



GARLAND

NOTICE OF MEETING CITY OF GARLAND, TEXAS

PLAN COMMISSION
City Hall, Council Chambers
William E. Dollar Municipal Building
200 N. Fifth Street
Garland, Texas
March 25, 2024 at 7:00 p.m.

A meeting of the Plan Commission of the City of Garland, Texas will be held at the aforementioned location, date, and time to discuss and consider the following agenda items.

A pre-meeting will begin at 5:15 p.m. at the same location as the regular meeting. The agenda for the pre-meeting is the same as for the regular meeting, and may include additional items as set forth below.

INVOCATION AND PLEDGE OF ALLEGIANCE: It is the custom and tradition of the members of the Plan Commission to have an invocation and recital of the Pledge of Allegiance prior to the beginning of the meeting. Members of the audience are invited to participate. However, members of the audience are not required to participate. The decision to participate is strictly a matter of personal choice and has no bearing on matters to be considered by the Plan Commission and will not affect the decisions to be made during the meeting.

The meeting will be broadcast on City of Garland Government Access Television (CGTV). CGTV is available via GarlandTX.gov, channel 16 (Spectrum), Channel 44 (Frontier), and channel 99 (AT&T U-verse). Meetings are broadcast online via live-streaming, on-demand, and air on CGTV with several rebroadcasts during the week of the meeting.

Public Comments

Your comments must relate to an item on this agenda - non-germane comments are not in order. Time limits will be imposed by the Chairman as appropriate to the nature of the agenda item. Generally, public speakers are given three minutes.

IN-PERSON COMMENTS: Registration will be required for any citizen wishing to speak. Speakers shall register using the electronic registration kiosks in the lobby of City Hall.

Garland City Hall and Council Chambers are wheelchair accessible. Special parking is available on the east side of City Hall and on Austin & State Street west of City Hall. Persons with disabilities who plan to attend this meeting and who may need auxiliary aids or services must contact the City Secretary's Office at (972) 205-2404 at least two working days prior to the meeting so that appropriate arrangements can be made. **BRILLE IS NOT AVAILABLE.**

If the Plan Commission adjourns into executive session during this meeting, the executive session will be conducted between and among the members of the Plan Commission and relevant City staff. Public access to that meeting is prohibited by State law.

CONSENT AGENDA

All items under this section are recommended for approval by a single motion of the Plan Commission, without discussion. The Plan Commission has had the opportunity to review each of these items during a pre-meeting. The Chairman will announce the agenda and provide an opportunity for members of the audience and the Plan Commission to request that an item be removed and considered separately.

1. MINUTES

- a. Consider approval of the Plan Commission Minutes for the March 11, 2024 meeting.

2. PLATS

- a. P 24-08 Kingsley Road Properties Industrial District - Replat

ITEMS FOR INDIVIDUAL CONSIDERATION

Speaker Regulations:

Anyone wishing to speak for, against, or on agenda items must fill out a speaker card and give it to the Plan Commission Secretary before speaking (cards are located at the entrance to the Council Chambers). The Chairman will recognize speakers; he may impose a time limit and may provide for rebuttal. All comments and testimony are to be presented from the podium.

3. ZONING

- a. Consideration of the application of **David Gibbons**, requesting approval of 1) an Amendment to Planned Development (PD) District 17-25 for Multi-Family-1 (MF-1) Uses and 2) a Detail Plan for an Elder Care-Assisted Living Use. This property is located at 1922 Castle Drive. (District 2) (File Z 23-28)
- b. Consideration of the application of **Golden Bee Trove LLC**, requesting approval of 1) a Specific Use Provision for a Used Goods, Retail Sales (Indoors) Use and 2) a Plan on a property zoned Planned Development (PD) District 18-40. This property is located at 5501 Broadway Boulevard, Suite 105. (District 4) (File Z 24-04)
- c. Consideration of the application of **Kimley Horn**, requesting approval of 1) a Change in Zoning from Planned Development (PD) District 99-49 for Neighborhood Office Uses to Community Retail (CR) District; 2) a Specific Use Provision for a Restaurant, Drive-Through Use and 3) a Variance to Section 4.39 of the GDC regarding perimeter screening adjacent to residential development. This property is located at 2301 Arapaho Road (District 7) (File Z 24-11)

4. MISCELLANEOUS

- a. Consideration of the application of **Silvano Ramos**, requesting approval of a variance to Section 4.29 (C) (10) of the Garland Development Code requiring compliance of screening and landscaping requirements for an upgraded parking lot. This property is located at 409 and 411 East Walnut Street. (District 2) (File SL 24-01)
- b. Consideration to amend various Sections of Chapter 1, "General Provisions," Chapter 2, "Zoning Regulations," Chapter 3, "Subdivision Regulations," Chapter 4, "Site Development," Chapter 5, "Relief Procedures & Enforcement," and Chapter 7, "Downtown (DT) District" of the Garland Development Code of the City of Garland, Texas.

5. ADJOURN

NOTICE: The Plan Commission may recess from the open session and convene in a closed session if the discussion of any of the listed agenda items concerns matters regarding privileged and unprivileged client information deemed confidential by Rule 1.05 of the Texas Disciplinary Rules of Professional Conduct. Sec. 551.071, Tex. Gov't Code.

NOTE: A quorum of the City Council may be in attendance and may or may not participate in the discussions of the Committee or board.



GARLAND

Plan Commission

1. a.

Meeting Date: 03/25/2024

Item Title: Plan Commission Minutes for March 11, 2024

Summary:

Consider approval of the Plan Commission Minutes for the March 11, 2024 meeting.

Attachments

March 11, 2024 Plan Commission Minutes



GARLAND

MINUTES

The Plan Commission of the City of Garland convened in regular session at 7:00 p.m. on Monday, March 11, 2024, in the Council Chambers at the William E. Dollar Municipal Building, 200 N. Fifth Street, Garland, Texas, with the following members present:

Present: Scott Roberts, Chairman
Julius Jenkins, 1st Vice Chair
Wayne Dalton, 2nd Vice Chair
Stephanie Paris, Commissioner
Georgie Cornelius, Commissioner
Rich Aubin, Commissioner
Patrick Abell, Commissioner
Michael Rose, Commissioner

Staff Present: Will Guerin, Planning Director
Angela Self, Planning Administrator
Nabiha Ahmed, Lead Development Planner
Shawn Roten, Senior Assistant City Attorney
Elisa Morales, Secretary

CONSENT AGENDA

All items under this section are recommended for approval by a single motion of the Plan Commission, without discussion. The Plan Commission has had the opportunity to review each of these items during a pre-meeting. The Chairman will announce the agenda and provide an opportunity for members of the audience and the Plan Commission to request that an item be removed and considered separately.

Motion was made by Commissioner Paris to approve the Consent Agenda. Seconded by Commissioner Dalton. Motion carried: 8 Ayes, 0 Nays.

1. MINUTES

- a. Consider approval of the Plan Commission Minutes for the February 26, 2024 meeting. **APPROVED**

ITEMS FOR INDIVIDUAL CONSIDERATION

Speaker Regulations:

Anyone wishing to speak for, against, or on agenda items must fill out a speaker card and give it to the Plan Commission Secretary before speaking (cards are located at the entrance to the Council Chambers). The Chairman will recognize speakers; he may impose a time limit and may provide for rebuttal. All comments and testimony are to be presented from the podium.

2. ZONING

- a. Consideration of the application of Texas Taco Cabana, LP, requesting approval of 1) a Specific Use Provision Renewal for a Drive-Through, Restaurant Use and 2) a Plan on a property zoned Community Retail (CR) District with a Specific Use Provision (S 02-36). This property is located at 5959 Broadway Boulevard. (District 4) (File Z 24-09) **APPROVED**

Motion was made by Commissioner Cornelius to close the public hearing and approve the application as presented. Seconded by Commissioner Abell. Motion carried: 8 Ayes, 0 Nays.

3. MISCELLANEOUS

- a. Consideration of the application of **SignSmiths of TX**, requesting approval of 1) a Major Waiver to Chapter 7, Table 7-7 of the Garland Development Code and 2) a Downtown Development Plan to allow an awning sign on a property zoned Downtown (DT) District, Uptown (U) sub-district. This property is located at 823 Main Street. (District 2) (File DD 24-01) **APPROVED**

Motion was made by Commissioner Jenkins to **approve** the application as presented. Seconded by Commissioner Aubin. **Motion carried: 8 Ayes, 0 Nays.**

4. ADJOURN

There being no further business to come before the Plan Commission, the meeting adjourned at 7:05.

CITY OF GARLAND, TEXAS

/s/ Scott Roberts, Chairman

/s/ Elisa Morales, Secretary



GARLAND

Plan Commission

2. a.

Meeting Date: 03/25/2024

Item Title: P 24-08 Kingsley Road Properties Industrial District - Replat

Summary:

P 24-08 Kingsley Road Properties Industrial District - Replat

Attachments

P 24-08 Kingsley Road Properties Industrial District Replat Report & Attachments

Planning Report

File No: P 24-08 / District 5

Agenda Item:

Meeting: Plan Commission

Date: March 25, 2024



GARLAND

TEXAS MADE HERE

REPLAT

Kingsley Road Properties Industrial District

LOCATION

2622 Industrial Lane

ZONING

Industrial (IN) District

NUMBER OF LOTS

One

ACREAGE

0.722 acres

BACKGROUND

The purpose of this replat is to develop a warehouse building.

STAFF RECOMMENDATION

Approval of the Replat. All technical requirements have been addressed and the plat is in order as submitted.

ADDITIONAL INFORMATION

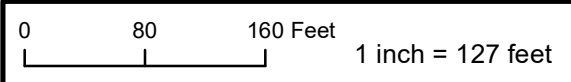
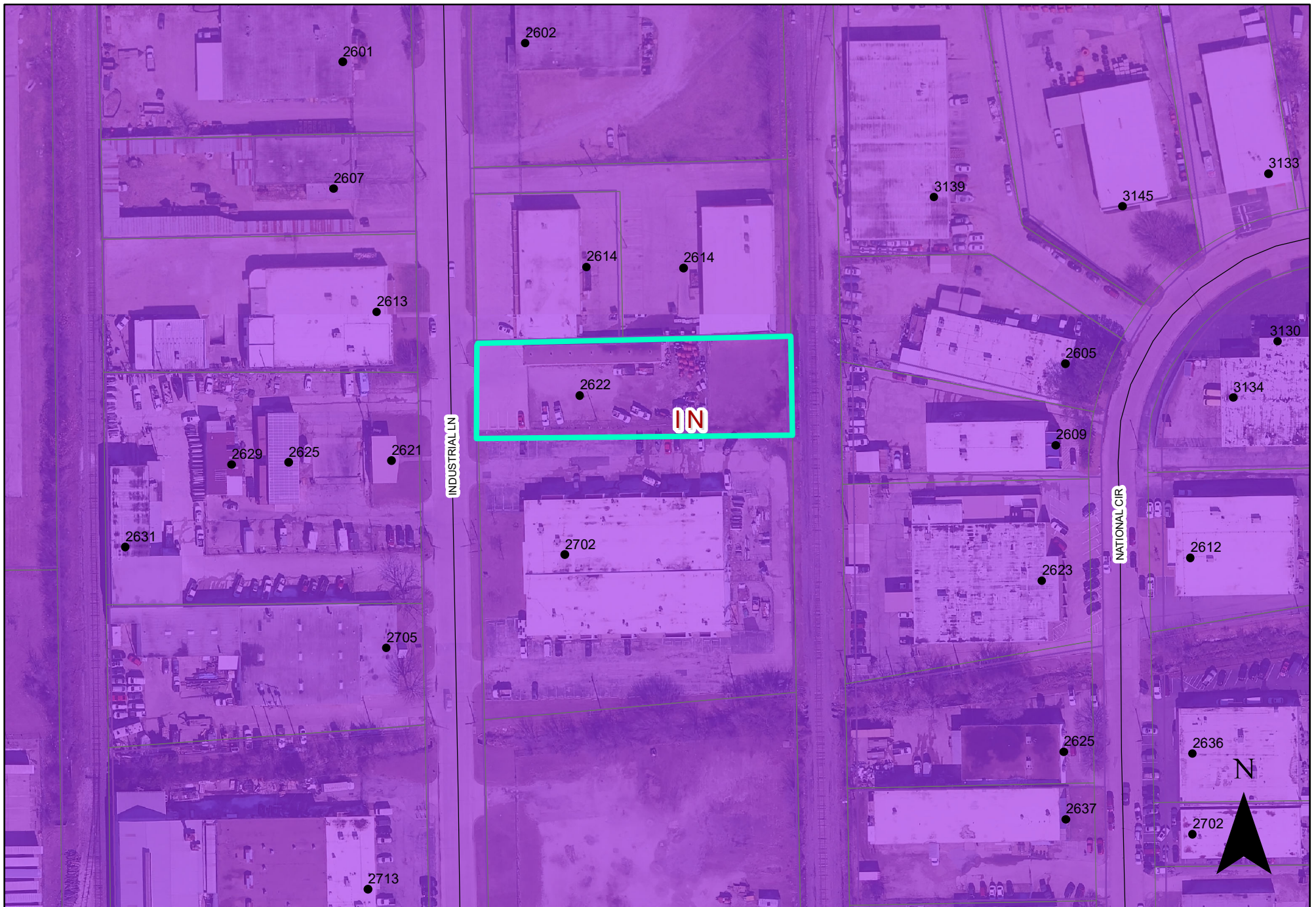
- i. Location Map
- ii. 24 x 36 Plat

PREPARED BY:

Nabiha Ahmed
Lead Development Planner
Planning and Development
972-205-2453
nahmed@garlandtx.gov

REVIEWED BY:

Will Guerin, AICP
Director of Planning



PLAT MAP P 24-08

 INDICATES AREA OF REQUEST



GARLAND

Plan Commission

3. a.

Meeting Date: 03/25/2024

Item Title: Z 23-28 David Gibbons (District 2)

Summary:

Consideration of the application of **David Gibbons**, requesting approval of 1) an Amendment to Planned Development (PD) District 17-25 for Multi-Family-1 (MF-1) Uses and 2) a Detail Plan for an Elder Care- Assisted Living Use. This property is located at 1922 Castle Drive. (District 2) (File Z 23-28)

Attachments

Z 23-28 David Gibbons Report & Attachments (District 2)

Z 23-28 David Gibbons Responses



GARLAND

TEXAS MADE HERE

Planning Report

File No: Z 23-28/District 2

Agenda Item:

Meeting: Plan Commission

Date: March 25, 2024

REQUEST

Approval of 1) an Amendment to Planned Development (PD) District 17-25 for Multi-Family-1 (MF-1) Uses and 2) a Detail Plan for an Elder Care- Assisted Living Use

LOCATION

1922 Castle Drive

APPLICANT

David Gibbons

OWNER

Garland Housing Finance Corporation

BACKGROUND

The site was developed with a 22,000 square-foot Nursing Home that was constructed in 1970. In the early 2000's, the facility ceased to operate, and the property was sold.

In 2017, the City Council approved to use the vacant building as an Elder Care – Assisted Living. However, the building was demolished in 2021.

The applicant is now proposing a new layout for an Elder Care- Assisted Living Use. Per the applicant's narrative, "The mission is to provide affordable housing for seniors. These planned twenty (20) residences will provide new, safe, sanitary, and sustainable housing to Garland seniors."

SITE DATA

The subject property contains approximately 2.52 acres and has approximately 236.59 linear feet of frontage along Castle Drive. The property has two access points from Castle Drive.

USE OF PROPERTY UNDER CURRENT ZONING

The subject property is currently zoned Planned Development (PD) District 17-25 for an Assisted Living Use.

The GDC defines Elder Care – Assisted Living as "A type of Personal Care Facility in which five or more elderly (over 55 years of age) persons, regardless of legal relationship, live and who need limited assistance with daily living activities."

CONSIDERATIONS

Detail Plan

1. The site plan (Exhibit C) reflects a total of four (4) buildings and each building consists of five (5) dwelling units. A total of twenty (20) dwelling units are proposed surrounding an internal courtyard.

Additionally, this development will comply with the minimum GDC dwelling unit size.

2. Screening and Landscaping

The GDC requires a minimum of forty (40%) percent of the site to be landscaped and the landscape plan meets the required landscaping.

Additionally, an Elder Care Assisted Living requires perimeter fencing. The applicant is proposing an eight (8)-foot tall ornamental fence with masonry columns along the northern, eastern and southern property lines. The existing wood fence along the western perimeter will remain as it is. It should be noted that in Planned Development (PD) District 17-25, the City Council approved the wood fence to remain along the western perimeter and an ornamental fence with masonry columns was proposed along the remaining perimeter of the property.

Along with the ornamental metal fence, a continuous row of evergreen high-level screening shrubs are required along all portions of the fence that are not opaque masonry. The applicant is requesting partial relief from this requirement due to large drainage easements. The landscape plan reflects high-level screening and large canopy trees along the northern perimeter and partial row of shrubs along the eastern western perimeter.

3. Amenities

The GDC requires indoor common or recreational areas must be provided at a ratio of at least one hundred square feet of gross floor area per dwelling unit. This development would require 2,000 square-foot of indoor recreational space. The applicant is not proposing indoor recreational space with amenities. However, per the applicant's narrative, "Each dwelling unit has been designed to have a direct access to a common porch (733 sq. ft) which will overlook and provide access to a planted interior garden environment. This common area is meant to create opportunity for connections within the individual structure allowing for residence an opportunity to sit and gather with natural light and air. It is meant to encourage connection to the internal garden area. The spaces then interlock to encourage connections to other structures thus developing a sense of the community. A total of 2,932 sq. ft. of total covered common area is provided by these porches."

4. Parking

The site plan (Exhibit C) complies with the parking requirement per the GDC.

5. Building Design

The GDC requires a minimum of six (6) architectural elements for multi-family and non-residential developments. This proposed development is a low-density residential style layout. The building elevations (Exhibit E) reflect three (3) architectural elements per units that is required per Section 4.84 of the GDC for single-family, duplex and townhouse developments.

6. Planned Development Flexibilities

The applicant requests a Planned Development (PD) District to accommodate a senior assisted living development. The applicant is requesting the following flexibilities/deviations:

- Screening: The applicant is not proposing a dense row of high-level screening shrubs along the ornamental fence with masonry columns, due to the site configuration and large drainage easements.
- Amenities: This development would require 2,000 square feet of indoor recreational space. This proposed development is a low-density, residential style assisted living. Instead, each dwelling unit will have a porch which will overlook and provide access to a planted interior garden environment.
- Building Design: This proposal fits the residential building design. Therefore, the applicant is proposing the three (3) architectural elements in lieu of the six (6) architectural elements are required for conventional multi-family and non-residential developments.

It should be noted the applicant is redeveloping a site that was previously a Nursing Home.

COMPREHENSIVE PLAN

The Future Land Use Map of the Envision Garland Plan recommends Compact Neighborhoods.

Compact neighborhoods provide areas for moderate increases in residential density, including single-family attached and single-family detached housing. It expands housing options through infill and redevelopment, while continuing walkable development patterns.

The Compact neighborhood development type is primarily characterized as moderate residential (between six and twelve dwelling units per acre).

The proposed net density is 8.4 dwelling units per acre; therefore, the development is supportive of the Comprehensive Plan.

ECONOMIC DEVELOPMENT STRATEGIC PLAN

Per the Economic Development Strategic Plan, additional density increases sales tax and supports existing businesses. The subject property will provide additional housing to the area for seniors.

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

The properties to the north, across Castle Drive, are zoned Single-Family-7 (SF-7) District; these properties are developed with single-family homes. The properties directly to the east and south are zoned Single-Family-7 (SF-7) District; these properties are developed with single-family homes. The property to the west is zoned Planned Development (PD) District 10-33; it is developed with an apartment complex.

The property was previously developed with a 22,000 square-foot nursing home. This low-density proposal will blend with the surrounding residential developments.

STAFF RECOMMENDATION

Approval of 1) an Amendment to Planned Development (PD) District 17-25 for Multi-Family-1 (MF-1) Uses and 2) a Detail Plan for an Elder Care- Assisted Living Use

ADDITIONAL INFORMATION

- i. Location Map
- ii. PD Conditions
- iii. Exhibits
- iv. Photos

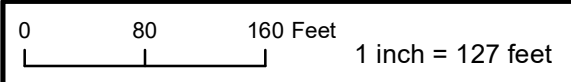
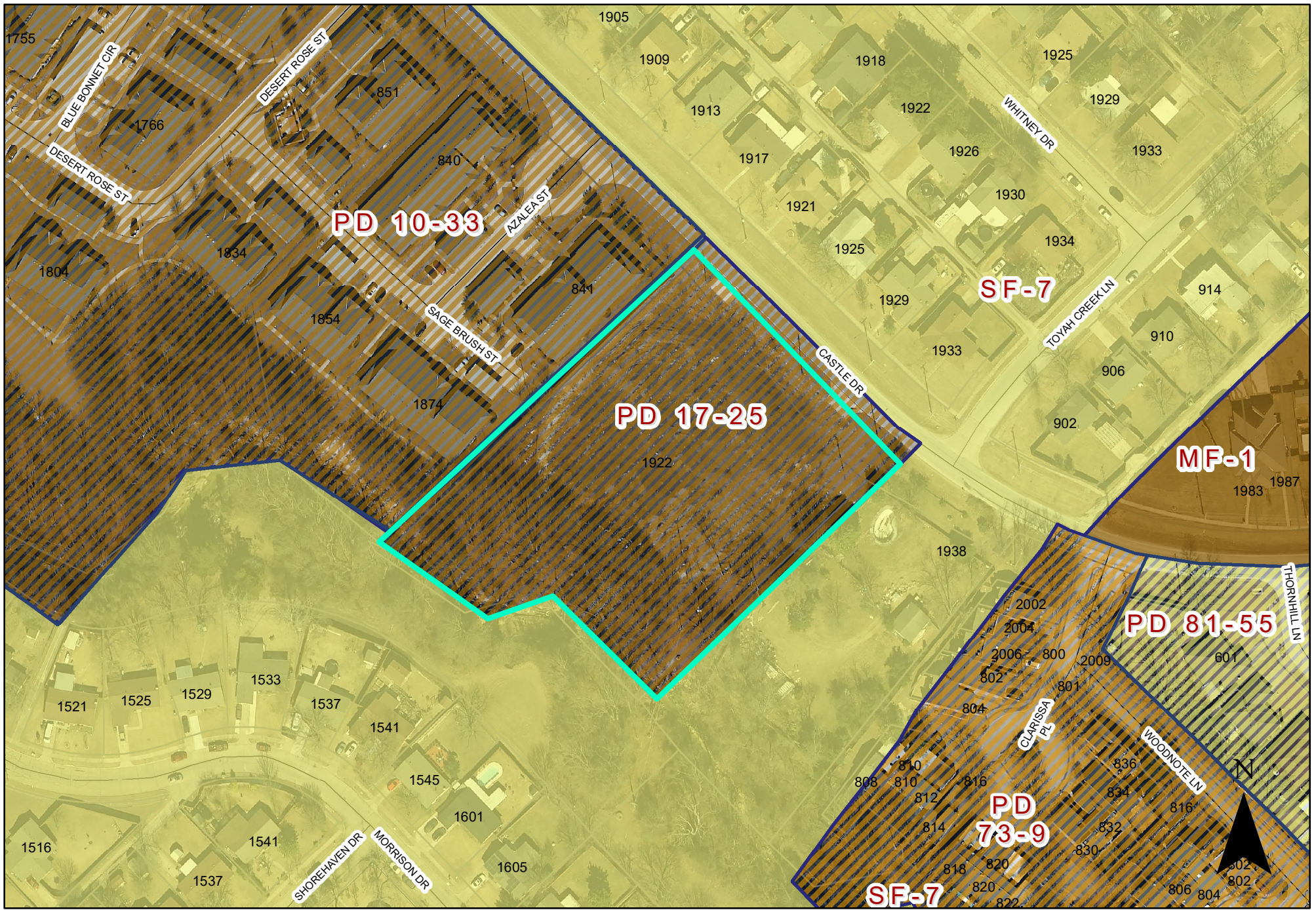
CITY COUNCIL DATE: April 16, 2024

PREPARED BY:

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972-205-2453
nahmed@garlandtx.gov

REVIEWED BY:

Will Guerin, AICP
Director of Planning



ZONING MAP Z 23-28

 INDICATES AREA OF REQUEST

1922 Castle Drive

PLANNED DEVELOPMENT CONDITIONS

ZONING FILE Z 23-28

1922 Castle Drive

I. Statement of Purpose: The purpose of this Planned Development is to approve an Elder Care- Assisted Living development.

II. Statement of Effect: This Planned Development shall not affect any regulation found in the Garland Development Code, Ordinance No. 6773, as amended prior to adoption of this ordinance, except as specifically provided herein.

