION.
4. CONTRACTOR SHALL PROVIDE PROTECTION NECESSARY TO PREVENT DAMAGE TO EXISTING IMPROVEMENTS INDICATED ON PLAN "EXISTING TO REMAIN".
5. CONTRACTOR SHALL RESTORE DAMAGED IMPROVEMENTS TO THEIR ORIGINAL CONDITION, AS ACCEPTABLE TO PARTIES HAVING JURISDICTION.
6. CONTRACTOR SHALL REMOVE WASTE MATERIALS AND UNSUITABLE AND EXCESS TOPSOIL FROM PROPERTY AND DISPOSE OF OFF-SITE IN A LEGAL MANNER.
7. CONTRACTOR SHALL DEMOLISH AND COMPLETELY REMOVE FROM SITE MATERIAL INDICATED ON PLAN OR NOTES "TO BE REMOVED".
8. CONTRACTOR SHALL PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT AND OTHER HAZARDS CREATED BY THE DEMOLITION OPERATION
9. ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
10. REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC., LOCATED WITHIN THE PROJECT SITE. UNLESS OTHERWISE NOTED, ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS PILES, SIGNS, AND ALL APPURTENANCES ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED OF IN A LEGAL MANNER AS PART OF THIS CONTRACT. SOME ITEMS TO BE REMOVED MAY NOT BE DETECTED ON THE TOPOGRAPHIC SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
11. THE CONTRACTOR SHALL REFER TO THE DEMOLITION PLAN FOR DEMOLITION/PRESERVATION OF EXISTING TREES. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR RELOCATED SHALL BE REMOVED AS A PART OF THIS CONTRACT. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY DEMOLITION.



KMA
ENGINEERING & SURVEYING, LLC
3001 INDUSTRIAL AVE 2
FORT PIERCE, FL 34908
PHONE: (772) 566-5205
FIRE C.D.A. # 33105

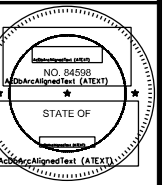
REVISIONS:

BY:	DATE:	COMMENT:

NOT FOR CONSTRUCTION

PROJECT:
ALL AREA ROOFING SITE PLAN
CLIENT:
ST. LUCIE COUNTY
FLORIDA

CLIENT:
ALL AREA ROOFING & CONSTRUCTION
FLORIDA



BLAINE BERGSTRESSER, P.E.
FLORIDA LICENSE No. 84598
12/18/2025



PROJECT No.: 24-1009
DRAWN BY: SCB
CHECKED BY: BRB
DATE: 07/25/2024
CAD I.D.: 24-1009_COVER

SHEET TITLE:

GEN NOTES

SHEET NUMBER:

C-001

Property Identification

Site Address: 3621 US HIGHWAY 1
 Sec/Town/Range: 34/35S/40E
 Parcel ID: **2434-601-0025-000-5**
 Jurisdiction: Fort Pierce
 Land Use Code: 1000 - Vac Comm
 Account #: **33434**
 Map ID: [24/34N](#)
 Zoning: General Co



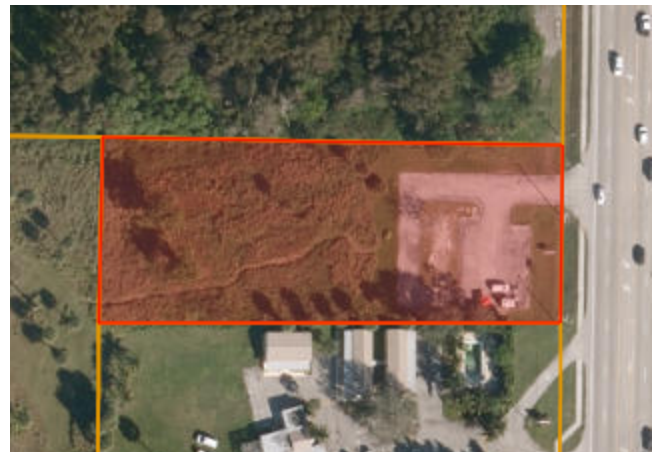
Legal Description

KELLEM'S S/D N 165 FT OF E 440 FT OF LOT 7-LESS RD R/W- (1.51 AC)

Total Areas

Finished/Under Air (SF): 0
 Gross Sketched Area (SF): 0
 Land Size (acres): 1.51
 Land Size (SF): 65,670

Map



State of Florida, Microsoft, Vantor

Powered by Esri

Building Wind Speed

Occupancy Category	I	II	III & IV
Speed	140	160	160

[Sources/links:](#)

Ownership

Coastal Utopia LLC
 Douglas Richards
 Elsa Richards
 3415 W Busch BLVD
 Tampa, FL 33618-4401

Current Values

Just/Market value: \$269,200
 Assessed value: \$234,300
 Exemption value: **\$0**
 Taxable value: \$234,300

Important

Property taxes are subject to change upon change of ownership.

- **Past taxes are not a reliable projection of future taxes.**
- **The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.**

Links

Taxes for this parcel: [SLC Tax Collector's Office](#)

Download TRIM for this Parcel: [Download PDF](#)

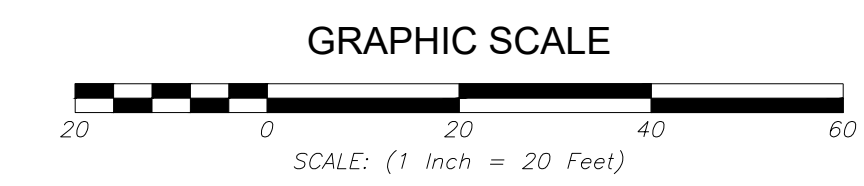
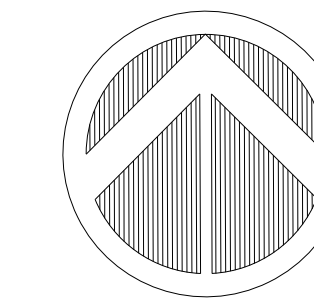
[File for homestead exemptions.](#)

[View associated Tax Map.](#)

[Report Homestead Fraud on this parcel.](#)

All information is believed to be correct at this time, but is subject to change and is provided without any warranty.

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KMA
ENGINEERING & SURVEYING, LLC
1176 20TH STREET
VERO BEACH, FL 32960
PHONE: (772) 589-9005
FPIE-C.O.A # 33705

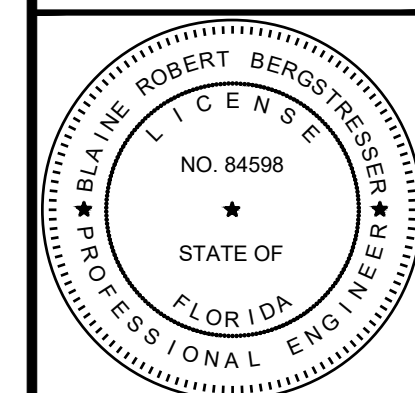
REVISIONS:

BY:	DATE:	COMMENT:

NOT FOR CONSTRUCTION

PROJECT:
ALL AREA ROOFING SITE PLAN
ST. LUCIE COUNTY
FLORIDA

CLIENT:
ALL AREA ROOFING & CONSTRUCTION
FORT PIERCE
FLORIDA



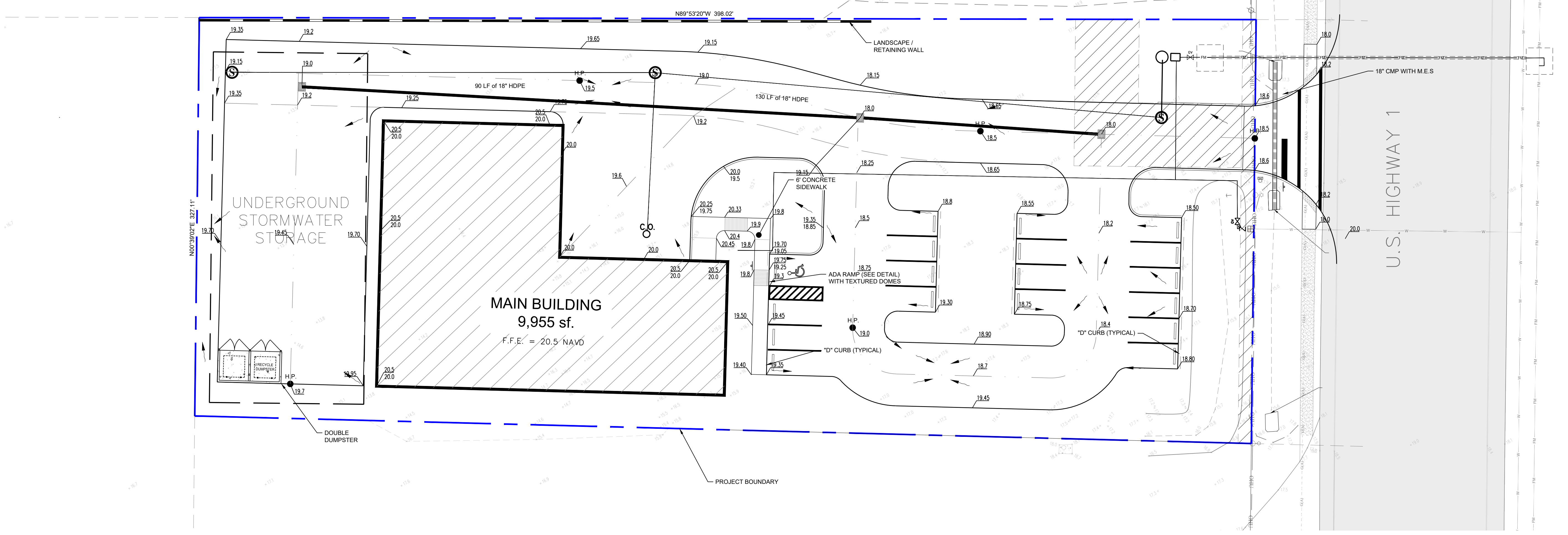
BLAINE BERGSTRESSER, P.E.
FLORIDA LICENSE NO. 84598
3/30/2026



PROJECT No.: 24-1009
DRAWN BY: SCB
CHECKED BY: BRB
DATE: 07/25/2024
CAD I.D.: 24-1009_PGD

SHEET TITLE:
PGD-01

SHEET NUMBER:
C-200



LINEWORK & SYMBOL LEGEND

	DENOTES PROPERTY BOUNDARY		DENOTES DITCH BOTTOM INLET
	DENOTES ROW DEDICATION		DENOTES DRAINAGE STRUCTURE
	DENOTES RIGHT-OF-WAY		DENOTES PROPOSED GRADE
	DENOTES CENTERLINE		DENOTES EXISTING GRADE
	DENOTES EASEMENT		DENOTES SEWER MANHOLE
	DENOTES SWALE FLOWLINE		DENOTES GATE VALVE
	DENOTES WATER MAIN		DENOTES FIRE HYDRANT
	DENOTES GRAVITY SEWER		DENOTES TRANSITION MANHOLE
	DENOTES FORCE MAIN		
	DENOTES GAS MAIN		
	DENOTES DRAINAGE PIPE		

HATCH LEGEND

	PROPOSED STRUCTURES
	PROPOSED ASPHALT PAVEMENT
	PROPOSED CONCRETE PAVEMENT

DRAINAGE NOTES

- ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD 1988.
- SURVEY INFORMATION SHOWN HEREON WAS PROVIDED BY PRINCIPAL MERIDIAN, INC.
- CONTRACTOR TO CONSTRUCT DRAINAGE STRUCTURES WITH USF GRATES, RIMS AND COVERS AS CALLED OUT OR APPROVED EQUAL. SHOP DRAWINGS ARE TO BE PROVIDED TO ENGINEER FOR APPROVAL PRIOR TO ANY CONSTRUCTION.
- CONTRACTOR TO REFER TO FDOT DESIGN STANDARD (AND NOT LIMITED TO) INDEX'S 200, 201, 210, 211, 214, 232 & 233 FOR MANHOLE, INLET AND GRATE SPECIFICATIONS.
- ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED WITH (4) SIDED BEARING HEAVY DUTY H-20 RATED TRAFFIC RIMS AND GRATES.
- CONTRACTOR TO VERIFY ALL EXISTING UTILITY RINGS AND COVERS ON SITE ARE HEAVY DUTY TRAFFIC RATED. CONTRACTOR TO REPLACE DEFICIENT RINGS AND COVERS WITH HEAVY DUTY TRAFFIC RATED RINGS AND COVERS. CONTRACTOR TO ADJUST RIM ELEVATIONS OF ANY UTILITIES THAT CHANGE IN ELEVATION DURING CONSTRUCTION.
- ALL CLEAN-OUT COVERS SHOULD BE RATED FOR HEAVY DUTY TRAFFIC.
- SIDEWALKS AND CROSSWALKS SHALL NOT EXCEED 2% CROSS SLOPE NOR 5% LONGITUDINALLY. GRADES IN ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2% IN ANY DIRECTION. IN CASES OF SIDEWALK LANDINGS AT BUILDING ENTRANCES, GRADES SHALL NOT EXCEED 2% IN ANY DIRECTION. ACCESSIBLE CURB RAMPS SHALL NOT EXCEED 6' IN LENGTH AND 1:12 SLOPE. LANDINGS AT CHANGES IN DIRECTION SHALL BE MINIMUM 60"x60" AND SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
- ROOF DRAIN CONNECTIONS TO DRAINAGE PIPE SHALL BE AS FOLLOWS:
 - FOR ADS N-12 CORRUGATED POLYETHYLENE DRAINAGE PIPE USE ADS DUAL WALL FABRICATED REDUCING SADDLE TEE 4"-24" DIAMETER.
 - FOR RCP DRAINAGE PIPE MAKE CONNECTION PER FDOT INDEX 280, CONCRETE COLLAR FOR JOINING MAINLINE PIPE AND STUB PIPE DETAIL.
 - NOTIFY CONSULTANT FOR CONNECTION METHOD TO STEEL PIPE.
- ALL DRAINAGE PIPE JOINTS SHALL BE FILTER FABRIC WRAPPED PER FDOT INDEX #280. ALL DRAINAGE PIPE JOINTS NEED TO BE FILTER FABRIC WRAPPED REGARDLESS OF MATERIAL.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE.
- EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
- ALL CATCH BASINS WITHIN PROPOSED TRAFFIC AREAS SHALL HAVE BICYCLE PROOF GRATES.
- CONTRACTOR TO FLUSH AND VACUUM ENTIRE ON-SITE STORM WATER SYSTEM UPON COMPLETION OF PROPOSED WORK.
- MINIMUM DRAINAGE PIPE SHALL BE 15 INCHES PER CITY OF FORT PIERCE LAND DEVELOPMENT ORDINANCE SEC 119-3 DESIGN STANDARDS; STORMWATER MANAGEMENT, APPROVALS.

