



GARLAND

NOTICE OF MEETING CITY OF GARLAND, TEXAS

PLAN COMMISSION

**City Hall, Council Chambers
William E. Dollar Municipal Building
200 N. Fifth Street
Garland, Texas
May 8, 2023 at 7:00 p.m.**

A meeting of the Plan Commission of the City of Garland, Texas will be held at the aforementioned location, date, and time to discuss and consider the following agenda items.

A pre-meeting will begin at 6:30 p.m. at the same location as the regular meeting. The agenda for the pre-meeting is the same as for the regular meeting, and may include additional items as set forth below.

INVOCATION AND PLEDGE OF ALLEGIANCE: It is the custom and tradition of the members of the Plan Commission to have an invocation and recital of the Pledge of Allegiance prior to the beginning of the meeting. Members of the audience are invited to participate. However, members of the audience are not required to participate. The decision to participate is strictly a matter of personal choice and has no bearing on matters to be considered by the Plan Commission and will not affect the decisions to be made during the meeting.

The meeting will be broadcast on City of Garland Government Access Television (CGTV). CGTV is available via GarlandTX.gov, channel 16 (Spectrum), Channel 44 (Frontier), and channel 99 (AT&T U-verse). Meetings are broadcast online via live-streaming, on-demand, and air on CGTV with several rebroadcasts during the week of the meeting.

Public Comments

Your comments must relate to an item on this agenda - non-germane comments are not in order. Time limits will be imposed by the Chairman as appropriate to the nature of the agenda item. Generally, public speakers are given three minutes.

IN-PERSON COMMENTS: Registration will be required for any citizen wishing to speak. Speakers shall register using the electronic registration kiosks in the lobby of City Hall.

Garland City Hall and Council Chambers are wheelchair accessible. Special parking is available on the east side of City Hall and on Austin & State Street west of City Hall. Persons with disabilities who plan to attend this meeting and who may need auxiliary aids or services must contact the City Secretary's Office at (972) 205-2404 at least two working days prior to the meeting so that appropriate arrangements can be made. **BRILLE IS NOT AVAILABLE.**

If the Plan Commission adjourns into executive session during this meeting, the executive session will be conducted between and among the members of the Plan Commission and relevant City staff. Public access to that meeting is prohibited by State law.

CONSENT AGENDA

All items under this section are recommended for approval by a single motion of the Plan Commission, without discussion. The Plan Commission has had the opportunity to review each of these items during a pre-meeting. The Chairman will announce the agenda and provide an opportunity for members of the audience and the Plan Commission to request that an item be removed and considered separately.

1. MINUTES

- a.** Consider approval of the Plan Commission Minutes for the April 24, 2023 meeting.

ITEMS FOR INDIVIDUAL CONSIDERATION

Speaker Regulations:

Anyone wishing to speak for, against, or on agenda items must fill out a speaker card and give it to the Plan Commission Secretary before speaking (cards are located at the entrance to the Council Chambers). The Chairman will recognize speakers; he may impose a time limit and may provide for rebuttal. All comments and testimony are to be presented from the podium.

2. ZONING

- a. Consideration of the application of **Ron Hobbs Architecture & Interior Design**, requesting approval of a Specific Use Provision amendment for an existing Food Processing and Storage use on a property zoned Industrial (IN) District. This property is located at 2960 Market Street. (District 5) (Z 23-09 – Specific Use Provision)
- b. Consideration of the application of **Ron Hobbs Architecture & Interior Design**, requesting approval of a Plan for a Food Processing and Storage Use expansion. This property is located at 2960 Market Street. (District 5) (Z 23-09 – Plan)
- c. Consideration of the application of **ATWELL, LLC**, requesting approval of a Specific Use Provision for a Restaurant, Drive-Through Use on a property zoned Community Retail (CR) District. This property is located at 6318 Broadway Boulevard. (District 3) (File Z 23-14 – Specific Use Provision)
- d. Consideration of the application of **ATWELL, LLC**, requesting approval of a Plan for a Restaurant, Drive-Through Use. This property is located at 6318 Broadway Boulevard. (District 3) (File Z 23-14 – Plan)

3. ADJOURN

NOTICE: The Plan Commission may recess from the open session and convene in a closed session if the discussion of any of the listed agenda items concerns matters regarding privileged and unprivileged client information deemed confidential by Rule 1.05 of the Texas Disciplinary Rules of Professional Conduct. Sec. 551.071, Tex. Gov't Code.

NOTE: A quorum of the City Council may be in attendance and may or may not participate in the discussions of the Committee or board.



GARLAND

Plan Commission

2. a.

Meeting Date: 05/08/2023

Item Title: Z 23-09 Ron Hobbs Architecture & Interior Design - Specific Use Provision
(District 5)

Summary:

Consideration of the application of **Ron Hobbs Architecture & Interior Design**, requesting approval of a Specific Use Provision amendment for an existing Food Processing and Storage use on a property zoned Industrial (IN) District. This property is located at 2960 Market Street. (District 5) (Z 23-09 – Specific Use Provision)

Attachments

Z 23-09 Ron Hobbs Architecture & Interior Design - Specific Use Provision (District 5)
Z 23-09 Ron Hobbs Architecture & Interior Design Responses

Planning Report

File No: Z 23-09/District 5

Agenda Item:

Meeting: Plan Commission

Date: May 8, 2023



GARLAND

TEXAS MADE HERE

REQUEST

Approval of an amendment to a Specific Use Provision for an existing Food Processing and Storage Use on a property zoned Industrial (IN) District.

Approval of a Plan for a Food Processing and Storage Use expansion.

LOCATION

2960 Market Street

APPLICANT

Ron Hobbs Architecture & Interior Design

OWNER

Bally Plus International

BACKGROUND

The subject property has an approved SUP (S 19-34) for a Food Processing and Storage use. The applicant requests an expansion of the warehouse space of the existing building and current use on the property. Therefore, a SUP revision is required through the Public Hearing process.

Food Processing and Storage is defined in the Garland Development Code as a large-scale manufacturing operation that prepares or produces foods and beverages for human consumption, primarily for commercial and wholesale customers for off-site distribution and consumption. The term includes dry and cold storage of food products, unless they are incidental to another primary use such as a grocery store or a restaurant. The term may include incidental retail sales of food products produced on the premises. The term does not include the preparation or manufacture of products for consumption by animals, or the slaughtering of any type of animal other than sea life.

The use on the subject property includes the packing of frozen foods from outside supplies, and the warehousing and shipping of the products.

SITE DATA

The site is 2.187 acres and is accessed from Market Street.

USE OF PROPERTY UNDER CURRENT ZONING

The subject property is zoned Industrial (IN) District with a Specific Use Provision (S 19-34) for Food Processing and Storage Use.

CONSIDERATIONS

Specific Use Provision:

1. The applicant proposes to construct a 9,286 square-foot expansion of the existing Food Processing and Storage Use building.
2. The applicant is requesting approval of a twenty-five (25) year Specific Use Provision. The SUP Time Period Guide recommends twenty (20) to twenty-five (25) years for Food Processing & Storage.
3. The site layout (Exhibit C) for the proposed expansion complies with the Garland Development Code (GDC).
4. Additional landscaping and screening were not triggered by this request; therefore, the landscape layout (Exhibit D) for the proposed expansion complies with the Garland Development Code (GDC).
5. The building elevations (Exhibit E) for the proposed expansion comply with the Garland Development Code (GDC).

COMPREHENSIVE PLAN

The Future Land Use Map of the Envision Garland plan designates this property as Industry Centers.

Industry centers provide a cluster of trade and industry that cumulatively employ large numbers of people. Operations within this development type may require substantial infrastructure and may result in more significant negative impacts (sound, air, traffic, outdoor lighting, storage, etc.). Operations may include such elements as semi-truck traffic, loading docks, and visible outdoor storage. Overall, the architecture, character, scale, and intensity should be compatible with adjacent development types. Industry centers are generally located along major arterial streets, and highways and at significant transit areas (bus/ rail). Site design addresses function and visual aesthetics that provide appropriate buffering at gateway corridors, between adjacent developments, and for residential neighborhoods.

The expansion of the use is appropriate in this industrial area and the proposal is generally compatible with the Comprehensive Plan.

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

The properties surrounding the site are zoned Industrial (IN) District. These properties include similar uses such as manufacturing, storage, warehousing, and distribution. The current use, the packing of frozen foods from outside suppliers, was already approved in the currently active SUP 19-34.

The proposed use is generally compatible with the surrounding area.

STAFF RECOMMENDATION

Approval of an amendment to a Specific Use Provision for an existing Food Processing and Storage Use on a property zoned Industrial (IN) District.

Approval of a Plan for a Food Processing and Storage Use expansion.

ADDITIONAL INFORMATION

- i. Location Map
- ii. SUP Conditions

- iii. Exhibits
- iv. Photos

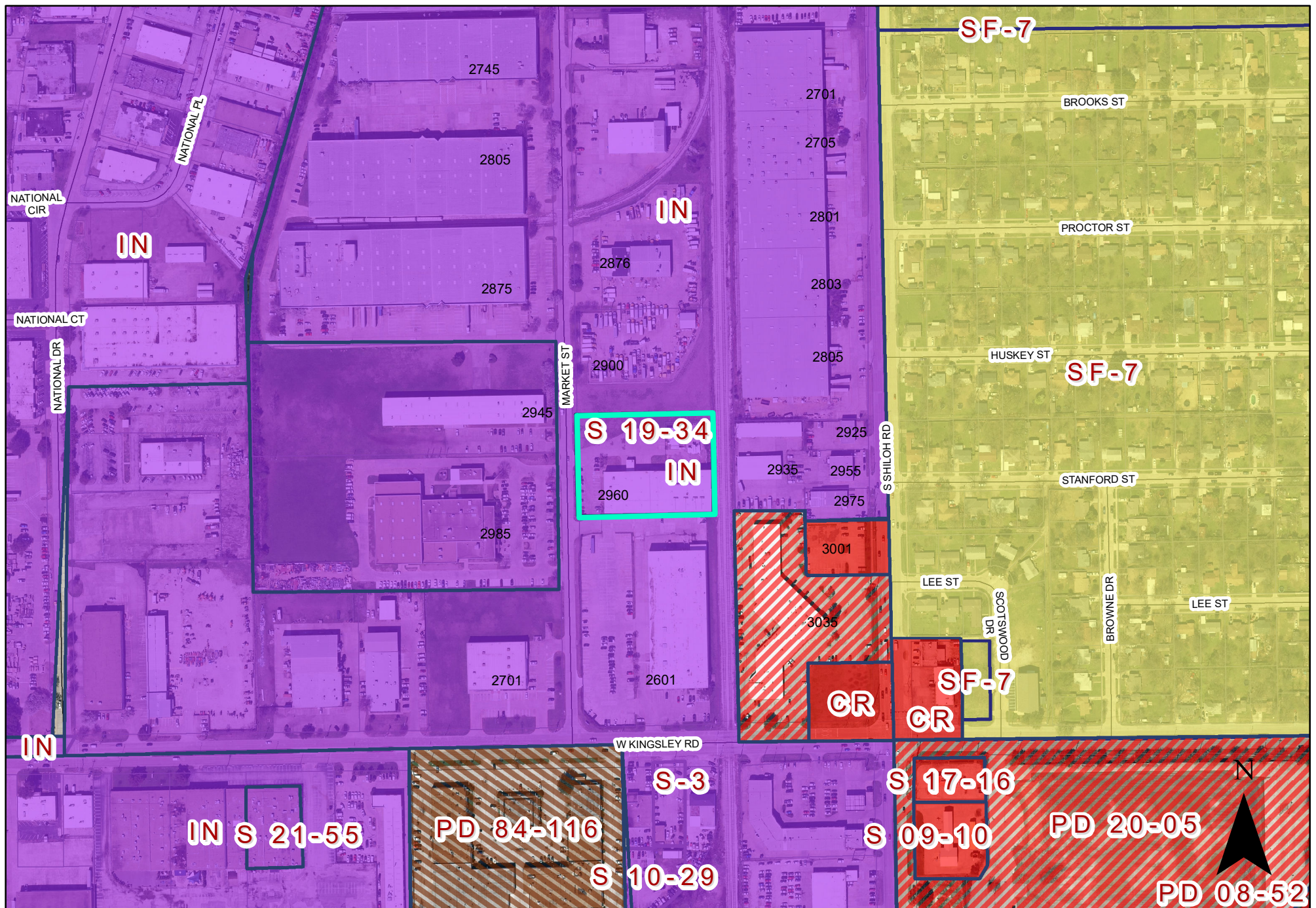
CITY COUNCIL DATE: June 06, 2023

PREPARED BY:

Matthew Wolverton
Development Planner
Planning & Development
972-205-2454
mwolverton@garlandtx.gov

REVIEWED BY:

Will Guerin, AICP
Director of Planning



ZONING MAP Z 23-09

2960 Market Street

SPECIFIC USE PROVISION CONDITIONS

ZONING FILE Z 23-09

2960 Market Street

- I. Statement of Purpose:** The purpose of this Specific Use Provision amendment is to allow the expansion of a Food Processing and Storage Use.
- II. Statement of Effect:** This Specific Use Provision shall not affect any regulation found in the Garland Development Code, Ordinance No. 6773, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. General Regulations:** All regulations of the Community Retail (IN) District and Site Development Standards as set forth in Chapter 2 and 4 of the Garland Development Code, Ordinance 6773, are included by reference and shall apply, except as otherwise specified by this ordinance.

IV. Development Plans:

Site Layout: The site shall be in general conformance with the approved Site Plan, Landscape Plan, and Elevations labeled Exhibit C, Exhibit D, and Exhibit E. In the event of conflict between the conditions and the site plan, the written conditions listed below are to apply.

- V. Abandonment:** In the event the land use for which this Specific Use Provision was granted ("Land Use") is abandoned, the SUP and all rights to the Land Use are automatically terminated, and the premises must be used in conformance with the PD, GDC, federal, and state law.

For the purposes of this Specific Use Provision, Abandonment is any of the following acts:

- A. A failure to apply for a site or building permit on the premises, where applicable, within 180 days of the effective date of this SUP;
- B. A failure to obtain a certificate of occupancy for the Land use within 730 days of the effective date of this SUP;

- C. A failure to commence operating the Land Use on the premises within 90 days of receiving a final certificate of occupancy for the Land Use;
- D. Discontinuance of the Land Use for a period of 180 days;
- E. Applying for, and receiving, a new Certificate of Occupancy for a use other than the Land Use; or
- F. Operating a use on the premises, whether as a primary or secondary use, that is not allowed within the PD District, by the GDC, or by state or federal law.

The termination of utilities on the premises for a period of 180 calendar days is prima facie evidence of abandonment and the owner shall have the burden to prove that the Land Use has not been abandoned.

VI. Specific Regulations:

- A. SUP Time Period: The Specific Use Provision for a Food Processing and Storage Facility shall be in effect for a period of twenty-five (25) years.

- B. Maintenance requirements:

(1) Landscaping must be continuously maintained in a healthy, growing condition and in compliance with this ordinance, the Garland Development Code, the Code of Ordinances of the City of Garland, and the landscaping plan attached hereto at all times. The property owner is responsible for regular weeding, mowing of grass, irrigation, fertilizing, pruning, or other maintenance of all landscaping as promptly as needed to comply with the requirements of this subsection. All exposed ground surfaces shall be properly improved, covered with screening or other approved solid material, or protected with a vegetative growth that prevents soil erosion and ameliorates objectionable dust conditions.

(2) Any dead or dying plant or vegetation, whether or not a component of required landscaping, must be promptly replaced with another approved plant or vegetation variety that complies with the approved landscape plan and in no event later than sixty days after notification by the City. In the event the property owner fails to remedy a violation of any landscaping maintenance regulation within sixty days of the City sending notice, the City may, in addition to any other remedy available by law, suspend, withhold, or revoke city permits, approvals, consents and the certificate of occupancy for the retail fuel

pumps and convenience store. See Section 4 of the granting ordinance.

(3) Screening and paving must be installed and continuously maintained in compliance with this ordinance, the Garland Development Code, and the Code of Ordinances of the City of Garland at all times. The property owner is responsible for regular maintenance of all screening and paving as needed. In the event the property owner fails to remedy a violation of any screening or paving maintenance regulation within sixty days of the City sending notice, the City may, in addition to any other remedy available by law, suspend, withhold, or revoke city permits, approval, consents and the certificate of occupancy for the travel center.

Z 23-09



View of the subject site looking East from Market Street



View from the subject site looking West across Market Street



View from the subject site looking North along Market Street



View from the subject site looking South down Market Street

To date we have not received any responses for this case.



Plan Commission

2. b.

Meeting Date: 05/08/2023

Item Title: Z 23-09 Ron Hobbs Architecture & Interior Design - Plan (District 5)

Summary:

Consideration of the application of **Ron Hobbs Architecture & Interior Design**, requesting approval of a Plan for a Food Processing and Storage Use expansion. This property is located at 2960 Market Street. (District 5) (Z 23-09 – Plan)

Attachments

Z 23-09 Ron Hobbs Architecture & Interior Design - Plan (District 5)

Z 23-09 Ron Hobbs Architecture & Interior Design Responses

Planning Report

File No: Z 23-09/District 5

Agenda Item:

Meeting: Plan Commission

Date: May 8, 2023



GARLAND

TEXAS MADE HERE

REQUEST

Approval of an amendment to a Specific Use Provision for an existing Food Processing and Storage Use on a property zoned Industrial (IN) District.

Approval of a Plan for a Food Processing and Storage Use expansion.

LOCATION

2960 Market Street

APPLICANT

Ron Hobbs Architecture & Interior Design

OWNER

Bally Plus International

BACKGROUND

The subject property has an approved SUP (S 19-34) for a Food Processing and Storage use. The applicant requests an expansion of the warehouse space of the existing building and current use on the property. Therefore, a SUP revision is required through the Public Hearing process.

Food Processing and Storage is defined in the Garland Development Code as a large-scale manufacturing operation that prepares or produces foods and beverages for human consumption, primarily for commercial and wholesale customers for off-site distribution and consumption. The term includes dry and cold storage of food products, unless they are incidental to another primary use such as a grocery store or a restaurant. The term may include incidental retail sales of food products produced on the premises. The term does not include the preparation or manufacture of products for consumption by animals, or the slaughtering of any type of animal other than sea life.

The use on the subject property includes the packing of frozen foods from outside supplies, and the warehousing and shipping of the products.

SITE DATA

The site is 2.187 acres and is accessed from Market Street.

USE OF PROPERTY UNDER CURRENT ZONING

The subject property is zoned Industrial (IN) District with a Specific Use Provision (S 19-34) for Food Processing and Storage Use.

CONSIDERATIONS

Specific Use Provision:

1. The applicant proposes to construct a 9,286 square-foot expansion of the existing Food Processing and Storage Use building.
2. The applicant is requesting approval of a twenty-five (25) year Specific Use Provision. The SUP Time Period Guide recommends twenty (20) to twenty-five (25) years for Food Processing & Storage.
3. The site layout (Exhibit C) for the proposed expansion complies with the Garland Development Code (GDC).
4. Additional landscaping and screening were not triggered by this request; therefore, the landscape layout (Exhibit D) for the proposed expansion complies with the Garland Development Code (GDC).
5. The building elevations (Exhibit E) for the proposed expansion comply with the Garland Development Code (GDC).

COMPREHENSIVE PLAN

The Future Land Use Map of the Envision Garland plan designates this property as Industry Centers.

Industry centers provide a cluster of trade and industry that cumulatively employ large numbers of people. Operations within this development type may require substantial infrastructure and may result in more significant negative impacts (sound, air, traffic, outdoor lighting, storage, etc.). Operations may include such elements as semi-truck traffic, loading docks, and visible outdoor storage. Overall, the architecture, character, scale, and intensity should be compatible with adjacent development types. Industry centers are generally located along major arterial streets, and highways and at significant transit areas (bus/ rail). Site design addresses function and visual aesthetics that provide appropriate buffering at gateway corridors, between adjacent developments, and for residential neighborhoods.

The expansion of the use is appropriate in this industrial area and the proposal is generally compatible with the Comprehensive Plan.

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

The properties surrounding the site are zoned Industrial (IN) District. These properties include similar uses such as manufacturing, storage, warehousing, and distribution. The current use, the packing of frozen foods from outside suppliers, was already approved in the currently active SUP 19-34.

The proposed use is generally compatible with the surrounding area.

STAFF RECOMMENDATION

Approval of an amendment to a Specific Use Provision for an existing Food Processing and Storage Use on a property zoned Industrial (IN) District.

Approval of a Plan for a Food Processing and Storage Use expansion.

ADDITIONAL INFORMATION

- i. Location Map
- ii. SUP Conditions

- iii. Exhibits
- iv. Photos

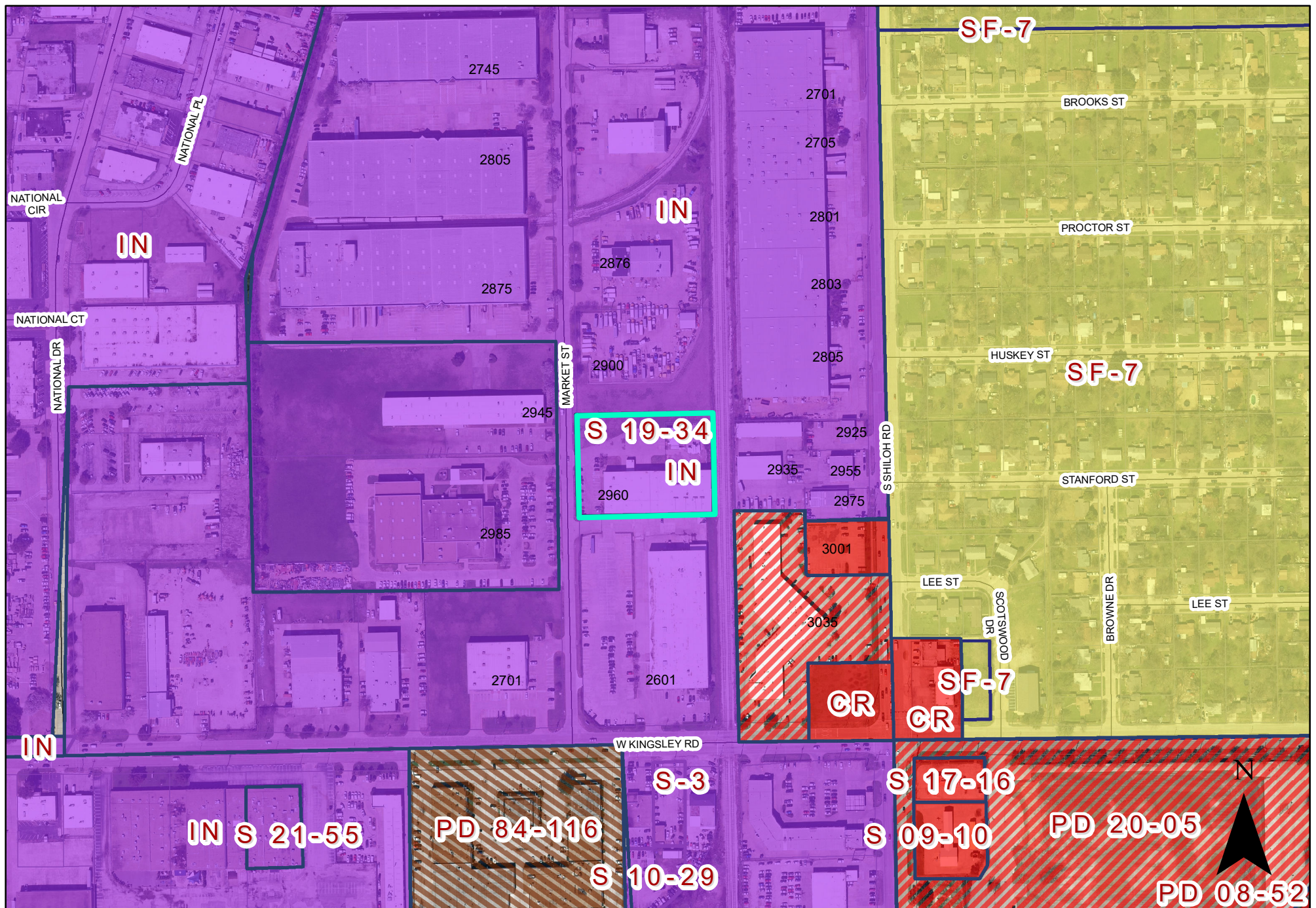
CITY COUNCIL DATE: June 06, 2023

PREPARED BY:

Matthew Wolverton
Development Planner
Planning & Development
972-205-2454
mwolverton@garlandtx.gov

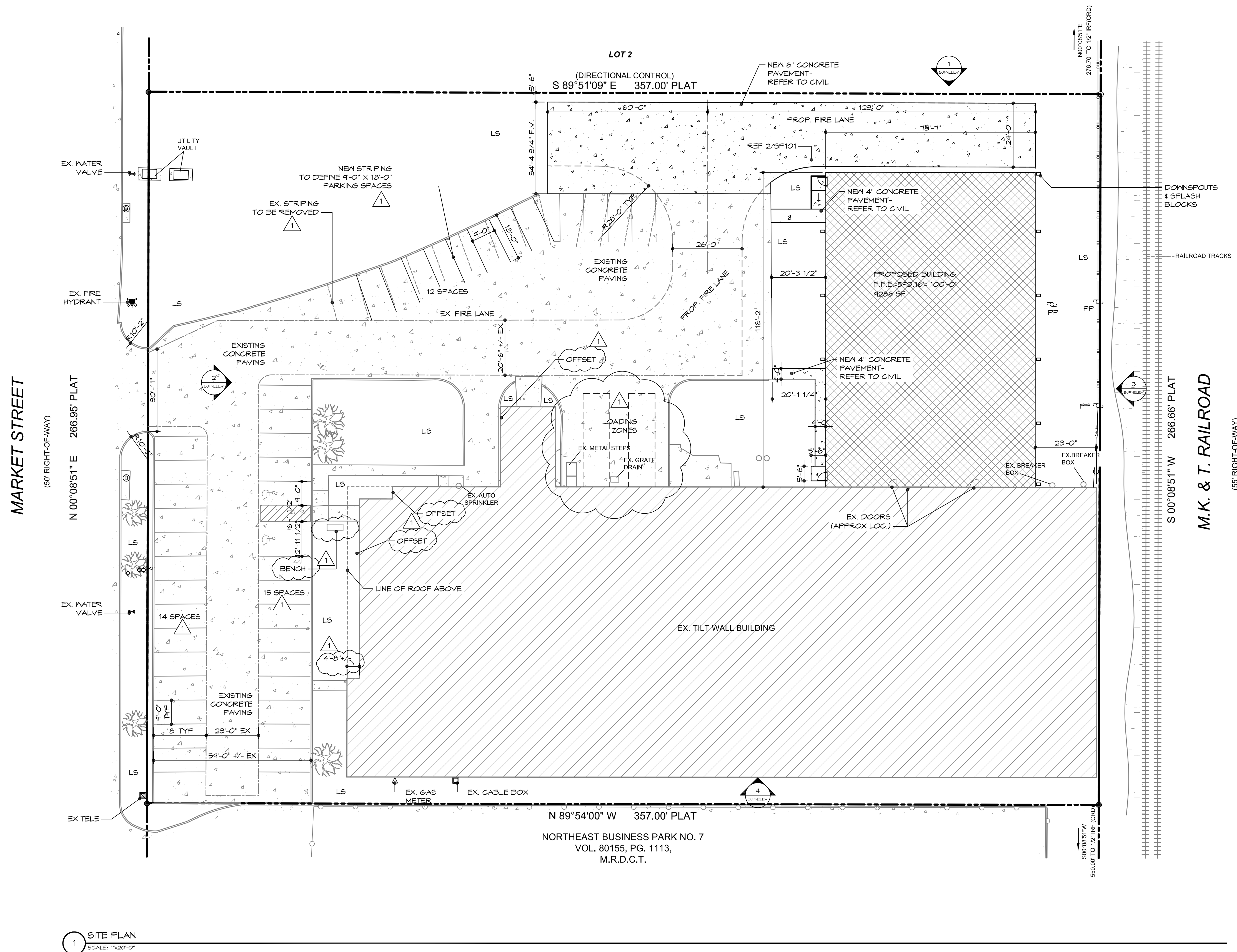
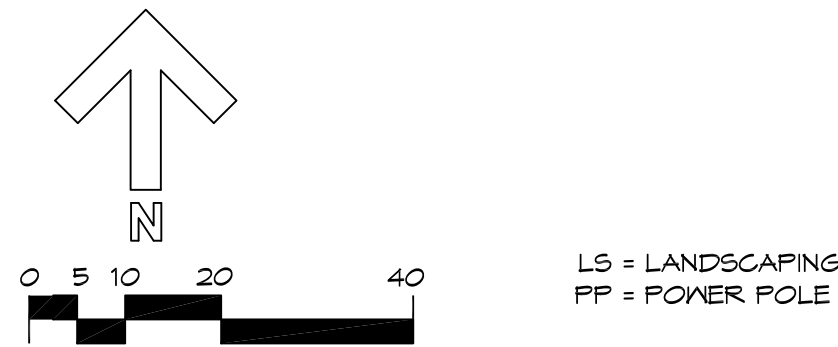
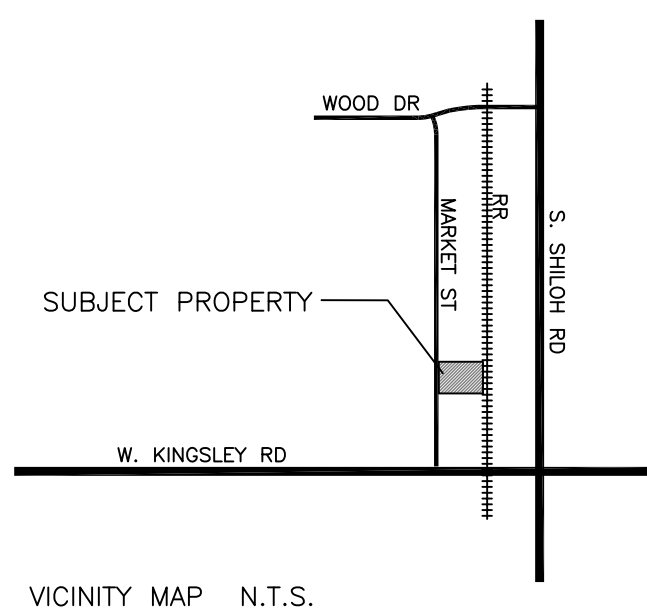
REVIEWED BY:

