



GARLAND

NOTICE OF MEETING CITY OF GARLAND, TEXAS

PLAN COMMISSION
City Hall, Council Chambers
William E. Dollar Municipal Building
200 N. Fifth Street
Garland, Texas
November 7, 2022
7:00 p.m.

A meeting of the Plan Commission of the City of Garland, Texas will be held at the aforementioned location, date, and time to discuss and consider the following agenda items.

A pre-meeting will begin at 5:30 p.m. at the same location as the regular meeting. The agenda for the pre-meeting is the same as for the regular meeting, and may include additional items as set forth below.

INVOCATION AND PLEDGE OF ALLEGIANCE: It is the custom and tradition of the members of the Plan Commission to have an invocation and recital of the Pledge of Allegiance prior to the beginning of the meeting. Members of the audience are invited to participate. However, members of the audience are not required to participate. The decision to participate is strictly a matter of personal choice and has no bearing on matters to be considered by the Plan Commission and will not affect the decisions to be made during the meeting.

The meeting will be broadcast on City of Garland Government Access Television (CGTV). CGTV is available via GarlandTX.gov, channel 16 (Spectrum), Channel 44 (Frontier), and channel 99 (AT&T U-verse). Meetings are broadcast online via live-streaming, on-demand, and air on CGTV with several rebroadcasts during the week of the meeting.

Public Comments

Your comments must relate to an item on this agenda - non-germane comments are not in order. Time limits will be imposed by the Chairman as appropriate to the nature of the

agenda item. Generally, public speakers are given three minutes.

IN-PERSON COMMENTS: Registration will be required for any citizen wishing to speak. Speakers shall register using the electronic registration kiosks in the lobby of City Hall.

Garland City Hall and Council Chambers are wheelchair accessible. Special parking is available on the east side of City Hall and on Austin & State Street west of City Hall. Persons with disabilities who plan to attend this meeting and who may need auxiliary aids or services must contact the City Secretary's Office at (972) 205-2404 at least two working days prior to the meeting so that appropriate arrangements can be made. **BRAILLE IS NOT AVAILABLE.**

If the Plan Commission adjourns into executive session during this meeting, the executive session will be conducted between and among the members of the Plan Commission and relevant City staff. Public access to that meeting is prohibited by State law.

CONSENT AGENDA

All items under this section are recommended for approval by a single motion of the Plan Commission, without discussion. The Plan Commission has had the opportunity to review each of these items during a pre-meeting. The Chairman will announce the agenda and provide an opportunity for members of the audience and the Plan Commission to request that an item be removed and considered separately.

1. MINUTES

- a. Consider approval of the Plan Commission Minutes for the October 24, 2022 meeting.

2. PLATS

- a. P 22-38 Realeins Addition Replat
- b. P 22-39 Lofts iThirty Addition Conveyance Plat

ITEMS FOR INDIVIDUAL CONSIDERATION

Speaker Regulations:

Anyone wishing to speak for, against, or on agenda items must fill out a speaker card and give it to the Plan Commission Secretary before speaking

(cards are located at the entrance to the Council Chambers). The Chairman will recognize speakers; he may impose a time limit and may provide for rebuttal. All comments and testimony are to be presented from the podium.

3. ZONING

- a.** Consideration of the application of **Altar Group**, requesting approval of a Specific Use Provision for an Automated/Rollover Car Wash Use. This property is located at 1501 Northwest Highway. (District 5) (File Z 22-46 – Specific Use Provision) (This item was postponed from the October 10, 2022 Plan Commission meeting per the applicant’s request.)
- b.** Consideration of the application of **Altar Group**, requesting approval of a Plan for an Automated/Rollover Car Wash on a property zoned Community Retail (CR) District. This property is located at 1501 Northwest Highway. (District 5) (File Z 22-46 – Plan) (This item was postponed from the October 10, 2022 Plan Commission meeting per the applicant’s request.)
- c.** Consideration of the application of **Atlantic Urbana Acquisition Company II, LLC**, requesting approval of a Change in Zoning from Planned Development (PD) District 19-40 for Single-Family Use to a Planned Development (PD) District for Multi-Family-1 (MF-1) Use. This property is located at 2201 East Miller Road and 2370 East Centerville Road. (District 2) (File Z 21-45 – Zoning)
- d.** Consideration of the application of **Atlantic Urbana Acquisition Company II, LLC**, requesting approval of a Detail Plan for Multi-Family development. This property is located at 2201 East Miller Road and 2370 East Centerville Road. (District 2) (File Z 21-45 – Detail Plan)
- e.** Consideration of the application of **JC Collision**, requesting approval of a Specific Use Provision for Automobile Sales, New or Used. This property is located at 2905 Forest Lane. (District 6) (File Z 22-39 – Specific Use Provision)
- f.** Consideration of the application of **JC Collision**, requesting approval of a Plan for Automobile Sales, New or Used on a property zoned Industrial (IN) District. This property is located at 2905 Forest Lane. (District 6) (File Z 22-39 – Plan)
- g.** Consideration of the application of **Digital Garland Ferris, LP**, requesting approval of a Detail Plan for a Data Center. This item may include amendments to Planned Development (PD) District 20-17. This property is located at 805 Holford Road. (District 1) (File Z 22-47 – Detail Plan)

4. MISCELLANEOUS

- a.** Consideration and possible recommendation of a Thoroughfare Plan amendment regarding Ferris Road.

5. ADJOURN

NOTICE: The Plan Commission may recess from the open session and convene in a closed session if the discussion of any of the listed agenda items concerns matters regarding privileged and unprivileged client information deemed confidential by Rule 1.05 of the Texas Disciplinary Rules of Professional Conduct. Sec. 551.071, Tex. Gov't Code.

NOTE: A quorum of the City Council may be in attendance and may or may not participate in the discussions of the Committee or board.



GARLAND

Plan Commission

1. a.

Meeting Date: 11/07/2022

Item Title: Plan Commission Minutes for October 24, 2022

Summary:

Consider approval of the Plan Commission Minutes for the October 24, 2022 meeting.

Attachments

Plan Commission Minutes for October 24, 2022

Minutes of the Garland Plan Commission Meeting

The Plan Commission of the City of Garland met in regular session on Monday, October 24, 2022 at 7:00 p.m., in the Council Chambers at the William E. Dollar Municipal Building (City Hall), with the following members present:

COMMISSION PRESENT

Chair	Scott Roberts
1 st Vice-Chair	Christopher Ott
2 nd Vice-Chair	Doug Williams
Commissioner	Wayne Dalton
Commissioner	Julius Jenkins
Commissioner	Stephanie Paris
Commissioner	Rich Aubin
Commissioner	Michael Rose

STAFF PRESENT

Deputy City Attorney	Mike Betz
Recording Secretary	Tracy Allmendinger
Planning Director	Will Guerin
Lead Development Planner	Nabiha Ahmed

CONSENT AGENDA

All items marked with asterisks (**) on the Consent Agenda were voted on at the beginning of the meeting. Chair Roberts read those items into the record. **Motion** was made by Commissioner Paris to **approve** the Consent Agenda as presented, seconded by Commissioner Dalton. **Motion carried: 8 Ayes, 0 Nays.**

MINUTES

1a. APPROVED** Consider approval of the Plan Commission Minutes for the October 10, 2022 meeting.

PLATS

2a. APPROVED** P 22-36 Bobtown Commons First Replat

2b. APPROVED** P 22-37 McCree Industrial District Addition Second Replat

MISCELLANEOUS

- 3a. APPROVED**** Consider cancellation of the December 25, 2023 Plan Commission Meeting.

ZONING

- 4a. APPROVED** Consideration of the application of **Maxwell Fisher, ZoneDev on behalf of HCA Health Care (Kyle Marden)**, requesting approval of an Amendment to Planned Development (PD) District 17-18 for Community Retail Uses. This property is located at 3318 West Buckingham Road. (District 6) (File Z 22-53 – Zoning)

The applicant Maxwell Fisher, 2502 Grandview, Richardson, Texas, provided an overview of the request and remained available for questions.

There was discussion between the Plan Commission and Mr. Fisher for clarification to the specific type of use and ambulance assignment.

Mr. Fisher stated the use being requested is for a stand-alone Emergency Care facility and clarified that an ambulance would not be coming to this facility, but parking is available if one is required to come to the facility.

Motion was made by Commissioner Williams to approve the request as presented. Seconded by Commissioner Rose.
Motion carried: 8 Ayes, 0 Nay.

- 4b. APPROVED** Consideration of the application of **Maxwell Fisher, ZoneDev on behalf of HCA Health Care (Kyle Marden)**, requesting approval of a Detail Plan for a Medical and Dental Office/Clinic Use. This property is located at 3318 West Buckingham Road. (District 6) (File Z 22-53– Detail Plan)

Motion was made by Commissioner Williams to approve the request as presented. Seconded by Commissioner Rose.
Motion carried: 8 Ayes, 0 Nay.

ADJOURNMENT

There being no further business to come before the Plan Commission, the meeting adjourned at 7:13 p.m.

City of Garland, Texas

Approved:

Chairman

Attested:

Recording Secretary



GARLAND

Plan Commission

2. a.

Meeting Date: 11/07/2022

Item Title: P 22-38 Realeins Addition Replat

Summary:

P 22-38 Realeins Addition Replat

Attachments

P 22-38 Realeins Addition Replat Report and Attachments

Planning Report

File No: P 22-38 /District 6

Agenda Item:

Meeting: Plan Commission

Date: November 7, 2022



GARLAND

TEXAS MADE HERE

REPLAT

Realeins Addition

LOCATION

3318 W Buckingham Road

ZONING

Planned Development (PD) 17-18 District

NUMBER OF LOTS

Two (2) lots

ACREAGE

14.477 Acres

BACKGROUND

The applicant requests approval of the Replat. The purpose of the Replat is to subdivide an existing lot into two (2) new lots.

STAFF RECOMMENDATION

Approval of the Replat. All technical requirements have been addressed and the plat is in order as submitted.

ADDITIONAL INFORMATION

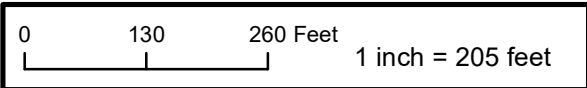
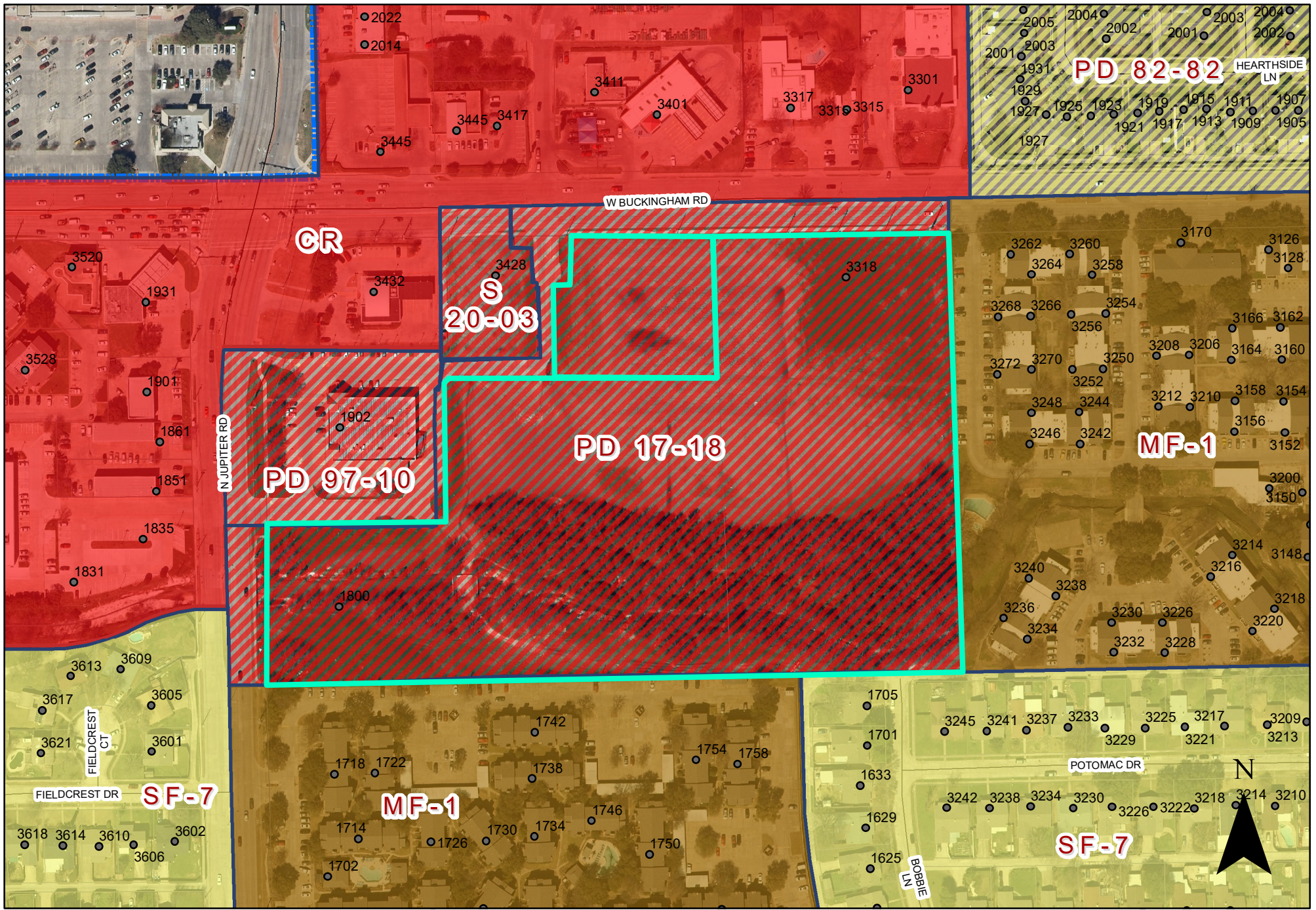
- i. Location Map
- ii. 24 x 36 Plat

PREPARED BY:

Matthew Wolverton
Development Planner
Planning and Development
972-205-2454
mwolverton@garlandtx.gov

REVIEWED BY:

Will Guerin, AICP
Director of Planning



PLAT MAP P 22-38

 INDICATES AREA OF REQUEST

3318 West Buckingham Road

GRAPHIC SCALE
 (IN FEET)
 1 inch = 50 ft.

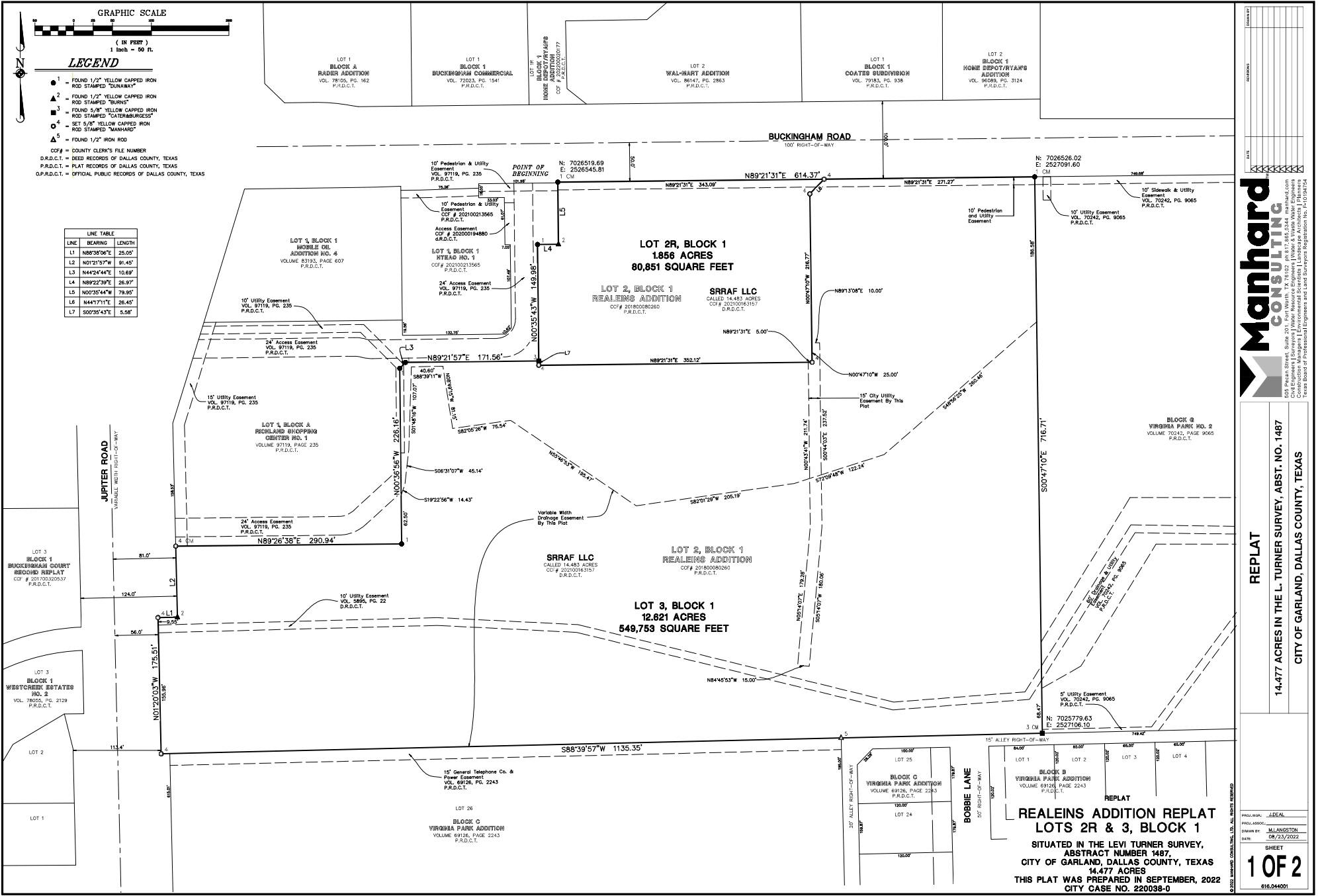
LEGEND

- 1 FOUND 1/2" YELLOW CAPPED IRON ROD STAMPED "TURNWAY"
- ▲ 2 FOUND 1/2" YELLOW CAPPED IRON ROD STAMPED "URNS"
- ▲ 3 FOUND 5/8" YELLOW CAPPED IRON ROD STAMPED "CATERMBOURGSES"
- ▲ 4 SET 5/8" YELLOW CAPPED IRON ROD STAMPED "MANHOLE"
- ▲ 5 FOUND 1/2" IRON ROD

CO# = COUNTY CLERK'S FILE NUMBER
 D.R.D.C.T. = DEED RECORDS OF DALLAS COUNTY, TEXAS
 P.R.D.C.T. = PLAT RECORDS OF DALLAS COUNTY, TEXAS
 O.P.R.D.C.T. = OFFICIAL PUBLIC RECORDS OF DALLAS COUNTY, TEXAS

LINE TABLE

LINE	BEARING	LENGTH
L1	N88°35'06"E	25.05'
L2	N01°21'57"W	91.45'
L3	N44°24'44"E	10.69'
L4	N89°22'39"E	26.97'
L5	N00°35'44"W	78.95'
L6	N44°17'11"E	28.45'
L7	S00°35'43"E	5.56'



Manhard CONSULTING
 688 Buckle Street, Suite 200
 Carrollton, Texas 75006
 Civil Engineers | Surveyors | Water Resource Engineers | Flood & Storm Water Engineers
 Texas Board of Professional Engineers and Land Surveyors License No. 14108724

REPLAT
 14.477 ACRES IN THE L. TURNER SURVEY, ABST. NO. 1487
 CITY OF GARLAND, DALLAS COUNTY, TEXAS

**REALEINS ADDITION REPLAT
 LOTS 2R & 3, BLOCK 1**
 SITUATED IN THE LEVI TURNER SURVEY,
 ABSTRACT NUMBER 1487,
 CITY OF GARLAND, DALLAS COUNTY, TEXAS
 14.477 ACRES
 THIS PLAT WAS PREPARED IN SEPTEMBER, 2022
 CITY CASE NO. 220038-0

OWNER'S CERTIFICATE

BEGIN A 14.477 ACRE TRACT OF LAND SITUATED IN THE LEVI TURNER SURVEY, ABSTRACT NUMBER 1487, DALLAS COUNTY, TEXAS AND BEING ALL OF THAT CALLED 14.473 ACRE TRACT OF LAND DESCRIBED BY DEED TO SRRAF, LLC, RECORDED IN COUNTY CLERK'S FILE NUMBER 20210018157, DEED RECORDS, DALLAS COUNTY, TEXAS AND ALL OF LOT 2, BLOCK 1, REALEINS ADDITION, AN ADDITION TO THE CITY OF GARLAND ACCORDING TO THE PLAT THEREOF RECORDED IN COUNTY CLERK'S FILE NUMBER 20180080260, PLAT RECORDS, DALLAS COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2 INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "DUNAWAY" FOUND AT THE NORTHWEST CORNER OF SAID CALLED 14.473 ACRE TRACT, SAID IRON ROD ALSO BEING THE NORTHEAST CORNER OF LOT 1, BLOCK A, RICHLAND SHOPPING CENTER NO. 1, AN ADDITION TO THE CITY OF GARLAND ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 97119, PAGE 235, PLAT RECORDS, DALLAS COUNTY, TEXAS AND BEING IN THE SOUTH RIGHT-OF-WAY LINE OF BUCKINGHAM ROAD (100' RIGHT-OF-WAY);

THENCE NORTH 89 DEGREES 21 MINUTES 31 SECONDS EAST, 614.37 FEET ALONG THE NORTH LINE OF SAID CALLED 14.473 ACRE TRACT AND SAID SOUTH RIGHT-OF-WAY LINE OF BUCKINGHAM ROAD TO A 5/8 INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "DUNAWAY" FOUND AT THE NORTHEAST CORNER OF SAID CALLED 14.473 ACRE TRACT, SAID IRON ROD ALSO BEING THE NORTHWEST CORNER OF BLOCK C OF VIRGINIA PARK NO. 2, AN ADDITION TO THE CITY OF GARLAND ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 70242, PAGE 9065, PLAT RECORDS, DALLAS COUNTY, TEXAS;

THENCE SOUTH 00 DEGREES 47 MINUTES 10 SECONDS EAST, 716.71 FEET ALONG THE EAST LINE OF SAID CALLED 14.473 ACRE TRACT AND THE WEST LINE OF SAID BLOCK C TO A 5/8 INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" FOUND AT THE SOUTHEAST CORNER OF SAID CALLED 14.473 ACRE TRACT, SAID IRON ROD ALSO BEING THE SOUTHWEST CORNER OF SAID BLOCK G AND BEING IN THE NORTH LINE OF VIRGINIA PARK ADDITION, AN ADDITION TO THE CITY OF GARLAND, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 69126, PAGE 2243, PLAT RECORDS, DALLAS COUNTY, TEXAS;

THENCE SOUTH 88 DEGREES 39 MINUTES 57 SECONDS WEST, 1135.35 FEET ALONG THE SOUTH LINE OF SAID CALLED 14.473 ACRE TRACT AND SAID NORTH LINE OF VIRGINIA PARK ADDITION TO A 5/8 INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "MANHARD" SET AT THE SOUTHWEST CORNER OF SAID CALLED 14.473 ACRE TRACT, SAID IRON ROD ALSO BEING IN THE EAST RIGHT-OF-WAY LINE OF JUPITER ROAD (VARIABLE WIDTH RIGHT-OF-WAY);

THENCE NORTH 01 DEGREES 20 MINUTES 03 SECONDS WEST, 175.51 FEET ALONG THE WEST LINE OF SAID CALLED 14.473 ACRE TRACT AND SAID EAST RIGHT-OF-WAY LINE OF JUPITER ROAD TO A 5/8 INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "MANHARD" SET;

THENCE NORTH 88 DEGREES 38 MINUTES 06 SECONDS EAST, 25.05 FEET, CONTINUING ALONG SAID WEST LINE OF THE CALLED 14.473 ACRE TRACT AND SAID EAST RIGHT-OF-WAY LINE OF JUPITER ROAD TO A 1/2 INCH IRON ROD WITH RED PLASTIC CAP STAMPED "BURNS" FOUND;

THENCE NORTH 01 DEGREES 21 MINUTES 57 SECONDS WEST, 91.45 FEET, CONTINUING ALONG SAID WEST LINE OF THE CALLED 14.473 ACRE TRACT AND SAID SOUTH RIGHT-OF-WAY LINE OF JUPITER ROAD TO A 5/8 INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "MANHARD" SET AT THE SOUTHWEST CORNER OF LOT 1, BLOCK A, RICHLAND SHOPPING CENTER NO. 1, AN ADDITION TO THE CITY OF GARLAND, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 97119, PAGE 235, PLAT RECORDS, DALLAS COUNTY, TEXAS;

THENCE NORTH 89 DEGREES 26 MINUTES 38 SECONDS EAST, 290.94 FEET, CONTINUING ALONG SAID WEST LINE OF THE CALLED 14.473 ACRE TRACT AND ALONG A SOUTH LINE OF SAID LOT 1 TO A 5/8 INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "DUNAWAY" FOUND AT THE SOUTHERLY SOUTHEAST CORNER OF SAID LOT 1;

THENCE NORTH 00 DEGREES 36 MINUTES 56 SECONDS WEST, 226.16 FEET, CONTINUING ALONG SAID WEST LINE OF THE CALLED 14.473 ACRE TRACT AND ALONG AN EAST LINE OF SAID LOT 1 TO A 5/8 INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "DUNAWAY" FOUND;

THENCE NORTH 44 DEGREES 24 MINUTES 44 SECONDS EAST, 10.69 FEET, CONTINUING ALONG SAID WEST LINE OF THE CALLED 14.473 ACRE TRACT AND ALONG AN EAST LINE OF SAID LOT 1 TO A 5/8 INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "DUNAWAY" FOUND;

THENCE NORTH 89 DEGREES 21 MINUTES 57 SECONDS EAST, 171.56 FEET, CONTINUING ALONG SAID WEST LINE OF THE CALLED 14.473 ACRE TRACT AND ALONG A SOUTH LINE OF SAID LOT 1 TO A 5/8 INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" FOUND;

THENCE NORTH 00 DEGREES 35 MINUTES 43 SECONDS WEST, 149.98 FEET, CONTINUING ALONG SAID WEST LINE OF THE CALLED 14.473 ACRE TRACT AND ALONG AN EAST LINE OF SAID LOT 1 TO A 5/8 INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "DUNAWAY" FOUND;

THENCE NORTH 89 DEGREES 22 MINUTES 39 SECONDS EAST, 26.97 FEET, CONTINUING ALONG SAID WEST LINE OF THE CALLED 14.473 ACRE TRACT AND ALONG SAID EAST LINE OF LOT 1 TO A 1/2 INCH IRON ROD FOUND;

THENCE NORTH 00 DEGREES 35 MINUTES 44 SECONDS WEST, 79.95 FEET, CONTINUING ALONG SAID WEST LINE OF THE CALLED 14.473 ACRE TRACT AND ALONG SAID EAST LINE OF LOT 1 TO THE POINT OF BEGINNING AND CONTAINING 630,804 SQUARE FEET OR 14.477 ACRES OF LAND, MORE OR LESS.

OWNER'S DEDICATION

NOW THEREFORE, KNOW ALL BY THESE PRESENTS:

THAT SRRAF, LLC, THE OWNER OF THE PROPERTY DESCRIBED IN THIS PLAT DOES HEREBY ADOPT THIS PLAT, DESIGNATING THE PROPERTY AS REALEINS ADDITION REPLAT, AN ADDITION TO THE CITY OF GARLAND, DALLAS COUNTY, TEXAS AND DOES HEREBY DEDICATE IN FEET SIMPLE AND TO THE PUBLIC USE FOREVER, THE STREETS AND ALLEYS SHOWN THEREON AND DOES FURTHER DEDICATE TO THE PUBLIC USE FOREVER THE EASEMENTS SHOWN THEREON FOR THE PURPOSES INDICATED. ALL EASEMENTS DEDICATED BY THIS PLAT SHALL BE OPEN TO, WITHOUT LIMITATION, ALL PUBLIC AND PRIVATE UTILITIES USING OR DESIRING TO USE THE SAME FOR THE PURPOSES DEDICATED, NO BUILDING, FENCE, TREE, SHRUB, OR OTHER STRUCTURE, IMPROVEMENT OR GROWTH SHALL BE CONSTRUCTED, RECONSTRUCTED OR PLACED UPON, OVER OR ACROSS ANY EASEMENT DEDICATED BY THIS PLAT. ANY PUBLIC OR PRIVATE UTILITY SHALL HAVE: (1) THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR ANY PART OF ANY BUILDING, FENCE, TREE, SHRUB, OR OTHER STRUCTURE, IMPROVEMENT OR GROWTH WHICH IN ANY WAY MAY ENLARGE OR INTERFERE WITH THE CONSTRUCTION, RECONSTRUCTION, MAINTENANCE, OPERATION OR EFFICIENCY OF SUCH UTILITY; AND (2) THE RIGHT OF INGRESS AND EGRESS TO OR FROM AND UPON SUCH EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING AND ADDING TO, ENLARGING, OR REMOVING ALL OR PARTS OF ITS OPERATION WITHOUT THE NECESSITY AT ANY TIME OF PROOBUING THE PERMISSION OF ANYONE. THE MAINTENANCE OF PAVING ON UTILITY EASEMENTS AND FIRE LANES IS THE RESPONSIBILITY OF THE PROPERTY OWNER.

ALL UTILITY EASEMENTS DEDICATED BY THIS PLAT SHALL ALSO INCLUDE AN ADDITIONAL AREA OF WORKING SPACE FOR CONSTRUCTION, RECONSTRUCTION, ADDITIONS, ENLARGEMENTS, AND MAINTENANCE INCLUDING SUCH ADDITIONAL AREA NECESSARY FOR INSTALLATION AND MAINTENANCE OF MANHOLES, CLEANOUTS, FIRE HYDRANTS, WATER SERVICES AND WASTEWATER SERVICES FROM THE MAIN TO THE CURB OR PAVEMENT LINE.

THIS PLAT APPROVED SUBJECT TO ALL APPLICABLE ORDINANCE, RULES, REGULATIONS AND RESOLUTIONS OF THE CITY OF GARLAND, TEXAS.

WITNESS, MY HAND AT GARLAND, TEXAS, THIS _____ DAY OF _____, 20____.

BY: SRRAF, LLC

NAME: _____
TITLE: _____

STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION AND UNDER THE AUTHORITY THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC FOR AND IN THE STATE OF TEXAS

MY COMMISSION EXPIRES: _____

SURVEYOR'S AFFIRMATION

I, JEREMY LUKE DEAL, A REGISTERED PROFESSIONAL LAND SURVEYOR, LICENSED BY THE STATE OF TEXAS, AFFIRM THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, FROM RECORDED DOCUMENTATION, EVIDENCE COLLECTED ON THE GROUND DURING FIELD OPERATIONS AND OTHER RELIABLE DOCUMENTATION; AND THAT THIS PLAT SUBSTANTIALLY COMPLIES WITH THE RULES AND REGULATIONS OF THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS, TEXAS LOCAL GOVERNMENT CODE, CHAPTER 212, AND THE SUBDIVISION RULES AND REGULATIONS OF THE CITY OF GARLAND, TEXAS. I FURTHER AFFIRM THAT MODIFICATION SHOWN HEREON WAS EITHER FOUND OR PLACED AND IS IN SUBSTANTIAL COMPLIANCE WITH THE CITY OF GARLAND DEVELOPMENT CODE; AND THAT THE DIGITAL DRAWING FILE ACCOMPANYING THIS PLAT IS A PRECISE REPRESENTATION OF THIS SIGNED FINAL PLAT.

DATED THIS _____ DAY OF _____, 20____.

JEREMY LUKE DEAL
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 5696

STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION AND UNDER THE AUTHORITY THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC FOR AND IN THE STATE OF TEXAS

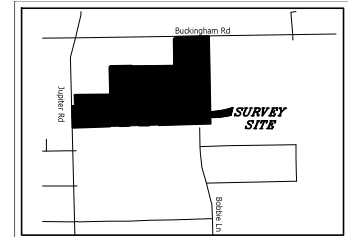
MY COMMISSION EXPIRES: _____

APPROVED AND ACCEPTED FOR THE CITY OF GARLAND THIS _____ DAY OF _____ BY THE CITY PLAN COMMISSION OF THE CITY OF GARLAND, TEXAS.

DIRECTOR OF PLANNING _____

CHAIRMAN OF PLAN COMMISSION _____

THE APPROVAL OF THIS PLAT IS CONTINGENT UPON THE PLAT BEING FILED WITH THE COUNTY CLERK OF DALLAS COUNTY WITHIN 180 DAYS FROM THE ABOVE DATE.



LOCATION MAP
NOT TO SCALE

SURVEYOR'S NOTES

- 1. ALL UTILITIES SERVING THE SUBJECT PROPERTY (WATER, SANITARY SEWER, STORM DRAIN, ELECTRIC, GAS) ENTER AND EXIT THE SUBJECT PROPERTY THROUGH PUBLIC RIGHTS-OF-WAY OR THROUGH EASEMENTS SPECIFICALLY DEDICATED FOR EACH UTILITY'S USE.
- 2. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES SHOWN HEREON. THE UNDERGROUND UTILITIES HAVE BEEN LOCATED FROM UTILITY PLANS AND THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE LOCATION INDICATED, ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED OR SCALED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.
- 3. THERE WAS NO OBSERVED EVIDENCE OF RECENT EARTH MOVING, WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE TIME OF THE FIELD SURVEY OTHER THAN THAT ASSOCIATED WITH THE RECENT CONSTRUCTION OF IMPROVEMENTS ON THE PROPERTY.
- 4. THE SURVEYOR IS UNAWARE OF ANY PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES. THERE WAS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AT THE TIME OF THE FIELD SURVEY OTHER THAN THAT ASSOCIATED WITH THE RECENT CONSTRUCTION OF IMPROVEMENTS ON THE PROPERTY.
- 5. EASEMENTS SHOWN ARE FROM THE RECORDED PLAT OF THE PROPERTY UNLESS OTHERWISE NOTED.
- 6. THE SKETCH AND THE SURVEY ON WHICH IT IS BASED EMBRACE THE SAME PROPERTY DESCRIBED IN CHICAGO TITL INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE, OF NO. 105-10009-11A2, DATED NOVEMBER 10, 2021.
- 7. THE PROPERTY HAS DIRECT LEGAL ACCESS TO W BUCKINGHAM ROAD A PUBLIC RIGHTS-OF-WAY.
- 8. PROPERTY OWNERS OF CORNER LOTS SHALL MAINTAIN SIGHT VISIBILITY TRIANGLES IN ACCORDANCE WITH CHAPTER 808 OF THE TECHNICAL STANDARDS MANUAL OF THE CITY OF GARLAND, TEXAS.
- 9. THIS REPLAT IS APPROVED SOLELY FOR THE PURPOSE OF DEFINING LOTS AND OTHER INTERESTS IN THE LAND DESCRIBED HEREIN. NO BUILDING PERMIT, CERTIFICATE OF OCCUPANCY, OR OTHER DEVELOPMENT APPROVAL SHALL BE ISSUED OR IS HEREBY INTENDED, NOR SHALL PERMANENT PUBLIC UTILITY SERVICES BE PROVIDED TO ANY LOT DESCRIBED ON THIS REPLAT UNTIL A FINAL PLAT IS APPROVED, FILED OF RECORD, AND THE PUBLIC IMPROVEMENTS SHOWN THEREON HAVE BEEN ACCEPTED BY ACCORDANCE WITH THE PROVISIONS OF THE ORDINANCES OF THE CITY OF GARLAND, TEXAS.
- 10. EACH LOT CORNER IS MONUMENTED BY A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "MANHARD CONSULTING" UNLESS INDICATED OTHERWISE.
- 11. SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE CITY OF GARLAND DEVELOPMENT CODE AND IS SUBJECT TO WITHDRAWAL OF UTILITIES AND BUILDING PERMITS.

REPLAT

**REALEINS ADDITION REPLAT
LOTS 2R & 3, BLOCK 1**

SITUATED IN THE LEVI TURNER SURVEY,
ABSTRACT NUMBER 1487,
CITY OF GARLAND, DALLAS COUNTY, TEXAS
14.477 ACRES

THIS PLAT WAS PREPARED IN SEPTEMBER, 2022
CITY CASE NO. 220098-0

BASIS OF BEARINGS

COORDINATES AND BEARINGS ARE BASED UPON THE TEXAS COORDINATE SYSTEM OF 1983, NORTH AZIMUTH, LINE (4902), AS ESTABLISHED BY A VERTICAL REFERENCE STATION (VRS) GLOBAL NAVIGATION SATELLITE SYSTEM.

SURVEYOR

MANHARD CONSULTING
505 PECAN STREET, SUITE 201
FORT WORTH, TEXAS 76102

OWNER

SRRAF, LLC
13151 EMILY ROAD, SUITE 200
DALLAS, TEXAS 75240
CONTACT: KADI AHMASH LILIAH
PH: 214-676-0617

Table with columns for DATE, REVISIONS, and other tracking information.

Manhard CONSULTING logo and contact information: 600 West Street, Suite 201, Fort Worth, Texas 76102. Phone: 817-335-1111. Website: www.manhardconsulting.com. License No. 1409784.

REPLAT
14.477 ACRES IN THE L. TURNER SURVEY, ABST. NO. 1487
CITY OF GARLAND, DALLAS COUNTY, TEXAS

Professional Engineer and Land Surveyor seal for Jeremy Luke Deal, License No. 5696, State of Texas. Includes registration number 618.044001 and sheet number 2 OF 2.



GARLAND

Plan Commission

2. b.

Meeting Date: 11/07/2022

Item Title: P 22-39 Lofts iThirty Addition Conveyance Plat

Summary:

P 22-39 Lofts iThirty Addition Conveyance Plat

Attachments

P 22-39 Lofts iThirty Addition Conveyance Plat Report and Attachments

Planning Report

File No: P 22-39 /District 4

Agenda Item:

Meeting: Plan Commission

Date: November 7, 2022



GARLAND

TEXAS MADE HERE

CONVEYANCE PLAT

Lofts iThirty Addition

LOCATION

6302 Greenbelt Parkway

ZONING

Planned Development (PD) 22-35 District

NUMBER OF LOTS

Three (3) lots

ACREAGE

13.921 Acres

BACKGROUND

The applicant requests approval of the Conveyance Plat. The purpose of the Conveyance Plat is to create three (3) lots for future residential and retail development.

STAFF RECOMMENDATION

Approval of the Conveyance Plat. All technical requirements have been addressed and the plat is in order as submitted.

ADDITIONAL INFORMATION

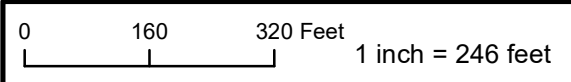
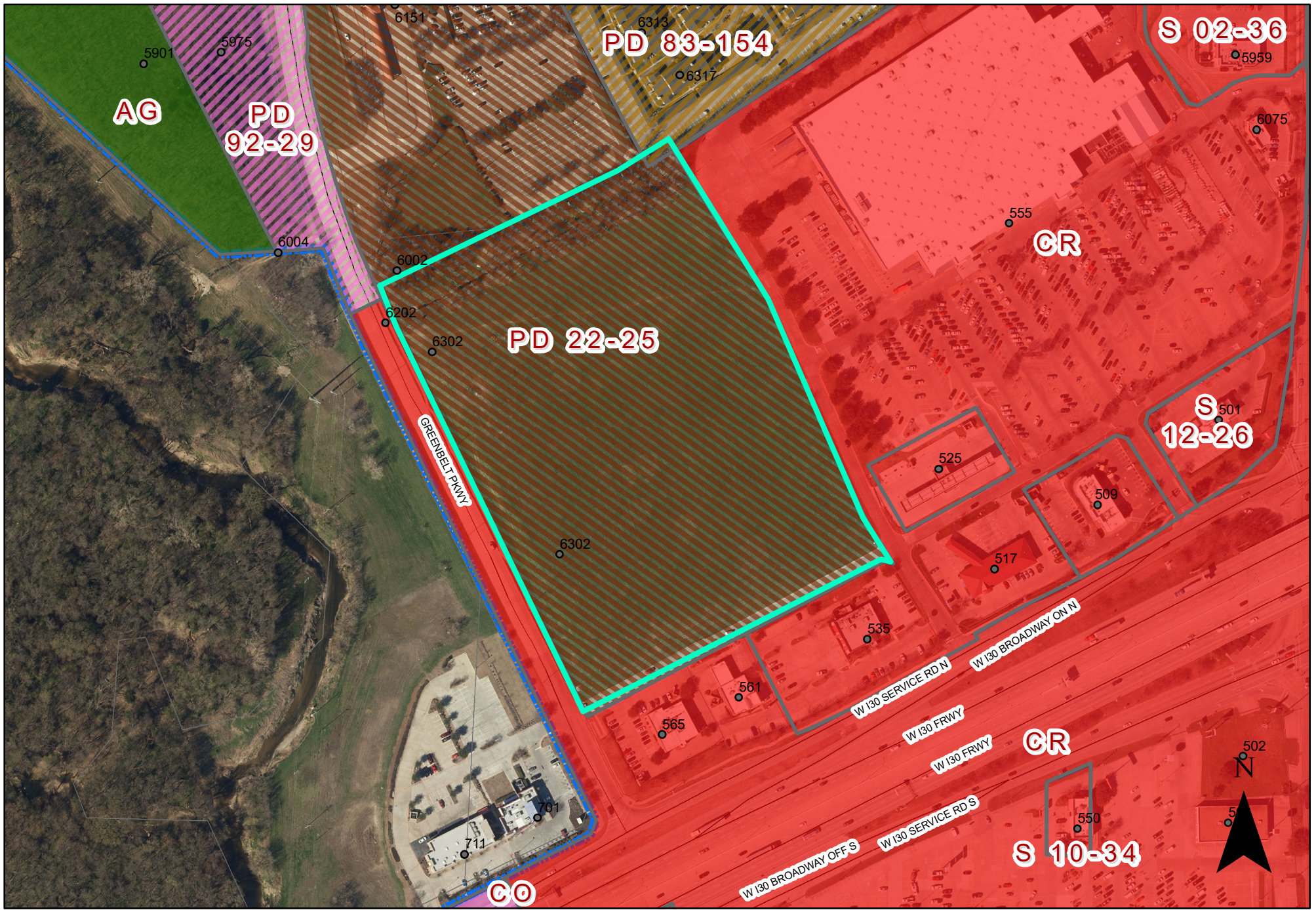
- i. Location Map
- ii. 24 x 36 Plat

PREPARED BY:


Nabiha Ahmed
Lead Development Planner
Planning and Development
972-205-2453
nahmed@garlandtx.gov

REVIEWED BY:

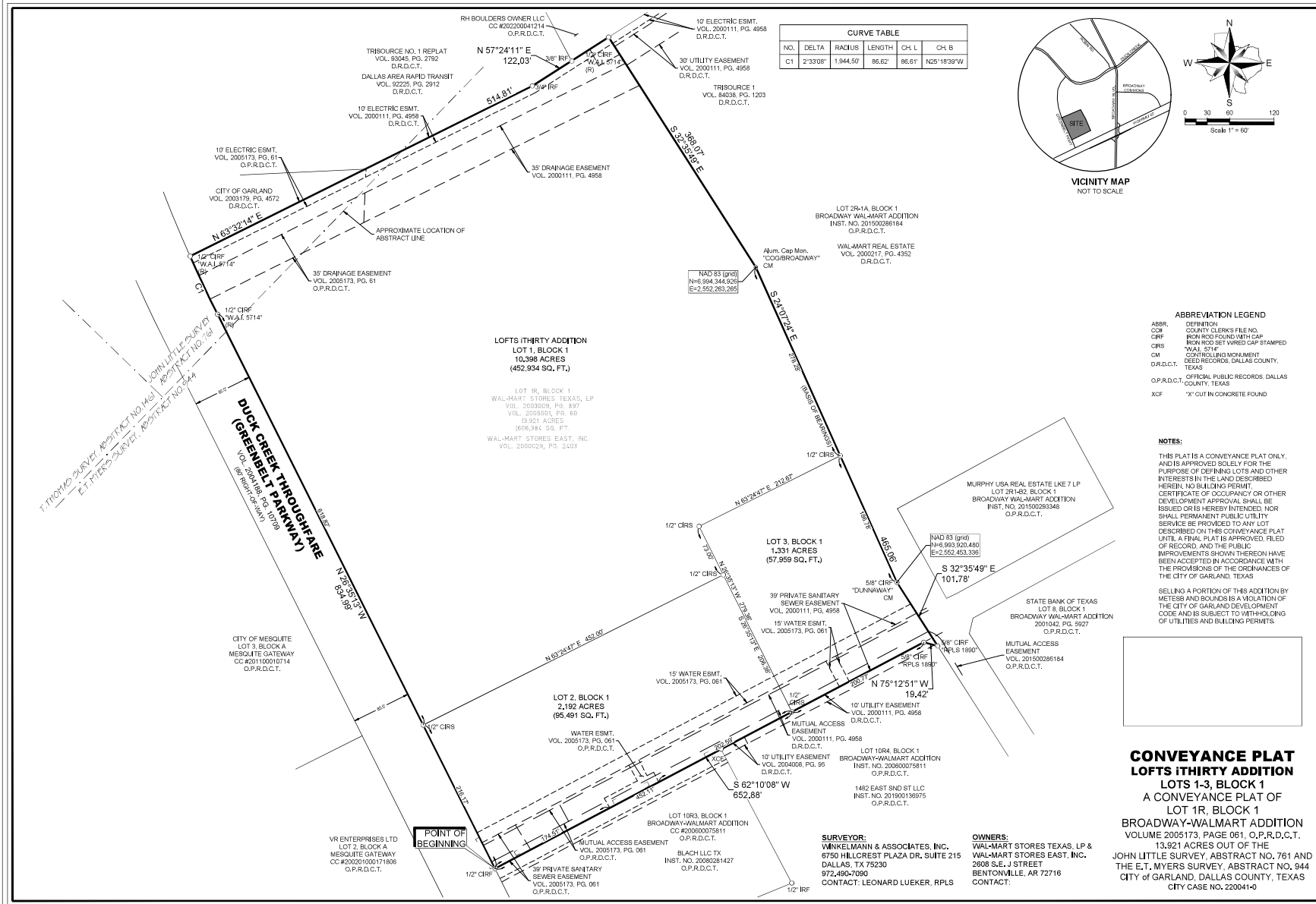
Will Guerin, AICP
Director of Planning



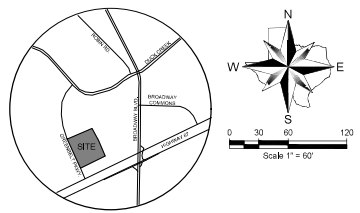
PLAT MAP P 22-39

 INDICATES AREA OF REQUEST

6302 Greenbelt Parkway



CURVE TABLE				
NO.	DELTA	RADIUS	LENGTH	CH. B
C1	2°33'08"	1,944.50	86.62	86.61
				N25°18'39"W



VICINITY MAP
NOT TO SCALE

ABBREVIATION LEGEND

ABRR.	DEFINITION
COJ	COUNTY CLERK'S FILE NO.
CRF	ROCK ROAD FOUND WITH CAP
CRS	ROCK ROAD SET W/RED CAP STAMPED
CM	"WAL 5714"
D.R.D.C.T.	CONTROLING DOCUMENT
	DEED RECORDS, DALLAS COUNTY, TEXAS
O.P.R.D.C.T.	OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS
XCF	"X" CUT IN CONCRETE FOUND

NOTES:

THIS PLAT IS A CONVEYANCE PLAT ONLY, AND IS APPROVED SOLELY FOR THE PURPOSE OF DEFINING LOTS AND OTHER INTERESTS IN THE LAND DESCRIBED HEREIN, NO BUILDING PERMIT, CERTIFICATE OF OCCUPANCY OR OTHER DEVELOPMENT APPROVAL SHALL BE ISSUED OR IS HEREBY INTENDED, NOR SHALL PERMANENT PUBLIC UTILITY SERVICE BE PROVIDED TO ANY LOT DESCRIBED ON THIS CONVEYANCE PLAT UNTIL A FINAL PLAT IS APPROVED, FILED OF RECORD, AND THE PUBLIC IMPROVEMENTS SHOWN THEREON HAVE BEEN ACCEPTED IN ACCORDANCE WITH THE PROVISIONS OF THE ORDINANCES OF THE CITY OF GARLAND, TEXAS.

SELLING A PORTION OF THIS ADDITION BY METERS AND SQUARES IS A VIOLATION OF THE CITY OF GARLAND DEVELOPMENT CODE AND IS SUBJECT TO WITHHOLDING OF UTILITIES AND BUILDING PERMITS.