NAVD 1988
ALL ELEVATIONS DEPICTED HEREON
REFERENCE NAVD 1988. THE CONVERSION
FACTOR TO NGVD 1929 IS +1.496'

J:\24-1009 ALL AREA ROOFING 5.05 HWY 1, FT PIERCE\ENGINEERING\DRAWINGS\CONSTRUCTION\24-1009_PGD-01.dwg - 3/30/2026 - 10:00 AM



KMA Engineering & Surveying, LLC

1176 25th St.
Vero Beach, FL 32960
(772) 569-550

March 31, 2026

City of Fort Pierce
Planning Department
2300 Virginia Avenue
Fort Pierce, FL 34982

Re: Traffic Study

A traffic study determination is currently being looked at for the property at 3621 US HWY 1 Fort Pierce, FL. If it is determined that a traffic study is required we will forward to the COFP as soon as we receive it.

Should you have any questions or require additional information, please feel free to contact this office at your earliest convenience.

Sincerely,

Blaine Bergstresser, P.E.
Florida License No. 84598

3621 S. US1
Looking west at site

Legend



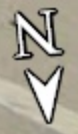
3621 S. US1
Looking north from US1 at site

Legend



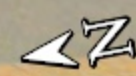
3621 S. US1
Looking south from US1 at site

Legend



3621 S. US1
Looking east from US1 at site

Legend



3621 S. US1
Site Aerial Photo

Legend



Tippy's Top Dogs

Extended Stay USA Motel

Self Storage at U-Haul

U-Haul Moving & Storage of Fort Pierce

S US Hwy 1

200 ft

Technical Review Committee - 10:00 AM

2. d.

Meeting Date: 04/16/2026

REQUESTED ACTION

PZSITE2026-00008

Major Site Plan with Conditional Use
Graceway Village
1780 Hartman Road
Parcel ID: 2417-322-0001-000-2

SUMMARY

The subject property located at 1780 Hartman Road contains 7.12 acres (310,085 sq. ft.) of land, has a Future Land Use designation of GC, General Commercial, and is zoned C-3, General Commercial. The applicant proposes an adult congregate living facility requiring conditional use approval over three phases: 1) Phase 1 – one (1) 10,180 sq. ft. facility containing 10 dwelling units, 2) Phase 2 – 6 buildings comprising 17,820 sq. ft. each containing 3 dwelling units (18 total) of 990 sq. ft. each for a total of 18 dwelling units, and 3) Phase 3 – Expansion of the Phase 1 building with an additional 6,320 sq. ft. containing an additional 8 dwelling units.

LOCATION

1780 Hartman Road
Parcel ID: 2417-322-0001-000-2

RESPONSIBLE STAFF

Chris Suneson, Assistant Planning Director

RECOMMENDATION

TBD

Attachments

Location Map
Justification Statement
SLC Property Card
Owner Authorization
Property Deed
Neighborhood Photos
Site Photos
Concurrency Analysis
Environmental Analysis
Traffic Analysis

Survey1
Survey2
Site Plan
Conceptual Drainage Plan
Tree Inventory Report
Tree Mitigation Plan
Landscape Plan
Photometric Plan
Floor Plan and Elevations
School Concurrency Worksheet

Form Review

Form Started By: Christopher Suneson
Final Approval Date: 04/01/2026

Started On: 04/01/2026 10:15 AM



SUBJECT PROPERTY
1780 HARTMAN RD
2417-322-0001-000-2

Whiteway Dairy Rd

Hartman Rd

Okeechobee Rd



LETTER OF JUSTIFICATION
GraceWay Village
 Site Plan & Conditional Use Application
 March 20, 2026

REQUEST

On Behalf of the Owner, Haley Ward is requesting approval of a site plan and conditional use application for a project known as GraceWay Village located at 1780 Hartman Road. The subject property is located between Okeechobee Road and Orange Avenue, off of Hartman Road in the City of Fort Pierce. The intent of the site plan and conditional use approval is to allow for the development of temporary housing/facilities for families in need. The existing buildings on-site will remain and support the functions of their staff, families, and community. The site area is 7.84 acres and is identified below:

Parcel ID	Parcel Address	Acreage	Current FLU	Current Zoning
2417-322-0001-000-2	1780 Hartman Road	7.84	GC	C-3

SITE LOCATION MAP





SITE CHARACTERISTICS

The subject property has a Future Land Use Designation of General Commercial (GC) and is located in the General Commercial (C-3) Zoning district. It is the intent of this application to construct an Adult Congregate Living Facility (ACLF) as outlined in City of Fort Pierce Code of Ordinance Section 125-248. ACLF's are intended to meet a need for facilities which provide housing and some personal services for people who do not require nursing home or hospital care.

To the north of the subject property lies the right-of-way for Whiteway Dairy Road followed by single-family residences located within St. Lucie County. These properties have a Future Land Use Designation of RU, Residential Urban, 5 du/ac and lie within the RS-3, Residential, Single Family, 3 du/ac Zoning district.

To the east of the subject property lies the Fort Pierce Utilities Authority (FPUA) building. This site has a Future Land Use Designation of General Commercial (GC) and is located in the General Commercial (C-3) Zoning district.

To the south of the subject property lies commercial tracts with a Future Land Use Designation of General Commercial (GC) and are located in the General Commercial (C-3) Zoning district.

To the west of the subject property lies an undeveloped tract with a Future Land Use Designation of Neighborhood Commercial (NC) and Neighborhood Commercial (C-2) Zoning.

PROJECT INTENT

GraceWay Village serves residents in St. Lucie County, Florida, who struggle with poverty, food scarcity, homelessness, and other essential needs. They serve hot meals, provide clothing, and deliver life skills courses at no cost to community members in need.

The intent of this application is to expand GraceWay Village's operations to provide an ACLF, or "Family Shelter". This restorative living alternative will provide temporary and safe housing for families and their children facing unexpected, serious upheavals to their lives.

Families will be able to stay a designated amount of time depending on their specific circumstances. This flexibility allows sufficient time to recover from the events that led them to this stage. They also will be assessed by the GraceWay Village professional staff to determine if additional services and an extended stay could be warranted, moving them into restorative care where they can improve skills and form successful habits.

Based on the above and attached information, the applicant respectfully requests approval of the site plan and conditional use application to allow for the proposed development described above and be schedule for the next available Technical Review Committee (TRC) meeting.

Ownership

Grace Way Villiage Inc
 1780 Hartman RD
 Fort Pierce, FL 34947-4410

Current Values

Just/Market value: \$2,414,200
 Assessed value: \$1,515,888
 Exemption value: **\$1,515,888**
 Taxable value: \$0

Important

Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Links

Taxes for this parcel: [SLC Tax Collector's Office](#)
 Download TRIM for this Parcel: [Download PDF File for homestead exemptions.](#)
[View associated Tax Map.](#)
[Report Homestead Fraud on this parcel.](#)

Property Identification

Site Address: 1780 HARTMAN RD
 Sec/Town/Range: 17/35S/40E
 Parcel ID: **2417-322-0001-000-2**
 Jurisdiction: Fort Pierce
 Land Use Code: 7100 - CHRCHS
 Account #: **26488**
 Map ID: [24/17S](#)
 Zoning: General Co



Legal Description

17 35 40 NW 1/4 OF NW 1/4 OF SW 1/4-LESS W 45 FT FOR RD AND LESS N78 FT FOR RD AND CANAL- (7.88 AC)

Total Areas

Finished/Under Air (SF): 7,667
 Gross Sketched Area (SF): 11,150
 Land Size (acres): 7.88
 Land Size (SF): 343,252.8

Map



Building Wind Speed

Occupancy Category I II III & IV
 Speed 140150 160
[Sources/links:](#)

State of Florida, Microsoft, ... Powered by Esri

Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
Jun 16, 2021	4631/1870	0117	SPWD	Indian River Presbyterian Church Inc	\$1,100,000
Jun 14, 2012	3404/2304	0317	QC	Indian River Presbyterian Ch	\$100
Jan 1, 1900	/				\$0

Special Features and Yard Items

Type	Qty	Units	Year Blt
CEMENT CURB	1	282	1988

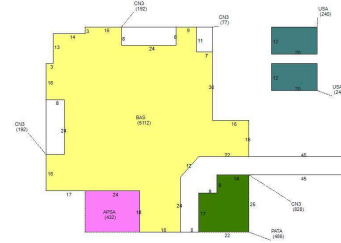
Type	Qty	Units	Year Blt
SINGLE LIGHT	1	3	1988
ASP2 LOW	1	24244	1988

Building Information

(1 of 2)

Finished Area: 5,112 SF

Gross Area: 7,799 SF



Exterior

Building Type:	CH4
Quality:	Y_D
Number of Units:	1
Year Built:	1988
Effective Year:	1988
Story Height:	1 Story
Roof Structure:	Hip
Roof Cover:	Metal
Primary Wall:	CB Stucco
Secondary Wall:	
View:	

Interior

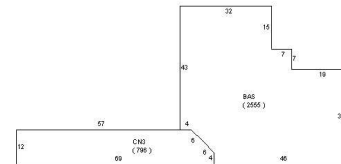
Bedrooms:	0
Full Baths:	0
Half Baths:	0
A/C %:	100%
Electric:	AVERAGE
Heat Type:	FrcdHotAir
Heat Fuel:	Electric
Heated %:	100%
Primary Int Wall:	Drywall
Primary Floors:	Carpet

Building Information

(2 of 2)

Finished Area: 2,555 SF

Gross Area: 3,351 SF



Exterior

Building Type:	CH4
Quality:	Y_D
Number of Units:	1
Year Built:	1988
Effective Year:	1988

Interior

Bedrooms:	0
Full Baths:	0
Half Baths:	0
A/C %:	100%
Electric:	AVERAGE

Story Height:	1 Story	Heat Type:	FrcdHotAir
Roof Structure:	Hip	Heat Fuel:	Electric
Roof Cover:	Metal	Heated %:	100%
Primary Wall:	CB Stucco	Primary Int Wall:	Drywall
Secondary Wall:		Primary Floors:	Carpet
View:			

Values Breakdown

2025 ▾

Building	\$321,000
SFYI	\$33,700
Land	\$2,059,500
Just/Market	\$2,414,200
Ag Credit	\$0
Save Our Homes or 10% Cap	\$898,312
Assessed	\$1,515,888
Exemptions	\$1,515,888
Taxable	\$0

Current Year Exemption Value Breakdown

Tax Year	Grant Year	Description	Amount
2025	2022	Non-Profit/Charitable Organizations	\$1,515,888

Important

Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Current Year Special Assessment Breakdown

Start Year	Units	Description	Amount
2013	7.88	North St. Lucie Water Management District	\$197.00

This does not necessarily represent the total Special Assessments that could be charged against this property.

The total amount charged for special assessments is reflected on the most current tax statement and information is available with the [SLC Tax Collector's Office](#)

Permits

Number	Issue Date	Description	Amount	Fees
F00-001449	Dec 14, 2000	Enclosure	\$1,800	\$0
F01-000527	Apr 23, 2001	Slab	\$2,000	\$0
F01-000604	May 11, 2001	Fence	\$1,230	\$0
C54451	Jan 25, 1991	Shed	\$4,560	\$4,560
C94-02660	May 23, 1994	Commercial New Construction	\$155,000	\$155,000
C97-010418	Feb 7, 1997	Shed	\$2,880	\$2,880
F0200000999	Jul 2, 2002	Air Conditioning Only	\$0	\$208

Number	Issue Date	Description	Amount	Fees
RF2004633	Oct 8, 2004	Roof	\$8,000	\$0
BP10-0522	Mar 24, 2010	Alterations/Remodeling	\$0	\$75
BP10-0417	Mar 4, 2010	Alterations/Remodeling	\$2,500	\$75
BP09-2109	Oct 30, 2009	Alterations/Remodeling	\$0	\$75
BP12-1433	Aug 6, 2012	Air Conditioning Only	\$4,600	\$170
BP17-1655	Jun 12, 2017	Plumbing	\$1,695	\$0
BP23-2934	Aug 4, 2023	Roof	\$73,900	\$0
BP23-3000	Aug 4, 2023	Roof	\$73,900	\$0
CBLDG-2025-00725	Jan 23, 2026	Shed	\$45,000	\$0

Notice: This does not necessarily represent all the permits for this property.

Click the following link to check for additional permit data in [Fort Pierce](#)

All information is believed to be correct at this time, but is subject to change and is provided without any warranty.

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GRACE WAY VILLAGE, INC.
1780 HARTMAN RD.
FT. PIERCE, FL 34947

AGENT CONSENT FORM

Project Name: GraceWay Village

Parcel ID: 2417-322-0001-000-2

BEFORE ME THIS DAY PERSONALLY APPEARED _____, WHO BEING DULY SWORN, DEPOSES AND SAYS THE FOLLOWING:

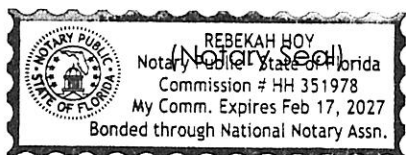
I hereby give CONSENT to Haley Ward, Inc. to act on my behalf, to submit or have submitted applications and all required material and documents, and to attend and represent me at all meetings and public hearings pertaining all City, County and State permits for completion of the project indicated above. Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application for the proposed use of a commercial development.

FURTHER AFFIANT SAYETH NOT.

The foregoing instrument was acknowledged before me this 10 day of March, 2020 by Chrystal Netherton (Name of Person Acknowledging) who is personally known to me or who has produced FLDL (type of identification) as identification and who did (did not) take an oath.

[Signature]
Notary Signature

Rebekah Hoy
Printed Name of Notary



2/17/2027
My commission expires

[Signature]
Owner's Signature

Chrystal Netherton
Owner's Name

1780 Hartman Rd.
Street Address

Fort Pierce FL 34947
City, State, Zip

772-925-3074 info@
Telephone / Email gracewayvillage.com

PREPARED BY AND RETURN TO:

David N. Sowerby, Esq.
DAVID N. SOWERBY, P.L.
2940 South 25th Street
Fort Pierce, FL 34981

Parcel I.D No. 2417-322-0001-000/2

[Space Above This Line For Recording Data]

Special Warranty Deed

THIS CONVEYANCE IS MADE PURSUANT TO THE EXERCISE BY THE GRANTEE OF ITS RIGHT TO PURCHASE UNDER THAT CERTAIN OPTION TO PURCHASE AGREEMENT RECORDED IN O.R. BOOK 4420, PAGE 1313 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA. UPON THE RECORDING OF THIS SPECIAL WARRANTY DEED, THE OPTION TO PURCHASE AGREEMENT SHALL BE DEEMED TO HAVE BEEN FULLY COMPLIED WITH AND TERMINATED.