III. General Regulations: All regulations of the Multi-Family-1 (MF-1) District as set forth in Chapter 2 of the Garland Development Code are included by reference and shall apply, except as otherwise specified by this ordinance.

IV. Development Plans:

Detail Plan: Development shall be in general conformance with the Detail Plan labeled Exhibit C through Exhibit E. In the event there is conflict between the approved Detail Plan and the Specific Regulations below, the Specific Regulations shall apply.

V. Specific Conditions:

A. Permitted Uses: Elder Care - Assisted Living Use, as defined by the Garland Development Code, only shall be permitted.

B. Site Plan: The site layout, building placement, parking, and other development proposed shall be in general conformance with the approved Site Plan labeled Exhibit C.

C. Dwelling Units: A total of twenty (20) dwelling units shall be permitted.

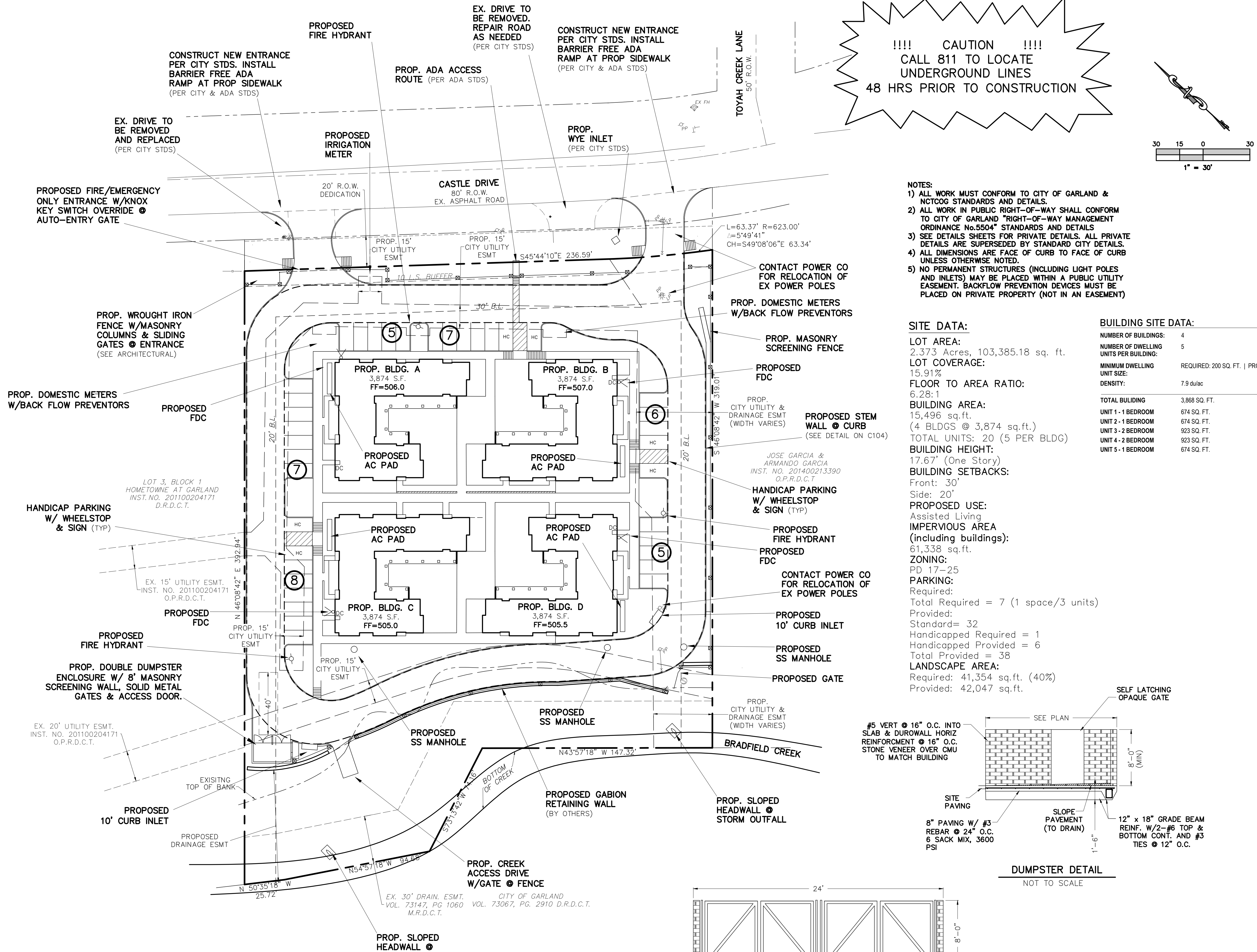
D. Landscape Plan: Screening and landscaping shall be in general conformance with the landscape plan labeled Exhibit D. The existing wood fence along the northwest property line shall remain. At all other locations the perimeter fencing shall be developed with ornamental

metal fence with masonry columns.

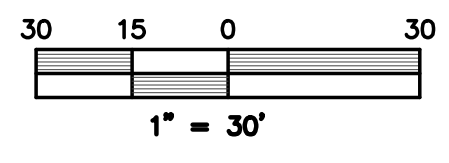
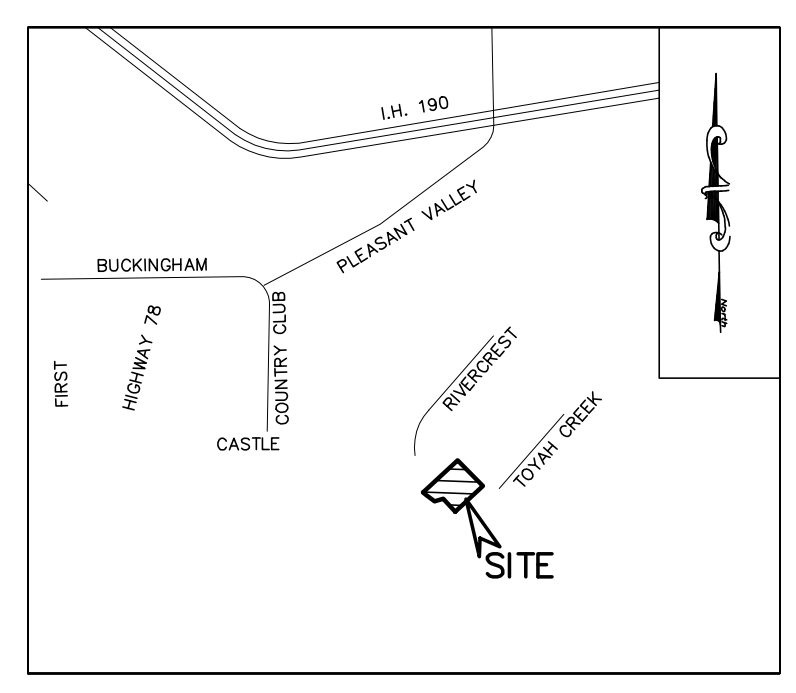
1. Landscaping must be regularly maintained in a healthy, growing condition and in compliance with this PD Ordinance, the Garland Development Code, the Code of Ordinances of the City of Garland, and the landscaping plan attached hereto at all times. The property owner is responsible for regular weeding, mowing of grass, irrigation, fertilizing, pruning, or other maintenance of all plantings as needed. All exposed ground surfaces on or within the premises shall be properly improved, covered with screening or other approved solid material, or protected with a vegetative growth that prevents soil erosion and ameliorates objectionable dust conditions.
2. Any plant or vegetation that dies must be replaced with another approved plant variety that complies with the approved landscape plan within sixty (60) days after receipt of written notification from the City. In the event the property owner fails to remedy a violation of any landscaping maintenance regulation within sixty (60) days after receipt of written notification from the City, the City may, in addition to any other remedy available by law, withhold future city permits, licenses and/or certificates requested by the property owner for the premises to which such violation applies.
3. Screening and paving must be regularly maintained in compliance with this PD Ordinance, the Garland Development Code, and the Code of Ordinances of the City of Garland at all times. The property owner is responsible for regular maintenance of all screening and paving as needed. In the event the property owner fails to remedy a violation of any screening or paving maintenance regulation within sixty (60) days after receipt of written notification from the City, the City may, in addition to any other remedy available by law, withhold future city permits, licenses and/or certificates requested by the property owner for the premises to which such violation applies.

E. Elevations: Building Elevations shall be in general conformance with the elevations labeled Exhibit E.

EXHIBIT C



!!!! CAUTION !!!!
CALL 811 TO LOCATE
UNDERGROUND LINES
48 HRS PRIOR TO CONSTRUCTION



- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF GARLAND & NCTCOG STANDARDS AND DETAILS.
 - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF GARLAND "RIGHT-OF-WAY MANAGEMENT ORDINANCE No.5504" STANDARDS AND DETAILS
 - 3) SEE DETAILS SHEETS FOR PRIVATE DETAILS. ALL PRIVATE DETAILS ARE SUPERSEDED BY STANDARD CITY DETAILS.
 - 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - 5) NO PERMANENT STRUCTURES (INCLUDING LIGHT POLES AND INLETS) MAY BE PLACED WITHIN A PUBLIC UTILITY EASEMENT. BACKFLOW PREVENTION DEVICES MUST BE PLACED ON PRIVATE PROPERTY (NOT IN AN EASEMENT)

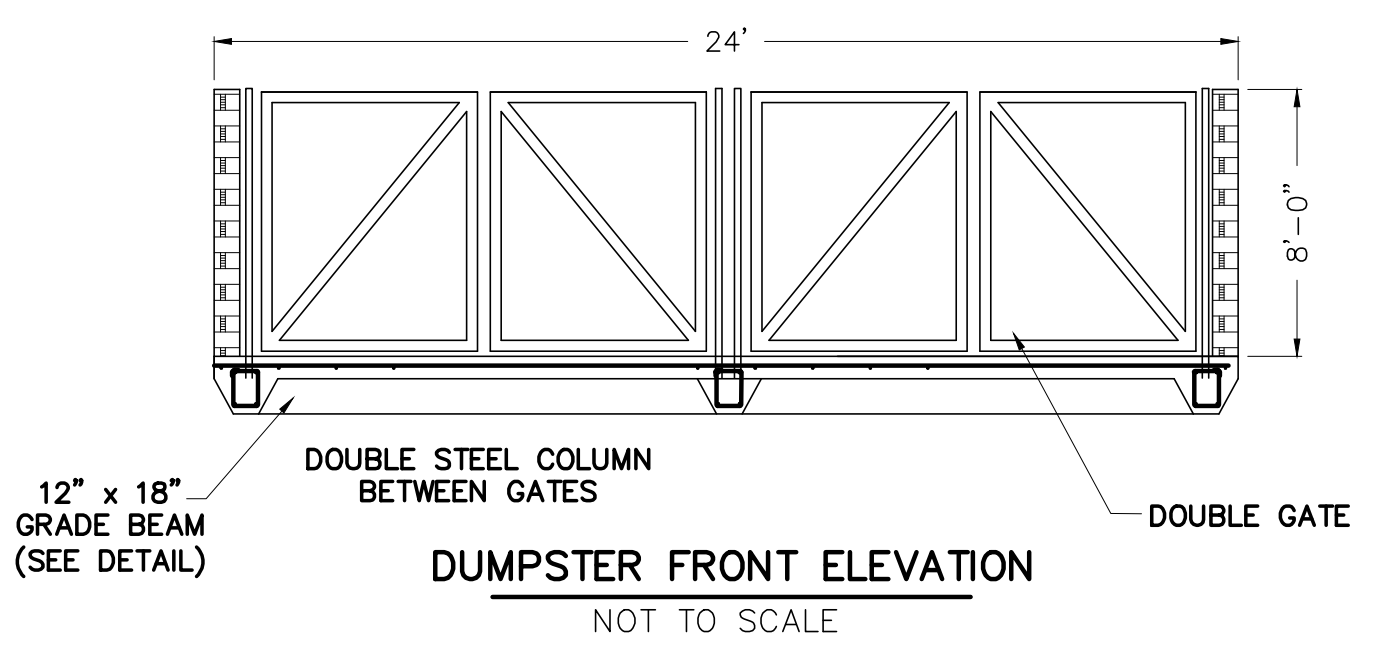
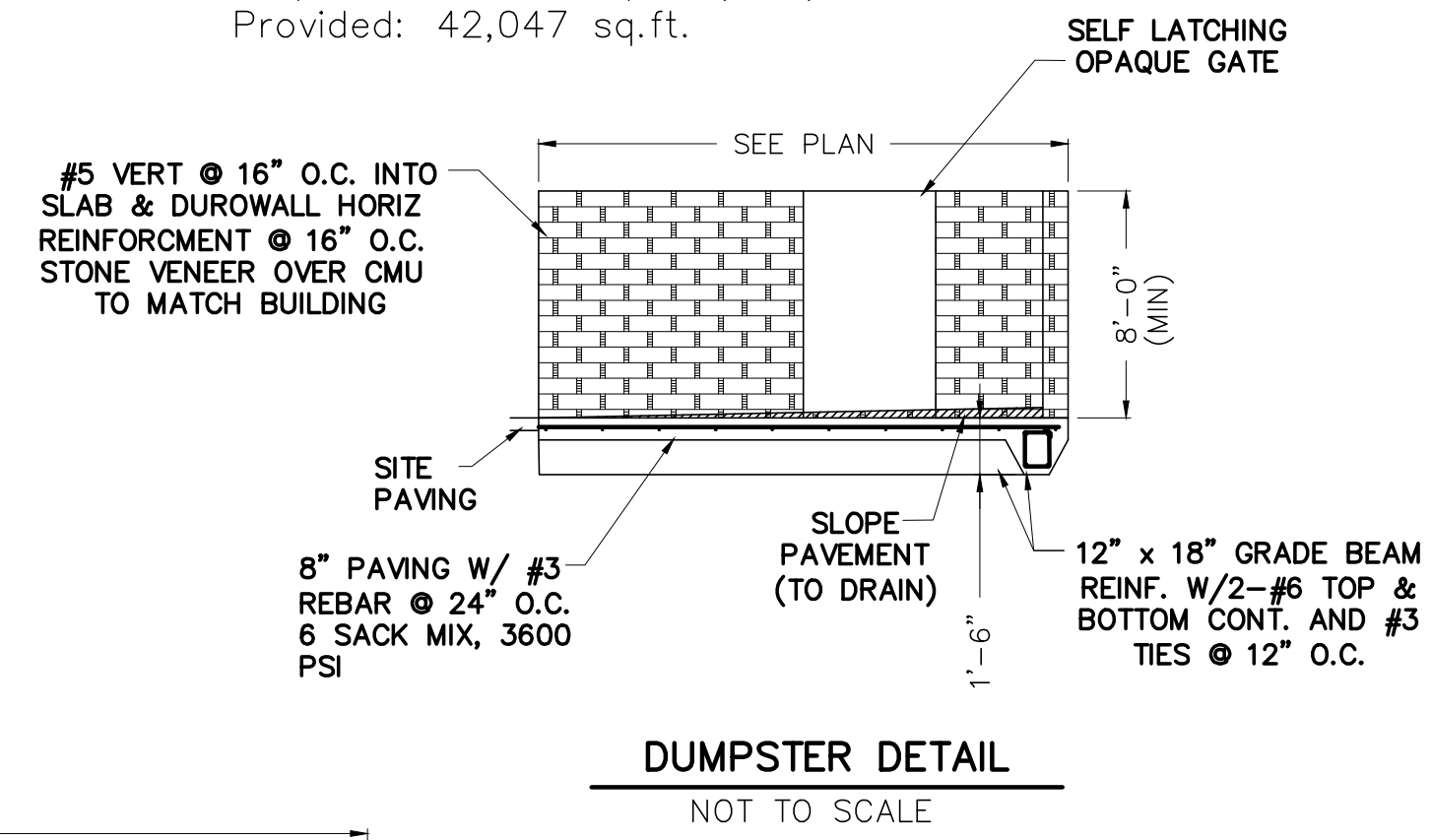
SITE DATA:
 LOT AREA: 2.373 Acres, 103,385.18 sq. ft.
 LOT COVERAGE: 15.91%
 FLOOR TO AREA RATIO: 6.28:1
 BUILDING AREA: 15,496 sq.ft.
 (4 BLDGS @ 3,874 sq.ft.)
 BUILDING HEIGHT: 17.67' (One Story)
 BUILDING SETBACKS:
 Front: 30'
 Side: 20'
 PROPOSED USE:
 Assisted Living
IMPERVIOUS AREA
 (including buildings): 61,338 sq.ft.
ZONING:
 PD 17-25
PARKING:
 Required:
 Total Required = 7 (1 space/3 units)
 Provided:
 Standard = 32
 Handicapped Required = 1
 Handicapped Provided = 6
 Total Provided = 38
LANDSCAPE AREA:
 Required: 41,354 sq.ft. (40%)
 Provided: 42,047 sq.ft.

BUILDING SITE DATA:

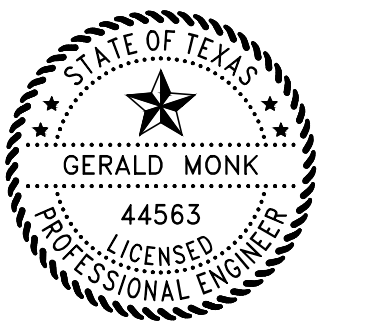
NUMBER OF BUILDINGS:	4
NUMBER OF DWELLING UNITS PER BUILDING:	5
MINIMUM DWELLING UNIT SIZE:	REQUIRED: 200 SQ. FT. PROVIDED: 674 SQ. FT.
DENSITY:	7.9 du/ac
TOTAL BUILDING	3,868 SQ. FT.
UNIT 1 - 1 BEDROOM	674 SQ. FT.
UNIT 2 - 1 BEDROOM	674 SQ. FT.
UNIT 3 - 2 BEDROOM	923 SQ. FT.
UNIT 4 - 2 BEDROOM	923 SQ. FT.
UNIT 5 - 1 BEDROOM	674 SQ. FT.

LEGEND

---	= PROPERTY LINE
EX. W	= EX. WATER
EX. SS	= EX. SANITARY SEWER
⊙	= EX. SS MANHOLE
⊙	= EX. SS CLEANOUT
⊙	= EX. GAS METER
⊙	= EX. WATER METER
⊙	= EX. WATER VALVE
⊙	= EX. LIGHT POLE
⊙	= EX. POWER POLE
⊙	= EX. TELEPHONE BOX
⊙	= EXISTING STORM MANHOLE
⊙	= EX. FIRE HYDRANT
EXIST. or EX.	= EXISTING
ESMNT.	= EASEMENT
LS	= LANDSCAPE
BC	= BACK OF CURB
B-B	= BACK OF CURB TO BACK OF CURB
⊙	= CENTERLINE
⊙	= VISIBILITY TRIANGLE
⊙	= PROP. FIRE HYDRANT
D.E.	= DRAINAGE EASEMENT
E.S.H.	= EROSION SETBACK HAZARD
⊙	= PROPOSED FIRELANE



NOT FOR CONSTRUCTION



CASE NO: 230228-1

PRELIMINARY SITE PLAN
GARLAND HOUSING AUTHORITY

1922 CASTLE DRIVE
 NORTHLAKE ESTATES NO. 6
 LOT 1, BLOCK A, 2.37 Acres
 City of Garland, Dallas County, Texas

owner
GARLAND HOUSING FINANCE CORPORATION
 1675 W. Campbell Road, Garland, TX 75044
 Contact: David W. Gibbons 469-716-4629

prepared by
MONK CONSULTING ENGINEERS
 1200 W. State Street, Garland Texas 75040
 972 272-1763 Fax 972 272-8761

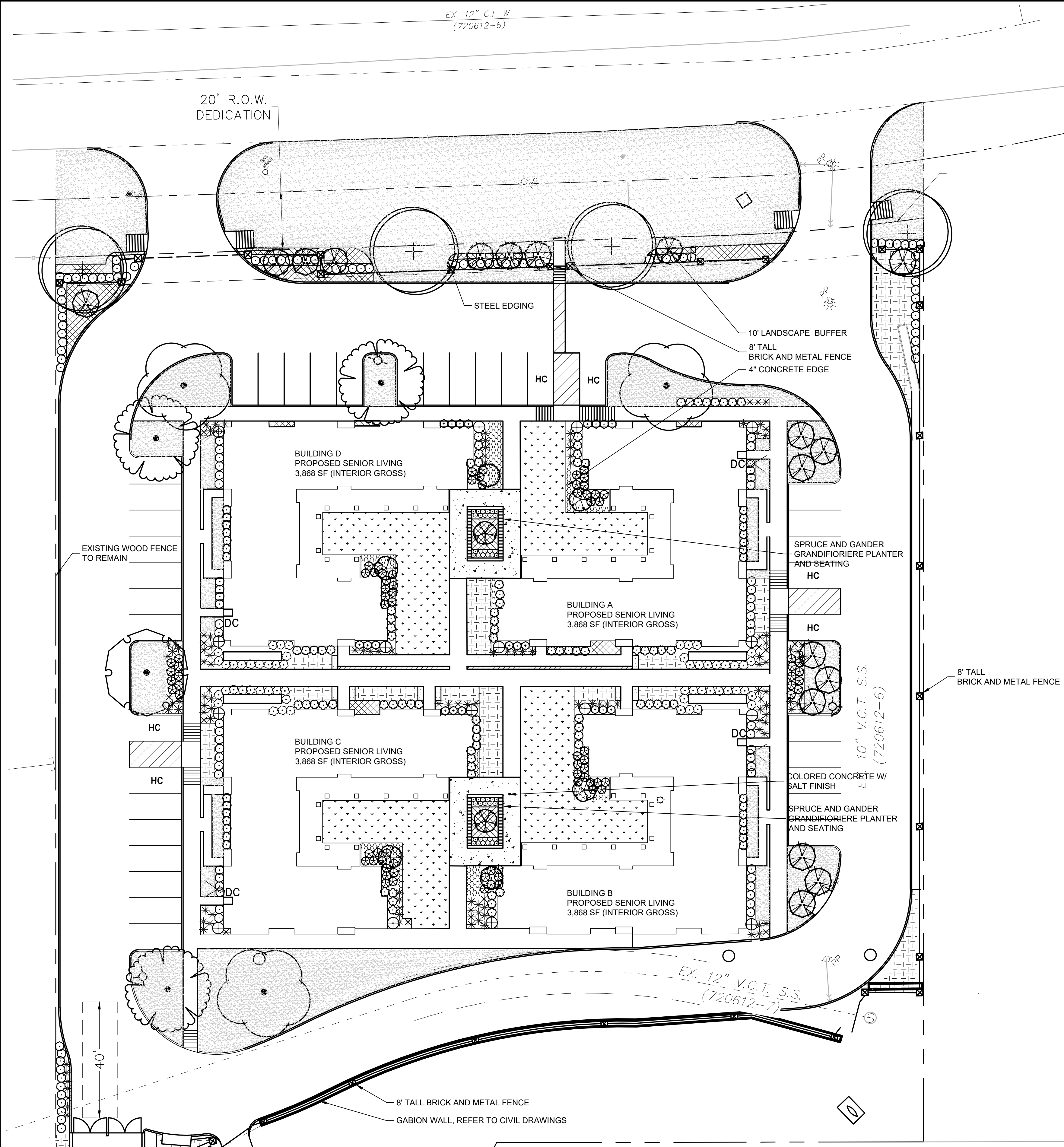
© 2023 Monk Consulting Engineers, Inc., All Rights Reserved
 REG. NO.: F-2567

date: 1/24/24 scale: 1"=30' sheet: C101

NOTE: PER THE THOROUGHFARE PLAN, CASTLE DRIVE IS PROGRAMMED TO BE EXPANDED IN THE FUTURE. PER THE GDC, SECTION 3.47, THE DEVELOPER SHALL PAY ADDITIONAL ROADWAY IMPACT FEES TO PAY FOR THE CONSTRUCTION COST OF ONE-HALF OF THE ROAD IMPROVEMENTS ADJACENT TO THEIR PROPERTY, NOT TO EXCEED THE DEVELOPER'S PROPORTIONAL SHARE.

EXHIBIT D

I:\city of garland\23-008 garland hud - castle drive la plan\CAD\03 - production\Landscape Plan.dwg



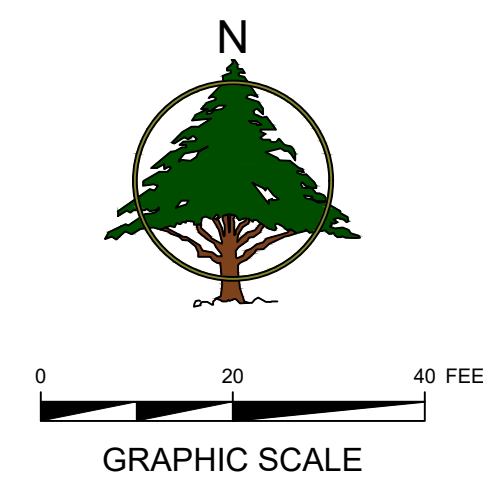
Note: Public Right of Way, easements and common areas must be stabilized with perennial vegetation cover, fully established with 100% coverage, or other approved stabilization method.
No landscaping such as trees, hedges, above and underground structures shall be located within existing or proposed utility easements and right of way without approved City's Real Property Improvement Authorization form or City's License Agreement.

