



# GARLAND

## NOTICE OF MEETING CITY OF GARLAND, TEXAS

PLAN COMMISSION  
City Hall, Council Chambers  
William E. Dollar Municipal Building  
200 N. Fifth Street  
Garland, Texas  
June 10, 2024 at 7:00 p.m.

A meeting of the Plan Commission of the City of Garland, Texas will be held at the aforementioned location, date, and time to discuss and consider the following agenda items.

A pre-meeting will begin at 5:15 p.m. at the same location as the regular meeting. The agenda for the pre-meeting is the same as for the regular meeting, and may include additional items as set forth below.

**INVOCATION AND PLEDGE OF ALLEGIANCE:** It is the custom and tradition of the members of the Plan Commission to have an invocation and recital of the Pledge of Allegiance prior to the beginning of the meeting. Members of the audience are invited to participate. However, members of the audience are not required to participate. The decision to participate is strictly a matter of personal choice and has no bearing on matters to be considered by the Plan Commission and will not affect the decisions to be made during the meeting.

The meeting will be broadcast on City of Garland Government Access Television (CGTV). CGTV is available via [GarlandTX.gov](http://GarlandTX.gov), channel 16 (Spectrum), Channel 44 (Frontier), and channel 99 (AT&T U-verse). Meetings are broadcast online via live-streaming, on-demand, and air on CGTV with several rebroadcasts during the week of the meeting.

### Public Comments

Your comments must relate to an item on this agenda - non-germane comments are not in order. Time limits will be imposed by the Chairman as appropriate to the nature of the agenda item. Generally, public speakers are given three minutes.

**IN-PERSON COMMENTS:** Registration will be required for any citizen wishing to speak. Speakers shall register using the electronic registration kiosks in the lobby of City Hall.

Garland City Hall and Council Chambers are wheelchair accessible. Special parking is available on the east side of City Hall and on Austin & State Street west of City Hall. Persons with disabilities who plan to attend this meeting and who may need auxiliary aids or services must contact the City Secretary's Office at (972) 205-2404 at least two working days prior to the meeting so that appropriate arrangements can be made. **BRAILLE IS NOT AVAILABLE.**

If the Plan Commission adjourns into executive session during this meeting, the executive session will be conducted between and among the members of the Plan Commission and relevant City staff. Public access to that meeting is prohibited by State law.

## CONSENT AGENDA

All items under this section are recommended for approval by a single motion of the Plan Commission, without discussion. The Plan Commission has had the opportunity to review each of these items during a pre-meeting. The Chairman will announce the agenda and provide an opportunity for members of the audience and the Plan Commission to request that an item be removed and considered separately.

### 1. MINUTES

- a. Consider approval of the Plan Commission Minutes for the May 13, 2024 meeting.

### 2. PLATS

- a. P 24-15 Linda Ray Addition-- Replat
- b. P 24-16 Garland Shiloh Addition -- Replat

## ITEMS FOR INDIVIDUAL CONSIDERATION

### Speaker Regulations:

Anyone wishing to speak for, against, or on agenda items must fill out a speaker card and give it to the Plan Commission Secretary before speaking (cards are located at the entrance to the Council Chambers). The Chairman will recognize speakers; he may impose a time limit and may provide for rebuttal. All comments and testimony are to be presented from the podium.

### 3. ZONING

- a. Consideration of the application of **IBC Constructions, LLC**, requesting approval of 1) a Specific Use Provision for a Fuel Pumps, Retail Use and 2) a Plan for a Fuel Pumps, Retail Use, Convenience Store, Laundry, Self-Serve (Laundromat) and Retail Store Uses on a property zoned Community Retail (CR) District. This property is located at 1270 Pleasant Valley Road. (District 1) (File Z 22-28)
- b. Consideration of the application of **CCM Engineering**, requesting approval of 1) a Change in Zoning from Planned Development (PD) District 14-11 for Single-Family-10 (SF-10) Uses and Planned Development (PD) District 85-24 for Community Retail (CR) Uses to a Planned Development (PD) District for Single-Family Attached (SFA) Uses and 2) a Detail Plan for townhouse development. This property is located at 2000 and 2050 East Miller Road. (District 3) (File Z 22-67)
- c. Consideration of the application of **2916 National, LP.**, requesting approval of 1) a Change in Zoning from Industrial (IN) District to a Planned Development (PD) District for Industrial Uses and 2) a Detail Plan for Equipment Leasing/Rental, Outdoor Use. This property is located at 2916 and 3002 National Drive. (District 5) (File Z 24-15)
- d. Consideration of the application of **OSI 1602 Kings Rd, LLC.**, requesting approval of 1) a Specific Use Provision (SUP) for a Truck/Bus Storage Use 2) a Concept Plan for a Truck/Bus Storage Use and 3) a Development Variance for a complete waiver of a landscaping provision preventing fencing from being in the landscape buffer. This property is located at 1602 Kings Road. (District 6) (File Z 24-22)
- e. Consideration of the application of **OSI 1602 Kings Rd, LLC.**, requesting approval of 1) a Specific Use Provision (SUP) for a Truck/Bus Repair Use & Truck/Bus Storage Use on a property zoned Industrial (IN) District and 2) a Concept Plan for a Truck/Bus Repair Use & Truck/Bus Storage Use and 3) a Development Variance for a complete waiver of a landscaping provision preventing fencing from being in the landscape buffer. This property is located at 1602 Kings Road. (District 6) (File Z 24-23)
- f. Consideration of the application of **Kimley-Horn**, requesting approval of 1) a Change in Zoning from Community Retail (CR) District to a Planned Development (PD) District for Community Retail Uses and 2) a Concept Plan for a Hotel/Motel Full Service. This property is located at 3305 Zion Road. (District 3) (File Z 24-24)

### 4. ADJOURN

NOTICE: The Plan Commission may recess from the open session and convene in a closed session if the discussion of any of the listed agenda items concerns matters regarding privileged and unprivileged client information deemed confidential by Rule 1.05 of the Texas Disciplinary Rules of Professional Conduct. Sec. 551.071, Tex. Gov't Code.

NOTE: A quorum of the City Council may be in attendance and may or may not participate in the discussions of the Committee or board.





**GARLAND**

**Plan Commission**

**1. a.**

**Meeting Date:** 06/10/2024

**Item Title:** Plan Commission Minutes for May 13, 2024

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**Summary:**

Consider approval of the Plan Commission Minutes for the May 13, 2024 meeting.

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**Attachments**

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May 13, 2024 Plan Commission Minutes

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# GARLAND

## MINUTES

The Plan Commission of the City of Garland convened in regular session at 7:00 p.m. on Monday, May 13, 2024, in the Council Chambers at the William E. Dollar Municipal Building, 200 N. Fifth Street, Garland, Texas, with the following members present:

Present: Scott Roberts, Chairman  
Julius Jenkins, 1st Vice Chair  
Wayne Dalton, 2nd Vice Chair  
Stephanie Paris, Commissioner  
Rich Aubin, Commissioner  
Patrick Abell, Commissioner  
Michael Rose, Commissioner

Absent: Georgie Cornelius, Commissioner

Staff Present: Will Guerin, Planning Director  
Angela Self, Planning Administrator  
Nabiha Ahmed, Lead Development Planner  
Matthew Wolverton, Development Planner  
David Jones, Planner I  
Trey Lansford, Deputy City Attorney  
Elisa Morales, Secretary

### CONSENT AGENDA

All items under this section are recommended for approval by a single motion of the Plan Commission, without discussion. The Plan Commission has had the opportunity to review each of these items during a pre-meeting. The Chairman will announce the agenda and provide an opportunity for members of the audience and the Plan Commission to request that an item be removed and considered separately.

Motion was made by Commissioner Paris to **approve** the Consent Agenda. Seconded by Commissioner Abell. **Motion carried: 6 Ayes, 1 Abstention** by Commissioner Jenkins.

### 1. MINUTES

- a. Consider approval of the Plan Commission Minutes for the April 22, 2024 meeting. **APPROVED**

### 2. PLATS

- a. P 24-11 Urbana Centerville Addition -- Final Plat **APPROVED**  
b. P 24-12 Urban Village at Rosehill -- Final Plat **APPROVED**  
c. P 24-14 Faulkner Point No.7 First Replat -- Final Plat **APPROVED**

## ITEMS FOR INDIVIDUAL CONSIDERATION

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### 3. ZONING

- a. Consideration of the application of **U-Haul Company of East Dallas**, requesting approval of **APPROVED**  
1) a Change in Zoning from Industrial (IN) District to a Planned Development (PD) District; 2) a Specific Use Provision for a Truck/Bus Sales & Leasing/Rental Use and 3) a Detail Plan for a Truck/Bus Sales & Leasing/Rental Use. This property is located at 2502, 2504 and 2550 McCree Road. (District 5) (File Z 23-50)

The applicant, Matt Merrill, 2502 McCree Road, Garland, Texas 75041, provided an overview of the request and remained available for questions.

Commissioner Dalton asked the applicant if propane was still being sold at the location.

The applicant confirmed that propane is still being sold on property.

Commissioner Rose asked the applicant how open he was to a 10 or 15 year SUP versus a 30 year which is what they are requesting.

The applicant explained that the reason behind the 30 year SUP request is that what they are requesting would be a substantial investment and they have no intention of selling the property. The applicant explained that for financing purposes they would have to do a 20 year financing plan but that the Board would have to decide if they decided to go with a 20 year SUP request to match the minimum financing terms but that they would possibly be open to that.

Commissioner Aubin asked the applicant about the Retail Use permitted request they made.

The applicant explained that the Retail Use permitted request was made to be an allowed use as part of the PD, and while they will still be selling boxes, boxing tape and hitches as an accessory use, the main use at the property would be truck and trailer rentals.

Commissioner Aubin asked the applicant if they intend to increase the retail use in the future.

The applicant explained that at the moment they have no other plans.

Commissioner Abell asked the applicant to confirm that the current retail they have at the adjacent location would simply be moving to the new location.

The applicant confirmed that to be the case.

Commissioner Aubin asked the applicant if they had plans to increase the footprint of the existing building.

The applicant confirmed that they would be keeping the pre-manufactured building but would essentially be remodeling it completely.

Commissioner Jenkins applauded the applicant for their willingness to work with City staff on their recommendations.

The applicant commended the efforts by City staff to come to an agreement on the proposed development.

Chair Roberts also commended staff for the recommendations they made on uses and the

landscaping. He did ask for clarification on the types of propane they would be selling and if they were residential or would they also be able to refill the propane tanks on RV's.

The applicant clarified that they have a 3,000 gallon tank on site that would allow them to refill most anything.

Chair Roberts asked staff about the sign difference and if that was based on the PD and not the GDC.

Staff confirmed that the sign conditions would be a trade off through the PD and not GDC variances.

**Motion** was made by Commissioner Aubin to **approve** the application as presented with the provision that instead of citing exclusions, citing inclusions per the use being presented by the applicant, and granting the SUP for a twenty-year period. Seconded by Commissioner Jenkins. **Motion carried: 7 Ayes, 0 Nays.**

#### **4. ADJOURN**

There being no further business to come before the Plan Commission, the meeting adjourned at 7:19 p.m.

CITY OF GARLAND, TEXAS

/s/ Scott Roberts, Chairman

/s/ Elisa Morales, Secretary



## GARLAND

### Plan Commission

2. a.

Meeting Date: 06/10/2024

Item Title: P 24-15 Linda Ray Addition - Replat

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### Summary:

P 24-15 Linda Ray Addition-- Replat

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### Attachments

P 24-15 Linda Ray Addition - Replat Report & Attachments

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# ***Planning Report***

**File No: P 24-15 / District 2**

**Agenda Item:**

**Meeting: Plan Commission**

**Date: June 10, 2024**



**GARLAND**

TEXAS MADE HERE

## **REPLAT**

Linda Ray Addition Replat

## **LOCATION**

1540 Edgefield Drive

## **ZONING**

Planned Development (PD) District 23-41

## **NUMBER OF LOTS**

Two (2) total lots

## **ACREAGE**

12.852 acres

## **BACKGROUND**

The purpose of this Replat is to create two (2) lots of record for a senior living multi-family development.

## **STAFF RECOMMENDATION**

Approval of the Replat. All technical requirements have been addressed and the plat is in order as submitted.

## **ADDITIONAL INFORMATION**

- i. Location Map
- ii. 24 x 36 Plat

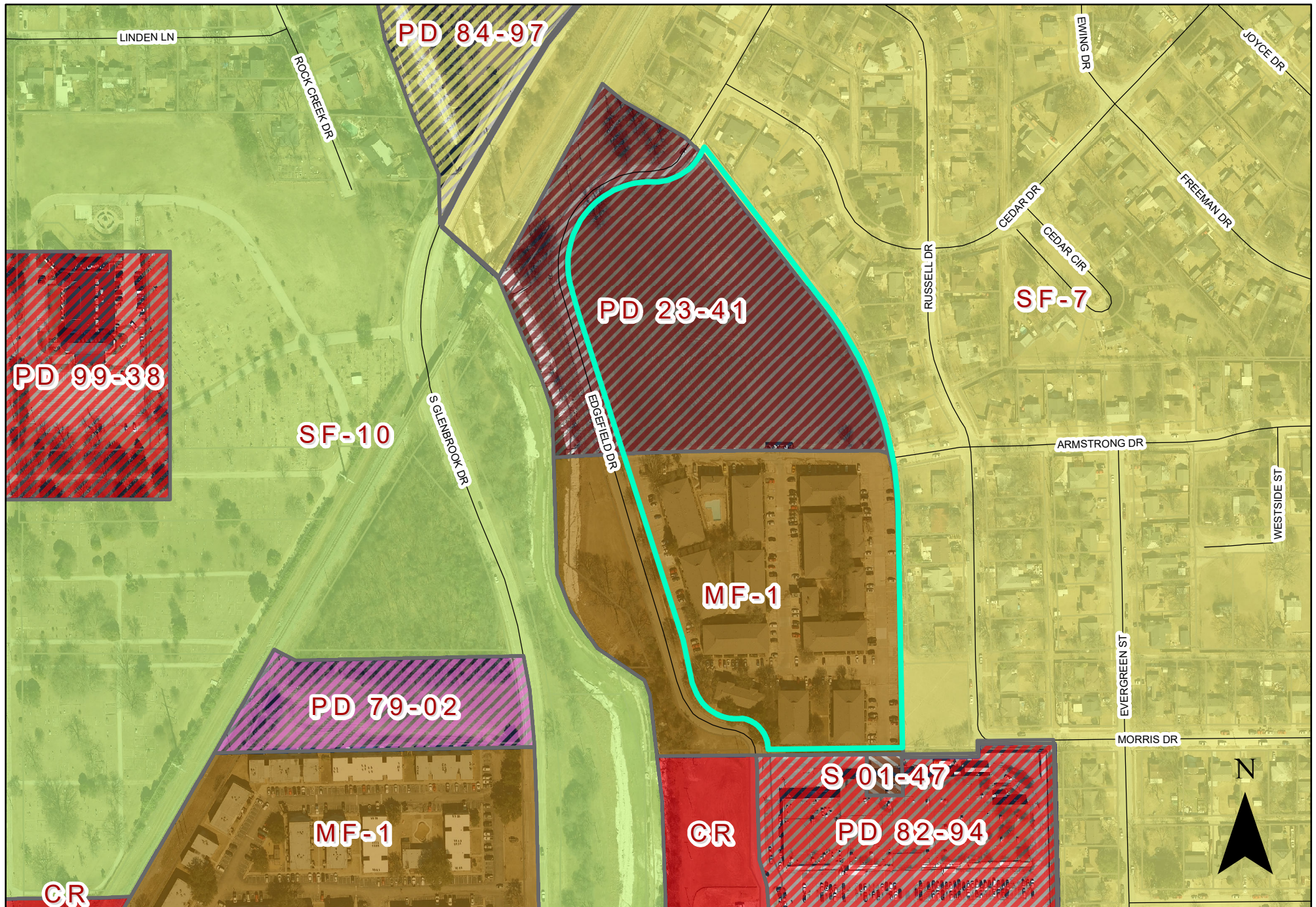
## **PREPARED BY:**

Matthew Wolverton  
Development Planner  
Planning and Development  
972-205-2454  
mwolverton@garlandtx.gov

## **REVIEWED BY:**

Angela Self, FAICP  
Interim Director of Planning



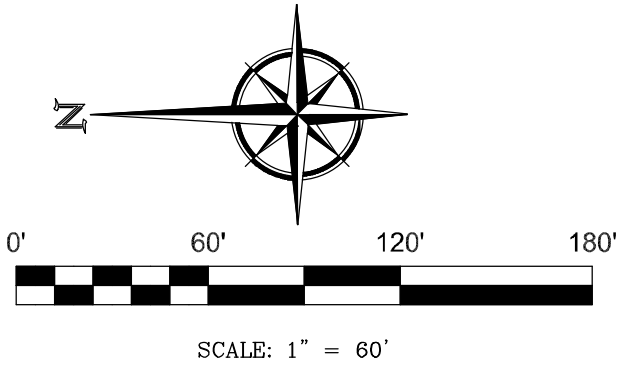


0 175 350 Feet  
1 inch = 262 feet

## PLAT MAP P 24-15

 INDICATES AREA OF REQUEST





AREA NOTE:

The area (acres) shown hereon is based on the mathematical closure of the courses and distances reflected on this Survey. It does not include the tolerances that may be present due to positional accuracy of the boundary monuments in place.

