

SITE CONSTRUCTION FOR
ALOUPION/NORZELUS
107 N 23 RD ST
FORT PIERCE, FLORIDA
16 DECEMBER 2025

CONTENTS:

OWNER:

ALOUPION/NORZELUS
1450 SW DIMPERIO AVE
PORT ST LUCIE, FL 34953-7036
PHONE

ENGINEERS:

JOSEPH SIMMONS
7619 GRAMERCY DR
ORLANDO, FL 32818
407-454-1890

PROJECT DESCRIPTION

PROJECT SUMMARY

A- THE 2 DUPLEXES PROJECT 4 BEDROOMS 3 BATH 1,426 SQFT LIVING SPACE (EACH UNIT) ARE PLANNED FOR LOW INCOME WORKING FAMILY. EACH UNIT WILL BE COMPRISED OF 4 BEDROOMS 3 BATH A KITCHEN SPACE AND A COMMON AREA (GREAT ROOM) FOR THE FAMILY. EXISTING STRUCTURES.

B- PARKING REQUIREMENTS GENERATED BY THIS PROJECT WILL BE ACCOMMODATED 2 PARKING SPACE FOR EACH UNIT.

C- OCCUPANCY FOR THIS PROJECT IS SCHRDULED FOR WINTER 2023

PROPOSAL, BUILDING AND CONTRACTING DELIVERY METHOD

A- THE OWNER HAS DECIDED TO USE HIS CONTRACTOR "DELIVERY METHODE" FOR THIS PROJECT WITH AN EARLY SITE PACKAGE TO COMPLY WITH THE SCHEDULE

SUBSTRUCTURE
FOUNDATION

A- FOUNDATION: 3,000 PSI CAST INPLACE CONCRETE.
B- FOOTINGS-SPREAD FOOTING BASE ON ENGINEER RECOMMENDATION.
C- SLAB ONGRAD- 4INCH THICK SLAB CONCRETE ON GRADE, ON COMPACTED FILL COMPLYING WITH REQUIREMENTS OF FLORIDA 2020 BUILDING CODE

Prepared by:
Charlotte Walters
St. Lucie Title Services, Inc.
800 Virginia Avenue, Suite 47
Ft. Pierce, Florida 34982

File Number: 20905

General Warranty Deed

Made this May 20, 2021 A.D. By

David Houston, hereinafter called the grantor,

to **Emilie Alouption and Claire A. Norzelus and Guesty K. Alouption**, whose post office address is: 1450 SW Dimperio Ave., Port St. Lucie, FL 34953 hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in St. Lucie County, Florida, viz:

LOTS 3, 4 AND 5, BLOCK 5 FORT PIERCE HEIGHTS, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 1, PAGE 39, OF THE PUBLIC RECORDS OF SAINT LUCIE COUNTY, FLORIDA.

Parcel ID Number: 2408-507-0020-000/0

Said property is not the homestead of the Grantor(s) under the laws and constitution of the State of Florida in that neither Grantor(s) or any members of the household of Grantor(s) reside thereon..

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2020.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Elizabeth Moran
Witness #1 Printed Name Elizabeth Moran

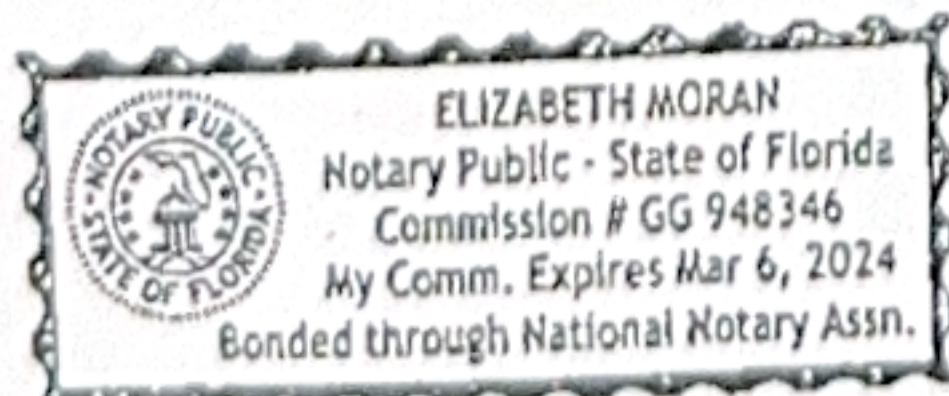
Morgan Wiegel
Witness #2 Printed Name Morgan Wiegel

State of Florida
County of St. Lucie

David Houston (Seal)
David Houston
Address:

(Seal)
Address:

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 28th day of May, 2021, by David Houston, who is/are personally known to me or who has produced Drivers license as identification.

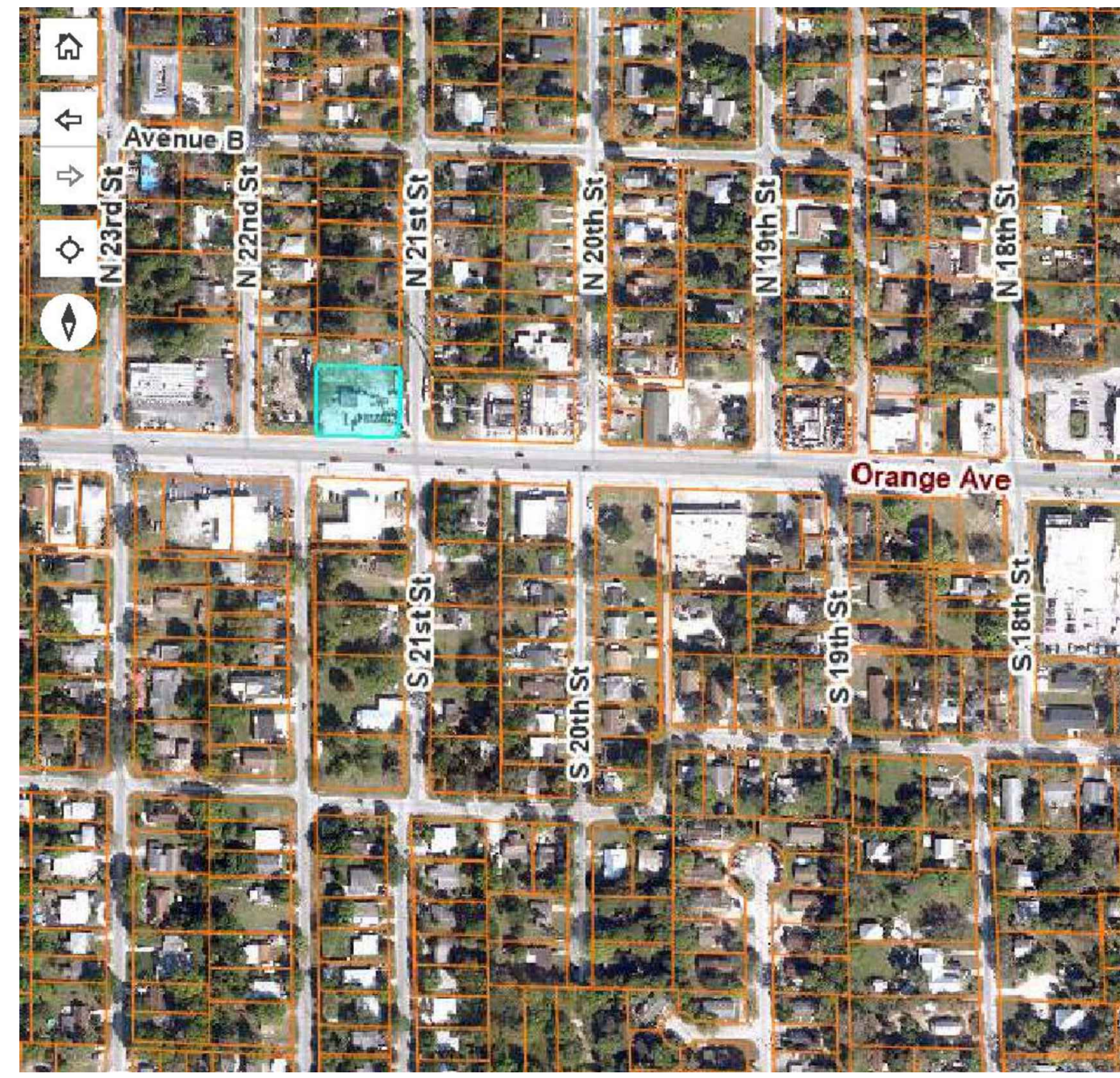


(Seal)

Elizabeth Moran
Notary Public
Print Name: Elizabeth Moran
My Commission Expires: 3/6/2024

PROPOSED NEW DUPLEXES

107 N 23rd ST
FORT PIERCE , FL 34950



GOOGLE MAP LOCATION
SCALE: NOT TO SCALE



RENDERING ELEVATION
SCALE: NOT TO SCALE

Legal Description
FT PIERCE HTS BLK 5 LOTS 3, 4 AND 5
Parcel ID: 2408-507-0020-000-0
Sec/Town/Range: 09/37S/40E Account#: 20415

Building Authority:
City of Fort Pierce
Building Department
300 Orange Ave
Fort Pierce, FL 34950
Phone: 772-465-3718

SHEET INDEX	
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A2	DEMOLITION PLAN
A3	FLOOR PLAN AND DETAIL
A4	ELEVATION PLAN
R1	RENDERING
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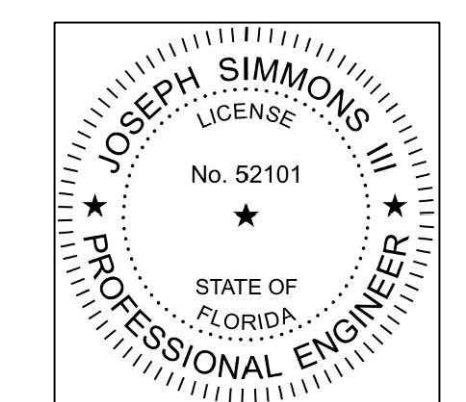
ENGINEERING NOTES: ENGINEERING MEETS OR EXCEEDS 2023 FLORIDA BUILDING CODE 8TH EDITION
MECH/PLUMB ENERGY ACCESSIBILITY, LIFE SAFETY, FIRE CODE AND NEC 2020
CONSTRUCTION 160MPH WIND SPEED 2, BUILDING WIND EXPOSURE CATEGORY C AND WIND IMPORTANCE
MEETS OR EXCEEDS RESISTANCE AND CURRENT COUNTY BUILDING CODES

ENGINEER OF RECORD
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FL P.E. LIC. NO. 52101
7619 GRAMERCY DR
ORLANDO, FL 32818
407-464-1890
JOESIMMONS@GMAIL.COM

107 N 23rd ST
FORT PIERCE , FL 34950

DREAM DESIGN

DATE	DRAWN BY	REVISIONS
	FR	
	CHK BY	
	JS	
	AS SHOWN	



SHEET NO
A1

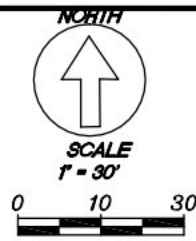
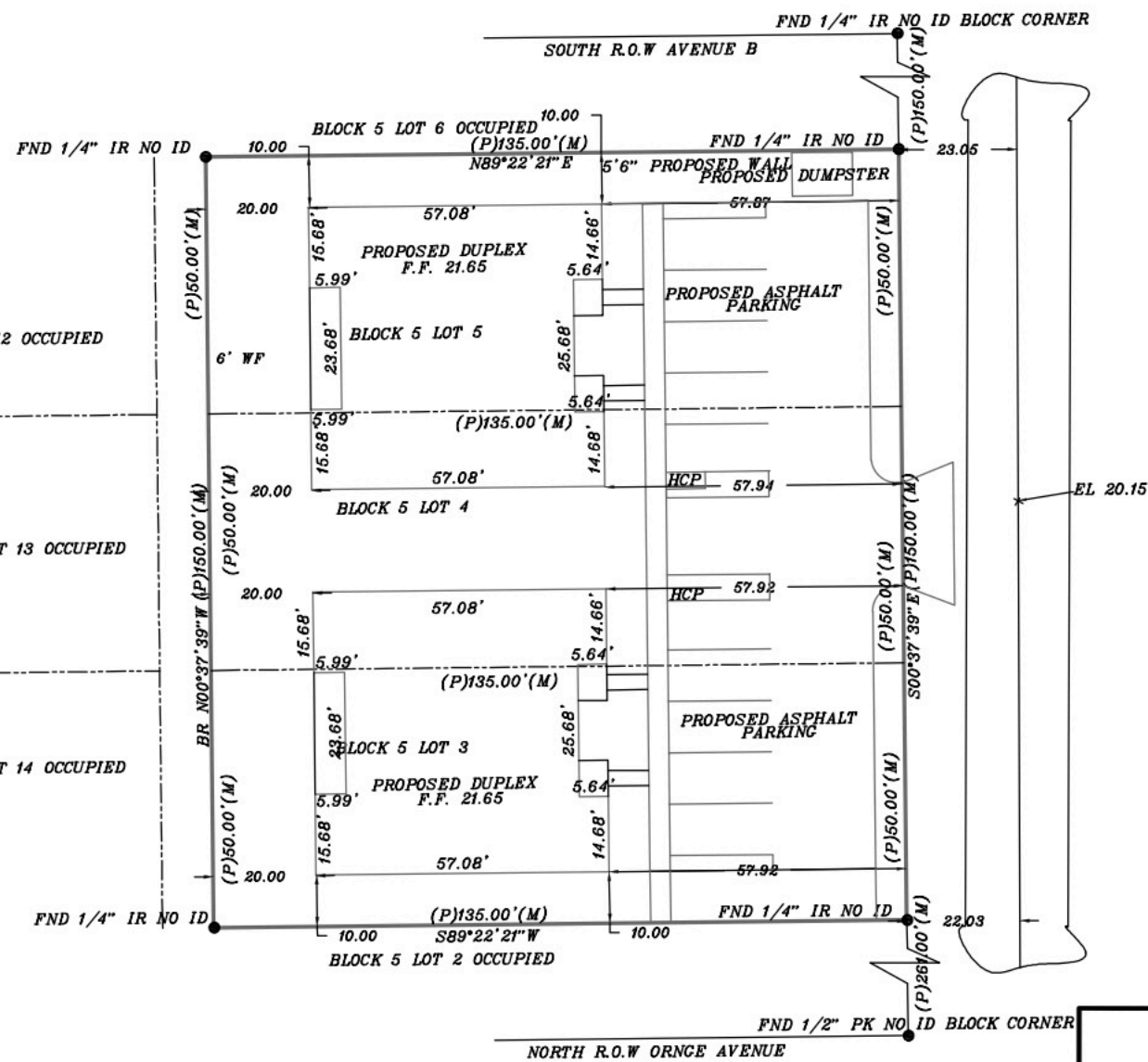
THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY JOSEPH SIMMONS, ON THE DATE/TIME STAMP SHOWN USING A DIGITAL SIGNATURE.
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES

- ROW - RIGHT-OF-WAY
- WPP - WOOD POWER POLE
- LB - LICENSED BUSINESS
- CL - CENTERLINE
- WM - WATER METER
- PG - PAGES
- MH - MANHOLE
- FIRC - FOUND IRON ROD & CAP
- F.F. - FINISH FLOOR
- P - PLAT
- NAVD - NORTH AMERICAN VERTICAL DATUM
- GM - GAS METER
- EM - ELECTRIC METER
- BBQ - BARBEQUE
- BR - BEARING REFERENCE
- WF - WOOD FENCE
- HCP - HANDICAP PARKING
- I.R. - IRON ROD
- PP - POWER POLE
- FIR - FOUND IRON ROD
- FND - FOUND
- D - DEED
- M - MEASURED
- PB - PLATBOOK
- ID - IDENTIFICATION
- IP - IRON PIPE
- EL - ELEVATION
- CLF - CHAINLINK FENCE
- DW - DRIVEWAY
- SW - SIDEWALK
- CONC. - CONCRETE
- IRC - 1/2" IRON ROD & CAP
- CLI - CENTERLINE INTERSECTION
- N&D - NAIL AND DISK
- CBS - CONCRETE BLOCK & STUCCO

FORT PIERCE HEIGHTS BLOCK 5 LOTS 3, 4 AND 5
 AS RECORDED PLATBOOK 1 PAGE 39 IN RECORDS OF SAINT LUCIE COUNTY CLERK OF COURTS, FLORIDA
 SECTION 09 TOWNSHIP 35 SOUTH RANGE 40 EAST
 0.46 ACRES MORE OR LESS

