



GARLAND

AGENDA

REGULAR MEETING OF THE CITY COUNCIL

**City of Garland
Council Chambers, City Hall
William E. Dollar Municipal Building
200 North Fifth Street
Garland, Texas
March 21, 2023
7:00 p.m.**

The City Council extends to each visitor a sincere welcome. We value your interest in your community and your participation in the meetings of this governing body. Regular meetings of the City Council are held the 1st and 3rd Tuesdays of each month, beginning at 7:00 p.m.; the City Council meets regularly in work sessions at 6:00 p.m. the Monday preceding each regular meeting.

**Garland City Hall and Council Chambers is wheelchair accessible. Special parking is available on the east side of City Hall and on Austin & State Street west of City Hall. Persons with disabilities who plan to attend this meeting and who may need auxiliary aids or services must contact the City Secretary's Office at (972) 205-2404 at least two working days prior to the meeting so that appropriate arrangements can be made.
BRAILLE IS NOT AVAILABLE.**

VISION

CITY COUNCIL

-  Commercially Thriving Downtown
-  Safe Community
-  Customer-Focused City Services
-  Well-Maintained City Infrastructure
-  Vibrant Neighborhoods and Commercial Centers
-  Sound Governance and Finances
-  Enhanced Quality of Life through Amenities, Arts, and Events
-  Reliable, Cost Efficient Utility Services
-  Future-Focused City Organization

 Growing Economic Base

LEGISLATIVE PRAYER AND PLEDGE OF ALLEGIANCE

It is the custom and tradition of the members of the City Council to have an invocation and recital of the Pledge of Allegiance prior to the beginning of the meeting. Members of the audience are invited to participate. However, members of the audience are not required to participate. The decision to participate is strictly a matter of personal choice and has no bearing on matters to be considered by the City Council and will not affect the decisions to be made during the meeting.

**MAYORAL PROCLAMATIONS,
RECOGNITIONS AND ANNOUNCEMENTS**

The Mayor may present proclamations and recognize attendees or award winners, and may make announcements regarding upcoming City events and matters of interest to citizens. There will be no Council deliberations or votes on these matters.

CONSENT AGENDA

All items under this section are recommended for approval by a single motion of Council, without discussion. Council has had the opportunity to review each of these items at a previous work session and approval of the consent agenda authorizes the City Manager to implement each item. The Mayor will announce the agenda and provide an opportunity for members of the audience and the City Council to request that an item be removed and considered separately.

1. Consider approval of the minutes of the March 7, 2023, Regular Meeting.

2. Consider approval of the following bids:
 - a. **Wastewater Improvements in Nine Alleys - Phase 2 Construction** **Bid No. 0019-23**

Optional Contingency	\$490,011.00
Tri-Con Services, Inc.	Total \$5,390,000.00

This request is for Phase 2 of the wastewater improvements project. The project consists of replacing approximately 8,300 linear feet of existing wastewater lines in the remaining five (5) unimproved alleys and the replacement of approximately 1,500 linear feet of existing water lines, paving, and sidewalks. The alleys are located in three (3) separate areas as follows: Alleys between Redell Street and Newman Street; Alleys between Main Street / State Street and State Street / Austin Street; and Alleys between Cranford Drive / Randolph Drive and Lewis Drive / Caldwell Drive. An optional contingency is included for any additional work that may be required.

b. Side and Rear Loader Chassis Bid No. 0561-23

Bond Equipment Company Inc. \$ 1,288,278.00

This request is for the purchase of six (6) replacement chassis for side and rear loader units to be utilized by the Sanitation Department. This request includes chassis inspection and training for four (4) City employees at the Crane Carrier facility. The existing units being replaced are listed in the attached document. The items being purchased are scheduled and budgeted purchases, and the units being replaced will be retired and auctioned.

c. Side, Rear, and Front Loader Bodies Bid No. 0567-23

Reliance Truck and Equipment \$ 744,189.12

This request is for the purchase of five (5) replacement bodies to be mounted on chassis to be utilized by the Sanitation Department. The existing units being replaced are listed in the attached document. The items being purchased are scheduled and budgeted purchases, and the units being replaced will be retired and auctioned.

d. Design Services for the Rick Oden Splash Pad (ARPA-Funded) Bid No. 1271-22

Kimley-Horn & Associates \$ 311,500.00

This request is to initiate design work for the proposed splash pad at Rick Oden Park. This project is part of the 2023 CIP and utilizes American Rescue Plan Act (ARPA) funding.

e. Side Loader Bodies Bid No. 0557-23

Texas Pack + Load \$ 351,174.00

DebrisTech, LLC. (Primary)	\$1,218,240
Thompson Consulting Services, LLC. (Secondary)	\$1,235,520
TOTAL	\$10,850,888

This request is to provide disaster debris removal, monitoring, and consulting services in the event of a natural or man-made disaster that exceeds the City's internal resources and capabilities. The approval is for a term agreement with four (4) optional renewals.

j. GP&L I.H.-30 and Bass Pro Drive Feeder Duct Line Preparation Bid No. 0422-23

The Fishel Company \$ 486,721.19

This request is to provide labor for the ground preparation of an underground feeder crossing that will be installed at IH30 and Bass Pro Drive. Texas Department of Transportation (TxDOT) construction in the area is causing conflicts with the existing overhead service. The contractor will provide boring and ground preparation work at the site and GP&L crews will relocate the line segment underground. Expenses associated with this request will be reimbursed from TxDOT at 100%.

k. GP&L and TMPA Substation Testing and Commissioning Services Bid No. 1156-22

Power Engineers, Inc. \$ 300,000.00

This request is to increase the blanket contract for as-needed GP&L and TMPA substation testing and commissioning services. An increase in the anticipated number of projects and services required is driving the need for this change order.

3. Public hearings were previously conducted for the following zoning cases. Council approved the requests and instructed staff to bring forth the following ordinances for consideration.

a. Zoning File No. Z 22-65, Kirkman Engineering (District 7)

Consider an ordinance amending the Garland Development Code of the City of Garland, Texas, by approving 1) a Change in Zoning from Single-Family Attached (SFA) District to a Planned Development (PD) District for Single-Family Attached Uses and 2) a Detail Plan for Single-Family Attached (SFA) development on a 4.862-acre tract of land located at 2801 and 2901 Arapaho Road; providing for conditions, restrictions, and regulations; providing a penalty under the provisions of Sec. 10.05 of the Code of Ordinances of the City of Garland, Texas; providing a

Notice of Conditions of Compliance Clause; providing a Savings Clause and a Severability Clause; and providing an effective date.

b. Zoning File No. Z 22-78, Quetzal Event Center (District 3)

Consider an ordinance amending the Garland Development Code of the City of Garland, Texas, by approving 1) an amended Specific Use Provision for a Reception Facility on a property zoned Planned Development (PD) District 20-40 for Community Office Uses and 2) a Detail Plan for a Reception Facility on a 2.413-acre tract of land located at 354 East Interstate Highway 30; providing for conditions, restrictions, and regulations; providing a penalty under the provisions of Sec. 10.05 of the Code of Ordinances of the City of Garland, Texas; providing a Notice of Conditions of Compliance Clause; a Savings Clause and a Severability Clause; and providing an effective date.

c. Zoning File No. Z 22-79, Clay-Cristy-ClayMoore Engineering (District 8)

Consider an ordinance amending the Garland Development Code of the City of Garland, Texas, by approving a Specific Use Provision for an additional Drive-Through at an existing Restaurant, Drive-Through on a 0.875-acre tract of land located at 119 East Buckingham Road and zoned Industrial (IN) District; providing for conditions, restrictions, and regulations; providing a penalty under the provisions of Sec. 10.05 of the Code of Ordinances of the City of Garland, Texas; providing a Notice of Conditions of Compliance Clause; providing a Savings Clause and a Severability Clause; and providing an effective date.

4. Interlocal Agreement for the Internet Crimes Against Children Grant Project

The City Council was briefed at the March 20, 2023, Work Session on the Interlocal Agreement between the City of Garland and the City of Dallas for the North Texas Internet Crimes Against Children (ICAC) Task Force and Grant Program. Council is requested to the approve the resolution allowing the City Manager to execute the agreement with the City of Dallas for the North Texas Internet Crimes Against Children (ICAC) Task Force and Grant Program.

5. Ordinance Amending Section 22.23, Animal Services Advisory Committee

Council is requested approve an Ordinance amending Section 22.23, "Animal Services Advisory Committee," of Article I, "Animal Services," of Chapter 22, "Health" of the Code of Ordinances of the City of Garland, Texas; providing a Savings Clause, providing a Severability Clause; and providing an effective date.

6. Adoption of the Proposed HOME American Rescue Cost Allocation Plan

The City Council was briefed at the March 20, 2023, Work Session on the HOME American Rescue Cost Allocation Plan. Council is requested to approve the HOME American Rescue Cost Allocation Plan for adoption.

ITEMS FOR INDIVIDUAL CONSIDERATION

Speaker Regulations:

Anyone wishing to speak for, against, or on agenda items must fill out a speaker card and give it to the City Secretary before speaking (cards are located at the entrance to the Council Chambers). The Mayor will recognize speakers; he may impose a time limit and may provide for rebuttal. All comments and testimony are to be presented from the podium.

7. Hold public hearings on:

- a. Consider a Detail Plan request by My Choice Custom Homes, to construct a single-family home. The site is located at 5475 Robin Road in District 4.**

Consideration of the application of My Choice Custom Homes, requesting approval of a Detail Plan for a Single-Family Detached Home on a property zoned Planned Development (PD) District 18-40 for Single-Family-7 (SF-7) Use. This property is located at 5475 Robin Road. (File Z 22-66, District 4)

- b. Consider a Zoning Change request by JP3 Consulting LLC, from Community Office (CO) District to Multi-Family-2 (MF-2) District. The site is located at 2700 Walnut Street and 320 King Lane in District 6.**

Consideration of the application of JP3 Consulting, LLC, requesting approval of a Change in Zoning from Community Office (CO) District to Multi-Family-2 (MF-2) District. This property is located at 2700 Walnut Street and 320 King Lane. (File Z 22-81, District 6)

8. Consider appointments to Boards and Commissions.

Board members are selected for two-year terms by the City Council in August. Terms are usually staggered whereby at least half of the membership has board experience. Board members are appointed based on qualifications.

9. Council Member Dylan Hedrick

- Tony N. Bui - Tax Increment Finance #1 Downtown Board

10. Citizen comments.

Persons wishing to address issues not on the agenda may have three minutes to address Council at this time. Council is prohibited from discussing any item not posted according to the Texas Open Meetings Act.

11. Adjourn.

All Regular Council meetings are broadcast live on CGTV, Time Warner Cable Channel 16, and Frontier FIOS TV 44. Meetings are rebroadcast at 9:00 a.m. and 7:00 p.m. on Wednesday-Sunday and at 7:30 p.m. on Thursday. Live streaming and on-demand videos of the meetings are also available online at www.garlandtx.gov. Copies of the meetings can be purchased through the City Secretary's Office – audio CD's are \$1 each and DVD's are \$3 each.



**GARLAND
CITY COUNCIL ITEM SUMMARY SHEET**

City Council Regular Session Agenda

1.

Meeting Date: 03/21/2023

Item Title: Minutes March 7

Submitted By: Rene Dowl, City Secretary

Summary of Request/Problem

Consider approval of the minutes of the March 7, 2023, Regular Meeting.

Recommendation/Action Requested and Justification

Attachments

Minutes March 7



GARLAND

MINUTES

The City Council of the City of Garland convened in regular session at 7:00 p.m. on Tuesday, March 7, 2023, in the Council Chambers at the William E. Dollar Municipal Building, 200 North Fifth Street, Garland, Texas, with the following members present:

Present: Mayor Scott LeMay
Mayor Pro Tem Deborah Morris
Deputy Mayor Pro Tem Robert John Smith
Council Member Jeff Bass
Council Member Ed Moore
Council Member B.J. Williams
Council Member Margaret Lucht
Council Member Robert Vera
Council Member Dylan Hedrick

Staff Present: City Manager Jud Rex
Deputy City Manager Mitch Bates
Assistant City Manager Crystal Owens
Assistant City Manager Phillip Urrutia
City Attorney Brian England
City Secretary Eloyce René Dowl

LEGISLATIVE PRAYER AND PLEDGE OF ALLEGIANCE

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MAYORAL PROCLAMATIONS, RECOGNITIONS AND ANNOUNCEMENTS

The Mayor may present proclamations and recognize attendees or award winners, and may make announcements regarding upcoming City events and matters of interest to citizens. There will be no Council deliberations or votes on these matters.

Crystal Lazo, Adoption Specialist, Animal Services, presented the Pet of the Month.

Mayor LeMay accepted a \$400,000 financial assistance grant from David Gibbons, Executive Director of Garland Housing Finance Corporation. GHFC board members present were: Dale Adams, President, Delores Elder-Jones, Vice President, Genai Walker, Treasurer and Peter Romanyak. City of Garland employees, Becky King, Managing Director, Mona Woodard, Neighborhood Services Administrator, and Jason Wilhite, Construction and Rehabilitation Supervisor were present as well.

Mayor LeMay presented a proclamation to the Garland Citizens Police Academy Alumni Association celebrating their 30 years of service to the department and this community.

This request is for Phase IX of the Rowlett Creek 48" Wastewater Interceptor Rehabilitation Project. This Phase will reline approximately 2,765 feet of 48" interceptor line from north of President George Bush Turnpike towards Ben Davis Road along Rowlett Creek. An optional contingency is included for any additional work that may be required.

f. APPROVED Replacement Police Pursuit Vehicles Bid No. 0501-23

Reliable Chevrolet \$ 1,224,924.40

This request is for the purchase of twenty-nine (29) replacement 2023 Chevrolet Tahoe Police Pursuit Vehicles, three (3) additional 2023 Chevrolet Tahoe Police Pursuit Vehicles, and two (2) additional 2023 Chevrolet Silverado Police Pursuit Vehicles. The existing units being replaced are listed on an attached document. The items being purchased are scheduled and budgeted purchases, and the units being replaced will be retired and auctioned.

g. APPROVED GP&L Olinger Unit 3 Boiler Control Retrofit Design Services Bid No. 0489-23

Emerson Process Management \$ 314,232.00

The request is for GP&L Olinger Unit 3 boiler control retrofit services. The services will include field verification of the controls, cabinet drawings, and initial graphic and logic submittals for the retrofit. This is part of the approved Olinger Unit 3 Boiler Controls Retrofit CIP project.

h. APPROVED Police Vehicle Upfitting Bid No. 0405-23

Reliable Chevrolet \$ 1,081,979.40

This request is for the upfitting of peripheral equipment for twenty-nine (29) replacement 2023 Chevrolet Tahoe Police vehicles, three (3) additional 2023 Chevrolet Tahoe Police vehicles, and two (2) additional 2023 Chevrolet Silverado Police Pursuit pickups.

i. APPROVED Right of Way Mowing and Maintenance Bid No. 1268-22

Carruthers Landscape Services, Inc. \$ 279,000.00

Optional Contingency \$ 50,000.00

TOTAL \$ 329,000.00

This request is to provide maintenance for 77 Right of Way locations totaling 196.52 acres. Services will include 18 cycles of mowing, edging, and removal of clippings. This approval is for term agreement with four (4) optional renewals. An optional contingency is included for any additional services that may be required.

j. APPROVED Utility Bill Printing Services Bid No. 0496-23

DataProse LLC \$ 600,000.00

This request is for utility bill printing, inserting, and mailing for Customer Service. This approval is for a term agreement that will be renewed annually provided funding is approved in the budget and the City of Baytown has an active contract with DataProse LLC.

3. Public hearings were previously conducted for the following zoning cases. Council approved the requests and instructed staff to bring forth the following ordinances for consideration.

a. APPROVED Z 22-75 Frontier States Development Services (FSDS) - District 5

Ordinance No. 7406 amending the Garland Development Code of the City of Garland, Texas, by approving a Specific Use Provision for a Kiosk, Self-Service - Retail Use (ICE Kiosk) on a 0.262 acre tract of land located at 131 West Kingsley Road and zoned Community Retail (CR) District; providing for conditions, restrictions, and regulations; providing a penalty under the provisions of Sec. 10.05 of the Code of Ordinances of the City of Garland, Texas; providing a Notice of Conditions of Compliance Clause; providing a Savings Clause and a Severability Clause; and providing an effective date.

b. APPROVED Consider amendments to the Garland Development Code regarding Municipal Setting Designations

Ordinance No. 7407 amending Chapter 4, "Site Development" of the Garland Development Code of the City of Garland, Texas, by adopting an Article 9, "Municipal Setting Designations"; providing a penalty under the provisions of Sec. 10.05 of the Code of Ordinances of the City of Garland, Texas; providing a savings clause and a severability clause; and providing an effective date. Municipal Setting Designations is an official state designation requiring certification of non-potable groundwater and its use.

4. APPROVED Garland Housing Finance Corporation Disbursement Agreement

Garland Housing Finance Corporation (GHFC) has offered \$400,000 through its Addressing Garland Partnership Program for financial assistance with home and exterior repairs for qualifying low-income, senior, and veteran homeowners in the city of Garland. This item was presented to Council at the February 6, 2023, Work Session Meeting. Council accepted a \$400,000 grant from the Garland Housing Finance Corporation (GHFC) to continue the GHFC addressing Garland Partnership Program with the City of Garland and to authorize the City Manager to sign and execute a disbursement agreement for deployment of these funds.

5. APPROVED FY 2022-23 Budget Amendment No. 1

At the February 6, 2023, Work Session, the City Council reviewed a Policy Report recommending an amendment to the 2022-23 Adopted Budget (2022-23 Budget Amendment No. 1). The Council directed staff to prepare an Ordinance amending the Budget for (1) projects approved in last year's Budget but uncompleted by the fiscal year-end, (2) the rollover of open Purchase Orders from the 2021-22 fiscal year, and (3) expenditures not anticipated in the 2022-23 Adopted Budget. **Ordinance No. 7408** amending the 2022-23 Adopted Budget.

6. APPROVED Settlement Agreement and Mutual Release with Spectrum Gulf Coast, LLC

Council was briefed on this settlement agreement at the Work Session of Monday, March 6, 2023, during executive session. There was a legal dispute between the City and Spectrum over the payment of franchise and PEG fees. In 2019, the City, along with other cities, filed a lawsuit against Spectrum arising out of the dispute. The proposed Settlement Agreement and Mutual Release resolves the legal dispute with Spectrum agreeing to increased franchise fee and PEG fee payments. Council has authorized the City Manager to execute a Settlement Agreement and Mutual Release with Spectrum Gulf Coast, LLC settling a dispute over franchise fees and PEG fees in the case styled City of Allen, Texas et al., v. Time Warner Cable Texas, LLC d/b/a Spectrum and Charter Communications, Case No. 6:10-cv-345-ADA-DTG.

7. APPROVED Resolution No. 10577 Authorizing Publication of a Notice of Intent to Issue Certificates of Obligation

Council is requested to consider authorizing the publication of a Notice of Intent to Issue Certificates of Obligation in the amount not to exceed \$46.5 million to fund a portion of the CIP. This item was presented to the City Council at the March 6, 2023 Work Session meeting.

ITEMS FOR INDIVIDUAL CONSIDERATION

Speaker Regulations:

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8. **Hold public hearings on:**

a. **PUBLIC HEARING HELD: HOME American Rescue Act City of Garland Draft Allocation Plan - Public Hearing**

During March 6, 2023, Council Work Session, Council was provided a draft of the proposed City of Garland HOME American Rescue Cost Allocation Plan. The City has received a one-time allocation of funding in the amount of \$2,541,737 through the Department of Housing and Urban Development. As part of the plan adoption process, a public hearing is required to solicit comments from interested parties relating to the 2023 HOME-ARP Cost Allocation Plan. This item will be brought back to Council at the March 20, 2023, Work Session for final discussion. Unless otherwise directed by Council this item will be placed on the agenda for formal consideration at the March 21, 2023, Regular Meeting for formal consideration.

The staff presentation was made by Mona Woodard, Neighborhood Services Administrator.

Mayor LeMay opened the public hearing at 7:20 p.m. There were no speakers on this item and the hearing was closed at 7:21 p.m.

b. **APPROVED Consider a Specific Use Provision amendment request by Quetzal Event Center to continue the operation of a Reception Facility from an existing building. The site is located at 354 East Interstate Highway 30 in District 3.**

Consideration of the application of Quetzal Event Center, requesting approval of an amended Specific Use Provision for a Reception Facility on a property zoned Planned Development (PD) District 20-40 for a Community Office Uses. This property is located at 354 East Interstate Highway 30. (File Z 22-78, District 3)

The staff report was presented by William Guerin, Director of Planning. The speaker on this item was Perla Farias, applicant.

There was discussion by the Council.

The motion was made by Council Member Moore to approve the Specific Use Provision amendment (Item 8b) and the Detail Plan (Item 8c), seconded by Mayor Pro Tem Morris. Motion carried:

Vote: 9 ayes, 0 nays

c. **APPROVED Consider a Detail Plan request by Quetzal Event Center to continue the operation of a Reception Facility from an existing building. The site is located at 354 East Interstate Highway 30 in District 3.**

Consideration of the application of Quetzal Event Center, requesting approval of a Detail Plan for a Reception Facility on a property zoned Planned Development (PD) District 20-40 for Community Office Uses. This property is located at 354 East Interstate Highway 30. (File Z 22-78, District 3)

d. **APPROVED Consider a Planned Development request by Kirkman Engineering for approval of fifty-five (55) townhouses. The site is currently zoned to allow townhouses; however, the applicant requests modifications from the Garland Development Code. The site is located at 2801 and 2901 Arapaho Road in District 7.**

Consideration of the application of Kirkman Engineering, requesting approval of a Change in Zoning from Single-Family Attached (SFA) District to a Planned Development (PD) District for Single-Family Attached Uses. This property is located at 2801 and 2901 Arapaho Road. (File Z 22-65, District 7)

The staff report was presented by William Guerin, Director of Planning. The speakers on this item were Patrick Filson, applicant, Joe Thomas, representing Camelot Neighborhood Association, J. D. Gonzales and Trey Hart.

There was discussion by the Council.

The motion was made by Council Member Hedrick to approve the Planned Development request (8d) and the Detail Plan (8e), seconded by Deputy Mayor Pro Tem Smith. Motion carried:

Vote: 9 ayes, 0 nays

- e. **APPROVED** Consider a Detail Plan request by Kirkman Engineering for approval of fifty-five (55) townhouses. The site is located at 2801 and 2901 Arapaho Road in District 7.

Consideration of the application of Kirkman Engineering, requesting approval of a Detail Plan for Single-Family Attached Uses on a property zoned Single-Family Attached (SFA) District. This property is located at 2801 and 2901 Arapaho Road. (File Z 22-65, District 7)

- f. **POSTPONED** Consider a Specific Use Provision request by Shammy's Garland, LLC., for approval of an Automated/Rollover Car Wash use. The site is located at 2641 Belt Line Road in District 7.

Consideration of the application of Shammy's Garland LLC., requesting approval of a Specific Use Provision for a Car Wash, Automated/Rollover Use on a property zoned Community Retail (CR) District. This property is located at 2641 Belt Line Road. (File Z 22-76, District 7)

The motion was made by Council Member Hedrick to postpone this item until April 4, 2023, seconded by Deputy Mayor Pro Tem Smith. Motion carried:

Vote: 9 ayes, 0 nays

- g. **POSTPONED** Consider a Plan request by Shammy's Garland, LLC., for approval of an Automated/Rollover Car Wash use. The site is located at 2641 Belt Line Road in District 7.

Consideration of the application of Shammy's Garland LLC., requesting approval of a Plan for a Car Wash, Automated/Rollover Use on a property zoned Community Retail (CR) District. This property is located at 2641 Belt Line Road. (File Z 22-76, District 7)

- h. **APPROVED** Consider a Specific Use Provision request by Clay Cristy-ClayMoore Engineering to add a second drive-through to an existing McDonald's. The site is located at 119 East Buckingham Road in District 8.

Consideration of the application of Clay Cristy-ClayMoore Engineering, requesting approval of a Specific Use Provision for a Restaurant, Drive-Through Use on a property zoned Industrial (IN) District. This property is located at 119 East Buckingham Road. (File Z 22-79, District 8)

The staff report was presented by William Guerin, Director of Planning. The speaker on this was Cristy Claymoore, applicant.

There was discussion by the Council.

The motion was made by Deputy Mayor Pro Tem Smith to approve the Specific Use Provision request (Item 8h) and the Plan request, seconded by Council Member Lucht. Motion carried:

Vote: 9 ayes, 0 nays

- i. **APPROVED** Consider a Plan request by Clay Cristy-ClayMoore Engineering to add a second drive-through to an existing McDonald's. The site is located at 119 East Buckingham Road in District 8.

Consideration of the application of Clay Cristy-ClayMoore Engineering, requesting approval of a Plan for a Restaurant, Drive-Through on a property zoned Industrial (IN) District. This property is located at 119 East Buckingham Road. (File Z 22-79, District 8)

- j. **APPROVED** Consider a Zoning Change request by G. Roxana Novoa, from Agricultural (AG) District to Single-Family-10 (SF-10) District, to allow a single-family home. The site is located at 1009 and 1013 Rowlett Road in District 4.

Consideration of the application of G. Roxana Novoa, requesting approval of a Change in Zoning from Agricultural (AG) District to Single-Family-10 (SF-10) District. This property is located at 1009 and 1013 Rowlett Road. (File Z 22-71, District 4)

The staff report was presented by William Guerin, Director of Planning. The applicant was available to answer questions.

The motion was made by Council Member Williams to approve the Zoning Change, seconded by Mayor Pro Tem Morris. Motion carried:

Vote: 9 ayes, 0 nays

9. **Citizen comments:** Dave Brady

10. **Adjourn:** There being no further business to come before the City Council, Mayor LeMay adjourned the meeting at 8:19 p.m.

Submitted By:

Scott LeMay, Mayor

Eloyce René Dowl, City Secretary



**GARLAND
PURCHASING REPORT**

City Council Regular Session Agenda

2. a.

Meeting Date: 03/21/2023

Item Title: Wastewater Improvements in Nine Alleys - Phase 2 Construction

Submitted By: Michael Polocek, Engineering
Director

Bid Number: 0019-23

Purchase Justification:

This request is for Phase 2 of the wastewater improvements project. The project consists of replacing approximately 8,300 linear feet of existing wastewater lines in the remaining five (5) unimproved alleys and the replacement of approximately 1,500 linear feet of existing water lines, paving, and sidewalks. The alleys are located in three (3) separate areas as follows: Alleys between Redell Street and Newman Street; Alleys between Main Street / State Street and State Street / Austin Street; and Alleys between Cranford Drive / Randolph Drive and Lewis Drive / Caldwell Drive. An optional contingency is included for any additional work that may be required.

Evaluation:

A request for bids was issued per Purchasing procedures. One (1) bid was received and evaluated with Tri-Con Services, Inc. submitting the Straight Bid.

Award Recommendation:

<i>Vendor</i>	<i>Item</i>	<i>Amount</i>
Tri-Con Services, Inc.	All	\$4,899,989.00
Optional Contingency	All	490,011.00
	TOTAL:	\$5,390,000.00

Basis for Award: Straight Low Bid

Purchase Requisition #: 48508

Fiscal Impact

Total Project/Account: \$16,422,000

Expended/Encumbered to Date: 5,329,803

Balance: \$11,092,197

This Item: 5,390,000
Proposed Balance: \$5,702,197
Account #: 230-4149-3219000-9305; 220-4049-3019100-9214;
 651-4699-1442519-7111; 651-1409-1417619-9015

Fund/Dept/Project – Description and Comments:

Street/Transportation CIP / New Sidewalk and/or ADA Route Program	\$220,000
Street/Transportation CIP / Paving of Unimproved Alleys	220,000
Water CIP / Distribution Lines (up to 14-inch)	1,100,000
Wasterwater CIP / Rehab Sewer Collection Mains in Dirt Alleys	3,850,000
Total	\$5,390,000

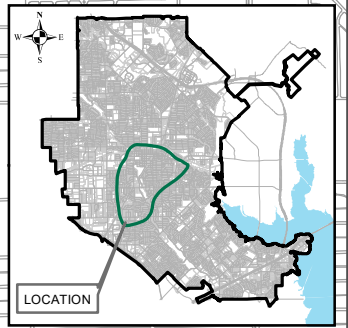
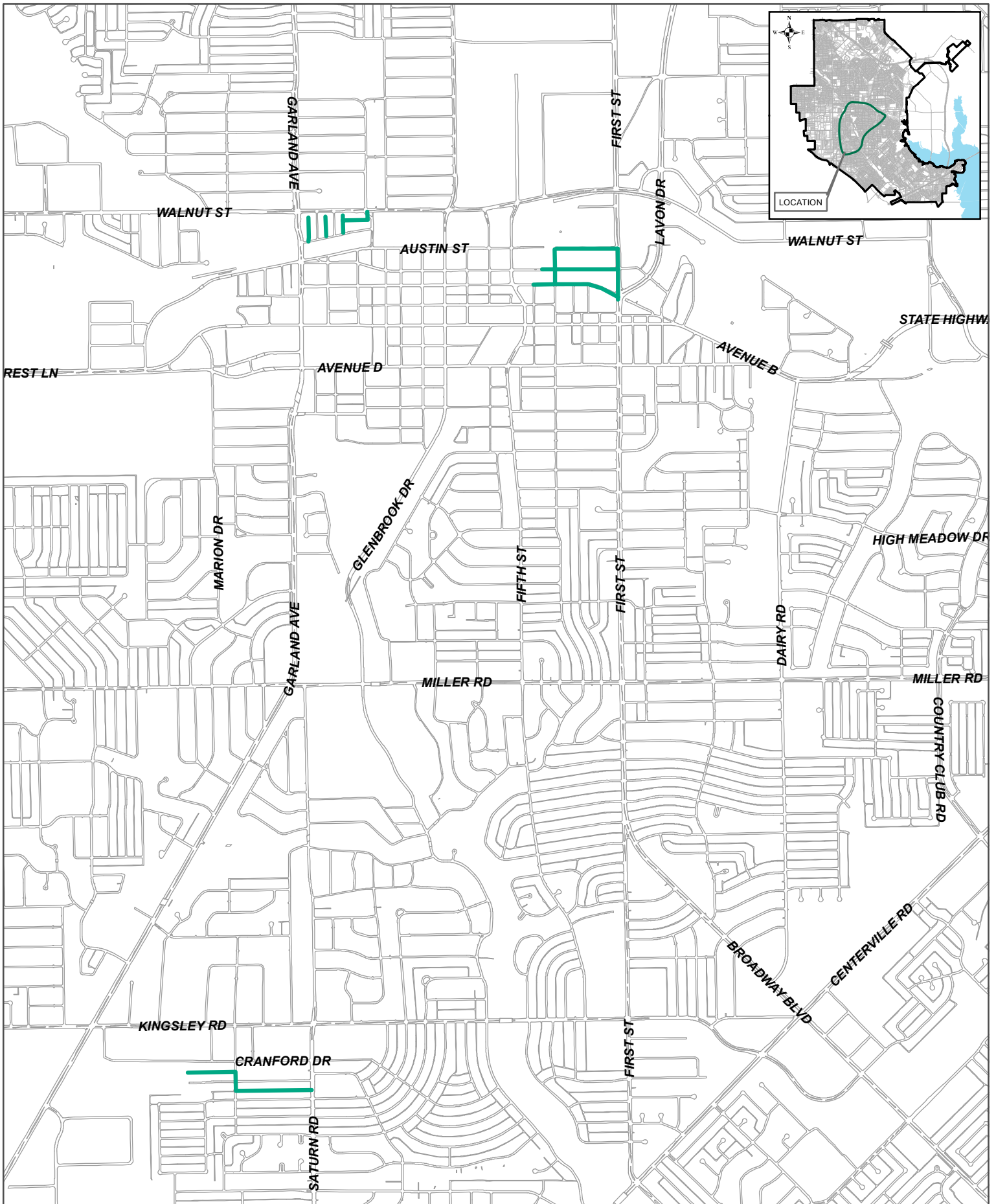
Attachments

bid recap
 Location Map

Fiscal Reference:

Budget Type: CIP
 Fiscal Year: 2023
 Document Location: Prop. CIP - Pages 107, 120, 230, & 257

Budget Director Approval: Allyson Bell Steadman Approval Date: 03/13/2023
 Purchasing Director Approval: Gary L. Holcomb Approval Date: 03/13/2023



**WASTEWATER IMPROVEMENTS
IN NINE ALLEYS-PHASE 2**

Scale: NTS
Date: 2/28/2023
Drawn: JW

File: WWReplacement_2.mxd

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of
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Not to Scale



**GARLAND
PURCHASING REPORT**

City Council Regular Session Agenda

2. b.

Meeting Date: 03/21/2023

Item Title: Side and Rear Loader Chassis

Submitted By: Garth Sanich, Director of Fleet
Services

Bid Number: 0561-23

Purchase Justification:

This request is for the purchase of six (6) replacement chassis for side and rear loader units to be utilized by the Sanitation Department. This request includes chassis inspection and training for four (4) City employees at the Crane Carrier facility. The existing units being replaced are listed in the attached document. The items being purchased are scheduled and budgeted purchases, and the units being replaced will be retired and auctioned.

Evaluation:

The replacement side and rear loader chassis are available from Bond Equipment Company, Inc. through the BuyBoard Cooperative Purchasing Contract 601-19.

Award Recommendation:

<i>Vendor</i>	<i>Item</i>	<i>Amount</i>
Bond Equipment Company Inc.	All	\$1,288,278.00
	TOTAL:	----- \$1,288,278.00

Basis for Award: Cooperative Purchase

Purchase Requisition #: 48903

Fiscal Impact

Total Project/Account:	\$8,727,474
Expended/Encumbered to Date:	6,471,305
Balance:	\$2,256,169
This Item:	1,288,278

Proposed Balance: \$967,891
Account #: 246-4319-2106800-9007, 246-4319-2106900-9007,
 246-4319-2107100-9007

Fund/Dept/Project – Description and Comments:

Miscellaneous Revenue Supported and Internal Service CIP / Sanitation

Replacement of Side-Load Residential Trucks Replaces units #430-1726 and 430-1945	\$419,522
Replacement of Recycling Trucks Replaces units #430-1949 and 430-2146	405,094
Replacement of Rear-Load Brush Trucks Replaces units #430-1425 and 430-1426	463,662
Total	\$1,288,278

Attachments

Unit Replacement
 Bid Recap

Fiscal Reference:
 Budget Type: CIP
 Fiscal Year: 2023
 Document Location: Prop. CIP - Pages 203, 204, & 205

Budget Director Approval: Allyson Bell Steadman Approval Date: 03/10/2023
 Purchasing Director Approval: Gary L. Holcomb Approval Date: 03/09/2023

430-1949: 2019 Crane Carrier LET2-30 Automated Side-Loader, 6,909 hours, 4 years old
430-2146: 2019 Crane Carrier LET2-30 Automated Side-Loader, 4,726 hours, 4 years old
430-1726: 2017 Crane Carrier LET2-30 Automated Side-Loader, 8,321 hours, 6 years old
430-1945: 2019 Crane Carrier LET2-30 Automated Side-Loader, 6,630 hours, 4 years old
430-1425: 2016 Crane Carrier LET2-30 Rear-Loader, 9,914 hours, 7 years old
430-1426: 2016 Crane Carrier LET2-30 Rear-Loader, 8,593 hours, 7 years old

CITY OF GARLAND - BID RECAP SHEET
OPENED: N/A
REQ. NO. PR 48903
BID NO. 0561-23
PAGE: 1 of 1
BUYER: Teresa Smith

Bond Equipment Company,
 Inc.