SUBDIVISION NOTE:

Selling a portion of this addition by metes and bounds is a violation of the City of Garland Development Code and is subject to fines and withholding of utilities and building permits.

MONUMENT NOTE:

All lot corner monuments set by this Surveyor are 1/2 inch diameter iron rebar, 18 inches long, topped with a red plastic cap, stamped "RPLS 4701" or if in concrete pavement, a mag nail with a steel washer, stamped "RPLS 4701", unless otherwise noted.

PURPOSE STATEMENT:

The purpose of the replat is to subdivide an existing block into two lots for development of the northern lot.

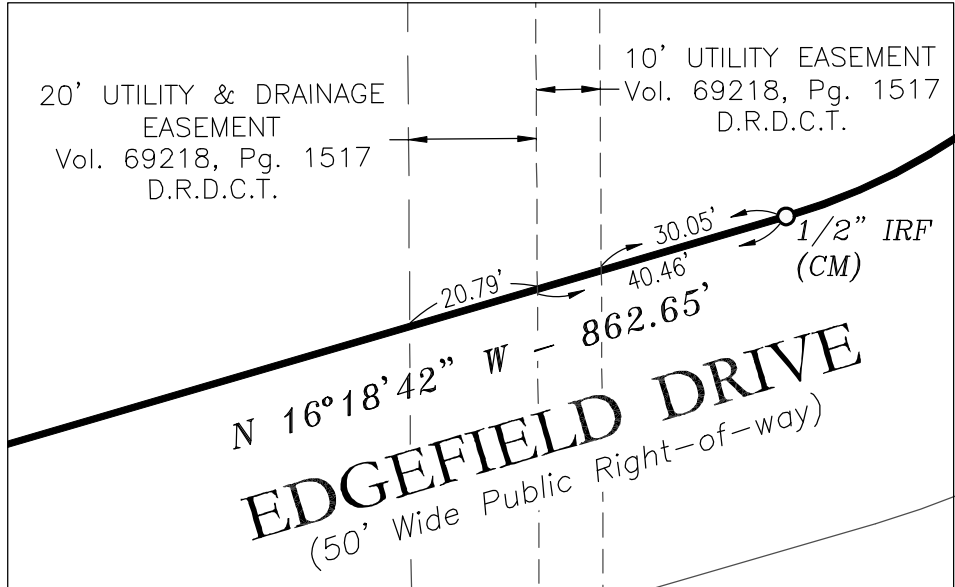
FINISH FLOOR ELEVATION NOTE:

The designed minimum Finish Floor Elevation (FFE) is 524.0 feet. As per the City of Garland's requirements, the minimum FFE must be a minimum of 2' above Duck Creek base flood elevation of 522.0 per the FEMA FIS for Dallas County (07/07/2024).

REFERENCE BEARING:

Coordinates and Bearings shown hereon are on Grid, are not scaled and are tied to the Texas Coordinate System of 1983 (NAD-83, 2011), North Central Zone (4202) using City of Garland Geodetic Control Monuments No. 93 and 29

GPS-93 - N: 7,017,026.74 E: 2,538,884.88 Z: 559.83  
GPS-29 - N: 7,016,333.74 E: 2,538,166.60 Z: 539.48



EASEMENT DETAIL  
Scale: 10' = 30'

LEGEND

- PROPERTY CORNER
- BOUNDARY LINE
- - - ADJOINER PROPERTY LINE
- - - EASEMENT LINE
- - - FEMA FLOODPLAIN LINE

VICINITY MAP  
NOT TO SCALE

ABBREVIATIONS

Vol. = Volume  
Pg. = Page  
Inst. No. = Instrument Number  
D.R.D.C.T. = Deed Records, Dallas County, Texas  
M.R.D.C.T. = Map Records, Dallas County, Texas  
O.P.R.D.C.T. = Official Public Records, Dallas, County, Texas  
IRF = Iron Rod Found  
CIRS = 1/2" Iron Rod Set with a red plastic cap stamped "RPLS 4701"  
MNP = MAG Nail Pound  
PFC = Point For Corner  
RPLS = Registered Professional Land Surveyor  
CM = Controlling Monument  
P.A.E. = Pedestrian Access Easement (By This Plat)

BOUNDARY CURVE TABLE

CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	36°59'57"	760.00'	490.77'	S 19°48'40" E	482.29'
C2	8°22'34"	75.00'	114.38'	N 44°07'24" W	103.61'
C3	71°30'00"	98.28'	122.64'	N 52°03'41" W	114.84'
C4	105°00'01"	168.64'	309.05'	N 36°11'18" E	267.58'
C5	58°29'56"	100.00'	102.10'	N 59°26'17" E	97.72'
C6	19°46'12"	167.50'	57.80'	S 80°24'51" E	57.51'
C7	8°00'24"	152.50'	21.31'	S 74°32'02" E	21.29'

BOUNDARY LINE TABLE

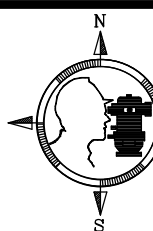
LINE	BEARING	DISTANCE
L1	N 88°41'18" E	11.00'
L2	N 30°11'41" E	20.12'
L3	N 89°42'23" E	25.00'
L4	S 00°17'54" E	10.00'

OWNER:

BRAZOS RIVER GLEN, LLC  
5170 LBJ Freeway, Suite 220  
Dallas, Texas 75240  
214-335-9406  
Contact: William Hancock, President

SURVEYOR

RINGLEY & ASSOCIATES, INC.  
701 S. Tennessee Street  
McKinney, Texas 75069  
972-542-1266  
Contact: Lawrence H. Ringley



RINGLEY & ASSOCIATES, INC.  
SURVEYING • MAPPING • PLANNING

Texas Firm Registration No. 10061300  
701 S. Tennessee - McKinney, Texas - 75069  
(972) 542-1266

Drawn by	Date	Scale	Job	Title	Sheet
Mark Hood	03/06/2024	1" = 60'	2023-055	2023-055-RP.DWG	1 of 3

REPLAT

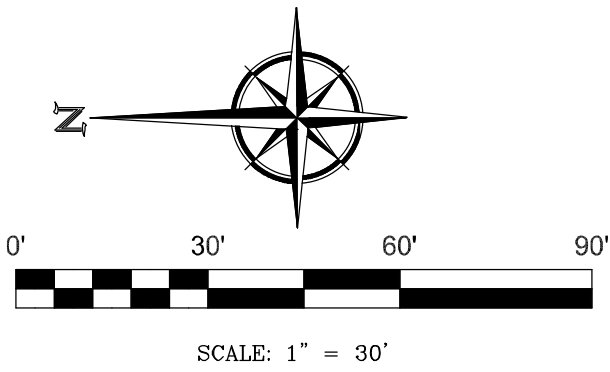
LINDA RAY ADDITION REPLAT  
LOTS 1 & 2, BLOCK A  
12.852 Acres

a Replat of  
BLOCK A, LINDA RAY ADDITION  
situated in the

Abner Keen Survey, Abstract No. 735  
City of Garland, Dallas County, Texas

City Case No. 230727-1



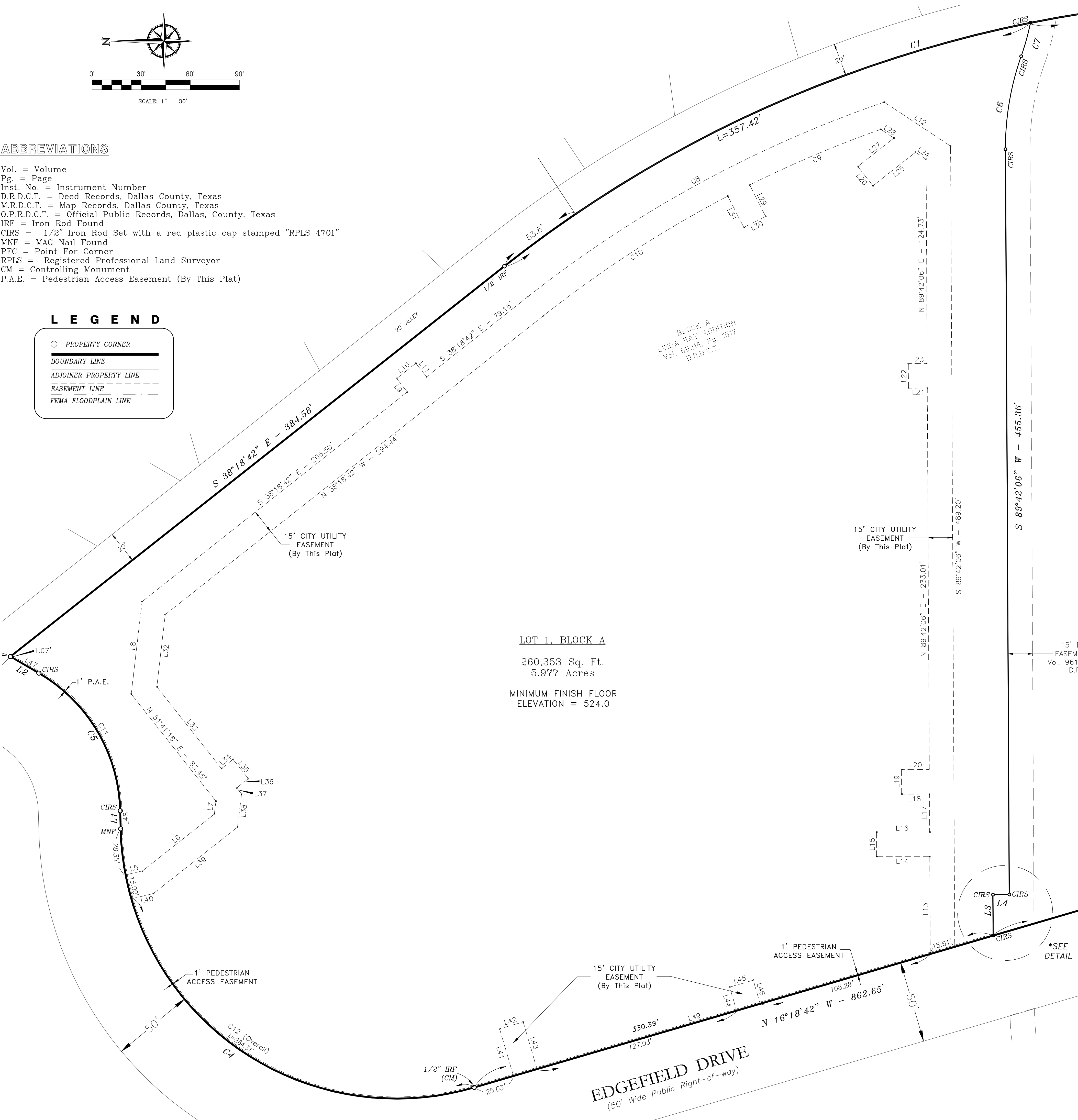


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MNF = MAG Nail Found  
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RPLS = Registered Professional Land Surveyor  
CM = Controlling Monument  
P.A.E. = Pedestrian Access Easement (By This Plat)

LEGEND

- PROPERTY CORNER
- BOUNDARY LINE
- ADJOINER PROPERTY LINE
- - - EASEMENT LINE
- - - FEMA FLOODPLAIN LINE



BOUNDARY CURVE TABLE					
CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	36°59'57"	760.00'	490.77'	S 19°48'40" E	482.29'
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C3	71°30'00"	98.28'	122.64'	N 52°03'41" W	114.84'
C4	105°00'01"	168.64'	309.05'	N 36°11'18" E	267.58'
C5	58°29'56"	100.00'	102.10'	N 59°26'17" E	97.72'
C6	19°46'12"	167.50'	57.80'	S 80°24'51" E	57.51'
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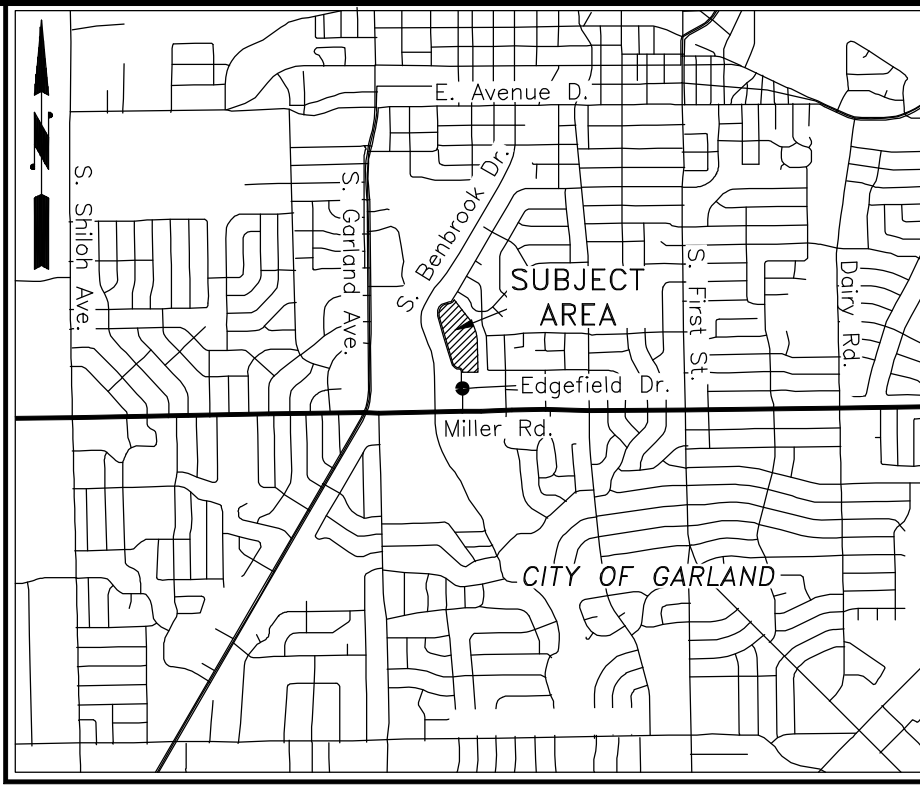
EASEMENT CURVE TABLE					
CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C11	58°29'56"	101.00'	103.12'	S 59°26'17" W	98.70'
C12	105°00'01"	167.64'	307.22'	S 36°11'18" W	266.00'

BOUNDARY LINE TABLE

LINE	BEARING	DISTANCE
L1	N 88°41'18" E	11.00'
L2	N 30°11'41" E	20.12'
L3	N 89°42'23" E	25.00'
L4	S 00°17'54" E	10.00'

EASEMENT LINE TABLE

LINE	BEARING	DISTANCE
L5	S 13°30'34" E	10.63'
L6	S 38°18'42" E	55.97'
L7	S 83°18'42" E	7.93'
L8	S 83°18'42" E	56.86'
L9	N 51°41'18" E	10.50'
L10	S 38°18'42" E	15.00'
L11	S 51°41'18" W	10.50'
L12	S 33°27'06" W	48.65'
L13	N 89°42'06" E	59.45'
L14	N 00°00'15" W	32.44'
L15	N 89°42'06" E	15.00'
L16	S 00°00'15" E	32.44'
L17	N 89°42'06" E	23.30'
L18	N 00°17'54" W	17.00'
L19	N 89°42'06" E	15.00'
L20	S 00°17'54" E	17.00'
L21	N 00°17'54" W	11.50'
L22	N 89°42'06" E	15.00'
L23	S 00°17'54" E	11.50'
L24	N 33°27'06" E	7.79'
L25	N 38°18'42" W	33.04'
L26	N 51°41'18" E	15.00'
L27	S 38°18'42" E	28.10'
L28	N 33°27'06" E	9.62'
L29	S 62°57'41" W	21.50'
L30	N 27°02'19" W	15.00'
L31	N 62°57'41" E	21.50'
L32	N 83°18'42" W	44.43'
L33	S 51°41'18" W	63.71'
L34	S 38°32'51" E	9.04'
L35	S 51°27'09" W	15.00'
L36	N 38°32'51" W	9.10'
L37	S 51°41'18" W	4.74'
L38	N 83°18'42" W	20.36'
L39	N 38°18'42" W	65.48'
L40	N 13°30'34" W	13.93'
L41	N 73°40'06" E	30.00'
L42	S 16°18'42" E	15.00'
L43	S 73°40'06" W	30.00'
L44	N 73°41'18" E	15.00'
L45	S 16°18'42" E	15.00'
L46	S 73°41'18" W	15.00'
L47	S 30°11'41" W	19.73'
L48	S 88°41'18" W	11.00'
L49	S 16°18'42" E	330.68'



VICINITY MAP  
NOT TO SCALE

AREA NOTE:

The area (acres) shown hereon is based on the mathematical closure of the courses and distances reflected on this Survey. It does not include the tolerances that may be present due to positional accuracy of the boundary monuments in place.