CONVEYANCE PLAT
LOFTS ITHIRTY ADDITION
 A CONVEYANCE PLAT OF
 LOT 1R, BLOCK 1
 BROADWAY-WALMART ADDITION
 VOLUME 2005173, PAGE 01, O.P.R.D.C.T.
 13,921 ACRES OUT OF THE
 JOHN LITTLE SURVEY, ABSTRACT NO. 761 AND
 THE E.T. MYERS SURVEY, ABSTRACT NO. 944
 CITY OF GARLAND, DALLAS COUNTY, TEXAS
 CITY CASE NO. 220041-0



E.T. MYERS SURVEY, ABSTRACT NO. 944 AND THE JOHN LITTLE SURVEY, ABSTRACT NO. 761, CITY OF GARLAND, DALLAS COUNTY, TEXAS
 WALMART STORES TEXAS, LP
 2608 S.E. J STREET
 BENTONVILLE, AR 72716

CONVEYANCE PLAT
LOFTS ITHIRTY ADDITION
 LOTS 1-3, BLOCK 1
 13,921 ACRES

Date: 11/07/22
 Scale: 1" = 60'
 File: 91202CPLT
 Project No.: 9120200

SHEET
NO. 1

STATE OF TEXAS §
COUNTY OF DALLAS §

OWNERS CERTIFICATE

WHEREAS WAL-MART STORES TEXAS, LP & WAL-MART STORES EAST, INC. are the sole owners of a tract of land situated in the JOHN LITTLE SURVEY, ABSTRACT NO. 761 and the E.V. MYERS SURVEY, ABSTRACT NO. 944, City of Garland, Dallas County, Texas and being all of Lot 1R, Block 1, Broadway-Walmart Addition, an addition to the City of Garland, Dallas County, Texas, according to the plat thereof recorded in Volume 2005173, Page 061, Official Public Records, Dallas County, Texas, also being the same tract of land as described in deed to Wal-Mart Stores, Inc., recorded in Volume 2005001, Page 60, Deed Records, Dallas County, Texas, and being more particularly described, as follows:

BEGINNING at a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" found for the most Southerly corner of said Lot 1R, Block 1, and being situated in the Easterly right-of-way line of Duck Creek Thoroughfare (92' right-of-way, recorded in Volume 2004188, Page 10709, D.C.D.C.T.), said iron rod also being the most Westerly corner of Lot 10R3, Block 1, Broadway-Walmart Addition, an addition to the City of Garland, Dallas County, Texas, according to the plat thereof recorded in Instrument No. 200600075811, Official Public Records, Dallas County, Texas;

THENCE North 28 deg 32 min 13 sec West, departing the Northerly line of said Lot 10R3, Block 1 and along said Easterly right-of-way line, a distance of 834.89 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" found for corner, said iron rod being the beginning of a tangent curve to the right having a radius of 1,544.20 feet, a central angle of 50 deg 35 min 08 sec, a chord bearing of North 29 deg 19 min 39 sec West, and a chord length of 86.61 feet;

THENCE continuing along said Easterly right-of-way line and along said tangent curve to the right, an arc distance of 86.62 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" found for corner and being the most Southerly corner of a tract of land as described in deed to the City of Garland, recorded in Volume 2003179, Page 61, Deed Records, Dallas County, Texas;

THENCE North 63 deg 32 min 14 sec East, departing the Easterly right-of-way line of said Duck Creek Thoroughfare and along the Southerly line of said City of Garland tract, a distance of 514.61 feet to a 3/4-inch iron rod found for corner;

THENCE North 57 deg 24 min 11 sec East, continuing along said Southerly line, at a distance of 62.84 feet passing the the Southeasterly corner of said Dallas Area Rapid Transit tract and the Southwesterly corner of a tract of land as described in deed to RH Builders Owner, LLC, in all a total distance of 122.03 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" found for corner, said iron rod being the Northwesterly corner of Lot 2R-A, Block 1, Broadway-Walmart Addition, an addition to the City of Garland, Dallas County, Texas, according to the plat thereof recorded in Instrument No. 20150026164, Official Public Records, Dallas County, Texas;

THENCE South 32 deg 35 min 49 sec East, departing the Southerly line of said RH Builders Owner, LLC, tract and along the Westerly line of said Lot 2R-A, Block 1, a distance of 368.07 feet to an Aluminum monument, stamped "COGSBROOKWAY" found for corner;

THENCE South 24 deg 07 min 24 sec East, continuing along said Westerly line, a distance of 468.06 feet to a 5/8-inch iron rod with plastic cap stamped "DUNNWAY" found for corner;

THENCE North 32 deg 35 min 49 sec East, continuing along said Westerly line, a distance of 101.76 feet to a 5/8-inch iron rod with plastic cap stamped "RPLS1890" found for corner, said iron rod being the most Easterly-Northeast corner of Lot 10R4, Block 1, Broadway-Walmart Addition, an addition to the City of Garland, Dallas County, Texas, according to the plat thereof recorded in Instrument No. 200600075811, Official Public Records, Dallas County, Texas;

THENCE North 75 deg 12 min 51 sec West, departing the Westerly line of said Lot 2R-A, Block 1, and along the Northerly line of said Lot 10R4, Block 1, a distance of 19.42 feet to a 5/8-inch iron rod with plastic cap stamped "RPLS1890" found for corner;

THENCE South 62 deg 10 min 08 sec West, continuing along said Northerly line, a distance of 852.88 feet to the POINT OF BEGINNING.

CONTAINING within these metes and bounds 13.921 acres or 606,364 square feet of land, more or less.

Bearings shown hereon are based upon an on-the-ground Survey performed in the field on the 15th day of June, 2021, utilizing a G.P.S. bearing related to the Texas Coordinate System, North Texas Central Zone (4202), NAD 83, grid values from the GeoShack VRS network.

OWNERS DEDICATION

NOW THEREFORE, KNOW ALL BY THESE PRESENTS:

SURVEYOR'S AFFIRMATION:

That WAL-MART STORES TEXAS, LP & WAL-MART STORES EAST, INC. are the owners of the property described in this plat, acting by and through its duly authorized agent, does hereby adopt this plat, designating the property as **BROADWAY-WALMART ADDITION**, an addition to the City of Garland, Dallas County, Texas, and does hereby dedicate, in fee simple and to the public use forever, the streets and alleys shown thereon and does further dedicate to the public use forever the easements shown thereon for the purposes indicated. All easements dedicated by this plat shall be open to, without limitation, all public and private utilities using or desiring to use the same for the purposes indicated. No building, fence, tree, shrub, or other structure, improvement or growth shall be constructed, reconstructed or placed upon, over or across any easement dedicated by this plat. Any public or private utility shall have: (1) the right to remove and keep removed all or any part of any building, fence, tree, shrub, or other structure, improvement or growth which in any way may endanger or interfere with the construction, reconstruction, maintenance, operation or efficiency of such utility; and (2) the right of ingress and egress to or from and upon such easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to, enlarging, or removing all or parts of its operation without the necessity at any time of procuring the permission of anyone. The maintenance of paving on utility easements and fire lanes is the responsibility of the property owner.

All utility easements dedicated by this plat shall also include an additional area of working space for construction, reconstruction, additions, enlargements, and maintenance including such additional area necessary for installation and maintenance of manholes, cleanouts, fire hydrants, water services and wastewater services from the main to the curb or pavement line.

Each property owner shall keep the drainage channels and/or drainage and floodway easements traversing or adjacent to his property clean and free of debris, silt, and any other substance which may impede the flow of stormwaters or result in unsanitary conditions. This includes all necessary establishment of ground cover, slope stabilization, mowing, weeding, litter pick-up, and other normal property owner responsibilities. The City of Garland shall have the right of ingress and egress for the purposes of inspection and supervision of maintenance work by the property owner to alleviate any undesirable conditions which may occur.

No obstruction to the natural flow of stormwater runoff shall be permitted by filling or by construction of any type, including, but not limited to, construction of any dam, building, fence, bridge, walkway, or any other structure within the drainage channels or easements, unless approved by the City of Garland, provided, however, it is understood that in the event it becomes necessary for the City of Garland to erect any type of drainage structure in order to improve the storm drainage that may be occasioned by the streets and alleys in or adjacent to the subdivision, then in such event, the City shall have the right to enter upon the drainage or floodway easements at any point or points to erect, construct, or maintain any drainage facility deemed necessary for drainage purposes.

The undersigned does covenant and agree that the access easement(s) dedicated on this plat may be utilized by any person, including the general public, for ingress and egress to and/or their property for both vehicular and pedestrian access, in, along, upon and across the premises containing the access easement(s). This plat approved subject to all applicable ordinances, rules, regulations, and resolutions of the City of Garland, Texas.

WITNESS, my hand at Garland, Texas, this the _____ day of _____, 2022.

By: WAL-MART STORES TEXAS, LP

By: WAL-MART STORES EAST, INC.

By: _____

By: _____

Signature

Signature

Printed Name

Printed Name

Title

Title

STATE OF _____ §
COUNTY OF _____ §

BEFORE ME, the undersigned, a Notary Public in and for said County and State on this day personally appeared _____ known to me to be the person and officer whose name is subscribed to the foregoing instrument and acknowledged to me that the same was the act of said WAL-MART STORES TEXAS, LP and that he executed the same as the act of such WAL-MART STORES TEXAS, LP for the purpose and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE _____ day of _____, 2022.

Notary Public in and for State of _____

My Commission Expires _____

STATE OF _____ §
COUNTY OF _____ §

BEFORE ME, the undersigned, a Notary Public in and for said County and State on this day personally appeared _____ known to me to be the person and officer whose name is subscribed to the foregoing instrument and acknowledged to me that the same was the act of said WAL-MART STORES EAST, INC. and that he executed the same as the act of such WAL-MART STORES EAST, INC. for the purpose and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE _____ day of _____, 2022.

Notary Public in and for State of _____

My Commission Expires _____

Approved and accepted for the City of Garland this _____ day of _____, 2022.

Chairman of City Plan Commission

Director of Planning & Development

The approval of this plat is contingent upon the plat being filed with the County Clerk of Dallas County within 180 days from the above date.



E.T. MYERS SURVEY, ABSTRACT NO. 944 AND JOHN LITTLE SURVEY, ABSTRACT NO. 761, CITY OF GARLAND, DALLAS COUNTY, TEXAS
WAL-MART STORES TEXAS, LP
2608 S.E. J STREET
BENTONVILLE, AR 72716

CONVEYANCE PLAT
LOFTS ITHIRTY ADDITION
LOTS 1-3, BLOCK 1
13.921 ACRES

Date: 10/07/22
Scale: N/A
File: 91202CPLT
Project No.: 91202C00



CONVEYANCE PLAT
LOFTS ITHIRTY ADDITION
A CONVEYANCE PLAT OF
LOT 1R, BLOCK 1
BROADWAY-WALMART ADDITION
VOLUME 2005173, PAGE 061, O.P.R.D.C.T.
13.921 ACRES OUT OF THE
JOHN LITTLE SURVEY, ABSTRACT NO. 761 AND
THE E.T. MYERS SURVEY, ABSTRACT NO. 944
CITY OF GARLAND, DALLAS COUNTY, TEXAS
CITY CASE NO. 220041-0

SURVEYOR:
WINKELMANN & ASSOCIATES, INC.,
6750 HILLCREST PLAZA DR., SUITE 215
DALLAS, TX 75230
972.490-7090
CONTACT: LEONARD LUEKER, RPLS

OWNERS:
WAL-MART STORES TEXAS, LP &
WAL-MART STORES EAST, INC.
2608 S.E. J STREET
BENTONVILLE, AR 72716
CONTACT:



GARLAND

Plan Commission

3. a.

Meeting Date: 11/07/2022

Item Title: Z 22-46 Altar Group - Specific Use Provision (District 5)

Summary:

Consideration of the application of **Altar Group**, requesting approval of a Specific Use Provision for an Automated/Rollover Car Wash Use. This property is located at 1501 Northwest Highway. (District 5) (File Z 22-46 – Specific Use Provision) (This item was postponed from the October 10, 2022 Plan Commission meeting per the applicant's request.)

Attachments

Z 22-46 Altar Group Report and Attachments (Specific Use Provision)

Z 22-46 Altar Group Responses



GARLAND

TEXAS MADE HERE

Planning Report

File No: Z 22-46/District 5

Agenda Item:

Meeting: Plan Commission

Date: November 7, 2022

REQUESTS

Approval of a Specific Use Provision for an Automated/Rollover Car Wash Use.

Approval of a Plan for an Automated/Rollover Car Wash on a property zoned Community Retail (CR) District.

LOCATION

1501 Northwest Highway

APPLICANT

Altar Group

OWNER

BACKGROUND

The subject property is currently improved with a building which will be demolished. The applicant proposes an Automated/Rollover Car Wash on the subject property. Per the GDC, an Automated/Rollover Car Wash requires a Specific Use Provision through the public hearing process.

SITE DATA

The subject property consists of approximately 1.0 acre. The site has approximately 45 linear feet of frontage along Northwest Highway. The site can be accessed from Northwest Highway through an access easement.

USE OF PROPERTY UNDER CURRENT ZONING

The subject property is zoned Community Retail (CR) District. The Community Retail (CR) District is intended to accommodate a variety of retail, service, and business establishments that may or may not be designed in a shopping center configuration. The district may be used as a transition district between lower intensity retail or office uses and more intense uses. A Community Retail (CR) District is generally appropriate along major transportation corridors but is generally not appropriate in proximity to low density residential districts without significant buffering and screening features. An example of allowed use in a Community Retail (CR) District is a retail shopping area that may be large in scale with very limited or no outside storage. Traffic generated by uses in a Community Retail (CR) District must be focused onto the major thoroughfare network. Development in a Community Retail (CR) District may not be designed in a manner that increases traffic through residential areas.

CONSIDERATIONS

1. Site Plan

The applicant proposes to construct a 3,827 square-foot building for an automated tunnel car wash [Automated/Rollover Car Wash] use. The GDC defines Automated/Rollover Car Wash as washing, waxing, or cleaning of automobiles involving automated self-service (drive-through/rollover) wash bays and apparatuses.

The GDC states that overhead/roll-up service bay doors may not face any public street. The site plan (Exhibit C) reflects the service bay door on the east elevation facing Broadway Boulevard. The applicant requests a deviation to allow the bay door to face the public street.

In addition, the site plan (Exhibit C) reflects twenty (20) parking spaces to include vacuums.

2. Parking
The subject property meets the GDC parking requirements.
3. Screening and Landscaping
The landscape plan (Exhibit D) complies with the screening and landscaping standards per the GDC.
4. Signage
No deviations have been requested for signage. Therefore, signage will meet the GDC requirements.
5. Building Design:
The design of the Automated/Rollover Car Wash (Exhibit E) complies with the applicable building design standards from the Garland Development Code (GDC).
6. Specific Use Provision
The applicant requests a Specific Use Provision time period of thirty (30) years. The SUP Time Period Guide recommends twenty-five (25) to thirty (30) years for this use.

COMPREHENSIVE PLAN

The Envision Garland Plan designates the subject property as Neighborhood Centers. Neighborhood centers provide a mix of retail, services and community gathering places. This center should be appropriately scaled to adjacent residential areas. This type of center is predominantly, but not exclusively, non-residential. Neighborhood centers are served by local roads and transit routes.

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

The properties to the north, east, and west are zoned Community Retail (CR) District; these properties are developed with a grocery store, a medical office, a restaurant and retail stores. The property to the south, across Northwest Highway, are constructed with retail stores, a restaurant and a Texas Department of Public and Safety office.

Further to the northwest is a single-family residential neighborhood, zoned Single-Family-7 (SF-7). The approximate distance from the closest subject property boundary to the residential boundary is one hundred-thirty (130) feet.

STAFF RECOMMENDATION

Denial of a Specific Use Provision for an Automated/Rollover Car Wash Use.

Denial of a Plan for an Automated/Rollover Car Wash on a property zoned Community Retail (CR) District.

The proposal represents a significant change of use intensity from a pediatric dental office to a car wash. Staff finds the proposal inconsistent with the Comprehensive Plan recommendation, including concern with the general proximity to a residential neighborhood.

Per the GDC the purpose of a Specific Use Provision (SUP) is to allow the establishment of uses which may be suitable only in certain locations in a zoning district or only when subject to standards and conditions that assure compatibility with other uses in the vicinity. Specific uses are those uses which are generally compatible with the allowed land uses in a given zoning district, but which require individual review of their proposed location, design and configuration, and the imposition of conditions in order to ensure the appropriateness of the use.

ADDITIONAL INFORMATION

Location Map
Exhibits
SUP Conditions
Photos

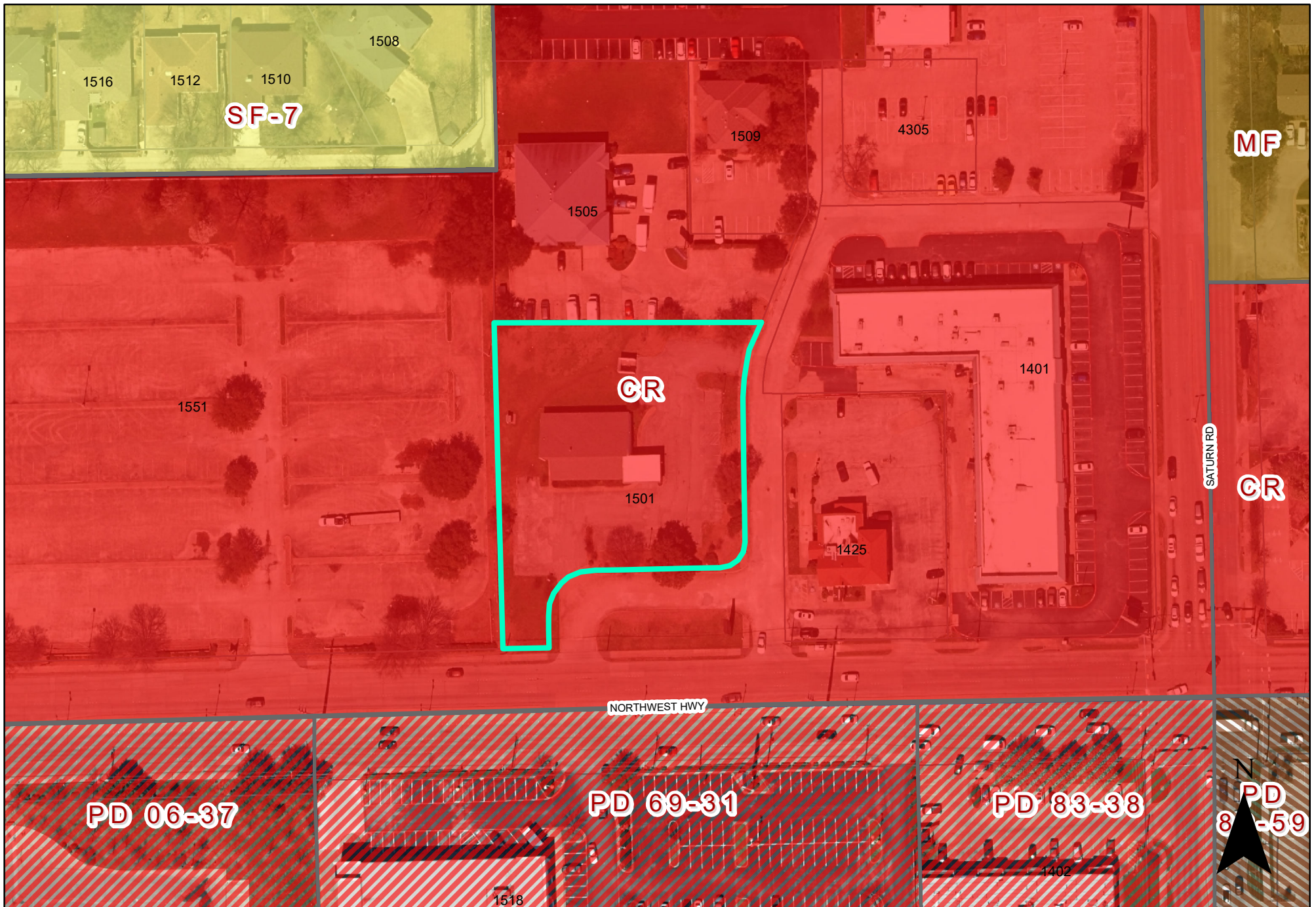
CITY COUNCIL DATE: November 1, 2022

PREPARED BY:

Nabiha Ahmed
Lead Development Planner
Planning & Development
(972) 205-2453
nahmed@garlandtx.gov

REVIEWED BY:

Will Guerin, AICP
Director of Planning



0 60 120 Feet
 1 inch = 102 feet

ZONING MAP Z 22-46

 INDICATES AREA OF REQUEST

1501 Northwest Highway

SPECIFIC USE PROVISION CONDITIONS

ZONING FILE Z 22-46

1501 Northwest Highway

- I. Statement of Purpose:** The purpose of this Specific Use Provision is to allow an Automated/Rollover Car Wash building.
- II. Statement of Effect:** This Specific Use Provision shall not affect any regulation found in the Garland Development Code, Ordinance No. 6773, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. Abandonment:** In the event the land use for which this Specific Use Provision was granted ("Land Use") is abandoned, the SUP and all rights to the Land Use are automatically terminated, and the premises must be used in conformance with the PD, GDC, federal, and state law.

For the purposes of this Specific Use Provision, Abandonment is any of the following acts:

- A. A failure to apply for a site or building permit on the premises, where applicable, within 180 days of the effective date of this SUP;
- B. A failure to obtain a certificate of occupancy for the Land use within 730 days of the effective date of this SUP;
- C. A failure to commence operating the Land Use on the premises within 90 days of receiving a final certificate of occupancy for the Land Use;
- D. Discontinuance of the Land Use for a period of 180 days;
- E. Applying for, and receiving, a new Certificate of Occupancy for a use other than the Land Use; or
- F. Operating a use on the premises, whether as a primary or secondary use, that is not allowed within the PD District, by the GDC, or by state or federal law.

The termination of utilities on the premises for a period of 180 calendar days is prima facie evidence of abandonment and the owner shall have the burden to prove that the Land Use has not been abandoned.

IV. General Regulations: All regulations of the Community Retail (CR) District as set forth in Chapter 2 of the Garland Development Code, Ordinance 6773, are included by reference and shall apply, except as otherwise specified by this ordinance.

V. Specific Use Provision:

A. SUP Time Period: The Specific Use Provision time period for Automated/Rollover Car Wash shall be for thirty (30) years

B. Site Plan: The site layout, building placement, parking shall be in general conformance with the approved Site Plan labeled Exhibit C.

C. Landscape Plan: Screening and landscaping shall be in general conformance with the landscape plan labeled Exhibit D.

D. Maintenance requirements:

(1) Landscaping must be continuously maintained in a healthy, growing condition and in compliance with this ordinance, the Garland Development Code, the Code of Ordinances of the City of Garland, and the landscaping plan attached hereto at all times. The property owner is responsible for regular weeding, mowing of grass, irrigation, fertilizing, pruning, or other maintenance of all landscaping as promptly as needed to comply with the requirements of this subsection. All exposed ground surfaces shall be properly improved, covered with screening or other approved solid material, or protected with a vegetative growth that prevents soil erosion and ameliorates objectionable dust conditions.

(2) Any dead or dying plant or vegetation, whether or not a component of required landscaping, must be promptly replaced with another approved plant or vegetation variety that complies with the approved landscape plan and in no event later than sixty days after notification by the City. In the event the property owner fails to remedy a violation of any landscaping maintenance regulation within sixty days of the City sending notice, the City may, in addition to any other remedy available by law, suspend,

withhold, or revoke city permits, approvals, consents and the certificate of occupancy for the retail fuel pumps and convenience store. See Section 4 of the granting ordinance.

(3) Screening and paving must be installed and continuously maintained in compliance with this ordinance, the Garland Development Code, and the Code of Ordinances of the City of Garland at all times. The property owner is responsible for regular maintenance of all screening and paving as needed. In the event the property owner fails to remedy a violation of any screening or paving maintenance regulation within sixty days of the City sending notice, the City may, in addition to any other remedy available by law, suspend, withhold, or revoke city permits, approval, consents and the certificate of occupancy for the travel center.

E. Elevations: Building Elevations shall be in general conformance with the elevations labeled Exhibit E.

F. Signage: All signage shall comply with the standards in the Garland Development Code.

Z 22-46



View of the subject property from Northwest Highway



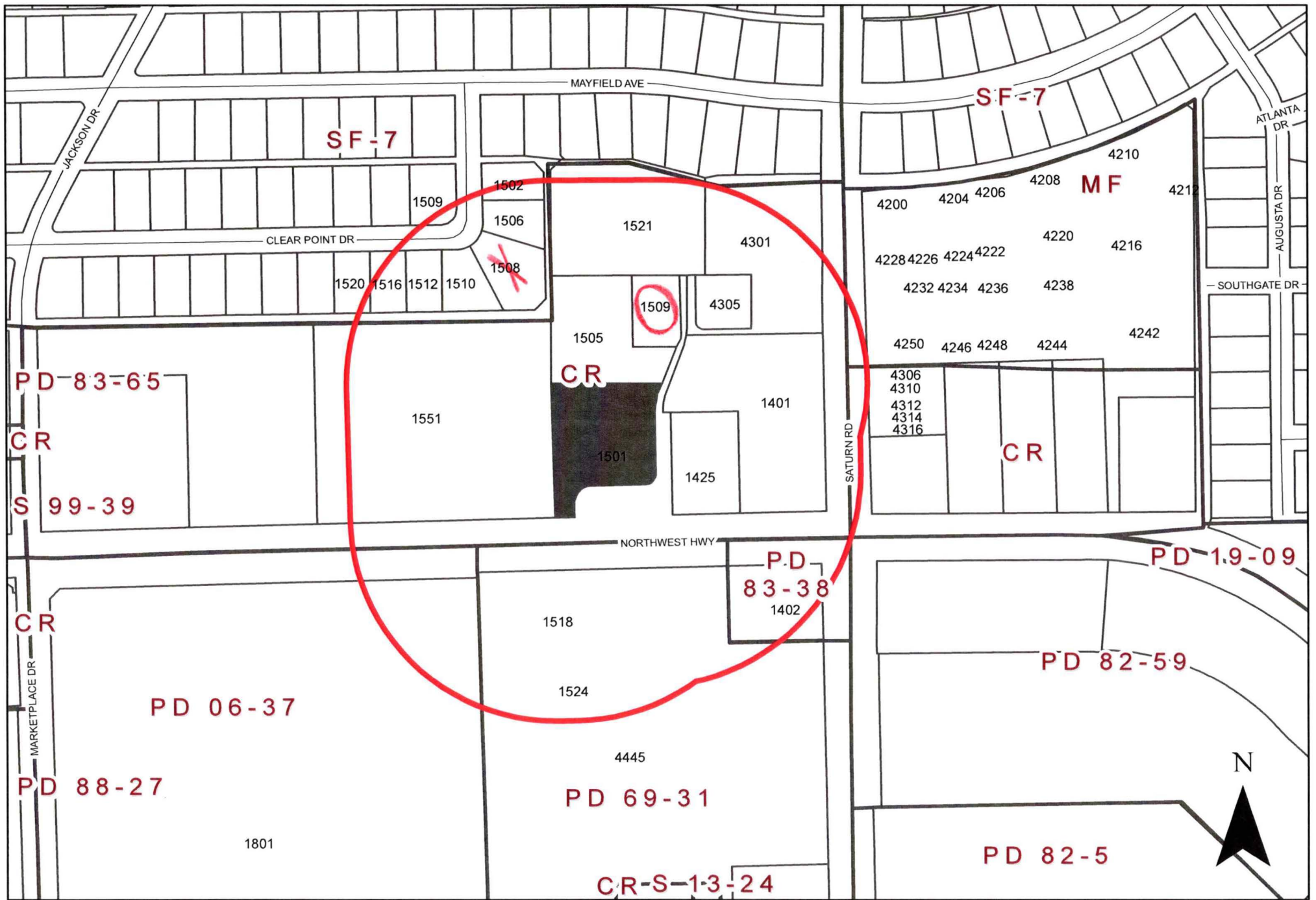
West of the subject property



North of the subject property



South of the subject property



0 160 320 Feet
1 inch = 245 feet

ZONING MAP Z 22-46

INDICATES AREA OF REQUEST
INDICATES NOTIFICATION AREA

1501 Northwest Highway

Comment Form

Case Z 22-46

Z 22-46 Altar Group. The applicant proposes to construct an automated tunnel car wash. The site is located at 1501 Northwest Highway. (District 5)

Z 22-46 Altar Group. El solicitante propone construir un túnel automático de lavado de coches. El sitio está ubicado en 1501 Northwest Highway. (Distrito 5)

Z 22-46 Altar Group. Người nộp đơn đề xuất xây dựng một đường hầm rửa xe tự động. Địa điểm tọa lạc tại Quốc lộ 1501 Northwest Highway. (Quận 5)

Please Check One Below / Marque uno a continuación / Vui lòng kiểm tra một bên dưới

For / A Favor / Đúng

Against / En Contra / Không

Please complete the following information and email the form to Planning@garlandtx.gov; deliver to the Planning Department at 800 Main Street Garland, TX; or mail to City of Garland, Planning Department, P.O. Box 469002 Garland, TX 75406-9002./ Por favor Complete la siguiente información y envíe el formulario por correo electrónico a Planning@garlandtx.gov; entregar al Departamento de Planificación en 800 Main Street Garland, TX; o envíelo por correo a City of Garland, Planning Department, P.O. Box 469002 Garland, TX 75406-9002./ Vui lòng điền đầy đủ thông tin sau và gửi biểu mẫu qua email tới Planning@garlandtx.gov; giao cho Phòng Kế hoạch tại 800 Main Street Garland, TX; hoặc gửi thư đến Thành phố Garland, Sở Kế hoạch, P.O. Hộp 469002 Garland, TX 75406-9002.

Marjorie Seabolt

Printed Name & Title / Nombre Impreso y Título / Tên in và Tiêu đề

(Property Owner, Business Owner, Tenant, etc.) / (Dueño de la propiedad, Dueño de la empresa, Inquilino, etc.) / (Chủ sở hữu bất động sản, Chủ doanh nghiệp, Người thuê, v.v.)

1508 Clear Point Drive

Your Property Address / La dirección de su propiedad / địa chỉ tài sản

Garland TX 75041

City, State / Estado de la Ciudad / Thành bang

75041

Zip Code / Código postal / Mã B u Chính

Marjorie Seabolt

Signature / Firma / Ch ữ ký

10-1-2022

Date / Fecha / Ngày

(Providing email address and phone number is optional. / La dirección de correo electrónico y el número de teléfono son opcionales. / Địa chỉ email và số điện thoại là tùy chọn.)

Comment Form

Case Z 22-46

Z 22-46 Altar Group. The applicant proposes to construct an automated tunnel car wash. The site is located at 1501 Northwest Highway. (District 5)

Z 22-46 Altar Group. El solicitante propone construir un túnel automático de lavado de coches. El sitio está ubicado en 1501 Northwest Highway. (Distrito 5)

Z 22-46 Altar Group. Người nộp đơn đề xuất xây dựng một đường hầm rửa xe tự động. Địa điểm tọa lạc tại Quốc lộ 1501 Northwest Highway. (Quận 5)

Please Check One Below / Marque uno a continuación / Vui lòng kiểm tra một bên dưới

For / A Favor / Đúng

Against / En Contra / Không

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Nathan K. Muirina, TOMD - Owner

Printed Name & Title / Nombre Impreso y Título / Tên in và Tiêu đề

(Property Owner, Business Owner, Tenant, etc.) / (Dueño de la propiedad, Dueño de la empresa, Inquilino, etc.) / (Chủ sở hữu bất động sản, Chủ doanh nghiệp, Người thuê, v.v.)

1509 Northwest Hwy

Your Property Address / La dirección de su propiedad / địa chỉ tài sản

Garland, Texas

City, State / Estado de la Ciudad / Thành bang

75041

Zip Code / Código postal / Mã B u Qhính

Nathan K. Muirina TOMD

Signature / Firma / Chữ ký

10-19-22

Date / Fecha / Ngày

(Providing email address and phone number is optional. / La dirección de correo electrónico y el número de teléfono son opcionales. / Địa chỉ email và số điện thoại là tùy chọn.)



GARLAND

Plan Commission

3. b.

Meeting Date: 11/07/2022

Item Title: Z 22-46 Altar Group - Plan (District 5)

Summary:

Consideration of the application of **Altar Group**, requesting approval of a Plan for an Automated/Rollover Car Wash on a property zoned Community Retail (CR) District. This property is located at 1501 Northwest Highway. (District 5) (File Z 22-46 – Plan) (This item was postponed from the October 10, 2022 Plan Commission meeting per the applicant's request.)

Attachments

Z 22-46 Altar Group Report and Attachments (Plan)

Z 22-46 Altar Group Responses



GARLAND

TEXAS MADE HERE

Planning Report

File No: Z 22-46/District 5

Agenda Item:

Meeting: Plan Commission

Date: November 7, 2022

REQUESTS

Approval of a Specific Use Provision for an Automated/Rollover Car Wash Use.

Approval of a Plan for an Automated/Rollover Car Wash on a property zoned Community Retail (CR) District.

LOCATION

1501 Northwest Highway

APPLICANT

Altar Group

OWNER

BACKGROUND

The subject property is currently improved with a building which will be demolished. The applicant proposes an Automated/Rollover Car Wash on the subject property. Per the GDC, an Automated/Rollover Car Wash requires a Specific Use Provision through the public hearing process.

SITE DATA

The subject property consists of approximately 1.0 acre. The site has approximately 45 linear feet of frontage along Northwest Highway. The site can be accessed from Northwest Highway through an access easement.

USE OF PROPERTY UNDER CURRENT ZONING

The subject property is zoned Community Retail (CR) District. The Community Retail (CR) District is intended to accommodate a variety of retail, service, and business establishments that may or may not be designed in a shopping center configuration. The district may be used as a transition district between lower intensity retail or office uses and more intense uses. A Community Retail (CR) District is generally appropriate along major transportation corridors but is generally not appropriate in proximity to low density residential districts without significant buffering and screening features. An example of allowed use in a Community Retail (CR) District is a retail shopping area that may be large in scale with very limited or no outside storage. Traffic generated by uses in a Community Retail (CR) District must be focused onto the major thoroughfare network. Development in a Community Retail (CR) District may not be designed in a manner that increases traffic through residential areas.

CONSIDERATIONS

1. Site Plan

The applicant proposes to construct a 3,827 square-foot building for an automated tunnel car wash [Automated/Rollover Car Wash] use. The GDC defines Automated/Rollover Car Wash as washing, waxing, or cleaning of automobiles involving automated self-service (drive-through/rollover) wash bays and apparatuses.

The GDC states that overhead/roll-up service bay doors may not face any public street. The site plan (Exhibit C) reflects the service bay door on the east elevation facing Broadway Boulevard. The applicant requests a deviation to allow the bay door to face the public street.

In addition, the site plan (Exhibit C) reflects twenty (20) parking spaces to include vacuums.

2. Parking
The subject property meets the GDC parking requirements.
3. Screening and Landscaping
The landscape plan (Exhibit D) complies with the screening and landscaping standards per the GDC.
4. Signage
No deviations have been requested for signage. Therefore, signage will meet the GDC requirements.
5. Building Design:
The design of the Automated/Rollover Car Wash (Exhibit E) complies with the applicable building design standards from the Garland Development Code (GDC).
6. Specific Use Provision
The applicant requests a Specific Use Provision time period of thirty (30) years. The SUP Time Period Guide recommends twenty-five (25) to thirty (30) years for this use.

COMPREHENSIVE PLAN

The Envision Garland Plan designates the subject property as Neighborhood Centers. Neighborhood centers provide a mix of retail, services and community gathering places. This center should be appropriately scaled to adjacent residential areas. This type of center is predominantly, but not exclusively, non-residential. Neighborhood centers are served by local roads and transit routes.

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

The properties to the north, east, and west are zoned Community Retail (CR) District; these properties are developed with a grocery store, a medical office, a restaurant and retail stores. The property to the south, across Northwest Highway, are constructed with retail stores, a restaurant and a Texas Department of Public and Safety office.

Further to the northwest is a single-family residential neighborhood, zoned Single-Family-7 (SF-7). The approximate distance from the closest subject property boundary to the residential boundary is one hundred-thirty (130) feet.

STAFF RECOMMENDATION

Denial of a Specific Use Provision for an Automated/Rollover Car Wash Use.

Denial of a Plan for an Automated/Rollover Car Wash on a property zoned Community Retail (CR) District.

The proposal represents a significant change of use intensity from a pediatric dental office to a car wash. Staff finds the proposal inconsistent with the Comprehensive Plan recommendation, including concern with the general proximity to a residential neighborhood.

Per the GDC the purpose of a Specific Use Provision (SUP) is to allow the establishment of uses which may be suitable only in certain locations in a zoning district or only when subject to standards and conditions that assure compatibility with other uses in the vicinity. Specific uses are those uses which are generally compatible with the allowed land uses in a given zoning district, but which require individual review of their proposed location, design and configuration, and the imposition of conditions in order to ensure the appropriateness of the use.

ADDITIONAL INFORMATION

Location Map
Exhibits
SUP Conditions
Photos

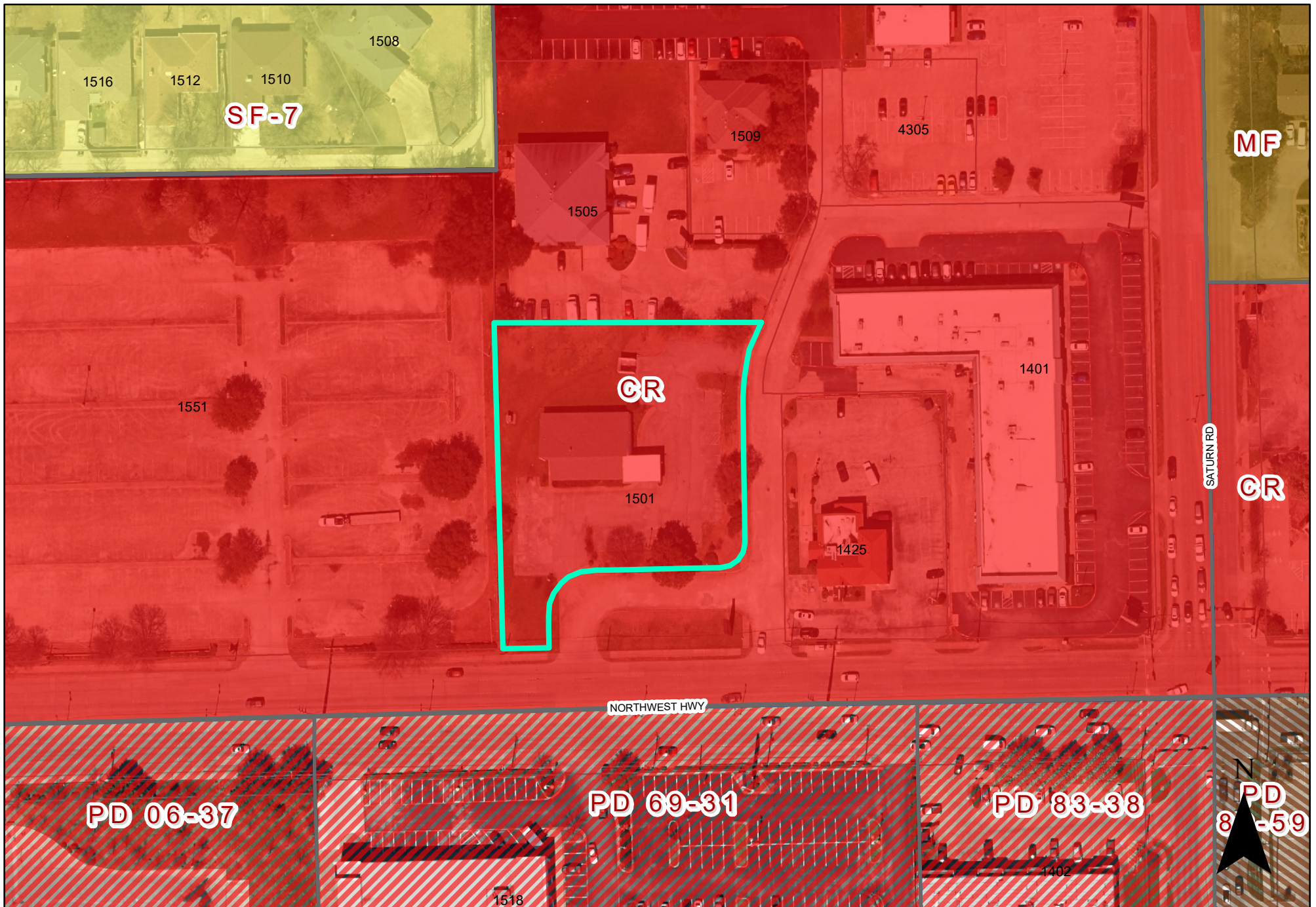
CITY COUNCIL DATE: November 1, 2022

PREPARED BY:

Nabiha Ahmed
Lead Development Planner
Planning & Development
(972) 205-2453
nahmed@garlandtx.gov

REVIEWED BY:

Will Guerin, AICP
Director of Planning



0 60 120 Feet
1 inch = 102 feet

ZONING MAP Z 22-46

 INDICATES AREA OF REQUEST

1501 Northwest Highway

SPECIFIC USE PROVISION CONDITIONS

ZONING FILE Z 22-46

1501 Northwest Highway

- I. Statement of Purpose:** The purpose of this Specific Use Provision is to allow an Automated/Rollover Car Wash building.
- II. Statement of Effect:** This Specific Use Provision shall not affect any regulation found in the Garland Development Code, Ordinance No. 6773, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. Abandonment:** In the event the land use for which this Specific Use Provision was granted ("Land Use") is abandoned, the SUP and all rights to the Land Use are automatically terminated, and the premises must be used in conformance with the PD, GDC, federal, and state law.

For the purposes of this Specific Use Provision, Abandonment is any of the following acts:

- A. A failure to apply for a site or building permit on the premises, where applicable, within 180 days of the effective date of this SUP;
- B. A failure to obtain a certificate of occupancy for the Land use within 730 days of the effective date of this SUP;
- C. A failure to commence operating the Land Use on the premises within 90 days of receiving a final certificate of occupancy for the Land Use;
- D. Discontinuance of the Land Use for a period of 180 days;
- E. Applying for, and receiving, a new Certificate of Occupancy for a use other than the Land Use; or
- F. Operating a use on the premises, whether as a primary or secondary use, that is not allowed within the PD District, by the GDC, or by state or federal law.

The termination of utilities on the premises for a period of 180 calendar days is prima facie evidence of abandonment and the owner shall have the burden to prove that the Land Use has not been abandoned.

EXHIBIT B

IV. General Regulations: All regulations of the Community Retail (CR) District as set forth in Chapter 2 of the Garland Development Code, Ordinance 6773, are included by reference and shall apply, except as otherwise specified by this ordinance.

V. Specific Use Provision:

A. SUP Time Period: The Specific Use Provision time period for Automated/Rollover Car Wash shall be for thirty (30) years

B. Site Plan: The site layout, building placement, parking shall be in general conformance with the approved Site Plan labeled Exhibit C.

C. Landscape Plan: Screening and landscaping shall be in general conformance with the landscape plan labeled Exhibit D.

D. Maintenance requirements:

(1) Landscaping must be continuously maintained in a healthy, growing condition and in compliance with this ordinance, the Garland Development Code, the Code of Ordinances of the City of Garland, and the landscaping plan attached hereto at all times. The property owner is responsible for regular weeding, mowing of grass, irrigation, fertilizing, pruning, or other maintenance of all landscaping as promptly as needed to comply with the requirements of this subsection. All exposed ground surfaces shall be properly improved, covered with screening or other approved solid material, or protected with a vegetative growth that prevents soil erosion and ameliorates objectionable dust conditions.

(2) Any dead or dying plant or vegetation, whether or not a component of required landscaping, must be promptly replaced with another approved plant or vegetation variety that complies with the approved landscape plan and in no event later than sixty days after notification by the City. In the event the property owner fails to remedy a violation of any landscaping maintenance regulation within sixty days of the City sending notice, the City may, in addition to any other remedy available by law, suspend,

withhold, or revoke city permits, approvals, consents and the certificate of occupancy for the retail fuel pumps and convenience store. See Section 4 of the granting ordinance.

(3) Screening and paving must be installed and continuously maintained in compliance with this ordinance, the Garland Development Code, and the Code of Ordinances of the City of Garland at all times. The property owner is responsible for regular maintenance of all screening and paving as needed. In the event the property owner fails to remedy a violation of any screening or paving maintenance regulation within sixty days of the City sending notice, the City may, in addition to any other remedy available by law, suspend, withhold, or revoke city permits, approval, consents and the certificate of occupancy for the travel center.

E. Elevations: Building Elevations shall be in general conformance with the elevations labeled Exhibit E.

F. Signage: All signage shall comply with the standards in the Garland Development Code.

Z 22-46



View of the subject property from Northwest Highway



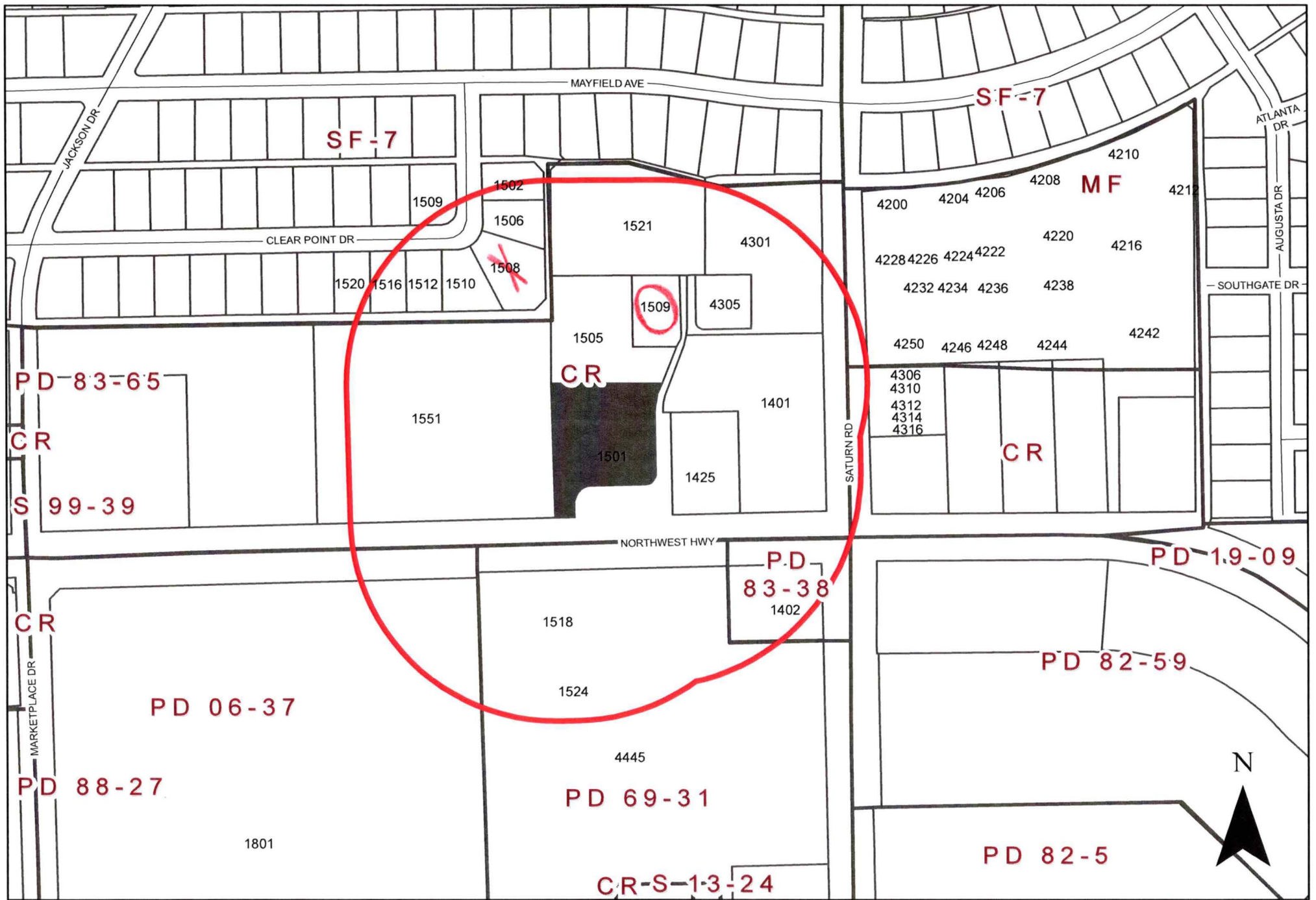
West of the subject property



North of the subject property



South of the subject property



ZONING MAP Z 22-46

 INDICATES AREA OF REQUEST  INDICATES NOTIFICATION AREA

1501 Northwest Highway

Comment Form

Case Z 22-46

Z 22-46 Altar Group. The applicant proposes to construct an automated tunnel car wash. The site is located at 1501 Northwest Highway. (District 5)

Z 22-46 Altar Group. El solicitante propone construir un túnel automático de lavado de coches. El sitio está ubicado en 1501 Northwest Highway. (Distrito 5)

Z 22-46 Altar Group. Người nộp đơn đề xuất xây dựng một đường hầm rửa xe tự động. Địa điểm tọa lạc tại Quốc lộ 1501 Northwest Highway. (Quận 5)

Please Check One Below / Marque uno a continuación / Vui lòng kiểm tra một bên dưới

For / A Favor / Đúng

Against / En Contra / Không

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Marjorie Seabolt

Printed Name & Title / Nombre Impreso y Título / Tên in và Tiêu đề

(Property Owner, Business Owner, Tenant, etc.) / (Dueño de la propiedad, Dueño de la empresa, Inquilino, etc.) / (Chủ sở hữu bất động sản, Chủ doanh nghiệp, Người thuê, v.v.)