LANDSCAPE REQUIREMENTS
 Parking Required: 27
 Parking Provided: 37
 Landscaping Required: 43,909 SF
 Landscape Provided: 35,261 SF
 Shade Trees Required: 10
 Shade Trees Provided: 11
 Ornamental Trees Required: 14
 Ornamental Trees Provided: 23
 Shrubs Required: 115
 Shrubs Provided: 453

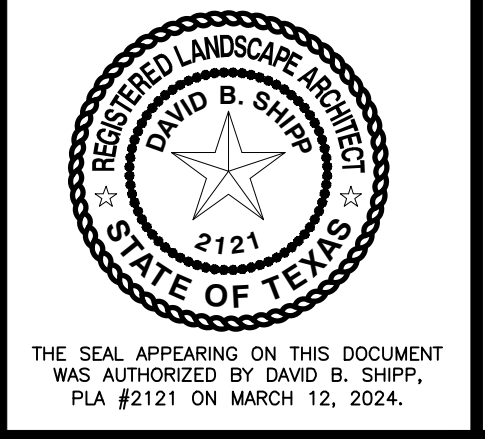


PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
TREES				
	Pistacia chinensis / Chinese Pistache	65 gal.	12' MIN HT/6' MIN W	4
	Quercus muehlenbergii / Chinkapin Oak	65 gal.	12' MIN HT/6' MIN W	3
	Quercus shumardii / Shumard Red Oak	65 gal.	12' MIN HT/6' MIN W	3
	Ulmus crassifolia / Cedar Elm	65 gal.	12' MIN HT/6' MIN W	1
ORNAMENTAL TREES				
	Acer palmatum dissectum 'Waterfall' / Waterfall Japanese Maple	30 gal.		2
	Ilex vomitoria 'Pride of Houston' / Pride of Houston Yaupon Holly	30 gal.		2
	Lagerstroemia indica x fauriei 'Arapaho' / Arapaho Crape Myrtle	30 gal.		18
	Magnolia grandiflora 'Little Gem' / Little Gem Dwarf Southern Magnolia	30 gal.		4
SHRUBS				
	Abelia x grandiflora 'Kaleidoscope' / Kaleidoscope Glossy Abelia	3 gal.		79
	Hesperaloe x 'Perfu' / Pink Parade Red Yucca	3 gal.		132
	Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly	7 gal.		134
	Ilex vomitoria 'Nana' / Dwarf Yaupon Holly	3 gal.		107
	Leucophyllum frutescens 'Compacta' / Compact Texas Ranger	7 gal.		16
	Loropetalum chinense rubrum 'Shang-hi' TM / Purple Diamond Fringe Flower	15 gal.		55
	Nandina domestica 'Murasaki' / Flirt™ Heavenly Bamboo	3 gal.		44
	Teucrium fruticans 'Silver Bush' / Silver Bush Germander	3 gal.		20
SHRUB AREAS				
	Liriope gigantea / Giant Liriope	1 gal.	24" o.c.	314
PERENNIAL				
	Dianthus gratianopolitanus / Cheddar Pink	1 gal.	8" o.c.	183
GROUND COVERS				
	Euonymus fortunei / Wintercreeper	4" pot	12" o.c.	2,208
	Liriope densiflora / Lilyturf	4" pot	12" o.c.	381
TURFGRASS				
	Cynodon dactylon / Bermudagrass	Sod		16,473 sf
	Synthetic Turf- ForeverLawn Fresh or Approved Equal	4,914 SF		
	Steel Edging	810 LF		
	Concrete Edging	200 LF		
	Bed Preparation Material (See Technical Specification Section 329113)	± 27,576 SF		



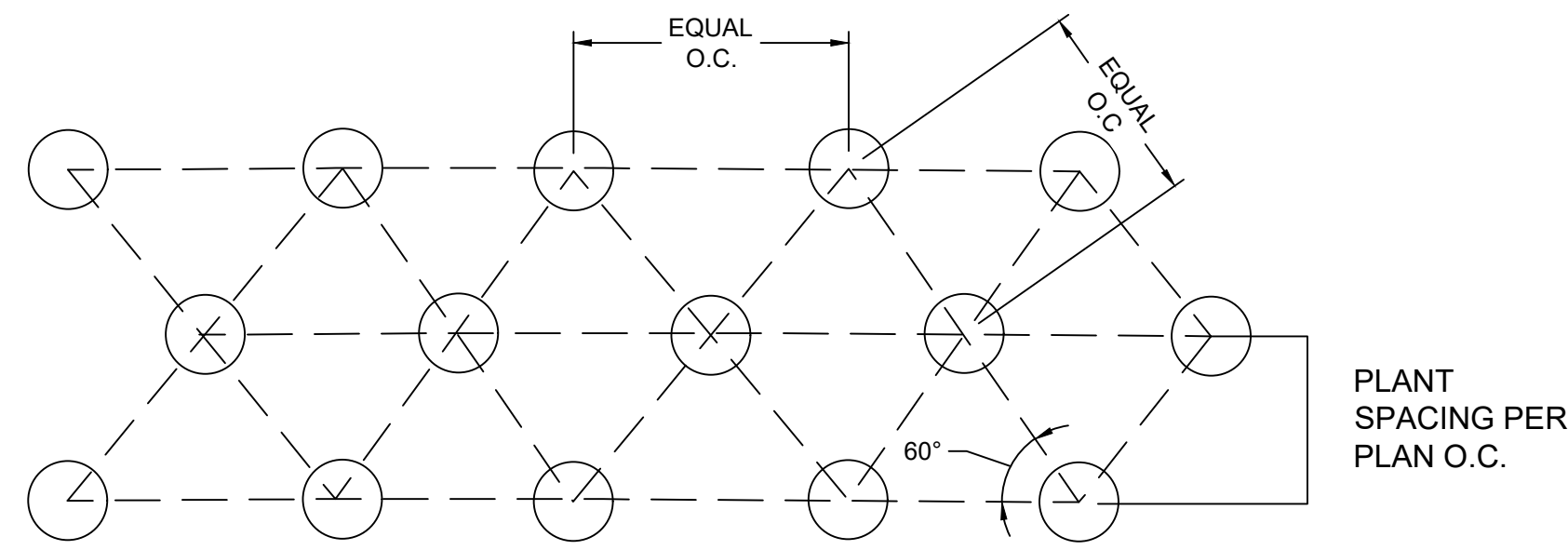
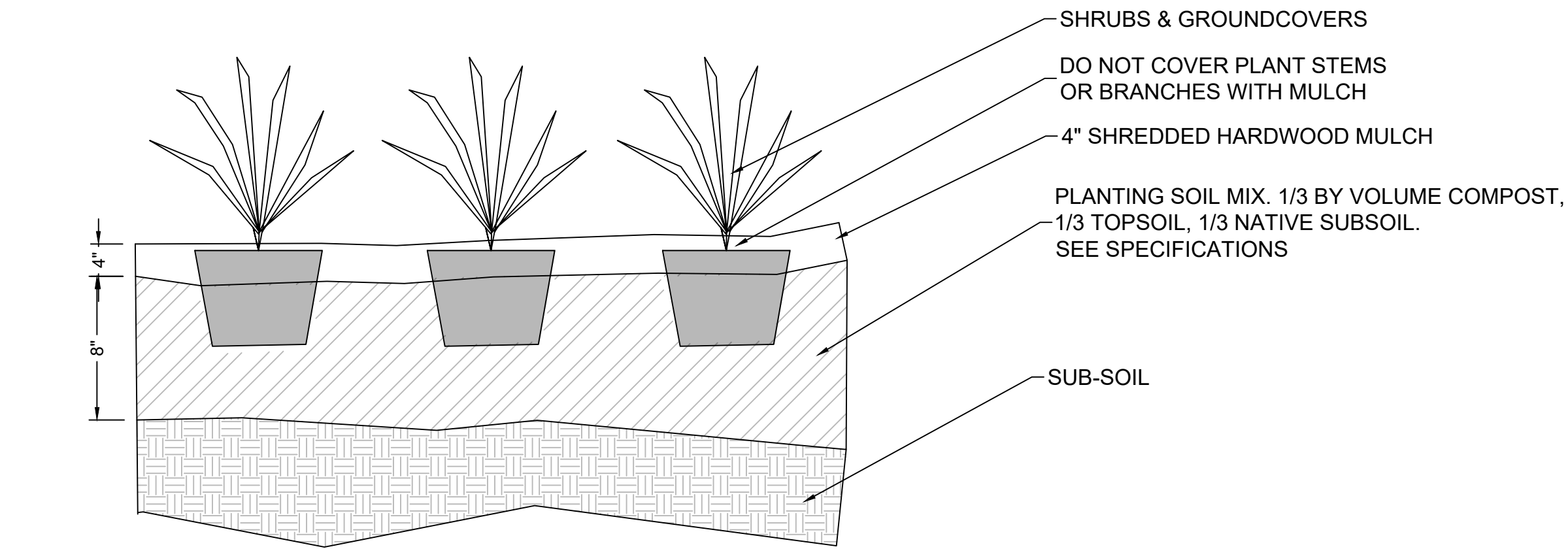
REVISIONS:
 10.19.23 Revised Site Plan
 1.19.24 Revised Site Plan



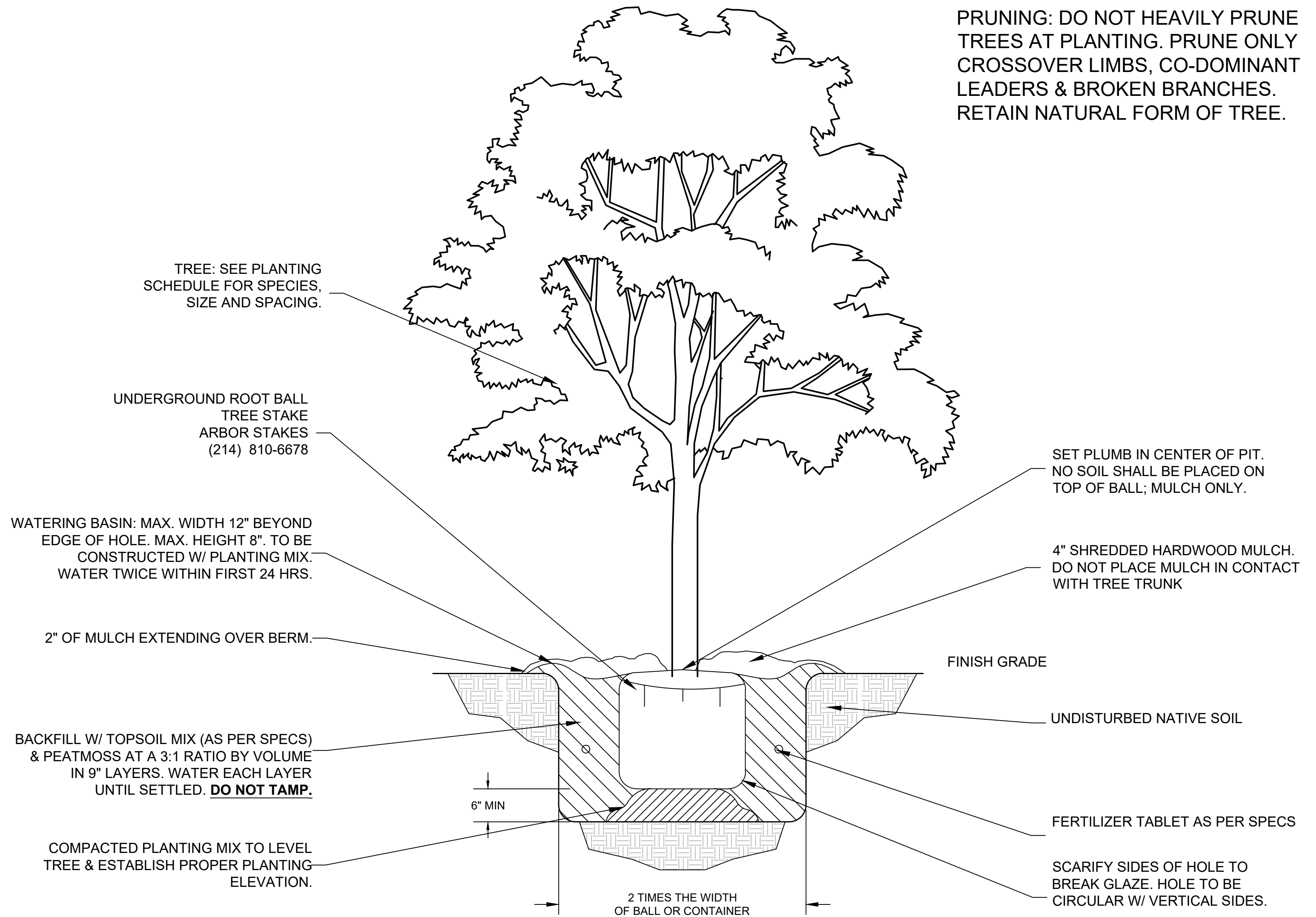
LANDSCAPE PLAN
CASTLE DRIVE-GARLAND HUD
 CITY OF GARLAND, TEXAS

DRAWN: MEP
 CHECKED: DBS
 DATE: 3/12/2024
 SCALE: AS SHOWN
 JOB NO.: 23-008

L1



SHRUBS & GROUNDCOVER PLANTING DETAIL
N.T.S.



TREE PLANTING DETAIL
N.T.S.

GRANDIFIORIERE

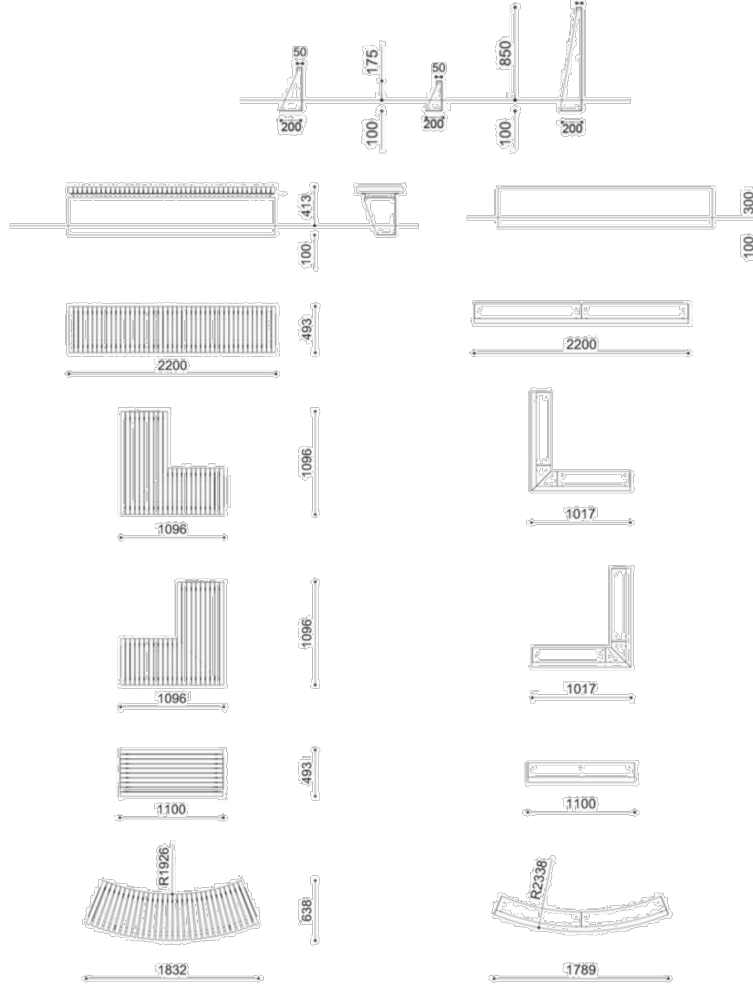
MASSIMO TASCA



The Grandifioriere, designed by Massimo Tasca, is a socially designed planter and seating system that is part of the VITAURBANA Collection. The modularity of the Grandifioriere family allows designers the artistic freedom to create a wide variety of configurations using standard linear, angled and curved components. The structure is manufactured in corten steel that can be supplied with integrated wood seating.



- MATERIALS & FINISHES**
-Raw Corten Steel
-Corten Steel w/ Anti-Washout Treatment (upon request)
-Larch Wood
-Hardwood
- DIMENSIONS**
-All dimensions are in mm
- FOOTING**
-Inground



877.690.7755
info@idcreated.com
idcreated.com

id, Inc. is a US based company with exclusive rights to distribute Metalco srl products in the US and Canada.

ForeverLawn Landscape System
Installed over rooftop or solid surface with SafetyFoam Pro

ForeverLawn
landscape

Staples
1" long, 1/4" crown galvanized staples spaced every 3"

ForeverLawn® synthetic grass
Infill As required or recommended

Premium three-layer backing
Unique proprietary, multi-layered, premium backing system with micromechanical seaming technology

SafetyFoam Pro™

Side wall

Screw or wedge concrete anchor

Ground-contact treated lumber or plastic nailer board
Secured to side wall with concrete anchors or adhered to roofing membrane with adhesive.

Channels to allow for drainage

Concrete surface

CONCRETE BORDER (4,000 PSI)
#4 CONT. REBAR 3" CLR TOP & BOTTOM
#3 REBAR @ 12" O.C.
1" CHAMFER, TYP

2x4 NAILER BOARD
SAFETY FOAM PRO
4" CONCRETE PAD
#3 REBAR 12" O.C.

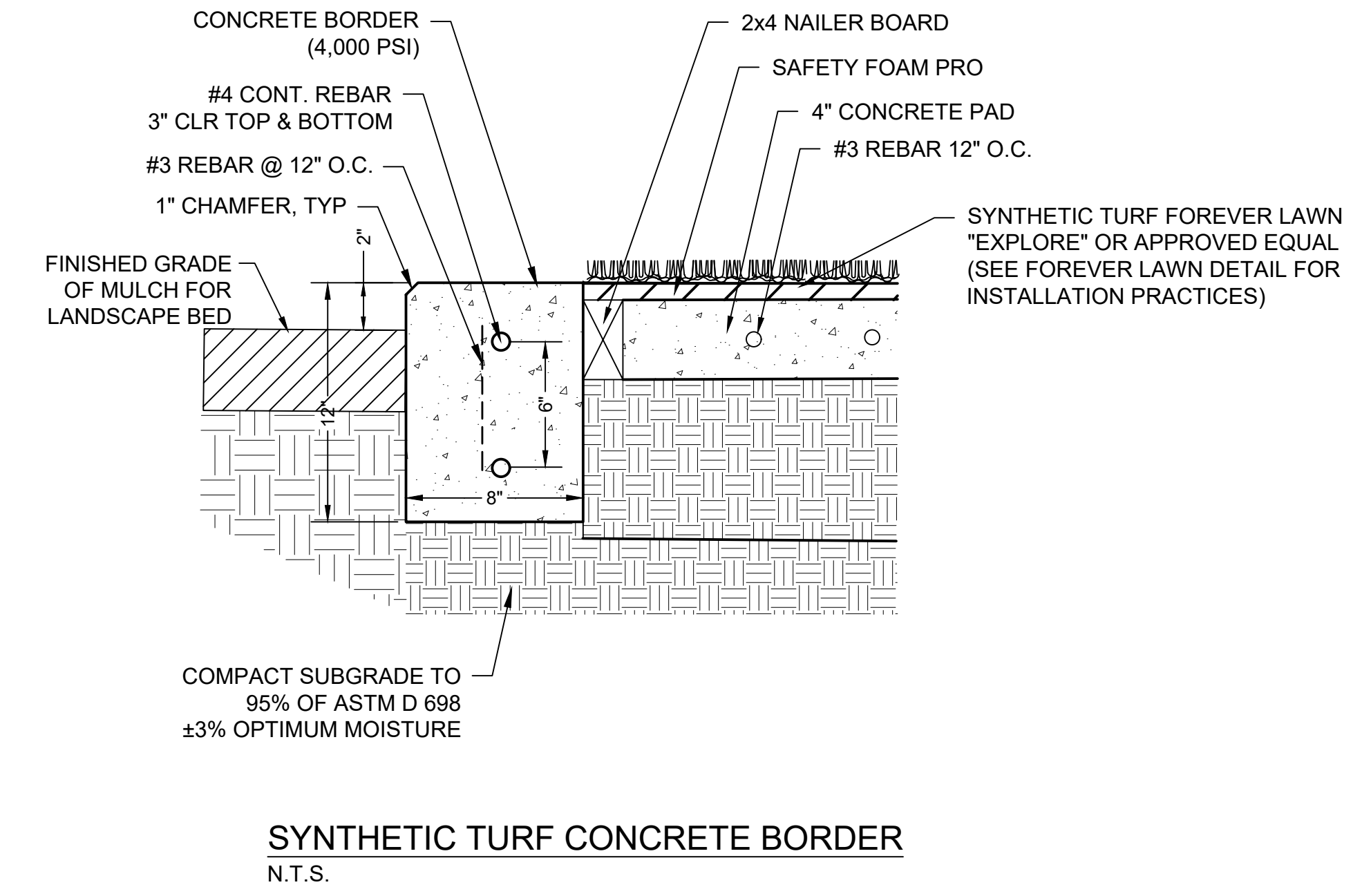
FINISHED GRADE OF MULCH FOR LANDSCAPE BED

COMPACT SUBGRADE TO 95% OF ASTM D 698 ±3% OPTIMUM MOISTURE

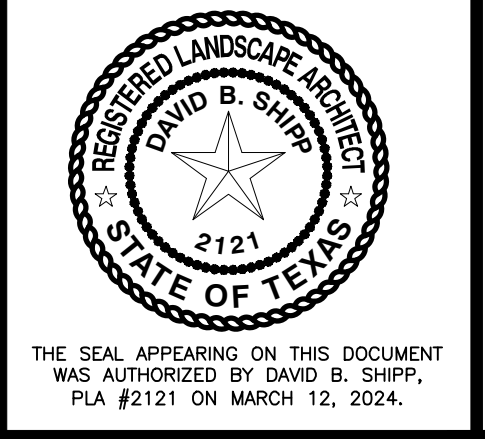
SYNTHETIC TURF FOREVER LAWN "EXPLORE" OR APPROVED EQUAL (SEE FOREVER LAWN DETAIL FOR INSTALLATION PRACTICES)

SYNTHETIC TURF CONCRETE BORDER
N.T.S.