SUBDIVISION NOTE:

Selling a portion of this addition by metes and bounds is a violation of the City of Garland Development Code and is subject to fines and withholding of utilities and building permits.

MONUMENT NOTE:

All lot corner monuments set by this Surveyor are 1/2 inch diameter iron rebar, 18 inches long, topped with a red plastic cap, stamped "RPLS 4701" or if in concrete pavement, a mag nail with a steel washer, stamped "RPLS 4701", unless otherwise noted.

PURPOSE STATEMENT:

The purpose of the replat is to subdivide an existing block into two lots for development of the northern lot.

FINISH FLOOR ELEVATION NOTE:

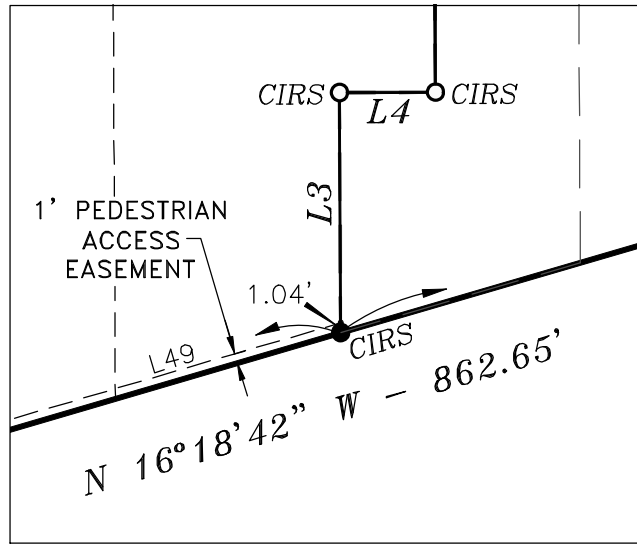
The designed minimum Finish Floor Elevation (FFE) is 524.0 feet. As per the City of Garland's requirements, the minimum FFE must be a minimum of 2' above Duck Creek base flood elevation of 522.0 per the FEMA FIS for Dallas County (07/07/2024).

REFERENCE BEARING:

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GPS-93 - N: 7,017,026.74  
E: 2,538,884.88  
Z: 559.83

GPS-29 - N: 7,016,333.74  
E: 2,538,166.60  
Z: 539.48



PEDESTRIAN ACCESS EASEMENT  
DETAIL  
Scale: 10"=20'

LOT 1 NEW EASEMENT DETAIL

OWNER:  
BRAZOS RIVER GLEN, LLC  
5170 LBJ Freeway, Suite 220  
Dallas, Texas 75240  
214-335-9406  
Contact: William Hancock, President

SURVEYOR  
RINGLEY & ASSOCIATES, INC.  
701 S. Tennessee Street  
McKinney, Texas 75069  
972-542-1266  
Contact: Lawrence H. Ringley

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Drawn by	Date	Scale	Job	Title	Sheet
Mark Shack	03/06/2024	1" = 30'	2023-055	2023-055-RP.DWG	2 of 3

REPLAT  
LINDA RAY ADDITION REPLAT  
LOTS 1 & 2, BLOCK A  
12.852 Acres

a Replat of  
BLOCK A, LINDA RAY ADDITION  
situated in the  
Abner Keen Survey, Abstract No. 735  
City of Garland, Dallas County, Texas

City Case No. 230727-1





## GARLAND

### Plan Commission

2. b.

Meeting Date: 06/10/2024

Item Title: P 24-16 Garland Shiloh Addition - Replat

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#### Summary:

P 24-16 Garland Shiloh Addition -- Replat

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#### Attachments

P 24-16 Garland Shiloh Addition - Replat Report & Attachments

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# ***Planning Report***

**File No: P 24-16 / District 7**

**Agenda Item:**

**Meeting: Plan Commission**

**Date: June 10, 2024**



**GARLAND**

TEXAS MADE HERE

## **REPLAT**

Garland Shiloh Addition Second Replat

## **LOCATION**

4680 North Shiloh Road

## **ZONING**

Planned Development (PD) District 23-44

## **NUMBER OF LOTS**

Two (2) total lots

## **ACREAGE**

1.071 acres

## **BACKGROUND**

The purpose of this Replat is to create two (2) lots of record for a restaurant drive-through.

## **STAFF RECOMMENDATION**

Approval of the Replat. All technical requirements have been addressed and the plat is in order as submitted.

## **ADDITIONAL INFORMATION**

- i. Location Map
- ii. 24 x 36 Plat

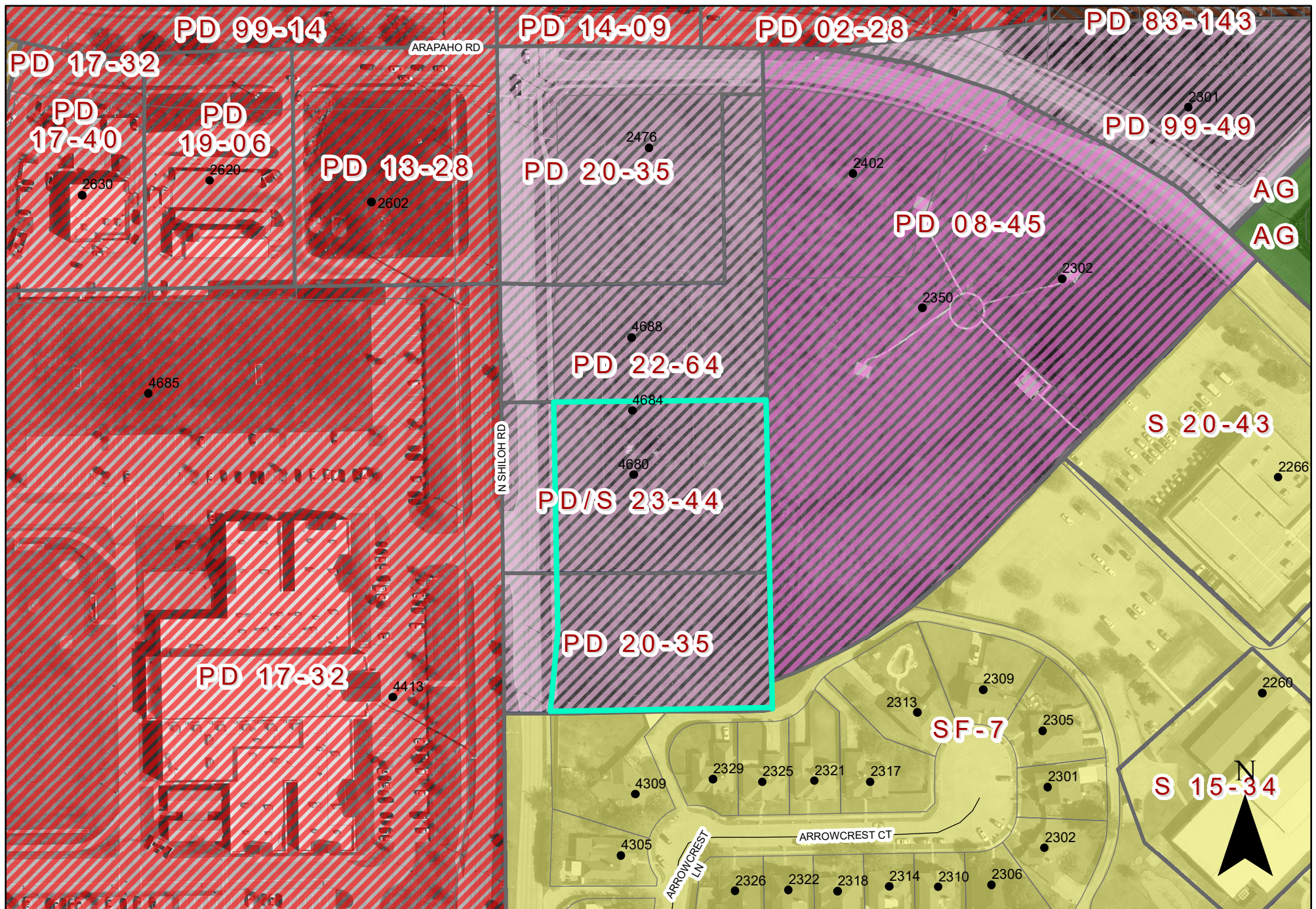
## **PREPARED BY:**

Matthew Wolverton  
Development Planner  
Planning and Development  
972-205-2454  
mwolverton@garlandtx.gov

## **REVIEWED BY:**

Angela Self, FAICP  
Interim Director of Planning



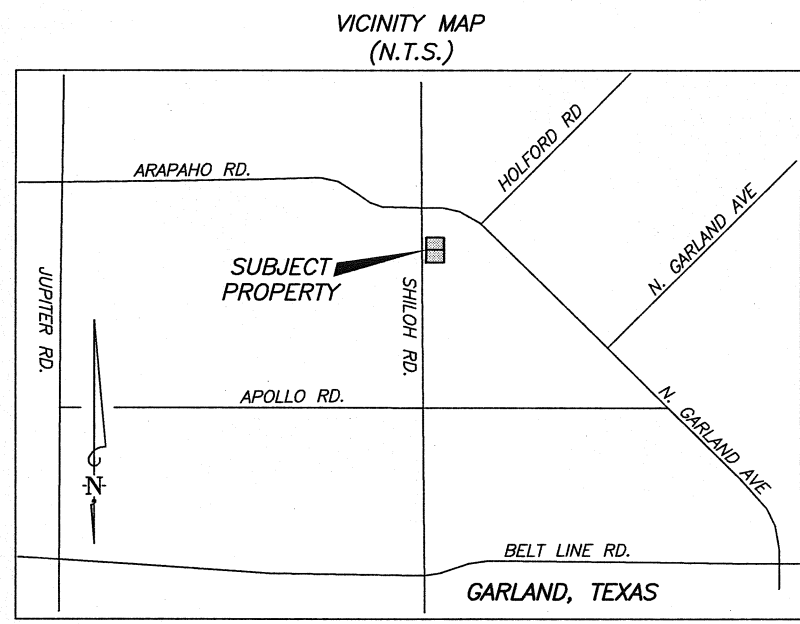


0 100 200 Feet  
1 inch = 153 feet

PLAT MAP P 24-16

INDICATES AREA  
OF REQUEST





LEGEND OF ABBREVIATIONS	
D.R.D.C.T.	DEED RECORDS DALLAS COUNTY TEXAS
O.P.R.D.C.T.	OFFICIAL PUBLIC RECORDS DALLAS COUNTY TEXAS
DOC. No.	DOCUMENT NUMBER
VOL.	VOLUME
PG.	PAGE
5"	SQUARE FEET
(106.90')	CALL/RECORD DISTANCE
CM	CONTROLLING MONUMENT
IRF	IRON ROD FOUND
IRS	IRON ROD SET W/YELLOW "SUMMIT SURVEYING" CAP

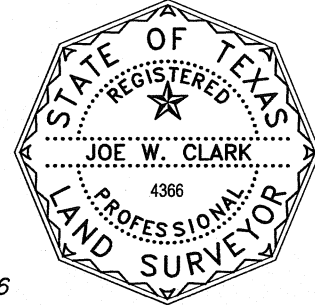
Access Easement Line Table		
Line #	Bearing	Length
L1	N89° 08' 19"E	6.50'
L2	N11° 29' 50"W	13.01'
L3	N89° 21' 20"E	30.01'
L4	S11° 29' 50"E	13.01'
L5	S89° 18' 09"W	47.28'
L6	N00° 51' 41"W	12.02'
L7	N00° 51' 41"W	25.60'

Access Easement Curve Table					
Curve #	Delta	Length	Radius	Chord Bearing	Chord Dist.
C1	090° 00' 00"	47.12	30.00	N44° 08' 19"E	42.43
C2	010° 38' 09"	3.71	20.00	N06° 10' 45"W	3.71
C3	009° 55' 34"	10.85	62.64	N06° 32' 03"W	10.84
C4	009° 04' 28"	5.17	32.64	S06° 57' 36"E	5.16
C5	010° 38' 08"	9.28	50.00	S06° 10' 45"E	9.27
C6	044° 26' 33"	21.29	27.45	S67° 04' 53"W	20.76

#### Surveyor's Statement

STATE OF TEXAS §  
COUNTY OF SMITH §  
I, Joe W. Clark, a Registered Professional Land Surveyor, licensed by the State of Texas, affirm that this plat was prepared under my direct supervision from recording documentation, evidence collected on the ground during field operations and other reliable documentation; and that this plat substantially complies with the Rules and Regulations of the Texas Board of Professional Engineers and Land Surveying, Texas Local Government Code, Chapter 212, and the City of Garland Development Code. I further affirm that monumentation shown herein and is in substantial compliance with the City of Garland Development Code and that the digital drawing file accompanying this plat is a precise representation of this Signed and Final Plat.

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT UNLESS SIGNED AND SEALED BY THE SURVEYOR.



Joe W. Clark R.P.L.S.  
Texas Registered Professional Land Surveyor No. 4386

STATE OF TEXAS §  
COUNTY OF SMITH §  
BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this personally appeared, Joe W. Clark, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024

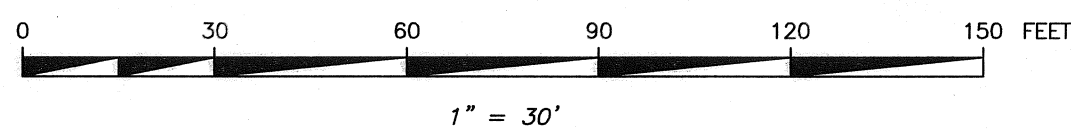
Notary Public in and for the State of Texas

#### SURVEYOR'S NOTES:

- Bearings and coordinates are based on Texas Coordinate System of 1983, Texas North Central Zone 4202 North American Datum of 1983 {NAD 83} (U.S. Foot) and tied to the following City of Garland geodetic monuments:  
GPS 115      GPS 156  
Grid N=7037705.4730      Grid N=7036874.3680  
Grid E=2536749.4520      Grid E=2531159.7040
- This property lies within Zone "X" of the Flood Insurance Rate Map for Dallas County, Texas and Incorporated Areas, map no. 48113C0210L, dated July 07, 2014, as scaled map location and graphic plotting.
- Selling a portion of this addition by metes and bounds is a violation of the City of Garland development code and withholding of utilities and building permits.
- The purpose of this replat is to take one existing lot and turn it into two recorded lots.
- Property owners of corner lots shall maintain sight visibility triangles in accordance with chapter eight of the technical standards manual of the City of Garland, Texas.

Bearings are based on the Texas State Plane Coordinate System, NAD83 Grid Texas North Central Zone (SPC TX4202) Units are in U.S. Survey Feet.

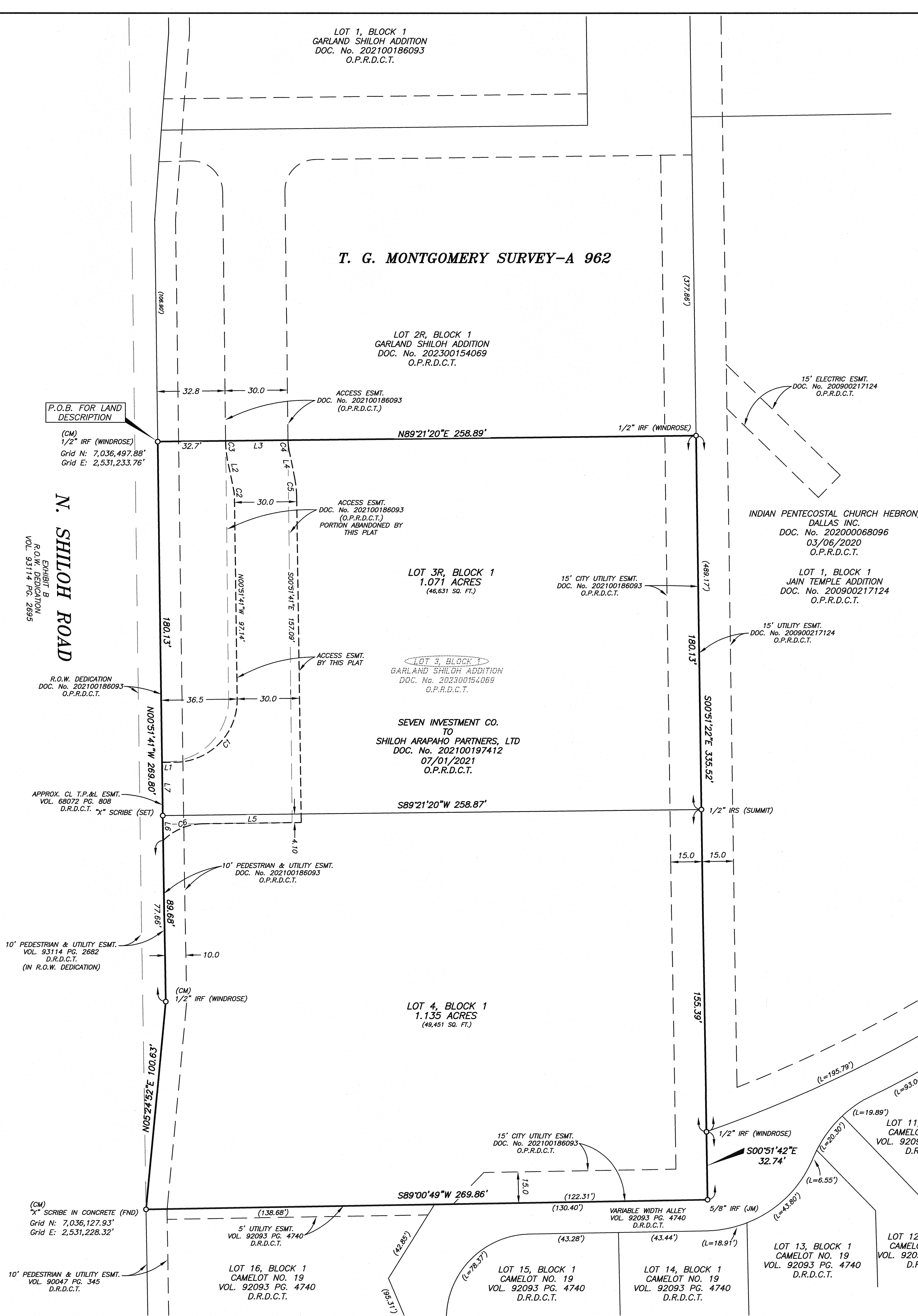
#### GRAPHIC SCALE



LOT 1, BLOCK 1  
GARLAND SHILOH ADDITION  
DOC. No. 202300154069  
O.P.R.D.C.T.