Will Guerin, AICP
Director of Planning



ZONING MAP Z 23-09

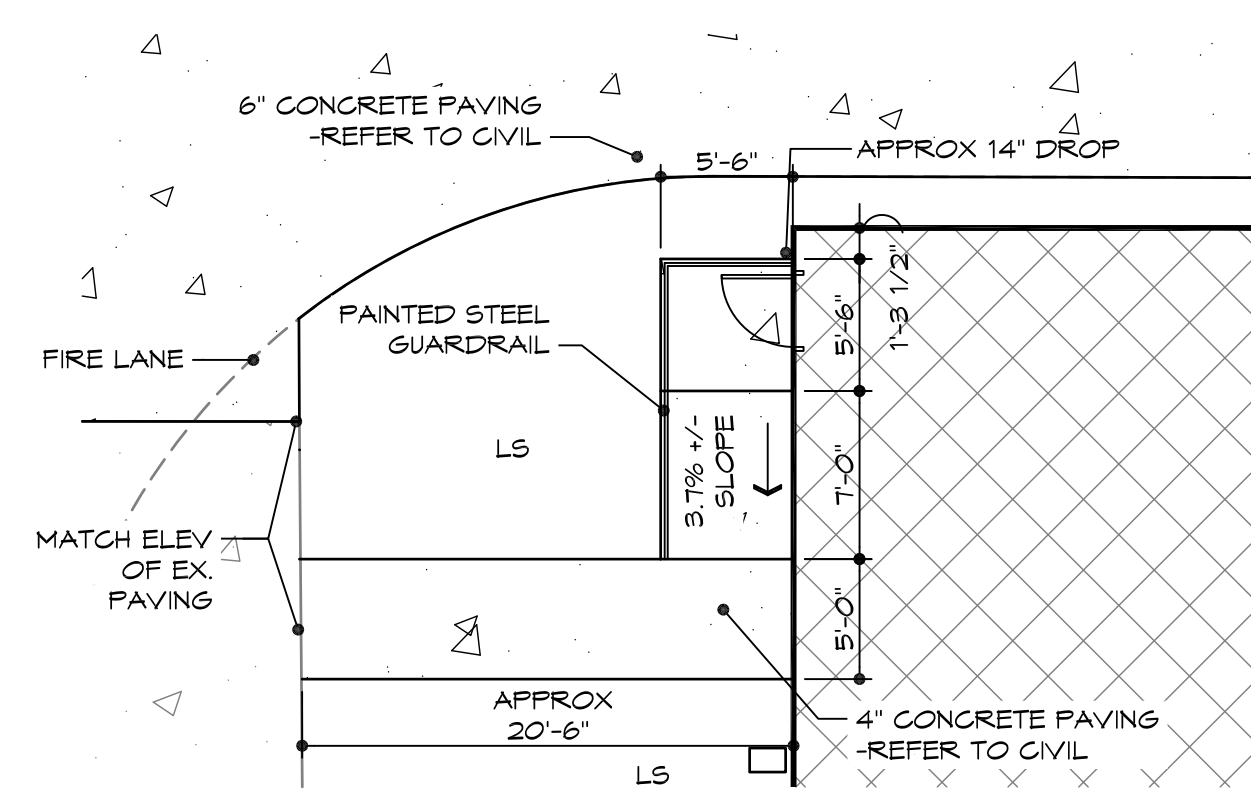
2960 Market Street

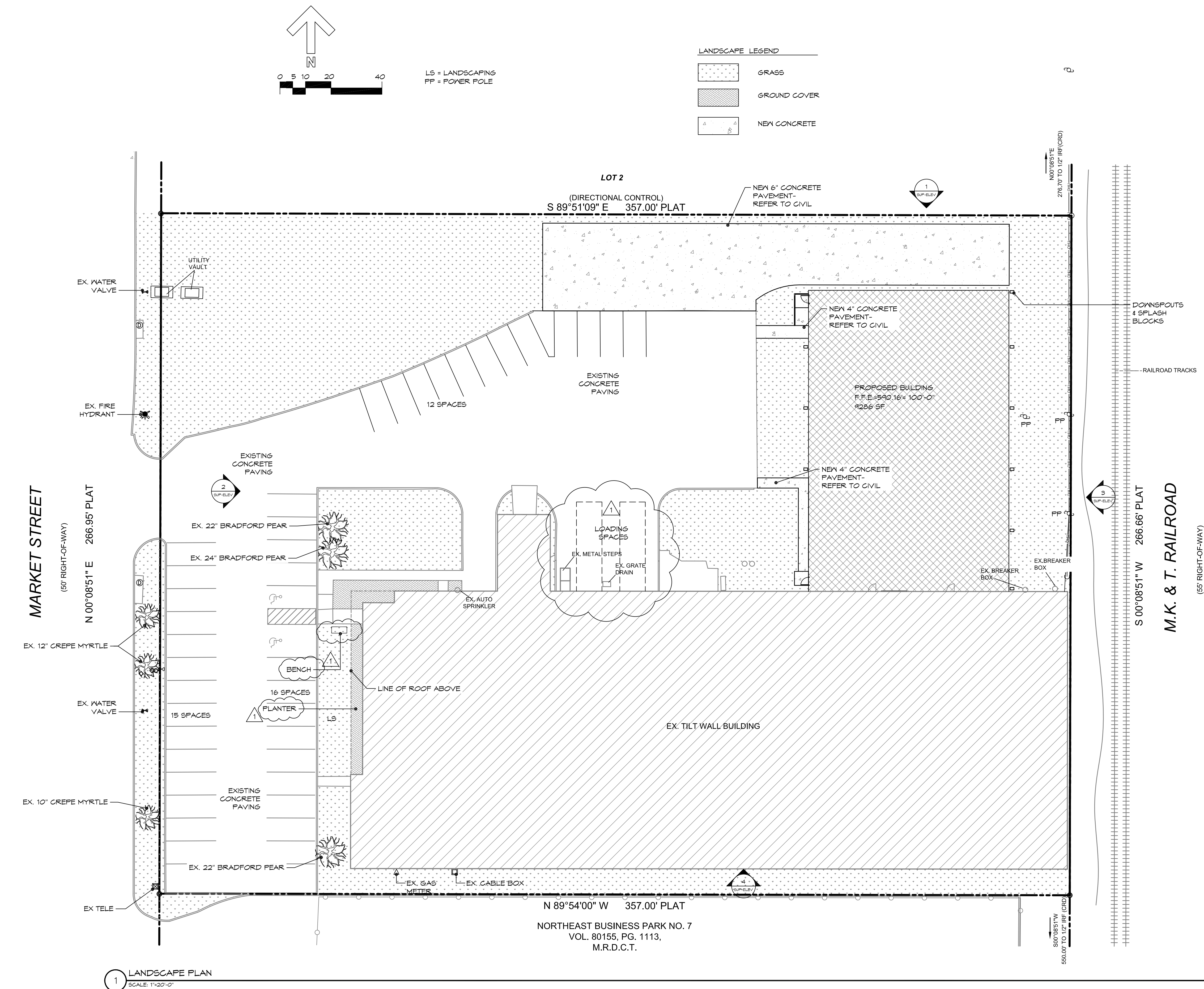
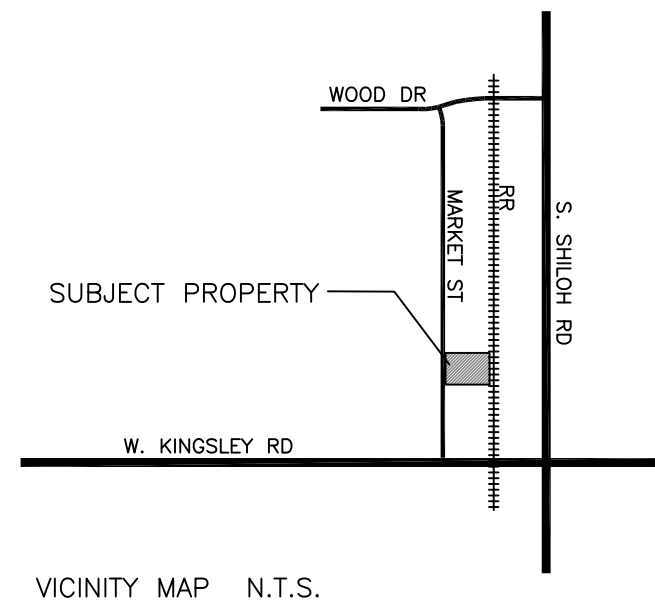


EXISTING ZONING: IN
NO CHANGE PROPOSED
OWNER: BALLY PLUS INTERNATIONAL

SITE INFORMATION	
SITE AREA (SF)	95,248
FLOOR AREA RATIO	2.1 MAX (190,496 SF ALLOWED)
EXISTING BUILDING (SF)	31,140
PROPOSED ADDITION (SF)	9,286
TOTAL BUILDING COVERAGE	40,426
% LOT COVERAGE	42
BUILDING HEIGHT	EXISTING 24'-0" PROPOSED ADDITION 22'-9"
PARKING RATIO	FOOD PROCESSING 4 STORAGE 100% SFA
REQUIRED PARKING	40 SPACES
EXISTING PARKING	41 SPACES

HORIZONTAL ARTICULATION
OVERALL BUILDING WIDTH IS GREATER THAN 80 FT.
REQUIRED: ONE ARTICULATION THAT IS AT LEAST 30% OF WIDTH
AND AT LEAST 4 FT DEEP.
PROVIDED: OVERALL STREET FACING WIDTH= 221 FT
ADDITION IS 118 FT WIDE AND SET BACK MORE THAN 4 FT.
TWO ADDITIONAL EXISTING SET BACKS- AT ENTRY AND
ADDED NORTH SIDE ELEMENT IN FRONT OF LOADING ZONES
ARE MORE THAN 30 FT WIDE AND ARE SET BACK MORE THAN
4 FT FROM THE WESTERNMOST FACE OF THE BUILDING.





EXISTING BUILDING: 31,140 SF
ADDITION: 9,226 SF
TOTAL: 40,426 SF

PARKING - WAREHOUSE: 155 SF
REQUIRED PARKING: 41 SPACES
EXISTING PARKING: 43 SPACES

EXISTING ZONING: N
NO CHANGE PROPOSED

ALL LANDSCAPING SHOWN IS EXISTING. NO
NEW LANDSCAPING IS PROPOSED.
DISTURBED AREAS OUTSIDE OF PAVING OR
BUILDING FOOTPRINT WILL BE RE-SODDED
WITH GRASS TO MATCH EXISTING.

OWNER: BALLY PLUS INTERNATIONAL

1 LANDSCAPE PLAN
SCALE: 1"=20'-0"

CASE # 220426-2

ISSUE DATE:
Feb. 27, 2023

REVISIONS:
TECH REVIEW
COMMENT REVISED
4-12-23

MARKET MISSION WAREHOUSE ADDITION
2960 MARKET ST, GARLAND TEXAS 75042
RON HOBBS ARCHITECTURE & INTERIOR DESIGN, LLP
614 WEST MAIN STREET, SUITE 200 GARLAND, TEXAS 75040
PHONE: 972-494-0174



JOB NUMBER

2221

SHEET NUMBER
LANDSCAPE PLAN

LS-SUP

[illegible]

CASE # 220426-2

Z 23-09



View of the subject site looking East from Market Street



View from the subject site looking West across Market Street



View from the subject site looking North along Market Street



View from the subject site looking South down Market Street

To date we have not received any responses for this case.



Plan Commission

2. c.

Meeting Date: 05/08/2023

Item Title: Z 23-14 ATWELL, LLC. - Specific Use Provision (District 3)

Summary:

Consideration of the application of **ATWELL, LLC**, requesting approval of a Specific Use Provision for a Restaurant, Drive-Through Use on a property zoned Community Retail (CR) District This property is located at 6318 Broadway Boulevard. (District 3) (File Z 23-14 – Specific Use Provision)

Attachments

Z 23-14 ATWELL, LLC - Specific Use Provision (District 3)

Z 23-14 ATWELL, LLC Responses

Planning Report

File No: Z 23-14/District 3

Agenda Item:

Meeting: Plan Commission

Date: May 8, 2023



GARLAND

TEXAS MADE HERE

REQUEST

Approval of a Specific Use Provision for a Restaurant, Drive-Through Use on a property zoned Community Retail (CR) District

Approval of a Plan for a Restaurant, Drive-Through Use.

LOCATION

6318 Broadway Boulevard

APPLICANT

ATWELL, LLC.

OWNER

Chans Restaurant

BACKGROUND

The subject property is currently developed with a sit-down restaurant building, which is no longer in business. The applicant intends to demolish the existing building and reconstruct a restaurant with a drive-through and a to-go restaurant.

SITE DATA

The subject property contains approximately 0.43 acres and has approximately 126 linear feet of frontage along Broadway Boulevard. The site can be accessed from Broadway Boulevard. However, the northern driveway is exit-only.

USE OF PROPERTY UNDER CURRENT ZONING

The Community Retail (CR) District is intended to accommodate a variety of retail, service, and business establishments that may or may not be designed in a shopping center configuration. The district may be used as a transition district between lower intensity retail or office uses and more intense uses. A Community Retail (CR) District is generally appropriate along major transportation corridors but is generally not appropriate in proximity to low-density residential districts without significant buffering and screening features. An example of allowed use in a CR district is a retail shopping area that may be large in scale with very limited or no outside storage. Traffic generated by uses in a Community Retail (CR) District must be focused onto the major thoroughfare network. Development in a Community Retail (CR) District may not be designed in a manner that increases traffic through residential areas.

CONSIDERATIONS

Specific Use Provision:

1. Per the site plan (Exhibit C), the applicant proposes to construct a 2,000 square-foot building with two (2) tenant spaces. One tenant space is for a restaurant with a drive-through (Dunkin' Donuts) and the other tenant space is for a to-go restaurant (Buffalo Wild Wings).

2. The applicant is requesting the SUP to be valid for twenty (20) years, which aligns with the SUP time period guide.

3. Floor Plan:

The site plan (Exhibit C) shows the building to be 2,000 square feet. The floor plan and architectural site plan (Exhibit E) shows the total floor area to be 2,070 square feet. Staff has identified an inconsistency in the building square footage.

4. Parking:

The GDC requires a total of twenty (20) parking spaces for a 2,000 square-foot building and the site plan (Exhibit C) reflects seventeen (17) parking spaces. If the building is 2,070 square feet then a total of twenty-one (21) parking spaces are required. The applicant states the majority of the customers will use the drive-through service. The morning traffic is for the Dunkin Donuts and the evening traffic is mainly for the Buffalo Wild Wings. It should be noted a parking study was not submitted with this request per Section 4.20(K) of the GDC to confirm the justification provided by the applicant.

5. Refuse Enclosure:

Section 4.45 of GDC requires the dumpster enclosure to be an eight (8)-foot masonry enclosure. A pedestrian side door is also required within the enclosure. The architectural site plan (Exhibit E) reflects a chain-link with vinyl slat around the dumpster. In addition, a pedestrian side door is not provided.

6. Screening and Landscaping:

The landscape layout (Exhibit D) does not meet the parking lot landscaping requirements. Per Section 4.35 (A), a landscape island must be located at the end of each parking row with a large canopy tree. A large canopy tree is not shown on each side of the southern parking row.

7. Building Design:

The building elevations (Exhibit E) complies with the building design standards per the Garland Development Code (GDC).

8. Signage:

The applicant will re-face the existing pole sign. However, the applicant will need to provide additional information on the attached wall signage as reflected in the Building Elevations (Exhibit E). Staff is not certain it meets Section 4.78 of the GDC.

9. Transportation:

- Per the Transportation Department, a minimum of five (5) stacking spaces are required from the menu board and a minimum of two (2) stacking spaces from the menu board to the pick-up window. The site plan (Exhibit C) shows two (2) stacking spaces from the menu board. Stacking spaces are not allowed to interfere with the drive aisle. Therefore, the site plan (Exhibit C) does not meet the technical requirement. In addition, the Transportation Department is not in support of a stacking variance at this time.

- A chamfer radius is required at the northern exit-only driveway. The chamfer radius will prevent any vehicles from entering into the property.

10. Engineering:

- All off-street parking shall be concrete surface per the Garland Development Code (GDC) Section 4.20.E and Technical Standards Manual (TSM) 8.06.A.10. The site plan reflects asphalt paving.
- Broadway Boulevard is a Type B Thoroughfare per the Garland Thoroughfare Plan. Type B thoroughfares require a 10' Pedestrian and Utility Easement be dedicated at the time of plat per TSM 8.02.E.7. The development shall dedicate the required 10' P.U.E. at the time of the replat.

COMPREHENSIVE PLAN

The Future Land Use Map of the Envision Garland Plan recommends Community Centers for the subject site. Community centers are areas with compact development, primarily non-residential, serving a collection of neighborhoods. This type of development consists of a mix of uses, including retail, services, office use, multi-family residential, and entertainment.

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

The surrounding properties are all zoned Community Retail (CR) District. These properties are developed with a restaurant, car wash, self-storage facility, medical office and other retail uses.

STAFF RECOMMENDATION

Staff recommends denial of the SUP and the Plan. Staff recommends denying the SUP because the zoning request is not in compliance with the Garland Development Code for the reasons listed under the Considerations section of this report. Staff therefore also recommends denial of the Plan since the Plan won't be compatible with the zoning, and because the Plan has numerous technical issues and deficiencies that have not been addressed.

ADDITIONAL INFORMATION

- i. Location Map
- ii. SUP Conditions
- iii. Exhibits
- iv. Photos

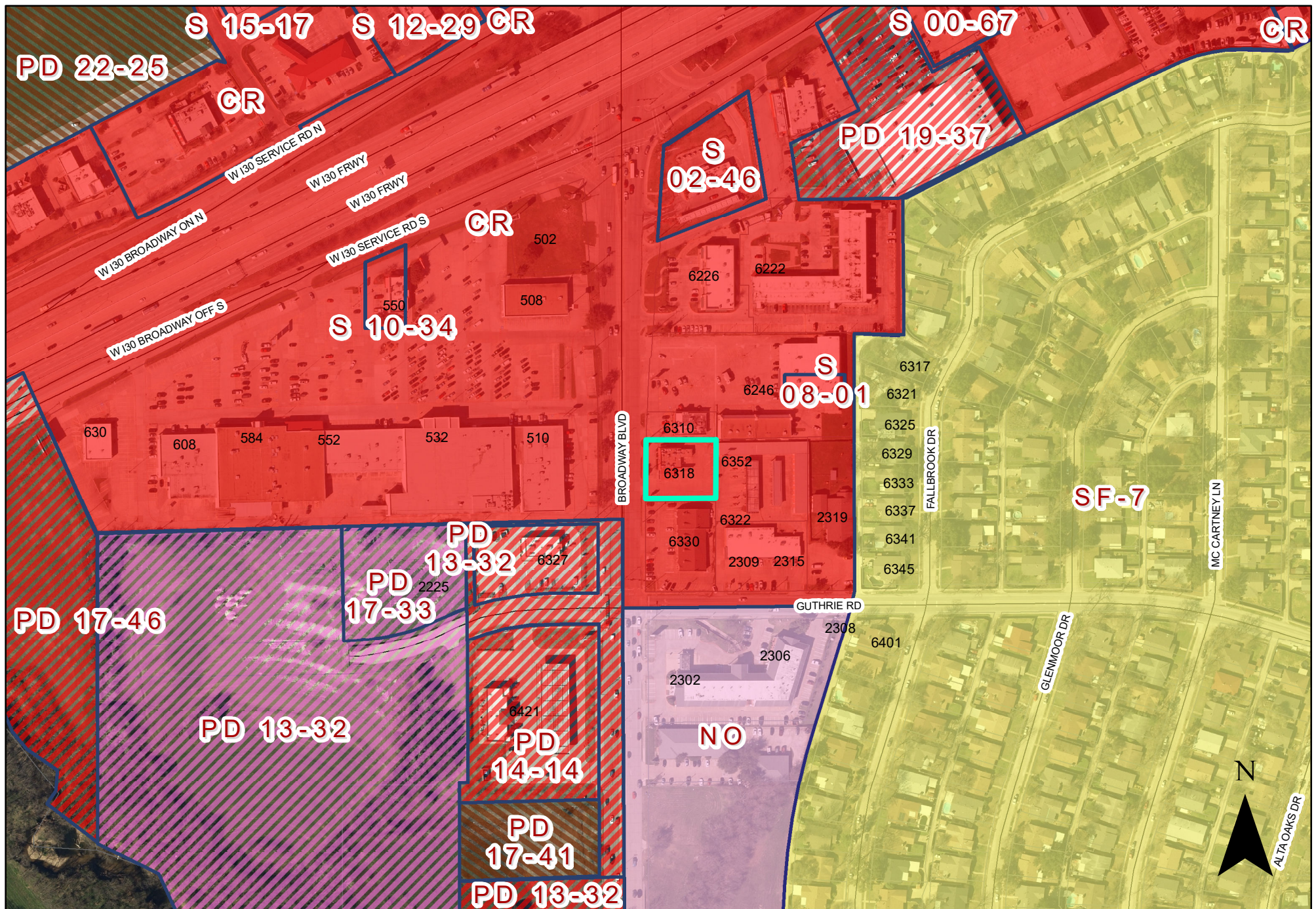
CITY COUNCIL DATE: June 6, 2023

PREPARED BY:

Nabiha Ahmed
Lead Development Planner
Planning & Development
972-205-2453
nahmed@garlandtx.gov

REVIEWED BY:

Will Guerin, AICP
Director of Planning



ZONING MAP Z 23-14

6318 Broadway Boulevard

SPECIFIC USE PROVISION CONDITIONS

ZONING FILE Z 23-14

6318 Broadway Boulevard

- I. Statement of Purpose:** The purpose of this Specific Use Provision is to allow a Restaurant, Drive-Through Use.
- II. Statement of Effect:** This Specific Use Provision shall not affect any regulation found in the Garland Development Code, Ordinance No. 6773, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. General Regulations:** All regulations of the Community Retail (CR) District and Site Development Standards as set forth in Chapter 2 and 4 of the Garland Development Code, Ordinance 6773, are included by reference and shall apply, except as otherwise specified by this ordinance.

IV. Development Plans:

Site Layout: In the event of conflict between the conditions and the site plan, the written conditions listed below are to apply.

- V. Abandonment:** In the event the land use for which this Specific Use Provision was granted ("Land Use") is abandoned, the SUP and all rights to the Land Use are automatically terminated, and the premises must be used in conformance with the PD, GDC, federal, and state law.

For the purposes of this Specific Use Provision, Abandonment is any of the following acts:

- A. A failure to apply for a site or building permit on the premises, where applicable, within 180 days of the effective date of this SUP;
- B. A failure to obtain a certificate of occupancy for the Land use within 730 days of the effective date of this SUP;
- C. A failure to commence operating the Land Use on the premises within 90 days of receiving a final certificate of occupancy for the Land Use;

- D. Discontinuance of the Land Use for a period of 180 days;
- E. Applying for, and receiving, a new Certificate of Occupancy for a use other than the Land Use; or
- F. Operating a use on the premises, whether as a primary or secondary use, that is not allowed within the PD District, by the GDC, or by state or federal law.

The termination of utilities on the premises for a period of 180 calendar days is prima facie evidence of abandonment and the owner shall have the burden to prove that the Land Use has not been abandoned.

VI. Specific Regulations:

- A. Time Period: The Specific Use Provision shall be valid for a time period of twenty (20) years.

- B. Maintenance requirements:

(1) Landscaping must be continuously maintained in a healthy, growing condition and in compliance with this ordinance, the Garland Development Code, the Code of Ordinances of the City of Garland, and the landscaping plan attached hereto at all times. The property owner is responsible for regular weeding, mowing of grass, irrigation, fertilizing, pruning, or other maintenance of all landscaping as promptly as needed to comply with the requirements of this subsection. All exposed ground surfaces shall be properly improved, covered with screening or other approved solid material, or protected with a vegetative growth that prevents soil erosion and ameliorates objectionable dust conditions.

(2) Any dead or dying plant or vegetation, whether or not a component of required landscaping, must be promptly replaced with another approved plant or vegetation variety that complies with the approved landscape plan and in no event later than sixty days after notification by the City. In the event the property owner fails to remedy a violation of any landscaping maintenance regulation within sixty days of the City sending notice, the City may, in addition to any other remedy available by law, suspend, withhold, or revoke city permits, approvals, consents and the certificate of occupancy for the retail fuel pumps and convenience store. See Section 4 of the granting ordinance.

(3) Screening and paving must be installed and continuously maintained in compliance with this ordinance, the Garland Development Code, and the Code of Ordinances of the City of Garland at all times. The property owner is responsible for regular maintenance of all screening and paving as needed. In the event the property owner fails to remedy a violation of any screening or paving maintenance regulation within sixty days of the City sending notice, the City may, in addition to any other remedy available by law, suspend, withhold, or revoke city permits, approval, consents and the certificate of occupancy for the travel center.

C. Elevations: Building Elevations shall be in general conformance with the elevations labeled Exhibit E.

Z 23-14



View of the subject property



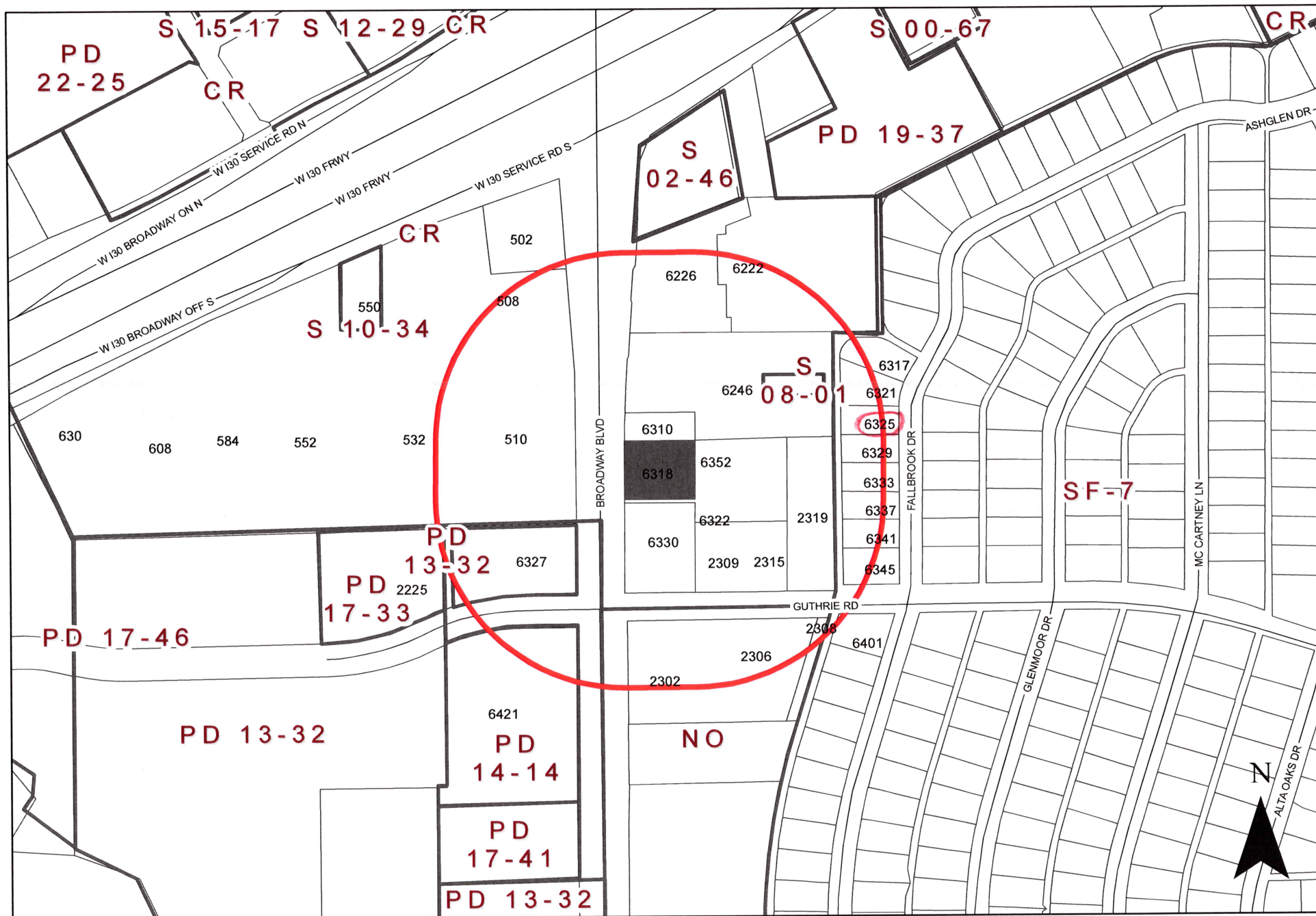
West of the subject property



North of the subject property



South of the subject property



0 175 350 Feet
1 inch = 269 feet

ZONING MAP Z 23-14

INDICATES AREA OF REQUEST
INDICATES NOTIFICATION AREA

6318 Broadway Boulevard

Comment Form Case Z 23-14

Z 23-14 ATWELL LLC. The applicant requests to construct a takeout restaurant and restaurant with a drive-through [Dunkin' Donuts and Buffalo Wild Wings GO]. The site is located at 6318 Broadway Boulevard. (District 3)

Z 23-14 ATWELL, LLC. El solicitante solicita la construcción de un restaurante de comida para llevar y un restaurante con servicio de autoservicio [Dunkin' Donuts y Buffalo Wild Wings GO]. El sitio está ubicado en 6318 Broadway Boulevard. (Distrito 3)

Z 23-14 ATWELL, LLC. Người nộp đơn yêu cầu xây dựng một nhà hàng bán đồ ăn mang đi và nhà hàng có xe đưa đón [Dunkin' Donuts và Buffalo Wild Wings GO]. Địa điểm tọa lạc tại 6318 Broadway Boulevard. (Quận 3)

Please Check One Below / Marque uno a continuación / Vui lòng kiểm tra một bên dưới

☒ For / A Favor / Đúng

☐ Against / En Contra / Không

Please complete the following information and email the form to Planning@garlandtx.gov; deliver to the Planning Department at 800 Main Street Garland, TX; or mail to City of Garland, Planning Department, P.O. Box 469002 Garland, TX 75406-9002. / Por favor Complete la siguiente información y envíe el formulario por correo electrónico a Planning@garlandtx.gov; entregar al Departamento de Planificación en 800 Main Street Garland, TX; o envíelo por correo a City of Garland, Planning Department, P.O. Box 469002 Garland, TX 75406-9002. / Vui lòng điền đầy đủ thông tin sau và gửi biểu mẫu qua email tới Planning@garlandtx.gov; giao cho Phòng Kế hoạch tại 800 Main Street Garland, TX; hoặc gửi thư đến Thành phố Garland, Sở Kế hoạch, P.O. Hộp 469002 Garland, TX 75406-9002.