ForeverLawn	330.499.8873 • foreverlawn.com 8007 Beeson St., Louisville, OH 44641	CADdetails microsite.caddetails.com/1148	By: G. Swartz 08/23
			Scale: Not to scale
			Drawing No. M1616

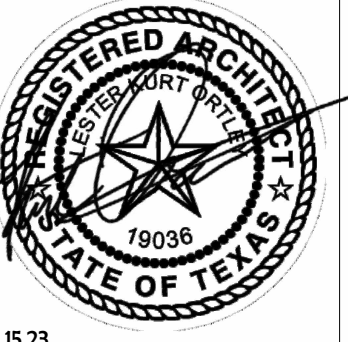


REVISIONS:
10.19.23 Revised Site Plan
1.19.24 Revised Site Plan



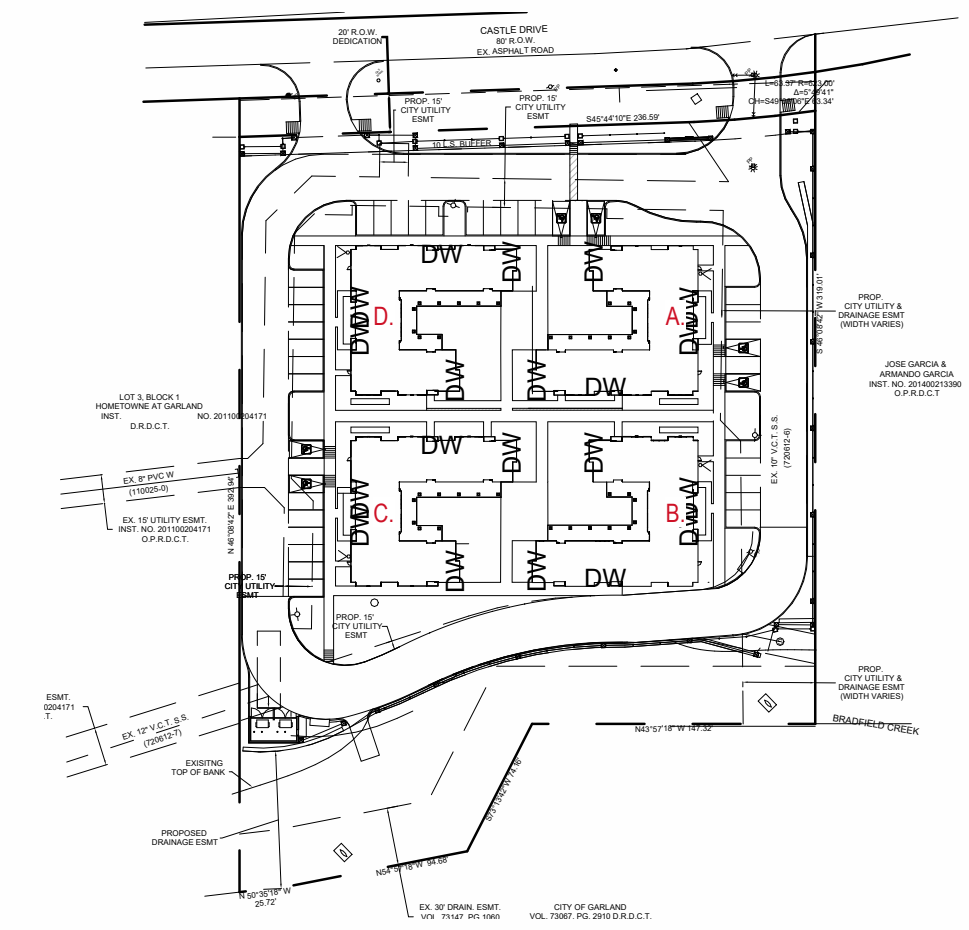
LANDSCAPE DETAIL
CASTLE DRIVE-GARLAND HUD
CITY OF GARLAND, TEXAS

DRAWN:	MEP
CHECKED:	DBS
DATE:	3/12/2024
SCALE:	AS SHOWN
JOB NO.:	23-008

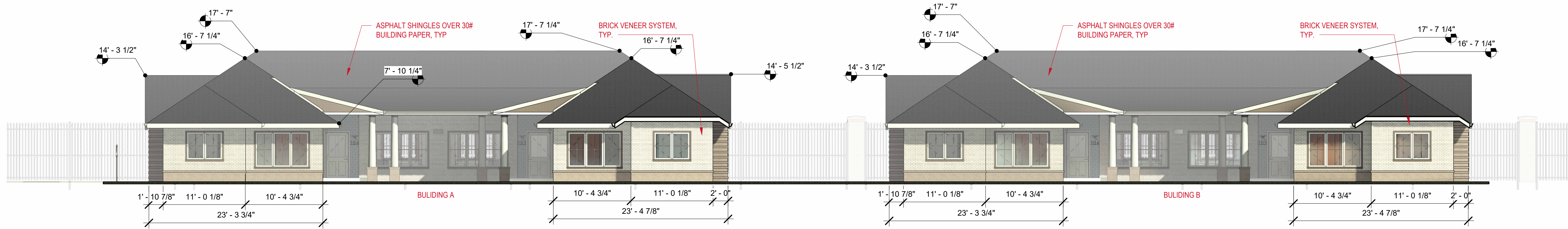


11.15.23

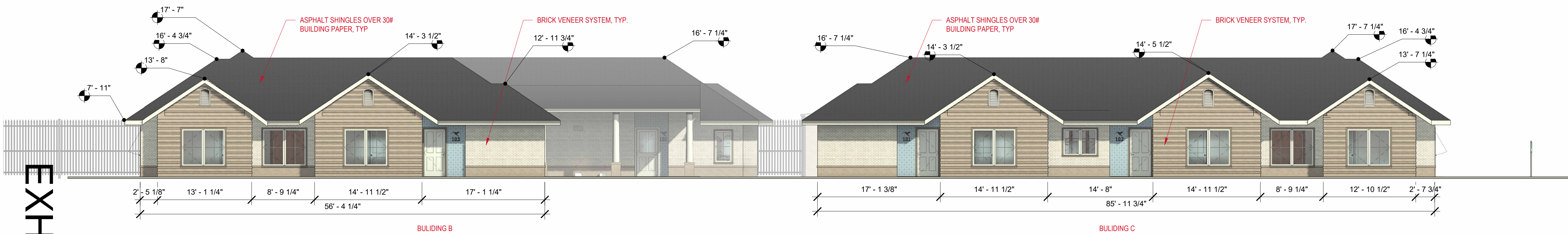
No. Date



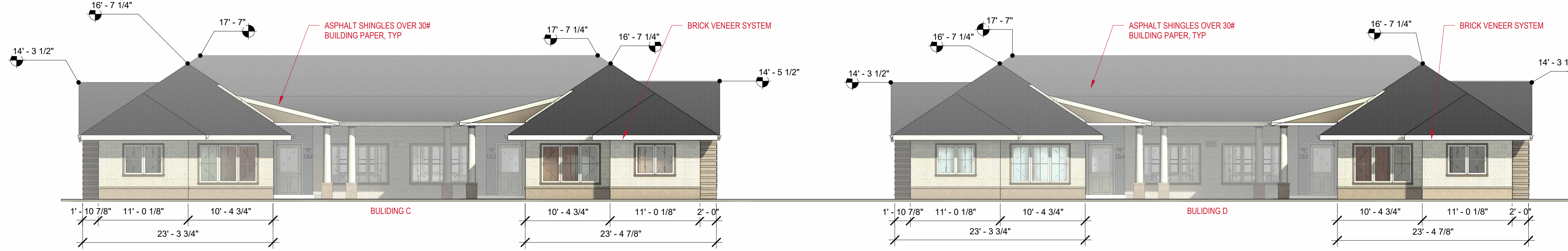
ELEVATION BUILDING KEY



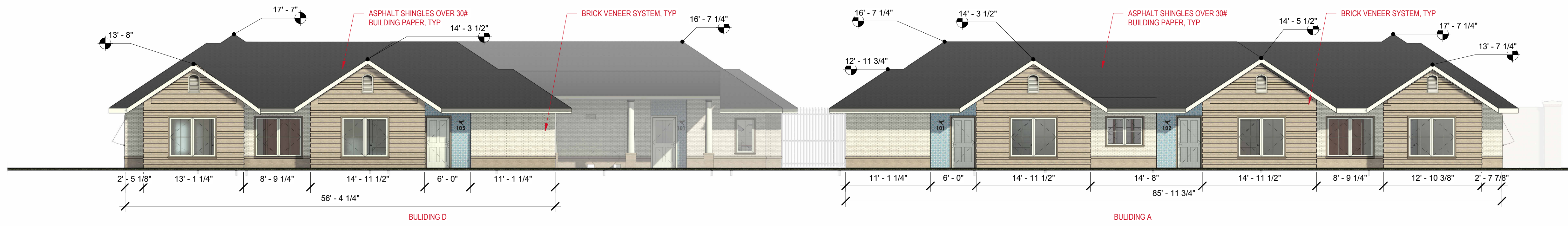
01 COURTYARD EAST ELEVATION
1/8" = 1'-0"



02 COURTYARD SOUTH ELEVATION
1/8" = 1'-0"

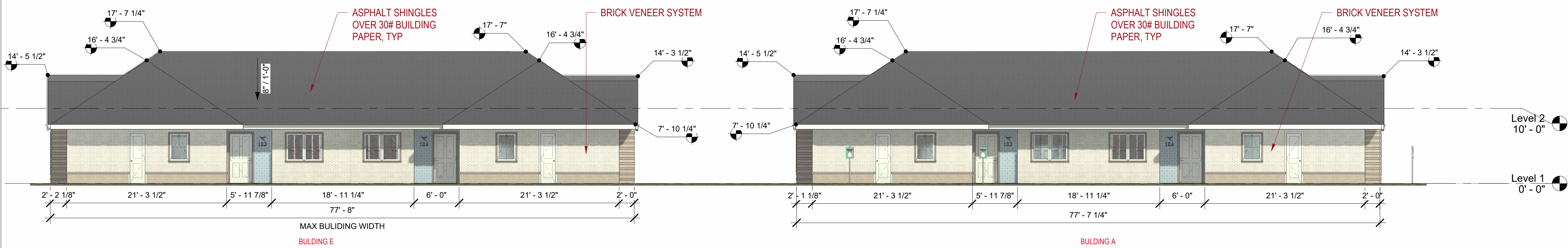
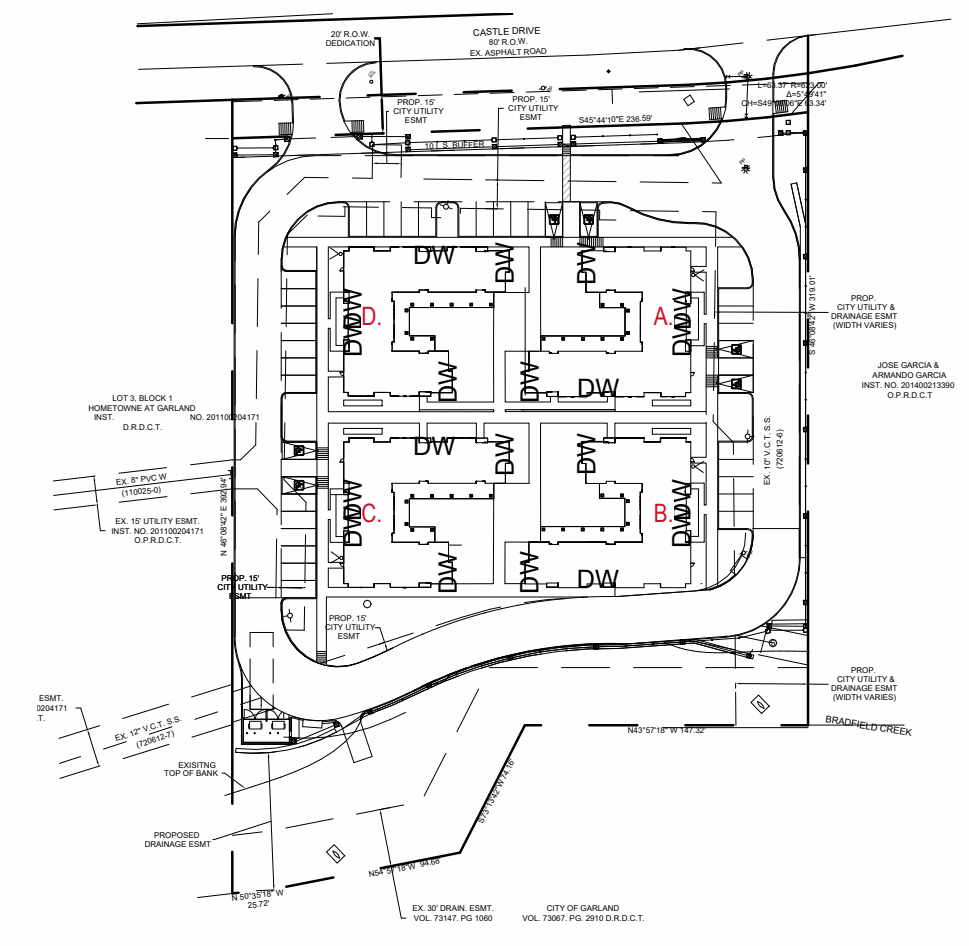
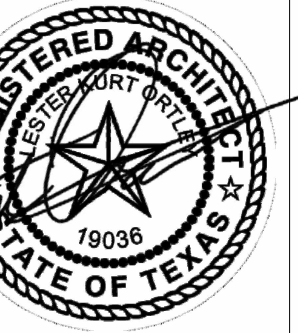


03 COURTYARD WEST ELEVATION
1/8" = 1'-0"

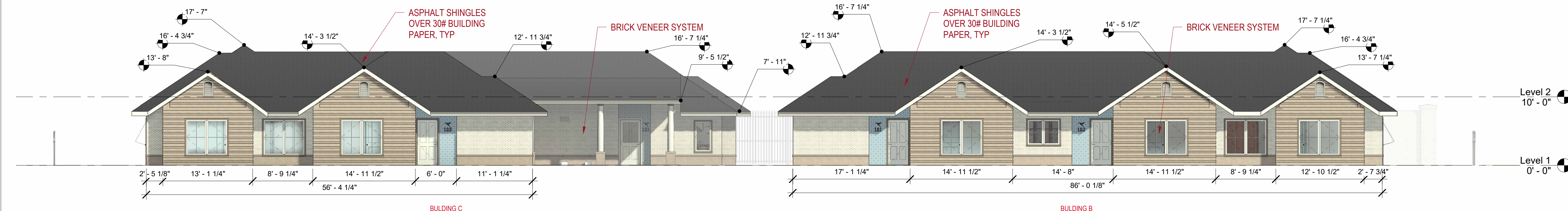


04 COURTYARD NORTH ELEVATION
1/8" = 1'-0"

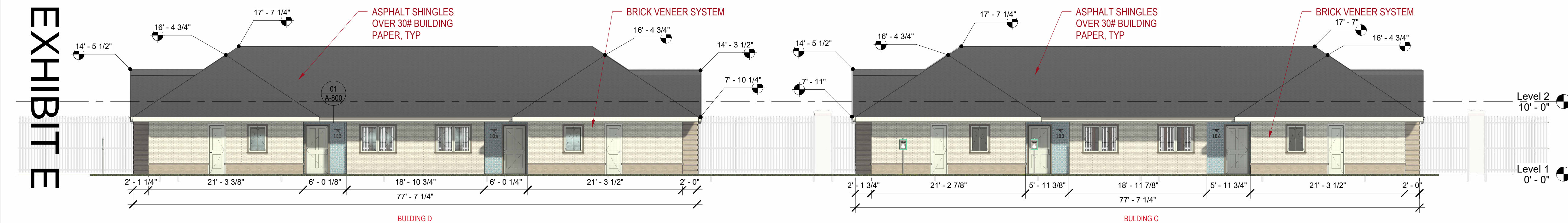
EXHIBIT E



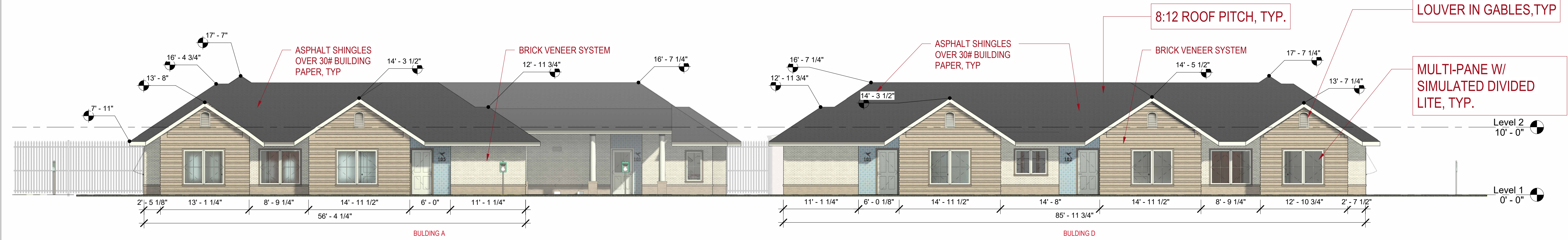
01 EAST ELEVATIONS
1/8" = 1'-0"



02 SOUTH ELEVATION
1/8" = 1'-0"



03 WEST ELEVATIONS
1/8" = 1'-0"



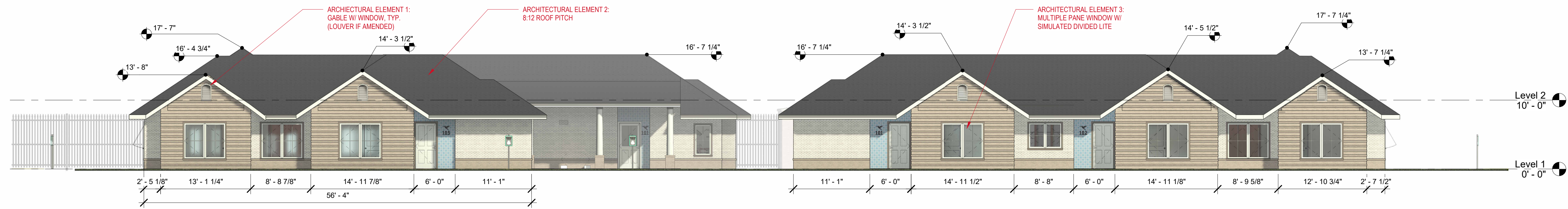
04 NORTH ELEVATION
1/8" = 1'-0"

Architectural elements
The proposed design attempts to fit within the residential context and most closely aligns with the intent of Section 4.84 of the GDC. A deviation is requested to utilize the GDC residential building design per Section 4.84 of the GDC is requested to facilitate the smaller residential scale.

The three elements designed per Section 4.84 of the GDC are:
i. Multiple pane windows featuring divided light or simulated divided light
ii. Minimum 8:12 roof pitch
iii. Gables with windows
a. Note that a deviation is requested to allow for a decorative louvre be provided in the gables. This is requested to improve air circulation in the attic space as an environmental & energy strategy

EXHIBIT E

ELEVATION FACING CASTLE DRIVE



1 NORTH ELEVATION PD AMENDMENT
1/8" = 1'-0"

ZONING CALCULATIONS:

ELEVATION AREA =	520 SQ. FT.
WINDOWS & DOORS =	134.75 SQ. FT
WINDOW & DOOR % =	25.9%
HORIZONTAL LENGHT OF FACADE=	56'-4"
25% UNARTICULATED FACADE ALLOWED=	14'-1"
UNARTICULATED FACADE AS DESIGNED=	11'-1"

ZONING CALCULATIONS:

ELEVATION AREA =	797.75 SQ. FT.
WINDOWS & DOORS =	211.8 SQ. FT
WINDOW & DOOR % =	26.5%
HORIZONTAL LENGHT OF FACADE=	86'-0"
25% UNARTICULATED FACADE ALLOWED=	21'-6"
UNARTICULATED FACADE AS DESIGNED=	11'-1"



11.15.23

No. Date

Z 23-28



View of the subject property



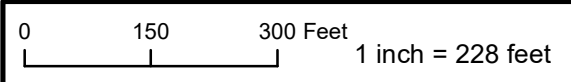
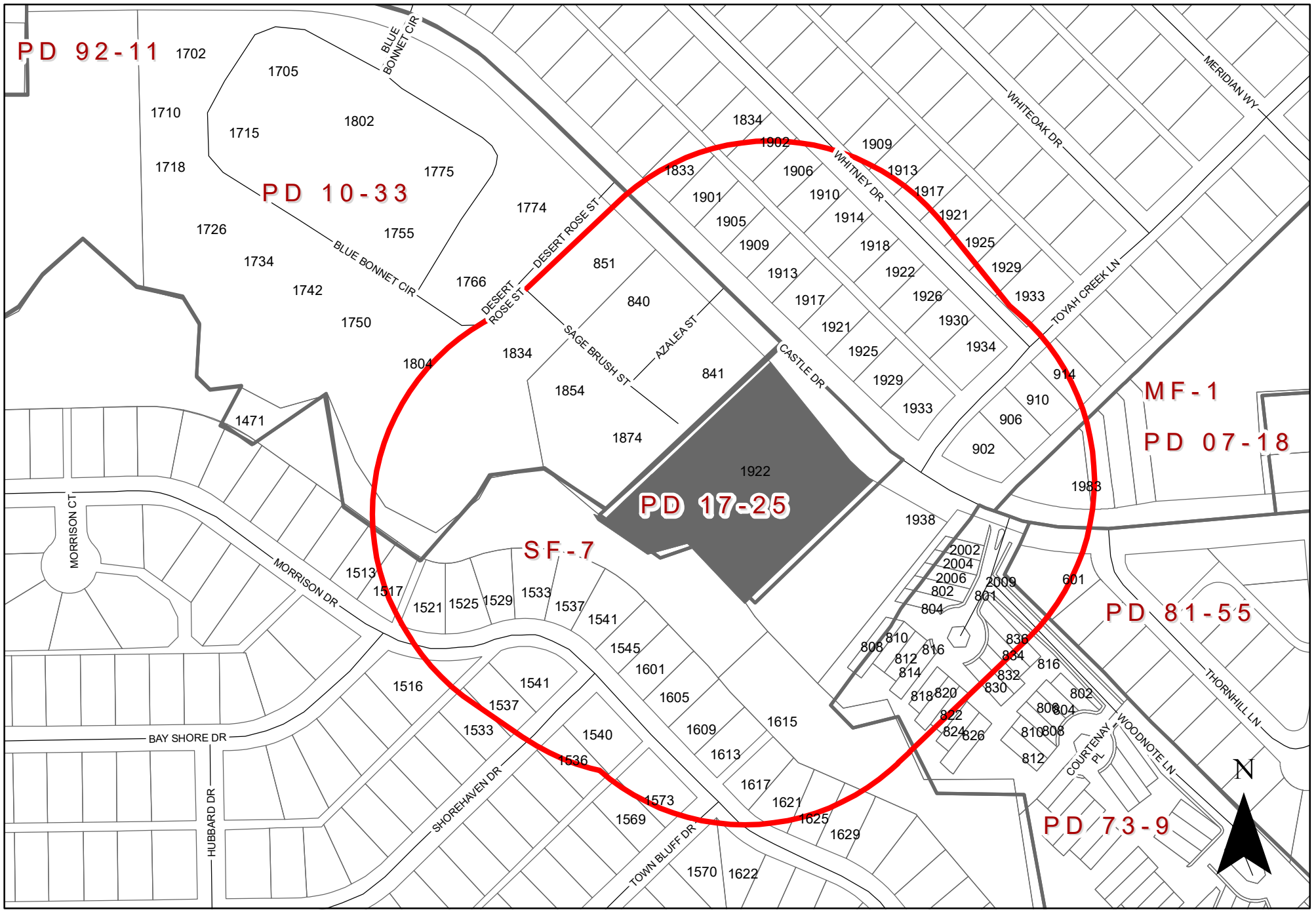
North of the subject property



East of the subject property



West of the subject property



ZONING MAP Z 23-28

INDICATES AREA OF REQUEST
 INDICATES NOTIFICATION AREA

1922 Castle Drive

To date we have not received any responses for this case.



GARLAND

Plan Commission

3. b.

Meeting Date: 03/25/2024

Item Title: Z 24-04 Golden Bee Trove, LLC (District 4)

Summary:

Consideration of the application of **Golden Bee Trove LLC**, requesting approval of 1) a Specific Use Provision for a Used Goods, Retail Sales (Indoors) Use and 2) a Plan on a property zoned Planned Development (PD) District 18-40. This property is located at 5501 Broadway Boulevard, Suite 105. (District 4) (File Z 24-04)

Attachments

Z 24-04 Golden Bee Trove LLC Report & Attachments (District 4)

Z 24-04 Golden Bee Trove LLC Responses



GARLAND

TEXAS MADE HERE

Planning Report

File No: Z 24-04/District 4

Agenda Item:

Meeting: Plan Commission

Date: March 25, 2024

REQUEST

Approval of 1) a Specific Use Provision for a Used Goods, Retail Sales (Indoors) Use and 2) a Plan on a property zoned Planned Development (PD) District 18-40.

LOCATION

5501 Broadway Boulevard Suite 105

APPLICANT

Golden Bee Trove LLC

OWNER

Garland Broadway Shopping Center, Inc.

BACKGROUND

The subject property is developed with a 25,394 square-foot multi-tenant shopping center. The applicant wishes to move into Suite 105, a 530 square-foot suite to open a Used Goods, Retail Sales (Indoors) Use.

SITE DATA

The site is 2.01 acres and is accessed from two points along Broadway Boulevard and one point along Robin Road

USE OF PROPERTY UNDER CURRENT ZONING

The subject property is zoned Planned Development (PD) District 18-40 with a Community Retail (CR) District base zoning.

The Community Retail (CR) District is intended to accommodate a variety of retail, service, and business establishments that may or may not be designed in a shopping center configuration. The district may be used as a transition district between lower intensity retail or office uses and more intense uses. A CR district is generally appropriate along major transportation corridors, but is generally not appropriate in proximity to low-density residential districts without significant buffering and screening features.

CONSIDERATIONS

Specific Use Provision:

1. The subject property is currently constructed with a 25,394 square-foot shopping center. The applicant is not proposing any changes to the property at this time.
2. The proposed business is a thrift store that will sell both new and used items. The store will largely consist of clothing, furniture, fashion accessories, home décor, kitchen

products, kids toys, and other household items. According to the applicant the goal is to provide a middle ground business between a standard retail store and a thrift store.

3. The request does not trigger any additional screening or landscaping standards.
4. The request does not trigger any building design standards.
5. The applicant is requesting approval of a twenty (20) year Specific Use Provision. The SUP Time Period Guide recommends twenty (20) to thirty (30) years for a Used Goods, Retail Sales (indoors).