This Special Warranty Deed made this 16th day of June 2021 between INDIAN RIVER PRESBYTERIAN CHURCH, INC., a Florida non-profit corporation, (successor by merger with FIRST PRESBYTERIAN CHURCH, a Florida not for profit corporation), whose post office address is 2499 Virginia Avenue, Fort Pierce, FL 34982, Grantor, and GRACE WAY VILLIAGE, INC., a Florid non-profit corporation, whose post office address is 1780 Hartman Road, Fort Pierce, FL 34982, Grantee:

(Whenever used herein the terms Grantor and Grantee include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, That the Grantor, for and in consideration of the sum of \$10.00 and other good and valuable consideration to Grantor in hand paid by Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said Grantee and Grantee's successors and assigns forever, the following described land, (hereinafter "Property") situate, lying and being in the County of St. Lucie, State of Florida, to wit:

The North 1/2 of the Northwest 1/4 of the Southwest 1/4 of Section 17, Township 35 South, Range 40 East, less the West 45 feet for road right-of-way, St. Lucie County, Florida.

LESS AND EXCEPT the Northeast 1/4 of the Northwest 1/4 of the Southwest 1/4 of Section 17, Township 35 South, Range 40 East, less the North 78 feet and the West 25 feet and the East 25 feet.

AND LESS AND EXCEPT that portion conveyed to St. Lucie County in Official Records Book 997, Page 2204, of the Public Records of St. Lucie County, Florida.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the Grantor hereby warrants the title to said land against the lawful claims of all persons claiming by or through the Grantor.

In Witness Whereof, Grantor has hereunto set Grantor's hand and seal the day and year first above written.

[EXECUTED ON FOLLOWING PAGE]

Signed, sealed and delivered in our presence:

INDIAN RIVER PRESBYTERIAN CHURCH, INC., a Florida non-profit corporation.

[Signature]

By: [Signature]
BARRY KEIM, President

Witness Name: [Signature]

[Signature]

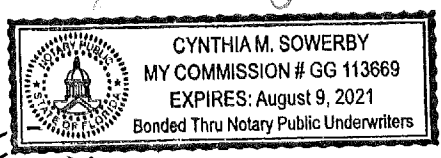
Witness Name: [Signature]

State of Florida
County of St. Lucie

THE FOREGOING INSTRUMENT was acknowledged before me, by physical presence or online notarization, this 16th day of June 2021, by BARRY KEIM, as President of INDIAN RIVER PRESBYTERIAN CHURCH, INC., a Florida non-profit corporation, who is personally known to me, or who produced a driver's license as identification.

[Notary Seal]

[Signature]
Notary Public



Office of
Clerk
of
Circuit
Court
Copy

**CERTIFICATE AS TO CORPORATION RESOLUTIONS
OF
INDIAN RIVER PRESBYTERIAN CHURCH**

The undersigned, as Vice President of INDIAN RIVER PRESBYTERIAN CHURCH, a Florida not for corporation (hereinafter "Corporation"), hereby certifies that the Corporation is a duly incorporated, validly existing corporation in good standing under the laws of the State of Florida, and by the unanimous consent of the Board of Directors of the Corporation, and the following resolutions were adopted on February 24 2020, and the same have not been revoked, canceled, annulled or amended in any manner and are in full force and effect on the date hereof:


BE IT RESOLVED, that the Corporation sell the real property located at 1780 Hartman Road, Fort Pierce, FL 3498 to Grace Way Village, Inc., subject to congregational approval; and

BE IT FURTHER RESOLVED, that the Corporation execute and deliver any and all documents reasonably required by the closing agent or the SBA to facilitate the sale; and

BE IT FURTHER RESOLVED, that BARRY KEIM, as President, is authorized to execute any and all documents on behalf of the Corporation.

The undersigned further certifies that at a duly called meeting of the congregation of the Corporation on May 6, 2020, called for the purpose of approving the sale of the property located at 1780 Hartman Road, Fort Pierce, FL 3498 to Grace Way Village, Inc., the covenant partners approved the sale without a dissent.

IN WITNESS WHEREOF, I have set my hand, this 16th day of June 2021



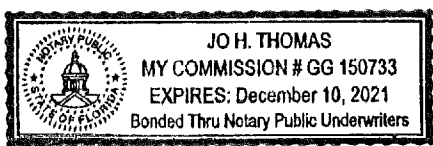
DAVID SOWERBY, Vice President

STATE OF FLORIDA
COUNTY OF ST. LUCIE

THE FOREGOING INSTRUMENT was acknowledged before me, by physical presence or online notarization, this 16th day of June 2021 by DAVID SOWERBY, as Vice President of INDIAN RIVER PRESBYTERIAN CHURCH, a Florida not for profit corporation, who is personally known to me, or who produced a driver's license as identification.



Notary Public



Contextual Photos - Neighborhood

North of Subject Property (Residences)



East of Subject Property (FPUA)



South of Subject Property (FPUA)



West of Subject Property (Undeveloped)



Contextual Photos – Subject Property

Entrance



Clothing Boutique



Cafe



East of Parking Lot





CONCURRENCY CAPACITY ANALYSIS

I. Site Data:

	Existing Use	Future Land Use	Zoning
North			
South			
East			
West			

	Future Land Use	Zoning Classification	Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage	Total Acreage	Flood Zone
Current					
**Proposed					N/A

II. Public Facilities Information:

A. Potable Water:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.125 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day
**Proposed Zoning/FLU	Total gallons per day
**Change in Demand	Total gallons per day

* For "Current Zoning/FLU," assumed the maximum permitted under General Commercial (GC) (15 du/ac) for all calculations

** For Proposed Zoning/FLU, assumed the proposed number of units (36)

B. Wastewater:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.1 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day
**Proposed Zoning/FLU	Total gallons per day
**Change in Demand	Total gallons per day

C. Parks and Recreation (Residential Classifications Only): (Du x 2.6 = persons + 44,227 = population /LOS)				
Park Type	LOS	Existing Population Park Demand	Proposed Population Park Demand	Change in Demand
Regional	20 acres per 1,000 people			
Urban District	5 acres per 1,000 people			
Community	2.5 acres per 1,000 people			
Neighborhood	1.36 acres per 1,000 people			

D. Public Schools (Residential Classifications Only):			<i>The residential units will serve as a family shelter to provide temporary and safe housing for families and their children.</i>
Single Family: (du x 0.405 = students/70% K-8/30% High)			
Multi-family: (du x 0.207 = students/70% K-8/30% High)			
		K-8	High
School Name			
City			
Distance			
Current Zoning/FLU	Enrollment		
**Proposed Zoning/FLU	Enrollment		
**Change in Demand			

E. Solid Waste: Residential (2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units)	
Demand Analysis	Maximum
Current Zoning/FLU	
**Proposed Zoning/FLU	
*Change in Demand	

F. Stormwater:
Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year – 1 day storm event)

Impact	
---------------	--

III. Transportation Analysis: Complete ITE Trip Generation Form (Attached)

G. Transportation Analysis: Complete ITE Trip Generation Data Form		
Most recent ITE Code for use; HCM Roadway Capacity		
	AADT	AM/PM Peak Hour Trips
Demand Analysis	The use of the proposed cottages closely resembles a residential land (assisted living) land use with an ITE Land Use Code of 254. Based on the independent variable of 1000 square feet of gross floor area, the daily weekday trips in and out of the site is 80 trips per day. The AM peak hour trips is 10 and the PM peak our trips is 11. ITE Trip Generation Manual, 12 edition was used to determine the weekday, AM peak and PM peak hour trips for the proposed increase in assisted living facility gross floor area. These calculated trips are only an increase over the existing use for the site.	
Current Zoning/FLU		
**Proposed Zoning/FLU		
*Change in Demand		
Impact to Capacity		

IV. Project Description

PHASING	
Is this project (phase) part of a larger project?	<input type="checkbox"/> Yes <input type="checkbox"/> No
If yes, enumerate each phase, the number of units or square footage in each phase and beginning/completion date.	
Total Project: Residential Units: Single Family:	Ph. 1 - 10,180 SF (10 units) Ph. 2 - 17,820 SF (18 units) Ph. 3 - 6,320 SF (8 units)
Non-residential (square footage):	
Mixed-use (describe use):	
(If this is a single phase project, name it Phase I – Total)	

RESIDENTIAL DATA					
Type	Phase	Number of Units	Acres	Expected beginning date	Expected completion date
Single-family, detached		Ph. 1 - 10,180 SF (10 units) Ph. 2 - 17,820 SF (18 units) Ph. 3 - 6,320 SF (8 units)			
Single-family, attached					
Multi-family					
Other (specify)					

NON-RESIDENTIAL DATA					
Type(s) specify	Phase	Square footage	Acres	Expecting beginning date	Expected completion date
	Ph. 1 - 10,180 SF (10 units)				
	Ph. 2 - 17,820 SF (18 units)				
	Ph. 3 - 6,320 SF (8 units)				

A. Indicate whether the proposed project will be eliminating any existing recreational facilities. If yes, detail the number and type being eliminated. Yes No

B. 1. Does this application involve demolition or re-use of any structure(s)? Yes No
 If yes, what is the size of the structure(s) to be demolished or re-used? _____
 2. What is the current use of the structure to be demolished or re-used? _____
 3. Are you claiming trip credits for the demolition or re-use of a structure(s) at the site? Yes No
 If yes, provide estimates of credits for each previous use at the site. (Attach sheet with calculations)

Existing buildings and pole barn on site to remain

C. Exemptions Requested:

** Complete section if requesting a change in zoning, future land use, or expanding



January 15, 2026

GraceWay Village
Attn: Chrystal Netherton
1780 Hartman Rd
Fort Pierce, FL 34947
email: info@gracewayvillage.com

Re: Environmental Assessment at 1780 Hartman Rd in the City of Fort Pierce

To Whom It May Concern,

Haley Ward, Inc. has completed this Environmental Assessment (EA) for the above-mentioned property. The purpose of this evaluation was to conduct a review of the above listed parcel by means of site visit, review of available aerial photography, listed species review, review of soil resources, and review of environmental regulation pertaining to this parcel.

The following report details the findings of our on-site and desktop investigations of the properties as they pertain to the City of Fort Pierce regulations.

Please contact the undersigned if you have any questions regarding this report.

Respectfully submitted,
Haley Ward, Inc.

Adam Kobylski, M.S.
Project Scientist



HALEY WARD®

ENVIRONMENTAL ASSESSMENT

Parcel ID:
2417-322-0001-000-2

1780 Hartman Road
Ft. Pierce, FL 34947
Date: January 15, 2026
Project # 20-250

Prepared For:
Mrs. Chrystal Netherton
GraceWay Village

Prepared By:
Haley Ward, Inc.
10250 SW Village Parkway
Port St Lucie, Florida 34987
(772) 223-5200



INTRODUCTION:

The subject property evaluated as part of this Environmental Assessment consists of one tax parcels (2417-322-0001-000-2) comprised of approximately 7.88 acres. The subject property is classified by the St. Lucie County Property Appraiser as “Churches” (Land Use Code 7100). The subject parcel is located at 1780 Hartman Rd within the City of Fort Pierce, St. Lucie County, FL 34947. The subject property has a zoning designation of Commercial (C-3. The subject property is further located within Section 17, Township 35 South and Range 40 East.

This environmental assessment was completed as a precursor to permitting and review by governmental agencies as an applicable document for the supporting information associated with a building permit or land development application. Haley Ward, Inc. staff visited the property on January 13th, 2025 to ascertain the status and composition of any critical habitats, such as wetlands and native uplands that may be onsite.

UPLANDS EVALUATION:

The habitat associations were determined via onsite analysis and classified according to the Florida Cooperative Land Cover (CLC) System developed by the Florida Fish and Wildlife Conservation Commission (FWC). The CLC incorporates classifications used by FWC, Florida Natural Areas Inventory (FNAI), and Florida’s water management districts. The following CLC code was identified onsite; 177 – Institutional and 422 – Brazilian Pepper. Majority of the upland habitat onsite consisted of mowed grass and exotic vegetation. Native trees qualifying for protection according to the City of Fort Pierce regulations (**Sec. 123-66.**) are located onsite and a tree survey may be required.

The following vegetation was found on site:

Common Name	Species Name
Laurel Oak	<i>Quercus hemispherica</i>
Cabbage Palm	<i>Sabal palmetto</i>
Slash Pine	<i>Pinus elliotii</i>
Saw Palmetto	<i>Serenoa repens</i>
Beauty Berry	<i>Serenoa repens</i>
Cogon Grass**	<i>Imperata cylindrica</i>
Florida Grape Vine*	<i>Vitis rotundifolia</i>
Brazilian Pepper**	<i>Schinus terebinthifolia</i>
Caesars’s Weed**	<i>Urena lobata</i>

***Nuisance Vegetation**

****Exotic/Invasive Vegetation**



WETLAND DELINEATION:

The opinion of Haley Ward is that there are no State jurisdictional wetlands on site. Based on the State definition, a wetland consists of three components: 1) hydric soils, 2) wetland plants, and 3) hydrologic indicators. No habitats were identified on site which meet the three formal components to designate any land cover type(s) as a wetland.

WILDLIFE EVALUATION:

Haley Ward conducted a pedestrian survey throughout the property to investigate for the presence of any plant or animal listed species.

No gopher tortoises, or their burrows, were observed at this time. Any other state or federally listed plant/animal species were not observed at the time of the site visit.

SOIL COMPOSITION:

Based on a review of the U.S. Department of Agriculture (USDA) Web Soil Survey the site is composed of the following soil series:

Ankona and Farmton Sands – The Ankona and Farmton series consist of very deep, very poorly drained, slowly permeable soils. These sands formed in sandy and loamy marine sediments. A water table is within depths of 6 to 18 inches for 1 to 4 months, primarily in the winter and early spring and it is at depths of 18 to 40 inches for 6 months or more during the rest of the year in most years. Ankona and Farmton soils are found in broad flats and depressional areas. Typical vegetation consists of longleaf pine, slash pine, saw palmetto, wax myrtle, gallberry, fetterbush, creeping bluestem, chalky bluestem, lopsided Indian grass, low panicums and pineland threeawn. Depressional areas are dominated by marsh vegetation consisting of maidencane, cutgrass, sand cordgrass, and St. John's wort.

Pineda Sand, 0 to 2% slopes – This soil is a nearly level, poorly drained soil in low grassy flats. The water table is typically at a depth of less than 10 inches for 2 to 6 months during wet seasons, and at a depth of 10 to 40 inches for the remaining time. This is a nearly level poorly drained soil found in grassy flats. The natural vegetation associated with this soil type includes slash pine, cabbage palm, wax myrtle, gallberry, fetterbush, and brooms sedge. The surface layer typically is dark gray and dark grayish brown sand. The subsurface layer is brown fine sand with yellow and brownish mottles.