I T E M	QTY	U N I T	DESCRIPTION								
				UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL
1	2	ea.	New Crane Carrier LET2, RH drive, white exterior painted, Cummins L9-300 HP, Allison 3500 RDSR Transmission, all options/features per quote.	\$199,347.00	\$398,694.00						
2	2	ea.	New Crane Carrier LET2, RH Drive, White exterior painted, Cummins L9-350 HP, Allison 3000 RDSR Transmission, all options/features per quote.	\$209,761.00	\$419,522.00						
3	2	ea.	New Crane Carrier LET2, Crew cab, white exterior painted, Cummins L9-3, 50 H, Allison 3000 RDSR Trans, Double frame	\$231,831.00	\$463,662.00						
4	1	ea.	BuyBoard Fee	\$400.00	\$400.00						
5	4	ea.	Transportation for Garland employees to inspect chassis and for training at Crane Carrier	\$1,500.00	\$6,000.00						
TOTAL GROSS PRICE				\$1,288,278.00							
CASH DISCOUNT											
TOTAL NET PRICE				\$1,288,278.00							
F.O.B.				DELIVERED		DELIVERED		DELIVERED		DELIVERED	
DELIVERY											

NEXT LOW: n/a
LOW: n/a
SAVINGS: n/a

n/a # IonWave Notifications
 n/a # IonWave HUBS
 n/a # Direct Contact HUBS
 n/a # HUBS Responded

All bids submitted for the designated project are reflected on this bid tab sheet. However, the listing of a bid on this sheet should not be construed as a comment on the responsiveness of such bid or as any indication that the city accepts such bid as responsive. The City will notify the successful bidder upon award of the contract and, according to the law, all bids received will be available for inspection at that time.



**GARLAND
PURCHASING REPORT**

City Council Regular Session Agenda

2. c.

Meeting Date: 03/21/2023

Item Title: Side, Rear, and Front Loader Bodies

Submitted By: Garth Sanich, Director of Fleet
Services

Bid Number: 0567-23

Purchase Justification:

This request is for the purchase of five (5) replacement bodies to be mounted on chassis to be utilized by the Sanitation Department. The existing units being replaced are listed in the attached document. The items being purchased are scheduled and budgeted purchases, and the units being replaced will be retired and auctioned.

Evaluation:

The replacement bodies are available from Reliance Truck and Equipment through the BuyBoard Cooperative Purchasing Contract 686-22.

Award Recommendation:

<i>Vendor</i>	<i>Item</i>	<i>Amount</i>
Reliance Truck and Equipment	All	\$744,189.12
	TOTAL:	----- \$744,189.12

Basis for Award: Cooperative Purchase

Purchase Requisition #: 48915

Fiscal Impact

Total Project/Account: \$5,478,320

Expended/Encumbered to Date: 4,716,357

Balance: \$761,963

This Item: 744,189

Proposed Balance: \$17,774

Account #: 246-4319-2106900-9007, 246-4319-2107100-9007,
246-4319-2107500-9007

Fund/Dept/Project – Description and Comments:

Miscellaneous Revenue Supported and Internal Service CIP / Sanitation

Replacement of Recycling Trucks Replaces units #430-1949 and 430-2146	\$353,485
Replacement of Read-Load Brush Trucks Replaces units #430-1425 and 430-1426	231,051
Replacement of Commercial Front-Load Trucks Replaces units #430-1859	159,653
Total	\$744,189

Attachments

Replacement Units

Bid Recap

Fiscal Reference:

Budget Type: CIP

Fiscal Year: 2023

Document Location: Prop. CIP - Pages 204, 205, & 206

Budget Director Approval: Allyson Bell Steadman

Approval Date: 03/10/2023

Purchasing Director Approval: Gary L. Holcomb

Approval Date: 03/09/2023

430-1949: 2019 Crane Carrier LET2-30 Automated Side-Loader, 6,909 hours, 4 years old
430-2146: 2019 Crane Carrier LET2-30 Automated Side-Loader, 4,726 hours, 4 years old
430-1859: 2018 Mack MRU613 Front Loader, 8,241 hours, 5 years old
430-1425: 2016 Crane Carrier LET2-30 Rear-Loader, 9,914 hours, 7 years old
430-1426: 2016 Crane Carrier LET2-30 Rear-Loader, 8,593 hours, 7 years old

CITY OF GARLAND - BID RECAP SHEET OPENED: N/A REQ. NO. PR 48915 BID NO. 0567-23 PAGE: 1 of 1 BUYER: Teresa Smith			Reliance Truck and Equipment							
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ITEM	QTY	UNIT	DESCRIPTION	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL
1	2	ea.	New LaBrie 22yd. Automizer Side-Loader Helping Hand Body 3rd eye 9" color LCD DVR monitor, split screen, all options/ features per quote.	\$176,742.52	\$353,485.04						
2	1	ea.	New Wittke Starlight Fron-Loader 40 cu.yd. body, 3rd eye 7" color LCD monitor, protection cages on cameras, without fork scales all options/ features per quote.	\$159,652.96	\$159,652.96						
3	2	ea.	New Leach 2R III 29 yd. Rear- Loader Body, 3rd eye monitor all options/ features per quote.	\$115,525.56	\$231,051.12						

TOTAL GROSS PRICE			\$744,189.12				
CASH DISCOUNT							
TOTAL NET PRICE			\$744,189.12				
F.O.B.			DELIVERED	DELIVERED	DELIVERED	DELIVERED	
DELIVERY							

NEXT LOW: n/a LOW: n/a SAVINGS: n/a	n/a # IonWave Notifications n/a # IonWave HUBS n/a # Direct Contact HUBS n/a # HUBS Responded	All bids submitted for the designated project are reflected on this bid tab sheet. However, the listing of a bid on this sheet should not be construed as a comment on the responsiveness of such bid or as any indication that the city accepts such bid as responsive. <u>The City will notify the successful bidder upon award of the contract and, according to the law, all bids received will be available for inspection at that time.</u>
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**GARLAND
PURCHASING REPORT**

City Council Regular Session Agenda

2. d.

Meeting Date: 03/21/2023

Item Title: Design Services for the Rick Oden Splash Pad (ARPA-Funded)

Submitted By: Andy Hesser, Managing Director

Bid Number: 1271-22

Purchase Justification:

This request is to initiate design work for the proposed splash pad at Rick Oden Park. This project is part of the 2023 CIP and utilizes American Rescue Plan Act (ARPA) funding.

Evaluation:

A request for qualifications was issued under the Purchasing procedures. Four (4) responses were received and evaluated based on the published criteria. Kimley-Horn & Associates received the highest evaluated score and was selected as the Most Qualified firm for this project.

Award Recommendation:

<i>Vendor</i>	<i>Item</i>	<i>Amount</i>
Kimley-Horn & Associates	1	\$311,500.00
	TOTAL:	\$311,500.00

Basis for Award: Most Qualified

Purchase Requisition #: 48063

Fiscal Impact

Total Project/Account: \$3,416,186

Expended/Encumbered to Date: 0

Balance: \$3,416,186

This Item: 311,500

Proposed Balance: \$3,104,686

Account #: 661-2499-1859300-7101

Fund/Dept/Project – Description and Comments:

Park CIP / Rick Oden Splash Pad - American Rescue Plan Act Project

Attachments

Bid Recap

Fiscal Reference:

Budget Type: CIP

Fiscal Year: 2023

Document Location: Prop. CIP - Page 73

Budget Director Approval: Allyson Bell Steadman

Approval Date: 03/10/2023

Purchasing Director Approval: Gary L. Holcomb

Approval Date: 03/08/2023

CITY OF GARLAND - BID RECAP SHEET
 OPENED: 10/27/2022
 REQ. NO. PR 48063
 BID NO. 1271-22
 PAGE: 1 of 1
 BUYER: J. Wilson

Kimley Horn

BCI

Dunaway

McAdams

ITEM	QTY	UNIT	DESCRIPTION	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL
1	EA	1	Professional services for the Rick Oden Splash Pad.	\$311,500.00	\$311,500.00						
			Evaluation Criteria:								
			General Information	Maximum = 0	0.00		0.00		0.00		0.00
			Qualifications of the Team	Maximum = 20	18.75		18.25		15.75		15.75
			Project Personnel	Maximum = 20	18.50		18.25		15.25		15.50
			Project Approach	Maximum = 20	19.50		16.25		13.00		13.25
			Representative Projects	Maximum = 30	28.50		24.00		20.25		18.50
			Client References	Maximum = 10	10.00		10.00		10.00		10.00
			Total Score:	Maximum = 100	95.25		86.75		74.25		73.00
			TOTAL GROSS PRICE		\$311,500.00						
			CASH DISCOUNT		\$311,500.00						
			TOTAL NET PRICE								
			F.O.B.		DELIVERED		DELIVERED		DELIVERED		DELIVERED
			DELIVERY								

NEXT LOW: n/a	174 # IonWave Notifications	All bids submitted for the designated project are reflected on this bid tab sheet. However, the listing of a bid on this sheet should not be construed as a comment on the responsiveness of such bid or as any indication that the city accepts such bid as responsive. The City will notify the successful bidder upon award of the contract and, according to the law, all bids received will be available for inspection at that time.
LOW: n/a	45 # IonWave HUBS	
SAVINGS: n/a	5 # Direct Contact HUBS	
	0 # HUBS Responded	



**GARLAND
PURCHASING REPORT**

City Council Regular Session Agenda

2. e.

Meeting Date: 03/21/2023

Item Title: Side Loader Bodies

Submitted By: Garth Sanich, Director of Fleet Services

Bid Number: 0557-23

Purchase Justification:

This request is for the purchase of two (2) replacement Side-Loader bodies to be mounted on chassis that will be utilized by the Sanitation Department. The existing unit 430-1726 is a 2017 Crane Carrier LET2-30 Automated Side-Loader with 8,321 hours and unit 430-1945 is a 2019 Crane Carrier LET2-30 Automated Side-Loader with 6,630 hours. The items being purchased are a scheduled and budgeted purchase, and the units being replaced will be retired and auctioned.

Evaluation:

The replacement Side-Loader bodies are available from Texas Pack + Load through the BuyBoard Cooperative Purchasing Contract 686-22.

Award Recommendation:

<i>Vendor</i>	<i>Item</i>	<i>Amount</i>
Texas Pack + Load	All	\$351,174.00
	TOTAL:	----- \$351,174.00

Basis for Award: Cooperative Purchase

Purchase Requisition #: 48918

Fiscal Impact

Total Project/Account: \$4,989,850

Expended/Encumbered to Date: 4,624,264

Balance: \$365,586

This Item: 351,174
Proposed Balance: \$14,412
Account #: 246-4319-2106800-9007

Fund/Dept/Project – Description and Comments:

Miscellaneous Revenue Supported and Internal Service / Sanitation
Replacement of Side-Load Residential Trucks
Replaces unit #430-1726 and 430-1945

Attachments

Bid Recap

Fiscal Reference:

Budget Type: CIP
Fiscal Year: 2023
Document Location: Prop. CIP - 203

Budget Director Approval: Allyson Bell Steadman Approval Date: 03/10/2023
Purchasing Director Approval: Gary L. Holcomb Approval Date: 03/08/2023



**GARLAND
PURCHASING REPORT**

City Council Regular Session Agenda

2. f.

Meeting Date: 03/21/2023

Item Title: Naaman School Road Railroad Crossing Improvements

Submitted By: Laura Dunn, Capital Project
Management Director

Bid Number: 0548-23

Purchase Justification:

This request is for the reconstruction of the at-grade highway-rail crossing required as part of the reconstruction of Naaman School Road (from Brand to SH 78). Naaman School Road is widening from four lanes to seven lanes at the railroad crossing, which requires an extension of the rail crossing panels, installation of new railroad flasher signals, a new control bungalow, and new railroad crossing arm gates. The City will reimburse the Kansas City Southern Railway (KCS) for the actual cost of the improvements of which the preliminary estimate is \$1,077,662. An Optional Contingency has been included should the actual expenditures exceed the preliminary estimate. This project is part of the 2019 Bond Program and was approved in the 2023 CIP.

Evaluation:

Kansas City Southern Railway Company (KCS) will perform improvements as a Sole Source as the crossings are in the KCS right-of-way.

Award Recommendation:

<i>Vendor</i>	<i>Item</i>	<i>Amount</i>
Kansas City Southern Railway Company	All	\$1,077,662.00
Optional Contingency		100,000.00
	TOTAL:	\$1,177,662.00

Basis for Award: Sole Source

Purchase Requisition #: 48926

Fiscal Impact

Total Project/Account: \$26,850,000

Expended/Encumbered to Date: 5,278,729
Balance: \$21,571,271
This Item: 1,177,662
Proposed Balance: \$20,393,609
Account #: 651-1429-1430219-9011, 650-1429-1430200-9011

Fund/Dept/Project – Description and Comments:
Street/Transportation CIP / Naaman School Road

Naaman School Road - 2019 Bond Funds	651-1429-1430219-9011	\$ 588,831
Naaman School Road - Dallas County Funds	650-1429-1430200-9011	588,831
	TOTAL	\$1,177,662

Attachments

Bid Recap

Fiscal Reference:
 Budget Type: CIP
 Fiscal Year: 2023
 Document Location: Prop. CIP - Page 98

Budget Director Approval: Allyson Bell Steadman Approval Date: 03/10/2023
 Purchasing Director Approval: Gary L. Holcomb Approval Date: 03/08/2023



**GARLAND
PURCHASING REPORT**

City Council Regular Session Agenda

2. h.

Meeting Date: 03/21/2023

Item Title: Water Utilities Building

Submitted By: Ginny Holliday, Facilities
Management Director

Bid Number: 0840-21

Purchase Justification:

This request is to approve a change order related to the construction of the new Water Utilities building. To allow the general contractor to finalize their subcontractors, this project was bid out with 95% complete set of construction drawings. Now that the construction drawings are 100% complete, additional costs of \$358,713 have been identified due to the finalizing of construction materials, finishes, and equipment to be used in the building. The change order also includes drainage work for \$207,451 for the entire site, including the Police Property Building, that will tie into the DART right-of-way located on the north side of the site. The drainage work was originally to be included in the Police Property Building project; however, due to delays in receiving final approval from DART, that work is being included in this project.

Evaluation:

Hill & Wilkinson was awarded the original PO 33385 of \$11,619,796 at the June 21, 2022 City Council Meeting.

Award Recommendation:

<i>Vendor</i>	<i>Item</i>	<i>Amount</i>
Hill & Wilkinson	All	\$566,164.00
	TOTAL:	\$566,164.00

Basis for Award: Change Order

Purchase Requisition #: 48885

Fiscal Impact

Total Project/Account: \$16,588,000
Expended/Encumbered to Date: 14,597,903
Balance: \$1,990,097
This Item: 566,164
Proposed Balance: \$1,423,933
Account #: 220-4049-3023800-9002 & 230-4149-3218800-9002

Fund/Dept/Project – Description and Comments:

Water CIP / Field Operations Center	\$283,082
Wastewater CIP / Field Operations Center	283,082
Total	\$566,164

Attachments

Bid Recap

Fiscal Reference:
 Budget Type: CIP
 Fiscal Year: 2023
 Document Location: Prop. CIP - Pages 241 & 256

Budget Director Approval: Allyson Bell Steadman Approval Date: 03/13/2023
 Purchasing Director Approval: Gary L. Holcomb Approval Date: 03/08/2023



**GARLAND
PURCHASING REPORT**

City Council Regular Session Agenda

2. i.

Meeting Date: 03/21/2023

Item Title: Term Contract for Disaster Debris Removal, Monitoring, and Consulting Services

Submitted By: Uriel Villalpando, Sanitation
Services Director

Bid Number: 0164-23

Purchase Justification:

This request is to provide disaster debris removal, monitoring, and consulting services in the event of a natural or man-made disaster that exceeds the City's internal resources and capabilities. The approval is for a term agreement with four (4) optional renewals.

Evaluation:

A request for bids was issued under the Purchasing procedures. Four (4) bids for debris removal and two (2) bids for debris monitoring services were received and evaluated based on published criteria. Ceres Environmental Services, Inc. received the highest evaluated score for the primary debris removal contractor, followed by Phillips & Jordan, Inc. as the secondary contractor, and DRC Emergency Services, LLC. as the tertiary contractor. DebrisTech, LLC. received the highest evaluated score for the primary debris monitoring contractor, followed by Thompson Consulting Services as the secondary contractor.

Award Recommendation:

<i>Vendor</i>	<i>Item</i>	<i>Amount</i>
Ceres Environmental Services, Inc. (Primary)	Debris Removal	\$6,397,128
Phillips & Jordan, Inc. (Secondary)	Debris Removal	\$1,000,000
DRC Emergency Services, LLC. (Tertiary)	Debris Removal	\$1,000,000
DebrisTech, LLC. (Primary)	Debris Monitoring	\$1,218,240
Thompson Consulting Services, LLC. (Secondary)	Debris Monitoring	\$1,235,520
	TOTAL:	\$10,850,888

Basis for Award: Best Value
Purchase Requisition #: 48313/48314

Fiscal Impact

Total Project/Account: N/A
Expended/Encumbered to Date: N/A
Balance: N/A
This Item: \$10,850,888
Proposed Balance: N/A
Account #: 241-4311-711101

Fund/Dept/Project – Description and Comments:

Term Contract sets price but does not commit funds. Expenses will be charged to Sanitation operating accounts as incurred.

Attachments

Bid Recap

Fiscal Reference:
Budget Type: Operating Budget
Fiscal Year: 2022-23
Document Location: Page 264

Budget Director Approval: Allyson Bell Steadman **Approval Date:** 03/10/2023
Purchasing Director Approval: Gary L. Holcomb **Approval Date:** 03/10/2023

CITY OF GARLAND - BID RECAP SHEET OPENED: 12/20/2022 REQ. NO 48313,48314,48315 BID NO. 0164-23 PAGE: 1 of 1 BUYER: L. Segura		Ceres Environmental Services, Inc.	Phillips and Jordan, Inc.	DRC Emergency Services, LLC.	CrowderGulf, LLC.	DebrisTech, LLC.	Thompson Consulting Services, LLC.
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ITEM	QTY	UNIT	DESCRIPTION	Ceres Environmental Services, Inc.		Phillips and Jordan, Inc.		DRC Emergency Services, LLC.		CrowderGulf, LLC.		DebrisTech, LLC.		Thompson Consulting Services, LLC.	
				UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL
			Bid Price for Evaluation		\$9,397,128.44		\$9,512,501.95		\$9,875,689.13		\$10,635,484.40		\$180.00		\$211.00
			Debris Removal			Debris Removal		Debris Removal		Debris Removal		Monitoring Services		Monitoring Services	
			Evaluation Criteria:												
			Price	Maximum = 40	40.00		39.51		38.06		35.34		40.00		34.12
			Qualifications, Experience of Firm	Maximum = 20	20.00		19.00		17.58		17.42		19.33		20.00
			Key Team Member Qualifications	Maximum = 10	10.00		8.67		9.33		9.17		9.50		9.83
			Project Understanding, Methodology	Maximum = 30	29.50		27.17		28.17		27.67		28.83		29.00
			Total Score:	Maximum = 100	99.50		94.35		93.14		89.60		97.66		92.95

TOTAL GROSS PRICE	\$9,397,128.44	\$9,512,501.95	\$9,875,689.13	\$10,635,484.40	\$180.00	\$211.00
CASH DISCOUNT						
TOTAL NET PRICE	\$9,397,128.44	\$9,512,501.95	\$9,875,689.13	\$10,635,484.40	\$180.00	\$211.00
F.O.B.	DELIVERED	DELIVERED	DELIVERED	DELIVERED	DELIVERED	DELIVERED
DELIVERY						

NEXT LOW: \$9,512,501.95
LOW: \$9,397,128.44
SAVINGS: \$115,373.51

211 # IonWave Notifications
 37 # IonWave HUBS
 1 # Direct Contact HUBS
 1 # HUBS Responded

All bids submitted for the designated project are reflected on this bid tab sheet. However, the listing of a bid on this sheet should not be construed as a comment on the responsiveness of such bid or as any indication that the city accepts such bid as responsive. The City will notify the successful bidder upon award of the contract and, according to the law, all bids received will be available for inspection at that time.



**GARLAND
PURCHASING REPORT**

City Council Regular Session Agenda

2. j.

Meeting Date: 03/21/2023

Item Title: GP&L I.H.-30 and Bass Pro Drive Feeder Duct Line Preparation

Submitted By: Jonas Whitehead, GP&L
Distribution Director

Bid Number: 0422-23

Purchase Justification:

This request is to provide labor for the ground preparation of an underground feeder crossing that will be installed at IH30 and Bass Pro Drive. Texas Department of Transportation (TxDOT) construction in the area is causing conflicts with the existing overhead service. The contractor will provide boring and ground preparation work at the site and GP&L crews will relocate the line segment underground. Expenses associated with this request will be reimbursed from TxDOT at 100%.

Evaluation:

A request for bids was issued under the Purchasing procedures. Two (2) bids were received and evaluated based on the published criteria. The Fishel Company received the highest evaluated score, offering the Best Value for the City.

Award Recommendation:

<i>Vendor</i>	<i>Item</i>	<i>Amount</i>
The Fishel Company	All	\$486,721.79
	TOTAL:	\$486,721.19

Basis for Award: Best Value

Purchase Requisition #: 48747

Fiscal Impact

Total Project/Account: \$823,641

Expended/Encumbered to Date: 18,490

Balance: \$805,151

This Item: 486,721
Proposed Balance: \$318,430
Account #: 215-3299-3149501-7111
Fund/Dept/Project – Description and Comments:
Electric CIP / Relocation of Facilities - TxDOT Reimbursement

Attachments

Bid Recap

Fiscal Reference:
Budget Type: CIP
Fiscal Year: 2023
Document Location: Prop. CIP - Page 272

Budget Director Approval: Allyson Bell Steadman Approval Date: 03/13/2023
Purchasing Director Approval: Gary L. Holcomb Approval Date: 03/10/2023



**GARLAND
PURCHASING REPORT**

City Council Regular Session Agenda

2. k.

Meeting Date: 03/21/2023

Item Title: GP&L and TMPA Substation Testing and Commissioning Services

Submitted By: Steve Martin, GP&L
Transmission Director

Bid Number: 1156-22

Purchase Justification:

This request is to increase the blanket contract for as-needed GP&L and TMPA substation testing and commissioning services. An increase in the anticipated number of projects and services required is driving the need for this change order.

Evaluation:

Power Engineers, Inc. was awarded the original BL 9181 with four (4) optional renewals for \$500,000 at the Oct. 11, 2022, City Council meeting. This change order will apply to the current blanket contract and the four (4) optional renewals.

Award Recommendation:

<i>Vendor</i>	<i>Item</i>	<i>Amount</i>
Power Engineers, Inc.	All	\$300,000.00
	TOTAL:	\$300,000.00

Basis for Award: Change Order

Purchase Requisition #: 48827

Fiscal Impact

Total Project/Account: N/A
Expended/Encumbered to Date: N/A
Balance: N/A
This Item: \$300,000
Proposed Balance: N/A

Account #: 451-6999

Fund/Dept/Project – Description and Comments:

Term Contract sets price but does not commit funds. Expenses will be charged to GP&L and TMPA Operating and CIP accounts as incurred.

Attachments

Bid Recap

Fiscal Reference:

Budget Type: Operating Budget
CIP

Fiscal Year: 2022-23

Document Location: Oper. - Page 241, Prop. CIP - Page 276

Budget Director Approval: Allyson Bell Steadman Approval Date: 03/10/2023

Purchasing Director Approval: Gary L. Holcomb Approval Date: 03/10/2023



**GARLAND
CITY COUNCIL ITEM SUMMARY SHEET**

City Council Regular Session Agenda

3. a.

Meeting Date: 03/21/2023

Item Title: Z 22-65 Kirkman Engineering (District 7)

Submitted By: Will Guerin, Planning Director

Summary of Request/Problem

Zoning Ordinance Z 22-65 Kirkman Engineering

Recommendation/Action Requested and Justification

Consider adoption of the attached ordinance.

Attachments

Z 22-65 Ordinance

Z 22-65 Exhibit A

Z 22-65 Exhibit B

Z 22-65 Exhibits C-E

ORDINANCE NO. _____

AN ORDINANCE AMENDING THE GARLAND DEVELOPMENT CODE OF THE CITY OF GARLAND, TEXAS, BY APPROVING 1) A CHANGE IN ZONING FROM SINGLE-FAMILY ATTACHED (SFA) DISTRICT TO A PLANNED DEVELOPMENT (PD) DISTRICT FOR SINGLE-FAMILY ATTACHED USES AND 2) A DETAIL PLAN FOR SINGLE-FAMILY ATTACHED (SFA) DEVELOPMENT ON A 4.862-ACRE TRACT OF LAND LOCATED AT 2801 AND 2901 ARAPAHO ROAD; PROVIDING FOR CONDITIONS, RESTRICTIONS, AND REGULATIONS; PROVIDING A PENALTY UNDER THE PROVISIONS OF SEC. 10.05 OF THE CODE OF ORDINANCES OF THE CITY OF GARLAND, TEXAS; PROVIDING A NOTICE OF CONDITIONS OF COMPLIANCE CLAUSE; PROVIDING A SAVINGS CLAUSE AND A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, at its regular meeting held on the 13th day of February 2023, the Plan Commission did consider and make recommendations on a certain request for 1) a Change in Zoning from Single-Family Attached (SFA) District to a Planned Development (PD) District for Single-Family Attached Uses and 2) a Detail Plan for Single-Family Attached (SFA) development by **Kirkman Engineering**; and

WHEREAS, The City Council, after determining all legal requirements of notice and hearing have been met, has further determined the following amendment to the zoning laws would provide for and would be in the best interest of the health, safety, morals, and general welfare:

Now, therefore, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GARLAND, TEXAS, that:

Section 1

The Garland Development Code is hereby amended by approving 1) a Change in Zoning from Single-Family Attached (SFA) District to a Planned Development (PD) District for Single-Family Attached Uses and 2) a Detail Plan for Single-Family Attached (SFA) development on a 4.862-acre tract of land located at 2801 and 2901 Arapaho Road and being more particularly described in Exhibit A, attached hereto and made a part hereof.

Section 2

Development shall be in conformance with the conditions, restrictions, and regulations set forth in the Garland Development Code.

Section 3

That a violation of this Ordinance shall be a misdemeanor punishable in accordance with Section 10.05 of the Code of Ordinances, City of Garland, Texas.

Section 4

NOTICE OF CONDITIONS OF COMPLIANCE: Notwithstanding the provisions of any other ordinance of the City, the full, complete, and continuing compliance with all the conditions, restrictions, and regulations of this Ordinance is a condition to the issuance and continuation of any permit, approval, authorization or consent by the City, including without limitation the issuance or continuation of any certificate of occupancy for any building or structure located on any portion of the property described in Exhibit A. All promises, representations, obligations and undertakings made or assumed by the applicant to the City Council at any public presentation in connection with the granting of this Ordinance are hereby incorporated into and made a part of this Ordinance as if expressly set forth herein at length. No substantial deviation from any material portion of the conditions, restrictions, and regulations contained within this Ordinance are allowed except as may be provided by the City Council after a public hearing.

Section 5

That the Garland Development Code, as amended, shall be and remain in full force and effect save and except as amended by this Ordinance.

Section 6

That the terms and provisions of this Ordinance are severable and are governed by Sec. 10.06 of the Code of Ordinances of the City of Garland, Texas.

Section 7

That this Ordinance shall be and become effective immediately upon and after its passage and approval.

FILE NO. Z 22-65

PASSED AND APPROVED this _____ day of _____,
2023.

THE CITY OF GARLAND, TEXAS

By:

Mayor

ATTEST:

City Secretary

Published:

EXHIBIT A

LEGAL DESCRIPTION

Zoning File Z 22-65

BEING a 4.862-acre tract of land situated in the Frederick Moss Survey, Abstract Number 941, in the City of Garland, Dallas County, Texas, and being a portion of that tract of land described by deed to William F. Callejo as recorded under Volume 576, Page 1326, Deed Records, Dallas County, Texas, (D.R.D.C.T.), together and with a portion of that tract of land described by deed to Adelfa B. Callejo, Trustee of the Callejo-Botello Foundation, a Charitable Trust, as recorded under Document Number 201000152223, Official Public Records, Dallas County, Texas, (O.P.R.D.C.T.), the subject tract being more particularly described by metes and bounds as follows (bearings are based on State Plane Coordinate System, Texas North Central Zone (4202) North American Datum of 1983 (NAD '83)):

BEGINNING at a 5/8 inch rebar with an illegible cap found in the north line of said William F. Callejo tract, same being in the east right-of-way of Galaxie Road, having a 60.00 foot right-of-way as shown on Volume 74073, Page 899, Plat Records, Dallas County, Texas, (P.R.D.C.T.), said point also being the northwest corner of the herein described tract;

THENCE North 89 degrees 03 minutes 58 seconds East, with the north line of said William F. Callejo tract, passing the northwest corner of said Adelfa B. Callejo tract, and continuing for a total distance of 1,022.24 feet to a point

within cable utility cabinet for corner, said point being in the west right-of-way of Callejo Road, having a 60.00 foot right-of-way per Volume 87025, Page 4749, (D.R.D.C.T.);

THENCE South 02 degrees 00 minutes 56 seconds East, with the west right-of-way of said Callejo Road, a distance of 193.94 feet to the beginning of a non-tangent curve to the left, having a radius of 850.00 feet, with a delta angle of 05 degrees 51 minutes 37 seconds, whose chord bears North 87 degrees 57 minutes 07 seconds West, a distance of 86.90 feet, from which a MAG nail found bears North 70 degrees West, a distance of 0.50 feet;

THENCE along said non-tangent curve to the left, and with the south line of said Adelfa B. Callejo tract, an arc length of 86.94 feet to a point from which a 1/2 inch rebar found bears North 11 degrees East, a distance of 0.31 feet;

THENCE South 89 degrees 06 minutes 48 seconds West, with the south line of said Adelfa B. Callejo tract, a distance of 720.00 feet to a 1/2 inch rebar with cap stamped, "AZB" found at the beginning of a tangent curve to the left, having a radius of 850.00 feet, with a delta angle of 12 degrees 07 minutes 55 seconds, whose chord bears South 83 degrees 02 minutes 59 seconds West, a distance of 179.64 feet;

THENCE along said tangent curve to the left, and with the south line of said Adelfa B. Callejo tract, passing a 1/2 inch rebar with cap stamped, "AZB" found for the southwest corner thereof at an arc length of 76.33 feet, and continuing for a total arc length of 179.98 feet to a reverse curve to the right, having a radius of 819.44 feet, with a delta angle of 12 degrees 41 minutes 47 seconds, whose chord bears South 83 degrees 19 minutes 44 seconds

ZONING FILE NUMBER Z 22-65

West, a distance of 181.21 feet, from which a 1/2 inch rebar found bears South 07 degrees West, a distance of 1.69 feet;

THENCE through the interior of said William F. Callejo tract, and along said reverse curve to the right, an arc length of 181.58 feet to a MAG nail set in the east right-of-way of said Galaxie Road, said point being the beginning of a non-tangent curve to the right, having a radius of 130.00 feet, with a delta angle of 55 degrees 01 minutes 03 seconds, whose chord bears North 27 degrees 47 minutes 21 seconds East, a distance of 120.09 feet;

THENCE along said non-tangent curve to the right, and with the east right-of-way of said Galaxie Road, an arc length of 124.83 feet to a 5/8 inch rebar with cap stamped, "MYCOSKIE" found at the beginning of a reverse curve to the left, having a radius of 194.06 feet, with a delta angle of 40 degrees 05 minutes 34 seconds, whose chord bears North 35 degrees 10 minutes 26 seconds East, a distance of 133.04 feet;

THENCE along said reverse curve to the left, and with the east right-of-way of said Galaxie Road, an arc length of 135.79 feet to a 5/8 inch rebar with cap stamped, "MYCOSKIE" found;

THENCE North 15 degrees 07 minutes 41 seconds East, with the east right-of-way of said Galaxie Road, a distance of 13.46 feet to the POINT OF BEGINNING and enclosing 4.862 acres (211,772 square feet) of land, more or less.

EXHIBIT A

PLANNED DEVELOPMENT CONDITIONS

ZONING FILE Z 22-65

2801 and 2901 Arapaho Road

- I. Statement of Purpose:** The purpose of this Planned Development is to approve a Detail Plan for fifty-five (55) Single-Family Attached (Townhouse) and three (3) HOA lots.
- II. Statement of Effect:** This Planned Development shall not affect any regulation found in the Garland Development Code, Ordinance No. 6773, and Single-Family-Attached (SFA) District, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. General Regulations:** All regulations of the Single-Family-Attached(SFA) District as set forth in Chapter 2 of the Garland Development Code included by reference and shall apply, except as otherwise specified by this ordinance.
- IV. Development Plans:**
- Detail Plan: Development shall conform to the Site Plan and Landscape Plan set forth in Exhibit C, Exhibit D, and Exhibit E; however, in the event of conflict between the Detail Plan and the written conditions contained in this ordinance, the written conditions shall control.
- V. Specific Conditions:**
- A. Permitted Uses: Only Dwelling, Single-Family-Attached (SFA) units are permitted.
- B. Maximum Number of Lots: A total of fifty-five (55) single-family attached units shall be permitted.
- C. Minimum Lot Area: The minimum lot area shall be 1,500 square feet and as reflected in Exhibit C.
- D. Minimum Lot Depth: The minimum lot depth shall be sixty (60) feet and the lot depth is measured between the lot lines.
- E. Minimum Dwelling Size: The minimum dwelling size shall be 1,400 square feet.

- F. Alleys: Alleys shall not be required for this development
- G. Screening and Landscaping: Screening and landscaping shall be in conformance with the Landscape Plan set forth in Exhibit D.
- H. Open Space and Amenities: Open Space and Amenities shall be provided as shown in Exhibit D.
- I. Signage: All signs shall meet the Garland Development Code requirements.
- J. Elevations: Building Elevations shall be in general conformance with the elevations labeled Exhibit E.
- K. Homeowners Association: A Homeowners Association shall be incorporated, and each lot/homeowner shall be a mandatory member. The bylaws and/or declaration of this association shall establish a system of payment of dues; a system of enforcement of its rules and regulations; shall establish a clear and distinct definition of the responsibility of each member; shall obligate the association, through assessment of homeowners, to maintain all open space areas; and other provisions as deemed appropriate to secure a sound and stable association.
- L. Maintenance of Open/Common Space and Landscaped Areas, Entry Features, Access Easements, and Amenities in HOA Lots: Pursuant to the declaration for the Homeowner's Association, the Homeowners Association shall be obligated to repair and maintain all common areas of the community (including open/common space, landscaped areas, entry features, access easements, and amenities in HOA lots) and the bylaws and/or declaration for the association shall authorize the association to pay for the cost thereof through the assessment of homeowners within the community.
- M. Required Assessments and Reserves: The declaration for the Homeowner's Association shall provide that each homeowner owning a real property interest in a residential lot within the community land shall be obligated to pay assessments to the Homeowners Association to pay for the operation and common

expenses of the association, including, without limitation, the repair and maintenance of association common areas, including repairing, maintaining or replacing the association screening walls and perimeter fences. If the Homeowners Association fails to perform the above-described maintenance due to lack of funds, the Homeowners Association shall assess members on a pro rata basis for the cost of performing such maintenance and shall thereafter promptly and diligently perform the maintenance required. To help ensure that funds will be available to perform such maintenance, the Homeowners Association shall establish and maintain a reserve fund for the periodic maintenance, repair and replacement of association improvements, which shall include adequate reserves for the expected future costs to repair, maintain and replace association screening walls and perimeter fences.