1508 Clear Point Drive

Your Property Address / La dirección de su propiedad / địa chỉ tài sản

Garland TX 75041

City, State / Estado de la Ciudad / Thành bang

75041

Zip Code / Código postal / Mã B u Chính

Marjorie Seabolt

Signature / Firma / Ch ữ ký

10-1-2022

Date / Fecha / Ngày

(Providing email address and phone number is optional. / La dirección de correo electrónico y el número de teléfono son opcionales. / Địa chỉ email và số điện thoại là tùy chọn.)

Comment Form

Case Z 22-46

Z 22-46 Altar Group. The applicant proposes to construct an automated tunnel car wash. The site is located at 1501 Northwest Highway. (District 5)

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Please Check One Below / Marque uno a continuación / Vui lòng kiểm tra một bên dưới

For / A Favor / Đúng

Against / En Contra / Không

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Nathan K. Muirina, TOMD - Owner

Printed Name & Title / Nombre Impreso y Título / Tên in và Tiêu đề

(Property Owner, Business Owner, Tenant, etc.) / (Dueño de la propiedad, Dueño de la empresa, Inquilino, etc.) / (Chủ sở hữu bất động sản, Chủ doanh nghiệp, Người thuê, v.v.)

1509 Northwest Hwy

Your Property Address / La dirección de su propiedad / địa chỉ tài sản

Garland, Texas

City, State / Estado de la Ciudad / Thành bang

75041

Zip Code / Código postal / Mã B u Qhính

Nathan K. Muirina TOMD

Signature / Firma / Chữ ký

10-19-22

Date / Fecha / Ngày

(Providing email address and phone number is optional. / La dirección de correo electrónico y el número de teléfono son opcionales. / Địa chỉ email và số điện thoại là tùy chọn.)



GARLAND

Plan Commission

3. c.

Meeting Date: 11/07/2022

Item Title: Z 21-45 Atlantic Urbana Acquisition Company II, LLC - Zoning (District 2)

Summary:

Consideration of the application of **Atlantic Urbana Acquisition Company II, LLC**, requesting approval of a Change in Zoning from Planned Development (PD) District 19-40 for Single-Family Use to a Planned Development (PD) District for Multi-Family-1 (MF-1) Use.

This property is located at 2201 East Miller Road and 2370 East Centerville Road. (District 2)
(File Z 21-45 – Zoning)

Attachments

Z 21-45 Atlantic Urbana Acquisition Company II, LLC Report and Attachments (Zoning)

Z 21-45 Atlantic Urbana Acquisition Company II, LLC Responses



Planning Report

File No: Z 21-45/District 2

Agenda Item:

Meeting: Plan Commission

Date: November 7, 2022

REQUEST

Approval of a Change in Zoning from Planned Development (PD) District 19-40 for Single-Family Use to a Planned Development (PD) District for Multi-Family-1 (MF-1) Use.

Approval of a Detail Plan for Multi-Family development.

LOCATION

2201 East Miller Road and 2370 East Centerville Road

APPLICANT

Atlantic Urbana Acquisition Company II, LLC

OWNER

Walnut Park Assembly of God c/o Casa De Me Gloria USA Inc.

BACKGROUND

The subject property is currently unimproved. The applicant proposes multi-family rental housing in a single-family format on Lot 1. The type of development on Lot 2 is unknown at this time. However, it will require a new Detail Plan through the Public Hearing process.

A Detail Plan was previously approved for a Church on the subject property, but was never constructed.

It should be noted that while MF-0 standards were recently adopted to accommodate horizontal multi-family developments, this application was submitted well before the creation of these standards and the applicant requests to proceed with MF-1 as a base zoning standard. However, applicable deviation requests are noted below.

SITE DATA

The overall site consists of approximately 38.38 acres with 617 lineal feet of frontage along East Centerville Road and 1,044 lineal feet of frontage along East Miller Road. The site plan (Exhibit C) shows two (2) access points from East Miller Road and one access point from East Centerville Road.

USE OF PROPERTY UNDER CURRENT ZONING

The site is zoned Planned Development (PD) District 19-40 for Single-Family Use. As mentioned above, a Detail Plan was approved for a Church, which was never constructed.

CONSIDERATIONS

1. Development and Site Plan

The site plan (Exhibit C) reflects two (2) lots. Lot 1 is intended for 301 multi-family units in a single-family style layout. Units are either stand alone or in a duplex format with no more than two units attached. Six (6) building unit types have been incorporated into the site plan. The approach to the proposed site plan concentrates around circulation leading to the resident's experience of this new neighborhood community. A tree-lined boulevard serves as the primary pedestrian and vehicular route through the site. The

main entrance is off Miller Road and a secondary entrance off East Centerville Road. Upon entering this gated community from Miller Road the Amenity Center (Clubhouse) and lush landscaping/hardscaping would be prevalent.

If Lot 2 is developed in the future, it is subject to future Detail Plan approval through the public hearing process.

2. Building Separation

The GDC requires all portions of a multi-family dwelling structure must be a minimum of twenty (20) feet from other multi-family dwelling structures. The applicant requests a minimum of ten (10) feet. The proposed layout is single-family/duplex style. Therefore, the required twenty (20)-foot setback will not work for their configuration.

3. Building Setbacks

The GDC requires a side setback of twelve (12) feet when the property is not adjacent to a street. The applicant proposes a minimum of six (6) feet.

4. Parking

The GDC parking requirements are met with this proposal. This development will include carports and detached garages, satisfying the covered parking requirement.

5. Amenities

- **Clubhouse:** Section 2.39 (I) states that a minimum 3,500 square-foot clubhouse must be constructed on site and made available to all residents. The site plan (Exhibit C) notes a 3,500 square-foot clubhouse, which includes a media room, lounge, event room, game room and kitchen.
- **Swimming Pool:** Two swimming pools having a minimum of eight hundred (800) square feet of surface water must be provided for each multi-family development. The applicant proposes one (1) swimming pool with 1,700 square feet of surface water.
- **Leisure Areas:** One leisure area having a minimum area of one thousand square feet, containing at least two (2) pieces of play equipment, or other outdoor amenities (such as, picnic areas with tables, barbeque pits, arbors, or gazebos) must be provided for each multi-family development. The applicant will comply with this requirement by providing a common leisure area, dog park and a playground.

6. Dwelling unit/mix

Minimum dwelling unit size.

Required one-bedroom:	650 square feet
Proposed:	635 (A-1) and 900 (A-4) square feet
Number of units:	150

Minimum dwelling unit size.

Required two-bedroom:	800 square feet
-----------------------	-----------------

Proposed: 1,080 (B-2), 1,167 (B-3) and 1,239 (B-4) square feet
 Number of units: 126

Minimum dwelling unit size.

Required three-bedroom: 950 square feet
 Proposed: 1,391 (C-2) square feet
 Number of units: 25

7. Screening and Landscaping

The landscape plan (Exhibit D) complies with the applicable landscaping standards per the GDC. A six (6)-foot ornamental fence is proposed along the southern and western perimeter line of Lot 1. The GDC requires a screening wall adjacent to a single-family residential district. The property to the east is zoned Agricultural (AG) District, which allows single-family homes. The applicant requests to not provide any screening wall due to the floodplain.

8. Building Design

This application was submitted prior to the horizontal multi-family standards (MF-0) adopted in the GDC. The building designs from the multi-family standards and single-family standards were applied.

9. Signage

No deviations were requested regarding signage.

10. Transportation

A Traffic Impact Analysis was reviewed by the Transportation Department. Based on the information provided, a second driveway was recommended along East Miller Road. The applicant has provided a second driveway on East Miller Road as reflected on the site plan (Exhibit C).

11. Summary of Deviations

The applicant requests to deviate from Chapter 2 of the GDC. The table below indicated the deviations are as proposed.

Development Standards	Required	Proposed	Analysis
Building Separation	The GDC requires all portions of a multi-family dwelling structure must be a minimum of twenty (20) feet from other multi-family dwelling structures.	The applicant requests a minimum of ten (10) feet.	The proposed layout is single-family/duplex style. Therefore, the required twenty (20)-foot setback will not work for their configuration. It should be noted that the Multi-Family-0 (MF-0) District allows a

			minimum building separation of ten (10) feet.
Building Setbacks - side setbacks not adjacent to street	12 feet	6 feet	The secondary entry and gate on East Miller Road and East Centerville Road resulted in a six (6)-foot side yard setback not adjacent to a street.
Minimum dwelling unit area for one-bedroom	650 square feet	635 square feet	The proposed minimum dwelling size was designed to meet the needs of a specific market segment.
Screening adjacent to single-family residential district boundary lines	Screening is required.	Not provided	A screening wall is not proposed to the east due to the existing floodplain.

COMPREHENSIVE PLAN

The Envision Garland Plan designates the subject property as Urban Neighborhoods. Urban neighborhoods are higher density residential developments. This residential option may utilize vertical mixed-use integrated into the surrounding area, reflecting the area’s dominant character or, when desired, promoting a new character.

Urban neighborhoods are characterized by moderate to high density single-family attached and multifamily residential units, greater than twelve (12) dwelling units per acre.

The proposed development is 11.6 dwelling units per acre. The proposal is generally compatible with the Comprehensive Plan and the development style is appropriate for the area.

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

The area to the north is zoned Planned Development (PD) District 15-19 for Light Commercial use; the property is developed with a self-storage facility. The property to the east is zoned Agricultural (AG) District; it is currently unimproved. The property to the south, across East Miller Road, is zoned Planned Development (PD) District 14-11; there is a ranch on site and the remaining portion is vacant. However, there is a townhouse application that has been submitted. The property immediately to the west is zoned Community Retail (CR) District and it is currently vacant. The property further to the west, across East Centerville Road, is zoned Planned Development (PD) District 01-17 for Single-Family use and Agricultural (AG) District; these properties are developed with a residential subdivision and a GP&L substation.

STAFF RECOMMENDATION

Approval of a Change in Zoning from Planned Development (PD) District 19-40 for Single-Family Use to a Planned Development (PD) District for Multi-Family-1 (MF-1) Use.

Approval of a Detail Plan for Multi-Family development.

ADDITIONAL INFORMATION

- i. Location Map
- ii. PD Conditions
- iii. Detail Plan
- iv. Photos

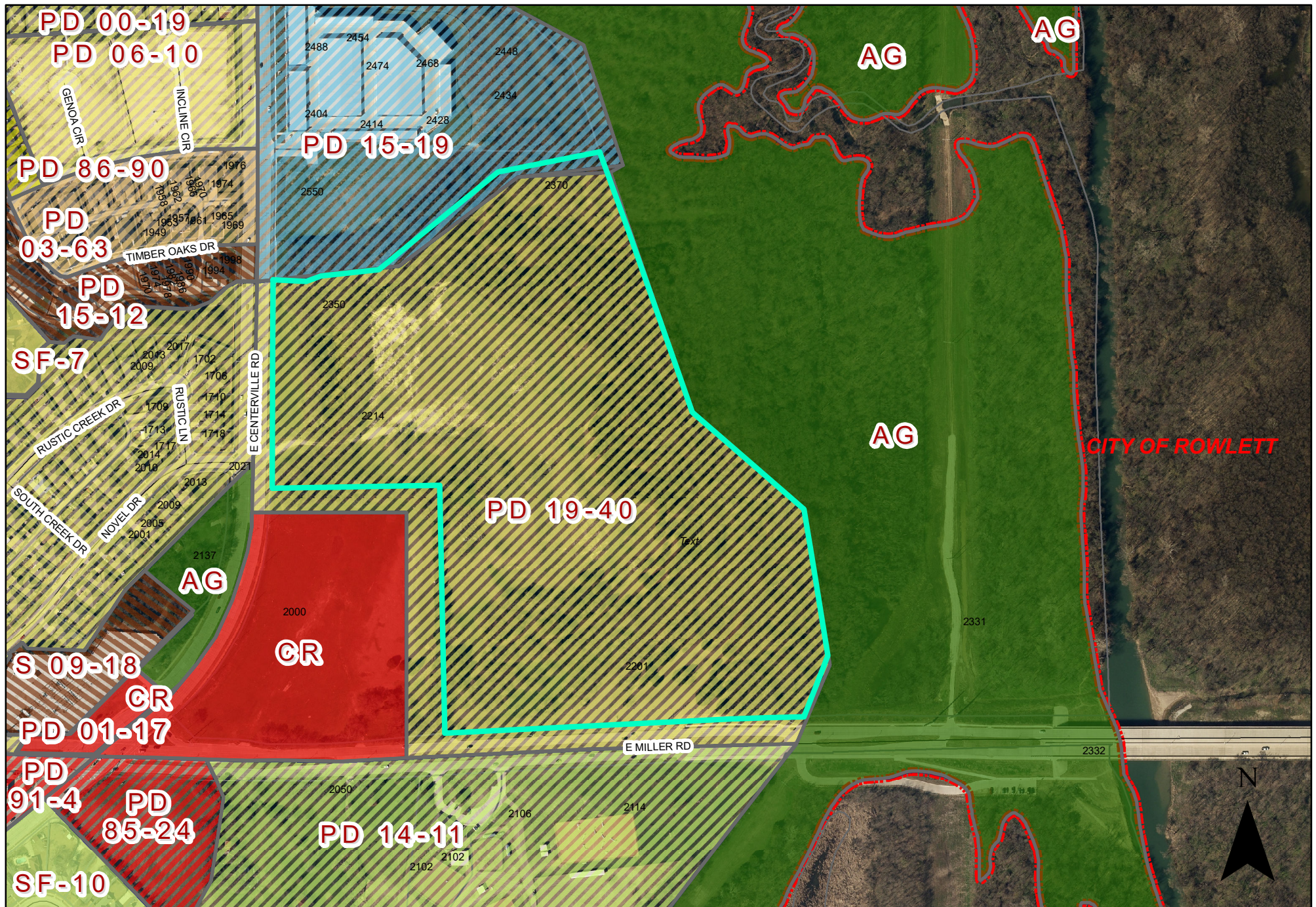
CITY COUNCIL DATE: December 6, 2022

PREPARED BY:

Nabiha Ahmed
Lead Development Planner
Planning & Development
972-205-2453
nahmed@garlandtx.gov

REVIEWED BY:

Will Guerin, AICP
Director of Planning



0 240 480 Feet
1 inch = 365 feet

ZONING MAP Z 21-45

 INDICATES AREA OF REQUEST

2370 East Centerville Road

PLANNED DEVELOPMENT CONDITIONS

ZONING FILE Z 21-45

2201 East Miller Road and 2370 East Centerville Road

I. Statement of Purpose: The purpose of this Planned Development is to approve a multi-family development on Lot 1.

II. Statement of Effect: This Planned Development shall not affect any regulation found in the Garland Development Code, Ordinance No. 6773, as amended prior to adoption of this ordinance, except as specifically provided herein.

III. General Regulations: All regulations of the Multi-Family-1 (MF-1) District as set forth in Chapter 2 of the Garland Development Code are included by reference and shall apply, except as otherwise specified by this ordinance.

IV. Development Plans:

Detail Plan: Development shall be in general conformance with the Detail Plan labeled Exhibit C through Exhibit E. In the event there is conflict between the approved Detail Plan and the Specific Regulations below, the Specific Regulations shall apply. Lot 2 shall require approval of a Detail Plan.

V. Specific Conditions:

A. Permitted Uses: Land Uses are only permitted as in the Multi-Family-1 (MF-1) District on Lot 1.

B. Site Plan: The site layout, building placement, parking, and other development proposed shall be in general conformance with the approved Site Plan labeled Exhibit C.

C. Building Separation: All portions of a multi-family dwelling structure shall be a minimum of ten (10) from other multi-family dwelling structures.

D. Dwelling Units: A total of 301 dwelling units shall be permitted.

- E. Dwelling size: A maximum of 100 one-bedroom dwelling units shall be 635 square feet.
- F. Building Setbacks: The minimum side-yard setback not adjacent to the street shall be six (6) feet.
- G. Amenities: Amenities shall be provided as shown on the Exhibits C and D.
- H. Landscape Plan: Screening and landscaping shall be in general conformance with the landscape plan labeled Exhibit D.
- I. Elevations: Building Elevations shall be in general conformance with the elevations labeled Exhibit E.
- J. Lighting: All pedestrian pathways shall be lighted per the Garland Development Code standards.
- K. Signage: All signage shall comply with the standards in the Garland Development Code.

Z 21-45



View of the subject property from East Miller Road



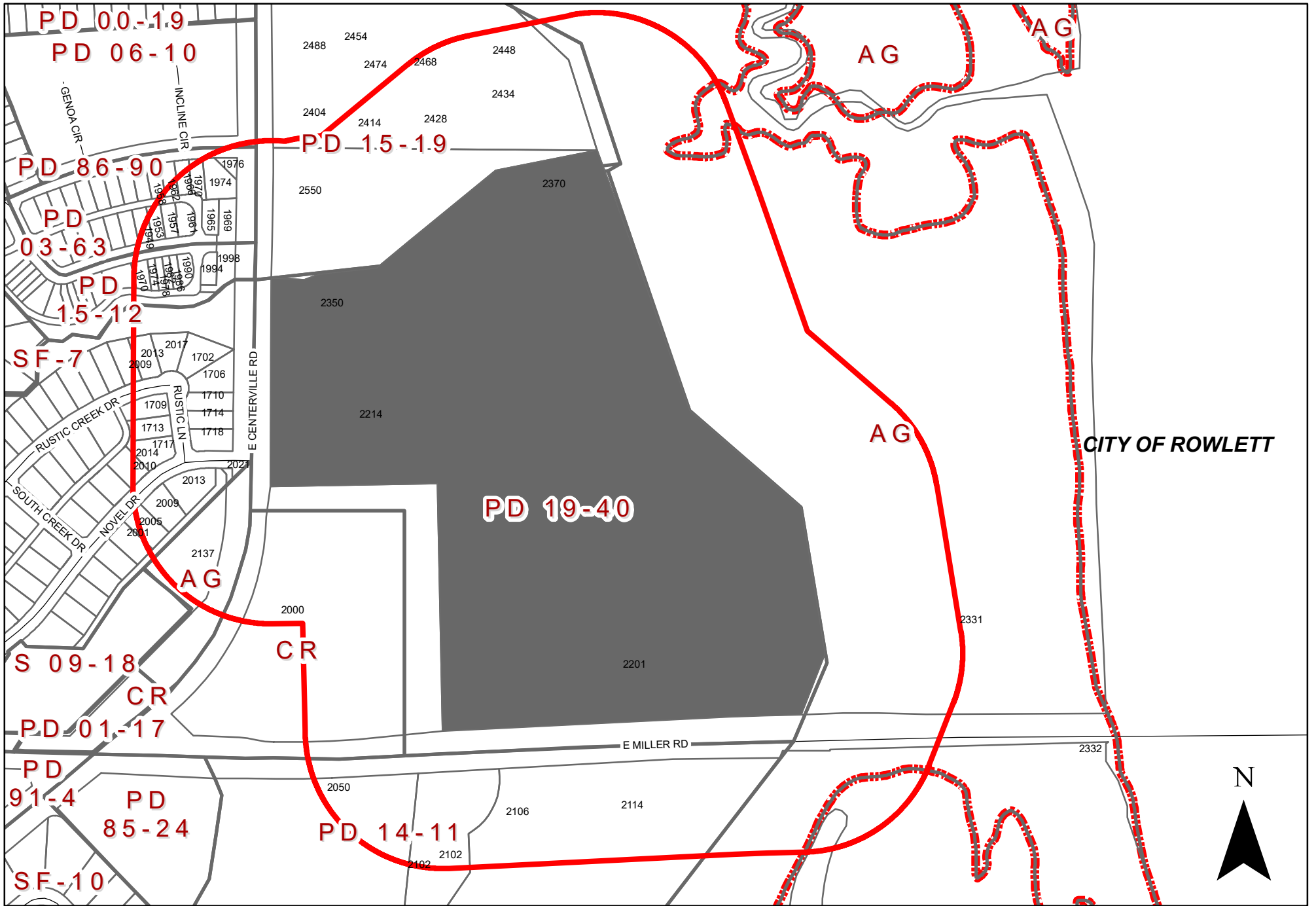
Looking east of the subject property



Looking south of the subject property



Looking west of the subject property from East Centerville Road



ZONING MAP Z 21-45

INDICATES AREA OF REQUEST
 INDICATES NOTIFICATION AREA

2370 East Centerville Road and 2201 East Miller Road

To date we have not received any responses for this case.



GARLAND

Plan Commission

3. d.

Meeting Date: 11/07/2022

Item Title: Z 21-45 Atlantic Urbana Acquisition Company II, LLC - Detail Plan (District 2)

Summary:

Consideration of the application of **Atlantic Urbana Acquisition Company II, LLC**, requesting approval of a Detail Plan for Multi-Family development. This property is located at 2201 East Miller Road and 2370 East Centerville Road. (District 2) (File Z 21-45 – Detail Plan)

Attachments

Z 21-45 Atlantic Urbana Acquisition Company II, LLC Report and Attachments (Detail Plan)

Z 21-45 Atlantic Urbana Acquisition Company II, LLC Responses



Planning Report

File No: Z 21-45/District 2

Agenda Item:

Meeting: Plan Commission

Date: November 7, 2022

REQUEST

Approval of a Change in Zoning from Planned Development (PD) District 19-40 for Single-Family Use to a Planned Development (PD) District for Multi-Family-1 (MF-1) Use.

Approval of a Detail Plan for Multi-Family development.

LOCATION

2201 East Miller Road and 2370 East Centerville Road

APPLICANT

Atlantic Urbana Acquisition Company II, LLC

OWNER

Walnut Park Assembly of God c/o Casa De Me Gloria USA Inc.

BACKGROUND

The subject property is currently unimproved. The applicant proposes multi-family rental housing in a single-family format on Lot 1. The type of development on Lot 2 is unknown at this time. However, it will require a new Detail Plan through the Public Hearing process.

A Detail Plan was previously approved for a Church on the subject property, but was never constructed.

It should be noted that while MF-0 standards were recently adopted to accommodate horizontal multi-family developments, this application was submitted well before the creation of these standards and the applicant requests to proceed with MF-1 as a base zoning standard. However, applicable deviation requests are noted below.

SITE DATA

The overall site consists of approximately 38.38 acres with 617 lineal feet of frontage along East Centerville Road and 1,044 lineal feet of frontage along East Miller Road. The site plan (Exhibit C) shows two (2) access points from East Miller Road and one access point from East Centerville Road.

USE OF PROPERTY UNDER CURRENT ZONING

The site is zoned Planned Development (PD) District 19-40 for Single-Family Use. As mentioned above, a Detail Plan was approved for a Church, which was never constructed.

CONSIDERATIONS

1. Development and Site Plan

The site plan (Exhibit C) reflects two (2) lots. Lot 1 is intended for 301 multi-family units in a single-family style layout. Units are either stand alone or in a duplex format with no more than two units attached. Six (6) building unit types have been incorporated into the site plan. The approach to the proposed site plan concentrates around circulation leading to the resident's experience of this new neighborhood community. A tree-lined boulevard serves as the primary pedestrian and vehicular route through the site. The

main entrance is off Miller Road and a secondary entrance off East Centerville Road. Upon entering this gated community from Miller Road the Amenity Center (Clubhouse) and lush landscaping/hardscaping would be prevalent.

If Lot 2 is developed in the future, it is subject to future Detail Plan approval through the public hearing process.

2. Building Separation

The GDC requires all portions of a multi-family dwelling structure must be a minimum of twenty (20) feet from other multi-family dwelling structures. The applicant requests a minimum of ten (10) feet. The proposed layout is single-family/duplex style. Therefore, the required twenty (20)-foot setback will not work for their configuration.

3. Building Setbacks

The GDC requires a side setback of twelve (12) feet when the property is not adjacent to a street. The applicant proposes a minimum of six (6) feet.

4. Parking

The GDC parking requirements are met with this proposal. This development will include carports and detached garages, satisfying the covered parking requirement.

5. Amenities

- **Clubhouse:** Section 2.39 (I) states that a minimum 3,500 square-foot clubhouse must be constructed on site and made available to all residents. The site plan (Exhibit C) notes a 3,500 square-foot clubhouse, which includes a media room, lounge, event room, game room and kitchen.
- **Swimming Pool:** Two swimming pools having a minimum of eight hundred (800) square feet of surface water must be provided for each multi-family development. The applicant proposes one (1) swimming pool with 1,700 square feet of surface water.
- **Leisure Areas:** One leisure area having a minimum area of one thousand square feet, containing at least two (2) pieces of play equipment, or other outdoor amenities (such as, picnic areas with tables, barbeque pits, arbors, or gazebos) must be provided for each multi-family development. The applicant will comply with this requirement by providing a common leisure area, dog park and a playground.

6. Dwelling unit/mix

Minimum dwelling unit size.

Required one-bedroom:	650 square feet
Proposed:	635 (A-1) and 900 (A-4) square feet
Number of units:	150

Minimum dwelling unit size.

Required two-bedroom:	800 square feet
-----------------------	-----------------

Proposed: 1,080 (B-2), 1,167 (B-3) and 1,239 (B-4) square feet
 Number of units: 126

Minimum dwelling unit size.

Required three-bedroom: 950 square feet
 Proposed: 1,391 (C-2) square feet
 Number of units: 25

7. Screening and Landscaping

The landscape plan (Exhibit D) complies with the applicable landscaping standards per the GDC. A six (6)-foot ornamental fence is proposed along the southern and western perimeter line of Lot 1. The GDC requires a screening wall adjacent to a single-family residential district. The property to the east is zoned Agricultural (AG) District, which allows single-family homes. The applicant requests to not provide any screening wall due to the floodplain.

8. Building Design

This application was submitted prior to the horizontal multi-family standards (MF-0) adopted in the GDC. The building designs from the multi-family standards and single-family standards were applied.

9. Signage

No deviations were requested regarding signage.

10. Transportation

A Traffic Impact Analysis was reviewed by the Transportation Department. Based on the information provided, a second driveway was recommended along East Miller Road. The applicant has provided a second driveway on East Miller Road as reflected on the site plan (Exhibit C).

11. Summary of Deviations

The applicant requests to deviate from Chapter 2 of the GDC. The table below indicated the deviations are as proposed.

Development Standards	Required	Proposed	Analysis
Building Separation	The GDC requires all portions of a multi-family dwelling structure must be a minimum of twenty (20) feet from other multi-family dwelling structures.	The applicant requests a minimum of ten (10) feet.	The proposed layout is single-family/duplex style. Therefore, the required twenty (20)-foot setback will not work for their configuration. It should be noted that the Multi-Family-0 (MF-0) District allows a

			minimum building separation of ten (10) feet.
Building Setbacks - side setbacks not adjacent to street	12 feet	6 feet	The secondary entry and gate on East Miller Road and East Centerville Road resulted in a six (6)-foot side yard setback not adjacent to a street.
Minimum dwelling unit area for one-bedroom	650 square feet	635 square feet	The proposed minimum dwelling size was designed to meet the needs of a specific market segment.
Screening adjacent to single-family residential district boundary lines	Screening is required.	Not provided	A screening wall is not proposed to the east due to the existing floodplain.

COMPREHENSIVE PLAN

The Envision Garland Plan designates the subject property as Urban Neighborhoods. Urban neighborhoods are higher density residential developments. This residential option may utilize vertical mixed-use integrated into the surrounding area, reflecting the area’s dominant character or, when desired, promoting a new character.

Urban neighborhoods are characterized by moderate to high density single-family attached and multifamily residential units, greater than twelve (12) dwelling units per acre.

The proposed development is 11.6 dwelling units per acre. The proposal is generally compatible with the Comprehensive Plan and the development style is appropriate for the area.

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

The area to the north is zoned Planned Development (PD) District 15-19 for Light Commercial use; the property is developed with a self-storage facility. The property to the east is zoned Agricultural (AG) District; it is currently unimproved. The property to the south, across East Miller Road, is zoned Planned Development (PD) District 14-11; there is a ranch on site and the remaining portion is vacant. However, there is a townhouse application that has been submitted. The property immediately to the west is zoned Community Retail (CR) District and it is currently vacant. The property further to the west, across East Centerville Road, is zoned Planned Development (PD) District 01-17 for Single-Family use and Agricultural (AG) District; these properties are developed with a residential subdivision and a GP&L substation.

STAFF RECOMMENDATION

Approval of a Change in Zoning from Planned Development (PD) District 19-40 for Single-Family Use to a Planned Development (PD) District for Multi-Family-1 (MF-1) Use.

Approval of a Detail Plan for Multi-Family development.

ADDITIONAL INFORMATION

- i. Location Map
- ii. PD Conditions
- iii. Detail Plan
- iv. Photos

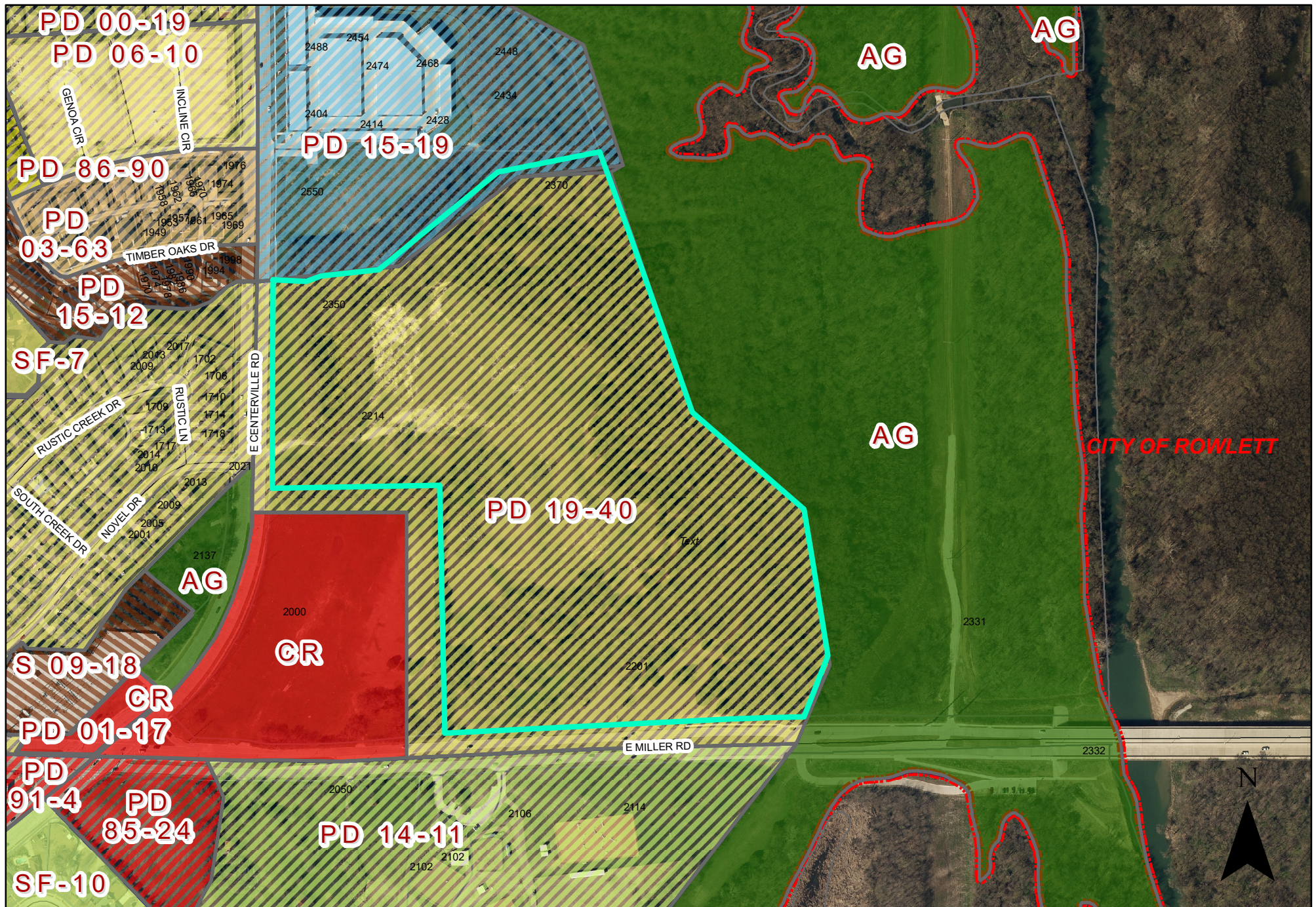
CITY COUNCIL DATE: December 6, 2022

PREPARED BY:

Nabiha Ahmed
Lead Development Planner
Planning & Development
972-205-2453
nahmed@garlandtx.gov

REVIEWED BY:

Will Guerin, AICP
Director of Planning



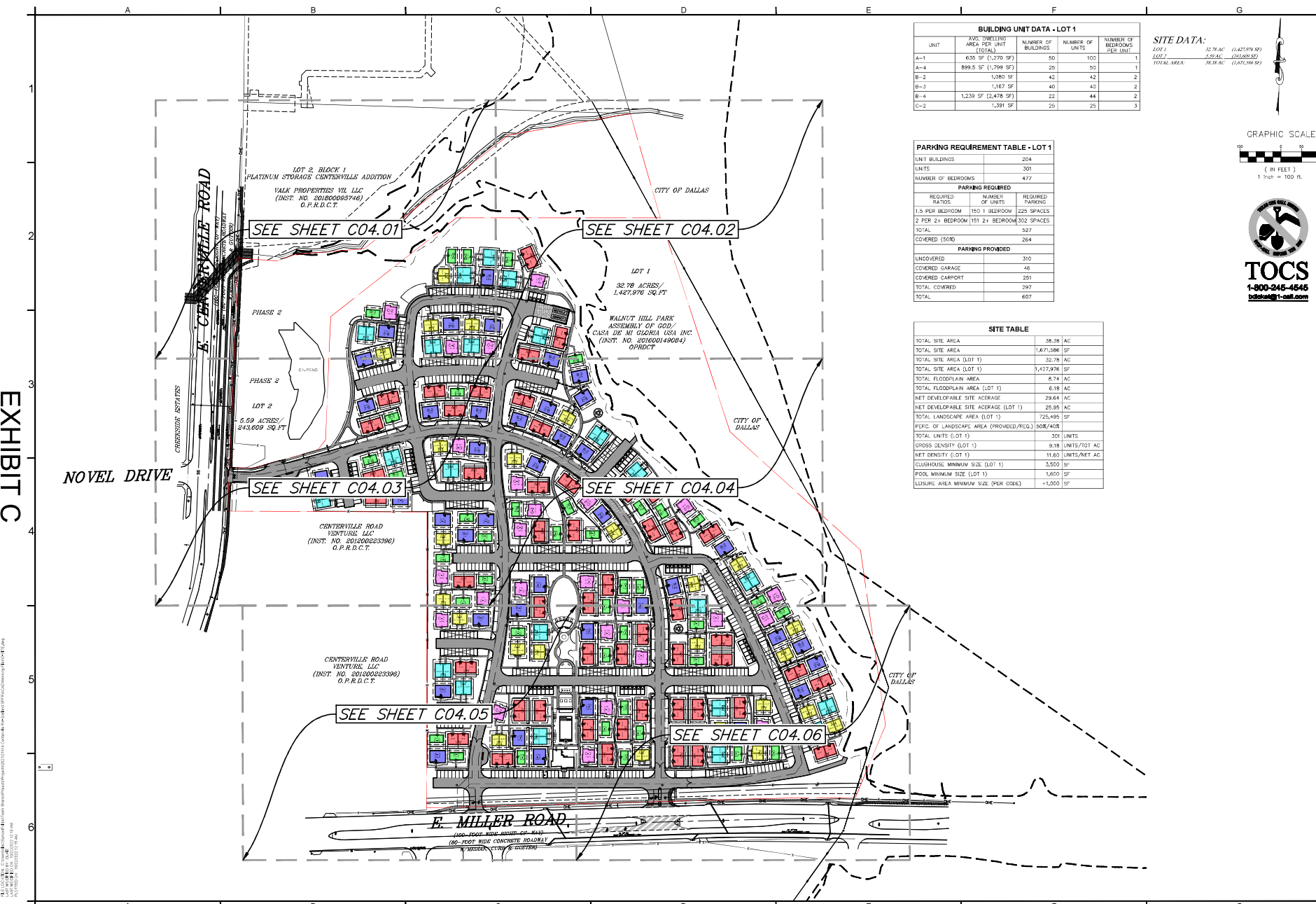
ZONING MAP Z 21-45

2370 East Centerville Road

 INDICATES AREA OF REQUEST

EXHIBIT C

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BUILDING UNIT DATA - LOT 1

UNIT	Avg. Dwelling Area per Unit (TOTAL)	NUMBER OF BUILDINGS	NUMBER OF UNITS	NUMBER OF BEDROOMS (250-UNIT)
A=1	635 SF (1,270 SF)	50	100	1
A=4	899.5 SF (1,799 SF)	25	50	1
B=2	1,080 SF	42	42	2
B=3	1,167 SF	40	40	2
B=4	1,239 SF (2,478 SF)	22	44	2
C=2	1,381 SF	25	25	3

PARKING REQUIREMENT TABLE - LOT 1

UNIT BUILDINGS	UNITS	NUMBER OF BEDROOMS
204	301	477

PARKING REQUIRED

REQUIRED RATIO	NUMBER OF UNITS	REQUIRED PARKING
1.5 PER BEDROOM	150	725 SPACES
2 PER 2+ BEDROOM	151	302 SPACES
TOTAL	527	
COVERED (50%)	264	

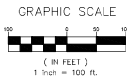
PARKING PROVIDED

UNCOVERED	310
COVERED GARAGE	48
COVERED CARPORT	251
TOTAL COVERED	297
TOTAL	607

SITE TABLE

TOTAL SITE AREA	38.38 AC
TOTAL SITE AREA	1,671,586 SF
TOTAL SITE AREA (LOT 1)	32.78 AC
TOTAL SITE AREA (LOT 1)	1,427,976 SF
TOTAL FLOODPLAIN AREA	8.74 AC
TOTAL FLOODPLAIN AREA (LOT 1)	6.18 AC
NET DEVELOPABLE SITE ACRES	29.64 AC
NET DEVELOPABLE SITE ACRES (LOT 1)	25.95 AC
TOTAL LANDSCAPE AREA (LOT 1)	725,495 SF
FREQ. OF LANDSCAPE AREA (PROVIDED/REQ)	508/408
TOTAL UNITS (LOT 1)	351 UNITS
GROSS DENSITY (LOT 1)	9.18 UNITS/TOT AC
NET DENSITY (LOT 1)	11.60 UNITS/NET AC
CLUBHOUSE MINIMUM SIZE (LOT 1)	3,500 SF
POOL MINIMUM SIZE (LOT 1)	1,600 SF
LEISURE AREA MINIMUM SIZE (PER CODE)	+1,000 SF

SITE DATA:
 LOT 1 32.78 AC (1,427,976 SF)
 LOT 2 5.60 AC (243,609 SQ. FT.)
 TOTAL AREA 38.38 AC (1,671,586 SQ. FT.)



URBAN STRUCTURE
 4222 Main St.
 Dallas, Texas 75246
 www.urbanstructure.com
 TEL: 214-924-5715
 P: 214-924-5715

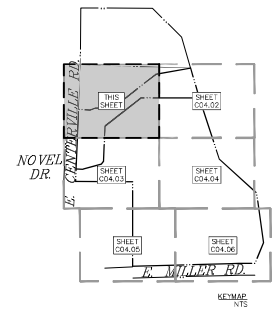
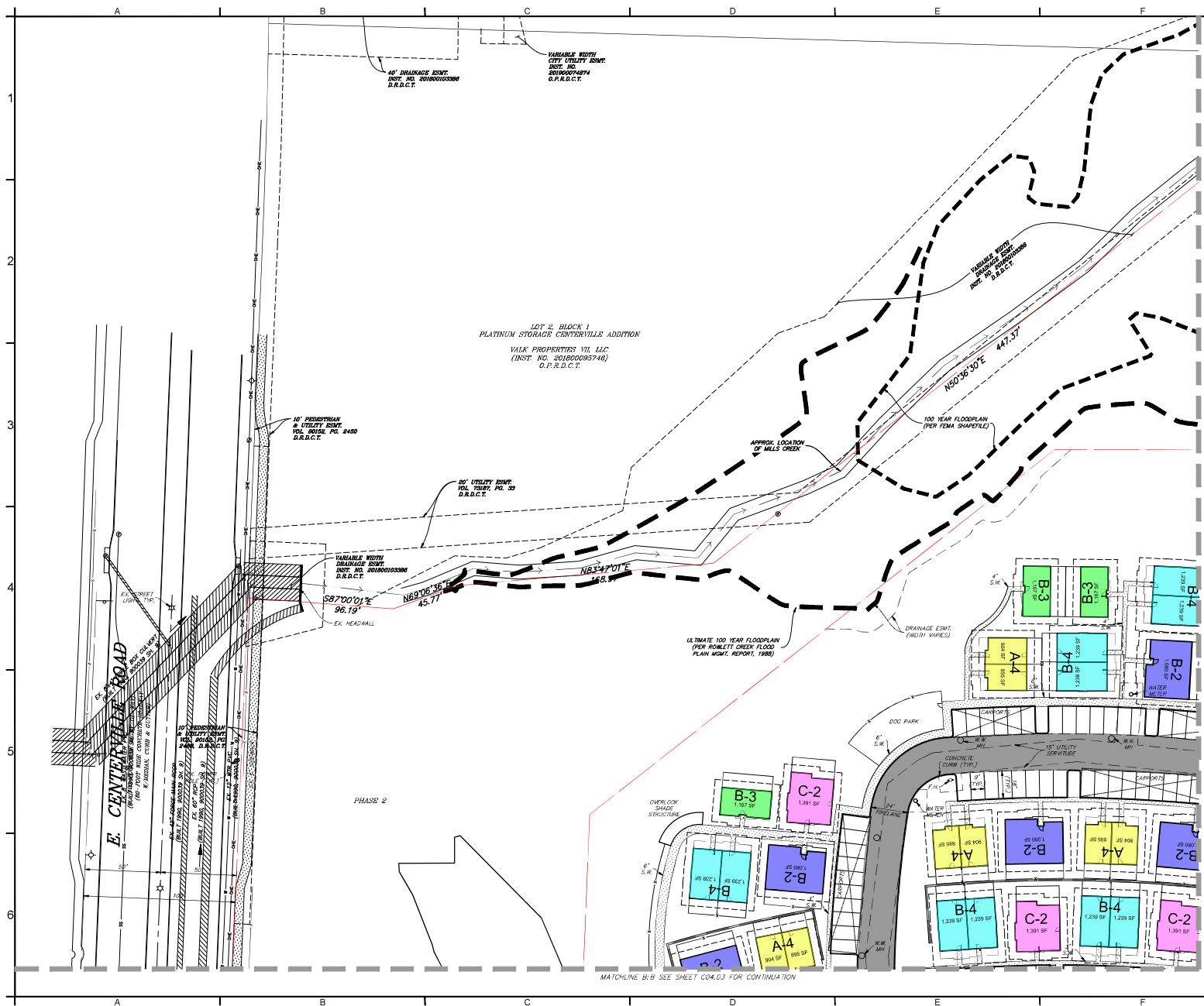
PRELIMINARY
 NOT FOR CONSTRUCTION.
 BRING OR REMOVE PURPOSE.
 PREPARED UNDER THE SUPERVISION OF
 DAN PALMER
 P.E.# 143377
 OR 19010352

CENTERVILLE RD - GARLAND SFFR
 PROJECT: CENTERVILLE RD. #18
 SUPERVISOR: #18
 GARLAND, DALLAS COUNTY, TEXAS 75040
 CASE # 22108242

SITE PLAN - OVERALL

CITY: URBAN FORM
 DRAWN BY: DAL
 CHECKED BY: DAL
 NUMBER: DAL
 DATE PROJECT: 2/14/14

SHEET
C04

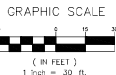
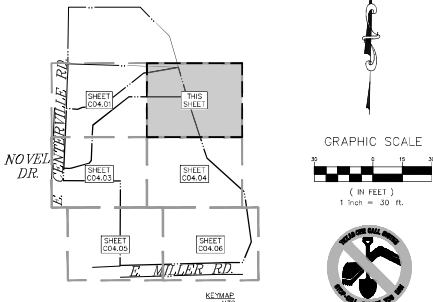
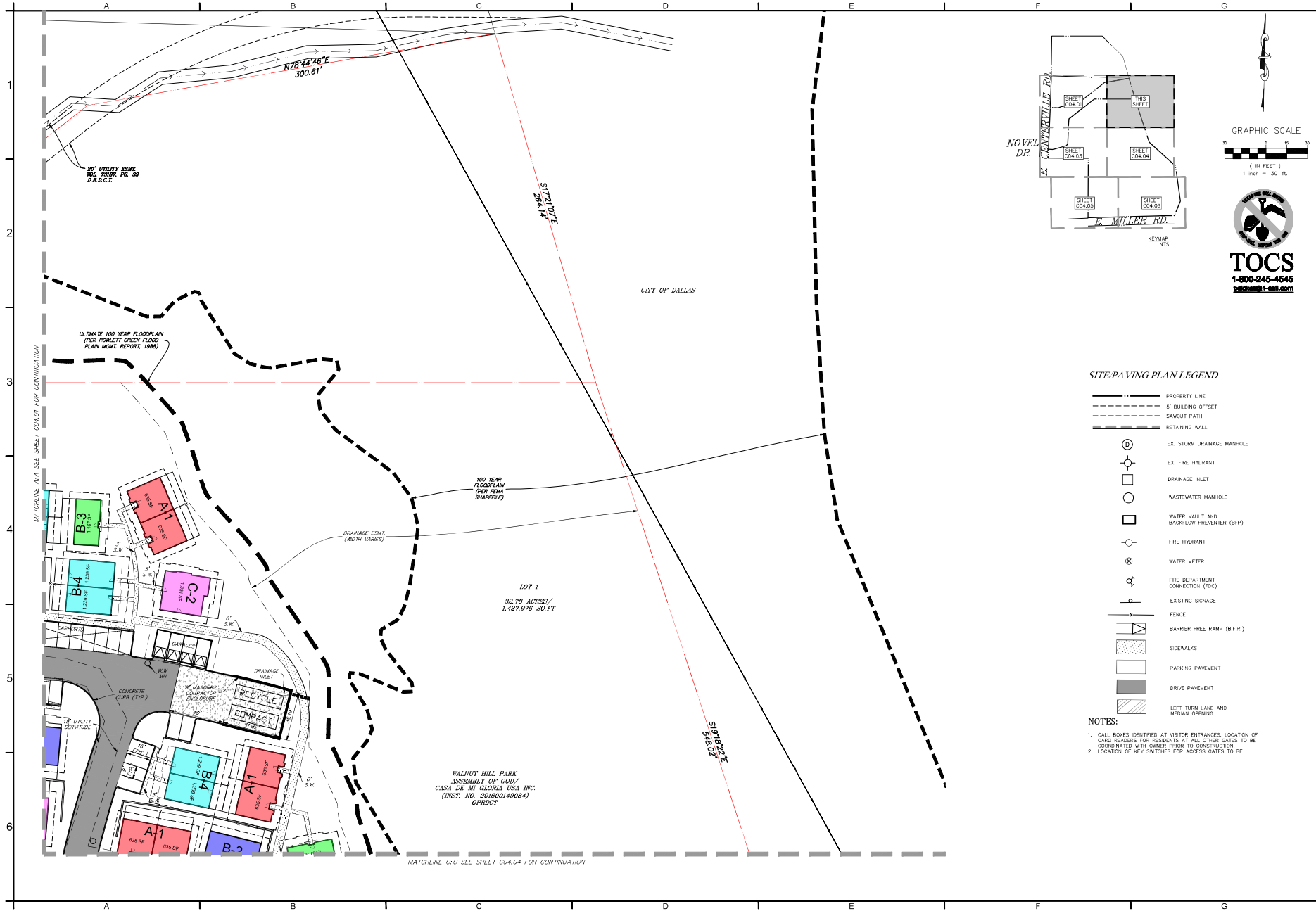


SITE PAVING PLAN LEGEND

- PROPERTY LINE
- 5' BUILDING OFFSET
- SAWCUT PATH
- RETAINING WALL
- EX. STORM DRAINAGE MANHOLE
- EX. FIRE HYDRANT
- DRAINAGE INLET
- WASTEWATER MANHOLE
- WATER VAULT AND BACKFLOW PREVENTER (BFP)
- FIRE HYDRANT
- WATER METER
- FIRE DEPARTMENT CONNECTION (FDC)
- EXISTING SIGNAGE
- FENCE
- BARRIER FREE RAMP (B.F.R.)
- SIDEWALKS
- PARKING PAVEMENT
- DRIVE PAVEMENT
- LEFT TURN LANE AND MEDIAN OPENING

- NOTES:**
- CALL BOXES IDENTIFIED AT VESTIBULE ENTRANCES. LOCATION OF CALL READERS FOR RESIDENTS AT ALL OTHER GATES TO BE COORDINATED WITH OWNER PRIOR TO CONSTRUCTION.
 - LOCATION OF KEY SWITCHES FOR ACCESS GATES TO BE COORDINATED WITH FIRE DEPARTMENT PRIOR TO CONSTRUCTION.