Carolina Gerardo

Printed Name & Title / Nombre Impreso y Título / Tên in và Tiêu đề

(Property Owner, Business Owner, Tenant, etc.) / (Dueño de la propiedad, Dueño de la empresa, Inquilino, etc.) / (Chủ sở hữu bất động sản, Chủ doanh nghiệp, Người thuê, v.v.)

6325 Fallbrook Dr.

Your Property Address / La dirección de su propiedad / địa chỉ tài sản

Garland Tx.

City, State / Estado de la Ciudad / Thành bang

75043

Zip Code / Código postal / Mã Bưu Chính

Carolina Gerardo

Signature / Firma / Chữ ký

4.30.2023

Date / Fecha / Ngày

(Providing email address and phone number is optional. / La dirección de correo electrónico y el número de teléfono son opcionales. / Địa chỉ email và số điện thoại là tùy chọn.)



Plan Commission

2. d.

Meeting Date: 05/08/2023

Item Title: Z 23-14 ATWELL, LLC. - Plan (District 3)

Summary:

Consideration of the application of **ATWELL, LLC**, requesting approval of a Plan for a Restaurant, Drive-Through Use. This property is located at 6318 Broadway Boulevard. (District 3) (File Z 23-14 – Plan)

Attachments

Z 23-14 ATWELL, LLC - Plan (District 3)

Z 23-14 ATWELL, LLC Responses

Planning Report

File No: Z 23-14/District 3

Agenda Item:

Meeting: Plan Commission

Date: May 8, 2023



GARLAND

TEXAS MADE HERE

REQUEST

Approval of a Specific Use Provision for a Restaurant, Drive-Through Use on a property zoned Community Retail (CR) District

Approval of a Plan for a Restaurant, Drive-Through Use.

LOCATION

6318 Broadway Boulevard

APPLICANT

ATWELL, LLC.

OWNER

Chans Restaurant

BACKGROUND

The subject property is currently developed with a sit-down restaurant building, which is no longer in business. The applicant intends to demolish the existing building and reconstruct a restaurant with a drive-through and a to-go restaurant.

SITE DATA

The subject property contains approximately 0.43 acres and has approximately 126 linear feet of frontage along Broadway Boulevard. The site can be accessed from Broadway Boulevard. However, the northern driveway is exit-only.

USE OF PROPERTY UNDER CURRENT ZONING

The Community Retail (CR) District is intended to accommodate a variety of retail, service, and business establishments that may or may not be designed in a shopping center configuration. The district may be used as a transition district between lower intensity retail or office uses and more intense uses. A Community Retail (CR) District is generally appropriate along major transportation corridors but is generally not appropriate in proximity to low-density residential districts without significant buffering and screening features. An example of allowed use in a CR district is a retail shopping area that may be large in scale with very limited or no outside storage. Traffic generated by uses in a Community Retail (CR) District must be focused onto the major thoroughfare network. Development in a Community Retail (CR) District may not be designed in a manner that increases traffic through residential areas.

CONSIDERATIONS

Specific Use Provision:

1. Per the site plan (Exhibit C), the applicant proposes to construct a 2,000 square-foot building with two (2) tenant spaces. One tenant space is for a restaurant with a drive-through (Dunkin' Donuts) and the other tenant space is for a to-go restaurant (Buffalo Wild Wings).

2. The applicant is requesting the SUP to be valid for twenty (20) years, which aligns with the SUP time period guide.

3. Floor Plan:

The site plan (Exhibit C) shows the building to be 2,000 square feet. The floor plan and architectural site plan (Exhibit E) shows the total floor area to be 2,070 square feet. Staff has identified an inconsistency in the building square footage.

4. Parking:

The GDC requires a total of twenty (20) parking spaces for a 2,000 square-foot building and the site plan (Exhibit C) reflects seventeen (17) parking spaces. If the building is 2,070 square feet then a total of twenty-one (21) parking spaces are required. The applicant states the majority of the customers will use the drive-through service. The morning traffic is for the Dunkin Donuts and the evening traffic is mainly for the Buffalo Wild Wings. It should be noted a parking study was not submitted with this request per Section 4.20(K) of the GDC to confirm the justification provided by the applicant.

5. Refuse Enclosure:

Section 4.45 of GDC requires the dumpster enclosure to be an eight (8)-foot masonry enclosure. A pedestrian side door is also required within the enclosure. The architectural site plan (Exhibit E) reflects a chain-link with vinyl slat around the dumpster. In addition, a pedestrian side door is not provided.

6. Screening and Landscaping:

The landscape layout (Exhibit D) does not meet the parking lot landscaping requirements. Per Section 4.35 (A), a landscape island must be located at the end of each parking row with a large canopy tree. A large canopy tree is not shown on each side of the southern parking row.

7. Building Design:

The building elevations (Exhibit E) complies with the building design standards per the Garland Development Code (GDC).

8. Signage:

The applicant will re-face the existing pole sign. However, the applicant will need to provide additional information on the attached wall signage as reflected in the Building Elevations (Exhibit E). Staff is not certain it meets Section 4.78 of the GDC.

9. Transportation:

- Per the Transportation Department, a minimum of five (5) stacking spaces are required from the menu board and a minimum of two (2) stacking spaces from the menu board to the pick-up window. The site plan (Exhibit C) shows two (2) stacking spaces from the menu board. Stacking spaces are not allowed to interfere with the drive aisle. Therefore, the site plan (Exhibit C) does not meet the technical requirement. In addition, the Transportation Department is not in support of a stacking variance at this time.

- A chamfer radius is required at the northern exit-only driveway. The chamfer radius will prevent any vehicles from entering into the property.

10. Engineering:

- All off-street parking shall be concrete surface per the Garland Development Code (GDC) Section 4.20.E and Technical Standards Manual (TSM) 8.06.A.10. The site plan reflects asphalt paving.
- Broadway Boulevard is a Type B Thoroughfare per the Garland Thoroughfare Plan. Type B thoroughfares require a 10' Pedestrian and Utility Easement be dedicated at the time of plat per TSM 8.02.E.7. The development shall dedicate the required 10' P.U.E. at the time of the replat.

COMPREHENSIVE PLAN

The Future Land Use Map of the Envision Garland Plan recommends Community Centers for the subject site. Community centers are areas with compact development, primarily non-residential, serving a collection of neighborhoods. This type of development consists of a mix of uses, including retail, services, office use, multi-family residential, and entertainment.

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

The surrounding properties are all zoned Community Retail (CR) District. These properties are developed with a restaurant, car wash, self-storage facility, medical office and other retail uses.

STAFF RECOMMENDATION

Staff recommends denial of the SUP and the Plan. Staff recommends denying the SUP because the zoning request is not in compliance with the Garland Development Code for the reasons listed under the Considerations section of this report. Staff therefore also recommends denial of the Plan since the Plan won't be compatible with the zoning, and because the Plan has numerous technical issues and deficiencies that have not been addressed.

ADDITIONAL INFORMATION

- i. Location Map
- ii. SUP Conditions
- iii. Exhibits
- iv. Photos

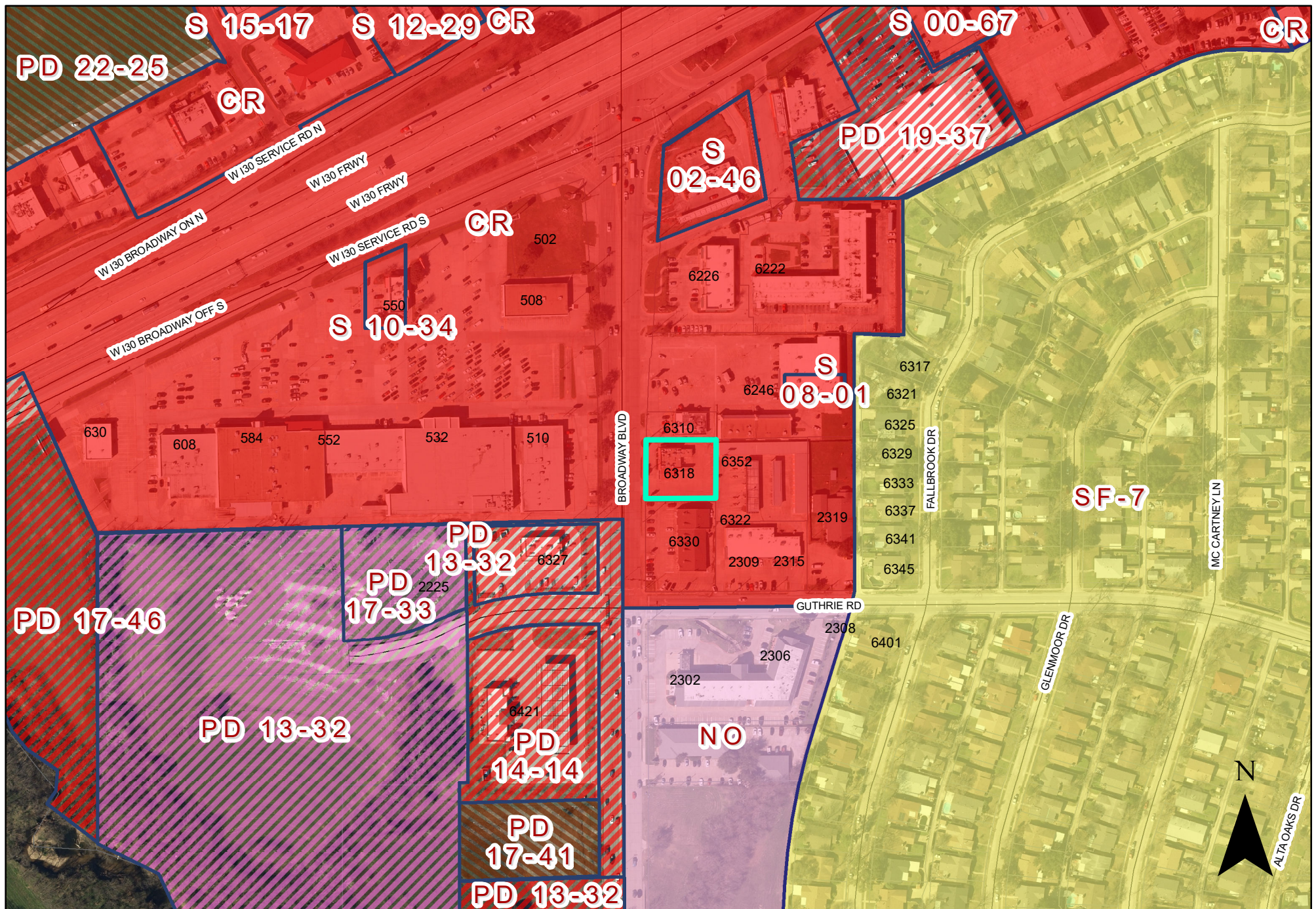
CITY COUNCIL DATE: June 6, 2023

PREPARED BY:

Nabiha Ahmed
Lead Development Planner
Planning & Development
972-205-2453
nahmed@garlandtx.gov

REVIEWED BY:

Will Guerin, AICP
Director of Planning

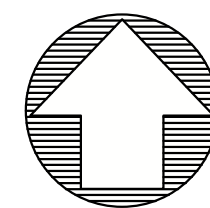


0 175 350 Feet
1 inch = 269 feet

ZONING MAP Z 23-14

 INDICATES AREA OF REQUEST

6318 Broadway Boulevard



811
Know what's below.
Call before you dig.
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE INCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR THE SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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24 HOUR EMERGENCY CONTACT

ATWELL
866.850.4200 www.atwell-group.com
9001 AIRPORT FREEWAY, SUITE 660
NORTH RICHLAND HILLS, TEXAS 76180
TX COA NO. F-12242



A-1158 ABSTRACT #1131158
6318 BROADWAY BLVD
GARLAND
DALLAS COUNTY, TX

DUNKIN' DONUTS
QUALITY BRAND GROUP TEXAS, LLC
SCHEMATIC ENGINEERING
SITE PLAN

DATE 2023-04-10

REVISIONS

0 5' 10'
SCALE: 1"=10'

DRAWN BY: K. SARWAR
CHECKED BY: T. BOUSQUET
PROJECT MANAGER: T. BOUSQUET
JOB #: 22006736
FILE CODE: ##
SHEET NO. C200



VICINITY MAP

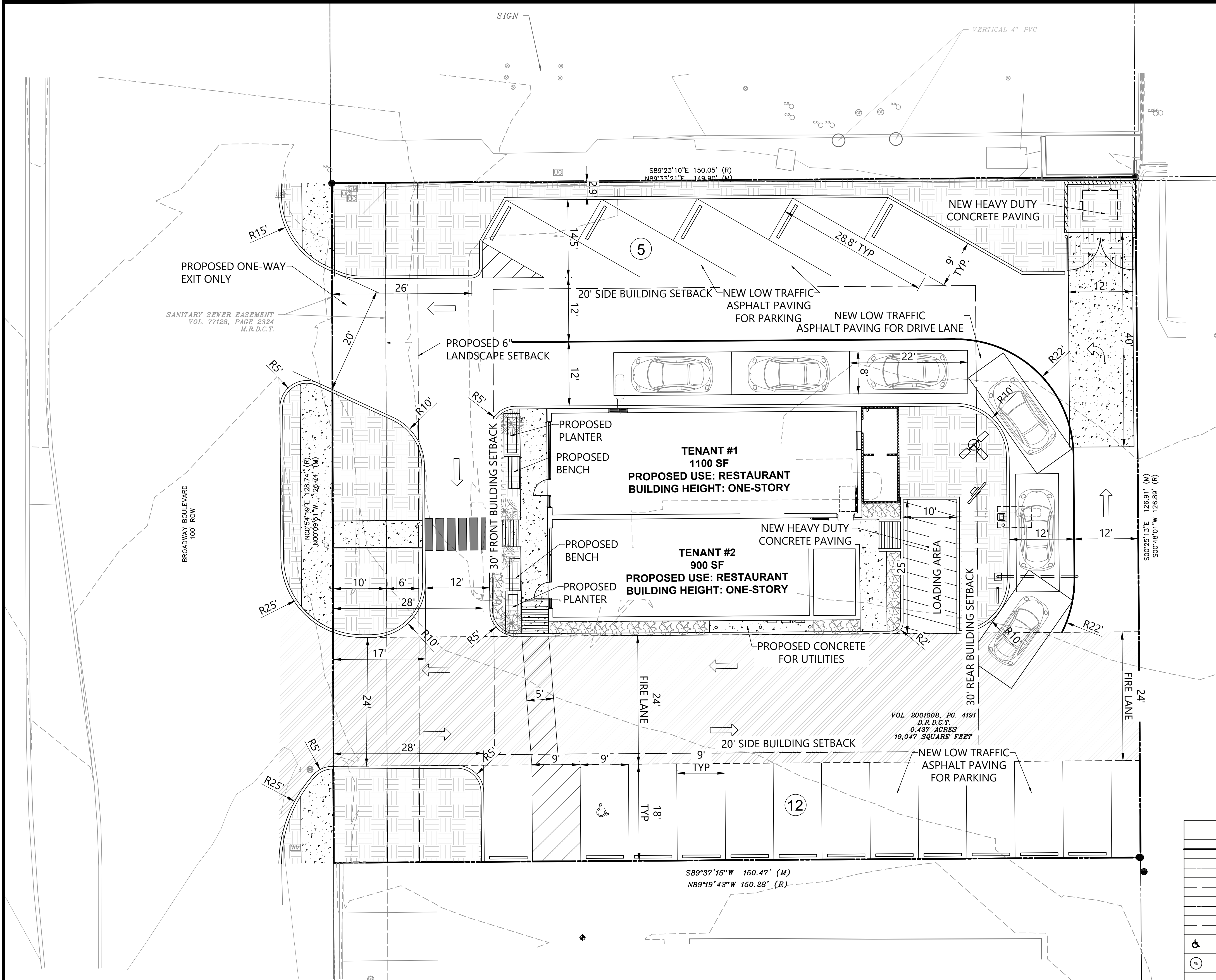
N.T.S.

SITE GENERAL NOTES:

- DIMENSIONS SHOWN ARE TO THE FACE OF CURB, UNLESS OTHERWISE INDICATED.
- USE 3' RADII, UNLESS SHOWN OTHERWISE.
- THE INFORMATION PERTAINING TO EXISTING CONDITIONS WAS TAKEN FROM A SURVEY PROVIDED BY: DIAMONDBACK LAND SURVEYING.
- THE LOCATION OF ALL EXISTING UTILITIES WERE OBTAINED FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY EXACT LOCATION AND DEPTH OF UTILITY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- ALL ACCESSIBLE PARKING SPACES AND TRAVEL ROUTES SHALL BE CONSTRUCTED IN ACCORDANCE WITH A.D.A. AND/OR STATE REQUIREMENTS.
- ANY DISCREPANCIES IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER AND ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION SHALL BEGIN UNTIL ALL PERMITS HAVE BEEN RECEIVED.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKERS AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE. CONTRACTOR SHALL REPAIR ANY DAMAGE DONE TO PRIVATE OR PUBLIC PROPERTY.
- ACCESS TO UTILITIES, FIRE HYDRANTS, ETC. SHALL REMAIN UNDISTURBED AT ALL TIMES, UNLESS COORDINATED OTHERWISE.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT.
- ALL SUBGRADE PREPARATION, PAVING, AND UTILITY TRENCHING MUST BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS INVESTIGATION. IF THERE IS A CONFLICT BETWEEN THE SOILS REPORT AND THE PLANS, THE MORE PROHIBITIVE OF THE TWO SHALL TAKE PRECEDENCE.
- CONTRACTOR TO ENSURE COMPLIANCE WITH ANY AND ALL LAND DISTURBANCE NOTIFICATIONS REQUIREMENTS, AND THAT ALL REQUIRED EROSION CONTROL MEASURES ARE INSTALLED AND MAINTAINED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- FOR WORK IN, OR ADJACENT TO, STREET RIGHT OF WAYS, CONTRACTOR SHALL ENSURE APPROPRIATE PERMITS ARE OBTAINED PRIOR TO CONSTRUCTION. CONTRACTOR TO ERECT AND MAINTAIN TRAFFIC CONTROL SIGNS AND DEVICES IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION, ALONG WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.

SITE LEGEND	
	EXISTING PROPERTY LINE
	EXISTING RIGHT-OF-WAY
	EXISTING SETBACK LINE
	PROPOSED RIGHT-OF-WAY
	PROPOSED SETBACK LINE
	HANDICAP STALL
	PARKING SPACE COUNT
	SIGN
	A.D.A. STD HANDICAP RAMP
	LIGHT POLE
	FIRE LANE

SITE DATA	
ASSESSOR'S PARCEL NUMBER:	26447570010010200
PROPOSED USE:	RESTAURANT W/ DRIVE-THRU
CURRENT ZONING:	COMMUNITY RETAIL (CR)
TOTAL PARCEL AREA:	0.43 AC ±
PROJECT AREA:	± 0.43 AC (± 18730.80 SF)
SETBACKS	
FRONT BUILDING SETBACK:	30'
SIDE/CORNER BUILDING SETBACK:	20' ADJACENT TO STREET
REAR BUILDING SETBACK:	30'
LOT COVERAGE	
BUILDING FOOTPRINT AREA:	1100 SF & 900 SF
FAR (FLOOR TO AREA RATIO):	0.1068
BLDG COVERAGE PERCENTAGE:	10.68%
IMPERVIOUS COVERAGE:	3,445.90 SF & 18%
PERVIOUS COVERAGE:	15,600.92 SF & 82%
PARKING	
ADA PARKING REQUIRED:	1 SPACE REQUIRED
ADA PARKING PROVIDED:	1 SPACE
PARKING REQUIRED:	1 PARKING SPACE PER 100 GFA & 2000 SF / 100 = 20 PS REQUIRED
PARKING PROVIDED:	17 SPACES (INCLUDING ADA)
LOADING REQUIREMENTS:	(1) LOADING SPACE FOR RESTAURANT 0 - 10,000 SF
LOADING PROVIDED:	(1) LOADING SPACE PROVIDED



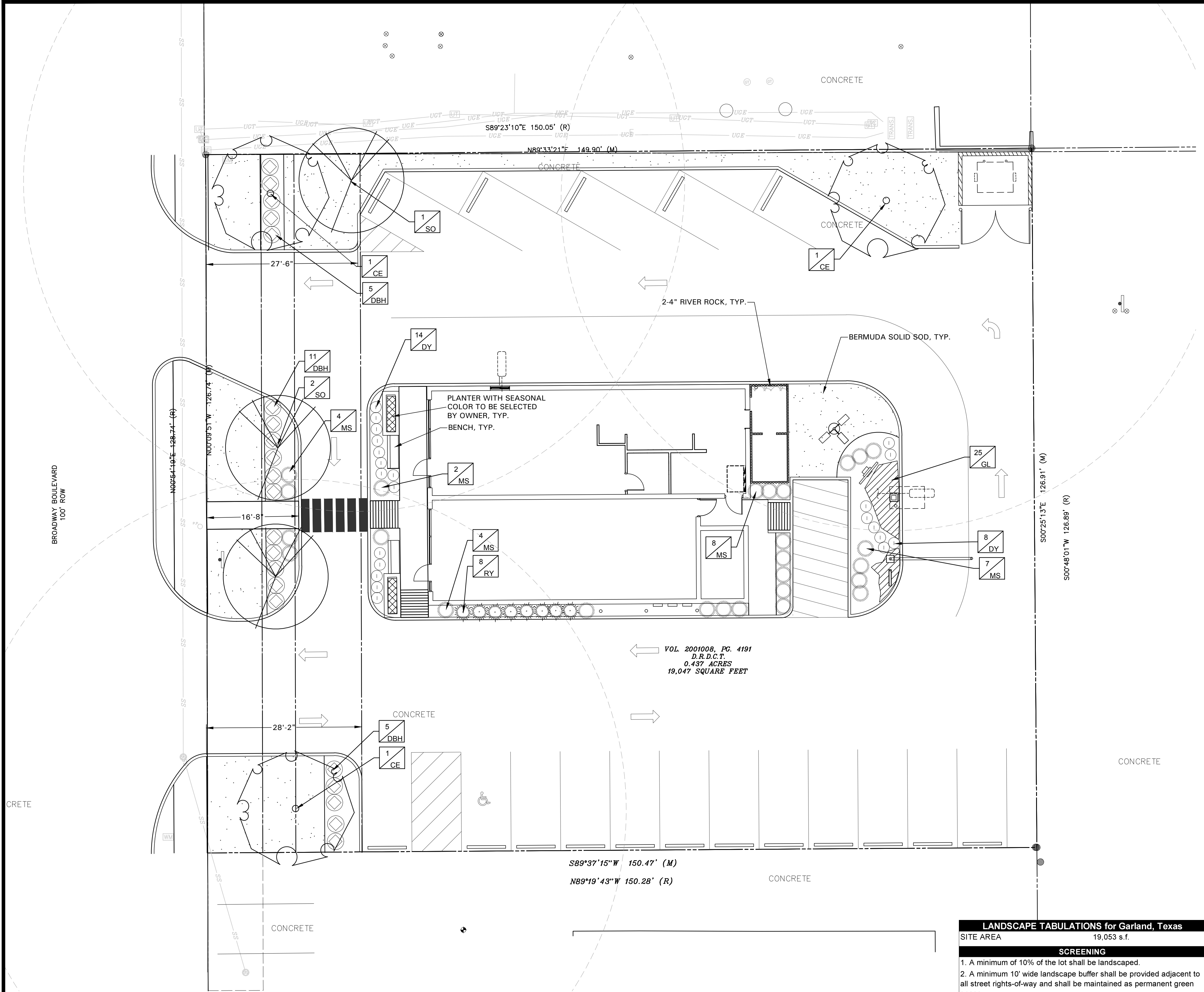
DEVELOPMENT TEAM

OWNER
CHANS RESTAURANT
2110 N. GALLOWAY, STE. 130
MESQUITE, TX 75150
PHONE: (214) 674-1241
CONTACT: SONG TAN
EMAIL: SYTAN8112@GMAIL.COM

SURVEYOR
ATWELL, LLC
9001 AIRPORT FREEWAY, SUITE 660
NORTH RICHLAND HILLS, TX 76180
PHONE: (972) 638-8860
CONTACT: JIM MARLETT
EMAIL: JMARLETT@ATWELL-GROUP.COM

CIVIL ENGINEER
ATWELL, LLC
9001 AIRPORT FREEWAY, SUITE 660
NORTH RICHLAND HILLS, TX 76180
PHONE: (972) 638-8860
CONTACT: KHADEJA SARWAR
EMAIL: KSARWAR@ATWELL-GROUP.COM

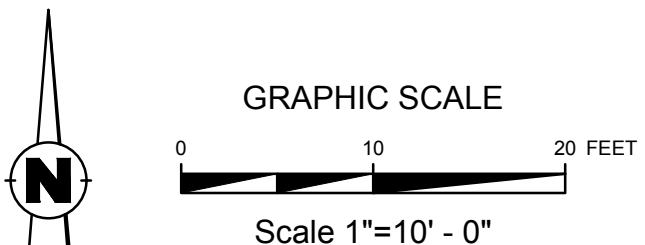
DEVELOPER
QUALITY BRAND GROUP TEXAS, LLC
2201 W. MAIN STREET, STE. 250
STAMFORD, CT 06902
PHONE: (469) 712-9178
CONTACT: LISA BOUSKA
EMAIL: LISA.BOUSKA@QBDUNKIN.COM



LANDSCAPE TABULATIONS for Garland, Texas	
SITE AREA	19,053 s.f.
SCREENING	
1. A minimum of 10% of the lot shall be landscaped.	
2. A minimum 10' wide landscape buffer shall be provided adjacent to all street rights-of-way and shall be maintained as permanent green space.	
3. For every 30 l.f. one large canopy tree is required.	
4. A maximum of 75% of the landscape buffer shall be grass	
REQUIRED	PROVIDED
1905 s.f. (10%)	3359 s.f. (17.6%)
15' buffer	15' buffer
Broadway = 126 l.f.	
4 trees, 3" cal.	4 trees
PARKING AREA	
1. A minimum of 5% of the total parking area shall be landscaped.	
2. One large tree shall be provided for each 10 parking spaces. No parking space shall be further than 65 from a tree.	
3. Parking areas shall be screened from public streets.	
Parking Spaces = 18	
REQUIRED	PROVIDED
491 s.f. (5%)	826 s.f.
2 trees, 3" cal.	2 trees
screening	screening

PLANT SCHEDULE				
QTY	LABEL	COMMON NAME	SCIENTIFIC NAME	SIZE NOTES
SHADE TREES				
2	CE	Cedar Elm	<i>Ulmus crassifolia</i>	3" cal. 12' ht., 4' spread, matching
4	SO	Shumard Oak	<i>Quercus shumardii</i>	3" cal. 12' ht., 5' spread
SHRUBS				
21	DBH	Dwarf Burford Holly	<i>Ilex cornuta 'Burford Nana'</i>	5 gal. full, 20" spread, 36" o.c.
22	DY	Dwarf Yaupon Holly	<i>Ilex vomitoria 'Nana'</i>	5 gal. full, 24" sprd, 24" o.c.
26	MS	Morning Light Miscanthus	<i>Miscanthus sinensis 'Morning Light'</i>	5 gal. full, 20" spread, 36" o.c.
8	RY	Red Yucca	<i>Hesperaloe parvifolia</i>	5 gal. full, 24" sprd, 30" o.c.
GROUND COVER/VINES/GRASS				
25	GL	Giant Liriope	<i>Liriope gigantea</i>	1 gal. full, 18" o.c.
30	SC	Seasonal Color		4" pots full, 9" o.c.
		Bermuda Solid Sod	<i>Cynodon dactylon</i>	
		2-4" River Rock		

Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. Trees shall have a strong central leader and be of matching specimens. All plant material shall meet or exceed remarks as indicated.



