



GARLAND

NOTICE OF MEETING CITY OF GARLAND, TEXAS

PLAN COMMISSION
City Hall, Council Chambers
William E. Dollar Municipal Building
200 N. Fifth Street
Garland, Texas
November 20, 2023 at 7:00 p.m.

A meeting of the Plan Commission of the City of Garland, Texas will be held at the aforementioned location, date, and time to discuss and consider the following agenda items.

A pre-meeting will begin at 6:30 p.m. at the same location as the regular meeting. The agenda for the pre-meeting is the same as for the regular meeting, and may include additional items as set forth below.

INVOCATION AND PLEDGE OF ALLEGIANCE: It is the custom and tradition of the members of the Plan Commission to have an invocation and recital of the Pledge of Allegiance prior to the beginning of the meeting. Members of the audience are invited to participate. However, members of the audience are not required to participate. The decision to participate is strictly a matter of personal choice and has no bearing on matters to be considered by the Plan Commission and will not affect the decisions to be made during the meeting.

The meeting will be broadcast on City of Garland Government Access Television (CGTV). CGTV is available via GarlandTX.gov, channel 16 (Spectrum), Channel 44 (Frontier), and channel 99 (AT&T U-verse). Meetings are broadcast online via live-streaming, on-demand, and air on CGTV with several rebroadcasts during the week of the meeting.

Public Comments

Your comments must relate to an item on this agenda - non-germane comments are not in order. Time limits will be imposed by the Chairman as appropriate to the nature of the agenda item. Generally, public speakers are given three minutes.

IN-PERSON COMMENTS: Registration will be required for any citizen wishing to speak. Speakers shall register using the electronic registration kiosks in the lobby of City Hall.

Garland City Hall and Council Chambers are wheelchair accessible. Special parking is available on the east side of City Hall and on Austin & State Street west of City Hall. Persons with disabilities who plan to attend this meeting and who may need auxiliary aids or services must contact the City Secretary's Office at (972) 205-2404 at least two working days prior to the meeting so that appropriate arrangements can be made. BRAILLE IS NOT AVAILABLE.

If the Plan Commission adjourns into executive session during this meeting, the executive session will be conducted between and among the members of the Plan Commission and relevant City staff. Public access to that meeting is prohibited by State law.

CONSENT AGENDA

All items under this section are recommended for approval by a single motion of the Plan Commission, without discussion. The Plan Commission has had the opportunity to review each of these items during a pre-meeting. The Chairman will announce the agenda and provide an opportunity for members of the audience and the Plan Commission to request that an item be removed and considered separately.

1. MINUTES

- a.** Consider approval of the Plan Commission Minutes for the November 13, 2023 meeting.

2. MISCELLANEOUS

- a.** Impact Fee Report
- b.** Consider cancellation of the May 27, 2024 and December 23, 2024 Plan Commission meetings.

ITEMS FOR INDIVIDUAL CONSIDERATION

Speaker Regulations:

Anyone wishing to speak for, against, or on agenda items must fill out a speaker card and give it to the Plan Commission Secretary before speaking (cards are located at the entrance to the Council Chambers). The Chairman will recognize speakers; he may impose a time limit and may provide for rebuttal. All comments and testimony are to be presented from the podium.

3. ZONING

- a. Consideration of the application of **Cody Perlmeter**, requesting approval of an Amendment of Conditions to Planned Development (PD) District 94-35 for Community Retail Uses to allow a Pet Care/Play Facility (indoor); Learning Center, Specialized; Health & Fitness Gym (Indoor); and Veterinary Clinic, Small Animal (indoors only) use. This property is located at 1901 Northwest Highway. (District 5) (File Z 23-40)
- b. Consideration of the application of **City of Garland**, requesting approval of an amendment to Planned Development (PD) District 20-17 regarding removing the Detail Plan requirement for Data Center Uses, when a Data Center is allowed by right and meets applicable requirements. This area is generally located northeast of President George Bush Turnpike, west of Holford Road, and south of the city limits line. (District 1) (File Z 23-46)

4. ADJOURN

NOTICE: The Plan Commission may recess from the open session and convene in a closed session if the discussion of any of the listed agenda items concerns matters regarding privileged and unprivileged client information deemed confidential by Rule 1.05 of the Texas Disciplinary Rules of Professional Conduct. Sec. 551.071, Tex. Gov't Code.

NOTE: A quorum of the City Council may be in attendance and may or may not participate in the discussions of the Committee or board.



GARLAND

Plan Commission

1. a.

Meeting Date: 11/20/2023

Item Title: Plan Commission Minutes for November 13, 2023

Summary:

Consider approval of the Plan Commission Minutes for the November 13, 2023 meeting.

Attachments

November 13, 2023 Plan Commission Minutes



GARLAND

MINUTES

The Plan Commission of the City of Garland convened in regular session at 7:00 p.m. on Monday, November 13, 2023, in the Council Chambers at the William E. Dollar Municipal Building, 200 N. Fifth Street, Garland, Texas, with the following members present:

Present: Scott Roberts, Chairman
Julius Jenkins, 1st Vice Chair
Wayne Dalton, 2nd Vice Chair
Stephanie Paris, Commissioner
Georgie Cornelius, Commissioner
Rich Aubin, Commissioner
Patrick Abell, Commissioner
Michael Rose, Commissioner
Robert John Smith, Commissioner

Staff Present: Will Guerin, Planning Director
Nabiha Ahmed, Lead Development Planner
Matthew Wolverton, Development Planner
Shawn Roten, Senior Assistant City Attorney
Evelyn Martinez, Planning Technician
Elisa Morales, Secretary

CONSENT AGENDA

All items under this section are recommended for approval by a single motion of the Plan Commission, without discussion. The Plan Commission has had the opportunity to review each of these items during a pre-meeting. The Chairman will announce the agenda and provide an opportunity for members of the audience and the Plan Commission to request that an item be removed and considered separately.

Motion was made by Commissioner Dalton to **approve** the Consent Agenda. Seconded by Commissioner Abell. **Motion carried: 8 Ayes, 0 Nays, 1 Abstain** by Commissioner Paris.

1. MINUTES

- a. Consider approval of the Plan Commission Minutes for the October 23, 2023 **APPROVED** meeting.

2. PLATS

- a. P 23-37 Alanis Addition – Final Plat

APPROVED

ITEMS FOR INDIVIDUAL CONSIDERATION

Speaker Regulations:

Anyone wishing to speak for, against, or on agenda items must fill out a speaker card and give it to the Plan Commission Secretary before speaking (cards are located at the entrance to the Council Chambers).

The Chairman will recognize speakers; he may impose a time limit and may provide for rebuttal. All comments and testimony are to be presented from the podium.

3. ZONING

- a. Consideration of the application of **Marcer Construction**, requesting approval of 1) a Change in Zoning from Neighborhood (NO) Office District to a Planned Development (PD) District for Multi-Family Uses and 2) a Detail Plan for a multi-family (condominium) development. This property is located at 2920 Broadway Boulevard. (District 5) (File Z 22-29).

APPROVED

The applicant, Raul Estrada, Jr., 1636 Cedar Hill Ave., Dallas, TX 75208, provided an overview of the request and remained available for questions.

Commissioner Rose asked the applicant if they were aware of staff's recommendation regarding a board fence as opposed to a standard wood fence and if they were open to that consideration.

The applicant stated they were open to staff's recommendation and had planned to install a 6 foot wood fence around the development.

Chair Roberts stated that he does not believe the proposed development is the appropriate one for the area. In his view, everything is packed in as the applicant is unable to meet any of the landscape standards. He noted that the sides of the building facing the street are very plain but because they are moving forward with MF-1 which does not require the elevation space in the street to have architectural features versus MF-0. In his view, the applicant is using some of MF-0 and MF-1 to make their proposed development work. Chair Roberts did ask the applicant to confirm if the 2,199 square feet for the units included the garage.

The applicant did confirm that the 2,199 square feet does include the garage portion of the units, therefore the actual size of the units is between 1,600 and 1,700 square feet.

Chair Roberts also mentioned his concerns regarding the parking as the area does not have street parking available. While the units will have a garage option, most people utilize their garages for storage, therefore they will be parking elsewhere. With the eight proposed spaces, he believes that the residents will ultimately begin parking in the spaces for the neighboring office

building. Chair Roberts also noted that the guest parking spaces have the curb leading directly up to the building and if a truck with an overlap parks in one of those spaces, there is a risk that they might hit the building. In regards to the required landscaping, only about half of those requirements are being met and he commented that the applicant might want to consider decreasing the number of proposed units. Chair Roberts also noted that staff recommended a masonry wall and if the proposed development was an MF-0, that would automatically be required. In regards to the dumpster location, once that is put in place, it will end up overlapping the building.

The applicant clarified that there is an agreement in place with the City where the residents of the units will have a green trash receptacle available to them.

Commissioner Abell asked the applicant to clarify the makeup of the units (i.e. 3 bedroom, 2 bath).

The applicant stated that the units would be 2 bed, 2 bath.

The other applicant, Raul Estrada, Sr., 1636 Cedar Hill Ave., Dallas, TX 75208, explained to the Commission that they have worked extensively with the Planning Department staff to incorporate a lot of their suggestions to try and make this proposed development work. The applicant explained that he purchased the parcel about 8-9 years ago with the intent to develop it into some sort of housing. He further explained that the units they are proposing to build will not be for rent but will instead be sold to prospective buyers. In regards to the access roads into the property, the applicant explained that they also worked with Planning staff to address any concerns and that in regards to parking concerns involving trucks, the spaces will be ample enough to fit a truck. The applicant reiterated that he feels the use of the lot is adequate with the development and that for the ten years it has sat vacant since they purchased it, this will be a good fit for the area and will help beautify the surrounding area. The applicant explained that at the time the design of the development was made people were working from home due to the Covid shutdown so that is where the concept of an office came into play into their units. He also noted that the original number of units they were proposing were higher than what the development has now, per staff recommendation as well.

Motion was made by Commissioner Aubin to close the public hearing. Seconded by Commissioner Jenkins. **Motion carried: 9 Ayes, 0 Nays.**

There was discussion between the Commissioners that they are in favor of the area needing the proposed development and that an increased in traffic is not a concern at this time. There was a recommendation that a masonry fence be placed around the development for beautification of the area.

Motion was made by Commissioner Aubin to **approve** the application as presented with the stipulation that a masonry wall be added around the perimeter of the development. Seconded by Commissioner Jenkins. **Motion carried: 8 Ayes, 1 Nay** by Chair Roberts.

- b. Consideration of the application of **Marta Nambo de Flores**, requesting approval of 1) a Specific Use Provision for a Guest House on a property zoned Single-Family-7 (SF-7) District and 2) a Plan for a Guest House. This property is located at 609 Lawson Drive. (District 6) (File Z 23-31). **APPROVED**

The applicant, Jennifer Flores, 609 Lawson Dr., Garland, TX remained available for questions.

Commissioner Smith confirmed with the applicant that the guest house is currently used for her grandparents to stay when they come visit and that she hopes to have it approved so that it can continue to be used for that purpose.

Commissioner Rose asked the applicant if the proposed guest house would not be used as a rental unit.

The applicant confirmed that the guest house is not a rental unit and would never be used as such.

Commissioner Abell commented on how well-built the structure was in comparison to other surrounding structures and indicated he was inclined to approve the guest house.

Motion was made by Commissioner Smith to close the public hearing and **approve** the application as presented. Seconded by Commissioner Paris.
Motion carried: 8 Ayes, 1 Nay by Commissioner Aubin.

- c. Consideration of the application of **MC Office, LLC.**, requesting approval of 1) a Specific Use Provision for a Contractor's Office/Warehouse (indoors only) Use on a property zoned Downtown (DT) District and 2) a Plan for a Contractor's Office/Warehouse (indoors only) Use. This property is located at 601 North First Street. (District 8) (File Z 23-32). **APPROVED**

The applicants, Anthony Cass, 3705 Furneaux Ln., Carrollton, TX, and Lisa Whatley McCord, 4715 Rustic Ridge Ct., Sachse, TX 75048, provided an overview of the request and remained available for questions.

Commissioner Jenkins asked the applicant regarding the request for a 25-year SUP, if they would be opposed to a shorter SUP, for possibly 7 years.

The applicant explained that the reason behind the 25-year SUP request is to align with their 25-year bank mortgage.

Commissioner Smith stated that he is in favor of the proposed development and in support of the 25-year SUP request.

Motion was made by Commissioner Smith to close the public hearing and **approve** the application as presented. Seconded by Commissioner Dalton.
Motion carried: 9 Ayes, 0 Nays.

d. Consideration of the application of **Jacobs Telecommunications/Christine Johnson**, requesting approval 1) of an Amendment to Planned Development (PD) District 14-07 for Community Retail Uses and 2) a Detail Plan for an Antenna, Commercial Use. This property is located at 4535 Bass Pro Drive. (District 3) (File Z 23-33). **POSTPONED**

e. Consideration of the application of **Shearer, Monk, & Voigt**, requesting approval of 1) a Specific Use Provision for a Truck/Bus Repair Use on a property zoned Industrial (IN) District with an existing Specific Use Provision (SUP) [21-15] for a Truck/Bus Storage Use and 2) a Plan for a Truck/Bus Repair Use. This property is located at 3877 Miller Park Drive. (District 6) (File Z 23-37). **APPROVED**

The applicant, Charles Voigt, 2418 Country Valley, Garland, TX, remained available for questions.

Motion was made by Commissioner Jenkins to close the public hearing and **approve** the application as presented. Seconded by Commissioner Aubin.
Motion carried: 9 Ayes, 0 Nays.

f. Consideration of the application of **Peak Health Diagnostics**, requesting approval of 1) a Specific Use Provision for a Laboratory, Analytical or Research (indoor) Use on a property zoned Planned Development (PD) District 82-17 and 2) a Plan for a Laboratory, Analytical or Research (indoor) Use. This property is located at 1605 North Garland Avenue. (District 8) (File Z 23-39). **APPROVED**

The applicant, Tewelde Abreham, 3877 Miller Park Dr., remained available for questions.

Commissioner Abell asked the applicant to clarify how many employees would be at the facility as well as what the hours of operation would be.

The applicant explained that there would be a total of five employees and the hours of operation would be 9 a.m. to 5 p.m.

Motion was made by Commissioner Abell to close the public hearing and **approve** the application as presented. Seconded by Commissioner Paris.
Motion carried: 9 Ayes, 0 Nays.

4. **ADJOURN**

There being no further business to come before the Plan Commission, the meeting adjourned at 7:33 p.m.

CITY OF GARLAND, TEXAS

/s/ Scott Roberts, Chairman

/s/ Elisa Morales, Secretary



GARLAND

Plan Commission

2. a.

Meeting Date: 11/20/2023

Item Title: Impact Fee Report

Summary:

Impact Fee Report

Attachments

Impact Fee Report

TO: Chairman Roberts and Members of the Plan Commission
FROM: Will Guerin, Director of Planning
DATE: November 15, 2023
SUBJECT: Impact Fee Report

Garland's Impact Fee Ordinance requires that reports be filed with the City Council regarding the collection of fees and implementation of the capital improvements plan adopted as part of the Impact Fee Ordinance. These reports are to be provided to the Council by the Capital Improvements Advisory Committee, established by the Impact Fee Ordinance. The Plan Commission serves in the capacity of this Committee.

Attached is a draft report to City Council from the Capital Improvements Advisory Committee for the period covering March 22, 2023 through September 21, 2023. There is an item on the November 20, 2023 meeting agenda to consider this report and forward to the City Council in compliance with the ordinance requirements.

Should you have questions regarding the report please contact me at 972-205-2449 or by email at wguerin@garlandtx.gov.

Sincerely,

Will Guerin, AICP
Director of Planning

TO: Mayor LeMay and the City Council
FROM: Chairman Scott Roberts and Members of the Plan Commission
DATE: November 20, 2023
SUBJECT: Impact Fee Report

Garland’s Impact Fee Ordinance outlined in Chapter 1, Article 3, Division 3 of the Garland Development Code (GDC) requires that the Capital Improvements Advisory Committee file reports with the City Council regarding implementation of the capital improvements plan and administration of impact fees. Acting in the capacity of the Capital Improvements Advisory Committee, following is the Plan Commission’s report for March 22, 2023 through September 21, 2023.

COLLECTION OF IMPACT FEES

During the period covering March 22, 2023 through September 21, 2023 impact fees were collected for 150 developments. Of these, 128 are single-family homes (including ancillary irrigation systems), 4 are multi-family developments, and 18 are commercial/industrial/church/school developments. These include the addition of water meters to existing developments. Amounts collected are as follows:

Single-Family Development

# Of Lots	Service Area	Water	Roadway	Total
0	A	\$0.00	\$0.00	\$0.00
69	B	\$2,553.00	\$49,612.80	\$52,165.80
4	C	\$1,877.50	\$7,328.00	\$9,205.50
55	D	\$26,967.00	\$156,317.70	\$183,284.70
Total: 128		\$31,397.50	\$213,258.50	\$244,656.00

Multi-Family Development

Location	Service Area	Water	Roadway	Total
3154 Firewheel Pkwy	C	\$37,952.00	\$0.00	\$37,952.00
1600 Firewheel Pkwy	D	\$90,136.00	\$13,300.00	\$103,436.00
4245 Bobtown Rd	D	\$58,114.00	\$446,488.00	\$504,602.00
6302 Greenbelt Pkwy	D	\$33,208.00	\$637,840.00	\$671,048.00
Total: 4		\$219,410.00	\$1,097,628.00	\$1,317,038.00

Commercial/Churches/Schools Development

Location	Service Area	Water	Roadway	Total
6330 N GEORGE BUSH HWY	A	\$0.00	\$36,266.89	\$36,266.89
6320 N GEORGE BUSH HWY	A	\$5,930.00	\$16,758.36	\$22,688.36
3585 N GARLAND AVE	A	\$2,966.00	\$23,447.00	\$26,413.00
805 HOLFORD RD	A	\$19,866.00	\$161,741.00	\$181,607.00
2080 LOOKOUT DR	A	\$0.00	\$206,590.29	\$206,590.29
5200 N GARLAND AVE	A	\$2,966.00	\$17,900.08	\$20,866.08
4688 N SHILOH RD	A	\$7,709.00	\$20,316.70	\$28,025.70
145 W KINGSLEY RD	B	\$890.00	\$0.00	\$890.00
145 W KINGSLEY RD	B	\$593.00	\$0.00	\$593.00
2550 MC CREE RD	B	\$43,083.00	\$0.00	\$43,083.00
2550 MC CREE RD	B	\$4,357.00	\$0.00	\$4,357.00
530 S INTERNATIONAL RD	B	\$0.00	\$80,304.00	\$80,304.00
3318 W BUCKINGHAM RD	B	\$9,488.00	\$130,565.79	\$140,053.79
3318 W BUCKINGHAM RD	B	\$0.00	\$2,743.00	\$2,743.00
1718 N FIRST ST	C	\$0.00	\$10,212.00	\$10,212.00
2815 E CENTERVILLE RD	C	\$0.00	\$135,984.33	\$135,984.33
3202 WEXFORD DR	D	\$14,232.00	\$0.00	\$14,232.00
1205 NORTHWEST HWY	D	\$2,965.00	\$0.00	\$2,965.00
Total: 18		\$115,045.00	\$842,829.44	\$957,874.44
Total (All Land Uses)		\$365,852.50	\$2,153,715.94	\$2,519,568.44

Impact fees totaling \$2,519,568.44 were collected during this period. Of this, \$365,852.50 was collected for water facilities and \$2,153,715.94 was collected for roadway facilities.

CAPITAL IMPROVEMENTS PLAN

Roadways

The status of the roadway projects, during this time period, included in the impact fee capital improvements program is as follows:

Status/Roadway Segment

Service Area

Under Design:

Naaman School, Brand to SH 78	A
Callejo, Botello to Big Spring	A
Holford Road Segment B, Naaman Forest to PGBT	A
Holford Road Segment C, Arapaho to Naaman Forest	A
Brand Road, SH 190 to Murfield	A
Shiloh Road (Kingsley to Miller)	B
Crist Road Widening	C

Under Construction:

Holford Road Segment A, SH 190 to City Limits A
Chaha, Lake Hubbard to Bass Pro D

Completed:

Shiloh, IH 635 to Kingsley B
Bobtown, Rowlett to Rosehill D
Bobtown, Rosehill to Waterhouse D
Waterhouse, Bobtown to Hayman D

Deferred for next 5+ years:

Lyons Road, IH-30 to Guthrie D

Water Facilities

Two (2) future water towers, including East Zone Water Tower project

Please let me know if you have questions regarding this report, or if further information is desired.

Scott Roberts, Chairman
City of Garland Plan Commission



GARLAND

Plan Commission

2. b.

Meeting Date: 11/20/2023

Item Title: Cancellation of the May 27, 2024 & December 23, 2024 Plan Commission Meetings

Summary:

Consider cancellation of the May 27, 2024 and December 23, 2024 Plan Commission meetings.

Background/Additional Information:

The May 27, 2024 Plan Commission meeting is recommended to be cancelled due to the Memorial Day holiday. The December 23, 2024 Plan Commission meeting is recommended to be cancelled due to the proximity to the Christmas holiday.”



GARLAND

Plan Commission

3. a.

Meeting Date: 11/20/2023

Item Title:

Summary:

Consideration of the application of **Cody Perlmeter**, requesting approval of an Amendment of Conditions to Planned Development (PD) District 94-35 for Community Retail Uses to allow a Pet Care/Play Facility (indoor); Learning Center, Specialized; Health & Fitness Gym (Indoor); and Veterinary Clinic, Small Animal (indoors only) use. This property is located at 1901 Northwest Highway. (District 5) (File Z 23-40)

Attachments

Z 23-40 Cody Perlmeter (District 5)

Z 23-40 Cody Perlmeter Responses

Planning Report



GARLAND

TEXAS MADE HERE

File No: Z 23-40/District 5

Agenda Item:

Meeting: Plan Commission

Date: November 20, 2023

REQUEST

Approval of an Amendment of Conditions to Planned Development (PD) District 94-35 for Community Retail Uses to allow Pet Care/Play Facility (indoor); Learning Center, Specialized; Health & Fitness Gym (Indoor); and Veterinary Clinic, Small Animal (indoors only) uses.

LOCATION

1901 Northwest Highway

APPLICANT

1901 W Northwest, Hwy, LLC

OWNER

1901 W Northwest, Hwy, LLC

BACKGROUND

The site was developed with the approved shopping center per Planned Development 94-35. The site has stayed largely the same, with a Scooter's Coffee being added in PD/S 22-07 on a pad site in the southern section of the property.