SITE HISTORY:

According to a 1944 aerial image, there was a wetland located in the northeast corner of the property that extended onto the adjoining property to the east. During this time, evidence of disturbance such as clearing and vehicle tracks can be seen throughout the subject property and a ditch had been developed adjoining the north boundary of the wetland. In the 1969 aerial image, dense vegetation covers the entire subject



property and the adjoining property to the east. In addition, a utility easement runs along the east property boundary and cuts off the connection of the onsite wetland from the portion of the wetland that was on the adjoining property to the east. The 1992 aerial image is the earliest available aerial depicting the development of the subject property.

REGULATIONS:

The following lists the State of Florida laws and Code of Ordinances for the City of Fort Pierce as they pertain to the environmental considerations of the subject property. As part of the local approval process, the applicant will be required to comply with the following items in *red*.

Florida Fish & Wildlife Commission Regulations:

68A-27.003(2) *State-designated Threatened species:*

(a) *No person shall take, possess, or sell any threatened species included in this subsection or parts thereof or their nests or eggs except as authorized by Commission rule or by permit from the Commission or when such conduct is authorized in a management plan as defined in this chapter and approved by the Commission, or as authorized in Commission-approved guidelines.*

68A-27.003(5) *Gopher tortoise (Gopherus polyphemus). The gopher tortoise shall be afforded the protective provisions specified in this subparagraph. No person shall take, attempt to take, pursue, hunt, harass, capture, possess, sell or transport any gopher tortoise or parts thereof or their eggs, or molest, damage, or destroy gopher tortoise burrows, except as authorized by Commission permit or when complying with the Gopher Tortoise Management Plan effective September 2012 herein incorporated by reference: (<http://www.flrules.org/Gateway/reference.asp?No=Ref-12192>).*

A gopher tortoise burrow is a tunnel with a cross-section that closely approximates the shape of a gopher tortoise. Permits will be issued based upon whether issuance would further goals and objectives of the Management Plan and the Gopher Tortoise Permitting Guidelines effective April 2023, herein incorporated by reference: (<http://www.flrules.org/Gateway/reference.asp?No=Ref-15273>).

A 100% gopher tortoise survey is required as part of the building approval process within 90-days of a land disturbing activity. If tortoises are located onsite, relocation is required prior to any clearing/building activity.

City of Fort Pierce Regulations:

Sec. 123-66 - Tree Protection and Mitigation:

(b) Any native tree at least 14 inches in diameter at breast height (DBH), except for palms which have a minimum clear trunk of ten feet, shall be preserved and protected



in accordance with this article, unless the tree is determined to be a safety hazard, prevents the reasonable development of a site, is causing damage to structures or more desirable trees around it, is infected with disease or is infested with insects. A land clearing applicant shall demonstrate why the tree should not be protected or why it is not feasible to develop without removing the tree.

Trees meeting the protection criteria as stated above were observed onsite. If these trees are impacted throughout the development process, then a tree survey will be required to identify protected trees to formulate a tree mitigation plan.

Sec. 123-66 - Tree Protection and Mitigation:

(b) Any native tree at least 14 inches in diameter at breast height (DBH), except for palms which have a minimum clear trunk of ten feet, shall be preserved and protected in accordance with this article, unless the tree is determined to be a safety hazard, prevents the reasonable development of a site, is causing damage to structures or more desirable trees around it, is infected with disease or is infested with insects. A land clearing applicant shall demonstrate why the tree should not be protected or why it is not feasible to develop without removing the tree.

Trees meeting the protection criteria as stated above were observed onsite. A tree survey will be required as part of the building approval process.

SUMMARY:

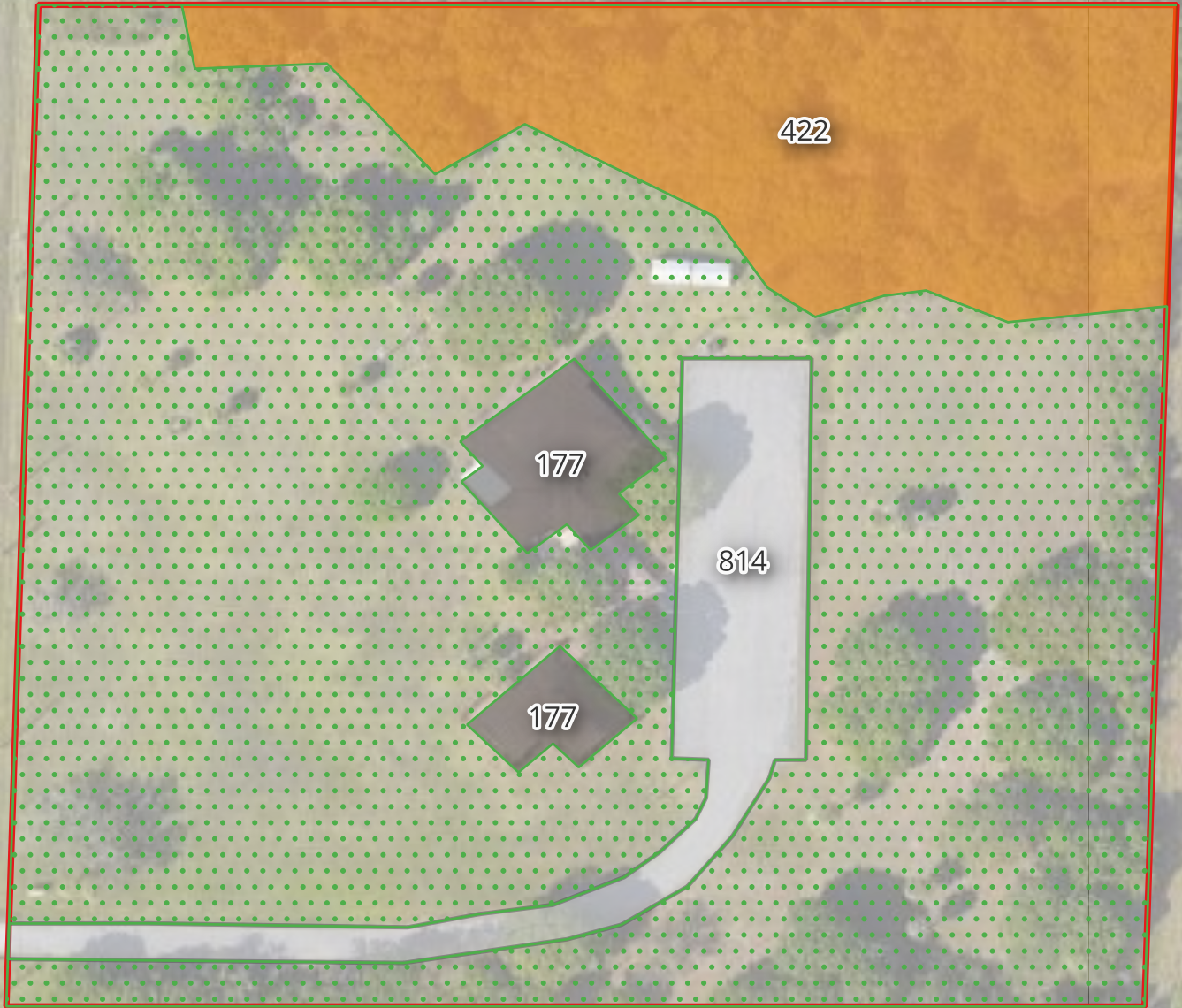
Haley Ward conducted this Environmental Assessment and site analysis to ascertain the status of environmental considerations regarding the local permitting process to our client: GraceWay Village. The subject property is approximately 7.88 acres located at 1780 Hartman Rd within the City of Fort Pierce, St. Lucie County, FL 34947. This site is comprised of non-native habitats as described in our upland and wetland evaluations.

Native trees qualifying for protection according to the City of Fort Pierce regulations (noted above) are located onsite and a tree survey may be required. A 100% gopher tortoise survey is required and valid for 90 days from issuance. The 100% gopher tortoise survey should be conducted by a Florida Fish and Wildlife Conservation Commission (FWC) Authorized Gopher Tortoise Agent (AGTA) 90 days prior to any land-disturbing activities. Furthermore, if Gopher Tortoises or their burrows are found on site, then burrow excavation and relocation of these tortoises may be conducted and coordinated by an AGTA.






GraceWay Village - Vicinity Map



GraceWay Village - Habitat Map



LEGEND

-  422 - BRAZILIAN PEPPER – 1.38ac.
-  814 - ROADS – 0.58ac.
-  177 - INSTITUTIONAL (BUILDINGS) – 0.24ac.
-  190 - OPEN LAND – 5.64ac.
-  SITE BNDY

Soil Map—St. Lucie County, Florida
(GraceWay Village - Soil Map)




Soil Map may not be valid at this scale.

Map Scale: 1:1,500 if printed on A landscape (11" x 8.5") sheet.





MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

Water Features



Streams and Canals

Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

Background



Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: St. Lucie County, Florida

Survey Area Data: Version 19, Aug 29, 2025

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jan 18, 2022—Jan 30, 2022

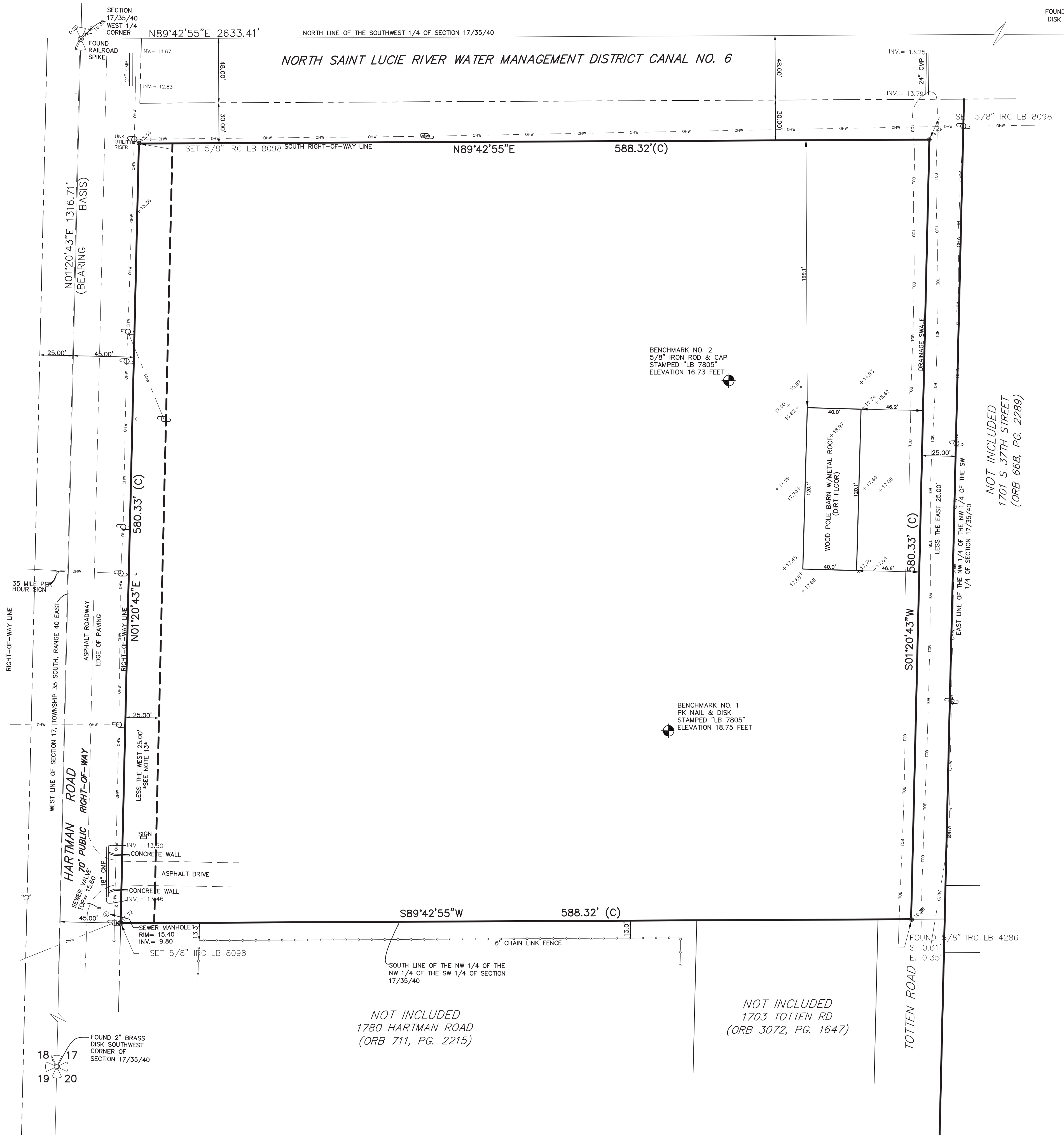
The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
2	Ankona and Farnton sands	7.4	94.0%
32	Pineda sand, 0 to 2 percent slopes	0.5	6.0%
Totals for Area of Interest		7.8	100.0%

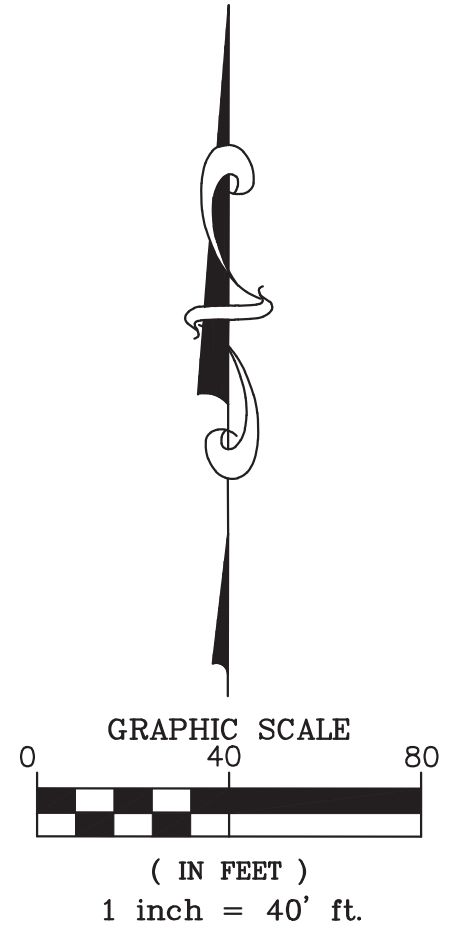
Traffic Statement

The use of the proposed cottages closely resembles a residential land (assisted living) land use with an ITE Land Use Code of 254. Based on the independent variable of 1000 square feet of gross floor area, the daily weekday trips in and out of the site is 80 trips per day. The AM peak hour trips is 10 and the PM peak hour trips is 11. ITE Trip Generation Manual, 12 edition was used to determine the weekday, AM peak and PM peak hour trips for the proposed increase in assisted living facility gross floor area. These calculated trips are only an increase over the existing use for the site.