<p>TOCS 1-800-245-4846 tocs@a1-call.com</p>	
<p>GRAPHIC SCALE (IN FEET) 1 Inch = 30 Ft.</p>	
<p>TEL: 214-954-5755 www.urbanstructure.com</p>	
<p>URBAN STRUCTURE Dallas, Texas 75246 pmm@urbanstructure.com</p>	
<p>PRELIMINARY NOT FOR CONSTRUCTION, BRIDGING OR PERMIT PURPOSES. PREPARED UNDER THE SUPERVISION OF DAN P. LAHEAR, P.E. #143377, OR 10010352</p>	
<p>CENTERVILLE RD - GARLAND SFFR COSTA CENTERVILLE RD. SUBDIVISION # 2108244-2 GARLAND, DALLAS COUNTY, TEXAS 75040 CASE # 2108244-2</p>	
<p>SITE PLAN</p>	
<p>PROJECT: URBAN RESIDENT</p>	<p>SHEET TITLE: C04.01</p>
<p>DRAWN BY: DAL</p>	<p>DATE: 11/14/2024</p>
<p>REVISION: DAL</p>	<p>NUMBER: DAL</p>
<p>DATE: 11/14/2024</p>	<p>DATE: 11/14/2024</p>



SITE PAVING PLAN LEGEND

- PROPERTY LINE
- 5' BUILDING OFFSET
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- RETAINING WALL
- EX. STORM DRAINAGE MANHOLE
- EX. FIRE HYDRANT
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- NOTES:**
1. CALL BOXES IDENTIFIED AT VISITOR ENTRANCES. LOCATION OF CALL READERS FOR RESIDENTS AT ALL OTHER GATES TO BE COORDINATED WITH OWNER PRIOR TO CONSTRUCTION.
 2. LOCATION OF KEY SWITCHES FOR ACCESS GATES TO BE

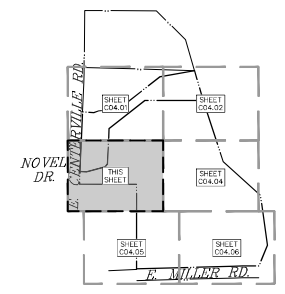
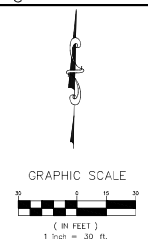
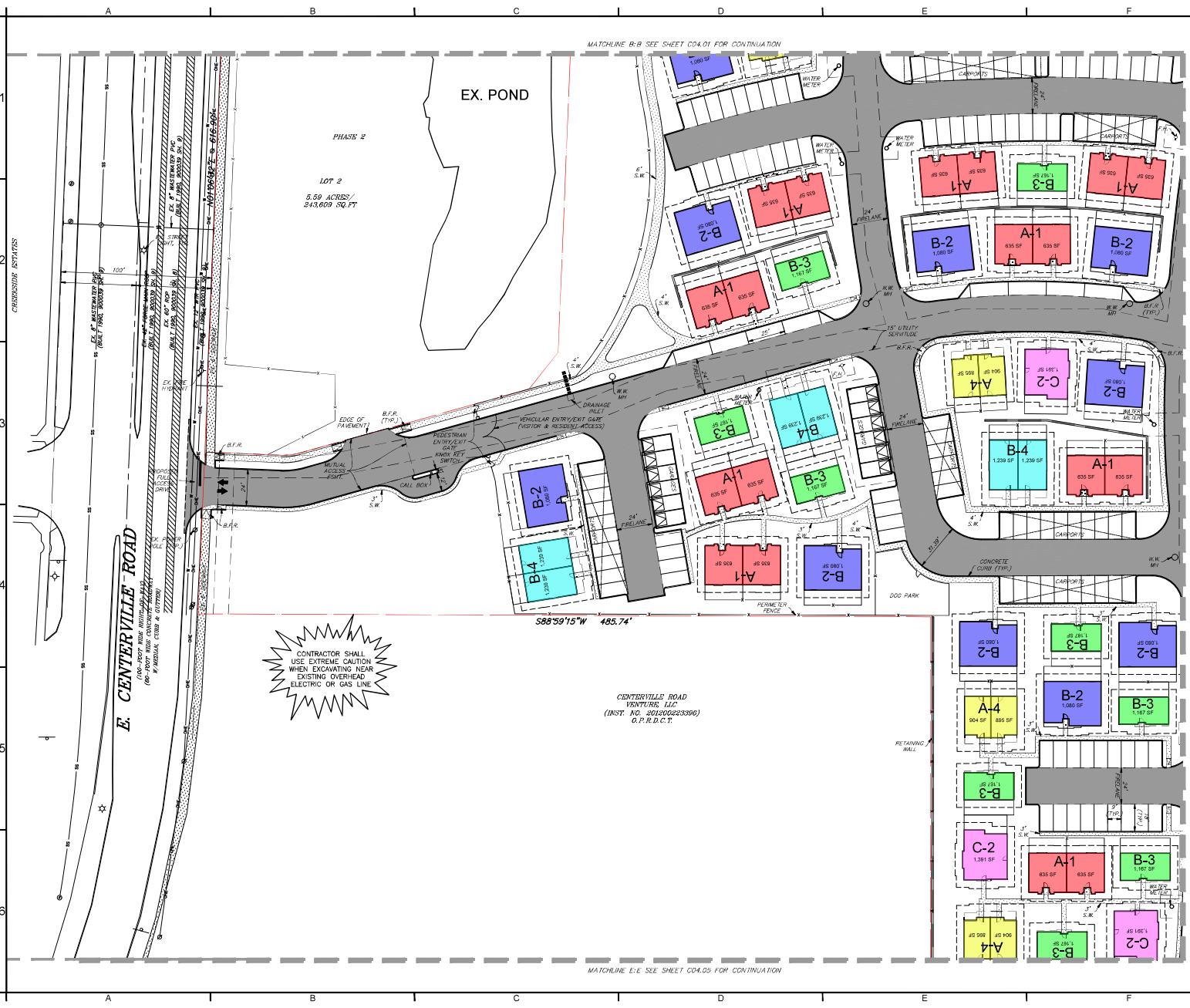
PRELIMINARY
NOT FOR CONSTRUCTION.
BRING TO PERMIT PURPOSE.
PREPARED UNDER THE SUPERVISION OF
DAVE PALMER
P.E.# 143377
04/19/2022

CENTERVILLE RD - GARLAND SFRR
SITE: CENTERVILLE RD. # 1000
SUBDIVISION # 1000
GARLAND, DALLAS COUNTY, TEXAS 75040
CASE # 2108242

PROJECT:		SHEET TITLE:	
CLIENT:	URBAN STRUCTURE	PROJECT:	2024
DRAWN BY:	DAL	DRAWN BY:	DAL
REVISION:	04	REVISION:	DAL
DATE:	04/19/2022	DATE:	04/19/2022

SHEET
C04.02

EXHIBIT C



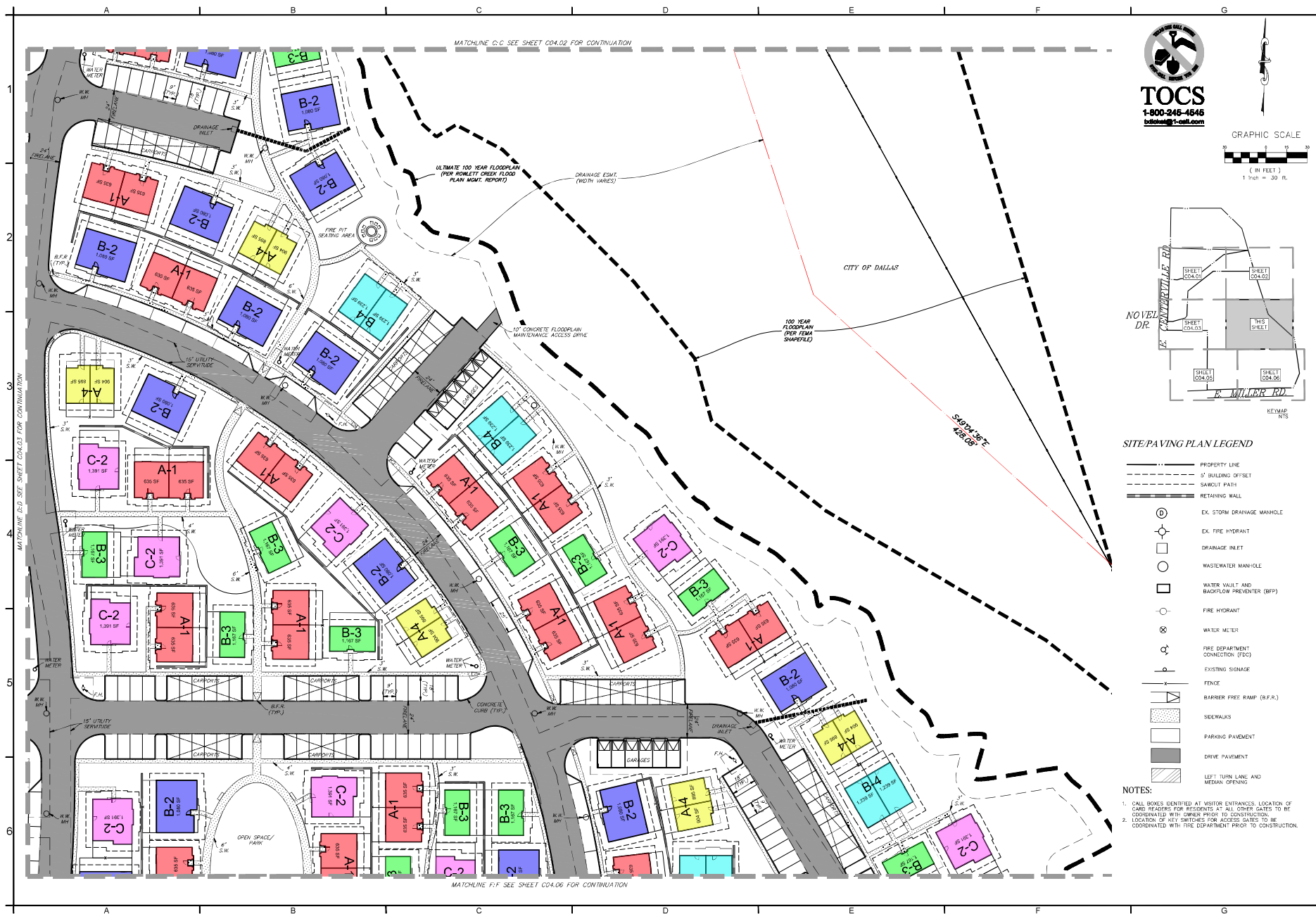
SITE PAVING PLAN LEGEND

- PROPERTY LMP
- - - 5' BUILDING OFFSET
- - - SAWCUT PATH
- ▬▬▬ RETAINING WALL
- ⊙ EX. STORM DRAINAGE MANHOLE
- ⊙ EX. FIRE HYDRANT
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- WASTEWATER MANHOLE
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- ⊙ WATER METER
- ⊙ FIRE DEPARTMENT CONNECTION (FDC)
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- ▬▬▬ BARRIER FREE RAMP (B.F.R.)
- ▬▬▬ SIDEWALKS
- ▬▬▬ PARKING PAVEMENT
- ▬▬▬ DRIVE PAVEMENT
- ▬▬▬ LEFT TURN LANE AND MEDIAN OPENING

- NOTES:
- CALL BOSES IDENTIFY AT VISITOR ENTRANCES, LOCATION OF CARD READERS FOR RESIDENTS AT ALL OTHER GATES TO BE COORDINATED WITH OWNER PRIOR TO CONSTRUCTION.
 - LOCATION OF KEY SWITCHES FOR ACCESS GATES TO BE COORDINATED WITH FIRE DEPARTMENT PRIOR TO CONSTRUCTION!

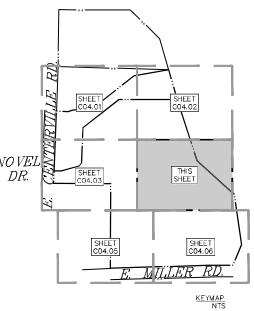
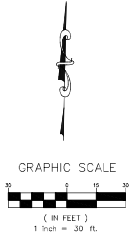
<p>URBAN STRUCTURE 4325 Main St. Dallas, Texas 75246 www.urbanstructure.com TEL: 214-954-5715</p>	
<p>PRELIMINARY NOT FOR CONSTRUCTION. BRING OR REPEAT PURPOSE. PREPARED UNDER THE SUPERVISION OF DANIEL A. LAHER P.E.#143377 04/19/2023</p>	
<p>CENTERVILLE RD - GARLAND SFFR SITE: CENTERVILLE RD. SUBDIVISION #11111111 GARLAND, DALLAS COUNTY, TEXAS 75040 CASE #21082442</p>	
<p>PROJECT: URBAN HOUSING</p>	<p>SHEET TITLE</p>
<p>DRAWN BY: DAL</p>	<p>DATE: 04/19/2023</p>
<p>REVISION: DAL</p>	<p>DATE: 04/19/2023</p>
<p>INTERIOR: DAL</p>	<p>DATE: 04/19/2023</p>
<p>DATE: 04/19/2023</p>	<p>DATE: 04/19/2023</p>
<p>SHEET C04.03</p>	

EXHIBIT C



MATCHLINE C-G SEE SHEET C04.02 FOR CONTINUATION

MATCHLINE F-F SEE SHEET C04.06 FOR CONTINUATION



SITE PAVING PLAN LEGEND

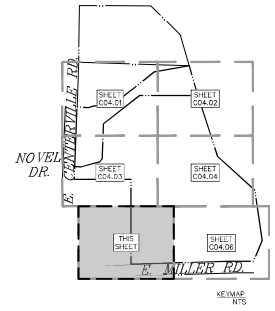
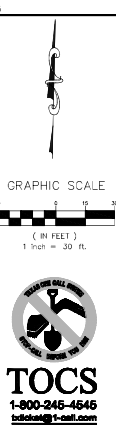
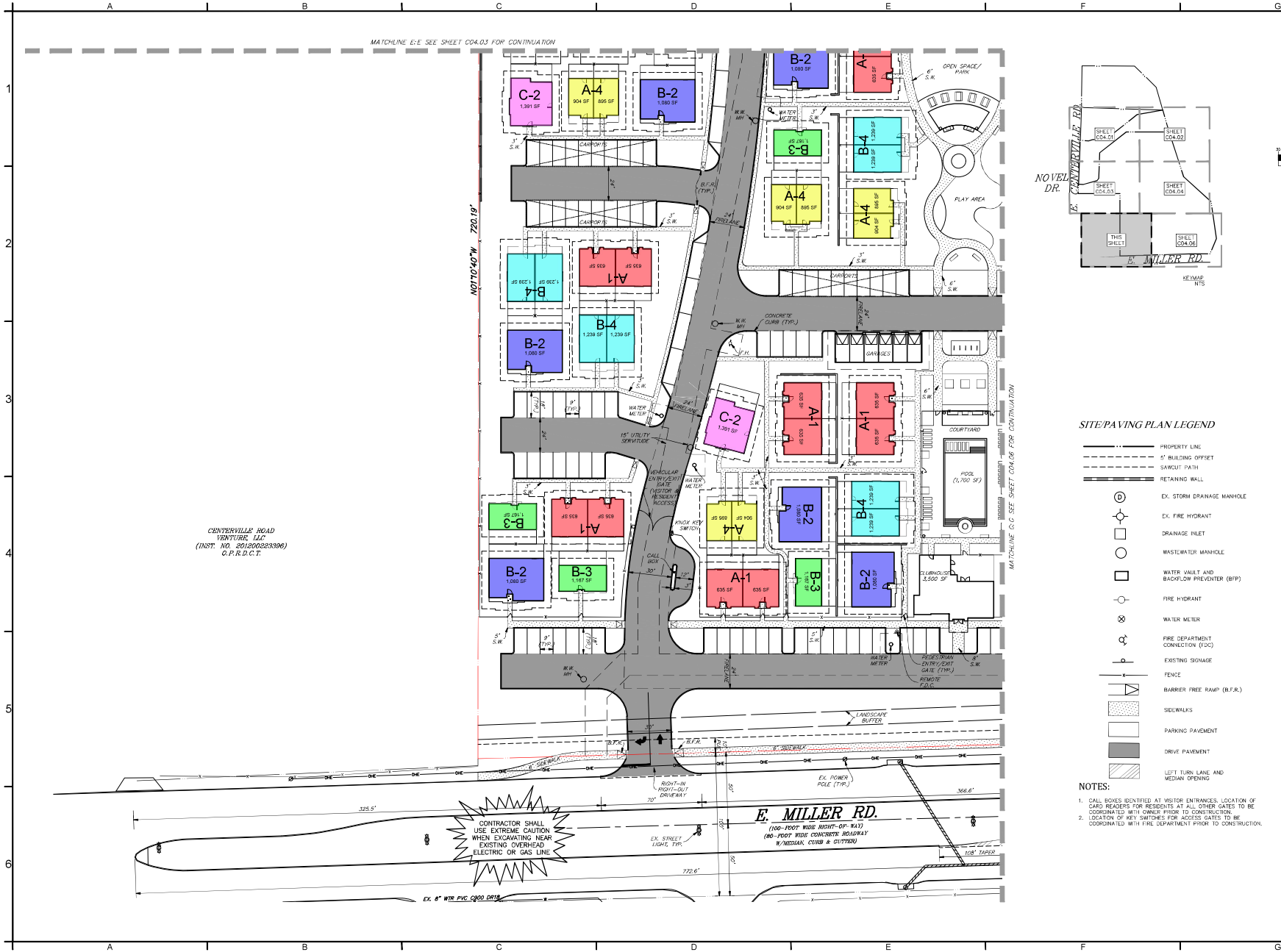
- PROPERTY LINE
- 3' BUILDING OFFSET
- - - SAWCUT PATH
- ▬ RETAINING WALL
- ⊙ EX. STORM DRAINAGE MANHOLE
- ⊙ EX. FIRE HYDRANT
- DRAINAGE INLET
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- WATER VALVE AND BACKFLOW PREVENTER (BFP)
- FIRE HYDRANT
- WATER METER
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- ▭ FENCE
- ▭ BARRIER FREE RAMP (B.F.R.)
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- ▭ PARKING PAVEMENT
- ▭ DRIVE PAVEMENT
- ▭ LEFT TURN LANE AND MEDIAN OFFING

NOTES:

1. CALL BOXES IDENTIFIED AT VISITOR ENTRANCES, LOCATION OF CARD READERS FOR RESIDENTS AT ALL OTHER GATES TO BE COORDINATED WITH OWNER PRIOR TO CONSTRUCTION.
2. LOCATION OF KEY SWITCHES FOR ACCESS GATES TO BE COORDINATED WITH FIRE DEPARTMENT PRIOR TO CONSTRUCTION.

REVISIONS	
 www.urbanstructure.com TEL: 214-954-5755 6325 Main St. Dallas, Texas 75246 P.O. # 143377 ON 10010502	
PRELIMINARY	
NOT FOR CONSTRUCTION, BRING TO PERMIT PURPOSES. PREPARED UNDER THE SUPERVISION OF DAN PALMER P.E.# 143377 ON 10010502	
CENTERVILLE RD - GARLAND SFRR	SITE PLAN
PROJECT: URBAN HOUSING	CLIENT: URBAN HOUSING
DRAWN BY: DAL	CHECKED BY: DAL
DATE: 04/20/2014	DATE: 04/20/2014
PROJECT #2014	SHEET #
C04.04	

EXHIBIT C



SITE/PAVING PLAN LEGEND

- PROPERTY LINE
- 5' BUILDING OFFSET
- SAWCUT PATH
- RETAINING WALL
- EX. STORM DRAINAGE MANHOLE
- EX. FIRE HYDRANT
- DRAINAGE INLET
- WASTEWATER MANHOLE
- WASTE VAULT AND BACKFLOW PREVENTER (BFP)
- FIRE HYDRANT
- WATER METER
- FIRE DEPARTMENT CONNECTION (FDC)
- EXISTING SIGNAGE
- BARRIER FREE RAMP (B.F.R.)
- SIDEWALKS
- PARKING PAVEMENT
- DRIVE PAVEMENT
- LEFT TURN LANE AND MEDIAN OPENING

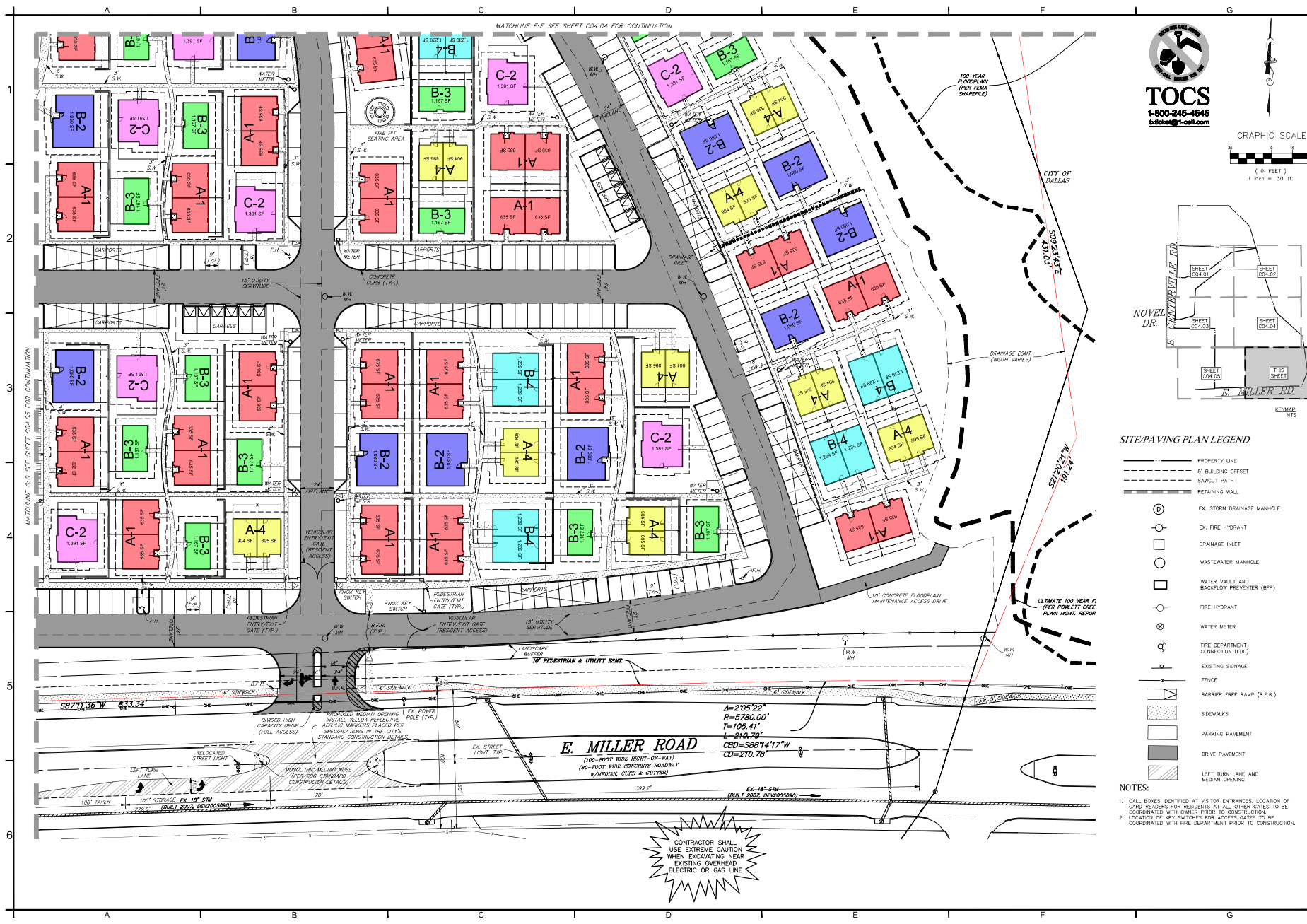
- NOTES:**
- CALL BOXES IDENTIFIED AT VISITOR ENTRANCES. LOCATION OF CALL READERS FOR RESIDENTS AT ALL OTHER GATES TO BE COORDINATED WITH OWNER PRIOR TO CONSTRUCTION.
 - LOCATION OF MET SWITCHES FOR ACCESS GATES TO BE COORDINATED WITH FIRE DEPARTMENT PRIOR TO CONSTRUCTION.

CENTERVILLE ROAD
VENTURE, LLC
(INST. NO. 2012000283306)
O.P.R.D.C.T.

PROJECT: URBAN STRUCTURE		DRAWN BY: DAL		DATE: 11/11/2014	
CLIENT: URBAN STRUCTURE		REVISION: 04		DATE: 11/11/2014	
PROJECT: CENTERVILLE RD - GARLAND SFFR		DRAWN BY: DAL		DATE: 11/11/2014	
SITE: CENTERVILLE RD, SUPERVISOR'S COUNTY, TEXAS # GARLAND, DALLAS COUNTY, TEXAS 75040		REVISION: 04		DATE: 11/11/2014	
CASE # 2108242		DRAWN BY: DAL		DATE: 11/11/2014	
SITE PLAN		REVISION: 04		DATE: 11/11/2014	
SHEET TITLE		DRAWN BY: DAL		DATE: 11/11/2014	
SHEET		REVISION: 04		DATE: 11/11/2014	
C04.05		DRAWN BY: DAL		DATE: 11/11/2014	

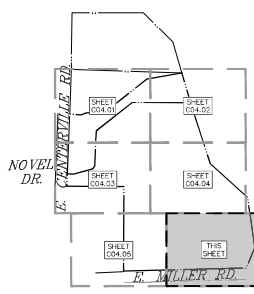
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EXHIBIT C



TOCS
1-800-245-4646
tocs@aig-1.com

GRAPHIC SCALE
1" = 30.0'



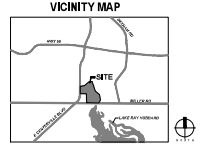
SITE/PAVING PLAN LEGEND

- PROPERTY LINE
- 5' BUILDING OFFSET
- SAWCUT PATH
- RETAINING WALL
- EX. STORM DRAINAGE MANHOLE
- EX. FIRE HYDRANT
- DRAINAGE INLET
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- WATER VAULT AND BACKFLOW PREVENTER (BFP)
- FIRE HYDRANT
- WATER METER
- FIRE DEPARTMENT CONNECTION (FDC)
- EXISTING SIGNAGE
- FENCE
- BARRIER FREE RAMP (B.F.R.)
- SIDEWALKS
- PARKING PAVEMENT
- DRIVE PAVEMENT
- LEFT TURN LANE AND MEDIAN OPENING

NOTES:
1. CALL BOXES IDENTIFIED AT VISITOR ENTRANCES. LOCATION OF CALL READERS FOR RESIDENTS AT ALL OTHER GATES TO BE COORDINATED WITH OWNER PRIOR TO CONSTRUCTION.
2. LOCATION OF KEY SWITCHES FOR ACCESS GATES TO BE COORDINATED WITH FIRE DEPARTMENT PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL USE EXTREME CAUTION WHEN EXCAVATING NEAR EXISTING OVERHEAD ELECTRIC OR GAS LINE

REVISIONS	
NO.	DATE
 URBAN STRUCTURE www.urbanstructure.com 4325 Main St. Dallas, Texas 75246 TEL: 214.954.5755 P: 214.954.5755	
PRELIMINARY NOT FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES. PREPARED UNDER THE SUPERVISION OF DANIEL LAZAR P.E. #143377 04/19/2022	
SITE PLAN PROJECT: CENTERVILLE RD - GARLAND SFRR CLIENT: URBAN STRUCTURE DRAWN BY: DAL CHECKED BY: DAL NUMBER: 04 DATE: 04/19/2022	
SHEET C04.06	



Case Number: 210824-2
Existing Zoning: PD 85-29
Proposed Zoning: PD

DEVELOPER:
Urban Moment
3755 S Capital of Texas Highway
Building 1, Unit 100
Austin, TX 78704
Contact: Zach Hinman

PREPARED BY:
Bud Creative
3800 Main Street, Suite B
Dallas, TX 75226
Contact: Mike Levkulich
570,954,1964

SECTION 4.34 Site and Perimeter Landscape Requirements

A minimum of forty percent of the gross planted area of the site of any multifamily or senior living facility must be devoted to landscaping, open space areas, pools, and similar outdoor recreational activity areas.

TOTAL SITE AREA	1,427,976 SF	32.78 AC
-----------------	--------------	----------

LANDSCAPE AREA	REQUIRED	PROVIDED
TOTAL LANDSCAPE AREA	571,190 SF (12.11 ACRES) 40%	725,495 SF (16.69 ACRES) 50%

LANDSCAPE BUFFER REQUIREMENTS	REQUIRED	PROVIDED
For every thirty linear feet, or fraction thereof, of required landscape buffer, one large canopy tree is required, along with seven shrubs or ornamental grasses.		

E. MILLER ROAD (867 LF)

	REQUIRED	PROVIDED
LARGE CANOPY TREES	33	33
SHRUBS/GRASSES	23	187
TURF	11,003 SF (70% MAX.)	3,963 SF (27%)

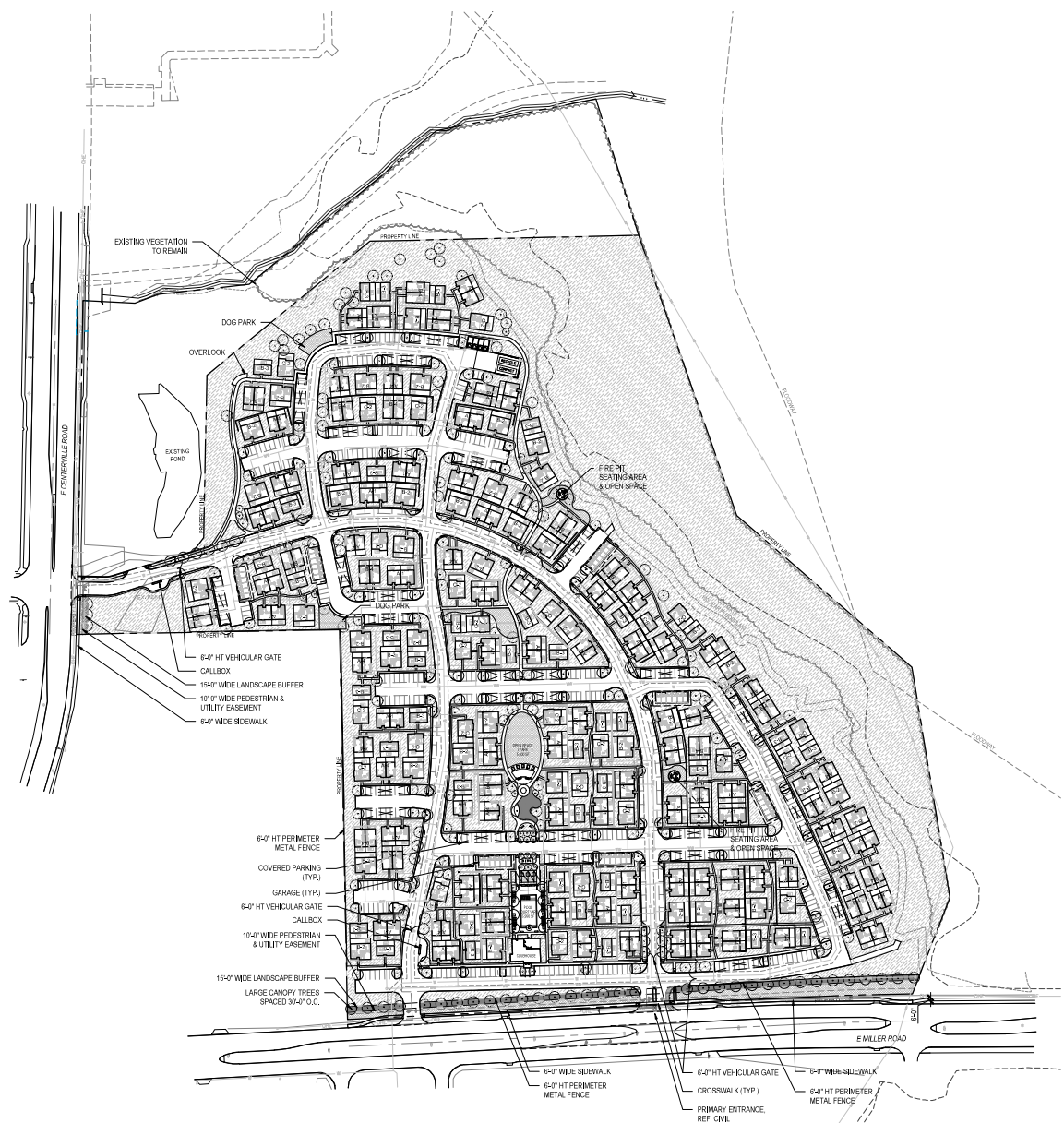
E. CENTERVILLE ROAD (74 LF)

	REQUIRED	PROVIDED
LARGE CANOPY TREES	2	3
SHRUBS/GRASSES	15	18
TURF	678 SF (70% MAX.)	693 SF (50%)

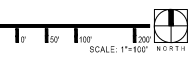
PARKING AREA LANDSCAPE

A landscaped island must be located at the terminus of each parking row and must contain a minimum of one large canopy tree. Landscaped islands must be a minimum of 1800SF. One large canopy tree is required for every ten parking spaces. 5% of parking area is required to be landscape.

	REQUIRED	PROVIDED
LARGE CANOPY TREES	5	118
LANDSCAPE AREA	5,200 SF (30%)	15,200 SF



1 OVERALL LANDSCAPE PLAN



URBANA CENTERVILLE
GARLAND, TX

Rev.	Date	Description

Project Number: 21039
Date: OCTOBER 21, 2022
Issue: ZONING

Sheet Title:
LANDSCAPE PLAN



bwd Creative, LLC
3000 Main Street, Suite B
Dallas, Texas 75226
P: 972.644.1004

OWNER
Urban Moment
3705 S Capital of Texas Highway
Building 1, Unit 100
Austin, TX 78704

CIVIL ENGINEER
Urban Structure
8140 Walnut Hill Lane
Suite 905
Dallas, TX 75221

URBANA CENTERVILLE
GARLAND, TX

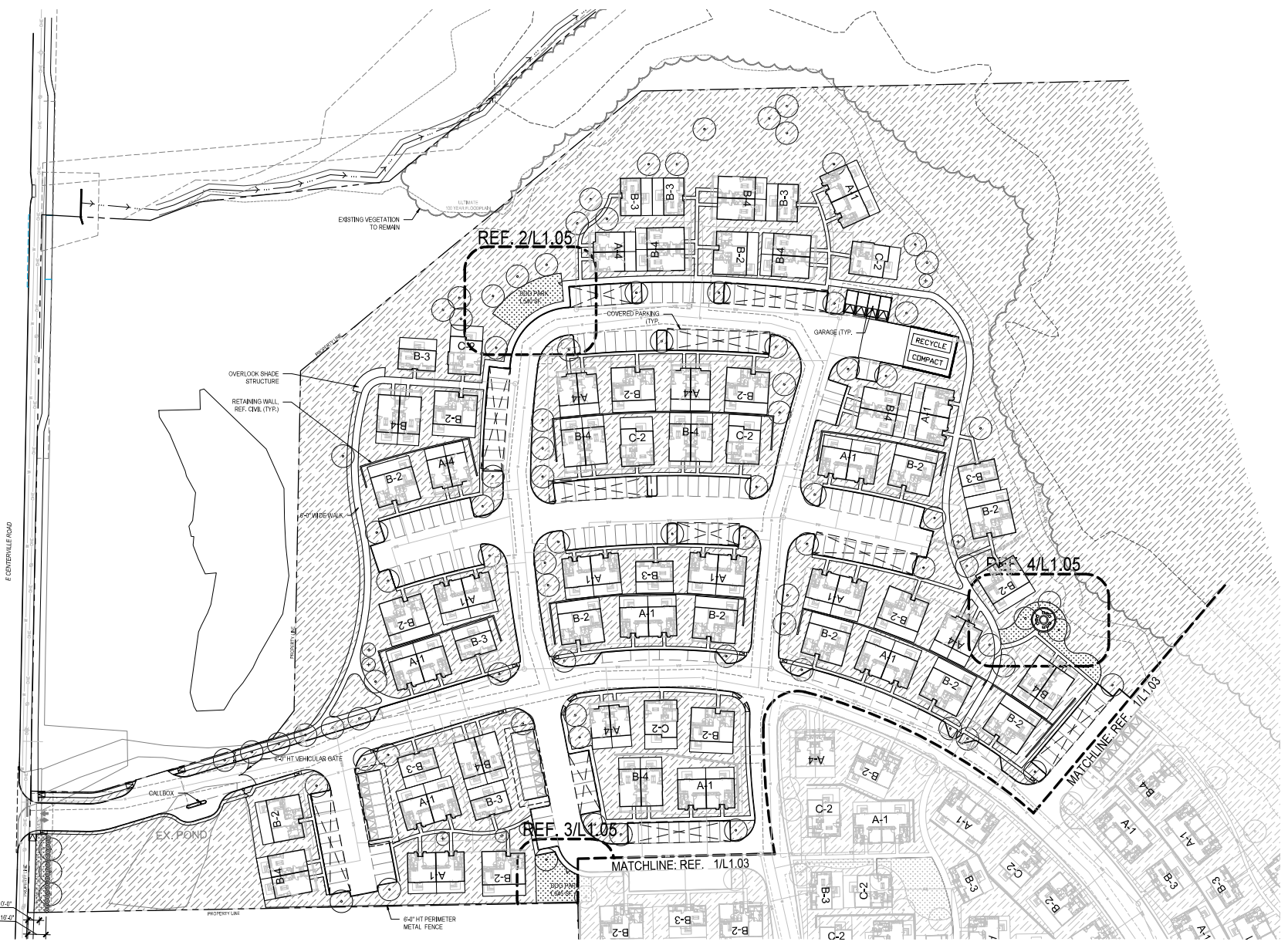
Rev.	Date	Description

Project Number: 21039
Date: OCTOBER 21, 2022
Issue: ZONING

Sheet Title:
LANDSCAPE PLAN

<p>ZONING CITY OF GARLAND OFFICIAL ZONING MAP Michael Lawson, 3028 OCTOBER 21, 2022</p>	<p>Sheet Number: L1.02</p>
--	---------------------------------------

ZONING - NOT FOR CONSTRUCTION



1 LANDSCAPE PLAN

EXHIBIT D

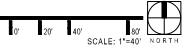
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EXHIBIT D

Drawing name: C:\p\projects\urbana\21039 - Urbana Centerville\21039 - Urbana Centerville\21039.dwg L1.03 Oct 20, 2022 4:56pm by alexander.nemcz



1 LANDSCAPE PLAN



OWNER
Urban Moment
3705 S Capital of Texas Highway
Building 1, Unit 100
Austin, TX 78704

CIVIL ENGINEER
Urban Structure
8140 Walnut Hill Lane
Suite 905
Dallas, TX 75231

URBANA CENTERVILLE GARLAND, TX

Rev.	Date	Description

Project Number: 21039
Date: OCTOBER 21, 2022
Issue: ZONING

LANDSCAPE PLAN

ZONING
FOR THE CITY OF GARLAND
COMMISSIONER OF PLANNING
AND DEVELOPMENT

bwd
CREATIVE

Michael Lovelace, PE
OCTOBER 21, 2022

Sheet Number:
L1.03

ZONING - NOT FOR CONSTRUCTION



Bud Creative, LLC
3000 Main Street, Suite B
Dallas, Texas 75226
P: 313.564.1664

OWNER
Urban Moment
3705 S Capital of Texas Highway
Building 1, Unit 100
Austin, TX 78704

CIVIL ENGINEER
Urban Structure
8140 Walnut Hill Lane
Suite 905
Dallas, TX 75231

URBANA CENTERVILLE
GARLAND, TX

Rev.	Date	Description

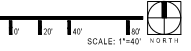
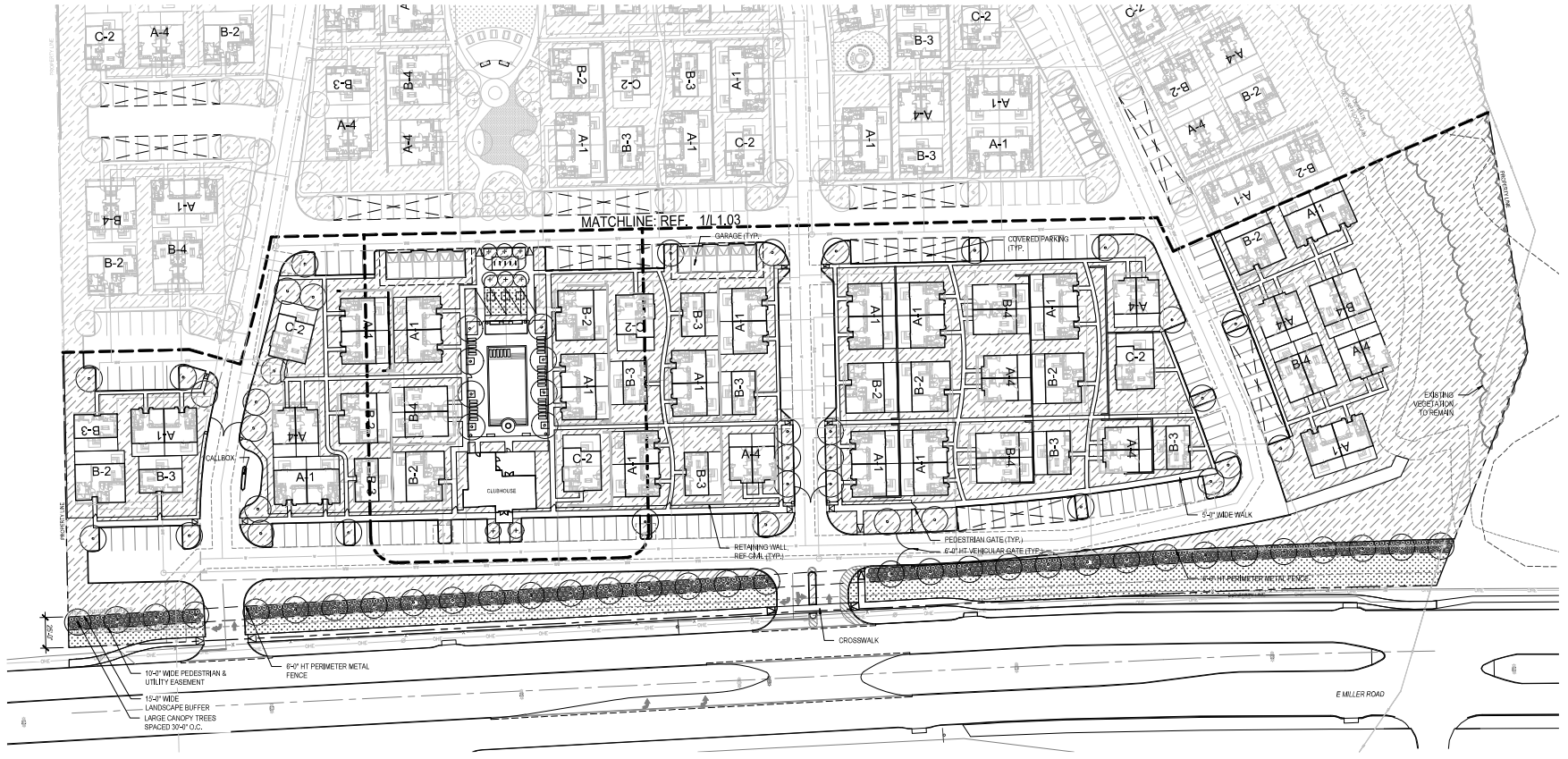
Project Number: 21039
Date: OCTOBER 21, 2022
Issue: ZONING

Sheet Title
LANDSCAPE PLAN

ZONING
FOR BAY AREA COUNTY
COUNTY OF DALLAS
PROJECT NO. 21039
Michael Lovelace, PE
OCTOBER 21, 2022

Sheet Number:
L1.04

ZONING - NOT FOR CONSTRUCTION



1 LANDSCAPE PLAN

EXHIBIT D

Drawing name: C:\p4\Projects\urbana\21039 - Urbana Centerville\Zoning\04_CAD\02_Site\03_Land\1.04_L1.04_2022.dwg, 11/04/2022 4:56pm, by: mlovelace



bud Creative, LLC
3000 Main Street, Suite B
Dallas, Texas 75226
P: 313.544.1494

OWNER
Urban Moment
3755 S Capital of Texas Highway
Building 1, Unit 100
Austin, TX 78704

CIVIL ENGINEER
Urban Structure
8140 Walnut Hill Lane
Suite 905
Dallas, TX 75231

URBANA CENTERVILLE
GARLAND, TX

Rev.	Date	Description

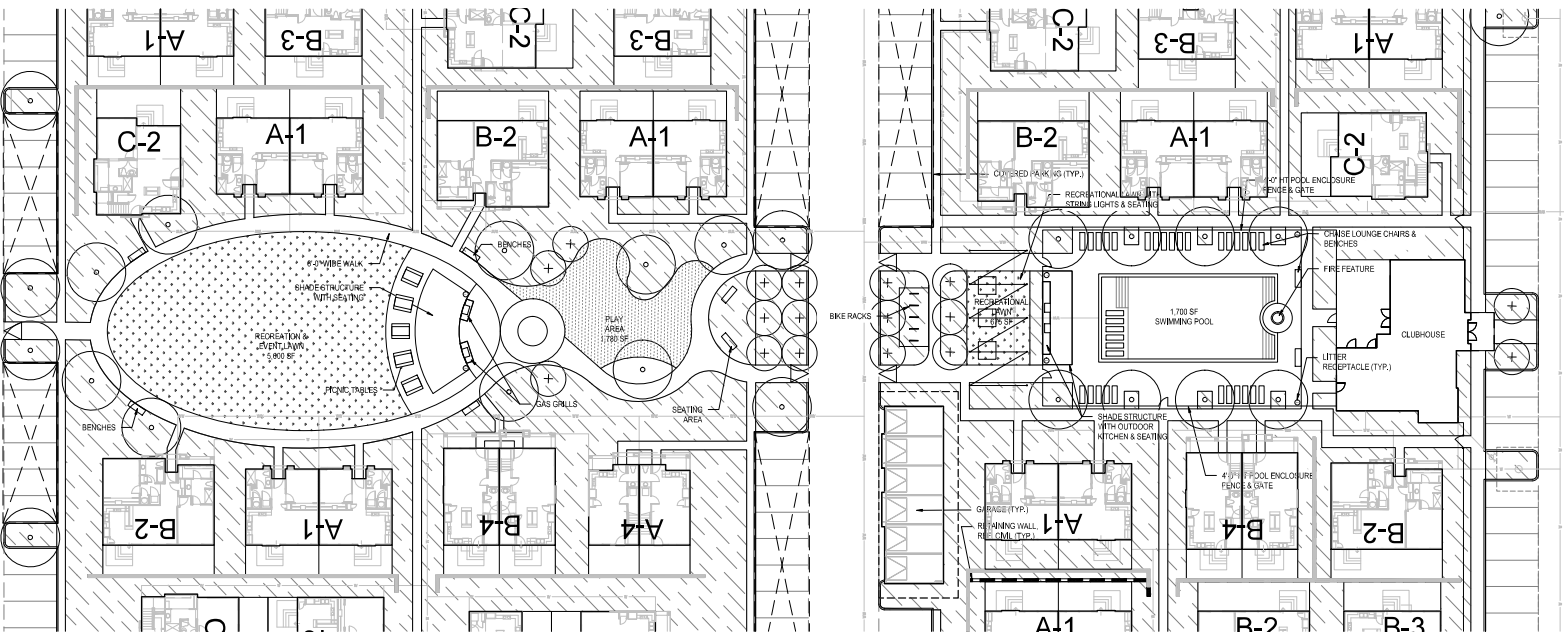
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Date: OCTOBER 21, 2022
Issue: ZONING

Sheet Title:
LANDSCAPE PLAN

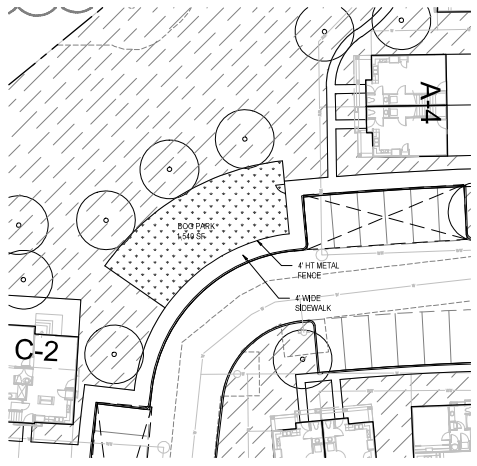
ZONING
FOR URBANA CENTERVILLE
OWNERS: URBAN MOMENT
PROJECTS
bud
CREATIVE, LLC
Michael Lovelace, PE
OCTOBER 21, 2022

Sheet Number:
L1.05

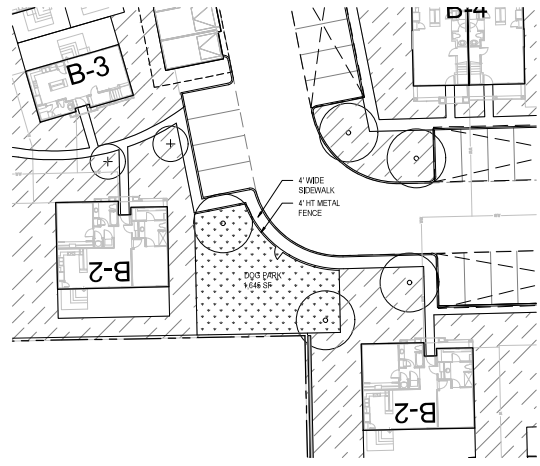
ZONING - NOT FOR CONSTRUCTION



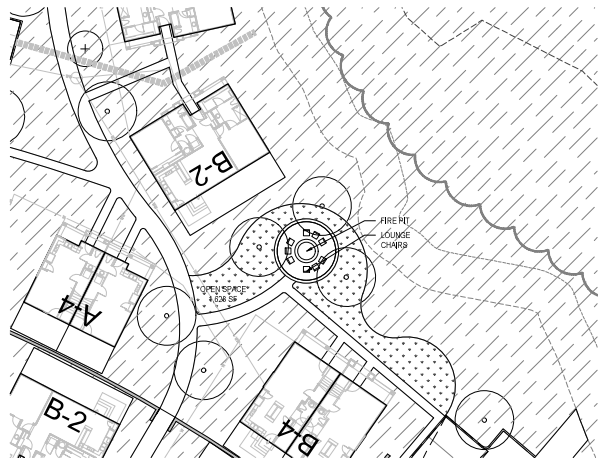
1 POOL COURTYARD & PARK
SCALE: 1"=20' N.O.R.T.