The applicant requests to allow the proposed land uses, which align with the retail shopping center site and surrounding area: Pet Care/Play Facility (indoor); Learning Center, Specialized; Health & Fitness Gym (Indoor); and Veterinary Clinic, Small Animal (indoors only) uses. The Community Retail (CR) District is the base zoning for Planned Development (PD) District 94-35. The Planned Development (PD) District 94-35 currently does not allow the proposed uses.

SITE DATA

The subject property contains 5.00014 acres and is accessed from three points along Northwest Highway and three points along Towngate Boulevard. The North side of the property fronts Town Court, but no access points are available.

USE OF PROPERTY UNDER CURRENT ZONING

The subject property is zoned Planned Development (PD) District 94-35. The intent of this Planned Development (PD) is to allow a shopping center with more specific uses than the base zoning could provide. The site currently has four vacant suites and limited additional pad site space available.

CONSIDERATIONS

Planned Development:

1. The applicant proposes to add Pet Care/Play Facility (indoor), Learning Center, Specialized; Health & Fitness Gym (Indoor), and Veterinary Clinic, Small Animal (indoors only) uses.
2. There are no site changes proposed with this request. The applicant has made recent façade improvements to the building. Further, the applicant recently obtained approval of a Municipal Setting Designation (MSD) by the City of Garland which will allow further reinvestment into the site.

COMPREHENSIVE PLAN

The Future Land Use Map of the Envision Garland Plan recommends Urban Neighborhoods for the subject property. Urban neighborhoods are higher density residential developments. This residential option may utilize vertical mixed-use integrated into the surrounding area, reflecting the area's dominant character or, when desired, promoting a new character. This type of development should encourage access to a range of mobility options and is generally located in the vicinity of major intersections and/or secondary arterial streets, with proximity to significant bus or rail amenities.

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

The subject property is located within a larger commercial area along Northwest Highway. The existing shopping center to the West of Towngate Boulevard is in the "Transit-Oriented Centers" while the existing retail across Northwest Highway is slated for "Community Centers". Many of the existing and proposed uses are present in these nearby areas.

The proposal is generally compatible with the surrounding area.

ECONOMIC DEVELOPMENT

According to the Economic Development Strategic Plan, a shopping center has the highest revenue per acre for retail development. Allowing more compatible uses would increase the likelihood of additional businesses moving into this shopping center.

Additionally, the applicant has taken steps to improve the façade and other exterior features of the shopping center over the last year. This proposal will help contribute to the revitalization of the site.

STAFF RECOMMENDATION

Approval of an Amendment of Conditions to Planned Development (PD) District 94-35 for Community Retail Uses to allow a Pet Care/Play Facility (indoor), Learning Center, Specialized; Health & Fitness Gym (Indoor), and Veterinary Clinic, Small Animal (indoors only) uses.

In addition, staff recommends the removal of the automobile-related uses currently in Planned Development (PD) District 94-35, specifically Tire Dealer (no outdoor storage) and Automobile Leasing (New). Automobile repair and sales are already prohibited on the subject property. The applicant concurs with the recommendation.

ADDITIONAL INFORMATION

- i. Location Map
- ii. Planned Development Conditions
- iii. Exhibit
- iv. Photos

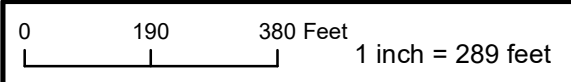
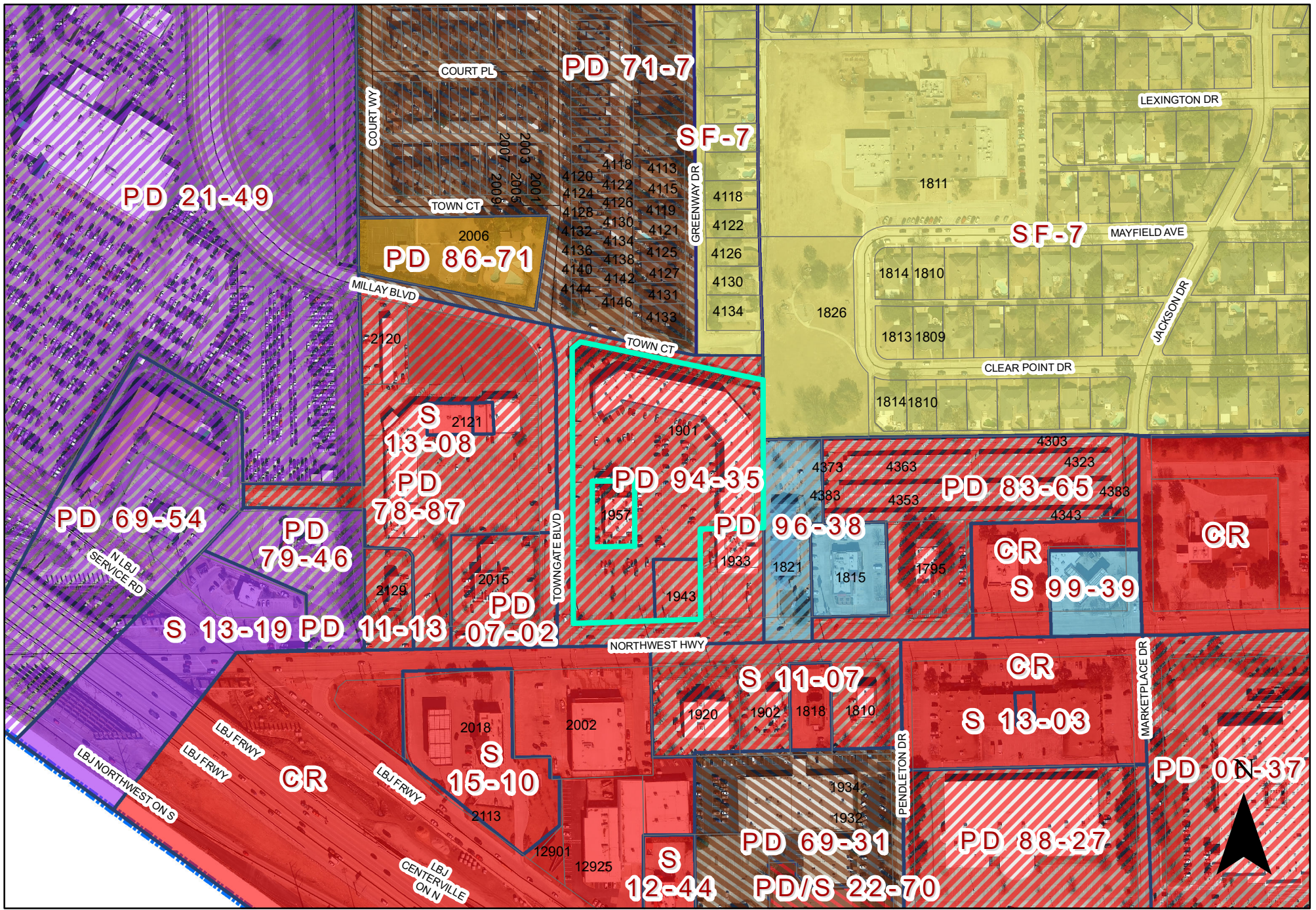
CITY COUNCIL DATE: December 12th, 2023

PREPARED BY:


Matthew Wolverton
Development Planner
Planning & Development
972-205-2454
mwolverton@garlandtx.gov

REVIEWED BY:

Will Guerin, AICP
Director of Planning



ZONING MAP Z 23-40

 INDICATES AREA OF REQUEST

1901 Northwest Highway

PLANNED DEVELOPMENT CONDITIONS

ZONING FILE Z 23-40

1901 Northwest Highway

I. Statement of Purpose: The purpose of this Planned Development is to amend certain requirements regarding permitted uses in Planned Development (PD) District 94-35.

II. Statement of Effect: This Planned Development shall not affect any regulation found in the Garland Development Code, Ordinance No. 6773, as amended prior to adoption of this ordinance, except as specifically provided herein.

III. General Regulations: All regulations of the Planned Development (PD) District 94-35 as set forth in Chapter 2 of the Garland Development Code are included by reference and shall apply, except as otherwise specified by this ordinance.

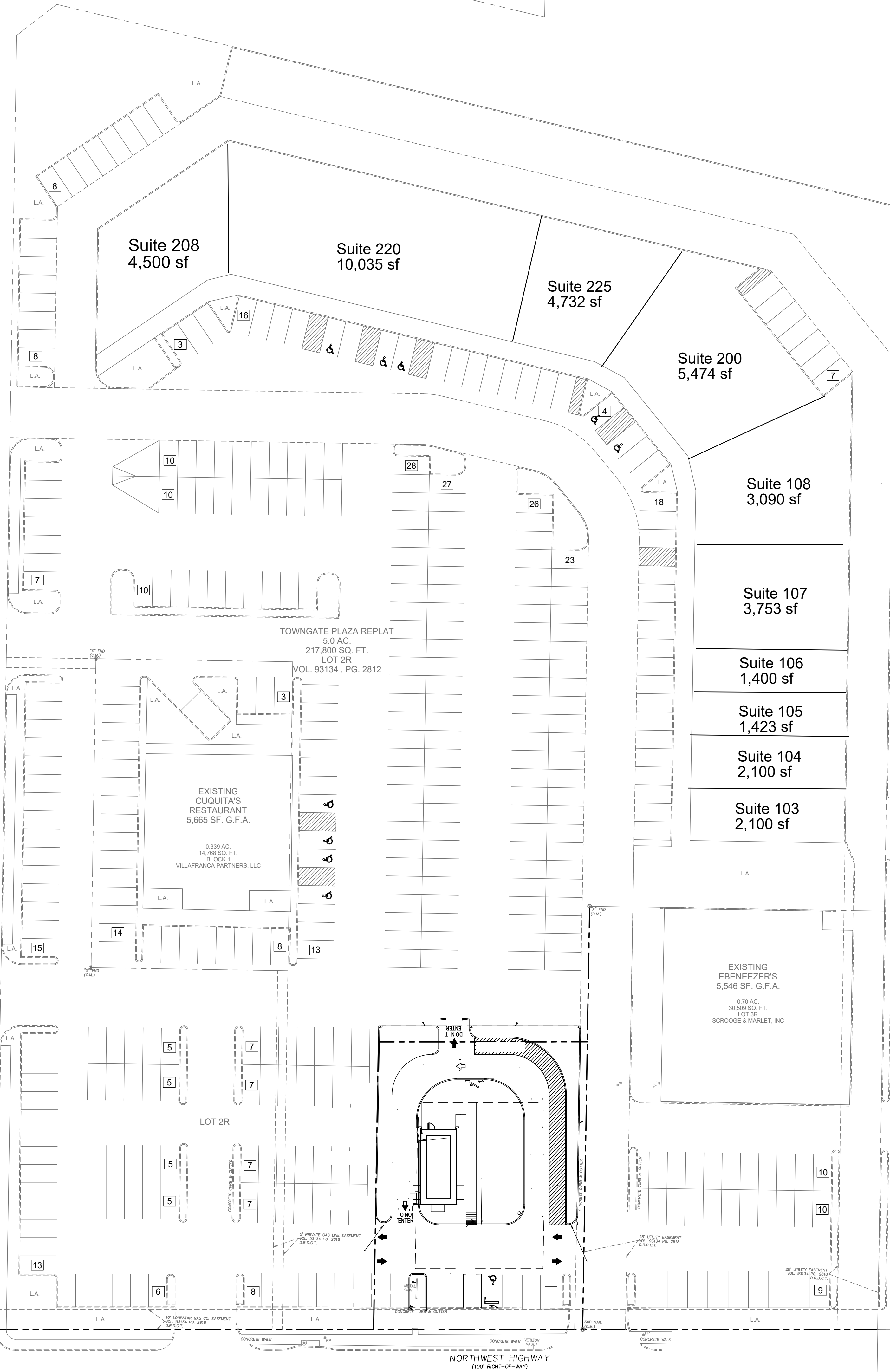
IV. Specific Conditions:

A. Uses: The following uses, in addition to those listed in Planned Development District (PD) District 94-35, shall be permitted by right:

Pet Care/Play Facility (indoor)
Learning Center, Specialized
Health & Fitness Gym (indoor)
Veterinary Clinic, Small Animal (indoors only)

However, the following uses included in Planned Development (PD) District 94-35 shall be prohibited:

Automobile Leasing (New)
Tire Dealer, No Outdoor Storage



SITE DATA SUMMARY TABLE

GROSS LOT AREA:	4.665 ACRE (203,207 S.F.)
LEASE LOT AREA:	39,426 SF
ZONING:	PD 94-35 UNDERLYING ZONING - CR
PROPOSED USE:	MIXED USED INCLUDING VETERINARY, PET GROOMING, EDUCATIONAL/TUTORING AND HEALTH AND WELLNESS
BUILDING AREA:	
SUITE 103	2,100 SF
SUITE 104	2,100 SF
SUITE 105	1,423 SF
SUITE 106	1,400 SF
SUITE 107	3,753 SF
SUITE 108	3,909 SF
SUITE 200	5,474 SF
SUITE 208	4,500 SF
SUITE 220	10,035 SF
SUITE 225	4,732 SF
NUMBER OF STORIES:	1
BUILDING COVERAGE:	2.07%
FLOOR AREA RATIO:	0.0207
REGULAR PARKING REQUIRED:	1 SPACE PER 100 G.F.A
REGULAR PARKING PROVIDED:	299 SPACES
HANDICAP PARKING REQUIRED:	9 SPACES (VAN ACCESSIBLE)
HANDICAP PARKING PROVIDED:	9 SPACES (VAN ACCESSIBLE)
TOTAL PARKING PROVIDED:	308 (SHOPPING CENTER); 362 (TOTAL SITE)
ON-SITE PARKING PROVIDED:	308 (SHOPPING CENTER); 362 (TOTAL SITE)
OFF-SITE SHARED PARKING PROVIDED:	59 SPACES (CUQUITA'S AND EBENEZER'S)

PARKING INFORMATION
 REQUIRED PARKING RATIO: COMMUNITY RETAIL: 1-85,000 SF: 1 SPACE PER 250 GFA
 RESTAURANT: 1 SPACE PER 100 GFA
 HEALTH & FITNESS GYM (INDOOR) (proposed): 1 SPACE PER 150 GFA
 PET CARE/PLAY FACILITY (proposed): 1 SPACE PER 300 GFA

REQUIRED PARKING NUMBER:
 EX. BUILDING TOWNGATE PLAZA (39,426 SF) - 169
 EX. CUQUITA'S RESTAURANT (SHARED PARKING) (5,665 SF) - 57
 EX. EBENEZER'S RESTAURANT (SHARED PARKING) (5,546 SF) - 56

ESTIMATED TOTAL REQUIRED PARKING: 298
TOTAL PARKING PROVIDED (SHOPPING CENTER TRACT ONLY): 308
 REGULAR: 299; ADA: 9
TOTAL PARKING PROVIDED (ENTIRE SITE): 362

Suites	Sq. Ft.	Tenant	Req'd Parking Community	Req'd Parking Retail
103	2,100	Care N Cure Dental (Dental Office)	9	
104	2,100	Asian Market (General Retail since under 5,000 sf)	7	
105	1,423	Vacant (Proposed Pet Care/Play Facility)	5	
106	1,400	Bermuda Insurance (Office, General)	5	
107	3,753	Veterinary Office (Proposed)	13	
108	3,909	Armstrong McCall Beauty Supply (General Retail)	12	
200	5,474	FM Electronics (Equipment Rental/General Retail)	17	
208	4,500	Vacant (Restaurant)	45	
220	10,035	Fresenius Kidney Care (Medical)	40	
225	4,732	Vacant (Health/Fitness Gym (Indoor))	32	
Adj prop	5,665	Cuquitas (Restaurant w shared parking)	57	
Adj prop	5,546	Ebenezeer's (Restaurant w shared parking)	56	
	50,637		298	

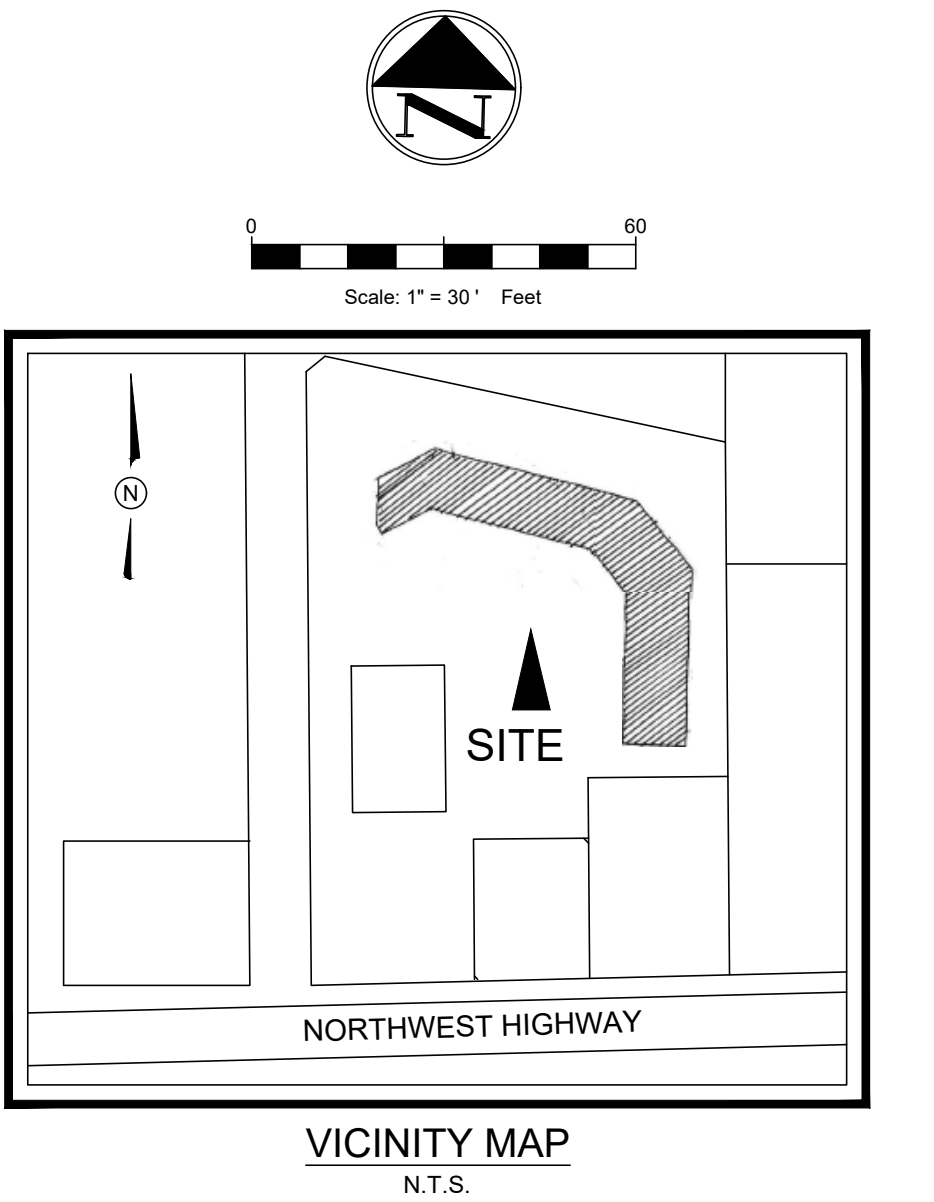
EASEMENT/SETBACK LEGEND

BUILDING SET BACK	B.S.
LANDSCAPE SETBACK	L.S.
FIRE LANE, ACCESS & UTILITY EASEMENT	F.A.U.E.
FIRE LANE, ACCESS & DRAINAGE EASEMENT	F.A.D.E.
ACCESS EASEMENT	A.E.
SIDEWALK EASEMENT	S.E.
SANITARY SEWER EASEMENT	S.S.E.
WATER EASEMENT	W.E.
ELECTRICAL EASEMENT	E.E.
UTILITY EASEMENT	U.E.
DRAINAGE & DETENTION EASEMENT	D.D.E.

LEGEND

* SOME OF THESE ELEMENTS MAY NOT BE USED ON THIS SURVEY

BOLLARD	TRAFFIC LIGHT POLE	FIRE LANE MARKER	FOUND
HANDICAP	GROUND/SPOT LIGHT	UNDERGROUND CABLE SIGN	IRON PIPE
ELECTRIC METER	POWER POLE	CATHODIC TEST LEAD	IRON ROD
GAS METER	POWER POLE W/TRANSFORMER	MONITORING WELL	NUMBER
GAS VALVE	POWER POLE W/LIGHT	IRON FLAG/PAINT MARK	PAGE
FIRE HYDRANT	POWER POLE W/CONDUIT	TOP OF CURB	RIGHT-OF-WAY
FIRE DEPARTMENT CONNECTION	METER POLE	GUTTER	SQUARE FOOT
WATER METER	SERVICE POLE	TOP OF GRATE	VOLUME
WATER VALVE	GUY ANCHOR	FLOW LINE	FILM CODE
IRRIGATION CONTROL VALVE	OVERHEAD POWER LINE	HIGH-BANK	BUILDING LINE
GRATE INLET	BARBED WIRE FENCE	SANITARY SEWER	UTILITY EASEMENT
GRATE INLET	WROUGHT IRON FENCE	STORM SEWER	TREE/SHRUB
MANHOLE	WOOD FENCE	CORRUGATED METAL PIPE	CONTROLLING MONUMENT
CLEANOUT	CHAINLINK FENCE	CORRUGATED PLASTIC PIPE	1/2-INCH CARBED REBAR
TELEPHONE PEDESTAL	GATE POST	REINFORCED CONCRETE PIPE	STAMPED "MONROSE" SET
CABLE PEDESTAL	POR PLANE	TELEPHONE	RECORD RECORD, COLLIN COUNTY, TEXAS
ELECTRIC BOX	APPROX.	SOUTHWESTERN BELL TELEPHONE CO.	PLAT RECORD, COLLIN COUNTY, TEXAS
TRAFFIC SIGNAL BOX	HIGH-BANK	WATER	OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS
LIGHT POLE	SIGN	UNDERGROUND	



SITE GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE CITY OR LOCAL JURISDICTION STANDARDS.
- THE LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS IS TAKEN FROM AS-BUILTS, UTILITY PLANS OR SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND UTILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND UTILITIES. IF EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.
- WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES OR SERVICE LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS. AT HIS OWN COST AND EXPENSE, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS WITH UTILITIES.
- ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U.S. DEPARTMENT OF LABOR, OSHA, CONSTRUCTION SAFETY AND HEALTH REGULATIONS AND ANY AMENDMENTS THERETO.
- THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH BACKFILL, SIDE SLOPES, FENCES, DRAINAGE DITCHES, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS.
- ANY CHANGES NEEDED AFTER CONSTRUCTION PLANS HAVE BEEN RELEASED, SHALL BE APPROVED BY THE CITY ENGINEER. THESE CHANGES MUST BE RECEIVED IN WRITING.
- THE CONTRACTOR SHALL PROVIDE "RED LINED" MARKED PRINTS TO THE ENGINEER PRIOR TO FINAL INSPECTION INDICATING ALL CONSTRUCTION WHICH DEVIATED FROM THE PLANS OR WAS CONSTRUCTED IN ADDITION TO THAT INDICATED ON THE PLANS.
- ALL CURB RADIUS TO BE 10' OR 2' UNLESS OTHERWISE NOTED ON THE SITE PLAN.