PROPERTY ADDRESS: 107 N 23RD STREET, FORT PIERCE, FLORIDA

1. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS-OF-WAY AND/OR EASEMENTS OF RECORD NO SEARCH OF PUBLIC RECORDS HAS BEEN DONE BY THIS OFFICE.
2. THIS SURVEY IS CERTIFIED ONLY TO THE NAMED INDIVIDUALS.
3. ELEVATIONS SHOWN ARE NAVD 88 DESIGNATION A 356 EL 20.43, SAINT LUCIE COUNTY
4. LEGAL DESCRIPTION SUPPLIED BY CLIENT.
5. NO STRUCTURES THAT ARE ABOVE OR BENEATH THE SURFACE HAVE BEEN LOCATED OTHER THAN WHAT IS SHOWN HEREON.
6. BEARINGS SHOWN HEREON ARE CONFORMED TO PLAT UNLESS OTHERWISE NOTED.
7. ENCROACHMENTS OF UNDERGROUND FOUNDATION IMPROVEMENTS OR UTILITIES, NOT VISIBLE WERE NOT LOCATED AS PART OF THIS SURVEY UNLESS SHOWN HEREON.
8. THIS MAP AND ALL SHEETS ATTACHED AND/OR REPRODUCTION THEREOF ARE NOT VALID WITHOUT THE DIGITAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
9. FLOOD ZONE X MAP PANEL 1211C0178J EFFECTIVE DATE 02/16/2012
10. ALL MEASUREMENTS ARE IN ACCORDANCE WITH UNITED STATES STANDARD FEET.
11. ADDITIONS AND OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
12. LAST DATE OF FIELD SURVEY: NOVEMBER 1, 2024
13. BEARING REFERENCE WEST LINE OF LOT 3, 4, & 5 BEARS N00°37'39"W
14. 6' WOODEN FENCE ENCROACHMENTS SHOWN



A.B. SURVEY SUPPLIES ENTERPRISES INC L.B. 6301
 342 S.W. CARTER AVENUE, PORT SAINT LUCIE, FLORIDA 34983
 PHONE NUMBER 772-267-0596
 EMAIL: SEAN.BACCHUS@MAIL.COM

SHEET NUMBER
1 OF 1

JOB NUMBER:
 DATE: 11-01-2024
 DRAWN BY: S.B.
 FIELD BOOK:
 APPROVED BY:
 SCALE: 1" = 30'

TITLE: BOUNDARY SURVEY
 SKETCH OF SURVEY
 PROPOSED SITE PLAN

CLIENT:
 Emilie Alouption

DATE	REVISIONS	DESCRIPTION



Joseph J Lavetsky
 Digitally signed by Joseph J Lavetsky
 Date: 2025.08.06 11:27:01 -04'00'

For The Firm
 JOSEPH J LAVETSKY P.S.M. LS 4275
 PAGES OR SHEETS COVERED BY THIS SEAL

Property Identification

Site Address: 107 N 23RD ST
 Sec/Town/Range: 09/35S/40E
 Parcel ID: **2408-507-0020-000-0**
 Jurisdiction: Fort Pierce
 Land Use Code: 0800 - M-F < 10U
 Account #: **20415**
 Map ID: [24/09N](#)
 Zoning: SF Moderat



Legal Description

FT PIERCE HTS BLK 5 LOTS 3, 4 AND 5

Total Areas

Finished/Under Air (SF): 880
 Gross Sketched Area (SF): 965
 Land Size (acres): 0.46
 Land Size (SF): 20,250

Map



Building Wind Speed

Occupancy Category	I	II	III & IV
Speed	140	150	160

[Sources/links:](#)

State of Florida, Maxar, Microsoft

Powered by Esri

Ownership

Emilie Alouption
 Claire A Norzelus
 Guesty K Alouption
 1450 SW Dimperio AVE
 Port St Lucie, FL 34953-7036

Current Values

Just/Market value: \$201,900
 Assessed value: \$156,259
 Exemption value: **\$0**
 Taxable value: \$156,259

Important

Property taxes are subject to change upon change of ownership.

- **Past taxes are not a reliable projection of future taxes.**
- **The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.**

Links

Taxes for this parcel: [SLC Tax Collector's Office](#)

Download TRIM for this Parcel: [Download PDF](#)

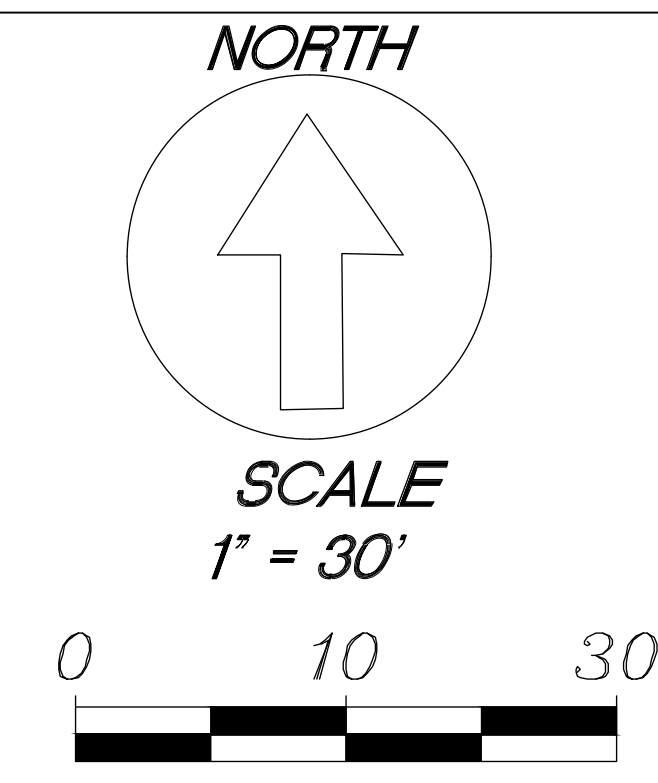
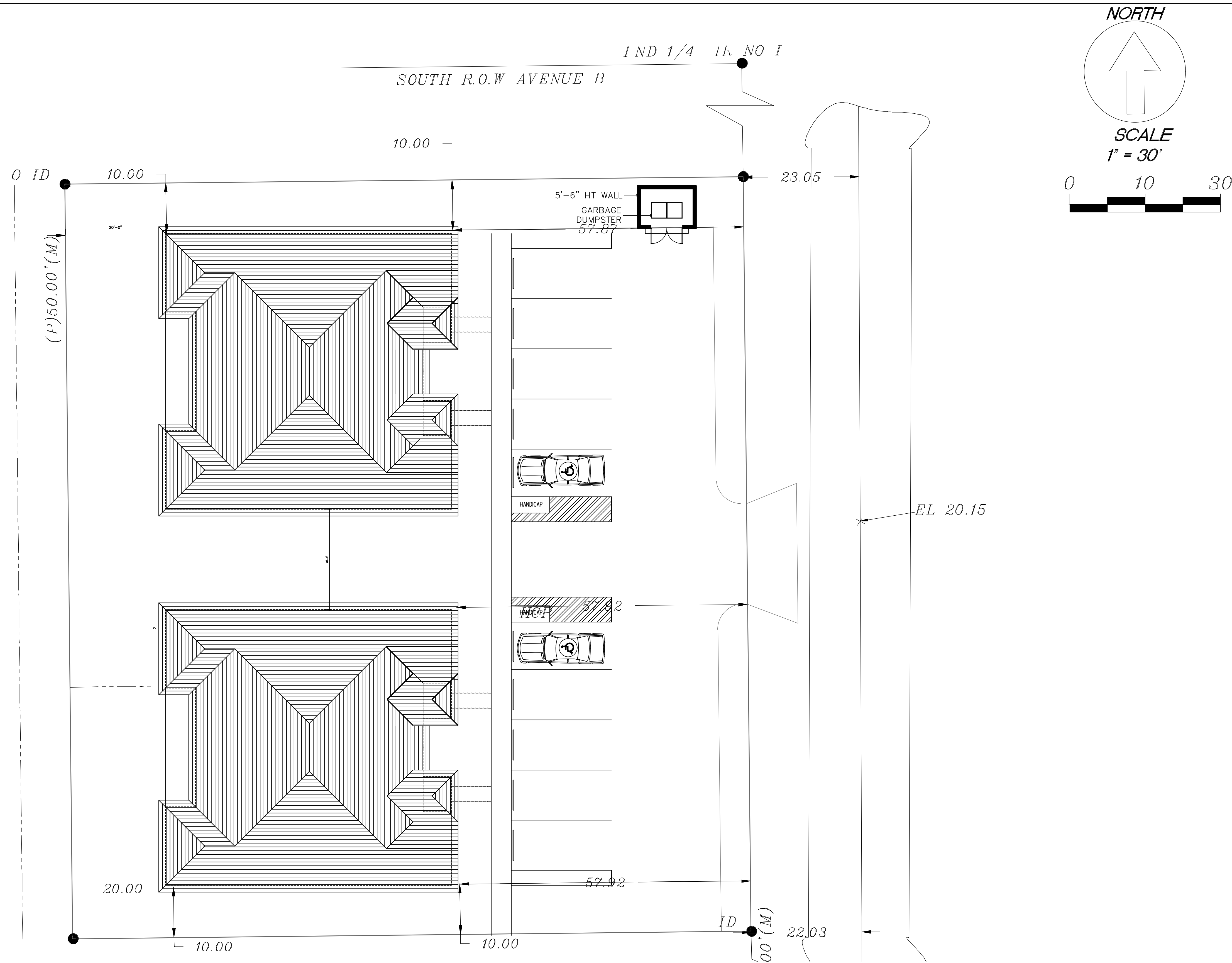
[File for homestead exemptions.](#)

[View associated Tax Map.](#)

[Report Homestead Fraud on this parcel.](#)

All information is believed to be correct at this time, but is subject to change and is provided without any warranty.

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SITE AND SOIL PREPARATION STATEMENT

1. STRIPPING OF SITE:
 ALL VEGETATION TOP SOILS, MARL, TREE STUMPS, ROOTS, ORGANIC ZONES, ASPHALT PAVEMENT (WITH LIMERICK BASE COURSE), AND OTHER DELETERIOUS MATERIALS MUST BE STRIPPED TO WHATEVER DEPTH IS NECESSARY, AND REMOVED FROM THE SITE. STRIPPING OF THE SITE WILL BE REQUIRED TO A DEPTH FOR COMPLETE REMOVAL OF ALL UNACCEPTABLE MATERIAL TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER AND THE STRUCTURAL ENGINEER. CONTACT SOIL ENGINEER FOR INSPECTION AND FINAL APPROVAL BEFORE CONTINUING.

2. COMPACTION AFTER STRIPPING:
 THE COMPLETE COMPACTION PROCESS MUST BE INSPECTED AND APPROVED BY THE GEOTECHNICAL ENGINEER. THIS COMPACTION IS TO BE TESTED WITH 8 FEET STANDARD PENETRATION TEST BORINGS. FREQUENCY OF TESTS TO BE AT EVERY 1500 SQ. FT. THE UPPER 12" MUST BE TESTED FOR 95% OF THE MODIFIED PROCTOR (ASTM D-1557). TESTS ARE TO BE OBSERVED AND APPROVED BY GEOTECHNICAL ENGINEER BEFORE CONTINUING WITH THE COMPACTION. GENERAL CONTRACTORS TO EXERCISE CAUTION DURING COMPACTION OPERATIONS TO AVOID DAMAGE TO ANY NEARBY EXISTING STRUCTURES. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR MAINTAINING THE STRUCTURAL INTEGRITY OF THE EXISTING STRUCTURES.

3. STRUCTURAL FILLING AND BACKFILLING:
 MADE IN LIFTS NOT EXCEEDING 12" IN DEPTH. COMPACTION WITH A VIBRATORY ROLLER TO ATTAIN 95 % COMPACTION OF MODIFIED PROCTOR DENSITY TEST (ASTM D-1557). MUST BE COMPLETED UNIFORMLY. STRUCTURAL FILL TO CONSIST OF NON-ORGANIC, NON-PLASTIC, CLEAN, COARSE-GRAINED SAND/ROCK MATERIAL (ASTM D-1557). TESTS ARE TO BE OBSERVED AND APPROVED BY GEOTECHNICAL ENGINEER BEFORE CONTINUING. SAMPLES ARE TO BE SUBMITTED AND APPROVED BY THE GEOTECHNICAL ENGINEER AND THE STRUCTURAL ENGINEER BEFORE COMMENCEMENT OF WORK. NO PARTICLE SIZE GREATER THAN THREE INCHES AND LESS THAN 10 % PASSING THROUGH THE #200 SIEVE. THE COMPACTION OF EACH LIFT MUST BE INSPECTED AND APPROVED BY THE GEOTECHNICAL ENGINEER.

4. FOUNDATION BEARING SURFACE PREPARATION:
 THE UPPER 12" OF BEARING SOIL IN THE FOOTING EXCAVATION BOTTOM SURFACES (AFTER EXCAVATING FOR FOUNDATIONS) MUST BE INSPECTED AND APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PROCEEDING WITH THE WORK. AFTER APPROVAL ALL THE BEARING SURFACES MUST BE COMPACTIONED TO DENSITIES EQUIVALENT TO 98 % OF THE MODIFIED PROCTOR DENSITY TEST (ASTM D-1557). SOILS WHICH ARE NOT APPROVED MUST BE REMOVED OR REPLACED, OR LOWERED TO A SATISFACTORY BEARING ELEVATION, OR FURTHER COMPACTIONED AS DETERMINED AND INSTRUCTED BY THE GEOTECHNICAL ENGINEER AND THE STRUCTURAL ENGINEER. THE COMPACTION OF THESE AREAS MUST ALSO BE INSPECTED AND APPROVED BY THE GEOTECHNICAL ENGINEER.

5. TESTING:
 TESTING OF COMPACTED EXISTING SOIL, OR OF STRUCTURAL BACKFILL TO MEET OR EXCEED 95 % OF MODIFIED PROCTOR DENSITY TEST (ASTM D-1557). FREQUENCY OF TESTS: ONE EACH 1500 SQ. FT. (OR A MINIMUM OF 3 IN ANY ONE BUILDING OR BUILDING ADDITION) AND AT EACH LIFT OF EXISTING OR BACKFILL, ONE OF EACH SPREAD FOOTING, AND ONE EACH 100 LIN. FT. OF CONTINUOUS FOOTINGS. GENERAL CONTRACTOR TO SUBMIT TESTING PLAN FOR APPROVAL BY ARCHITECT, GEOTECHNICAL ENGINEER, AND STRUCTURAL ENGINEER BEFORE COMMENCEMENT OF WORK.

SLAB ON FILL
 1. FILL AND BACKFILL TO BE COMPACTIONED TO 95 % OF THE MAXIMUM DENSITY AT OPTIMUM MOISTURE AS DETERMINE BY THE STANDARD PROCTER TEST.
 2. COMPACTION LAYERS NOT TO EXCEED 8 INCHES, SLABS ON FILL TO BE PLACED ON A CHECKERBOARD PATTERN WITH CASTING LIMITED TO 600 SQUARE FEET OR 25 FEET IN ANY DIRECTIONARD PATTERN.
 3. PROVIDE 6-MILL VAPOR BARRIER (VISQUEEN) BELOW ALL INTERIOR SLABS ON FILL. SOIL MUST BE TREATED FOR TERMITE. TO BE PERFORMED BY APPROVED TERMITE SPECIALIST

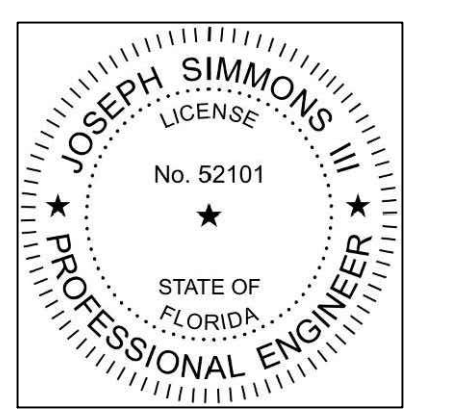
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 CONSTRUCTION 160MPH WIND SPEED 2. BUILDING WIND EXPOSURE CATEGORY C AND WIND IMPORTANCE
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ENGINEER OF RECORD
 JOSEPH SIMMONS, III, P.E.
 FL. P.E. LIC. NO. 52101
 7619 GRAMMEYRY DR
 ORLANDO, FL 32818
 407-464-1890
 JOESIMMONS@GMAIL.COM

107 N 23rd ST
 FORT PIERCE, FL 34950

DREAM DESIGN

DATE:	DRAWN BY:	REVISIONS:
	FR	
	CHK BY:	
	JS	
AS SHOWN		



SHEET NO
S1

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY JOSEPH SIMMONS, ON THE DATE/TIME STAMP SHOWN USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES

GENERAL NOTES:

- EXTERIOR DOORS & FRAMES TO HAVE WEATHER STRIPPING
- UNLESS OTHERWISE NOTED, ALL STRUCTURAL LAMBER SHALL BE #2 YELLOW PINE, OR S.P.F.
- WINDOWS INDICATED WITH (E) MUST BE MANUFACTURED TO CONFORM TO THE BUILDING CODE WITH RESPECT TO MINIMUM EMERGENCY EGRESS REQUIREMENTS - SEE SPECIFICATION REGARDING MEAN OF EGRESS BELOW
- ALL ATTIC OPENINGS SHALL BE FRAMED WITH 1" x 2" WOOD FRAMING
- PROVIDE OUTLET AND SWITCHED LIGHT AT ALL ATTIC ACCESS
- ALL INTERIOR DOOR SHALL BE HOLLOW CORE
- ALL SHOWER ENCLOSURE GLASS TO BE SAFETY GLAZING
- ALL WINDOW FRAMES TO BE SET IN CHALK BESS
- EXTERIOR DOORS & FRAMES TO HAVE WEATHER STRIPPING
- EXTERIOR SOTTITS & C.L.G. SHALL BE CLAD WITH STUCCO OVER COP. METAL LATH APPLIED PER FBC 2023 CHAPTER 25, SECTION 2508.
- GENERAL CONTRACTOR SHALL VERIFY ALL MASONRY OPENINGS WITH MANUFACTURER'S LITERATURE

SPECIFICATIONS REGARDING MEANS OF EGRESS

THE MODE OF OPERATION OF EGRESS WINDOWS SHALL NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT. SUCH CLEAR OPENING SHALL BE NOT LESS THAN 20" IN WIDTH 24" IN HEIGHT, 5.7 SQ. FT. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OFF THE FINISHED FLOOR AND NO PART OF THE OPERATING MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE FINISHED FLOOR.