(269.88')

(173.43')



OWNER:  
SHILOH ARAPAHO PARTNERS, LTD  
OLD PARKLAND, FREEDOM PLACE  
4143 MAPLE AVE, SUITE 325  
DALLAS, TEXAS 75219

ENGINEER:  
LANGAN  
2999 OLYMPUS BLVD. SUITE 165  
DALLAS, TEXAS 75019  
CONTACT: HEATHER MACOMBER  
PHONE: 817-328-3200

Summit Surveying, Inc.  
Land Boundary • Topography • GPS • Geodetic  
2040 Deerbrook Drive, Tyler, Texas 75703 • (903)-561-9544  
TBPLS Firm No. 10081000  
JN: 23-060

#### OWNER'S CERTIFICATION

STATE OF TEXAS §  
COUNTY OF DALLAS §

WHEREAS Shiloh Arapaho Partners, LTD, a Texas limited partnership is the owner of all that certain lot, tract or parcel of land located in T. G. Montgomery Survey, Abstract No. 962, City of Garland, Dallas County, Texas, and being all of Lot 3, Block 1, of the Garland Shiloh Addition, an addition to the City of Garland as shown by plat, recorded in Document No. 202300154069 in the Official Public Records of Dallas County, Texas, same being a part of that land as described by deed from Seven Investments Company to Shiloh Arapaho Partners, Ltd, recorded in Document No. 202100197412 in said Official Public Records of Dallas County, Texas and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod with pink plastic cap stamped "WINDROSE" (found) for the northwest corner of the above referenced Lot 3, same being the southwest corner of Lot 2R, Block 1 of said Addition;

THENCE North 89 deg. 21 min. 20 sec. East with the north line of said Lot 3 and the south line of said Lot 2R, a distance of 258.89 feet to a 1/2 inch iron rod with pink plastic cap stamped "WINDROSE" (found) for the northeast corner of said Lot 3 and the southeast corner of said Lot 2R, same being in the west line of Lot 1, Block 1 of the Jain Temple Addition as shown by plat, recorded in Document No. 200900217124 in said Official Public Records;

THENCE South 00 deg. 51 min. 22 sec. East with the east line of said Lot 3 and the west line of said Lot 1, a distance of 335.52 feet to a 1/2 inch iron rod with pink plastic cap stamped "WINDROSE" (found) for the south corner of said Lot 1, same being in a west right of way line of a variable width alley as shown on the plat of Camelot No. 19, an addition to the City of Garland, recorded in Volume 92093, Page 4740 in the Deed Records of Dallas County, Texas;

THENCE South 00 deg. 51 min. 42 sec. East continuing with the east line of said Lot 3 and the west line of said alley, a distance of 32.74 feet to a 5/8 inch iron rod with yellow plastic cap stamped "JM" (found) for the southeast corner of said Lot 3;

THENCE South 89 deg. 00 min. 49 sec. West with the south line of said Lot 3 and a north line of said alley and the north line of Lot 16 of said Camelot No. 19, a distance of 269.86 feet to an "X" scribed in concrete (found) for southwest corner of said Lot 3 and the northwest corner of said Lot 16, same being in the east right of way line of said Shiloh Road;

THENCE North 05 deg. 24 min. 52 sec. East with the west line of said Lot 3 and with said right of way line, a distance of 100.63 feet to a 1/2 inch iron rod with pink plastic cap stamped "WINDROSE" (found) for corner in same;

THENCE North 00 deg. 51 min. 41 sec. West continuing with the west line of said Lot 3 and said right of way line, a distance of 269.80 feet to the PLACE OF BEGINNING, containing 2.206 acres (96,083 sq. ft.) of land.

#### OWNER'S DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS

That Shiloh Arapaho Partners, LTD, a Texas limited partnership, the owner of the property described in this plat, acting by and through its duly authorized agent, does hereby adopt this plat, designating the property as **GARLAND SHILOH ADDITION, SECOND REPLAT**, an addition to the City of Garland, Dallas County, Texas and do hereby dedicate in fee simple and to the public use forever, any streets and alleys shown thereon and do further dedicate to the public use forever the easements shown thereon for the purposes indicated. All easements dedicated by this plat shall be open to, without limitation, all public and private utilities using or desiring to use the same for the purposes dedicated. No building, fence, tree, shrub or other structure, improvement or growth shall be constructed, reconstructed, or placed upon, over or across and easement dedicated by this plat in such a manner as to restrict the use or scope of, or interfere with the purpose and intent of the easement. Any public or private utility shall have: (1) the right to remove and keep removed all or any part of any building, fence, tree, shrub or other structure, improvement or growth which in any way may endanger or interfere with the construction, reconstruction, maintenance, operation or efficiency of such utility and (2) the right to ingress and egress to or from and upon such easement for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to, enlarging, or removing all or parts of its operation without the necessity of any time of procuring the permission of anyone. The maintenance of paving on utility easements and fire lanes is the responsibility of the property owner. Any and all maintenance of screening walls, screen wall easements, retaining walls and wall maintenance easements is the responsibility of the property owner, their successors, or assigns.

All utility easements dedicated by this plat shall also include an additional area of working space for construction, reconstruction, additions, enlargements, and maintenance including such additional area necessary for installation and maintenance of manholes, cleanouts, fire hydrants, water services and wastewater services from the main to the curb or pavement line.

The undersigned does covenant and agree that the access easement(s) dedicated on this plat may be utilized by any person, including the general public, for ingress and egress to other real property, for both vehicular and pedestrian use and access, in, along, upon and across the premises containing the access easement(s). This plat approved subject to all applicable ordinances, rules, regulations, and resolutions of the City of Garland, Texas.

This plat approved subject to all applicable ordinances, rules, regulations and resolutions of the City of Garland, Texas.

WITNESS our hand at Garland, Texas, this \_\_\_\_\_ day of \_\_\_\_\_, 2024

SHILOH ARAPAHO PARTNERS, LTD, A Texas limited partnership

By: \_\_\_\_\_  
Authorized Representative-Signature

Printed Name

Title / Date

STATE OF TEXAS §  
COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared \_\_\_\_\_ known to me to be the person whose name is subscribed to the foregoing instrument and acknowledge to me that he/she executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

Notary Public in and for the State of Texas

SPACE RESERVED FOR COUNTY RECORDING LABEL

#### CERTIFICATE OF APPROVAL

APPROVED AND ACCEPTED FOR THE CITY OF GARLAND THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024 BY THE CITY PLAN COMMISSION OF THE CITY OF GARLAND.

DIRECTOR OF PLANNING

CHAIRMAN OF PLANNING COMMISSION

THE APPROVAL OF THIS PLAT CONTINGENT UPON THE PLAT BEING FILED WITH THE COUNTY OF DALLAS COUNTY WITHIN 180 DAYS FROM THE ABOVE DATE.

## REPLAT GARLAND SHILOH ADDITION SECOND REPLAT LOTS 3R AND 4, BLOCK 1

BEING A RELAT OF LOT 3, BLOCK 1 OF GARLAND SHILOH ADDITION, AN ADDITION TO THE CITY OF GARLAND, AS RECORDED -N DOCUMENT NO.

202300154069, O.P.R.D.C.T.

T. G. MONTGOMERY SURVEY A-962

CITY OF GARLAND

DALLAS COUNTY, TEXAS

CITY CASE No. 230620-1

REV	2024	TECH	CHECKED BY	DATE
ISSUE FOR REVIEW		JWC	MLN	01/19/24
ADDRESS CITY COMMENTS		JWC	MLN	05/07/24



## GARLAND

### Plan Commission

3. a.

Meeting Date: 06/10/2024

Item Title: Z 22-28 IBC Constructions, LLC

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#### Summary:

Consideration of the application of **IBC Constructions, LLC**, requesting approval of 1) a Specific Use Provision for a Fuel Pumps, Retail Use and 2) a Plan for a Fuel Pumps, Retail Use, Convenience Store, Laundry, Self-Serve (Laundromat) and Retail Store Uses on a property zoned Community Retail (CR) District. This property is located at 1270 Pleasant Valley Road. (District 1) (File Z 22-28)

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#### Attachments

Z 22-28 IBC Constructions, LLC Report & Attachments

Z 22-28 IBC Constructions, LLC Responses

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# ***Planning Report***

**File No: Z 22-28/District 1**

**Agenda Item:**

**Meeting: Plan Commission**

**Date: June 10, 2024**



**GARLAND**

TEXAS MADE HERE

## **REQUESTS**

Approval of 1) a Specific Use Provision for a Fuel Pumps, Retail Use and 2) a Plan for a Fuel Pumps, Retail Use, Convenience Store, Laundry, Self-Serve (Laundromat) and Retail Store Uses on a property zoned Community Retail (CR) District.

## **LOCATION**

1270 Pleasant Valley Road

## **APPLICANT**

IBC Constructions, LLC.

## **OWNER**

Pleasant Valley Properties, LLC.

## **BACKGROUND**

The subject property is currently undeveloped. The applicant proposes to construct Fuel Pumps, Retail Store (Building B) and a Convenience Store and Laundromat (Building A).

The GDC requires a Specific Use Provision for a Fuel Pumps, Retail Use in the Community Retail (CR) District.

## **SITE DATA**

The subject property consists of approximately 3.34 acres. The site has approximately 416 linear feet of frontage along Pleasant Valley Road and 342 lineal feet of frontage along North Country Club Road. The site can be accessed from North Country Club Road and Pleasant Valley Road.

## **USE OF PROPERTY UNDER CURRENT ZONING**

The subject property is zoned Community Retail (CR) District. The Community Retail (CR) district is intended to accommodate a variety of retail, service, and business establishments that may or may not be designed in a shopping center configuration. The district may be used as a transition district between lower intensity retail or office uses and more intense uses. A CR district is generally appropriate along major transportation corridors but is generally not appropriate in proximity to low-density residential districts without significant buffering and screening features. An example of an allowed use in a CR district is a retail shopping area that may be large in scale with very limited or no outside storage. Traffic generated by uses in a CR district must be focused onto the major thoroughfare network. Development in a CR district may not be designed in a manner that increases traffic through residential areas.

## **CONSIDERATIONS**

### **1. Site Plan**

The site plan (Exhibit C) reflects two (2) proposed buildings and a fuel canopy with twelve (12) fueling positions.



Building A will be 10,000 square feet only for retail use and Building B will be 9,982 square feet and will consist of a convenience store and laundromat.

The Fuel Pumps, Retail Use requires a Specific Use Provision in the Community Retail (CR) District. The Laundromat, Retail Store and Convenience Store are permitted uses in the Community Retail (CR) District.

2. Parking

This development requires a total of seventy (70) parking spaces. The site plan (Exhibit C) reflects seventy-five (75) spaces.

3. Screening and Landscaping

The GDC requires perimeter screening when a non-residential development is adjacent to a residential development. The properties to the southeast are single-family homes. The applicant proposes a six (6)-foot masonry wall with large canopy trees along the residential properties. Although not required, the applicant proposes a six (6)-foot ornamental fence along with large canopy trees and shrubs along the northeastern property line.

The site meets the applicable screening and landscaping standards per the GDC.

4. Building Design:

The proposed building elevations meets the building design standards per the GDC.

5. Specific Use Provision

The applicant requests a Specific Use Provision time period of fifteen (15) years for the Fuel Pumps, Retail Use.

**COMPREHENSIVE PLAN**

The Envision Garland Plan designates the subject property as Compact Neighborhoods. Compact neighborhoods provide areas for moderate increases in residential density, including single-family attached and single-family detached housing. It expands housing options through infill and redevelopment, while continuing walkable development patterns.

The proposed use is a supportive use to the residential properties.

**ECONOMIC DEVELOPMENT STRATEGIC PLAN**

The proposed use is considered to be "Retail Strip" per the Economic Development Strategic Plan; this category represents a property tax revenue per acre at \$8,439. In addition, the proposal brings new employment and sales tax to Garland.

**COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES**

The properties to the north, across Pleasant Valley Road, are zoned Single-Family-7 (SF-7) District. The property directly to the northeast is zoned Community Retail (CR) District; it is developed with retail uses. The properties to the southeast are zoned Single-Family-7 (SF-7) District; it is developed with single-family homes. The properties to the southwest, across North Country Club Road, are zoned Community Retail (CR) District; it is developed with a gas station, convenience store and church.

**STAFF RECOMMENDATION**

Approval of 1) a Specific Use Provision for a Fuel Pumps, Retail Use and 2) a Plan for a Fuel Pumps, Retail Use, Convenience Store, Laundry, Self-Serve (Laundromat) and Retail Store Uses on a property zoned Community Retail (CR) District.

**ADDITIONAL INFORMATION**

Location Map  
Exhibits  
SUP Conditions  
Photos

**CITY COUNCIL DATE:** July 2, 2024

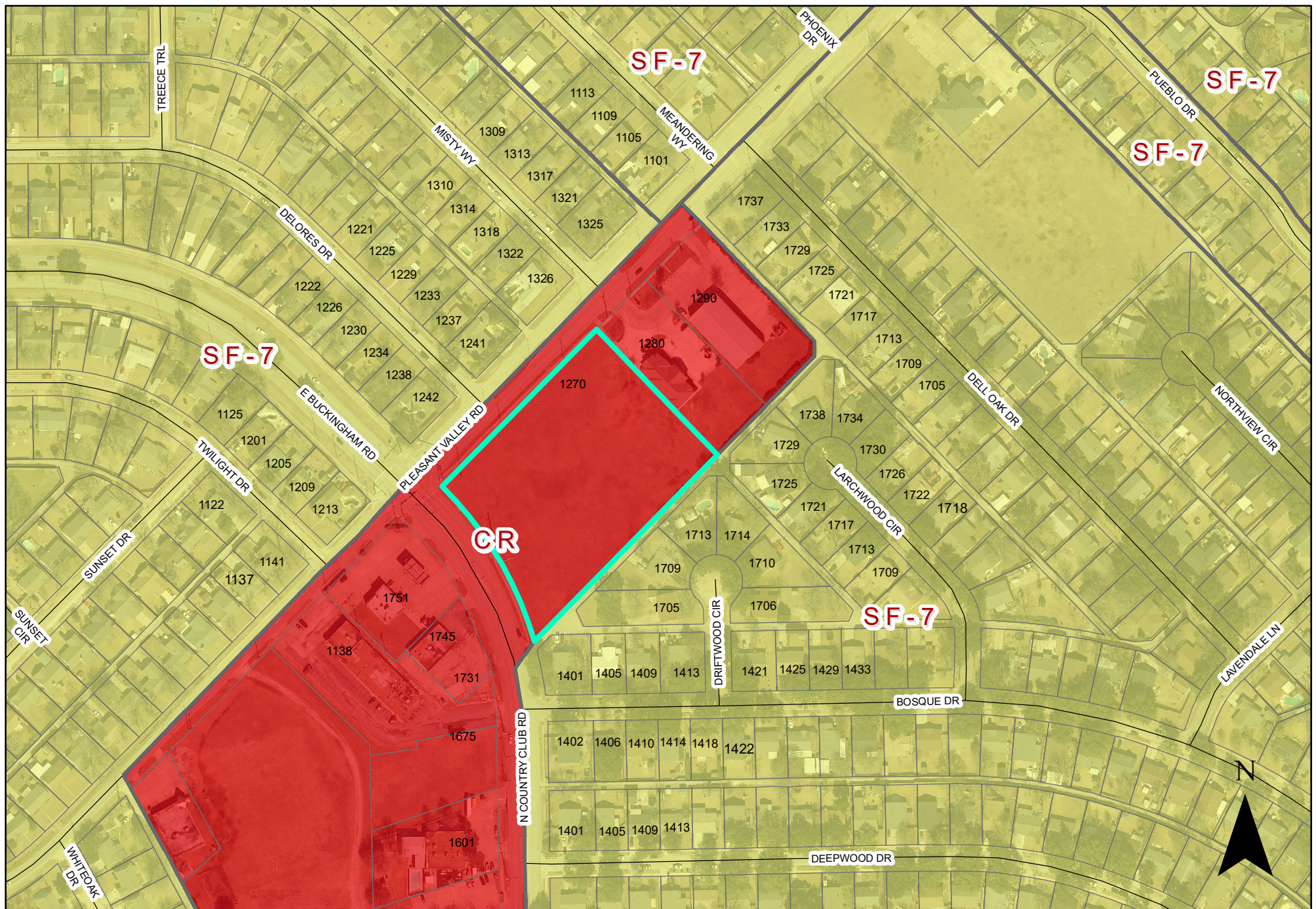
**PREPARED BY:**

Nabiha Ahmed  
Lead Development Planner  
Planning & Development  
(972) 205-2453  
[nahmed@garlandtx.gov](mailto:nahmed@garlandtx.gov)

**REVIEWED BY:**

Angela Self, FAICP  
Interim Director of Planning





0 150 300 Feet  
1 inch = 238 feet

## ZONING MAP Z 22-28

 INDICATES AREA OF REQUEST

1270 Pleasant Valley Road



## **SPECIFIC USE PROVISION CONDITIONS**

### **ZONING FILE Z 22-28**

#### **1270 Pleasant Valley Road**

- I. Statement of Purpose:** The purpose of this Specific Use Provision is to allow the Fuel Pumps, Retail Use.
- II. Statement of Effect:** This Specific Use Provision shall not affect any regulation found in the Garland Development Code, Ordinance No. 6773, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. Abandonment:** In the event the land use for which this Specific Use Provision was granted ("Land Use") is abandoned, the SUP and all rights to the Land Use are automatically terminated, and the premises must be used in conformance with the PD, GDC, federal, and state law.