- GENERAL LAWN NOTES**
 - CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER
 - LAWN AREAS SHALL BE LEFT 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
 - CONTRACTOR TO FIND GRADE AREAS TO ACHIEVE FINAL CONTOURS AS SHOWN ON CIVIL DRAWINGS. POSITIVE DRAINAGE SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. ROUNDDING AT TOP AND BOTTOM OF SLOPES SHALL BE PROVIDED AND IN OTHER BREAKS IN GRADE. CORRECT AREAS WHERE STANDING WATER MAY OCCUR.
 - ALL LAWN AREAS SHALL BE FINE GRADED. IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION
 - CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" IN DIAMETER AND LARGER. REMOVE ALL DIRT CLODS, STICKS, CONCRETE SPOILS, TRASH ETC PRIOR TO PLACING TOPSOIL AND GRASS INSTALLATION.
 - CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE.
 - CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT IF NECESSARY.**SOLID SOD:**
 - SOLID SOD SHALL BE PLACED ALONG ALL IMPERVIOUS EDGES, AT A MINIMUM. THIS SHALL INCLUDE CURBS, WALKS, INLETS, MANHOLES AND PLANTING BED AREAS. SOD SHALL COVER OTHER AREAS COMPLETELY AS INDICATED BY PLAN.
 - SOD SHALL BE STRONGLY ROOTED DROUGHT RESISTANT SOD, NOT LESS THAN 2 YEARS OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASS AND MACHINE CUT TO PAD THICKNESS OF 3/4" (+/-1/4"), EXCLUDING TOP GROWTH AND THATCH.
 - LAY SOD BY HAND TO COVER INDICATED AREAS COMPLETELY, ENSURING EDGES ARE TOUCHING WITH TIGHTLY FITTING JOINTS, NO OVERLAPS WITH STAGGERED STRIPS TO OFFSET JOINTS.
 - TOP DRESS JOINTS IN SOD BY HAND WITH TOPSOIL TO FILL VOIDS IF NECESSARY
 - SOD SHALL BE ROLLED TO CREATE A SMOOTH EVEN SURFACE. SOD SHOULD BE WATERED THOROUGHLY DURING INSTALLATION PROCESS.
 - SHOULD INSTALLATION OCCUR BETWEEN OCTOBER 1ST AND MARCH 1ST, OVERSEED BERMUDAGRASS SOD WITH WINTER RYEGRASS AT A RATE OF 4 POUNDS PER 1000 S.F.**HYDROMULCH:**
 - SCARIFY AND LOOSEN ALL AREAS TO BE HYDROMULCHED TO A MINIMUM DEPTH OF 4" PRIOR TO TOPSOIL AND HYDROMULCH INSTALLATION
 - BERMUDA GRASS SEED SHALL BE EXTRA HULLED, TREATED LAWN TYPE. SEED SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AND SHALL MEET ALL STATE/LOCAL LAW REQUIREMENTS
 - FIBER SHALL BE 100% WOOD CELLULOSE FIBER, DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AS MANUFACTURED BY 'CONWEB' OR EQUAL.
 - FIBER TACK SHALL BE DELIVERED TO THE SITE IN ITS UNOPENED CONTAINER AND SHALL BE 'TERRO-TACK ONE', AS MANUFACTURED BY GROWERS, INC OR APPROVED EQUAL.
 - HYDROMULCH WITH BERMUDA GRASS SEED AT A RATE OF 2 POUNDS PER 1000 S.F.
 - USE A BATTER BOARD AGAINST ALL BED AREAS TO PREVENT OVER SPRAY.
 - IF INADEQUATE MOISTURE IS PRESENT IN SOIL, APPLY WATER AS NECESSARY FOR OPTIMUM MOISTURE FOR SEED APPLICATION.
 - IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1ST AND MAY 1ST, ALL HYDROMULCH AREAS SHD BE OVER-SEED WITH WINTER RYE GRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET. CONTRACTOR SHALL BE REQUIRED TO RE-HYDROMULCH WITH BERMUDA GRASS THE FOLLOWING GROWING SEASON AS PART OF THIS CONTRACT.
 - AFTER APPLICATION, NO EQUIPMENT SHALL OPERATE OVER APPLIED AREAS. WATER SEEDED AREAS IMMEDIATELY AFTER INSTALLATION TO SATURATION.
 - ALL LAWN AREAS TO BE HYDROMULCHED SHALL ACHIEVE 100% COVERAGE PRIOR TO FINAL ACCEPTANCE.
- LANDSCAPE NOTES**
 - CONTRACTOR TO VERIFY AND LOCATE ALL PROPOSED AND EXISTING ELEMENTS, NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE FOR ANY LAYOUT DISCREPANCIES OR ANY CONDITION THAT WOULD PROHIBIT THE INSTALLATION AS SHOWN. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
 - CONTRACTOR SHALL CALL 811 TO VERIFY AND LOCATE ANY AND ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. LANDSCAPE ARCHITECT SHOULD BE NOTIFIED OF ANY CONFLICTS. CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING NEAR UNDERGROUND UTILITIES.
 - A MINIMUM OF 2% SLOPE SHALL BE PROVIDED AWAY FROM ALL STRUCTURES.
 - CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
 - LANDSCAPE ISLANDS SHALL BE CROWNED, AND UNIFORM THROUGHOUT THE SITE.
 - PLANTING AREAS AND SOD TO BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS OR CURBS. EDGING NOT TO BE MORE THAN 1/2" ABOVE FINISHED GRADE. EDGING SHALL BE CUT AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND/OR CURBS.
 - MULCH SHALL BE INSTALLED AT 1/2" BELOW THE TOPS OF SIDEWALKS AND CURBING.
 - QUANTITIES ON THESE PLANS ARE FOR REFERENCE ONLY. THE SPACING OF PLANTS SHOULD BE AS INDICATED ON PLANS OR OTHERWISE NOTED. ALL TREES AND SHRUBS SHALL BE PLANTED PER DETAILS.
 - CONTAINER GROWN PLANT MATERIAL IS PREFERRED HOWEVER BALL AND BURLAP PLANT MATERIAL CAN BE SUBSTITUTED IF NEEDED BE AND IS APPROPRIATE TO THE SIZE AND QUALITY INDICATED ON THE PLANT MATERIAL LIST.
 - TREES SHALL BE PLANTED AT A MINIMUM OF 9' FROM ANY UTILITY LINE, SIDEWALK OR CURB. TREES SHALL ALSO BE 10' CLEAR FROM FIRE HYDRANTS.
 - 4" OF SHREDDED HARDWOOD MULCH (2" SETTLED THICKNESS) SHALL BE PLACED OVER WEED BARRIER FABRIC. MULCH SHALL BE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL. PINE STRAW MULCH IS PROHIBITED.
 - WEED BARRIER FABRIC SHALL BE USED IN PLANT BEDS AND AROUND ALL TREES AND SHALL BE MIRAFI 1405 WEED BARRIER OR APPROVED EQUAL.
 - CONTRACTOR TO PROVIDE UNIT PRICING OF LANDSCAPE MATERIALS AND BE RESPONSIBLE FOR OBTAINING ALL LANDSCAPE AND IRRIGATION PERMITS.**IRRIGATION:**
 - ALL REQUIRED LANDSCAPE AREAS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE RAIN SENSOR. SYSTEM SHALL ALSO HAVE AN ET WEATHER BASED CONTROLLER AND BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR.**MAINTENANCE REQUIREMENTS:**
 - VEGETATION SHOULD BE INSPECTED REGULARLY TO ENSURE THAT PLANT MATERIAL IS ESTABLISHING PROPERLY AND REMAINS IN A HEALTHY GROWING CONDITION APPROPRIATE FOR THE SEASON. IF DAMAGED OR REMOVED, PLANTS MUST BE REPLACED BY A SIMILAR VARIETY AND SIZE.
 - MOWING, TRIMMING, EDGING AND SUPERVISION OF WATER APPLICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE OWNER OR OWNERS REPRESENTATIVE ACCEPTS AND ASSUMES REGULAR MAINTENANCE.
 - ALL LANDSCAPE AREAS SHOULD BE CLEANED AND KEPT FREE OF TRASH, DEBRIS, WEEDS AND OTHER MATERIAL.**MISCELLANEOUS MATERIALS:**
 - STEEL EDGING SHALL BE 3/16" X 4 X 16" DARK GREEN DURAEDGE STEEL LANDSCAPE EDGING UNLESS NOTED OTHERWISE ON PLANS/DETAILS.
 - RIVER ROCK SHALL BE ARIZONA RIVER ROCK, 2" - 4" DIAMETER. RIVER ROCK SHALL BE COMPACTED TO A MINIMUM OF 3" DEPTH OVER FILTER FABRIC.

PRE-SUBMITTAL CASE # 230302-2

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Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSURE THE SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OR OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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24 HOUR
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A-1158 ABSTRACT #131158

6318 BROADWAY BLVD
GARLAND
DALLAS COUNTY, TX

DUNKIN' DONUTS
QUALITY BRAND GROUP TEXAS, LLC
SCHEMATIC ENGINEERING
LANDSCAPE PLAN

DATE 2023-04-10

REVISIONS

REGISTERED LANDSCAPE ARCHITECT
AMANDA W. RICHARDS
2754
STATE OF TEXAS

DRAWN BY: K. SARWAR
CHECKED BY: T. BOUSQUET
PROJECT MANAGER: T. BOUSQUET
JOB #: 22006736
FILE CODE: ##
SHEET NO. L101

SECTION 32 8300 - LANDSCAPE
PART 1 - GENERAL

1.1 QUALIFICATIONS OF THE LANDSCAPE CONTRACTOR

- A. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.

1.2 REFERENCE DOCUMENTS

- A. REFER TO LANDSCAPE PLANS, NOTES, SCHEDULES AND DETAILS FOR ADDITIONAL REQUIREMENTS

1.3 SCOPE OF WORK / DESCRIPTION OF WORK

- A. WORK COVERED BY THESE SECTIONS INCLUDES: FURNISH ALL REPRESENTATIVE MATERIALS, SERVICES, EQUIPMENT, AND APPLIANCES REQUIRED TO COMPLETE THE WORK COVERED IN CONJUNCTION WITH THE LANDSCAPING COVERED IN LANDSCAPE PLANS AND SPECIFICATIONS INCLUDING:

1. PLANTING (TREES, SHRUBS, GRASSES)
1. BED PREP AND FERTILIZATION
3. NOTIFICATION OF SOURCES
4. WATER AND MAINTENANCE UNTIL ACCEPTANCE
5. GUARANTEE

- B. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
- C. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK ON SITE.

1.4 REFERENCES

- A. AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICAN ASSOCIATION OF NURSERYMEN; 27 OCTOBER 1980, EDITION, BY AMERICAN NATIONAL STANDARDS INSTITUTE (2001); PLANT MATERIAL
- B. AMERICAN JOINT COMMITTEE ON HORTICULTURE NOMENCLATURE; 1942 EDITION OF STANDARDIZED PLANT NAMES
- C. TEXAS ASSOCIATION OF NURSERYMEN, GRADES AND STANDARDS

1.5 SUBMITTALS

- A. PROVIDE REPRESENTATIVE QUANTITIES OF EACH SOIL, MULCH, BED MIX, GRAVEL AND STONE BEFORE INSTALLATION. SAMPLES TO BE APPROVED BY OWNERS REPRESENTATIVE BEFORE USE.
- B. SOIL AMENDMENTS AND FERTILIZERS SHOULD BE RESEARCHED AND BASED ON THE SOILS IN THE AREA.
- C. BEFORE INSTALLATION, SUBMIT DOCUMENTATION THAT PLANT MATERIALS ARE AVAILABLE AND HAVE BEEN RECEIVED FOR ANY PLANT MATERIAL NOT AVAILABLE. SUBMIT REQUEST FOR SUBSTITUTION.

1.6 JOB CONDITIONS, DELIVERY, STORAGE AND HANDLING

- A. GENERAL CONTRACTOR TO COMPLETE WORK BEFORE LANDSCAPE CONTRACTOR TO COMMENCE.
- B. ALL PLANTING BED AREAS SHALL BE LEFT THREE INCHES BELOW FINAL GRADE OF SIDEWALKS, DRIVES AND CURBS. ALL AREAS TO RECEIVE SOIL AND SOIL SHALL BE LEFT ONE INCH BELOW THE FINAL GRADE OF WALKS, DRIVES AND CURBS. CONSTRUCTION DEBRIS SHALL BE REMOVED PRIOR TO LANDSCAPE CONTRACTOR BEGINNING WORK.
- C. STORAGE OF MATERIALS AND EQUIPMENT AT THE JOB SITE WILL BE AT THE RISK OF THE LANDSCAPE CONTRACTOR. THE OWNER CANNOT BE HELD RESPONSIBLE FOR THEFT OR DAMAGE.

1.7 SEQUENCING

- A. INSTALL TREES, SHRUBS, AND LNER STOCK PLANT MATERIALS PRIOR TO INSTALLATION OF LAWSOLID SOIL.
- B. WHERE EXISTING TURF AREAS ARE BEING CONVERTED TO PLANTING BEDS, THE TURF SHALL BE CHEMICALLY ERADICATED TO MINIMIZE RE-GROWTH IN THE FUTURE. AREAS SHALL BE PROPERLY PREPARED WITH AMENDED ORGANIC MATTER.

1.8 MAINTENANCE AND GUARANTEE

MAINTENANCE:

- A. THE LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK FROM THE TIME OF PLANTING UNTIL FINAL ACCEPTANCE BY OWNER.
- B. NO TREES, GRASS, GROUND COVER OR GRASS WILL BE ACCEPTED UNLESS THEY SHOW HEALTHY GROWTH AND SATISFACTORY GROWTH CONDITIONS.
- C. MAINTENANCE SHALL INCLUDE WATERING OF TREES AND PLANTS, CULTIVATION, WEED SPRAYING, EDGING, PRUNING OF TREES, MOVING OF GRASS, CLEANING UP AND ALL OTHER WORK NECESSARY FOR MAINTENANCE.
- D. A WRITTEN NOTICE REQUESTING FINAL INSPECTION AND ACCEPTANCE SHOULD BE SUBMITTED TO THE OWNER, LEAST 7 DAYS PRIOR TO COMPLETION, AN ON SITE INSPECTION BY THE OWNERS AUTHORIZED REPRESENTATIVE WILL BE COMPLETED PRIOR TO THE EXPIRATION OF THE WARRANTY PERIOD.
- E. NOTIFY OWNER OR OWNERS REPRESENTATIVE SEVEN DAYS PRIOR TO THE EXPIRATION OF THE WARRANTY PERIOD.
- F. REMOVE DEAD, UNHEALTHY AND UNSIGHTLY PLANTS DURING WARRANTY PERIOD.
- G. REMOVE GUYING AND STAKING MATERIALS AFTER ONE YEAR.
- H. ALL LANDSCAPE MUST BE MAINTAINED AND GRASS MOVED/EDGED ON A WEEKLY SCHEDULE DURING GROWING SEASON, WHICHEVER COMES SOONER AFTER FINAL ACCEPTANCE. THE CONTRACTOR SHALL REPLACE ALL DEAD MATERIALS AS SOON AS WEATHER PERMITS AND UPON NOTIFICATION OF THE OWNER.
- I. COORDINATE THE OPERATION OF IRRIGATION SYSTEM TO ENSURE THAT PLANTS ARE ADEQUATELY WATERED. HAND WATER AREAS NOT RECEIVING ADEQUATE WATER FROM AN IRRIGATION SYSTEM.
- J. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN ACCORDANCE TO THE MAINTENANCE SERVICE TO ENSURE THE SYSTEM IS IN PROPER WORKING ORDER WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
- K. REAPPLY MULCH TO BARE AND THIN AREAS.
- L. SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.
- N. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:

- A. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
- B. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
- C. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. HYDROCULMATED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED OR RESEEDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.

GUARANTEE:

- A. TREES, SHRUBS, GROUND COVER SHALL BE GUARANTEED (IN WRITING) FOR A 12 MONTH PERIOD (90 DAYS FOR ANNUAL PLANTING OR AT THE END OF THE SEASONAL COLOR GROWING SEASON, WHICHEVER COMES SOONER) AFTER FINAL ACCEPTANCE. THE CONTRACTOR SHALL REPLACE ALL DEAD MATERIALS AS SOON AS WEATHER PERMITS AND UPON NOTIFICATION OF THE OWNER.
- B. PLANTS INCLUDING TREES, WHICH HAVE PARTIALLY DIED SO THAT SHAPE, SIZE OR SYMMETRY HAVE BEEN DAMAGED SHALL BE CONSIDERED SUBJECT TO REPLACEMENT. IN SUCH CASES, THE OPINION OF THE OWNER SHALL BE FINAL.
- C. PLANTS USED FOR REPLACEMENT SHALL BE OF THE SAME SIZE AND KIND AS THOSE ORIGINALLY PLANTED OR SPECIFIED. ALL WORK INCLUDING MATERIALS, LABOR AND EQUIPMENT USED IN REPLACEMENTS SHALL CARRY A 12 MONTH GUARANTEE. ANY DAMAGE INCLUDING RUTS IN LAWN OR BED AREAS INCURRED AS A RESULT OF MAKING REPLACEMENTS SHALL BE IMMEDIATELY REPAIRED.
- D. WHEN PLANT REPLACEMENTS ARE MADE, PLANTS, SOIL MIX, FERTILIZER AND MULCH ARE TO BE UTILIZED AS ORIGINALLY SPECIFIED AND RE-INSPECTED FOR FULL COMPLIANCE WITH THE CONTRACT REQUIREMENTS. ALL REPLACEMENTS ARE INCLUDED UNDER WORK OF THIS SECTION.
- E. THE OWNER AGREES THAT FOR THE ONE YEAR WARRANTY PERIOD TO BE EFFECTIVE, HE WILL WATER PLANTS AT LEAST TWICE A WEEK DURING DRY PERIODS.
- F. THE ABOVE GUARANTEE, SHALL NOT APPLY WHERE PLANTS DIE AFTER ACCEPTANCE BECAUSE OF DAMAGE DUE TO ACTS OF GOD, VANDALISM, INSECTS, DISEASE, INJURY BY HUMANS, MACHINES, THEFT OR NEGLIGENCE BY OWNER.
- G. ACCEPTANCE FOR ALL LANDSCAPE WORK SHALL BE GIVEN AFTER FINAL INSPECTION BY THE OWNER PROVIDED THE JOB IS IN A COMPLETE, UNDAMAGED CONDITION AND THERE IS A STAND OF GRASS IN ALL LAWN AREAS. AT THAT TIME, THE OWNER WILL ASSUME MAINTENANCE ON THE ACCEPTED WORK.

1.9 QUALITY ASSURANCE

- A. COMPLY WITH ALL FEDERAL, STATE, COUNTY AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK.
- B. EMPLOY PERSONNEL EXPERIENCED AND FAMILIAR WITH THE REQUIRED WORK AND SUPERVISION BY A FOREMAN.
- C. MAKE CONTACT WITH SUPPLIERS IMMEDIATELY UPON OBTAINING NOTICE

OF CONTRACT ACCEPTANCE TO SELECT AND BOOK MATERIALS.

- D. DEVELOP A PROGRAM OF MAINTENANCE (PRUNING AND FERTILIZATION) WHICH WILL ENSURE THE PURCHASED MATERIALS WILL MEET AND/OR EXCEED PROJECT SPECIFICATIONS.

- E. DO NOT MAKE PLANT MATERIAL SUBSTITUTIONS. IF THE LANDSCAPE MATERIALS SPECIFIED ARE NOT READILY AVAILABLE, SUBMIT PROOF TO LANDSCAPE ARCHITECT ALONG WITH THE PROPOSED MATERIAL TO BE USED IN LIEU OF THE SPECIFIED MATERIAL.
- F. AT THE TIME BIDS ARE SUBMITTED, THE CONTRACTOR IS ASSUMED TO HAVE LOCATED THE MATERIALS NECESSARY TO COMPLETE THE JOB AS SPECIFIED.
- G. OWNERS REPRESENTATIVE SHALL INSPECT ALL PLANT MATERIAL AND RETAINS THE RIGHT TO INSPECT MATERIALS UPON ARRIVAL TO THE SITE AND DURING INSTALLATION. THE OWNERS REPRESENTATIVE MAY ALSO REJECT ANY MATERIALS HE/SHE FEELS TO BE UNSATISFACTORY OR DEFECTIVE DURING THE WORK PROCESS. ALL PLANTS DAMAGED IN TRANSIT OR AT THE JOB SITE SHALL BE REJECTED.

1.10 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. PREPARATION
1. BALLED AND BURLAPPED B&B PLANTS; DIG AND PREPARE SHIPMENT IN A MANNER THAT WILL NOT DAMAGE ROOTS, BRANCHES, SHAPE AND FUTURE DEVELOPMENT.
- B. DELIVERY
1. DELIVER PACKAGED MATERIALS IN SEALED CONTAINERS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. PROTECT MATERIALS FROM DETERIORATION DURING DELIVERY AND WHILE STORED ON SITE.

2. DELIVER ONLY PLANT MATERIALS THAT CAN BE PLANTED IN ONE DAY UNLESS ADEQUATE STORAGE AND WATERING FACILITIES ARE AVAILABLE ON SITE.
3. PROTECT ROOT BALLS BY HEELING IN WITH SAWDUST OR OTHER APPROVED MOISTURE RETAINING MATERIAL IF NOT PLANTED WITHIN 24 HOURS OF DELIVERY.
4. PROTECT PLANTS DURING DELIVERY TO PREVENT DAMAGE TO ROOT BALL OR DESICCATION OF LEAVES.
5. KEEP PLANTS MOIST AT ALL TIMES. COVER ALL MATERIALS DURING TRANSPORT.
6. NOTIFY OWNERS REPRESENTATIVE OF DELIVERY 72 HOURS PRIOR TO DELIVERY OF PLANT MATERIAL AT JOB SITE.
7. REMOVE REJECTED PLANT MATERIAL IMMEDIATELY FROM JOB SITE.
8. TO AVOID DAMAGE OR STRESS, DO NOT LIFT, MOVE, ADJUST OR PLUMB, OR OTHERWISE MANIPULATE PLANTS BY TRUNK OR STEMS.

PART 2 - PRODUCTS

2.1 PLANT MATERIALS

- A. GENERAL: WELL FORMED NO. 1 GRADE OR BETTER NURSERY GROWN STOCK. LISTED PLANT HEIGHTS ARE FROM TOPS OF FOOT BALLS TO NOMINAL TOPS OF PLANTS. PLANT SPREAD REFERS TO NOMINAL OUTER WIDTH OF THE PLANT NOT THE OUTER LEAF TIPS. PLANTS SHALL BE INDIVIDUALLY APPROVED BY THE OWNERS REPRESENTATIVE AND THEIR DECISION AS TO THEIR ACCEPTABILITY SHALL BE FINAL.
- B. QUANTITIES: THE DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY. ANYTHING CALLED FOR ON ONE AND NOT THE OTHER IS AS BINDING AS IF SHOWN AND CALLED FOR BOTH. THE SCHEDULE IS AN AID TO BIDDERS ONLY. CONFIRM ALL QUANTITIES ON PLAN.
- C. QUANTITIES AND SIZE: PLANT MATERIALS SHALL CONFORM TO THE SIZE GIVEN ON THE PLAN AND SHALL BE HEALTHY, WELL SHAPED, FULL BRANCHED AND WELL ROOTED. SYMMETRY IS ALSO IMPERATIVE. PLANTS SHALL BE FREE FROM INSECTS, INJURY, DISEASE, BROKEN BRANCHES, DISFIGUREMENTS, INSECT EGGS AND ARE TO BE OF SPECIMEN QUALITY.
- D. APPROVAL: ALL PLANTS WHICH ARE FOUND UNSUITABLE IN GROWTH OR ARE UNHEALTHY, BADLY SHAPED OR UNDERSIZED WILL BE REJECTED BY THE OWNERS REPRESENTATIVE EITHER BEFORE OR AFTER PLANTING AND SHALL BE REMOVED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR AND REPLACED WITH ACCEPTABLE SPECIMENS.
- E. TREES SHALL BE HEALTHY, FULL BRANCHED, WELL SHAPED AND SHALL MEET THE MINIMUM REQUIREMENTS AS SPECIFIED ON THE PLANT SCHEDULE. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE IF POSSIBLE, AND WITH SIMILAR CLIMATIC CONDITIONS.
- F. PRUNING: ALL PRUNING OF TREES AND SHRUBS SHALL BE EXECUTED BY THE LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER, PRIOR TO FINAL ACCEPTANCE.
- G. PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED, EXCEPT THE PLANTS LARGER THAN THOSE SPECIFIED MAY BE USED. USE OF LARGER PLANTS SHALL NOT INCREASE THE CONTRACT PRICE.
- H. WHERE MATERIALS ARE PLANTED IN MASSES, PROVIDE PLANTS OF UNIFORM SIZE.
- I. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED, FIBROUS ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCODING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
- J. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
- K. TREE TRUNKS TO BE STURDY, EXHIBIT HARDENED SYSTEMS AND VIGOROUS AND FIBROUS ROOT SYSTEMS, NOT ROOT OR POT BOUND.
- L. TREES WITH DAMAGED OR CROOKED LEADERS, BARK ABRASIONS, SUNSCALD, DISFIGURING KNOTS, OR INSECT DAMAGE WILL BE REJECTED.
- M. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
- N. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL.
- O. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- P. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.

2.2 SOIL PREPARATION MATERIALS

- A. SANDY LOAM:
1. FINABLE, FERTILE, DARK, LOAMY SOIL, FREE OF CLAY LUMPS, SUBSOIL, STONES AND OTHER EXTRANEOUS MATERIAL AND REASONABLY FREE OF WEEDS AND FOREIGN GRASSES. LOAM HEALTHY DALLAS GRASS OR NUTGRASS SHALL BE REJECTED.
2. PHYSICAL PROPERTIES AS FOLLOWS:
a. CLAY - BETWEEN 7-23%
b. SILT - BETWEEN 15-25%
c. SAND - LESS THAN 52%
3. ORGANIC MATTER SHALL BE 3%-10% OF TOTAL DRY WEIGHT.
4. IF REQUESTED, LANDSCAPE CONTRACTOR SHALL PROVIDE A CERTIFIED SOIL ANALYSIS CONDUCTED BY AN APPROVED SOIL TESTING LABORATORY VERIFYING THAT SANDY LOAM MEETS THE ABOVE REQUIREMENTS.
- B. ORGANIC MATERIAL: COMPOST WITH A MIXTURE OF 80% VEGETATIVE MATTER AND 20% ANIMAL WASTE. INGREDIENTS SHOULD BE A MIX OF COURSE AND FINE TEXTURED MATERIAL.
- C. PREMIXED BEDDING SOIL AS SUPPLIED BY VITAL EARTH RESOURCES, GLADEWATER, TEXAS; PROFESSIONAL BEDDING SOIL AS SUPPLIED BY LIVING EARTH TECHNOLOGY, DALLAS, TEXAS; OR ACID GRO MUNICIPAL MIX AS SUPPLIED BY SOIL BUILDING SYSTEMS, DALLAS, TEXAS OR APPROVED EQUAL.
- D. SHARP SAND: SHARP SAND MUST BE FREE OF SEEDS, SOIL PARTICLES AND WEEDS.
- E. MULCH: DOUBLE SHREDDED HARDWOOD MULCH, PARTIALLY DECOMPOSED, DARK BROWN.
- F. ORGANIC FERTILIZER: FERTILIZED, SUSTANE, OR GREEN SENSE OR EQUAL AS RECOMMENDED FOR REQUIRED APPLICATIONS. FERTILIZER SHALL BE DELIVERED TO THE SITE IN ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED STATEMENT OF ANALYSIS.
- G. COMMERCIAL FERTILIZER: 10-20-10 OR SIMILAR ANALYSIS; NITROGEN SOURCE TO BE A MINIMUM 50% SLOW RELEASE ORGANIC NITROGEN (SCU OR UP). WITH A MINIMUM 8% SULFUR AND 4% IRON, PLUS MICRO-NUTRIENTS.
- H. PEAT: COMMERCIAL SPHAGNUM PEAT MOSS OR PARTIALLY DECOMPOSED SHREDDED PINE BARK OR OTHER APPROVED ORGANIC MATERIAL.