VENTILATION OF ATTIC SPACE PER 2023 FBC 2306.3.2

RATIO OF NET FREE VENTILATION TO CEILING = 1/700

ATTIC SPACE TO BE VENTILATED = 2,932 SQ. FT.

NET AREA OF SCREEN VENTILATION REQUIRED = 4.18 SQ. FT.

2.932 SF ÷ 700 = 0.0042 SQ. FT.

150

SIZE AND SPACING OF SCREEN VENTS 1"x2" (1.06 SF) @ 6'-0" O.C.

MIN. NUMBER OF REQUIRED SCREEN VENTS 19.54 / 1.06 = 19 SCREEN VENTS

LINEAR FT. OF EAVE (SOTTITS) AVAILABLE 246'-0" 3/4" Lx. Ft.

NUMBER OF SCREEN VENTS PROVIDED 246'-0" ÷ 6" = 41 SCREEN VENTS

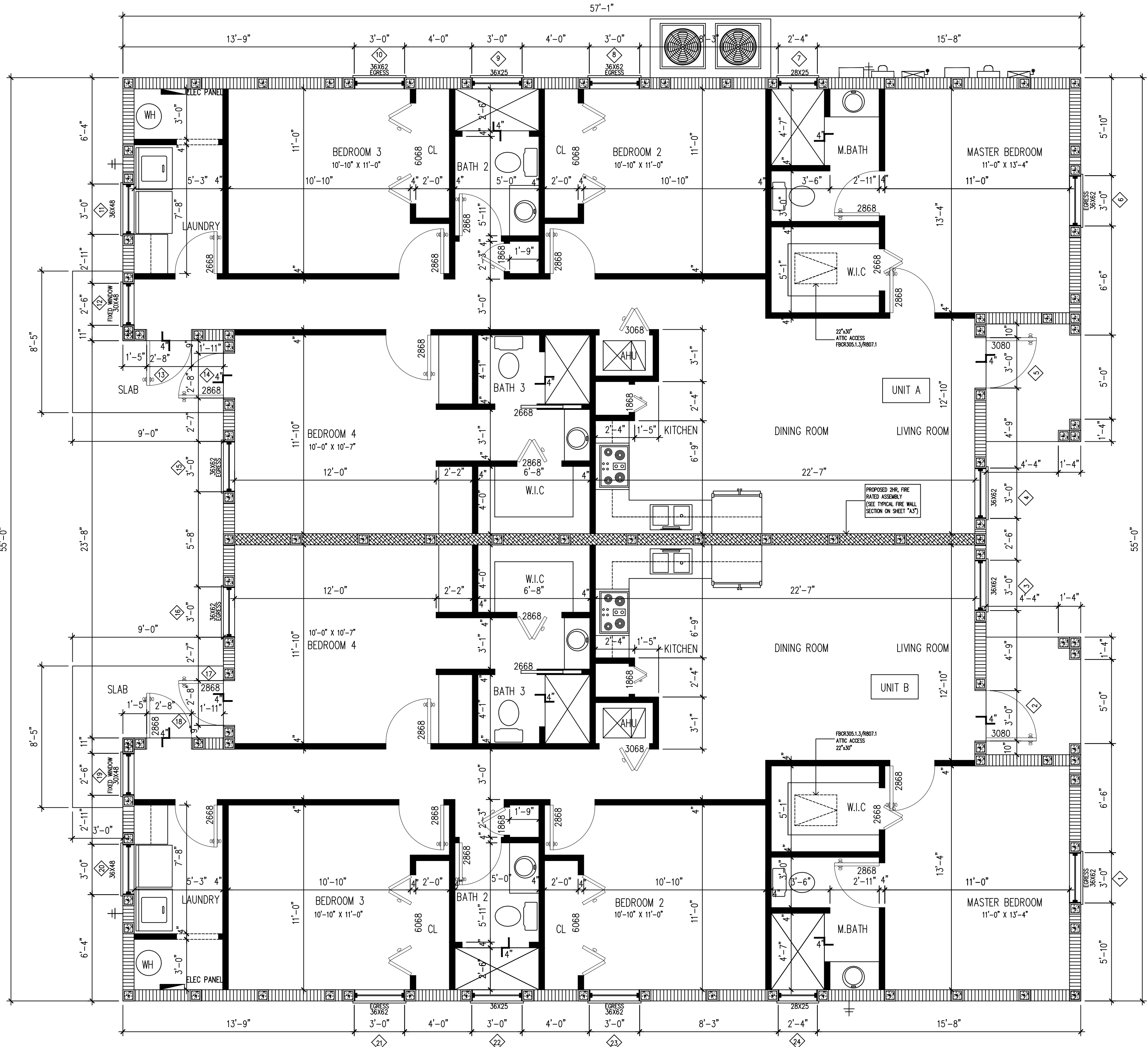
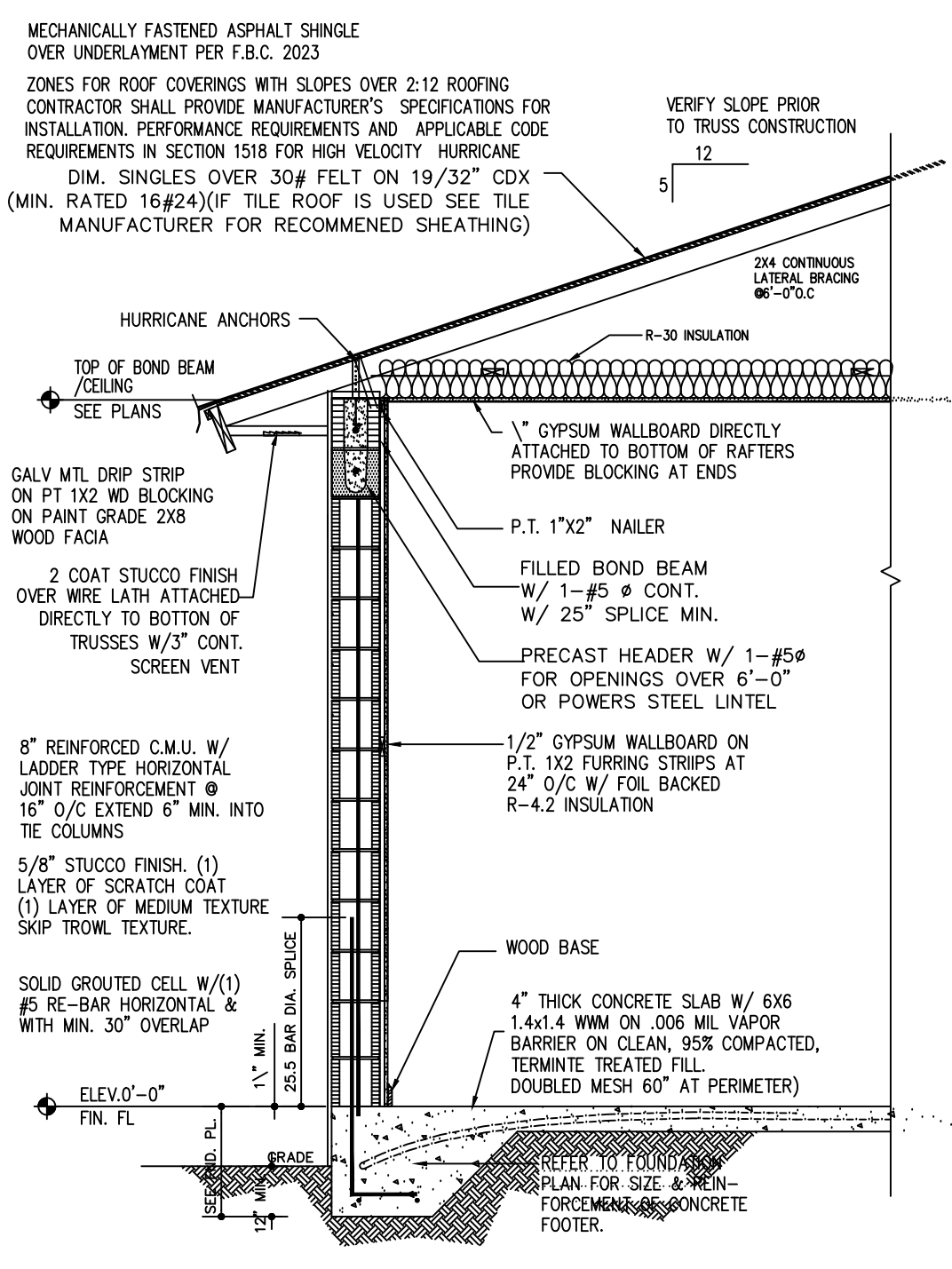
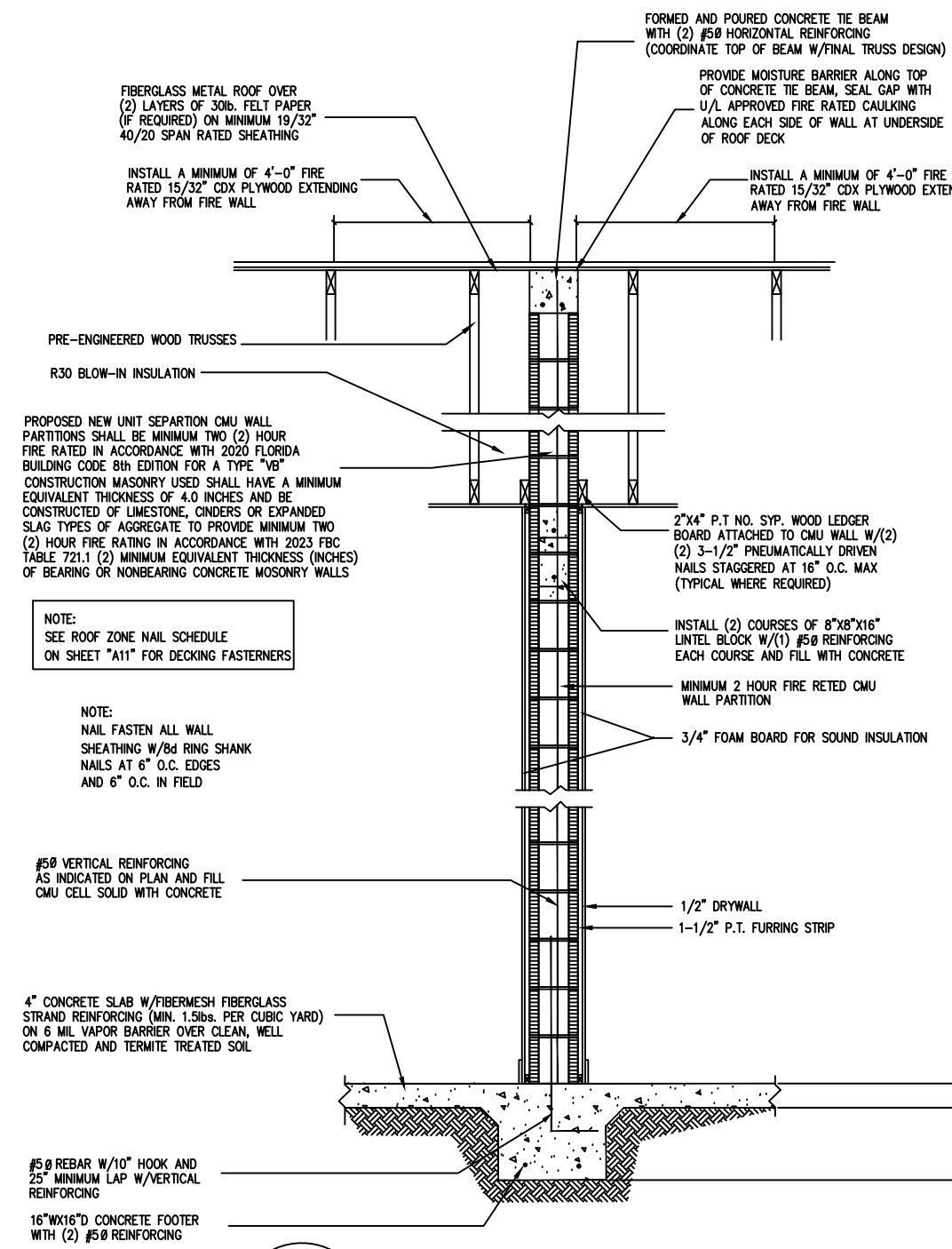
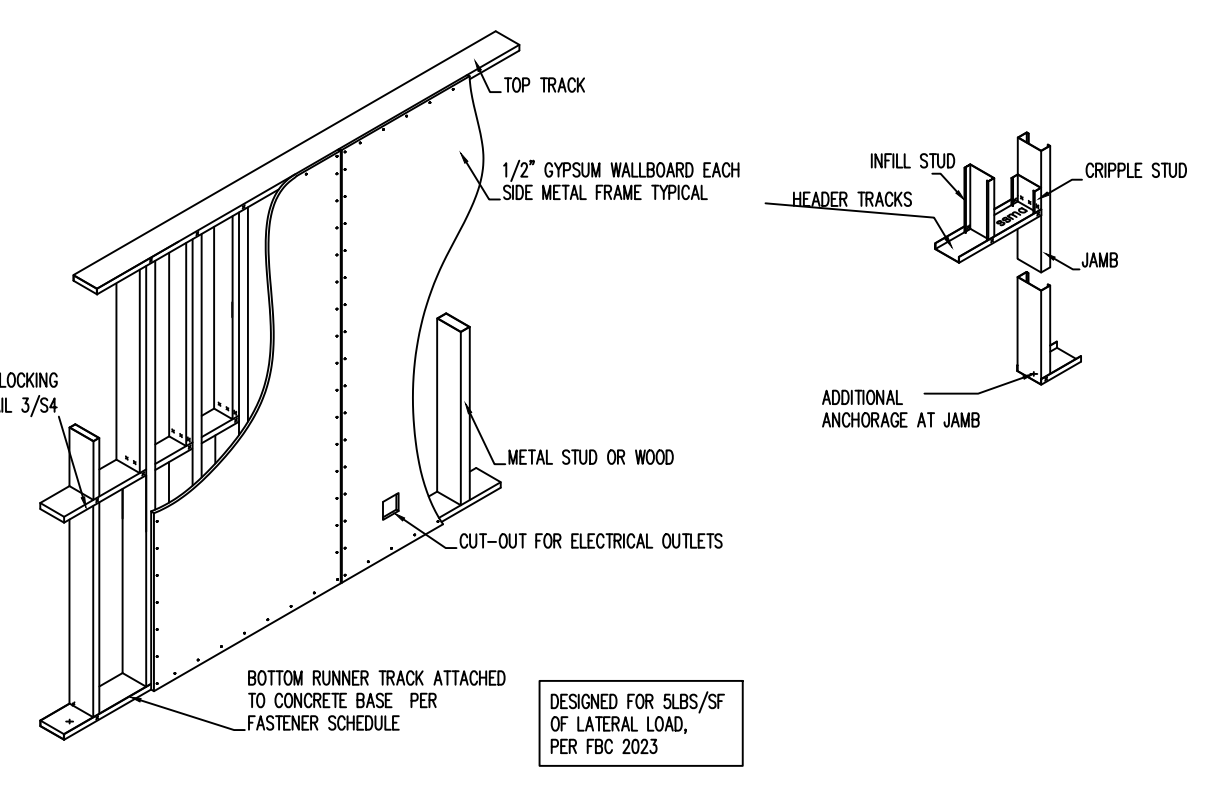
SEE 'TOP WALL SECTION' ON SAME SHEET FOR SCREEN VENT LOCATION

AREA BREAKDOWN

UNIT 1 LIVING AREA	=	1,426 SQ. FT.
UNIT 2 LIVING AREA	=	1,426 SQ. FT.
ENTRANCE 1 AREA	=	40 SQ. FT.
ENTRANCE 2 AREA	=	40 SQ. FT.
TOTAL AREA	=	2,932 SQ. FT.