- N. City's Right to Enforce: The declaration for the Homeowner's Association shall contain a provision stating that if the Homeowner's Association fails to maintain an association screening wall or perimeter fence in good repair, then the City may send written notice to the Homeowner's Association demanding the proper repair and maintenance of such screening wall or perimeter fence. If the Homeowner's Association has not repaired or replaced such screening wall or perimeter fence within 120 days after the date of the City's written notice to the Homeowner's Association, the City shall have the right, but not the obligation, to exercise all access easements and other rights of the Homeowners Association to repair and/or replace, as necessary, such screening wall or perimeter fence and to charge all reasonable costs incurred therefor to the Homeowners Association. The Homeowner's Association shall promptly pay such costs to the City upon completion of the repairs and/or replacement upon written demand by the City. If the reserves required by these conditions and the declaration are not sufficient to fully reimburse the City, the Homeowner's Association shall assess its members for the funds necessary to fully reimburse the City and to re-establish its required reserves. Such provision in the declaration for the Homeowner's Association shall further state that such provision may not be amended or modified without the prior written consent

of the City.

EXHIBIT C



Know what's below.
Call before you dig.

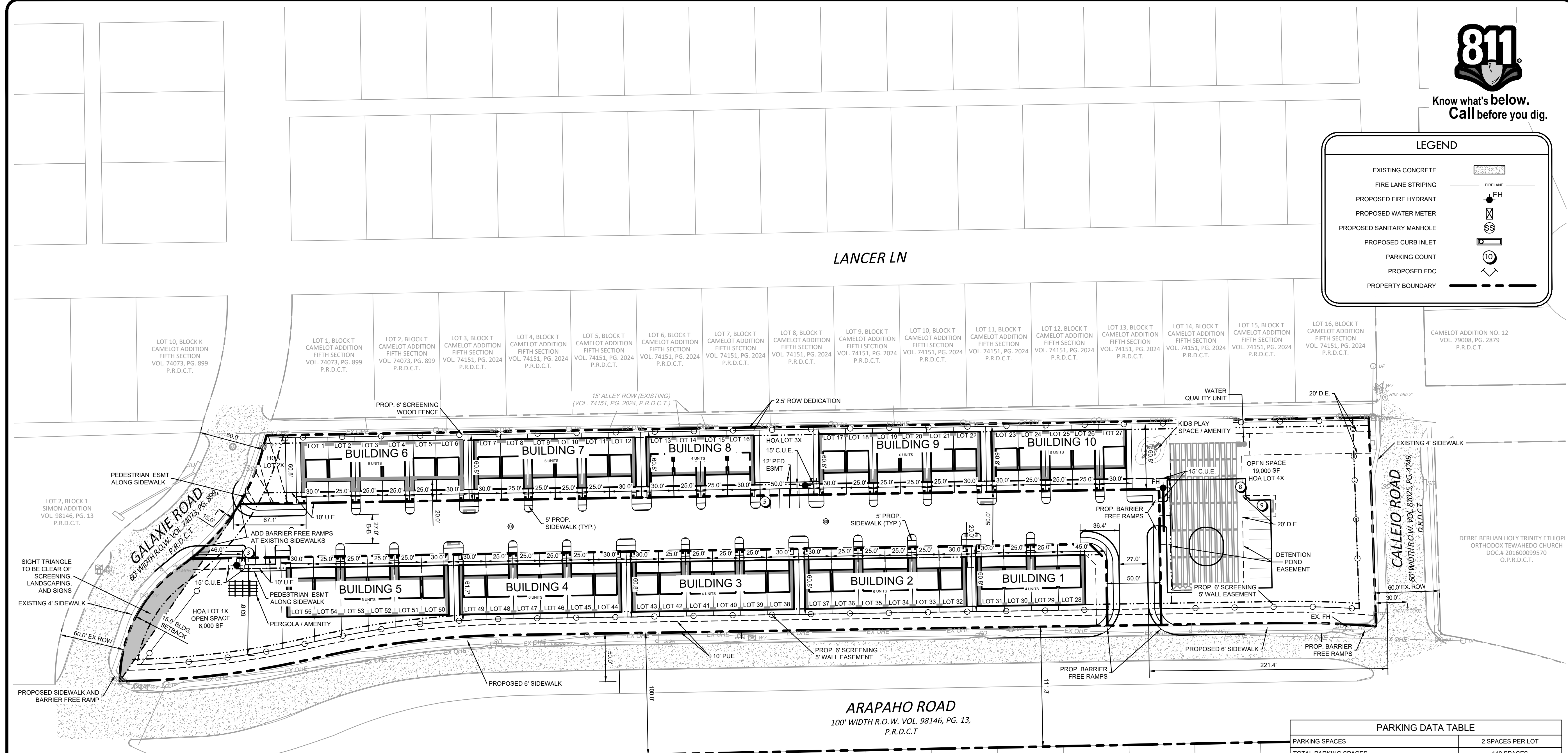
LEGEND

- EXISTING CONCRETE
- FIRE LANE STRIPING
- PROPOSED FIRE HYDRANT
- PROPOSED WATER METER
- PROPOSED SANITARY MANHOLE
- PROPOSED CURB INLET
- PARKING COUNT
- PROPOSED FDC
- PROPERTY BOUNDARY

PRELIMINARY FOR REVIEW ONLY THESE DOCUMENTS ARE FOR DESIGN REVIEW ONLY AND NOT INTENDED FOR THE PURPOSES OF CONSTRUCTION, BIDDING OR PERMIT. THEY WERE PREPARED BY, OR UNDER THE SUPERVISION OF:
SHAWN T. WALDO
P.E. # 138653
DATE: January 31, 2023



ARAPAHO TOWNHOME
CITY OF GARLAND
DALLAS COUNTY, TEXAS



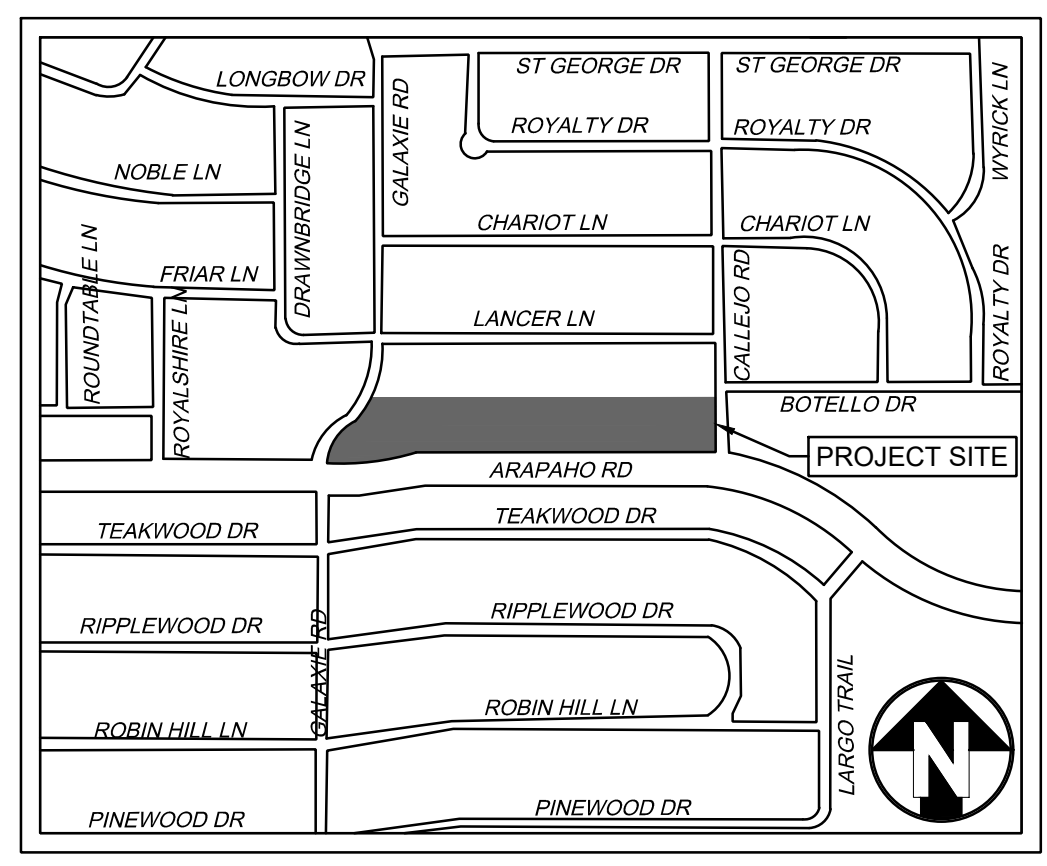
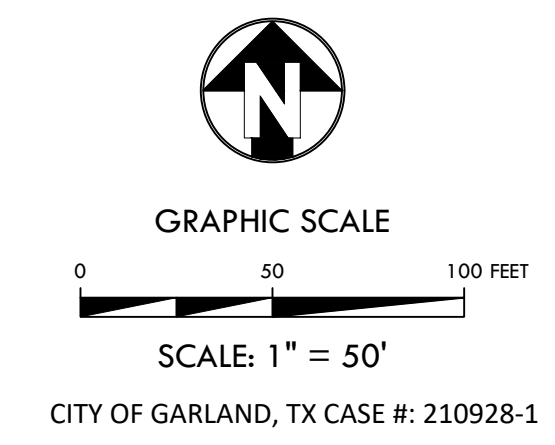
PARKING DATA TABLE

PARKING SPACES	2 SPACES PER LOT
TOTAL PARKING SPACES	110 SPACES
VISITOR PARKING	25 SPACES

SITE PLAN DATA TABLE

EXISTING ZONING	SF-A
PROPOSED ZONING	PD
BUILDING TYPE	ATTACHED TOWNHOME
TOTAL AREA OF SITE	212,005 SF / 4.87 AC
FLOOR AREA RATIO	25.6% / 0.256:1
TOTAL BUILDING COVERAGE	54,440 SF
OFF-STREET PARKING SPACES (GUEST PARKING)	25 SPACES
NET RESIDENTIAL DENSITY	11.9 UNITS / AC
MIN LOT SIZE	1,500SF
MIN LOT DEPTH	60'
MIN LOT WIDTH	25'
MAX BUILDING HEIGHT	36'-0" (3 STORY)
OPEN SPACE PROVIDED (SF%)	25,000 SF / 11.7%
MINIMUM YARD SETBACKS	
FRONT:	10' (20' GARAGE SETBACK)
REAR:	5'
SIDE:	0' & 5'
NUMBER OF TOWNHOME LOTS	55
NUMBER OF HOA LOTS	3
TREE REQUIREMENTS:	1 TREE PER EVERY 2,500 SF
FINISHED FLOOR ELEVATION TO BE BUILT 1 FT ABOVE TOP OF CURB	
PROPOSED ROADWAY TO BE CONSTRUCTED PER CITY REQUIREMENTS	
PARKING PAVING WITHIN THE ROW SHALL BE MAINTAINED BY THE HOA AND A LICENSED AGREEMENT WILL BE REQUIRED FROM ENGINEERING AT THE TIME OF CONSTRUCTION	

NOTE
IT SHALL BE THE DEVELOPERS RESPONSIBILITY TO BRING THEIR HALF OF CALLEJO ROAD UP TO CURRENT STANDARDS IN ACCORDANCE WITH GDC SECTIONS 3.44-3.47
STREET APPROACH PER CITY STANDARD DETAILS.
STREET SHALL HAVE MOUNTABLE CURBS.



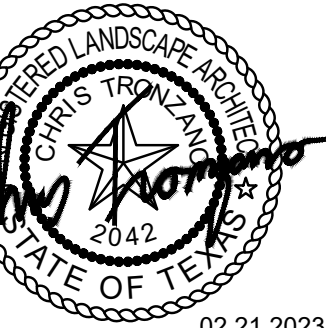
SITE PLAN
CITY PROJECT NO. 210928-1
ARAPAHO TOWNHOME
4.87 ACRES
SURVEY ADDITION NAME (INST. NO. 20190215010000670)
CITY OF GARLAND, DALLAS COUNTY, TEXAS
PREPARATION DATE: 11/07/2022

OWNER/APPLICANT FIRST INFRA LLC 1925 E BELTLINE ROAD CARROLLTON, TEXAS 75006 PH: 408-992-5558 CONTACT: BHARATH NANDIGAM	LANDSCAPE ARCHITECT LANDSCAPE ARCHITECT COMPANY LANDSCAPE ADDRESS LANDSCAPE PHONE NUMBER CONTACT: LA ARCHITECT, RLA
ENGINEER KIRKMAN ENGINEERING, LLC 5200 STATE HIGHWAY 121 COLLEYVILLE, TX 76034 PH: 817-488-4960 CONTACT: JOHN GARDNER, PE	SURVEYOR BARTON CHAPA SURVEYING 5200 STATE HIGHWAY 121 COLLEYVILLE, TX 76034 PH: 817-864-1957 CONTACT: JACK BARTON, RPLS

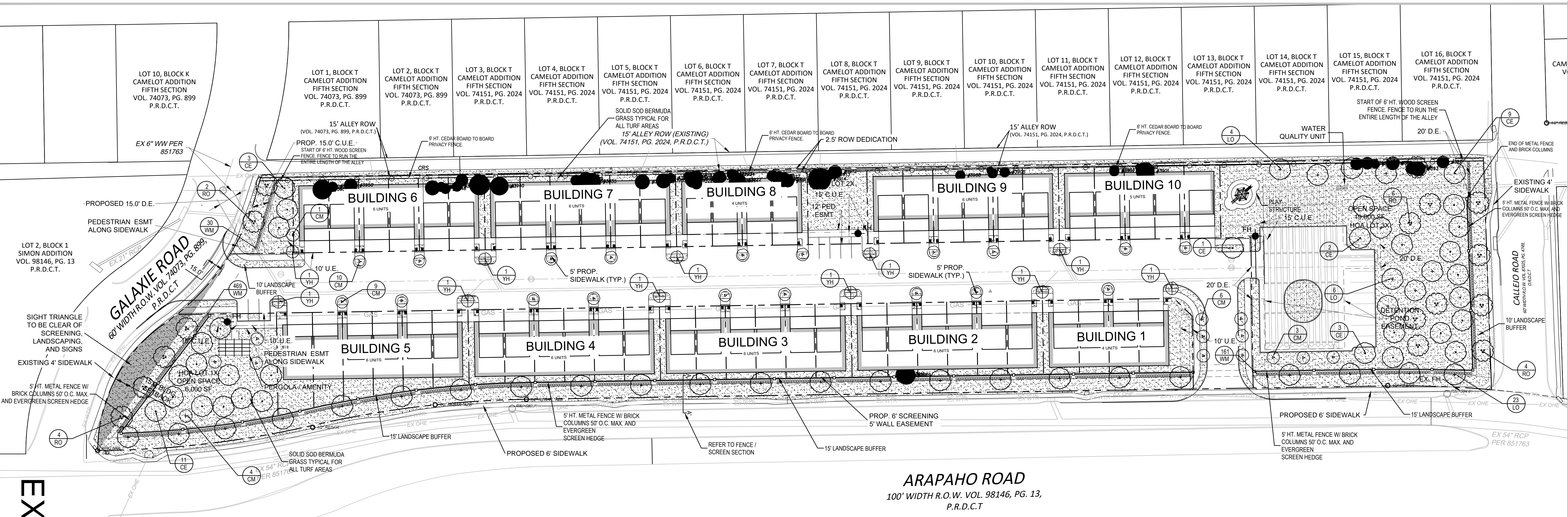
KIRKMAN ENGINEERING, LLC
5200 STATE HIGHWAY 121
COLLEYVILLE, TX 76034
TEXAS FIRM NO. 15874
JOB NUMBER: NCL21008
ISSUE DATE: DATE

SITE PLAN
SHEET:
V2.0

FILE PATH: K:\03\K12108_GarlandTownhome\Drawings\SitePlan\03_SitePlan_V2.dwg
PLOT DATE: 11/07/2022
PLOT TIME: 11:07:22 AM
PLOT BY: JGARDNER
PLOT DATE: 11/07/2022



02.21.2023



ARAPAHO ROAD
100' WIDTH R.O.W. VOL. 98146, PG. 13,
P.R.D.C.T

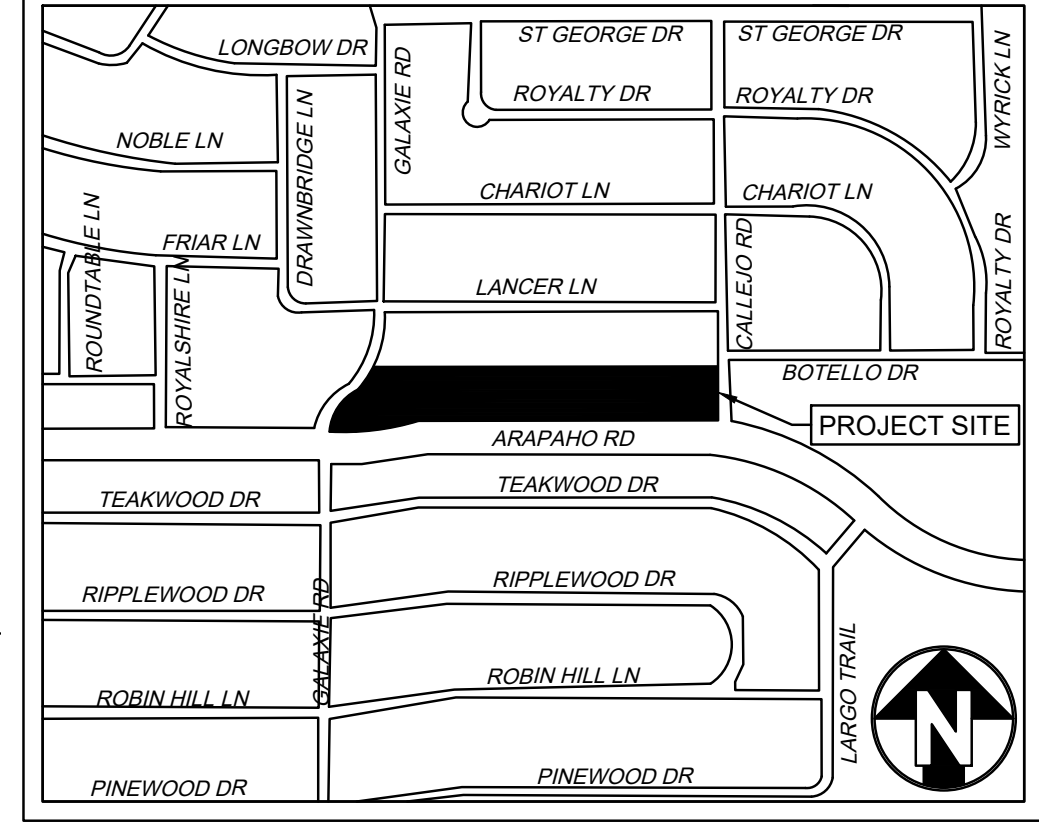
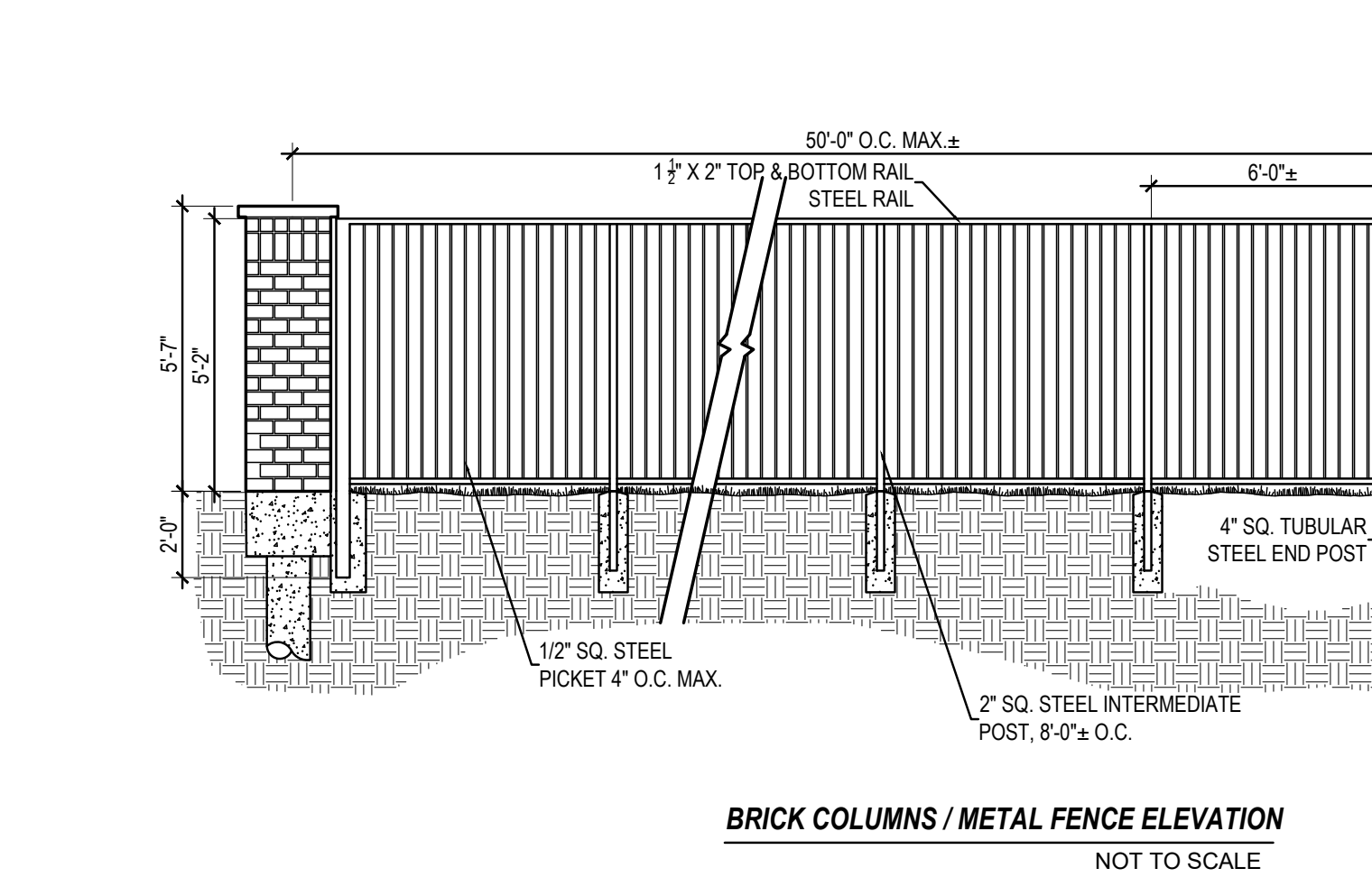
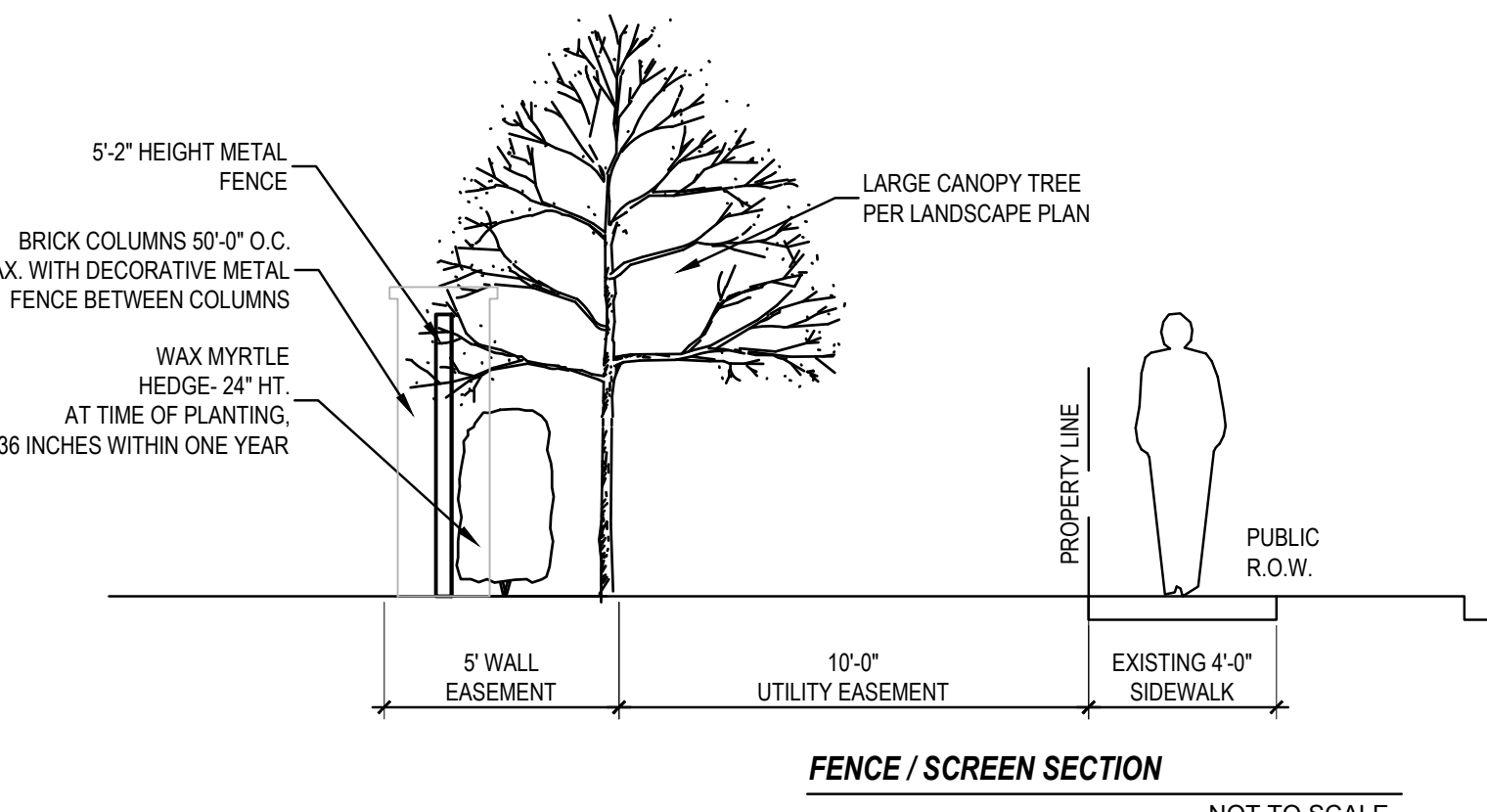
EXHIBIT

- LANDSCAPE NOTES**
- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
 - CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
 - CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
 - CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
 - ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
 - ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
 - ALL LAWN AREAS TO BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
 - ALL PLANTING AREAS THAT ARE TO RECEIVE MULCH SHALL BE MULCHED WITH 4 INCHES OF DOUBLE SHREDDED HARDWOOD MULCH.

- SOLID SOD NOTES**
- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN TURF AREAS.
 - ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
 - ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
 - CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
 - PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
 - ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
 - WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
 - CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO, MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
 - CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
 - IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS TO BE OVER-SEEDED WITH WINTER RYEGRASS, AT A RATE OF (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

- GENERAL LAWN NOTES**
- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
 - ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
 - ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
 - IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM AND SOIL, FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
 - ALL LAWN AREAS TO BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
 - ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION.
 - CONTRACTOR SHALL PROVIDE (1) ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.
- CITY NOTES**
- PUBLIC RIGHT OF WAY, EASEMENTS AND COMMON AREAS MUST BE STABILIZED WITH PERENNIAL VEGETATION COVER, FULLY ESTABLISHED WITH 100% COVERAGE, OR OTHER APPROVED STABILIZATION METHOD.
 - NO LANDSCAPING SUCH AS TREES, HEDGES, ABOVE AND UNDERGROUND STRUCTURES SHALL BE LOCATED WITHIN EXISTING OR PROPOSED UTILITY EASEMENTS AND RIGHT OF WITHOUT APPROVED CITY'S REAL PROPERTY IMPROVEMENT AUTHORIZATION FORM OF CITY'S LICENSE AGREEMENT.

- LANDSCAPE REQUIREMENTS**
- Total Landscape Area**
Requirement: Minimum of 40% of site to be devoted to landscape area. (Site Area: 212,005 s.f.)
- Required:** 84,707 s.f. (40%)
Provided: 88,142 s.f. (42%)
- Parking Area Landscaping**
Requirement: 5% of total parking area to be landscaped. Trees located at the ends of each parking row. All parking spots to be within 65 ft. of tree. 1 tree per (10) parking spots. (Parking Area: 3,902 s.f.) (Parking Spaces: 22 Spaces)
- Required:** 153 s.f. 2 trees
Provided: 1,080 s.f. 3 trees
- Townhome Development Landscaping**
Requirement: At least 1 tree for each unit. At least 50% of the tree must be large canopy trees. At least 1 tree per 2,500 sq of common area. (58 Units) (39,389 sq of common area)
- Required:** 58 trees 16 trees
Provided: 33 canopy trees & 27 ornamental trees 10 canopy trees & 6 ornamental trees
- Perimeter Screening**
North Property Line - Single-Family Adjacency
Requirement: A 8' wide landscape buffer with a 8' wood privacy fence and large canopy trees at a maximum 50' o.c. (North Property Line - 1,122 LF)
- Required:** 8' Wide Buffer Wood Privacy Fence 22 Canopy Trees
Provided: 8' Wide Buffer Wood Privacy Fence 0- Trees
- Arapaho Road**
Requirement: A 15' wide landscape buffer with a 6' metal fence and large canopy trees at a maximum 50' o.c. (Street Frontage - 1,169 LF)
- Required:** 15' Wide Buffer Metal fence w/ evergreen screen 23 Canopy Trees
Provided: 15' Wide Buffer Metal fence w/ evergreen screen 23 Canopy Trees
- Galaxie Road**
Requirement: A 10' wide landscape buffer with large canopy trees (1 per 50 LF) (Street Frontage - 275 LF)
- Required:** 10' Wide Buffer 6 Canopy Trees
Provided: 10' Wide Buffer 6 Canopy Trees
- Callojo Road**
Requirement: A 10' wide landscape buffer with large canopy trees (1 per 50 LF) (Street Frontage - 194 LF)
- Required:** 10' Wide Buffer 4 Canopy Trees
Provided: 10' Wide Buffer 4 Canopy Trees

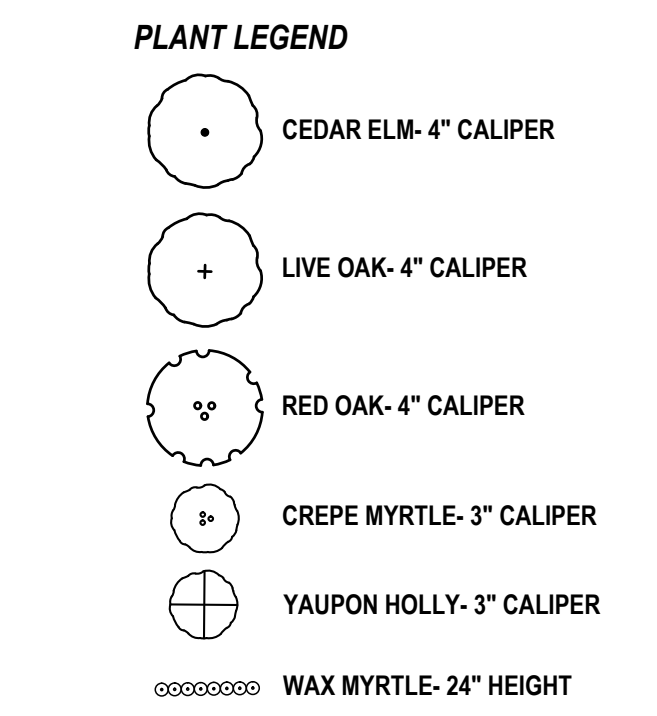


VICINITY MAP
N.T.S.

PLANT MATERIAL SCHEDULE

TREES	TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CE	30	Cedar Elm	<i>Ulmus crassifolia</i>	4" cal.	container, 12' ht. 5' spread, 5' clear straight trunk	
CM	33	Crepe Myrtle	<i>Lagerstroemia indica</i>	3" cal.	container, 10' ht. 4' spread, 3 or 5 canes	
LO	33	Live Oak	<i>Quercus virginiana</i>	4" cal.	container, 12' ht. 5' spread, 5' clear straight trunk	
RO	16	Red Oak	<i>Quercus rubra</i>	4" cal.	container, 12' ht. 5' spread, 5' clear straight trunk	
YH	11	Yaupon Holly	<i>Ilex vomitoria</i>	3" cal.	container, 10' ht. 4' spread, 3 or 5 canes	
SHRUBS	TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
WM	660	Wax Myrtle	<i>Myrica cerifera</i>	24" HT.	container, 24" ht., 20" spread	
GROUNDCOVERS	TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
			'419' Bermuda grass	<i>Cynodon dactylon</i> '419'	solid sod	solid sod refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.



ARAPAHO TOWNHOMES
ARAPAHO ROAD & GALAXIE ROAD
CITY OF GARLAND, TEXAS

ISSUE:
FOR APPROVAL 10.12.2022
CITY COMMENTS 11.09.2022
CITY COMMENTS 12.06.2022
CITY COMMENTS 01.10.2023
CITY COMMENTS 02.21.2023

DATE:
02.21.2023

SHEET NAME:
LANDSCAPE PLAN

SHEET NUMBER:

L.2

OWNER/APPLICANT
FIRST INFRA LLC
1925 E BELTLINE ROAD
CARROLLTON, TEXAS 75006
PH: 408-992-5558
CONTACT: BHARATH NANDIGAM

ENGINEER
KIRKMAN ENGINEERING, LLC
5200 STATE HIGHWAY 121
COLLEYVILLE, TX 76034
PH: 817-488-4960
CONTACT: JOHN GARDNER, PE

SURVEYOR
BARTON CHAPPA SURVEYING
5200 STATE HIGHWAY 121
COLLEYVILLE, TX 76034
PH: 817-864-1992
CONTACT: JACK BARTON, RPLS



1 FRONT ELEVATION
1/8" = 1'-0"



2 REAR ELEVATION
1/8" = 1'-0"



3 LEFT ELEVATION
1/8" = 1'-0"



4 RIGHT ELEVATION
1/8" = 1'-0"

BUILDINGS 6 & 9 ELEVATIONS

FRONT ELEVATION	SQ. FT.	PERCENT
STUCCO	840	18
BRICK	1,761	37
GLAZING	2,136	45
TOTAL	4,737	100

REAR ELEVATION	SQ. FT.	PERCENT
STUCCO	1,820	40
BRICK	1,879	42
GLAZING	786	18
TOTAL	4,485	100

RIGHT ELEVATION	SQ. FT.	PERCENT
STUCCO	1,013	67
BRICK	420	28
GLAZING	76	5
TOTAL	1,509	100

LEFT ELEVATION	SQ. FT.	PERCENT
STUCCO	1,013	67
BRICK	420	28
GLAZING	76	5
TOTAL	1,509	100

ARCHITECTURAL ELEMENTS:

1. ROOF GABLES WITH WINDOWS
2. SPLIT GARAGE DOORS
3. ROOF PITCHES OF 12:12

SITE PLAN
CITY PROJECT NO. SPXX-XXXX
ARAPAHO TOWNHOME
4.87 ACRES
LOT X, BLOCK X
SURVEY ADDITION NAME
(INST. NO. 2019021501000070)
CITY OF GARLAND, DALLAS
COUNTY, TEXAS
PREPARATION DATE: 05/20/2022

OWNER/APPLICANT
FIRST INFRA LLC
1825 E BELLINE ROAD
CARROLLTON, TEXAS 75006
PH: 409-992-5556
CONTACT: BHARATH NANDIGAM

LANDSCAPE ARCHITECT
LANDSCAPE ARCHITECT COMPANY
LANDSCAPE ADDRESS
LANDSCAPE ADDRESS
PH: LANDSCAPE PHONE NUMBER
CONTACT: LA ARCHITECT, P.L.A.