For the purposes of this Specific Use Provision, Abandonment is any of the following acts:

- A. A failure to apply for a site or building permit on the premises, where applicable, within 180 days of the effective date of this SUP;
- B. A failure to obtain a certificate of occupancy for the Land use within 730 days of the effective date of this SUP;
- C. A failure to commence operating the Land Use on the premises within 90 days of receiving a final certificate of occupancy for the Land Use;
- D. Discontinuance of the Land Use for a period of 180 days;
- E. Applying for, and receiving, a new Certificate of Occupancy for a use other than the Land Use; or
- F. Operating a use on the premises, whether as a primary or secondary use, that is not allowed within the PD District, by the GDC, or by state or federal law.

The termination of utilities on the premises for a period of 180 calendar days is prima facie evidence of abandonment and the owner shall have the burden to prove that the Land Use has not been abandoned.

## **EXHIBIT B**

**IV. General Regulations:** All regulations of the Industrial (IN) District as set forth in Chapter 2 of the Garland Development Code, Ordinance 6773, are included by reference and shall apply, except as otherwise specified by this ordinance.

**V. Specific Use Provision:**

A. SUP Time Period: The Specific Use Provision time period for the Fuel Pumps, Retail Use shall be for fifteen (15) years.

B. Site Plan: The site layout, building placement, parking shall be in general conformance with the approved Site Plan labeled Exhibit C.

C. Landscape Plan: Landscaping and Screening shall be in conformance with Exhibit D.

E. Elevations: Building Elevations shall be in general conformance with the elevations labeled Exhibit E.

F. Signage: All signage shall comply with the standards in the Garland Development Code.



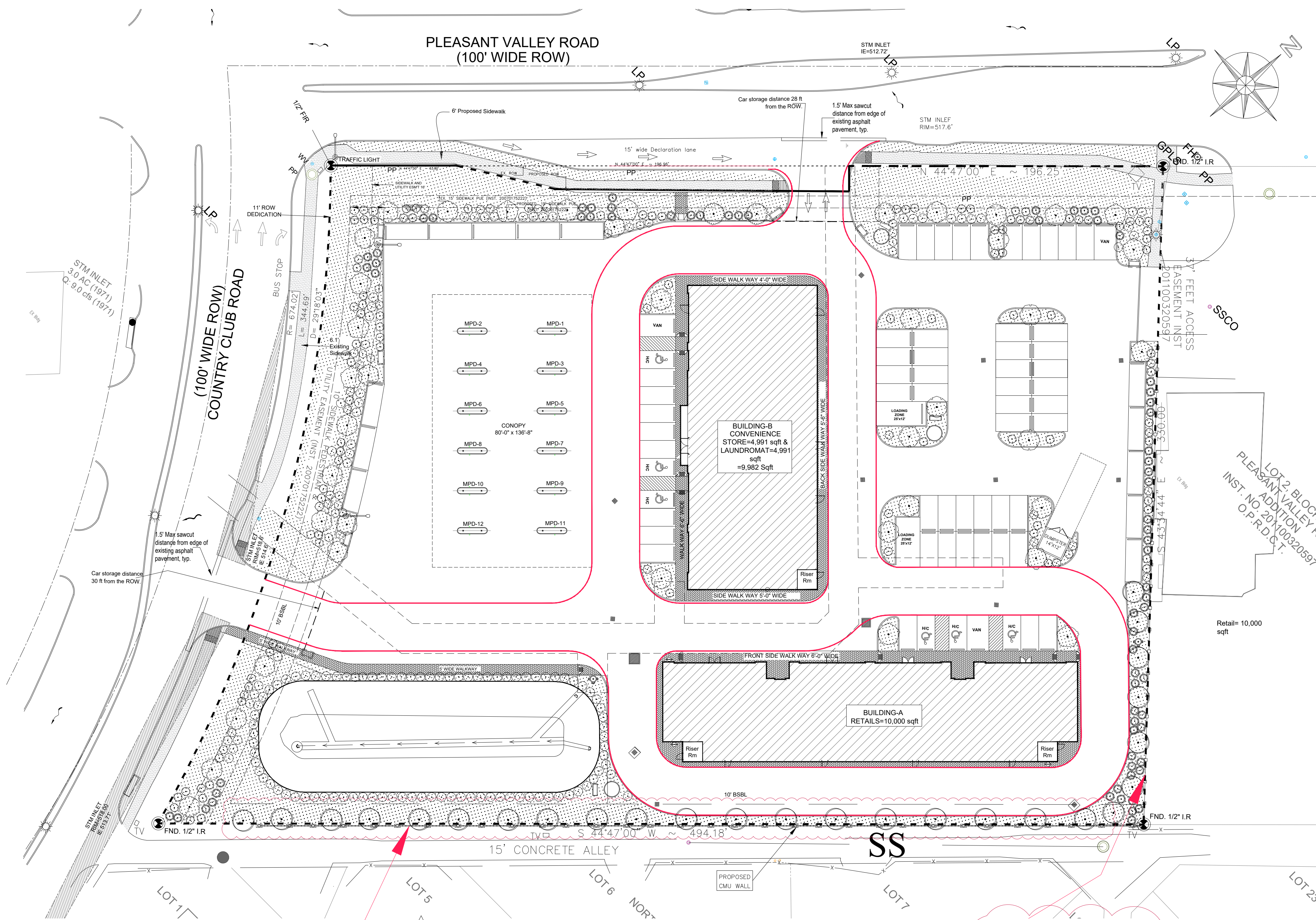
The site plan illustrates the layout of Block R, Northlake Estates No. 9, which is zoned SF-7. The development is bounded by Pleasant Valley Road (100' wide ROW) to the north, Country Club Road (100' wide ROW) to the west, and a 15' concrete alley to the south. The plan includes two main buildings: Building A, a retail space of 10,000 sqft, and Building B, a convenience store and laundromat of 9,982 sqft. A parking area with 12 spaces (MPD-1 to MPD-12) is located between the buildings. A detention pond with a water quality treatment device and a flume is situated to the west of Building A. The plan also shows a bus stop, a traffic light, and various easements including a utility easement and a 37-foot access easement. Surrounding lots are labeled LOT 1, LOT 5, LOT 6, LOT 7, LOT 8, LOT 22, and LOT 23. A north arrow and a scale bar (1 inch = 30 feet) are provided for reference.

**1 SITE PLAN**  
SCALE: 1"=30'

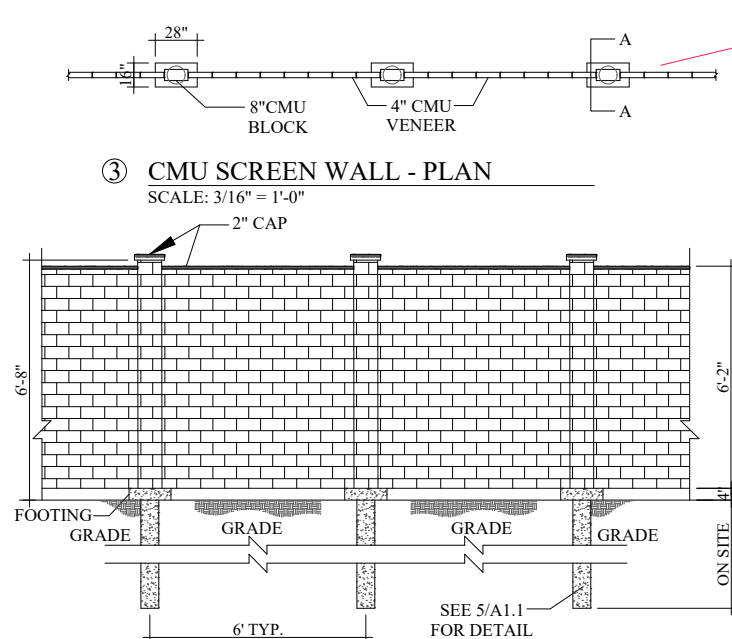
CASE NO.  
210622-2



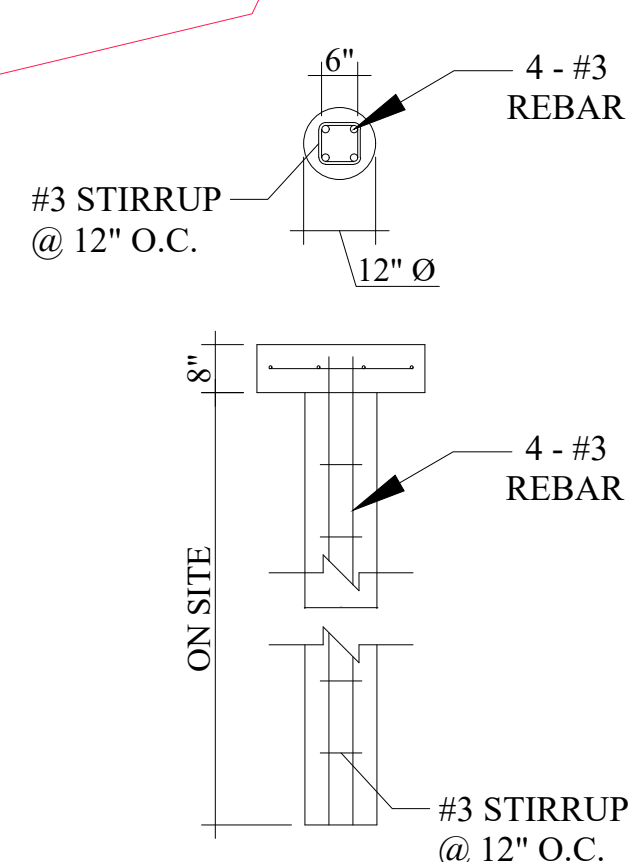
# EXHIBIT D



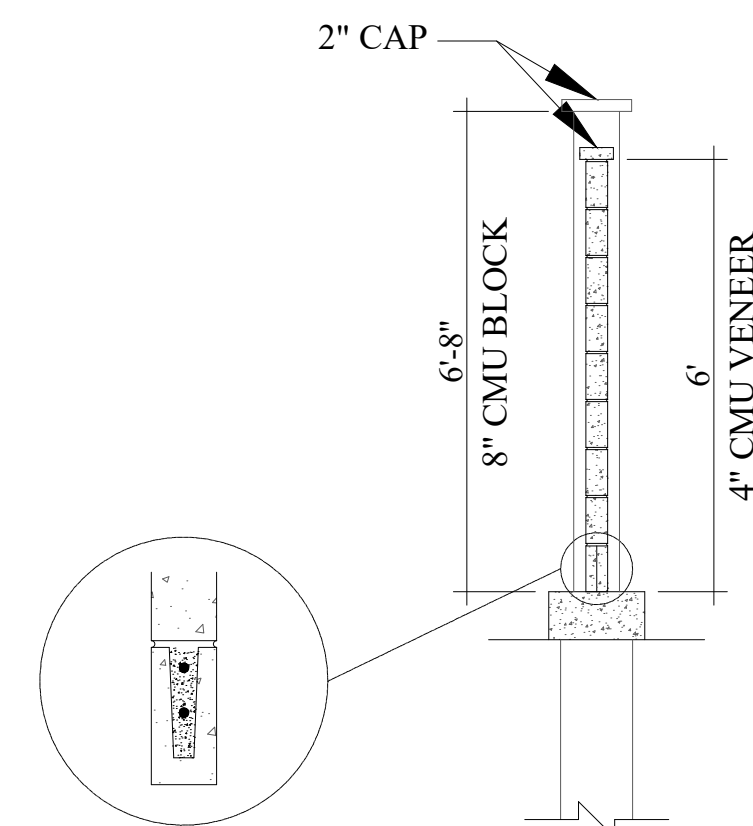
① LANDSCAPE PLAN  
SCALE: 1"=30'



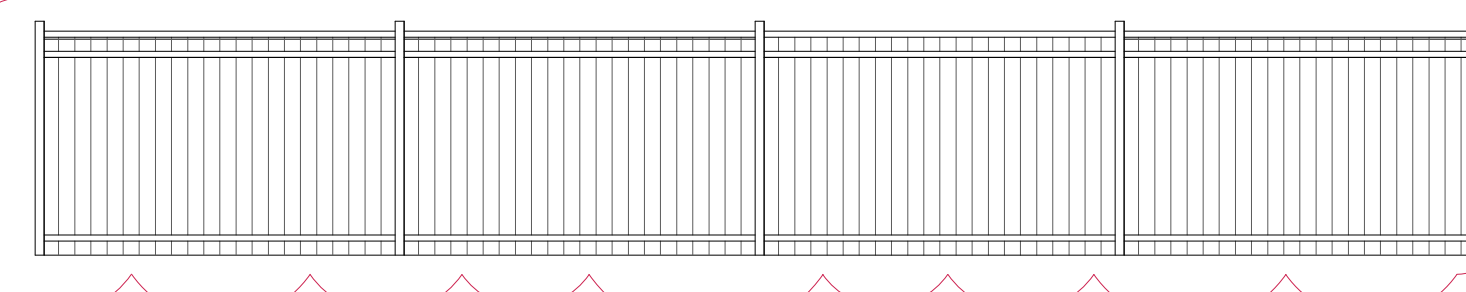
② CMU SCREEN WALL - ELEVATION  
SCALE: 3/16" = 1'-0"












⑤ PIER DETAIL  
SCALE: 3/8" = 1'-0"



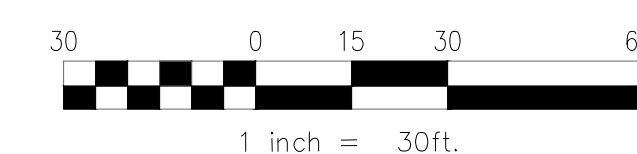
④ SECTION A-A  
SCALE: 3/8" = 1'-0"



② **WROUGHT IRON FENCE ELEVATION**  
SCALE: 3/16" = 1'-0"

PLANT SCHEDULE								
TREES	CODE	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING	REMARKS
	PIS CHI	15	<i>Pistacia chinensis</i>	Chinese Pistache	4" Cal.	10' Min.	30' O.C. Minimum	Single Straight Trunk
	QUE SHU	35	<i>Quercus shumardi</i>	Shumard Oak	4" Cal.	12' Height Min	30' O.C. Minimum	Single Straight Trunk
	QUE VIR	17	<i>Quercus virginiana</i>	Southern Live Oak	4" Cal.	12' Height Min	As Shown	Single Straight Trunk
	ULM CRA	2	<i>Ulmus crassifolia</i>	Cedar Elm	4" Cal.	12' Height Min	As Shown	Single Straight Trunk
SHRUBS	CODE	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING	REMARKS
	ILE BUR	44	<i>Ilex cornuta</i> 'Burfordi Nana'	Dwarf Burford Holly	5 gal.	24" min.	36" O.C.	
	ILE NAN	142	<i>Ilex vomitoria</i> 'Nana'	Dwarf Yaupon Holly	5 gal.	18"-24"	36" O.C.	
	JUN BR2	60	<i>Juniperus virginiana</i> 'Brode'	Brodie Eastern Redcedar	15 gal.	8' Min Ht	60" O.C.	
	MUH CAP	53	<i>Muhlenbergia capillaris</i>	Pink Muhly Grass	5 gal.		36" O.C.	
	NAN LBO	13	<i>Nandina domestica</i>	Heavenly Bamboo	7 gal.	36" Min	36" O.C.	