WALL LEGEND

[Pattern]	8" CMU BRG WALL
[Pattern]	4" INTERIOR NON-BEARING PARTITION
[Pattern]	8" CMU BRG WALL (FIRE WALL)



FLOOR PLAN
SCALE: 1/4" = 1'-0"

City Of Fort Pierce Building Department PRODUCT Approval Submittal Affidavit

Permit #	Product	Model #	Manufacturer	Description	Attachment Method Type, Size, Spacing & Embedment	Building Design Pressure	Product Design Pressure
FL 14095.1	Window	PREMIUM ATLANTIC WNL	ELD-WIN	IMPACT	FRAME HEAD: 1 1/2\"/>		
FL 15216.1	Underlayment			N/A	IN TABS 6\"/>		
FL 11136.1	Door	OPAQE IMPACT	ELD-WIN	IMPACT	OPAQE FIBER GLASS IMPACT	+55 -55	+55 -70

Product	Model #	Manufacturer	Type, Size, Spacing, Embedment & Stiffener etc.	Building Design Pressure	Product Design Pressure
Mullions	No 20-264.10	Loren	5/16\"/>		
Roof	FL 1024	Gaf	MECHANICALLY FASTENED ASPHALT SHINGLE OVER UNDERLAYER PER F.B.C. 2023		
Sliding	Slidex		Gauge of Steel		
Hurricane Panels Less than 6' span			Gauge of Steel		

I have reviewed the above components or cladding and I have approved their use in this structure. These products provide adequate resistance to the wind loads and forces specified by current code provisions

Name: JOSEPH SIMMONS
Signature: _____
Certification Number: 52101
Date: _____

Please customize the size of this form for your specific structure. It is not intended that you fit the product approval information into the provided spaces. This form is provided as a template.

revised 07/12/2016 by

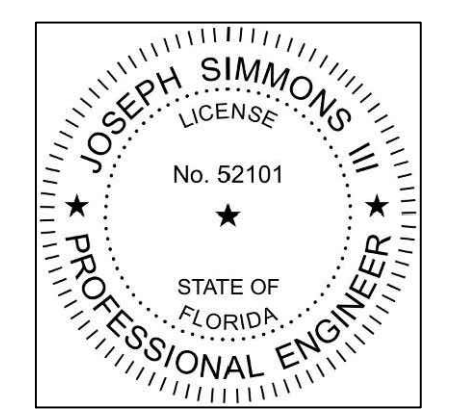
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 107 N 23 RD ST
 FORT PIERCE, FLORIDA
 16 DECEMBER 2025

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 PORT ST LUCIE, FL 34953-7036
 PHONE

ENGINEERS:

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PROJECT DESCRIPTION

PROJECT SUMMARY

A- THE 2 DUPLEXES PROJECT 4 BEDROOMS 3 BATH 1,426 SQFT LIVING SPACE (EACH UNIT) ARE PLANNED FOR LOW INCOME WORKING FAMILY. EACH UNIT WILL BE COMPRISED OF 4 BEDROOMS 3 BATH A KITCHEN SPACE AND A COMMON AREA (GREAT ROOM) FOR THE FAMILY. EXISTING STRUCTURES.

B- PARKING REQUIREMENTS GENERATED BY THIS PROJECT WILL BE ACCOMMODATED 2 PARKING SPACE FOR EACH UNIT.

C- OCCUPANCY FOR THIS PROJECT IS SCHRDULED FOR WINTER 2023

PROPOSAL, BUILDING AND CONTRACTING DELIVERY METHOD

A- THE OWNER HAS DECIDED TO USE HIS CONTRACTOR "DELIVERY METHODE" FOR THIS PROJECT WITH AN EARLY SITE PACKAGE TO COMPLY WITH THE SCHEDULE

SUBSTRUCTURE
 FOUNDATION

A- FOUNDATION: 3,000 PSI CAST INPLACE CONCRETE.
 B- FOOTINGS-SPREAD FOOTING BASE ON ENGINEER RECOMMENDATION.
 C- SLAB ONGRAD- 4INCH THICK SLAB CONCRETE ON GRADE, ON COMPACTED FILL COMPLYING WITH REQUIREMENTS OF FLORIDA 2020 BUILDING CODE

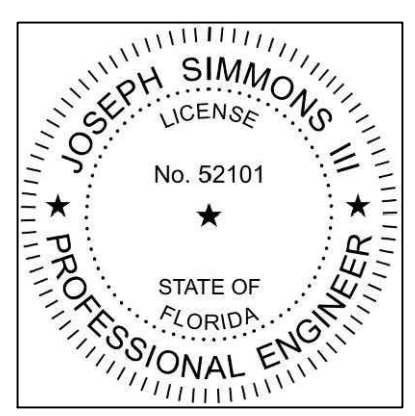
ENGINEERING NOTES: ENGINEERING MEETS OR EXCEEDS 2023 FLORIDA BUILDING CODE 8TH EDITION
 MECH, PLUMB ENERGY ACCESSIBILITY, LIFE SAFETY, FIRE CODE AND NEC 2020
 CONSTRUCTION 160MPH WIND SPEED 2. BUILDING WIND EXPOSURE CATEGORY C AND WIND IMPORTANCE
 MEETS OR EXCEEDS RESISTANCE AND CURRENT COUNTY BUILDING CODES

DUPLEX
 107 N 23rd ST
 FORT PIERCE, FL 34950

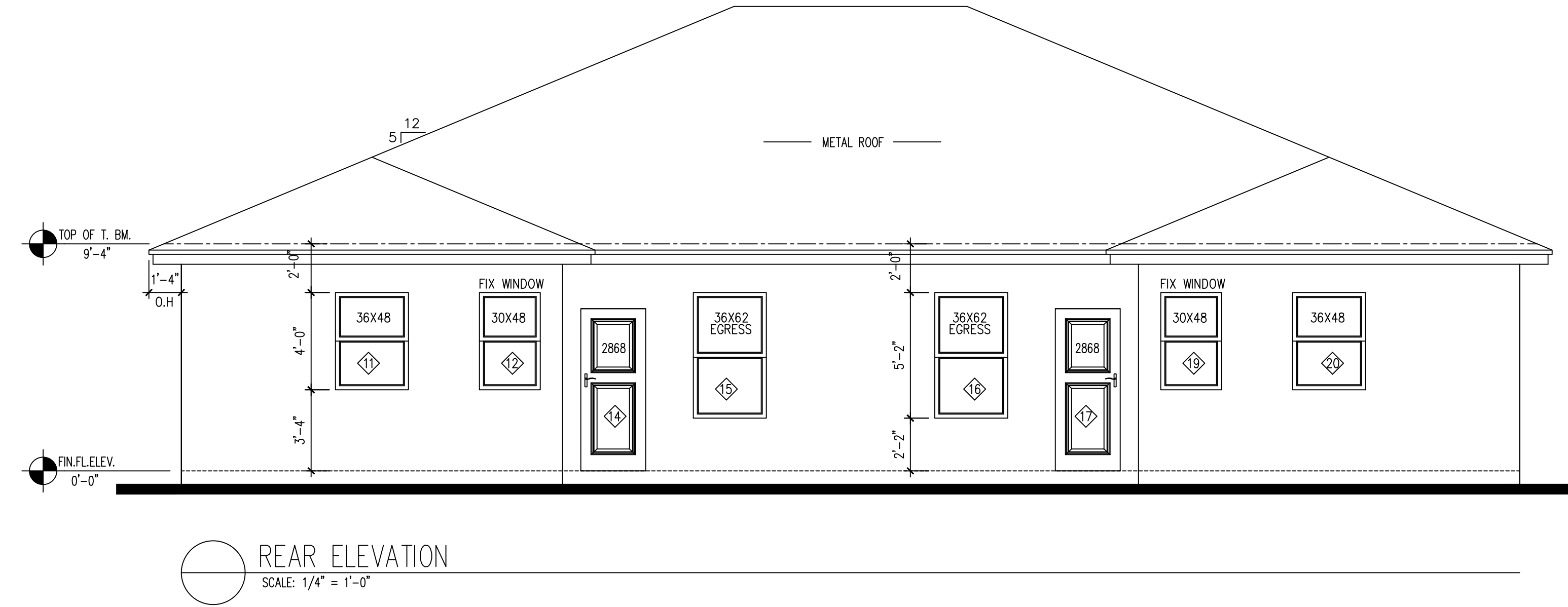
ENGINEER OF RECORD
 JOSEPH SIMMONS, III, P.E.
 FL P.E. LIC. NO. 52101
 7619 GRAMERCY DR
 ORLANDO, FL 32818
 407-454-1890
 JOESIMMONS@GMAIL.COM

DREAM DESIGN

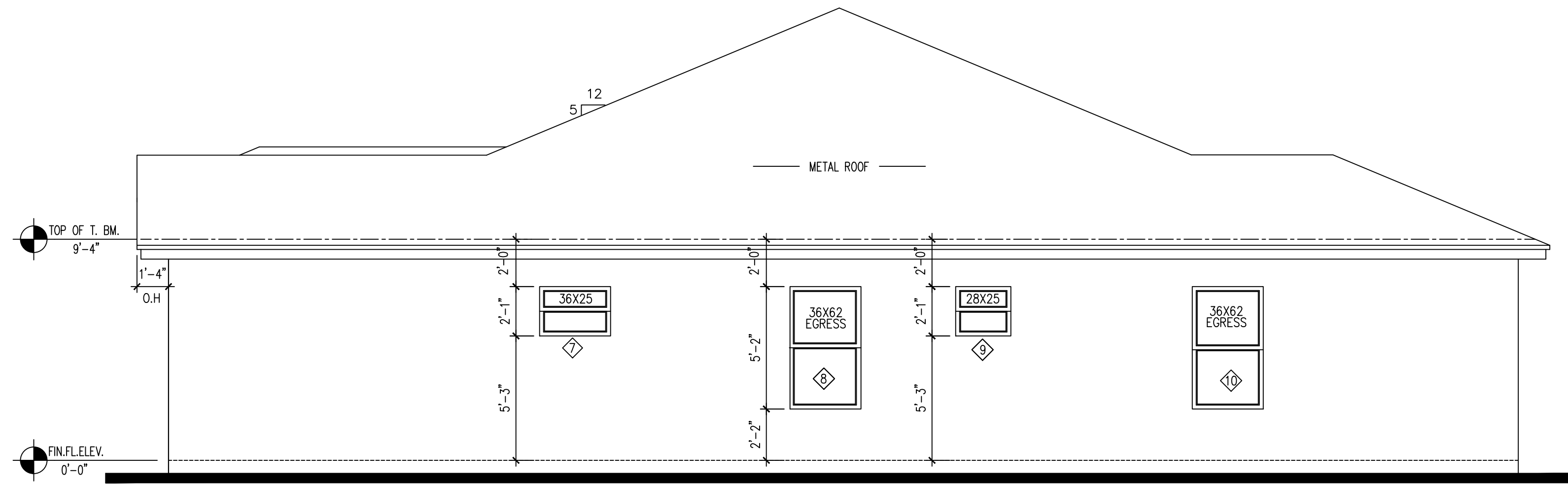
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AS SHOWN	JS	



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REAR ELEVATION
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RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

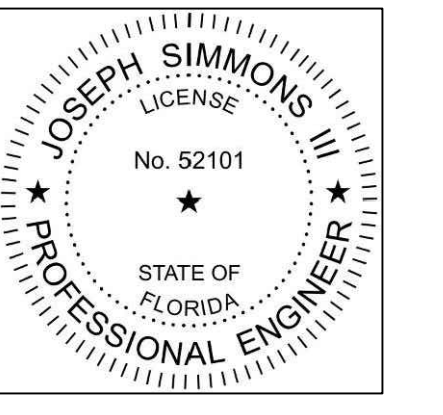
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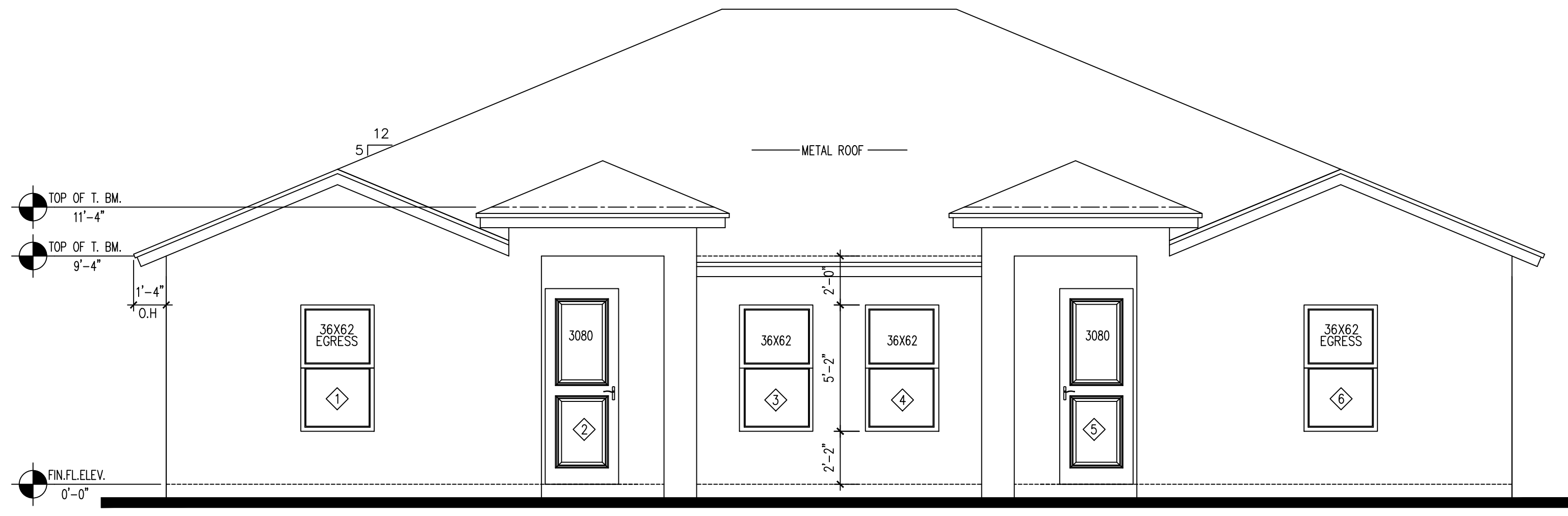
DUPLEX
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FORT PIERCE, FL 34950