SITE LEGEND

CONCRETE CURB	STRIPING	
PARKING SPACES	MONUMENT SIGN	
HANDICAP LOGO	RAMP	
BOLLARD	TRAFFIC ARROW	
MENU BOARD		
SANITARY SEWER MANHOLE	SANITARY SEWER CLEANOUT	
SANITARY SEWER DOUBLE CLEANOUT	GREASE TRAP	
DOMESTIC WATER METER	IRRIGATION METER	
WHEEL STOPS	HANDICAP SIGN	

PROJECT CONTACT LIST

OWNER/DEVELOPER ARC HOLDINGS, LLC 3615 SUMMIT PLAZA DR. BELLEVUE, NE 68123 CONTACT: ADAM L. COCKERILL TEL: (402)-319-7848	ARCHITECT K WARMAN ARCHITECTURE+DESIGN 1785 SWIFT STREET NORTH KANSAS CITY, MO 64116 CONTACT: KATHLEEN A. WARMAN TEL: (816)-474-2233 EMAIL: KATHY@KWARMAN.COM
CIVIL ENGINEER TRIANGLE ENGINEERING LLC 1784 W. MCDERMOTT DRIVE, SUITE 110 ALLEN, TX 75013 CONTACT: ANDREW YEOH TEL: (469)-213-2804 EMAIL: AYEOH@TRIANGLE-ENGR.COM	SURVEYOR WINDROSE LAND SURVEYING/PLATING 1955 LAKEWAY DRIVE, SUITE 220 LEWISVILLE, TX 75057 CONTACT: GRAYSON CEBALLOS TEL: (214)-217-2544 EMAIL: GRAYSON.CEBALLOS@WINDROSESERVICES.COM



NO.	DATE	DESCRIPTION	BY
1	12-09-21	1st SITE PLAN	AY
2			
3			
4			
5			
6			
7			
8			
9			
10			

CASE # 230907-1

SITE PLAN
 TOWNGATE PLAZA
 1901 NORTHWEST HIGHWAY
 CITY OF GARLAND
 DALLAS COUNTY, TEXAS 75041
 TRIANGLE SUBDIVISION LOT 1, BLOCK A

TRIANGLE ENGINEERING LLC
 T: 469.331.8566 | F: 469.213.7145 | E: info@triangle-engr.com
 W: triangle-engr.com | O: 1784 McDermott Drive, Suite 110, Allen, TX 75013

Planning	Civil Engineering	Construction Management
P.E. DES. DATE SCALE PROJECT NO. SHEET NO.		
AY MHY 12-09-21 SCALE BAR 135-21		

TX. P.E. FIRM #11525 **C-3.0**

Z 23-40



View of the subject site looking North from Northwest Highway



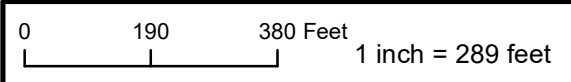
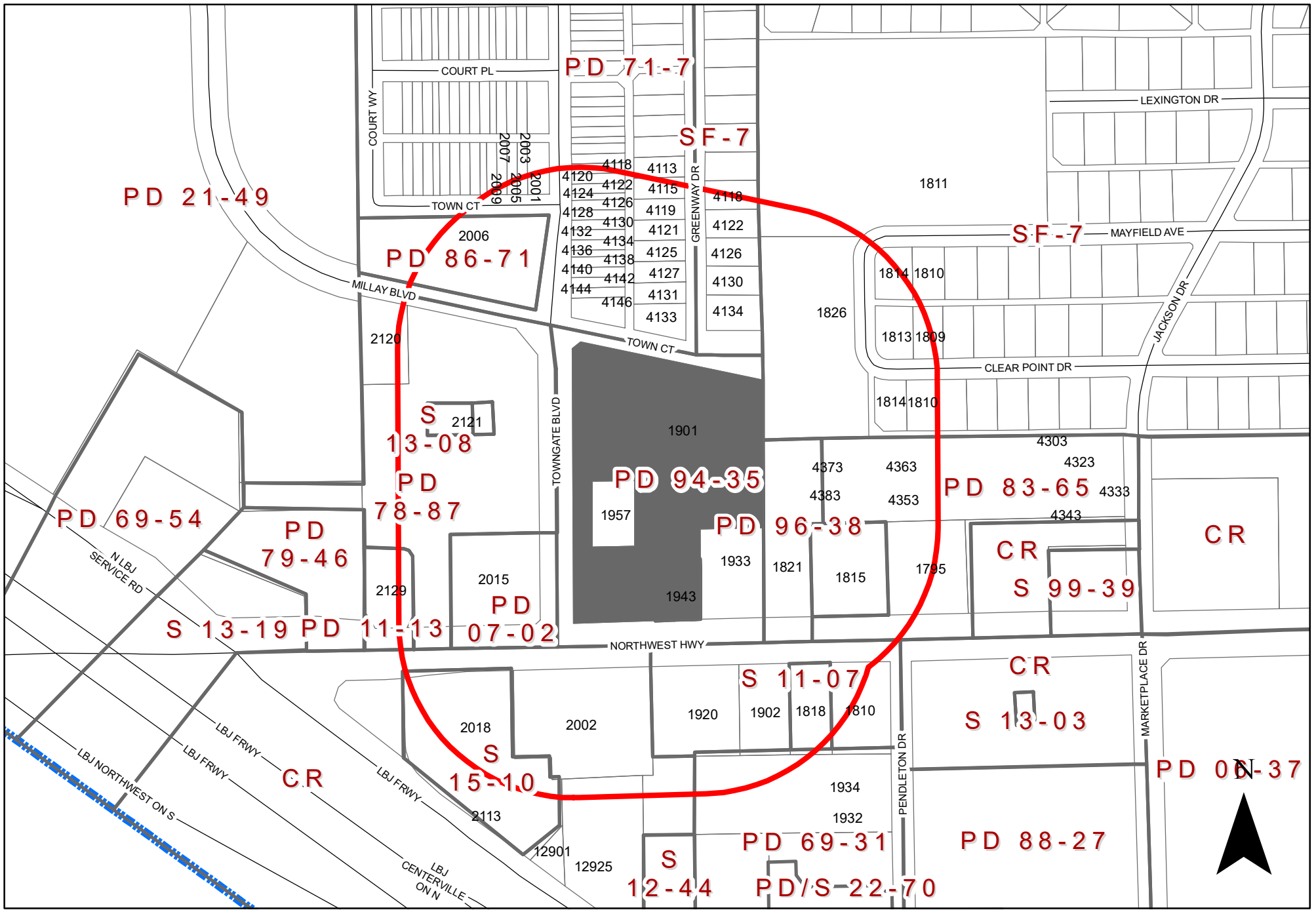
View from the subject site looking South across Northwest Highway



View from the subject site looking West down Northwest Highway



View from the subject site looking East down Northwest Highway



ZONING MAP Z 23-40

 INDICATES AREA OF REQUEST
  INDICATES NOTIFICATION AREA

1901 Northwest Highway

To date we have not received any responses for this case.



GARLAND

Plan Commission

3. b.

Meeting Date: 11/20/2023

Item Title: Z 23-46 City of Garland (District 1)

Summary:

Consideration of the application of **City of Garland**, requesting approval of an amendment to Planned Development (PD) District 20-17 regarding removing the Detail Plan requirement for Data Center Uses, when a Data Center is allowed by right and meets applicable requirements. This area is generally located northeast of President George Bush Turnpike, west of Holford Road, and south of the city limits line. (District 1) (File Z 23-46)

Attachments

Z 23-46 City of Garland (District 1)

Z 23-46 City of Garland Responses

Planning Report



File No: Z 23-46/District 1

Agenda Item:

Meeting: Plan Commission

Date: November 20, 2023

REQUEST

Approval of an amendment to Planned Development (PD) District 20-17 regarding a Detail Plan requirement for Data Center Uses.

LOCATION

Generally northeast of President George Bush Turnpike, west of Holford Road, and south of the city limits line.

APPLICANT

City of Garland

OWNER

Multiple Owners

BACKGROUND

Planned Development (PD) District 20-17 allows Data Centers by right in the Employment Mixed-Use, Retail Mixed-Use, and Mixed-Use Mixed-Residential sub-districts. Several Data Centers have been constructed accordingly. Due to Data Center uses already being an allowed and anticipated use within this area, and being notable uses identified in the Economic Development Strategic Plan, it is proposed to remove the Detail Plan process, which currently requires public hearings per PD 20-17, for Data Centers only, when they are already allowed by right and meet all technical requirements of the City of Garland.

SITE DATA

The subject property has an area of 300 acres with frontage along President George Bush Turnpike, Telecom Parkway, Lookout Drive, and Campbell Road.

USE OF PROPERTY UNDER CURRENT ZONING

The subject property is zoned Planned Development (PD) District 20-17 for Mixed Uses. The Planned Development includes its own controlling uses and development standards as well as conceptual plan. As mentioned above, Data Centers are allowed by right per PD 20-17 in the Employment Mixed-Use, Retail Mixed-Use, and Mixed-Use Mixed-Residential subdistricts.

CONSIDERATIONS

1. Proposed is to remove the Detail Plan process, which currently requires public hearings per PD 20-17, for Data Centers only, when they are already allowed by right and meet all technical requirements of the City of Garland.
2. If approved, Data Centers will still be required to submit any and all necessary permits and construction plans and meet all applicable regulations of Planned Development (PD) District 20-17 and the Garland Development Code.

COMPREHENSIVE PLAN

The Future Land Use Map for the Envision Garland 2030 Comprehensive Plan identifies this area as Business Center.

Business centers provide a cluster of business offices and/or low impact industry, including campus-type development, that cumulatively employ large numbers of people. Operations within this development type occur internal to buildings resulting in minimal negative impacts (sound, air, traffic, outdoor lighting, storage, etc.) and are compatible with adjacent development types in architecture, character, scale, and intensity

ECONOMIC DEVELOPMENT STRATEGIC PLAN

Per the adopted Economic Development Strategic Plan, data centers generate the most revenue per acre by building type.

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

The PD 20-17 has been implemented with multiple projects following its establishment in 2015 with its preceding PD 17-35 and PD 15-20. Newer development in the Planned Development includes a mix of employment, public and private electrical facilities, data centers, offices, retail/entertainment, and a variety of residential projects.

STAFF RECOMMENDATION

Approval of an amendment to Planned Development (PD) District 20-17 regarding a Detail Plan process for Data Center Uses.

ADDITIONAL INFORMATION

- i. Location Map
- ii. PD Conditions
- iii. Exhibits
- iv. Photos

CITY COUNCIL DATE: December 12, 2023


PREPARED BY:

Will Guerin, AICP
Director of Planning
Planning & Development
972-205-2449
wguerin@garlandtx.gov



0 510 1,020 Feet
1 inch = 802 feet

ZONING MAP Z 23-46

 INDICATES AREA OF REQUEST

President George Bush Highway / Holford Road

EXHIBIT B

PLANNED DEVELOPMENT CONDITIONS

ZONING FILE 23-46

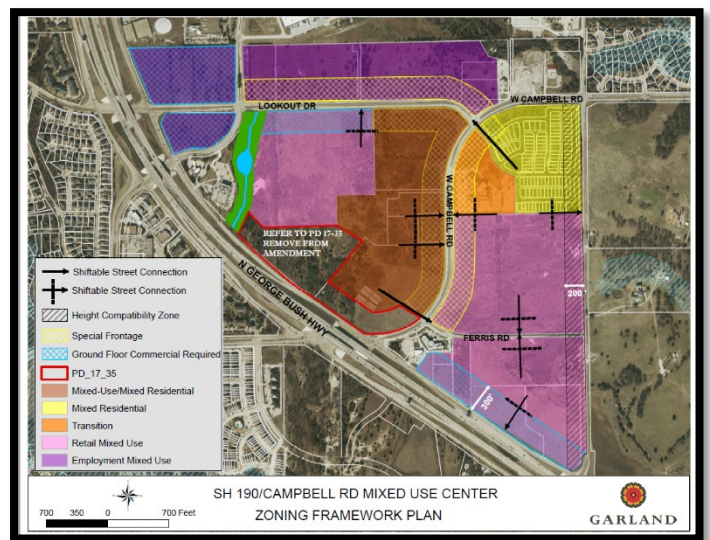
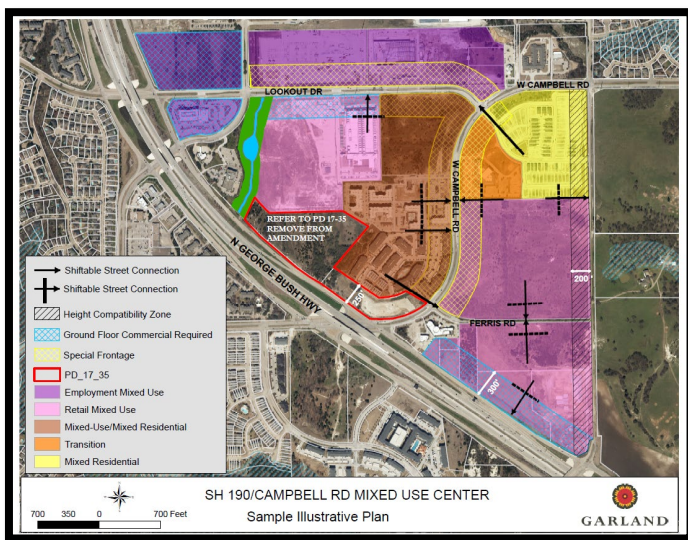
**Northeast of PGBT/SH 190, west of Holford Road, and south
of the City Limits line**

- I. Statement of Purpose:** The purpose of this Planned Development District amendment is to exempt Data Centers from a Detail Plan requirement, provided the use is permitted by right and all other applicable requirements are regulations are met.
- II. Statement of Effect:** This Planned Development District shall not affect any regulation found in the Garland Development Code (GDC), Ordinance No. 6773, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. General Regulations:** All regulations in Ordinance 6773 Garland Development Code (GDC), are included by reference and shall apply, except as otherwise specified by this ordinance.
- V. Specific Regulations:**
- A. Regulating Plan: All uses, conditions, processes and standards shall be as provided within Exhibit C.

City of Garland

SH 190/Campbell Mixed Use Center Planned Development District

June 8, 2015 -- Z 15-20
 AMENDED September 19, 2017 -- Z 17-35
 AMENDED September 1, 2020 -- Z 20-17



Created for



GARLAND

TEXAS MADE HERE

By:

GATEWAYPLANNING
 A VIALTA GROUP PARTNER

UPDATES BY CITY OF GARLAND, AS INDICATED ABOVE

EXHIBIT C

City of Garland SH 190/Campbell Mixed Use Center Planned Development District

Table of Contents

- I. Purpose and Intent
- II. Applicability
- III. SH 190/Campbell MUC-PD District Structure
- IV. Administration
- V. Schedule of Uses
- VI. Development Standards
 - A. General to all sites
 - B. Performance and Design Standards
 - C. Site Development Standards
- VII. Definitions

Appendices:

- A. Zoning Framework Plan
- B. Sample Illustrative Plans
- C. SH 190/Campbell MUC-PD District Structure and Review Process Flow Chart
- D. Street Design Standards and Typical Cross Sections

SH 190/Campbell Mixed Use Center Planned Development District

I. Purpose and Intent

The purpose and intent of the SH 190/Campbell Mixed Use Center Planned Development District (here after known as “MUC-PD”) is to implement the City’s vision for a vibrant and sustainable approach to the development of SH 190 Corridor and to encourage the continuation of the Telecom Corridor® through Garland by becoming a center for major employment office, technology, healthcare and support services, while encouraging, where feasible, a mix of complementary uses including housing, retail, offices, commercial services, and civic uses, supporting long term attractiveness for both employment uses and neighborhood uses. Specifically, the MUC-PD is intended to:

- A. Create short-term development momentum while allowing for long-term market opportunities for larger-scale employment uses;
- B. Establish a high level of development standards to create development of exemplary and enduring quality that fits into the City’s vision including Envision Garland 2030 as amended;
- C. Encourage the development of vertical and horizontal mixed-use areas that are safe, comfortable and attractive to pedestrians while protecting significant environmentally sensitive areas;
- D. Provide flexibility on the site and with design of new development to anticipate changes in the marketplace while establishing human-scaled buildings;
- E. Leverage the frontage and access to SH 190 and other regional corridors while preserving environmentally significant areas as “features” and not constraints, encouraging destination retail and other uses along the SH 190 Corridor with adjacent transitions to sustainable mixed use development patterns so that destination uses directly along the corridor are accessible internally by walking, cycling and driving;
- F. Create a variety of connected community gathering places and passive open spaces with trails to make walking and biking easy from one place to another and connect to off-site trails;
- G. Include a range of residential options that reflect changing lifestyles considering both market demand and City preferences;
- H. Provide appropriate transitions to protect adjacent neighborhoods and to promote sustained value;
- I. Encourage efficient uses of land; and
- J. Utilize existing and future transportation and parking assets efficiently in order to optimize both auto traffic on surrounding streets and on-site parking demand through design strategies and policy incentives that support use of multiple modes of transportation.

II. Applicability

- A. The MUC-PD District (this Code) applies to the property shown as the PD 15-20 on the Zoning Map and the boundaries are as established in the Zoning Framework Plan in Appendix A.
- B. The provisions of the MUC-PD District (this Code), when in conflict, shall take precedence over those in the Garland Development Code (GDC) as amended except as noted herein. Development standards not addressed in this Code shall be governed by the GDC to the extent they are not in conflict with the intent of the MUC-PD District standards.

III. SH 190/Campbell MUC-PD District Structure

- A. MUC-PD District Structure: The following plans establish the structure within which the details of the PD District are calibrated to a specific Detail Plan (DP) at the time of development. The Sample Illustrative Plans (Appendix B) are included to provide an overall guidance on the desired pattern and character of development envisioned under this code while the Zoning Framework Plan (Appendix A) establishes the major street network and character zone allocations within the PD District.
1. Sample Illustrative Plans – are plans generated for different areas of the MUC-PD District that provide guidance on the intended character and layout of development based on the context and vision for the different character zones. These are to be used as prototypical development scenarios that would form the ultimate Detail Plan by the individual developers/property owners. The Sample Illustrative Plans illustrate important principles of planning a mixed use, walkable neighborhood.
 2. Zoning Framework Plan – is the plan that is adopted at the time of creation of this PD and associated rezoning and establishes the different Character Zones and the major street network envisioned for MUC-PD District. Using the Zoning Framework Plan (ZFP) (Appendix A) and this Code, an applicant shall specify certain details of the development and may refine ZFP elements at the time of DP per the criteria established in this Code.

Five (5) Character Zones are established within the MUC-PD, each of which implements specific aspects of the vision for a regional mixed use destination with significant employment and residential uses. Prior to any new development within these areas, a Detail Plan (DP) consistent with the adopted ZFP (Appendix A) and this PD shall be developed by the applicant/property owner or developer. **However, However, Data Centers, where permitted by right, are not required to submit a Detail Plan and may proceed to Site Permit and Building Permit review, provided all applicable zoning and technical requirements are met.**

- i. Employment Mixed Use Zone (EMU): This is the Character Zone the area adjacent to the SH 190 frontage and along Lookout Drive. This zone is appropriate for the long-term development of large-scale regional employment and office uses due to its proximity to the Telecom Corridor®. The direct access to regional roadways including SH 190 offers adequate capacity for such an employment hub. The major roadway frontages along SH 190, Lookout Drive, and Telecom Parkway are not appropriate for ground floor residential uses. The vision for this zone is mid-to high-rise office buildings with structured parking.
- ii. Retail Mixed Use Zone (RMU): This is the area adjacent to SH 190 with access conducive to destination and regional retail uses. This area shall contain design and development standards that allow for retail and office uses; but that also encourage connections and transitional uses with the adjacent development.
- iii. Mixed Use-Mixed Residential Zone (MU-MR): This area is the core mixed use development opportunity for the area, linking the other areas together and encouraging development standards and uses that create a variety of higher

density residential types as well as office and retail uses that do not require visibility from SH 190, but in a walkable development context.

- iv. Transition Zone (T): This area is located to provide opportunities for residential and neighborhood serving smaller scale professional office and retail within a design context that respects the scale of the adjacent Mixed Residential Zone (MR).
 - v. Mixed Residential Zone (MR): This area is primarily residential in character and intended to provide a transition to the single family neighborhoods to the northeast. This area shall provide a variety of lower density attached and detached housing types within a walkable context including integrated small open spaces.
3. Detail Plan – A Detail Plan shall establish the exact location of Character Zones, land uses and open spaces, blocks, lots, building and street layout, treatment of transition areas to adjacent uses and any other appropriate information required by this PD. The Detail Plan shall illustrate the design direction of the site with dimensional standards that provide substantial certainty about the development outcomes, intensity, and phasing of the proposed development. It shall be created and submitted by the applicant/developer prior to any new development within the MUC- PD in conformance with DP applications as established in Section IV.B.2. of this Code. A Detail Plan shall meet the standards established in the Zoning Framework Plan and this PD and shall be developed for a minimum acreage even if the actual development is phased.
- i. Minimum Acreage Required: The minimum acreage required for any initial Detail Plan shall be no smaller than any one of the following: (1) all the contiguous property under one single ownership; or (2) all property under one Character Zone as established in the adopted Zoning Framework Plan; or (3) all property circumscribed by any proposed new or existing streets per the Zoning Framework Plan.
 - ii. Amendments to Approved Detail Plans: After the initial Master Detail Plan approval, subsequent amendments to approved DPs shall include the entire area of the initial Detail Plan approval regardless of the standards in III.A.3.i. above.

Detail Plans also include the lot and building(s) level plans and shall be required for individual lots and/or buildings subject to Public Hearing by Planning Commission and City Council approval for all development, **with the exception of Data Centers in accordance with Section III (2)**, prior to Site Permit and Building Permit review. The approval process for DPs shall be based on the process established for DP applications in Section IV.B.3 of this PD and as outlined within Section 2.12 of the GDC.