CITY OF GARLAND LANDSCAPE REQUIREMENTS			
LANDSCAPE AREA	10% OF SITE SHALL BE LANDSCAPE		
	REQUIRED	PROVIDED	
	145319.34 X 10% =14531.9 SF	9057.67 SF DETENTION POUND 5735.00 SF PERMEABLE DECORATIVE PAVN 27663.28 SF LANDSCAPE AREA TOTAL= 42455.95 (29.21 %)	
LANDSCAPE BUFFER	20' LANDSCAPE STREET BUFFER		
	REQUIRED	PROVIDED	
	20'	31'	
STREET TREES AND SHRUB REQUIRED IN SETBACKS	FOR EVERY 30 LF PROVIDE 1 TREE AND 7 SHRUBS		
	REQUIRED (50% MIN. EVERGREEN)	PROVIDED (50% MIN. EVERGREEN)	
	100'/30 X 7 =3 TREE, 21 SHRUBS	3 TREES 21 SHRUBS	
PARKING LOT LANDSCAPE	5% OF PARKING LOT SHALL BE LANDSCAPE		
	REQUIRED	PROVIDED	
	1383.16 SF	2575.95 SF	
	1 ISLAND W/ TREE AT TERMINUS OF EACH ROW		
	REQUIRED	PROVIDED	
	11	15	
INTERIOR PARKING LANDSCAPE	1 TREE PER 10 PARKING SPACES		
	REQUIRED	PROVIDED	
	NA	NA	
SCREEN BETWEEN DISTRICTS	SCREENING ZONING DISTRICTS (AS PER PLAN)		
	REQUIRED	PROVIDED	
	NORTHEAST	FENCING (6' MIN. HT)	WROUGHT FENCING (6' MIN. HT)
	NORTHEAST AND SOUTHWEST	FENCING (6' MIN. HT)	MASONRY WALL FENCING (6' MIN. HT)



CASE NO.  
210622-2

ISSUE RECORD:		
DATE:	ISSUED FOR:	COMMENTS:
APRIL-28-2022	SUBMIT	DO-1
NOV.-30-2022	RE-SUBMIT	DO-2
JAN.-10-2023	RE-SUBMIT	DO-3
FEB.-02-2023	RE-SUBMIT	DO-4
FEB.-03-2023	RE-SUBMIT	

ADDRESS: 555 Republic Dr Suite 312A, Plano,  
TX 75074, USA..  
Phone: 469-662-5248  
Email: [info@ibc-constructions.com](mailto:info@ibc-constructions.com)



**JR Shopping Center**  
1270 Pleasant Valley  
Garland, tx

SHEET CONTENTS:

LANDSCAPE  
PLAN

DATE: April-16-2024

## C-9.0



MATERIAL LEGEND:			
4.1	APR. ROUGH STONE	4.7	ALUMINUM FLASHING COLOR: PAINT TO MATCH 4.1
4.2	3" CAST STONE WATERTABLE, COLOR: ORIGINAL	4.8	7/8" THREE COAT STUCCO AS PER ARCH. APPROVED COLOUR
4.3	DECORATIVE STONE VENEER	5.1	PAINTED GALV. STEEL ROOF ACCESS LADDER. PER STEEL CONTRACTOR.
4.4	7/8" THREE COAT STUCCO AS PER ARCH. APPROVED COLOUR	7.1	PARAPET ALUMINUM METAL COPING COLOR: GREY PAINT
4.5	ARCHITECTURAL STONE VENEER	7.2	LIGHT GAUGE AWNING FRAME PRIME & PAINT TYPE-2
4.6	7/8" THREE COAT STUCCO WITH GROOVING AS PER ARCH. APPROVED COLOUR	7.3	PREFINISHED MTL SCUPPER & DOWNSPOUT, COLOR: MATCH 7.2.
		8.1	SW1: PREFINISHED ALUMINUM STOREFRONT SYSTEM: U.S. ALUMINUM 451 OR APPROVED EQUAL, COLOR: MATCH 7.2
		8.2	SW2: PREFINISHED ALUMINUM STOREFRONT SYSTEM: U.S. ALUMINUM 451 OR APPROVED EQUAL, COLOR: MATCH 7.2
		8.3	SW3: PREFINISHED ALUMINUM STOREFRONT SYSTEM: U.S. ALUMINUM 451 OR APPROVED EQUAL, COLOR: MATCH 7.2
		8.4	SW4: PREFINISHED ALUMINUM STOREFRONT SYSTEM: U.S. ALUMINUM 451 OR APPROVED EQUAL, COLOR: MATCH 7.2
		8.5	SWS: PREFINISHED ALUMINUM STOREFRONT SYSTEM: U.S. ALUMINUM 451 OR APPROVED EQUAL, COLOR: MATCH 7.2
		8.6	INSULATED HOLLOW MTL DOOR COLOR: TO MATCH 8.1.
		16.1	DECORATIVE EXTERIOR LIGHT FIXTURE, COLOR: MATCH 7.2 NOTE: ALL NUMBERS (#1234) REFER TO A SHERWIN-WILLIAMS PRODUCT NUMBER.

EXTERIOR CAVITY WALL NOTES:

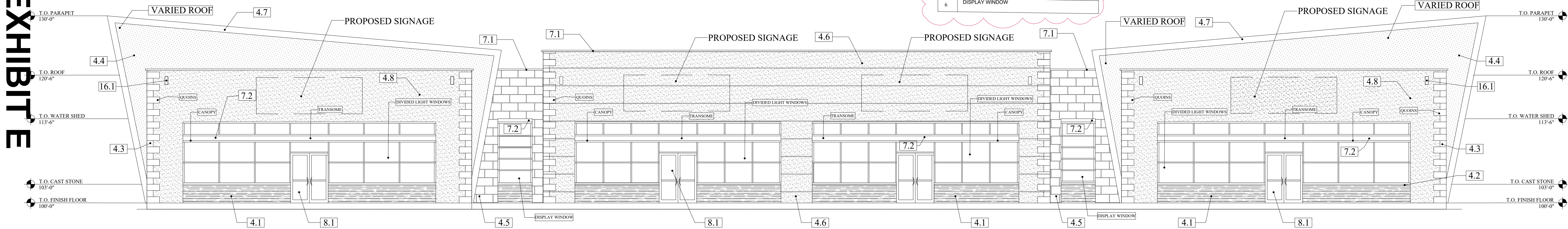
1. ALL EXTERIOR STUDS TO BE HOT DEEP GALVANIZED 16 GAGE METAL STUDS AT 16" O.C. (ASTM A525).
2. ALL EXTERIOR STUD SCREWS AND FASTENERS TO BE STAINLESS STEEL WITH NEOPRENE WASHERS.
3. ALL METAL FLASHING ABOVE WINDOWS AND WHERE INDICATED TO BE STAINLESS STEEL.
4. ALL EXTERIOR SHEATHING USED IN CAVITY WALLS TO BE GYPSUM SHEATHING W/ FIBERGLASS FACING (ex: DENS-GLASS SHEATHING).
5. VERTICAL BRICK MOVEMENT JOINTS TO BE 20" O.C. MAX, UNLESS NOTED OTHERWISE, AND SHALL NOT CROSS LINTELS OR BRICK SHELF ANGLES.
6. VAPOR BARRIER USED OVER SHEATHING TO BE WRAPPED ABOVE FLASHING AT THE BASE AND ABOVE WINDOW LOCATIONS.
7. APPLY MASONRY SEALER OVER EXTERIOR STONE VENEERS.

ARCHITECTURAL ELEMENTS

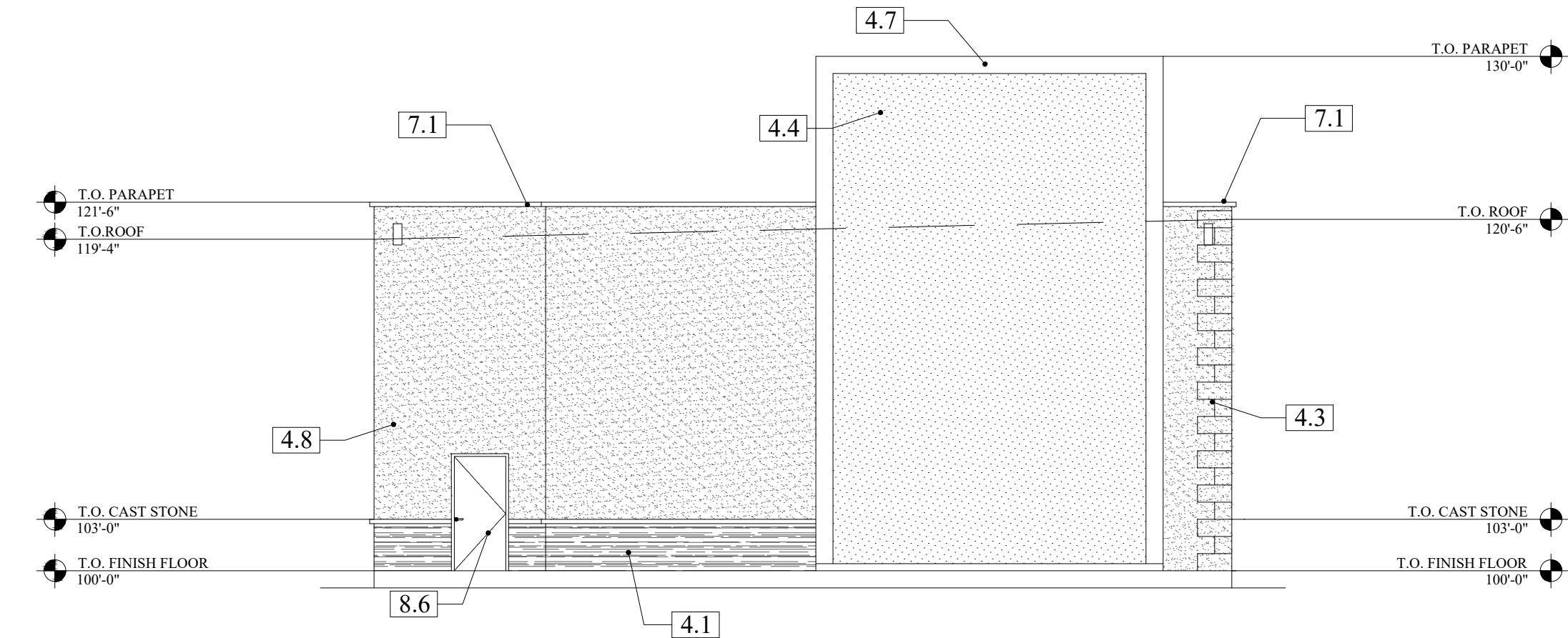
1	VARIED ROOF
2	DIVIDED LIGHT WINDOWS
3	TRANSOME
4	QUOINS
5	CANOPY
6	DISPLAY WINDOW

GENERAL NOTES:

1. METAL STUD SUPPLIER SHALL DESIGN AND DETAIL ALL METAL STUDS, BRACING, CONNECTIONS, AND ATTACHMENTS TO MAIN STRUCTURE AND SUBMIT STRUCTURAL CALCULATIONS AND SHOP DRAWINGS FOR APPROVAL BY STRUCTURAL ENGINEER.
2. ALL COLUMNS, BEAMS, STRUCT., CONNECTIONS, AND CANOPY DETAILS SHALL BE BUILT BASED ON STRUCTURAL DRAWINGS.
3. PROVIDE FIREPROOFING AT ALL REQUIRED INTERIOR STEEL STRUCTURES.
4. INTERIOR FINISHES, PARTITION WALLS, RESTROOMS, MILL WORK, ETC. ARE NOT INCLUDED IN THIS PLAN SET. ABOVE MENTIONED ITEMS ARE THE RESPONSIBILITY OF THE FUTURE TENANTS.
5. STORE FRONT WINDOW SUPPLIER SHALL PROVIDE NECESSARY DETAILS AND SHOP DRAWINGS FOR APPROVAL BY DESIGNER.



1 NORTH WEST ELEVATION - BUILDING A  
SCALE: 1/8" = 1'-0"



2 NORTH EAST ELEVATION - BUILDING A  
SCALE: 1/8" = 1'-0"

NORTH WEST ELEVATION		5529.96 Sqft.
4.1	APR. ROUGH STONE	375.69 Sqft. 6.79 %
4.2	3" CAST STONE WATERTABLE, COLOR: ORIGINAL	34.03 Sqft. 0.61 %
4.3	DECORATIVE STONE VENNEN	268.94 Sqft. 4.86 %
4.4	7/8" THREE COAT STUCCO AS PER ARCH. APPROVED COLOUR	682.64 Sqft. 12.34 %
4.5	ARCHITECTURAL STONE VENEER	243.45 Sqft. 4.40 %
4.6	7/8" THREE COAT STUCCO WITH GROOVING AS PER ARCH. APPROVED COLOUR	1011.64 Sqft. 18.29 %
4.7	PREFIN. STANDING SEAM METAL ROOF TYP	227.06 Sqft. 4.10 %
4.8	7/8" THREE COAT STUCCO AS PER ARCH. APPROVED COLOUR	985.77 Sqft. 17.82 %
7.1	PARAPET ALUMINUM METAL COPING APPROVED COLOR:	50.27 Sqft. 0.90 %
7.2	LIGHT GAUGE AWNING FRAME PRIME & PAINT TYPE-2	115.78 Sqft. 2.09 %
8.1	PREFINISHED ALUMINUM STOREFRONT SYSTEM: U.S. ALUMINUM 451 OR APPROVED EQUAL, COLOR: MATCH 7.2	1537.45 Sqft. 27.80 %

NORTH EAST ELEVATION		1247.32 Sqft.
4.1	APR. ROUGH STONE	70.81 Sqft. 6.79 %
4.2	3" CAST STONE WATERTABLE, COLOR: ORIGINAL	6.50 Sqft. 0.61 %
4.3	DECORATIVE STONE VENNEN	84.37 Sqft. 4.86 %
4.4	7/8" THREE COAT STUCCO AS PER ARCH. APPROVED COLOUR	521.65 Sqft. 12.34 %
4.7	PREFIN. STANDING SEAM METAL ROOF TYP	77.41 Sqft. 4.10 %
4.8	7/8" THREE COAT STUCCO AS PER ARCH. APPROVED COLOUR	469.94 Sqft. 17.82 %
7.1	PARAPET ALUMINUM METAL COPING APPROVED COLOR:	7.56 Sqft. 0.90 %
8.6	INSULATED HOLLOW MTL DOOR COLOR: TO MATCH 8.1.	27.33 Sqft. 2.19 %

Horizontal Building Articulation Greater Than 80' Width (Building-A)		
Type	Min.Required	Provided
A	14.42ft which is 30% of street facing length	185 Ft (88.94%)
B	48 FT street facing length	185 Ft
C	4FT depth	8'-3" depth

Vertical Building Articulation Greater Than 50' Width (Building-A)		
Type	Min.Required	Provided
A	9.59 ft which is 20% of street facing length	220'-9" and 100 %
B	// //	208'-6"
C	9FT depth	9'-6" depth
d	// //	20'-6"

ISSUE RECORD:		COMMENTS:	
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APRIL 28-2022	SUBMIT	DO-1	
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JAN - 10-2023	RE-SUBMIT	DO-3	
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FEB - 05-2023	RE-SUBMIT		

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1270 Pleasant Valley  
Garland, tx

SHEET CONTENTS:

ELEVATIONS  
BUILDING-A

DATE: April-16-2024

A-4.1

CASE NO.  
210622-2



MATERIAL LEGEND:

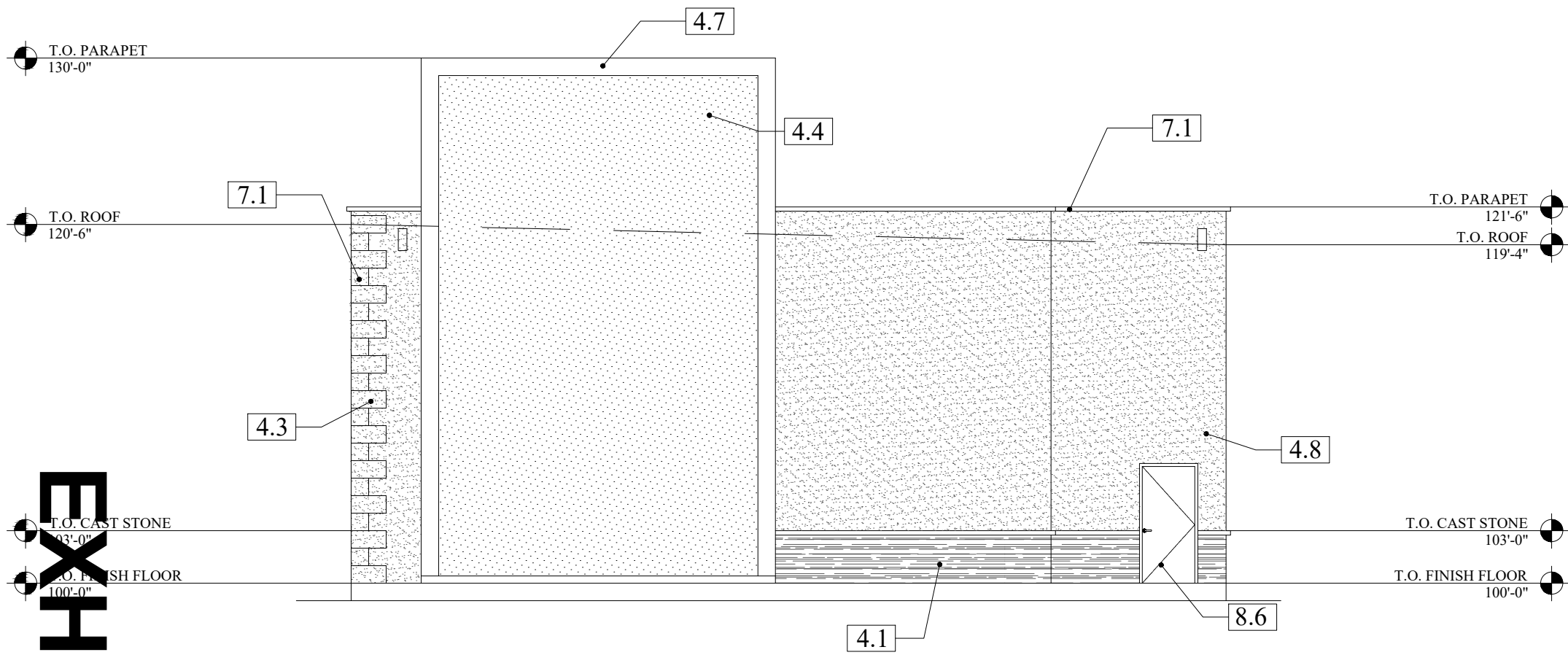
4.1	APR. ROUGH STONE	4.7	ALUMINUM FLASHING COLOR: PAINT TO MATCH 4.1	7.3	PREFINISHED MTL SCUPPER & DOWNSPOUT, COLOR: MATCH 7.2.	8.5	SWS: PREFINISHED ALUMINUM STOREFRONT SYSTEM: U.S. ALUMINUM 451 OR APPROVED EQUAL, COLOR: MATCH 7.2
4.2	3" CAST STONE WATERTABLE, COLOR: ORIGINAL.	4.8	7/8" THREE COAT STUCCO AS PER ARCH. APPROVED COLOUR	8.1	SW1: PREFINISHED ALUMINUM STOREFRONT SYSTEM: U.S. ALUMINUM 451 OR APPROVED EQUAL, COLOR: MATCH 7.2	8.6	INSULATED HOLLOW MTL DOOR COLOR: TO MATCH 8.1.
4.3	DECORATIVE STONE VENEER	5.1	PAINTED GALV. STEEL ROOF ACCESS LADDER. PER STEEL CONTRACTOR.	8.2	SW2: PREFINISHED ALUMINUM STOREFRONT SYSTEM: U.S. ALUMINUM 451 OR APPROVED EQUAL, COLOR: MATCH 7.2	16.1	DECORATIVE EXTERIOR LIGHT FIXTURE, COLOR: MATCH 7.2
4.4	7/8" THREE COAT STUCCO AS PER ARCH. APPROVED COLOUR	7.1	PARAPET ALUMINUM METAL COPING COLOR: GREY PAINT	8.3	SW3: PREFINISHED ALUMINUM STOREFRONT SYSTEM: U.S. ALUMINUM 451 OR APPROVED EQUAL, COLOR: MATCH 7.2		NOTE: ALL NUMBERS (#1234) REFER TO A SHERWIN-WILLIAMS PRODUCT NUMBER.
4.5	ARCHITECTURAL STONE VENEER	7.2	LIGHT GAUGE AWNING FRAME PRIME & PAINT TYPE-2	8.4	SW4: PREFINISHED ALUMINUM STOREFRONT SYSTEM: U.S. ALUMINUM 451 OR APPROVED EQUAL, COLOR: MATCH 7.2		
4.6	7/8" THREE COAT STUCCO WITH GROOVING AS PER ARCH. APPROVED COLOUR						

EXTERIOR CAVITY WALL NOTES:

- ALL EXTERIOR STUDS TO BE HOT DEEP GALVANIZED 16 GAGE METAL STUDS AT 16" O.C. (ASTM A525).
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- ALL METAL FLASHING ABOVE WINDOWS AND WHERE INDICATED TO BE STAINLESS STEEL.
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GENERAL NOTES:

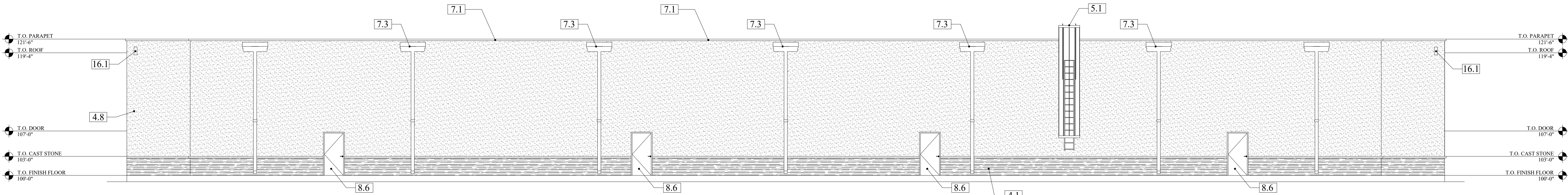
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③ SOUTH WEST ELEVATION - BUILDING A 1  
SCALE: 1/8" = 1'-0"

SOUTH WEST ELEVATION		1247.32 Sqft.
4.1	APR. ROUGH STONE	70.81 Sqft. 6.79 %
4.2	3" CAST STONE WATERTABLE, COLOR: ORIGINAL.	6.50 Sqft. 0.61 %
4.3	DECORATIVE STONE VENEER	84.37 Sqft. 4.86 %
4.4	7/8" THREE COAT STUCCO AS PER ARCH. APPROVED COLOUR	521.65 Sqft. 12.34 %
4.7	PREFIN. STANDING SEAM METAL ROOF TYP.	77.41 Sqft. 4.10 %
4.8	7/8" THREE COAT STUCCO AS PER ARCH. APPROVED COLOUR	469.94 Sqft. 17.82 %
7.1	PARAPET ALUMINUM METAL COPING APPROVED COLOR.	7.56 Sqft. 0.90 %
8.6	INSULATED HOLLOW MTL DOOR COLOR: TO MATCH 8.1.	27.33 Sqft. 2.18 %

SOUTH EAST ELEVATION		4472.03 Sqft.
4.1	APR. ROUGH STONE	526.35 Sqft. 11.76 %
4.2	3" CAST STONE WATERTABLE, COLOR: ORIGINAL.	47.81 Sqft. 1.06 %
4.8	7/8" THREE COAT STUCCO AS PER ARCH. APPROVED COLOUR	3587.20 Sqft. 80.21 %
7.1	PARAPET ALUMINUM METAL COPING APPROVED COLOR.	52.12 Sqft. 1.16 %
7.3	PREFINISHED MTL SCUPPER & DOWNSPOUT, COLOR: MATCH 7.2	110.67 Sqft. 2.47 %
5.1	PAINTED GALV. STEEL ROOF ACCESS LADDER. PER STEEL CONTRACTOR.	65.82 Sqft. 1.47 %
8.6	INSULATED HOLLOW MTL DOOR COLOR: TO MATCH 8.1.	91.08 Sqft. 2.03 %



④ SOUTH EAST ELEVATION - BUILDING A 1  
SCALE: 1/8" = 1'-0"

ISSUE RECORD:		COMMENTS:	
DATE:	ISSUED FOR:	DATE:	ISSUED FOR:
APRIL 28-2022	SUBMIT	DO-1	
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JR Shopping Center  
1270 Pleasant Valley  
Garland, tx

SHEET CONTENTS:

ELEVATIONS  
BUILDING-A

DATE: April-16-2024

CASE NO.  
210622-2

A-4.2



MATERIAL LEGEND:			
4.1	APR. ROUGH STONE	4.7	ALUMINUM FLASHING COLOR: PAINT TO MATCH 4.1
4.2	3" CAST STONE WATERTABLE, COLOR: ORIGINAL.	4.8	7/8" THREE COAT STUCCO AS PER ARCH. APPROVED COLOUR
4.3	DECORATIVE STONE VENEER	5.1	PAINTED GALV. STEEL ROOF ACCESS LADDER. PER STEEL CONTRACTOR.
4.4	7/8" THREE COAT STUCCO AS PER ARCH. APPROVED COLOUR	7.1	PARAPET ALUMINUM METAL COPING COLOR: GREY PAINT
4.5	ARCHITECTURAL STONE VENEER	7.2	LIGHT GAUGE AWNING FRAME PRIME & PAINT TYPE-2
4.6	7/8" THREE COAT STUCCO WITH GROOVING AS PER ARCH. APPROVED COLOUR	7.3	PREFINISHED MTL SCUPPER & DOWNSPOUT, COLOR: MATCH 7.2.
		8.1	SW1: PREFINISHED ALUMINUM STOREFRONT SYSTEM: U.S. ALUMINUM 451 OR APPROVED EQUAL, COLOR: MATCH 7.2
		8.2	SW2: PREFINISHED ALUMINUM STOREFRONT SYSTEM: U.S. ALUMINUM 451 OR APPROVED EQUAL, COLOR: MATCH 7.2
		8.3	SW3: PREFINISHED ALUMINUM STOREFRONT SYSTEM: U.S. ALUMINUM 451 OR APPROVED EQUAL, COLOR: MATCH 7.2
		8.4	SW4: PREFINISHED ALUMINUM STOREFRONT SYSTEM: U.S. ALUMINUM 451 OR APPROVED EQUAL, COLOR: MATCH 7.2
		8.5	SW5: PREFINISHED ALUMINUM STOREFRONT SYSTEM: U.S. ALUMINUM 451 OR APPROVED EQUAL, COLOR: MATCH 7.2
		8.6	INSULATED HOLLOW MTL DOOR COLOR: TO MATCH 8.1.
		16.1	DECORATIVE EXTERIOR LIGHT FIXTURE, COLOR: MATCH 7.2
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EXTERIOR CAVITY WALL NOTES:

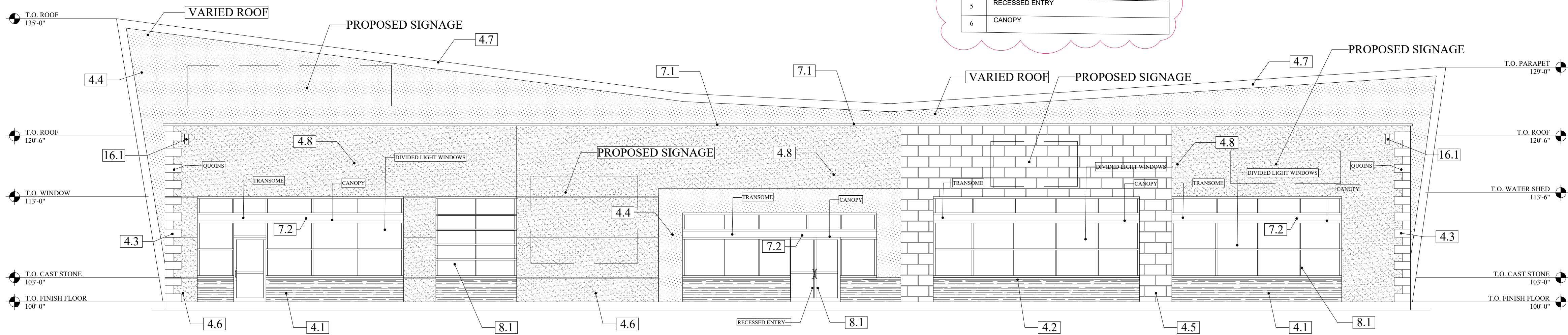
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3. ALL METAL FLASHING ABOVE WINDOWS AND WHERE INDICATED TO BE STAINLESS STEEL.
4. ALL EXTERIOR SHEATHING USED IN CAVITY WALLS TO BE GYPSUM SHEATHING W/ FIBERGLASS FACING (ex: DENS-GLASS SHEATHING).
5. VERTICAL BRICK MOVEMENT JOINTS TO BE 20" O.C. MAX, UNLESS NOTED OTHERWISE, AND SHALL NOT CROSS LINTELS OR BRICK SHELF ANGLES.
6. VAPOR BARRIER USED OVER SHEATHING TO BE WRAPPED ABOVE FLASHING AT THE BASE AND ABOVE WINDOW LOCATIONS.
7. APPLY MASONRY SEALER OVER EXTERIOR STONE VENEERS.

GENERAL NOTES:

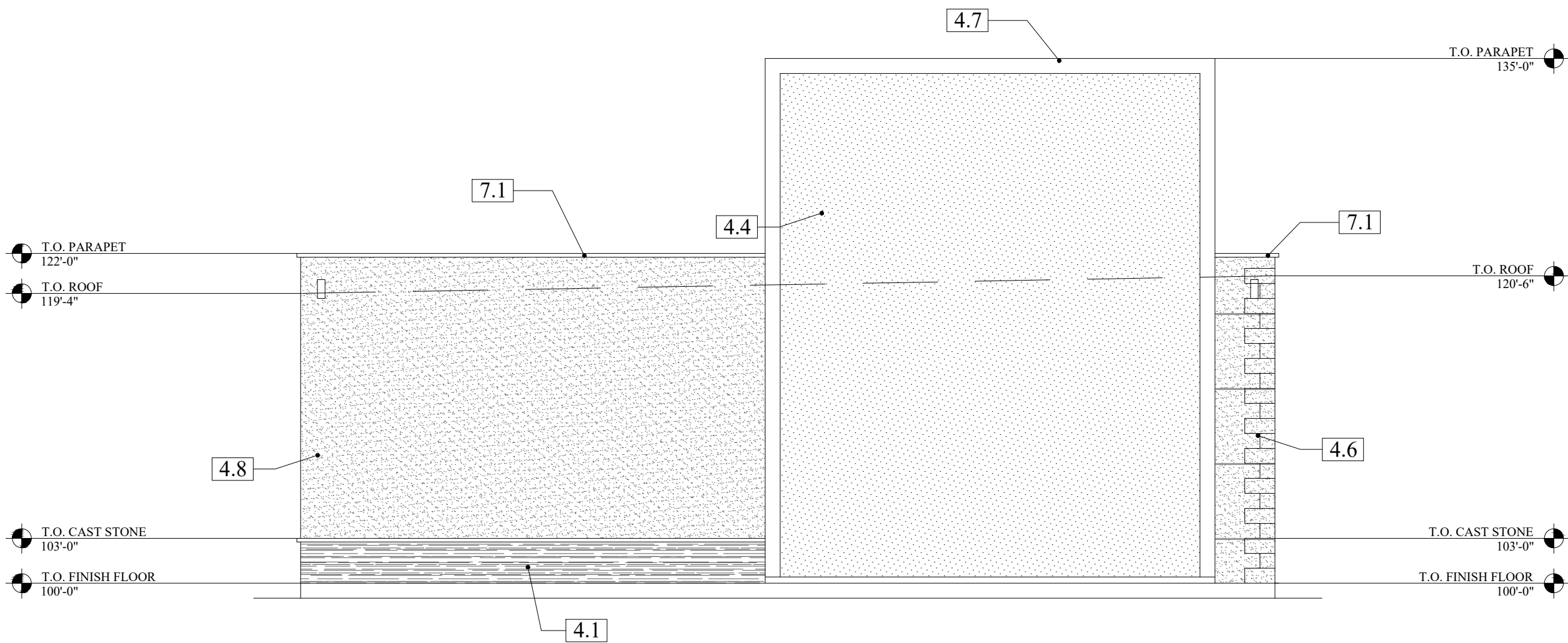
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5. STORE FRONT WINDOW SUPPLIER SHALL PROVIDE NECESSARY DETAILS AND SHOP DRAWINGS FOR APPROVAL BY DESIGNER.