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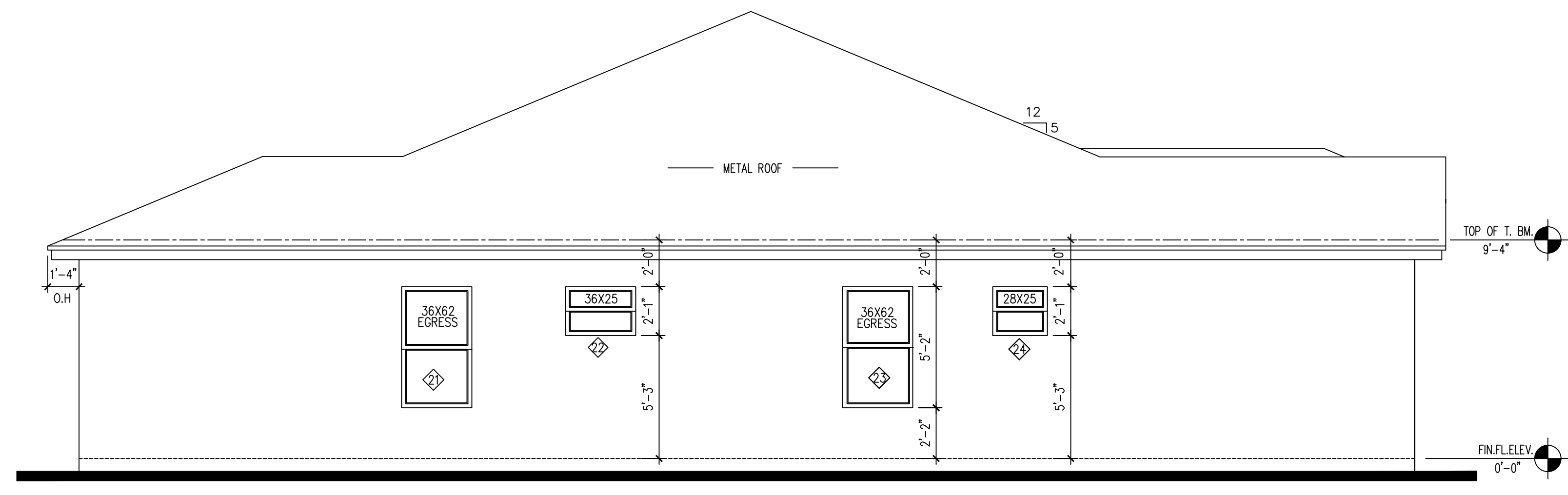
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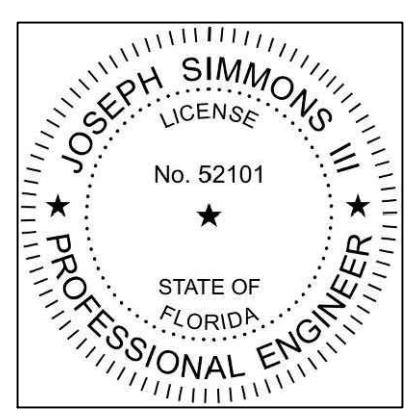
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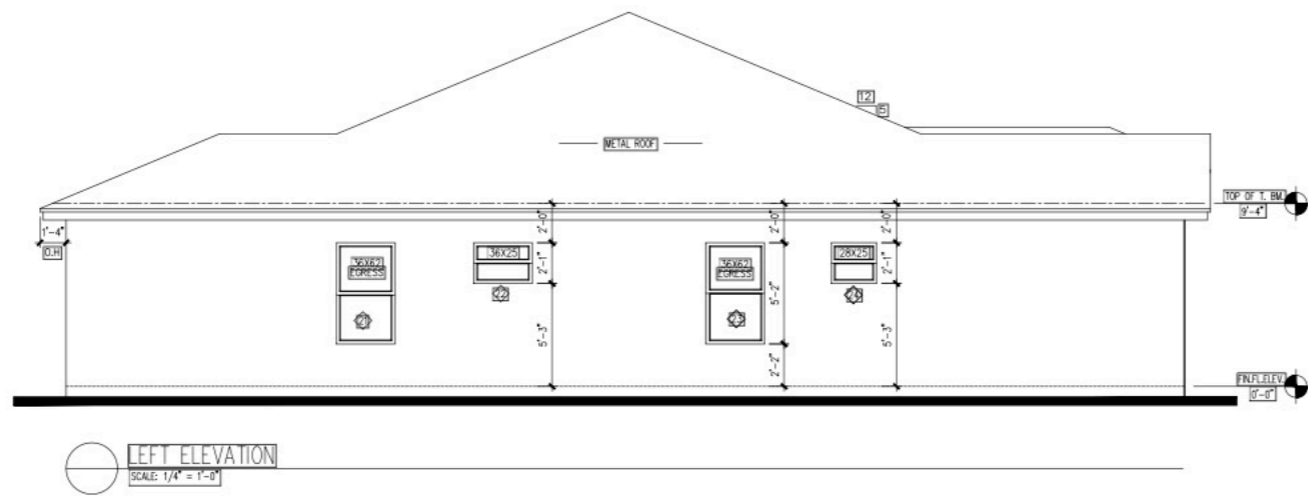
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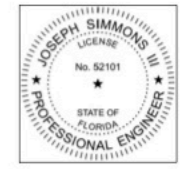
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FORT PIERCE, FL 34950

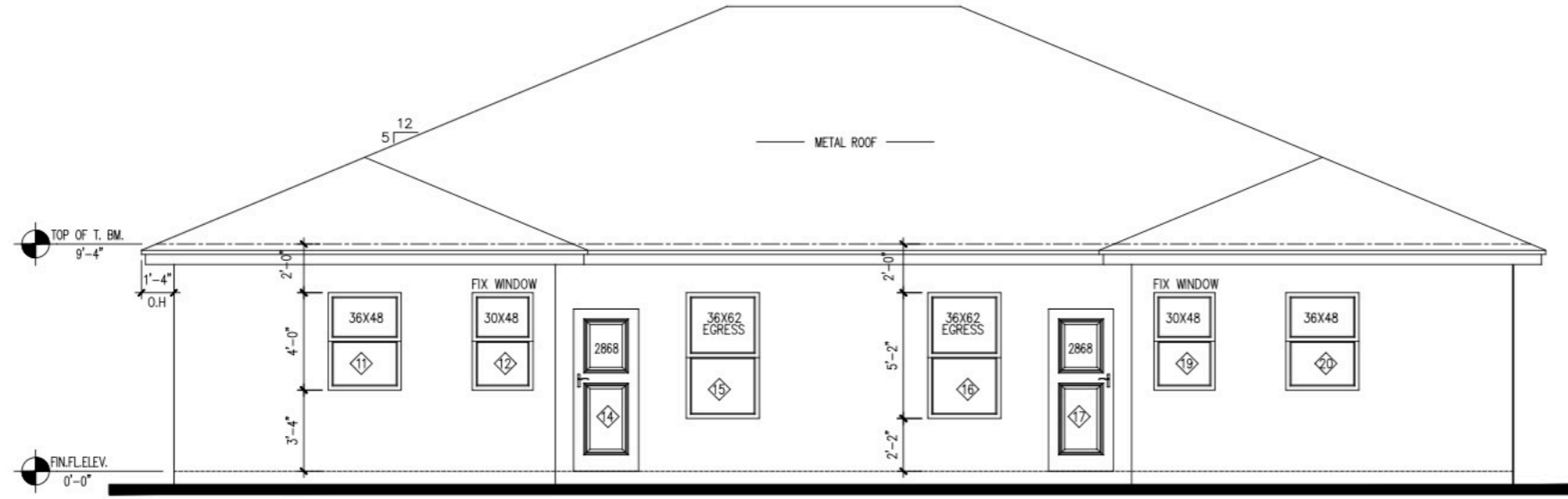
DREAM DESIGN

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SCALE:	CHK BY:	
AS SHOWN	US	

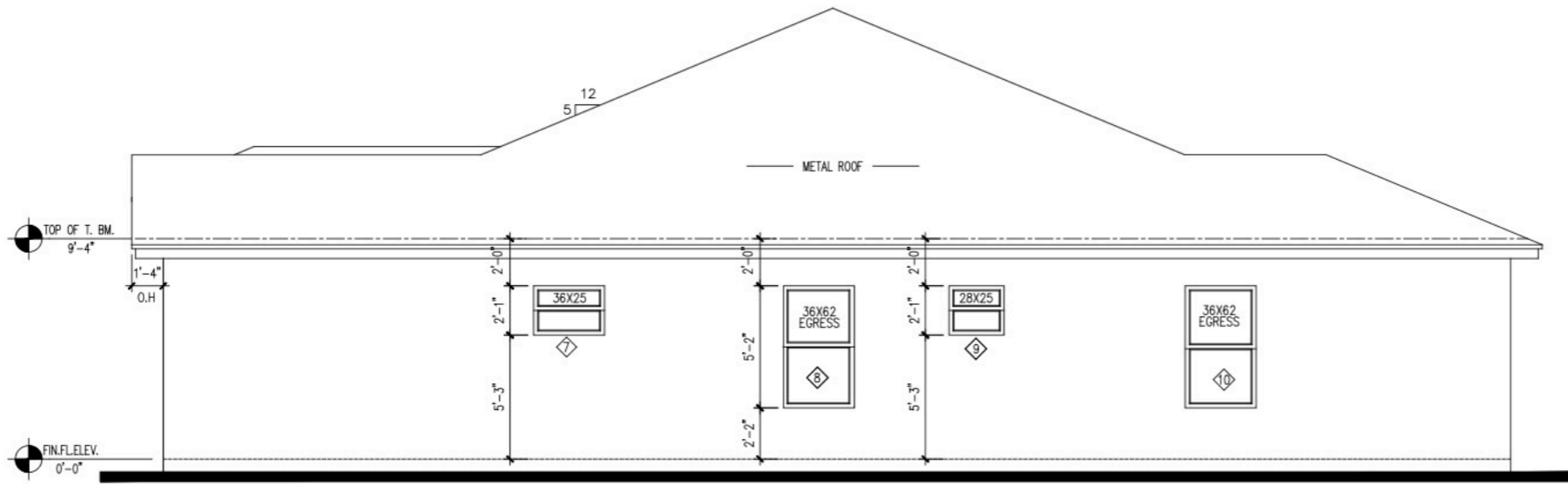


SHEET NO
A4

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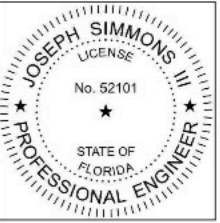
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DUPLEX
107 N 23rd ST
FORT PIERCE, FL 34950

DREAM DESIGN

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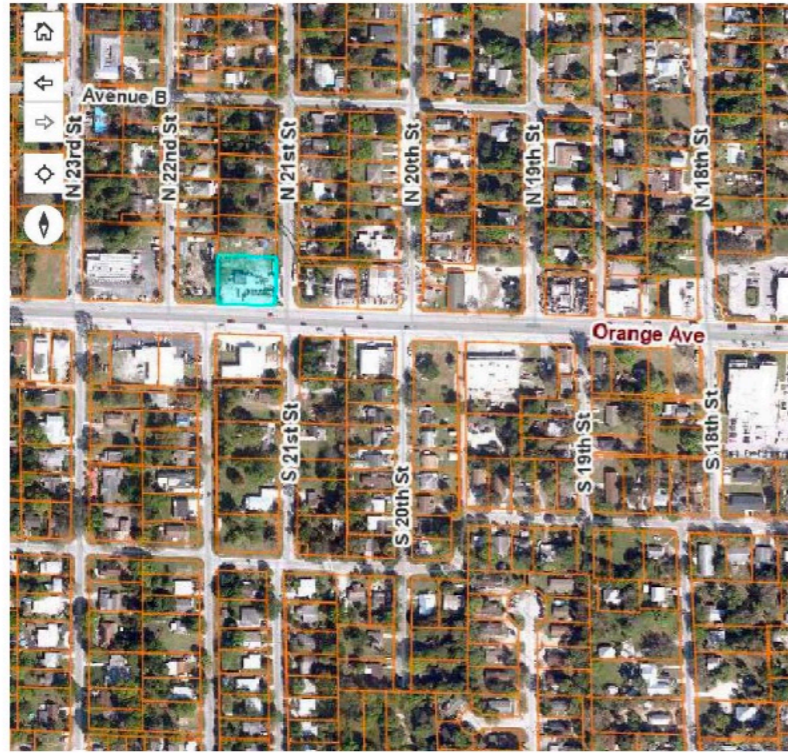


SHEET NO
A5

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PROPOSED NEW DUPLEXES

107 N 23rd ST
FORT PIERCE , FL 34950



GOOGLE MAP LOCATION
SCALE: NOT TO SCALE

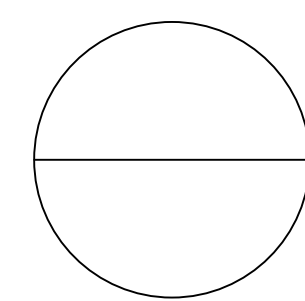


RENDERING ELEVATION
SCALE: NOT TO SCALE

Legal Description
FT PIERCE HTS BLK 5 LOTS 3, 4 AND 5
Parcel ID: 2408-507-0020-000-0
Sec/Town/Range: 09/37S/40E Account#: 20415

Building Authority:
City of Fort Pierce
Building Department
300 Orange Ave
Fort Pierce, FL 34950
Phone: 772-465-3718

SHEET INDEX	
# SHEET	DESCRIPTION
C01	COVER SHEET
A1	COVER SHEET 2
A2	DEMOLITION PLAN
A3	FLOOR PLAN AND DETAIL
A4	ELEVATION PLAN
R1	RENDERING
S1	SITE PLAN
A7	
A8	
A9	
A10	
E1	
E2	
M1	
M2	



RENDERING ELEVATION

SCALE: NOT TO SCALE

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 JOESIMMONS@GMAIL.COM

107 N 23rd ST
 FORT PIERCE, FL 34950

DREAM DESIGN

DATE	DRAWN BY	REVISIONS
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107 N. 23rd Street Duplexes

Fort Pierce, Florida

FOR

EMILIE ALOUPTION
1450 SW DEMPERIO AVE
PORT ST. LUCIE, FL

APRIL 06, 2026

LANDSCAPE PLAN

PLANTING SPECIFICATIONS

- All plant materials shall be Florida Number 1 as provided in the most current edition of the "Grades and Standards for Nursery Plants, Parts I & II" prepared by the state Department of Agriculture and Consumer Services.
- All trees, shrubs and groundcovers shall be of the sizes as specified in the Plant List.
- Quantities listed on the Plant List are for estimating purposes. Contractor shall verify all quantities. Mulch, Topsoil, Fertilizer, etc. shall be included in the unit cost of the plants.
- Where there is a discrepancy either in quantities, plant names, sizes or specifications between the plan or Plant List, the plan takes precedence.
- All planting beds and water basins for trees shall be covered with a 3" minimum depth of shredded eucalyptus or Floramulch grade "B" or better. Refer to the Plant List for the specified mulch type. Alternative mulch material is required to be approved by Landscape Architect.
- The Planting Plan shall be installed in compliance with all existing codes and applicable deed restrictions.
- PLANTING SOIL:** All trees and shrubs shall be planted with a minimum of 12" topsoil around and beneath the rootball. Minimum topsoil shall be 6" for groundcover areas.
- Planting soil to be a weed-free mixture of 50% sand and 50% mulch or other organic planting material suitable to the Landscape Architect
- Contractor is responsible for determining all utility locations and installing facilities so as to not conflict. All damage to existing utilities or improvements caused by Contractor shall be repaired at no additional cost to the Owner.
- Contractor shall be responsible for providing final grading of all associated planting areas.
- After final grade, area to be raked to 6" depth and all rock and foreign inorganic materials removed and disposed of properly off site.
- All planting holes to be hand dug except where machine dug holes will not adversely affect or damage utilities or improvements (see note 7).
- No plunging of any tree or palm will be accepted. All plants to be planted at the nursery grade or slightly higher.
- Contractor shall stake and guy all trees and palms at time of planting as per the appropriate detail. Contractor is responsible for the maintenance and/or repair of all staking and guying during the Warranty Period and removal and disposal of staking after the establishment period.
- Fertilizer is required for plantings and shall be NPK 16-4-8 at 12.5 lbs/1000 s.f. or 345 lbs/acre. Nitrogen 50% slow release form and fertilizer to include secondary/minor micronutrients.
- SUBSTITUTIONS AND CHANGES:** All substitutions and changes shall be approved in writing prior to installation. Any discrepancies between plans, site and specifications shall be brought to the immediate attention of the Landscape Architect, the Owner and governing municipality.
- WATERING:** All plant material shall be watered in at time of planting in accordance with standard nursery practices. In addition, Contractor will continue watering of plant material until substantial completion and as needed and thereafter for a period of 2-months.
- All new plant material shall be guaranteed for 1-year from time of final acceptance of the project. Any plant material not in a healthy growing condition will be replaced by the Contractor at no additional cost to the Owner within 10-days of notification. For all replacement plant material, the warranty period shall be extended an additional 45-days beyond the original warranty period. All trees that lean or are blown over, caused by winds less than 75-MPH, will be re-set and braced by the contractor at no additional cost to the Owner.
- The successful bidder shall furnish to the Owner a unit price breakdown for all materials. The Owner may, at its discretion, add or delete from the materials utilizing the unit price breakdown submitted.
- No plant material will be accepted showing evidence of cable, chain marks, equipment scars, or otherwise damaged.
- Plant material will not be accepted when the ball of earth surrounding its roots has been cracked, broken or otherwise damaged.
- Root prune all field grown trees a minimum of 8-weeks prior to planting.