COMPREHENSIVE PLAN

The Future Land Use Map of the Envision Garland Plan designates this property as Neighborhood Centers.

Neighborhood Centers provide a mix of retail, services and community gathering places. This center should be appropriately scaled to adjacent residential areas. This type of center is predominantly, but not exclusively, non-residential. Neighborhood centers are served by local roads and transit routes.

The use adds retail business activity to the area and is compatible with the Comprehensive Plan.

ECONOMIC DEVELOPMENT STRATEGIC PLAN

Per the Economic Development Strategic Plan, the proposal is considered part of a "Retail Strip" building type and will generate sales tax for the city.

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

The surrounding properties to the West are zoned Planned Development (PD) District 18-40 for Single-Family uses, containing mostly empty lots and Single-Family homes. Properties to the North and South are also zoned Planned Development (PD) 18-40, for Community (CR) District Retail Uses. These properties contain various retail, restaurant, personal services, and office businesses. Finally, properties to the East across Broadway Boulevard are zoned Community Retail (CR) District and contain similar retail-oriented uses.

STAFF RECOMMENDATION

Approval of 1) a Specific Use Provision for a Used Goods, Retail Sales (Indoors) Use and 2) a Plan on a property zoned Community Retail (CR) District.

ADDITIONAL INFORMATION

- i. Location Map
- ii. SUP Conditions
- iii. Exhibits
- iv. Photos

CITY COUNCIL DATE: April 16, 2024

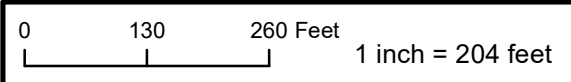
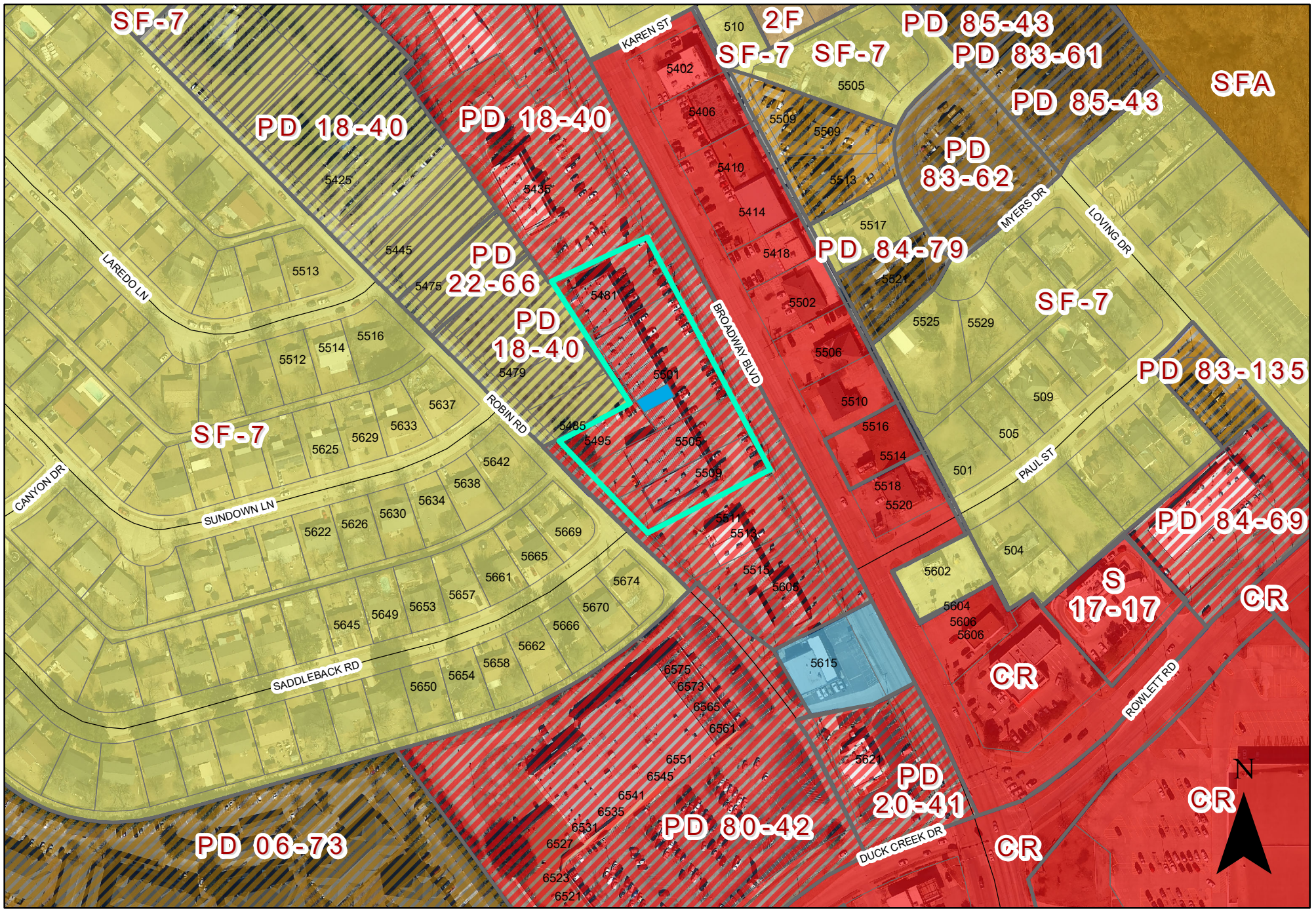
PREPARED BY:

Matthew Wolverton
Development Planner
Planning & Development
972-205-2454

REVIEWED BY:

Will Guerin, AICP
Director of Planning

mwolverton@garlandtx.gov



ZONING MAP Z 24-04

INDICATES TENANT SPACE
 INDICATES AREA OF REQUEST

5501 Broadway Boulevard, Suite 105

SPECIFIC USE PROVISION CONDITIONS

ZONING FILE Z 24-04

5501 Broadway Boulevard, Suite 105

- I. Statement of Purpose:** The purpose of this Specific Use Provision is to allow a Used Goods, Retail Sales (Indoors) Use.
- II. Statement of Effect:** This Specific Use Provision shall not affect any regulation found in the Garland Development Code, Ordinance No. 6773, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. General Regulations:** All regulations of the Planned Development (PD) District 18-40 for Community Retail (CR) District Uses and Site Development Standards as set forth in Chapter 2 and 4 of the Garland Development Code, Ordinance 6773, are included by reference and shall apply, except as otherwise specified by this ordinance.
- IV. Development Plans:**
- Site Layout: The site shall be in general conformance with the approved Site Plan labeled Exhibit C. In the event of conflict between the conditions and the site plan, the written conditions listed below are to apply.
- V. Abandonment:** In the event the land use for which this Specific Use Provision was granted ("Land Use") is abandoned, the SUP and all rights to the Land Use are automatically terminated, and the premises must be used in conformance with the GDC, federal, and state law.

For the purposes of this Specific Use Provision, Abandonment is any of the following acts:

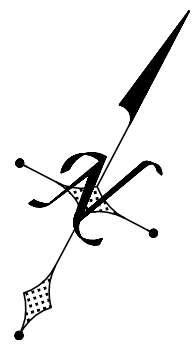
- A. A failure to apply for a site or building permit on the premises, where applicable, within 180 days of the effective date of this SUP;
- B. A failure to obtain a certificate of occupancy for the Land use within 730 days of the effective date of this SUP;

- C. A failure to commence operating the Land Use on the premises within 90 days of receiving a final certificate of occupancy for the Land Use;
- D. Discontinuance of the Land Use for a period of 180 days;
- E. Applying for, and receiving, a new Certificate of Occupancy for a use other than the Land Use; or
- F. Operating a use on the premises, whether as a primary or secondary use, that is not allowed within the PD District, by the GDC, or by state or federal law.

The termination of utilities on the premises for a period of 180 calendar days is prima facie evidence of abandonment and the owner shall have the burden to prove that the Land Use has not been abandoned.

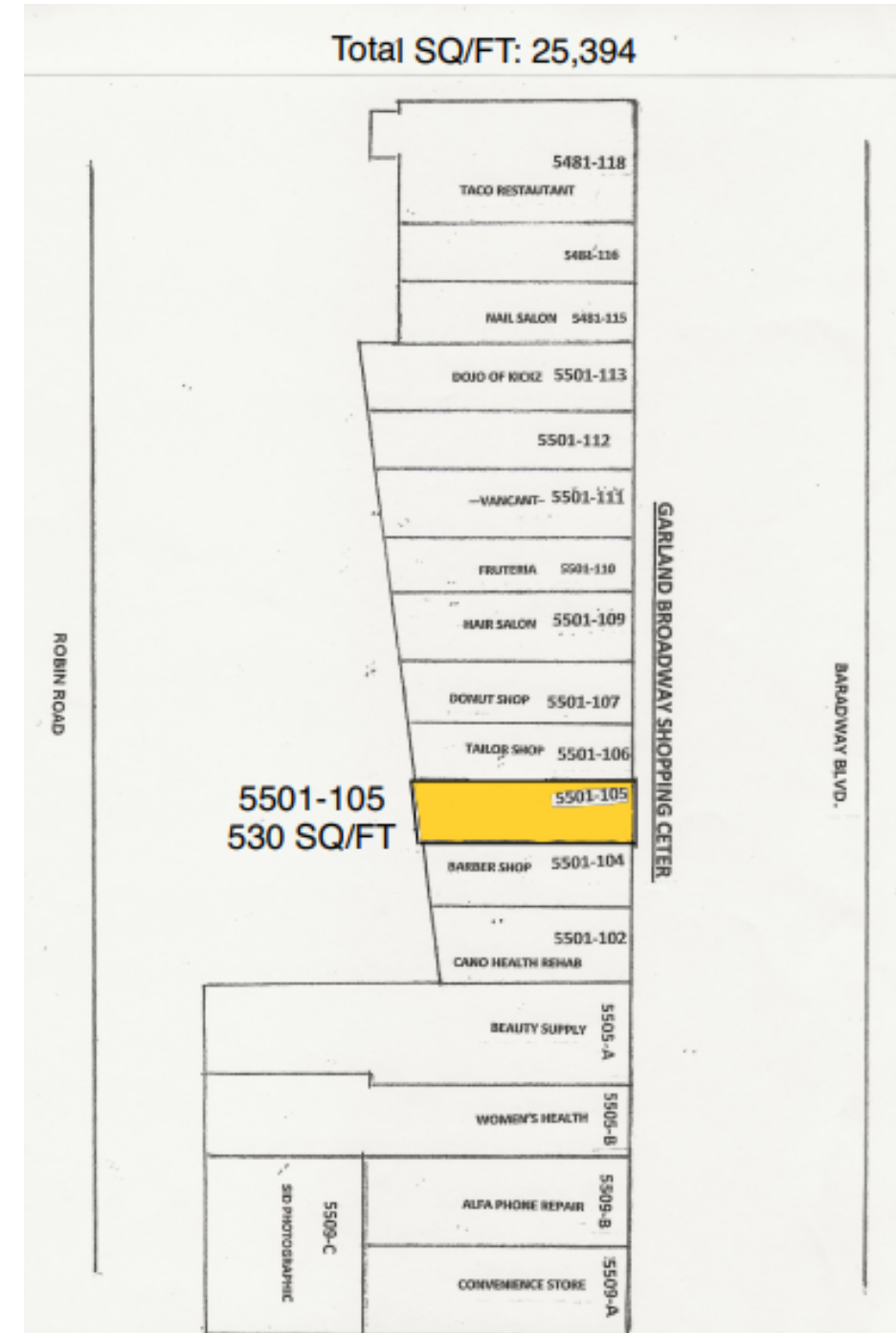
VI. Specific Regulations:

- A. SUP Time Period: The Specific Use Provision for a Used goods, Retail Sales Use shall be in effect for a period of twenty (20) years.
- B. Site Plan: The Used Goods, Retail Sales (Indoors) Use shall be limited to the approximately 530 square-foot tenant space as shown in Exhibit C.



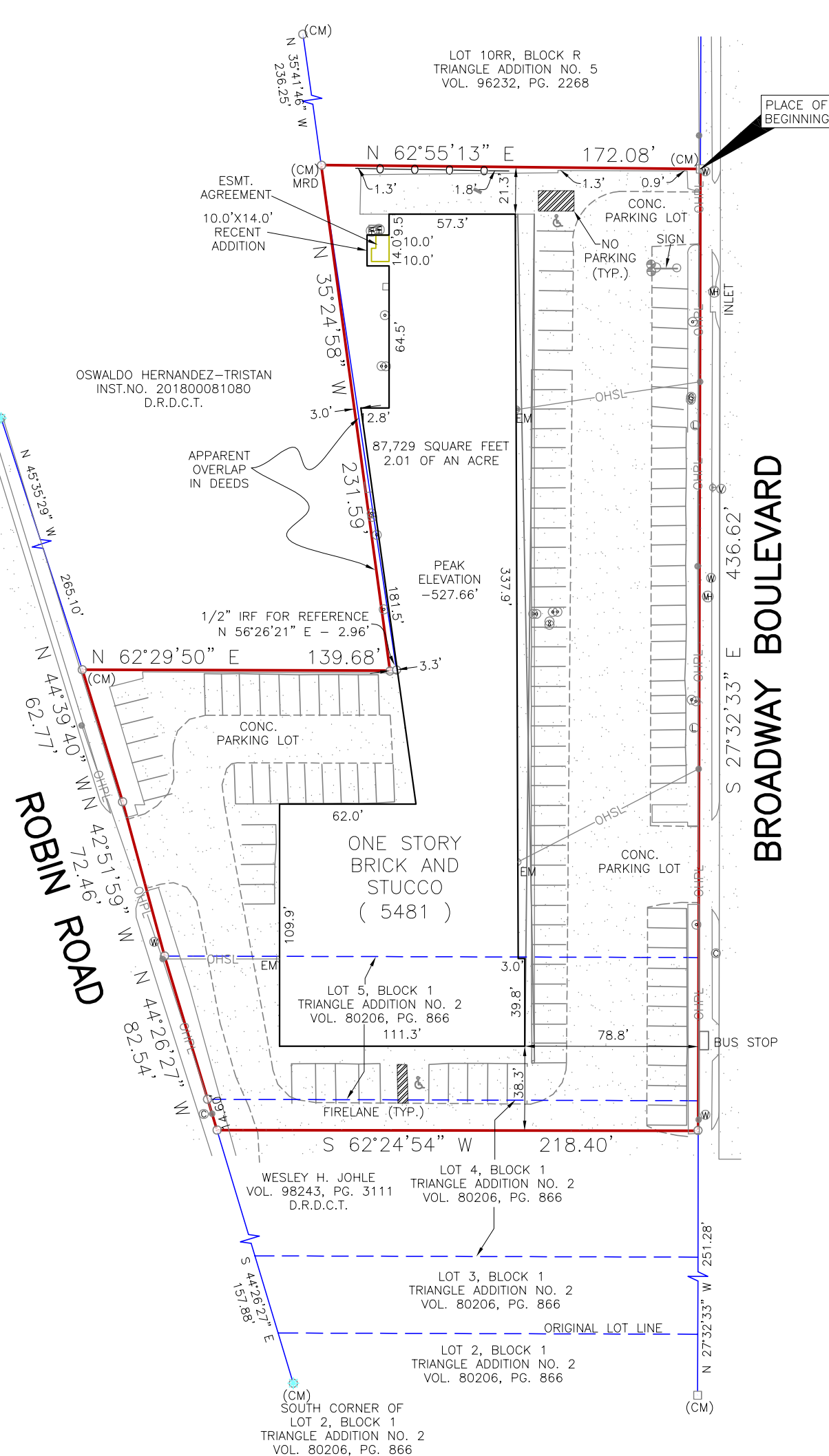
Suite	SQ/FT
5509-A	1,296
5509-B	1,540
5509-C	1,424
5505-A	4,285
5505-B	1,958
5501-102	1,040
5501-104	1,000
5501-105	530
5501-106	796
5501-107	1,117
5501-109	1,100
5501-110	860
5501-111	682
5501-112	1,060
5501-113	1,544
5481-115	1,569
5481-116	1,026
5481-118	2,567

Total 25,394 SQ/FT



5501-105
530 SQ/FT

WEST CORNER OF
GERARDO DIMAS CUENCA
INST. NO. 202000052596
D.R.D.C.T.
(CM)



BROADWAY BOULEVARD

ROBIN ROAD

BEING all that certain lot, tract or parcel of land situated in the John Little League Survey, Abstract No. 761, City of Garland, Dallas County, Texas, being a part of Lot 4 and all of Lot 5, Block 1 of Triangle Addition No. 2, an Addition to the City of Garland, Dallas County, Texas, according to the Map thereof recorded in Volume 80206, Page 866, Map Records, Dallas County, Texas (M.R.D.C.T.), being all of Lot 6, Block 1 of Triangle Addition No. 4, an Addition to the City of Garland, Dallas County, Texas, according to the Map thereof recorded in Volume 82119, Page 1057 (M.R.D.C.T.), being all of Lot 7, Block 1 of Triangle Addition No. 4, an Addition to the City of Garland, Dallas County, Texas, according to the Map thereof recorded in Volume 83077, Page 795 (M.R.D.C.T.), being all of Lot 8, Block 1 of Triangle Addition No. 4, an Addition to the City of Garland, Dallas County, Texas, according to the Map thereof recorded in Volume 86088, Page 6215 (M.R.D.C.T.), being a tract of land described in deed to Garland Broadway Shopping Center, Inc., a Texas corporation, recorded under Instrument No. 201300308427, Deed Records, Dallas County, Texas (D.R.D.C.T.), and being more particularly described by the following metes and bounds description:

BEGINNING at an "X" found for corner in the Southwest line of Broadway Boulevard, at the East corner of Lot 10RR, Block R, Triangle Addition No. 5, an addition to the City of Garland, Dallas County, Texas, according to the Map thereof recorded in Volume 96232, Page 2268 (M.R.D.C.T.), being the North corner of herein described tract of land;

THENCE South 27 deg. 32 min. 33 sec. East, with the Southwest line of said Broadway Boulevard, a distance of 436.62 feet to a 1/2 inch iron rod found for corner at the North corner of a tract of land described in deed to Wesley H. Jöhle, recorded in Volume 98243, Page 3111 (D.R.D.C.T.);

THENCE South 62 deg. 24 min. 54 sec. West, a distance of 218.40 feet to a 1/2 inch iron rod found for corner in the Northeast line of Robin Road, at the West corner of said Jöhle tract;

THENCE North 44 deg. 26 min. 27 sec. West, with the Northeast line of said Robin Road, passing a 1/2 inch iron rod found at a distance of 14.60 feet, and continuing a total distance of 82.54 feet to a 1/2 inch iron rod found for corner;

THENCE North 42 deg. 51 min. 59 sec. West, with the Northeast line of said Robin Road a distance of 72.46 feet to a 1/2 inch iron rod found for corner;

THENCE North 44 deg. 39 min. 40 sec. West, with the Northeast line of said Robin Road a distance of 62.77 feet to a 1/2 inch iron rod found for corner at the South corner of a tract of land described in deed to Oswaldo Hernandez-Tristan, recorded under Instrument No. 201800081080 (D.R.D.C.T.);

THENCE North 62 deg. 29 min. 50 sec. East, a distance of 139.68 feet to a 1/2 inch iron rod found for corner at the East corner of said Hernandez-Tristan tract, from which a 1/2 inch iron rod found for reference bears North 56 deg. 26 min. 21 sec. East, a distance of 2.96 feet;

THENCE North 35 deg. 24 min. 58 sec. West, a distance of 231.59 feet to a 1/2 inch iron rod found for corner in the Northeast line of said Hernandez-Tristan tract, at the South corner of said Lot 10RR of said Block R of Triangle Addition No. 5;

THENCE North 62 deg. 55 min. 13 sec. East, a distance of 172.08 feet to the PLACE OF BEGINNING and containing 87,729 square feet or 2.01 acres of land.

Bearings shown hereon are referenced to the Texas Coordinate System of 1983, North Central Zone (4202), and are based upon the North American Datum of 1983 (NAD 83), 2011 Adjustment, Epoch 2010.

THIS CERTIFICATION DOES NOT TAKE INTO CONSIDERATION ADDITIONAL FACTS THAT AN ACCURATE TITLE SEARCH AND OR EXAMINATION MIGHT DISCLOSE.



LEGEND	
WOOD FENCE	TEXT
CHAIN LINK	IMPROVEMENTS
IRON FENCE	BOUNDARY LINE
WIRE FENCE	EASEMENT/SETBACK
	RESIDENCE
CM - CONTROLLING MONUMENT	
MRD - MONUMENTS OF RECORD DIGNITY	
1/2" IRON ROD FOUND	
1/2" YELLOW-CAPPED IRON ROD SET	
SET 'X'	
FOUND 'X'	
5/8" IRON ROD FOUND	
PK NAIL FOUND	BOLLARD
CABLE	ELECTRIC
CLEAN OUT	POOL EQUIP
GAS METER	POWER POLE
FIRE HYDRANT	TELEPHONE
LIGHT POLE	WATER METER
MANHOLE	WATER VALVE
(UNLESS OTHERWISE NOTED)	

THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR
WON CHO

USE OF THIS SURVEY FOR ANY OTHER PURPOSE OR OTHER PARTIES SHALL BE AT THEIR RISK AND UNDERSIGNED IS NOT RESPONSIBLE TO OTHERS FOR ANY LOSS RESULTING THEREFROM.

TITLE AND ABSTRACTING WORK FURNISHED BY _____ N/A

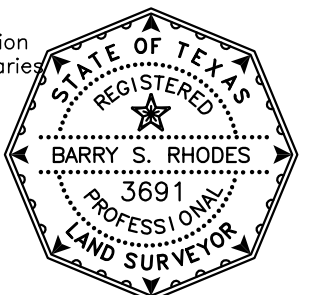
TLTA
BARRY S. RHODES Registered Professional Land Surveyor (214) 326-1090
This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. 5481 BROADWAY BOULEVARD, in the city of GARLAND, Texas.

The plat hereon is true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat; the size, location and type of building and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distance indicated.

THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.