ENGINEER
KIRKMAN ENGINEERING, LLC
5200 STATE HIGHWAY 121
COLLEEVILLE, TX 75034
PH: 817-488-4900
CONTACT: JOHN GARDNER, PE

SURVEYOR
BARTON CHAPKA SURVEYING
5200 STATE HIGHWAY 121
COLLEEVILLE, TX 75034
PH: 817-894-1957
CONTACT: JACK BARTON, RPLS

TLS ARCHITECT LLC
1615 BARCLAY DRIVE
CARROLLTON, TEXAS 75007

JO ABAYA
214 692 0307
jabaya@tls.com

TERRY SULLIVAN
214 533 8999
tsullivan@tls.com

NOT FOR CONSTRUCTION

ARAPAHO TOWNHOMES
ARAPAHO ROAD
ARAPAHO ROAD, GARLAND, TEXAS 75044
FIRST INFRA LLC

REVISIONS

TAG	REVISION DATE	REVISION DESCRIPTION
1	0000-00-00	DESCRIPTION
2		
3		

SHEET CONTENT
Buildings 6 & 9 Elevations

PROJECT No.
Project Number
PROJECT DESCRIPTION

DESIGNED BY: jabaya
DRAWN BY: jabaya

DATE ISSUED: 02.21.2023

SHEET No. **A-401**

BUILDING PERMIT COMMENT



1 FRONT ELEVATION
1/8" = 1'-0"

BUILDINGS 1 & 8 ELEVATIONS

FRONT ELEVATION	SQ. FT.	PERCENT
STUCCO	1,200	70
BRICK	1,262	24
GLAZING	1,426	6
TOTAL	3,888	100

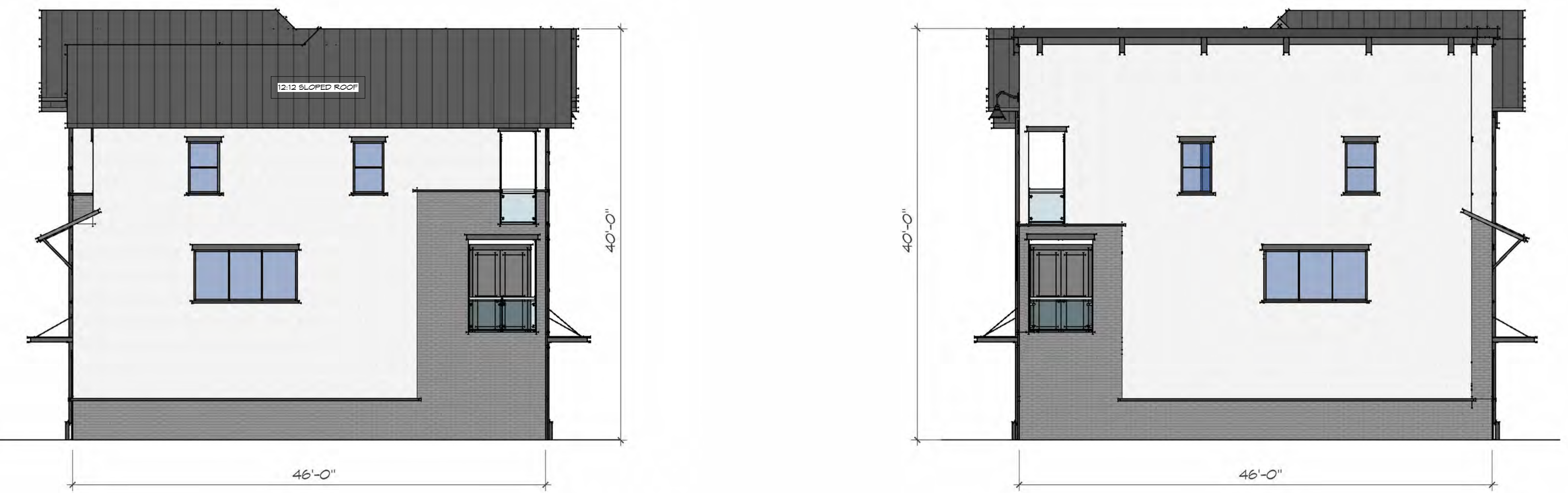
REAR ELEVATION	SQ. FT.	PERCENT
STUCCO	1,420	42
BRICK	1,388	40
GLAZING	608	18
TOTAL	3,416	100

RIGHT ELEVATION	SQ. FT.	PERCENT
STUCCO	1,007	72
BRICK	310	22
GLAZING	80	6
TOTAL	1,397	100

LEFT ELEVATION	SQ. FT.	PERCENT
STUCCO	987	70
BRICK	330	24
GLAZING	80	6
TOTAL	1,397	100

ARCHITECTURAL ELEMENTS:

1. ROOF GABLES WITH WINDOWS
2. SPLIT GARAGE DOORS
3. ROOF PITCHES OF 12:12



3 LEFT ELEVATION
1/8" = 1'-0"

4 RIGHT ELEVATION
1/8" = 1'-0"



2 REAR ELEVATION
1/8" = 1'-0"

EXHIBIT E

TLS ARCHITECT LLC
1615 BARCLAY DRIVE
CARROLLTON, TEXAS 75007

JO ABAYA
214 692 0307
jabaya@tls.com

TERRY SULLIVAN
214 533 8999
tsullivan@tls.com

NOT FOR CONSTRUCTION

ARAPAHO TOWNHOMES
ARAPAHO ROAD
ARAPAHO ROAD, GARLAND, TEXAS 75044
FIRST INFRA LLC

REVISIONS

TAG	REVISION DATE	REVISION DESCRIPTION
1	0000-00-00	DESCRIPTION
2		
3		

SHEET CONTENT
Buildings 1 & 8 Elevations

PROJECT No.
Project Number

PROJECT DESCRIPTION

DESIGNED BY:
jabaya

DRAWN BY:
jabaya

DATE ISSUED:
02.21.2023

SHEET No.
A-402

BUILDING PERMIT COMMENT

NOT FOR CONSTRUCTION

EXHIBIT E



1 FRONT ELEVATION
1/8" = 1'-0"



3 LEFT ELEVATION
1/8" = 1'-0"



4 RIGHT ELEVATION
1/8" = 1'-0"



2 REAR ELEVATION
1/8" = 1'-0"

BUILDINGS 2 & 4 ELEVATIONS

FRONT ELEVATION	SQ. FT.	PERCENT
STUCCO	1,194	26
BRICK	1,310	29
GLAZING	2,082	45
TOTAL	4,586	100

REAR ELEVATION	SQ. FT.	PERCENT
STUCCO	1,880	40
BRICK	1,846	40
GLAZING	930	20
TOTAL	4,656	100

RIGHT ELEVATION	SQ. FT.	PERCENT
STUCCO	1,282	81
BRICK	220	14
GLAZING	80	5
TOTAL	1,582	100

LEFT ELEVATION	SQ. FT.	PERCENT
STUCCO	1,282	81
BRICK	220	14
GLAZING	80	5
TOTAL	1,582	100

ARCHITECTURAL ELEMENTS:

1. ROOF GABLES WITH WINDOWS
2. SPLIT GARAGE DOORS
3. ROOF PITCHES OF 12:12

TLS ARCHITECT LLC
1615 BARCLAY DRIVE
CARROLLTON, TEXAS 75007

TERRY SULLIVAN
214.533.8899
tsullivan@tls.com

JO ABAYA
214.662.0307
jabaya@tls.com

NOT FOR CONSTRUCTION

ARAPAHO TOWNHOMES
ARAPAHO ROAD
ARAPAHO ROAD, GARLAND, TEXAS 75044

FIRST INFRA LLC

REVISIONS

TAG	REVISION DATE	REVISION DESCRIPTION
1	0000-00-00	DESCRIPTION
2		
3		

SHEET CONTENT
Buildings 2 & 4 Elevations

PROJECT No.
Project Number

PROJECT DESCRIPTION

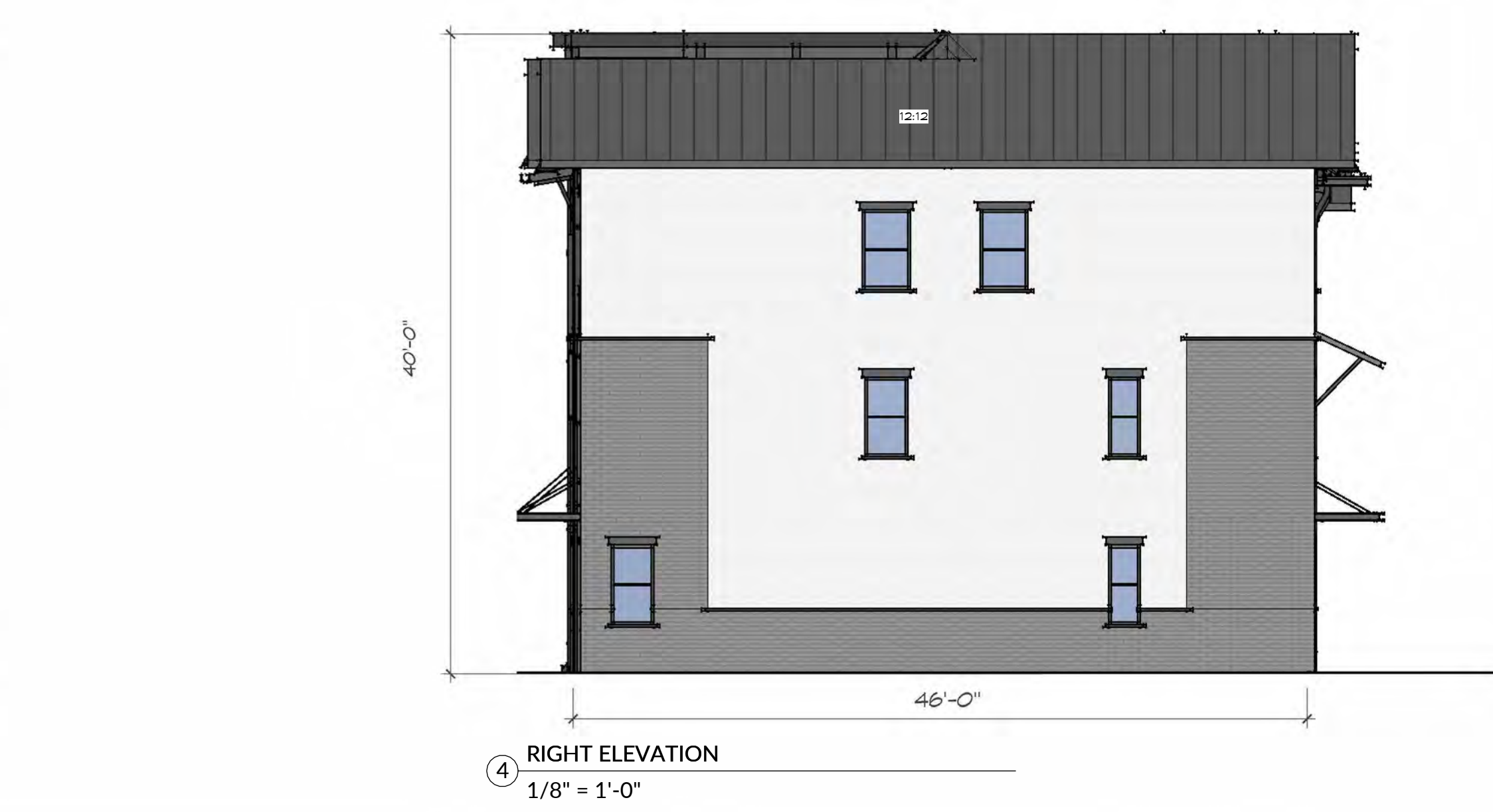
DESIGNED BY: jabaya
DRAWN BY: jabaya

DATE ISSUED: 02.21.2023

SHEET No. **A-403**

BUILDING PERMIT COMMENT

EXHIBIT E



BUILDINGS 3, 5 & 7 ELEVATIONS

FRONT ELEVATION	SQ. FT.	PERCENT
STUCCO	1,451	28
BRICK	1,610	30
GLAZING	2,184	42
TOTAL	5,245	100

REAR ELEVATION	SQ. FT.	PERCENT
STUCCO	2,050	44
BRICK	1,820	39
GLAZING	786	17
TOTAL	4,656	100

RIGHT ELEVATION	SQ. FT.	PERCENT
STUCCO	985	65
BRICK	450	30
GLAZING	76	5
TOTAL	1,511	100

LEFT ELEVATION	SQ. FT.	PERCENT
STUCCO	985	65
BRICK	450	30
GLAZING	76	5
TOTAL	1,511	100

ARCHITECTURAL ELEMENTS:

1. ROOF GABLES WITH WINDOWS
2. SPLIT GARAGE DOORS
3. ROOF PITCHES OF 12:12

TLS ARCHITECT LLC
 1615 BARCLAY DRIVE
 CARROLLTON, TEXAS 75007

TERRY SULLIVAN
 214.533.8899
 tsullivan@tls.com

JO ABAYA
 214.682.0307
 jabaya@tls.com

NOT FOR CONSTRUCTION

ARAPAHO TOWNHOMES
 ARAPAHO ROAD
 ARAPAHO ROAD, GARLAND, TEXAS 75044

FIRST INFRA LLC

REVISIONS

TAG	REVISION DATE	REVISION DESCRIPTION
1	0000-00-00	DESCRIPTION

SHEET CONTENT
Buildings 3, 5 & 7 Elevations

PROJECT No.
Project Number
 PROJECT DESCRIPTION

DESIGNED BY:
 jabaya

DRAWN BY:
 jabaya

DATE ISSUED:
 02.21.2023

SHEET No.
A-404

BUILDING PERMIT COMMENT

EXHIBIT E



1 FRONT ELEVATION
1/8" = 1'-0"



3 LEFT ELEVATION
1/8" = 1'-0"

4 RIGHT ELEVATION
1/8" = 1'-0"



2 REAR ELEVATION
1/8" = 1'-0"

BUILDINGS 10 ELEVATION

FRONT ELEVATION	SQ. FT.	PERCENT
STUCCO	1,276	29
BRICK	1,310	30
GLAZING	1,802	41
TOTAL	4,388	100

REAR ELEVATION	SQ. FT.	PERCENT
STUCCO	1,456	44
BRICK	1,150	35
GLAZING	680	21
TOTAL	3,286	100

RIGHT ELEVATION	SQ. FT.	PERCENT
STUCCO	1,059	75
BRICK	270	19
GLAZING	80	6
TOTAL	1,409	100

LEFT ELEVATION	SQ. FT.	PERCENT
STUCCO	1,059	75
BRICK	270	19
GLAZING	80	6
TOTAL	1,409	100

ARCHITECTURAL ELEMENTS:

1. ROOF GABLES WITH WINDOWS
2. SPLIT GARAGE DOORS
3. ROOF PITCHES OF 12:12

TLS ARCHITECT LLC
1616 BARCLAY DRIVE
CARROLLTON, TEXAS 75007

TERRY SULLIVAN
214.533.8899
tsullivan@tlsa.com

JO ABAYA
214.662.0307
jabaya@tlsa.com

NOT FOR CONSTRUCTION

ARAPAHO TOWNHOMES
ARAPAHO ROAD
ARAPAHO ROAD, GARLAND, TEXAS 75044
FIRST INFRA LLC

REVISIONS

TAG	REVISION DATE	REVISION DESCRIPTION
1	0000-00-00	DESCRIPTION
2		
3		

SHEET CONTENT
Building 10 Elevations

PROJECT No.
Project Number
PROJECT DESCRIPTION

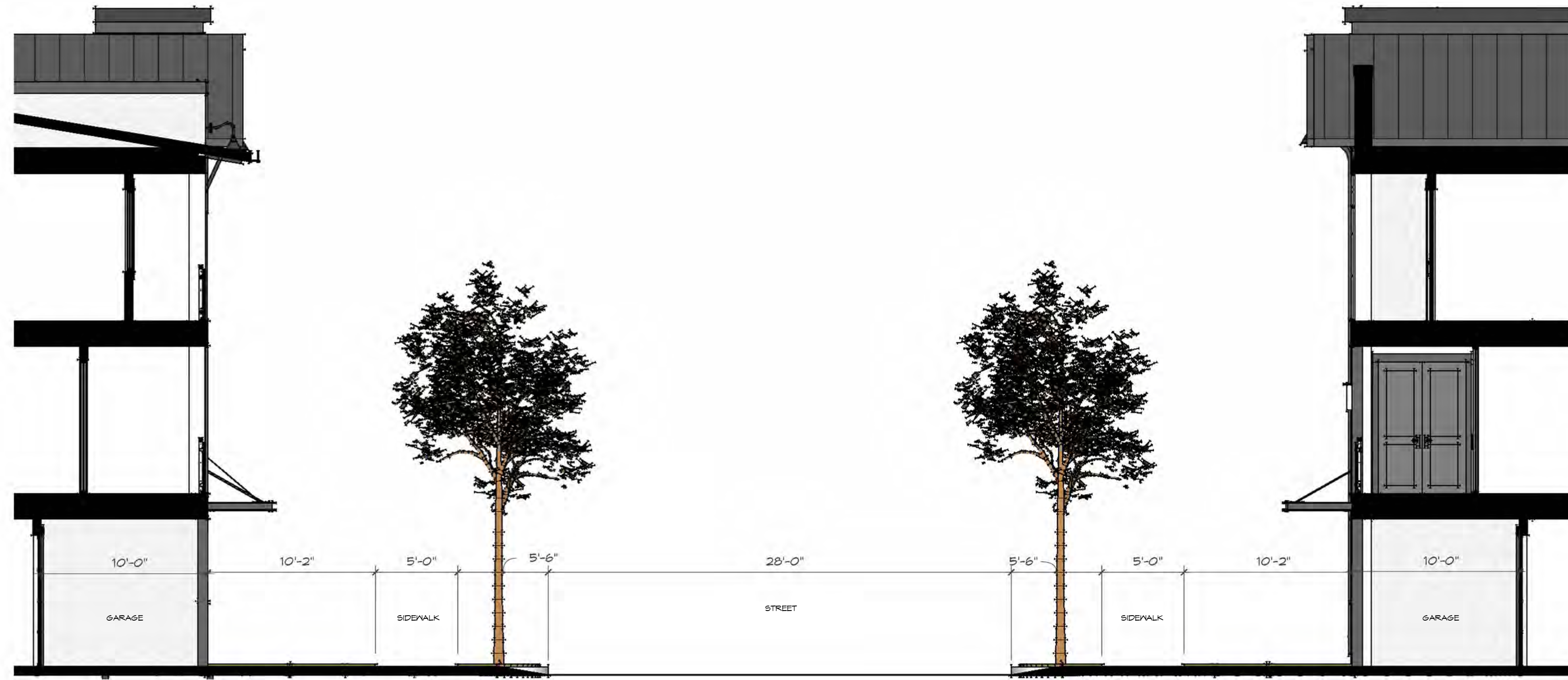
DESIGNED BY: jcabaya
DRAWN BY: jabaya

DATE ISSUED: 02.21.2023

SHEET No. **A-405**

BUILDING PERMIT COMMENT

EXHIBIT E



① TOWNHOME CROSS-SECTION
3/16" = 1'-0"

OWNER/APPLICANT		LANDSCAPE ARCHITECT	
FIRST INFRA LLC 1925 E BELTLINE ROAD CARROLLTON, TEXAS 75006 PH: 408-992-5555 CONTACT: BHARATH NANDIGAM		LANDSCAPE ARCHITECT COMPANY LANDSCAPE ADDRESS LANDSCAPE ADDRESS PH: LANDSCAPE PHONE NUMBER CONTACT: LA ARCHITECT, RLA	
ENGINEER		SURVEYOR	
KIRKMAN ENGINEERING, LLC 5200 STATE HIGHWAY 121 COLLEYVILLE, TX 75034 PH: 817-488-4920 CONTACT: JOHN GARDNER, PE		BARTON CHAPA SURVEYING 5200 STATE HIGHWAY 121 COLLEYVILLE, TX 75034 PH: 817-594-1927 CONTACT: JACK BARTON, RPLS	

TLS ARCHITECT LLC
1615 BARCLAY DRIVE
CARROLLTON, TEXAS 75007

TERRY SULLIVAN
214.533.8899
tsullivan@tls.com

JO ABAYA
214.692.0307
jabaya@tls.com

NOT FOR CONSTRUCTION

ARAPAHO TOWNHOMES
ARAPAHO ROAD
ARAPAHO ROAD, GARLAND, TEXAS 75044
FIRST INFRA LLC

REVISIONS		
TAG	REVISION DATE	REVISION DESCRIPTION
1	0000-00-00	DESCRIPTION
2		
3		

SHEET CONTENT
Townhome Cross Section

PROJECT No.
Project Number
PROJECT DESCRIPTION

DESIGNED BY: jcabaya
DRAWN BY: jcabaya
DATE ISSUED: 02.21.2023

SHEET No. **A-500**

BUILDING PERMIT COMMENT



**GARLAND
CITY COUNCIL ITEM SUMMARY SHEET**

City Council Regular Session Agenda

3. b.

Meeting Date: 03/21/2023

Item Title: Z 22-78 Quetzal Event Center (District 3)

Submitted By: Will Guerin, Planning Director

Summary of Request/Problem

Zoning Ordinance Z 22-78 Quetzal Event Center

Recommendation/Action Requested and Justification

Consider adoption of the attached ordinance.

Attachments

Z 22-78 Ordinance

Z 22-78 Exhibit A

Z 22-78 Exhibit B

Z 22-78 Exhibit C

ORDINANCE NO. _____

AN ORDINANCE AMENDING THE GARLAND DEVELOPMENT CODE OF THE CITY OF GARLAND, TEXAS, BY APPROVING 1) AN AMENDED SPECIFIC USE PROVISION (SUP) FOR A RECEPTION FACILITY ON A PROPERTY ZONED PLANNED DEVELOPMENT (PD) DISTRICT 20-40 FOR COMMUNITY OFFICE USES AND 2) A DETAIL PLAN FOR A RECEPTION FACILITY ON A 2.413-ACRE TRACT OF LAND LOCATED AT 354 EAST INTERSTATE HIGHWAY 30; PROVIDING FOR CONDITIONS, RESTRICTIONS, AND REGULATIONS; PROVIDING A PENALTY UNDER THE PROVISIONS OF SEC. 10.05 OF THE CODE OF ORDINANCES OF THE CITY OF GARLAND, TEXAS; PROVIDING A NOTICE OF CONDITIONS OF COMPLIANCE CLAUSE; A SAVINGS CLAUSE AND A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, at its regular meeting held on the 13th day of February, 2023, the Plan Commission did consider and make recommendations on a certain request for approval of 1) an amended Specific Use Provision (SUP) for a Reception Facility on a property zoned Planned Development (PD) District 20-40 for Community Office Uses and 2) a Detail Plan for a Reception Facility by **Quetzal Event Center**; and

WHEREAS, the City Council, after determining all legal requirements of notice and hearing have been met, has further determined the following amendment to the Garland Development Code would provide for and would be in the best interest of the health, safety, morals, and general welfare:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GARLAND, TEXAS, THAT:

Section 1

The Garland Development Code is hereby amended by approving 1) an amended Specific Use Provision (SUP) for a Reception Facility on a property zoned Planned Development (PD) District 20-40 for Community Office Uses and 2) a Detail Plan for a Reception Facility on a 2.413-acre tract of land located at 354 East Interstate Highway 30 and being more particularly described in Exhibit A, attached hereto and made a part hereof.

Section 2

Development shall be in conformance with the conditions, restrictions, and regulations set forth in Exhibit B, attached hereto and made a part hereof.

Section 3

That a violation of this Ordinance shall be a misdemeanor punishable in accordance with Section 10.05 of the Code of Ordinances, City of Garland, Texas.

Section 4

NOTICE OF CONDITIONS OF COMPLIANCE: Notwithstanding the provisions of any other ordinance of the City, the full, complete, and continuing compliance with all the conditions, restrictions, and regulations of Exhibit B of this Ordinance is a condition to the issuance and continuation of any permit, approval, authorization or consent by the City, including without limitation the issuance or continuation of any certificate of occupancy for any building or structure located on any portion of the property described in Exhibit A. All promises, representations, obligations and undertakings made or assumed by the applicant to the City Council at any public presentation in connection with the granting of this Ordinance are hereby incorporated into and made a part of this Ordinance as if expressly set forth herein at length. No substantial deviation from any material portion of the conditions, restrictions, and regulations contained within Exhibit B of this Ordinance are allowed except as may be provided by the City Council after a public hearing.

Section 5

That the Garland Development Code, as amended, shall be and remain in full force and effect save and except as amended by this Ordinance.

ZONING FILE NO. Z 22-78

Section 6

That the terms and provisions of this Ordinance are severable and are governed by Sec. 10.06 of the Code of Ordinances of the City of Garland, Texas.

Section 7

That this Ordinance shall be and become effective immediately upon and after its passage and approval.

PASSED AND APPROVED this _____ day of _____, 2023.

CITY OF GARLAND, TEXAS

By:

Mayor

ATTEST:

City Secretary

Published:

ZONING FILE NO. Z 22-78

EXHIBIT A

LEGAL DESCRIPTION

Zoning File Z 22-78

BEING Lot 2 and Block 1, of McKinney and Williams Survey, Abstract Interstate Addition #2 City of Garland, Dallas County, Texas, according to the plat thereof recorded in Volume 83496, Page 288, of the Map Records of Dallas County, Texas.

EXHIBIT A

EXHIBIT B

PLANNED DEVELOPMENT CONDITIONS

ZONING FILE Z 22-78

354 East Interstate Highway 30

- I. **Statement of Purpose:** The purpose of this Planned Development (PD) District to allow a Reception Facility Use.
- II. **Statement of Effect:** This Planned Development (PD) District shall not affect any regulation found in the Garland Development Code, Ordinance No. 6773, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. **General Regulations:** All regulations of the Planned Development (PD) District 11-26 and Community Office (CO) District as set forth in Chapter 2 of the Garland Development Code, Ordinance 6773, are included by reference and shall apply, except as otherwise specified by this ordinance.
- IV. **Development Plan:**
 - A. Detail Plan: Development is to be in general conformance with the approved site plan labeled Exhibit C. In the event of conflict between the conditions and development plans, the conditions listed below are to apply.
- V. **Specific Conditions:**
 - A. Site Layout: The Reception Facility operation shall be in conformance with the site layout in Exhibit C.
 - B. Exterior Lighting: Any down-lighting installed in the parking lot shall be installed so as not to be obstructive to abutting development.

SPECIFIC USE PROVISION CONDITIONS

ZONING FILE Z 22-78

354 East Interstate Highway 30

- I. Statement of Purpose:** The purpose of this Specific Use Provision is to allow a Reception Facility.
- II. Statement of Effect:** This Specific Use Provision shall not affect any regulation found in Planned Development (PD) District 11-26 and the Garland Development Code, Ordinance No. 6773, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. General Regulations:** All regulations of the Planned Development (PD) District 11-26 and the Community Office (CO) District as set forth in Chapter 2 of the Garland Development Code shall apply, except as otherwise specified in this ordinance.
- IV. Abandonment:** In the event the land use for which this Specific Use Provision was granted ("Land Use") is abandoned, the SUP and all rights to the Land Use are automatically terminated, and the premises must be used in conformance with the PD, GDC, federal, and state law.

For the purposes of this Specific Use Provision, Abandonment is any of the following acts:

- A. A failure to apply for a site or building permit on the premises, where applicable, within 180 days of the effective date of this SUP;
- B. A failure to obtain a certificate of occupancy for the Land use within 730 days of the effective date of this SUP;
- C. A failure to commence operating the Land Use on the premises within 90 days of receiving a final certificate of occupancy for the Land Use;
- D. Discontinuance of the Land Use for a period of 180 days;
- E. Applying for, and receiving, a new Certificate of Occupancy for a use other than the Land Use; or

F. Operating a use on the premises, whether as a primary or secondary use, that is not allowed within the PD District, by the GDC, or by state or federal law.

The termination of utilities on the premises for a period of 180 calendar days is prima facie evidence of abandonment and the owner shall have the burden to prove that the Land Use has not been abandoned.

V. Specific Conditions:

A. Hours of Operation: The Reception Facility shall be open for events only as follows: Monday - Sunday 8:00 a.m. to 2:00 a.m.

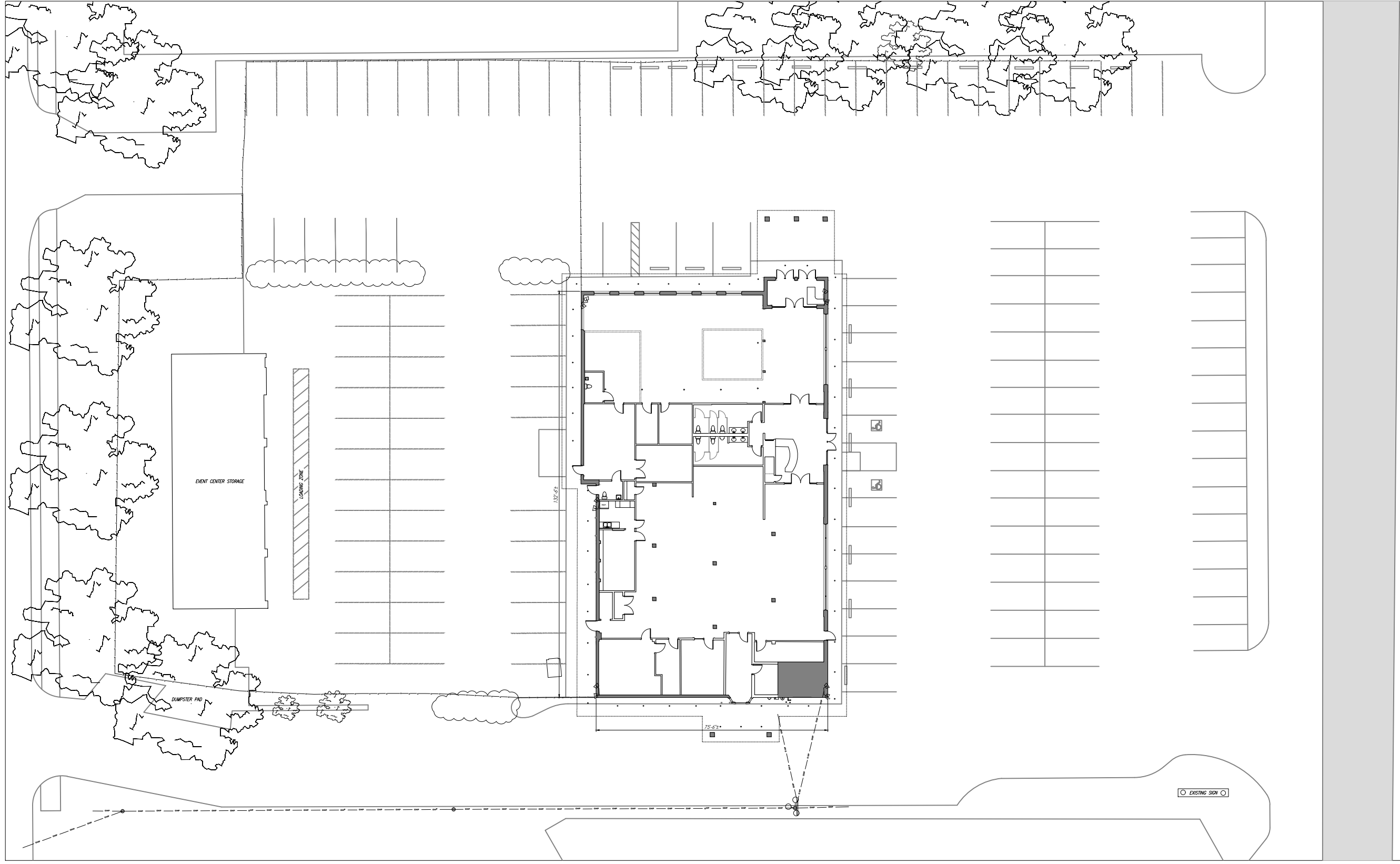
B. Security: The Reception Facility must provide security at every event where alcoholic beverages are provided or served, and also for any events occurring after 6:00 p.m. Security must be by a qualified person(s) who is authorized to provide private security under Chapter 1702 of the Texas Occupations Code.

C. Noise: The Reception Facility shall comply with the City of Garland Noise Control Ordinance.

D. Loitering, Outside Activities: Prolonged congregating or loitering of event attendees or participants outside the reception facility is prohibited. Outside activities, if any, must be in compliance with the City's noise regulations as set forth in the City Code.

E. Litter & Debris: Any litter or debris left on the premises must be removed immediately following the event. The owner of the facility is responsible for removal of all litter and debris.

F. SUP Time Period: The Specific Use Provision for Reception Facility shall be in effect for a period of ten years (10) years.



AREA DISTRIBUTION	
EXISTING BUILDING, MAIN	9522 SQ. FT.
EXISTING BUILDING, WAREHOUSE	2573 SQ. FT.
TOTAL FLOOR AREA	12095 SQ. FT.
TOTAL LOT AREA	105147 SQ. FT.
TOTAL BUILDING COVERAGE	11.5%

BUILDING DIMENSIONS	
BUILDING MAXIMUM HEIGHT	25'-1"
EAST CANOPY DIMENSION	14'-6"L, 25'-1"W, 15'-0" H
CLEARANCE	10'-6"
WEST CANOPY DIMENSION	20'-7.5"L, 25'-1"W, 15'-0" H
CLEARANCE	10'-6"

PARKING SPACE	
PARKING EXISTING	105
PARKING REQUIRED	120
PARKING PROVIDED	157
LOADING ZONE PROVIDED	52

PARKING ANALYSIS				
PROPOSED USE	RATIO	RATIO PARKING REQUIRED	PARKING REQUIRED	PARKING EXISTING
RECEPTION FACILITY	12095 SQ FT	1/100 SQ FT	120	105

PROPOSED ADDITIONAL PARKING: 52
TOTAL PARKING: 157

v3 210115

THIS DOCUMENT CONTAINS A POINT-IN-TIME REPRESENTATION OF SITE CONDITIONS AS OF THE DATE AND TIME THAT THE SCAN WAS COMPLETE. CONDITIONS MAY HAVE CHANGED SINCE THAT TIME. GMR DOES NOT REPRESENT OR WARRANT THE ACCURACY OF THE SITE CONDITIONS AFTER THE DATE AND TIME THAT THE SCAN WAS COMPLETED. THIS DOCUMENT IS NOT TO BE USED BY ANYONE OTHER THAN THE LAWFUL OWNER EXCEPT WITH WRITTEN PERMISSION FROM THE LAWFUL OWNER. THIS DOCUMENT (EXCEPTING REGISTERED TRADEMARKS) SHALL REMAIN THE PROPERTY OF THE LAWFUL OWNER AND GMR.