IV. Administration

- A. General: No building or structure may be erected or moved unless in conformity with this MUC-PD.
- B. Authority for Approval (See Appendix C for a flow chart illustrating the Application Process):
 - 1. Zoning Framework Plans [a Zone Change to this PD's established Character Area zoning districts (a Zone Change may include a Detail Plan in conjunction with the Zoning Framework Plan)]: may only be approved by City Council after recommendation by the Plan Commission. The process for Zoning Change applications in Chapter 2, Article 2, Division 1 of the GDC shall be followed. Modifications to adopted ZFPs may also be processed in conjunction with DP applications per IV.B.2 below.

2. Detail Plan Applications.
 - i. May only be approved by City Council after recommendation by the Plan Commission.
 - a. The process shall follow the process Section 2.12 of the GDC. In considering Detail Plan Applications, the Plan Commission and the City Council may use any of the following criteria:
 - 1) The extent to which the proposed modifications to street layout and/or character zones impact adjoining properties with respect to continuity and adjacency predictability;
 - 2) The overall purpose and intent of the regional Mixed Use Center;
 - 3) The extent to which the proposal fits the adjoining design context by providing appropriate building scale and use transitions;
 - 4) The extent to which the proposal provides public benefits such as usable civic and open spaces, livable streets, affordable housing, structured and/or shared parking, and linkages to transit; and
 - 5) The extent to which the proposal does not hinder future opportunities for higher intensity development.
 - 6) The extent to which the proposed application impacts adjoining properties with respect to continuity and adjacency predictability;
 - 7) The extent to which the application meets the overall purpose and intent of the regional Mixed Use Center;
 - 8) The extent to which the proposal fits the adjoining design context by providing appropriate building scale and use transitions;
 - 9) The extent to which the application provides public benefits such as usable civic and open spaces, livable streets, affordable housing, structured and/or shared parking, and linkages to transit; and
 - 10) The extent to which the application does not hinder future opportunities for higher intensity development.

C. Detail Plan Requirements:

1. The Detail Plan is intended to illustrate the building and block level development pattern of the MUC-PD District consistent with the purpose and intent of the Section and establish the detailed standards and rules for any new development within the MUC-PD District and the corresponding Character Zones.
2. The applicant shall submit a Detail Plan for the minimum acreage as established in Section III.A.3.i.
 - i. Each Detail Plan application shall:
 - a. demonstrate compliance with this PD's purpose, intent, and development standards;
 - b. include exhibits meeting all the informational requirements for under Section 2.11 of the GDC, and meeting the standards of this PD and adopted ZFP including:
 - 1) Delineation of the Character Zones per the adopted ZFP (including any modifications to adopted ZFP elements);
 - 2) The layout of proposed blocks, major and minor streets, bikeways,

- sidewalks, and trails;
- 3) the location and acreage of open space areas and whether each will be privately owned, a common area for residents only or dedicated to public use;
- 4) Type “A” and “B” Development Frontage designations based on the standards in this PD.
- 5) A conceptual level plan for the accommodation of stormwater drainage and detention and other major water and sewer infrastructure elements for the overall area included in the Detail Plan;
- 6) The location and area of retail, office, industrial, residential, civic, and open space uses;
- 7) The approximate shape, size, and placement of buildings;
- 8) The general parking location relative to streets and buildings and approximate parking count, with indication of parking lot landscape areas; and
- 9) Any minor modifications to adopted ZFP elements per Table 4-1 below.

Table 4-1: Minor Modifications Table		
Framework Plan Element	Extent of Minor Modification Permitted	Criteria
a. Area/boundary of a Character Zone	Area/boundary of a specific Character Zone may be adjusted no more or less than 30%.	<ul style="list-style-type: none"> i. Shall not eliminate any character zone ii. Modified area shall be contiguous with the corresponding character zone that is changed iii. Boundary modifications may be due to physical constraints on the property, or shifting of internal roadways or to better align with ownership boundaries.
b. Location of any Required Street	Location may be shifted no more than 150' in any direction	<ul style="list-style-type: none"> i. Shall maintain the connectivity intended by the Framework Plan ii. Shall maintain the continuation and/or connectivity with any existing streets or driveways where possible
c. Area of any Required Civic/Open Space	May be reduced by no more than 25%	<ul style="list-style-type: none"> i. Shall maintain the frontages required by the Framework Plan ii. Area may be adjusted to accommodate shifting of any new Required Streets or any required easements only

- c. Include a Street Classification Master Plan with associated with cross-sections and street classifications for the proposed Detail Plan area (or for each phase, if it is to be developed in phases) specifying right-of-way width, minimum pavement width, on-street parking, approximate location of street trees, bikeways and sidewalks (Appendix D, Institute of Transportation Engineers’ Designing Walkable Urban Thoroughfares manual or NACTO’s Urban Street Design Guide shall be used to guide the development of the proposed cross sections in lieu of the street standards in the GDC. See Definitions for complete citation).
- d. Include a report in the form of text, statistical information, tables, guidelines, and graphics that includes:

- 1) a statement of the purpose and intent of the proposed development consistent with the vision and ZFP for the MUC-PD District and its Character Zones;

- 2) a description of the mix of land uses and the factors which ensure compatibility both within the development site, with adjacent land uses, and compliance with the recommendations of all the adopted elements of the Comprehensive Plan;
- 3) any special standards for signage in the form of a Master Sign Plan application that provides a design palette addressing the location, size, type, lighting, colors, and materials for all signage in the proposed development unless meeting the Sign Regulations in Chapter 4, Article 5 of the GDC;
- 4) statistical information including:
 - a) gross acreage of the site, and net acreage of the site excluding jurisdictional wetlands, regulatory floodplains, and slopes over 20%;
 - b) the amount of land devoted to open space, both in acres and as a percentage of the gross acreage of the site;
 - c) the amount of land devoted to retail, office, industrial, residential, and civic uses;
 - d) a plan for pedestrian, bicycle, and vehicular circulation describing the general design capacity of the system as well as access points to any regional trail system;
 - e) a daily and peak hour trip generation and directional distribution report by use unless the Director of Transportation finds that the traffic to be generated by the proposed development does not warrant the preparation and submission of a study;
 - f) the maximum allowable building coverage and height; and
 - g) the minimum and maximum building setbacks.
- e. Development standards for the proposed development that meet Section VI.B of this PD and specifying standards for all the “flexible” elements by each Character Zone within the specific Detail Plan area in the form of a table (see Table 6-3 in Section VI for criteria and format);
- f. Compliance with frontage and housing mix and type standards in Section VI.A.4 for the specific Character Zones and locations to be included with the DP;
- g. Building design and general architectural design standards that meet Sections VI.A.8 and VI.A.9 of this PD for the proposed development specifying general materials and configurations permitted for facades, roofs, and openings;
- h. A landscape plan that includes the design direction and general for streetscapes and public/open spaces types; and
- i. A non-binding schedule for the entire development (or for each phase, if it is to be developed by phases), which shall show generally how the applicant will complete the project containing the following information:
 - 1) The proposed order of construction by section delineated on the Detail Plan;
 - 2) The proposed schedule for construction of improvements to open space areas; and

- 3) The proposed schedule for the installation of required public streets, utilities improvements and the dedication of public rights-of-way and/or easements.

D. Additional Requirements for Detail Plans and Minor Amendments to Approved Detail Plans:

1. Detail Plan Requirements: A Detail Plan shall be required for all development. Detail Plans within the MUC-PD District shall meet the submittal requirements for Detail Plans established under the Section 2.12 of the GDC. Additional information that adequately illustrates the detail plan's compliance with this PD and the applicable Detail Plan shall also be required. The process for approval of Detail Plans is established in Section IV.B.3 of this PD and within Chapter 2, Article 2, Division 2 of the GDC.
2. The Director of Planning may approve minor changes to a previously approved Detail Plans with the applicant's written justification for such changes. Any significant changes to and deviations from approved Detail Plans shall be regarded as an amendment to that particular plan and may be reviewed by the Director of Planning and processed per the standards established in this PD. The Director of Planning shall make the determination as to whether a proposed change is minor or significant, based upon consideration of the following facts:
 - i. whether the proposed change substantially alters the arrangement of component zones, buildings or changes the use of building space designated on the original plan;
 - ii. whether there is an increase of greater than 10% in the number of residential dwelling units beyond the threshold established in the approved DP;
 - iii. whether the proposed change substantially alters vehicular circulation or the placement/ arrangement of parking areas; or
 - iv. whether the proposed change will reduce or lessen the effectiveness of open space, landscape buffers, and edges.

V. Schedule of Uses

- A. No permit may be issued for a use that is not allowed by this MUC-PD.
- B. Use Categories: In order to regulate use, categories of uses have been established. Use categories provide a systematic basis for assigning land uses to appropriate categories with other, similar uses. Use categories classify land uses and activities based on common functional, product, or physical characteristics. Characteristics include the type and amount of activity, the hours of operation, the type of customers or residents, how goods or services are sold or delivered, likely impact on surrounding properties, and site conditions.
- C. Principal Uses: Allowed principal uses by MUC-PD District and Character Zones are listed in Table 5.1 Permitted Use Table. Principal uses are grouped into categories of uses (see Definitions for description of land use categories). The example uses listed are not an exhaustive list. The Director of Planning has the responsibility for categorizing all uses.
- D. Accessory Uses: The following standards shall apply to Accessory Uses:
 1. Unless otherwise expressly stated, accessory uses are permitted in conjunction with allowed principal uses. Accessory uses shall be accessory and customarily incidental and subordinate to a permitted principal use.

2. No accessory use may be established on a site prior to the establishment of a permitted principal use.
 3. The Director of Planning is authorized to determine when a structure or use meets the definition of an accessory use. In order to classify a structure or use as accessory, the Director of Planning must determine that the use:
 - i. Is subordinate to the principal use in terms of area, extent and purpose;
 - ii. Contributes to the comfort, convenience or necessity of occupants of the principal use served;
 - iii. Is located on the same lot as the principal structure or use, or on a contiguous lot in the same ownership;
 - iv. Does not involve operations not in keeping with the character of the principal use served; and
 - v. Is not of a nature likely to attract visitors in larger numbers than would normally be expected for the principal structure or use.
 4. Home Occupations: Standards in Section 2.61 of the GDC shall apply.
 5. Live-Work Uses and Structures: Live-Work uses and structures are permitted per Section V of this PD. A live-work structure is a mixed use building type with a dwelling unit that is also used for work purposes, provided that the 'work' component is (1) restricted to the uses of professional office, personal service, cottage industrial, artist's workshop, studio, or other similar uses, (2) is located on the street level and ground floors constructed to Commercial Ready standards, and (3) is constructed as separate units under a condominium regime or as a single unit. The 'live' component may be located on the street level (adjacent to the work component) or any other level of the building. Live-work dwelling is distinguished from a home occupation otherwise defined by this Section in that the "work" component is not required to be incidental and secondary to the "live" component. The business owner or a full-time employee may reside in the residential unit associated with the commercial use.
- E. Accessory Structures: All accessory structures shall be clearly subordinate to the principal structure on the lot. All accessory structures shall meet the applicable principal structure standards per the Character Zone unless alternative standards are proposed by the applicant and adopted as part of the DP approval.

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Table 5-1 Schedule of Uses

	EMU – Employment Mixed Use	RMU – Retail Mixed Use	MU-MR – Mixed Use – Mixed Residential	T – Transition	MR – Mixed Residential	Cross-Reference(s) for Special Standards
AGRICULTURE USES						
Farm, Ranch, Orchard						-
Feed Store						-
Stable, Commercial						-
Stable, Private						-
Stockyards, Livestock Auction, Livestock Hauling						-
RESIDENTIAL USES						
Accessory Dwellings:	-	-	-	-	-	-
Dwelling, Accessory – Guard/Manager/Caretaker					P	Sec. 2.58
Dwelling, Accessory – Guest House					P	Sec. 2.58
Dwelling, Accessory – Rental Unit					P	Sec. 2.58
Congregate Adult Living Facilities:	-	-	-	-	-	-
Rehabilitation Facility, In Home/Residential		S	S	S	S	-
Rehabilitation Facility, Institutionalized						-
Elder Care Facilities:	-	-	-	-	-	-
Elder Care – Assisted Living	S	S	S	S		Sec. 2.52(A)12
Elder Care – Continuing Care (combination)	S	S	S	S		Sec. 2.52(A)12

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	EMU – Employment Mixed Use	RMU - Retail Mixed Use	MU-MR - Mixed Use – Mixed Residential	T - Transition	MR – Mixed Residential	Cross-Reference(s) for Special Standards
Elder Care – Independent Living			P		p*	Sec. 2.52(A)12 P* = Permitted in duplex, triplex, quadplex, and single-family (attached and detached) building types only
Elder Care – Nursing/Convalescent Care	S	S	S	S		Sec. 2.52(A)12
Household Living Units:	-	-	-	-	-	-
Dwelling, Two-Family (duplex)			P	P	P	Sec. 2.38
Dwelling, Industrialized Housing Unit						Sec. 2.36
Dwelling, Manufactured/HUD-Code Home						-
Dwelling, Mobile Home						-
Dwelling, Multi-Family			P			Sec. 2.39 (see exception below) The GDC requirement for 2 swimming pools for MF Developments over 250 units may be reduced to 1 swimming pool in addition to any reduction of required Clubhouse area with the Planning Director’s approval through the Detail Plan process.
Dwelling, Live/Work	P	P	P	P		-
Dwelling, Single-Family Detached			P*		P*	Sec. 2.36 P* implies Section VI.A.4.i and Section VI.A.4.ii applies P implies only Section VI.A.4.i applies

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	EMU – Employment Mixed Use	RMU - Retail Mixed Use	MU-MR - Mixed Use – Mixed Residential	T - Transition	MR – Mixed Residential	Cross-Reference(s) for Special Standards
Dwelling, Single-Family Attached (Townhouse)		P	P	P	P	Sec. 2.37
Manufactured/Mobile Home Park or Subdivision						-
ACCESSORY & TEMPORARY USES						
Accessory Structure			P	P	P	Sec. 2.58
Convenience Facilities:	-	-	-	-	-	-
Drive-Through Service		S				Sec. 4.20 Standards in Section 7 of this PD also apply
Walk-Up Service	P	P	P	P		-
Fuel Pumps, Retail		S				Sec. 2.52(A)3 Standards in Section 7 of this PD also apply
Kiosks, Self-Service:	-	-	-	-	-	-
Automated Teller Machine (ATM) – Drive-Up	P	P	S	S		Sec. 2.52(A)7, Sec. 4.20
Automated Teller Machine (ATM) – Walk-Up	P	P	P	P		Sec. 2.52(A)7
Retail (ice, water, etc.)		S				Sec. 2.52(A)7, Sec. 4.20
Recycled Materials Collection						
Outside Display, New Materials		S				Sec. 2.52(A)14
Outside Display, Used Materials						
Outside Storage, New Materials		S				Sec. 2.52(A)14
Outside Storage, Used Materials						
Outside Storage Unit, Portable (POD)						
Seasonal Sales	*	*	*	*		Art. VIII, Ch. 30, City Code

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	EMU – Employment Mixed Use	RMU - Retail Mixed Use	MU-MR - Mixed Use – Mixed Residential	T - Transition	MR – Mixed Residential	Cross-Reference(s) for Special Standards
Shelter Tent						-
Shipping Container						Sec. 2.52(A)15, Art. XII, Ch. 30, City Code
Temporary Building/Office (field office, construction office, subdivision sales office, etc.)	*	*	*	*	*	Sec. 2.52(A)19
INSTITUTIONAL AND EDUCATIONAL						
College or University	P	P				-
Convention Facility	P	S	S			-
Day Care Facilities:	-	-	-	-	-	-
Day Care Center, Adult	S	P	S	S	S	Sec. 2.52(A)13
Day Care, Youth – Licensed Child-Care Center	P	P	S	S	S	Sec. 2.52(A)2
Day Care, Youth – Registered Child-Care Home			S	S	S	Sec. 2.61
Church or Place of Worship	P	P	P	P	P	-
Learning Center, Specialized	P	P	S	S		-
School, Business	P	P	P			-
School, Retail/Personal Services Training	P	P	P			-
School, Trade						-
School, Private, Religious or Charter			S	S	S	-
School, Public			P	P	P	-
Charitable Boarding						-
Garden, Charitable						-
Garden, Civic			P	P	P	-

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	EMU – Employment Mixed Use	RMU - Retail Mixed Use	MU-MR – Mixed Use – Mixed Residential	T - Transition	MR – Mixed Residential	Cross-Reference(s) for Special Standards
GOVERNMENT & HUMAN SERVICES USES						
Post Office	P	P	P	P		-
Social Service Facility/Agency		P	P	P		-
MEDICAL & HEALTH SERVICES USES						
Cemetery						
Hospital	S	S			-	
Medical and Dental Office/Clinic	P	P	P	P	-	-
Mortuary/Funeral Home						
RECREATIONAL, SOCIAL AND ENTERTAINMENT USES						
Athletic Events Facility, Indoor		P	P		-	-
Athletic Events Facility, Outdoor						
Athletic Field, Stadium, Arena	S	S				
Civic Club/Fraternal Lodge		P	P	S		
Commercial Amusement, Indoor		P	S			
Commercial Amusement, Outdoor						
Commercial Amusement, Indoor		P	S		-	-
Commercial Amusement, Outdoor						-
Cultural Facility	P	P	P	P		-

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	EMU – Employment Mixed Use	RMU - Retail Mixed Use	MU-MR - Mixed Use – Mixed Residential	T - Transition	MR – Mixed Residential	Cross-Reference(s) for Special Standards
Day Camp, Private						-
Dry Boat Storage						-
Equestrian Camp, Private						-
Golf Course/Country Club						-
Health & Fitness Gym (indoor)	P	P	P	P		-
Marina						-
Public Amusement, Temporary	*	*	*	*		Art. VIII, Ch. 30, City Code.
Racing Track						-
Reception Facility		S				Sec. 2.52(A)20
Recreational Vehicle Park (short-term stays only)						-
Shooting Range, Indoor						-
Shooting Range, Outdoor						-
Theater, Large Scale		P				-
Theater, Small Scale	S	P	P			-
Zoo						-
OFFICE, RETAIL & SERVICE USES						
Alternative Financial Establishment						-
Antique Shop (indoors only)		P	P	P		-
Bait Sales, Live						-
Bakery, Retail	P	P	P	P		-

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	EMU – Employment Mixed Use	RMU - Retail Mixed Use	MU-MR - Mixed Use – Mixed Residential	T - Transition	MR – Mixed Residential	Cross-Reference(s) for Special Standards
Bed and Breakfast						Sec. 2.52(A)11
Business & Media Service	P	P	P	P		-
Call Center	P	P	P			-
Commercial Blood, Plasma, Tissue and Cell Collection Center						Sec. 2.52(A)26
Convenience Store (1,000-5,000sf)	P	P	P	S		Sec. 2.52(A)1
Financial Institution	P	P	P	P		Sec. 4.20
Flea Market, Indoor						-
Flea Market, Outdoor						-
Furniture, Household Furnishings and Appliance Sales/Rental		P	P			-
Grocery/Supermarket (>5,000sf)	S	P	P			-
Home Improvement Center (>50,000sf)		S				-
Hotel/Motel, Extended Stay	S	S	S			Sec. 2.52(A)11
Hotel/Motel, Full Service	P	P	P			Sec. 2.52(A)11
Hotel/Motel, Limited Service	S	S	S			Sec. 2.52(A)11
Indoor Shopping Mall						-
Kiosk, Trailer or Mini-Structure (attended):	-	-	-	-	-	-
Retail/Service	S	P	P			Sec. 2.52(A)7, Sec. 4.20
Recycled Materials Collection						

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	EMU – Employment Mixed Use	RMU - Retail Mixed Use	MU-MR - Mixed Use – Mixed Residential	T - Transition	MR – Mixed Residential	Cross-Reference(s) for Special Standards
Landscape Nursery (retail)		S				-
Landscape Nursery/Tree Farm (wholesale)						Sec. 2.52(A)17
Laundry, Drop-Off (with drive-through or window)	S	P	S			Sec. 4.20
Laundry, Drop-Off (without drive-through or window)	P	P	P	P		-
Laundry, Self-Serve (Laundromat)						-
Office, General	P	P	P	P		-
Pawn Shop						-
Personal Services	P	P	P	P		-
Pet Store (indoors only)	P	P	P			-
Pharmacy (with drive-through or window)	S	P	S			Sec. 4.20
Pharmacy (without drive-through or window)	P	P	P	P		-
Produce Stand/Outdoor Farmers Market		P	P	S		-
Restaurant (No Drive-Through)	P	P	P	P		-
Restaurant, Drive-Through		P	S			Sec. 4.20
Retail Store	P	P	P	P		-
Sexually Oriented Business						
Smoke Shop						-
Studio, Arts/Crafts	P	P	P	P		-

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	EMU – Employment Mixed Use	RMU - Retail Mixed Use	MU-MR - Mixed Use – Mixed Residential	T - Transition	MR – Mixed Residential	Cross-Reference(s) for Special Standards
Studio, Fitness or Performing Arts	P	P	P	P		-
Tattooing/Body Piercing Establishment						Sec. 2.52(A)6
Used Goods, Retail Sales (Indoors)		S				-
COMMERCIAL USES						
Bakery, Commercial						-
Building/Garden Materials Sales & Storage (wholesale)						Sec. 2.52(A)23
Bulk Material Sales & Storage (retail or wholesale)						Sec. 2.52(A)18
Contractor’s Office/Storage Yard (outdoor storage)						Sec. 2.52(A)24
Contractor’s Office/Warehouse (indoors only)						-
Custom Products Manufacturing	P					-
Equipment Leasing/Rental, Indoor						-
Equipment Leasing/Rental, Outdoor						Sec. 2.52(A)25
Feed/Grain Mill						-
Furniture and Appliance Cleaning/Repair						-
Garden, Commercial						-
Laundry Plant, Commercial						-
Meat and Game Processing						-
Pet Care/Play Facility (indoor)	P	P	P	P		Sec. 2.52(A)9

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	EMU – Employment Mixed Use	RMU - Retail Mixed Use	MU-MR - Mixed Use – Mixed Residential	T - Transition	MR – Mixed Residential	Cross-Reference(s) for Special Standards
Pet Care/Play Facility (outdoor)						Sec. 2.52(A)9
Portable Building Sales/Leasing						-
Printing/Publishing House		S	S			-
Recording Studio/Media Production	P	P	P			-
Recycling Collection Center (no outdoor storage)						Sec. 2.52(A)8
Recycling Salvage Yard (unlimited outdoor storage)						Sec. 2.52(A)8
Self-Storage Facility (mini-warehouse)		S				Sec. 2.52(A)16
Small Engine/Lawn Equipment Rental & Repair (indoors)						-
Taxidermist						-
Vehicle Dispatch & Storage						-
Veterinary Clinic, Large Animal (outdoor pens)						-
Veterinary Clinic, Small Animal (indoors only)	P	P	P	P		-
Veterinary Clinic, Small Animal (outdoor kennels, runs)						-
MOTOR VEHICLE & RELATED USES						
Automobile Leasing/Rental						-
Automobile Repair, Major						
Automobile Repair, Minor						
Automobile Sales, New or Used						-