PLANTING PROCEDURE

- All dimensions 6" and less are exaggerated for illustrative purposes only.
- Plant containers shall be removed prior to planting. If plants are not container grown, remove a minimum of the top 1/3 of burlap, fabric, or wire mesh. Never lift or handle the tree by the trunk.
- The uppermost root on all trees shall be covered by no more than 1" of soil. Use hand tools to carefully remove all excess soil. The top of root ball shall be set 1" - 2" above finish grade and set plumb to the horizon. If planting pit is too deep, remove the tree and firmly pack additional soil in the bottom of the planting pit to raise the rootball. After positioning the tree in the planting pit slice through rootballs with 3 or 4 vertical slices (top to bottom) equally distributed around the tree.
- Backfill shall be loosened existing soil. Remove rocks, sticks, or other deleterious material greater than 1" in any direction prior to backfilling. Water and tamp to remove air pockets. If existing soils contain excessive sand, clay, or other material not conducive to proper plant growth, contact Landscape Architect prior to planting.
- Soil rings shall be constructed of existing soil at the outer edge of the planting pit, with a height of 3" and gently sloping sides. Do not pile soil on top of rootball.
- Mulch shall be a 3" deep layer placed to the edge of the trunk flare, around the base of shrub, or solidly around groundcover. Never pile mulch against the plant trunk. Allow air to meet trunk of all plants.
- Straps shall be a minimum 1" wide nylon or polypropylene. All wood stakes or anchors shall be located beyond the edge of soil ring and located below finished grade, unless otherwise specified. Remove above ground guying systems at the end of the establishment period.

PLANT LIST

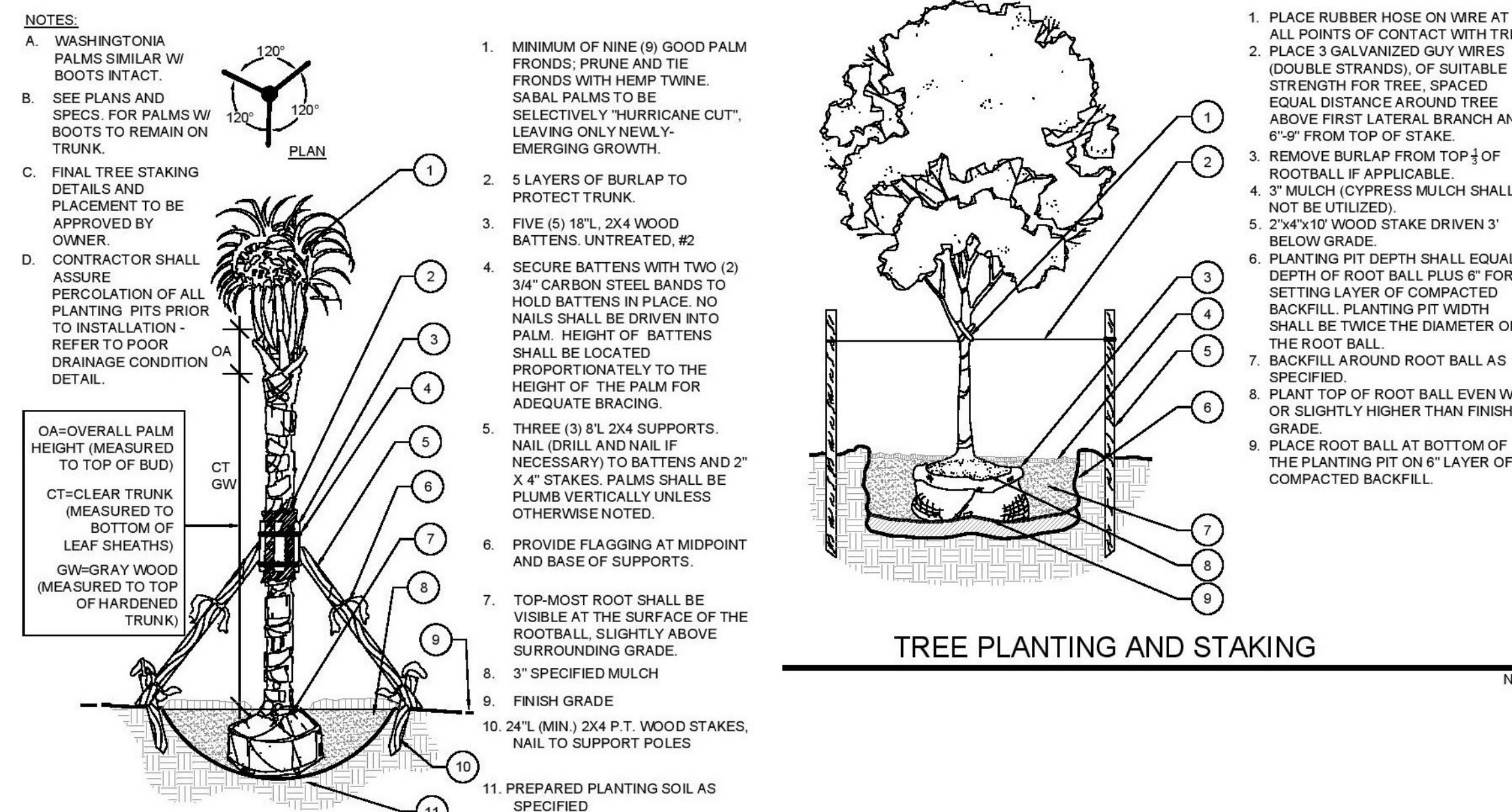
KEY	QTY	BOTANICAL NAME	COMMON NAME	N*	WW*	SIZE/SPECIFICATIONS
TREES						
DH	5	Ilex cassine	Dahoon Holly	X	X	12' Ht., 2 1/2" DBH., 65 Gal.
SL	3	Chrysophyllum oliviforme	Satin Leaf	X	X	12' Ht., 2 1/2" DBH., 65 Gal.
QV	4	Quercus virginiana	Live Oak	X	X	12' Ht., 2 1/2" DBH., 65 Gal.
MA	2	Magnolia grandiflora	Magnolia 'Little Gem'	X	X	12' Ht., 2 1/2" DBH., 65 Gal.
YH	2	Ilex vomitoria	Yaupon Holly Tree	X	X	10' Ht., 2" DBH., 50 Gal.
TA	1	Tabebuia pallida	Pink Tabebuia	X	X	12' Ht., 2 1/2" DBH., 65 Gal.
GB	2	Conocarpus erectus	Green Buttonwood Tree	X	X	10' Ht., 2" DBH., 50 Gal.
PALMS						
FP	9	Wodyetia bifurcata	Foxtail Palm			8' Ht. Grey Wood, Matched
AD	9	Adonidia merrillii	Christmas Palm			8' Ht., Grey Wood, Matched
SP	13	Sabal palmetto	Sabal Palm	X	X	10'-14' Ht., Smooth Trunk
SHRUBS						
WV	48	Viburnum obovatum	Walter's Viburnum	X	X	7 Gal., 24" Ht. 30" O.C.
CO	76	Chrysobalanus icaco	Cocoplum 'Red Tip'	X	X	7 Gal., 24" Ht. 30" O.C.
CL	50	Clusia guttifera 'Dwarf'	Dwarf Clusia	X	X	7 Gal., 24" Ht. 30" O.C.
IV	36	Ilex vomitoria 'Nana'	Shillings dwarf	X	X	7 Gal., 24" Ht. 24" O.C.
FB	45	Hamelia pantens, Dwarf	Firebush, Dwarf	X	X	7 Gal., 24" Ht. 30" O.C.
NG	22	Ixora 'Nora Grant'	Nora Grant Ixora	X	X	7 Gal., 24" Ht. 30" O.C.
MY	33	Rapanea punctata	Myrsine	X	X	7 Gal., 24" Ht. 30" O.C.
GROUNDCOVERS						
HF	54	Cyrtomium falcatum	Holly Fern			3 Gal., 18" O.C.
JN	60	Juniperus horizontalis wiltonii	Blue Rug Juniper	X		1 Gal., 16" O.C.
SG	54	Tulbaghia violacea	Society Garlic	X		3 Gal., 18" O.C.
LM	54	Liriope Muscari 'Emerald Goddess'	Liriope Emerald Goddess			1 Gal., 16" O.C.
BF	50	Gaillardia pulchella	Blanketflower	X		1 Gal., 16" O.C.
LAWN GRASS						
SA	per plan	Stenotaphrum secundatum	St. Augustine 'Floritam'			Solid sod

LAWN GRASS

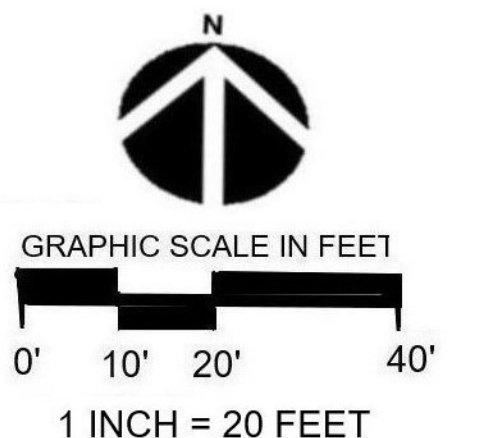
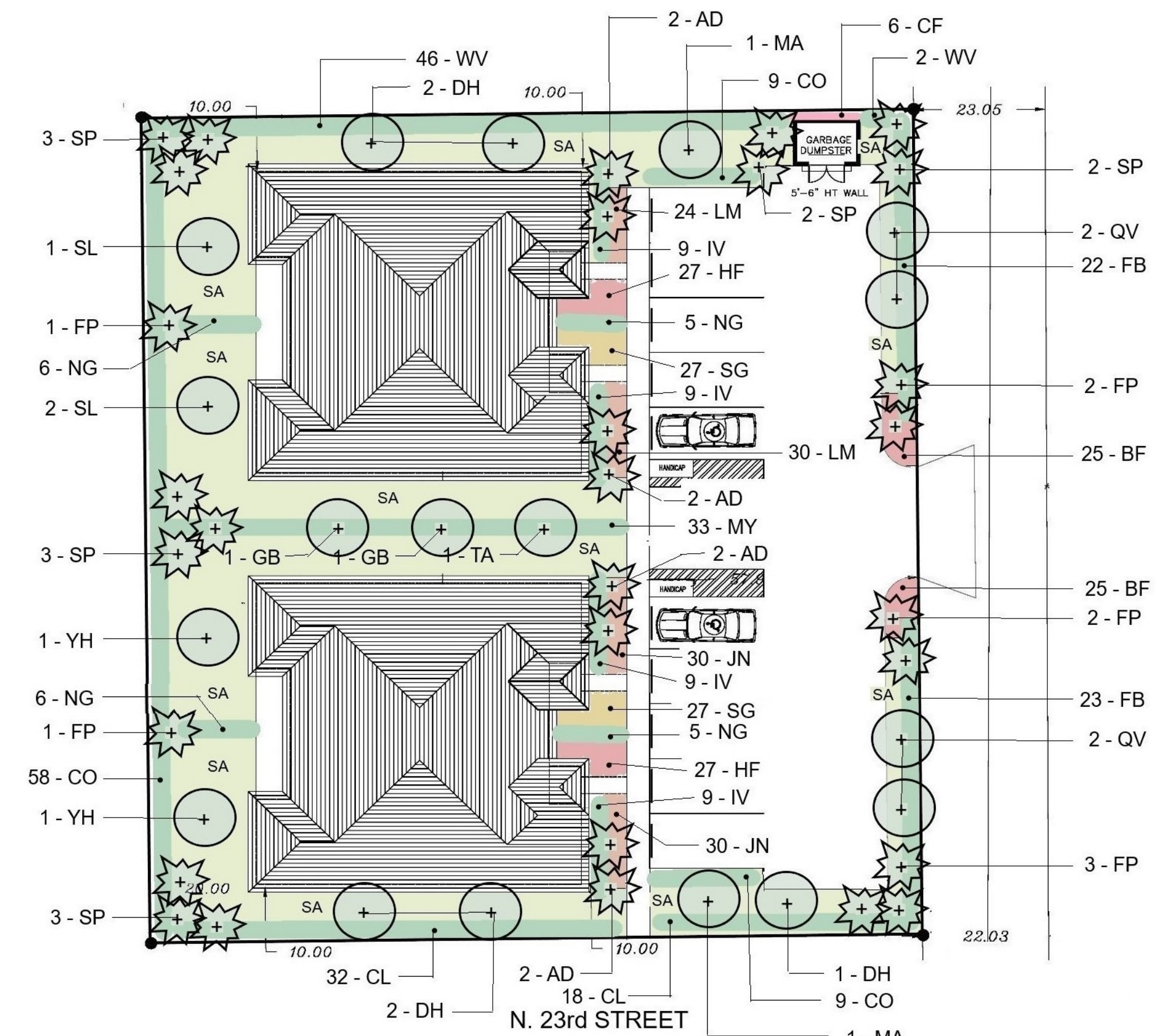
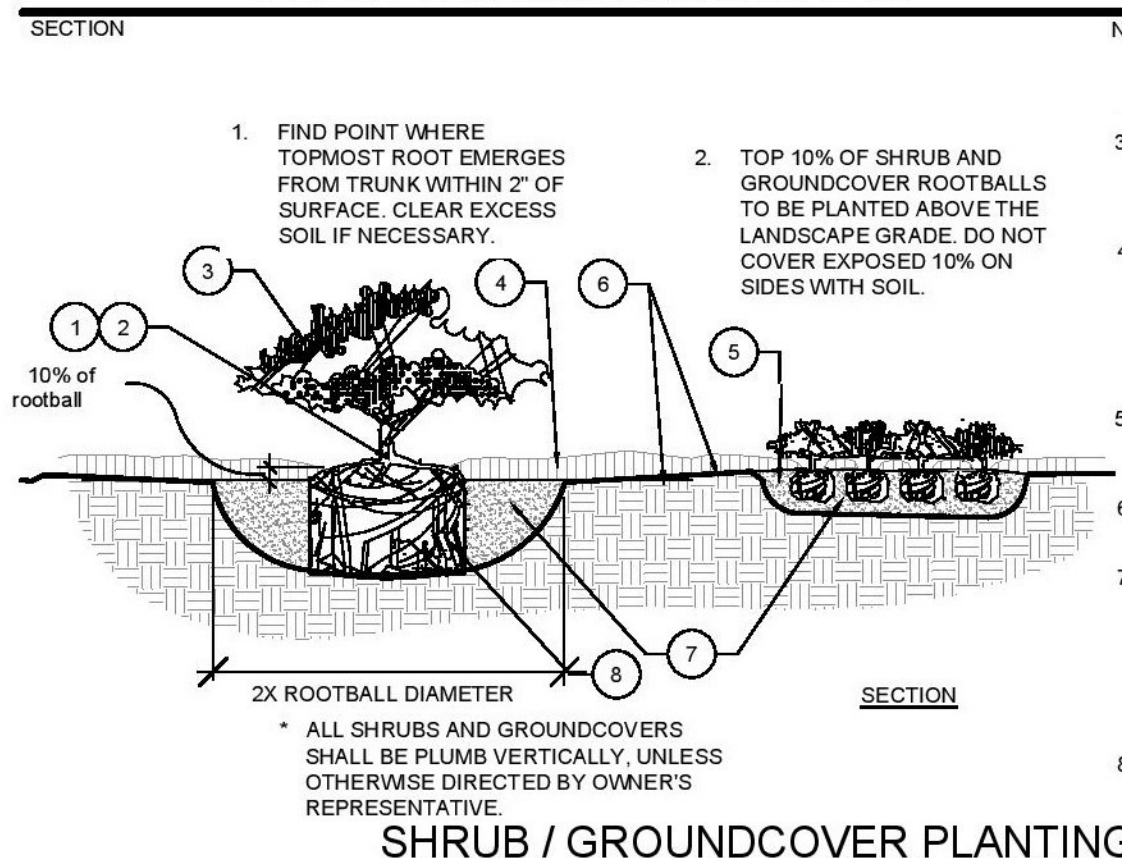
SA per plan Stenotaphrum secundatum St. Augustine 'Floritam' Solid sod

NOTE: * N = Florida Native; WW = Water Wise Drought tolerant

PLANTING DETAILS



PALM PLANTING AND STAKING



PREPARED BY:

FL REG. # 0000422



GEORGE BOTNER, PLA, AICP
LANDSCAPE ARCHITECTURE & PLANNING
4320 S E Cove Lake Circle, Suite # 104
Stuart, FL 34997 botnerg@aol.com
(954) 798-7158 (Cell) (772) 221-9558

107 N. 23rd Street Duplexes

Fort Pierce, Florida

FOR

EMILIE ALOUPTION

1450 SW DEMPARIO AVE
PORT ST. LUCIE, FL

APRIL 8, 2026

IRRIGATION PLAN

IRRIGATION SPECIFICATIONS

SYSTEM DESCRIPTION:

This is an automatic irrigation system. Water supply is a 1 HP 110V PUMP supplied by a 2" well (see plans). The system is looped and consists 3 (THREE) zones. Flow rate is a minimum of 53 GPM to the valves, which the Contractor shall verify.