Scale: 1" = 60'
Date: 02-19-2024
C. F. No.: N/A
Job no.: 202106748-01
Drawn by: BM

2701 SUNSET RIDGE DRIVE, STE. 303
ROCKWALL, TEXAS 75032
FIRM REGISTRATION NO. 10194366



[Signature]

Z 24-04



View of the subject property looking West from Broadway Boulevard



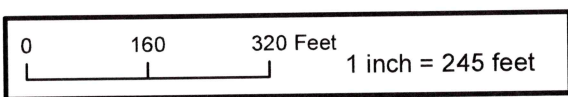
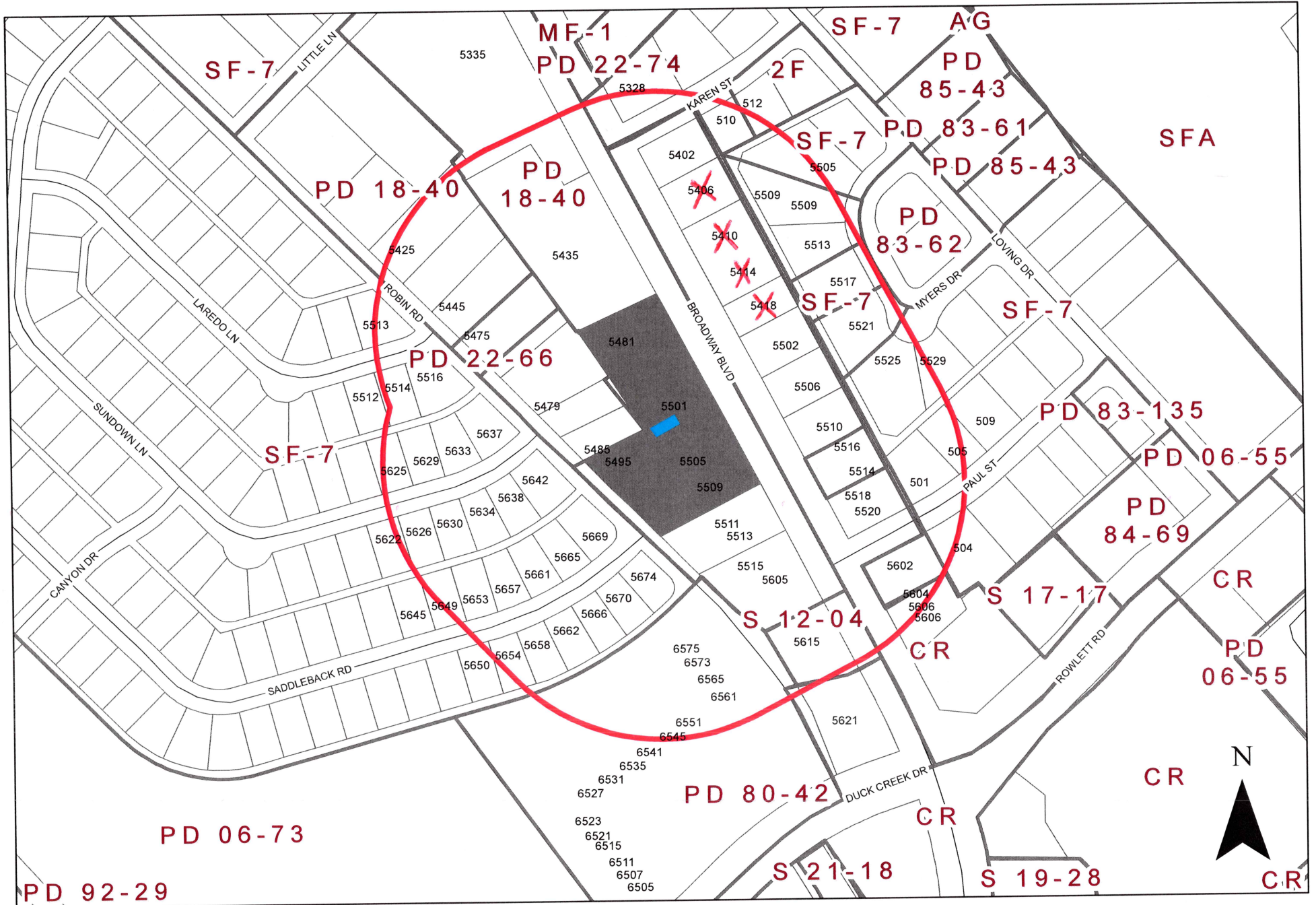
View from the subject property looking East across Broadway Blvd



View looking North on Broadway Boulevard



View looking South down Broadway Blvd



ZONING MAP Z 24-04

- INDICATES AREA OF REQUEST
- INDICATES NOTIFICATION AREA
- INDICATES TENANT SPACE

5501 Broadway Boulevard, Suite 105

Comment Form

Case Z 24-04

Z 24-04 Golden Bee Trove LLC. The applicant is requesting a Specific Use Provision for a Used Goods, Retail Sales (Indoors) use. The site is located at 5501 Broadway Boulevard Suite 105. (District 4)

Z 24-04 Golden Bee Trove LLC. El solicitante solicita una Disposición de uso específico para productos usados, venta minorista (interiores). El sitio está ubicado en 5501 Broadway Boulevard Suite 105. (Distrito 4)

Z 24-04 Golden Bee Trove LLC. Người nộp đơn đang yêu cầu Điều khoản sử dụng cụ thể cho việc sử dụng Hàng hóa đã qua sử dụng, Bán lẻ (Trong nhà). Địa điểm tọa lạc tại 5501 Broadway Boulevard Suite 105. (Quận 4)

Please Check One Below / Marque uno a continuación / Vui lòng kiểm tra một bên dưới

For / A Favor / Đúng

Against / En Contra / Không

Please complete the following information and email the form to Planning@garlandtx.gov; deliver to the Planning Department at 800 Main Street Garland, TX; or mail to City of Garland, Planning Department, P.O. Box 469002 Garland, TX 75406-9002./ Por favor Complete la siguiente información y envíe el formulario por correo electrónico a Planning@garlandtx.gov; entregar al Departamento de Planificación en 800 Main Street Garland, TX; o envíelo por correo a City of Garland, Planning Department, P.O. Box 469002 Garland, TX 75406-9002./ Vui lòng điền đầy đủ thông tin sau và gửi biểu mẫu qua email tới Planning@garlandtx.gov; giao cho Phòng Kế hoạch tại 800 Main Street Garland, TX; hoặc gửi thư đến Thành phố Garland, Sở Kế hoạch, P.O. Hộp 469002 Garland, TX 75406-9002.

Bobby Brininstool

Printed Name & Title / Nombre Impreso y Título / Tên in và Tiêu đề

(Property Owner, Business Owner, Tenant, etc.) / (Dueño de la propiedad, Dueño de la empresa, Inquilino, etc.) / (Chủ sở hữu bất động sản, Chủ doanh nghiệp, Người thuê, v.v.)

5414 Broadway

Your Property Address / La dirección de su propiedad / địa chỉ tài sản

Garland Tx

City, State / Estado de la Ciudad / Thành bang

75043

Zip Code / Código postal / Mã B u Qhính

B Brininstool

3/18/24

Signature / Firma / Chữ ký

Date / Fecha / Ngày

(Providing email address and phone number is optional. / La dirección de correo electrónico y el número de teléfono son opcionales. / Địa chỉ email và số điện thoại là tùy chọn.)

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5410

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5406

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GARLAND

Plan Commission

3. c.

Meeting Date: 03/25/2024

Item Title: Z 24-11 Kimley Horn (District 7)

Summary:

Consideration of the application of **Kimley Horn**, requesting approval of 1) a Change in Zoning from Planned Development (PD) District 99-49 for Neighborhood Office Uses to Community Retail (CR) District; 2) a Specific Use Provision for a Restaurant, Drive-Through Use and 3) a Variance to Section 4.39 of the GDC regarding perimeter screening adjacent to residential development. This property is located at 2301 Arapaho Road (District 7) (File Z 24-11)

Attachments

Z 24-11 Kimley Horn Report & Attachments (District 7)

Z 24-11 Kimley Horn Responses



GARLAND

TEXAS MADE HERE

Planning Report

File No: Z 24-11/District 7

Agenda Item:

Meeting: Plan Commission

Date: March 25, 2024

REQUEST

Approval of 1) a Change in Zoning from Planned Development (PD) District 99-49 for Neighborhood Office Uses to Community Retail (CR) District; 2) a Specific Use Provision for a Restaurant, Drive-Through Use and 3) a Variance to Section 4.39 of the GDC regarding perimeter screening adjacent to residential development.

LOCATION

2301 Arapaho Road

APPLICANT

Kimley Horn

OWNER

John D. Gonzales Trustee

BACKGROUND

The subject property is currently unimproved. The applicant proposes to construct a restaurant with a drive-through service ["Swig"].

SITE DATA

The subject property contains approximately 1.15 acres and has approximately 271 linear feet of frontage along Arapaho Road and 288 linear feet of frontage along Holford Road. The site can be accessed from Holford Road and Arapaho Road.

USE OF PROPERTY UNDER CURRENT ZONING

The subject property is zoned Planned Development (PD) District 99-49 for Neighborhood Office Uses.

The Neighborhood Office (NO) district is intended to create an appropriate setting for low intensity office and professional uses. The district may be used as a transition district between residential uses and more intense uses. With appropriate buffers and landscaping, this district may be located contiguous to residential districts. Allowed uses should be compatible with adjacent residential areas by limiting heights to one story and may not include uses that create excessive amounts of traffic, noise, trash, or late-night business operations.

CONSIDERATIONS

1. Change in Zoning:

The applicant proposes to rezone the property to Community Retail (CR) District.

The Community Retail (CR) district is intended to accommodate a variety of retail, service, and business establishments that may or may not be designed in a shopping center configuration. The district may be used as a transition district between lower intensity retail or office uses and more intense uses. A CR district is generally appropriate along major transportation corridors but is generally not appropriate in proximity to low-density residential districts without significant buffering and screening features.

2. Specific Use Provision

A Specific Use Provision is required for a Restaurant, Drive-Through Use in the Community Retail (CR) District. The applicant proposes a 705 square-foot restaurant [Swig] with a drive through to sell various types of drinks made by mixing base name-brand sodas such as Coca-Cola or Dr. Pepper with add-ins such as flavored syrups, creams and fruit-purees.

The applicant is proposing a time period of twenty-five (25) years. The SUP time period guide recommends between twenty (20) to twenty-five (25) years.

3. Parking:

The site plan (Exhibit C) meets the parking requirements per the GDC.

4. Screening and Landscaping:

The GDC requires perimeter screening when a non-residential development is adjacent a residential development. The property is abutting a residential development to the north. The landscape plan (Exhibit D) reflects an eight (8)-foot tall masonry wall; however, it does not extend the entire length of the property line due to a large power pole and utility easement. There are low-level screening shrubs proposed in lieu of the screening wall extension.

Additionally, large canopy trees are required every twenty-five (25) feet along the masonry wall. The large canopy trees are located at the edge of the drive-through due to a large utility easement.

The landscape plan (Exhibit D) meets all other applicable screening and landscaping standards per the GDC.

5. Building Design

The building elevations (Exhibit E) for the proposed restaurant with Drive-Through are in compliance with the Garland Development Code (GDC).

6. Signage

The applicant is not requesting any signage deviations with this request.

COMPREHENSIVE PLAN

The Future Land Use Map of the Envision Garland Plan recommends Neighborhood Centers for the subject site. Description Neighborhood centers provide a mix of retail, services and community gathering places. This center should be appropriately scaled to adjacent residential areas.

The proposed use complies with the Comprehensive Plan and offers a supportive use to the area.

ECONOMIC DEVELOPMENT STRATEGIC PLAN

The proposal is considered "Stand Alone Commercial" per the Economic Development Strategic Plan; this category represents a property tax revenue per acre at \$5,380. In addition, the proposal will add sales tax revenue to the City.

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

The properties to the north are zoned Planned Development (PD) District 83-143; these properties are developed with single-family homes. The property to the east, across Holford Road, is zoned Agricultural (AG) District; it is currently unimproved. The property to the south, across Arapaho Road, is zoned Planned Development (PD) District 08-45; it is undeveloped. The property to the west is zoned Planned Development (PD) District 99-49; it is unimproved.

The subject property is located at the intersection of Holford Road and Arapaho Road, which are Type "D" and Type "B" thoroughfares and appropriate for Community Retail zoning. The proposed use is generally compatible with the surrounding area.

STAFF RECOMMENDATION

Approval of 1) a Change in Zoning from Planned Development (PD) District 99-49 for Neighborhood Office Uses to Community Retail (CR) District; 2) a Specific Use Provision for a Restaurant, Drive-Through Use and 3) a Variance to Section 4.39 of the GDC regarding perimeter screening adjacent to residential development.

ADDITIONAL INFORMATION

- i. Location Map
- ii. SUP Conditions
- iii. Exhibits
- iv. Photos

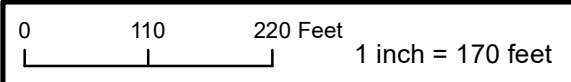
CITY COUNCIL DATE: April 16, 2024

PREPARED BY:

Nabiha Ahmed
Lead Development Planner
Planning & Development
972-205-2453
nahmed@garlandtx.gov

REVIEWED BY:

Will Guerin, AICP
Director of Planning



ZONING MAP Z 24-11

 INDICATES AREA OF REQUEST

2301 Arapaho Road

SPECIFIC USE PROVISION CONDITIONS

ZONING FILE Z 24-11

2301 Arapaho Road

I. Statement of Purpose: The purpose of this Specific Use Provision is to allow a Restaurant, Drive-Through.

II. Statement of Effect: This Specific Use Provision shall not affect any regulation found in the Garland Development Code, Ordinance No. 6773, as amended prior to adoption of this ordinance, except as specifically provided herein.

III. General Regulations: All regulations of the Community Retail (CR) District and Site Development Standards as set forth in Chapter 2 and 4 of the Garland Development Code, Ordinance 6773, are included by reference and shall apply, except as otherwise specified by this ordinance.

IV. Development Plans:

Site Layout: The site shall be in general conformance with the approved Site Plan, Landscape Plan, and Elevations labeled Exhibit C, Exhibit D, and Exhibit E. In the event of conflict between the conditions and the site plan, the written conditions listed below are to apply.

V. Abandonment: In the event the land use for which this Specific Use Provision was granted ("Land Use") is abandoned, the SUP and all rights to the Land Use are automatically terminated, and the premises must be used in conformance with the GDC, federal, and state law.

For the purposes of this Specific Use Provision, Abandonment is any of the following acts:

A. A failure to apply for a site or building permit on the premises, where applicable, within 180 days of the effective date of this SUP;

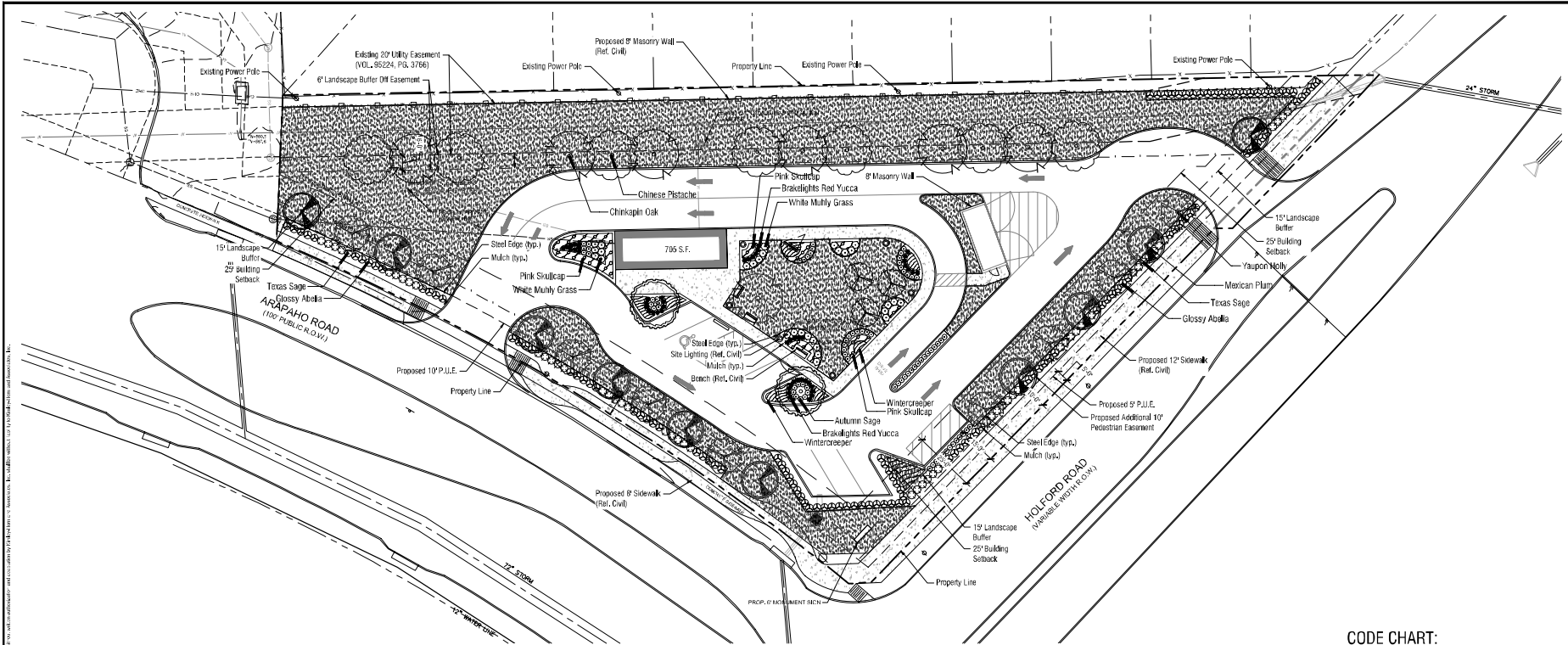
B. A failure to obtain a certificate of occupancy for the Land use within 730 days of the effective date of this SUP;

- C. A failure to commence operating the Land Use on the premises within 90 days of receiving a final certificate of occupancy for the Land Use;
- D. Discontinuance of the Land Use for a period of 180 days;
- E. Applying for, and receiving, a new Certificate of Occupancy for a use other than the Land Use; or
- F. Operating a use on the premises, whether as a primary or secondary use, that is not allowed within the PD District, by the GDC, or by state or federal law.

The termination of utilities on the premises for a period of 180 calendar days is prima facie evidence of abandonment and the owner shall have the burden to prove that the Land Use has not been abandoned.

VI. Specific Regulations:

- A. Time Period: The Specific Use Provision shall have a twenty-five (25) year time period.



PLANT SCHEDULE

TREES	COMMON / BOTANICAL NAME	CONT.	SIZE	SPACING	QTY	REMARKS
	Cedar Elm / <i>Ulmus crassifolia</i>	3' cal	12'-14'		2	B&B, HURSEY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER
	Chinese Pistache / <i>Pistacia chinensis</i>	2' cal	12'-14'	5'-6'	7	B&B, HURSEY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER
	Chinkapin Oak / <i>Quercus muhlenbergii</i>	3' cal	12'-14'		7	B&B, HURSEY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER
ORNAMENTAL TREES	COMMON / BOTANICAL NAME	CONT.	SIZE	SPACING	QTY	REMARKS
	Chaste Tree / <i>Viburnum coccineum</i>	3' cal	8'-10'		3	CONTAINER, HURSEY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER
	Mexican Plum / <i>Prunus mexicana</i>	2' cal. min.	7'-9" Ht	4'-5" Spread	10	B&B, HURSEY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER
	Yaupon Holly / <i>Ilex vomitoria</i>	3' cal	7'-9" Ht.	4'-5" Spread	9	CONTAINER, HURSEY GROWN, MATCHED, FULL, WELL-BRANCHED, MULTITRUNK (3 MIN.), TREE FORM
SHRUBS	COMMON / BOTANICAL NAME	CONT.	SIZE	SPACING	QTY	REMARKS
	Autumn Sage / <i>Salvia greggii</i>	3 gal	12" x 18" w	24" OC	76	CONTAINER, HURSEY GROWN, MATCHED AND WELL ROOTED
	Brakelights Red Yucca / <i>Hesperaloe parviflora</i> 'Brakelights'™	3 gal	12" h x 12" w	24" OC	51	CONTAINER, HURSEY GROWN, MATCHED AND WELL ROOTED
	Glossy Abelia / <i>Abelia grandiflora</i>	3 gal	24" h x 24" w	30" OC	120	CONTAINER, HURSEY GROWN, MATCHED AND WELL ROOTED
	Texas Sage / <i>Leucophyllum frutescens</i>	3 gal	24" h x 24" w	30" OC	58	CONTAINER, HURSEY GROWN, MATCHED AND WELL ROOTED
	White Mulberry Grass / <i>Muhlenbergia capillaris</i> 'White Cloud'	3 gal	24" h x 18" w	30" OC	29	CONTAINER, HURSEY GROWN, MATCHED AND WELL ROOTED

GROUND COVERS	COMMON / BOTANICAL NAME	CONT.	SIZE	SPACING	QTY	REMARKS
	Bermuda Grass / <i>Cynodon dactylon</i>		500	20' 10" sq		REFER TO SPECIFICATIONS
	Pink Shallop / <i>Scaevola taccuinensis</i>	18" O.C.	1 Gal.	18" o.c.	154	CONTAINER, NURSEY GROWN, MATCHED AND WELL ROOTED
	Wintercreeper / <i>Eurostymus fortunei</i>	4 pot	8" h x 6" w	18" o.c.	120	CONTAINER, NURSEY GROWN, MATCHED AND WELL ROOTED
MISCELLANEOUS	COMMON / BOTANICAL NAME	QTY	REMARKS			
	Steel Edge	450 LF	3/4" x 6" BLACK			
	Shaded Hardwood Mulch		DARK BROWN IN COLOR, ALL TREES IN SOO TO RECEIVE A 1/4" MULCH EDGE			

NOTE: PLANT QUANTITIES ARE PROVIDED FOR REFERENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

NOTE: PLANTS ARE SPECIFIED BY HEIGHT, SPREAD AND CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

PLANTING NOTES:

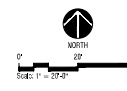
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE BOUNDS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL. IF IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO AVOID THE LANDSCAPE ARCHITECT FOR ANY CONDITION EXISTING ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE DRAWINGS.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AND MUST BE REPLACED WITH PLANT MATERIAL OF SAME VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TRIMMING AND REMOVAL OF BRANCHES PRIOR TO PLANTING ALL AREAS.
- FINAL FINISH GROUNDS SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL TOPSOIL REQUIRED TO CREATE A SMOOTH CONDITION PRIOR TO PLANTING.
- ALL PLANT QUANTITIES LISTED ARE FOR REFERENCE ONLY. IF THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL SOIL USE IN ALL PLANTING AREAS AS SPECIFIED IN THE PLANT SCHEDULE AND VERIFY ALL QUANTITIES.
- LANDSCAPE CONTRACTOR TO PROVIDE STEEL EDGING REFER TO WHITE MULCH SPREAD BETWEEN ALL PLANTING AREAS, HOLD AWAY AREAS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE SPECIFICATIONS AND SELECT FROM THE PLANT LIST AND SHALL BE PLANTED IN CONTAINERS ACCORDANCE WITH THE AMERICAN STANDARD HURSEY GROWN, LATEST EDITION AMERICAN ASSOCIATION OF NURSERIES STANDARDS. ALL PLANT SUBSTITUTION SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.
- ALL NEW PLANTING AREAS TO BE AMENDED PER SPECIFICATIONS.
- ALL PLANT MATERIAL THAT DOES NOT SURVIVE SHALL BE REPLACED WITH AN EQUIVALENT SIZE AND SPECIES WITHIN THIRTY (30) DAYS.
- PLANT MATERIAL SHALL BE PROVIDED AS NECESSARY TO CONTROL, SEE BUT NOT TO OBSTRUCT THE NATURAL GROWTH PATTERN OR CHARACTERISTIC FORM OF THE PLANT EXCEPT AS NECESSARY TO ACHIEVE HEIGHT CLEARANCE FOR UTILITY AND OVERHEAD PASSENGERS OR TO PROVIDE A CONTINUOUS SPRADE WIND BARRIER.
- LANDSCAPE CONTRACTOR SHALL BE KEPT FREE OF TRASH, WEEDS, DEBRIS, AND DEAD PLANT MATERIAL.
- ALL LINES STAKEDECKED OR BARRIERS SELECTED FOR BUILDING SHOULD BE REMOVED FROM PLANTING AREAS TO A DEPTH OF 2" x REPLACED WITH ORGANIC IMPORTED TOPSOIL, FILL.
- TREES OVERHANGING PEDESTRIAN WALKWAYS AND PARKING SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT TO MEET ACCESSIBILITY STANDARDS. TREES OVERHANGING PUBLIC STREETS, DRIVE AWAYS AND SIDE LANES SHALL HAVE A 12" MINIMUM CLEAR TRUNK HEIGHT.
- CONSTRUCTION OF PLANTING IS TO BE INITIATED IMMEDIATELY AFTER ALL CONSTRUCTION IS COMPLETE.

CODE CHART:

City of Garland Landscape Requirements	REQUIRED	PROVIDED
Total Landscape Area 10% of the overall site must be landscaped (50,000 SF x .10 = 5,000 SF) 50% of the parking lot must be landscaped. (12,720 SF x .50 = 6,360 SF)	MIN. 10% OR 5,000 SF MIN. 5% OR 2,450 SF 8% = 3,780 SF	53% OR 26,534 SF 24% OR 12,168 SF 4,285 SF
Buffer Requirements Provide a combination of one (1) canopy tree and seven (7) shrubs per 30' linear foot of landscape buffer		
Holford Road		
125 LF / 30' - 60' Trees	10 TREES	*10 TREES
100 LF x 70' - 100' Shrubs	70 SHRUBS	70 SHRUBS
Arapaho Road		
348 LF / 30' - 75' Trees	9 TREES	*9 TREES
9 x 7' - 60' Shrubs	63 SHRUBS	63 SHRUBS
coverage within the landscape buffer, with the following 20' trunk x shrub/ground cover: 9,247 SF x .75 = 6,935 SF	MAX. 25% OR 4,685 SF OF SOO 4,285 SF OF SOO	68% OR 3,465 SF OF SOO
Parking Lot Requirements All landscape is to be provided at the end of each parking row, and will contain one (1) canopy tree per 15' front	YES	YES
One (1) canopy tree is to be provided for every ten (10) parking spaces (7' spaces / 10' = 7 TREES)	3 TREE	1 TREE
Screening Requirements Plant screening to be provided along parking lot adjacent to public streets with a continuous row of the 40s or grasses that are a min. trunk height of 24" at install 10-12' Canopy trees - required every 30' along the masonry screen wall. (147 LF / 25' = 23 Trees)	YES	YES
	1.8 TREES	1.8 TREES

NOTE: Due to constraints in overall site plan, dimensional errors proposed along Arapaho Rd. and Holford Rd. are not subject to the recommendations of the code chart.