**354 E. Interstate 30
Garland, TX 75043**

OVERALL SITE PLAN

SCALE: 1"=30'-0"

DEVELOPER BY:	DJC	PLANS PREPARED BY:	TLS
PLANS REVIEWED BY:	DJC	PLANS APPROVED BY:	KRM



**GARLAND
CITY COUNCIL ITEM SUMMARY SHEET**

City Council Regular Session Agenda

3. c.

Meeting Date: 03/21/2023

Item Title: Z 22-79 Clay Cristy-ClayMoore Engineering (District 8)

Submitted By: Will Guerin, Planning Director

Summary of Request/Problem

Zoning Ordinance Z 22-79 Clay Cristy-ClayMoore Engineering

Recommendation/Action Requested and Justification

Consider adoption of the attached ordinance.

Attachments

Z 22-79 Ordinance

Z 22-79 Exhibit A

Z 22-79 Exhibit B

Z 22-79 Exhibits C-E

ORDINANCE NO. _____

AN ORDINANCE AMENDING THE GARLAND DEVELOPMENT CODE OF THE CITY OF GARLAND, TEXAS, BY APPROVING A SPECIFIC USE PROVISION FOR AN ADDITIONAL DRIVE-THROUGH AT AN EXISTING RESTAURANT, DRIVE-THROUGH ON A 0.875-ACRE TRACT OF LAND LOCATED AT 119 EAST BUCKINGHAM ROAD AND ZONED INDUSTRIAL (IN) DISTRICT; PROVIDING FOR CONDITIONS, RESTRICTIONS, AND REGULATIONS; PROVIDING A PENALTY UNDER THE PROVISIONS OF SEC. 10.05 OF THE CODE OF ORDINANCES OF THE CITY OF GARLAND, TEXAS; PROVIDING A NOTICE OF CONDITIONS OF COMPLIANCE CLAUSE; PROVIDING A SAVINGS CLAUSE AND A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, at its regular meeting held on the 13th day of February, 2023, the Plan Commission did consider and make recommendations on a certain request for a Specific Use Provision for an additional Drive-Through at an existing Restaurant, Drive-Through by **Clay Cristy-ClayMoore Engineering**; and

WHEREAS, The City Council, after determining all legal requirements of notice and hearing have been met, has further determined the following amendment to the zoning laws would provide for and would be in the best interest of the health, safety, morals, and general welfare:

Now, therefore, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GARLAND, TEXAS, that:

Section 1

The Garland Development Code is hereby amended by approving a Specific Use Provision for an additional Drive-Through at an existing Restaurant, Drive-Through and being more particularly described in Exhibit A, attached hereto and made a part hereof.

Section 2

Development shall be in conformance with the conditions, restrictions, and regulations set forth in the Garland Development Code.

Section 3

That a violation of this Ordinance shall be a misdemeanor punishable in accordance with Section 10.05 of the Code of Ordinances, City of Garland, Texas.

Section 4

NOTICE OF CONDITIONS OF COMPLIANCE: Notwithstanding the provisions of any other ordinance of the City, the full, complete, and continuing compliance with all the conditions, restrictions, and regulations of this Ordinance is a condition to the issuance and continuation of any permit, approval, authorization or consent by the City, including without limitation the issuance or continuation of any certificate of occupancy for any building or structure located on any portion of the property described in Exhibit A. All promises, representations, obligations and undertakings made or assumed by the applicant to the City Council at any public presentation in connection with the granting of this Ordinance are hereby incorporated into and made a part of this Ordinance as if expressly set forth herein at length. No substantial deviation from any material portion of the conditions, restrictions, and regulations contained within this Ordinance are allowed except as may be provided by the City Council after a public hearing.

Section 5

That the Garland Development Code, as amended, shall be and remain in full force and effect save and except as amended by this Ordinance.

Section 6

That the terms and provisions of this Ordinance are severable and are governed by Sec. 10.06 of the Code of Ordinances of the City of Garland, Texas.

Section 7

That this Ordinance shall be and become effective immediately upon and after its passage and approval.

FILE NO. Z 22-79

PASSED AND APPROVED this _____ day of _____,
2023.

THE CITY OF GARLAND, TEXAS

By:

Mayor

ATTEST:

City Secretary

Published:

EXHIBIT A

LEGAL DESCRIPTION

Zoning File Z 22-79

Beginning at a 1/2 inch rebar found at the southwest corner of Lot 3 of D & P Subdivision recorded in Volume 405, Page 1132, D.R.D.C.T., according to the said plat of D & P Subdivision the said southwest corner is shown to be on the north right of way of Buckingham Road which is called to be a 100-foot right of way

THENCE NORTH 00 degrees 50 minutes 24 seconds WEST, with the west line of said Lot 3, a distance of 196.22 feet to a 1/2 inch rebar found at the northwest corner of the tract described as Parcel I in the deed to McDonald's Corporation, a Delaware corporation recorded in Volume 84176, Page 3469, D.R.D.C.T.;

THENCE NORTH 89 degrees 09 minutes 36 seconds EAST, with the north line of said Parcel I, passing at a distance 99.79 feet the east line of Lot 3, and continuing on said course, in all, a total distance of 200.42 feet to a 1/2 inch rebar stamped "JPH Land Surveying" set at the northeast corner of Parcel I;

THENCE SOUTH 00 degrees 50 minutes 36 seconds EAST, with the west line of Lot 4 of said D & P Subdivision, a distance of 150.84 feet to a mag nail with a metal washer stamped "JPH LAND SURVEYING" set at the most easterly southeast corner of Parcel I;

THENCE SOUTH 86 degrees 11 minutes 36 seconds WEST, through the interior of Lot 4 and with a south line of Parcel I, a distance of 5.00 feet to a 1/2 inch rebar stamped "JPH Land Surveying" set at a reentrant corner of Parcel I;

THENCE SOUTH 00 degrees 50 minutes 36 seconds EAST, continuing through the interior of Lot 4, and with an east line of Parcel I, a distance of 35.00 feet to a 1/2 inch rebar stamped "JPH Land Surveying" set at the most southerly southeast corner of Parcel I;

ZONING FILE NUMBER Z 22-79

THENCE SOUTH 86 degrees 11 minutes 36 seconds WEST, with the south line of Lot 4 and Lot 3 (called to be on the north right of way of Buckingham Road), a distance of 195.70 feet returning to the Point of Beginning and enclosing 0.875 acres (±38,113 square feet).

EXHIBIT A

SPECIFIC USE PROVISION CONDITIONS

ZONING FILE Z 22-79

119 East Buckingham Road

- I. Statement of Purpose:** The purpose of this Specific Use Provision is to allow an additional drive-through at an existing Restaurant, Drive-Through.
- II. Statement of Effect:** This Specific Use Provision shall not affect any regulation found in the Garland Development Code, Ordinance No. 6773, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. General Regulations:** All regulations of the Industrial (IN) District and Site Development Standards as set forth in Chapter 2 and 4 of the Garland Development Code, Ordinance 6773, are included by reference and shall apply, except as otherwise specified by this ordinance.
- IV. Development Plans:**
- Site Layout: The site shall be in general conformance with the approved Site Plan, Landscape Plan, and Elevations labeled Exhibit C, Exhibit D, and Exhibit E. In the event of conflict between the conditions and the site plan, the written conditions listed below are to apply.
- V. Abandonment:** In the event the land use for which this Specific Use Provision was granted ("Land Use") is abandoned, the SUP and all rights to the Land Use are automatically terminated, and the premises must be used in conformance with the PD, GDC, federal, and state law.

For the purposes of this Specific Use Provision, Abandonment is any of the following acts:

- A. A failure to apply for a site or building permit on the premises, where applicable, within 180 days of the effective date of this SUP;
- B. A failure to obtain a certificate of occupancy for the Land use within 730 days of the effective date of this SUP;

EXHIBIT B

- C. A failure to commence operating the Land Use on the premises within 90 days of receiving a final certificate of occupancy for the Land Use;
- D. Discontinuance of the Land Use for a period of 180 days;
- E. Applying for, and receiving, a new Certificate of Occupancy for a use other than the Land Use; or
- F. Operating a use on the premises, whether as a primary or secondary use, that is not allowed within the PD District, by the GDC, or by state or federal law.

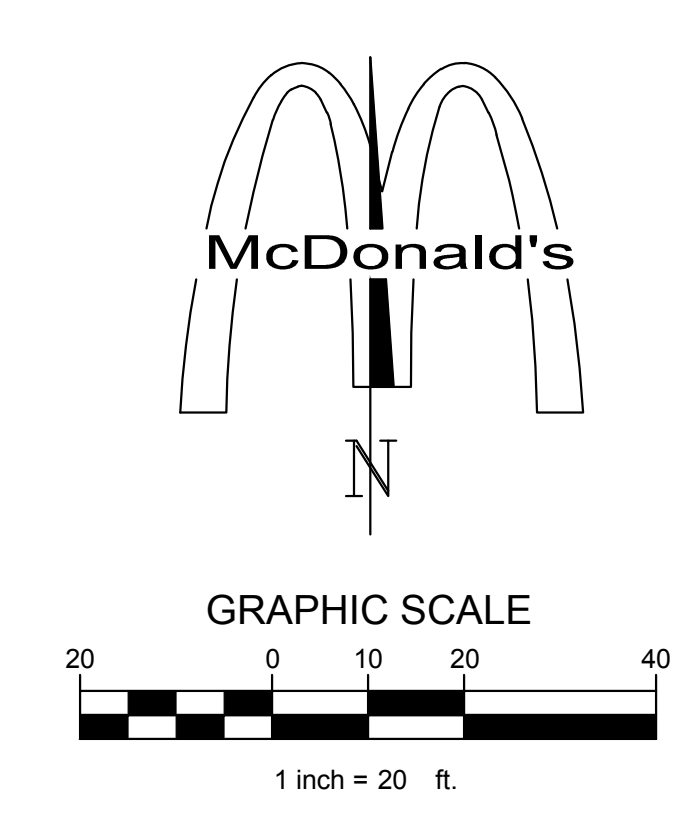
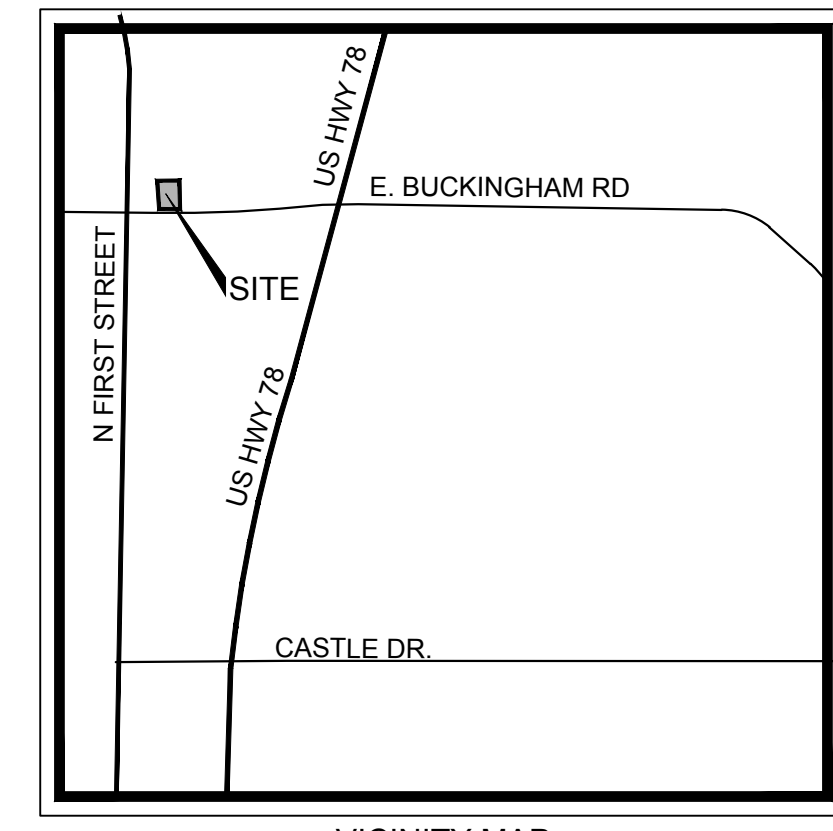
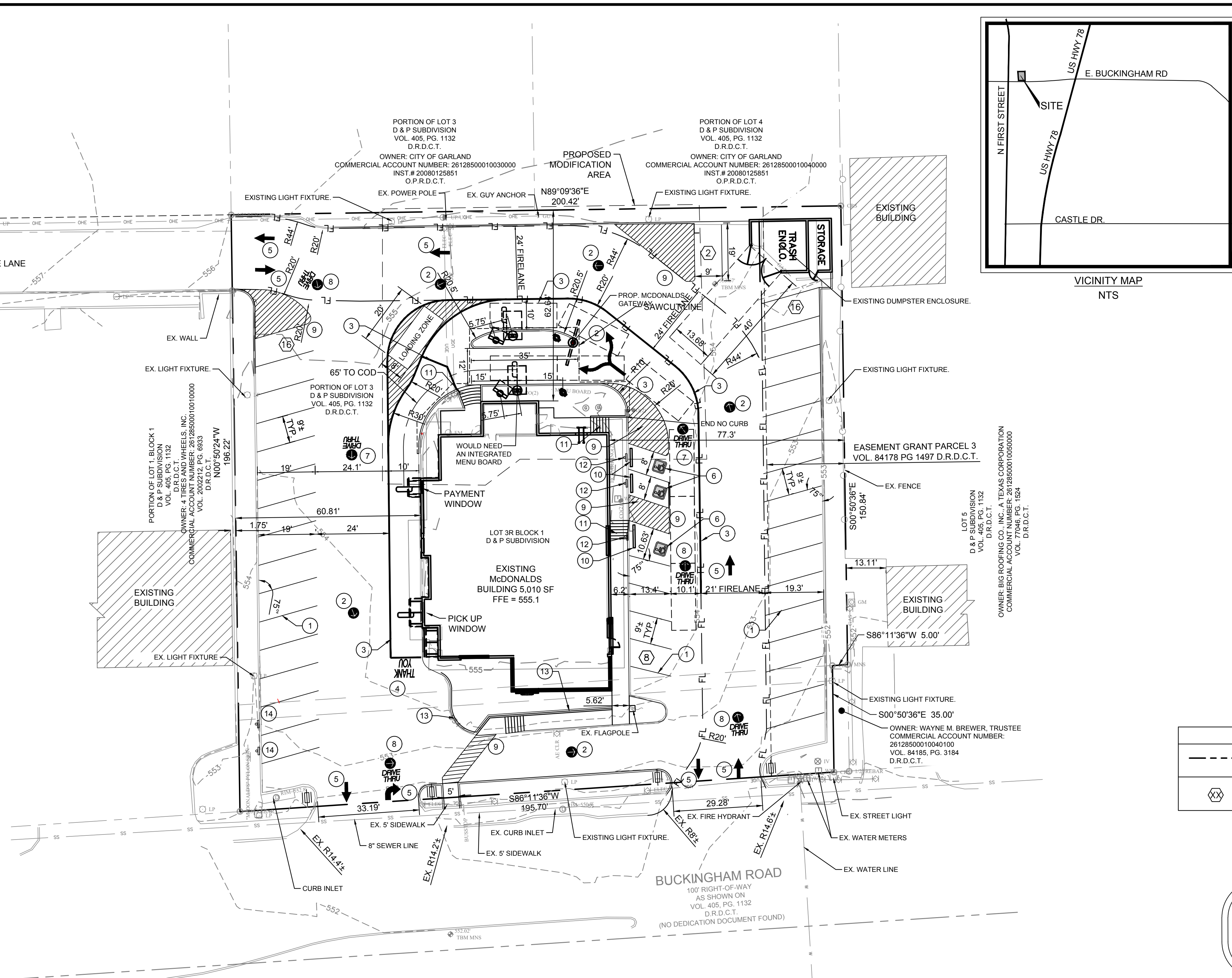
The termination of utilities on the premises for a period of 180 calendar days is prima facie evidence of abandonment and the owner shall have the burden to prove that the Land Use has not been abandoned.

VI. Specific Regulations:

- A. Time Period: The Specific Use Provision shall have a twenty-five (25) year time period.

PLOTTED BY: ccsby PLOT DATE: Jan 27, 2023, 3:06pm
 LOCATION: Z:\Marketing\McDonalds\ClayMoore\Garland - Buckingham\CADD\SHEETS\SP-1 Site Plan.dwg
 LAST SAVED: 1/27/2023 2:57 PM

SITE DATA TABLE	
SITE AREA	0.875 AC - 38,113 SF
BUILDING AREA	5,010 SF (EXISTING)
BUILDING HEIGHT	21' (EXISTING)
FLOOR AREA RATIO	1 : 0.13
TOTAL FLOOR AREA RATIO	1 : 0.13
TOTAL IMPERVIOUS COVERAGE	33,840 SF (88.8%)
BUILDING COVERAGE	5,010 SF (EXISTING)
BUILDING AREA 5,010 SF (1/ 100 SF)	51 SPACES
PARKING PROVIDED	42 SPACES (3 ADA)
OPEN SPACE	4,273 SF (11.2%)
ZONING DATA TABLE	
PROPOSED USE	RESTAURANT W/ DRIVE THRU
BUILDING SF	5,010 SF (EXISTING)
HEIGHT	21' (EXISTING)
FINISHED FLOOR	555.1



- CONSTRUCTION SCHEDULE**
- 4" PARKING STALL STRIPING
COLOR: WHITE (TYP)
 - CIRCLE / ARROW
COLOR: YELLOW
 - 6" DRIVE THRU STRIPING
COLOR: YELLOW
 - THANK YOU AT END OF PATH
COLOR: YELLOW
 - ARROW PATH DIRECTION
COLOR: WHITE
 - HANDICAP ACCESSIBLE SPACES/SYMBOLS/ACCESS AISLES
COLOR: PER STATE/CITY REQUIREMENTS
 - DRIVE THRU LEADING TO PATH ENTRANCE
COLOR: YELLOW
 - DRIVE THRU WITH ARROW TYPICAL AT ALL ENTRIES
COLOR: YELLOW
 - CROSS WALK STRIPING PER DETAIL SHEET C-6
 - EXISTING WHEEL STOPS
 - EXISTING ADA RAMP
 - EXISTING ADA SIGN
 - EXISTING HANDRAIL
 - EXISTING PULL UP STATION

LEGEND

---	PROPERTY LINE
XX	PARKING COUNT

BENCHMARK DESCRIPTION
 T.B.M. NO. 1 - "X" CUT SET ON TOP OF CURB AT SOUTHEAST CORNER OF SITE.
 POSTED ELEVATION = 552.24
 T.B.M. NO. 2 - "X" CUT SET ON TOP OF CURB INLET AT NORTHERN PROPERTY LINE. POSTED ELEVATION = 554.82

NOTES:

- THIS PROJECT WILL COMPLY WITH ALL THE SIGN REQUIREMENTS SET FORTH IN THE GARLAND DEVELOPMENT CODE (GDC).
- ALL SIGNAGE WILL REQUIRE A SEPARATE PERMITTING THROUGH THE BUILDING DEPARTMENT.

NOTES:

- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL VERIFY EXISTING HANDICAP SIGNAGES FOR ADA COMPLIANCE. REPLACE IF NECESSARY.

OWNER/DEVELOPER:
 MCDONALDS USA
 PO BOX 182571
 COLUMBUS, OH 43218
 CONTACT: EDDIE NUNEZ
 PH: 972.869.1888

APPLICANT/ENGINEER:
 CLAYMOORE ENGINEERING
 1903 CENTRAL DR. STE. 406
 BEDFORD, TX 76021
 CONTACT: CLAY CRISTY
 PH: 817.281.0572

**STOP!
 CALL BEFORE YOU DIG**

DIG TESS
 1-800-DIG-TESS
 (@ least 72 hours prior to digging)

CITY PROJECT NUMBER: 220623-3

SURVEY INFORMATION:

PREPARED BY: EAGLE SURVEYING
 210 SOUTH ELM STREET
 SUITE 104
 DENTON, TX 76201

LEGAL DESCRIPTION: LOT 3R BLOCK 1 OF THE D&P SUBDIVISION

ADDITION: DRIVE THRU REMODEL

ADDRESS: 119 EAST BUCKINGHAM ROAD

CITY: GARLAND STATE: TX

COUNTY: DALLAS SURVEY: D&P SUBDIVISION ABSTRACT NO. VOL. 84176, PG. 3469

L/C NUMBER: 042-0436 SHEET NAME: SITE PLAN

ISSUE REF.	DESCRIPTION	DATE	BY

1903 CENTRAL DR.
 PHONE: 817.281.0572
 BEDFORD, TX 76021
 WWW.CLAYMOOREENGINEERING.COM

CLAYMOORE ENGINEERING

STATE OF TEXAS
 CLAY CRISTY
 109800
 PROFESSIONAL ENGINEER
 1/21/2023

OFFICE: GREATER SOUTHWEST REGION
 ADDRESS: 511 E JOHN CARPENTER FRWY SUITE 375, IRVING, TX 75062

MCDONALD'S
 THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN CONSENT.
 MCDONALD'S L/C: 042-0436
 CLAYMOORE ENG. NO. 2017-037

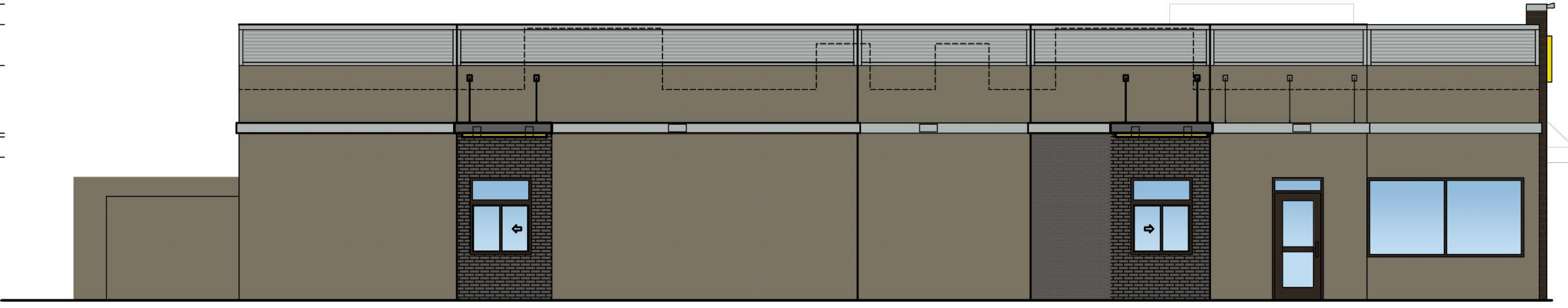
119 EAST BUCKINGHAM ROAD
 GARLAND, TEXAS

PLAN APPROVALS	DATE
SIGNATURE (2 REQUIRED)	
REGIONAL MGR.	
CONST. MGR.	
OPERATIONS DEPT.	
REAL ESTATE DEPT.	
CO-SIGN SIGNATURE	
CONTRACTOR	
OWNER	

STATUS	DATE	BY
DATE DRAWN	1/23/2023	CLC
PLAN CHECKED	1/23/2023	CLC
ASBUILT		

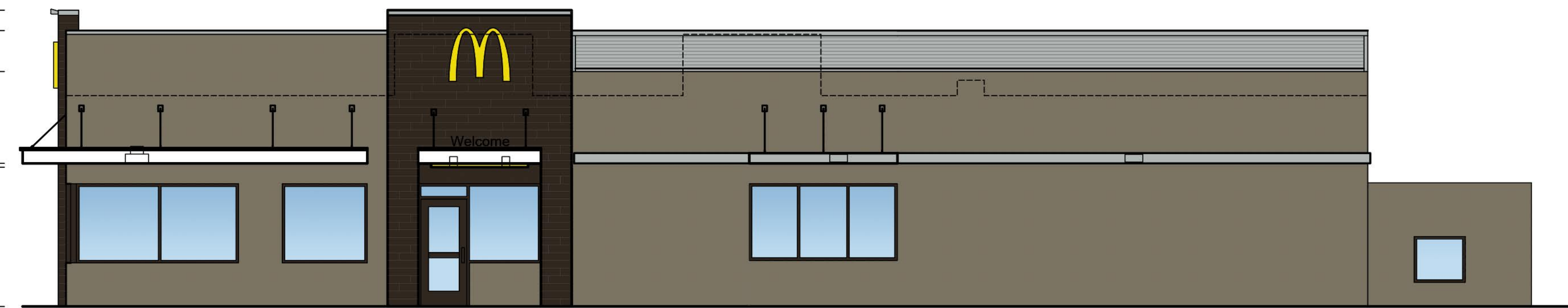
SHEET NO. SP-1

- T/ ENTRY BRAND WALL
ELEV. + 19'-4"
- T/ PARAPET BLOCKING
ELEV. + 18'-0"
- B/ CORRUGATED METAL
ELEV. + 15'-4"
- B/ DRIVE THRU TRELLIS
ELEV. + 10'-11"
- B/ DRIVE THRU TRELLIS
(UNDERSOFT)
ELEV. + 10'-8"
- B/ CANOPY
ELEV. + 9'-4"



1 EXTERIOR ELEVATION SCALE 3/16" = 1'-0"

- T/ ENTRY BRAND WALL
ELEV. + 19'-4"
- T/ PARAPET BLOCKING
ELEV. + 18'-0"
- B/ CORRUGATED METAL
ELEV. + 15'-4"
- B/ CANOPY
ELEV. + 9'-4"
- B/ ENTRY CANOPY
(UNDERSOFT)
ELEV. + 9'-1"



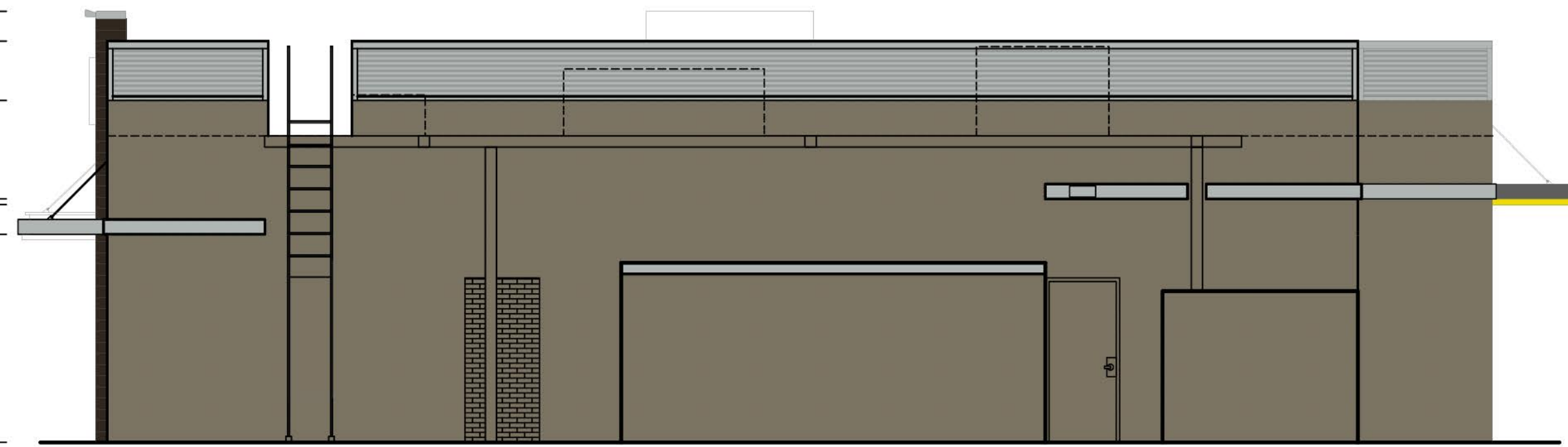
2 EXTERIOR ELEVATION SCALE 3/16" = 1'-0"

- T/ ENTRY BRAND WALL
ELEV. + 19'-4"
- T/ PARAPET BLOCKING
ELEV. + 18'-0"
- B/ CORRUGATED METAL
ELEV. + 15'-4"
- B/ DRIVE THRU TRELLIS
ELEV. + 10'-11"
- B/ DRIVE THRU TRELLIS
(UNDERSOFT)
ELEV. + 10'-8"
- B/ CANOPY
ELEV. + 9'-4"
- B/ ENTRY CANOPY
(UNDERSOFT)
ELEV. + 9'-1"







3 EXTERIOR ELEVATION SCALE 3/16" = 1'-0"

- T/ ENTRY BRAND WALL
ELEV. + 19'-4"
- T/ PARAPET BLOCKING
ELEV. + 18'-0"
- B/ CORRUGATED METAL
ELEV. + 15'-4"
- B/ DRIVE THRU TRELLIS
ELEV. + 10'-11"
- B/ DRIVE THRU TRELLIS
(UNDERSOFT)
ELEV. + 10'-8"
- B/ CANOPY
ELEV. + 9'-4"



4 EXTERIOR ELEVATION SCALE 3/16" = 1'-0"

<p>BASE BUILDING PAINT BM FAIRVIEW TAUPE HC - 85</p> 	<p>ACCENT PAINT (DRIVE-THRU) BM IRON MOUNTAIN BM 2134-30</p> 	<p>CORRUGATED METAL BANDING METAL ERA S-PANELS CITYSCAPE 7/8" PROFILE 24 GAUGE</p> 	<p>ARCADES TILE BY EUROWEST E-WOOD COLLECTION-R9 BLACK</p> 
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01	07/24/2019	CITY COMMENTS	10/08/19/19	CLIENT COMMENTS
02	07/31/2019	CLIENT COMMENTS	11/09/09/19	CLIENT COMMENTS
03	03/01/2019	CLIENT COMMENTS	12/09/27/19	CLIENT COMMENTS
04	03/01/2019	GENERAL COMMENTS		ADDED SITE DETAILS
05	04/01/2019	GENERAL COMMENTS		SECURITY LIGHTING
06	05/13/2019	CLIENT COMMENTS		
07	06/27/2019	CLIENT COMMENTS		
08	07/29/2019	CLIENT COMMENTS		
09	08/09/2019	CLIENT COMMENTS		

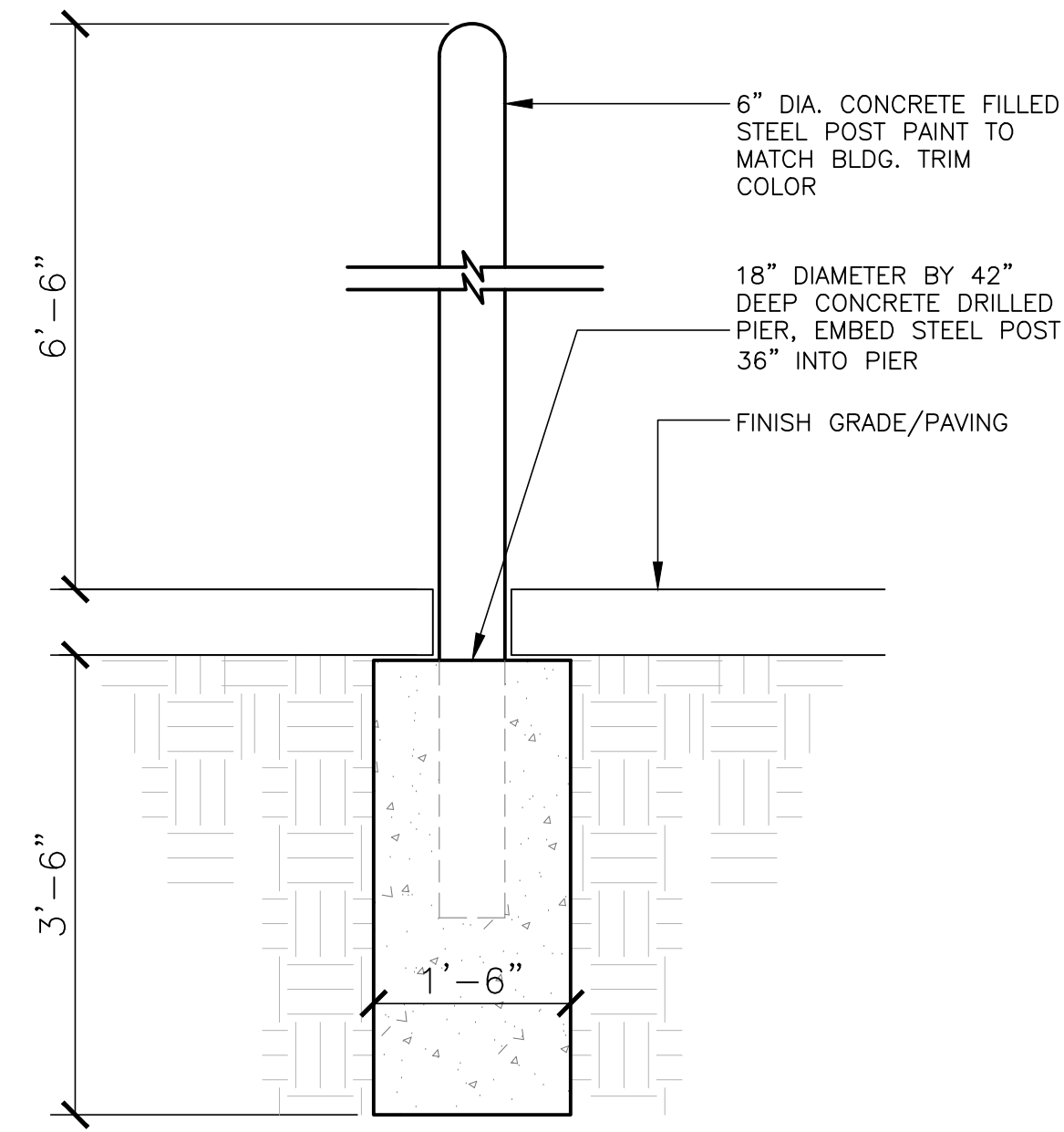


513 MAIN STREET, SUITE 300
FORT WORTH, TEXAS 76102
817.820.0433 o 817.705.3387 c

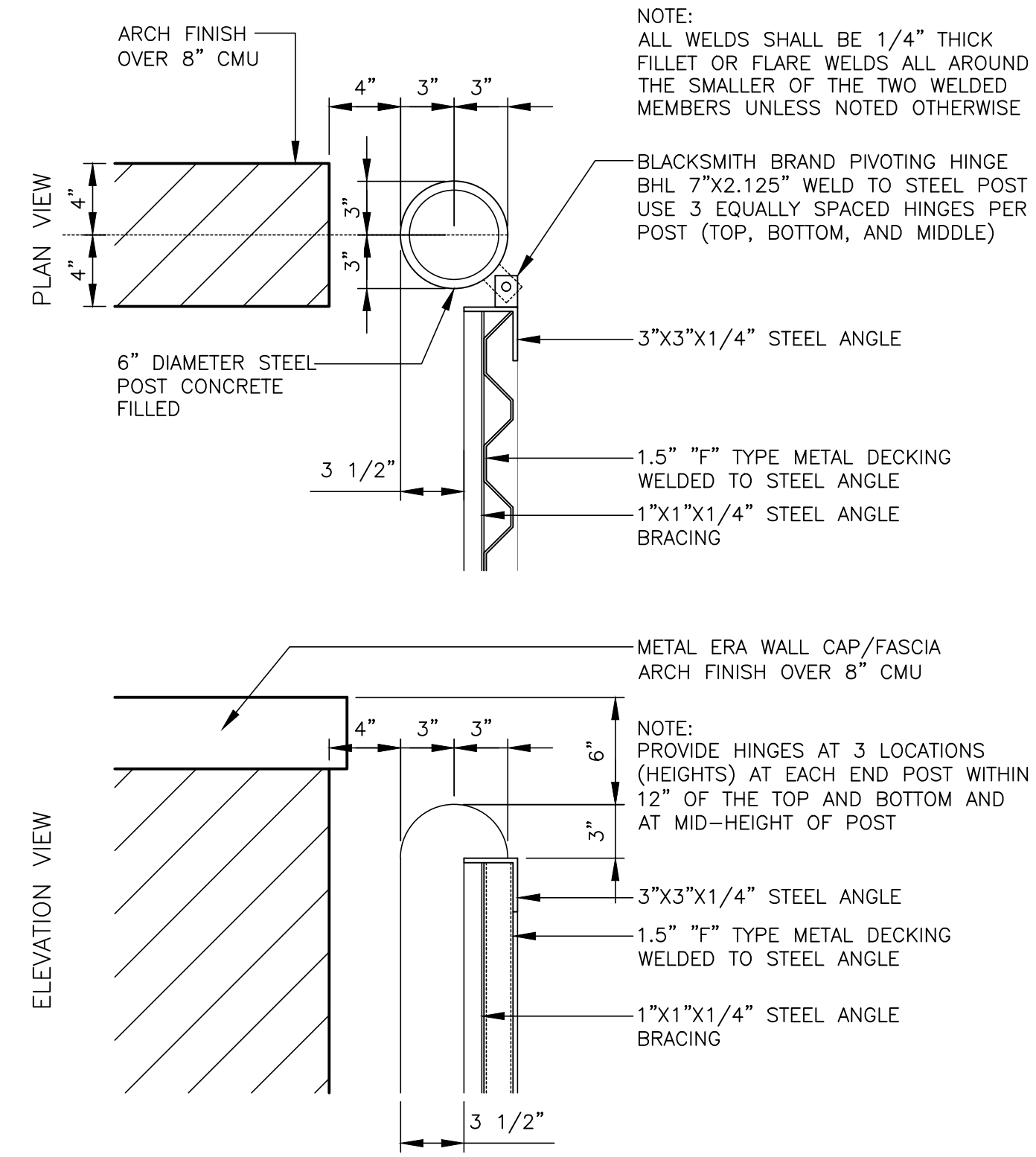
McDonald's USA, LLC
These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced for use on this specific site in conjunction with its issue date and are not suitable for use on a different site or at a later time. Use of the services of properly licensed architects and engineers, or reproduction of the contract documents for reuse on another project is not authorized.