SYSTEM PIPE:

All pipe shall be Class 200 PVC or heavier. System Main shall be Sch.40 PVC pipe. All fittings shall be solvent weld Sch.40 fittings unless otherwise indicated in these specifications. Do not use SxMIP adapters except for shrub risers. Class 200 PVC main line pipe. Main shall be pressure tested with all valves in place and prior to backfilling. Test shall be 100 PSI for one hour. Loss of 10 PSI within the hour shall constitute failure. Solvent weld fittings and pipe ends shall be cleaned with an all purpose PVC Pipe cleaner prior to applying glue. Main shall have a minimum of 24" of cover. All other pipe, laterals, etc. shall have a minimum 12" of cover. Backfill shall be free of debris and sharp objects. No rock larger than 3/4" shall be in contact with PVC pipe anywhere. All pipe above ground, with the exception of shrub risers, shall be galvanized, copper, bronze or ductile iron, and shall be painted with a flat black epoxy water proof paint. Shrub risers shall be Sch.40 or Sch.80 PVC and shall be painted with flat black epoxy paint.

1. Assembly for Solvent Weld PVC pipe:

- Cut square with PVC cutter, and deburr the cut prior to assembly.
- Clean PVC pipe with PVC cleaner prior to assembly.
- Use gray, heavy bodied, slow drying, high strength glue.
- Keep out of service for the length of time as specified by the Manufacturer of the PVC glue.

SLEEVES:

All pipe under paving (walks, planter walls and drives, etc.) shall be sleeved with Sch. 40 Galv. pipe. Sleeves shall extend beyond the edge of pavement and shall be marked. The water line shall be installed in sleeve prior to installation of the sleeve. Cap ends of water line during construction to prevent debris from entering. Sleeves under roads shall have a minimum cover of 18 inches.

SPRINKLERS:

All sprinklers shall be the type referred to in the Irrigation Key and shall be attached to the lateral with either flexible line (swing pipe) or a PVC swing joint such as those manufactured by Lasco, Rainbird or Dura Industries, specifically for irrigation use, being constructed with components utilizing Acme threads and o-ring seals. Pressure rating shall be 200 PSI, or greater, as stated by the manufacturer. Sprinklers using more than 4 GPM shall be connected utilizing PVC swing joints. Barbed fittings shall be same size as sprinkler inlet. Sprinklers shall be set flush with final grade and absolutely vertical. Use Stainless Steel risers on all rotor heads.

- Spray heads shall be Rainbird 1806, 6" pop-up heads with series 6, 8, 10 or 15 nozzles, unless otherwise specified in these drawings.

- Spray heads in shrub areas shall be shrub adapters on Sch.40 risers. Height to be established by landscape architect. This plan requires 18" risers. Risers shall NOT be used next to paved areas and pedestrian walks where they are exposed to damage. In these areas use 12" pop-ups. Paint shrub risers with water proof black epoxy paint.

CONTROLLERS:

RAINBIRD ESP LXME to operate 3 sections + master valve. Controller shall be located in the main building where specified by this plan. Grounding shall be equal to - or better than the manufacturer's recommendation. It shall also comply with the National Electrical Code. Both of these requirements preclude using the building or electrical supply line for grounding purposes. UL approved Ground Rod shall be utilized unless otherwise specified, or if the minimum resistance reading cannot be made. If minimum grounding cannot be made, utilize grounding plates until specified resistance is met.

RAIN SHUT-OFF DEVICE:

Install a rain shut-off device out of the range of the sprinklers as per State DER requirements. Submit manufacturers equipment sheet prior to installation of any such device.

ELECTRIC CONTROL VALVES:

RAINBIRD PGA 24V electric control valves. All valves shall be housed in 16" x 12" rectangular Carson 1419B valve boxes or larger, and installed as per details. Control Valve shall be rated at 150 PSI or higher. Use bottom inlet whenever possible.

CONTROL WIRE:

Control wire shall be UL approved, solid core, PE or PVC covered irrigation control wire. SIZE: Use a minimum of 14 gage control and 12 gage bond wire. All splices and connections shall be made at pull boxes or valve boxes. (No field splices). Communication wire shall be as recommended by manufacturer. All splices shall be made with 3M brand DBY - 6 Direct Burial Splice Kit. All wire to be encased in UL approved PVC conduit. All wire to be brought back to controller. Wire pull boxes shall be 10" round Ametek or other approved boxes. Wire which is not rated for direct burial shall be installed in water tight conduit with water tight junction boxes.

MAINTENANCE:

It is the contractors responsibility to maintain the system, repairing leaks, repairing broken heads, adjusting sprinkler heads, flushing system, etc. until final acceptance by the Owner. Contractor shall instruct Owners maintenance personnel as to maintenance requirements for this irrigation system. Site shall be cleaned daily of trash and debris.

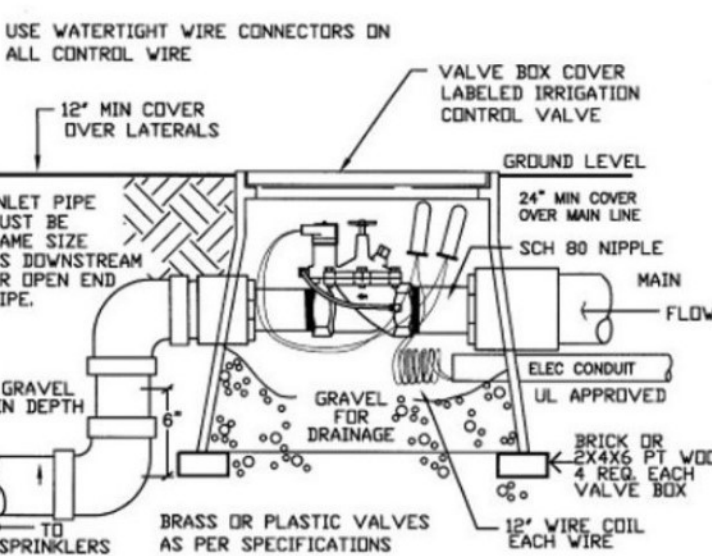
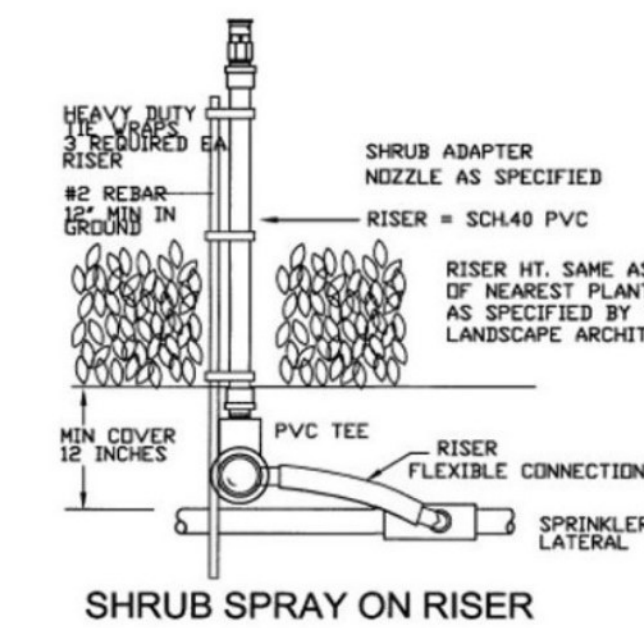
AS-BUILT DRAWINGS:

Contractor shall provide "as-built" drawings showing all changes. All valves and changes of direction on the main line shall have GPS coordinates noted on the as-built drawings. Controller program shall be part of this submission.

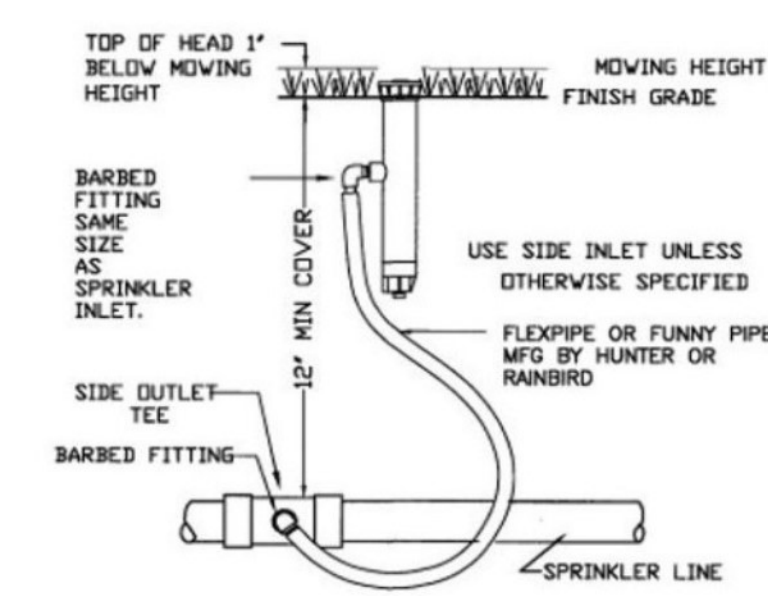
GUARANTEE:

The entire system shall be guaranteed for a period on one year from the time of final acceptance. All manufacturers written warranties and guarantees, as well as "as-built" drawings, maintenance and operational information, shall be turned over to the Owner prior to, and is a condition of final acceptance. Guarantee period shall not commence until all of the documents have been turned over to the Owners representative.

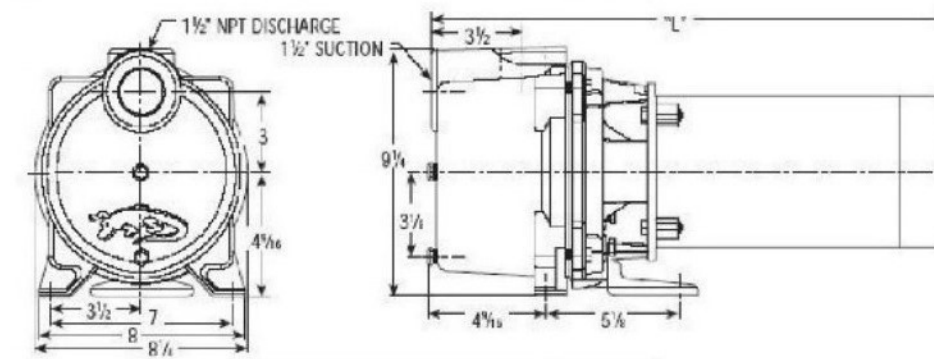
IRRIGATION DETAILS



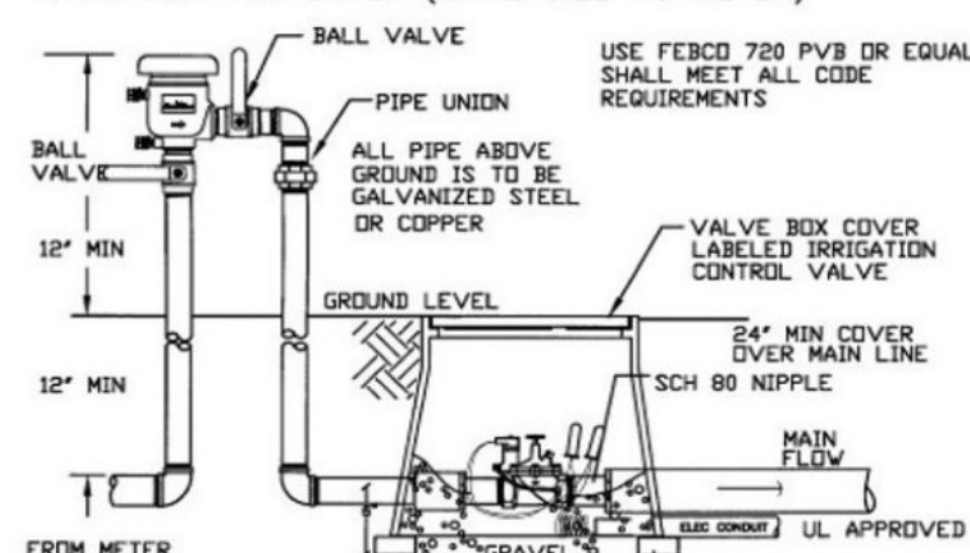
ELECTRIC REMOTE CONTROL VALVE WITH VALVE BOX



GT IRRI-GATOR Corrosion Resistant Self Priming Pumps MODEL : GT 10

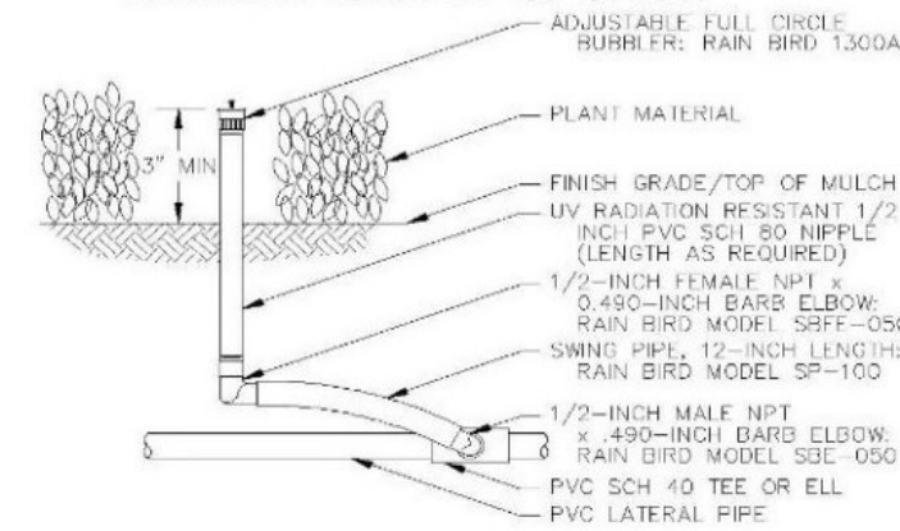


PVB PRESSURE VACUUM BREAKER BACKFLOW PREVENTER (SAME SIZE AS METER)



MASTER CONTROL VALVE WITH PVB and VALVE BOX

RAINBIRD 1806 POP-UP SPRAY

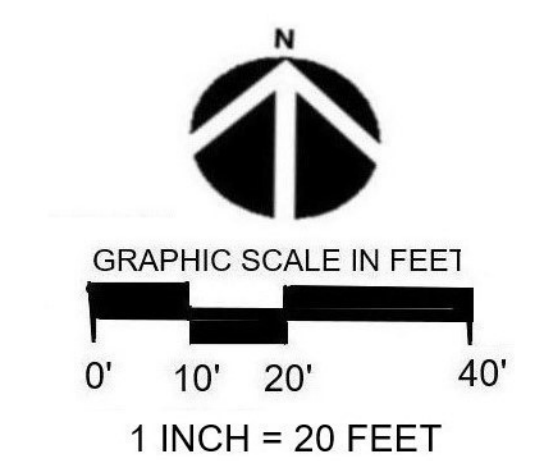
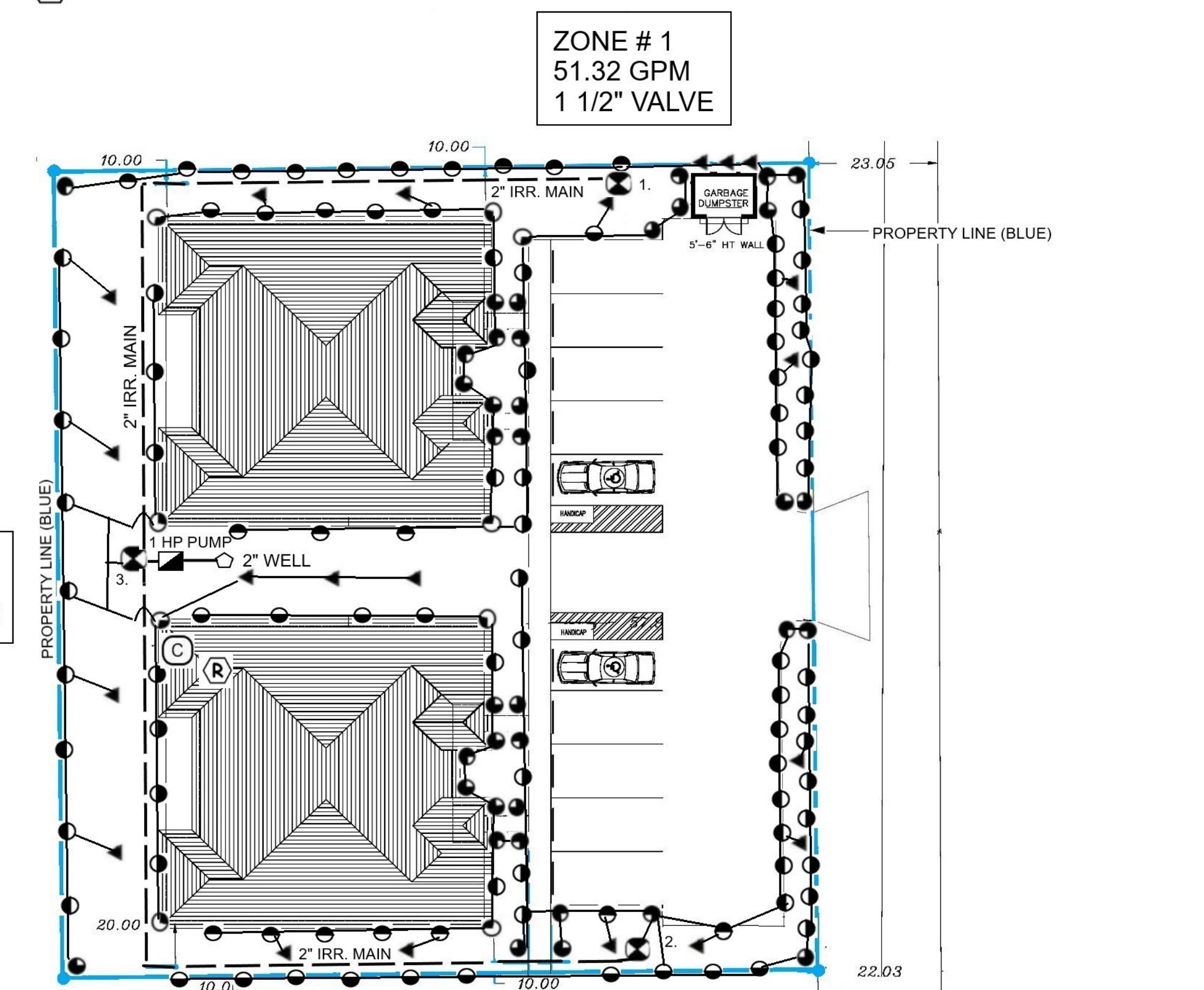