2.3 MISCELLANEOUS MATERIALS

- A. STEEL EDGING - SHALL BE 3/16" X 4" X 16" DARK GREEN LANDSCAPE EDGING DURAPAGE STEEL OR APPROVED EQUAL.
- B. TREE STAKING - TREE STAKING SOLUTIONS OR APPROVED SUBSTITUTE; REFER TO DETAILS.
- C. FILTER FABRIC - MIRAFI 1405 BY MIRAFI INC. OR APPROVED SUBSTITUTE. AVAILABLE AT LONE STAR PRODUCTS, INC. (469-523-9444)
- D. SAND - UNIFORMLY GRADED, WASHED, CLEAN, BANK RUN SAND.
- E. GRAVEL - WASHED NATIVE PEA GRAVEL, GRADED 1" TO 1 1/2"
- F. DECOMPOSED GRANITE - BASE MATERIAL OF NATURAL MATERIAL MIX OF GRANITE AGGREGATE NOT TO EXCEED 1/8" IN DIAMETER COMPOSED OF VARIOUS STAGES OF DECOMPOSED EARTH BASE.
- G. RIVER ROCK - LOCALLY AVAILABLE NATIVE RIVER ROCK BETWEEN 2"-4" IN DIAMETER.

- H. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

PART 3 - EXECUTION

3.1 PREPARATION

- A. LANDSCAPE CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE OWNER.

- B. ALL PLANTING AREAS SHALL BE CONDITIONED AS FOLLOWS:

1. PREPARE NEW PLANTING BEDS BY SCRAPING AWAY EXISTING GRASS AND WEEDS AS NECESSARY. TILL EXISTING SOIL TO A DEPTH OF SIX (6") INCHES PRIOR TO PLACING COMPOST AND FERTILIZER. APPLY FERTILIZER AS PER MANUFACTURER'S RECOMMENDATIONS. ADD SIX (6") INCHES OF COMPOST AND TILL INTO A DEPTH OF SIX (6") INCHES OF SPECIFIED MULCH (SETTLED THICKNESS).

2. BACKFILL FOR TREE PITS SHALL BE AS FOLLOWS: USE EXISTING TOP SOIL ON SITE (USE IMPORTED TOPSOIL AS NEEDED) FREE FROM LARGE CLUMPS, ROCKS, DEBRIS, CALICHE, SUBSOILS, ETC., PLACED IN NINE (9") INCH LAYERS AND WATERED IN THOROUGHLY.

C. GRASS AREAS:

1. BLOCKS OF SOD SHOULD BE LAID JOINT TO JOINT (STAGGERED JOINTS) AFTER FERTILIZING THE GROUND FIRST. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE. THE JOINTS BETWEEN THE BLOCKS OF SOD SHOULD BE FILLED WITH TOPSOIL WHERE THEY ARE GAPPED OPEN, THEN WATERED THOROUGHLY.

3.2 INSTALLATION

- A. MAINTENANCE OF PLANT MATERIALS SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS DELIVERED TO THE SITE AND SHALL CONTINUE UNTIL ALL CONSTRUCTION HAS BEEN SATISFACTORILY ACCOMPLISHED.

- B. PLANT MATERIALS SHALL BE DELIVERED TO THE SITE ONLY AFTER THE BEDS ARE PREPARED AND AREAS ARE READY FOR PLANTING. ALL SHIPMENTS OF NURSERY MATERIALS SHALL BE THOROUGHLY PROTECTED FROM THE WINDS DURING TRANSPORT. ALL PLANTS WHICH CANNOT BE PLANTED AT ONCE, AFTER DELIVERY TO THE SITE, SHALL BE WELL PROTECTED AGAINST THE POSSIBILITY OF DRYING BY WIND AND BALLS OF EARTH OF 8 & B PLANTS SHALL BE KEPT COVERED WITH SOIL OR OTHER ACCEPTABLE MATERIAL. ALL PLANTS REMAIN THE PROPERTY OF THE CONTRACTOR UNTIL FINAL ACCEPTANCE.

- C. POSITION THE TREES AND SHRUBS IN THEIR INTENDED LOCATION AS PER PLAN.

- D. NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL POSITIONING OF PLANT MATERIALS.

- E. EXCAVATE PITS WITH VERTICAL SIDES AND HORIZONTAL BOTTOM. TREE PITS SHALL BE LARGE ENOUGH TO PERMIT HANDLING AND PLANTING WITHOUT INJURY TO BALLS OF EARTH OR ROOTS AND SHALL BE OF SUCH DEPTH THAT WHEN PLANTED AND SETTLED, THE CROWN OF THE PLANT SHALL BEAR THE SAME RELATIONSHIP TO THE FINISH GRADE AS IT DID TO SOIL SURFACE IN ORIGINAL PLACE OF GROWTH. THE SIDES OF THE HOLE SHOULD BE ROUGH AND JAGGED, NEVER SMOOTH OR SIZED.

- F. SHRUB AND TREE PITS SHALL BE NO LESS THAN TWENTY-FOUR (24") INCHES WIDER THAN THE LATERAL DIMENSION OF THE EARTH BALL AND SIX (6") INCHES DEEPER THAN ITS VERTICAL DIMENSION.

- G. PERCOLATION TEST: FILL THE HOLE WITH WATER. IF THE WATER LEVEL DOES NOT PERCOLATE WITHIN 24 HOURS, THE TREE NEEDS TO MOVE TO ANOTHER LOCATION OR HAVE DRAINAGE ADDED. INSIDE A PVC STAND PIPE PER TREE IF THE PERCOLATION TEST FAILS.

- H. BACKFILL ONLY WITH PART EXISTING SOIL OR SANDY LOAM. PART 1 BED PREPARATION, WHEN THE PLANT IS PLUG IN SOIL, TOPSOIL FROM THE SAME AREA SHOULD NOT BE USED. CAREFULLY SETTLE BY WATERING TO PREVENT AIR POCKETS.

- I. BURLAP FROM THE TOP 1/2 OF THE BALL, AS WELL AS ALL NYLON, PLASTIC STRING AND WIRE CONTAINER NETS, SHALL USUALLY BE REMOVED, IF SO FOLLOW STANDARD NURSERY PRACTICE OF "ROOT SCORING".

- J. DO NOT WRAP TREES.

- K. DO NOT OVER PRUNE.

- L. REMOVE BOTTOM OF PLANT BOXES PRIOR TO PLACING PLANTS. REMOVE SIDES AFTER PLANTING.

- M. REMOVE UPPER THIRD OF BURLAP FROM BALLED AND BURLAPPED TREES AFTER PLACEMENT.

- N. PLACE PLANT UPRIGHT AND PLUMB IN CENTER OF HOLE. ORIENT PLANTS FOR BEST APPEARANCE.

- O. MULCH THE TOP OF THE BALL. DO NOT PLANT GRASS ALL THE WAY TO THE TRUNK OF THE TREE. LEAVE THE AREA ABOVE THE TOP OF THE BALL AND MULCH WITH AT LEAST TWO (2") INCHES OF SPECIFIED MULCH.

- P. ALL PLANT BEDS AND TREES TO BE MULCHED WITH A MINIMUM SETTLED THICKNESS OF TWO (2") INCHES OVER THE ENTIRE BED OR PIT.

- Q. OBSTRUCTION BELOW GROUND: IN THE EVENT THAT ROCK, OR UNDERGROUND CONSTRUCTION WORK OR OBSTRUCTIONS ARE ENCOUNTERED IN ANY PLANT PIT EXCAVATION WORK TO BE DONE UNDER THIS SECTION, ALTERNATE LOCATIONS MAY BE SELECTED BY THE OWNER. WHERE LOCATIONS CANNOT BE CHANGED, THE OBSTRUCTIONS SHALL BE REMOVED TO A DEPTH OF THREE (3) FEET BELOW GRADE AND NO LESS THAN SIX (6") INCHES BELOW THE BOTTOM OF BALL WHEN PLANT IS PROPERLY SET AT THE ACQUIRED GRADE. THE WORK OF THIS SECTION SHALL INCLUDE THE REMOVAL FROM THE SITE OF SUCH ROCK OR UNDERGROUND OBSTRUCTIONS ENCOUNTERED AT THE COST OF THE LANDSCAPE CONTRACTOR.

- R. TREES AND LARGE SHRUBS SHALL BE STAKED AS SITE CONDITIONS REQUIRE. POSITION STAKES TO SECURE TREES AGAINST SEASONAL PREVAILING WINDS.

- S. PRUNING AND MULCHING: PRUNING SHALL BE DIRECTED BY THE LANDSCAPE ARCHITECT AND SHAPE PRUNING IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE FOLLOWING FINE PRUNING, CLASS I PRUNING STANDARDS PROVIDED BY THE NATIONAL ARBORIST ASSOCIATION.

1. DEAD WOOD, SUCKERS, BROKEN AND BADLY BRUISED BRANCHES SHALL BE REMOVED. GENERAL TIPPING OF THE BRANCHES IS NOT PERMITTED. DO NOT CUT TERMINAL BRANCHES.

2. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.

3. IMMEDIATELY AFTER PLANTING OPERATIONS ARE COMPLETED, ALL TREE PITS SHALL BE COVERED WITH A LAYER OF ORGANIC MATERIAL TWO (2") INCHES IN DEPTH. THIS LIMIT OF THE ORGANIC MATERIAL FOR TREES SHALL BE THE DIAMETER OF THE PLANT PIT.

- Q. STEEL EDGING INSTALLATION: EDGE SHALL BE ALIGNED AS INDICATED ON PLANS. STAKE OUT LIMITS OF STEEL CURBING AND OBTAIN OWNERS APPROVAL PRIOR TO INSTALLATION.

1. ALL STEEL CURBING SHALL BE FREE OF KINKS AND ABRUPT BENDS.

2. TOP OF EDGING SHALL BE 2" MAXIMUM HEIGHT ABOVE FINAL FINISHED GRADE.

3. STAKES ARE TO BE INSTALLED ON THE PLANTING BED SIDE OF THE CURBING, AS OPPOSED TO THE GRASS SIDE.

4. DO NOT INSTALL STEEL EDGING ALONG SIDEWALKS OR CURBS.

5. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE EDGING MEETS SIDEWALKS OR CURBS.

- 3.3 CLEANUP AND ACCEPTANCE

- A. CLEANUP: DURING THE WORK, THE PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TIMES. STORAGE AREAS FOR ALL MATERIALS SHALL BE SO ORGANIZED SO THAT THEY, TOO, ARE NEAT AND ORDERLY. ALL TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE AS WORK PROGRES. AS WORK PROGRES, KEEP PAVED AREAS CLEAN BY SWEEPING OR HOSING THEM AT END OF EACH WORK DAY.

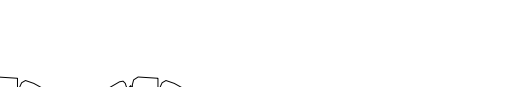
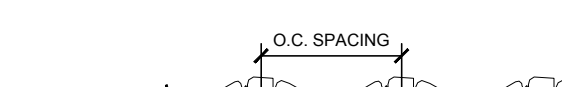
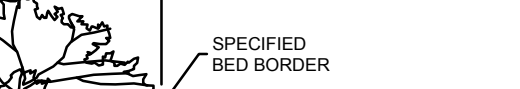
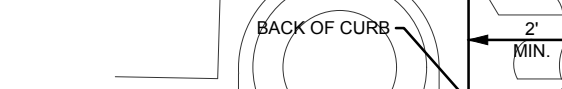
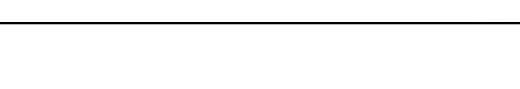
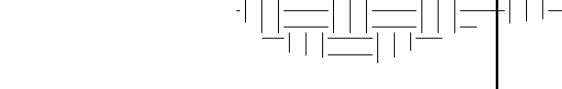
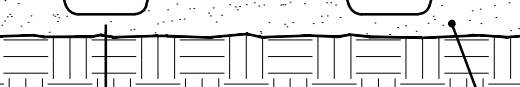
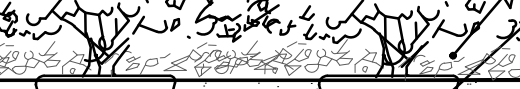
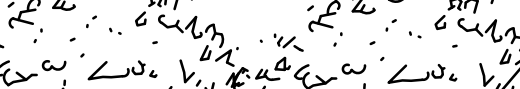
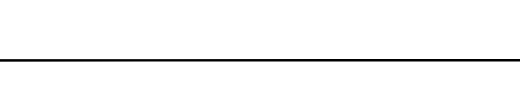
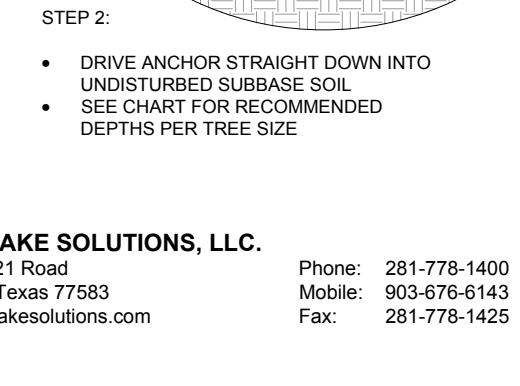
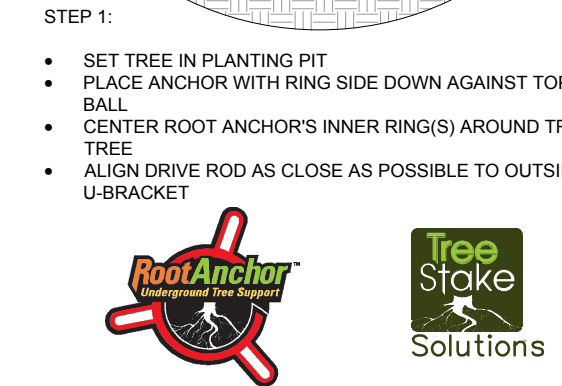
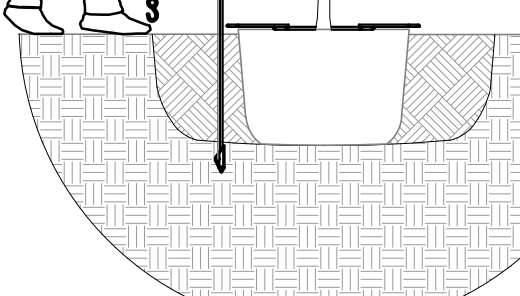
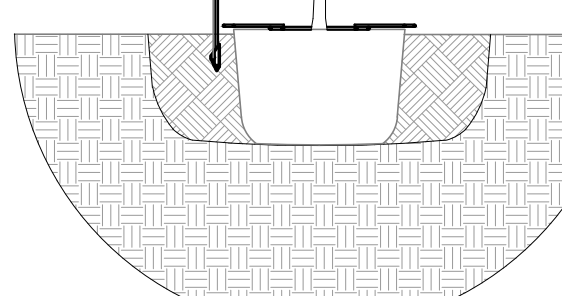
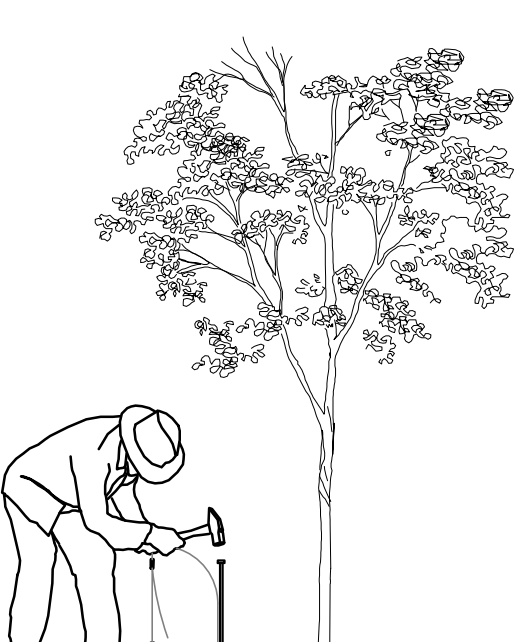
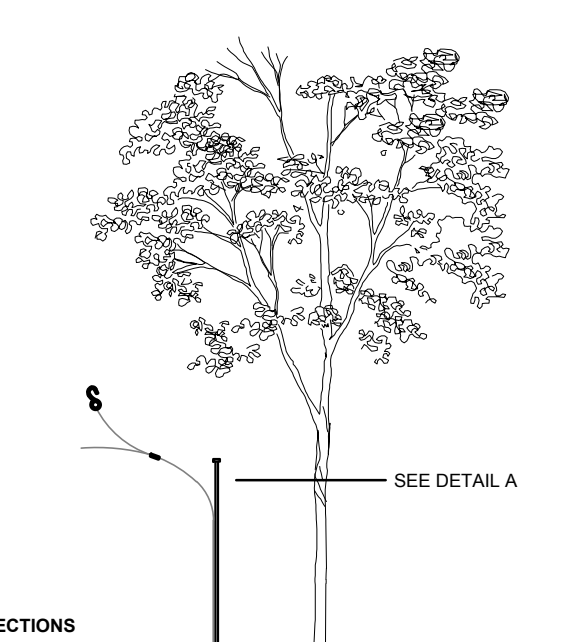
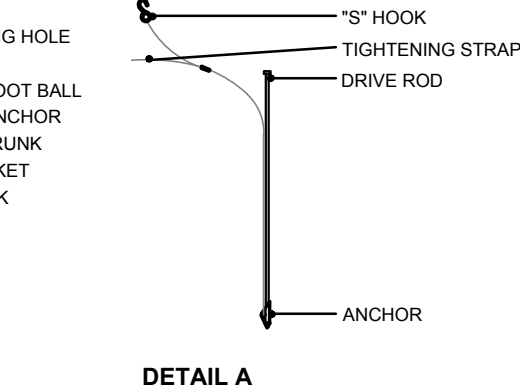
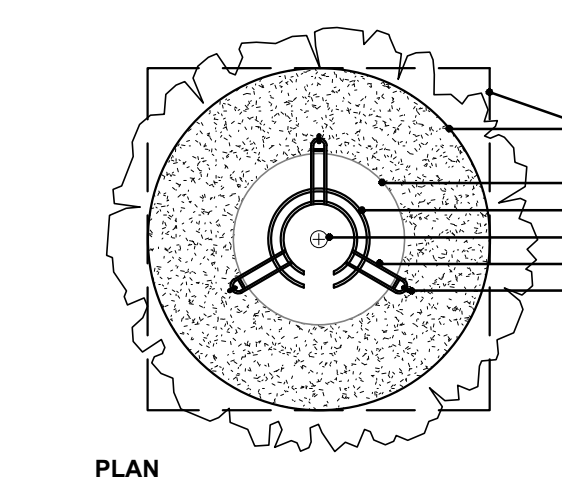
- B. REPAIR RUTS, HOLES AND SCARES IN GROUND SURFACES.

- C. ENSURE THAT WORK IS COMPLETE AND PLANT MATERIALS ARE IN GOOD AND HEALTHY CONDITION.

- D. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.

- E. WHENEVER THE INSPECTED NOT CONFORM WITHES NOT CONFORM WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNERS SATISFACTION WITHIN 24 HOURS.

- F. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.





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Call before you dig.



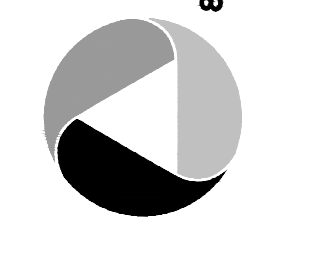
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Know what's below.
Call before you dig.
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE PROVIDER SHALL BE RESPONSIBLE TO ASSUME ANY RESPONSIBILITY FOR THE SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY MAJOR STRUCTURES, OR OF ANY OTHER PERSONS.

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24 HOUR
EMERGENCY CONTACT

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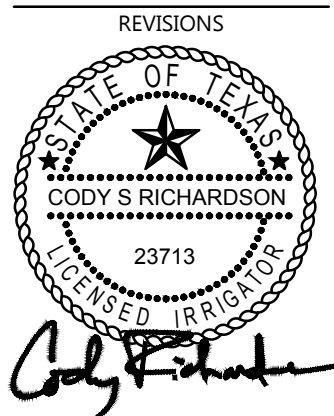
A-1158 ABSTRACT #131158

6318 BROADWAY BLVD
GARLAND
DALLAS COUNTY, TX

DUNKIN' DONUTS
QUALITY BRAND GROUP TEXAS, LLC
SCHEMATIC ENGINEERING
IRRIGATION PLAN

DATE 2023-04-10

REVISIONS



DRAWN BY: K. SARWAR
CHECKED BY: T. BOUSQUET
PROJECT MANAGER: T. BOUSQUET
JOB #: 22006736
FILE CODE: ##
SHEET NO. L201

1.5" MAINLINE
SPRAYS (TURF)
S1
1" 11.9

BROADWAY BOULEVARD
100' ROW

(3)3" Lateral Sleeve

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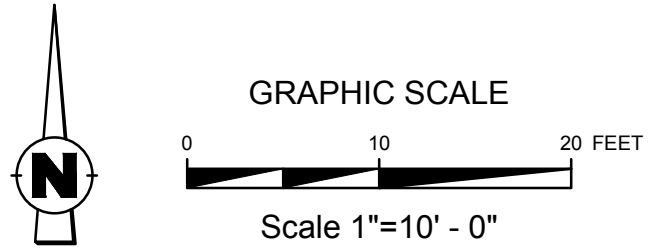
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IRRIGATION LEGEND			
SYMBOL	DESCRIPTION	MANUFACTURER	MODEL NO.
10a	SPRAYS WITH PRO ADJ. NOZZLES	HUNTER	PROS-04-PR330
R20	NOT SHOWN		
28"	NOT SHOWN		
10a	TREE ROOT BUBBLER SYSTEM	HUNTER	RZWS-18-25
10a	REMOTE CONTROL VALVE	HUNTER	ICV
10a	3/4" DOUBLE CHECK ASSEMBLY	FEBCO	850 SERIES
10a	1" TREE CONTROL ZONE KIT	HUNTER	
10a	HDL DRIPLINE	HUNTER	HDL-06-12-CV
10a	LINE FLUSHING VALVE	HUNTER	AFV-8
10a	PRESSURE OPERATOR INDICATOR	HUNTER	ECO-ID
10a	DRIIP CONTROL VALVE	HUNTER	ICZ-101-LF-40

IRRIGATION LEGEND	
SYMBOL	DESCRIPTION
10a	3/4" IRRIGATION METER
10a	HUNTER - PRO-C-8 STATION - WITH RAIN AND FREEZE SENSORS
10a	ISOLATION VALVE
10a	LATERAL PIPING REFER TO PLAN CLASS 200 PVC
10a	MAINLINE PIPING REFER TO PLAN SCH. 40 PVC, SIZED AS SHOWN (INSTALL THRUST BLOCKS AND AIR/VACUUM RELIEF VALVES AS NECESSARY TO PROTECT MAINLINE SYSTEM)
10a	IRRIGATION SLEEVE, SCH. 40 PVC, MIN. TWICE SIZE OF PIPE TO BE INSERTED, ONE SLEEVE PER PIPE
10a	CONTROL WIRING SLEEVE, 2" SCH. 40 PVC
10a	VALVE STATION # (WHERE D = DRIIP TUBING, S = SPRAY, R = ROTOR, T = TREE DRIIP)
10a	VALVE SIZE
10a	GPM

SUGGESTED LATERAL PIPE SIZE, CLASS 200 PVC	
FLOW RANGE GPM	PIPE SIZE
0 - 8 GPM	3/4"
8 - 12 GPM	1"
12 - 22 GPM	1-1/4"
22 - 28 GPM	1-1/2"
28 + GPM	2"



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PRE-SUBMITTAL CASE # 230302-2

CAD FILE: 230302-IRRIGATION.SHEETS

SECTION 32 8423 - UNDERGROUND IRRIGATION SLEEVES AND UTILITY CONDUITS

PART 1 - GENERAL

- 1.1 DESCRIPTION
- A. PROVIDE UNDERGROUND IRRIGATION SLEEVES AS INDICATED ON THE DRAWINGS.

- 1.2 RELATED WORK
- A. SECTION 32 8424 - IRRIGATION SYSTEM.

- 1.3 REFERENCE STANDARDS
- A. AMERICAN STANDARD FOR TESTING AND MATERIALS (ASTM) - LATEST EDITION.

PART 2 - MATERIALS

2.1 GENERAL

- A. POLYVINYL CHLORIDE PIPE (PVC) - SCHEDULE 40 SHALL BE USED FOR ALL SLEEVING PURPOSES.
- B. PVC PIPES SHALL BE MARKED WITH SDR NUMBER, ASTM STANDARD NUMBER, AND THE NSF SEAL.
- C. SOLVENT SHALL BE USED AS RECOMMENDED BY MANUFACTURER TO MAKE SOLVENT WELDED JOINTS. PIPE AND FITTINGS SHOULD BE CLEANED BEFORE APPLYING SOLVENT.

PART 3 - EXECUTION

- 3.1 INSTALLATION
- A. A MINIMUM OF TWENTY FOUR (24) INCHES COVER SHALL BE PROVIDED OVER THE TOP OF SLEEVE FROM FINISH GRADE.
- B. SLEEVES SHALL BE EXTENDED ONE (1) FOOT PAST THE EDGE OF PAVEMENT OF WALLS. INSTALL A NINETY DEGREE ELBOW ON EACH SLEEVE AND ADD ADDITIONAL LENGTH TO EXTEND ABOVE FINISH GRADE BY TWELVE (12) INCHES. CAP PIPE ENDS.

3.2 BACKFILL

- A. BACKFILL SHALL BE PLACED OVER SLEEVES IN SIX (6) INCH LIFTS. SOIL SHALL BE TAMPED INTO PLACE, TAKING CARE TO NOT DAMAGE SLEEVE.
- B. REPAIR ANY DAMAGE FROM IMPROPER COMPACTION.

END OF SECTION

SECTION 32 8424 - IRRIGATION SYSTEM

PART 1 - GENERAL

- 1.1 DESCRIPTION
- A. PROVIDE A COMPLETE IRRIGATION SYSTEM INSTALLATION AS DETAILED AND SPECIFIED. THIS SHALL INCLUDE FURNISHING ALL LABOR, MATERIAL, EQUIPMENT AND SERVICES NECESSARY TO PROVIDE COMPLETE INSTALLATION. WORK INCLUDES:
- a. TRENCHING
- b. BACKFILL
- c. AUTOMATIC CONTROLLED SYSTEM
- d. AS BUILT DRAWINGS
- B. SLEEVING AS SHOWN SHALL BE FURNISHED BY THE GENERAL CONTRACTOR.
- C. METER AND POWER SHALL BE PROVIDED BY THE GENERAL CONTRACTOR.

- 1.2 RELATED WORK
- C. REFERENCE IRRIGATION PLANS FOR CONTROLLER, HEAD AND ALL VALVE LOCATIONS.
- D. REFERENCE LANDSCAPE PLANS, NOTES, DETAILS FOR ADDITIONAL REQUIREMENTS.

- E. SECTION 32 9300 - LANDSCAPE
- F. SECTION 32 8423 - UNDERGROUND IRRIGATION SLEEVE AND UTILITY CONDUITS

- 1.3 REFERENCE STANDARDS
- A. AMERICAN STANDARD FOR TESTING AND MATERIALS (ASTM) - LATEST EDITION.

- 1.4 QUALITY ASSURANCE AND REQUIREMENTS
- A. PERMITS AND FEES: THE CONTRACTOR SHALL OBTAIN AND PAY FOR ANY PERMITS NECESSARY AND ALL OBSERVATIONS AS REQUIRED.

- B. MANUFACTURER'S DIRECTIONS: MANUFACTURER'S DIRECTIONS AND DETAILED DRAWINGS SHALL BE FOLLOWED IN ALL CASES WHERE THE MANUFACTURERS OF ARTICLES USED IN THIS CONTRACT FURNISH DIRECTIONS COVERING POINTS NOT SHOWN IN THE DRAWINGS AND SPECIFICATIONS.

- C. ORDINANCES, CODES, AND REGULATIONS: ALL LOCAL, MUNICIPAL AND STATE LAWS, AND RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS, AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR. ANYTHING CONTAINED IN THESE SPECIFICATIONS SHALL NOT BE CONSTRUED TO CONFLICT WITH ANY OF THE ABOVE RULES AND REGULATIONS AND

REQUIREMENTS OF THE SAME.

- D. HOWEVER, WHEN THESE SPECIFICATIONS AND DRAWINGS CALL FOR OR DESCRIBE MATERIALS, WORKMANSHIP, OR CONSTRUCTION OF A BETTER QUALITY, HIGHER STANDARD OR LARGER SIZE THAN IS REQUIRED BY THE ABOVE RULES AND REGULATIONS, THESE SPECIFICATIONS AND DRAWINGS SHALL TAKE PRECEDENCE.