2 DOG PARK
SCALE: 1"=10' N.O.R.T.



3 DOG PARK
SCALE: 1"=10' N.O.R.T.

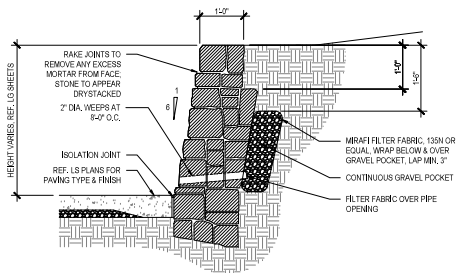


4 FIREPIT SEATING AREA
SCALE: 1"=10' N.O.R.T.

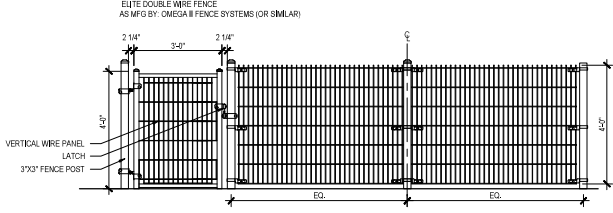
EXHIBIT D

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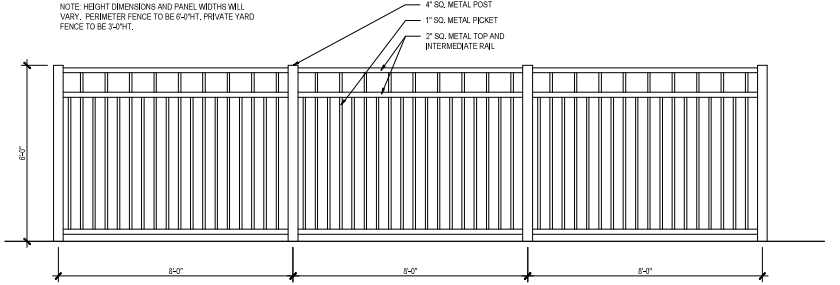
PLANT SCHEDULE						
LARGE CANOPY TREES						
KEY	BOTANICAL NAME	COMMON NAME	DIA.	HT.	SPRD.	CONTAINER / COMMENTS
FA	<i>Fraxinus albicans</i>	Texas Ash	2" Min.	12'-4"		B4B Full Specimen, Matched, Strong Central Leader
AS	<i>Acer saccharum "Cedar"</i>	Gladie Maple	2" Min.	12'-4"		B4B Full Specimen, Matched, Strong Central Leader
OR	<i>Quercus muhlenbergii</i>	Chickpea Oak	2" Min.	12'-4"		B4B Full Specimen, Matched, Strong Central Leader
OV	<i>Quercus virginiana</i>	Live Oak	2" Min.	12'-4"		B4B Full Specimen, Matched, Strong Central Leader
UCR	<i>Ulmus crassifolia</i>	Cedar Elm	2" Min.	12'-4"		B4B Full Specimen, Matched, Strong Central Leader
ORNAMENTAL TREES						
KEY	BOTANICAL NAME	COMMON NAME	HT.	SPRD.	CONTAINER	COMMENTS
PM	<i>Parus mexicana</i>	Mexican Junco	2" Min.	10'-2"		B4B Full Specimen, Multi-Trunk
VA	<i>Yucca agave-castus</i>	Chalita Yucca	2" Min.	10'-2"		B4B Full Specimen, Multi-Trunk
IV	<i>Ilex vomitoria</i>	*Austin Holly	2" Min.	10'-2"		B4B Full Specimen, Multi-Trunk
LI	<i>Lagerstroemia indica x fuzesi "Rakhez"</i>	Rakhez Crape-Nyrtle	2" Min.	10'-2"		B4B Full Specimen, Multi-Trunk
SHRUBS						
KEY	BOTANICAL NAME	COMMON NAME	HT.	SPRD.	CONTAINER	COMMENTS
ADP	<i>Agave obtusifolia</i>	*Muhlenberg's Tongue Agave	24"	24"	5 Gal.	Full Plants, Ref. LP Sheets for Location
APC	<i>Artemisia "Frost Castle"</i>	Artemisia	12"	12"	3 Gal.	Full Plants, Plant 18" O.C.
YF	<i>Yucca filamentosa "Color Guard"</i>	Color Guard Yucca	12"	18"	3 Gal.	Full Plants, Plant 36" O.C.
CA	<i>Calliopsis americana</i>	American Beardberry	24"	24"	3 Gal.	Full Plants, Plant 48" O.C.
EM	<i>Elaeagnus macrophylla Ebbenkii</i>	Elaeagnus	12"	18"	3 Gal.	Full Plants, Plant 48" O.C.
HPA	<i>Hesperaloe parviflora</i>	Red Yucca	24"	24"	3 Gal.	Full Plants, Plant 36" O.C.
IC	<i>Ilex cornuta "Dwarf Burford"</i>	Dwarf Burford Holly	24"	24"	5 Gal.	Full Plants, Plant 36" O.C.
LF	<i>Leucosyllum pubescens</i>	Texas Sage	24"	20"	5 Gal.	Full Plants, Plant 48" O.C.
LJ	<i>Ligustrum japonicum</i>	*Weinert Ligustrum	12"	12"	5 Gal.	Full Plants, Plant 18" O.C.
MS	<i>Miscanthus sinensis "gracillimus"</i>	Morning Light Miscanthus	24"	12"	5 Gal.	Full Plants, Plant 48" O.C.
OE	<i>Opuntia ellaeagni</i>	Spriness Prickly Pear	24"	20"	5 Gal.	Full Plants, Plant 48" O.C.
RO	<i>Rosmarinus officinalis</i>	Rosemary	24"	20"	3 Gal.	Full Plants, Plant 24" O.C.
YR	<i>Yucca recurvifolia</i>	Soft Leaf Yucca	10"	10"	3 Gal.	Full Plants, Plant 24" O.C.
PERENNIALS, GROUNDCOVERS & ORNAMENTAL GRASSES						
KEY	BOTANICAL NAME	COMMON NAME	HT.	SPRD.	CONTAINER	COMMENTS
VM	<i>Viola minor</i>	Viola	12"	12"	1 Gal.	Full Plants, Plant 12" O.C.
UM	<i>Urosax muscari</i>	Urosax	12"	12"	1 Gal.	Full Plants, Plant 12" O.C.
RH	<i>Ruthecula hirta</i>	Blackeyed Susan	6"	8"	1 Gal.	Full Plants, Plant 18" O.C.
CS	<i>Cuscutria suffruticosa</i>	Pink Skullcap	12"	12"	1 Gal.	Full Plants, Plant 18" O.C.
SG	<i>Saxifraga</i>	Auburn Sage	6"	8"	1 Gal.	Full Plants, Plant 18" O.C.
MA	<i>Muhlenbergia setacea var. Drummondii</i>	*Lutea Cap	12"	12"	1 Gal.	Full Plants, Plant 36" O.C.
LA	<i>Lantana</i>	Lantana	14"	20"	3 Gal.	Full Plants, Plant 36" O.C.
MC	<i>Muhlenbergia capillaris</i>	Gulf Muhly	24"	10"	3 Gal.	Full Plants, Plant 36" O.C.
NT	<i>Nassella tenuissima</i>	Mexican Feather Grass	12"	8"	1 Gal.	Full Plants, Plant 18" O.C.
CT	<i>Carex texensis</i>	Texas Sedge	6"	8"	1 Gal.	Full Plants, Plant 18" O.C.
ROP	<i>Rosmarinus officinalis "Prostratus"</i>	Tall Rosemary	6"	12"	1 Gal.	Full Plants, Plant 24" O.C.
SC		Seasonal Color				By Owner
TURF						
KEY	BOTANICAL NAME	COMMON NAME	HT.	SPRD.	CONTAINER	COMMENTS
TURF	<i>Bouteloua curtipendula</i>	Buffalo Grass				Spot



1 STONE GRAVITY WALL
SECTION
SCALE: 3/4"=1'-0"



2 DECORATIVE METAL FENCE
ELEVATION
SCALE: 1/2"=1'-0"



3 PERIMETER SCREEN FENCE / PRIVATE YARD FENCE
ELEVATION
SCALE: 1/2"=1'-0"



OWNER
Urban Moment
3705 S Capital of Texas Highway
Building 1, Unit 100
Austin, TX 78704

CIVIL ENGINEER
Urban Structure
8140 Walnut Hill Lane
Suite 905
Dallas, TX 75231

URBANA CENTERVILLE
GARLAND, TX

Rev.	Date	Description

Project Number: 21039
Date: OCTOBER 21, 2022
Issue: ZONING

Sheet Title:
LANDSCAPE PLAN

ZONING
FOR MUNICIPAL JURISDICTION
FOR THE CITY OF GARLAND
PROJECT NO. 21039
bud creative
3000 ROSS STREET, SUITE B
DALLAS, TEXAS 75208
OCTOBER 21, 2022

Sheet Number:
L1.06

ZONING - NOT FOR CONSTRUCTION

URBANA Centerville

JNID STUDIOS
LLC

EXTERIOR SCHEMES

LEASING

SCHEME 1

7009 PEARLY WHITE
HARDI PLANK SIDING

EXHIBIT E

7009 PEARLY WHITE
BOARD AND BATTEN

7009 PEARLY WHITE
FASCIA AND TRIM



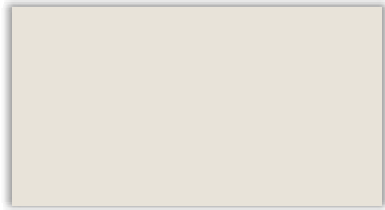
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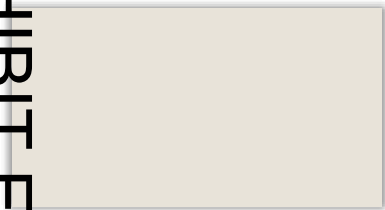
REAR - POOL

LEASING

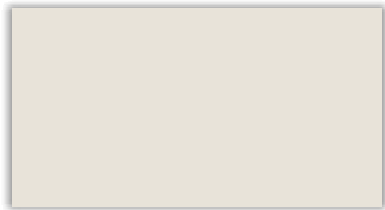
SCHEME 1



7009 PEARLY WHITE
HARDI PLANK SIDING



7009 PEARLY WHITE
BOARD AND BATTEN



7009 PEARLY WHITE
FASCIA AND TRIM

EXHIBIT E



RIGHT



LEFT

UNIT A1

SCHEME 1



ARNET BLACK
COACH LIGHT

EXHIBIT E



7069 IRON ORE
FRONT DOOR



REAR



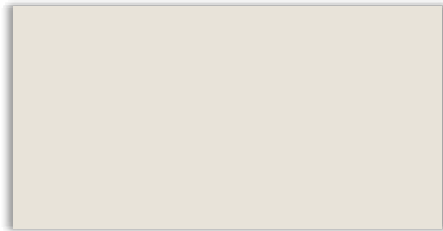
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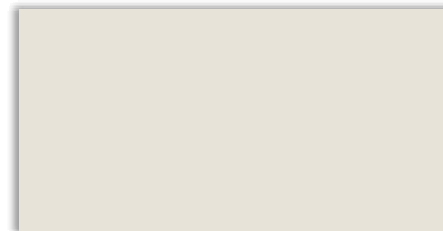
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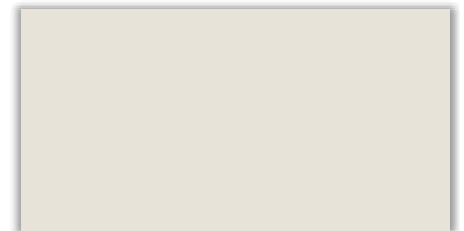
LEFT



7009 PEARLY WHITE
HARDI PLANK SIDING



7009 PEARLY WHITE
BOARD AND BATTEN



7009 PEARLY WHITE
FASCIA AND TRIM

UNIT A1

SCHEME 3



ARNET BLACK
COACH LIGHT



REAR



RIGHT

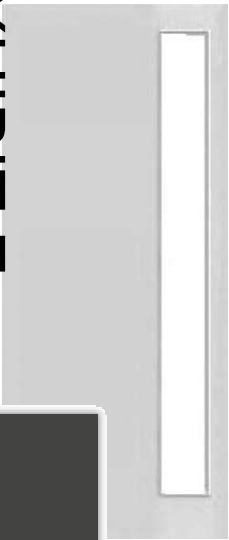


FRONT



LEFT

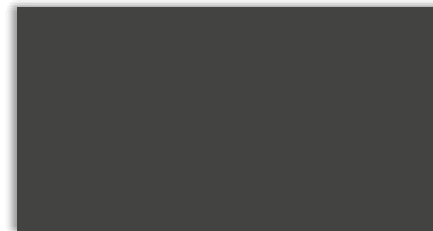
EXHIBIT E



7069 IRON ORE
FRONT DOOR



SW 7018 DOVETAIL
HARDI PLANK SIDING



7069 IRON ORE
BOARD AND BATTEN



SW 7018 DOVETAIL
FASCIA AND TRIM

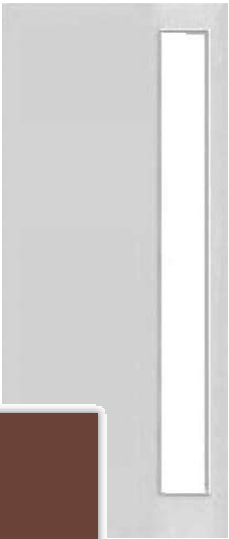
UNIT A1

SCHEME 5



ARNET BLACK
COACH LIGHT

EXHIBIT E



SW 2837 AURORA BROWN
FRONT DOOR



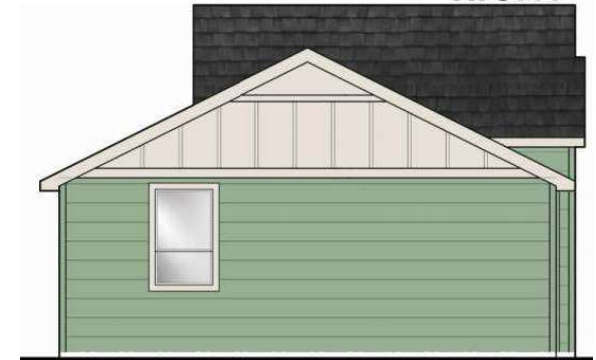
REAR



RIGHT



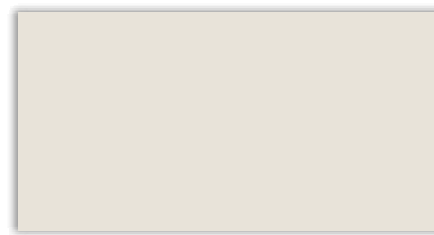
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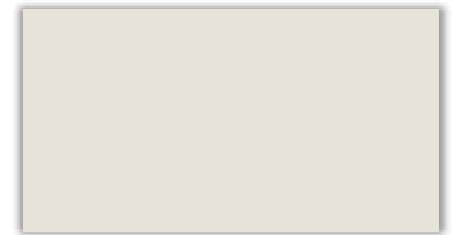
LEFT



SW 6451 NURTURE GREEN
HARDI PLANK SIDING



7009 PEARLY WHITE
BOARD AND BATTEN



7009 PEARLY WHITE
FASCIA AND TRIM

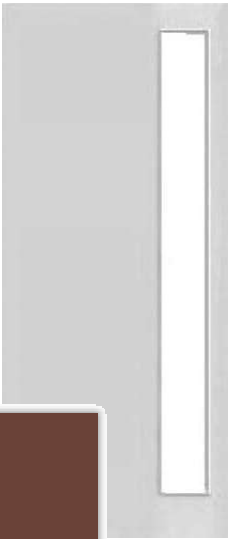
UNIT A1

SCHEME 6



ARNET BLACK
COACH LIGHT

EXHIBIT E



SW 2837 AURORA BROWN
FRONT DOOR



REAR



RIGHT



FRONT



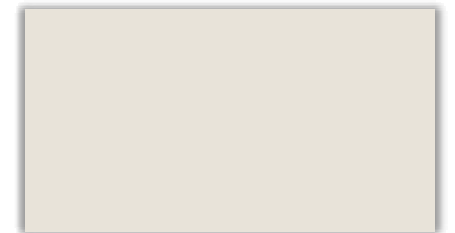
LEFT



SW 6421 CELERY
HARDI PLANK SIDING



SW 6421 CELERY
BOARD AND BATTEN



7009 PEARLY WHITE
FASCIA AND TRIM

UNIT A1

SCHEME 8



ARNET BLACK
COACH LIGHT



REAR



RIGHT



FRONT



LEFT

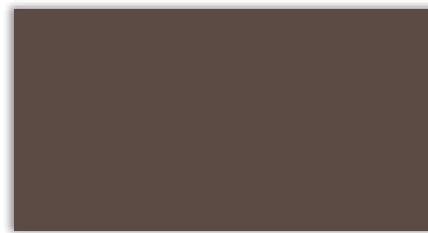
EXHIBIT E



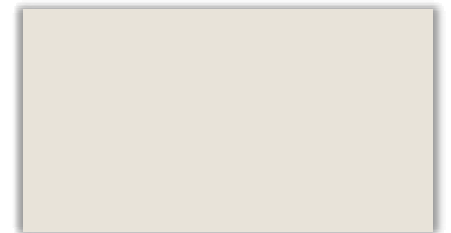
SW 6184 AUSTERE GRAY
FRONT DOOR



SW 6184 AUSTERE GRAY
HARDI PLANK SIDING



SW 7510 CHATEAU BROWN
BOARD AND BATTEN



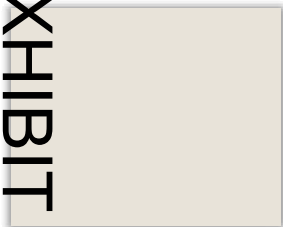
7009 PEARLY WHITE
FASCIA AND TRIM

UNIT A4

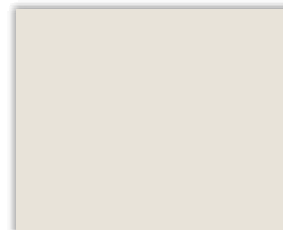
SCHEME 1



7009 PEARLY WHITE
HARDI PLANK SIDING



7009 PEARLY WHITE
BOARD AND BATTEN



7009 PEARLY WHITE
FASCIA AND TRIM



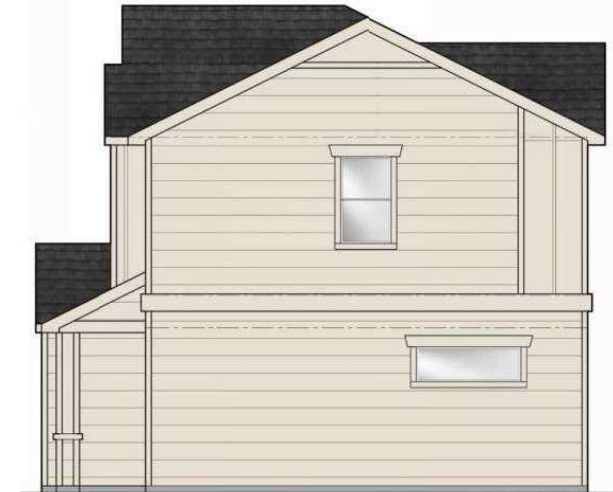
ARNET BLACK
COACH LIGHT



7069 IRON ORE
FRONT DOOR



REAR



RIGHT



FRONT



LEFT

EXHIBIT

UNIT A4

SCHEME 3



SW 7018 DOVETAIL
HARDI PLANK SIDING



7069 IRON ORE
BOARD AND BATTEN



SW 7018 DOVETAIL
FASCIA AND TRIM



ARNET BLACK
COACH LIGHT



7069 IRON ORE
FRONT DOOR



REAR



RIGHT



FRONT



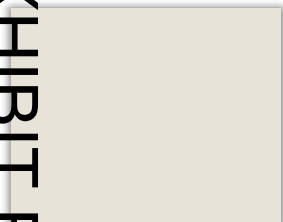
LEFT

UNIT A4

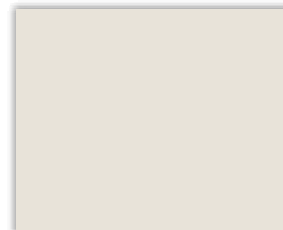
SCHEME 5



SW6451 NURTURE GREEN
HARDI PLANK SIDING



SW7009 PEARLY WHITE
BOARD AND BATTEN



SW7009 PEARLY WHITE
FASCIA AND TRIM



ARNET BLACK
COACH LIGHT



SW2837 AURORA BROWN
FRONT DOOR



REAR



RIGHT



FRONT



LEFT

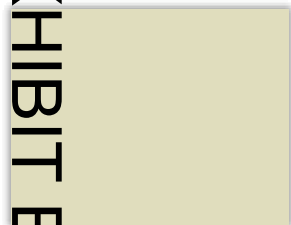
EXHIBIT E

UNIT A4

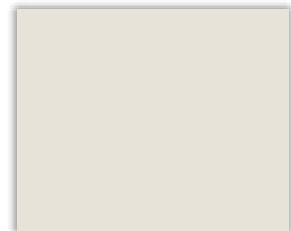
SCHEME 6



SW 6421 CELERY
HARDI PLANK SIDING



SW 6421 CELERY
BOARD AND BATTEN



7009 PEARLY WHITE
FASCIA AND TRIM



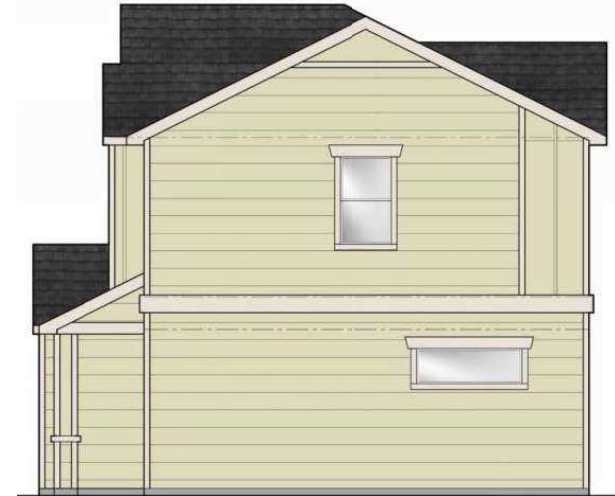
ARNET BLACK
COACH LIGHT



SW 2837 AURORA BROWN
FRONT DOOR



REAR



RIGHT



FRONT



LEFT

UNIT A4

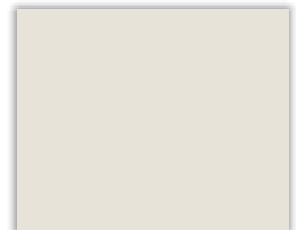
SCHEME 8



SW6184 AUSTERE GRAY
HARDI PLANK SIDING



SW7510 CHATEAU BROWN
BOARD AND BATTEN



7009 PEARLY WHITE
FASCIA AND TRIM



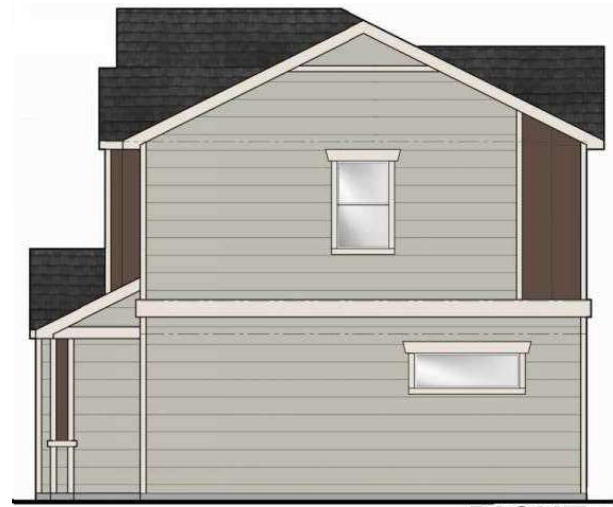
ARNET BLACK
COACH LIGHT



SW6184 AUSTERE GRAY
FRONT DOOR



REAR



RIGHT



FRONT



LEFT

EXHIBIT E

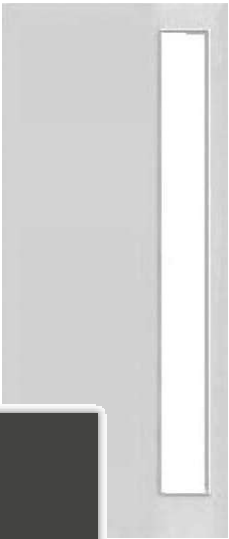
UNIT B2

SCHEME 1



ARNET BLACK
COACH LIGHT

EXHIBIT E



7069 IRON ORE
FRONT DOOR



REAR



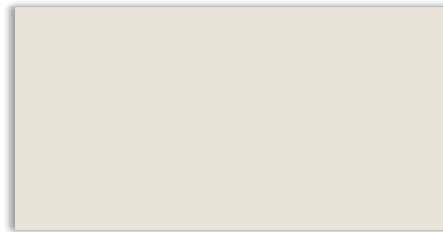
RIGHT



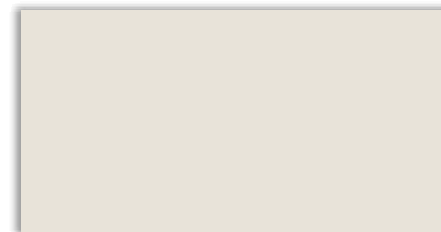
FRONT



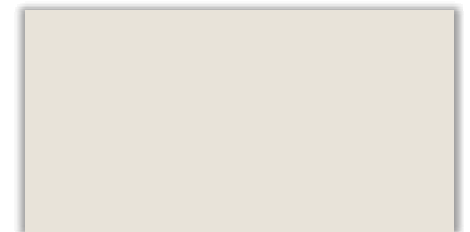
LEFT



7009 PEARLY WHITE
HARDI PLANK SIDING



7009 PEARLY WHITE
BOARD AND BATTEN



7009 PEARLY WHITE
FASCIA AND TRIM

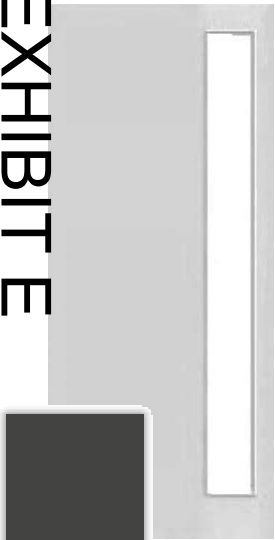
UNIT B2

SCHEME 3



ARNET BLACK
COACH LIGHT

EXHIBIT E



7069 IRON ORE
FRONT DOOR



REAR



RIGHT



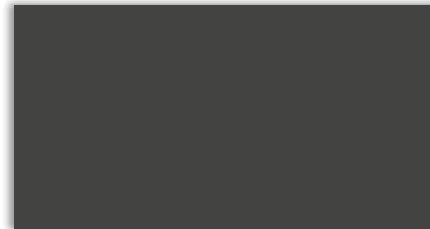
FRONT



LEFT



SW 7018 DOVETAIL
HARDI PLANK SIDING



7069 IRON ORE
BOARD AND BATTEN



SW 7018 DOVETAIL
FASCIA AND TRIM

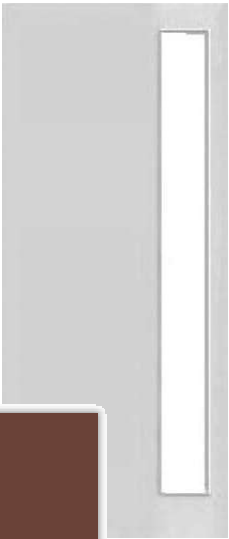
UNIT B2

SCHEME 5



ARNET BLACK
COACH LIGHT

EXHIBIT E



SW 2837 AURORA BROWN
FRONT DOOR



REAR



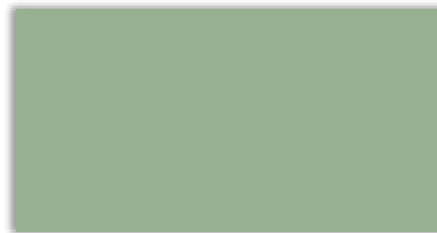
FRONT



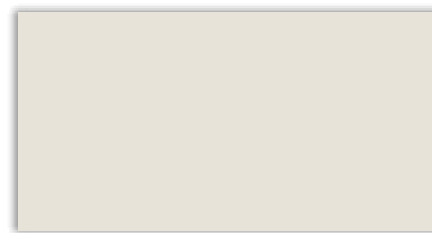
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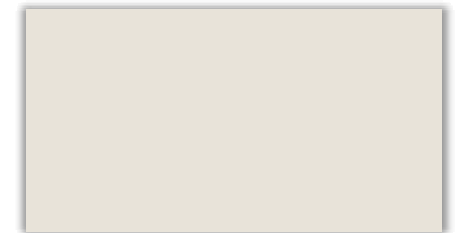
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SW 6451 NURTURE GREEN
HARDI PLANK SIDING



7009 PEARLY WHITE
BOARD AND BATTEN



7009 PEARLY WHITE
FASCIA AND TRIM

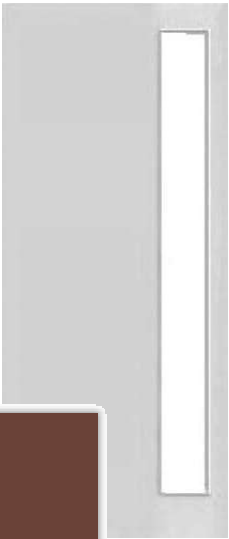
UNIT B2

SCHEME 6



ARNET BLACK
COACH LIGHT

EXHIBIT E



SW 2837 AURORA BROWN
FRONT DOOR



REAR



RIGHT



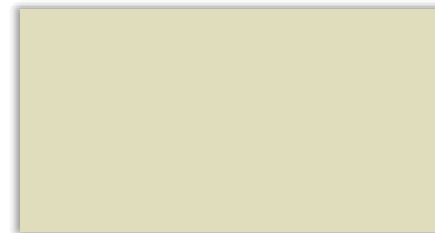
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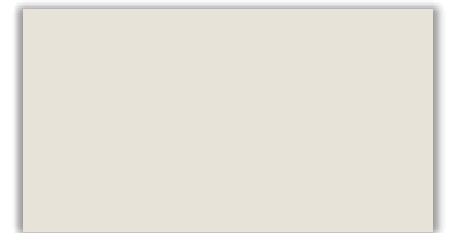
LEFT



SW 6421 CELERY
HARDI PLANK SIDING



SW 6421 CELERY
BOARD AND BATTEN



7009 PEARLY WHITE
FASCIA AND TRIM

UNIT B2

SCHEME 8



ARNET BLACK
COACH LIGHT

EXHIBIT E



SW 6184 AUSTERE GRAY
FRONT DOOR



REAR



FRONT



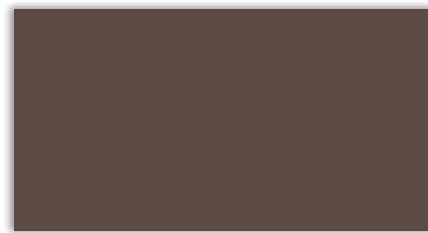
RIGHT



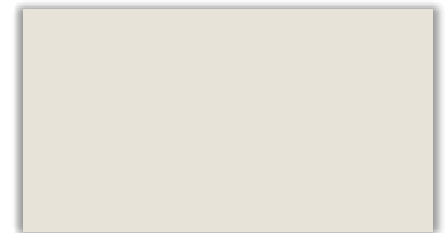
LEFT



SW 6184 AUSTERE GRAY
HARDI PLANK SIDING



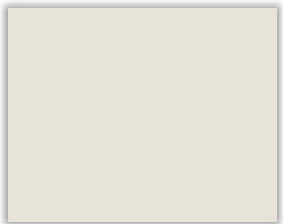
SW 7510 CHATEAU BROWN
BOARD AND BATTEN



7009 PEARLY WHITE
FASCIA AND TRIM

UNIT B3

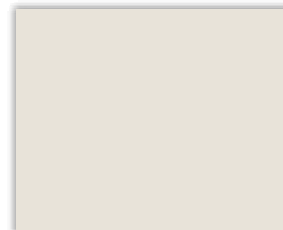
SCHEME 1



7009 PEARLY WHITE
HARDI PLANK SIDING



7009 PEARLY WHITE
BOARD AND BATTEN



7009 PEARLY WHITE
FASCIA AND TRIM



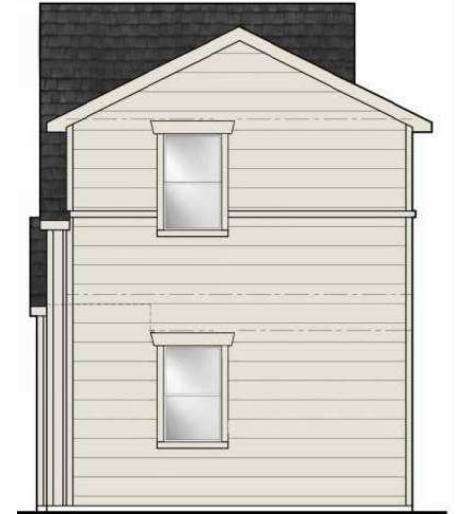
ARNET BLACK
COACH LIGHT



7069 IRON ORE
FRONT DOOR



REAR



RIGHT



FRONT



LEFT

UNIT B3

SCHEME 3



SW 7018 DOVETAIL
HARDI PLANK SIDING



7069 IRON ORE
BOARD AND BATTEN



SW 7018 DOVETAIL
FASCIA AND TRIM



ARNET BLACK
COACH LIGHT



7069 IRON ORE
FRONT DOOR



REAR



RIGHT



FRONT



LEFT

UNIT B3

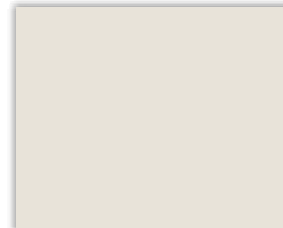
SCHEME 5



SW6451 NURTURE GREEN
HARDI PLANK SIDING



SW7009 PEARLY WHITE
BOARD AND BATTEN



SW7009 PEARLY WHITE
FASCIA AND TRIM



ARNET BLACK
COACH LIGHT



SW2837 AURORA BROWN
FRONT DOOR



REAR



RIGHT



FRONT



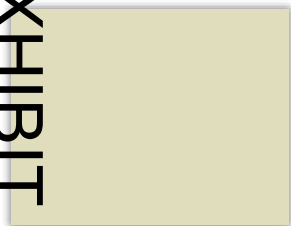
LEFT

UNIT B3

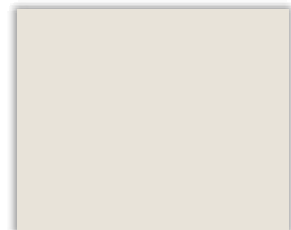
SCHEME 6



SW 6421 CELERY
HARDI PLANK SIDING



SW 6421 CELERY
BOARD AND BATTEN



7009 PEARLY WHITE
FASCIA AND TRIM



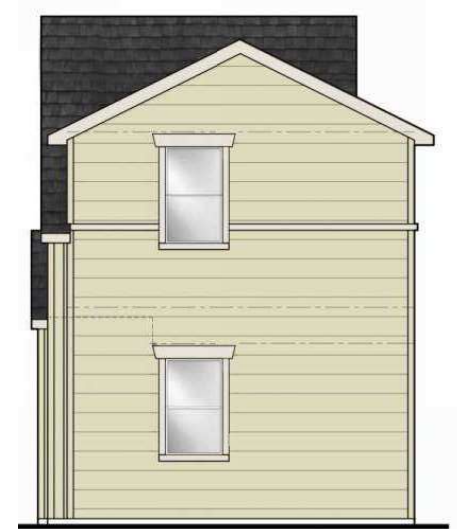
ARNET BLACK
COACH LIGHT



SW 2837 AURORA BROWN
FRONT DOOR



REAR



RIGHT



FRONT



LEFT

EXHIBIT

UNIT B3

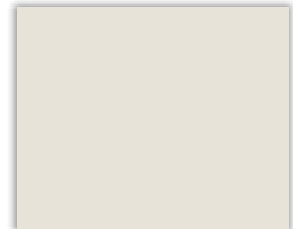
SCHEME 8



EXHIBIT E
SW 6184 AUSTERE GRAY
HARDI PLANK SIDING



SW 7510 CHATEAU BROWN
BOARD AND BATTEN



7009 PEARLY WHITE
FASCIA AND TRIM



ARNET BLACK
COACH LIGHT



SW 6184 AUSTERE GRAY
FRONT DOOR



REAR



RIGHT



FRONT



LEFT

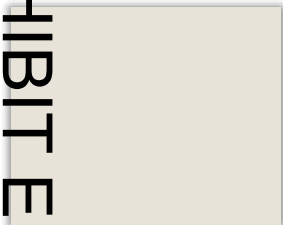
UNIT B4

SCHEME 1

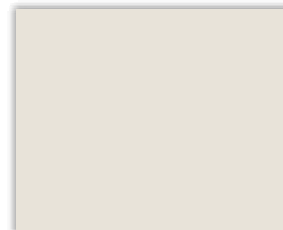
EXHIBIT E



7009 PEARLY WHITE
HARDI PLANK SIDING



7009 PEARLY WHITE
BOARD AND BATTEN



7009 PEARLY WHITE
FASCIA AND TRIM



ARNET BLACK
COACH LIGHT



7069 IRON ORE
FRONT DOOR



REAR



FRONT



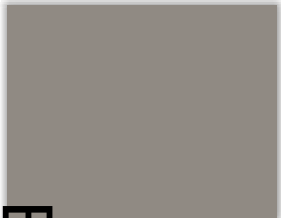
RIGHT



LEFT

UNIT B4

SCHEME 3



SW 7018 DOVETAIL
HARDI PLANK SIDING



7069 IRON ORE
BOARD AND BATTEN



SW 7018 DOVETAIL
FASCIA AND TRIM



ARNET BLACK
COACH LIGHT



7069 IRON ORE
FRONT DOOR



REAR



RIGHT



FRONT



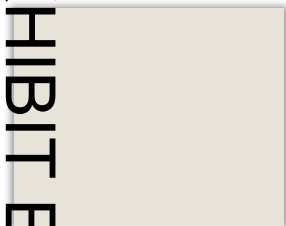
LEFT

UNIT B4

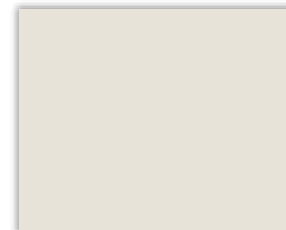
SCHEME 5



EXHIBIT E
SW 6451 NURTURE GREEN
HARDI PLANK SIDING



SW 7009 PEARLY WHITE
BOARD AND BATTEN



SW 7009 PEARLY WHITE
FASCIA AND TRIM



ARNET BLACK
COACH LIGHT



SW 2837 AURORA BROWN
FRONT DOOR



REAR



RIGHT



FRONT



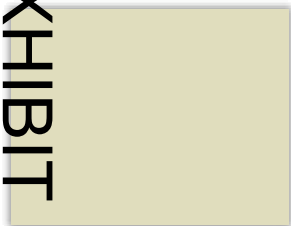
LEFT

UNIT B4

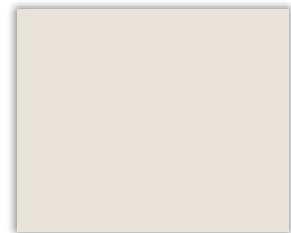
SCHEME 6



SW 6421 CELERY
HARDI PLANK SIDING



SW 6421 CELERY
BOARD AND BATTEN



7009 PEARLY WHITE
FASCIA AND TRIM



ARNET BLACK
COACH LIGHT



SW 2837 AURORA BROWN
FRONT DOOR



REAR



RIGHT



FRONT



LEFT

EXHIBIT E

UNIT B4

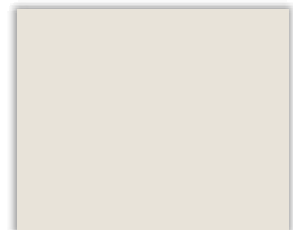
SCHEME 8



SW6184 AUSTERE GRAY
HARDI PLANK SIDING



SW7510 CHATEAU BROWN
BOARD AND BATTEN



7009 PEARLY WHITE
FASCIA AND TRIM



ARNET BLACK
COACH LIGHT



SW6184 AUSTERE GRAY
FRONT DOOR



REAR



FRONT



RIGHT



LEFT

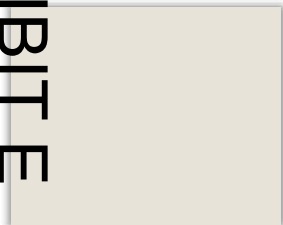
UNIT C2

SCHEME 1

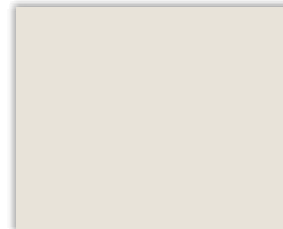
EXHIBIT E



7009 PEARLY WHITE
HARDI PLANK SIDING



7009 PEARLY WHITE
BOARD AND BATTEN



7009 PEARLY WHITE
FASCIA AND TRIM



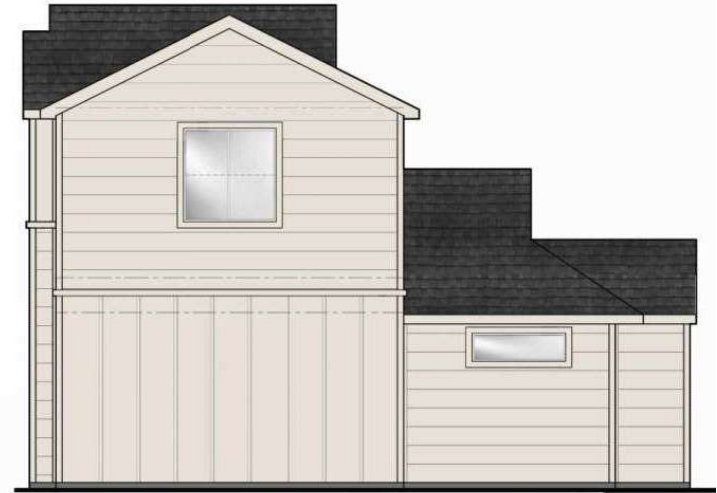
ARNET BLACK
COACH LIGHT



7069 IRON ORE
FRONT DOOR



REAR



RIGHT



FRONT



LEFT

UNIT C2

SCHEME 3



EXHIBIT E
SW 7018 DOVETAIL
HARDI PLANK SIDING



7069 IRON ORE
BOARD AND BATTEN



SW 7018 DOVETAIL
FASCIA AND TRIM



ARNET BLACK
COACH LIGHT



7069 IRON ORE
FRONT DOOR



REAR



RIGHT



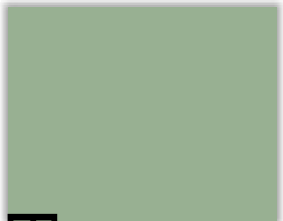
FRONT



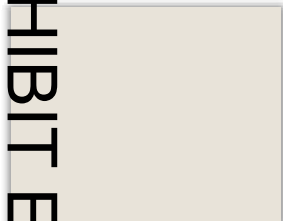
LEFT

UNIT C2

SCHEME 5



SW 6451 NURTURE GREEN
HARDI PLANK SIDING



7009 PEARLY WHITE
BOARD AND BATTEN



7009 PEARLY WHITE
FASCIA AND TRIM



ARNET BLACK
COACH LIGHT



SW 2837 AURORA BROWN
FRONT DOOR



REAR



RIGHT



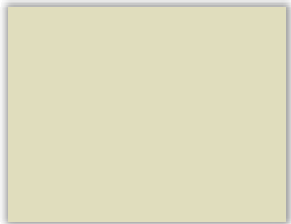
FRONT



LEFT

UNIT C2

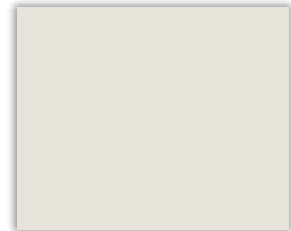
SCHEME 6



SW 6421 CELERY
HARDI PLANK SIDING



SW 6421 CELERY
BOARD AND BATTEN



7009 PEARLY WHITE
FASCIA AND TRIM



ARNET BLACK
COACH LIGHT



SW 2837 AURORA BROWN
FRONT DOOR



REAR



RIGHT



FRONT



LEFT

EXHIBIT E

UNIT C2

SCHEME 8



SW6184 AUSTERE GRAY
HARDI PLANK SIDING



SW7510 CHATEAU BROWN
BOARD AND BATTEN



7009 PEARLY WHITE
FASCIA AND TRIM



ARNET BLACK
COACH LIGHT



SW6184 AUSTERE GRAY
FRONT DOOR



REAR



RIGHT



FRONT



LEFT

GARAGE

SCHEME 1



ARNET BLACK
COACH LIGHT

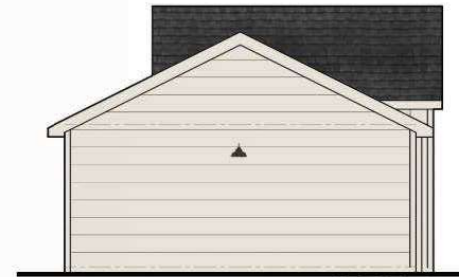
EXHIBIT E



7069 IRON ORE
GARAGE DOOR



REAR



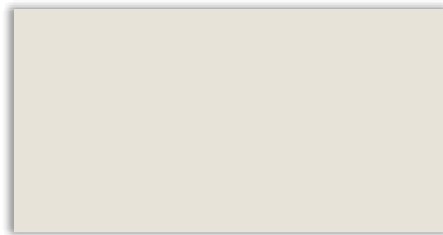
LEFT



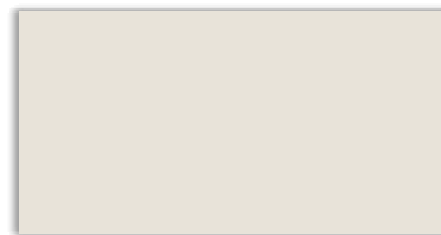
FRONT



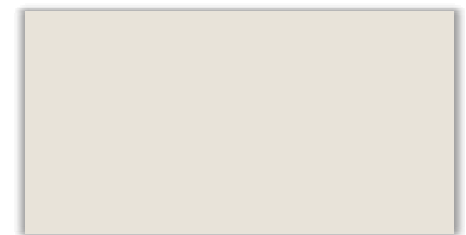
RIGHT



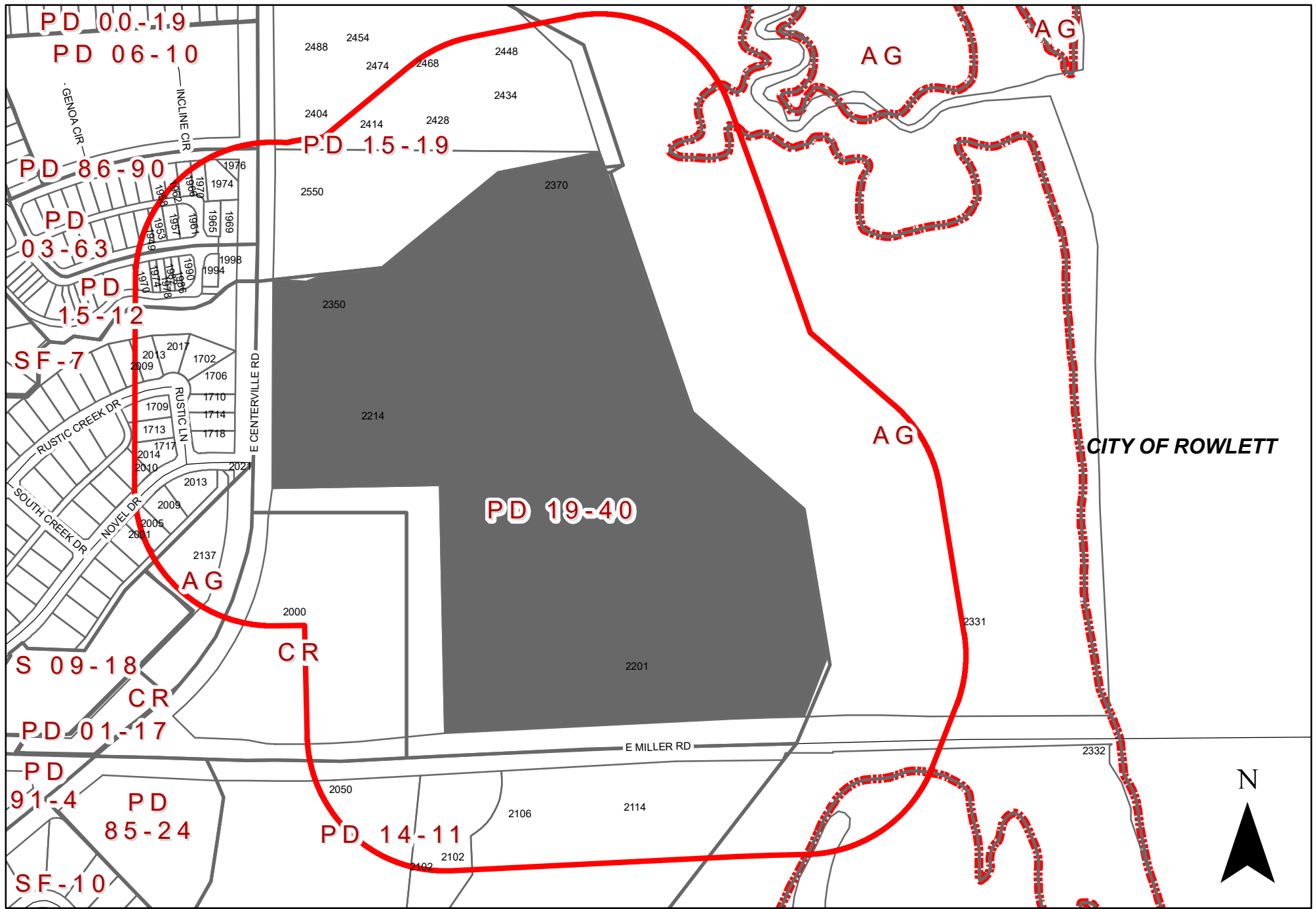
7009 PEARLY WHITE
HARDI PLANK SIDING



7009 PEARLY WHITE
BOARD AND BATTEN



7009 PEARLY WHITE
FASCIA AND TRIM



ZONING MAP Z 21-45

INDICATES AREA OF REQUEST INDICATES NOTIFICATION AREA

2370 East Centerville Road and 2201 East Miller Road

To date we have not received any responses for this case.