PROJECT NAME MCDONALD'S MAJOR REMODEL	DONNY RORSCHACH ARCHITECT
DESCRIPTION EXISTING CMU WALL FRAMING EXISTING WOOD ROOF FRAMING MEMBERS	PROTOTYPE ISSUE DATE 2018
SITE ID ADDRESS 042-0436 119 E BUCKINGHAM, GARLAND, TX 75040	REVIEWED JRM FIRST ISSUE DATE 08/31/2018

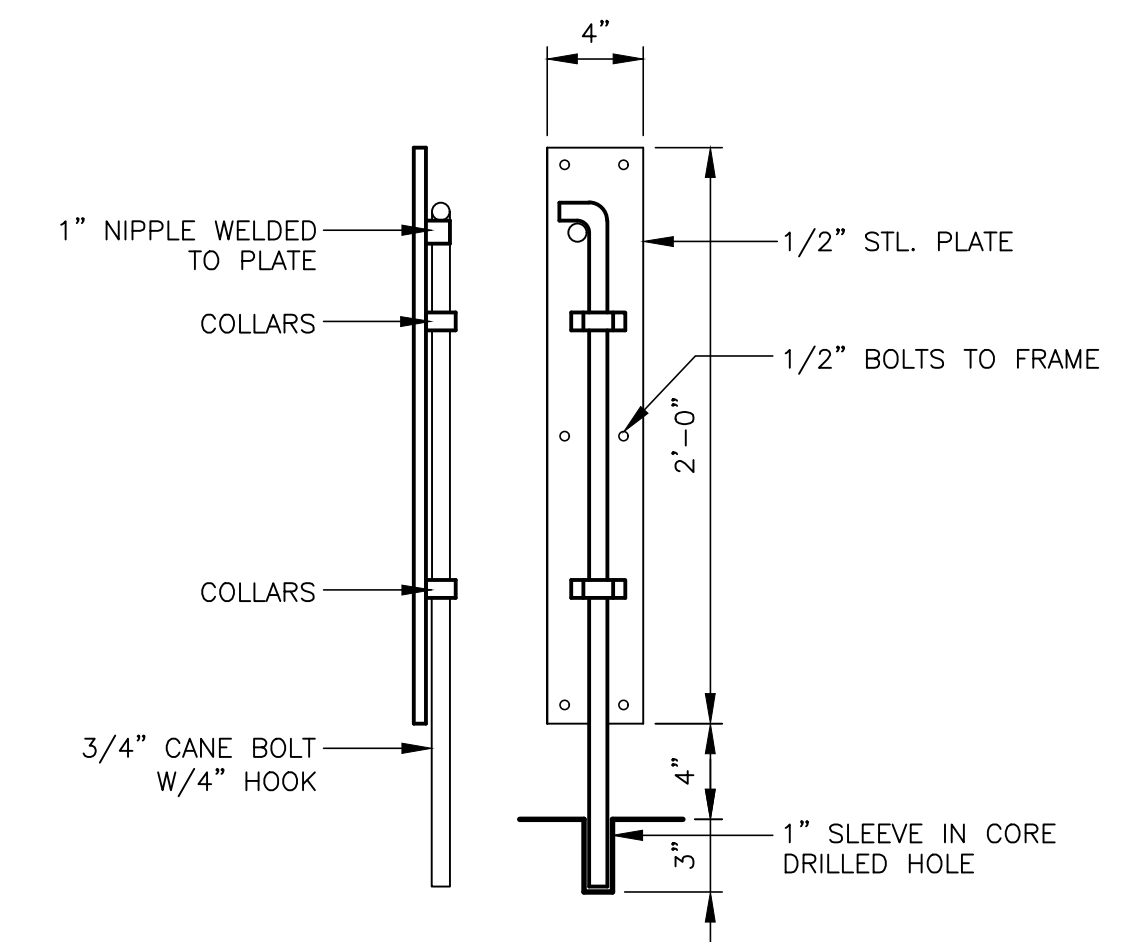
A2.1



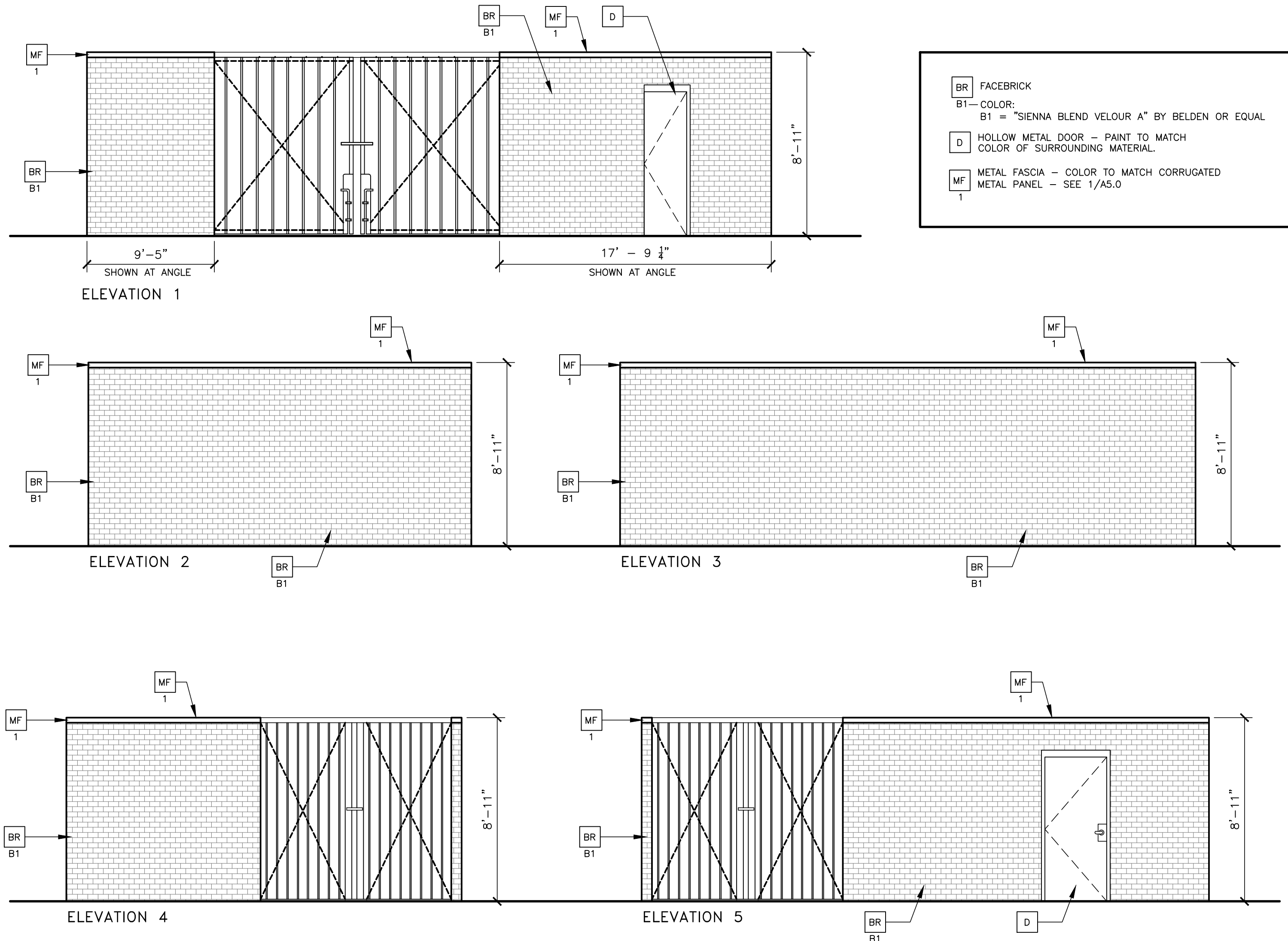
4 GATE POST DETAIL SCALE 3/4"=1'-0"



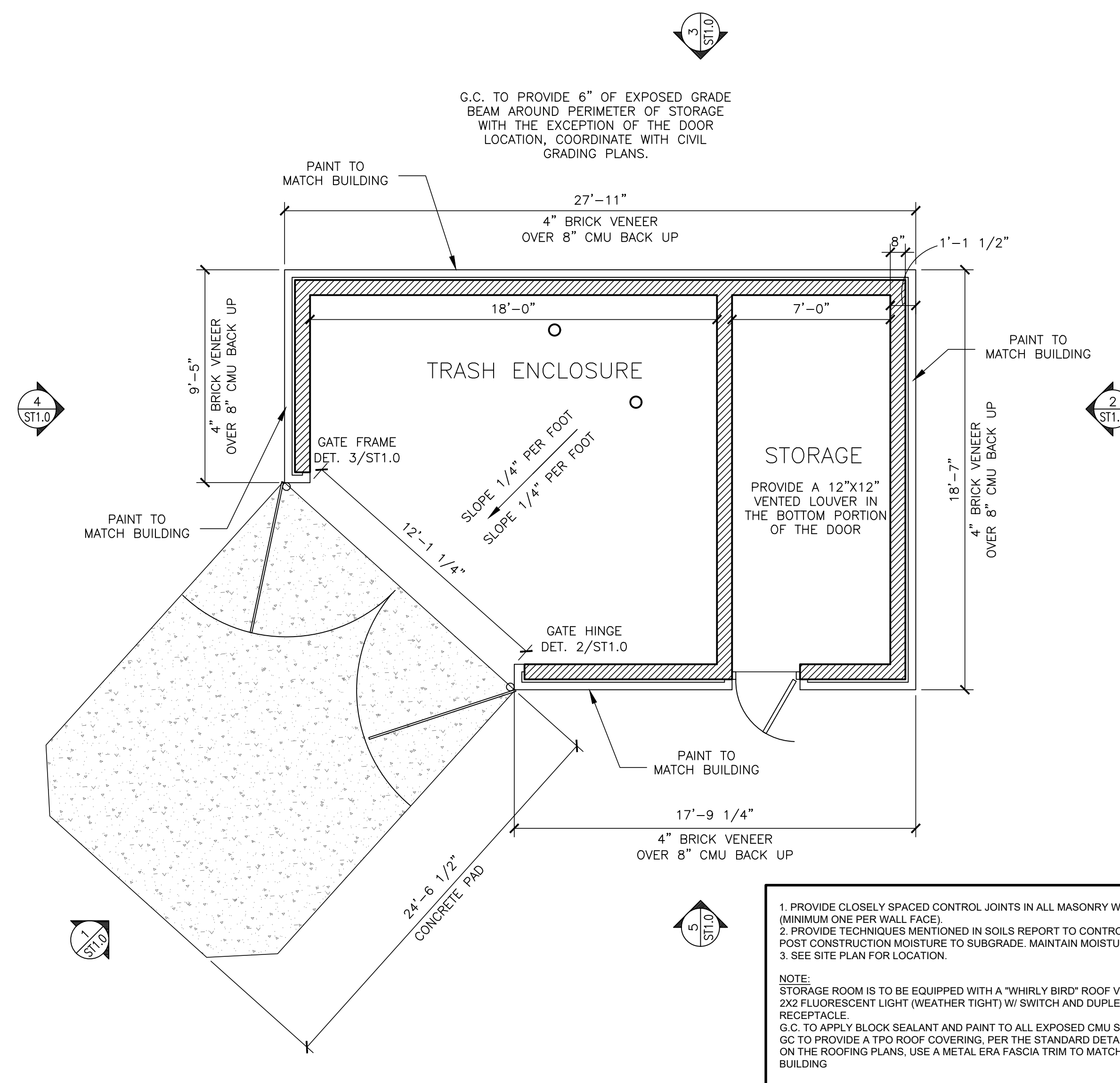
2 GATE HINGE DETAIL SCALE 1-1/2"=1'-0"



3 CANE BOLT DETAIL SCALE 1-1/2"=1'-0"



5 TRASH ENCLOSURE ELEVATIONS SCALE 1/4"=1'-0"



6 TRASH ENCLOSURE PLAN SCALE 1/4"=1'-0"

NO.	DATE	DESCRIPTION
01	01/24/2019	CITY COMMENTS
02	01/31/2019	CLIENT COMMENTS
03	03/01/2019	CLIENT COMMENTS
04	03/01/2019	GENERAL COMMENTS - ADDED SITE DETAILS
05	04/01/2019	GENERAL COMMENTS - SECURITY LIGHTING
06	05/13/2019	CLIENT COMMENTS
07	06/27/2019	CLIENT COMMENTS
08	07/29/2019	CLIENT COMMENTS
09	08/09/2019	CLIENT COMMENTS



513 MAIN STREET, SUITE 300
FORT WORTH, TEXAS 76102
817.820.0433 o 817.705.3387 c

McDonald's USA, LLC

These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared by McDonald's USA, LLC and shall not be used for any other project. These drawings are not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the approval of the property and architect and engineer. Reproduction of any contract documents for use on another project is prohibited.

PROJECT NAME	ARCHITECT
McDonald's MAJOR REMODEL	JEREMY WILLIAMS ARCHITECT
DESCRIPTION	PROTOTYPE
EXISTING CMU WALL FRAMING	ISSUE DATE
EXISTING WOOD ROOF FRAMING MEMBERS	2016
SITE ADDRESS	REVIEWED
042-0436 119 E BUCKINGHAM, GARLAND, TX 75040	JAW
	FIRST ISSUE DATE
	08/31/2018

PROJECT NAME	ARCHITECT
McDonald's MAJOR REMODEL	JEREMY WILLIAMS ARCHITECT
DESCRIPTION	PROTOTYPE
EXISTING CMU WALL FRAMING	ISSUE DATE
EXISTING WOOD ROOF FRAMING MEMBERS	2016
SITE ADDRESS	REVIEWED
042-0436 119 E BUCKINGHAM, GARLAND, TX 75040	JAW
	FIRST ISSUE DATE
	08/31/2018

SHEET NO. **ST1.0**
TRASH ENCLOSURE



**GARLAND
CITY COUNCIL ITEM SUMMARY SHEET**

City Council Regular Session Agenda

4.

Meeting Date: 03/21/2023

Item Title: Interlocal Agreement for the Internet Crimes Against Children Grant Project

Submitted By: Jeffrey Bryan, Chief of Police

Summary of Request/Problem

At the March 20, 2023 Work Session, Council was scheduled to consider a request from the Police Department to allow the City Manager to execute an Interlocal Agreement between the City of Garland and the City of Dallas for the North Texas Internet Crimes Against Children (ICAC) Task Force and Grant Program.

Recommendation/Action Requested and Justification

Approve by resolution the request from the Police Department to allow the City Manager to execute an Interlocal Agreement between the City of Garland and the City of Dallas for the North Texas Internet Crimes Against Children (ICAC) Task Force and Grant Program.

Attachments

ICAC ILA FY23

INTERLOCAL AGREEMENT
CITY OF DALLAS AND THE GARLAND POLICE DEPARTMENT

STATE OF TEXAS
COUNTY OF DALLAS

This INTERLOCAL AGREEMENT is made and entered into by and between the City of Dallas, hereinafter called "City" and the City of Garland, Texas, a Texas home rule municipality, on behalf of the Garland Police Department, Texas, hereinafter called "Garland" and "Garland Police Department" respectively.

WITNESSETH:

WHEREAS, the Interlocal Cooperation Act, Chapter 791, Texas Government Code, provides authorization for any local government to contract with one or more local governments and with agencies of the State of Texas to perform governmental functions and services under the terms of this act; and

WHEREAS, the Internet Crimes Against Children (ICAC) Task Force is a grant program funded under an award by the United States Department of Justice, hereinafter called "DOJ" through their Office of Juvenile Justice and Delinquency Prevention, hereinafter called "OJJDP" under the Federal Missing and Exploited Children's Program; and

WHEREAS, City and Garland desire to enter into an agreement regarding the North Texas (Dallas) Internet Crimes Against Children Task Force; and

WHEREAS, the City of Dallas, for its Police Department, has applied for and received from the DOJ a grant to target child solicitation and child pornography over the Internet in the State of Texas, the grant period runs from October 1, 2022 through September 30, 2023; and

WHEREAS, the grant is entitled Internet Crimes Against Children Grant (Grant Number 15PJDP-22-GK-04883-MECP), hereinafter called "Project", and

WHEREAS, the Dallas Police Department has asked the Garland Police Department to participate in fulfilling the purpose of the grant.

NOW THEREFORE, THIS INTERLOCAL AGREEMENT is hereby made and entered into by City and the Garland for the mutual consideration stated herein:

I.

For the consideration hereinafter agreed to, Garland and the Garland Police Department undertake, covenant and agree to:

1. Provide staff and resources to prosecute Internet crimes against children within its jurisdiction so as to assist the Internet Crimes Against Children Grant Project in achieving its goals.

2. Accept criminal case referrals for prosecution as appropriate that may be forwarded from the Dallas Police Department.
3. On a quarterly basis provide the Dallas Police Department with an activity report describing cases prosecuted by personnel funded by this Grant.
4. Maintain documentation of all partial salary and overtime expenditures which are to be reimbursed by the Internet Crimes Against Children Grant. This documentation will include the name and title of the person earning the salary or overtime, the date(s) worked, the number of hours worked, the exact payment amount to be charged to the Grant, the employee's hourly and overtime pay rate as appropriate, and a brief explanation of the activity undertaken to earn the salary or overtime. This expenditure report must carry an original signature of a Garland Police Department official and be supported by departmental payroll records which correspond to the salary or overtime payments. This salary and overtime expenditure report and support documentation will be submitted to the Dallas Police Department at the time reimbursement is requested.
5. Maintain documentation of all travel and training expenditures which are to be reimbursed by the Internet Crimes Against Children Grant. This documentation will include the name and title of the person travelling or receiving training, the dates and location of travel or training, the exact payment amount to be charged to the Grant, and a brief explanation of the purpose of the travel or training. This expenditure report must carry the signature of a Garland Police Department official and be supported by receipts, invoices, or other appropriate documentation. This travel and training expenditure report and support documentation will be submitted to the Dallas Police Department at the time reimbursement is requested.
6. Maintain an up-to-date and itemized inventory list of all supplies, equipment, or services purchased by the Garland Police Department with funds from the Internet Crimes Against Children Grant. Inventory list entries of major hardware items such as computers, monitors, printers, FAX machines, and the like must also include the brand name and model, serial number, the Garland Police Department's property inventory tag number assigned to the specific item, and the current physical location of the property. This inventory list must be supported by receipts, invoices, or other appropriate documentation. The inventory list will be submitted to the Dallas Police Department when requested.
7. Allow the Internet Crimes Against Children Grant Manager or his/her designate to make one or more on-site visits for the purpose of assessing the compliance of the Garland Police Department with the provisions of this Interlocal Agreement and the provisions of Circular A-133 issued by the United States Office of Management and Budget regarding audits of states, local governments, and non-profit organizations.
8. When requested, provide the Dallas Police Department with a copy of the Garland Police Department's most recent Single Audit Report and, if appropriate, a written statement describing any necessary corrective action identified in that Audit Report.

II.

As consideration for the services contracted for herein, the City agrees to reimburse the Garland Police Department a sum not to exceed twelve thousand dollars (\$12,000.00). This sum is to reimburse the Garland Police Department for expenses incurred for partial salary of a grant-sponsored position, overtime, training, travel, and/or equipment as deemed necessary and appropriate by the Garland Police Department for its operations to combat Internet-related crimes against children. The Garland Police Department may invoice the City for reimbursement of expenses under the terms of this agreement up to six times, but no reimbursement request will be accepted after September 30, 2023. Reimbursement for allowable expenses incurred shall be made by the Dallas Police Department to the Garland Police Department as quickly as possible after receipt of invoices detailing the expenses to be reimbursed. Reimbursement requests, with all supporting documentation, shall be mailed to:

Lt Cyrus Zafrani
Dallas Police Department
1400 Botham Jean Street
Dallas, Texas 75215

The Contract amount may increase if, in the future, additional funds become available to grant to Garland Police Department. If additional funds are available in the future to grant to Garland Police Department, City will give written notice and Garland Police Department may accept or reject the additional funds by giving written notice of the intent to the CITY.

III.

During the performance of this Interlocal Agreement, Garland agrees to the following:

1. It will, to the extent permitted by law, accept liability, under the Worker's Compensation Act, in the event personal injuries occur to its employee(s) while engaged in Project activities.
2. It shall, to the extent permitted by law and during the entire time of participation, maintain sufficient insurance to cover its obligation and liability for its employee(s). This will include, but is not limited to, coverage of the employee and vehicle, while operating a vehicle, where applicable.
3. It may, in lieu of purchasing liability insurance, elect to be self-insured but will be responsible for all risks of loss and actual loss as specified herein.
4. Any and all equipment and supplies purchased with Grant funds by the Garland Police Department will remain property of the Garland Police Department.

IV.

The term of this Agreement shall be from October 1, 2022 through September 30, 2023. This Agreement may be extended by mutual agreement of the parties hereto, or terminated by either party upon thirty (30) days prior written notice thereof to the other of its intention to terminate

upon the date specified in such notice. If at which time during the grant period, the City of Dallas receives an extension to the original grant, the Contract may be extended further by City giving Garland written notice of the new term.

V.

Any notice, payment, statement, or demand required or permitted to be given hereunder by either party to the other may be affected by personal delivery in writing or by mail, postage prepaid. Mailed notices shall be addressed to the parties at the addresses appearing below, but each party may change its address by written notice in accordance with this section. Mailed notices shall be deemed communicated as of three days after mailing.

If intended for City, to:

Eddie Garcia Chief of Police
Dallas Police Department
1400 Botham Jean Blvd.
Dallas, Texas 75215

Copy to:

T.C. Broadnax City Manager City of Dallas
City Hall, Room 4/E/N 1500 Marilla Street
Dallas, Texas 75201

If intended for the Garland, to:

Jeff Bryan Chief of Police
1891 Forest Lane
Garland, TX 75042

Copy to:

Office of the City Attorney
PO Box 469002
Garland, Texas 75046-9002

VI.

This Agreement may be amended by the mutual agreement of the parties hereto in writing to be attached to and incorporated into this Agreement.

VII.

In case any one or more of the provisions contained in this Agreement shall be held to be invalid, illegal, or unenforceable in any respect, such invalidity, illegality or unenforceability shall not affect any other provision thereof and this Agreement shall be construed as if such invalid, illegal, or unenforceable provision had never been contained herein.

VIII.

This Agreement supersedes any and all other agreements, either oral or in writing, between the parties hereto with respect to the subject matter hereof, and no other agreement, statement, or promise relating to the subject matter of this agreement, which is not contained herein, shall be valid or binding.

EXECUTED this day of _____, 2023, by the City of Dallas, by and through its duly authorized officials pursuant to City Council Resolution No. 22-1803, and by Garland, by and through its duly authorized officials. However, the effective date of this Agreement is October 1, 2022.

Recommended By:

APPROVED AS TO FORM
Tammy Palomino
Interim City Attorney

CITY OF DALLAS
T.C. Broadnax
City Manager

Eddie Garcia
Chief of Police

By: _____
AK Assistant City Attorney

By: _____
Assistant City Manager

APPROVED AS TO FORM
Brian England
City Attorney

CITY OF GARLAND
Judson Rex
City Manager

By: _____
Assistant City Attorney

By: _____
City Manager



**GARLAND
CITY COUNCIL ITEM SUMMARY SHEET**

City Council Regular Session Agenda

5.

Meeting Date: 03/21/2023

Item Title: Ordinance Amending Section 22.23, Animal Services Advisory Committee

Submitted By: Courtney Vanover, Department Coordinator II

Summary of Request/Problem

Ordinance Amending Section 22.23, Animal Services Advisory Committee

Recommendation/Action Requested and Justification

Council Discussion

Attachments

Animal Services Advisory Committee

ORDINANCE NO. _____

AN ORDINANCE AMENDING SECTION 22.23, "ANIMAL SERVICES ADVISORY COMMITTEE," OF ARTICLE I, "ANIMAL SERVICES," OF CHAPTER 22, "HEALTH" OF THE CODE OF ORDINANCES OF THE CITY OF GARLAND, TEXAS; PROVIDING A SAVINGS CLAUSE, PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GARLAND, TEXAS:

Section 1

That Section 22.23, "Animal Services Advisory Committee" of the Code of Ordinances of the City of Garland, Texas, is hereby amended to read as follows:

"Sec. 22.23 Animal Services Advisory Committee

- (A) The City Council shall appoint an eight-person Animal Services Advisory Committee. The committee shall be composed of one licensed veterinarian, one county or municipal official, one person whose duties include the daily operation of an animal shelter, one representative from an animal welfare organization, one public health official, one educational representative with a background in animal studies, one animal welfare non-profit official, and one citizen who shall be a resident of Garland and who shall not have any professional or personal affiliations similar to those represented by other appointees to the committee.
- (B) The Animal Services Advisory Committee shall meet at least six times each year.
- (C) The Animal Services Advisory Committee's authority shall be limited to the following tasks and responsibilities:
 - (1) Advise the City Council and local health authority in complying with the department of state health services rules pertaining to animal shelters.
 - (2) Assist Animal Services with obtaining charitable donations that support the operations of animal wellbeing.

Section 2

That Chapter 22, "Animal Services Advisory Committee" of the Code of Ordinances of the City of Garland, Texas, as amended, shall be and remain in full force and effect save and except as amended by this Ordinance.

Section 3

That the terms and provisions of this Ordinance are severable and are governed by Sec. 10.06 of the Code of Ordinances of the City of Garland, Texas.

Section 4

That this Ordinance shall be and become effective immediately upon and after its passage and approval.

PASSED AND APPROVED this the _____ day of _____, 2023.

CITY OF GARLAND, TEXAS

Mayor

ATTEST:

City Secretary



**GARLAND
CITY COUNCIL ITEM SUMMARY SHEET**

City Council Regular Session Agenda

6.

Meeting Date: 03/21/2023

Item Title: Adoption of the Proposed HOME American Rescue Cost Allocation Plan

Submitted By: Mona Woodard, Neighborhood Services Administrator

Summary of Request/Problem

Adoption of the proposed HOME American Rescue Act Cost Allocation Plan. This item was brought before the council on the March 6, 2023, and March 20, 2023, work sessions for discussion. In addition, a public hearing was held during the regular Council meeting held on March 7, 2023, to solicit public input regarding the proposed plan.

Recommendation/Action Requested and Justification

Staff recommends approval of the proposed HOME American Rescue Act Cost Allocation Plan.



GARLAND PLANNING REPORT

City Council Regular Session Agenda

7. a.

Meeting Date: 03/21/2023

Item Title: Z 22-66 MyChoice Custom Homes - Detail Plan (District 4)

Submitted By: Matthew Wolverton, Development Planner

REQUEST

Approval of a Detail Plan for a Dwelling, Single-Family Detached Use on a property zoned Planned Development (PD) District 18-40 for Single-Family-7 (SF-7) Uses.

LOCATION

5475 Robin Road

OWNER

Abdi Omar

PLAN COMMISSION RECOMMENDATION

On February 27, 2023, the Plan Commission, by a vote of seven (7) to one (1), recommended approval of a Detail Plan for a Dwelling, Single-Family Detached Use on a property zoned Planned Development (PD) District 18-40 for Single-Family-7 (SF-7) Uses.

STAFF RECOMMENDATION

Approval of a Detail Plan for a Dwelling, Single-Family Detached Use on a property zoned Planned Development (PD) District 18-40 for Single-Family-7 (SF-7) Uses.

BACKGROUND

The applicant proposes to construct a detached single-family home on a vacant lot.

SITE DATA

The 0.359-acre site will be accessed from Robin Road.

USE OF PROPERTY UNDER CURRENT ZONING

The subject property is zoned Planned Development (PD) 18-40 for Single-Family-7 District Uses and is currently vacant.

The Planned Development (PD) 18-40 Detail Plan was approved to allow single-family detached developments along Robin Road, while maintaining Community Retail (CR) base zoning along the Broadway Boulevard frontage. All future development requires approval of a Detail Plan through the public hearing process.

CONSIDERATIONS

Detail Plan

1. The applicant proposes to construct a 3,101 square foot single-family detached home (Exhibit C). The proposed home will be accessed from a driveway to be constructed on Robin Lane.
2. The site design and building setbacks (Exhibit C) comply with Single-Family-7 (SF-7) District in the Garland Development Code (GDC).
3. The building elevations (Exhibit D) for the proposed home comply with the Garland Development Code (GDC).
4. No deviations have been requested by the applicant. The Detail Plan meets technical requirements.

COMPREHENSIVE PLAN

The Future Land Use Map of the Envision Garland Plan recommends Compact Neighborhoods for the subject site. Compact neighborhoods provide areas for moderate increases in residential density, including single-family attached and single-family detached housing. It expands housing options through infill and redevelopment, while continuing walkable development patterns. These areas provide transitions between traditional residential neighborhoods and higher density residential neighborhoods and non-residential developments. These areas accommodate uses such as convenience retail (goods and services), office space, and public services. The architectural character and scale of these areas are compatible with adjacent residential development.

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

The properties to the East and West along Robin Road are currently vacant lots also zoned Planned Development (PD) 18-40 for Single-Family-7 Uses. The properties to the North are zoned Planned Development (PD) 18-40 for Community Retail Uses. The lot bordering the subject site to the North contains a Braum's food establishment while other restaurants and retail stores are nearby. Finally, the lots across Robin Road to the South are zoned Single-Family-7 (SF-7) District and contain single-family detached homes.

While the Comprehensive Plan envisions this property as a compact neighborhood use, the City rezoned the property to be for Single-Family-7 uses. The proposed use is generally compatible with the surrounding area, and residential use is appropriate along Robin Road.

Attachments

Z 22-66 Location Map

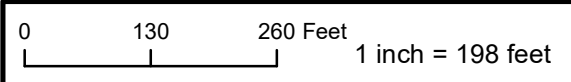
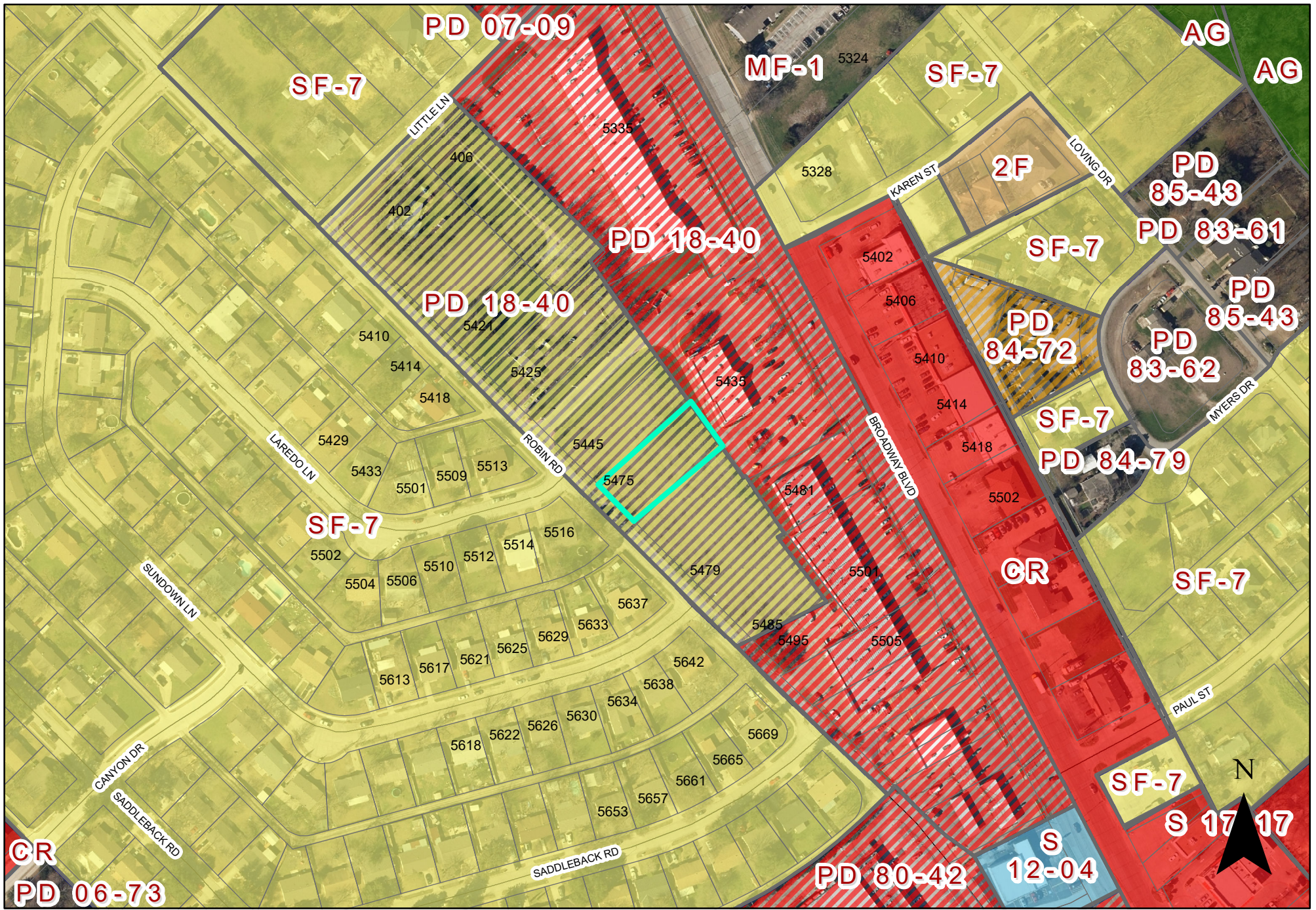
Z 22-66 PD Conditions

Z 22-66 Exhibits C & D

Z 22-66 R&M - Detail

Z 22-66 Responses

Z 22-66 Staff Presentation



ZONING MAP Z 22-66

 INDICATES AREA OF REQUEST

5475 Robin Road

PLANNED DEVELOPMENT CONDITIONS

ZONING FILE Z 22-66

5475 Robin Road

- I. Statement of Purpose:** The purpose of this Planned Development (PD) is to amend the Planned Development (PD) District 18-40 to allow the construction of a single-family detached home.
- II. Statement of Effect:** This Planned Development (PD) shall not affect any regulation found in the Garland Development Code, Ordinance No. 6773, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. General Regulations:** All regulations of the Planned Development (PD) District 18-40 and Single-Family-7 District and Site Development Standards as set forth in Chapter 2 and 4 of the Garland Development Code, Ordinance 6773, are included by reference and shall apply, except as otherwise specified by this ordinance.
- IV. Development Plans:**
- A. Detail Plan: Development is to be in conformance with the approved Detail Plan labeled Exhibit C and Exhibit D. In the event of conflict between the conditions and Detail Plan, the conditions listed below are to apply.
- V. Detail Plan:**
- A. Site Layout: The site shall be in conformance to the site layout reflected on Exhibit C.
- B. Building Elevations: Building elevations shall be in conformance to the elevations as approved on Exhibit D.