1.5 SCHEDULE OF MATERIALS

A. MATERIALS LIST:

- a. ALL EQUIPMENT MANUFACTURERS AND MODEL NUMBERS SHALL BE AS NOTED ON THE PLANS.
- b. THE CONTRACTOR SHALL FURNISH THE ARTICLES, EQUIPMENT, MATERIALS, OR PROCESSES SPECIFIED BY NAME IN THE DRAWINGS AND SPECIFICATIONS. NO SUBSTITUTION WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
- c. A COMPLETE MATERIAL LIST OF EQUIPMENT SHALL BE SUBMITTED BEFORE PERFORMING ANY WORK. SUBMITTAL SHOULD INCLUDE ALL MANUFACTURER'S SPECIFICATIONS AND LITERATURE FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- d. EQUIPMENT OR MATERIALS INSTALLED OR FURNISHED WITHOUT PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT MAY BE REJECTED.
- e. APPROVAL OF ANY ITEM, ALTERNATE OR SUBSTITUTE INDICATES ONLY THAT THE PRODUCT OR PRODUCTS APPARENTLY MEET THE REQUIREMENTS OF THE DRAWINGS AND SPECIFICATIONS ON THE BASIS OF THE INFORMATION OR SAMPLES SUBMITTED.
- f. MANUFACTURER'S WARRANTIES SHALL NOT RELIEVE THE CONTRACTOR OF HIS LIABILITY UNDER THE GUARANTEE. SUCH WARRANTIES SHALL ONLY SUPPLEMENT THE GUARANTEE.

1.6 RECORD AND AS BUILT DRAWINGS/SUBMITTALS

- A. CONTRACTOR SHALL PROVIDE AND KEEP UP TO DATE AND COMPLETE "AS-BUILT" RECORD SET OF PRINTS.
- B. CONTRACTOR SHOULD USE ALL SYMBOLS AND NOTATIONS CONSISTENT WITH THE ORIGINAL DRAWINGS.
- C. IN "AS-BUILT" DRAWINGS, CONTRACTOR SHALL LOCATE:
- a. CONNECTION TO EXISTING WATER LINES
- b. CONNECTION TO ELECTRICAL POWER
- c. GATE VALVES
- d. ROUTING OF SPRINKLER PRESSURE LINES
- e. SPRINKLER CONTROL VALVES
- f. QUICK COUPLING VALVES
- g. OTHER RELATED EQUIPMENT
- D. SUBMIT COMPLETED TRACINGS PRIOR TO FINAL ACCEPTANCE. DATE AND SIGN ALL DRAWINGS.
- E. EQUIPMENT TO BE FURNISHED:
- a. SUPPLY AS PART OF THIS CONTRACT THE FOLLOWING TOOLS:
- i. QUICK COUPLING KEYS, THREE (3) WITH BOILER DRAINS ATTACHED USING BRASS REDUCER.
- ii. THREE (3) KEYS FOR EACH AUTOMATIC CONTROLLER
- b. THE ABOVE MENTIONED EQUIPMENT SHALL BE TURNED OVER TO THE OWNER AT THE CONCLUSION OF THE PROJECT.

- F. THE IRRIGATION CONTRACTOR SHOULD DEMONSTRATE THAT THE FINAL INSTALLED SYSTEM WILL OPERATE ACCORDING TO THE INTENT OF THE DESIGNED AND SPECIFIED SYSTEM. IRRIGATION CONTRACTOR SHALL GUARANTEE 100% COVERAGE TO ALL AREAS TO BE IRRIGATION.

1.7 MAINTENANCE AND GUARANTEE

- A. MAINTENANCE AND WORKMANSHIP SHALL BE GUARANTEED FULLY FOR ONE (1) YEAR AFTER FINAL ACCEPTANCE.
- B. PROVIDE MAINTENANCE OF SYSTEM, CLEANING AND ADJUSTMENT OF THE HEADS, FOR ONE (1) YEAR AFTER COMPLETION OF INSTALLATION.
- C. GUARANTEE IS LIMITED TO REPAIR AND REPLACEMENT OF DEFECTIVE MATERIALS AND WORKMANSHIP, INCLUDING THE REPAIR OF BACKFILL SETTLEMENT.

1.8 TESTING

- A. PERFORM TESTING REQUIRED WITH OTHER TRADES INCLUDING EARTHWORK, PAVING, PLUMBING, ETC. TO AVOID CUTTING, PATCHING OR BORING.
- B. WATER PRESSURE SHOULD BE FOUND PRIOR TO STARTING CONSTRUCTION. DETERMINE/CONFIRM THAT STATIC WATER PRESSURE IS MORE THAN THE WATER PRESSURE NEEDED FOR THE SYSTEM TO FUNCTION PROPERLY. IF STATIC PRESSURE IS LESS THAN THE DESIGN PRESSURE NEEDED, DO NOT START WORK UNTIL THE LANDSCAPE ARCHITECT IS NOTIFIED.

1.9 COORDINATION

- A. COORDINATE INSTALLATION OF ALL PRODUCTS, INCLUDING EARTHWORK, PAVING AND PLUMBING.

- B. COORDINATE TO ENSURE THAT ELECTRICAL POWER SOURCE IS IN PLACE.
- C. COORDINATE INSTALLATION WITH WORK SPECIFIED IN OTHER SECTIONS.

- D. COORDINATE WITH THE LANDSCAPE CONTRACTOR TO ENSURE PLANT MATERIAL IS UNIFORMLY WATERED IN ACCORDANCE WITH INTENT SHOWN ON DRAWINGS.

PART 2 - PRODUCTS

2.1 MATERIALS

- A. REFER TO CONSTRUCTION DRAWINGS AND NOTES.
- C. SPRINKLER HEADS IN LAWN AREAS AS SPECIFIED ON PLAN
- D. PVC PIPE: CLASS 200 SPR 21
- E. COPPER TUBING (FOR CITY CONNECTIONS); TYPE "M"
- F. 24V WIRE - SIZE 14, TYPE UF
- G. ELECTRIC VALVES TO BE ALL PLASTIC CONSTRUCTION AS INDICATED ON PLANS.
- H. REFER TO DRAWING FOR BACKFLOW PREVENTION LOCATION - COORDINATE EXACT LOCATION WITH THE GENERAL CONTRACTOR.

PART 3 - EXECUTION

3.1 INSPECTION:

- A. SITE CONDITIONS:
- a. ALL SCALED DIMENSIONS ARE APPROXIMATE. THE CONTRACTOR SHALL CHECK AND VERIFY ALL SIZE DIMENSIONS.
- b. EXERCISE EXTREME CARE IN EXCAVATING AND WORKING NEAR UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO UTILITIES WHICH ARE CAUSED BY ANY OF HIS OPERATIONS OR NEGLIGENCE.
- c. COORDINATE INSTALLATION OF IRRIGATION MATERIALS, INCLUDING PIPE, SO THERE SHALL BE NO INTERFERENCE WITH UTILITIES OR OTHER CONSTRUCTION DIFFICULTY IN PLANTING TREES, SHRUBS, AND GROUNDCOVERS. COORDINATE WORK WITH OTHER SITE CONTRACTORS.

3.2 PREPARATION

- A. PHYSICAL LAYOUT:
- a. PIPING AND HEAD LAYOUT AS SHOWN ON PLANS IS SCHEMATIC ONLY. ALL PIPES TO BE INSTALLED DIRECTLY BEHIND CURBS, WALKS AND WALLS WHEREVER POSSIBLE.
- b. PRIOR TO INSTALLATION CONTRACTOR SHALL STAKE OUT ALL PRESSURE SUPPLY LINES, ROUTING AND LOCATION OF SPRINKLER HEADS.
- c. ALL LAYOUTS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- B. WATER SUPPLY:
- a. IRRIGATION SYSTEM SHALL BE CONNECTED TO WATER SUPPLY POINTS OF CONNECTION AS INDICATED ON THE DRAWINGS.
- b. CONNECTIONS SHOULD BE MADE AT APPROXIMATE LOCATIONS AS SHOWN ON DRAWINGS. CONTRACTOR SHALL VERIFY IN FIELD AND BE RESPONSIBLE FOR MINOR CHANGES CAUSED BY ACTUAL SITE CONDITIONS.

3.3 INSTALLATION

- A. TRENCHING
- a. DIG TRENCHES STRAIGHT 6" WIDE WITH NEAR VERTICAL SIDE AND SUPPORT PIPE CONTINUOUSLY ON BOTTOM OF TRENCH. REMOVE LUMBER, RUBBISH, LARGE ROCKS ETC. FROM TRENCHES. LAY PIPE TO AN EVEN GRADE - WITH A FIRM, UNIFORM BEARING FOR ENTIRE LENGTH OF PIPE.
- b. REMOVE FOREIGN MATTER OR DIRT FROM INSIDE OF PIPE BEFORE WELDING AND KEEP PIPING CLEAN BY ANY MEANS POSSIBLE DURING AND AFTER LAYING OF PIPE.
- c. PROVIDE A MINIMUM OF EIGHTEEN (18) INCHES OF COVER FOR ALL PRESSURE SUPPLY LINES.
- d. PROVIDE A MINIMUM OF TWELVE (12) INCHES OF COVER FOR ALL NON-PRESSURE LINES.
- e. PROVIDE A MINIMUM COVER OF EIGHTEEN (18) INCHES FOR ALL CONTROL WIRING.
- f. NO MACHINE TRENCHING, UNLESS APPROVED BY THE LANDSCAPE ARCHITECT, SHALL BE DONE WITHIN DRIP LINE OF EXISTING TREES. TRENCHING SHOULD BE DONE BY HAND, TUNNELING OR BORING OR OTHER METHODS APPROVED BY THE LANDSCAPE ARCHITECT. IT SHOULD BE UNDERSTOOD THAT PIPING LAYOUT IS DIAGRAMMATIC AND PIPING SHALL BE ROUTED AROUND TREES AND SHRUBS IN SUCH A MANNER TO AVOID DAMAGE TO PLANTS.
- B. BACKFILL
- a. TRENCHES SHALL NOT BE BACKFILLED UNTIL ALL REQUIRED TESTS ARE PERFORMED. TRENCHES SHALL BE CAREFULLY BACKFILLED WITH THE EXCAVATED MATERIALS APPROVED FOR BACKFILLING, CONSISTING OF EARTY, LOAM, SANDY CLAY, SAND OR OTHER APPROVED MATERIALS, FREE FROM LARGE CLDS, STONES OR STICKS.
- b. IF SETTLEMENT OCCURS AND SUBSEQUENT ADJUSTMENTS IN PIPE, VALVES, SPRINKLER HEADS,

LAWN OR PLANTING OR OTHER CONSTRUCTION ARE NECESSARY, THE CONTRACTOR SHALL MAKE ALL REQUIRED ADJUSTMENTS WITHOUT THE COST TO THE OWNER.

C. TRENCHING AND BACKFILL UNDER PAVING:

- a. ALL IRRIGATION MAIN LINE AND LATERAL LINES OR WIRING LOCATED UNDER AREAS WHERE PAVING, ASPHALTIC PAVING, OR CONCRETE SHALL BE INSTALLED IN SCHEDULE 40 PVC SLEEVES OF ADEQUATE SIZE. SEE SECTION 32 8423.

D. ASSEMBLIES

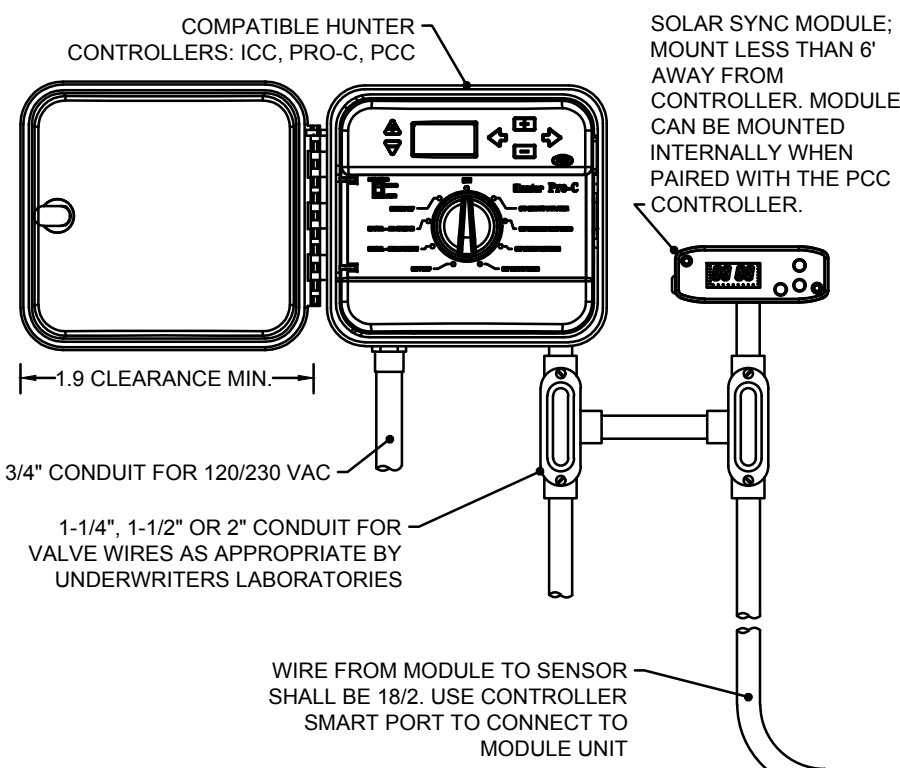
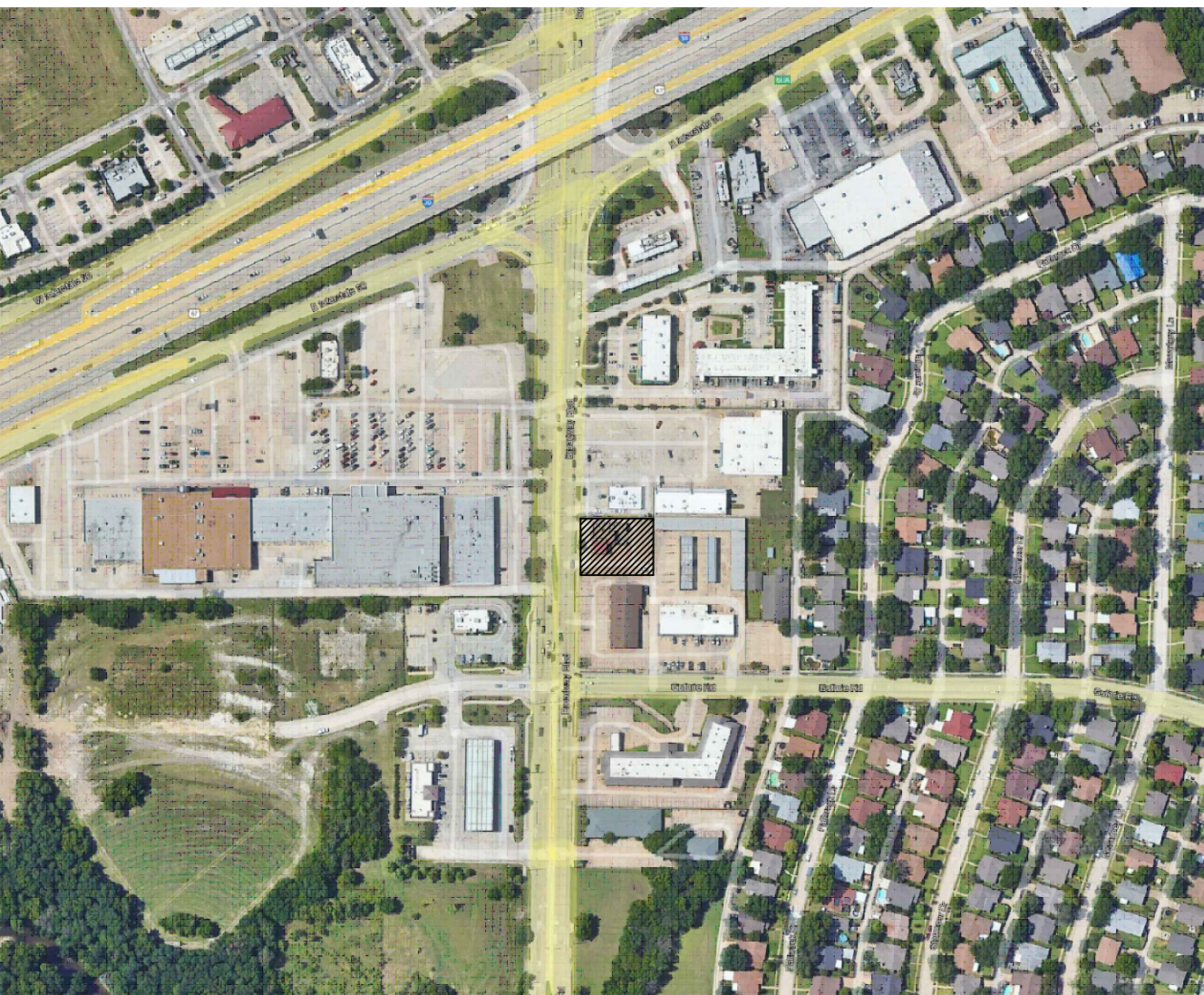
- a. INSTALL ALL ASSEMBLIES SPECIFIED HEREIN IN ACCORDANCE WITH RESPECTIVE DETAILS. IN ABSENCE OF DETAIL DRAWINGS OR SPECIFICATIONS, PERFORM SUCH WORK IN ACCORDANCE WITH BEST STANDARD PRACTICES OR MANUFACTURER'S RECOMMENDATIONS AS APPROVED BY THE LANDSCAPE ARCHITECT.
- b. MAKE SOLVENT WELDED JOINTS USING ONLY THE SOLVENT RECOMMENDED BY THE MANUFACTURER. PIPES AND FITTINGS SHOULD BE CLEANED OF ALL DIRT AND DUST AND MOISTENED BEFORE APPLYING SOLVENT.
- c. ON PVC TO METAL CONNECTIONS, THE CONTRACTOR SHALL WORK METAL CONNECTIONS FIRST. USE NON HARDENING PIPE DOPE OR TEFLON TAPE ON THREADED PVC ADAPTERS INTO WHICH PIPE MAY BE WELDED. LIGHT WRENCH PRESSURE IS ALL THAT IS REQUIRED, USE THREADED PVC ADAPTERS INTO WHICH THE PIPE MAY BE WELDED.
- E. LINE CLEARANCE: ALL LINES SHALL HAVE A MINIMUM CLEARANCE OF SIX (6) INCHES FROM EACH OTHER AND FROM OTHER TRADES. PARALLEL LINES SHALL NOT BE DIRECTLY INSTALLED ONE OVER THE OTHER.
- F. WIRING: SUPPLY WIRE FROM THE AUTOMATIC CONTROLLER TO ALL THE VALVES. A SEPARATE WIRE IS REQUIRED TO EACH ELECTRIC VALVE. A COMMON NEUTRAL WIRE IS ALSO REQUIRED FROM EACH CONTROL TO EACH OF THE VALVES. BUNDLE MULTIPLE WIRES AND TAPE THEM TOGETHER AT TEN FOOT INTERVALS. EXPANSION COILS OF TEN INCHES SHALL BE INSTALLED APPROXIMATELY EVERY 100 FEET. MAKE ALL SPLICES WATERPROOF.
- G. AUTOMATIC CONTROLLER: INSTALL AS PER MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS. REMOVE CONTROL VALVES SHALL BE CONNECTED TO CONTROLLER IN NUMERICAL SEQUENCE AS SHOWN ON THE DRAWINGS. EACH REMOVE CONTROL VALVE SHALL BE WIRED TO ONE STATION OF THE CONTROLLER.
- H. REMOTE CONTROL VALVES:

- a. INSTALL WHERE SHOWN ON DRAWINGS AND DETAILS. VALVES SHALL BE SIZED ACCORDING TO THE DRAWINGS.
- b. INSTALL IN A LEVEL POSITION IN ACCORDANCE TO MANUFACTURER'S SPECIFICATIONS.
- c. WHEN GROUPED TOGETHER, ALLOW AT LEAST TWELVE (12) INCHES BETWEEN VALVES. INSTALL EACH REMOTE CONTROL VALVE IN A SEPARATE VALVE BOX. EACH VALVE NUMBER AND ITS CONTROLLER LETTER SHALL BE STENCILED INSIDE VALVE BOX TOP WITH EXTERIOR PAINT.
- I. FLUSHING OF SYSTEM:
- a. AFTER ALL NEW SPRINKLER PIPE LINES AND RISERS ARE IN PLACE AND CONNECTED, ALL NECESSARY WORK HAS BEEN COMPLETED, AND PRIOR TO INSTALLATION OF SPRINKLER HEADS, THE CONTROL VALVES SHALL BE OPENED AND A FULL HEAD OF WATER USED TO FLUSH OUT THE SYSTEM.
- b. SPRINKLER HEADS SHALL BE INSTALLED ONLY AFTER FLUSHING OF THE SYSTEM HAS BEEN ACCOMPLISHED.
- J. SPRINKLER HEADS:
- a. INSTALL HEADS AS DESIGNED ON THE DRAWINGS. MAKE APPROPRIATE ADJUSTMENTS TO HEAD LAYOUT TO ACCOMMODATE FOR ACTUAL FIELD CONDITIONS.
- b. SPACING OF HEADS SHALL NOT EXCEED THE MAXIMUM INDICATED ON THE DRAWINGS. IN NO CASE SHALL THE SPACING EXCEED THE MAXIMUM RECOMMENDED BY THE MANUFACTURER.
- c. ALL SPRINKLERS TO ATTACH TO LATERAL LINES WITH FLEXIBLE CONNECTORS. REFERENCE DETAILS ON DRAWINGS.

3.4 TESTING

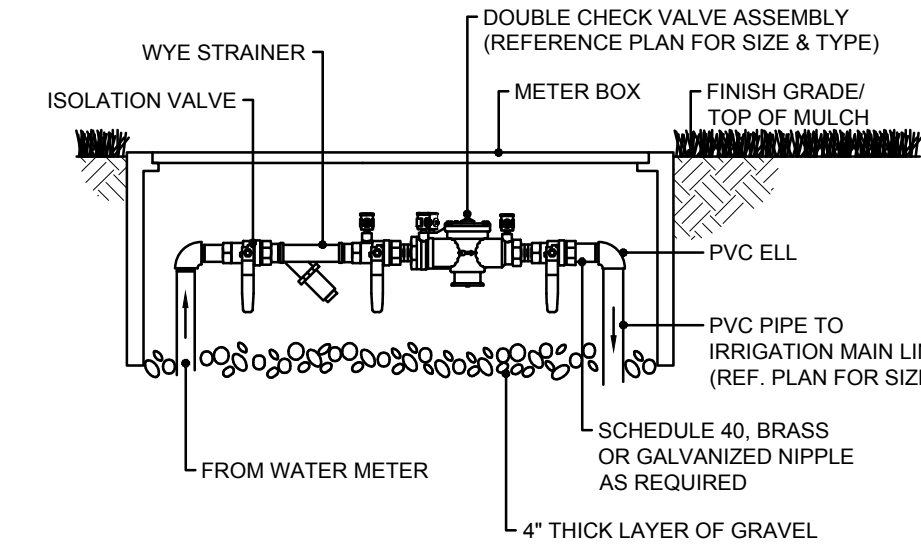
- A. THE CONTRACTOR SHALL TEST SPRINKLER MAIN FOR TWELVE TO FOURTEEN HOURS UNDER NORMAL PRESSURE. IF LEAKS ARE PRESENT, REPLACE JOINT OR JOINS AND REPEAT TEST.
- B. A COMPLETE TEST SHALL BE MADE PRIOR TO BACKFILLING. BACKFILLING MATERIALS MAY BE PLACED IN TRENCHES IN LIFTS TO ENSURE STABILITY OF THE LINE UNDER THE PRESSURE OF BACKFILL. IN EACH CASE, LEAVE FITTINGS AND COUPLINGS OPEN TO VISUALLY INSPECT FOR FULL PERIOD OF TEST.
- C. WHEN SYSTEM IS COMPLETE, A COVERAGE TEST SHALL BE PERFORMED IN THE PRESENCE OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. IT SHALL BE DETERMINED IF THE WATER COVERAGE FOR ALL PLANTING AREAS IS COMPLETE AND ADEQUATE. FURNISH ALL MATERIALS AND PERFORM ALL WORK REQUIRED TO CORRECT ANY INADEQUACIES OF COVERAGE.
- D. UPON COMPLETION OF EACH PHASE OF WORK, THE ENTIRE SYSTEM SHOULD BE TESTED AND ADJUSTED TO MEET SITE REQUIREMENTS.

END OF SECTION



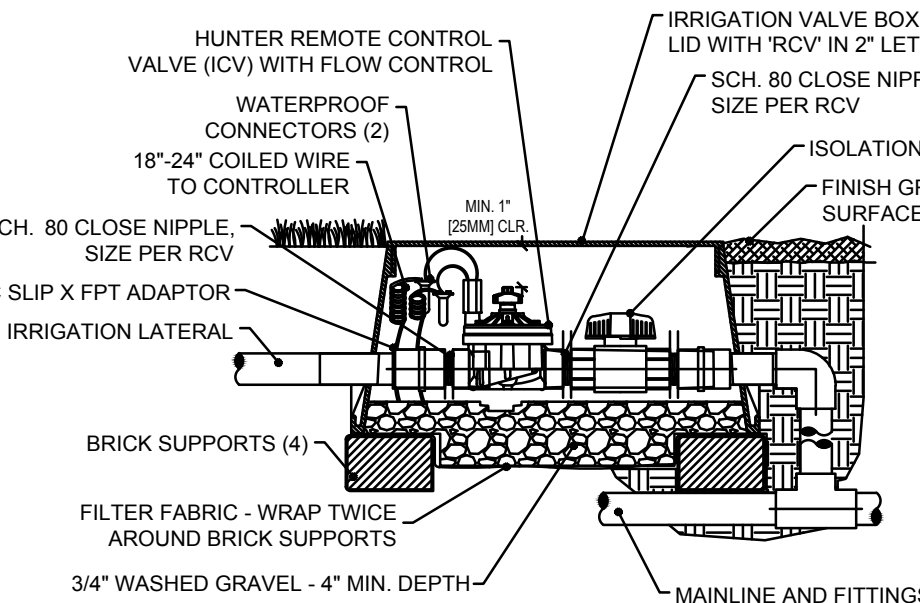
- NOTE:
1. WEATHER SENSORS ARE TO BE PROVIDED AS REQUIRED BY LOCAL CODES. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.

1 PRO-C CONTROLLER W/SOLAR SYNC SYSTEM
N.T.S.

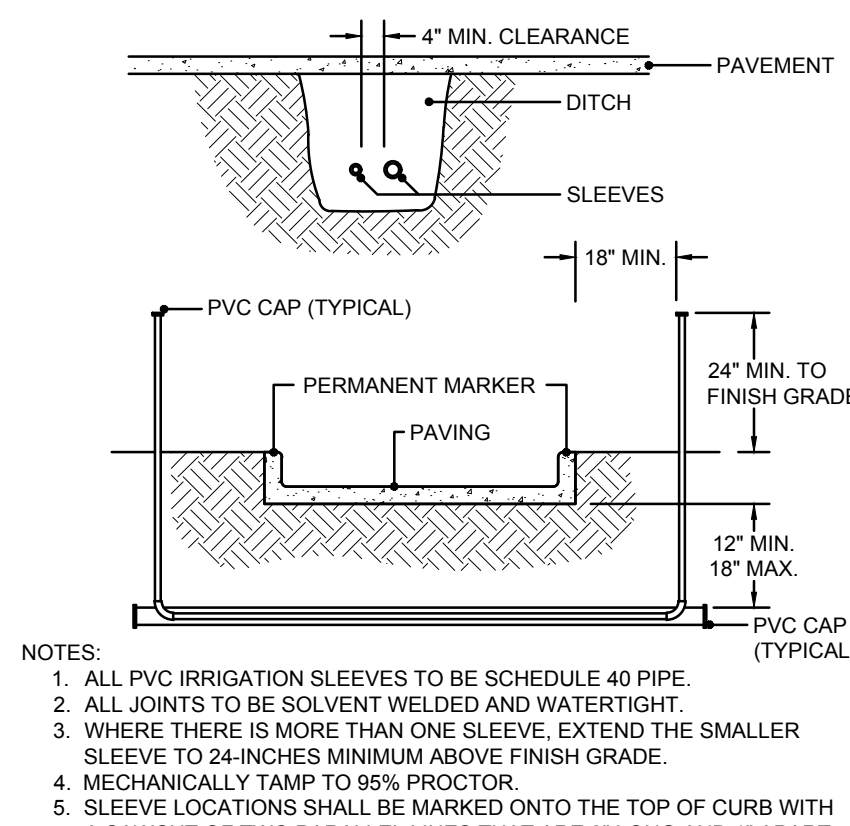


- NOTE:
1. INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION. PRIOR TO BACKFLOW PREVENTER, INSTALL A NOMINALLY SIZED ISOLATION VALVE.