GARLAND

Plan Commission

3. e.

Meeting Date: 11/07/2022

Item Title: Z 22-39 JC Collision Report and Attachments - Specific Use Provision (District 6)

Summary:

Consideration of the application of **JC Collision**, requesting approval of a Specific Use Provision for Automobile Sales, New or Used. This property is located at 2905 Forest Lane. (District 6) (File Z 22-39 – Specific Use Provision)

Attachments

Z 22-39 JC Collision Report and Attachments (Specific Use Provision)

Z 22-39 JC Collision Responses



GARLAND

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Planning Report

File No: Z 22-39/District 6

Agenda Item:

Meeting: Plan Commission

Date: November 7, 2022

REQUESTS

Approval of a Specific Use Provision for Automobile Sales, New or Used.

Approval of a Plan for Automobile Sales, New or Used on a property zoned Industrial (IN) District

LOCATION

2905 Forest Lane

APPLICANT

JC Collision

OWNER

JI Y. Lim

BACKGROUND

The subject property is currently developed with an automobile repair facility. The applicant requests to add automobile sales to the existing facility.

The GDC requires a Specific Use Provision for an Automobile Sales, New or Used Use in the Industrial (IN) District.

SITE DATA

The subject property consists of approximately 1.09 acres. The site has approximately 388.7 linear feet of frontage along Forest Lane and 194.18 lineal feet of frontage along South International Road. The site can be accessed from Forest Lane and South International Road.

USE OF PROPERTY UNDER CURRENT ZONING

The subject property is zoned Industrial (IN) District. The Industrial (IN) district is intended to provide for a wide range of industrial uses that are generally not compatible adjacent to residential neighborhoods, and may or may not be compatible with some nonresidential uses. Such uses include manufacturing, processing, assembling, research and development, and warehousing and distribution. The Industrial (IN) District also accommodates support services for industrial development such as office, commercial, personal and professional services, and limited retail activities. The Industrial (IN) District regulations are designed to ensure compatibility among the various uses allowed in the district, and to protect adjacent non-industrial development from potentially incompatible uses and conditions.

CONSIDERATIONS

1. Site Plan

The site plan (Exhibit C) reflects two existing buildings which are 2,422 square feet and 8,078 square feet for the automobile repair use. The applicant is not proposing any site improvements at this time. The request is to add the automobile sales use.

2. Parking

The site plan (Exhibit C) meets the GDC parking requirement for both Automobile Repair Use and Automobile Sales Use.

In addition, the State of Texas requires a minimum of five (5) parking spaces for the cars that will be displayed and the site plan (Exhibit C) meets the requirement.

3. Screening and Landscaping

There are no site improvements proposed at this time. Therefore, the request does not trigger any screening and landscaping standards.

4. Building Design:

There are no new buildings proposed at this time, thereby not triggering the building design standards.

5. Specific Use Provision

The applicant requests a Specific Use Provision time period of fifteen (15) years.

COMPREHENSIVE PLAN

The Envision Garland Plan designates the subject property as Transit Oriented Centers. Transit-oriented centers are areas of concentrated activity and increased density with maximum access to public transportation options. This type of center should be developed as mixed-use with live/work/play/shop opportunities.

Transit-oriented development is characterized by moderate to high density residential greater than twelve dwelling units per acre.

The proposed use is not compatible with the Comprehensive Plan.

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

The properties to the north, across the DART railroad, are zoned Industrial (IN) District; these properties are developed with a computer store. The property to the east, across South International Road, is zoned Industrial (IN) District; these properties are developed with light industrial uses. The property to the south, across Forest Lane, is zoned Industrial (IN) District' this property is developed with a warehouse. The property to the west is also zoned Industrial (IN) District; it is currently vacant.

STAFF RECOMMENDATION

Denial of a Specific Use Provision for Automobile Sales, New or Used.

Denial of a Plan for Automobile Sales, New or Used on a property zoned Industrial (IN) District

ADDITIONAL INFORMATION

Location Map
Exhibits

SUP Conditions
Photos

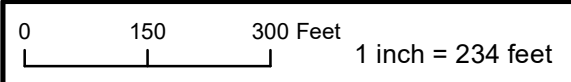
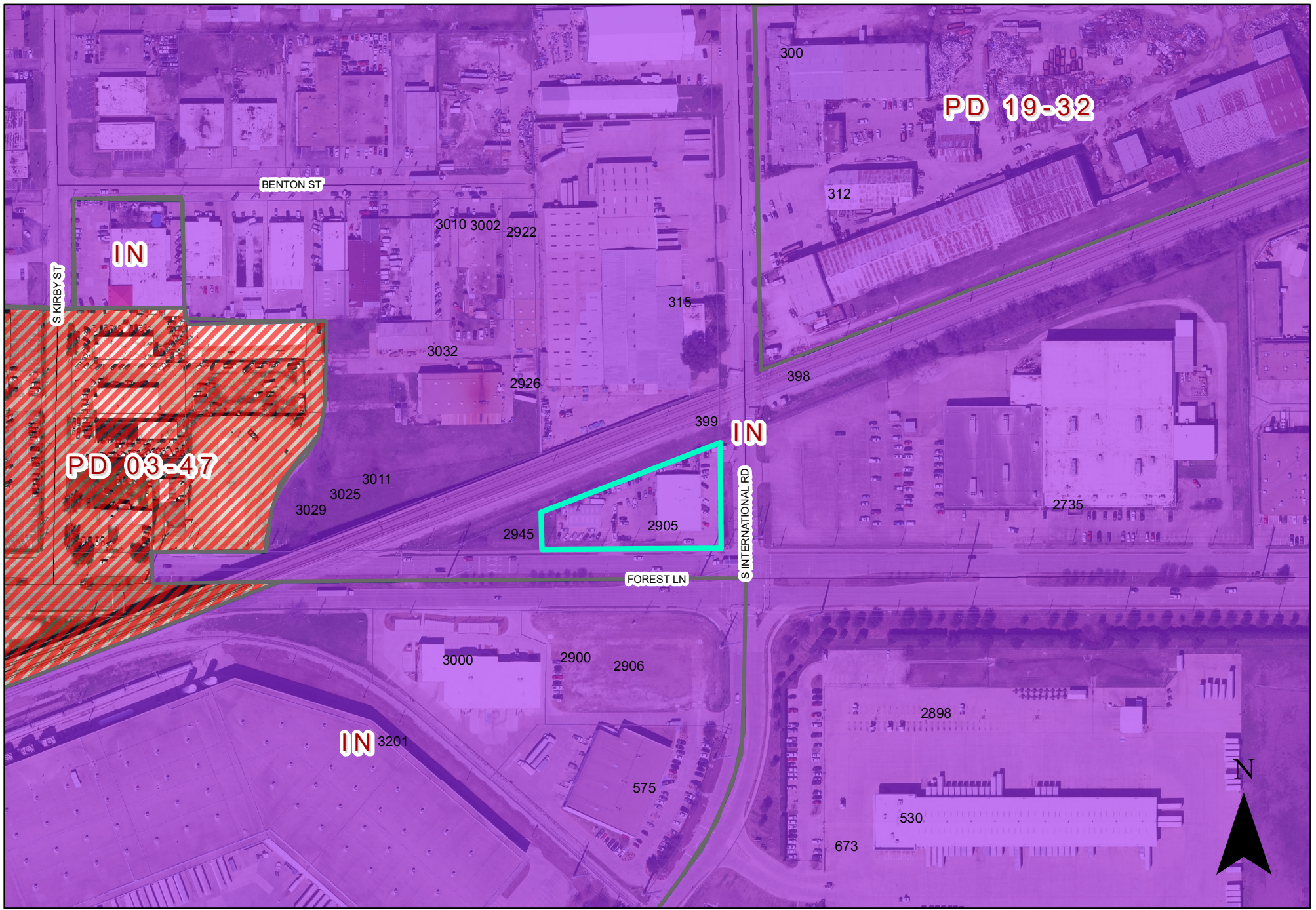
CITY COUNCIL DATE: December 6, 2022

PREPARED BY:

Nabiha Ahmed
Lead Development Planner
Planning & Development
(972) 205-2453
nahmed@garlandtx.gov

REVIEWED BY:

Will Guerin, AICP
Director of Planning



ZONING MAP Z 22-39

 INDICATES AREA OF REQUEST

2905 Forest Ln

SPECIFIC USE PROVISION CONDITIONS

ZONING FILE Z 22-39

2905 Forest Lane

- I. Statement of Purpose:** The purpose of this Specific Use Provision is to allow the Automobile Sale, New or Used Use.
- II. Statement of Effect:** This Specific Use Provision shall not affect any regulation found in the Garland Development Code, Ordinance No. 6773, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. Abandonment:** In the event the land use for which this Specific Use Provision was granted ("Land Use") is abandoned, the SUP and all rights to the Land Use are automatically terminated, and the premises must be used in conformance with the PD, GDC, federal, and state law.

For the purposes of this Specific Use Provision, Abandonment is any of the following acts:

- A. A failure to apply for a site or building permit on the premises, where applicable, within 180 days of the effective date of this SUP;
- B. A failure to obtain a certificate of occupancy for the Land use within 730 days of the effective date of this SUP;
- C. A failure to commence operating the Land Use on the premises within 90 days of receiving a final certificate of occupancy for the Land Use;
- D. Discontinuance of the Land Use for a period of 180 days;
- E. Applying for, and receiving, a new Certificate of Occupancy for a use other than the Land Use; or
- F. Operating a use on the premises, whether as a primary or secondary use, that is not allowed within the PD District, by the GDC, or by state or federal law.

The termination of utilities on the premises for a period of 180 calendar days is prima facie evidence of abandonment and the owner shall have the burden to prove that the Land Use has not been abandoned.

IV. General Regulations: All regulations of the Industrial (IN) District as set forth in Chapter 2 of the Garland Development Code, Ordinance 6773, are included by reference and shall apply, except as otherwise specified by this ordinance.

V. Specific Use Provision:

A. SUP Time Period: The Specific Use Provision time period for the Automobile Sales, New or Used Use shall be for fifteen (15) years.

B. Site Plan: The site layout, building placement, parking shall be in general conformance with the approved Site Plan labeled Exhibit C.

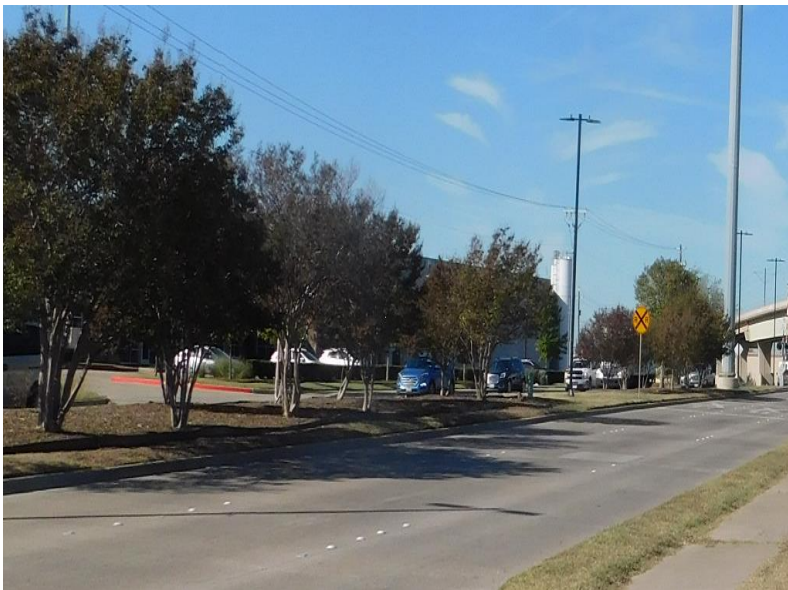
Z 22-39



View of the subject property



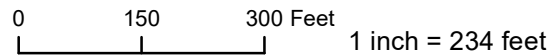
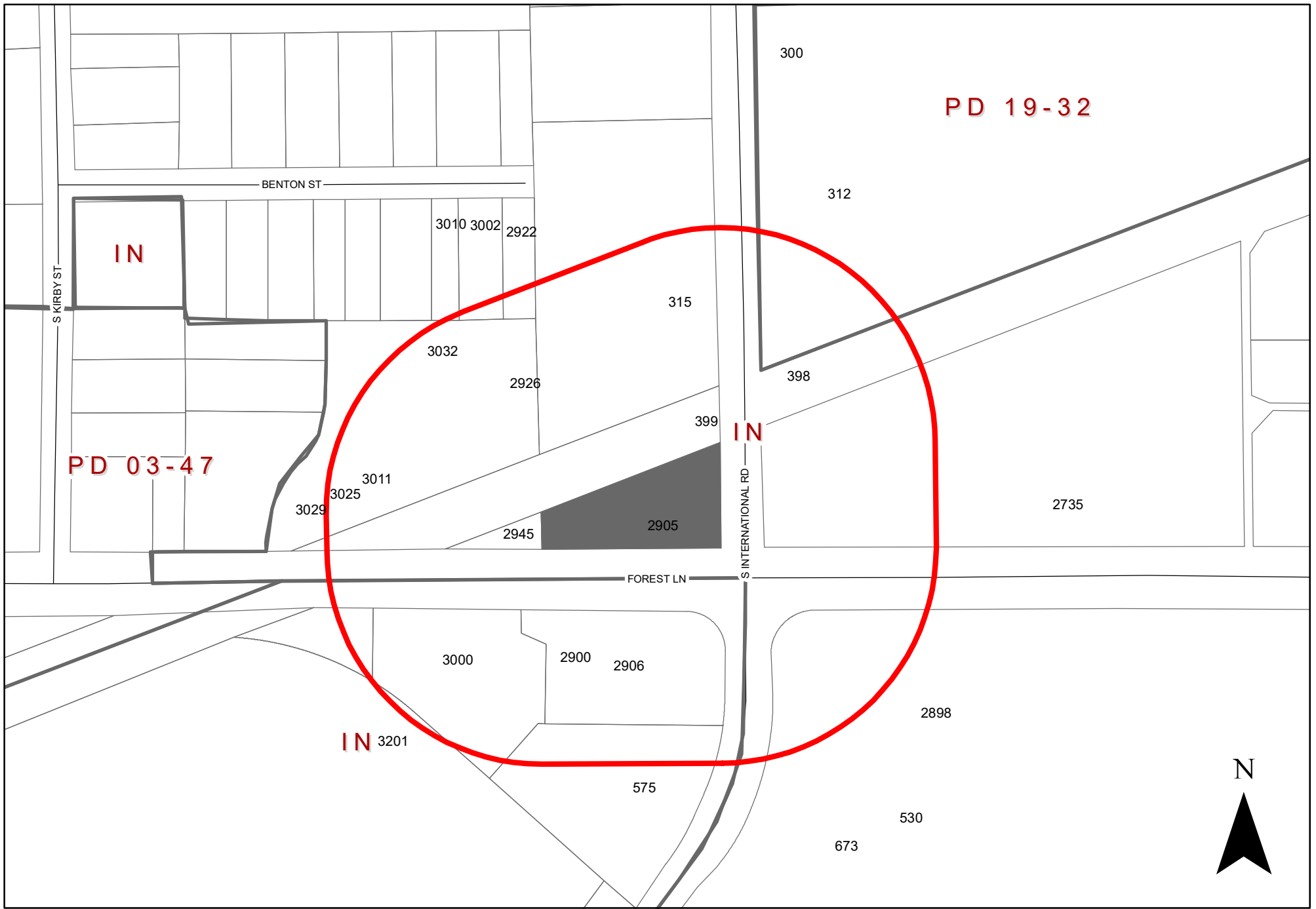
East of the subject property from South International Road



South of the subject property



North of the subject property



ZONING MAP Z 22-39

 INDICATES AREA OF REQUEST
  INDICATES NOTIFICATION AREA

2905 Forest Ln

To date we have not received any responses for this case.



GARLAND

Plan Commission

3. f.

Meeting Date: 11/07/2022

Item Title: Z 22-39 JC Collision Report and Attachments - Plan (District 6)

Summary:

Consideration of the application of **JC Collision**, requesting approval of a Plan for Automobile Sales, New or Used on a property zoned Industrial (IN) District. This property is located at 2905 Forest Lane. (District 6) (File Z 22-39 – Plan)

Attachments

Z 22-39 JC Collision Report and Attachments (Plan)

Z 22-39 JC Collision Responses



GARLAND

TEXAS MADE HERE

Planning Report

File No: Z 22-39/District 6

Agenda Item:

Meeting: Plan Commission

Date: November 7, 2022

REQUESTS

Approval of a Specific Use Provision for Automobile Sales, New or Used.

Approval of a Plan for Automobile Sales, New or Used on a property zoned Industrial (IN) District

LOCATION

2905 Forest Lane

APPLICANT

JC Collision

OWNER

JI Y. Lim

BACKGROUND

The subject property is currently developed with an automobile repair facility. The applicant requests to add automobile sales to the existing facility.

The GDC requires a Specific Use Provision for an Automobile Sales, New or Used Use in the Industrial (IN) District.

SITE DATA

The subject property consists of approximately 1.09 acres. The site has approximately 388.7 linear feet of frontage along Forest Lane and 194.18 lineal feet of frontage along South International Road. The site can be accessed from Forest Lane and South International Road.

USE OF PROPERTY UNDER CURRENT ZONING

The subject property is zoned Industrial (IN) District. The Industrial (IN) district is intended to provide for a wide range of industrial uses that are generally not compatible adjacent to residential neighborhoods, and may or may not be compatible with some nonresidential uses. Such uses include manufacturing, processing, assembling, research and development, and warehousing and distribution. The Industrial (IN) District also accommodates support services for industrial development such as office, commercial, personal and professional services, and limited retail activities. The Industrial (IN) District regulations are designed to ensure compatibility among the various uses allowed in the district, and to protect adjacent non-industrial development from potentially incompatible uses and conditions.

CONSIDERATIONS

1. Site Plan

The site plan (Exhibit C) reflects two existing buildings which are 2,422 square feet and 8,078 square feet for the automobile repair use. The applicant is not proposing any site improvements at this time. The request is to add the automobile sales use.

2. Parking

The site plan (Exhibit C) meets the GDC parking requirement for both Automobile Repair Use and Automobile Sales Use.

In addition, the State of Texas requires a minimum of five (5) parking spaces for the cars that will be displayed and the site plan (Exhibit C) meets the requirement.

3. Screening and Landscaping

There are no site improvements proposed at this time. Therefore, the request does not trigger any screening and landscaping standards.

4. Building Design:

There are no new buildings proposed at this time, thereby not triggering the building design standards.

5. Specific Use Provision

The applicant requests a Specific Use Provision time period of fifteen (15) years.

COMPREHENSIVE PLAN

The Envision Garland Plan designates the subject property as Transit Oriented Centers. Transit-oriented centers are areas of concentrated activity and increased density with maximum access to public transportation options. This type of center should be developed as mixed-use with live/work/play/shop opportunities.

Transit-oriented development is characterized by moderate to high density residential greater than twelve dwelling units per acre.

The proposed use is not compatible with the Comprehensive Plan.

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

The properties to the north, across the DART railroad, are zoned Industrial (IN) District; these properties are developed with a computer store. The property to the east, across South International Road, is zoned Industrial (IN) District; these properties are developed with light industrial uses. The property to the south, across Forest Lane, is zoned Industrial (IN) District' this property is developed with a warehouse. The property to the west is also zoned Industrial (IN) District; it is currently vacant.

STAFF RECOMMENDATION

Denial of a Specific Use Provision for Automobile Sales, New or Used.

Denial of a Plan for Automobile Sales, New or Used on a property zoned Industrial (IN) District

ADDITIONAL INFORMATION

Location Map
Exhibits

SUP Conditions
Photos

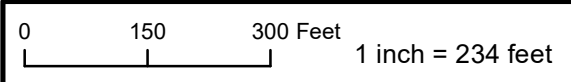
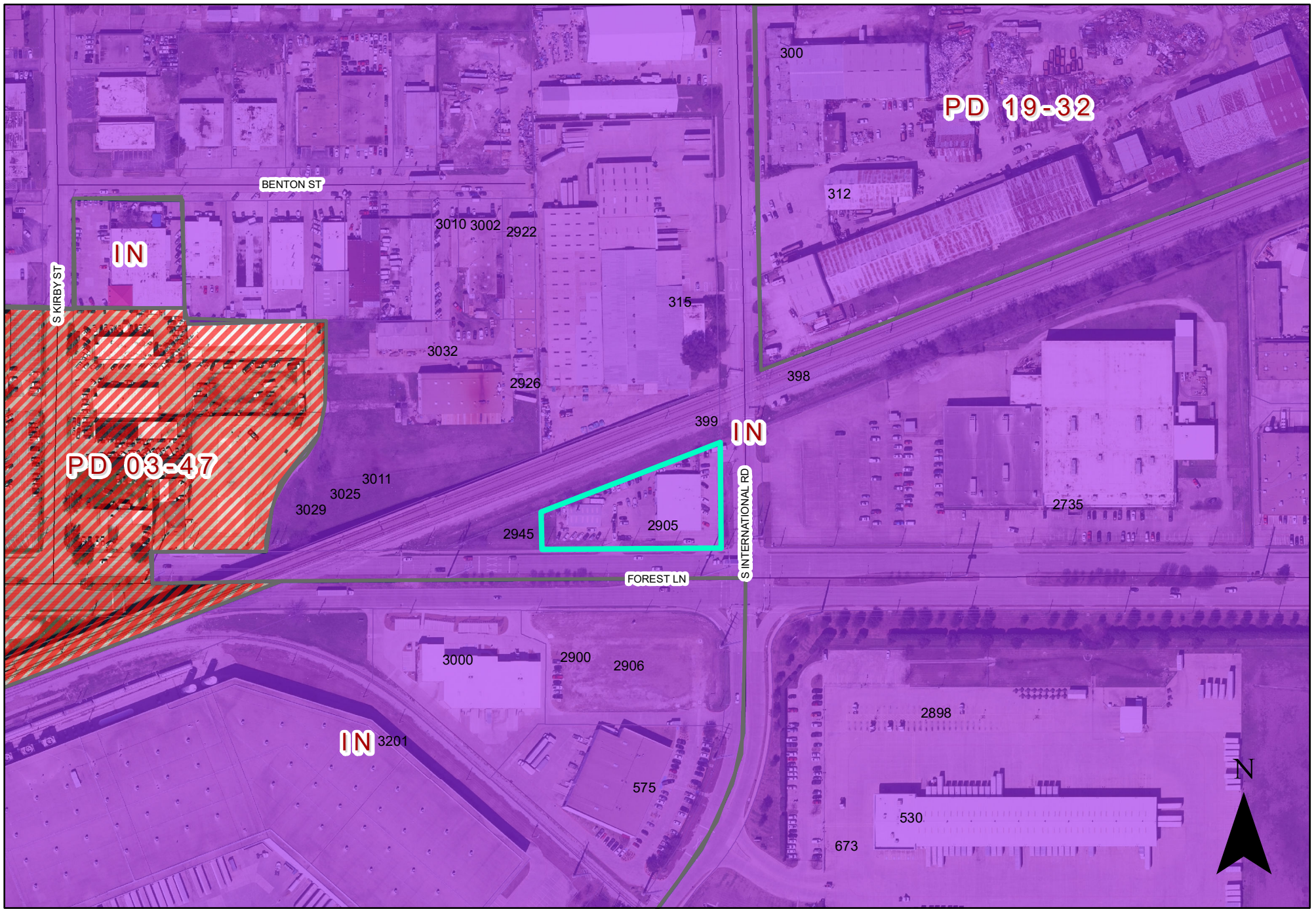
CITY COUNCIL DATE: December 6, 2022

PREPARED BY:

Nabiha Ahmed
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Planning & Development
(972) 205-2453
nahmed@garlandtx.gov

REVIEWED BY:

Will Guerin, AICP
Director of Planning



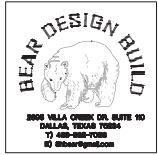
ZONING MAP Z 22-39

 INDICATES AREA OF REQUEST

2905 Forest Ln

JC AUTO COLLISION CENTER

2905 FOREST LANE, GARLAND, TX 75042



SITE ANALYSIS

SITE AREA= 44,400 SF (1.01 AC)
 BUILDING AREA- BUILDING 1= 8,078 SF
 BUILDING 2= 2,422 SF
 TOTAL= 11,050 SF

CAR STORAGE REQ'D= 600 SF/EA. BAY= 2400 SF REQ'D FOR 4 BAYS
 CAR STORAGE PROV'D= 2937 SF

PARKING REQUIRED:

A) AUTO REPAIR:
 (1/400 GFA: 10500/400= 26 STALLS)

B) AUTO REPAIR BAY:
 (2/ BAY: 4 BAYS= 8 STALLS)

SUB-TOTAL= 34 STALLS REQ'D

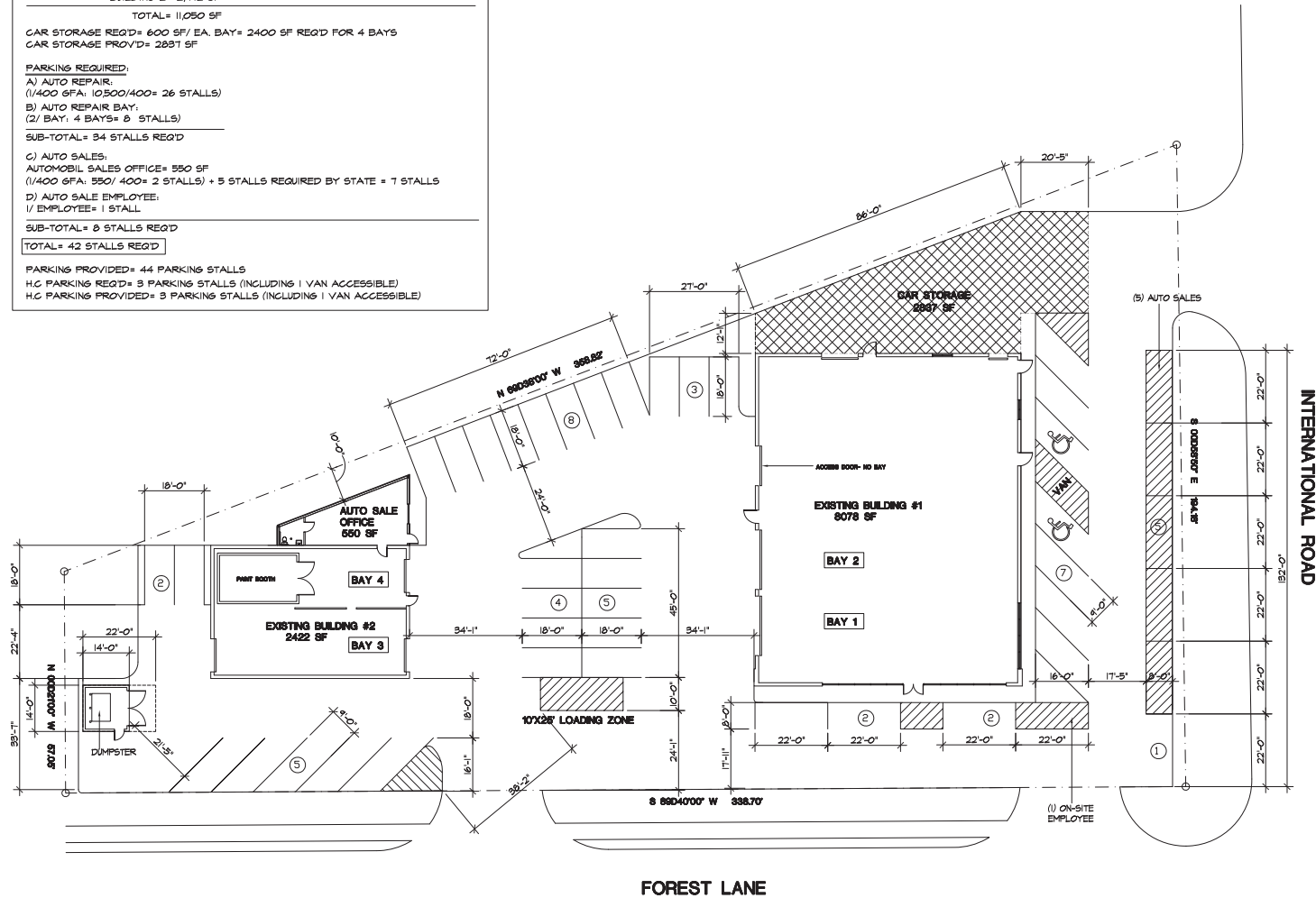
C) AUTO SALES:
 AUTOMOBIL SALES OFFICE= 550 SF
 (1/400 GFA: 550/ 400= 2 STALLS) + 5 STALLS REQUIRED BY STATE = 7 STALLS

D) AUTO SALE EMPLOYEE:
 1/ EMPLOYEE= 1 STALL

SUB-TOTAL= 8 STALLS REQ'D

TOTAL= 42 STALLS REQ'D

PARKING PROVIDED= 44 PARKING STALLS
 H.C PARKING REQ'D= 3 PARKING STALLS (INCLUDING 1 VAN ACCESSIBLE)
 H.C PARKING PROVIDED= 3 PARKING STALLS (INCLUDING 1 VAN ACCESSIBLE)



CASE# 220414-3

MA International
 2601 Perth Street
 Dallas, TX 75220
 johnma2@yahoo.com
 F-3485

REVISIONS

REVISIONS

#	DATE	SUBMISSION
--	04/30/22	SUP FOR AUTO SALES USE

JC
 AUTO COLLISION
 CENTER
 GARLAND, TX

SITE PLAN

22007-04
 220 NO. SHEET



1/16"=1'-0"

EXHIBIT C

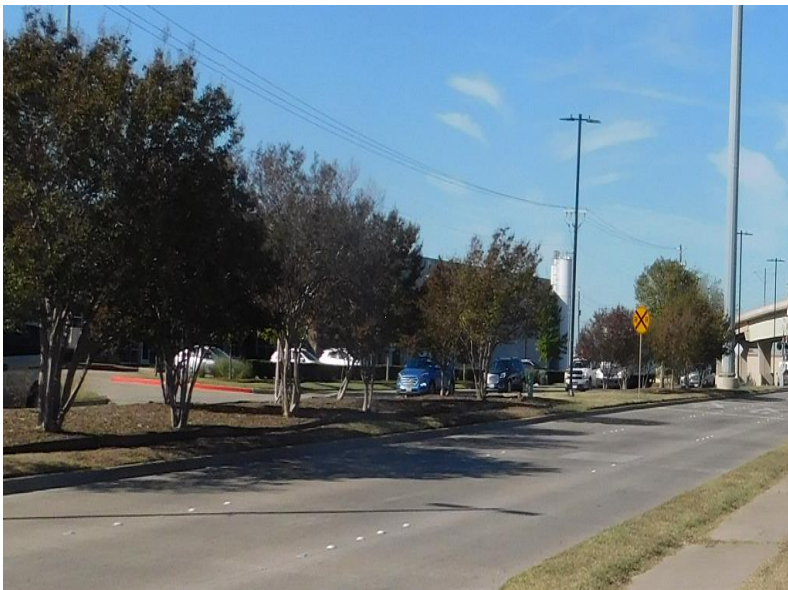
Z 22-39



View of the subject property



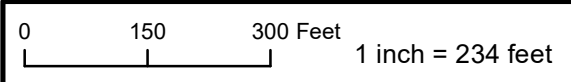
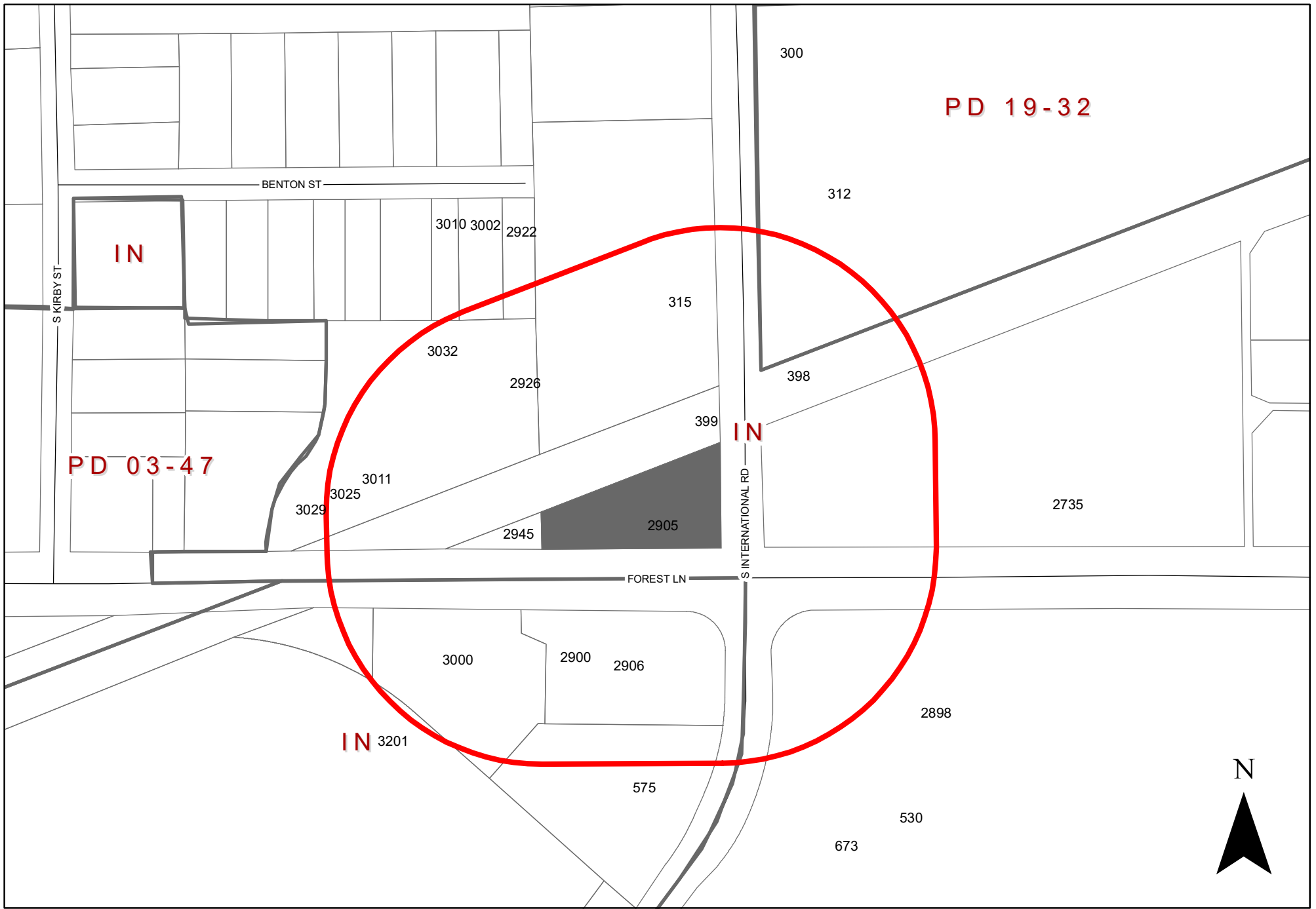
East of the subject property from South International Road



South of the subject property



North of the subject property



ZONING MAP Z 22-39

INDICATES AREA OF REQUEST
 INDICATES NOTIFICATION AREA

2905 Forest Ln

To date we have not received any responses for this case.



GARLAND

Plan Commission

3. g.

Meeting Date: 11/07/2022

Item Title: Z 22-47 Digital Garland Ferris, LP Report and Attachments - Detail Plan (District 1)

Summary:

Consideration of the application of **Digital Garland Ferris, LP**, requesting approval of a Detail Plan for a Data Center. This item may include amendments to Planned Development (PD) District 20-17. This property is located at 805 Holford Road. (District 1) (File Z 22-47 – Detail Plan)

Attachments

Z 22-47 Digital Garland Ferris, LP Report and Attachments (Detail Plan)

Z 22-47 Digital Garland Ferris, LP Responses



GARLAND

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Planning Report

File No: Z 22-47/District 1

Agenda Item:

Meeting: Plan Commission

Date: November 7, 2022

REQUEST

Approval of a Detail Plan for a Data Center.

LOCATION

805 Holford Road

APPLICANT

Digital Garland Ferris, LP.

OWNER

Digital Garland Ferris, LP.

BACKGROUND

In 2015, City Council approved a zoning change from Agricultural (AG) District to Planned Development (PD) District 15-20 for Mixed Uses.

The PD 20-17 Zoning Framework Plan includes five (5) Character Zones, each zone implements specific aspects of the vision for a regional mixed-use destination with significant employment and residential uses. The following districts within the PD are: Employment Mixed Use Zone (EMU), Retail Mixed Use Zone (RMU), Mixed Use-Mixed Residential Zone (MU-MR), Mixed Use-Mixed Residential Zone (MU-MR), and Transitional Zone (T). The proposed project is located within the Retail Mixed Use Zone (RMU).

In 2017, City Council approved an amendment to Planned Development (PD) District 15-20 for Mixed Use to remove the Transition Zone located at the southwest corner of Campbell Road and Lookout Drive and Rezone to Mixed Use-Mixed Residential. In 2020, City Council approved an amendment to Planned Development (PD) District 17-35 for Mixed Use to 1) remove Dwelling, Multi-Family Use and Elder Care Independent Living Use from several character zones; 2) change the character zones of certain properties; and 3) remove the Concept Plan and require Detail Plans through a public hearing.

The applicant requests approval of an amendment to Planned Development (PD) District 20-17 to allow a Data Center. A Data Center is permitted in the Retail Mixed Use character zone by right; however, a Detail Plan is required through the Public Hearing process.

SITE DATA

The overall site consists of approximately 18.636 acres with approximately 1,087 lineal feet of frontage along Holford Road and 1,248 lineal feet of frontage along Ferris Road. It should be noted that Ferris Road will be abandoned and be replaced with a private driveway; however, the site can be accessed from West Campbell Road and Holford Road.

USE OF PROPERTY UNDER CURRENT ZONING

The subject property is zoned Planned Development (PD) District 20-17 and within the Retail Mixed Use (RMU) character zone. The Retail Mixed Use (RMU) Zone is adjacent to North President George Bush Turnpike with access conducive to destination and regional retail uses. As mentioned above, Data Center is an allowed use in Retail Mixed Use.

CONSIDERATIONS

1. Development and Site Plan

The applicant proposes a 178,814 square-foot Data Center, a regional detention pond and a future expansion of 67,228 square feet, which are all part of Phase 1. Per the narrative, "the building will be designed with office space and associated infrastructure spaces and populated with 4 MW of equipment with planning for expansion to 6 MW in the future. The third data hall and associated infrastructure spaces will be master planned for 6 MW but constructed as shell space. The building will be designed to expand to add a fourth data hall and associated infrastructure spaces on land made "pad-ready" as part of this project."

Future phases will require a Detail Plan through the public hearing process.

2. Parking

The site plan (Exhibit C) complies with the parking requirements per the GDC. In addition, bicycle parking is required per Planned Development (PD) district 20-17 and the site plan is in compliance.

3. Screening and Landscaping

The proposed landscaping conforms to the screening and landscaping requirements per the GDC. The landscape plan (Exhibit D) reflects a ten (10)-foot ornamental metal fence around the perimeter of the property.

Building Design

The building design complies with the architectural elements and articulation requirements of the GDC and Planned Development (PD) District 20-17.

4. Transportation

A Traffic Impact Analysis was not required with this request. The Transportation Department did not have any concerns with the proposed development and it meets technical requirements.

It should be noted that the Ferris Road abandonment will be considered by City Council.

5. Signage

No deviations were requested regarding signage.

COMPREHENSIVE PLAN

The Envision Garland Plan designates the subject property as Business Center. Business centers provide a cluster of business offices and/or low impact industry, including campus-type development, that cumulatively employ large numbers of people. Operations within this development type occur internal to buildings resulting in minimal negative impacts (sound, air, traffic, outdoor lighting, storage, etc.) and are compatible with adjacent development types in architecture, character, scale, and intensity.

Business centers are generally located at intersections of major and/or secondary arterial streets or significant transit areas (bus/rail). Proximity and access to residential areas are encouraged to reduce travel times to employment. Site design addresses function and visual aesthetics providing appropriate buffering at gateway corridors, between adjacent developments, and for residential neighborhoods

The proposed use is compatible with the Comprehensive Plan.

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

The area the north is zoned Planned Development (PD) District 20-17; this property is currently unimproved. However, this property is intended for future phases for the data center. The property to the east, across Holford Road, is zoned Agricultural (AG) District; there is a residential home on site. The property to the south is zoned Planned Development (PD) District 20-17; this property is currently developed with an entertainment facility. The property to the west is zoned Planned Development (PD) District 22-11 for a self-storage facility.

STAFF RECOMMENDATION

Approval of a Detail Plan for a Data Center.

ADDITIONAL INFORMATION

- i. Location Map
- ii. PD Conditions
- iii. Detail Plan
- iv. Photos

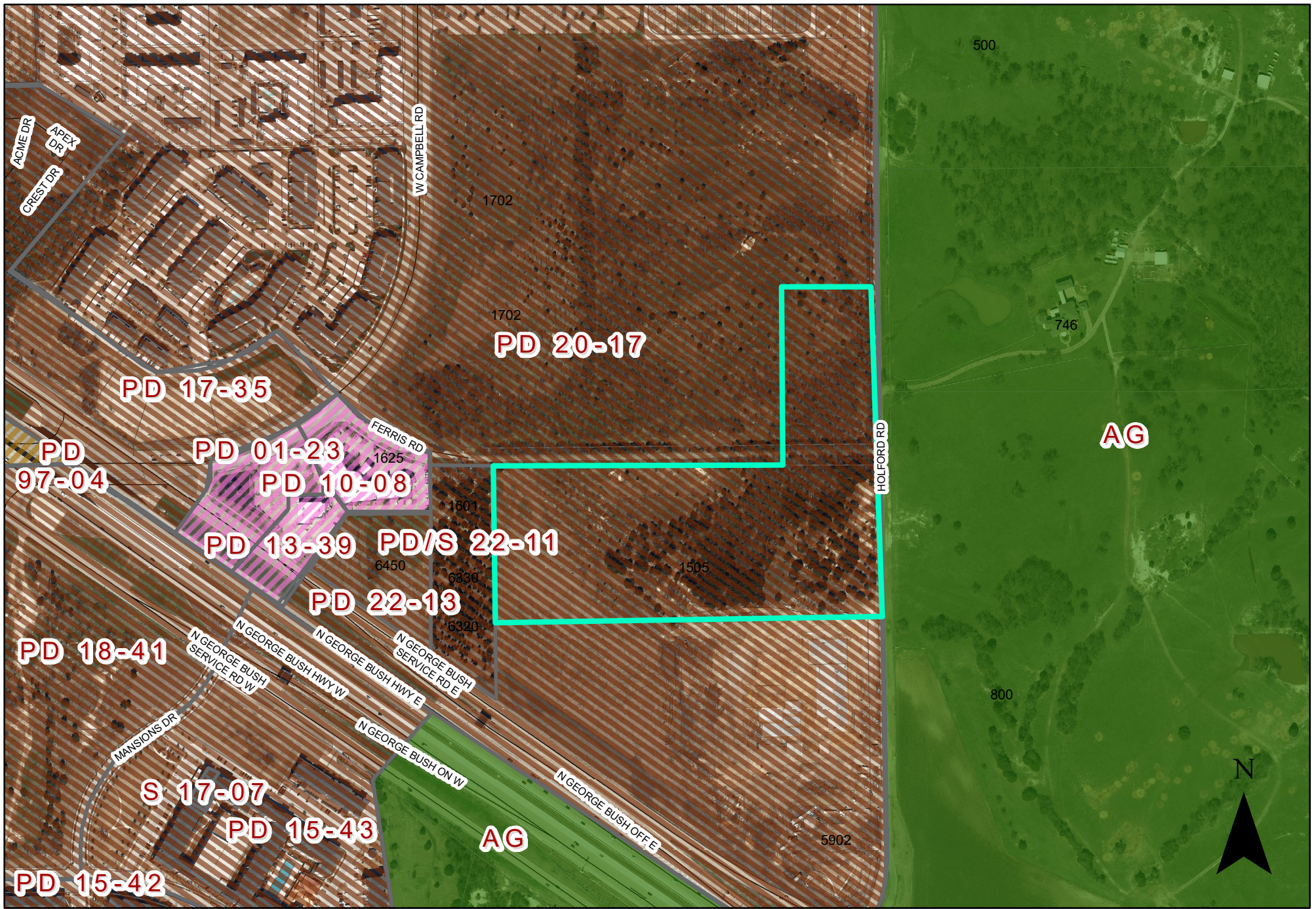
CITY COUNCIL DATE: December 6, 2022

PREPARED BY:

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Planning & Community Development
972-205-2453
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REVIEWED BY:

Will Guerin, AICP
Director of Planning



0 280 560 Feet
1 inch = 422 feet

ZONING MAP Z 22-47

 INDICATES AREA OF REQUEST

1505 Ferris Rd

PLANNED DEVELOPMENT CONDITIONS

ZONING FILE Z 22-47

805 Holford Road

I. Statement of Purpose: The purpose of this Planned Development is to approve a Data Center.

II. Statement of Effect: This Planned Development shall not affect any regulation found in the Garland Development Code, Ordinance No. 6773, as amended prior to adoption of this ordinance, except as specifically provided herein.

III. General Regulations: All regulations of Planned Development (PD) District 20-17 for Mixed Uses are included by reference and shall apply, except as otherwise specified by this ordinance.

IV. Development Plans:

Detail Plan: Development shall be in general conformance with the Detail Plan labeled Exhibit C through Exhibit E. In the event there is conflict between the approved Detail Plan and the Specific Regulations below, the Specific Regulations shall apply.

V. Specific Conditions:

A. Permitted Uses: Land Uses are permitted as in Planned Development (PD) District 20-17 for Mixed Uses.

B. Site Plan: The site layout, building placement, parking and other development proposed shall be in general conformance with the approved Site Plan labeled Exhibit C.