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	EMU – Employment Mixed Use	RMU - Retail Mixed Use	MU-MR - Mixed Use – Mixed Residential	T - Transition	MR – Mixed Residential	Cross-Reference(s) for Special Standards
Boat Sales, Leasing & Repair (outdoor storage)						
Car Wash, Automated/Rollover						
Car Wash, Full-Service/Detail		S				
Car Wash, Self-Service/Wand						
Impoundment Lot (commercial/private)						-
Motorcycle/ATV Sales, Leasing & Repair (new and used – indoors only)						-
Parking Lot or Garage, Commercial	P	P	P			-
Personal Watercraft Sales, Leasing & Repair (new and used)						-
Recreational Vehicle/Trailer Sales, Leasing & Repair						-
Salvage Yard, Automotive						-
Travel Center						-
Truck/Bus Repair						-
Truck/Bus Sales & Leasing/Rental						-
Truck/Bus Storage						-
Truck/Bus Wash						-
Wrecker/Towing Service						-
TRANSPORTATION USES						
Airport/Heliport						-

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	EMU – Employment Mixed Use	RMU - Retail Mixed Use	MU-MR - Mixed Use – Mixed Residential	T - Transition	MR – Mixed Residential	Cross-Reference(s) for Special Standards
Bus Stop	P	P	P	P		-
Helipad	S					-
Motor Freight Terminal/Railroad Switching Yard						-
Transit Station, Public	P	P	P			-
Transportation Depot, Passenger (commercial)						
Transportation Terminal, Passenger (commercial)						-
INDUSTRIAL USES						
Animal Feed Processing & Storage						-
Batching Plant						-
Batching Plant, Temporary	P	P	P	P	P	-
Data Center	P	P	P			Design standards in Section VI.A.10 shall apply
Distribution Center, Large (indoors only)						-
Distribution Center, Small (indoors only)	S					-
Food Processing & Storage						-
Gas or Petroleum Drilling or Pipeline						
Heavy Machinery Sales, Rental, Storage & Repair						-
High Risk Use						-

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	EMU – Employment Mixed Use	RMU - Retail Mixed Use	MU-MR - Mixed Use – Mixed Residential	T - Transition	MR – Mixed Residential	Cross-Reference(s) for Special Standards
Industrial or Manufacturing, Heavy						-
Industrial or Manufacturing, Light						-
Laboratory, Analytical or Research (indoor)	P					-
Leather & Allied Products Manufacturing						-
Mining/Mineral Extraction						-
Warehouse, Office/Showroom (indoors only)	S					-
UTILITY & SERVICE USES						
Antenna, Commercial	*	*	*	*	*	Div. 5, Art. 5, Ch. 2
Antenna, Private	*	*	*	*	*	Div. 5, Div. 6, Art. 5, Ch. 2
Electric Generating Plant						-
Electric Substation	S	S	S			-
Gas Regulating Station						-
Telecommunications Switching Station	S	S				-
Wind Energy Conversion System	S	S	S	S	S	Div. 7, Art. 5, Ch.2

VI. Development Standards: This section shall establish the overarching development standards for walkable, mixed-use development within the MUC-PD and all its Character Zones. Standards in this Section shall be applied during the development of a Detail Plan. Some standards apply to all the Character Zones within the MUC-PD District and other standards are specific to specific Character Zones.

A. General to the MUC-PD:

1. Intent: Standards in this PD are intended to facilitate the development of market responsive and pedestrian-friendly environments while discouraging monotonous and single use projects. To this end, design and development standards are intended to be tailored to create such an environment based on market-driven projects over a long-term development horizon. In order to provide flexibility in use and design with prescription of performance standards for specific building form outcomes, applicable development standards for each Character Zone shall be established through the Detail Plan for each proposed development.
2. Requirements for Site Development Standards by Character Zone: At the time of Detail Plan application, each applicant shall establish specific Site Development Standards for each Character Zone included in the Detail Plan area. These standards shall be based on Section VI.A and the criteria in the Site Development Standards Table 6-3 and shall be developed at the time of Detail Plan by the applicant.
3. General Layout Principles: All Detail Plans shall meet the following general principles:
 - i. Buildings and urban design shall contribute to the physical definition of Thoroughfares as Civic places.
 - ii. Development shall adequately accommodate automobiles while providing supportive design and programs/incentives to increase the use of other modes of transportation and respecting the spatial form of public areas.
 - iii. Buildings shall provide their inhabitants with a clear sense of geography and climate through energy efficient methods.
 - iv. Civic Buildings and public gathering places shall be provided as locations that reinforce community identity.
 - v. The plan should anticipate a harmonious and orderly evolution of the district based on market changes and reinvestment over time.
4. Frontage and Housing Mix Standards: In order to ensure that the PD implements the community's vision for a regional mixed use center with supporting mix of retail and mixed residential uses while providing for short term development opportunities that can be appropriately transitioned into higher intensity non-residential uses, Special Frontage and Housing Mix Standards are established in this MUC-PD District.
 - i. Frontage Standards: This section establishes the Frontage Standards for development within the primarily commercial zones of Employment Mixed Use, Retail Mixed Use, and Transition Zones and along certain street frontages as established in the ZFP.
 - a. Retail Mixed Use Zone (see Appendix A – Zoning Framework Plan for location of this requirement):
 - 1) Required Ground Floor Commercial Uses (see definition) along PGBT frontage road:
 - i. West of Campbell Road shall be within 250' deep as measured from the PGBT frontage road.
 - ii. East of Campbell Road shall be 300' deep as measured from the PGBT frontage road
 - 2) No ground floor residential permitted within the area designated for Ground Floor Commercial uses.

- 3) Upper floor residential allowed anywhere within this zone.
 - 4) No limitation on surface parking along the PGBT frontage. Along Campbell Road frontage, surface parking shall be limited to no more than one double loaded aisle of parking (parallel, angled, or head-in).
- b. Employment Mixed Use Zone (applies to the blocks on both sides of Lookout Drive west of Telecom Drive and EMU area south of Lookout Drive and east of Telecom Drive; see Appendix A – Zoning Framework Plan for location of this requirement):
- 1) Required Ground Floor Commercial Uses for the entire zone.
 - 2) No ground floor residential uses permitted.
 - 3) Upper floor residential allowed anywhere within this zone with structured parking only.
 - 4) No limitation on surface parking along the PGBT frontage. Along Lookout Road and Telecom Road frontage, surface parking shall be limited to no more than one double loaded aisle of parking (parallel, angled, or head-in).
- c. The following standards shall apply to frontages designated as “Special Frontage” along Lookout Road and Campbell Road (regardless of the specific character zone):
- 1) For ground floor commercial and commercial ready uses (w/ upper floor residential uses) the following frontage standards shall apply–
 - No more than one double loaded aisle of parking (parallel, angled, or head-in) shall be permitted between the building and the street.
 - Any such parking shall be screened along the sidewalk/street frontage to maintain a well-defined pedestrian edge with street trees and connections to building entrances.
 - Street intersections shall be anchored by building front façade design that turns the corner
 - No large parking lots at street intersections (beyond the one double-loaded aisle) and
 - Special façade design, articulation standards, 12’ min. ground floor height, shall apply (see Section VI.A.8).
 - 2) For ground floor residential uses, including SF and townhomes (attached or detached-- by no more than 5 feet) the following frontage standards shall apply (note: SF detached residential uses more than 5’ shall not be permitted with direct frontage along Campbell and Lookout Road)–
 - No off-street parking permitted between the building fronts and street along Campbell Road/Lookout Road.
 - All off-street parking in the rear (tuck-under, parking structure, or surface parking);
 - Parking shall be set behind buildings along Campbell and Lookout Roads;
 - Ground floor building height min of 12’ finished floor to finished floor;
 - No blank walls or opaque residential fences (open fences allowed - wrought iron, picket, and similar fences not taller than 3’).
 - Fronts of residential buildings to address the street (stoops, patios, porches, bay windows, doors, etc.).

- No large parking lots at street intersections (beyond the one double-loaded aisle) or anchor street intersections with building facades that turn the corner.
- Street trees and sidewalks required.
- Minimum façade design, articulation shall apply for residential building types (see Section VI.A.8).
- Landscaped and divided entry roadways into the neighborhood are permitted along Campbell and Lookout Roads

ii. Housing Mix and Type Standards: Table 6-1 establishes the different categories of Housing Types and Table 6-2 establishes the minimum mix of housing types for each Detail Plan within the predominantly residential Character Zones of Mixed Use- Mixed Residential and Mixed Residential Zones.

Table 6-1 Housing Type Standards

Category/ Common Name		Lot Widths (min. – max.)	Garage or Primary Parking Location
Category 1	Type 1A	70' +	Any
	Type 1B	60' – 69'	Any
	Type 1C	50' – 59'	Any
Category 2	Type 2A	40' – 49'	Side or Rear
	Type 2B	25' – 39'	Side or Rear
Category 3	Type 3A on pedestrian mews, court, green, eyebrow, square, or other similar public space	40' – 49'	Rear
	Type 3B on pedestrian mews, court, green, eyebrow, square, or other similar public space	25' – 39'	Rear
	Multi-unit home	no min or max	Rear
	Townhome or Single Family Detached (if separated by 3' or less)	20' – 35'	Rear/tuck under
Category 4	Multi-family Residential	60' – no max	Rear/tuck under

Table 6-2 Housing Mix Requirements

Character Zone	Housing Mix Required	Notes
Mixed Use – Mixed Residential Zone	Minimum of 1 from Category 3 and minimum of 1 from either Category 2 or Category 4	Minimum number of units in each category included in each Detail Plan shall be either one block face or 10 units (whichever is less)
Mixed Residential	Minimum of 1 from Category 1 and minimum of 1 from either Category 2 or Category 3	Minimum number of units in each category included in each Detail Plan shall be either one block face or 10 lots (whichever is less)

5. Street Design Standards: Street cross sections in Appendix D, ITE's Designing Walkable Urban Thoroughfares manual or NACTO's Urban Street Design Guide shall be used to develop the streets within the MUC-PD. Generally, they shall:
 - i. Create a localized grid of pedestrian and vehicular travel ways.
 - ii. Be designed to create a pleasant walking environment with on-street parking and streetscape treatments.
 - iii. Discourage the use of cul-de-sacs unless natural features such as topography, floodplains or stream corridors, or practical site layout constraints make a street connection impractical or inefficient. In such cases, a trail or pedestrian pathway shall be utilized where a street cannot be constructed due to natural constraints or drainage elements. When such pedestrian pathways or trails are used as block edges, they shall be limited to no more than two edges of a block and the pathway or pedestrian facility shall be a minimum of 8' in width. They shall provide connectivity to adjoining neighborhoods or shopping and shall be within public access easements. Such block faces may be considered as Type A frontages only if they meet the building frontage requirement in that character zone along that block face.
 - iv. Blocks may be square, elongated or irregular. Block shape and size should respond to topography, existing vegetation, hydrology, and design intentions.
 - v. Average blocks widths shall be between 400 feet and 600 feet. Blocks should vary in size based on the Sample Illustrative Plans and character zone standards.
 - vi. Blocks that are longer than 1,000 feet should be bisected by a walking path, paseo or other similar pedestrian cut-through.
 - vii. Blocks may be bounded by streets or drainage features.
 - viii. Appendix D shall establish the cross section standards for the different street types in the MUC-PD.
 - ix. The Detail Plan shall establish the Type "A" and Type "B" development frontage designations per the character zone standards within the Development Standards Table 6-3 of this PD.
 - x. Porte-cochers may be used along Type "A" frontages but shall maintain the pedestrian streetscape along the edge of the street within minimal encroachments of driveways and with the utilization of street walls along the sidewalk/street frontage to help define the pedestrian and public realms.

6. Open Space Standards: The provision of adequate and appropriate open space areas shall be integral to all development in MUC-PD. The minimum requirement for open space in the district is 10% of the gross area of the site which shall be based on the locations identified in the Zoning Framework Plan (if any) and dedicated as open space in the Detail Plan. The design of open spaces within the development shall be integrated with the design of stormwater improvements. However, no more than 50% of any required open space shall be used solely for stormwater improvements such as retention ponds and creeks. The remaining 50% of the open space may be utilized for stormwater improvements only if amenitized and designed to also be usable open space per the criteria below. In addition to the following standards for the design, location, and orientation of open space, site specific standards shall also apply based on the Character Zone context:

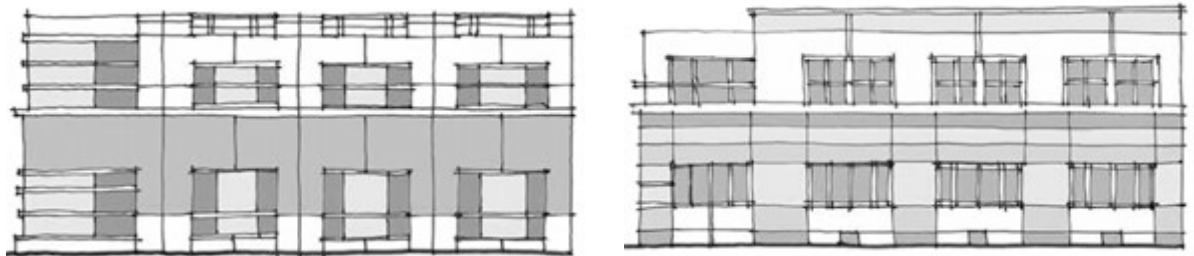
- i. The open space provided shall be appropriately distributed, designed and scaled in each of the character zones.
 - ii. The following criteria shall be used to evaluate the merits of proposed open spaces in the MUC-PD Detail Plan:
 - a. The extent to which environmental elements preserved are considered as “features” or “focal points” and integrated into and prominently featured as “front yards” in the development; adding value to the development;
 - b. The extent to which emphasis has been placed on preservation of existing wooded areas, view sheds, water bodies, topography, and stream corridors in a natural and contiguous state;
 - c. The extent to which pedestrian connectivity in the form of sidewalks, natural walking paths along stream and creek corridors has been accommodated; and
 - d. The extent to which a range of open spaces have been provided to be contiguous with existing open spaces and to invite passive recreational uses from plazas and squares to playgrounds, parks and environmental preserves, appropriately organized within the respective component zone.
 - iii. Open spaces may be in the form of plazas, pocket parks, children’s play areas, squares, linear greens, parks, and environmental preserves as outlined within Section 7.21 (Table 2.9.1) of the GDC. Active sports fields and structured recreational activities shall be limited to less than 10% of any required open space located in any character zone.
 - iv. Plazas and squares shall be permitted only in the Employment Mixed Use, Retail Mixed Use, and Mixed Use-Mixed Residential character zones. A plaza which is intended to serve as open space may be located at a street intersection or a focal point and shall generally be small in scale (under ¼ acre in size). A square which is intended to serve as open space may also be located at a street intersection or as a focal point of a development.
7. Special Designations: The following Special Designations are optional (unless required per Section VI.A.4 and Section VI.A.5), but if used, shall be designated on the Detail Plan:
- i. Mandatory and/or Recommended Commercial Ready/Active Edge Requirement: Shall be designated frontages requiring active ground floor uses for a minimum depth of 30’ (no residential units, lodging rooms, parking (except as permitted in Section VI.A.4), or service uses permitted) and with the ground floor façade being no less than 60% glazed (VT higher than 0.6). Such frontage designations are permitted in the following character zones: Employment Mixed Use, Retail Mixed Use, Mixed Use-Mixed Residential, and Transition.
 - ii. Designations for Mandatory and/or Recommended Gallery or Colonnade Frontage: requiring or advising that a building provide a permanent cover over the sidewalk, either cantilevered or supported by columns. The Gallery or Colonnade Frontage designation may be combined with a Commercial Ready or Commercial Required Frontage designation.

8. **Building Design Standards:** Building design standards shall be established at the time of the Detail Plan and shall be based on the following standards and criteria.
- i. **Building Orientation:**
 - a. **Primary Façade Orientation:** For EMU and MU-MR Character Zones, primary building facades for all non-residential and mixed use buildings shall be oriented towards a Type “A” frontage designation or toward a focal point such as a landscaped street, plaza, similar formal open space or an environmental feature (which shall be considered as a Type “A” frontage as long as a sidewalk or trail is located along that frontage and links the buildings to the open space/environmental feature). For Mixed Residential at least 50% of the lots shall be oriented to a Type “A” frontage designation or toward a focal point such as a landscaped street, plaza, similar formal open space or an environmental feature (which shall be considered as a Type “A” frontage as long as a sidewalk or trail is located along that frontage and links the buildings to the open space/environmental feature). For MU-MR Category 3 lots, at least 50% of the lots shall be oriented to a Type “A” frontage designation or toward a focal point such as a landscaped street, plaza, similar formal open space or an environmental feature (which shall be considered as a Type “A” frontage as long as a sidewalk or trail is located along that frontage and links the buildings to the open space/environmental feature).
 - b. **Building Frontage:** Lots and blocks along Type “A” frontages shall establish a minimum standard for building frontage per the Development Standards Table for each character zone. Lots and blocks along Type “B” frontages need not specify a minimum building frontage requirement. (see illustration in the Definitions section on how building frontage is to be calculated).
 - c. **Building Setbacks and Build-to Zones:** Buildings shall be built at or close to the sidewalk along Type “A” frontages to better define the pedestrian realm. Any off-street surface parking along Type “A” frontages shall be minimized, be located in the middle of the block, and screened by a minimum 3’ high vegetative screen. The specific minimum and maximum building setbacks shall be established by the applicant at the time of Detail Plan application per the criteria Development Standards Table for each character zone.
 - ii. **Building Façade Standards:**
 - a. Primary facades along Type “A” frontages shall contain the main entrance of any principal building located along that street.
 - b. All principal buildings located on a Type “A” frontage shall also have doors, windows, and other architectural features facing that street/frontage. Non-residential or mixed use corner buildings shall have at least one customer entrance facing each street or a corner entrance instead of two entrances.
 - c. The minimum ground floor height as measured from the finished sidewalk to the bottom of the second floor structural member for all Required and/or Recommended Commercial Ready frontages shall be 12 feet.
 - d. The ground floor elevation of all residential buildings along a designated Type “A” frontage (attached, detached, and stacked) located less than 10’ from the front property line or sidewalk shall be raised a minimum of 18” above the

finished level of the public sidewalk/trail in front of the residential structures. This standard does not apply to frontages where Commercial Ready ground floors are required.

- e. All development shall provide ground floor windows on the building façade facing and adjacent to a street (with the exception of alleys) or facing onto a park, plaza, or other civic space. The required area of windows and doors on each street façade along a Type “A” frontage, park, square, green, plaza, or other civic space as a percentage of that façade shall be established by the applicant at the time of Detail Plan based on the character zone criteria. The required minimum area of windows and doors on all other street facades (Type “B” frontages with the exception of alleys) may be reduced by 20% of the corresponding requirement along a Type “A” frontage façade. Darkly tinted windows and mirrored windows that block two-way visibility shall not be permitted along ground floor facades along Type “A” frontages.
9. Architectural Design Standards: To ensure compatibility of building types and to relate new buildings to the building traditions of the region, architectural design shall be regulated, governed, and enforced through architectural design standards proposed by the applicant at the time of Detail Plan. The applicant shall submit the proposed standards as a part of the Detail Plan application for all development in the proposed Detail Plan. The architectural design standards shall comply with Chapter 4, Article 6 of the GDC as the basis and may be varied as necessary. The Director of Planning shall review the proposed standards for compliance with this section and the GDC and shall be a part of the approval of the Detail Plan. Architectural design standards for any proposed development in the MUC-PD shall:
- i. specify the materials and configurations permitted for walls, roofs, openings, street furniture, and other elements;
 - ii. be based on traditional/historical building precedents from the region;
 - iii. include the following:
 - a. architectural compatibility among structures within the different building types included in the different character zones;
 - b. human scale design;
 - c. pedestrian use of the entire PD;
 - d. relationship to the street, to surrounding buildings, and appropriate transitions to adjoining land uses (including existing neighborhoods); and
 - e. special architectural treatment of gateways/civic buildings.
 - iv. All building frontages along public and private streets (with the exception of alleys) shall break any flat, monolithic facades by including architectural elements such as bay windows, recessed entrances, or other articulations so as to provide pedestrian interest along the street level façade including discernible and architecturally appropriate features such as, but not limited to, porches, cornices, bases, fenestration, fluted masonry, bays, recesses, arcades, display windows, unique entry areas, plazas, courts, or other treatments to create visual interest, community character, and promote a sense of pedestrian scale.
 - v. All buildings in the MUC-PD character zones shall be constructed with exterior building materials and finishes of a quality to convey an impression of permanence and durability. Materials such as masonry (stone, brick, 3-step stucco) and similar durable architectural materials are allowed as primary building materials and shall be approved with a Detail Plan.

- vi. Non-residential buildings and sites shall be organized to group the utilitarian functions away from the public view of any street (with the exception of alleys). Delivery and loading operations, HVAC equipment, trash compacting and collection, and other utility and service functions shall be incorporated into the overall design of the buildings and landscaping. The visual and acoustic impacts of all mechanical, electrical, and communications equipment (ground and roof-mounted) shall not be visible from adjacent properties and public streets, and screening materials and landscape screens shall be architecturally compatible with and similar to the building materials of the principal structures on the lot.
10. Design Standards for Data Centers: The following standards shall apply to any street facing facades of data centers in the MUC-PD. If data centers are located along Campbell Road or Lookout Drive, then the Special Frontage standards in Section VI.A.4.i.c shall supersede the standards below.
- i. Flat, blank walls shall not be allowed. If no windows and doors are provided along street facing façades, a minimum of one of the following treatments shall be required:
 - a. Color and textured panels to imitate the look of windows;
 - b. Horizontal or vertical articulations of the building façade; or
 - c. Changes in color, texture, or materials to provide horizontal and/or vertical rhythms



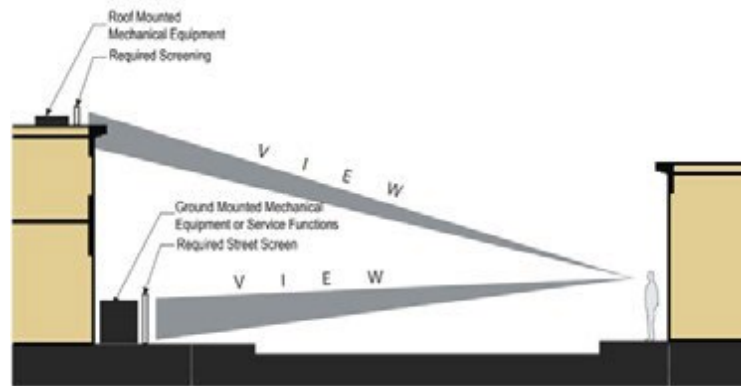
Desired street façade treatment for Data Centers

- ii. Any screening wall or security fence along a street shall meet the following standards:
 - a. Screening walls shall not be completely opaque.
 - b. They may be transparent or semi-opaque with architectural metal, wrought iron, galvanized steel or similar material or a combination of masonry columns and wrought iron with landscaping.
 - c. Screening walls along sidewalks shall be set back a minimum of 3' to allow for landscaping.
 - d. Screening wall height shall not exceed 10'
 - e. To the extent possible, any frontage of such screening walls shall be minimized along Type "A" streets.
 - f. To the extent possible, any frontage of such screening walls shall be minimized along Type "A" streets.