***NOTE:** All code calculations are subject to change with site plan changes



NO.	REVISIONS	DATE	BY

Kimley-Horn
 1500 WEST 15TH STREET, SUITE 100, GARLAND, TX 75042
 200 EAST HAVES STREET, SUITE 100, GARLAND, TX 75042
 WWW.KIMLEY-HORN.COM TX 05-000000

PRELIMINARY
Kimley-Horn
 1500 WEST 15TH STREET, SUITE 100, GARLAND, TX 75042
 200 EAST HAVES STREET, SUITE 100, GARLAND, TX 75042
 WWW.KIMLEY-HORN.COM TX 05-000000

PKA PROJECT	DATE	SCALE	DESIGNED BY	INCHES	DATE	BY

ARAPAHO RD. & HOLFORD RD.
 GARLAND, TEXAS

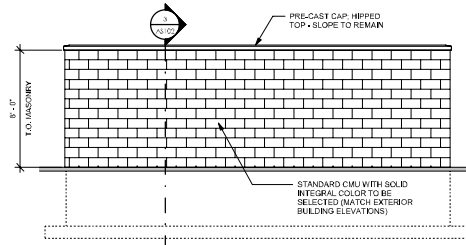


LANDSCAPE PLAN

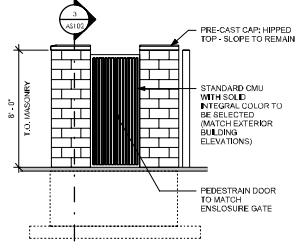
SHEET NUMBER
LP 1.01

DATE: 02/24/2024
 TIME: 10:00 AM
 USER: JHORN
 PROJECT: ARAPAHO RD. & HOLFORD RD.
 SHEET: LP 1.01

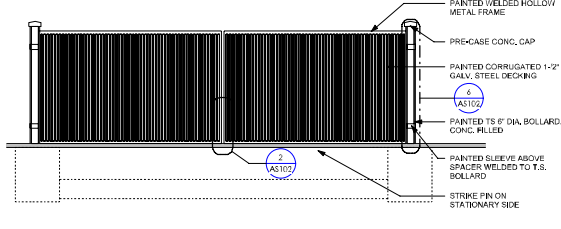
THIS PLAN AND ALL INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF KIMLEY-HORN AND SHALL BE KEPT CONFIDENTIAL AND NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF KIMLEY-HORN.



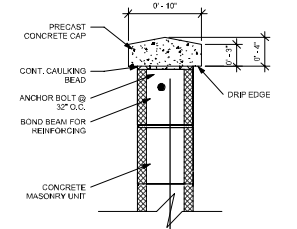
11 DUMPSTER - REAR ELEVATION
1/2" = 1'-0"



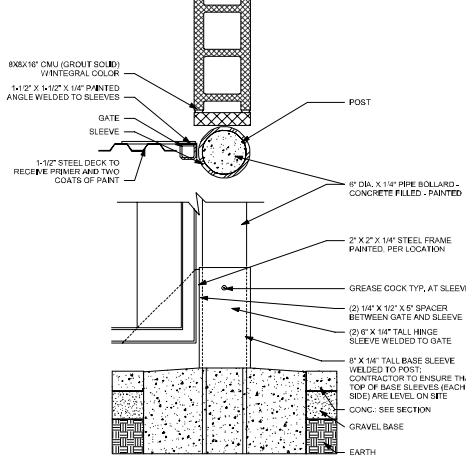
10 DUMPSTER - SIDE ELEVATION
1/2" = 1'-0"



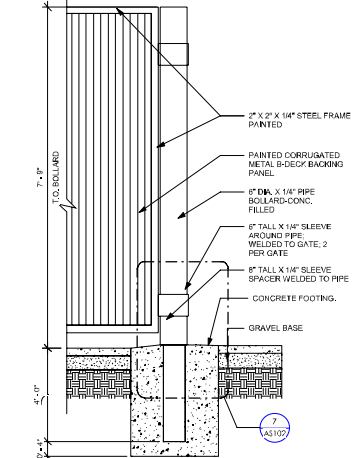
9 DUMPSTER - FRONT ELEVATION
1/4" = 1'-0"



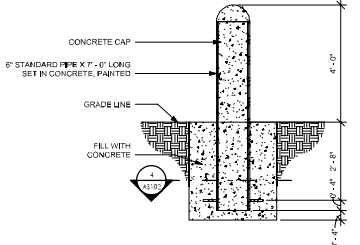
8 ENCLOSURE CONCRETE WALL CAP
1/2" = 1'-0"



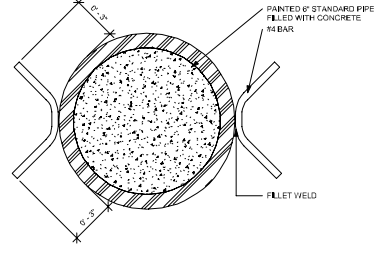
7 METAL BACKING DETAILS FOR ACCESSORIES AND EQUIPMENT
1/2" = 1'-0"



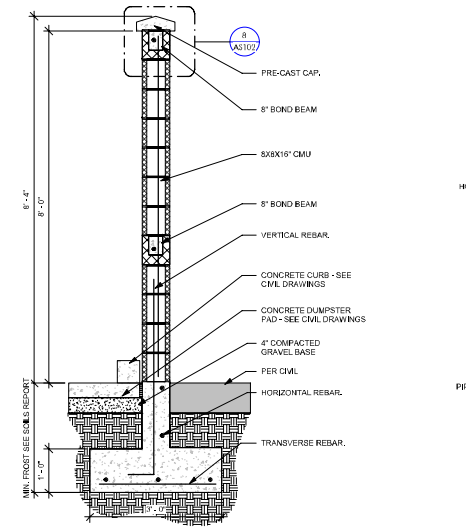
6 METAL BACKING DETAILS FOR ACCESSORIES AND EQUIPMENT
1/2" = 1'-0"



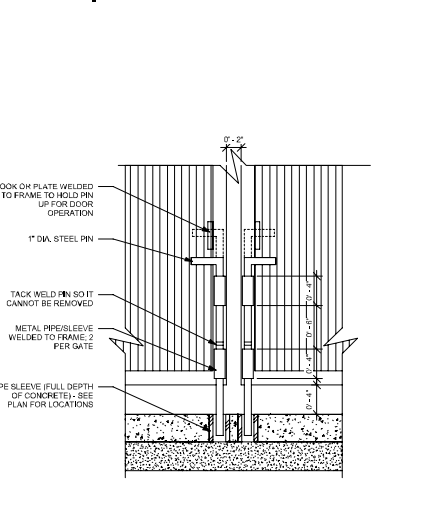
51 BOLLARD SECTION
1/2" = 1'-0"



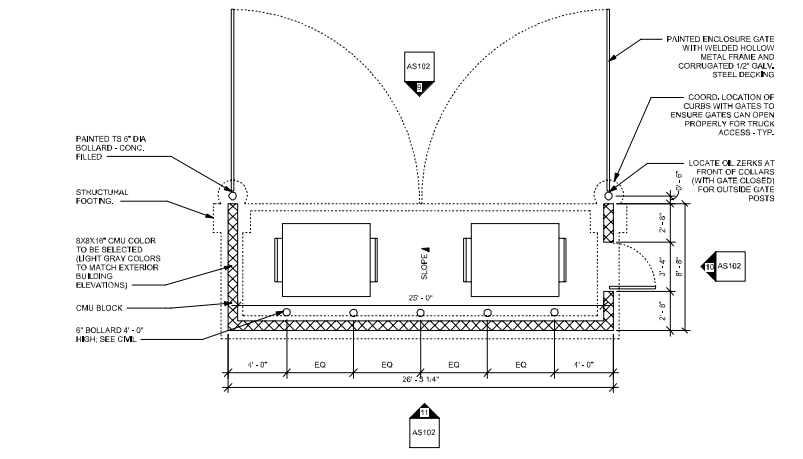
4 BOLLARD CROSS SECTION
3/4" = 1'-0"



3 DUMPSTER ENCLOSURE WALL SECTION
3/4" = 1'-0"



2 ENCLOSURE GATE PIN
1/2" = 1'-0"



1 TRASH ENCLOSURE
1/4" = 1'-0"



GARLAND, TX
SWIG (MODULAR)
ARAPAHO RD & HOLFORD



188 W. STEWART
DALLAS, TX 75201
214.411.1113
www.corestates.com

SEAL

ISSUE	DATE	DESCRIPTION

PROJECT INFORMATION	
PROJECT NO.	SAW-20208
DATE	11/21/2023
SCALE	AS NOTED
DRAWN BY	J. CLISON
CHECKED BY	M. PELINI
SUBDIVISION	TSD
LOT, BLOCK	BLOCK A, LOT 15
TOWN, ENCL. NO.	TSD

TRASH ENCLOSURE

SHEET NUMBER

AS102

Z 24-11



View of the subject property



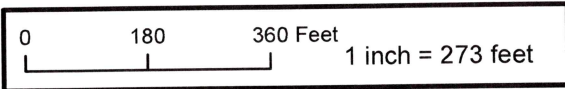
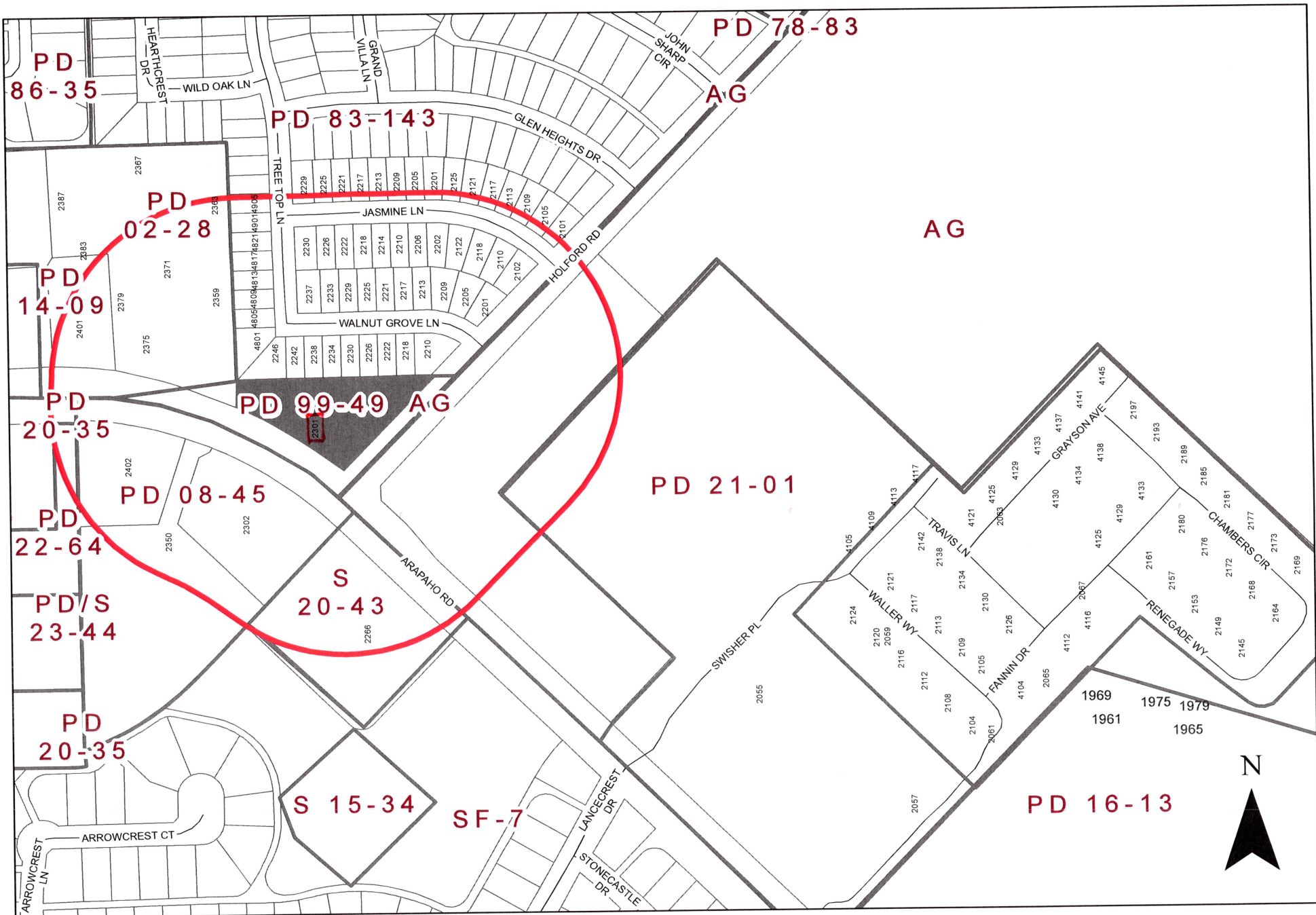
East of the subject property



North of the subject property



West of the subject property



ZONING MAP Z 24-11

INDICATES AREA OF REQUEST
 INDICATES NOTIFICATION AREA

2301 Arapaho Road

Comment Form

Case Z 24-11

Z 24-11 Kimley Horn. The applicant proposes to construct a restaurant with a drive-through [Swig]. The site is located at 2301 Arapaho Road. (District 7)

Z 24-11 Kimley Horn. El solicitante propone construir un restaurante con servicio de autoservicio [Swig]. El sitio está ubicado en 2301 Arapaho Road. (Distrito 7)

Z 24-11 Kimley Horn. Người nộp đơn đề xuất xây dựng một nhà hàng có [Swig] lái xe qua. Địa điểm tọa lạc tại 2301 Arapaho Road. (Quận 7)

Please Check One Below / Marque uno a continuación / Vui lòng kiểm tra một bên dưới

For / A Favor / Đúng

Against / En Contra / Không

Please complete the following information and email the form to Planning@garlandtx.gov; deliver to the Planning Department at 800 Main Street Garland, TX; or mail to City of Garland, Planning Department, P.O. Box 469002 Garland, TX 75406-9002. / Por favor Complete la siguiente información y envíe el formulario por correo electrónico a Planning@garlandtx.gov; entregar al Departamento de Planificación en 800 Main Street Garland, TX; o envíelo por correo a City of Garland, Planning Department, P.O. Box 469002 Garland, TX 75406-9002. / Vui lòng điền đầy đủ thông tin sau và gửi biểu mẫu qua email tới Planning@garlandtx.gov; giao cho Phòng Kế hoạch tại 800 Main Street Garland, TX; hoặc gửi thư đến Thành phố Garland, Sở Kế hoạch, P.O. Hộp 469002 Garland, TX 75406-9002.

JOHN DAVID GONZALES, SELLER, OWNER

Printed Name & Title / Nombre Impreso y Título / Tên in và Tiêu đề

(Property Owner, Business Owner, Tenant, etc.) / (Dueño de la propiedad, Dueño de la empresa, Inquilino, etc.) / (Chủ sở hữu bất động sản, Chủ doanh nghiệp, Người thuê, v.v.)

10135 Rockmoor Dr (2301 ARAPAHO RD. OWNER)

Your Property Address / La dirección de su propiedad / địa chỉ tài sản

DALLAS, TX.

City, State / Estado de la Ciudad / Thành bang

75229

Zip Code / Código postal / Mã B u Chính

John David Gonzales

3.18.24

Signature / Firma / Ch ữ ký

Date / Fecha / Ngày

(Providing email address and phone number is optional. / La dirección de correo electrónico y el número de teléfono son opcionales. / Địa chỉ email và số điện thoại là tùy chọn.)

MAR 20 24 PM 1:30

**Comment Form Continued –
Case Z 24-11**

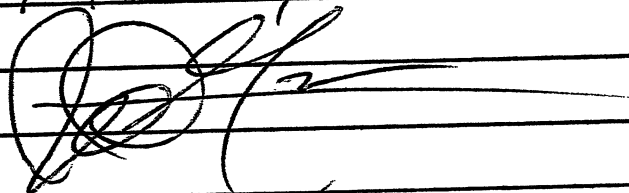
The statements below reflect my (our) opinion regarding the proposed request(s).

Las declaraciones a continuación reflejan mi (nuestra) opinión con respecto a las solicitudes propuestas.

Các tuyên bố dưới đây phản ánh quan điểm của tôi (chúng tôi) về (các) yêu cầu được đề xuất

SEVEN INVESTMENTS HAS OWNED THIS
LAND SINCE 1967! IT IS TIME TO SELL
& THE BUYER IS AN OUTSTANDING DEVELOPER
WHO WILL PUT THE PROPERTY TO GREAT
USE. SWIG WILL BE A COMPATIBLE
LAND USER GIVEN THE ADDITION BEHIND
IT. AND, GARLAND'S TAX BASE WILL
ALSO SERVE AS A BENEFICIARY

THANK YOU –



3.18.24

Zoning Response Case Comments

Case Number	PC Hearing Date	CC Hearing Date	Planner Name
Z 24-11	March 25, 2024	April 16, 2024	

Z 24-11 Kimley Horn. The applicant proposes to construct a restaurant with a drive-through [Swig]. The site is located at 2301 Arapaho Road. (District 7)

**Randall & Lydia
Umana**

3/16/2024
8:44:26 PM

against

4817 Tree Top Lane

rumana752@gmail.com

Garland

972-530-4936

Texas

United States

75044

Outside the Notification Area

We have lived here over thirty years and have seen many changes. Some good and some bad. But putting a restaurant or drive-through at that corner in our opinion would create a traffic nightmare. As it is already traffic is terrible both morning and evening and certain times of the afternoons. I would certainly would reconsider another location. Maybe across the the street they certainly have more space if a drive -thru is a major factor. Thank you.



GARLAND

Plan Commission

4. a.

Meeting Date: 03/25/2024

Item Title: SL 24-01 Silvano Ramos (District 2)

Summary:

Consideration of the application of **Silvano Ramos**, requesting approval of a variance to Section 4.29 (C)(10) of the Garland Development Code requiring compliance of screening and landscaping requirements for an upgraded parking lot. This property is located at 409 and 411 East Walnut Street. (District 2) (File SL 24-01)

Attachments

SL 24-01 Silvano Ramos Report & Attachments



GARLAND

TEXAS MADE HERE

Planning Report

File No: SL 24-01/District 2

Agenda Item:

Meeting: Plan Commission

Date: March 25, 2024

REQUEST

Approval of a variance to Section 4.29 (C)(10) of the Garland Development Code requiring compliance of screening and landscaping requirements for an upgraded parking lot.

LOCATION

409 / 411 East Walnut Street

APPLICANT

Silvano Ramos

OWNER

AMT 409/411 E. Walnut Series LLC

BACKGROUND

The subject property is zoned Industrial (IN) District and is developed with a building and parking area. The building is not currently occupied. The applicant proposes to upgrade the existing asphalt parking lot to concrete, and full compliance of GDC landscaping standards is triggered as a result; the applicant is requesting relief from full compliance.

SITE DATA

The subject site contains approximately 0.54 acres and has approximately 173 linear feet of frontage along East Walnut Street and 225 linear feet from East Walnut Circle. The site can be accessed from both street frontages.

CONSIDERATIONS

1. The applicant is requesting a variance to Section 4.29 (C)(10). Per the Garland Development Code (GDC), "resurfacing an existing parking lot in its original configuration does not constitute a reconstruction or development of a parking lot and therefore would not be subject to screening and landscaping standards as set forth in this Article 3. However, if an asphalt or otherwise substandard surface parking lot is voluntarily or involuntarily reconstructed to meet current standards, the newly constructed parking lot is subject to the requirements, as applicable, of this Article 3."
2. The applicant proposes to upgrade the existing asphalt surface on site to concrete. The applicant does not propose full compliance with screening and landscaping standards; however, landscape planters are proposed in front of the building to provide partial compliance and to add some landscaping to the site.
3. Per the Garland Development Code, the Plan Commission may consider and grant full or partial development variances including screening and landscape variances.

Per Section 5.12(A), the following considerations shall be made when reviewing a requested development variance:

- The existence of special circumstances or conditions arising from the physical surroundings, shape, topography, or other features affecting the land, which are intrinsic to the land parcel itself and which are not self-imposed by the applicant, owner or user of the subject land parcel, such that the strict application of the requirements of Chapter 3, or the certain specific requirements cited in Chapter 2 and Chapter 4, of this GDC and reflected in Table 5-1, that may be varied under this Division 4, to the proposed use would create an unnecessary hardship or inequity upon or for the applicant, or would deprive the applicant of the reasonable and beneficial use of the land. Any unnecessary hardship or inequity must be distinguishable from a mere inconvenience or a mere financial burden in developing the land, and does not include a legitimate cost-benefit proportionality inequity which shall be submitted, processed and considered in accordance with Article 1, Division 2 of this Chapter 5;
- The circumstances causing the special conditions described in Section 5.12(A)(1) above do not similarly affect all or most similarly situated properties in the vicinity of the applicant's/petitioner's land;
- The development variance is necessary for the preservation and enjoyment of a substantial property right of the applicant/petitioner;
- Granting the development variance will not be detrimental to the public health, safety, or welfare, and will not be injurious to other property within the area;
- Granting the development variance will not have the effect of preventing the orderly use and enjoyment of other land within the area in accordance with the provisions of this GDC, and will not be adversely affect the rights of owners or residents of surrounding property;
- The special circumstances intrinsic to the subject land parcel and the resultant inequity thereof as described in Section 5.12(A)(1) above, is not caused wholly or in substantial part by the applicant/petitioner;
- The request for a development variance is not based exclusively on the applicant's/petitioner's desire for increased financial gain from the property, or to reduce an existing financial hardship; and
- The degree of variation requested by the development variance is the minimum amount and extent necessary to satisfactorily meet the needs of the applicant/petitioner, and to also satisfy the general spirit and intent of the minimum development standards in this GDC.

Further, per Section 5.12(B), the applicant/petitioner bears the burden of proof to demonstrate that the application of a requirement that may be varied under this Division 4 and that is normally uniformly applied imposes a disproportionate burden on the applicant/petitioner.

4. The proposed plan is attached for consideration and informational purposes.

STAFF RECOMMENDATION

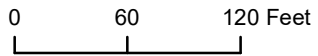
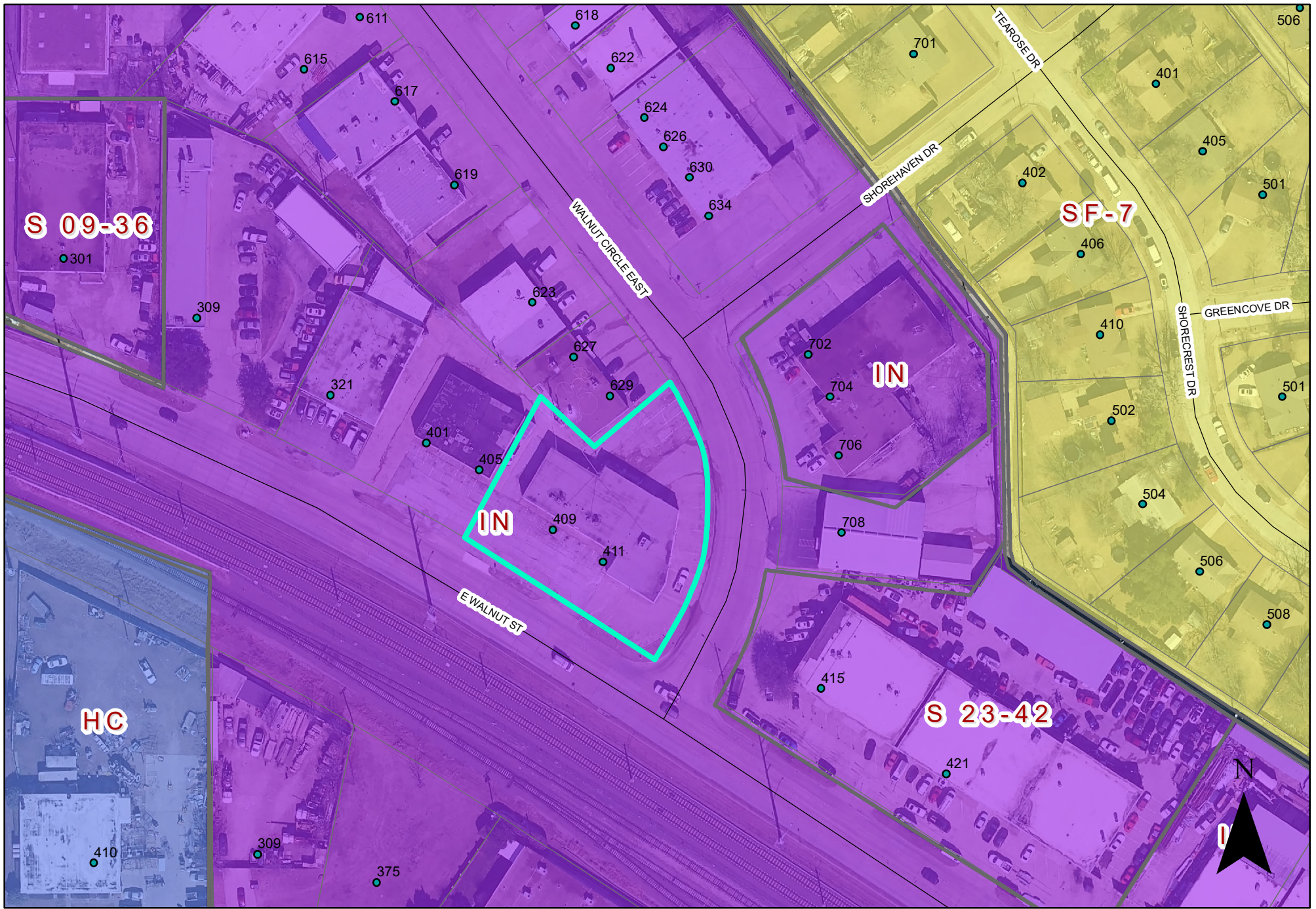
Approval of a variance to Section 4.29 (10)(C) of the Garland Development Code requiring full compliance of screening and landscaping requirements for an upgraded parking lot. Full compliance with the GDC presents physical challenges for the subject site, which is built out with existing improvements. It is noted that the applicant is upgrading the site from an inferior lot surface to concrete. The applicant is proposing planters alongside the building to add landscape aesthetics to the site where they do not exist today.