C. Landscape Plan: Screening and landscaping shall be in general conformance with the landscape plan labeled Exhibit D.

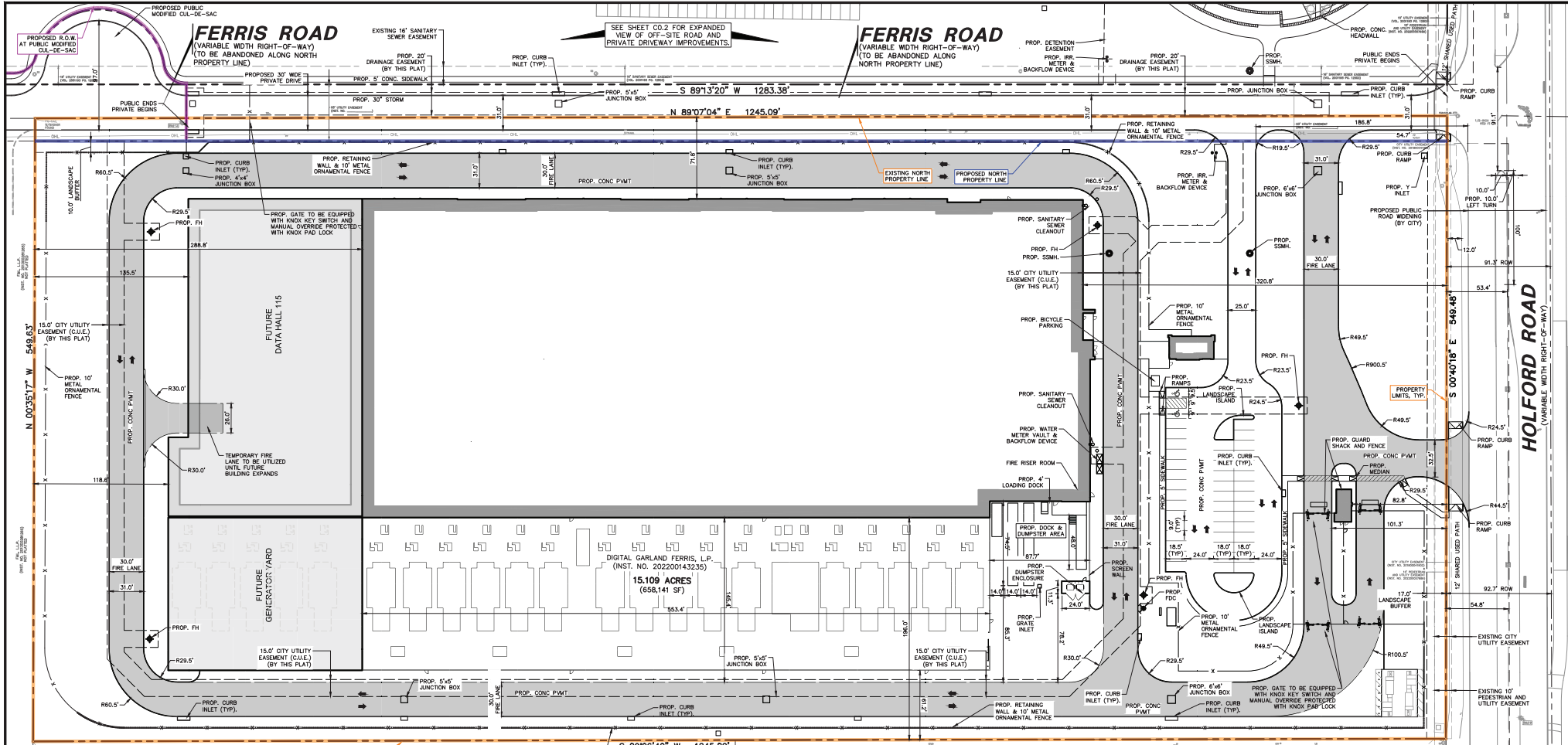
1. Landscaping must be regularly maintained in a healthy, growing condition and in compliance with this PD Ordinance, the Garland Development Code,

the Code of Ordinances of the City of Garland, and the landscaping plan attached hereto at all times. The property owner is responsible for regular weeding, mowing of grass, irrigation, fertilizing, pruning, or other maintenance of all plantings as needed. All exposed ground surfaces on or within the premises shall be properly improved, covered with screening or other approved solid material, or protected with a vegetative growth that prevents soil erosion and ameliorates objectionable dust conditions.

2. Any plant or vegetation that dies must be replaced with another approved plant variety that complies with the approved landscape plan within sixty (60) days after receipt of written notification from the City. In the event the property owner fails to remedy a violation of any landscaping maintenance regulation within sixty (60) days after receipt of written notification from the City, the City may, in addition to any other remedy available by law, withhold future city permits, licenses and/or certificates requested by the property owner for the premises to which such violation applies.
3. Screening and paving must be regularly maintained in compliance with this PD Ordinance, the Garland Development Code, and the Code of Ordinances of the City of Garland at all times. The property owner is responsible for regular maintenance of all screening and paving as needed. In the event the property owner fails to remedy a violation of any screening or paving maintenance regulation within sixty (60) days after receipt of written notification from the City, the City may, in addition to any other remedy available by law, withhold future city permits, licenses and/or certificates requested by the property owner for the premises to which such violation applies.

D. Elevations: Building Elevations shall be in general conformance with the elevations labeled Exhibit E.

EXHIBIT C



SEE SHEET C0.2 FOR EXPANDED VIEW OF OFF-SITE ROAD AND PRIVATE DRIVEWAY IMPROVEMENTS

FERRIS ROAD (VARIABLE WIDTH RIGHT-OF-WAY) TO BE ABANDONED ALONG NORTH PROPERTY LINE

FERRIS ROAD (VARIABLE WIDTH RIGHT-OF-WAY) TO BE ABANDONED ALONG NORTH PROPERTY LINE

SITE DATA SUMMARY TABLE	
ZONING	PD 22-47
LAND USE	DATA CENTER
TOTAL AREA OF SITE	35,309 AC (698,134 SF)
TOTAL DETENTION AREA	3,527 AC (153,625 SF)
TOTAL DETAILED PLAN AREA	38.636 AC (811,766 SF)
PARKING REQUIRED	1 SPACE PER 5,000 SF OF SPACES
FUTURE PARKING REQUIRED	1 SPACE PER 5,000 SF OF SPACES
PARKING PROVIDED	45 SPACES
BICYCLE PARKING REQUIRED	2.5% OF PARKING PROVIDED
BICYCLE PARKING PROVIDED	8 SPACES
TOTAL GROSS SQ FOOTAGE	DATA HALL = 347,373 SF OFFICE = 31,043 SF GUARD SHACK = 398 SF TOTAL = 378,814 SF
FUTURE GROSS SQ FOOTAGE	DATA HALL = 44,163 SF GENERATOR WARD = 23,065 SF TOTAL = 67,228 SF
PROPOSED BUILDING HEIGHT	1 STORY MAX HEIGHT 41'
OPEN SPACE REQUIRED	65,814 SF (16.7%)
OPEN SPACE PROVIDED	376,000 SF (93.3%)
TOTAL FLOOR AREA RATIO	0.281
TOTAL BUILDING COVERAGE	181,326 SF - 27.6%
TOTAL IMPERVIOUS COVER	342,866 SF - 52.1%

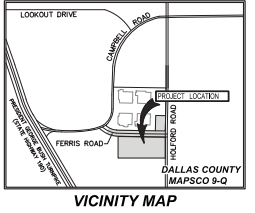
OWNER
DIGITAL REALTY
907 SECURITY ROW
RICHARDSON, TEXAS 75082
PHONE: 469-366-2632
CONTACT JOE HUBBARD

ARCHITECT
JACOBS
777 MAIN STREET
FORT WORTH, TEXAS 76102
PHONE: 817-222-8505
CONTACT ELIZABETH REISNER

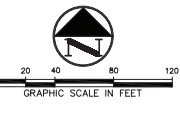
ENGINEER
PACHECO KOCH
7567 RAMBLER RD SUITE 1400
DALLAS, TEXAS 75231
PHONE: 972-236-3031
CONTACT ASHLEY REYNOLDS

SURVEYOR
PACHECO KOCH
7567 RAMBLER RD SUITE 1400
DALLAS, TEXAS 75231
PHONE: 972-236-3031
CONTACT JONATHAN COOPER

LANDSCAPE
PACHECO KOCH
4060 BRYANT SWING RD
FORT WORTH, TEXAS 76109
PHONE: 817-412-1150
CONTACT TRICIA WOLVER



- LEGEND**
- ⊙ BOLLARD
 - ⊙ ELECTRIC METER
 - ⊙ POWER POLE
 - ⊙ LIGHT STANDARD
 - ⊙ WATER METER
 - ⊙ WATER VALVE
 - ⊙ IRRIGATION CONTROL VALVE
 - ⊙ FIRE HYDRANT
 - ⊙ CLEANOUT
 - ⊙ MANHOLE
 - ⊙ TRAFFIC SIGNAL CONTROL
 - ⊙ TRAFFIC SIGNAL POLE
 - ⊙ TELEPHONE BOX
 - ⊙ FLOOD LIGHT
 - ⊙ FLAG POLE
 - ⊙ TRAFFIC SIGN
 - ⊙ 1/2" HIGH IRON ROD
 - ⊙ W/PACHECO KOCH® CAP SET
 - ⊙ CONTROLLING MONUMENT
 - ⊙ (C.M.)
 - ⊙ PRIORITY LINE
 - ⊙ FENCE
 - ⊙ PROPOSED FENCE
 - ⊙ FIRE LANE
 - ⊙ PROP. FIRE HYDRANT
 - ⊙ PROP. WATER LINE
 - ⊙ PROP. SANITARY SEWER LINE
 - ⊙ PROP. SANITARY SEWER MANHOLE
 - ⊙ PROPOSED STORM LINE
 - ⊙ PROPOSED RETAINING/SCREENING WALL
 - ⊙ PROP. FIRE LANE



PRELIMINARY NOT FOR CONSTRUCTION

THIS DOCUMENT IS ISSUED FOR THE PURPOSE OF SCHEMATIC REVIEW ONLY AND IS NOT INTENDED FOR PERMITTING, RECORDING, OR CONSTRUCTION PURPOSES.

PLANS PREPARED UNDER THE DIRECT SUPERVISION OF ASHLEY D. REYNOLDS, P.E. TEXAS REGISTRATION NO. 128833 DATE: 10/27/2022

ISSUED FOR PRELIMINARY PRICING PURPOSES ONLY (SUBJECT TO REVISION PRIOR TO CONSTRUCTION)

THESE DOCUMENTS HAVE BEEN PREPARED BY THE ENGINEER WITH THE INTENT OF COMPLYING WITH ALL CITY STANDARD REQUIREMENTS. THESE DOCUMENTS HAVE NOT BEEN APPROVED AND RELEASED FOR CONSTRUCTION BY THE CITY AS OF THIS DATE AND THEREFORE REVISIONS MAY BE REQUIRED PRIOR TO CONSTRUCTION. BY ANY USE OF THESE DOCUMENTS, THE USER AFFIRMS THEIR UNDERSTANDING OF THE PRELIMINARY STATUS OF THE PLANS AND THE POTENTIAL FOR REVISION PRIOR TO ANY CONSTRUCTION.

NO.	DATE	REVISION				
<p>Pacheco Koch 7567 RAMBLER ROAD SUITE 1400 DALLAS, TX 75231 972.236.3031</p>						
<p>DETAILED PLAN</p>						
<p>DIGITAL GARLAND CAMPUS</p>						
<p>DATA CENTER ON 15.1 AC.</p>						
<p>HOLFORD RD. @ FERRIS RD.</p>						
<p>CITY OF GARLAND, DALLAS COUNTY, TEXAS</p>						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
ADR	CBA/AER	OCT. 2022	1"=40'			DP0.1

C:\P\2022\10\27\2022\1317.PW
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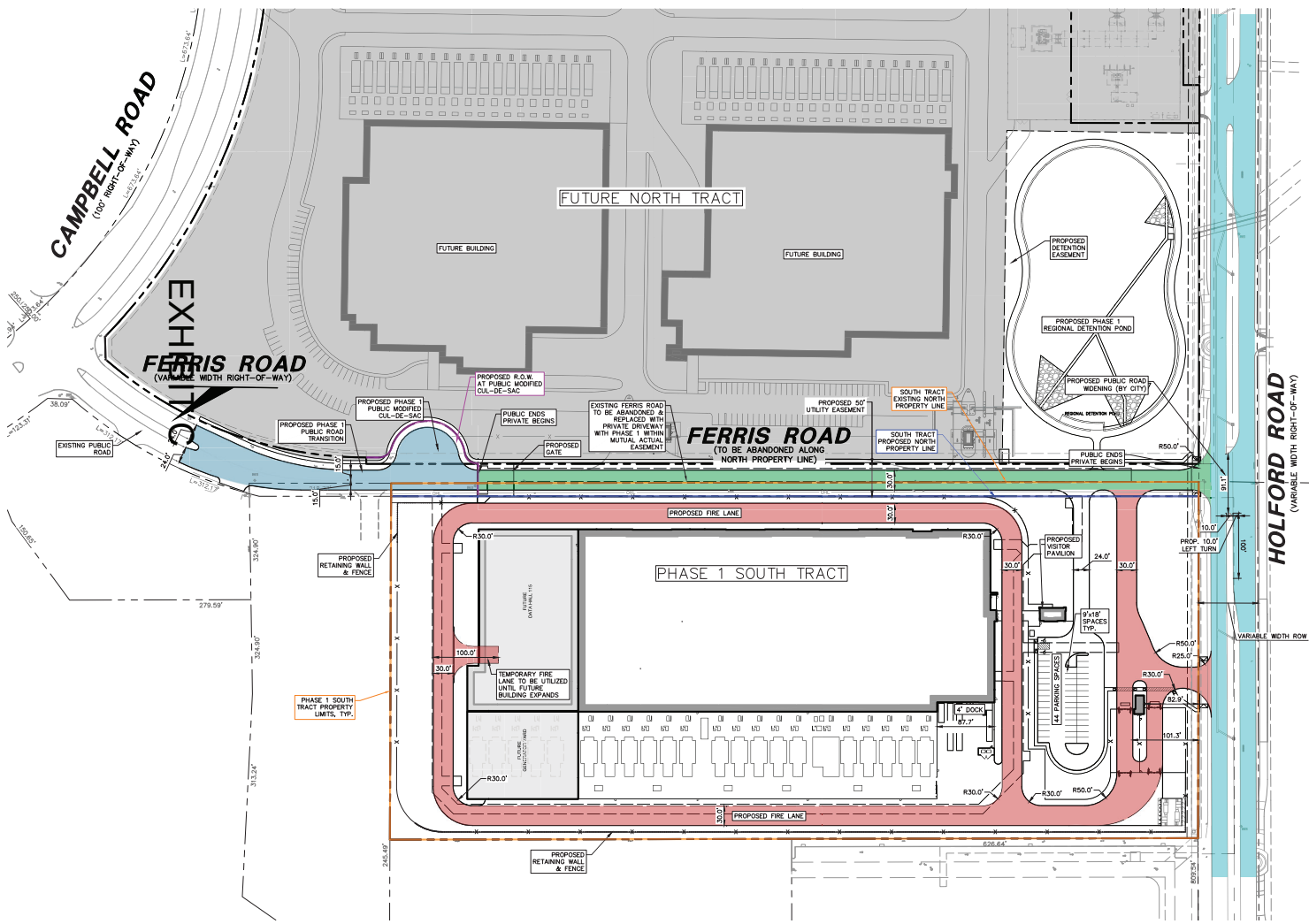
CITY CASE NO. 220519-1
TX REG. ENGINEERING FIRM F-469
TX REG. SURVEYING FIRM LS-10008000

PK FILE: 1639-2B04R039-22.196SITE-D.PWG



LEGEND

⊘	BOLLARD
⊕	ELECTRIC METER
⊕	POWER POLE
⊕	LIGHT STANDARD
⊕	WATER METER
⊕	WATER VALVE
⊕	IRRIGATION CONTROL VALVE
⊕	FIRE HYDRANT
⊕	CLEANOUT
⊕	MANHOLE
⊕	TRAFFIC SIGNAL CONTROL
⊕	TRAFFIC SIGNAL POLE
⊕	TELEPHONE BOX
⊕	FLOOD LIGHT
⊕	FLAG POLE
⊕	TRAFFIC SIGN
⊕	1/2-INCH IRON ROD
⊕	W/PEACHEO KOCH® CAP SET
(C.M.)	CONTROLLING MONUMENT
---	PROPERTY LINE
- - -	FENCE
- - -	FIRE LANE



ISSUED FOR PRELIMINARY PRICING PURPOSES ONLY
(SUBJECT TO REVISION PRIOR TO CONSTRUCTION)

THESE DOCUMENTS HAVE BEEN PREPARED BY THE ENGINEER WITH THE INTENT OF COMPLYING WITH ALL CITY STANDARD REQUIREMENTS. THESE DOCUMENTS HAVE NOT BEEN APPROVED AND RELEASED FOR CONSTRUCTION BY THE CITY AS OF THIS DATE AND, THEREFORE, REVISIONS MAY BE REQUIRED PRIOR TO CONSTRUCTION. BY ANY USE OF THESE DOCUMENTS, THE USER AFFIRMS THEIR UNDERSTANDING OF THE PRELIMINARY STATUS OF THE PLANS AND THE POTENTIAL FOR REVISION PRIOR TO ANY CONSTRUCTION.

NO.	DATE	REVISION

Pacheco Koch 7507 RAMBLER ROAD SUITE 1400
DALLAS, TX 75221
972.235.3031

EXPANDED DETAILED PLAN
DIGITAL GARLAND CAMPUS
DATA CENTER ON 15.1 AC.
HOLFORD RD. @ FERRIS RD.
CITY OF GARLAND, DALLAS COUNTY, TEXAS

PRELIMINARY
NOT FOR CONSTRUCTION

THIS DOCUMENT IS ISSUED FOR THE PURPOSE OF SCHEMATIC REVIEW ONLY AND IS NOT INTENDED FOR PERMITTING, RECORDS, OR CONSTRUCTION PURPOSES.

PLANS PREPARED UNDER THE DIRECT SUPERVISION OF ASHLEY D. REYNOLDS, P.E.
TEXAS REGISTRATION NO. 128823
DATE: 10/27/2022

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
ADR	CBA/JER	OCT. 2022	1"=80'			DP0.2

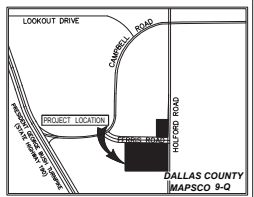
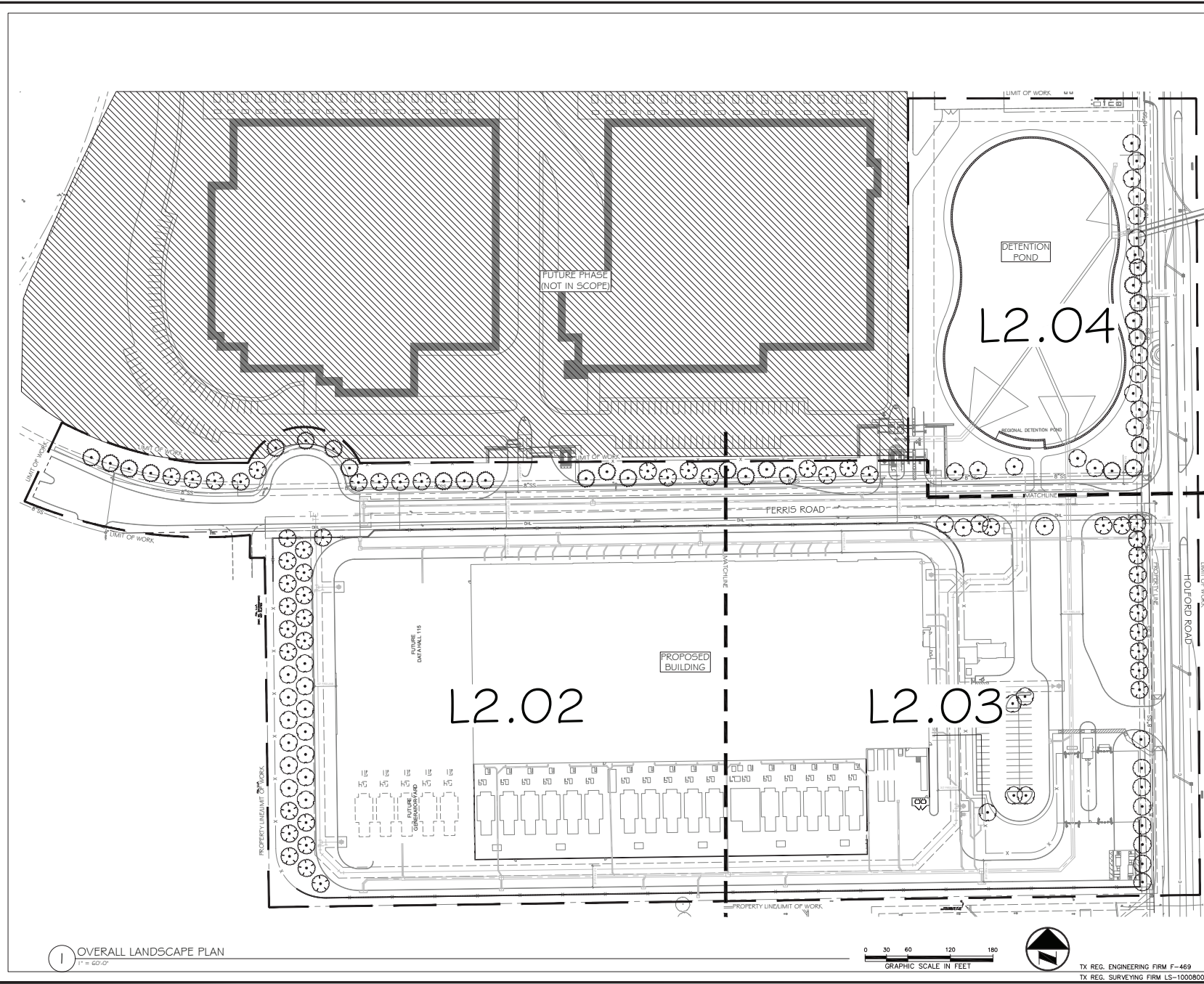
CITY CASE NO. 220519-1 TX REG. ENGINEERING FIRM F-469
TX REG. SURVEYING FIRM LS-10008000

PK. FILE: 1639-22.196-1639-22.196EDP.DWG

EXHIBIT C

DATE PLOTTED: 10/27/2022 1:31 PM
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DIGITAL GARLAND CAMPUS



VICINITY MAP
(NOT TO SCALE)

ZONING:
EXISTING: LI (LIGHT INDUSTRIAL)
PROPOSED USE:
DATA CENTER/OFFICE

OWNER:
DIGITAL REALTY
JOE HUBBARD
907 SECURITY ROW
RICHARDSON, TEXAS 75082
469-365-2632

LANDSCAPE ARCHITECT:
TRICIA WOLIVER
118 N OHIO ST, CELINA, TX 75009
214-451-2765

INTERIM REVIEW

THIS DOCUMENT IS INTENDED FOR REVIEW ONLY AND IS NOT TO BE USED FOR CONSTRUCTION. ANY CHANGES TO THIS DOCUMENT MUST BE APPROVED BY THE ARCHITECT.

1 OVERALL LANDSCAPE PLAN
1" = 60'-0"



TX REG. ENGINEERING FIRM F-469
TX REG. SURVEYING FIRM LS-10008000

NO.	DATE	REVISION
2	10/27/2022	CITY RESUBMITTAL
1	10/11/2022	CITY SUBMITTAL

Pacheco Koch		118 N. OHIO STREET
a Westwood company		CELINA, TX 75009
		214.451.2765

OVERALL LANDSCAPE PLAN
DIGITAL GARLAND CAMPUS
DATA CENTER ON 15.7 AC.
HOLFORD RD. @ FERRIS RD.
CITY OF GARLAND, DALLAS COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE
TAW	SRR	OCT. 2022	AS SHOWN		

12.00

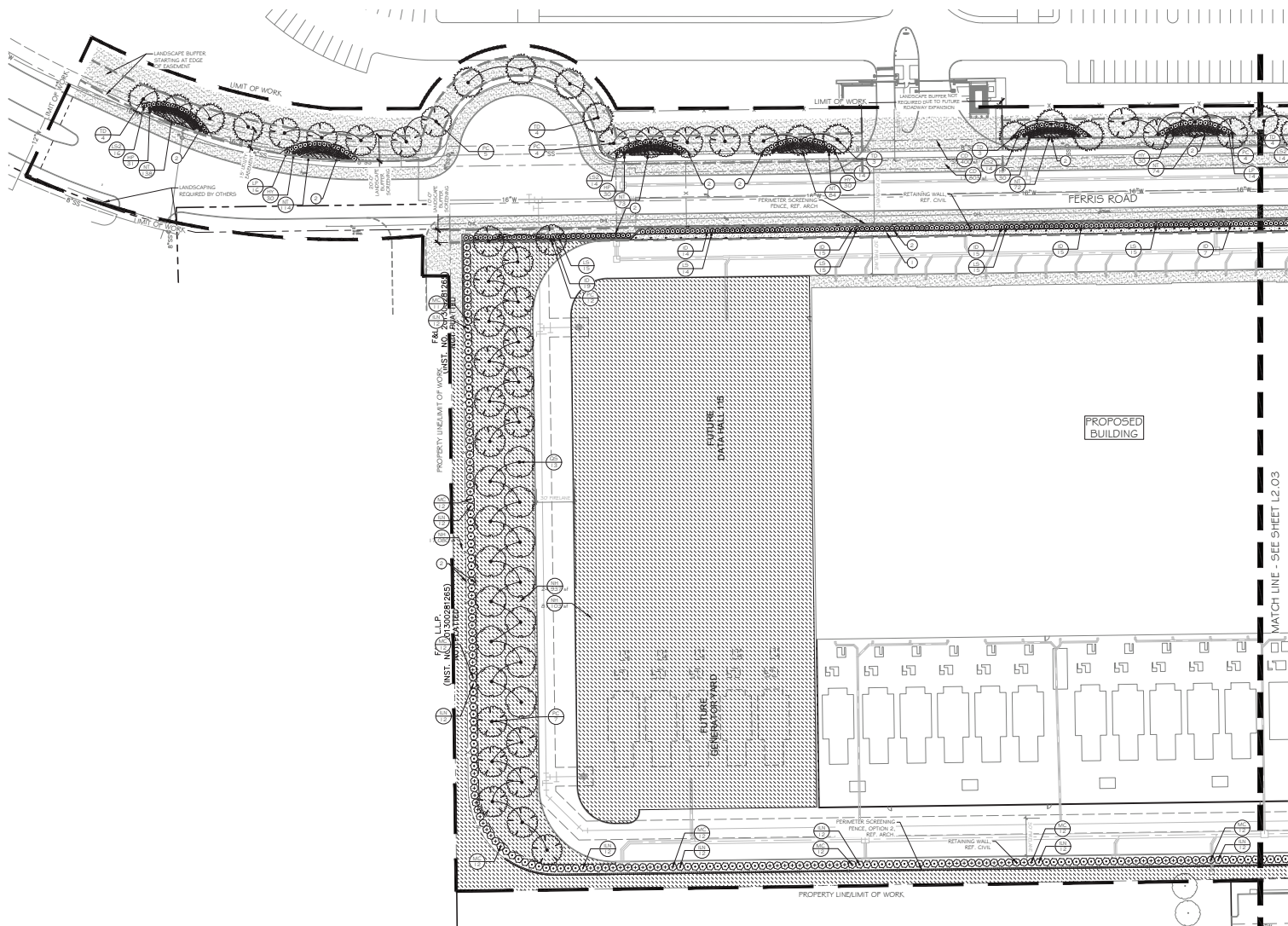
EXHIBIT D

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	DETAIL
①	RIVER COBBLE	5A2.04
②	STEEL EDGING	4A2.04

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME
TREES	BOTANICAL / COMMON NAME
PC	POSTALIA CYRUSIS CHINESE FISTACHE
Q5	QUERCUS SHUMARDII SHUMARD RED OAK
TD	TAXODIUM DISTICHUM BALD CYPRRESS
UC2	ULMUS CRASSIFOLIA CEDAR ELM
SHRUBS	BOTANICAL / COMMON NAME
HF	HESPERALOE PARVIFLORA RED YUCCA
HY	HESPERALOE PARVIFLORA 'YELLOW YELLOW YUCCA
ID	ILEX CORNUTA 'DWARF BURFORD' DWARF BURFORD HOLLY
ILN	ILEX X 'NELLIE R STEVENS' NELLIE STEVENS HOLLY
L5	LEUCOPHYLLUM FRUTESCENS 'SILVERADO' TEXAS SAGE
L52	LIGUSTRUM SINENSE 'SUNSHINE' SUNSHINE CHINESE PRIVET
LP	LOROPETALUM CHINENSE 'PIPA'S RED' RED CHINESE FRINGE FLOWER
MC	MORELLA CERIFERA WAX MYRTLE
SHRUB AREAS	BOTANICAL / COMMON NAME
NT	NASSELLA TENUISSIMA MEXICAN FEATHER GRASS
GROUND COVERS	BOTANICAL / COMMON NAME
EP	ELONIMYSL FORTUNEI 'COLORATUS' PURPLE WINTERCREEPER
SOD/SEED	BOTANICAL / COMMON NAME
CD	CYNODON DACTYLON BERMUDA GRASS
NH	NATIVE SEED MIX-HYDROSEED



1 LANDSCAPE PLAN
1" = 40'-0"

INTERIM REVIEW
THIS DOCUMENT IS REVIEWED FOR
DESIGN AND CONSTRUCTION OF THE
PROJECT. IT IS NOT A CONTRACT. IT IS
NOT TO BE USED FOR ANY OTHER
PURPOSES WITHOUT THE WRITTEN
CONSENT OF THE ARCHITECT.

NO.	DATE	REVISION
2	10/27/2022	CITY RESUBMITTAL
1	10/11/2022	CITY SUBMITTAL

Pacheco Koch
Westwood company
118 N. OHIO STREET
CELINA, TX 75009
214.451.2765

LANDSCAPE PLAN
**DIGITAL GARLAND CAMPUS
DATA CENTER ON 15.7 AC.
HOLFORD RD. @ FERRIS RD.**
CITY OF GARLAND, DALLAS COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE
TAW	SRR	OCT. 2022	AS SHOWN		

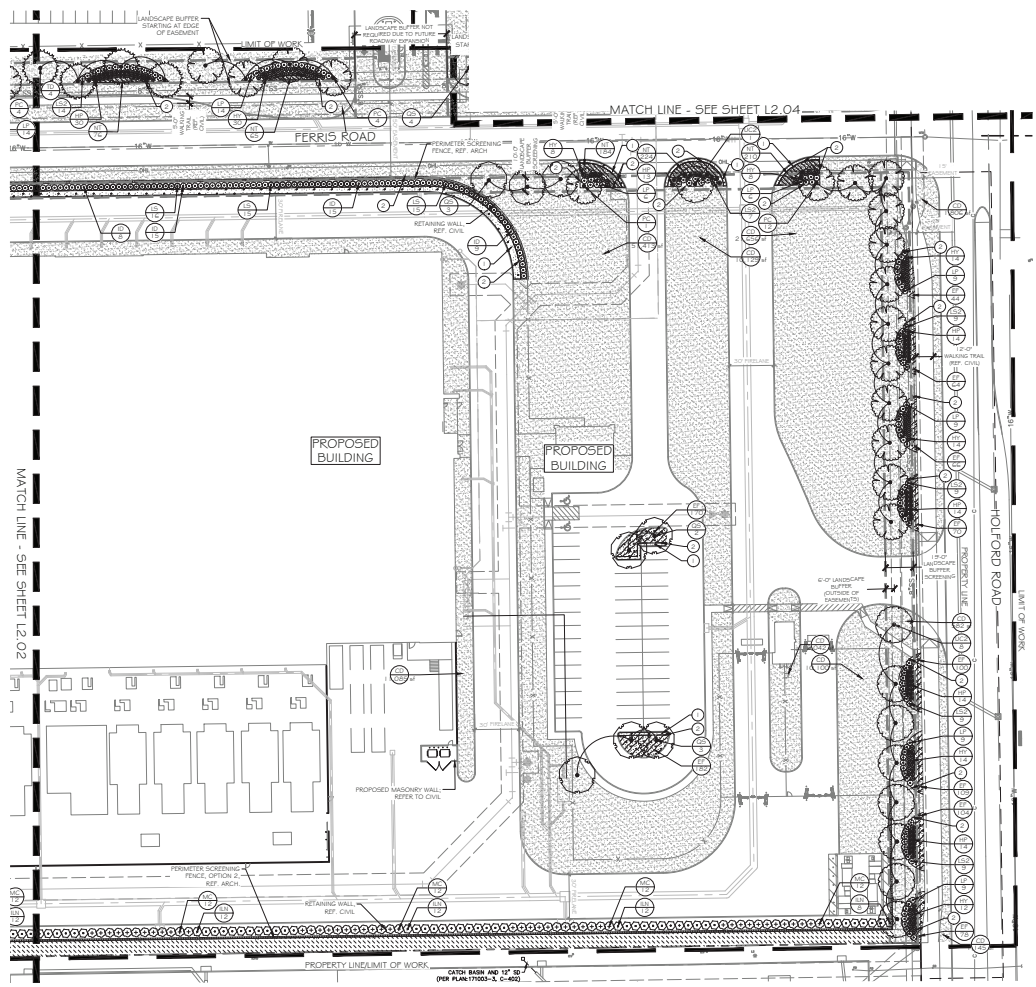
L2.02

TX REG. ENGINEERING FIRM F-469
TX REG. SURVEYING FIRM LS-10008000

PK FILE: 1639-22.196

DIGITAL GARLAND CAMPUS

EXHIBIT D



REFERENCE NOTES SCHEDULE

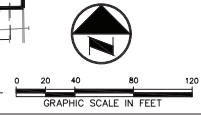
SYMBOL	DESCRIPTION	DETAIL
①	RIVER COBBLE	5/2.04
②	STEEL EDGING	4/2.04

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME
PC	FORMOSA SYZYGIIA CHINESE PISTACHE
Q5	QUERCUS SHUMARDII SHUMARD RED OAK
TD	TAXODIUM DISTICHUM BALD CYPRRESS
UC2	ULMUS CRASSIFOLIA CEDAR ELM
SHRUBS	BOTANICAL / COMMON NAME
HF	HESPERALOE PARVIFLORA RED YUCCA
HY	HESPERALOE PARVIFLORA YELLOW YELLOW YUCCA
ID	ILEX CORNUTA 'DWARF BURFORD' DWARF BURFORD HOLLY
ILN	ILEX X 'NELLIE R STEVENS' NELLIE STEVENS HOLLY
L5	LEUCOPHYLLUM FRUTESCENS 'SILVERADO' TEXAS SAGE
L52	LIGUSTRUM SINENSE SUNSHINE SUNSHINE CHINESE PRIVET
LP	LOROPETALUM CHINENSE 'PIPA'S RED' RED CHINESE FRINGE FLOWER
MC	MORELLA CERIFERA WAX MYRTLE
SHRUB AREAS	BOTANICAL / COMMON NAME
NT	RASSIELLA TENISSIANA MEXICAN FEATHER GRASS
GROUND COVERS	BOTANICAL / COMMON NAME
EF	EUDORNIUM FORTUNEI 'COLORATUS' PURPLE WINTERCREEPER
SOD/SEED	BOTANICAL / COMMON NAME
CD	CYNODON DACTYLON BERMUDA GRASS
NH	NATIVE SEED MIX-HYDROSEED

INTERIM REVIEW
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1 PLANTING PLAN
 1" = 40'-0"



NO.	DATE	REVISION
2	10/27/2022	CITY RESUBMITTAL
1	10/11/2022	CITY SUBMITTAL
Pacheco Koch Westwood company		
		118 N. OHIO STREET CELINA, TX 75009 214.451.2765
LANDSCAPE PLAN		
DIGITAL GARLAND CAMPUS		
DATA CENTER ON 15.7 AC.		
HOLFORD RD. @ FERRIS RD.		
CITY OF GARLAND, DALLAS COUNTY, TEXAS		
DESIGN	DRAWN	DATE
TAW	SRR	OCT. 2022
SCALE	NOTES	FILE
AS SHOWN		

TX REG. ENGINEERING FIRM F-469
 TX REG. SURVEYING FIRM LS-10008000

PK FILE: 1639-22.196

L2.03

DIGITAL GARLAND CAMPUS

REFERENCE NOTES SCHEDULE

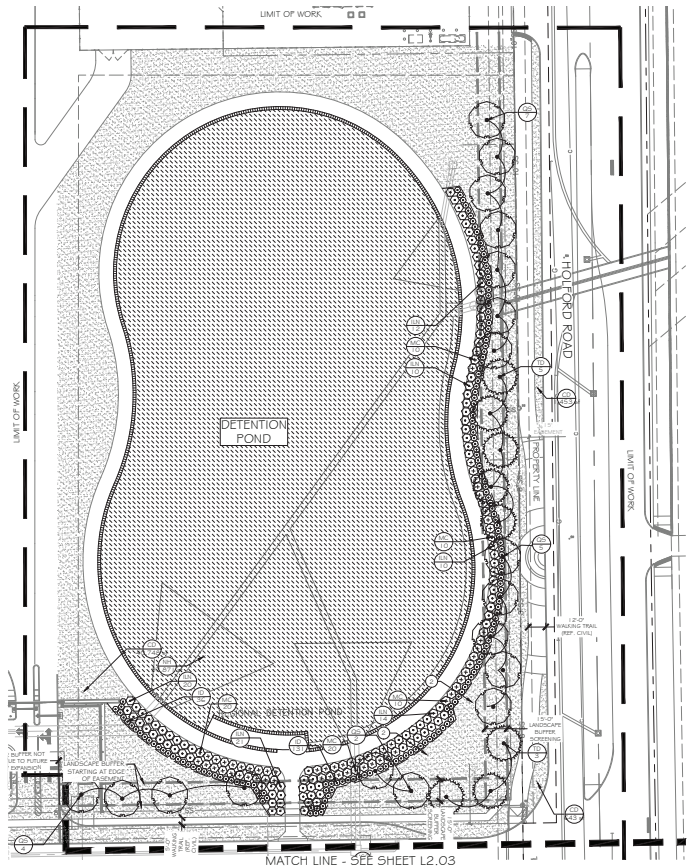
SYMBOL	DESCRIPTION	DETAIL
①	RIVER COBBLE	5A.2.04
②	STEEL EDGING	4A.2.04

PLANT SCHEDULE

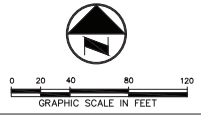
TREES	BOTANICAL / COMMON NAME
PC	PISTACIA CHINENSIS CHINESE PISTACHE
QS	QUERCUS SHUMARDII SHUMARD RED OAK
TD	TAXODIUM DISTICHUM BALD CYPRESS
UC2	ULMUS CRASSIFOLIA CEDAR ELM
SHRUBS	BOTANICAL / COMMON NAME
HY	HESPERALOE PARVIFLORA 'YELLOW' YELLOW YUCCA
ID	ILEX CORNUTA 'DWARF BURFORD' DWARF BURFORD HOLLY
ILN	ILEX X 'NELLIE R. STEVENS' NELLE STEVENS HOLLY
LS	LEUCOPHYLLUM FRUTESCENS 'SILVERADO' TEXAS SAGE
LS2	LIGUSTRUM SINENSE 'SUNSHINE' SUNSHINE CHINESE PRIVET
LP	LOROPETALUM CHINENSE 'PIPA'S RED' RED CHINESE FRINGE FLOWER
MC	MORELLA CERIFERA WAX MYRTLE
SHRUB AREAS	BOTANICAL / COMMON NAME
RT	TRISELLIS TENUSSERRA MEXICAN FEATHER GRASS
GROUND COVERS	BOTANICAL / COMMON NAME
EP	EUCHROMIS FORTUNEI 'COLORATUS' PURPLE WINTERCREEPER
SOO/SEED	BOTANICAL / COMMON NAME
CD	CITROCHLOA DICTYOPHYLLA BERMUDA GRASS
NH	NATIVE SEED MIX-HYDROSEED

INTERIM REVIEW
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NO.	DATE	REVISION			
2	10/27/2022	CITY RESUBMITTAL			
1	10/11/2022	CITY SUBMITTAL			
Pacheco Koch a Westwood company					
118 N. OHIO STREET CELINA, TX 75009 214.451.2765					
LANDSCAPE PLAN DIGITAL GARLAND CAMPUS DATA CENTER ON 15.7 AC. HOLFORD RD. @ FERRIS RD. CITY OF GARLAND, DALLAS COUNTY, TEXAS					
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE
TAW	SRR	OCT. 2022	AS SHOWN		
					L2.04



1 LANDSCAPE PLAN
 1" = 40'-0"

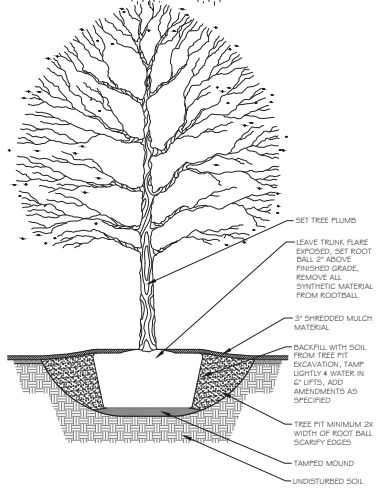
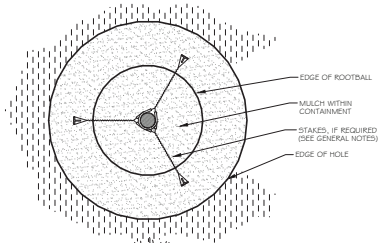


TX REG. ENGINEERING FIRM F-469
 TX REG. SURVEYING FIRM LS-10008000

PK FILE: 1639-22.196

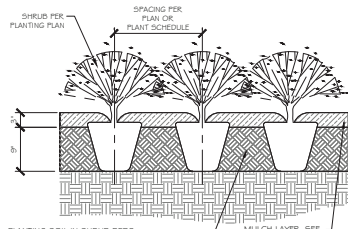
EXHIBIT D

DIGITAL GARLAND CAMPUS



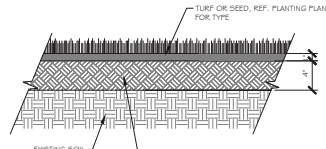
NOTE: UNLESS OTHERWISE SPECIFIED, OR REQUIRED BY OWNER TREES 3" CAL. AND UNDER SHALL NOT BE STAKED.

1 CANOPY TREE W/ NO STAKES
3/4" = 1'-0"



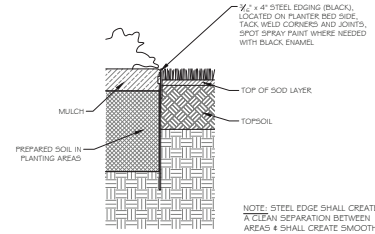
- PLANTING SOIL IN SHRUB BEDS:
1. EXCAVATE EXISTING SOILS 4" BELOW ADJACENT CURB OR SIDEWALKS.
 2. ADD 3" COMPOST & TILL INTO 6" EXISTING SOILS, CREATING 3" PLANTING SOIL.
 3. ADD 3" MULCH AFTER PLANTING.

2 TYP. SHRUB PLANTING
1" = 1'-0"



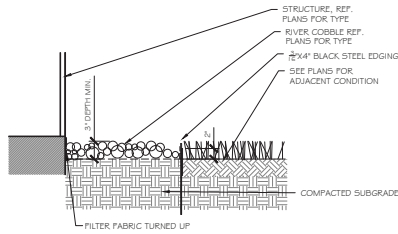
- TOPSOIL PREP:
1. FINISH GRADE TOPSOIL BY REMOVING STONES LARGER THAN 1" IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER TO LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
 2. ADD 1" COMPOST ON THE SURFACE, THEN TILL TO 4" DEPTH.
 3. INSTALL SOG AND SEED AS SHOWN AND NOTED FOR SPECIFICATIONS, REF. PLANTING PLANS FOR TYPE.

3 SOIL PROFILE FOR SOD & SEED
1 1/2" = 1'-0"



NOTE: STEEL EDGE SHALL CREATE A CLEAN SEPARATION BETWEEN AREAS & SHALL CREATE SMOOTH, EVEN LINES (AS INDICATED ON THE PLANS)

4 STEEL EDGING AT PLANTING
1 1/2" = 1'-0"



5 RIVER COBBLE
1" = 1'-0"

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2	10/27/2022	CITY RESUBMITTAL			
1	10/11/2022	CITY SUBMITTAL			
NO.	DATE	REVISION			
		118 N. OHIO STREET CELEINA, TX 75009 214.451.2765			
LANDSCAPE DETAILS DIGITAL GARLAND CAMPUS DATA CENTER ON 15.7 AC. HOLFORD RD. @ FERRIS RD. CITY OF GARLAND, DALLAS COUNTY, TEXAS					
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE
TAW	SRR	OCT 2022	AS SHOWN		

TX REG. ENGINEERING FIRM F-469
TX REG. SURVEYING FIRM LS-10008000

PK FILE: 1639-22.196

L2.05

PLANT SCHEDULE

2022.10.07.08.54						
TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE/COND.	REMARKS	
	PC	49	PISTACIA CHINENSIS CHINESE PISTACHE	4" CAL/ CONT	SINGLE, STRAIGHT LEADER, MATCHING, MIN. 7 FT HT AT TIME OF PLANTING	
	Q9	39	QUERCUS SHUMARDII SHUMARD RED OAK	4" CAL/ CONT	SINGLE, STRAIGHT LEADER, MATCHING, MIN. 7 FT HT AT TIME OF PLANTING	
	TD	26	TAXODIUM DISTICHUM BALD CYPRESS	4" CAL/ CONT	SINGLE, STRAIGHT LEADER, MATCHING, MIN. 7 FT HT AT TIME OF PLANTING	
	UC2	9	ULMUS CRASSIFOLIA CEDAR ELM	4" CAL/ CONT	MATCHED, WELL BRANCHED, STRONG CENTRAL LEADER, MIN. 7 FT HT AT TIME OF PLANTING	
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	REMARKS
	HP	190	HESPERALOE PARVIFLORA RED YUCCA	3 GAL	36" o.c.	NURSERY GROWN, MATCHED & WELL ROOTED, PLANT AS SHOWN
	HY	190	HESPERALOE PARVIFLORA YELLOW YELLOW YUCCA	3 GAL	36" o.c.	NURSERY GROWN, MATCHED & WELL ROOTED, PLANT AS SHOWN
	ID	299	ILEX CORNUTA 'DWARF BURFORD' DWARF BURFORD HOLLY	5 GAL	48" o.c.	FULL, MATCHING
	ILN	227	ILEX X 'NELLIE & STEVENS' NELLIE STEVENS HOLLY	7 GAL	72" o.c.	FULL, MATCHING
	LS	120	LEUCOPHYLLUM FRUTESCENS 'SILVERADO' TEXAS SAGE	3 GAL	48" o.c.	FULL, MATCHING
	LS2	101	LIGULSTRUM SINENSE 'SUNSHINE' SUNSHINE CHINESE PRIVET	5 GAL	48" o.c.	FULL, MATCHING
	LP	106	LOROPETALUM CHINENSE 'FIPA'S RED' RED CHINESE FRINGE FLOWER	5 GAL	48" o.c.	FULL, MATCHING
	MC	213	MORELLA CERIFERA WAX MYRTLE	7 GAL	72" o.c.	FULL, MATCHING
SHRUB AREAS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	REMARKS
	NT	1,314	NASSELLA TENUISSIMA MEXICAN FEATHER GRASS	1 GAL	12" o.c.	FULL, MATCHING
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	REMARKS
	EP	987	EUONYMUS FORTUNEI 'COLORATUS' PURPLE WATERGATEKEEPER	1 GAL	18" o.c.	FULL, MATCHING
SOOSED	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	REMARKS
	CD	198,467 SF	CRIDODON DACTYLON BERMUDA GRASS	500		SOLID, ROLLED TIGHT, SAND FILLED JOINTS, 100% WEED, PEST AND DISEASE FREE
	NH	220,991 SF	NATIVE SEED MIX-HYDROSEED	HYDROSEED		

REFERENCE NOTES SCHEDULE

2022.07.13.14.42		
SYMBOL	DESCRIPTION	DETAIL
①	RIVER COBBLE	5/12.04
②	STEEL EDGING	4/12.04

PLANTING GENERAL NOTES

- ALL PLANTS SHALL BE SET OUT FOR APPROVAL BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
- FINE GRADING SHALL BE PERFORMED IN ALL AREAS TO BE LANDSCAPED. FINE GRADING SHALL INCLUDE THE REMOVAL OF DEBRIS, ROCKS, ETC. FROM THE SITE AND INSURE POSITIVE DRAINAGE IN ALL AREAS.
- THE CONTRACTOR SHALL LOCATE ALL UTILITIES AND EASEMENTS IN THE FIELD PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES DURING THE COURSE OF CONSTRUCTION.
- WRITTEN DIMENSIONS SHALL GOVERN OVER SCALED DIMENSIONS.
- THE CONTRACTOR SHALL REFER TO THE SPECIFICATIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS ASSOCIATED WITH THE LANDSCAPE AND ACCESSORIES.
- ALL PLANT MATERIALS SHALL MEET ANSI Z60.1 STANDARDS FOR CALIPER, HEIGHT AND ROOT BALL SIZE. ANY MATERIALS THAT DO NOT MEET OR EXCEED SUCH STANDARDS SHALL BE REJECTED AND REPLACED AT THE CONTRACTORS EXPENSE.
- BALLED AND BURLAPPED TREES SHALL HAVE THE TOP HALF OF THE WIRE BASKET REMOVED. THE BURLAP SHALL BE REMOVED TO THE GREATEST EXTENT POSSIBLE, USING A KNIFE TO CUT AND REMOVE THE BOTTOM HALF UNDER THE WIRE BASKET THAT REMAINS.
- QUANTITIES ARE SHOWN FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES

LANDSCAPE REQUIREMENTS TABLE

SITE AREA: 604,461 SF (15.7 ACRES)			
ZONING: OFFICE / INDUSTRIAL			
LANDSCAPE AREA		REQUIRED	PROVIDED
LANDSCAPE AREAS MUCH TOTAL 10% OF TOTAL SITE AREA			
	(604,461 SF X 10% = 60,447 SF)	60,447 SF (10%)	376,040 SF (55%)
BUFFER REQUIREMENTS		REQUIRED	PROVIDED
HOLFORD ROAD (1081 LF): C-2 (100' 4-LANE DIVIDED) - 10' LANDSCAPE BUFFER			
1 TREE / 30 LF	(1081 LF / 30 = 37 TREES)	37 TREES	37 TREES
7 SHRUBS / 30 LF	((1081 LF / 30) X 7 = 253 SHRUBS)	253 SHRUBS	253 SHRUBS
WESTBOUND FERRIS ROAD (1400 LF): D1 (82' 4-LANE DIVIDED) - 10' LANDSCAPE BUFFER			
1 TREE / 30 LF	(1400 LF / 30 = 47 TREES)	47 TREES	47 TREES
7 SHRUBS / 30 LF	((1400 LF / 30) X 7 = 327 SHRUBS)	327 SHRUBS	353 SHRUBS
EASTBOUND FERRIS ROAD (1182 LF): D1 (82' 4-LANE DIVIDED) - 10' LANDSCAPE BUFFER			
1 TREE / 30 LF	(1200 LF / 30 = 47 TREES)	40 TREES	40 TREES
7 SHRUBS / 30 LF	((1200 LF / 30) X 7 = 327 SHRUBS)	280 SHRUBS	282 SHRUBS
PARKING REQUIREMENTS		REQUIRED	PROVIDED
LANDSCAPE ISLAND WITH ONE (1) TREE AT EACH TERMINUS OF PARKING			
ONE (1) CANOPY TREE PER TEN (10) PARKING SPACES			
44 PARKING SPOTS / 10 = 5 TREES		5 TREES	5 TREES
CONTINUOUS ROW OF SHRUBS ALONG PARKING FACING STREET		YES	YES
NO PARKING SPACE FURTHER THAN 65 FT FROM REQUIRED TREE		YES	YES
DETENTION POND REQUIREMENTS			
TREES AND SHRUBS SCREENING PERIMETER OF DETENTION POND FROM ROAD		YES	YES
TREE MITIGATION REQUIREMENTS			
696 INCHES TO MITIGATE	(696" / 4" = 174 TREES)	174 TREES	136 TREES*
*36 ADDITIONAL TREES AT 4" CAL EACH = 152 CAL INCHES TO BE MITIGATED BY FEE AT \$150/CAL. INCH = \$22800 TO TREE FUND			

INTERIM REVIEW
 THESE DOCUMENTS ARE PROVIDED FOR INFORMATION ONLY AND ARE NOT FOR CONSTRUCTION. ANY CHANGES TO THE ORIGINAL DESIGN SHALL BE APPROVED BY THE ARCHITECT AND/OR ENGINEER. THE ARCHITECT'S NUMBER IS 2022.