ADJUSTABLE FULL CIRCLE BUBBLER 1300A-F ON RISER

IRRIGATION KEY

- Pop-Up Rainbird 1806 Spray Head Series 15', 10', 8', 6', 5' Radius of Throw
- Full Circle Rainbird A17H Shrub Nozzle
- ◐ 3/4 Circle/Adjustable Rainbird A17AP Shrub Nozzle
- ◑ Half Circle Rainbird A17H Shrub Nozzle
- ◒ Quarter Circle Rainbird A17Q Shrub Nozzle
- ◓ Bubbler Rainbird 5CSTB. To be used with Shrub Adapter PA8S
- ⊞ 24 Volt Electric Control Valve
- Center Strip Rainbird A17CST Shrub Nozzle
- End Strip Rainbird A17EST Shrub Nozzle
- ⊙ ELECTRONIC CONTROLLER
- ⊚ RAIN SENSOR

NOTE: IRRIGATION PLANS ARE SCHEMATIC IN NATURE ALL VALVES AND PIPES SHALL BE LOCATED IN LANDSCAPE AREAS EXCEPT AT ROAD/PAVING CROSSINGS. All construction minimums shall be in conformance to Plumbing section of the South Florida Building Code, Appendix "F". They shall also be equal to, or greater, than the "Standards" as set forth by the F.I.S. FLORIDA IRRIGATION SOCIETY. Nothing herein or contained in the specifications is intended to be in conflict with any code compliance. Contractor shall comply with all code requirements.



PREPARED BY:

FL REG. # 0000422



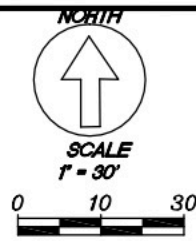
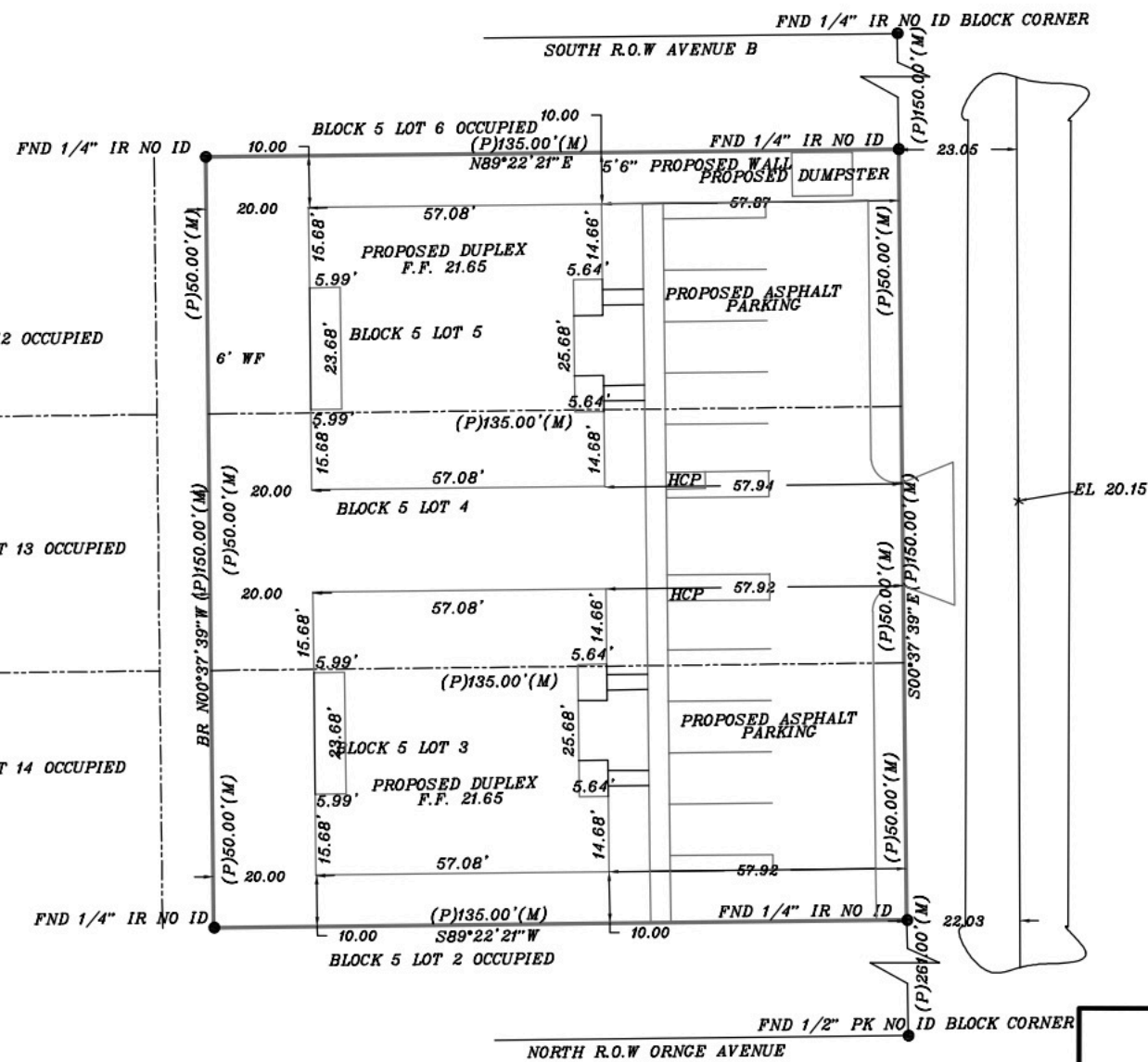
GEORGE BOTNER, PLA, AICP
LANDSCAPE ARCHITECTURE & PLANNING
 4320 S E Cove Lake Circle, Suite # 104
 Stuart, FL 34997 botnerg@aol.com
 (954) 798-7158 (Cell) (772) 221-9558

ROW - RIGHT-OF-WAY
 WPP - WOOD POWER POLE
 LB - LICENSED BUSINESS
 CL - CENTERLINE
 WM - WATER METER
 PG - PAGES
 MH - MANHOLE
 FIR - FOUND IRON ROD & CAP
 F.F. - FINISH FLOOR
 P - PLAT
 NAVD - NORTH AMERICAN VERTICAL DATUM
 GM - GAS METER
 EM - ELECTRIC METER
 BBQ - BARBEQUE
 BR - BEARING REFERENCE
 WF - WOOD FENCE
 HCP - HANDICAP PARKING
 I.R. - IRON ROD
 PP - POWER POLE
 FIR - FOUND IRON ROD
 FND - FOUND
 D - DEED
 M - MEASURED
 PB - PLATBOOK
 ID - IDENTIFICATION
 IP - IRON PIPE
 EL - ELEVATION
 CLF - CHAINLINK FENCE
 DW - DRIVEWAY
 SW - SIDEWALK
 CONC. - CONCRETE
 IRC - 1/2" IRON ROD & CAP
 CLI - CENTERLINE INTERSECTION
 N&D - NAIL AND DISK
 CBS - CONCRETE BLOCK & STUCCO

FORT PIERCE HEIGHTS BLOCK 5 LOTS 3, 4 AND 5
 AS RECORDED PLATBOOK 1 PAGE 39 IN RECORDS OF SAINT LUCIE COUNTY CLERK OF COURTS, FLORIDA
 SECTION 09 TOWNSHIP 35 SOUTH RANGE 40 EAST
 0.46 ACRES MORE OR LESS

PROPERTY ADDRESS: 107 N 23RD STREET, FORT PIERCE, FLORIDA

- LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS-OF-WAY AND/OR EASEMENTS OF RECORD NO SEARCH OF PUBLIC RECORDS HAS BEEN DONE BY THIS OFFICE.
- THIS SURVEY IS CERTIFIED ONLY TO THE NAMED INDIVIDUALS.
- ELEVATIONS SHOWN ARE NAVD 88 DESIGNATION A 356 EL 20.43, SAINT LUCIE COUNTY
- LEGAL DESCRIPTION SUPPLIED BY CLIENT.
- NO STRUCTURES THAT ARE ABOVE OR BENEATH THE SURFACE HAVE BEEN LOCATED OTHER THAN WHAT IS SHOWN HEREON.
- BEARINGS SHOWN HEREON ARE CONFORMED TO PLAT UNLESS OTHERWISE NOTED.
- ENCROACHMENTS OF UNDERGROUND FOUNDATION IMPROVEMENTS OR UTILITIES, NOT VISIBLE WERE NOT LOCATED AS PART OF THIS SURVEY UNLESS SHOWN HEREON.
- THIS MAP AND ALL SHEETS ATTACHED AND/OR REPRODUCTION THEREOF ARE NOT VALID WITHOUT THE DIGITAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- FLOOD ZONE X MAP PANEL 1211C0178J EFFECTIVE DATE 02/16/2012
- ALL MEASUREMENTS ARE IN ACCORDANCE WITH UNITED STATES STANDARD FEET.
- ADDITIONS AND OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- LAST DATE OF FIELD SURVEY: NOVEMBER 1, 2024
- BEARING REFERENCE WEST LINE OF LOT 3, 4, & 5 BEARS N00°37'39"W
- 6' WOODEN FENCE ENCROACHMENTS SHOWN



A.B. SURVEY SUPPLIES ENTERPRISES INC L.B. 6301
 342 S.W. CARTER AVENUE, PORT SAINT LUCIE, FLORIDA 34983
 PHONE NUMBER 772-267-0596
 EMAIL: SEAN.BACCHUS@MAIL.COM

SHEET
 NUMBER
 1 OF 1

JOB NUMBER:
 DATE: 11-01-2024
 DRAWN BY: S.B.
 FIELD BOOK:
 APPROVED BY:
 SCALE: 1" = 30'

TITLE: BOUNDARY SURVEY
 SKETCH OF SURVEY
 PROPOSED SITE PLAN

CLIENT:
 Emilie Alouption

DATE	REVISIONS	DESCRIPTION

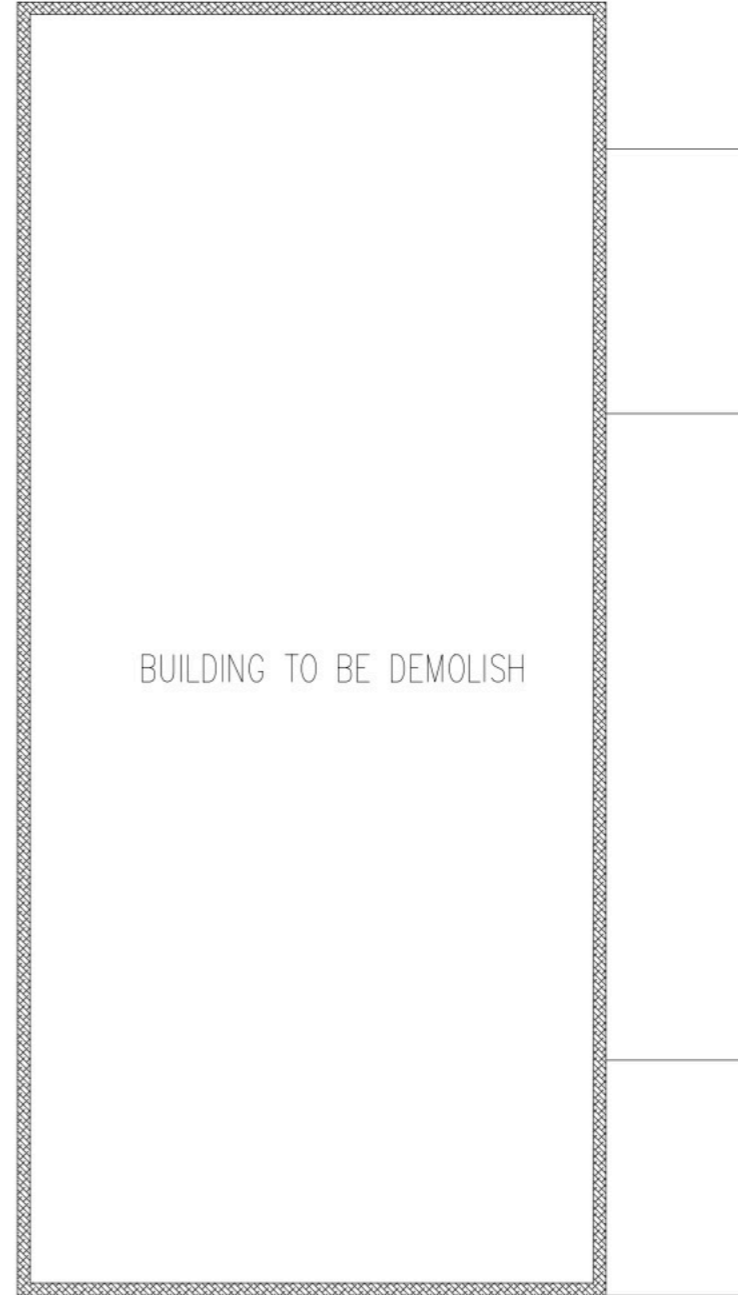


Digitally signed by
 Joseph J Lavetsky
 Date: 2025.08.06
 11:27:01 -04'00'

For The Firm
 JOSEPH J LAVETSKY P.S.M. LS 4275
 PAGES OR SHEETS COVERED BY THIS SEAL



EXISTING BUILDING
SCALE: NOT TO SCALE



DEMOLITION PLAN
SCALE: 3/8" = 1'-0"

ENGINEERING NOTES: ENGINEERING MEETS OR EXCEEDS 2023 FLORIDA BUILDING CODE, 8TH EDITION
MECH. PLUMB. ENERGY, ACCESSIBILITY, LIFE SAFETY, FIRE CODE AND NEC 2020
CONSTRUCTION 160MPH WIND SPEED, 2. BUILDING WIND EXPOSURE CATEGORY C AND WIND IMPORTANCE
MEETS OR EXCEEDS RESISTANCE AND CURRENT COUNTY BUILDING CODES

107 N 23rd ST
FORT PIERCE, FL 34950

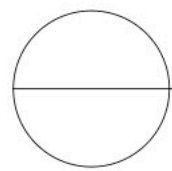
ENGINEER OF RECORD
JOSEPH SIMMONS, III, P.E.
FL. P.E. LIC. NO. 52101
7519 GRAMERCY DR
ORLANDO, FL 32818
407-454-1890
JOESIMMONS3@GMAIL.COM

DREAM DESIGN

DATE:	DRAWN BY:	REVISIONS:
	FR	
SCALE:	CHK BY:	
AS SHOWN	JS	



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RENDERING ELEVATION

SCALE: NOT TO SCALE

DREAM DESIGN

DATE:	DRAWN BY:	REVISIONS:
	FR	
SCALE	CHK BY	
AS SHOWN	JS	

ENGINEER OF RECORD
 JOSEPH SIMMONS, III, P.E.
 FL. P.E. LIC. NO. 52101
 7619 GRAMERCY DR
 ORLANDO, FL 32818
 407-454-1890
 JOESIMMONS3@GMAIL.CO

107 N 23rd ST
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 MECH PLUMB ENERGY ACCESSIBILITY LIFE SAFETY FIRE CODE AND NEC 2020
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