ADDITIONAL INFORMATION

- i. Location Map
- ii. Exhibit
- iii. Photos

PREPARED BY:

Will Guerin, AICP
Director of Planning
Planning and Development
972-205-2449
wguerin@garlandtx.gov

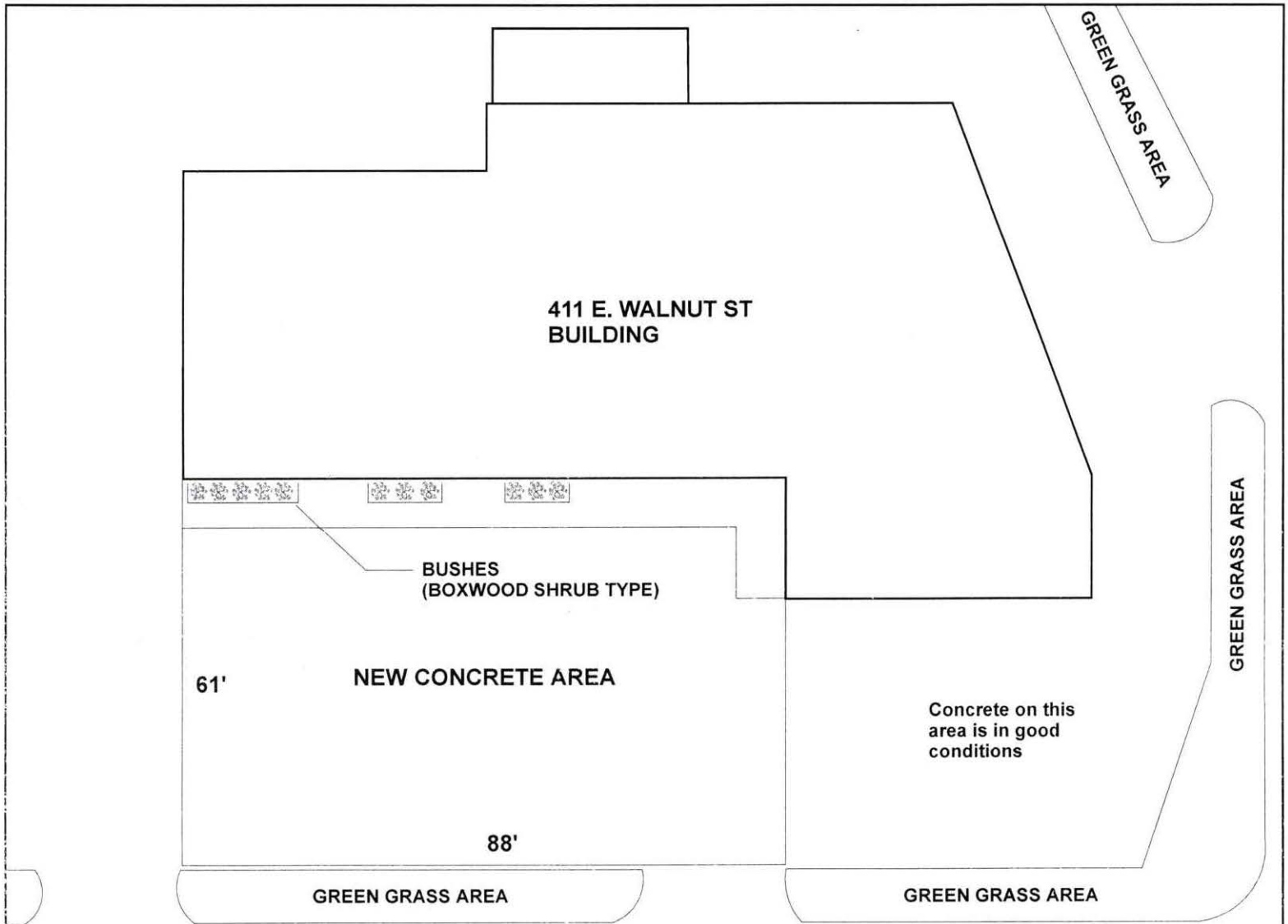


1 inch = 102 feet

LOCATION MAP SL 24-01

 INDICATES AREA OF REQUEST

409 and 411 East Walnut Street



411 E. WALNUT ST
BUILDING

BUSHES
(BOXWOOD SHRUB TYPE)

61'

NEW CONCRETE AREA

88'

Concrete on this
area is in good
conditions

GREEN GRASS AREA

GREEN GRASS AREA

GREEN GRASS AREA

GREEN GRASS AREA

Notes:

- Remove existing damage asphalt.
- New Concrete:
- #4 Rebar 18" apart
- 3500 psi Concret 5" thick
- Plant 11+ boxwood shrub bushes

E. WALNUT ST.

Drawing #412G24	Date 02/20/24	Dwg by JTR	Existing Plans for: ABBA INVESTMENTS GROUP FUENTE DE VIDA DISTRIBUTORS 411 E. WALNUT ST GARLAND TX 75040
Sheet a/01	Revised 03/02/24	N/A	



GARLAND

Plan Commission

4. b.

Meeting Date: 03/25/2024

Item Title: GDC Amendments

Summary:

Consideration to amend various Sections of Chapter 1, "General Provisions," Chapter 2, "Zoning Regulations," Chapter 3, "Subdivision Regulations," Chapter 4, "Site Development," Chapter 5, "Relief Procedures & Enforcement," and Chapter 7, "Downtown (DT) District" of the Garland Development Code of the City of Garland, Texas.

Attachments

GDC Amendments - Detail Plans Concept Plans

GDC Ordinance

Planning Report

Agenda Item: GDC amendments

Meeting: Plan Commission

Date: March 25, 2024



GARLAND

TEXAS MADE HERE

ISSUE

Consider amending various Sections of Chapter 1, "General Provisions," Chapter 2, "Zoning Regulations," Chapter 3, "Subdivision Regulations," Chapter 4, "Site Development," Chapter 5, "Relief Procedures & Enforcement," and Chapter 7, "Downtown (DT) District" of the Garland Development Code of the City of Garland, Texas.

BACKGROUND

The City of Garland currently requires Detail Plans and other detailed site plans with Planned Development and Specific Use Provision applications. In 2023, following interviews with developers and presenting findings to the Development Services Committee, it was recommended by the Committee to reduce the "front-loaded" nature of Garland's zoning application requirements. The City Council has directed staff to bring forward an ordinance that amends the zoning process requirements in Garland as it pertains to Planned Developments and Specific Use Provisions. It is proposed to require Concept Plans instead, thus reducing the level of details and engineering-level documents required prior to zoning entitlements.

CONSIDERATIONS

1. It is proposed to eliminate the Detail Plan and detailed site plan requirements with Planned Developments and Specific Use Provisions, and instead require Concept Plans. This will reduce significant costs, and most likely time, for developers and development professionals during the zoning stage of the development process, where initial land use entitlements are being sought. The intent of the change is to establish a more development-friendly process for the City of Garland. Such detailed requirements will continue to be required during the permitting stage of the process, following zoning approval.
2. In addition to establishing a more development-friendly process competitive with other cities in the region, the proposed changes offer an opportunity to utilize Planned Developments in a manner that establishes unique standards, conditions and "tradeoffs" for flexibilities sought by developers, with the intent of creating quality development in Garland.
3. The purpose of a Concept Plan is to provide a general layout of the proposed development. The City's approval of a Concept Plan will allow the applicant to determine whether the City is generally in agreement with the land usage and development proposed, and will provide the City with an overall impression of the development proposed. A Concept Plan shall be construed to be an illustration of the layout and development concepts only and not an exact engineered representation of the specific development proposed.
4. In the draft ordinance, the fee section in Chapter 1 is proposed to be amended to reflect Concept Plans, as well as eliminating the "30-day shot clock" fees which no longer apply due to recent State law changes. These changes are anticipated to be minimal in terms of revenue impact.

5. This item was directed by the City Council during their December 4, 2023 Work Session. The Plan Commission was briefed on this item during the January 8, 2024 meeting.
6. The draft ordinance as drafted by the City Attorney's Office is attached for the Plan Commission's review.

STAFF RECOMMENDATION

Approval to amend various Sections of Chapter 1, "General Provisions," Chapter 2, "Zoning Regulations," Chapter 3, "Subdivision Regulations," Chapter 4. "Site Development," Chapter 5, "Relief Procedures & Enforcement," and Chapter 7, "Downtown (DT) District" of the Garland Development Code of the City of Garland, Texas.

PREPARED BY:

Will Guerin, AICP
Director of Planning
972-205-2449
wguerin@garlandtx.gov

ORDINANCE NO. _____

AN ORDINANCE AMENDING VARIOUS SECTIONS OF CHAPTER 1, "GENERAL PROVISIONS," CHAPTER 2, "ZONING REGULATIONS," CHAPTER 3, "SUBDIVISION REGULATIONS," CHAPTER 4, "SITE DEVELOPMENT," CHAPTER 5, "RELIEF PROCEDURES & ENFORCEMENT," AND CHAPTER 7, "DOWNTOWN (DT) DISTRICT" OF THE GARLAND DEVELOPMENT CODE OF THE CITY OF GARLAND, TEXAS; PROVIDING A SAVINGS CLAUSE; A SEVERABILITY CLAUSE; AND AN EFFECTIVE DATE.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GARLAND, TEXAS:

Section 1

That Chapter 1, "General Provisions" of the Garland Development Code of the City of Garland, Texas, is hereby amended in part to read as follows:

"
...

Section 1.12 Procedures of the Development Review Committee.

(A) Types of Applications Reviewed. The DRC shall review the following types of applications:

- (1) An application for a Concept Plan for a Planned Development District, along with any related application requirements.

...

Section 1.14 Initiation of Application.

...

(D) Application Appointments. Zoning, development plan, redevelopment, concept plan, or land subdivision applications may be filed, by appointment only, with the Planning Director, upon the date and time identified in the Development Application Schedule, as provided in Section 1.18 of this GDC. The Planning Director may limit the number of applications filed on a particular day if the Planning Director determines that it is not administratively feasible to process any additional applications within 30 days.

...

Section 1.15 Deleted.

...

Section 1.21 Technical Review Meeting.

...

(C) Applications Requiring Technical Review Meeting. Pre-filing documents and working files that require a technical review meeting (unless otherwise determined as unnecessary by the City) include documents related to a proposed application for the following:

- (1) Specific Use Provision;
- (2) Concept Plan (submitted as part of a Planned Development application;

...

Section 1.100 Fees.

The following fees shall apply to all filings, except where otherwise noted:

- (A) Zoning change or specific use provision applications.

Type of Application	Fee
Planned development (PD) zoning (new or revised concept plan)	\$4,600.00 + \$50.00 per acre
Planned development - amendment of conditions	\$2,000.00
Specific use provision - new construction or expansion	\$2,000.00 + \$50.00 per acre
Specific use provision - use change	\$2,000.00
Specific use provision - residential less than one (1) acre	\$500.00 (o - 1 acre)

Type of Application	Fee
Zoning change request	\$2,000.00
Preliminary, final, or replats	\$1,000.00 + \$50.00 acre or portion thereof
Residential replats/final plat involving residentially zoned platted property	\$1,000.00 + \$50.00 acre or portion thereof
Amending plats	\$500.00 + \$50.00 acre or portion thereof
Minor plats	\$500.00 + \$50.00 acre or portion thereof
Plat vacation	\$500.00 + \$50.00 acre or portion thereof
Conveyance plats	\$500.00 + \$50.00 acre or portion thereof
Downtown development plan - less than 1 acre	\$1,000.00
Downtown development plan - 1 acre or above	\$6,000.00

(B) Variance, appeal, waiver, and miscellaneous applications.

Type of Application	Fee
Alcohol distance	\$500.00
Alley waiver	\$300.00
Building line modification	\$150.00
Building line modification, if board of adjustment appeal is also required	None

Type of Application	Fee
Development standards variance (screening and landscaping, signage)	\$350.00
Alternative compliance	\$200.00
Fence variance	\$250.00
House conversion	\$800.00
Downtown development plan/regulating plan (new construction - includes major waiver)	\$1,000.00
Downtown minor waiver	\$250.00
Reasonable accommodations	\$0.00
Vested rights petition	\$0.00
Sidewalk waiver	\$200.00
Sign variance	\$250.00
Tree removal permit (application fee only; tree mitigation fees required as applicable)	\$150.00
Tree preservation variance	\$300.00
Municipal setting designation	\$5,000.00

(C) Zoning verification letters.

Type	Fee
Zoning verification letter	\$200.00 (per DCAD Parcel ID)

...

Section 1.101 Refund Policy for Planning & Zoning Fees.

..."

Section 2

That Chapter 2, "Zoning Regulations" of the Garland Development Code of the City of Garland, Texas, is hereby amended in part to read as follows:

"
...

Section 2.04 General Provisions.

...

(B) Definitions. Following are definitions, general terms, and special terms used in this GDC that are related to the approval process for land development applications.

(1) "Plan" means a subdivision development plan, including a subdivision plan, subdivision construction plan, site plan, concept plan, detail plan, land development application, and site development plan.

...

Section 2.05 Processing of Zoning Application, Plat, Plan, and Decision.

...

(F) Plan Commission - Public Hearing & Recommendation.

...

(5) Recommendation Deadline on a Plan. The Plan Commission shall recommend approval, approval with conditions, or disapproval of a plan.

(6) Decision Deadline on a Plat. The Plan Commission shall approve, approve with conditions, or disapprove a plat within 30 days after date the plat is filed. A plat shall be considered approved by the Plan Commission unless it is disapproved within the 30 day period.

(7) Deleted.

(8) Deleted.

- (9) Postponement of Decision. The Plan Commission may, by written request of the applicant, postpone making a decision on the application of a plan or plat. Upon approval of the Plan Commission, the postponement may be for a period not to exceed 30 calendar days, and does not require additional public notice if such postponement is to a date certain. An applicant may request multiple 30-day postponements, but each must be approved by the Plan Commission. The Plan Commission may not request or require an applicant to request postponement, waive a deadline or other approval procedure under this GDC or Chapter 212, Subchapter A of the Texas Local Government Code.

...

Section 2.07 Purpose, Applicability, Nature and Size of District.

- (A) Purpose. The purpose of a Planned Development zoning district (PD district) is to provide for the development of land as an integral unit for single or mixed uses in accordance with special conditions or a Concept Plan that may include uses, regulations and other requirements that vary from the provisions of other zoning districts. PD districts are generally intended to encourage flexible and creative planning, to ensure the compatibility of land uses, to allow for the adjustment of changing demands to meet the current needs of the community, and to result in a higher quality development for the community than would result from the use of standard zoning districts.

...

- (C) Nature of the District. Each PD district is based on the standard zoning district(s) that most closely resembles the development anticipated. Development in a PD district must be generally consistent with the Concept or Detail Plan (where required) submitted in the application or approved for a Planned Development.

...

Section 2.08 Authorized Uses; Consistency with Concept or Detail Plan.

...

- (C) Location and Arrangement of Buildings. The location and arrangement of all buildings in the PD district must be generally consistent with the Detail or Concept Plan, if any, approved with the district.
- (D) Consistency Required. All development applications within a PD district must be generally consistent with the Detail or Concept Plan that is part of the PD. Failure of a subsequent development application to generally conform to the approved Detail or Concept Plan will result in denial of the application, unless the PD district regulations are amended through incorporation of a revised Concept or Detail Plan with which the development application is consistent.

...

Section 2.11 Concept Plan

- (A) Requirement for Concept Plan. The Planning Director shall determine whether a Concept Plan is required as part of an application for a PD or SUP. If a Concept Plan is determined to be required, such Plan must be included with the PD or SUP change of zoning application and is, if the application is approved, incorporated as part of the PD or SUP ordinance.
- (B) Purpose of Concept Plan. The purpose of a Concept Plan is to provide a general layout of the proposed development. The City's approval of a Concept Plan will allow the applicant to determine whether the City is generally in agreement with the land usage and development proposed, and will provide the City with an overall impression of the development proposed. A Concept Plan shall be construed to be an illustration of the development concepts only and not an exact representation of the specific development proposed.
- (C) Contents of Concept Plan. Requirements for the format and contents of a Concept Plan must be in accordance with requirements in the *Development Application Packet*, as may be amended from time to time.
- (D) Planning Director Review. The planning director is authorized to require the applicant to make additions and corrections to Concept Plans before moving the application forward to the public hearing stage.

...

Section 2.12 Amending a Planned Development (PD)

(A) Existing PD containing requirement for Detail Plan.

When amending an existing PD that contains a requirement for a Detail Plan, a Concept Plan may be used in place of the Detail Plan.

Section 2.13 Approval of a Planned Development District.

...

Section 2.14 Adopting Ordinance.

Items Specific to the Ordinance. The ordinance establishing a PD district shall incorporate an approved Concept Plan as part of the district regulations and shall set forth the following:

...

Section 2.15 Subsequent Development Applications.

(A) Minor Deviations from Approved Planned Development (PD).

In determining whether development applications are consistent with the approved PD, minor deviations from the PD may be approved by the Planning Director. Unless otherwise specified in the PD adopting ordinance, the Planning Director has the discretion to determine whether deviations from the PD are minor deviations, upon a determination that the deviations meet the intent of the PD conditions, and meet or exceed the requirements of the PD.

(B) Major Deviations from Approved Planned Development (PD).

All other deviations from the approved PD that the Planning Director has not determined to be minor, will be considered major and must be submitted for approval as a change of zoning application to amend the PD district to the Plan Commission and City Council.

...

Section 2.17 Purpose, Applicability, and Effect.

...

(B) Applicability. A Specific Use Provision is required to

use or develop property within the City limits for any use designated as a specific use in the Land Use Matrix in Article 5 of this Chapter 2 for the zoning district in which the property is located. The Specific Use Provision application may be accompanied by a Concept Plan prepared in accordance with requirements set forth in the *Development Application Packet*, as may be amended from time to time.

...

Section 2.19 Application Requirements.

...

- (B) Concept Plan. A Concept Plan may be required as part of an SUP application. The requirements for the format and content of a Concept Plan must be in compliance with the requirements in the *Development Application Packet*, as may be amended from time to time. The Concept Plan may be incorporated into the regulations of the SUP ordinance and must be construed in conjunction with the authorized uses and development standards, if any, set forth in the SUP ordinance.

...

Section 2.52 Special Standards for Certain Uses.

- (A) Specific Requirements. The City has established the following standards for certain land uses that apply to the uses regardless of the zoning district in which they are located, unless otherwise stated within other sections of this GDC. The definitions for each land use listed below are contained within Chapter 6 of this GDC.

...

- (34) Recreational Vehicle (RV) Park. A Recreational Vehicle Park must comply with the following provisions of this Subsection (36):

- (a) Planned Development (PD) District Required. An RV Park is allowed only within a PD district. The approval of a Concept Plan is required.

..."

Section 3

That Chapter 3, "Subdivision Regulations" of the Garland Development Code of the City of Garland, Texas, is hereby amended in part to read as follows:

"
...

Section 3.05 Relationship Between Platting & Zoning.

(A) Zoning. Inside the corporate limits of the City, the following shall apply:

...

(3) Planned Development (PD) District and Specific Use Provision (SUP) Zoning. In a Planned Development (PD) district (refer to Chapter 2, Article 2, Division 2) or for Specific Use Provision (SUP) zoning (refer to Chapter 2, Article 2, Division 3), a plat application must conform with all PD/SUP and other applicable zoning regulations, and with the approved PD/SUP zoning exhibit, Concept Plan, Detail Plan, Site Plan, or other layout plan approved as part of the PD/SUP ordinance.

...

Section 3.46 Timing & Relief.

(A) Timing of Dedication & Construction.

(1) Initial Provision for Dedication or Construction. The developer shall submit for approval Schematic Engineering Drawings that demonstrate a proposed development will be adequately served by public facilities and services at the time for approval of a site permit application for a development, including: a petition for an annexation agreement or an annexation development agreement (if applicable).

As a condition of approval of the development application, the City may require the dedication of rights-of-way or easements for, and construction of, capital improvements to serve the proposed development.

...

Section 3.62 Schematic Drainage Plan Review.

A Schematic Stormwater Plan (SSP) shall be submitted to the City for review prior to submission of a site permit that involves construction pursuant to Subsection 3.61(B) above (whichever occurs first). Schematic Drainage Plan requirements are in the Technical Standards, and basic information regarding the site shall be provided including, but not limited to, the following:

..."

Section 4

That Chapter 4, "Site Development" of the Garland Development Code of the City of Garland, Texas, as amended, shall be and remain in full force and effect save and except as amended by this Ordinance.

"

...

Section 4.55 Definitions for Tree Preservation.

The following terms and phrases, as used in this Article 4, have the following meanings (other related definitions are contained within Article 3 of this Chapter 4, and also within Chapter 6, of this GDC):

...

- (O) "Tree Removal Authorization" means an approval issued by the Planning Director based on a Tree Management Plan that has been approved by the Planning Director during Site Plan, PD Concept or Detail Plan, Site Permit, or Building Inspection review and approval (as applicable, and whichever occurs first).

..."

Section 5

That Chapter 5, "Relief Procedures & Enforcement" of the Garland Development Code of the City of Garland, Texas, as

amended, shall be and remain in full force and effect save and except as amended by this Ordinance.

“
...

Section 5.21 Dormant Projects.

(A) Definitions. For purposes of this section only:

- (1) Initial Permit means any of the following types of applications or approvals granted under the Garland Comprehensive Zoning Ordinance or subdivision regulations (including Chapter 31 of the City Code), as amended, or any predecessor zoning, subdivision or development-related ordinance that was in effect prior to the effective date of this GDC: any Site Plan, Concept Plan, Detail Plan, Specific Use Permit/Provision, any type of plat, or any other application that was approved subject to a schematic drawing illustrating the location, arrangement, orientation, or design of land uses, lots, or improvements on a site intended for development.

...”

Section 6

That Chapter 7, “Downtown (DT) District” of the Garland Development Code of the City of Garland, Texas, as amended, shall be and remain in full force and effect save and except as amended by this Ordinance.

“
...

Section 7.28 Downtown Development Plan.

- (A) Prior to obtaining a Site or Building Permit, an approved Downtown Development Plan must be obtained from the Planning Director (or from the City Council, if the Director’s decision is appealed) demonstrating that the proposal meets the goals, intent, and general standards contained in these district regulations.

- (B) A Downtown Development Plan application shall include

the following information and documents that demonstrate compliance with the Downtown district:

...

(10 Minor or Major Waivers being requested or previously approved

...

Section 7.30 Waivers of Design Standards.

(A) Types of Waivers. For the purposes of this district, there shall be two types of Waivers of design standards - Minor and Major. A Waiver may be made in conjunction with an application for a Downtown Development Plan, or prior to and independent of the application. Any Waiver must be specifically requested by the Applicant. No Waivers to standards will be considered approved if not specifically identified in the request for approval of a Development Plan.

...

(C) Major Waivers are material and substantial changes to the design standards in the Downtown district, or changes which may initially appear to be in conflict with the goals and intent of this district. Major Waivers may only be approved by the City Council, following a recommendation by the Planning Director and the Plan Commission. In order to approve a Major Waiver, the City Council shall find that the Waiver:

..."

Section 7

That Chapters 1,2,3,4,5, and 7 of the Garland Development Code shall be and remain in full force and effect save and except as amended by this Ordinance.

Section 8

That the terms and provisions of this Ordinance are severable and are governed by Sec. 1.07 of the Garland Development Code of the City of Garland, Texas.

Section 9

That this Ordinance shall be and become effective immediately upon and after its passage and approval.

PASSED AND APPROVED this the ____ day of April 2024.

CITY OF GARLAND, TEXAS

Mayor

ATTEST:

Deputy City Secretary