NO.	DATE	REVISION			
2	10/27/2022	CITY RESUBMITTAL			
1	10/11/2022	CITY SUBMITTAL			
Pacheco Koch Westwood company					
118 N. OHIO STREET CELEINA, TX 75009 214.451.2765					
DIGITAL GARLAND CAMPUS DATA CENTER ON 15.7 AC. HOLFORD RD. @ FERRIS RD. CITY OF GARLAND, DALLAS COUNTY, TEXAS					
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE
TAW	SRP	OCT. 2022	AS SHOWN		

OWNER
PROPERTY OWNER:
DIGITAL GARLAND FERRIS, LP

OWNER ADDRESS:
2323 BRYAN STREET, SUITE 1800

OWNER CONTACT INFORMATION:
RAFAEL RAK - VP PORTFOLIO MGMT
RRAK@DIGITALREALTY.COM
408-429-5630

JOE HUBBARD
JHUBBARD@DIGITALREALTY.COM
214-697-3133

PLAN PREPARER:
JACOBS ENGINEERING GROUP INC.
ROBERT MEHALL
1999 BRYAN STREET SUITE 1200
DALLAS, TX 75201
214-638-0145

REV	DESCRIPTION	DATE
1	DETAILED PLAN PRE-FILING APPLICATION - CASE NUMBER Z20519-1	2022-07-25

MATERIAL LEGEND

- 1 INSULATED METAL PANEL - CLASSIC SILVER
1/2" JOINT BETWEEN PANELS
- 2 INSULATED METAL PANEL - GRAY VELVET
1/2" JOINT BETWEEN PANELS
- 3 INSULATED METAL PANEL - DIGITAL REALTY BLUE
1/2" JOINT BETWEEN PANELS
- 4 TLT-WALL CONCRETE PANEL
PAINTED FINISH - REGAL WHITE
JOINT BETWEEN PANELS
- 5 TLT-WALL CONCRETE TEXTURED PANEL
PAINTED FINISH - BATTLESHIP GRAY
JOINT BETWEEN PANELS
- 6 TLT-WALL CONCRETE PANEL
PAINTED FINISH - PETROSEY GRAY
JOINT BETWEEN PANELS
- 7 GL-1 VISION GLASS - INSULATED GLAZING UNIT
DENOTES SAFETY GLAZING OR BULLET
RESISTANCE (BR)
- 8 GL-2 SPANDREL GLASS - INSULATED
GLAZING UNIT
- 9 ARCHITECTURAL SCREEN WALL - CLASSIC SILVER
- 10 ARCHITECTURAL SCREEN WALL -
DIGITAL REALTY BLUE
- 11 CORRUGATED METAL PANEL - LIGHT GRAY
- 12 TRASH ENCLOSURE GATE - PAINTED STEEL BLACK

ARCH. ELEMENTS

GARLAND GDC ARTICLE 6 DIVISION 1 SECTION 4.83 A1: ARCHITECTURAL ELEMENTS

- A AWNING OR CANOPIES
- B DIVIDED LIGHT WINDOWS
- C TRANSOMS
- D RECESSED ENTRIES
- E BENCHES OR OUTDOOR SEATING
- F VARIED ROOF HEIGHTS

ARTICULATIONS

GARLAND GDC ARTICLE 6 DIVISION 1 SECTION 4.83 B: FACADE ARTICULATION

HORIZONTAL	VERTICAL
REQUIRED: MINIMUM OF ONE HORIZONTAL ARTICULATION IS REQUIRED THAT IS AT LEAST 5% OF THE BUILDING'S TOTAL STREET-FACING LENGTH. DEPTH ARTICULATION OF AT LEAST 3 FEET SHALL BE REQUIRED FOR EVERY 50% OF THE BUILDING FACADE LENGTH.	REQUIRED: MINIMUM OF ONE VERTICAL ARTICULATION IS REQUIRED THAT IS AT LEAST 5% OF THE BUILDING'S TOTAL STREET-FACING LENGTH. HEIGHT ARTICULATION FOR FLAT ROOFS OF AT LEAST 3 FEET SHALL BE REQUIRED FOR EVERY 50% OF THE BUILDING FACADE WIDTH.

PROPOSED PROJECT

	HORIZONTAL	VERTICAL
EAST	(#187)0.30x120' LENGTH	(#187)0.20x84' LENGTH
WEST	(#187)0.30x120' LENGTH	(#187)0.20x84' LENGTH
NORTH	(#377)0.30x182' LENGTH	(#377)0.20x128' LENGTH
SOUTH	(#437)0.30x182' LENGTH	(#437)0.20x128' LENGTH

DESIGN STANDARDS

CITY OF GARLAND SH 190 PLANNED DEVELOPMENT DISTRICT CHAPTER 6.10.

ADDRESS: 1555 FERRIS RD GARLAND, TX 75044
 (CROSSING FROM GARLAND CENTER)
 PLANNED DEVELOPMENT - "S-24"

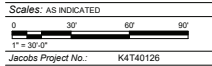
COLOR AND TEXTURED PANELS TO IMITATE THE LOOK OF WINDOWS. HORIZONTAL OR VERTICAL ARTICULATIONS OF THE BUILDING FACADE OR CHANGES IN COLOR, TEXTURE, OR MATERIALS TO PROVIDE HORIZONTAL AND/OR VERTICAL RHYTHMS.

SCREENING WALLS SHALL NOT BE COMPLETELY OPAQUE. THEY MAY BE TRANSPARENT OR SEMI-OPAQUE WITH ARCHITECTURAL METAL, WROUGHT IRON, GALVANIZED STEEL OR SIMILAR MATERIAL OR A COMBINATION OF MASONRY COLUMNS AND WROUGHT IRON WITH LANDSCAPING.

BUILDING SIGNAGE
 ALL BUILDING SIGNAGE WILL COMPLY WITH SIGNAGE REQUIREMENTS LISTED IN CHAPTER 4.07 OF THE GARLAND DEVELOPMENT CODE

**DIGITAL REALTY
PROJECT GOLD - GARLAND
SHELL BUILDING**

1505 FERRIS RD.
GARLAND, TX 75044

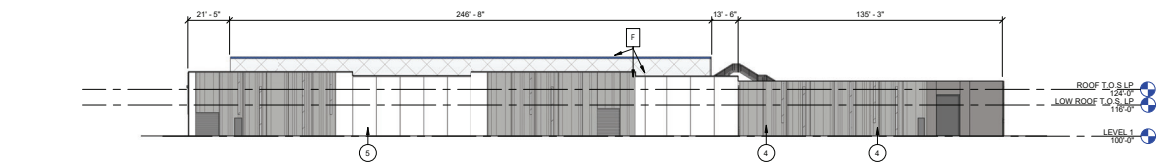


Scale: AS INDICATED
 1" = 30'-0"

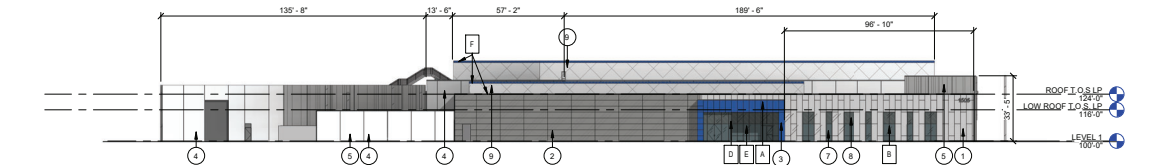
Jacobs Project No.: K4740126

Drawing Title:
CITY SITE OVERALL BUILDING ELEVATIONS

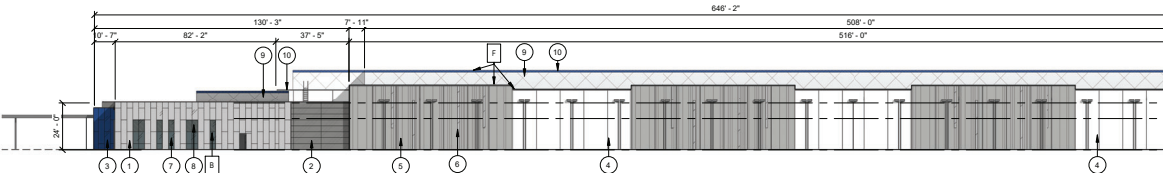
Date: 2022-07-25
 Designed/Designer: [Blank]
 Drawn: Author
 Checked: Checker
A-201



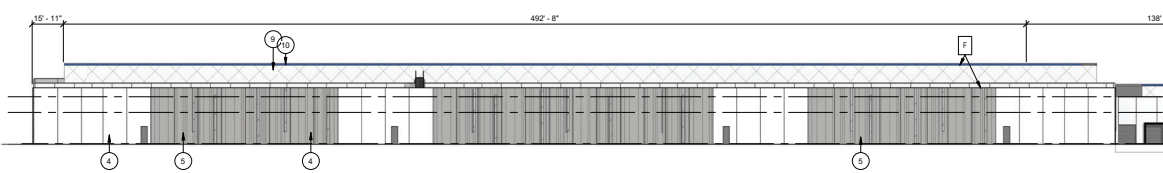
A1 OVERALL ELEVATION - WEST
SCALE 1" = 30'-0"



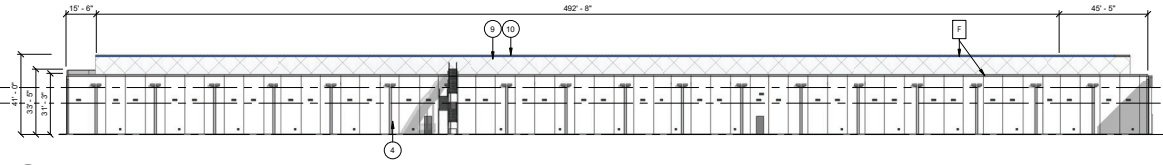
B1 OVERALL ELEVATION - EAST (FRONT ELEVATION)
SCALE 1" = 30'-0"



C1 OVERALL ELEVATION - NORTH
SCALE 1" = 30'-0"



D1 OVERALL ELEVATION - SOUTH
SCALE 1" = 30'-0"



E1 OVERALL ELEVATION - SOUTH WITHIN YARD
SCALE 1" = 30'-0"

EXHIBIT E

Autodesk Docs\\US_TX_MKT\\1928_DigitalRealty_Project Gold\\Garland\\KT14026_V02_DWG_Garland_Arch\\1.rvt

9/14/2022 10:05:09 AM

OWNER

PROPERTY OWNER:
DIGITAL GARLAND FERRIS, LP

OWNER ADDRESS:
2323 BRYAN STREET, SUITE 1800

OWNER CONTACT INFORMATION:
RAFAL RAK - VP PORTFOLIO MGMT
RRAK@DIGITALREALTY.COM
408-429-5630

JOE HUBBARD
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214-697-3133

PLAN PREPARER:
JACOBS ENGINEERING GROUP INC.
ROBERT MEHALL
1999 BRYAN STREET SUITE 1200
DALLAS, TX 75201
214-638-0145

REV	DESCRIPTION	DATE
	DETAILED PLAN PRE-FILING APPLICATION - CASE NUMBER ZZ0519-1	2022-07-25

MATERIAL LEGEND

- 1 INSULATED METAL PANEL - CLASSIC SILVER
12" JOINT BETWEEN PANELS
- 2 INSULATED METAL PANEL - GRAY VELVET
12" JOINT BETWEEN PANELS
- 3 INSULATED METAL PANEL - DIGITAL REALTY BLUE
12" JOINT BETWEEN PANELS
- 4 TILT-WALL CONCRETE PANEL
PAINTED FINISH - REGAL WHITE
JOINT BETWEEN PANELS
- 5 TILT-WALL CONCRETE TEXTURED PANEL
PAINTED FINISH - BATTLESHIP GRAY
JOINT BETWEEN PANELS
- 6 TILT-WALL CONCRETE PANEL
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- 7 GL-1 VISION GLASS - INSULATED GLAZING UNIT
DENOTES SAFETY GLAZING OR BULLET RESISTANCE (BR)
- 8 GL-2 SPANDREL GLASS - INSULATED GLAZING UNIT
- 9 ARCHITECTURAL SCREEN WALL - CLASSIC SILVER
- 10 ARCHITECTURAL SCREEN WALL - DIGITAL REALTY BLUE
- 11 CORRUGATED METAL PANEL - LIGHT GRAY
- 12 TRASH ENCLOSURE GATE - PAINTED STEEL BLACK

ARCH. ELEMENTS

GARLAND GDC ARTICLE 6 DIVISION 1 SECTION 4.83 A1: ARCHITECTURAL ELEMENTS

- A AWNING OR CANOPIES
- B DIVIDED LIGHT WINDOWS
- C TRANSOMS
- D RECESSED ENTRIES
- E BENCHES OR OUTDOOR SEATING
- F VARIED ROOF HEIGHTS

ARTICULATIONS

GARLAND GDC ARTICLE 6 DIVISION 1 SECTION 4.83 B: FACADE ARTICULATION

HORIZONTAL	VERTICAL
REQUIRED: MINIMUM OF ONE HORIZONTAL ARTICULATION IS REQUIRED THAT IS AT LEAST 30% OF THE BUILDING'S TOTAL STREET-FACING LENGTH. DEPTH ARTICULATION OF AT LEAST 4 FEET SHALL BE REQUIRED FOR AT LEAST 30% OF THE BUILDING FACADE LENGTH.	REQUIRED: MINIMUM OF ONE VERTICAL ARTICULATION IS REQUIRED THAT IS AT LEAST 30% OF THE BUILDING'S TOTAL STREET-FACING LENGTH. HEIGHT ARTICULATION FOR FLAT ROOFS OF AT LEAST 3 FEET SHALL BE REQUIRED FOR EVERY 50' OF THE BUILDING FACADE WIDTH.

PROPOSED PROJECT

	HORIZONTAL	VERTICAL
EAST	(#187)10.30x129 LENGTH	(#187)10.20x94 LENGTH
WEST	(#187)10.30x129 LENGTH	(#187)10.20x94 LENGTH
NORTH	(#377)10.30x192 LENGTH	(#377)10.20x128 LENGTH
SOUTH	(#437)10.30x192 LENGTH	(#437)10.20x128 LENGTH

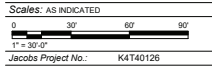
DESIGN STANDARDS

CITY OF GARLAND SH 150 PLANNED DEVELOPMENT DISTRICT CHAPTER 6.10
ADDRESS: 1505 FERRIS RD, GARLAND, TX 75844
PLANNED DEVELOPMENT - 22-07
COLOR AND TEXTURED PANELS TO IMITATE THE LOOK OF WINDOWS.
HORIZONTAL OR VERTICAL ARTICULATIONS OF THE BUILDING FACADE OR CHANGES IN COLOR, TEXTURE, OR MATERIALS TO PROVIDE HORIZONTAL AND/OR VERTICAL RHYTHMS.
SCREENING WALLS SHALL NOT BE COMPLETELY OPAQUE. THEY MAY BE TRANSPARENT OR SEM-OPAQUE WITH ARCHITECTURAL METAL, WROUGHT IRON, GALVANIZED STEEL OR SIMILAR MATERIAL OR A COMBINATION OF MASONRY COLUMNS AND WROUGHT IRON WITH LANDSCAPING.
BUILDING SIGNAGE
ALL BUILDING SIGNAGE WILL COMPLY WITH SIGNAGE REQUIREMENTS LISTED IN CHAPTER 6.10 OF THE GARLAND DEVELOPMENT CODE.

**DIGITAL REALTY
PROJECT GOLD - GARLAND
SHELL BUILDING**

1505 FERRIS RD,
GARLAND, TX 75844

G	E	C	A
H	F	D	B

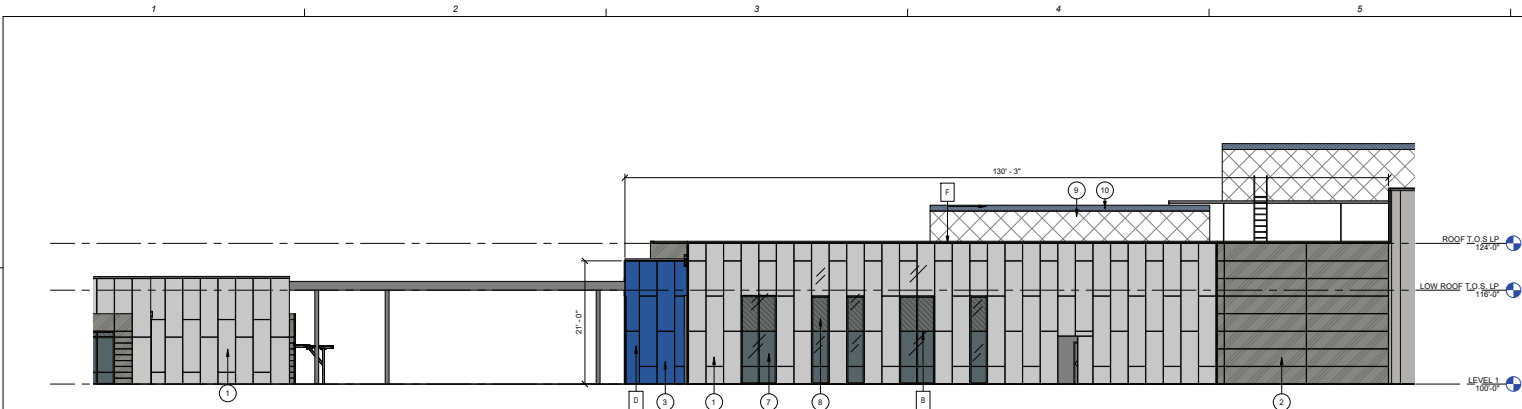


Jacobs Project No.: K4740126

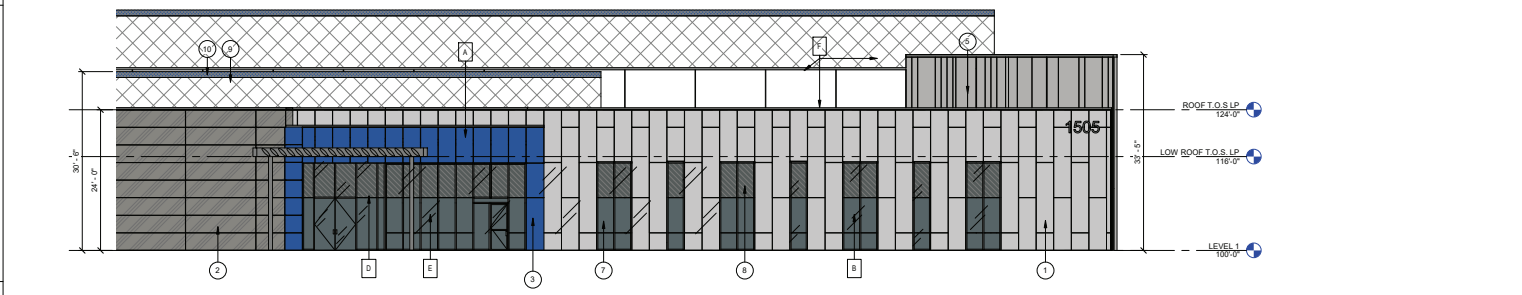
CITY SITE ENLARGED ELEVATIONS

Date: 2022-07-25

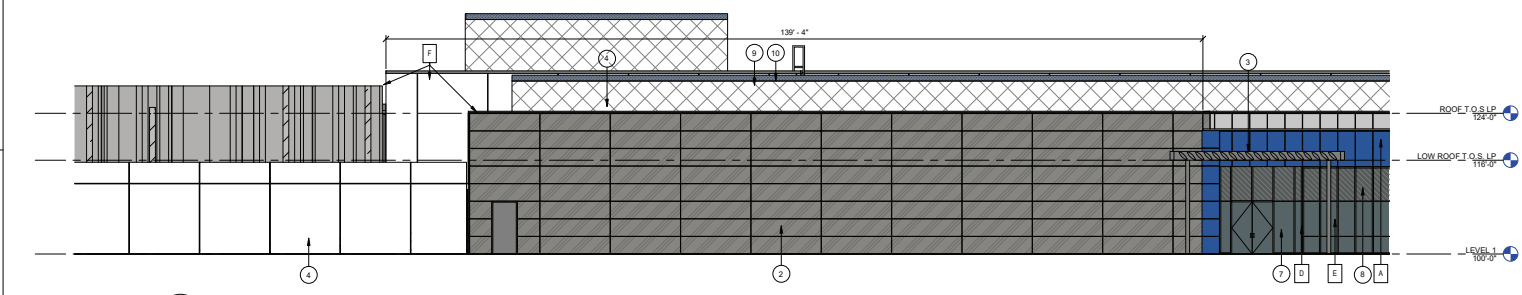
Designed-Designer: Author
Drawing No.: A-202



A1 ENLARGED ELEVATION - NORTH - OFFICE
SCALE 1" = 10'-0"



B1 ENLARGED ELEVATION - EAST - OFFICE
SCALE 1" = 10'-0"



C1 ENLARGED ELEVATION - EAST - OFFICE
SCALE 1" = 10'-0"

EXHIBIT E

OWNER

PROPERTY OWNER:
DIGITAL GARLAND FERRIS, LP

OWNER ADDRESS:

2323 BRYAN STREET, SUITE 1800

OWNER CONTACT INFORMATION:

RAFAL RAK - VP PORTFOLIO MGMT
RR@DIGITALREALTY.COM
408-429-5630

JOE HUBBARD

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214-697-3133

PLAN PREPARER:

JACOBS ENGINEERING GROUP INC.
ROBERT MEHALL
1999 BRYAN STREET SUITE 1200
DALLAS, TX 75201
214-638-0145

REV	DESCRIPTION	DATE
1	DETAILED PLAN PRE-FILING APPLICATION - CASE NUMBER: Z20519-1	2022-07-25

**DIGITAL REALTY
PROJECT GOLD - GARLAND
SHELL BUILDING**

1505 FERRIS RD.
GARLAND, TX 75044

G	E	C	A
H	F	D	B



Scales: AS INDICATED

Jacobs Project No.: K4740126

**CITY SITE PRECHECK
PAVILION ELEVATIONS**

Date: 2022-07-25

Designed-Designer: **A-203**
Drawn: Author
Checked: Checker

MATERIAL LEGEND

- 1 INSULATED METAL PANEL - CLASSIC SILVER
1/2" JOINT BETWEEN PANELS
- 2 INSULATED METAL PANEL - GRAY VELVET
1/2" JOINT BETWEEN PANELS
- 3 INSULATED METAL PANEL - DIGITAL REALTY BLUE
1/2" JOINT BETWEEN PANELS
- 4 TILT-WALL CONCRETE PANEL
PAINTED FINISH - REGAL WHITE
JOINT BETWEEN PANELS
- 5 TILT-WALL CONCRETE TEXTURED PANEL
PAINTED FINISH - BATTLESHIP GRAY
JOINT BETWEEN PANELS
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PAINTED FINISH - PETOSKEY GRAY
JOINT BETWEEN PANELS
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DENOTES SAFETY GLAZING OR BULLET RESISTANCE (BR)
- 8 GL-2 - SPANDREL GLASS - INSULATED GLAZING UNIT
- 9 ARCHITECTURAL SCREEN WALL - CLASSIC SILVER
- 10 ARCHITECTURAL SCREEN WALL - DIGITAL REALTY BLUE
- 11 CORRUGATED METAL PANEL - LIGHT GRAY
- 12 TRASH ENCLOSURE GATE - PAINTED STEEL BLACK
- 13 TRASH ENCLOSURE CMU WALL
PAINTED FINISH - PETOSKEY GRAY

ARCH. ELEMENTS

GARLAND GDC ARTICLE 6 DIVISION 1 SECTION 4.83 A1. ARCHITECTURAL ELEMENTS

- A AWNING OR CANOPIES
- B DIVIDED LIGHT WINDOWS
- C TRANSOMS
- D RECESSED ENTRIES
- E BENCHES OR OUTDOOR SEATING
- F VARIED ROOF HEIGHTS

ARTICULATIONS

GARLAND GDC ARTICLE 6 DIVISION 1 SECTION 4.83 B. FACADE ARTICULATION

HORIZONTAL	VERTICAL
REQUIRED: MINIMUM OF ONE HORIZONTAL ARTICULATION IS REQUIRED THAT IS AT LEAST 20% OF THE BUILDING'S TOTAL STREET-FACING LENGTH. DEPTH ARTICULATION OF AT LEAST 4 FEET SHALL BE REQUIRED FOR EVERY 30% OF THE BUILDING FACADE LENGTH.	REQUIRED: MINIMUM OF ONE VERTICAL ARTICULATION IS REQUIRED THAT IS AT LEAST 20% OF THE BUILDING'S TOTAL STREET-FACING LENGTH. HEIGHT ARTICULATION FOR FLAT ROOFS OF AT LEAST 3 FEET SHALL BE REQUIRED FOR EVERY 30% OF THE BUILDING FACADE WIDTH.

PROPOSED PROJECT	
HORIZONTAL	VERTICAL
EAST (4187) (0.30) = 125' LENGTH	(4187) (0.20) = 84' LENGTH
WEST (4187) (0.30) = 125' LENGTH	(4187) (0.20) = 84' LENGTH
NORTH (8377) (0.30) = 192' LENGTH	(8377) (0.20) = 102' LENGTH
SOUTH (8437) (0.30) = 192' LENGTH	(8437) (0.20) = 102' LENGTH

DESIGN STANDARDS

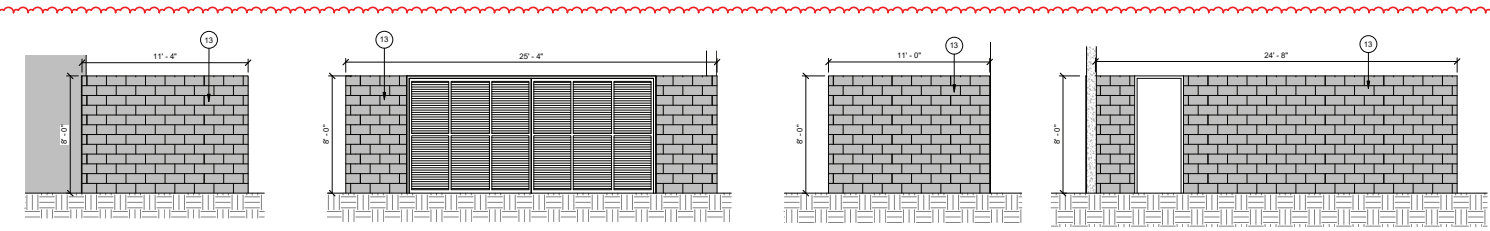
CITY OF GARLAND SH 150 PLANNED DEVELOPMENT DISTRICT CHAPTER 6.10.

ADDRESS: 1505 FERRIS RD. GARLAND, TX 75044
ZONING: RETAIL MIXED-USE (DATA CENTER)
PLANNED DEVELOPMENT: 22-047

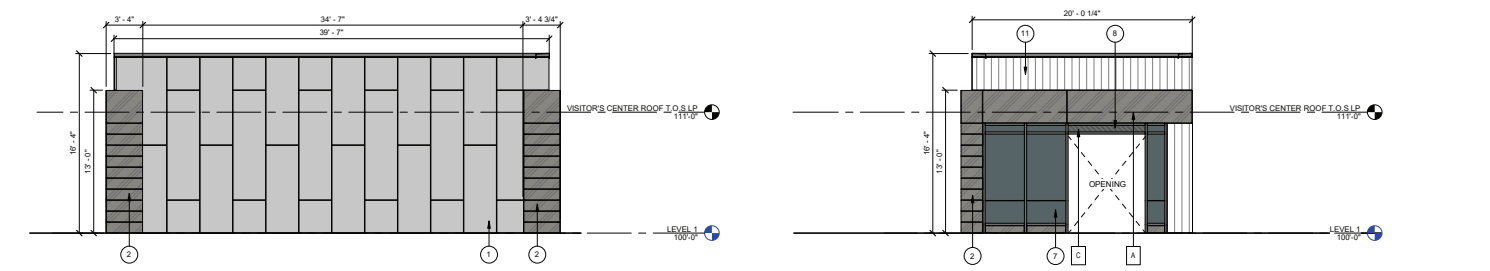
COLOR AND TEXTURED PANELS TO IMITATE THE LOOK OF WINDOWS. HORIZONTAL OR VERTICAL ARTICULATIONS OF THE BUILDING FACADE, OR CHANGES IN COLOR, TEXTURE, OR MATERIALS TO PROVIDE HORIZONTAL AND/OR VERTICAL RHYTHMS.

SCREENING WALLS SHALL NOT BE COMPLETELY OPAQUE. THEY MAY BE TRANSPARENT OR SEMI-OPAQUE WITH ARCHITECTURAL METAL, WROUGHT IRON, GALVANIZED STEEL, OR SIMILAR MATERIAL, OR A COMBINATION OF MASONRY COLUMNS AND WROUGHT IRON WITH LANDSCAPING.

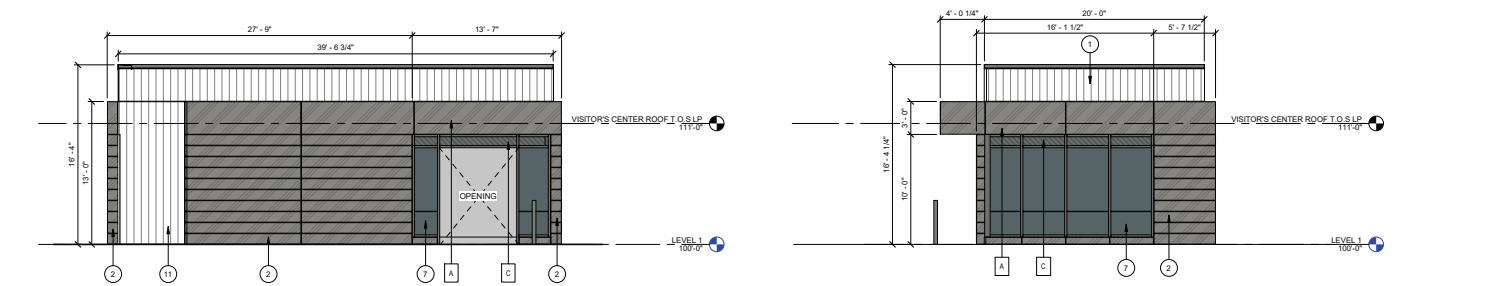
BUILDING SIGNAGE:
ALL BUILDING SIGNAGE WILL COMPLY WITH SIGNAGE REQUIREMENTS LISTED IN CHAPTER 4.05 OF THE GARLAND DEVELOPMENT CODE.



E1 ELEVATION - TRASH ENCLOSURE SCALE 1/4" = 1'-0"
E2 ELEVATION - TRASH ENCLOSURE SCALE 1/4" = 1'-0"
E3 ELEVATION TRASH ENCLOSURE SCALE 1/4" = 1'-0"
E4 ELEVATION TRASH ENCLOSURE SCALE 1/4" = 1'-0"



A1 ENLARGED ELEVATION - PRECHECK PAVILION - WEST SCALE 3/16" = 1'-0"
B1 ENLARGED ELEVATION - PRECHECK PAVILION - SOUTH SCALE 3/16" = 1'-0"



C1 ENLARGED ELEVATION - PRECHECK PAVILION - EAST SCALE 3/16" = 1'-0"
D1 ENLARGED ELEVATION - PRECHECK PAVILION - NORTH SCALE 3/16" = 1'-0"

EXHIBIT E

Autodesk Docs\TUS_TX\418740126_Digital Realty - Project Gold\Garland\KT40126_V02_DWG_Garland_ARCH.rvt

10/27/2022 1:55:58 PM

Z 22-47



View of the subject property



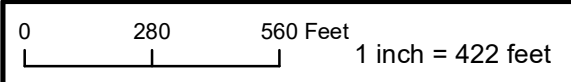
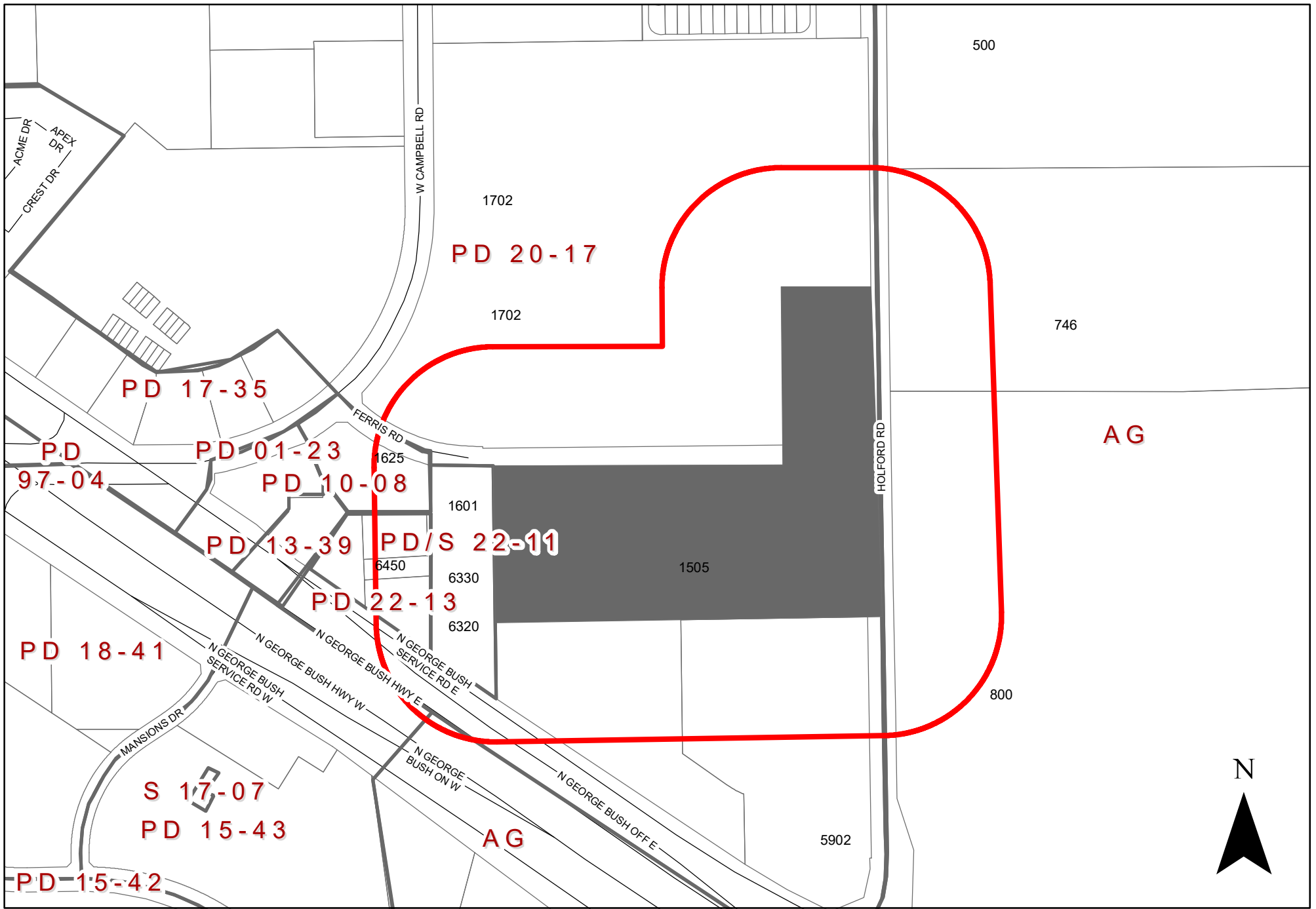
Looking east of the subject property



Looking west of the subject property



Looking south of the subject property



ZONING MAP Z 22-47

INDICATES AREA OF REQUEST
 INDICATES NOTIFICATION AREA

1505 Ferris Rd

To date we have not received any responses for this case.



GARLAND

Plan Commission

4. a.

Meeting Date: 11/07/2022

Item Title: Thoroughfare Plan Regarding Ferris Road

Summary:

Consideration and possible recommendation of a Thoroughfare Plan amendment regarding Ferris Road.

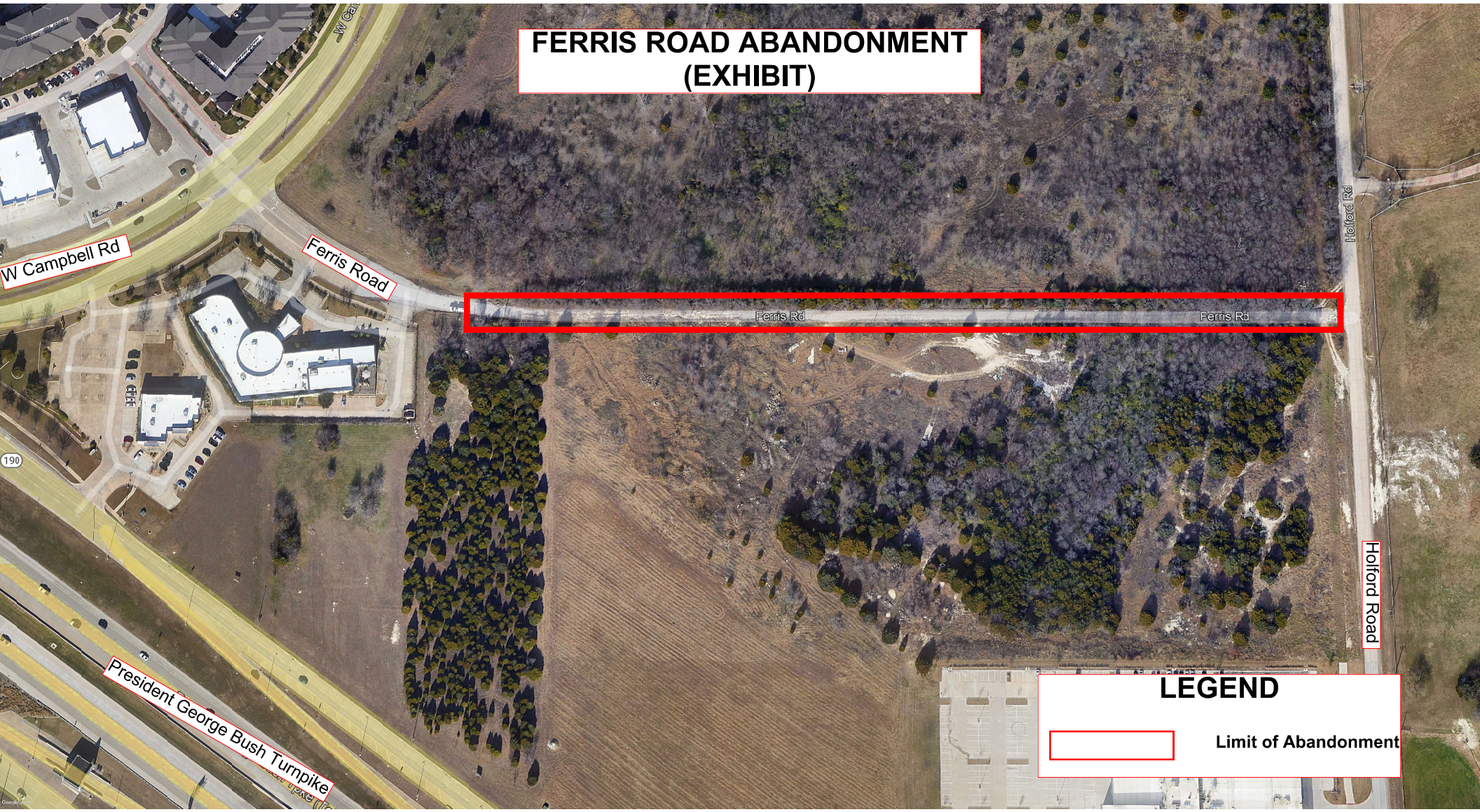
Background/Additional Information:

Ferris Road has been closed for over 10 years. This roadway is not needed for the long term and should be removed from the Thoroughfare Plan. The Transportation Department supports the abandonment. This Thoroughfare Plan amendment will appear on the December 6 Council Meeting.

Attachments

Thoroughfare Plan Regarding Ferris Road Attachments

FERRIS ROAD ABANDONMENT (EXHIBIT)



W Campbell Rd

Ferris Road


Ferris Rd

Ferris Rd

Holford Rd

Holford Road

LEGEND

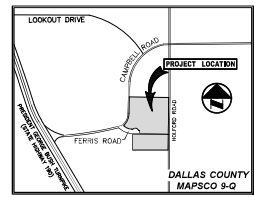
 Limit of Abandonment

190

President George Bush Turnpike



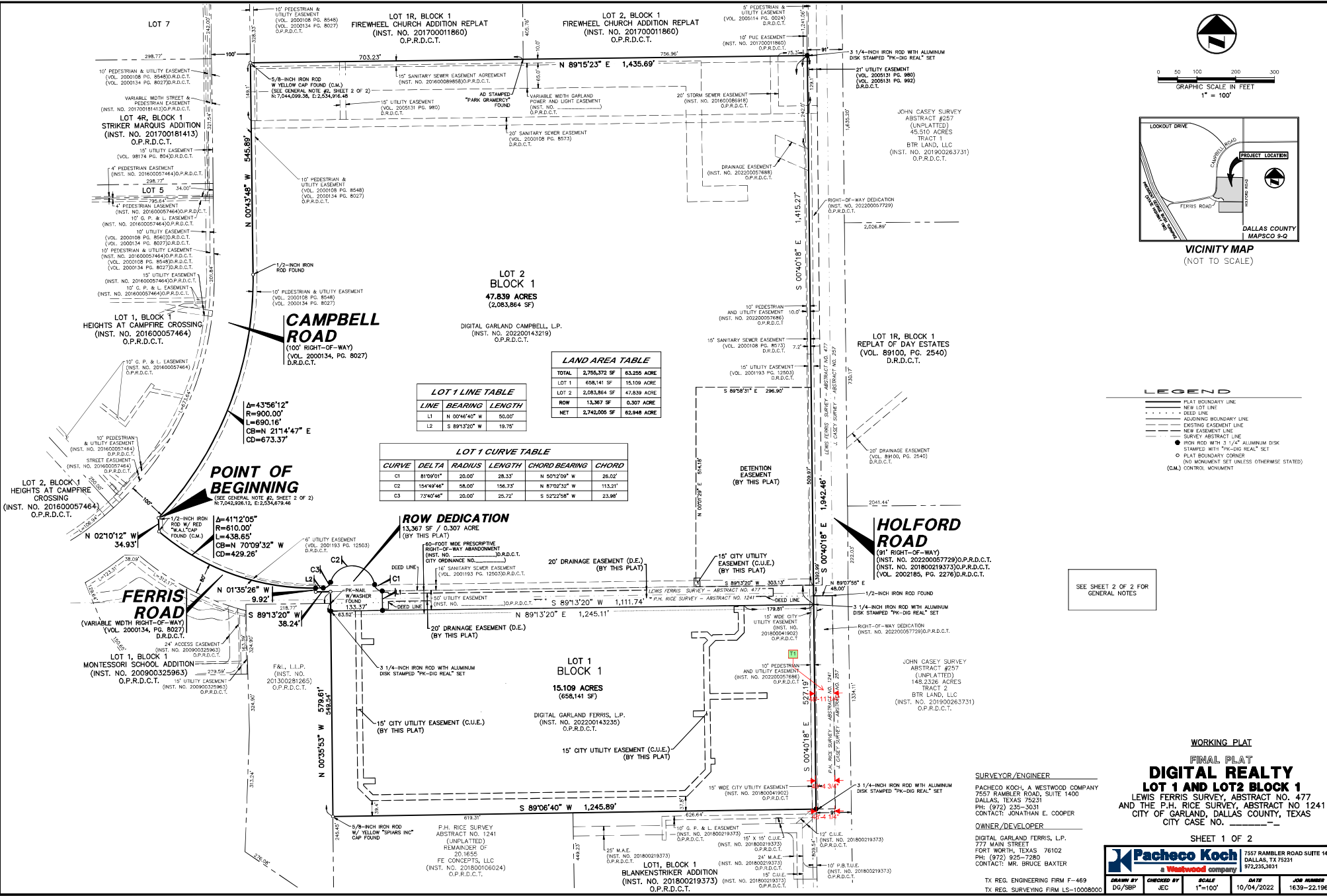
0 50 100 200 300
GRAPHIC SCALE IN FEET
1" = 100'



VICINITY MAP
(NOT TO SCALE)

LEGEND

- PLAT BOUNDARY LINE
- NEW LOT LINE
- DEED LINE
- ADDING BOUNDARY LINE
- EXISTING EASEMENT LINE
- NEW EASEMENT LINE
- SURVEY ABSTRACT LINE
- IRON ROD WITH 3/4" ALUMINUM DISK STAMPED "PK-DIG REAL" SET
- PLAT BOUNDARY CORNER
- (N) MONUMENT SET UNLESS OTHERWISE STATED
- (C.M.) CONTROL MONUMENT



LAND AREA TABLE

TOTAL	2,755,372 SF	63.255 ACRE
LOT 1	658,141 SF	15.109 ACRE
LOT 2	2,083,864 SF	47.839 ACRE
NET	13,367 SF	0.307 ACRE
REW	2,742,005 SF	62.948 ACRE

LOT 1 LINE TABLE

LINE	BEARING	LENGTH
L1	N 02°46'42" W	52.00'
L2	S 89°13'20" W	19.75'

LOT 1 CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	81°09'01"	20.00'	28.33'	N 50°12'09" W	28.02'
C2	154°49'46"	58.00'	156.73'	N 87°02'32" W	113.21'
C3	73°40'46"	20.00'	25.72'	S 52°22'58" W	23.98'

POINT OF BEGINNING
(SEE GENERAL NOTE #2, SHEET 2 OF 2)
N7:042,926.12; E:2,554,879.46

FERRIS ROAD
(VARIABLE WIDTH RIGHT-OF-WAY)
(VOL. 2000134, PG. 8022)
D.R.D.C.T.

ROW DEDICATION
(BY THIS PLAT)
13,367 SF / 0.307 ACRE
(SEE GENERAL NOTE #2, SHEET 2 OF 2)
N 02°10'12" W 34.93'
A=41°12'05"
R=610.00'
L=438.65'
CB=N 70°09'32" W
CD=429.26'

HOLFORD ROAD
(91' RIGHT-OF-WAY)
(INST. NO. 202200057729) O.P.R.D.C.T.
(VOL. 2002165, PG. 2279) J.R.D.C.T.

SEE SHEET 2 OF 2 FOR GENERAL NOTES

WORKING PLAT

DIGITAL REALTY
LOT 1 AND LOT 2 BLOCK 1
LEWIS FERRIS SURVEY, ABSTRACT NO. 477
AND THE P.H. RICE SURVEY, ABSTRACT NO. 1241
CITY OF GARLAND, DALLAS COUNTY, TEXAS
CITY CASE NO. _____

SHEET 1 OF 2

Pacheco Koch
a Westwood company
7557 RAMBLER ROAD SUITE 1400
DALLAS, TX 75251
972.235.3031

OWNER/DEVELOPER
DIGITAL GARLAND FERRIS, L.P.
777 MAIN STREET
FORT WORTH, TEXAS 76102
PH: (872) 925-7280
CONTACT: MR. BRUCE BAXTER

DATE: 10/04/2022
JOB NUMBER: 1639-22.196

DRAWN BY: DG/SBP
 CHECKED BY: JEC
 SCALE: 1"=100'
 DATE: 10/04/2022
 JOB NUMBER: 1639-22.196

FINAL PLAT - DIGITAL REALTY