LEGEND

- O.R.B. - OFFICIAL RECORDS BOOK
- C - CENTERLINE
- (P) - PLAT
- (M) - MEASURED
- (D) - DEED
- (C) - CALCULATED
- L.B. - LICENSED BUSINESS
- CONC - CONCRETE
- C.M.P. - CORRUGATED METAL PIPE
- INV - INVERT
- EL - ELEVATION
- F.F.E. - FINISH FLOOR ELEVATION
- P.U.E. - PUBLIC UTILITY EASEMENT
- D.E. - DRAINAGE EASEMENT
- O.H.U. - OVERHEAD UTILITY LINE
- W.P.P. - WOOD POWER POLE
- G.A. - GUY ANCHOR
- C.C.R. - CERTIFIED CORNER RECORD
- W.L.P. - WOOD LIGHT POLE
- W.M. - WATER METER
- I.D. - IDENTIFICATION
- T.R. - TELEPHONE RISER
- M.E.S. - MITERED END SECTION
- CATV - CATV RISER
- F.O.C.P. - FIBER OPTIC CABLE PEDESTAL
- S.I.R.C. - SET 5/8" IRON ROD & CAP STAMPED "LB 7805"
- F.V. - FIRE HYDRANT
- W.G.V. - WATER GATE VALVE
- S.C.O. - SANITARY CLEAN-OUT
- I.W. - IRRIGATION WELL
- BENCHMARK
- CONCRETE POWER POLE
- EXISTING ELEVATION
- GUY WIRE ANCHOR
- HANDICAP
- HYDRANT
- LIGHT POST
- OVERHEAD WIRE
- SET IRON ROD WITH CAP "LB. 8098"
- SIGN
- SHOOT
- WATER SERVICE METER
- WOOD POWER POLE
- UNKNOWN RISER BOX
- AIR RELEASE VALVE
- FPL MANHOLE
- UNKNOWN TYPE MANHOLE
- SANITARY MANHOLE
- STORMWATER DRAINAGE MANHOLE



DESCRIPTION

THE NORTH 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 17, TOWNSHIP 35 SOUTH, RANGE 40 EAST, LESS THE WEST 45 FEET FOR ROAD RIGHT-OF-WAY, ST. LUCIE COUNTY FLORIDA.

LESS AND EXCEPT THE NORTH 1/4 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 17, TOWNSHIP 35 SOUTH, RANGE 40 EAST, LESS THE NORTH 78 FEET AND THE WEST 25 FEET AND THE EAST 25 FEET.

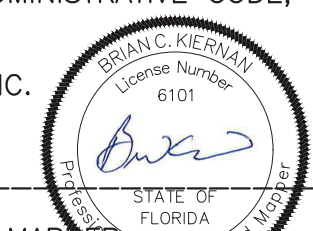
SURVEYOR'S NOTES

1. THIS SURVEY MAP OR THE COPIES THEREOF, UNLESS ELECTRONICALLY SIGNED AND ELECTRONICALLY SEALED, ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. HORIZONTAL RELATIONSHIPS, AS SHOWN HEREON, ARE BASED ON THE FLORIDA STATE PLANE COORDINATE GRID, EAST ZONE, USING THE NORTH AMERICAN DATUM OF 1983 WITH THE 2011 ADJUSTMENT (NSRS 2011).
3. THE WEST LINE OF THE NORTHEAST 1/4 OF SECTION 24, ST. LUCIE COUNTY, FLORIDA IS ASSUMED TO BEAR NORTH 01°20'43" EAST AND ALL OTHER BEARINGS SHOWN HEREON ARE RELATIVE THERETO.
4. THE HORIZONTAL LOCATION OF NON-DIMENSIONED FEATURES ARE PLOTTED TO SCALE, UNLESS NOTED OTHERWISE.
5. SYMBOLS SHOWN WITHIN THIS DRAWING ARE NOT SCALE DEPENDENT.
6. DESCRIPTION SHOWN HEREON PROVIDED BY CLIENT.
7. FIELD SURVEY LAST CONDUCTED ON JANUARY 31, 2026.
8. OVERALL PARCEL CONTAINS 7.84 ACRES, MORE OR LESS.
8. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
9. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
10. UNDERGROUND IMPROVEMENTS, IF ANY, WERE NOT LOCATED, EXCEPT AS SHOWN.
11. ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
12. LIMITS OF WETLANDS, IF ANY, UNDER GOVERNMENT JURISDICTION, WERE NOT DETERMINED AS PART OF THIS SURVEY.
13. BY GRAPHIC PLOTTING ONLY, SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A FLOOD ZONE DESIGNATION OF "X", ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) ON FLOOD INSURANCE RATE MAP (FIRM) PANEL NUMBER 12111C0186J, HAVING AN EFFECTIVE DATE OF FEBRUARY 16, 2012. THIS INFORMATION SHOULD BE CONFIRMED WITH THE APPROPRIATE COUNTY PRIOR TO CONSTRUCTION.
14. BASE SURVEY INFORMATION TAKEN FROM BOUNDARY AND TOPOGRAPHIC SURVEY, PREPARED BY EDC, ENGINEERS AND SURVEYORS, FILE NUMBER 20.250, DATED JANUARY 26, 2026.

CERTIFIED TO
JBR EXTERIORS INC.

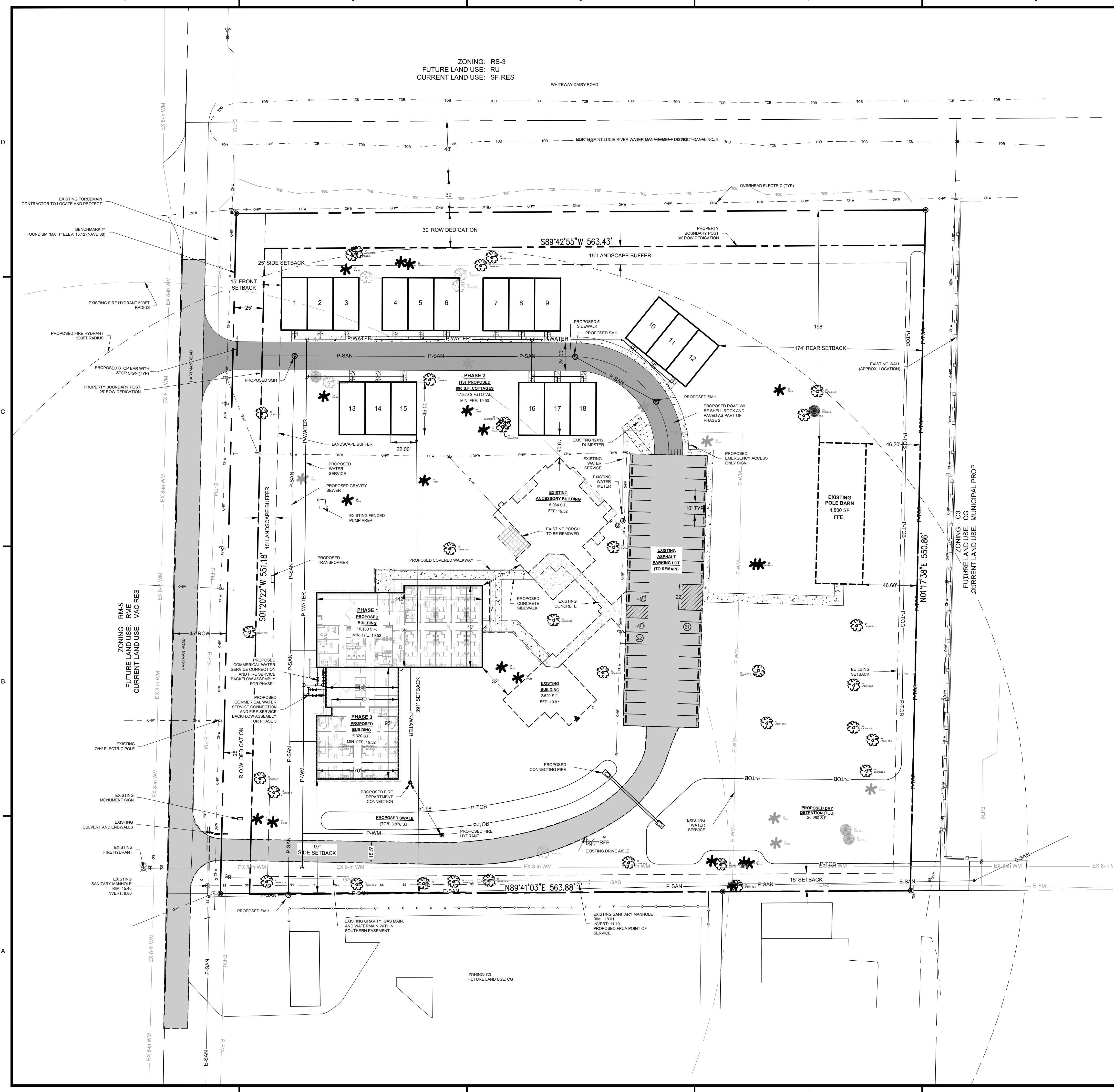
SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE AS-BUILT SURVEY, AS SHOWN HEREON, IS A TRUE AND CORRECT REPRESENTATION OF A FIELD SURVEY MADE UNDER MY DIRECTION AND CHARGE AND SAID SURVEY IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THAT SAID SURVEY COMPLIES WITH THE APPLICABLE STANDARDS OF PRACTICE FOR SURVEYS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

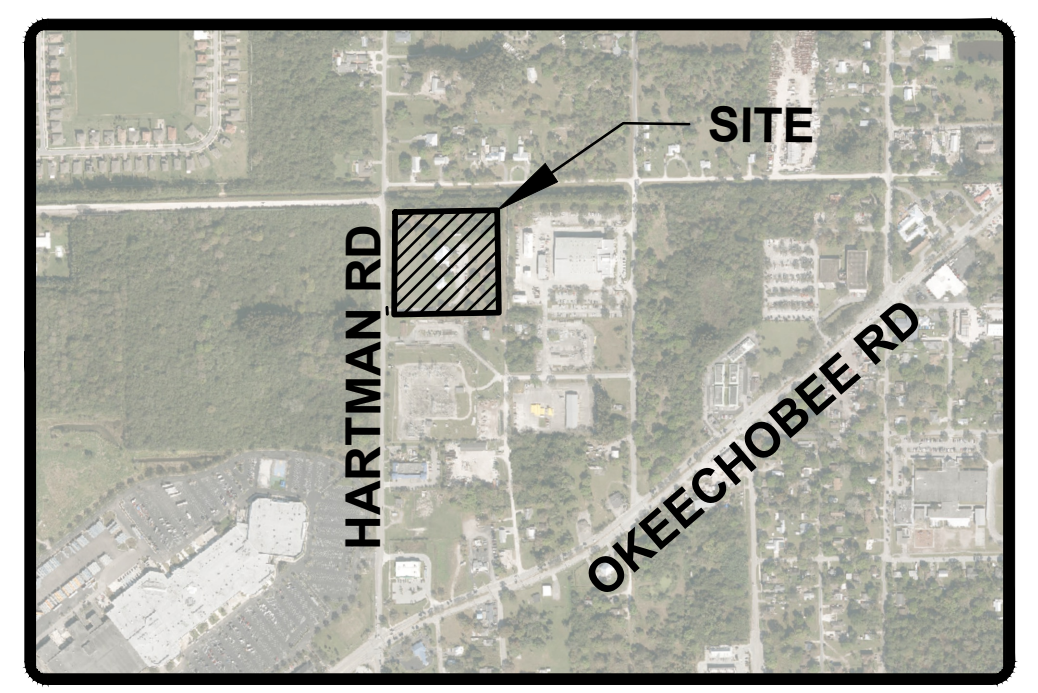
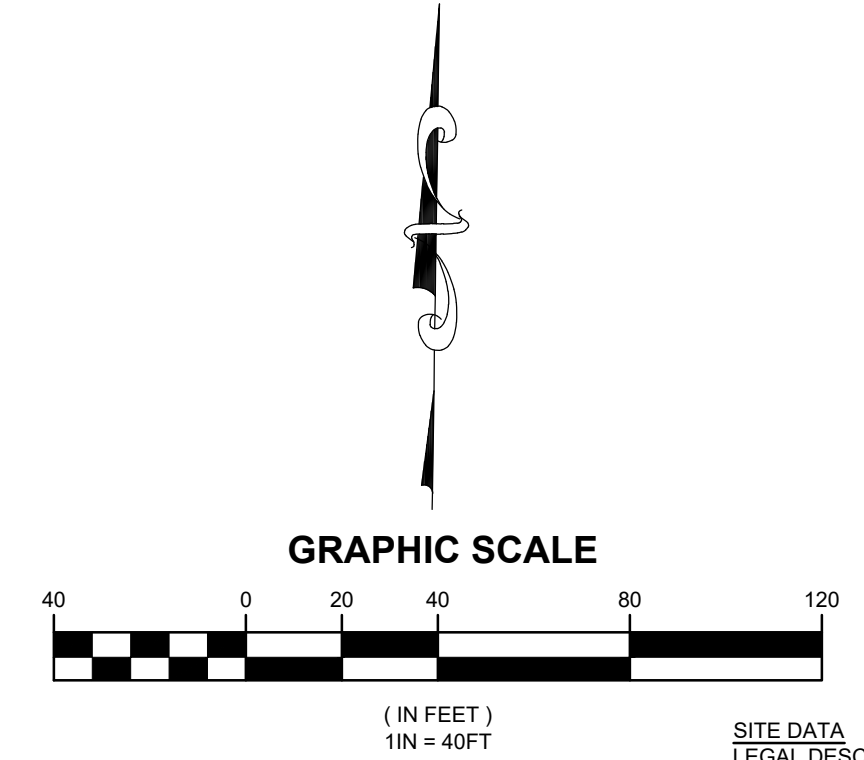
CIVILSURVY DESIGN GROUP, INC.