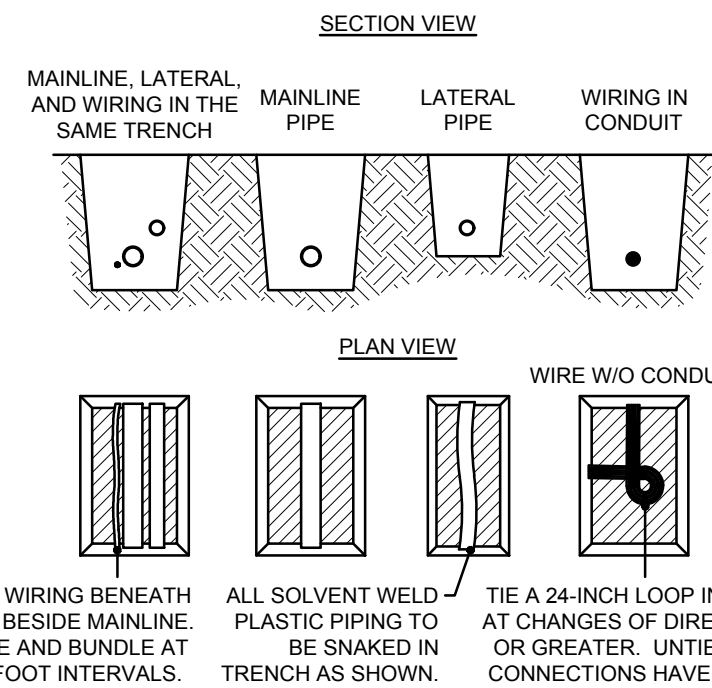
2 DOUBLE CHECK ASSEMBLY
N.T.S.



3 IN-LINE VALVE (ICV) WITH ISOLATION VALVE
N.T.S.

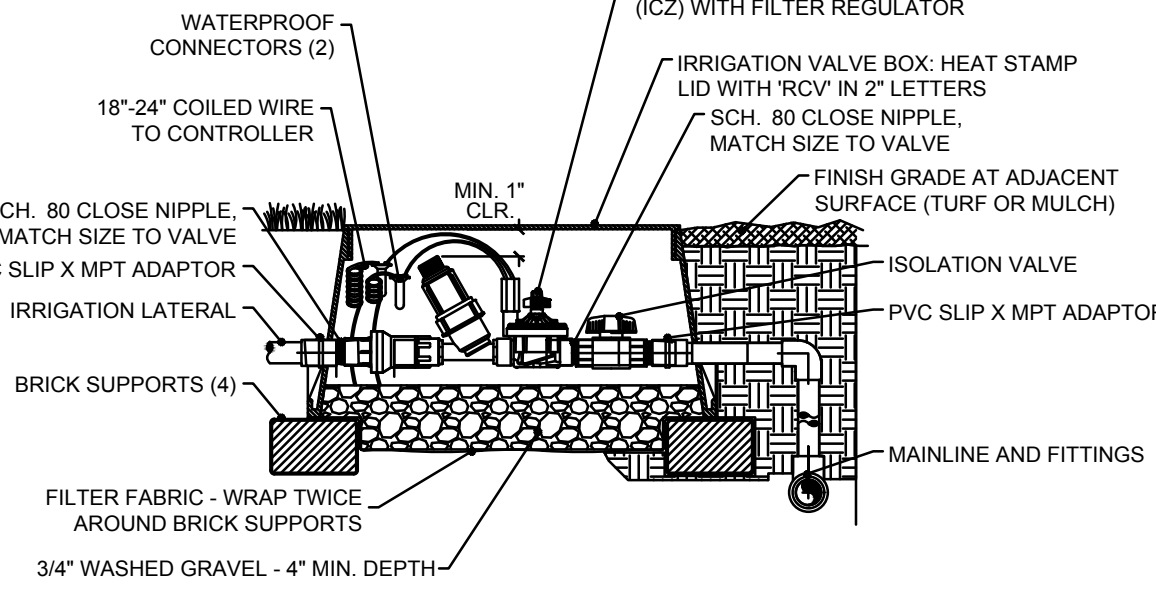


4 IRRIGATION PVC SLEEVES
N.T.S.

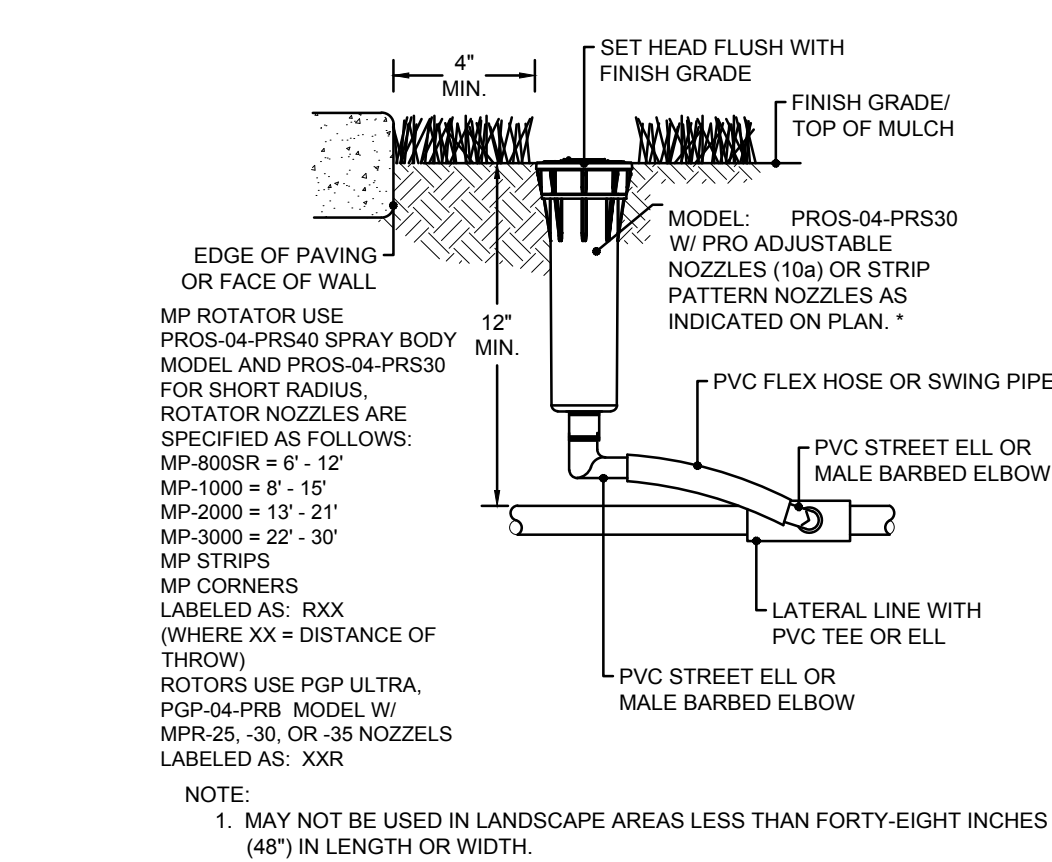


- NOTE:
1. SLEEVE BELOW ALL HARDSCAPE ELEMENTS WITH SCH 40 PVC TWICE THE DIAMETER OF THE PIPE OR WIRE BUNDLE WITHIN.
2. FOR PIPE, LATERAL AND WIRE BURIAL DEPTHS, SEE SPECIFICATIONS. MINIMUM - 12"
3. BACKFILL AND COMPACT TRENCHES TO ORIGINAL GRADE.

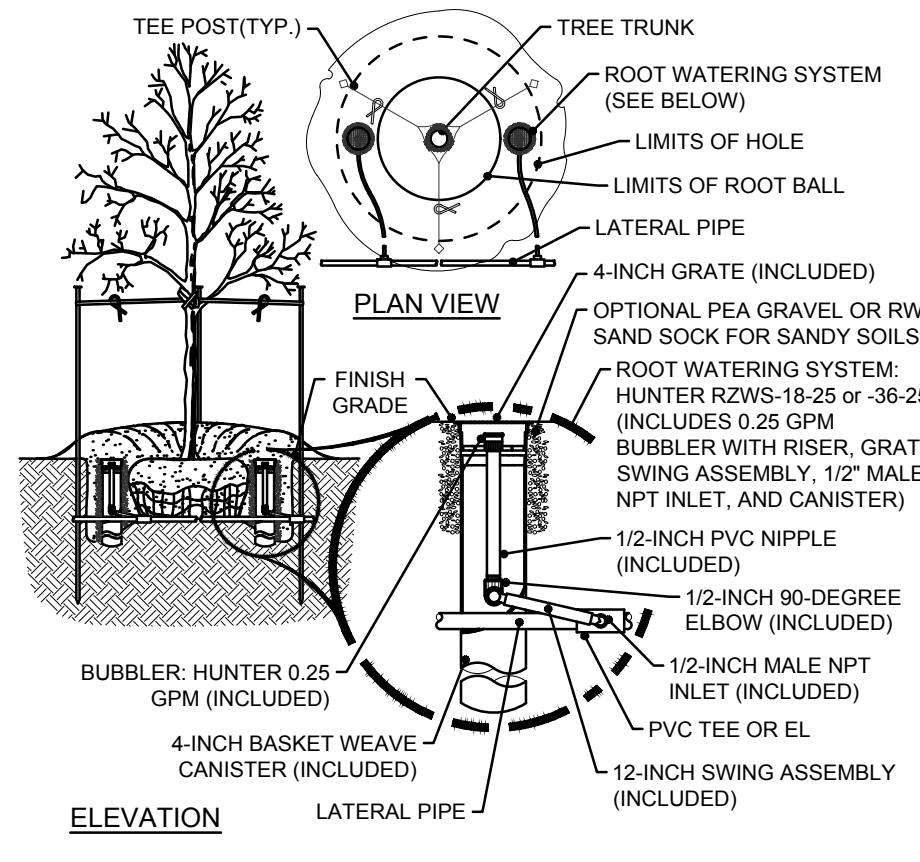
5 PIPE AND WIRING TRENCHING
N.T.S.



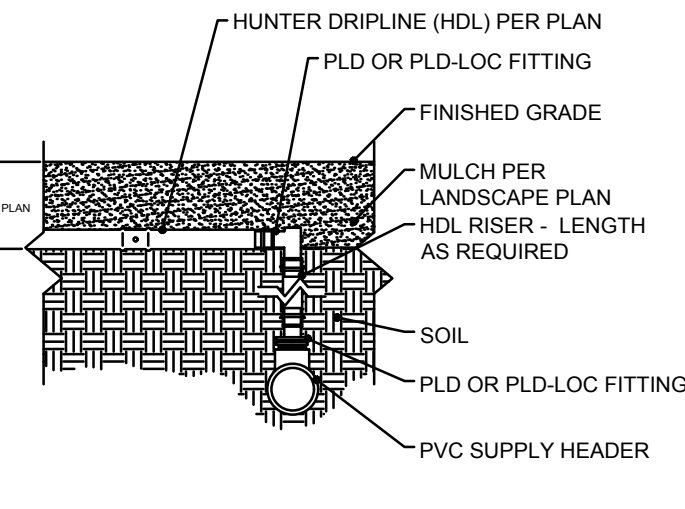
6 DRIP CONTROL ZONE KIT W/ ISOLATION VALVE
N.T.S.



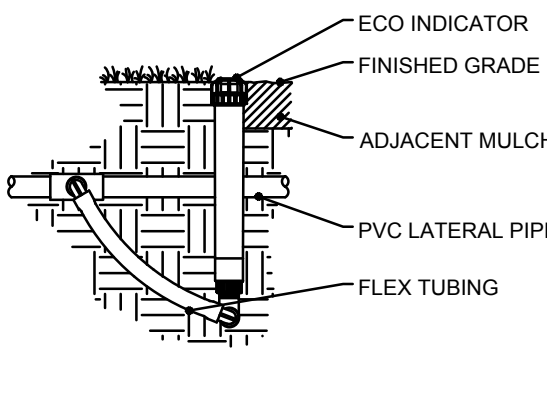
7 POP-UP SPRAY BODY OR POP-UP ROTOR
N.T.S.



8 TREE ROOT WATERING SYSTEM
N.T.S.



9 HUNTER DRIPLINE CONNECTION W/DRIPLINE AND ELBOW
N.T.S.



10 ECO INDICATOR- FLEX TUBING
N.T.S.

PRE-SUBMITTAL CASE # 230302-2



AWR Designs, LLC
P.O. Box 1746
Aledo, Texas 76008
amanda@awr-designs.com
c. 512.517.5589

811
Know what's Below.
Call before you dig.
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR THE SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY MAJOR STRUCTURES, OR OF ANY OTHER PERSONS.

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24 HOUR
EMERGENCY CONTACT

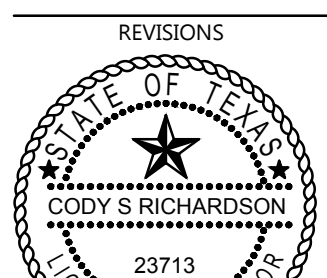
ATWELL
866.850.4200 www.atwell-group.com
9001 AIRPORT FREEWAY, SUITE 660
DALLAS, TEXAS 75248
TX COA. NO. F-12242



A-1158 ABSTRACT #131158
6318 BROADWAY BLVD
GARLAND
DALLAS COUNTY, TX

DUNKIN' DONUTS
QUALITY BRAND GROUP TEXAS, LLC
SCHEMATIC ENGINEERING
IRRIGATION SPECIFICATIONS AND DETAILS

DATE 2023-04-10



REVISIONS
DRAWN BY: K. SARIVAR
CHECKED BY: T. BOUSQUET
PROJECT MANAGER: T. BOUSQUET
JOB #: 22006736
FILE CODE: ##
SHEET NO. L202

PROJECT DIRECTORY

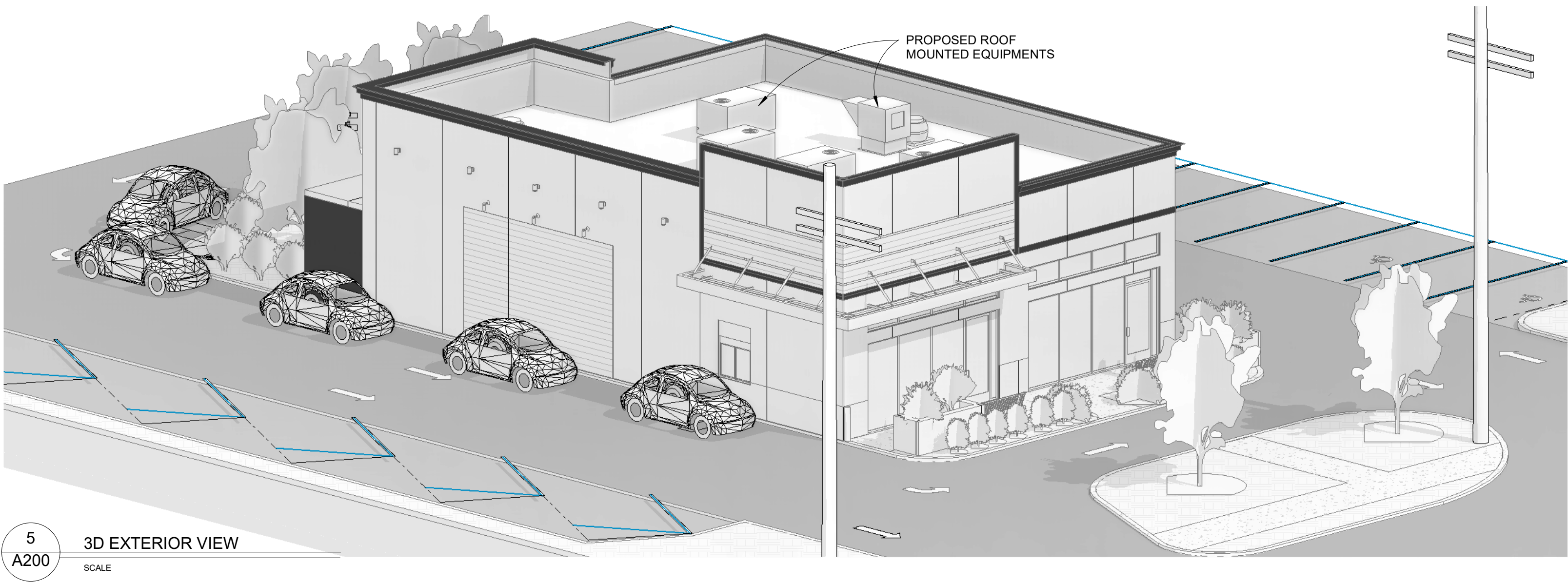
OWNER / REPRESENTATIVE:
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EMAIL: lisa.bouska@qbdunkin.com

APPLICANT / CIVIL ENGINEER
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ARCHITECT
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COMPANY: CONQUEST DESIGN AND DEVELOPMENT GROUP
ADDRESS: 14901 QUORUM DRIVE, STE. 300, DALLAS, TX 75254
PHONE: 303.882.3095
EMAIL: rmoore@conquestddg.com

PROJECT INFORMATION

CASE NUMBER: 230302-2
LOCATION: 6318 BROADWAY BLVD., GARLAND, TX 75043
ZONING DISTRICT: CR
OCCUPANCY CLASSIFICATION: B LAND USE: RESTAURANT W/ DRIVE-THRU AND RESTAURANT
DEVELOPMENT DESCRIPTION: DEMO EXISTING BUILDING & CONSTRUCT NEW BUILDING
PROJECT DEVELOPMENT SQUARE FOOTAGE: 2,070 SQ. FT. & 2 TENANT BUILDING



5
A200
3D EXTERIOR VIEW
SCALE

ARCHITECTURAL ELEMENTS

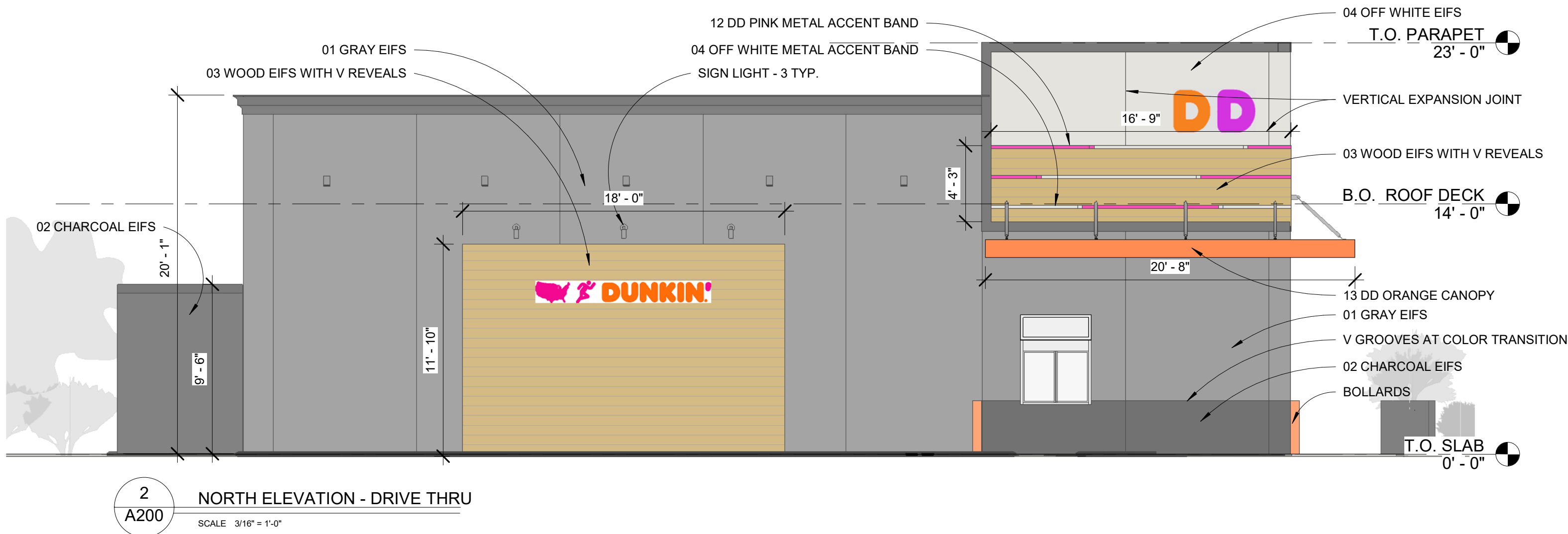
1. AWNING & CANOPIES - ORANGE AWNING
2. DISPLAY WINDOWS - STOREFRONT
3. TRANSOM WINDOWS - ABOVE STOREFRONT
4. DISTINCTIVE LIGHTING (DOWNLIGHTING ALONG SIDES & LIT TOWER)
5. VARIED ROOF HEIGHTS (VARIED PARAPET HEIGHTS)
6. (2) PLANTERS FRONT OF THE BUILDING
7. (2) BENCH

ARTICULATION TABLE

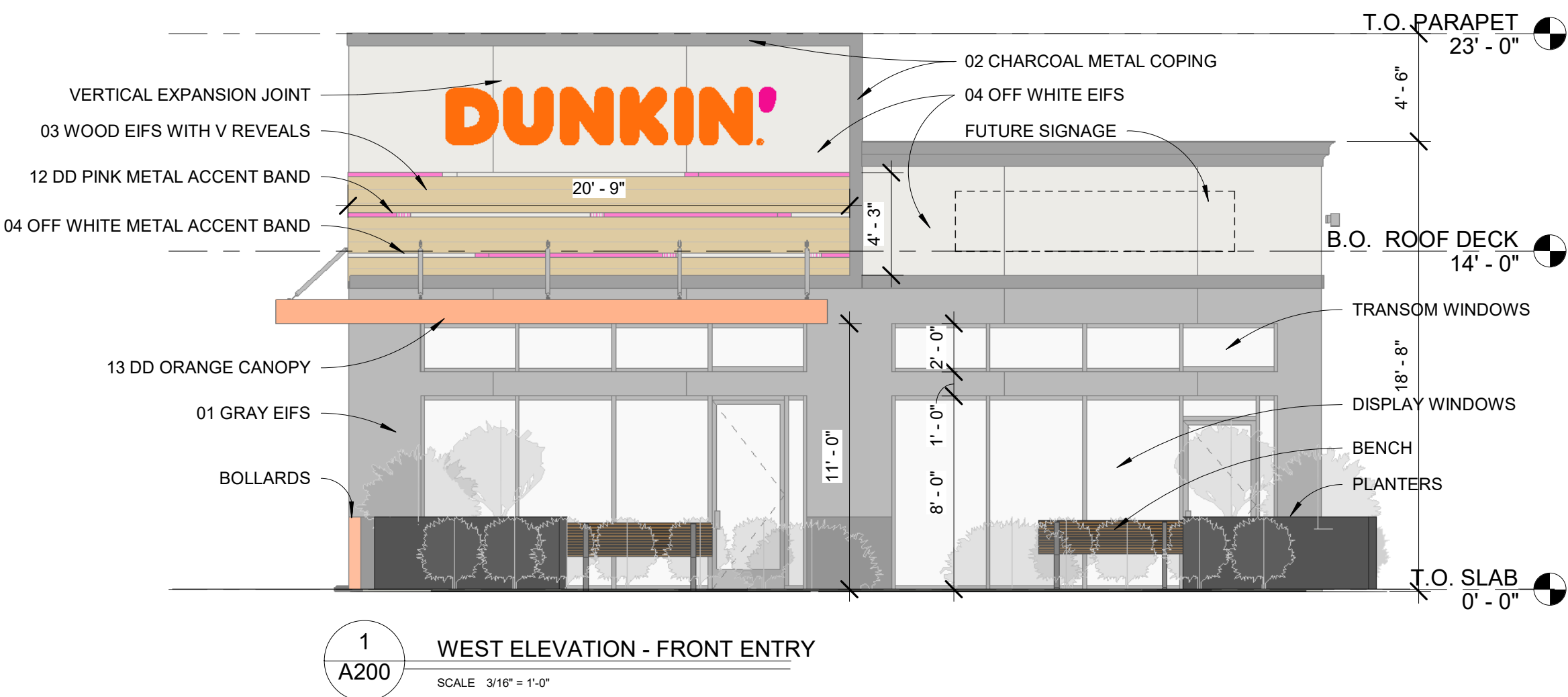
LOCATION	TOTAL AREA	EIFS	WOOD	GLAZING
WEST ELEVATION - FRONT ENTRY	837 SF	51.25%	10.51%	38.23%
NORTH ELEVATION - DRIVE-THRU	1286 SF	76.43%	22.00%	1.55%
SOUTH ELEVATION	1156 SF	100%		
EAST ELEVATION	767 SF	100%		

EXTERIOR LIGHTING SPECIFICATION

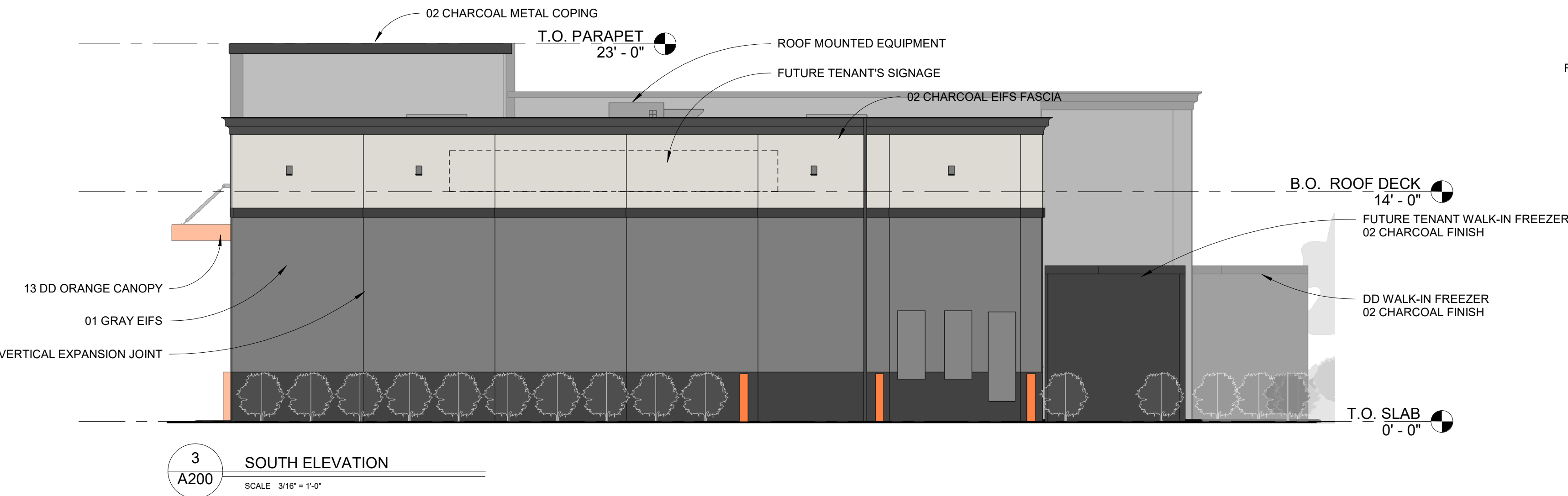
EXTERIOR SIGN LIGHT FIXTURE - HI-LITE MFG INC. - MODEL: H-PAR20-119/18-119
WALL PACK (GRAY) EXTERIOR GRAY WALL - WAC - MODEL: WP-LED227-30-AGH
EXTERIOR LIGHT FIXTURE - USED ON TOP OF CHARCOAL TRIM - DIODE - MODEL: 120V LED/35K
EXTERIOR LIGHT FIXTURE - USED UNDER ORANGE BEAM/CANOPY - ATTAINLED - MODEL: DRDH-R-4/ DRD2M-10-9-40/ DRD2T-R-4-S-W