Images of desired screening/security fence design for data centers

- iii. In cases where a building may have to be setback more than the maximum setback allowed along a particular street for security or functional purposes, a screening wall or fence may be established within the build-to zone to provide for street wall definition. In such cases, the building shall be exempt from any maximum setback requirement in that character zone.
- iv. Any roof or ground mounted mechanical equipment shall be screened from view as shown in the illustration below. Design of such screening shall be architecturally integrated with the design of the building and use the same material as the primary façade material of the building.



Required screening of roof and ground mounted mechanical equipment

- v. In lieu of the above standards, the applicant may provide and request approval of alternative design standards for building facades and screening fences along street frontages. Such requests shall be reviewed by the Director of Planning and approved if the alternative standards submitted provide the same or greater level of design treatment as it relates to the street and adjoining neighborhood context and meets the intent of the standards in this section.

11. Location and Design of Parking and Service Areas: The number of off-street parking spaces provided shall be as set forth within Section 2.51 of the GDC unless the applicant provides alternative standards for the quantity of off-street parking proposed (both automobile and bicycle parking) for the MUC-PD character zones based on an analysis of the parking demand and a transportation management study for the mix of uses proposed and availability of on-street parking in the PD at the time of Detail Plan application. The Detail Plan shall establish the parking standards based on documented parking demand and transportation management study provided by the applicant. The standards set forth in the GDC shall be used if the applicant does not specifically provide alternative standards. Every effort should be made to incorporate shared parking as outlined within Chapter 4, Article 2 of the GDC. In addition, the location of surface parking on individual lots shall be regulated as follows:
- i. Except as described in Section VI.A.4, surface parking lots for non-residential uses shall be located at the side or rear of a building. Specifically, the frontage of off-street surface parking lots shall be minimized along Type “A” frontage designations. If located adjacent to a Type “B” frontage or a residential use, screening shall be provided in the form of a landscaped/vegetative or combination fence which is at least 3 feet in height.
 - ii. A surface parking lot may not be adjacent to a street intersection with a Type “A” frontage or civic space such as a plaza or square, or occupy a lot that terminates a street vista.
 - iii. Shared parking facilities are encouraged for uses in the Employment Mixed Use, Retail Mixed Use, Mixed Use-Mixed Residential, and Transition character zones.
 - iv. Bicycle parking shall be provided for non-residential uses, multi-family uses, and especially for schools, parks, trails, and other recreational facilities. Bicycle parking shall be provided at a rate of 2.5% of all off-street automobile parking spaces provided for all non-single-family residential uses (attached and detached) unless an alternative standard is established in conjunction with a parking study for specific Detail Plan. Bicycle parking may be shared between uses and should be centrally located, easily accessible, covered/protected from the elements, lit at night, and visible from streets or parking lots. They may be located between the roadway and the building facades as long as their location does not impede pedestrian walkways.
 - v. Any off-street parking provided for residential uses shall be located in such a manner as to minimize the impact of garages and driveways along the residential street. All residential lots that are 49 feet or less in width shall have off-street parking and/or garages accessed from alleys. All lots 50’ or wider may have front loaded garages, but in no case shall the width of the garage exceed 50% of the front façade width of the entire building. In addition, the garage shall be set back at least five (5) feet from the front façade of the home and at least twenty (20) feet from the front property line. J-swing garages may be permitted if they meet the standards above on lots 50’ or wider. Shared driveways on adjoining lots are permitted on lots 50’ or wider.

- vi. Front facing garage doors must employ at least four (4) architectural elements which may include balconies or other decorative overhangs above doors, columns flanking doors, decorative banding or moldings, multiple panel door designs or other architectural detailing with larger decorative brackets, windows/openings on garage doors, arches, decorative vent covers on gable just above garage, or sconce lighting flanking the garage doors.
12. Design of Automobile Related Site Elements (Drive-Throughs, service bays, etc.)
- i. Drive-through lanes, drive up windows, service bays, and other auto-related site elements shall not be located along or be visible from any Type “A” Frontages.
 - ii. Along Type “B” Frontages, no more than 60% of the lot’s frontage along a Type “B” Frontage shall be dedicated to auto-related site elements such as driveways, surface parking lots, or drive through/service bays).
 - iii. Drive-through lanes shall be hidden behind a screening device (min. 3’ in height) along the Type “B” frontage. There shall be no limit to the number or frontage of drive-through lanes located along alleys or internal driveways.
 - iv. All off-street loading, unloading, and trash pick-up areas shall be located along alleys only. Such uses may be located along Type “B” Frontages only if the lot has no access to an alley. Any off-street loading, unloading, or trash pick-up areas shall be screened in accordance with Section VI.A.10.
 - v. Driveways shall be located along Type “B” Frontages unless the site has no access to a Type “B” Frontage or alley. Two lane driveway widths shall be a maximum of 24’ unless providing service access in which case they shall be no wider than 30’. Three lane driveways shall have maximum width of 36 feet and may only be located off Type “B” frontages or alleys. Driveways shall maintain a continuous and level sidewalk across the curb cut. Driveway spacing shall be per the GDC or as approved by the Director of Transportation. Driveways along PGBT access road are under the purview of Texas Department of Transportation (TxDOT) and shall meet TxDOT standards.
 - vi. Driveways and streets shall meet the city’s sight distance standards in the GDC.

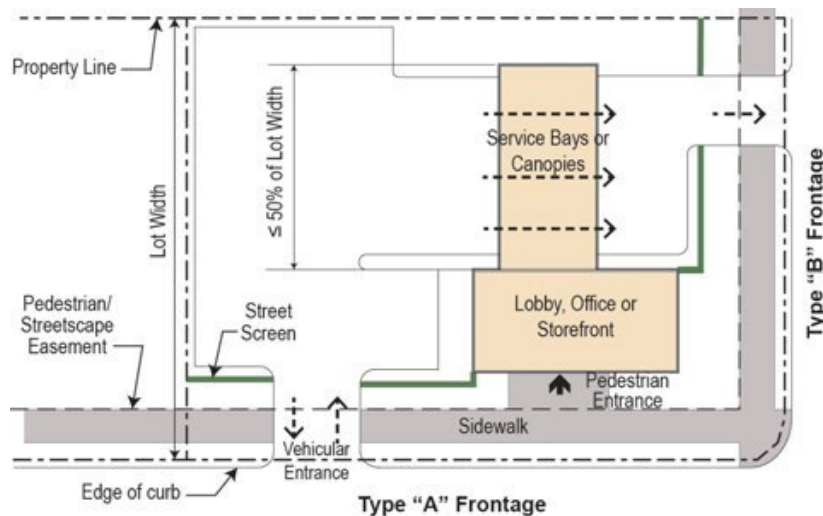


Image showing appropriate design of auto-related site elements

13. Design of Parking Structures

- i. All frontages of parking structures located on Type “A” frontages shall be lined by active edges or commercial ready frontages on the ground floor to a minimum depth of 30 feet.
- ii. Parking structure facades on all public streets (except alleys) shall be designed with both vertical (façade rhythm of 20’ – 30’) and horizontal (aligning with horizontal elements in the block) articulation.
- iii. All above-grade parking structures shall be designed with a distinguishable first floor, upper façades and roofs. Parking garage first floors shall be designed at human scale with pedestrian-scale elements such as awnings, canopies, window breaks and door openings. Above-grade parking garages may be designed using decorative metal elements such as ornate meshes, screens and the like, but shall not be allowed to have non-decorative steel guard cables that are visible to the public or to adjacent properties.
- iv. Where above ground structured parking is located at the perimeter of a building, it shall be screened in such a way that the majority of cars on all parking levels are not visible from adjacent buildings or a Type “A” street. Parking garage ramps shall, generally, be oriented so they are not visible from any Type “A” street. Ramps shall not be located along the perimeter of the parking structure with frontage along a Type “A” designation. Architectural screens shall be used to articulate the façade, screen parked vehicles, and shield car bumpers and headlights.



Images showing appropriate design of parking structures



14. Landscaping Standards

- i. The purpose of landscaping in the MUC-PD is to enhance pedestrian and open space areas, to help delineate active areas from passive areas, to provide a screening buffer between pedestrians and vehicular circulation, utility functions, and incompatible adjacent developments.
- ii. The applicant shall submit a landscape plan in conjunction with the Detail Plan application. The landscape plan establishes the design direction and general schematics for all proposed landscaping including all major aspects of the public realm such as street trees, plant/tree palette, streetscape treatments, pavement treatments, front yards, and medians; proposals for required parking lot landscaping, screening, design for all open spaces, and lighting.
- iii. Proposed landscaping shall meet the following standards:
 - a. Be pedestrian oriented.
 - b. Designed in such a way to not create a security or physical hazard to pedestrians, bicyclists or motorists.
 - c. Enhance or complement the architectural design of the mixed-use development.
 - d. Provide visual interest year-round. Utilize water conservation methods and drought tolerant planting where possible.
 - e. Shall be provided between parking lots and all adjacent sidewalks.
 - f. Meet the standards for Installation and Maintenance in the GDC Section 4.32.
 - g. Propose a plant/tree palette that mostly includes indigenous species. (Plant list in Section 4.48 of the GDC shall be used for the vegetation palette)

B. Site Development Standards by Character Zone

Standards in the MUC-PD are intended to facilitate the development of unique and pedestrian-friendly environments within the different character zones. To this end, design and development standards are intended to be tailored to create such an environment. In order to provide flexibility in use with prescription of the building form, some development standards for each Detail Plan in the PD shall be established via the Detail Plan consistent with the requirements in this PD.

The following standards shall apply to development in the MUC-PD. Most standards have a numerical range and few have a specific numerical value. Due to the inapplicability of one development standard across all character zones and to encourage a diversity of development proposals, the developer shall propose the standards indicated as “Flexible” or “Permitted/Flexible” on the following table (Table 6-3) for the proposed development at the time of Detail Plan application submittal. But the proposed standards shall be based on the Zoning Framework Plan and standards in this PD.

SH 190 FBC Zoning District					
TABLE 6-3: DEVELOPMENT STANDARDS TABLE					
Character Zone	Employment Mixed Use	Retail Mixed use	Mixed Use – Mixed Residential	Transition	Mixed Residential
Development Standard					
1.0 Building and Site Standards					
a. Principal Building Height*	No maximum	No maximum	10 stories or 65' by right	5 stories or 40' (maximum)	3 stories or 40' (maximum)
* Building height shall be measured in number of stories. Habitable attics and mezzanines shall be excluded from the height calculation as long as they do not exceed 50% of the floor area of a typical floor in the same building. Height Compatibility Zone Along Holford Road (applies to all character zones): All development within 200 feet of Holford Road (as measured from the western edge of Holford Road ROW) shall be limited to no more than 3 stories. (see Zoning Framework Plan for location)					
b. Setbacks and build-to zones**	Note about measuring setbacks: In cases where the ROW is established at or behind the curb line of streets, setbacks shall be measured from the edge of the pedestrian easement or parkway /streetscape zone or utility easement closest to the building face along that street.				
Front – Type “A” frontages [^]	Min. setback = Flexible; Max. setback = 25'	Min. setback = 5' - 15'; Max. setback = 25'	Min. setback = 5' - 20'; Max. setback = 30'	Min. setback = 5' - 20'; Max. setback = 30'	Min. setback = 5' - 20'; Max. setback = 40'
Front – SH 190	Min. setback = 20'; Max. setback = Flexible	Min. setback = 20'; Max. setback = Flexible			
Type “B” Frontage	Min. setback = 5'; Max. setback = Flexible	Min. setback = 5'; Max. setback = Flexible	Min. setback = 10'; Max. setback = Flexible	Min. setback = 10'; Max. setback = Flexible	Min. setback = 10'; Max. setback = Flexible
Side	Flexible	Flexible	Flexible	Flexible	Flexible
Rear	Flexible	Flexible	Flexible	Flexible	Flexible
**Minimum and/or maximum setback standards shall be proposed by the applicant for each character zone based on the above criteria and Development Standards established in this PD. **Specific standards for curvilinear streets may be proposed. [^] Maximum setbacks along Type “A” frontages that are along improved public space (park, plaza or other civic feature) between the street/sidewalk and building face may exceed the standards established in this table.					
c. Minimum Building Frontage [€]					
Type “A” Frontages	60%	60%	60%	60%	60%
All other Frontages	None required	None required	None required	None required	None required
[€] Corner building facades at street intersections shall be built to the build-to-zone for a minimum of 30' from the corner along both streets or the width of the corner lot, whichever is less. This standard shall apply to any street intersection with a Type “A” Development Frontage designation (even if the cross street has a Type “B” Frontage designation).					
d. Accessory buildings	Permitted/Flexible	Permitted/Flexible	Permitted/Flexible	Permitted/Flexible	Permitted/Flexible
Standards for accessory uses and structures shall be provided by the applicant. The standards shall result in accessory buildings being subordinate in size and scale to the principal building. Standards in Division 4, Article 5, Chapter 2 of the GDC shall apply if the applicant does not specifically provide regulations for accessory uses and structures.					
e. Principal building orientation	Buildings shall be oriented to a Type “A” frontage or toward another focal point such as a park, plaza, square, other open space or environmental feature.				
f. Building façade & architectural design standards	The applicant shall propose appropriate building façade and architectural design standards for all the character zones in the development with the application for Detail Plan. They shall be based on the criteria established in this PD.				
2. Block and Lot Standards					

SH 190 FBC Zoning District					
TABLE 6-3: DEVELOPMENT STANDARDS TABLE					
Character Zone Development Standard	Employment Mixed Use	Retail Mixed use	Mixed Use – Mixed Residential	Transition	Mixed Residential
a. Block Type	Regular (square or rectangular) Irregular blocks may be permitted only if natural topography, existing roadways, and/or vegetation prevents a rectilinear grid			Regular or irregular (square, rectangular, or curvilinear based on topography, existing roadways and vegetation)	
b. Block Perimeter	Max. block perimeter = 2,500	Max. block perimeter = 3,000'	Max. block perimeter = 3,000' (unless limited by unique site conditions such as topography and vegetation)	Max. block perimeter = 2,000' (unless limited by unique site conditions such as topography and vegetation)	Max. block perimeter = 2,000' (unless limited by unique site conditions such as topography and vegetation)
c. Type "A" Development Frontage (Frontages along civic/open spaces shall be considered Type "A" development frontage)#	Minimum of 25% of all new block frontages to be designated as Type "A" Development Frontage	Minimum of 25% of all new block frontages to be designated as Type "A" Development Frontage	Minimum of 50% of all new block frontages to be designated as Type "A" Development Frontage	Minimum of 25% of all new block frontages to be designated as Type "A" Development Frontage	Minimum of 50% of all new block frontages to be designated as Type "A" Development Frontage
d. Lot Area	Flexible	Flexible	Flexible	Flexible	Flexible
e. Lot Width and Depth	Flexible	Flexible	Flexible	Flexible	Flexible
f. Minimum Lot Mix. Required	No	No	Yes (To be established to get a mix of residential building types)	No	Yes (To be established to get a mix of residential building types)
g. Maximum Lot Coverage	Flexible	Flexible	Flexible	Flexible	Flexible
# Blocks w/ more than 40% frontage along PGBT and Campbell need not meet minimum Type "A" block designation standards so long as they provide the following (i) continuous pedestrian path/trails on the major non-PGBT block faces at least 8 feet in width and shaded by trees; (ii) improved pedestrian crossings at all intersections from adjoining blocks even if private service drives; and (iii) utilize at least 5% of the 10% open space requirement for improved pedestrian gathering spaces connected through a continuous walkable environment to any adjoining development within the MUC-PD.					
3. Street Design Standards (This standard applies to all new streets, public and private, located in the SH 190 FBC Zoning District)					
Street design standards in the SH190 EC-PD shall be based upon creating a safe and inviting walking environment through an interconnected network of roads with sidewalks, street trees, street furniture, and amenities. Cul-de-sacs are prohibited unless natural features such as topography or stream corridors prevent a street connection. The right-of-way widths for streets in the SH 190 FBC shall be based on the palette of street types established in Appendix D. They are based on the ITE's Designing Walkable Urban Thoroughfares manual and NACTO's Urban Street Guide. They may be adjusted based on the specific Detail Plan with the approval of the City Engineer. Bicycle facility widths may be modified based on the City's adopted Master Thoroughfare Plan standards.					
a. Design speed	≤30 mph	< 25 mph	< 25 mph	< 25 mph	< 25 mph
b. Street types allowed	i. Boulevards: 4-lane divided) ii. Avenues: 3-lane divided iii. Main streets iv. Residential streets: 2-lane undivided v. Commercial Alleys	i. Boulevards: 4-lane divided) ii. Avenues: 3-lane divided iii. Main streets iv. Residential streets: 2-lane undivided v. Commercial Alleys	i. Boulevards: 4-lane divided) ii. Avenues: 3-lane divided iii. Residential streets: 2-lane undivided iv. Commercial and Residential Alleys	i. Boulevards: 4-lane divided) ii. Avenues: 3-lane divided iii. Residential streets: 2-lane undivided iv. Residential Alleys	i. Boulevards: 4-lane divided) ii. Avenues: 3-lane divided iii. Residential streets: 2-lane undivided iii. Residential streets: 2-lane undivided Residential Alleys
c. Travel lane widths	Appendix D, ITE's Designing Walkable Urban Thoroughfares manual or NACTO's Urban Street Design Guide shall guide the development of street design standards and shall be established as part of the DP with the approval of the City Engineer.				
d. Turning radii					
e. On-street Parking (along all internal streets except alleys) <ul style="list-style-type: none"> • Parallel 	Permitted	Permitted	Permitted	Permitted	Permitted

SH 190 FBC Zoning District					
TABLE 6-3: DEVELOPMENT STANDARDS TABLE					
Character Zone Development Standard	Employment Mixed Use	Retail Mixed use	Mixed Use – Mixed Residential	Transition	Mixed Residential
• Angled (head-in or reverse angled).	Permitted	Permitted	Permitted	Permitted	Permitted
• Head in perpendicular	Not permitted	Not permitted	Not permitted	Not permitted	Not permitted
f. Parking lane width					
• Parallel	8 feet	8 feet	8 feet	8 feet	8 feet
• Angled	18-20 feet	18-20 feet	18-20 feet	18-20 feet	18-20 feet
g. Alleys*	Permitted/Flexible	Permitted/Flexible	Permitted/Flexible	Permitted/Flexible	Permitted/Flexible
4. Streetscape Standards					
a. Sidewalks/Trails/ Walkways	10 feet (min. along Type “A” Frontages) 6 feet (minimum along all other streets except alleys)	6 feet (minimum)	6 feet (minimum)	6 feet (minimum)	5 feet (minimum)
b. Planter/Planting Strip Type	Required - Tree wells or Planters	Required - Tree wells or Planters	Required - Tree wells or Planters	Required - Tree wells or Planters	Required - Planters
c. Planter/Planting Strip width	6 feet (min.) wide tree well or planting strip	6 feet (min.) wide tree well or planting strip	6 feet (min.) wide tree well or planting strip	6 feet (min.) wide tree well or planting strip	6 feet (min.) wide planting strip
d. Street trees	Required/Flexible	Required/Flexible	Required/Flexible	Required/Flexible	Required/Flexible
The applicant shall submit a proposed street tree planting plan, including a tree palette and spacing as a part of the Landscape Plan, which shall be reviewed as part of the Detail Plan and must be approved at time of Detail Plan. The requirements for the landscape plan are outlined in Section VI.A.14 of this PD.					
5. Open/Civic Space Standards					
a. Open/Civic Space	Required/Flexible Squares and plazas are appropriate	Required/Flexible Squares and plazas are appropriate	Required/Flexible, Squares and greens are appropriate	Required/Flexible, Squares and greens are appropriate	Required/Flexible, Squares and greens are appropriate
*Overall open/civic space allocations in the MUC-PD shall be a minimum of 10% of the gross area of the entire site included in the Detail Plan and shall be distributed appropriately between the character zones. The location and design of appropriate open spaces shall be based on Section VI.A.6 of this PD.					
6. Parking & Screening Standards					
a. Off-street parking	The number of off-street parking spaces provided shall be as set forth within Section 2.51 of the GDC. The applicant may provide alternative standards for the quantity of off-street parking proposed (both automobile and bicycle parking) for the MUC-PD character zones based on an analysis of the parking demand and a transportation management study for the mix of uses proposed and availability of on-street parking in the PD at the time of DP application. The PD shall regulate the location and design of all proposed off-street parking including any structured parking proposed per Section VI.A.12 and VI.A.13.				
<i>Parking standards in the FBC Zoning District are intended to be flexible due to the mixed use nature, shared parking opportunities, and availability of on-street parking.</i>					
b. Off-street loading	Section 4.22 of the GDC applies unless alternative standards are provided				N/A

* Alleys shall be required for all residential development with lots 50 feet or less in width.