 Date: 2026.02.03
 3-11-01:30
 -05'00"
 BY: BRIAN C. KIERNAN
 PROFESSIONAL SURVEYOR & MAPPER
 FLORIDA REGISTRATION NO. 6101

REVISIONS
 CIVILSURVY
 CIVILSURVY DESIGN GROUP, INC.
 444.4TH LANE S.W., VERO BEACH, FL 32962 TEL: 772-323-2944
 FIELD BOOK(S): 881
 DRAWN BY: BK
 CHECKED BY: SW
 DATE: 02/03/26
 SCALE: 1"=40'
 PROJECT NO: 658
 DRAWING NAME: 1780 HARTMAN ROAD AS-BUILDING
 LB NUMBER: 7865
 AS-BUILT SURVEY - POLE BARN
 JBR EXTERIORS INC.
 1780 HARTMAN ROAD
 ST. LUCIE COUNTY, FLORIDA
 SHEET NO.
 1
 OF
 1

FILE LOCATION: Z:\DC\2020\20-250-GRACEWAY VILLAGE\ENR\DWG\2020\20-250-CSP-3-16-26.DWG, 2020.03.26, 9:10 AM
 THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADOPTION BY HALEYWARD, INC. SHALL BE WITHOUT LIABILITY TO HALEYWARD, INC.



ZONING: RS-3
 FUTURE LAND USE: RU
 CURRENT LAND USE: SF-RES



SITE DATA
LEGAL DESCRIPTION
 THE NORTH 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 17, TOWNSHIP 35 SOUTH, RANGE 40 EAST, LESS THE WEST 45 FEET FOR ROAD RIGHT-OF-WAY, ST. LUCIE COUNTY, FLORIDA.

LESS AND EXCEPT THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 17, TOWNSHIP 35 SOUTH, RANGE 40 EAST, LESS THE NORTH 78 FEET AND THE WEST 25 FEET AND THE EAST 25 FEET, AND LESS AND EXCEPT THAT PORTION CONVEYED TO ST. LUCIE COUNTY IN OFFICIAL RECORDS BOOK 997, PAGE 2204, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

CONTAINING 7.12 ACRES, MORE OR LESS.

PARCEL ID #: 2417-322-0001-000-2
PROJECT NAME: GRACEWAY VILLAGE
OWNERSHIP: GRACEWAY VILLAGE
 1780 HARTMAN ROAD
 FORT PIERCE, FL 34947

FUTURE LAND USE: CG
ZONING: C3
LAND SIZE: 310,085 S.F. (7.12 AC)

PARKING DATA
PARKING REQUIRED 2,529 S.F. @ (1 SPACE/200 S.F.) 13 SPACES
EXISTING BUILDINGS 2,529 S.F. @ (1 SPACE/200 S.F.) 13 SPACES
PHASE 1
 ADULT CONGREGATE LIVING FACILITY 10 UNITS @ (3/4 SPACE/UNIT) 8 SPACES
PHASE 2
 ADULT CONGREGATE LIVING FACILITY 18 UNITS @ (3/4 SPACES/UNIT) 14 SPACES
PHASE 3
 ADULT CONGREGATE LIVING FACILITY 8 UNITS @ (3/4 SPACES/UNIT) 6 SPACES
TOTAL REQUIRED PARKING SPACES 41 SPACES
STANDARD PARKING PROVIDED 43 SPACES

ACCESSIBILITY AND ADA COMPLIANCE:
 ALL SIDEWALKS AND RAMPS WILL MEET FDOT AND ADA REQUIREMENTS.

TRAFFIC STATEMENT:
 THE USE OF THE PROPOSED COTTAGES CLOSELY RESEMBLES A RESIDENTIAL LAND (ASSISTED LIVING) LAND USE WITH AN ITE LAND USE CODE OF 254. BASED ON THE INDEPENDENT VARIABLE OF 1,000 SQUARE FEET OF GROSS FLOOR AREA, THE DAILY WEEKDAY TRIPS IN AND OUT OF THE SITE IS 90 TRIPS PER DAY. THE AM PEAK HOUR TRIPS IS 10 AND THE PM PEAK HOUR TRIPS IS 11. ITE TRIP GENERATION MANUAL, 12 EDITION WAS USED TO DETERMINE THE WEEKDAY, AM PEAK AND PM PEAK HOUR TRIPS FOR THE PROPOSED INCREASE IN ASSISTED LIVING FACILITY GROSS AREA. THESE CALCULATED TRIPS ARE ONLY AN INCREASE OVER THE EXISTING USE FOR THE SITE.

ZONING CODE FOR: C3 (COMMERCIAL-3)							
	YARD SETBACKS			BUILDING COVERAGE	BUILDING HEIGHT	OPEN SPACE (LANDSCAPING)	
PER CODE	25'	15'	15'	N/A	60% MAX.	65' MAX.	
PROPOSED	15'	174'	25'	N/A	4%	30'	64%

SITE AREA DATA **310,085 S.F.** **7.12 AC** **100.00%**

IMPERVIOUS DATA	89,228 S.F.	2.05 AC	28.78%
EXISTING BUILDINGS	12,363 S.F.	0.28 AC	3.99%
EXISTING ASPHALT	22,885 S.F.	0.53 AC	7.38%
EXISTING CONCRETE	3,113 S.F.	0.07 AC	1.00%
PROPOSED BUILDINGS	34,320 S.F.	0.79 AC	11.07%
PROPOSED PAVEMENT	9,510 S.F.	0.22 AC	3.07%
PROPOSED CONCRETE	7,037 S.F.	0.16 AC	2.27%
PERVIOUS DATA	220,857 S.F.	5.07 AC	71.22%
OPEN SPACE	196,931 S.F.	4.52 AC	63.51%
PROPOSED RETENTION	23,926 S.F.	0.55 AC	7.72%

REV. DATE. DESCRIPTION. BY. CHK.

DRAWING ISSUE STATUS

NOT FOR CONSTRUCTION

HALEY WARD
 ENGINEERING | ENVIRONMENTAL | SURVEYING
 LAND PLANNING | INTERIOR DESIGN
 10250 Village Parkway, Suite 201
 Port Saint Lucie, Florida 34987
 772.462.2455
 WWW.HALEYWARD.COM

PROJECT: GRACEWAY VILLAGE
 1780 HARTMAN ROAD

TITLE: SITE PLAN

DATE: 3/20/2026 SCALE: AS SHOWN

DRAWN BY: JJL DESIGNED BY: JJL CHECKED BY: MDL

PROJECT No.: 20-250 CSP 3-16-26.DWG CERTIFICATE OF AUTHORIZATION No.: 32664

DRAWING No.: **SP-101**



LEGEND

	EXISTING METER		EXISTING UTILITY POLE
	PROPOSED SIGN		PROPOSED DRAINAGE INLET
	PROPOSED MITERED END SECTION		EXIST. DRAINAGE INLET
	EXISTING CONCRETE		EXISTING STREET LIGHT
	EXISTING PAVEMENT		PROPOSED LIGHT POLE (SINGLE)
	PROPOSED CONCRETE		DRAINAGE FLOW ARROW
	PROPOSED PAVEMENT		PROPOSED LIGHT POLE (DOUBLE)
	EXISTING DRAINAGE		PARKING STALL COUNT
	PROPOSED DRAINAGE PIPE		EXISTING DRAINAGE
	PROPOSED DRAINAGE PIPE		PROPOSED DRAINAGE PIPE

Conceptual Drainage Plan

Please see site plan included as part of this submittal which shows the proposed drainage on-site.



January 13, 2026

GraceWay Village
Attn: Chrystal Netherton
1780 Hartman Rd.
Fort Pierce, FL 34947
email: info@gracewayvillage.com

Re: Tree Inventory

Prepared by: Anthony A. Adams
International Society of Arboriculture Certified Arborist FL-9472A

Certification of Performance

I, Anthony A. Adams, certify to the best of my knowledge, and abilities:

That I have personally inspected the tree(s) and or the property referred to in this report.

That it is my professional opinion, that the following report is true, and the conclusions and results stated are correct based on the information received about the property evaluated and the evaluation methods followed.

That the reported analyses, opinions, and conclusions are only limited by the reported assumptions, methods and limiting conditions and my personal, unbiased professional analyses, opinions and conclusions.

That Haley Ward, Inc. acts as an independent tree, and environmental consultant.

That this Report, or parts of this Report, have not been revealed to any party other than the Client named and will not be revealed to any other party unless authorized to do so by Client named or by due process of law or by legally required public testimony by this firm of these results.

This report is written in good faith, and all rights are reserved by Haley Ward, Inc. It is for use by the client named only.

Signature: 

Date: 01/13/2026



I. Introduction

This Report is written for GraceWay Village. It is based on information obtained from the site visit(s), to provide and assign values to the trees located on the subject property.

II. Property Involved

The subject property evaluated as part of this Tree Inventory consists of one tax parcel (Parcel ID # 2428-233-0001-000-3) comprised of 7.9 acres. The subject property has a current zoning designation of C-3. The property is classified by the St. Lucie County Property Appraiser with a Future Land Use Designation of Commercial General (CG). The parcel is located at 1780 Hartman Road, Fort Pierce, Florida. The subject property is further located within Section 17, Township 35 South, and Range 40 East, St. Lucie County, Florida.

III. Data Collection

The property/trees were evaluated by site visits to determine environmental conditions. This appraisal is based on value of subject as per ISA "Rule 14-40.030, Florida Administrative Code". See Appendix A for full tree data.

IV. Limiting Conditions

This "Arboriculture Report" includes only the listed trees, landscape conditions in the immediate area where the tree is located, and conditions caused by or attributable to the trees on this property.

Limits of the Assignment

1. This report is not intended as and does not represent legal advice and should not be relied upon to take the place of such advice.
2. This report is limited to documenting the condition of the tree on the dates given. Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible; however, the consultant can neither guarantee nor be responsible for the accuracy of information provided by others.
3. Loss or alteration of any part of this report invalidates the entire report.
4. Sketches and photographs used in this report are intended as visual aids only and are not necessarily to scale.



V. Discussion

There is a total of sixty-eight (68) native trees on the subject property that meet City of Fort Pierce requirements for mitigation or preservation.

The breakdown by species is as follows:

Common Name	Scientific Name	Count
Laurel Oak	<i>Quercus laurifolia</i>	30
Live Oak	<i>Querus virginiana</i>	8
Slash Pine	<i>Pinus elliottii</i>	4
Cabbage Palm	<i>Sabal palmetoo</i>	26

VI. Conclusions and Recommendations

Values are calculated for 14" D.B.H. native trees and greater as per City of Fort Pierce code.

Formula(s) used:

Trees

(Total D.B.H. Inches) x (\$250) = Mitigation Costs for Trees

Palms

(Total # of Palms) x (\$200) = Mitigation Costs for Palms

Trees = (1128.1in.) x \$250 = \$282,025.00

Palms = (26) x \$250 = \$6,500.00

Maximum Mitigation Cost = \$288,525.00 fee

The maximum mitigation cost represents the cost if every tree on the subject property was to be cleared.

A site planner or landscape architect can further use the results of this Tree Survey to plan and save specific trees to reduce costs, if desired.

The City of Fort Pierce counts native trees planted on-site at a ratio of 1:1 credit towards mitigation. However, trees must be at least 12' tall, and 2.5" DBH.

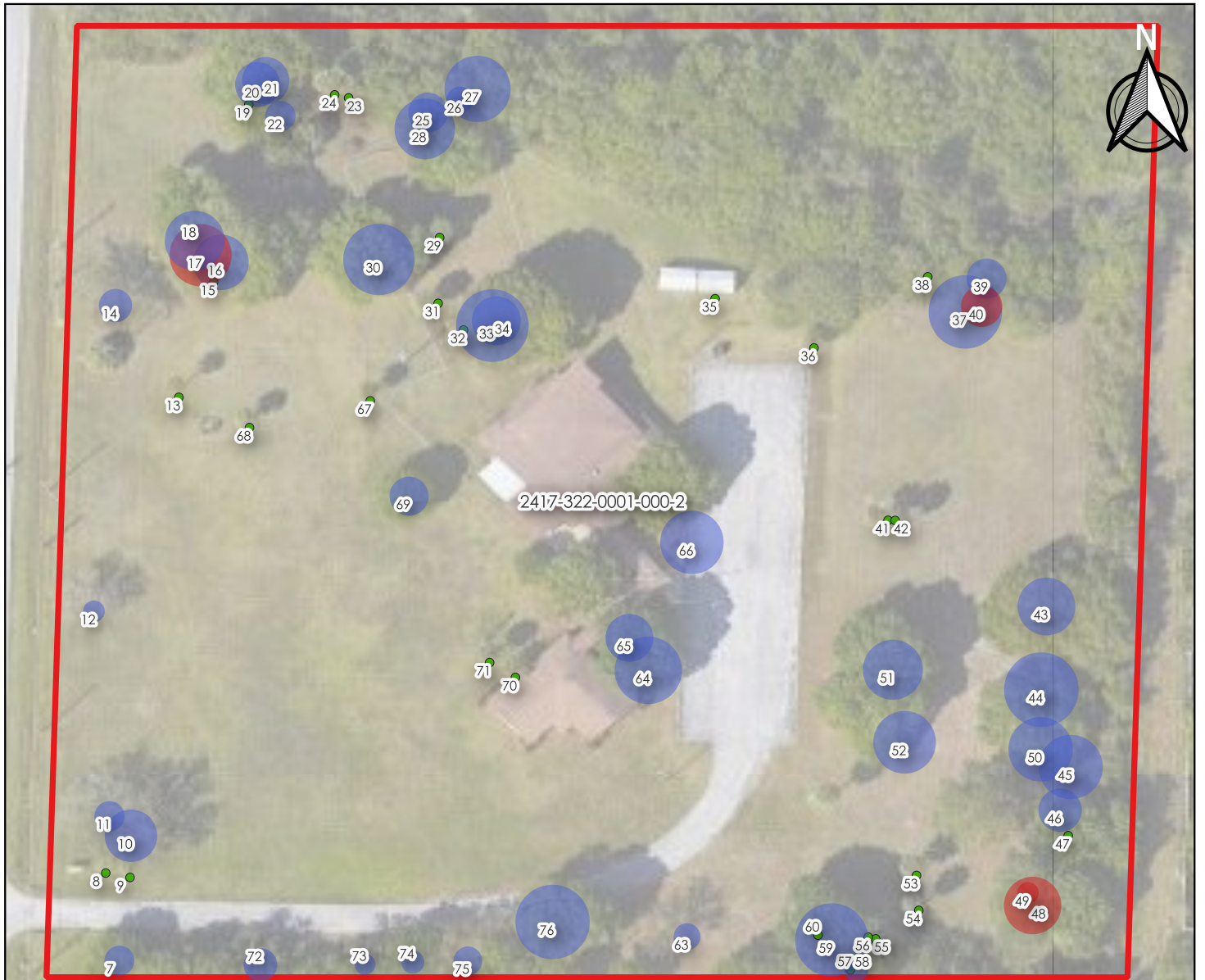
Palm trees must be replaced at 1:1 ratio.

Please see attached Tree Table and Tree Location Map.