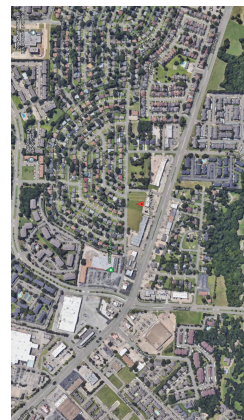
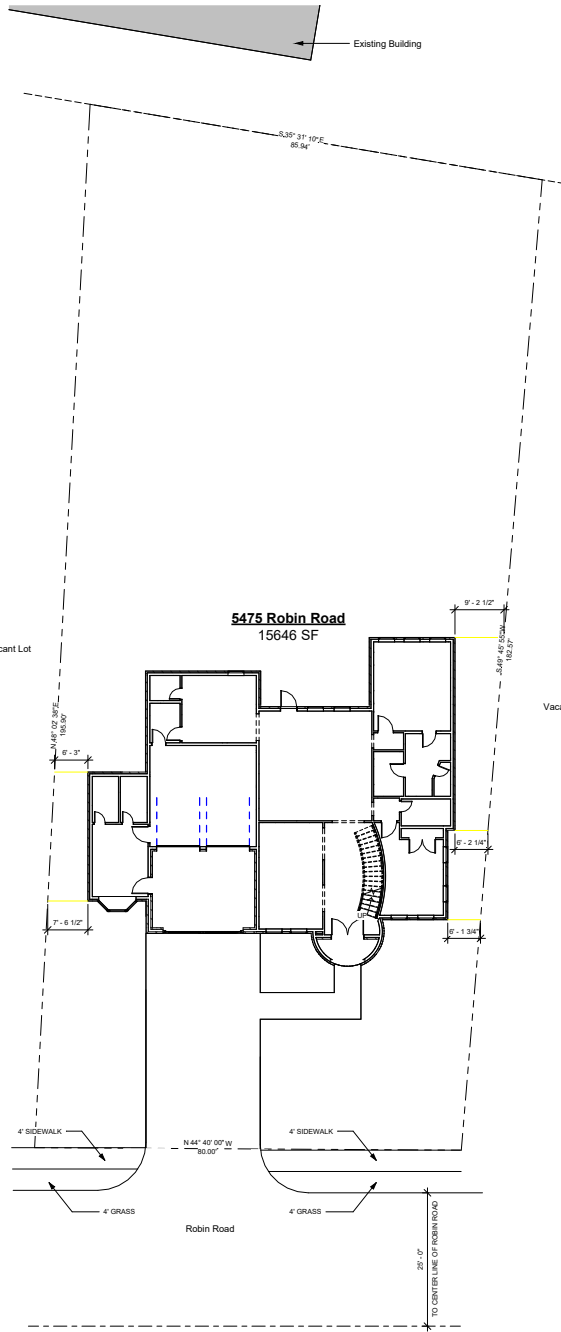
Legal Description:
 JOHN LITTLE ABST 761 PG 380
 80X197X85X165

Front Lot Area Schedule	
Name	Area
Concrete	983 SF
Total	1,349 SF

Total Front Lot Area = Concrete SF / Total SF
 = 983 SF / 3,349 SF
 = 29% Coverage

Property Schedule	
Name	Area
5475 Robin Road	1,564 SF
Total Building Area	3,101 SF

Lot Coverage = Total Building Area SF / Property SF
 = 3,101 SF / 1,564 SF
 Lot Coverage = 20%



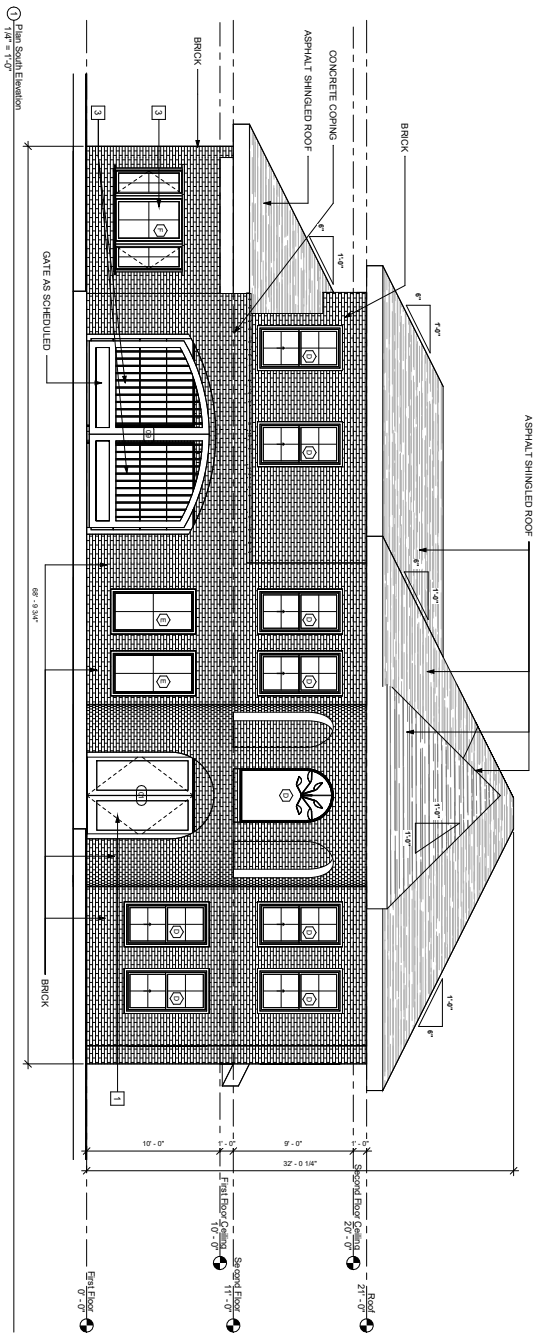
Site
 1" = 10'-0"

A2

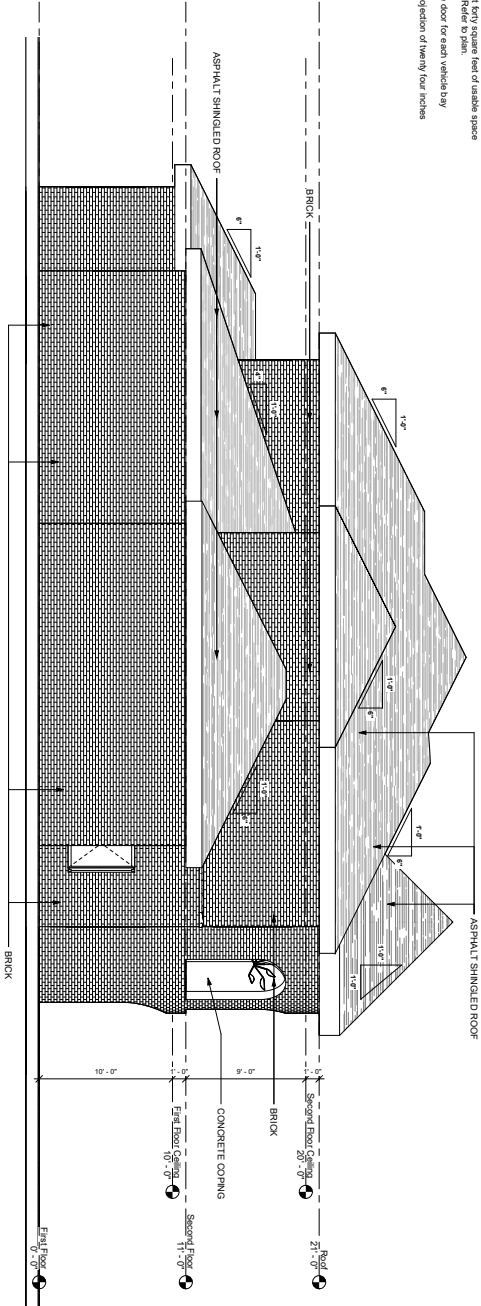
5475 Robin Road

Case Number: Z22-66

Exhibit C

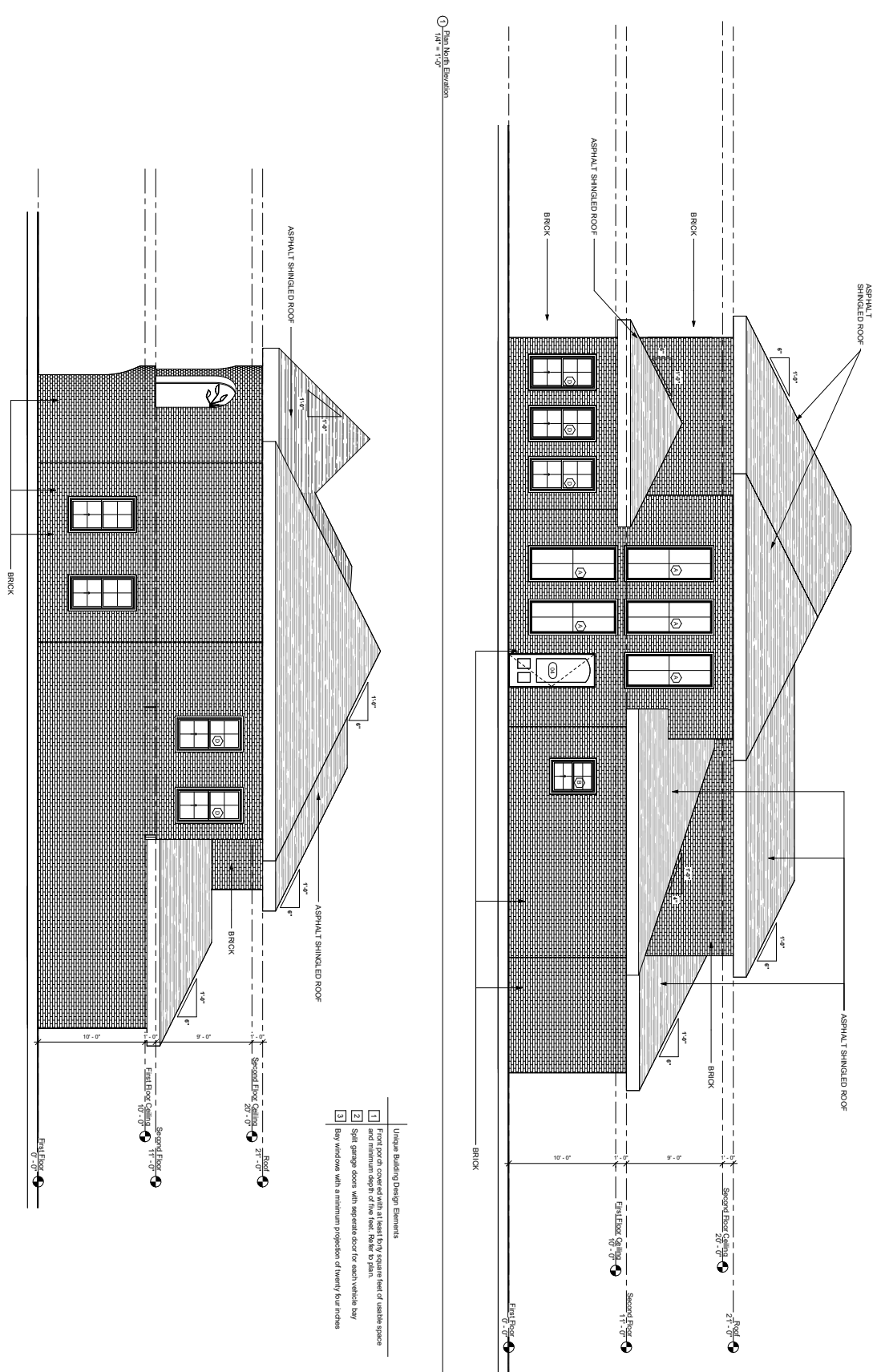


- Unique Building Design Elements
- 1 First floor window with 1st floor finish level of usable space and minimum depth of two feet below to down.
 - 2 Split garage doors with separate door for each vehicle bay.
 - 3 Bay windows with a minimum projection of twenty four inches.



5475 Robin Road

Exhibit D



① North Elevation
1/8" = 1'-0"

② Partial East Elevation
1/8" = 1'-0"

- Large Building Design Elements
- 1 Front porch covered with a flat top square feet of usable space
 - 2 Minimum square feet of usable space for each vehicle bay
 - 3 Split garage doors with separate door for each vehicle bay
 - 4 Bay windows with minimum projection of twenty four inches

5475 Robin Road

Exhibit D

REPORT & MINUTES

P.C. Meeting, February 27, 2023

3a. APPROVED Consideration of the application of **My Choice Custom Homes**, requesting approval of a Detail Plan for a Single-Family Detached Use on a property zoned Planned Development (PD) District 18-40 for Single-Family-7 (SF-7) Uses. This property is located at 5475 Robin Road. (District 4) (File Z 22-66 – Detail Plan)

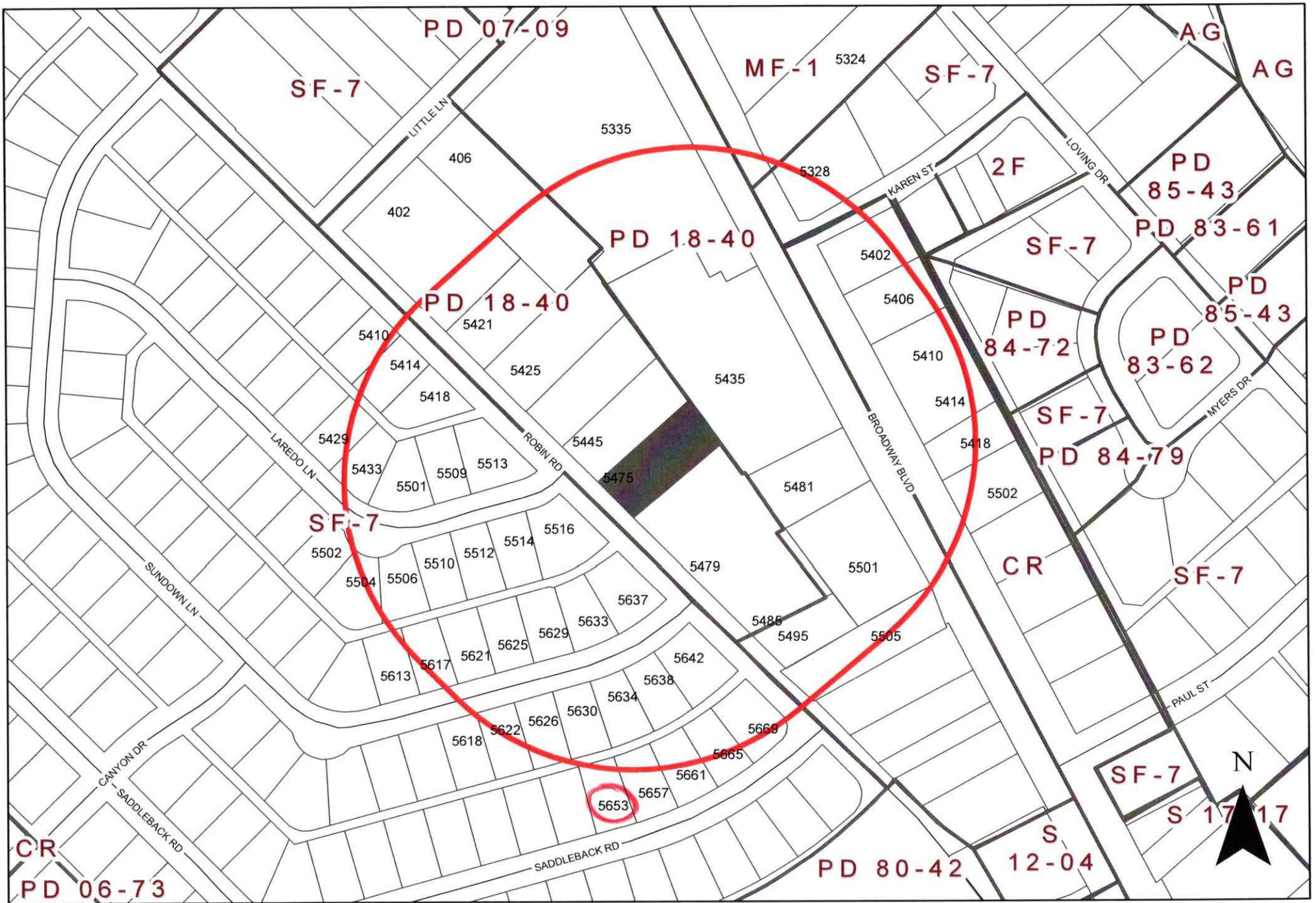
Representing the applicant Azhar Mohammed, 1100 Business Parkway, Ste. 195, Richardson, Texas remained available for questions.

There was discussion between the Plan Commission and Mr. Mohammed whether if a fence would be installed at the property.

Representing nearby property ownership, speaking in opposition: Eric Fulkerson, 5335 Broadway, Garland, Texas 75041.

The speaker spoke in opposition of the request due to possible complaints by residents regarding the odors coming from the surrounding commercial businesses.

Motion was made by Commissioner Jenkins to close the public hearing and **approve** the Detail Plan as presented. Seconded by Commissioner Williams. **Motion carried: 7 Ayes, 1 Nay** by Commissioner Cornelius.



0 130 260 Feet
1 inch = 198 feet

ZONING MAP Z 22-66

 INDICATES AREA OF REQUEST
 INDICATES NOTIFICATION AREA

5475 Robin Road

Zoning Response Case Comments

Case Number	PC Hearing Date	CC Hearing Date	Planner Name
Z 22-66	February 27, 2023	March 21, 2023	Matthew Wolverton

Z 22-66 My Choice Custom Homes. The applicant proposes a single-family home. Planned Development (PD) District 18-40 requires a Detail Plan through the public hearing process for new development. The site is located at 5475 Robin Road. (District 4)

Leslie smith

For

3/4/2023
1:53:11 AM

705 Lochness

Garland

Texas

United States

75044

Outside the Notification Area

Comment Form

Case Z 22-66

Z 22-66 My Choice Custom Homes. The applicant proposes a single-family home. Planned Development (PD) District 18-40 requires a Detail Plan through the public hearing process for a new development. The site is located at 5475 Robin Road. (District 4)

Z 22-66 My Choice Custom Homes. El solicitante propone una vivienda unifamiliar. El Distrito de Desarrollo Planificado (PD) 18-40 requiere un Plan de Detalle a través del proceso de audiencia pública para un nuevo desarrollo. El sitio está ubicado en 5475 Robin Road. (Distrito 4)

Z 22-66 My Choice Custom Homes. Người nộp đơn đề xuất một ngôi nhà dành cho một gia đình. Phát triển theo Kế hoạch (PD) Quận 18-40 yêu cầu một Kế hoạch Chi tiết thông qua quy trình điều trần công khai cho một sự phát triển mới. Địa điểm này tọa lạc tại 5475 Robin Road. (Quận 4)

Please Check One Below / Marque uno a continuación / Vui lòng kiểm tra một bên dưới

For / A Favor / Đúng

Against / En Contra / Không

Please complete the following information and email the form to Planning@garlandtx.gov; deliver to the Planning Department at 800 Main Street Garland, TX; or mail to City of Garland, Planning Department, P.O. Box 469002 Garland, TX 75406-9002. / Por favor Complete la siguiente información y envíe el formulario por correo electrónico a Planning@garlandtx.gov; entregar al Departamento de Planificación en 800 Main Street Garland, TX; o envíelo por correo a City of Garland, Planning Department, P.O. Box 469002 Garland, TX 75406-9002. / Vui lòng điền đầy đủ thông tin sau và gửi biểu mẫu qua email tới Planning@garlandtx.gov; giao cho Phòng Kế hoạch tại 800 Main Street Garland, TX; hoặc gửi thư đến Thành phố Garland, Sở Kế hoạch, P.O. Hộp 469002 Garland, TX 75406-9002.

David Ogle Property Owner

Printed Name & Title / Nombre Impreso y Título / Tên in và Tiêu đề

(Property Owner, Business Owner, Tenant, etc.) / (Dueño de la propiedad, Dueño de la empresa, Inquilino, etc.) / (Chủ sở hữu bất động sản, Chủ doanh nghiệp, Người thuê, v.v.)

5653 Saddleback Rd

Your Property Address / La dirección de su propiedad / địa chỉ tài sản

Garland Tx

City, State / Estado de la Ciudad / Thành bang

75043

Zip Code / Código postal / Mã B u Chính

[Signature]

Signature / Firma / Ch ữ ký

2-19-23

Date / Fecha / Ngày

(Providing email address and phone number is optional. / La dirección de correo electrónico y el número de teléfono son opcionales. / Địa chỉ email và số điện thoại là tùy chọn.)



GARLAND
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The applicant requests approval of a Detail Plan for a single-family home.

City Council Meeting

March 21, 2023

Z 22-66



GARLAND
TEXAS MADE HERE

CASE INFORMATION

Location: 5475 Robin Road

Applicant: My Choice Custom Homes

Owner: Abdi Omar

Acreage: 0.359 acres

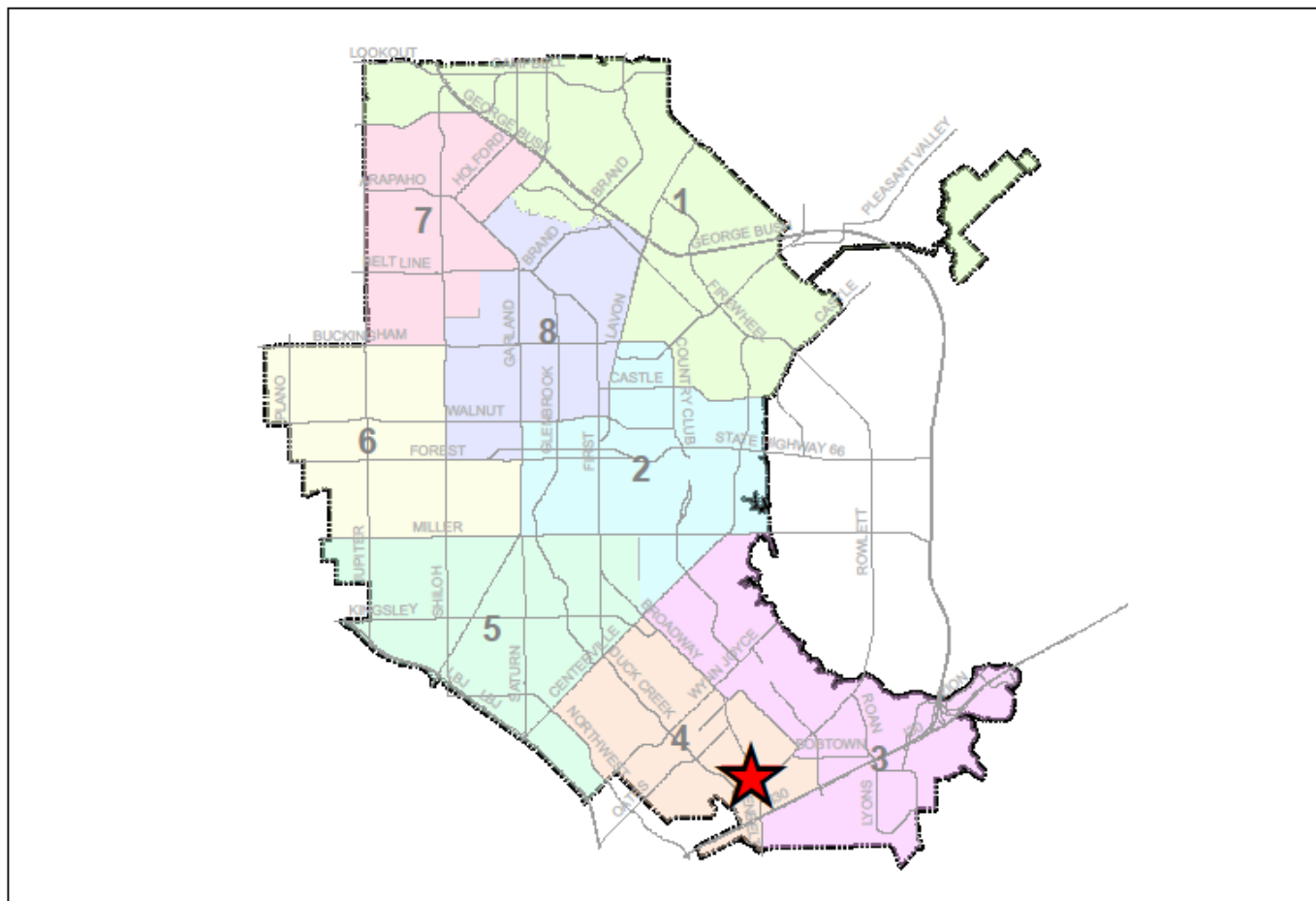
Zoning: Planned Development (PD) 18-40

Z 22-66




GARLAND
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CITYWIDE LOCATION MAP



0 1 2 Miles
1 in = 2 miles

ZONING MAP Z 22-66

 INDICATES AREA OF REQUEST

Z 22-66



LOCATION MAP

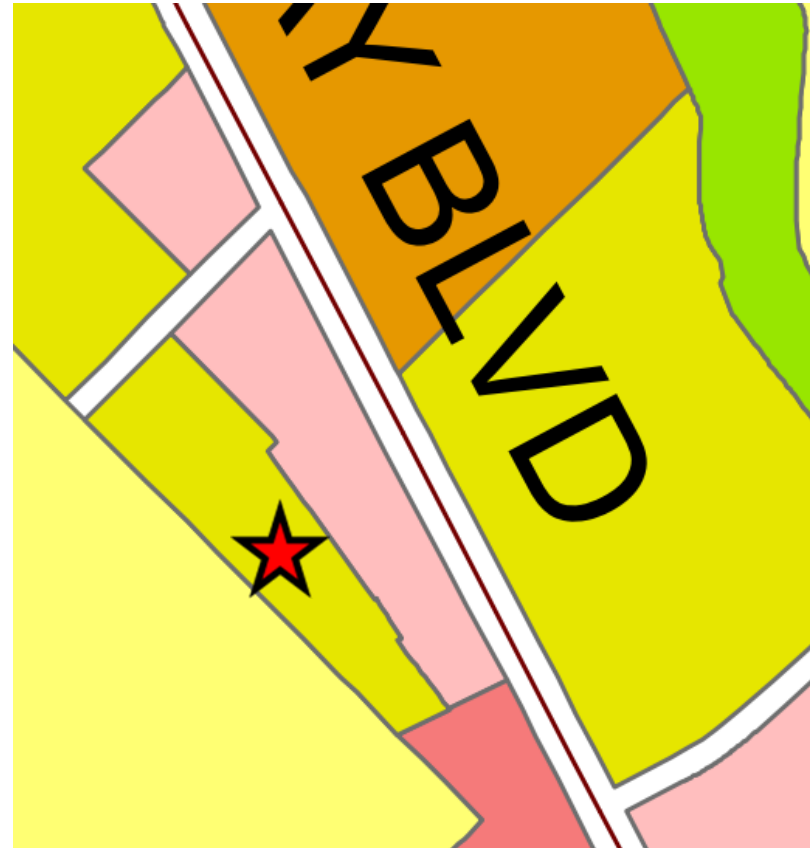




COMPREHENSIVE PLAN



Compact Neighborhoods





COMPREHENSIVE PLAN

The Future Land Use Map of the Envision Garland Plan recommends Compact Neighborhoods for the subject site

Compact neighborhoods provide areas for moderate increases in residential density, including single-family attached and single-family detached housing. It expands housing options through infill and redevelopment, while continuing walkable development patterns. These areas provide transitions between traditional residential neighborhoods and higher density residential neighborhoods and non-residential developments. These areas accommodate uses such as convenience retail (goods and services), office space, and public services. The architectural character and scale of these areas are compatible with adjacent residential development

This proposed use is generally compatible with the surrounding area



PHOTOS

Z 22-66



View of the subject site looking North from Robin Road. The Braum's can be seen in the background.



View from the subject site looking South across Robin Road. A fence belonging to a detached Single-Family-7 development can be seen.



View from the subject site looking East down Robin Road. A community retail strip mall containing retail and restaurants can be seen. Single Family homes can also be observed.



View from the subject site looking West down Robin Road. Single Family developments can be seen as well as vacant lots.



SITE PLAN

Legal Description:

JOHN LITTLE ABST 761 PG 380
80X197X85X185

Address:
5475 Robin Road
Garland TX 75043

Owner:
Abdi Omar

Name of Applicant:
Abdi Omar

Plan Preparer:
Azhar Mohammed

Company Info:

My Choice Custom Homes
572-832-1735
1100 Business Parkway Ste 195 Richardson TX 75081

Front Lot Area Schedule	
Name	Area
Concrete	983 SF
Grass	2346 SF
Total	3349 SF

Total Front Lot Area = Concrete SF/ Total SF
= 983 SF/ 3349 SF
= 29% Coverage

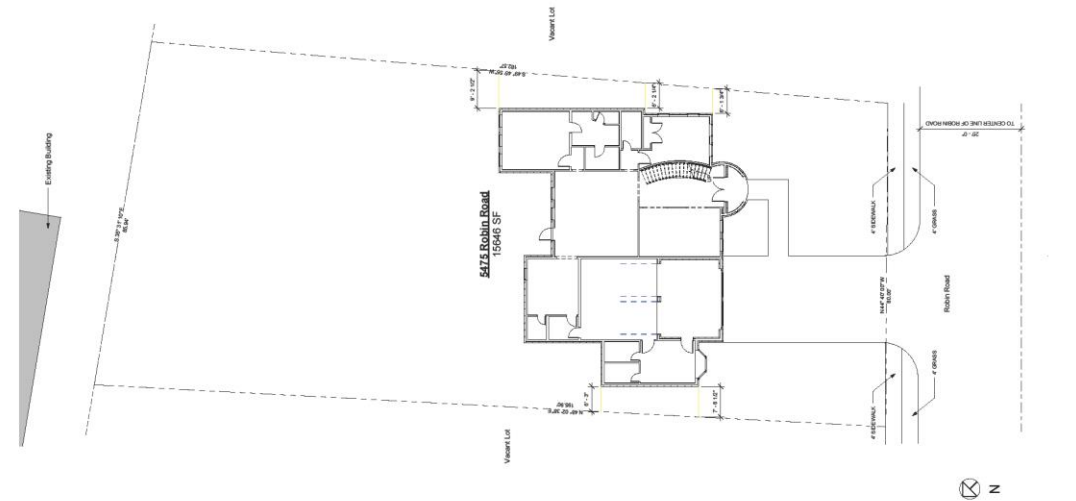
Property Schedule	
Name	Area
5475 Robin Road	15646 SF

Gross Area Schedule	
Name	Area
Total Building Area	3101 SF

Lot Coverage = Total Building Area SF/ Property SF
= 3101 SF/ 15646 SF
Lot Coverage = 20%



Vicinity Map

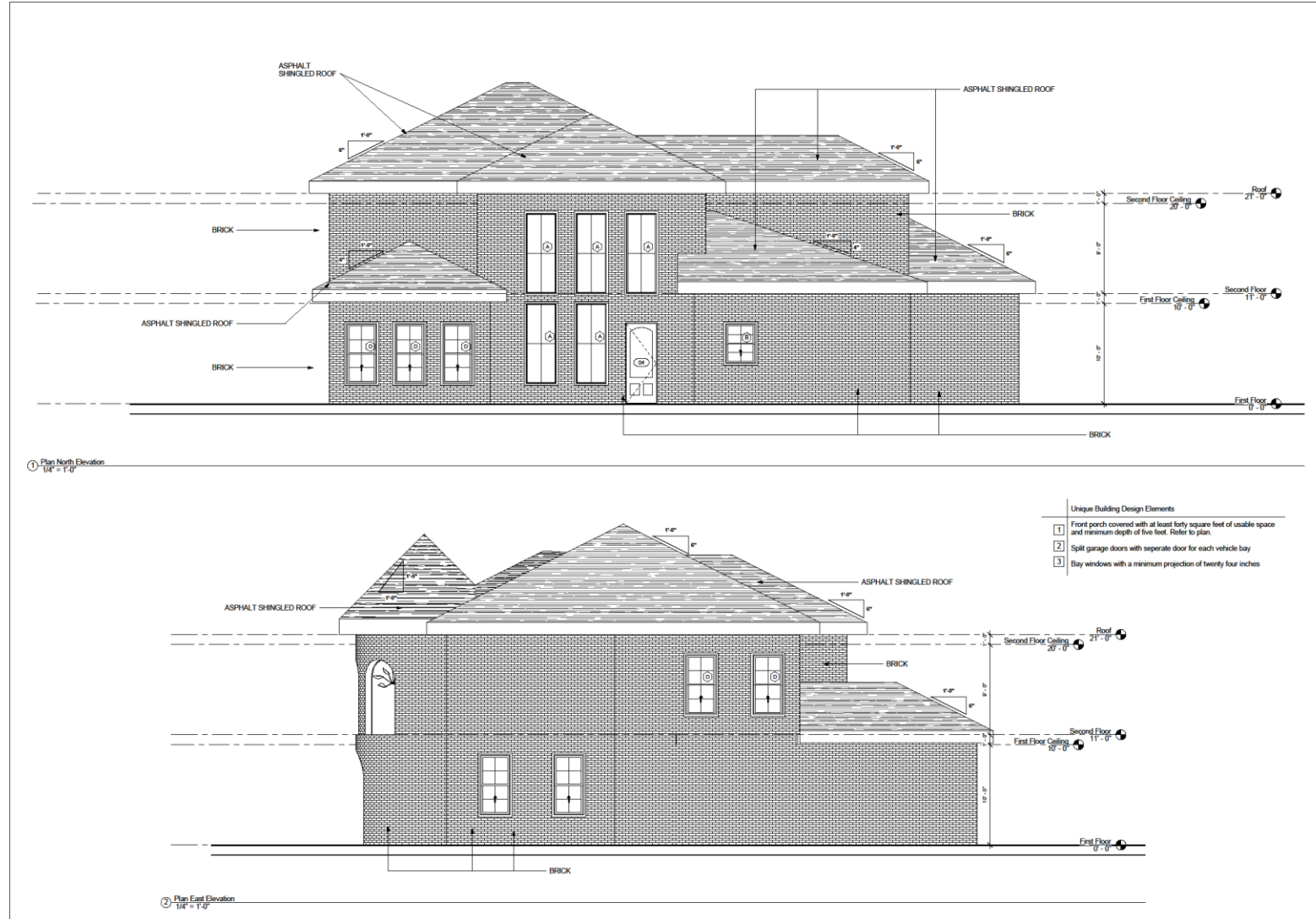


① 1/8" = 10'-0"

5475 Robin Road



BUILDING ELEVATIONS



5475 Robin Road

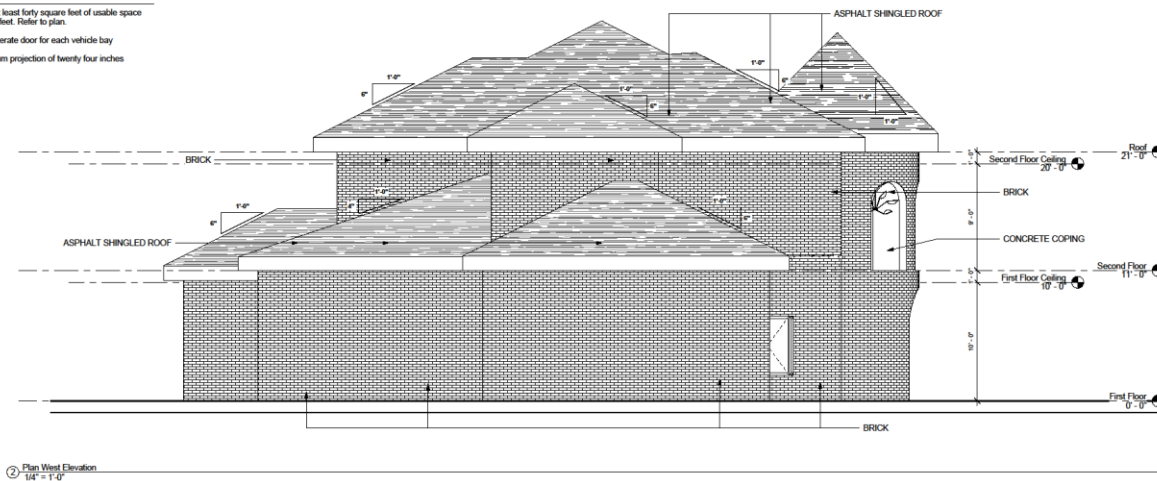
Z 22-66



BUILDING ELEVATIONS



- Unique Building Design Elements
- 1 Front porch covered with at least forty square feet of usable space and minimum depth of five feet. Refer to plan.
 - 2 Split garage doors with separate door for each vehicle bay
 - 3 Bay windows with a minimum projection of twenty four inches



5475 Robin Road

Z 22-66



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STAFF RECOMMENDATION

Approval of a Detail Plan for a Dwelling, Single-Family Detached Use on a property zoned Planned Development (PD) District 18-40 for Single-Family-7 (SF-7) Uses

Z 22-66



PLAN COMMISSION

On February 27, 2023, the Plan Commission, by a vote of seven (7) to one (1), recommended approval of a Detail Plan for a Dwelling, Single-Family Detached Use on a property zoned Planned Development (PD) District 18-40 for Single-Family-7 (SF-7) Uses.