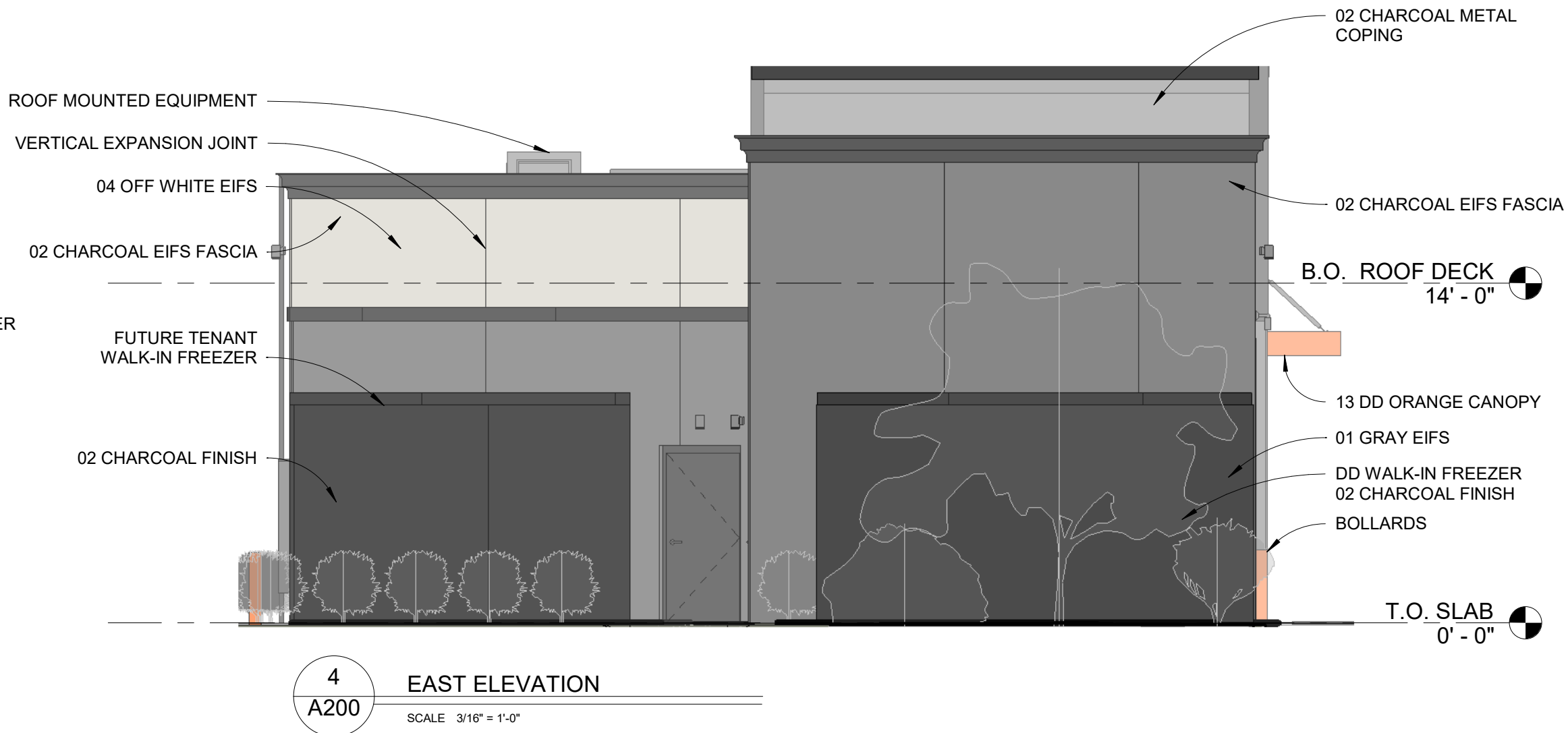
2
A200
NORTH ELEVATION - DRIVE THRU
SCALE 3/16" = 1'-0"



1
A200
WEST ELEVATION - FRONT ENTRY
SCALE 3/16" = 1'-0"



3
A200
SOUTH ELEVATION
SCALE 3/16" = 1'-0"



4
A200
EAST ELEVATION
SCALE 3/16" = 1'-0"



14901 QUORUM DRIVE
DALLAS, TX 75254

PROJECT NUMBER
10-####

DUNKIN' DONUTS
6318 BROADWAY BLVD
GARLAND, TX 75043



3 GLENLAKE PARKWAY NE
BWW DESIGN TEAM
ATLANTA, GA 30328
PHONE 678.514.4100

DRAWING ISSUE	DATE	REVISION DESCRIPTION
ISSUE FOR SPECIAL USE PERMIT	04/10/2023	
NO		

Drawing Title
EXTERIOR ELEVATIONS

A200

OWNER / REPRESENTATIVE:
NAME: LISA BOUSKA
COMPANY: QUALITY BRAND GROUP LLC
ADDRESS: 2201 W. MAIN STREET, STE. 250, STAMFORD, CT 06902
PHONE: (469) 712-9178
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ARCHITECT
NAME: RYAN MOORE
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ADDRESS: 14901 QUORUM DRIVE, STE. 300, DALLAS, TX 75254
PHONE: 303.882.3095
EMAIL: rmoore@conquestddg.com

CASE NUMBER: **230302-2**

LOCATION: **6313 BROADWAY BLVD., GARLAND, TX 75043**

ZONING DISTRICT: **CR**

OCCUPANCY CLASSIFICATION: **B** LAND USE: **RESTAURANT W/ DRIVE-THRU AND RESTAURANT**

DEVELOPMENT DESCRIPTION: **DEMO EXISTING BUILDING & CONSTRUCT NEW BUILDING**

PROJECT DEVELOPMENT SQUARE FOOTAGE: **2,070 SQ. FT. & 2 TENANT BUILDING**

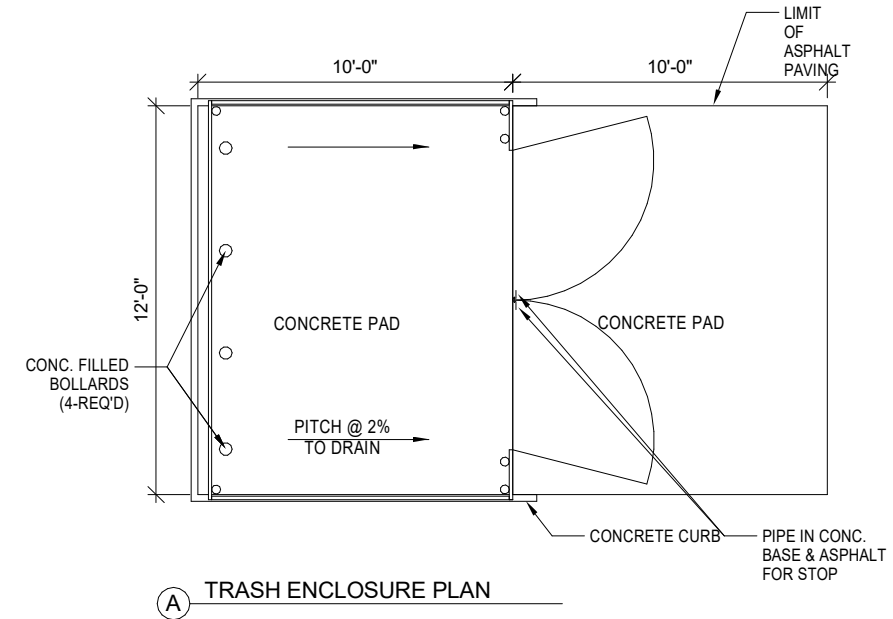
ALLOWABLE BUILDING HEIGHT (2015 IBC TABLE 504.3)

Occupancy Classification: A-2 Construction Type: V-B
Allowable Height = 40 FT
Proposed New Building Height = 23 FT (Top of Highest Parapet)

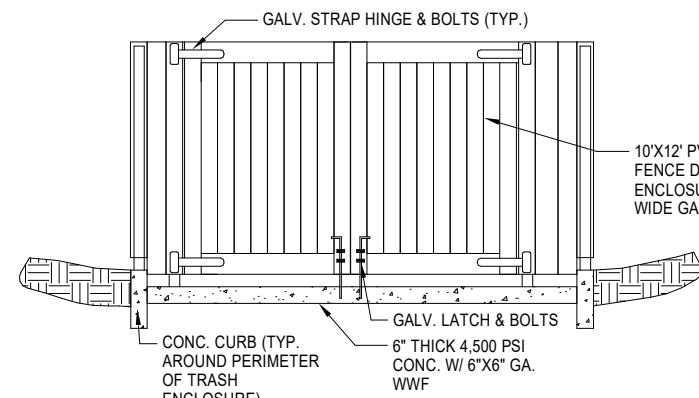
PARKING REQUIREMENTS

DUNKIN' (DRIVE-THRU ONLY) PARKING SPACES REQUIRED = 1 SPACE PER 100 S.F.
(1,170 S.F. / 100 S.F. = 12
RESTAURANT PARKING SPACES REQUIRED = 1 SPACE PER 100 S.F.
(900 S.F. / 100 S.F. = 9
TOTAL PARKING REQUIRED = 21
TOTAL PARKING PROVIDED = 17

ROOM OR SPACE	CALCULATED AREA	LOAD FACTOR	PARKING REQUIRED	PARKING PROVIDED	REMARKS
PROPOSED DRIVE-THRU RESTAURANT	1170 SF	1/100 SF	12	10	1 ADA SPACE INCLUDED
PROPOSED RESTAURANT	900 SF	1/100 SF	9	7	1 ADA SPACE INCLUDED
Grand Total: 2	2070 SF		21 TOTAL	17 TOTAL	



NOTE: PROVIDE CONCRETE PAD & FENCE AROUND DUMPSTER. FENCE TO BE CHAIN LINK W/ VINYL SLATS.
ALTERNATE FENCE TO BE CMU BLOCK OR RECLAIMED WOOD AND PLASTIC NATURAL SEALED FINISH PAINT TO ATCH SW-7086 OR SW-7069

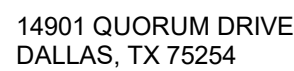
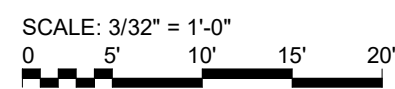
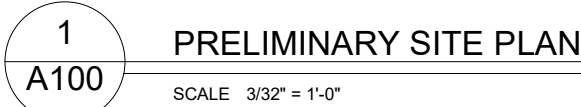


(B) TRASH ENCLOSURE ELEVATION

TRASH ENCLOSURE

SITE LIGHTING SPECIFICATION

1. POLE - SQUARE STEEL POLE FINISHED WITH WEATHERPROOF RUST PREVENTATIVE PAINT, FOUR (4) GALVANIZED ANCHOR BOLTS WITH GALVANIZED NUTS AND WASHERS, METAL TEMPLATE, HAND HOLE, AND DECORATIVE ANCHOR BOLT COVER. VERIFY DIMENSIONS CONFORM TO ALL LOCAL CODE REQUIREMENTS AND RESTRICTIONS BEFORE PLACING ORDER.
2. FIXTURE - 400-WATT HIGH-PRESSURE SODIUM OR METAL HALIDE, DARK BRONZE OR BLACK FINISH, COMPLETE MILL FINISHED ALUMINUM HOUSING WITH ACCESS TO LAMP AND BALLAST THROUGH ACCESS DOOR ASSEMBLY ON ONE SIDE, TEMPERED GLASS LENS, AND POLYESTER FABRIC COVER OF POLISHED ANODIZED ALUMINUM. COVER INCLUDES ADJUSTABLE TENSION ADAPTER AND INTEGRAL/ADJUSTABLE LIGHT CUP OF SHIELD.



PROJECT NUMBER	10-####
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DUNKIN' DONUTS



3 GLENLAKE PARKWAY NE
BWW DESIGN TEAM
ATLANTA, GA 30328
PHONE 678.514.4100

[illegible]

Drawing Title

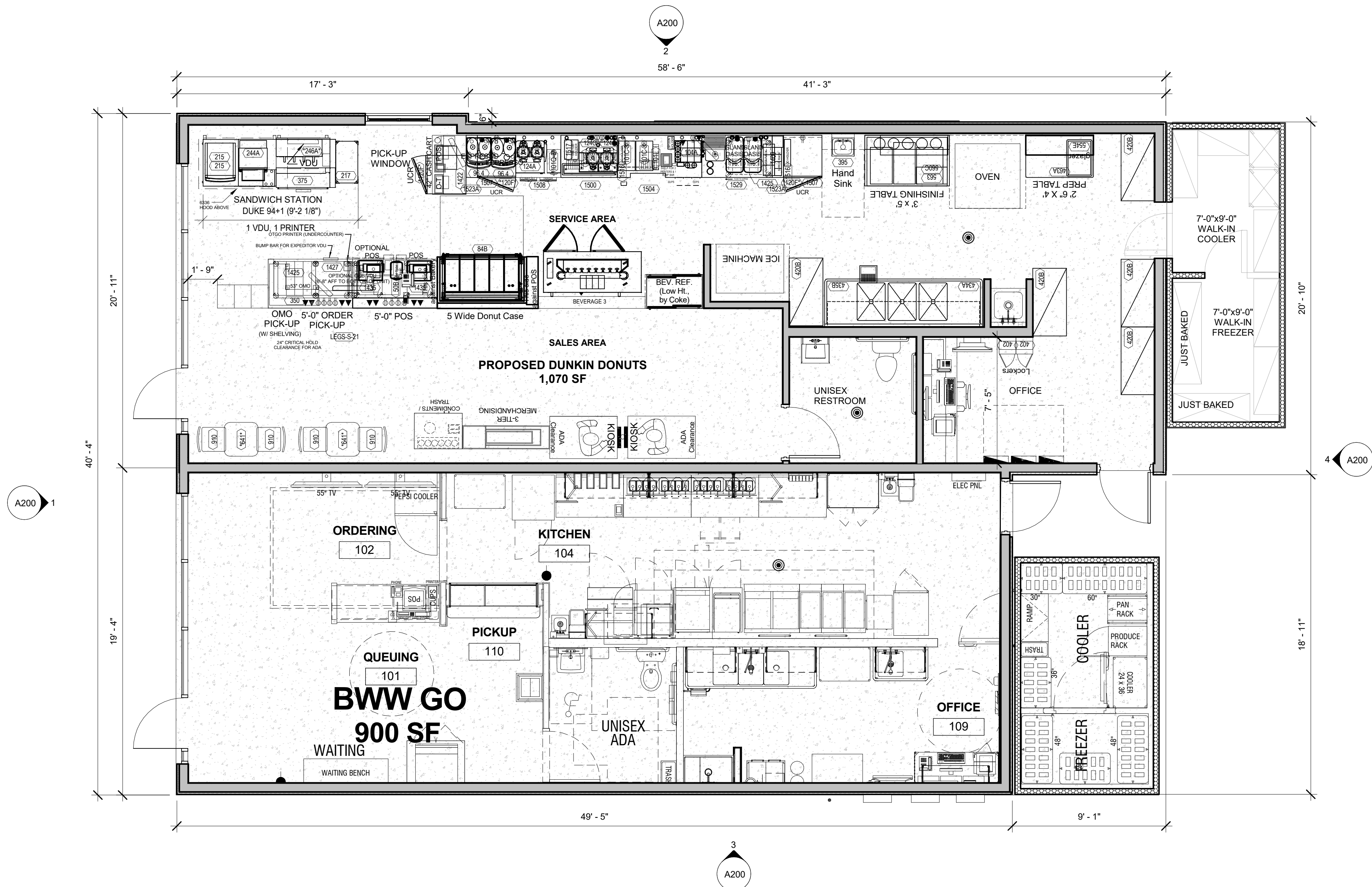
SITE PLAN

A100

GENERAL NOTES			
A.	REFER TO A102 AND A201 FOR FINISH INFORMATION.	I.	ALL DIMENSIONS AND SITE CONDITIONS ARE TO BE VERIFIED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION AND BEFORE ORDERING MATERIALS. G.C. TO VERIFY PROPOSED WORK WILL COMPLY WITH EXISTING CONDITIONS. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES THAT EFFECT THE LAYOUT AND SCOPE OF WORK.
B.	ENTRY/EGRESS DOORS TO BE FULLY ACCESSIBLE - CLEAR AREA REQUIRED AT DOOR TO BE LEVEL OR 2% SLOPE MAXIMUM DOOR PULLS MOUNTED AT 48" AFF.	J.	G.C. TO PREPARE WALLS TO RECEIVE NEW FINISHES AS INDICATED ON SHEET A102.
C.	EXIT DOOR MUST BE OPENABLE FROM EGRESS SIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT, PER BUILDING CODE.	K.	VERIFY LOCATIONS AND QUANTITIES OF FIRE EXTINGUISHERS WITH LOCAL FIRE MARSHAL. INSTALL BLOCKING AS REQUIRED FOR ANY EXTINGUISHERS PRIOR TO CLOSING UP WALLS. USE SURFACE MOUNTED AT 48" A.F.F. TO HANDLE OF EXTINGUISHER IN DINING AND KITCHEN AREAS.
D.	THE OPENING FORCE FOR INTERIOR SIDE-SWINGING DOORS WITHOUT CLOSERS SHALL NOT EXCEED A 5LB FORCE. FORCES SHALL BE APPLIED TO LATCH SIDE.	L.	ALL DIMENSIONS ARE SHOWN STUD TO STUD UNLESS NOTED OTHERWISE. "CLEAR" DIMENSION ARE TO FACE OF FINISHES. ALL EXISTING DIMENSIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION AND ORDERING MATERIALS.
E.	G.C. TO PROVIDE IN-WALL BLOCKING AS NEEDED FOR ALL EQUIPMENT SHOWN THROUGHOUT PLANS.	M.	REFER TO SHEET A102 AND ELECTRICAL SHEETS FOR REFLECTED CEILING PLAN AND LIGHTING SPECIFICATIONS.
F.	ALL INTERIOR TENANT WALLS ARE TO BE PARTITION HEIGHT WALLS WITH TOP OF FRAMING BEING 6" ABOVE HIGHEST CEILING ELEVATION. REF DETAIL 13/A302 FOR PARTITION DETAIL. G.C. TO PROVIDE SOUND BATT INSULATION AS NOTED IN INSULATION NOTES SECTION (THIS SHEET).	N.	G.C. IS RESPONSIBLE FOR PROVIDING NEW KNOX BOX IF ONE DOES NOT CURRENTLY EXIST. COORDINATE WITH LOCAL JURISDICTIONS FOR PLACEMENT.
G.	IF APPLICABLE, G.C. TO USE PRESSURE TREATED WOOD (FRT) AT ALL LOCATIONS WHERE WOOD IS IN CONTACT WITH CONCRETE OR MASONRY.	O.	BUILDING SIGNAGE IS UNDER A SEPARATE PERMIT & NOT PART OF THIS PLAN REVIEW. G.C. TO PROVIDE BLOCKING AND POWER FOR ALL SIGNAGE WHERE IT DOES NOT EXIST- COORDINATE WITH SIGN VENDOR AND DRAWINGS. G.C. TO PROVIDE FINAL POWER CONNECTION AND MODIFICATIONS, RELOCATIONS OF ANY EXISTING CONNECTIONS TO COORDINATE WITH BWW SIGNAGE.
H.	GYPSUM WALLBOARD (GWB-2) IS TO CONTINUE TO ROOF DECK ON ALL EXTERIOR WALLS.	P.	SIGN VENDOR IS RESPONSIBLE FOR ALL LOCAL JURISDICTION REQUIREMENTS ON SIGNAGE INSTALLATION AND SPECIFICATIONS, AND TO VERIFY INSTALLATION METHOD WITH EXISTING CONSTRUCTION.
		Q.	WINDOW BLINDS ARE OWNER VENDOR PROVIDED AND INSTALLED.
		R.	WHERE A "CLEAR" DIMENSION OR OPENING IS REQUIRED OR NOTED, DIMENSIONS ARE MEASURED TO FACE OF PARTITION FINISH.
		S.	TYPICAL METAL STUD SPACING TO BE 16" O.C. U.N.O.
		T.	STUD FRAMING SHOWN INDICATES THE MIN STANDARD STUD SIZE. WHERE CONDITIONS OF THE WORK CAUSE PARTITIONS TO EXCEED THE LIMITS RECOMMENDED BY STUD MFR, REINFORCE PARTITION AS NEEDED TO MEET THESE RECOMMENDATIONS.
		U.	METAL SILL TRACK TO BE ATTACHED WITH POWDER DRIVEN FASTENERS AT 24" O.C. - TYP. U.N.O.
		V.	PARTITION TYPES INDICATE THE GENERAL REQUIREMENTS FOR CONSTRUCTION. REFER TO MFR'S RECOMMENDATIONS AND REQUIREMENTS OF APPLICABLE TESTING AGENCIES FOR THE SPECIFIC DETAILS OF PARTITION CONSTRUCTION.
		W.	WHERE DIFFERENT PARTITION SYSTEMS AND/OR FURRING MEET, MAINTAIN A FLUSH SURFACE ON THE STRAIGHT OR CONTINUOUS FACE, U.N.O.
		X.	COORDINATE ALL WALL HEIGHTS WITH FINISHES AND INTERIOR ELEVATIONS AND ENLARGED PLANS & DETAILS TO ENSURE PROPER FRAMING HEIGHTS.
		Y.	PROVIDE FIREBLOCKING AT INTERCONNECTIONS BETWEEN CONCEALED STUD WALL OR PARTITION SPACES AND BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS DROPPED CEILINGS.
		Z.	REFER TO MEP ROOF PLAN FOR ROOF TOP SCOPE OF WORK.
		AA.	PROVIDE CLOSURE STRIPS AT ALL JOINTS AT GAPS BETWEEN TOP OF COOLER/FREEZER AND WALLS. VERIFY EXACT LOCATION WITH COOLER/FREEZER MANUFACTURER AND PROVIDE ALL FINAL CONNECTIONS.
		BB.	PROVIDE FIRE RETARDANT TREATED WOOD BLOCKING, OR SHEET METAL BACKING, WITHIN PARTITION FOR SECURE ATTACHMENT OF ALL WALL HUNG FIXTURES, ACCESSORIES, FOOD SERVICE EQUIPMENT, ETC. BLOCKING REQUIRED FOR ALL EQUIPMENT SHOWN THROUGHOUT PLANS INCLUDING BUT NOT LIMITED TO THE FOLLOWING: <ul style="list-style-type: none">• TV BLOCKING• TOILET ACCESSORIES - SEE G002• BLOCKING FOR EQUIPMENT RESTRAINTS AT HOOD WALL• GENERAL KITCHEN BLOCKING• BUILDING SIGNAGE - SEE EXTERIOR ELEVATIONS• DATA RACK ON OFFICE WALL - SEE ELECTRICAL• PHONE BOARD IN OFFICE - SEE ELECTRICAL
			FURR-OUT NOTE: PROVIDE FURR-OUT FRAMING (SIZE DESIGNATED IN DIMENSION PLAN) ON ALL EXISTING EXTERIOR WALLS - 1) UP TO DECK AT EXPOSED CEILINGS; 2) UP TO 6" ABOVE ACT AND GYP BD CEILINGS

WALL FRAMING MATERIAL LEGEND

- NEW WALL
- NEW 1-HR FIRE RATED WALL PARTITION COMPLYING WITH UL# U419
- METAL FRAMING
- CMU
- COOLER / FREEZER WALL



1
A101
DEPICTIVE FLOOR PLAN
SCALE: 1/4" = 1'-0"



14901 QUORUM DRIVE
DALLAS, TX 75254

PROJECT NUMBER
10-####

DUNKIN' DONUTS

6318 BROADWAY BLVD
GARLAND, TX 75043



3 GLENLAKE PARKWAY NE
BWW DESIGN TEAM
ATLANTA, GA 30328
PHONE 678.514.4100

DRAWING ISSUE

ISSUE FOR SPECIAL USE PERMIT
REVISION DESCRIPTION

NO
1

DATE

04/10/2023

Drawing Title

DEPICTIVE
FLOOR PLAN

A101

Z 23-14



View of the subject property



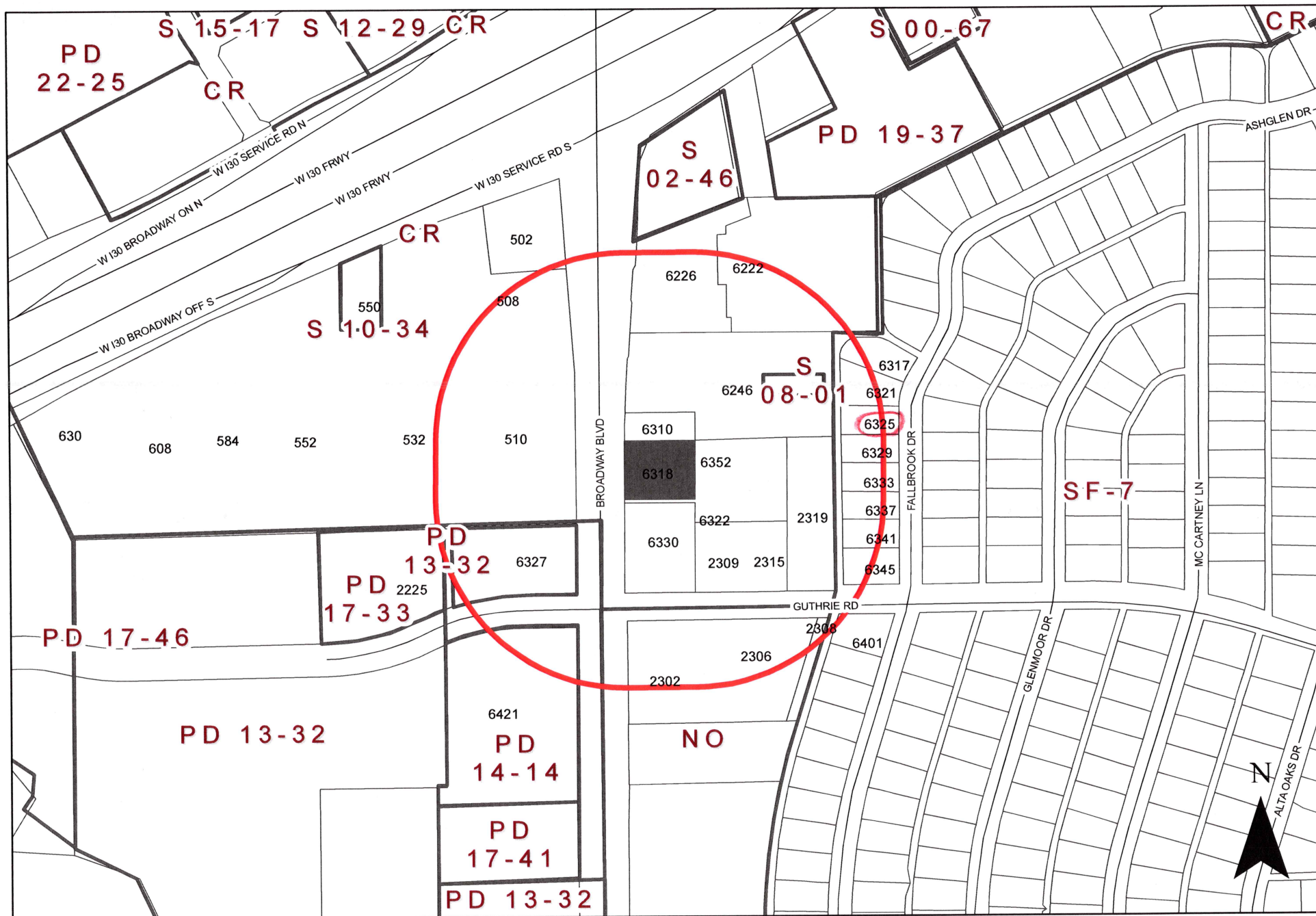
West of the subject property



North of the subject property



South of the subject property



0 175 350 Feet
1 inch = 269 feet

ZONING MAP Z 23-14

INDICATES AREA OF REQUEST
INDICATES NOTIFICATION AREA

6318 Broadway Boulevard

Comment Form Case Z 23-14

Z 23-14 ATWELL LLC. The applicant requests to construct a takeout restaurant and restaurant with a drive-through [Dunkin' Donuts and Buffalo Wild Wings GO]. The site is located at 6318 Broadway Boulevard. (District 3)

Z 23-14 ATWELL, LLC. El solicitante solicita la construcción de un restaurante de comida para llevar y un restaurante con servicio de autoservicio [Dunkin' Donuts y Buffalo Wild Wings GO]. El sitio está ubicado en 6318 Broadway Boulevard. (Distrito 3)

Z 23-14 ATWELL, LLC. Người nộp đơn yêu cầu xây dựng một nhà hàng bán đồ ăn mang đi và nhà hàng có xe đưa đón [Dunkin' Donuts và Buffalo Wild Wings GO]. Địa điểm tọa lạc tại 6318 Broadway Boulevard. (Quận 3)

Please Check One Below / Marque uno a continuación / Vui lòng kiểm tra một bên dưới



For / A Favor / Đúng



Against / En Contra / Không

Please complete the following information and email the form to Planning@garlandtx.gov; deliver to the Planning Department at 800 Main Street Garland, TX; or mail to City of Garland, Planning Department, P.O. Box 469002 Garland, TX 75406-9002. / Por favor Complete la siguiente información y envíe el formulario por correo electrónico a Planning@garlandtx.gov; entregar al Departamento de Planificación en 800 Main Street Garland, TX; o envíelo por correo a City of Garland, Planning Department, P.O. Box 469002 Garland, TX 75406-9002. / Vui lòng điền đầy đủ thông tin sau và gửi biểu mẫu qua email tới Planning@garlandtx.gov; giao cho Phòng Kế hoạch tại 800 Main Street Garland, TX; hoặc gửi thư đến Thành phố Garland, Sở Kế hoạch, P.O. Hộp 469002 Garland, TX 75406-9002.

Carolina Gerardo

Printed Name & Title / Nombre Impreso y Título / Tên in và Tiêu đề

(Property Owner, Business Owner, Tenant, etc.) / (Dueño de la propiedad, Dueño de la empresa, Inquilino, etc.) / (Chủ sở hữu bất động sản, Chủ doanh nghiệp, Người thuê, v.v.)

6325 Fallbrook Dr.

Your Property Address / La dirección de su propiedad / địa chỉ tài sản

Garland Tx.

City, State / Estado de la Ciudad / Thành bang

75043

Zip Code / Código postal / Mã Bưu Chính

Carolina Gerardo

Signature / Firma / Chữ ký

4.30.2023

Date / Fecha / Ngày

(Providing email address and phone number is optional. / La dirección de correo electrónico y el número de teléfono son opcionales. / Địa chỉ email và số điện thoại là tùy chọn.)