SH 190 FBC Zoning District					
TABLE 6-3: DEVELOPMENT STANDARDS TABLE					
Character Zone Development Standard	Employment Mixed Use	Retail Mixed use	Mixed Use – Mixed Residential	Transition	Mixed Residential
c. Screening 1. Trash/recycling receptacles	Required/Flexible	Required for non-residential uses Flexible for residential uses (along alleys if alleys are provided)	Required for non-residential uses Flexible for residential uses (along alleys if alleys are provided)	Required for non-residential uses Flexible for residential uses (along alleys if alleys are provided)	Flexible for residential uses (along alleys if alleys are provided)
2. Other utility equipment	See Sec. VI.A.11				
3. Loading spaces	Screening required for non-residential uses. Section 4.41 and Section 4.42 of the GDC applies for non-residential uses only unless alternative standards are provided				
4. Surface parking areas	Required/Flexible (Standards in Section 4.35 and Section 4.44 of the GDC shall apply to any surface parking located along any public street with the exception of alleys unless the applicant proposes alternative screening standards at the time of Detail Plan.)				
7. Landscape and Streetscape					
a. Landscaping# 1. Landscape buffer between surface parking and sidewalks/trails and streets (except alleys)	Required/Flexible	Required only for non-residential uses	Required only for non-residential uses	Required only for non-residential uses	N/A
2. Parking lot minimum interior landscaping	Flexible	Flexible	Flexible	Flexible	N/A
<i>#The applicant shall provide a landscape plan with the Detail Plan application that identifies landscape themes and general design approach addressing street tree planting, streetscape treatments, any required screening, parking lot landscaping, and landscaping proposed in all the identified open space areas. Information provided at the Detail Plan phase may be schematic meeting the design intent of the proposed development. Detailed landscaping plans shall be required at the site plan stage for all non-residential development. The requirements for the landscape plan are outlined in Section VI.A.14 of this Code.</i>					
b. Lighting 1. Street Lighting 2. Building entrances 3. Parking areas, trails, and streets	Required/Flexible (As a part of the Detail Plan application, the applicant shall propose lighting standards that includes street light standards and other amenities as a part of the streetscape treatment plan. The landscape plan may be combined with a plan for lighting.)				
8. Signs					
Flexible (Flexible signage in the SH 190 MUC-PD may be proposed by the applicant and approved by the Plan Commission as part of the Detail Plan application or as a separate Master Sign Plan. Signage in the SH 190 MUC-PD shall integrate the streetscape and architectural design of the district through a palette of signs that enhance the pedestrian environment and create a unique identity. If no standards are proposed by the applicant, standards in Chapter 4, Article 5 of the GDC shall apply.)					
9. Stormwater Drainage: Detention of storm water runoff is only required for drainage areas abutting the Spring Creek Forest Preserve Ecological Boundary an approximately 450 to 550-foot wide strip of property north of the SH 190 service road between Campbell and Holford Roads and / or when the development generates a runoff greater than the downstream storm sewer system is designed for.					

VII. Definitions

Many terms used in this Section are defined in GDC. Definitions are only included here if not defined in Chapter 6 of the GDC, or if the definition for this PD differs from Chapter 6 of the GDC. In case of a conflict between the definitions under this Section and the GDC, the definitions in this section shall supersede.

Block Perimeter

Is the sum total of all block face dimensions circumscribed by public or private streets and pedestrian facilities with public access easements per the requirements in this PD.

Build-to Zone (BTZ)

Is the area between the minimum and maximum front setbacks from the edge of the pedestrian easement closest to the building facade. The principal building façade line shall be located within this area.

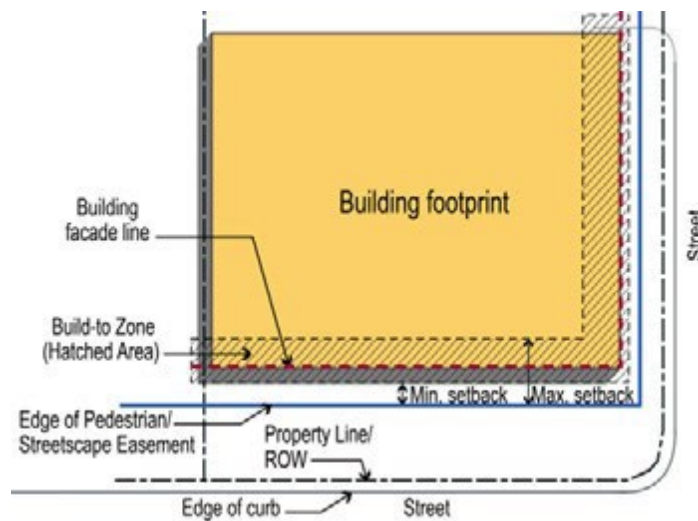
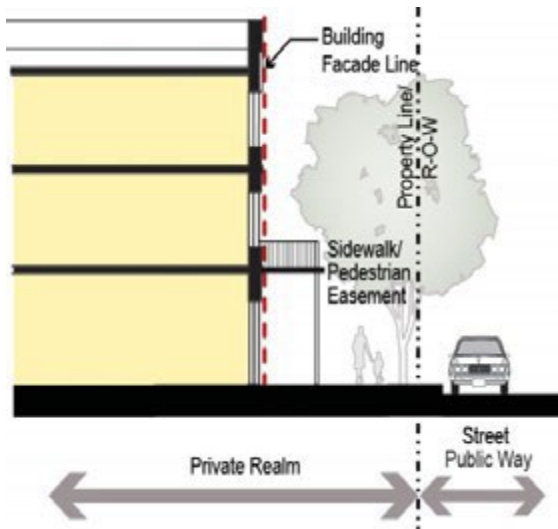


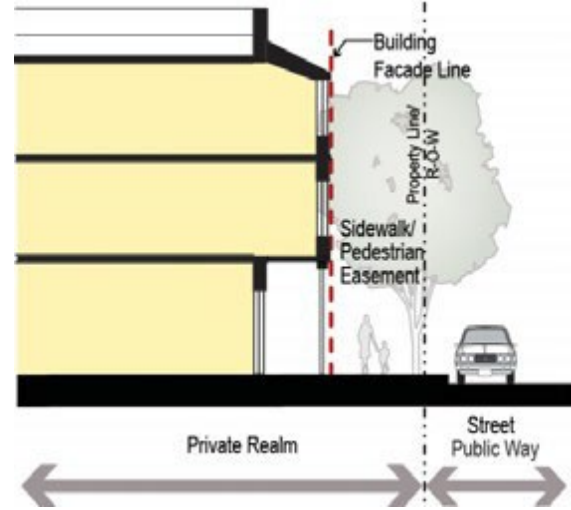
Illustration indicating the location of the build-to zone relative to the minimum and maximum setbacks and the building façade line

Building Façade Line

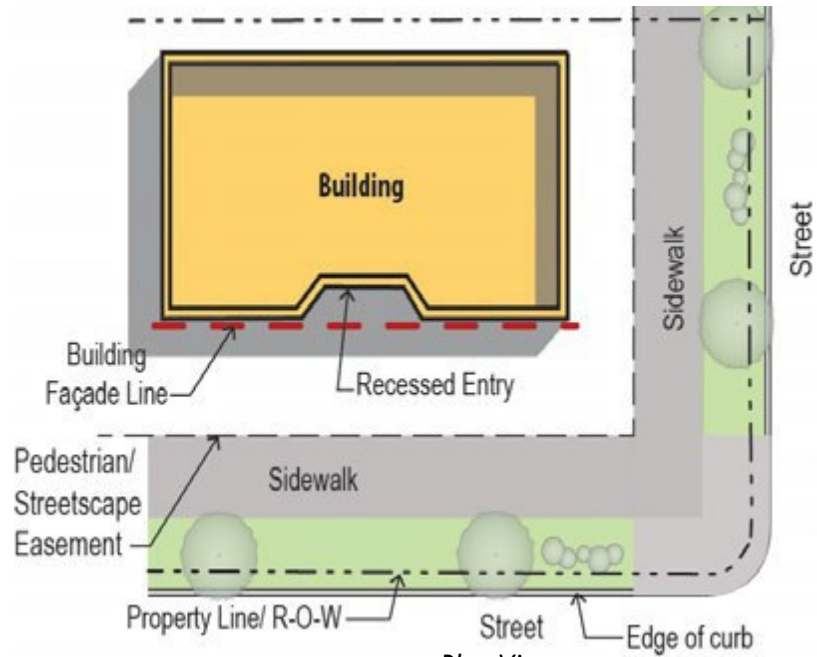
Is the location of the vertical plane of a building along a street frontage.



Section View – Gallery Building



Section View – Arcade Building



Plan View
Building Façade Line Illustrations

Building Frontage

Is the percentage of a building's façade line that is required to be located within the Build-to Zone (BTZ) as a proportion of the lot's width along the fronting public street. Required driveways, stairs to access entrances, parks, plazas, squares, improved forecourts, and pedestrian breezeway frontages shall count towards the required building frontage.

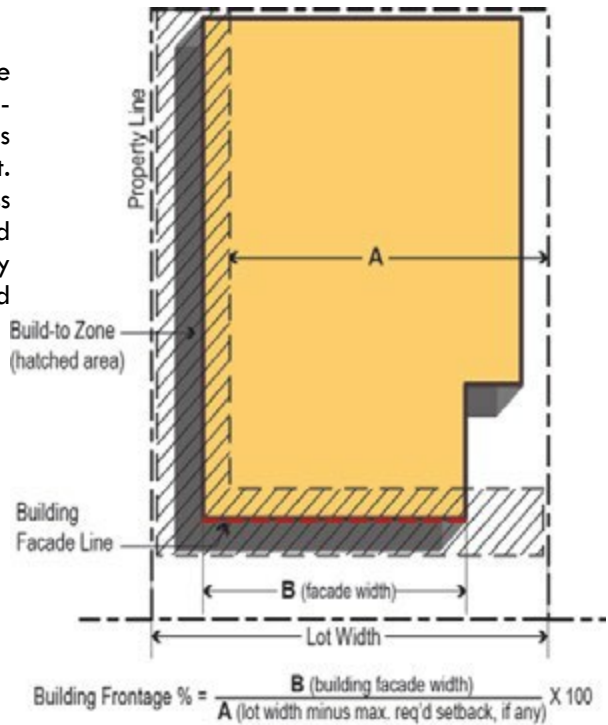


Image showing Building Frontage calculation

Building Step-back

Building step-back is the setting back of the building façade line away from the street at a specific floor or height.

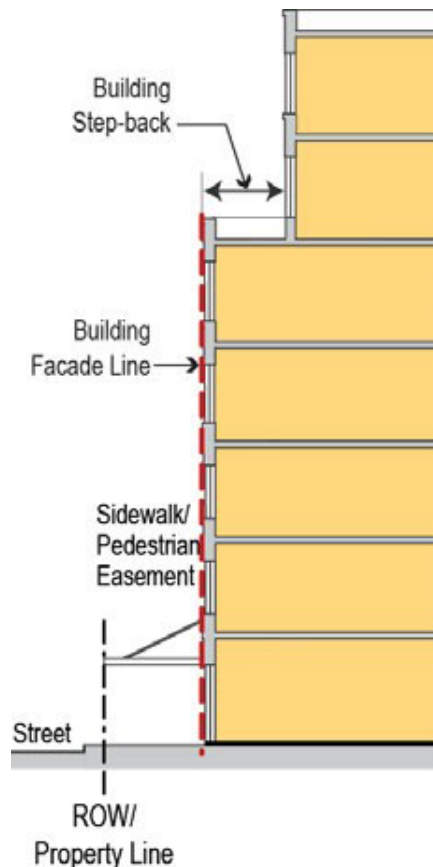


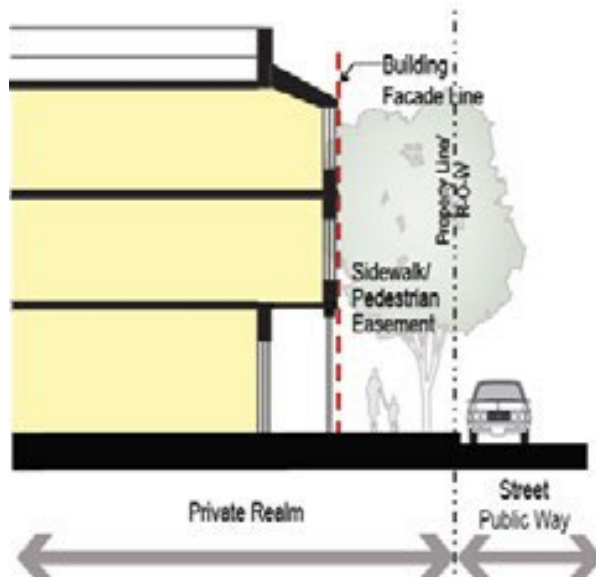
Illustration of a Building Step-back

Colonnade

Is a portion of the main façade of the building that is at or near the property line and a colonnade supports the upper floors of the building. Colonnades are intended for buildings with ground floor commercial or retail uses. The ground floor area within the colonnade may be conditioned or non-conditioned space.



Images of colonnade buildings



Images of colonnade buildings

Character Zone

Means an area within any SH 190 MUC-PD District that is intended to preserve and/or create an urban form that is distinct from other areas. Arrangement and allocation of the Character Zones are in the Zoning Framework Plan.

Commercial Use or Mixed Use Building

Means a building in which at least the ground floor of the building is built to Commercial Ready standards and any of the floors are occupied by non-residential or residential uses.

Commercial Ready or Commercial Required

Means a ground floor space constructed with appropriate building orientation, entrance and window treatment and floor-to-floor height in order to accommodate ground floor retail/commercial uses (including but not limited to commercial, retail, restaurant, entertainment, and lobbies for civic, OR hotel, or multi-family uses). Standards for Commercial Ready or Active Edge frontages are to be established based on the requirements of this PD. Prior to the issuance of a certificate of occupancy for a retail/commercial use in a Commercial Ready space, the space must comply with all building and construction Sections for commercial uses. The intent of Commercial Ready or Commercial Required space is to provide the flexibility of occupying a space in accordance with market demand and allowing the use in such space to change to retail/commercial uses accordingly.

Comprehensive Plan:

Is Envision Garland, the City of Garland’s comprehensive framework for informed decision making and establishes the blueprint for the long-term growth and development of the City.

Data Center:

Is a facility used to house computer systems and associated components, such as telecommunications and storage systems. It generally includes redundant or backup power supplies, redundant data communications connections, environmental controls (e.g., air conditioning, fire suppression) and various security devices.

Director of Planning

Shall be the City of Garland Director of Planning or his/her designee.

Dwelling, Single-Family Attached (Townhouse)

One of a group of no less than three nor more than six attached dwelling units, separated from each other by fire-rated walls in compliance with the City’s building codes or separated from each other by no more than 5 feet. Each dwelling unit occupies its own separately platted lot and may be two or more stories in height. Does not include Dwelling, Multi-Family or Dwelling, Single-Family Detached.

Encroachment

Means any structural or non-structural element such as a sign, awning, canopy, terrace, or balcony that breaks the plane of a vertical or horizontal regulatory limit, extending into a setback, into the public right-of-way, or above a height limit.

Façade Area

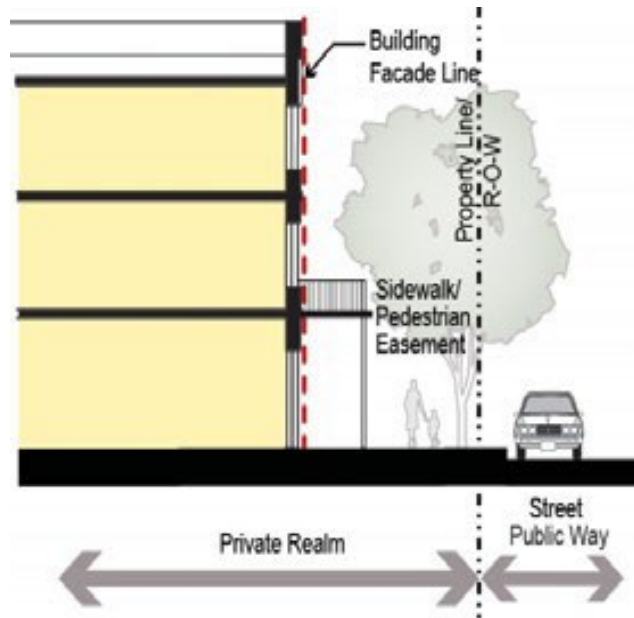
Means the surface area of a building’s elevation (including all floors) not counting minor indentations fronting a particular street. Ground floor façade area is the surface area of a building’s ground floor elevation not counting minor indentations fronting a particular street. Upper floor façade area is the surface area of a building’s upper floor elevations not counting minor indentations fronting a particular street.

Frontage Designation

As identified on the approved Detail Plan, future streets in the SH 190 MUC-PD Districts are designated as Type “A” or Type “B”. Each frontage designation establishes a certain development context in order to improve walkability and pedestrian orientation within the district.

Gallery

Is a roofed promenade or canopy, especially one extending along the wall of a building and supported by arches or columns on the outer side. The gallery space is unenclosed (non-conditioned) space and may be 2 or more stories tall.



Images of Galleries

ITE's Designing Walkable Urban Thoroughfares Manual

Daisa, James M., *Designing walkable urban thoroughfares: a context sensitive approach.*
Washington, DC: Institute of Transportation Engineers. (most recent edition)

Live-Work Unit

Means a dwelling unit that is also used for work purposes, provided that the 'work' component is restricted to the uses of professional office, artist's workshop, studio, or other similar uses and is located on the street level and constructed as separate units under a condominium regime or as a single unit. The 'live' component may be located on the street level (behind the work component) or any other level of the building. Live-work unit is distinguished from a home occupation otherwise defined by the TDS in that the work use is not required to be incidental to the dwelling unit, non-resident employees may be present on the premises and customers may be served on site.

Minor Amendments

Means a requested amendment to an approved plan (DP) per Table 4-1. The Director of Planning shall have the authority to approve or approve with conditions or deny a minor amendment to an approved plan.

Multi-Unit home

Means a Residential building containing between 2 and 6 units either as leasable units or individually owned. Architecturally, multi-unit homes are designed to appear similar to single-family homes with only one or two primary entrances per street frontage. Additional entrances are permitted along other non-street facing facades.

NACTO's Urban Street Design Guide

Urban Street Design Guide. New York City: National Association of City Transportation Officials. (most recent edition)

Open Space

Is publicly accessible open space in the form of parks, courtyards, forecourts, plazas, greens, playgrounds, squares, etc. provided to meet the standards in of this PD. Open space may be privately or publicly owned and/or maintained.

Primary Entrance

Means the public entrance located along the front of a building facing a street or sidewalk and provides access from the public sidewalk to the building. It is different from a secondary entrance which may be located at the side or rear of a building providing private controlled access into the building from a sidewalk, parking or service area.

Residential Use Building

Means a building that is built to accommodate only residential uses on all floors of the building such as a detached single family home, attached single family home (i.e. townhome), two family home (i.e. duplex), multiple family (3 or more), apartment building (under single ownership or under multiple owners within a condominium regime).

Sample Illustrative Plan

Is to provide guidance on how to translate the Zoning Framework Plan into a Detail Plan that establishes the details required to develop under this PD including, but not limited to, the allocation of component zones, layout of streets and open spaces, and mix and intensity of uses. These Sample Illustrative Plans will then be the basis to create final Detail Plan by property owners/developers at the time of new development.

Service-related site functions

Means all uses that support the principal use on the site including parking access, garbage/trash collection, utility meters and equipment, loading/unloading areas, and similar uses.

Street Screen

Is a freestanding wall or living fence or combination fence built along the frontage line or in line with the building façade along the street. It may mask a parking lot or a loading/service area from view or provide privacy to a side yard and/or strengthen the spatial definition of the public realm.



Image of a combination masonry and living street screen

Street Wall

Indicates the creation of a “wall” or a sense of enclosure along the street with buildings placed immediately adjacent to the street/sidewalk. A street wall has a “void” if there is a surface parking lot or service area adjacent to the sidewalk/street.

Type “A” Frontage

Means the block frontages identified as such on the adopted Detail Plan. Type “A” frontages are the primary pedestrian frontages and buildings along Type “A” frontages shall be held to the highest standard of pedestrian-oriented design. If Type “A” frontages are facing Type “B” frontages along the same street, the Type “B” frontages shall utilize enhanced streetscaping and/or landscaping to complement the streetscaping or landscaping utilized by the facing Type “A” Frontage including the screening of surface parking lots along the Type “B” Frontage in order to minimize the interruption to the quality of pedestrian experience along such frontage.