GARLAND PLANNING REPORT

City Council Regular Session Agenda

7. b.

Meeting Date: 03/21/2023

Item Title: Z 22-81 J3P Consulting, LLC (District 6)

Submitted By: Matthew Wolverton, Development Planner

REQUEST

Approval of a Change of Zoning from Community Office (CO) District to Multi-Family-2 (MF-2) District.

LOCATION

2700 West Walnut Street and 320 King Lane

OWNER

JP3 Consulting, LLC

PLAN COMMISSION RECOMMENDATION

On February 27, 2023, the Plan Commission, made a motion to deny the request, which failed three (3) to five (5). The Plan Commission then made a motion to approve the request, which failed by a vote of four (4) to four (4). Therefore, the Plan Commission recommendation is considered denial of a Change of Zoning from Community Office (CO) District to Multi-Family-2 (MF-2) District.

STAFF RECOMMENDATION

Approval of the Change of Zoning from Community Office (CO) District to Multi-Family-2 (MF-2) District.

BACKGROUND

The applicant proposes to change the zoning of the vacant lot from Community Office (CO) District to a Multi-Family-2 (MF-2) District in order to construct an apartment complex.

SITE DATA

The 2.843-acre site is accessed from West Walnut Street and King Lane.

USE OF PROPERTY UNDER CURRENT ZONING

The subject property is zoned Community Office (CO) District and is currently vacant.

The Community Office (CO) district is intended to create an appropriate setting for medium and higher intensity office and professional uses. The district may be used as a transition district between low intensity office/retail uses and more intense uses. It is also generally appropriate along major transportation corridors. However, the Community Office (CO) District is generally not appropriate in proximity to low-density residential districts. Examples of allowed uses in a Community Office (CO) District are: professional offices, campus-style corporate offices, research, and assembly operations that may be large in scale but that are conducted wholly within a building(s) with very limited or no outside storage.

CONSIDERATIONS

1. The request is a traditional rezoning without the formation of a Planned Development (PD) District. These requests do not require Concept Plan or Detail Plan approval to commence or direct development. Development is dependent on the standards set forth by the Garland Development Code (GDC) and the goals and policies established within the Envision Garland 2030 Comprehensive Plan. This Change in Zoning is not intended to restrict uses or secure development performances beyond what is permitted within the proposed zoning district and the GDC. Accordingly, the GDC requires careful consideration as to how closely the proposed district follows the policies of the Envision Garland 2030 Comprehensive Plan, and to what degree the rezoning will affect surrounding and future development.
2. The Multi-Family (MF) District is an attached residential district intended to promote stable, quality, attached-occupancy residential development in livable, sustainable, and compact residential communities. The principal allowed land uses include low-rise to mid-rise multiple-family dwelling structures that are renter-occupied or owner-occupied (as in condominiums). Recreational, religious, health, and educational uses normally located to serve residential areas are also allowed in this district. This district should be located adjacent to an arterial or collector street, and can serve as a buffer between nonresidential development or heavy automobile traffic and medium-density or low-density residential development. This district accommodates a variety of housing types including triplexes, quadplexes, apartments, and condominiums. The MF-2 District is intended to accommodate moderately higher densities and building height in order to reflect a more urban style of multifamily development. Specifically, the MF-2 District allows up to 32 units per acre, and up to 50 feet in building height.
3. The MF-2 District was recently adopted in 2022 into the Garland Development Code by the City Council to account for common multi-family development requests that would trigger the Planned Development (PD) District process, primarily density and building height. By creating the MF-2 District, it may allow developments to proceed with a "straight zoning" change and meet GDC standards without the necessity of a Planned Development which is commonly associated with deviations and flexibility being requested. The applicant concurs with the MF-2 District standards.

4. In the event the Zoning Change request is approved, the applicant will need to proceed with the platting of the subject property and securing a site permit and a building permit prior to commencing construction. It will be during the permitting process that staff will review the proposed development and verify compliance with all the applicable regulations.

COMPREHENSIVE PLAN

The Future Land Use Map of the Envision Garland Plan recommends Business Centers for the subject site. Business centers provide a cluster of business offices and/or low impact industry, including campus-type development that cumulatively employ large numbers of people. Operations within this development type occur internal to buildings resulting in minimal negative impacts (sound, air, traffic, outdoor lighting, storage, etc.) and are compatible with adjacent development types in architecture, character, scale, and intensity. Business centers are generally located at intersections of major and/or secondary arterial streets or significant transit areas (bus/rail). Proximity and access to residential areas are encouraged to reduce travel times to employment. Site design addresses function and visual aesthetics providing appropriate buffering at gateway corridors, between adjacent developments, and for residential neighborhoods.

The applicant proposes to introduce new housing stock to the area.

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

The properties to the North are zoned Single Family-7 (SF-7) District. This area contains single-family detached houses. The properties to the West are zoned Multi-Family-1 (MF-1) District and contain multiple apartment complexes. The properties to the East are zoned Community Office (CO) District, Multi-Family-1 (MF-1) District, and Community Retail (CR) District. The adjacent property contains a medical clinic, the MF-1 property contains an apartment complex, and the CR properties contain restaurants, offices, and retail stores. The property to the south is zoned Community Office (CO) District and contains a hospital.

The proposed use is generally compatible with the surrounding area.

Attachments

Z 22-81 Location Map
Z 22-81 R&M - MF-2
Z 22-81 Responses
Z 22-81 Staff Presentation

REPORT & MINUTES

P.C. Meeting, February 27, 2023

3d. DENIED Consideration of the application of **J3P Consulting LLC**, requesting approval of a Change in Zoning from Community Office (CO) District to Multi-Family-2 (MF-2) District. This property is located at 2700 West Walnut Street and 320 King Lane. (District 6) (File Z 22-81 – MF-2)

Representing the applicant Zacariah Jacob, 5166 Highland Hills Dr., Frisco, Texas 75036, provided an overview of the request, and remained available for questions.

There was discussion between the Plan Commission and Mr. Jacob regarding experience in residential development and the results of the traffic study. Further discussion included the various unit sizes for the development.

There was clarification and discussion between staff and the Plan Commission regarding the reason why this case is MF-2 and not MF-1. This zoning request is MF-2 because there is limited developable land, making the density requirement of MF-1 difficult to achieve.

Motion was made by Commissioner Jenkins to close the public hearing and open for discussion. Seconded by Commissioner Williams. **Motion carried: 8 Ayes, 0 Nays.**

Commissioner Jenkins spoke against the request due to the area being densely populated and future public safety concerns.

Chair Roberts shared his initial optimism of the request in hopes it might incentivize the neighboring complexes to make improvements.

Commissioner Aubin spoke in favor of the request and adding new multi-family development in the area.

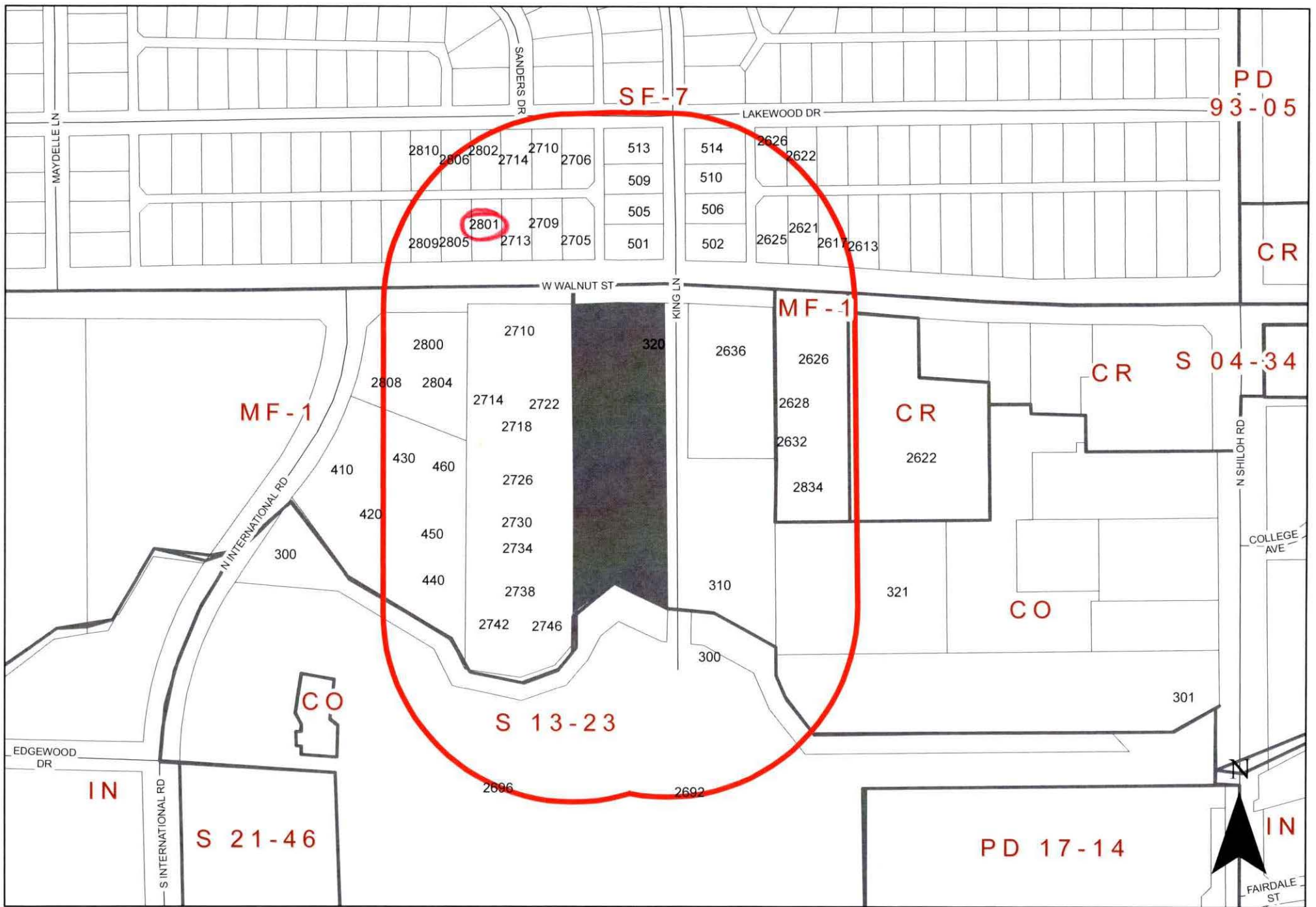
Commissioner Dalton spoke against the request due to the request being incomplete in terms of containing a Detail Plan as part of the request.

Commissioner Jenkins offered a rebuttal to the comments made by Chair Roberts. Commissioner Jenkins does not believe this would be the best use of land due to there being other appropriate zoned uses such as neighboring services, commercial retail, commercial office.

Motion was made by Commissioner Jenkins to **deny** the request as presented. Seconded by Commissioner Williams. **Motion failed: 3 Ayes, 5 Nays** by Commissioners Paris, Cornelius, Roberts, Aubin and Williams.

Motion was made by Commissioner Aubin to **approve** the request as presented. Seconded by Commissioner Paris. **Motion failed: 4 Ayes, 4 Nays** by Commissioners Dalton, Jenkins, Williams and Rose.

Senior Assistant City Attorney Roten informed Chair Roberts that due to the request not receiving the majority of votes in favor of the request, the request fails and will move forward to Council with no recommendation for approval.



ZONING MAP Z 22-81

 INDICATES AREA OF REQUEST  INDICATES NOTIFICATION AREA

2700 W. Walnut St. / 320 King Lane

Zoning Response Case Comments

Case Number	PC Hearing Date	CC Hearing Date	Planner Name
Z 22-81	February 27, 2023	March 21, 2023	Matthew Wolverton

Z 22-81 JP3 Consulting, LLC. The applicant requests a zoning change from Community Office (CO) District to Multi-Family-2 (MF-2) District. The site is located at 2700 West Walnut Street/320 King Lane. (District 6)

William Spears

For

3/6/2023
5:48:12 PM

1921 Mission Dr.

Outside the Notification Area

Garland

Texas

United States

<null>

We need more affordable housing options in Garland.

Leslie Smith

Against

3/4/2023
2:04:14 AM

705 Lochness

Outside the Notification Area

Garland

Texas

United States

75044

No more multi-family housing! Crime is rising due to the influx of multi-family housing. Infrastructure (roads, traffic, police, fire, water, garbage) can't handle it

Comment Form

Case Z 22-81

Z 22-81 JP3 Consulting, LLC. The applicant requests a zoning change from Community Office (CO) District to Multi-Family-1 (MF-1) District. The site is located at 2700 West Walnut Street/320 King Lane. (District 6)

Z 22-81 JP3 Consulting, LLC. El solicitante solicita un cambio de zonificación del Distrito de Oficina Comunitaria (CO) al Distrito Multifamiliar-1 (MF-1). El sitio está ubicado en 2700 West Walnut Street/320 King Lane. (Distrito 6)

Z 22-81 JP3 Tư vấn, LLC. Người nộp đơn yêu cầu thay đổi phân vùng từ Quận Văn phòng Cộng đồng (CO) thành Quận Nhiều gia đình-1 (MF-1). Địa điểm tọa lạc tại 2700 West Walnut Street/320 King Lane. (Quận 6)

Please Check One Below / Marque uno a continuación / Vui lòng kiểm tra một bên dưới

For / A Favor / Đúng

Against / En Contra / Không

Please complete the following information and email the form to Planning@garlandtx.gov; deliver to the Planning Department at 800 Main Street Garland, TX; or mail to City of Garland, Planning Department, P.O. Box 469002 Garland, TX 75406-9002. / Por favor Complete la siguiente información y envíe el formulario por correo electrónico a Planning@garlandtx.gov; entregar al Departamento de Planificación en 800 Main Street Garland, TX; o envíelo por correo a City of Garland, Planning Department, P.O. Box 469002 Garland, TX 75406-9002. / Vui lòng điền đầy đủ thông tin sau và gửi biểu mẫu qua email tới Planning@garlandtx.gov; giao cho Phòng Kế hoạch tại 800 Main Street Garland, TX; hoặc gửi thư đến Thành phố Garland, Sở Kế hoạch, P.O. Hộp 469002 Garland, TX 75406-9002.

Rosalind Licea Property/Home owner

Printed Name & Title / Nombre Impreso y Título / Tên in và Tiêu đề

(Property Owner, Business Owner, Tenant, etc.) / (Dueño de la propiedad, Dueño de la empresa, Inquilino, etc.) / (Chủ sở hữu bất động sản, Chủ doanh nghiệp, Người thuê, v.v.)

2801 W. Walnut St

Your Property Address / La dirección de su propiedad / địa chỉ tài sản

Garland Texas

City, State / Estado de la Ciudad / Thành bang

75042

Zip Code / Código postal / Mã B u Chính

Rosalind Licea

Signature / Firma / Chữ ký

02-05-2023

Date / Fecha / Ngày

(Providing email address and phone number is optional. / La dirección de correo electrónico y el número de teléfono son opcionales. / Địa chỉ email và số điện thoại là tùy chọn.)



GARLAND
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The applicant requests approval of a change in zoning from Community Office (CO) District to Multi-Family-2 (MF-2) District, to allow for an apartment complex.

City Council Meeting

March 21, 2023

Z 22-81

CASE INFORMATION

Location: 2700 West Walnut St/320 King Lane

Applicant: JP3 Consulting, LLC

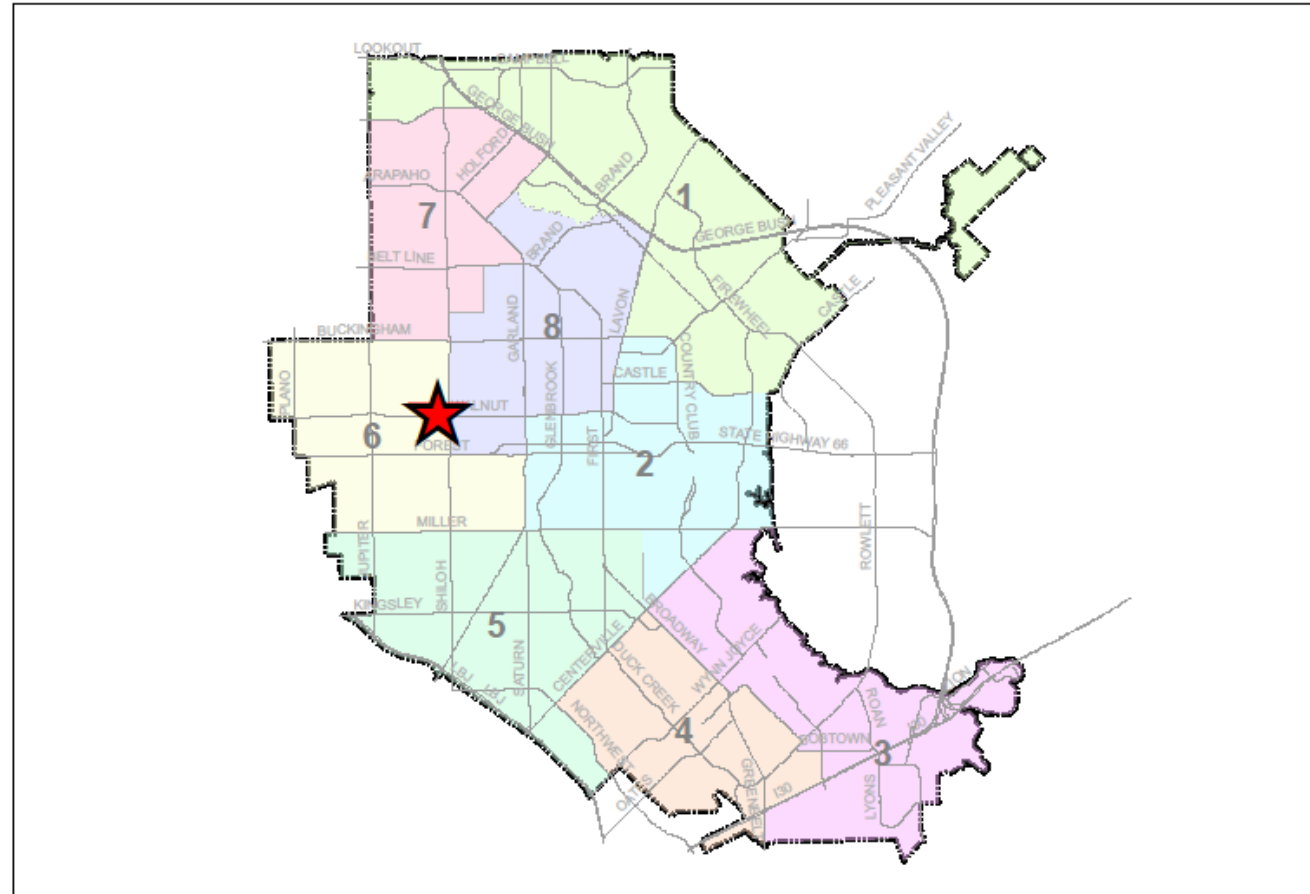
Owner: JP3 Consulting, LLC

Acreage: 2.843 acres

Zoning: Community Office (CO) District



CITYWIDE LOCATION MAP



0 1 2 Miles
1 in = 2 miles

ZONING MAP Z 22-81

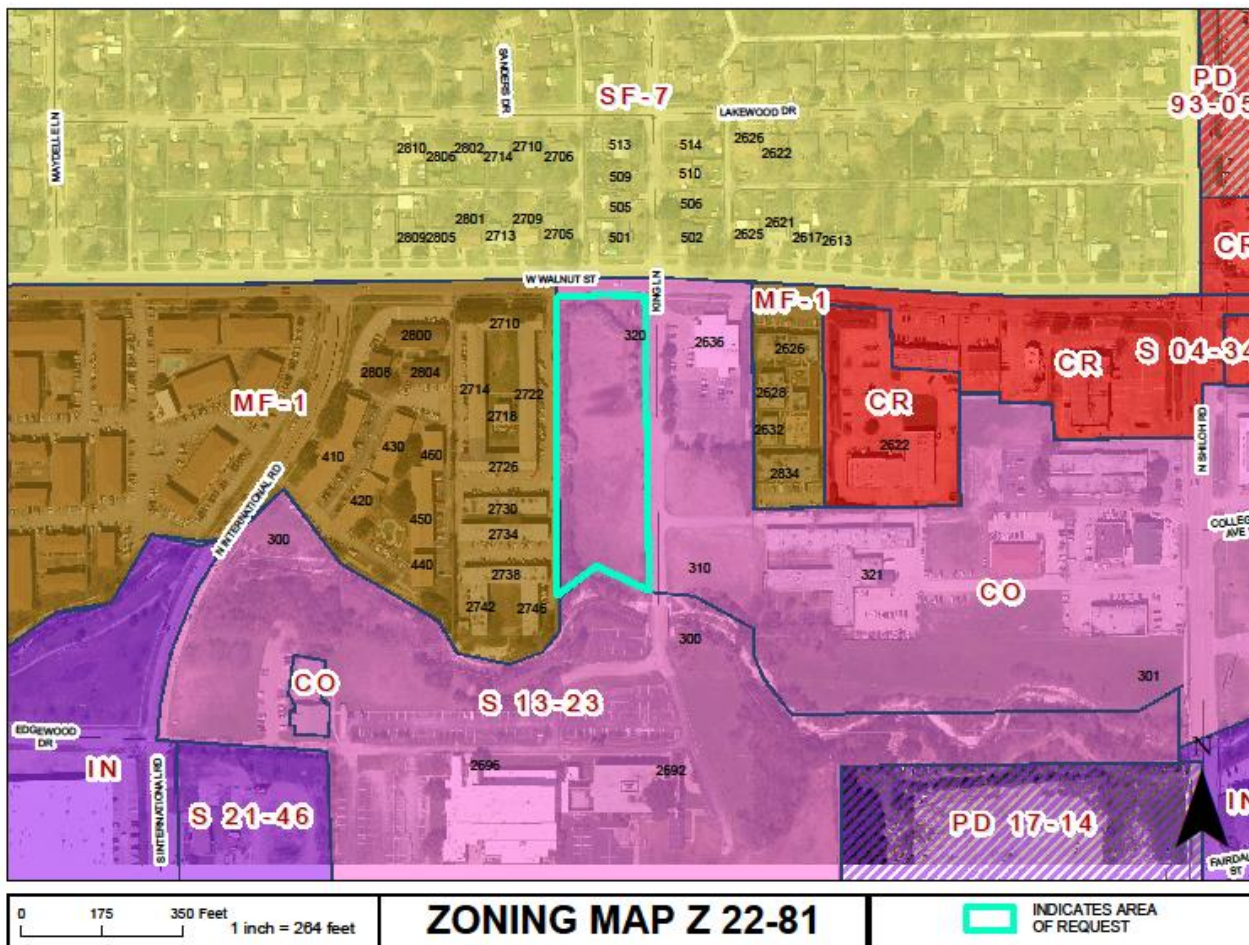
INDICATES AREA OF REQUEST

Z 22-81



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LOCATION MAP

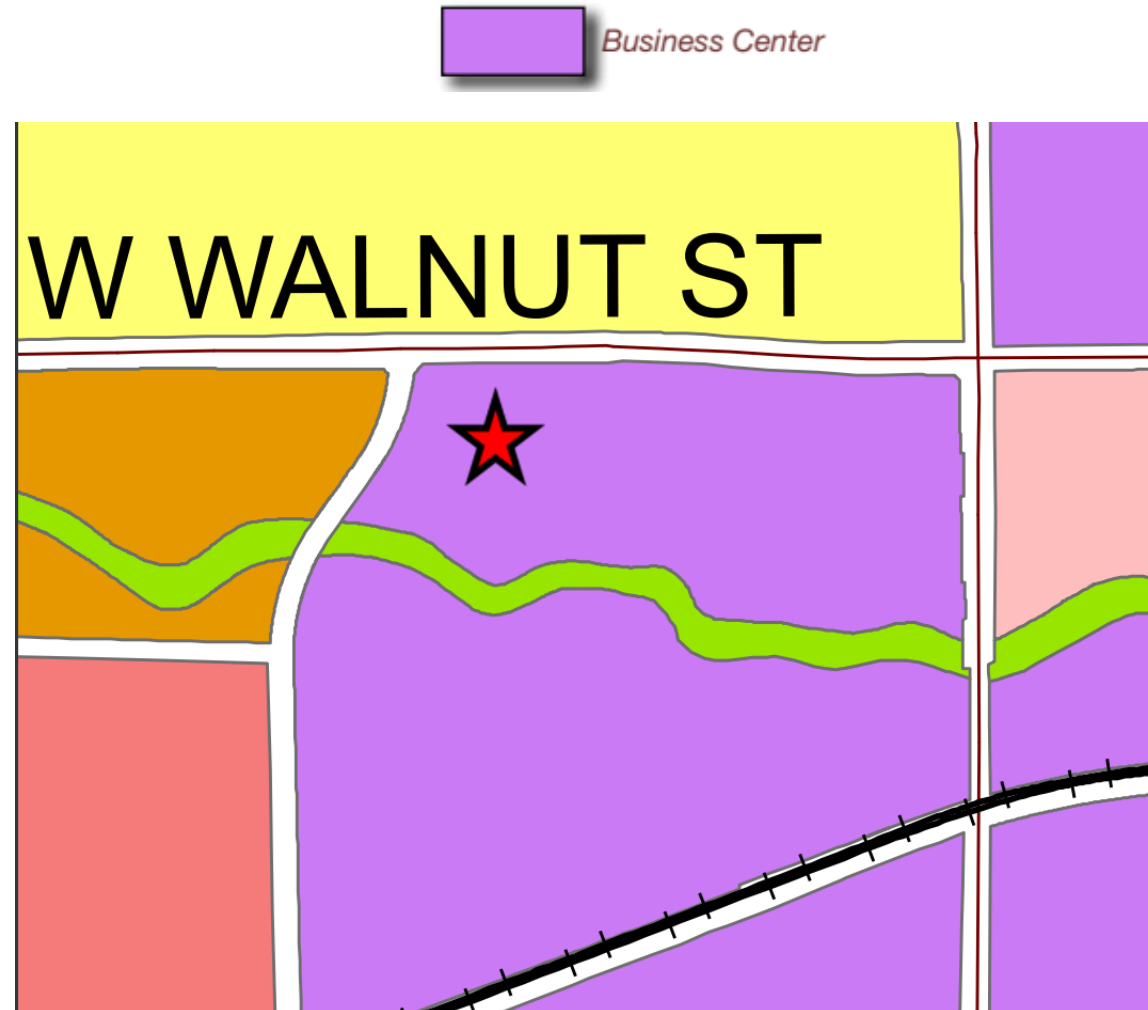


320 King Lane

Z 22-81



COMPREHENSIVE PLAN





COMPREHENSIVE PLAN

- The Future Land Use Map of the Envision Garland Plan recommends business centers for the subject site
- Business centers provide a cluster of business offices and/or low impact industry, including campus-type development that cumulatively employ large numbers of people. Operations within this development type occur internal to buildings resulting in minimal negative impacts (sound, air, traffic, outdoor lighting, storage, etc.) and are compatible with adjacent development types in architecture, character, scale, and intensity. Business centers are generally located at intersections of major and/or secondary arterial streets or significant transit areas (bus/rail). Proximity and access to residential areas are encouraged to reduce travel times to employment. Site design addresses function and visual aesthetics providing appropriate buffering at gateway corridors, between adjacent developments, and for residential neighborhoods
- This proposed use is generally compatible with the surrounding area
- The applicant proposes to introduce new housing stock to the area



STRAIGHT ZONING

- The request is a traditional rezoning without the formation of a Planned Development (PD) District. These requests do not require Concept Plan or Detail Plan approval to commence or direct development. Development is dependent on the standards set forth by the Garland Development Code (GDC) and the goals and policies established within the Envision Garland 2030 Comprehensive Plan.
- This Change in Zoning is not intended to restrict uses or secure development performances beyond what is permitted within the proposed zoning district and the GDC. Accordingly, the GDC requires careful consideration as to how closely the proposed district follows the policies of the Envision Garland 2030 Comprehensive Plan, and to what degree the rezoning will affect surrounding and future development.

PHOTOS

Z 22-81



View of the subject site looking South from West Walnut Street.



View from the subject site looking West on Walnut Street. The adjacent Multi-Family structure is in view.



View from the subject site looking North across West Walnut Street. Single Family-7 zoned properties are in view.



View from the subject site looking East on West Walnut Street. Community Office zoned properties such as a pharmacy are shown to the right.



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STAFF RECOMMENDATION

Approval of a Change in Zoning from Community Office (CO) District to Multi-Family-2 (MF-2) District

Z 22-81



PLAN COMMISSION

On February 27, 2023, the Plan Commission, made a motion to deny the request, which failed three (3) to five (5). The Plan Commission then made a motion to approve the request, which failed by a vote of four (4) to four (4). Therefore, the Plan Commission recommendation is considered denial of a Change of Zoning from Community Office (CO) District to Multi-Family-2 (MF-2) District.



GARLAND

City Council Regular Session Agenda

9.

Meeting Date: 03/21/2023

Item Title: Board and Commission Appointment

Submitted For: Courtney Vanover, Department Coordinator II, City Secretary

Summary:

Council Member Dylan Hedrick

- Tony N. Bui - Tax Increment Finance #1 Downtown Board
-

Attachments

Tony Bui



GARLAND

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CITY OF GARLAND
RECEIVED
OCT 18 2022
CITY SECRETARY

Application for City of Garland Boards/Commissions/Committees

Return completed application to: City Secretary's Office, 200 North Fifth Street, Garland, Texas 75040

Please Type or Print Clearly:

Date: 10/18/2022

Name: Tony N. Bui

Phone: _____

(Home)

Address: 2302 Lone Oak Trl

Phone: _____

(Other)

City, State, Zip: Garland, TX 75044

Email: _____

Resident of Garland for 8 years

Resident of Texas for 13 years

✓ Dallas County Voter Registration Number _____

Garland City Council District Number 7

Have you ever been convicted of a felony? Yes No

Have you ever been convicted of a Class A misdemeanor? Yes No

Please list any experience that qualifies you to serve in the areas you have indicated.

Tony Bui is a professional IT project manager for more than 20 years, manage multi-millions dollars proje

If you have previously served on a City Board or Commission, please specify and list dates of service.

N/A

List civic or community endeavors with which you have been involved.

Involved with district 7 community against the opening of drug rehab center on Wagon Wheel RD, Garland TX

What is your educational background?

Attended Northeastern Illinois University from 1994 - 1997 persuit Finance and Computer Science program 5

What is your occupational experience?

More than 20 years IT Project Mangers, managing budget and projects. Oversee around 150 resources.

I hereby affirm that all statements herein are true and correct.

Signature of Applicant

Board or Commission of first, second, and third choice:

___ Board of Adjustment

___ Garland Youth Council **

___ Parks and Recreation Board

___ Citizens Environmental and Neighborhood Advisory Committee

___ Property Standards Board

___ Plan Commission

___ Community Multicultural Commission

___ Library Board

___ Senior Citizens Advisory Committee

___ Garland Cultural Arts Commission

___ Historic Landmarks Commission

**Garland Youth Council has a separate application

FOR OFFICE USE ONLY

Ad Valorem Tax Status
Utility Account Status

Current
Current

Past Due
Past Due

Date Appointed _____

Appointed By _____

CSO Suit/Claim Filed
Clerk Signature & Date

Yes No

Date Notified _____

Disclosure Form Filed _____

Revised 03/2018