This Report, or parts of this Report, have not been revealed to any party other than the Client named and will not be revealed to any other party unless authorized to do so by Client named or by due process of law or by legally required public testimony by this firm of these results.

This report is written in good faith and all rights are reserved by Haley Ward. It is for use by the client named only.

GraceWay Village - Tree Location Map



ID	TYPE	DBH	ID	TYPE	DBH	ID	TYPE	DBH	ID	TYPE	DBH
7	LAOAK	20.2	25	LAOAK	23.7	43	LAOAK	30.2	63	LIOAK	19.1
8	PALM	NULL	26	LAOAK	19.1	44	LAOAK	36.2	64	LIOAK	33.6
9	PALM	NULL	27	LAOAK	33.2	45	LAOAK	32.5	65	LAOAK	26.6
10	LIOAK	28.3	28	LAOAK	31.2	46	LAOAK	25	66	LAOAK	32.2
11	LIOAK	20.3	29	PALM	NULL	47	PALM	NULL	67	PALM	NULL
12	LIOAK	17.3	30	LAOAK	35	48	PINE	30.1	68	PALM	NULL
13	PALM	NULL	31	PALM	NULL	49	PINE	17.2	69	LAOAK	23.5
14	LIOAK	21.4	32	PALM	NULL	50	LAOAK	32.5	70	PALM	NULL
15	PALM	NULL	33	LAOAK	35.5	51	LAOAK	31	71	PALM	NULL
16	LAOAK	29.4	34	LAOAK	27	52	LAOAK	31.9	72	LAOAK	21.5
17	PINE	31.8	35	PALM	NULL	53	PALM	NULL	73	LAOAK	17
18	LAOAK	30.9	36	PALM	NULL	54	PALM	NULL	74	LAOAK	17.8
19	PALM	NULL	37	LAOAK	35.8	55	PALM	NULL	75	LAOAK	19.8
20	LIOAK	25.6	38	PALM	NULL	56	PALM	NULL	76	LAOAK	36.1
21	LIOAK	26.4	39	LAOAK	23.8	57	PALM	NULL			
22	LAOAK	20.4	40	PINE	24.3	58	LAOAK	18			
23	PALM	NULL	41	PALM	NULL	59	LAOAK	35.7			
24	PALM	NULL	42	PALM	NULL	60	PALM	NULL			

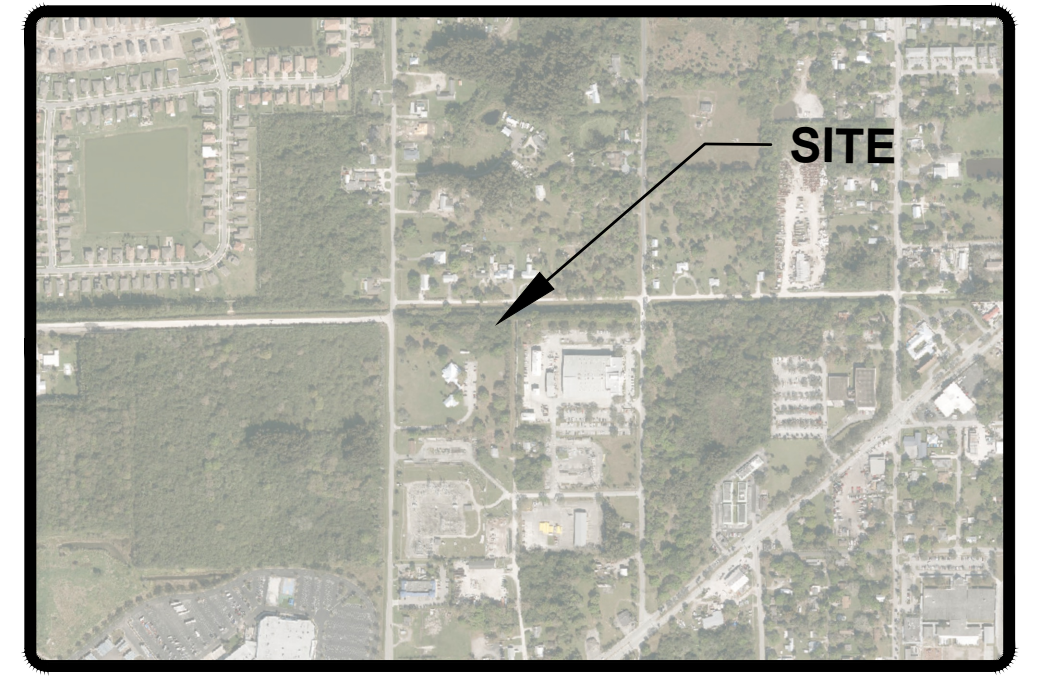
LEGEND

TREES [68]

- LAOAK [30]
- LIOAK [8]
- PALM [26]
- PINE [4]
- SITE BNDY



FILE LOCATION: Z:\DC\2025\250 - GRACEWAY VILLAGE\ENGINEERING\AUTOCAD\DWG\250250.CSP 3-16-26.DWG, 2025.03.16, 1:29:31 AM
 THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADOPTION BY HALEYWARD, INC. SHALL BE WITHOUT LIABILITY TO HALEYWARD, INC.



VICINITY MAP
SCALE: 1:1,000

PALMS PRESERVED	
TREE #	TYPE
T-8	PALM
T-9	PALM
T-15	PALM
T-19	PALM
T-23	PALM
T-24	PALM
T-31	PALM
T-32	PALM
T-38	PALM
T-41	PALM
T-42	PALM
T-55	PALM
T-56	PALM
T-57	PALM
T-60	PALM
T-67	PALM
T-68	PALM
T-70	PALM
T-71	PALM

PALMS REMOVED	
TREE #	TYPE
T-13	PALM
T-29	PALM
T-35	PALM
T-36	PALM
T-47	PALM
T-53	PALM
T-54	PALM

TREES PRESERVED	
TREE #	TYPE / DBH
T-7	LAOAK 20.2"
T-10	LIOAK 28.3"
T-11	LIOAK 20.3"
T-12	LIOAK 17.3"
T-14	LIOAK 21.4"
T-20	LIOAK 25.6"
T-21	LIOAK 26.4"
T-26	LAOAK 19.1"
T-27	LAOAK 33.2"
T-30	LAOAK 35"
T-33	LAOAK 35.5"
T-34	LAOAK 27.0"
T-37	LAOAK 35.8"
T-39	LAOAK 23.8"
T-40	PINE 24.3"
T-43	LAOAK 30.2"
T-44	LAOAK 36.2"
T-45	LAOAK 32.5"
T-46	LAOAK 25.0"
T-50	LAOAK 32.5"

TREES PRESERVED	
TREE #	TYPE / DBH
T-51	LAOAK 31.0"
T-52	LAOAK 31.9"
T-58	LAOAK 18.0"
T-59	LAOAK 35.7"
T-63	LIOAK 19.1"
T-64	LIOAK 33.6"
T-65	LAOAK 26.6"
T-66	LAOAK 32.2"
T-69	LAOAK 23.5"
T-72	LAOAK 21.5"
T-73	LAOAK 17.0"
T-74	LAOAK 17.8"
T-75	LAOAK 19.8"

TREES REMOVED	
TREE #	TYPE / DBH
T-16	LAOAK 29.4"
T-17	PINE 31.8"
T-18	LAOAK 30.9"
T-22	LAOAK 20.4"
T-25	LAOAK 23.7"
T-28	LAOAK 31.2"
T-48	PINE 30.1"
T-49	PINE 17.2"
T-76	LAOAK 36.1"

SITE TREE SUMMARY				
TYPE OF TREE	TOTAL # TREES	TOTAL SIZE DBH(INCHES)	PRESERVATION CREDIT	REQUIRED MITIGATION
OAK TREES PRESERVED	32	853	853	0
OAK TREES REMOVED	6	171.7	0	171.3
PINE TREES PRESERVED	1	24.3	24.3	0
PINE TREES REMOVED	3	79.1	0	79.1
PALM TREES TO BE PRESERVED	19	N/A	19	0
PALM TREES TO BE REMOVED	7	N/A	0	7
TOTAL # OF TREES: 68				
TOTAL # OF TREES MITIGATED: 16				

TOTAL PROJECT TREE MITIGATION

TOTAL TREE MITIGATION	
MITIGATION RATIO = 1:1 (DBH)	
+ 877.3 (TREES TO BE PRESERVED)	
- 250.8 (TREES TO BE REMOVED)	
+ 626.5 MITIGATION CREDITS	

TOTAL PALM TREE MITIGATION	
MITIGATION RATIO = 1:1	
+ 1 (PALM TREES TO BE PRESERVED)	
- 3 (PALM TREES TO BE REMOVED)	
- 2 MITIGATION CREDITS	

TREE NOTES:

- PALM TREES HAVE A CLEAR TRUNK HEIGHT OF 10' OR GREATER.
- OAK & PINE TREES ARE MEASURED @ (DBH) 4" ABOVE GRADE.
- PER COUNTY REQUIREMENTS ALL EXISTING PALM TREES THAT ARE IN GOOD CONDITION THAT DO NOT REMAIN IN PLACE MUST BE RELOCATED/REPLANTED ON THE SITE.
- METHOD OF MITIGATION PER SLC: FEE IN LIEU OF.

LEGEND	
	EX. OAK TREE TO REMAIN # - TREE TAG
	EX. PALM TREE TO REMAIN # - TREE TAG
	EX. PINE TREE # - TREE TAG
	EX. OAK TREE TO BE REMOVED. # TREE TAG.
	EX. PALM TREE TO BE REMOVED. # - TREE TAG.
	EX. PINE TREE TO BE REMOVED. # - TREE TAG.
	EX. OAK TREE NOT INCLUDED (OFFSITE)
	EX. PALM TREE NOT INCLUDED (OFFSITE)
	EX. PINE TREE NOT INCLUDED (OFFSITE)
	EX. OAK TREE NOT INCLUDED (OFFSITE)
	EX. PALM TREE NOT INCLUDED (OFFSITE)

HALEY WARD
 ENGINEERING | ENVIRONMENTAL | SURVEYING
 LAND PLANNING | INTERIOR DESIGN
 10250 Village Parkway, Suite 201
 Port Saint Lucie, Florida 34987
 772.462.2455
WWW.HALEYWARD.COM

PROJECT: GRACEWAY VILLAGE
 FORT PIERCE, FLORIDA

TITLE: TREE MITIGATION PLAN

DATE: 3/16/2026	SCALE: AS SHOWN
DRAWN BY: ---	DESIGNED BY: ---
CHECKED BY: ---	
PROJECT No.: 20-250 CSP 3-16-26.DWG	CERTIFICATE OF AUTHORIZATION No.: 32664
DRAWING No.:	REV:

TREE-101

Graceway Village

1780 Hartman Road
City of Fort Pierce, Florida

City Project Number:

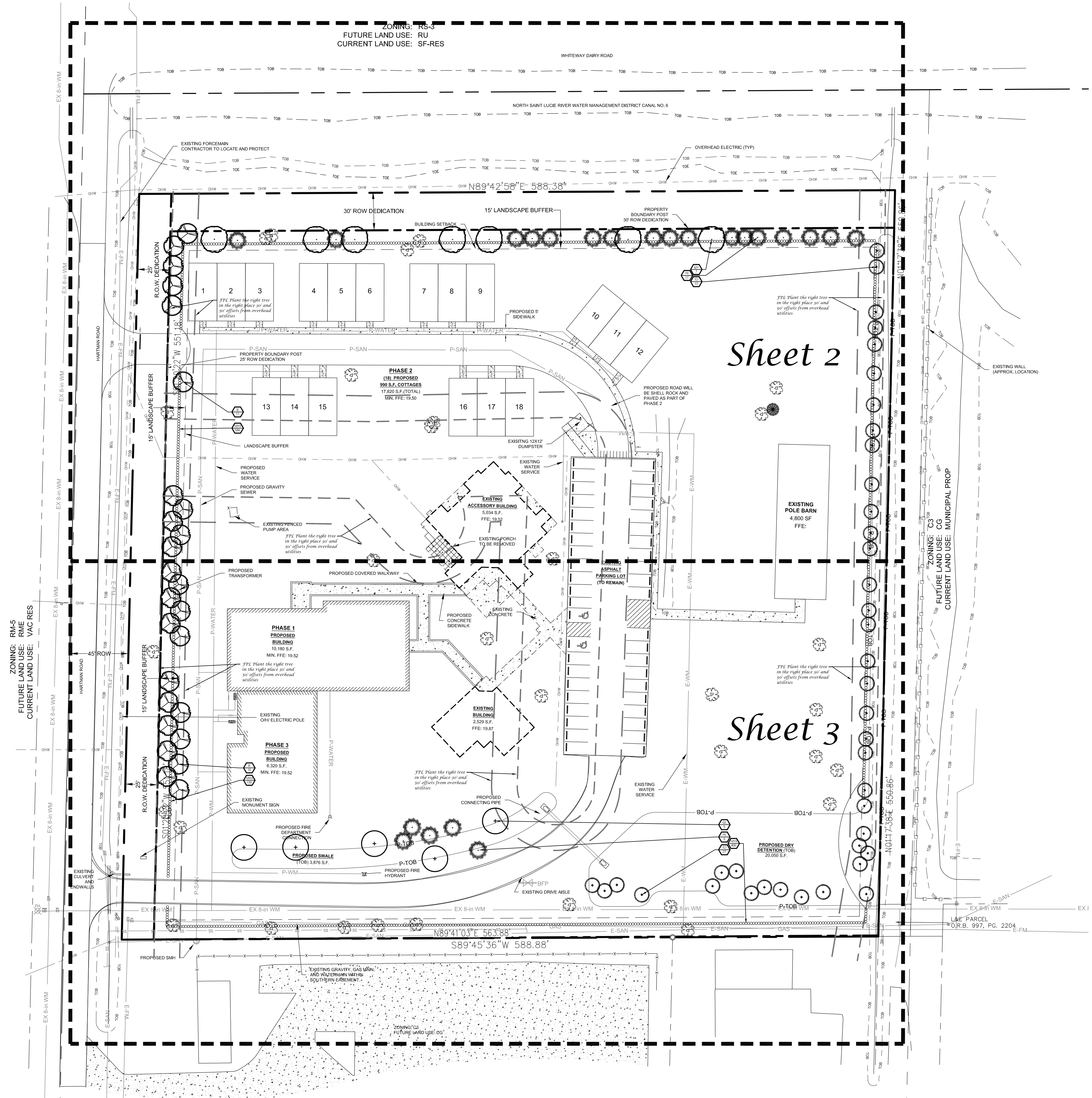
Jeffrey W. Smith, RLA
Florida Registration Number:
LA0001635