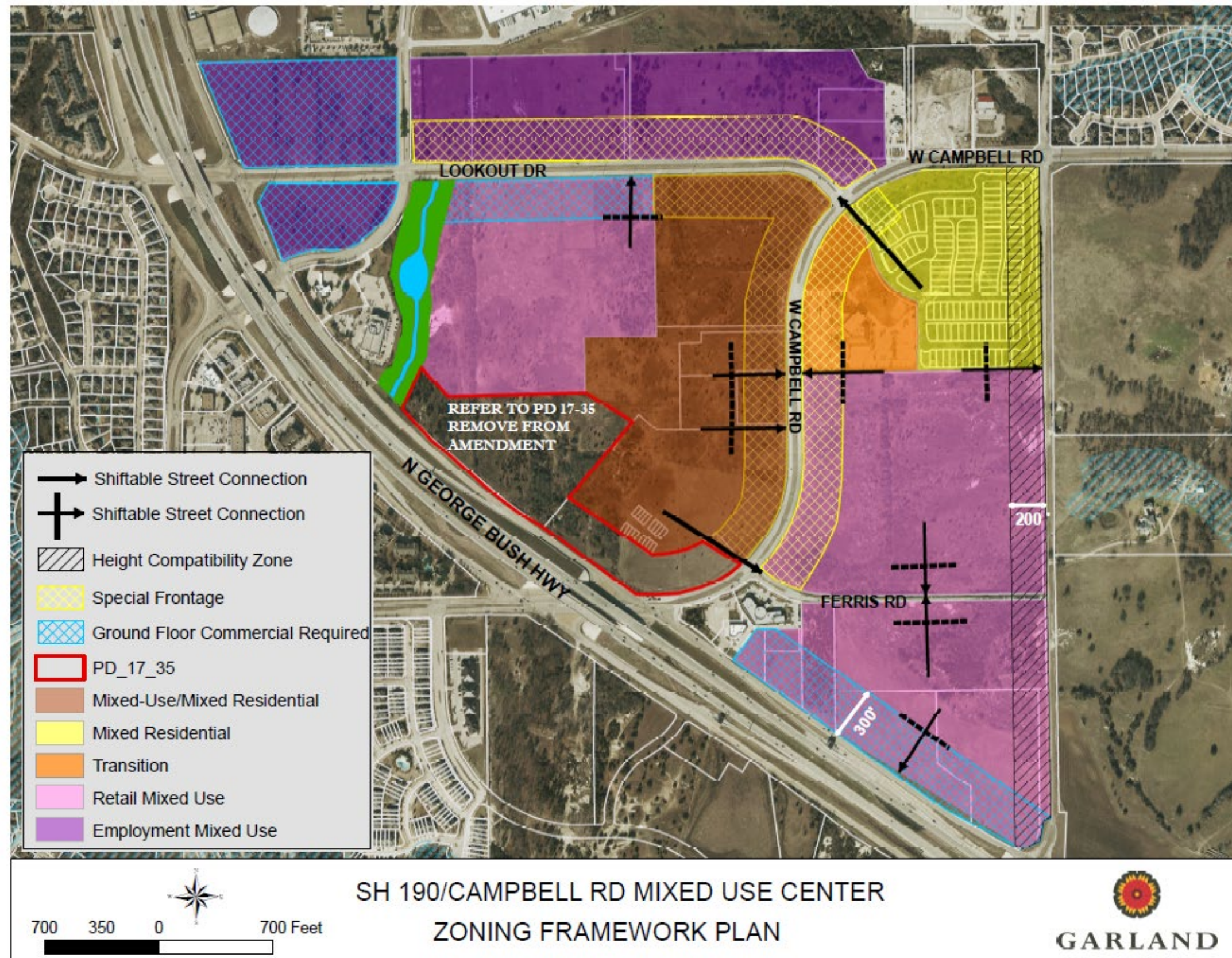
Type “B” Frontage

Means the block frontages identified as such on the adopted Detail Plan. Type “B” frontages are intended to primarily accommodate access to parking, service, utility, and other auto-related functions. See above requirement when Type “B” Frontages are located facing Type “A” Frontages along the same street

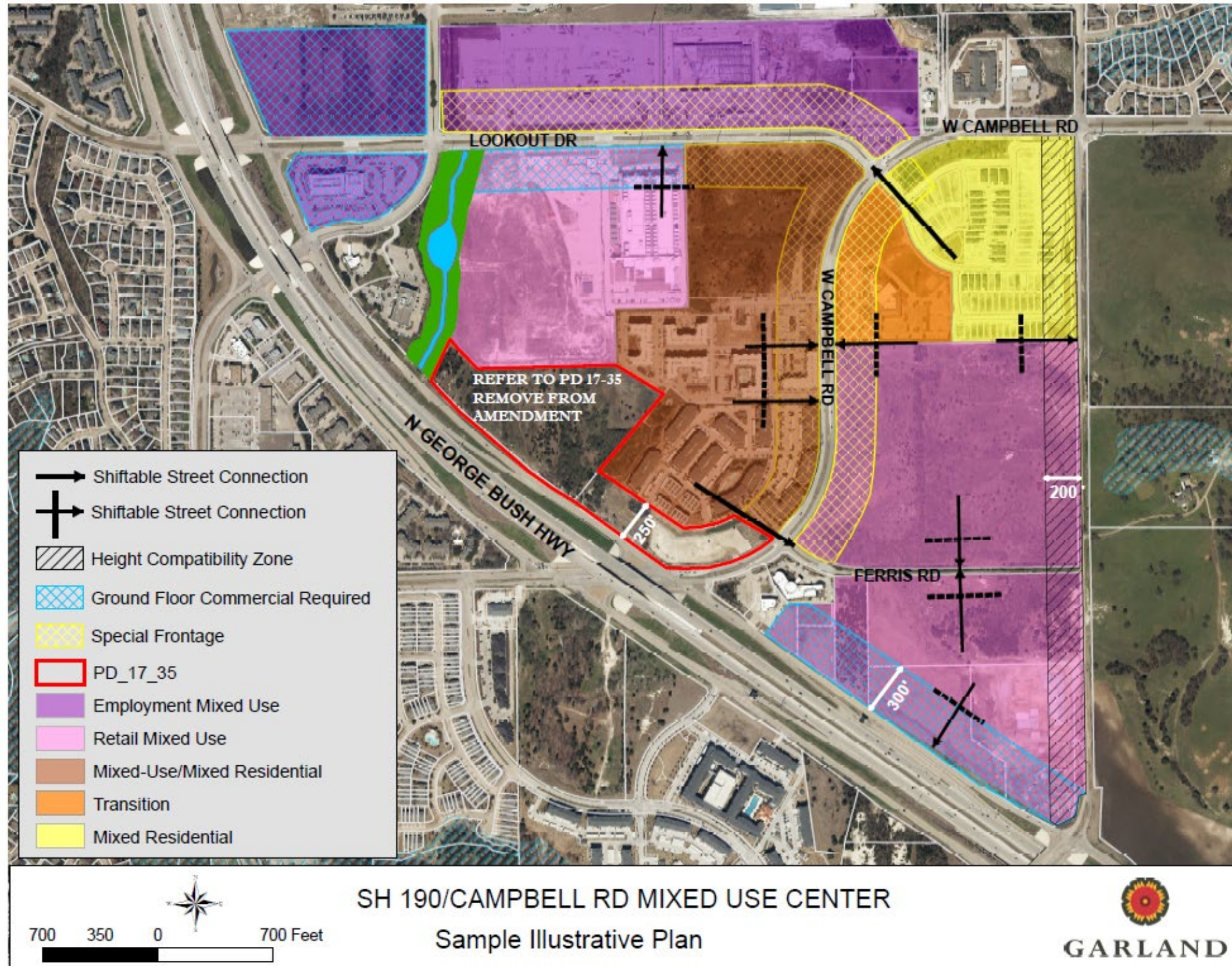
Zoning Framework Plan

Shall be the Zoning Map for the SH 190 MUC-PD which shall establish the boundaries of the different character zones, major roadway network, and open space locations.

Appendix A
Zoning Framework Plan

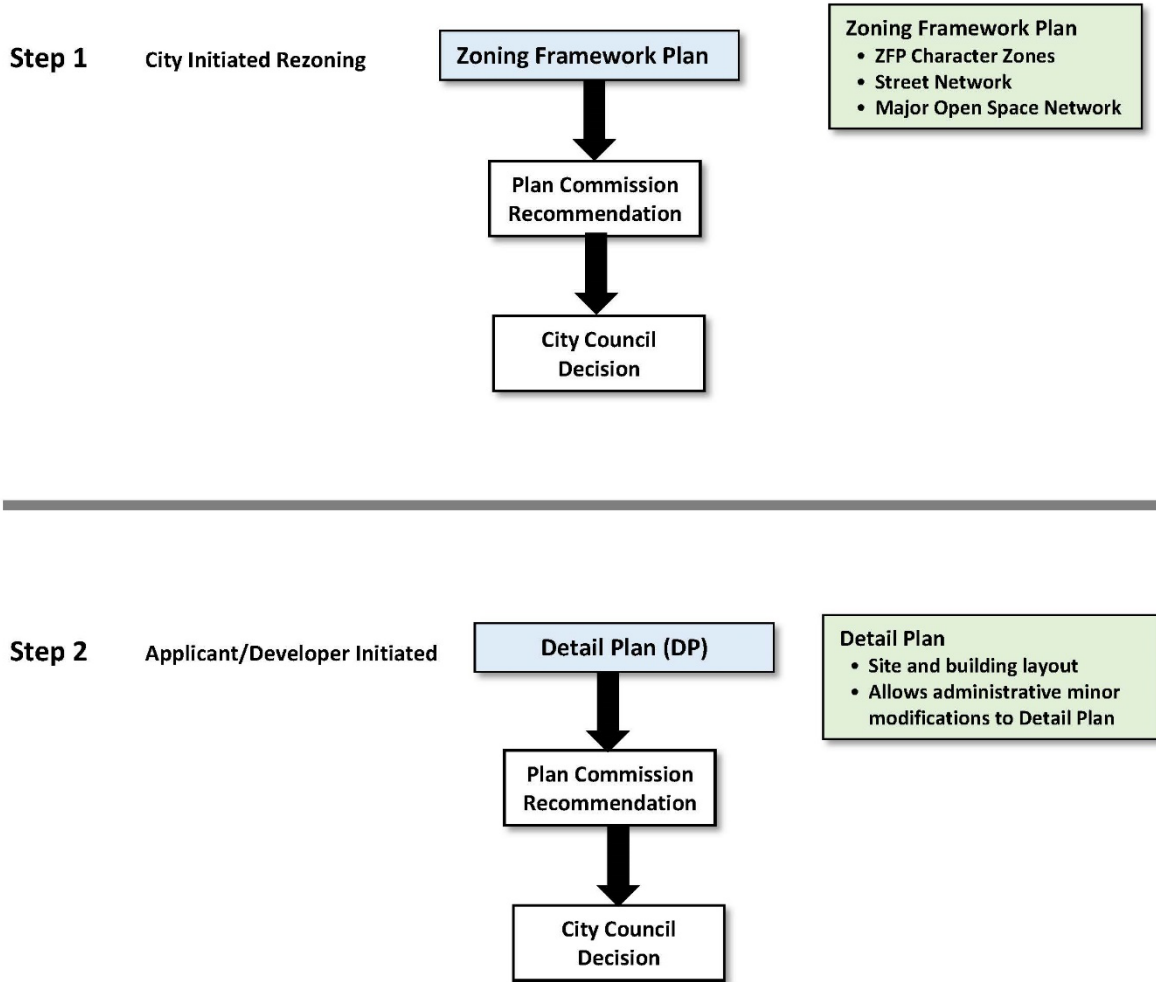


Appendix B
Sample Illustrative Plans



Appendix C
Flow Chart

SH 190 FBC Structure and Review Process



Appendix D

Street Design Standards and Typical Cross Sections

190 Campbell Road - Mixed Use Center

Street Type	Residential Alley (20' ROW)	Commercial Alley (20'-35' ROW)		Residential Street (50'-60' ROW)		Commercial Street (35'-70' ROW)					Avenue (50'-80' ROW)					Boulevard (70'-110' ROW)					Parkway (100'- 110' ROW)															
	1	1	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2		
Number of Lanes	1	1	2	2	2	2	2	2	2	2	2-3	2-3	2-3	2-3	2-3	4	4	4	4	4	4-6	4-6	4-6	4-6												
Lane Width (ft.)	10	12	12	13	18	13	13	13	13	13	12	12	12	12	12	12	12	12	12	12	11	11	11	11												
Two Way (ft.)	-	-	24	26	36	26	26	26	26	26	36	36	36	36	36	48	48	48	48	48	66	66	66	66												
Median (Y/N)	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y												
Width (Ft.)																14	14	14	14	14	14	14	14													
On Street Parking?	N	N	N	N	N	N	N	Y	Y	Y	N	N	Y	Y	Y	N	N	Y	Y	N	N	N	N													
Parallel (8'x22') (ft.)								16						16					16																	
Angled (19') (ft.)									36					36					36																	
Head-In (18') (ft.)										36					36																					
Parkway (from face of curb to ROW) each side	5	4	5.5	12	12	4.5	4	4	4	4	7	4	4	4	4	4	6	6	6	9	10	10	10	10												
On Street Bike Lanes #	N	N	N	N	N	N	Y	N	N	N	N	Y	N	N	N	N	Y	N	N	N	N	N	N													
Width (Ft.) (Total ROW Req'd)							16					16					16																			
ROW (ft.) (minimum)	20	20	35	50	60	35	50	50	70	70	50	60	60	80	80	70	90	90	110	80	100	100	100	100												
Design Speed	<20mph (10mph)	<20mph (10mph)	<20mph (10mph)	20 mph	20 mph	25 mph	25 mph	25 mph	25 mph	25 mph	30-35 mph	30-35 mph	30-35 mph	30-35 mph	30-35 mph	35-40 mph	35-40 mph	35-40 mph	35-40 mph	35-40 mph	40-45 mph	40-45 mph	40-45 mph	40-45 mph												
Right Turn Lane? *	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y												
Width (Ft.)																10	10	10	10	10	10	10	10	10												
ROW (ft.) with right turn lane *																80	100	100	120	90	110	110	110	110												
Landscape/Furnishing Zone (ft.)	3-5	5	5																																	
Sidewalk (ft.) (minimum)	-	-	-	4	4	8-12	8-12	8-12	8-12	8-12	6	6	6	6	6	6	6	6	6	6	6	6	6	6												

*Fire Lane Exception

Bicycle facility widths may be modified based on the City's adopted Master Thoroughfare Plan standards and adopted design standards.

Z 23-46



View from Telecom, looking towards Medical Office building.



View of properties located to the east of Campbell Road at Lookout, Single-Family Residential



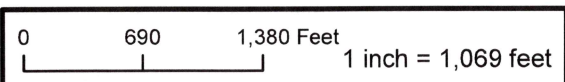
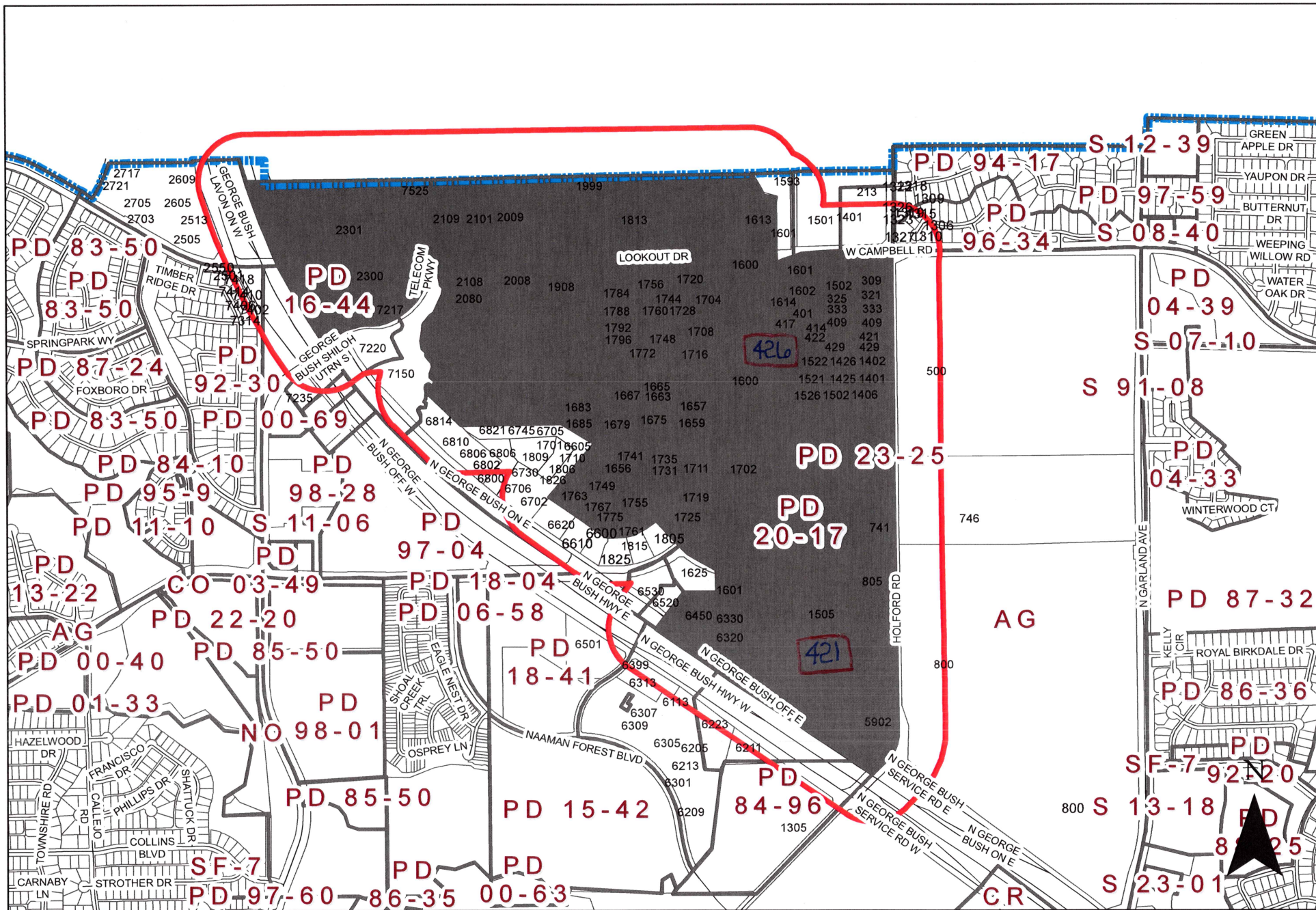
Data Center along Lookout, west of Campbell Road



View of west side of Campbell Road, north of Ferris - Multi-Family Residential



Substation (public/private utility) view at Telecom Parkway, north of Lookout Road



ZONING MAP Z 23-46

- INDICATES AREA OF REQUEST
- INDICATES NOTIFICATION AREA

President George Bush Highway / Holford Road

From:
To:
Subject:
Date:

Toan Van
[Planning Group](#)
Comment Form - Case Z 23-46
Tuesday, November 14, 2023 10:44:09 AM

CAUTION: This email is from an external source. DO NOT click links or open attachments without verifying the sender. Never enter USERNAME, PASSWORD or SENSITIVE INFORMATION on linked pages from this email. If you are unsure about the message, please contact the Help Desk at x7240 for assistance.

Comment Form Case Z 23-46

Z 23-46 City of Garland. Proposed is an amendment to Planned Development (PD) District 20-17 to exempt Data Centers from a Detail Plan process through Plan Commission and City Council, where Data Centers are already allowed by right and meet technical requirements. This area is generally located northeast of President George Bush Turnpike, west of Holford Road, and south of the city limits line. (District 1)

Z 23-46 City of Garland. Se propone una enmienda al Distrito 20-17 de Desarrollo Planificado (PD) para eximir a los Centros de Datos de un proceso de Plan Detallado a través de la Comisión del Plan y el Concejo Municipal, donde los Centros de Datos ya están permitidos por derecho y cumplen con los requisitos técnicos. Esta área generalmente está ubicada al noreste de President George Bush Turnpike, al oeste de Holford Road y al sur de la línea de los límites de la ciudad. (Distrito 1)

Z 23-46 City of Garland. Đề xuất là sửa đổi đối với Khu Phát triển theo Kế hoạch (PD) Quận 20-17 để miễn cho Trung tâm Dữ liệu khỏi quy trình Kế hoạch Chi tiết thông qua Ủy ban Kế hoạch và Hội đồng Thành phố, nơi các trung tâm dữ liệu đã được cấp phép theo quyền và đáp ứng các yêu cầu kỹ thuật. Khu vực này thường nằm ở phía đông bắc của President George Bush Turnpike, phía tây Holford Road và phía nam đường giới hạn thành phố. (Quận 1)

Please Check One Below / Marque uno a continuación / Vui lòng kiểm tra một bên dưới



For / A Favor / Đùng



Against / En Contra / Không

Please complete the following information and email the form to Planning@garlandtx.gov; deliver to the Planning Department at 800 Main Street Garland, TX; or mail to City of Garland, Planning Department, P.O. Box 469002 Garland, TX 75406-9002 / Por favor Complete la siguiente información y envíe el formulario por correo electrónico a Planning@garlandtx.gov; entregar al Departamento de Planificación en 800 Main Street Garland, TX; o envíelo por correo a City of Garland, Planning Department, P.O. Box 469002 Garland, TX 75406-9002 / Vui lòng điền đầy đủ thông tin sau và gửi biểu mẫu qua email tới Planning@garlandtx.gov; giao cho Phòng Kế hoạch tại 800 Main Street Garland, TX; hoặc gửi thư đến Thành phố Garland, Sở Kế hoạch, P.O. Hộp 469002 Garland, TX 75406-9002.

Toan Van / Property owner

Printed Name & Title / Nombre Impreso y Título / Tên in và Tiêu đề

(Property Owner, Business Owner, Tenant, etc.) / (Dueño de la propiedad, Dueño de la empresa, Inquilino, etc.) / (Chủ sở hữu bất động sản, Chủ doanh nghiệp, Người thuê, v.v.)

436 Pasco Rd

Your Property Address / La dirección de su propiedad / địa chỉ tài sản

Garland, TX

City, State / Estado de la Ciudad / Thành bang

75044

Zip Code / Código postal / Mã B u Qnhnh

Toan Van

Signature / Firma / Chữ ký
(Providing email address and phone number is optional. / La dirección de correo electrónico y el número de teléfono son opcionales. / Địa chỉ email và số điện thoại là tùy chọn.)

11/14/2023

Date / Fecha / Ngày

Toan

Comment Form Case Z 23-46

Z 23-46 City of Garland. Proposed is an amendment to Planned Development (PD) District 20-17 to exempt Data Centers from a Detail Plan process through Plan Commission and City Council, where Data Centers are already allowed by right and meet technical requirements. This area is generally located northeast of President George Bush Turnpike, west of Holford Road, and south of the city limits line. (District 1)

Z 23-46 City of Garland. Se propone una enmienda al Distrito 20-17 de Desarrollo Planificado (PD) para eximir a los Centros de Datos de un proceso de Plan Detallado a través de la Comisión del Plan y el Concejo Municipal, donde los Centros de Datos ya están permitidos por derecho y cumplen con los requisitos técnicos. Esta área generalmente está ubicada al noreste de President George Bush Turnpike, al oeste de Holford Road y al sur de la línea de los límites de la ciudad. (Distrito 1)

Z 23-46 City of Garland. Đề xuất là sửa đổi đối với Khu Phát triển theo Kế hoạch (PD) Quận 20-17 để miễn cho Trung tâm Dữ liệu khỏi quy trình Kế hoạch Chi tiết thông qua Ủy ban Kế hoạch và Hội đồng Thành phố, nơi các trung tâm dữ liệu đã được cấp phép theo quyền và đáp ứng các yêu cầu kỹ thuật. Khu vực này thường nằm ở phía đông bắc của President George Bush Turnpike, phía tây Holford Road và phía nam đường giới hạn thành phố. (Quận 1)

Please Check One Below / Marque uno a continuación / Vui lòng kiểm tra một bên dưới

- For / A Favor / Đúng
 Against / En Contra / Không

Please complete the following information and email the form to Planning@garlandtx.gov; deliver to the Planning Department at 800 Main Street Garland, TX; or mail to City of Garland, Planning Department, P.O. Box 469002 Garland, TX 75406-9002. / Por favor Complete la siguiente información y envíe el formulario por correo electrónico a Planning@garlandtx.gov; entregar al Departamento de Planificación en 800 Main Street Garland, TX; o envíelo por correo a City of Garland, Planning Department, P.O. Box 469002 Garland, TX 75406-9002. / Vui lòng điền đầy đủ thông tin sau và gửi biểu mẫu qua email tới Planning@garlandtx.gov; giao cho Phòng Kế hoạch tại 800 Main Street Garland, TX; hoặc gửi thư đến Thành phố Garland, Sở Kế hoạch, P.O. Hộp 469002 Garland, TX 75406-9002.

Clayton Hill

Printed Name & Title / Nombre Impreso y Título / Tên in và Tiêu đề

(Property Owner, Business Owner, Tenant, etc.) / (Dueño de la propiedad, Dueño de la empresa, Inquilino, etc.) / (Chủ sở hữu bất động sản, Chủ doanh nghiệp, Người thuê, v.v.)

Hal Kennewick Dr

Your Property Address / La dirección de su propiedad / địa chỉ tài sản

Garland, TX 75044

City, State / Estado de la Ciudad / Thành bang

75044

Zip Code / Código postal / Mã B u Qhính

Signature / Firma / Chữ ký

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