Job No. 26-0302
Drawn By JWS
Submittal Dates 3-19-2026

Revision Dates

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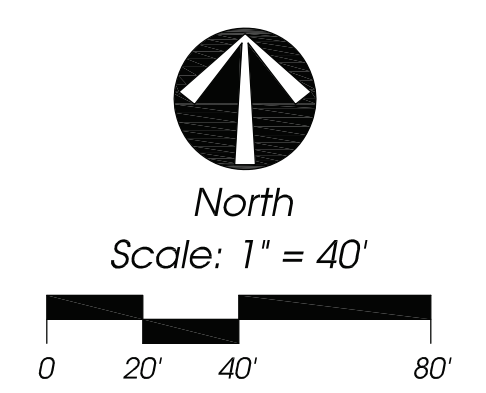
L-1 4
Sheet of



ELECTRONIC SIGNATURE AND SEAL
Jeffrey W. Smith, RLA
Prepared, Reviewed & Supervised By:
Conceptual Design Group, Inc.
900 East Ocean Boulevard, Suite 130d
Stuart, Florida 34994
(772) 344-2340

Jeffrey W Smith, RLA
2026.03.20 01:15:09 -04'00'

Landscape Plan



ZONING: RS-3
 FUTURE LAND USE: RU
 CURRENT LAND USE: SF-RES

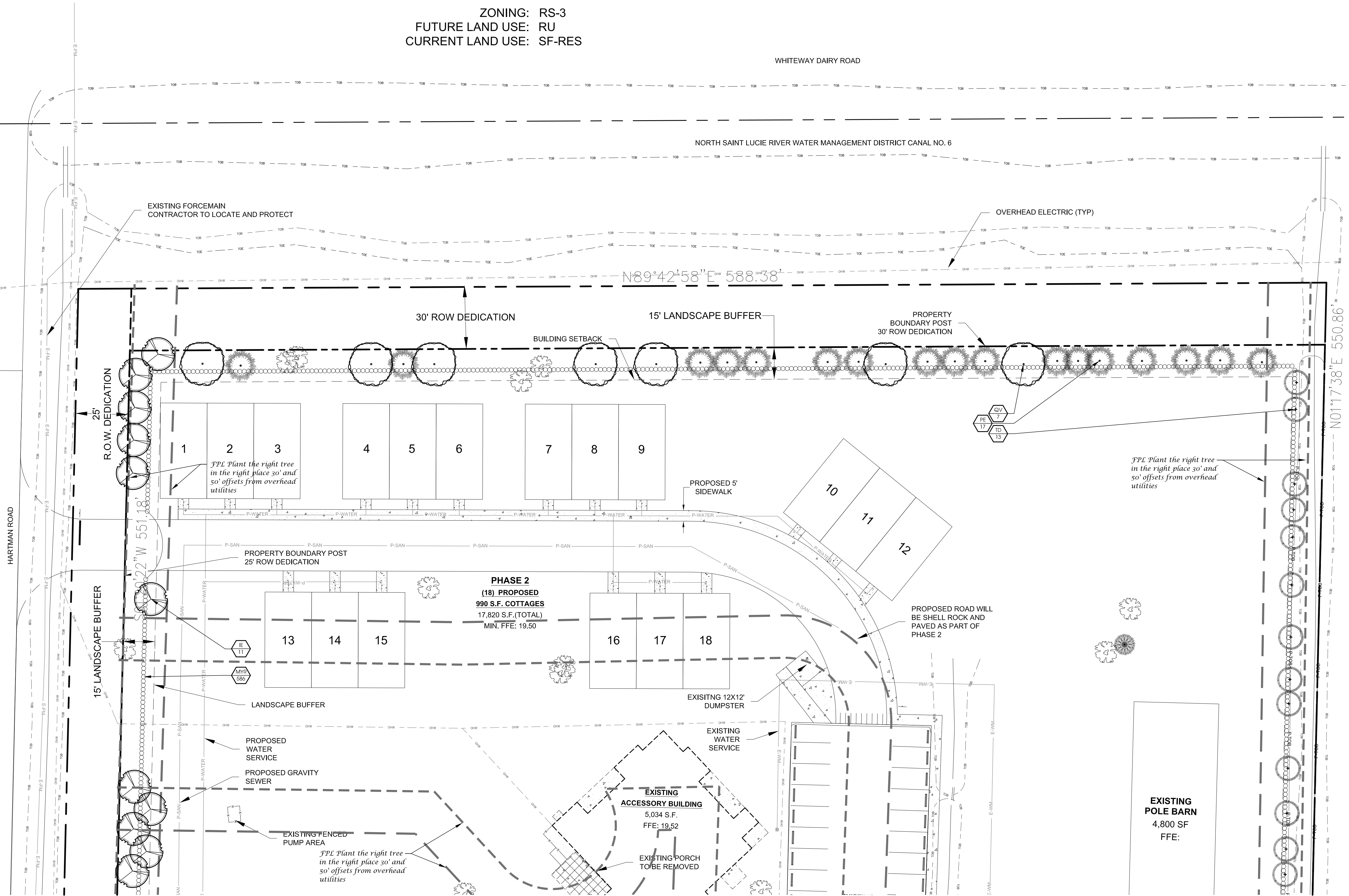
WHITEWAY DAIRY ROAD

NORTH SAINT LUCIE RIVER WATER MANAGEMENT DISTRICT CANAL NO. 6

**Conceptual
 Design
 Group, Inc.**

Landscape Architecture - Site Planning

900 East Ocean Boulevard, Suite 130d
 Stuart, Florida 34994
 (772) 344-2340
 LA: 0001635



Graceway Village

1780 Hartman Road
 City of Fort Pierce, Florida

City Project Number:

Jeffrey W. Smith, RLA
 Florida Registration Number:
 LA 0001635

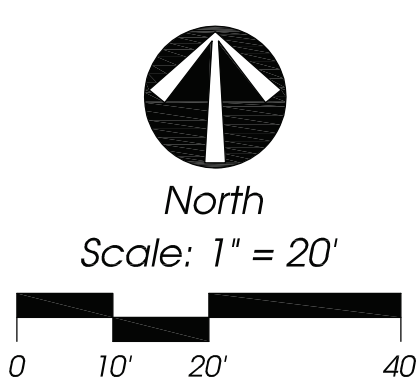
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L-2 4
 Sheet of

Landscape Plan



Graceway Village

1780 Hartman Road
 City of Fort Pierce, Florida

City Project Number:

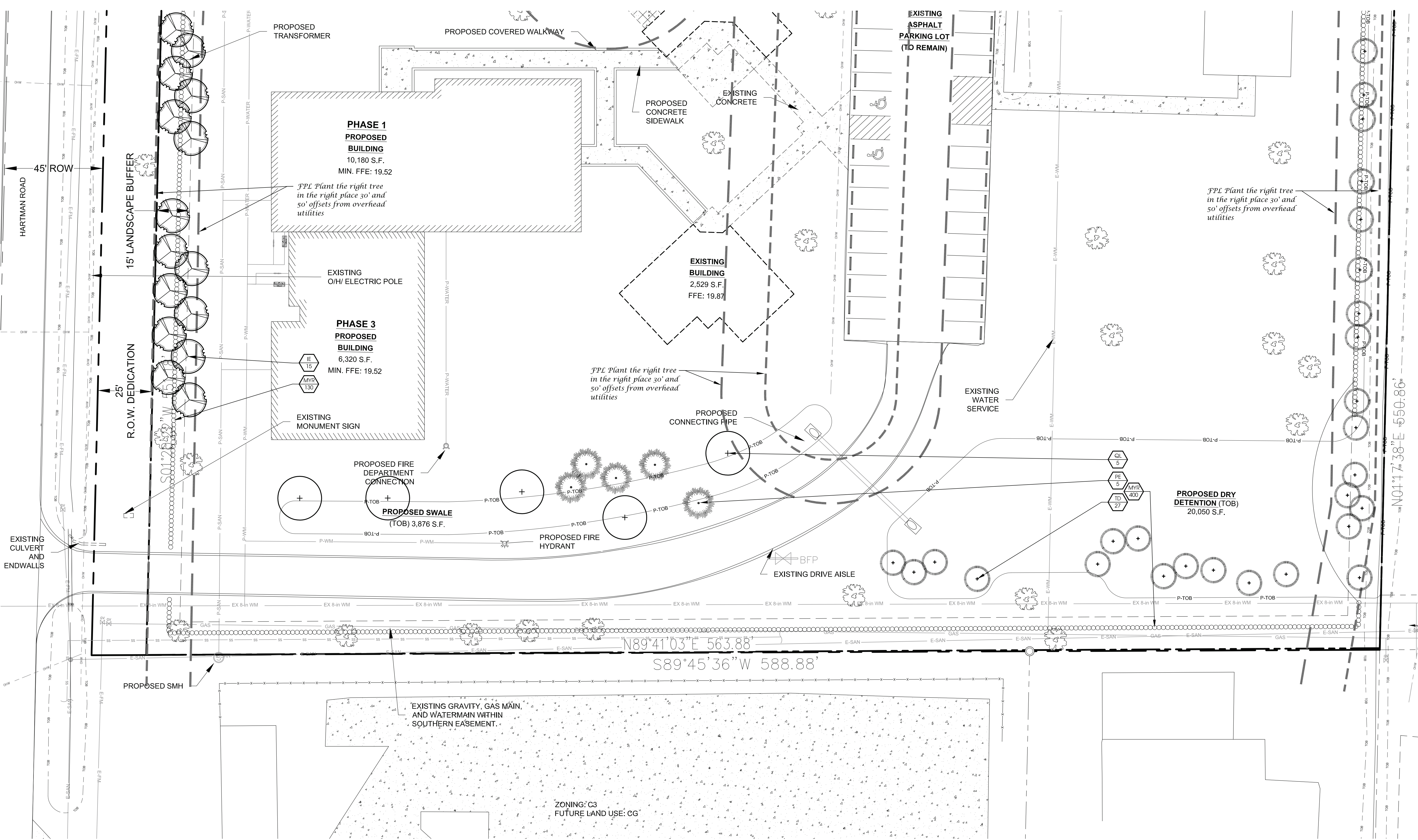
Jeffrey W. Smith, RLA
 Florida Registration Number:
 LA 0001635

Job No. 26-0302
 Drawn By JWS
 Submittal Dates 3-19-2026

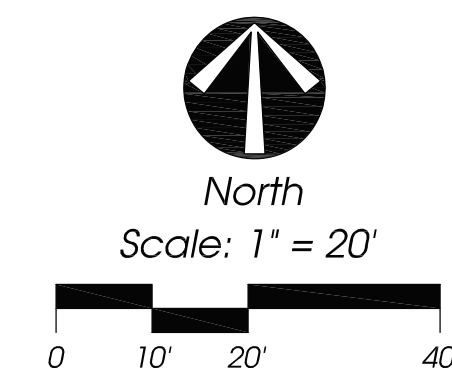
Revision Dates

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L-3 of 4
 Sheet of



Landscape Plan





Developer School Planning and Capacity

Instructions: Please submit completed worksheet with development plan to the governmental entity where development plan approval is sought. For projects that are expected to generate more than 200 students a pre-application conference with the School District is recommended. This may be held in conjunction with the local government preapplication meeting.

Please check [✓] type of application

- Rezoning with Residential Component** (Complete Section A only)
- Future Land Use Amendments** (Complete Section A only)
- Final Development Order//General Review and Adequate Capacity Determination** (Complete Section B only)

PROJECT INFORMATION	
Project Name	GraceWay Village
Project Type: (Comp Plan / Rezoning / PUD / Site Plan/ etc.)	Site Plan & Conditional Use
Municipality	City of Fort Pierce
Parcel Identification Number (s) (PIN) (Attach separate sheet if necessary)	2417-322-0001-000-2
Location / Address of Subject Property	1780 Hartman Road
Acreage of Project	7.84 acres
Anticipated Start Date and anticipated phasing	Ph. 1 Estimated Start Date: January 2027 - see SP for phasing
OWNERSHIP / AGENT INFORMATION	
Owner's Name	Bradley Currie (Auth. Agent)
Owner's Signature	
Agent's Name/Company (if applicable)	Haley Ward, Inc.
Mailing Address	10250 SW Village Parkway, Suite 201 Port St. Lucie, FL 34987
Phone	(772) 462-2455
Email	bcurrie@haleyward.com

SECTION A: Rezoning with Residential Component and Future Land Use Amendments

Please check [✓] to indicated that you have included the following:

- Please attach location sketch
- Please attach property survey or preliminary site plan that shows the existing and proposed zoning and land use designations.

	Existing	Proposed
Land Use Designation (attach separate table for multiple uses)		
Zoning (attach separate table for multiple zoning designations)		
Maximum Number of dwelling units allowed		
Estimated Number of binding age restricted dwelling units		
Describe any other items related to the use		



SECTION B: Final Development Order// General Review and Adequate Capacity Determination

For projects that are expected to generate more than 200 students, we recommend that the applicant have a pre-application conference with the School District. This may be held in conjunction with the local government preapplication meeting.

Please check [✓] to indicate that you have included the following:

- Please attach location sketch, property survey or preliminary site plan that shows the proposed uses.
- If applicable, please complete the *Application for Exemption: School Impact Fees for Age Restricted Housing for Housing Older Persons.* ²
- If the project is anticipated to be phased, please describe and graphic showing phasing schedule.³

Please describe project and general schedule The residential units will serve as a family shelter to provide temporary and safe housing for families and their children.			
<small>PHASE 1 ADULT CONGREGATE LIVING FACILITY 10 UNITS @ (3/4 SPACE/UNIT) 8 SPACES PHASE 2 ADULT CONGREGATE LIVING FACILITY 18 UNITS @ (3/4 SPACES/UNIT) 14 SPACES PHASE 3 ADULT CONGREGATE LIVING FACILITY 8 UNITS @ (3/4 SPACES/UNIT) 6 SPACES</small>			
Proposed Residential Uses	Unit Type	Dwelling Units	Student Generation¹
	Single Family:		
	Multi-Family:	36	8
	Age Restricted ² :		
If the access of the project is located on a collector or arterial roadway, please address a potential bus stop location to provide safe waiting for parents and students as well as loading and disembarkment of students from buses	School bus stop can be considered upon request from the School Board		

¹For student generation rate use 0.405 students per single family unit and 0.207 students per multi-family unit (includes townhouses).

²A Restrictive Covenant is required for age-restricted communities that are exempt from concurrency and impact fees.

³If applicable, please attach a Phasing Plan showing the number and type of units to receive certificate of occupancy by phase

SCHOOL DISTRICT REVIEW (TO BE COMPLETED BY SCHOOL DISTRICT)

Local Gov. Reviewer:	School CSA
	Municipality Project Number:

School District Recommendations

School District Representative Signature:	Date:
--	--------------