ARCHITECTURAL ELEMENTS

1	VARIED ROOF
2	DIVIDED LIGHT WINDOWS
3	TRANSOME
4	QUOINS
5	RECESSED ENTRY
6	CANOPY



① SOUTH WEST ELEVATION - BUILDING B  
SCALE: 1/8" = 1'-0"



② NORTH WEST ELEVATION - BUILDING B  
SCALE: 1/8" = 1'-0"

NORTH WEST ELEVATION		1835.14 Sqft.	
4.1	APR. ROUGH STONE	85.25 Sqft.	4.64 %
4.2	3" CAST STONE WATERTABLE, COLOR: ORIGINAL.	7.81 Sqft.	0.42 %
4.4	7/8" THREE COAT STUCCO AS PER ARCH. APPROVED COLOUR	954.35 Sqft.	52.00 %
4.6	7/8" THREE COAT STUCCO WITH GROOVING AS PER ARCH. APPROVED COLOUR	87.00 Sqft.	4.74 %
4.7	PREFIN. STANDING SEAM METAL ROOF TYPE	98.16 Sqft.	5.34 %
4.8	7/8" THREE COAT STUCCO AS PER ARCH. APPROVED COLOUR	581.25 Sqft.	31.87 %
7.1	PARAPET ALUMINUM METAL COPING APPROVED COLOR:	8.87 Sqft.	0.48 %

SOUTH WEST ELEVATION		4466.29 Sqft.	
4.1	APR. ROUGH STONE	277.75 Sqft.	6.21 %
4.2	3" CAST STONE WATERTABLE, COLOR: ORIGINAL.	25.24 Sqft.	0.56 %
4.3	DECORATIVE STONE VENEER	87.38 Sqft.	1.95 %
4.4	7/8" THREE COAT STUCCO AS PER ARCH. APPROVED COLOUR	853.57 Sqft.	22.40 %
4.5	ARCHITECTURAL STONE VENEER	396.86 Sqft.	8.88 %
4.6	7/8" THREE COAT STUCCO WITH GROOVING AS PER ARCH. APPROVED COLOUR	305.79 Sqft.	6.84 %
4.7	PREFIN. STANDING SEAM METAL ROOF TYPE	215.75 Sqft.	4.83 %
4.8	7/8" THREE COAT STUCCO AS PER ARCH. APPROVED COLOUR	1073.92 Sqft.	24.04 %
7.1	PARAPET ALUMINUM METAL COPING APPROVED COLOR:	38.62 Sqft.	0.86 %
7.2	LIGHT GAUGE AWNING FRAME PRIME & PAINT TYPE-2	72.00 Sqft.	1.61 %
8.1	PREFINISHED ALUMINUM STOREFRONT SYSTEM: U.S. ALUMINUM 451 OR APPROVED EQUAL, COLOR: MATCH 7.2	964.00 Sqft.	21.58 %

Horizontal Building Articulation  
Greater Than 80' Width (Building-B)

Type	Min.Required	Provided
A	19.4ft which is 30% of street facing length	30' Ft (46.2 5%)
B	19.4 FT street facing length	30' ft
C	width 27 and 4FT depth	4 FT depth

Vertical Building Articulation  
Greater Than 50' Width (Building-B)

Type	Min.Required	Provided
A	12.9 ft which is 20% of street facing length	154'-6" and 100 %
B	// //	154 FT
C	9FT depth	12 FT depth on Average
d	// //	20'-6"

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Garland, tx

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A-4.3

CASE NO.  
210622-2



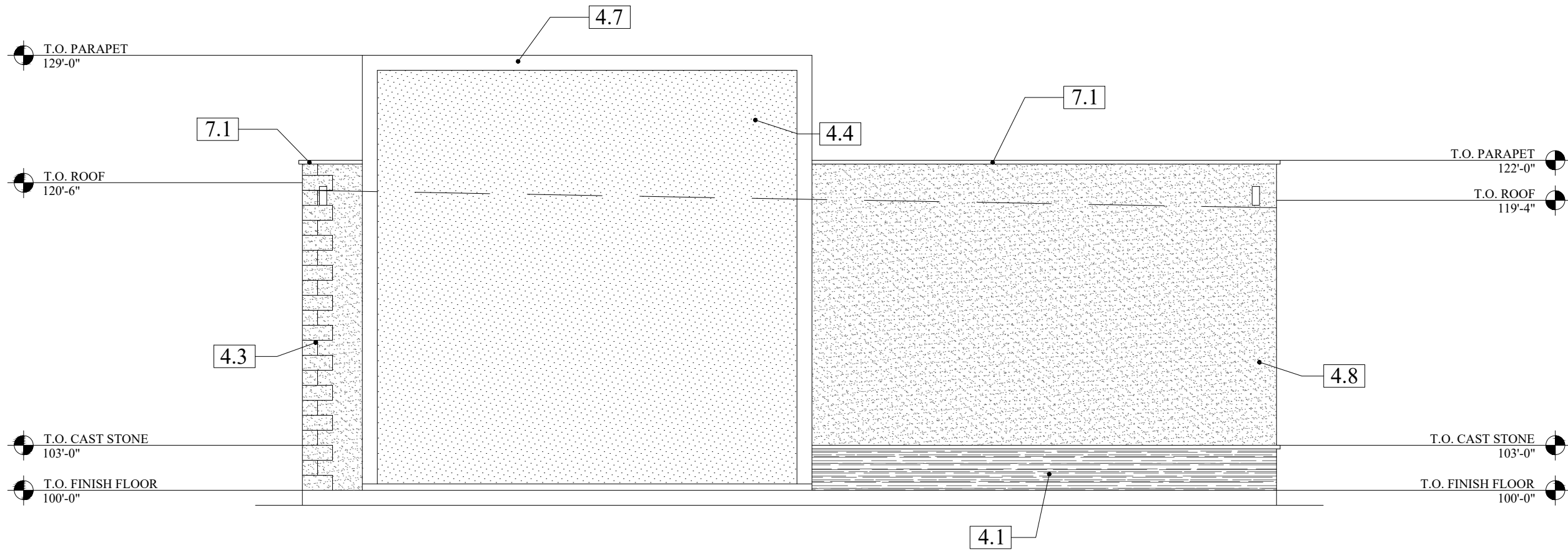
MATERIAL LEGEND:			
4.1	APR. ROUGH STONE	4.7	ALUMINUM FLASHING COLOR: PAINT TO MATCH 4.1
4.2	3" CAST STONE WATERTABLE, COLOR: ORIGINAL.	4.8	7/8" THREE COAT STUCCO AS PER ARCH. APPROVED COLOUR
4.3	DECORATIVE STONE VENEER	5.1	PAINTED GALV. STEEL ROOF ACCESS LADDER, PER STEEL CONTRACTOR.
4.4	7/8" THREE COAT STUCCO AS PER ARCH. APPROVED COLOUR	7.1	PARAPET ALUMINUM METAL COPING COLOR: GREY PAINT
4.5	ARCHITECTURAL STONE VENEER	7.2	LIGHT GAUGE AWNING FRAME PRIME & PAINT TYPE-2
4.6	7/8" THREE COAT STUCCO WITH GROOVING AS PER ARCH. APPROVED COLOUR	8.1	SW1: PREFINISHED ALUMINUM STOREFRONT SYSTEM: U.S. ALUMINUM 451 OR APPROVED EQUAL, COLOR: MATCH 7.2
		8.2	SW2: PREFINISHED ALUMINUM STOREFRONT SYSTEM: U.S. ALUMINUM 451 OR APPROVED EQUAL, COLOR: MATCH 7.2
		8.3	SW3: PREFINISHED ALUMINUM STOREFRONT SYSTEM: U.S. ALUMINUM 451 OR APPROVED EQUAL, COLOR: MATCH 7.2
		8.4	SW4: PREFINISHED ALUMINUM STOREFRONT SYSTEM: U.S. ALUMINUM 451 OR APPROVED EQUAL, COLOR: MATCH 7.2
		8.5	SW5: PREFINISHED ALUMINUM STOREFRONT SYSTEM: U.S. ALUMINUM 451 OR APPROVED EQUAL, COLOR: MATCH 7.2
		8.6	INSULATED HOLLOW MTL. DOOR COLOR: TO MATCH 8.1.
		16.1	DECORATIVE EXTERIOR LIGHT FIXTURE, COLOR: MATCH 7.2  NOTE: ALL NUMBERS (#1234) REFER TO A SHERWIN-WILLIAMS PRODUCT NUMBER.

EXTERIOR CAVITY WALL NOTES:

1. ALL EXTERIOR STUDS TO BE HOT DEEP GALVANIZED 16 GAGE METAL STUDS AT 16" O.C. (ASTM A525).
2. ALL EXTERIOR STUD SCREWS AND FASTENERS TO BE STAINLESS STEEL WITH NEOPRENE WASHERS.
3. ALL METAL FLASHING ABOVE WINDOWS AND WHERE INDICATED TO BE STAINLESS STEEL.
4. ALL EXTERIOR SHEATHING USED IN CAVITY WALLS TO BE GYPSUM SHEATHING W/ FIBERGLASS FACING (ex: DENS-GLASS SHEATHING).
5. VERTICAL BRICK MOVEMENT JOINTS TO BE 20" O.C. MAX, UNLESS NOTED OTHERWISE, AND SHALL NOT CROSS LINTELS OR BRICK SHELF ANGLES.
6. VAPOR BARRIER USED OVER SHEATHING TO BE WRAPPED ABOVE FLASHING AT THE BASE AND ABOVE WINDOW LOCATIONS.
7. APPLY MASONRY SEALER OVER EXTERIOR STONE VENEERS.

GENERAL NOTES:

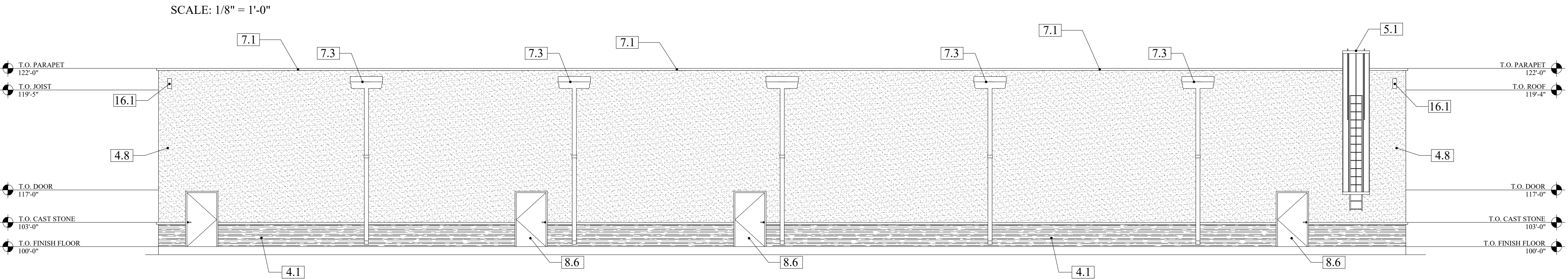
1. METAL STUD SUPPLIER SHALL DESIGN AND DETAIL ALL METAL STUDS, BRACING, CONNECTIONS, AND ATTACHMENTS TO MAIN STRUCTURE AND SUBMIT STRUCTURAL CALCULATIONS AND SHOP DRAWINGS FOR APPROVAL BY STRUCTURAL ENGINEER.
2. ALL COLUMNS, BEAMS, STRUCT., CONNECTIONS, AND CANOPY DETAILS SHALL BE BUILT BASED ON STRUCTURAL DRAWINGS.
3. PROVIDE FIREPROOFING AT ALL REQUIRED INTERIOR STEEL STRUCTURES.
4. INTERIOR FINISHES, PARTITION WALLS, RESTROOMS, MILLWORK, ETC. ARE NOT INCLUDED IN THIS PLAN SET. ABOVE MENTIONED ITEMS ARE THE RESPONSIBILITY OF THE FUTURE TENANTS.
5. STORE FRONT WINDOW SUPPLIER SHALL PROVIDE NECESSARY DETAILS AND SHOP DRAWINGS FOR APPROVAL BY DESIGNER.



③ SOUTH EAST ELEVATION - BUILDING B

SOUTH EAST ELEVATION		1640.12 Sqft.
4.1	APR. ROUGH STONE	85.25 Sqft. 5.19 %
4.2	3" CAST STONE WATERTABLE, COLOR: ORIGINAL.	7.81 Sqft. 0.47 %
4.4	7/8" THREE COAT STUCCO AS PER ARCH. APPROVED COLOUR	772.33 Sqft. 47.09 %
4.3	DECORATIVE STONE VENNEN	86.37 Sqft. 5.26 %
4.7	PREFIN. STANDING SEAM METAL ROOF TYP.	85.16 Sqft. 5.19 %
4.8	7/8" THREE COAT STUCCO AS PER ARCH. APPROVED COLOUR	581.25 Sqft. 35.43 %
7.1	PARAPET ALUMINUM METAL COPING APPROVED COLOR:	8.87 Sqft. 0.54 %

NORTH EAST ELEVATION		3388.51 Sqft.
4.1	APR. ROUGH STONE	384.13 Sqft. 11.33 %
4.2	3" CAST STONE WATERTABLE, COLOR: ORIGINAL.	34.97 Sqft. 1.03 %
4.8	7/8" THREE COAT STUCCO AS PER ARCH. APPROVED COLOUR	2713.44 Sqft. 80.07 %
7.1	PARAPET ALUMINUM METAL COPING APPROVED COLOR:	37.79 Sqft. 1.11 %
7.3	PREFINISHED MTL. SCUPPER & DOWNSPOUT, COLOR: MATCH 7.2.	79.05 Sqft. 2.33 %
5.1	PAINTED GALV. STEEL ROOF ACCESS LADDER, PER STEEL CONTRACTOR	65.82 Sqft. 1.94 %
8.6	INSULATED HOLLOW MTL. DOOR COLOR: TO MATCH 8.1.	109.32 Sqft. 3.22 %



④ NORTH EAST ELEVATION - BUILDING B  
SCALE: 1/8" = 1'-0"

ISSUE RECORD:		COMMENTS:	
DATE:	ISSUED FOR:	DATE:	ISSUED FOR:
APRIL 28-2022	SUBMIT	DO-1	
NOV - 30-2022	RE-SUBMIT	DO-2	
JAN - 10-2023	RE-SUBMIT	DO-3	
FEB - 02-2023	RE-SUBMIT	DO-4	
FEB - 05-2023	RE-SUBMIT		

ADRESS: 555 Republic Dr Suite 312A, Plano,  
TX 75074, USA.  
Phone: 469-662-5248  
Email: info@ibc-constructions.com



JR Shopping Center  
1270 Pleasant Valley  
Garland, tx

SHEET CONTENTS:

ELEVATIONS  
BUILDING-B

DATE: April-16-2024

A-4.4

CASE NO.  
210622-2



## Z 22-28



View of the subject property



Southeast of the subject property



Southwest of the subject property



Northwest of the subject property





**From:** [Ahmed, Nabiha](#)  
**To:** [Morales, Elisa](#)  
**Subject:** FW: Zoning change Z 22-28 IBC Construction  
**Date:** Tuesday, June 4, 2024 12:49:13 PM

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FYI

**From:** Shari <eyeshop2000@yahoo.com>  
**Sent:** Tuesday, June 4, 2024 12:47 PM  
**To:** Ahmed, Nabiha <NAhmed@garlandtx.gov>  
**Subject:** Re: Zoning change Z 22-28 IBC Construction

You don't often get email from [eyeshop2000@yahoo.com](mailto:eyeshop2000@yahoo.com). [Learn why this is important](#)

We are against this zoning change at 1270 Pleasant Valley Road. There are enough gas stations, laundry, retail. There is already too much traffic and we have trouble at times getting out of our street and alley. The traffic noise is bad enough as it is. We have to listen to sirens during the day and night from the fire station that is not far from us. There are many traffic accidents at Buckingham and Pleasant Valley. We have lived here since 1985. It will cause crime, congestion, loitering. Completely against this.

Richard Covington

Shari Covington

1238 DELORES DRIVE

**CAUTION:** This email is from an external source. DO NOT click links or open attachments without verifying the sender. Never enter **USERNAME, PASSWORD or SENSITIVE INFORMATION** on linked pages from this email. If you are unsure about the message, please contact the **Help Desk at x7240** for assistance.

# Comment Form

## Case Z 22-28

Z 22-28 IBC Construction, LLC. The applicant proposes gas station, convenience store, laundromat and retail use on the subject property. The site is located at 1270 Pleasant Valley Road (District 1)

Z 22-28 IBC Construction, LLC. El solicitante propone uso de gasolinera, tienda de conveniencia, lavandería y comercio minorista en la propiedad en cuestión. El sitio está ubicado en 1270 Pleasant Valley Road (Distrito 1)

Z 22-28 IBC Construction, LLC. Người nộp đơn đề xuất sử dụng trạm xăng, cửa hàng tiện lợi, tiệm giặt là và cửa hàng bán lẻ trên tài sản chủ thể. Lô đất tọa lạc tại số 1270 Đường Pleasant Valley (Quận 1)

Please Check One Below / Marque uno a continuación / Vui lòng kiểm tra một bên dưới

☐

For / A Favor / Đúng

☒

Against / En Contra / Không

Please complete the following information and email the form to [Planning@garlandtx.gov](mailto:Planning@garlandtx.gov); deliver to the Planning Department at 800 Main Street Garland, TX; or mail to City of Garland, Planning Department, P.O. Box 469002 Garland, TX 75406-9002. / Por favor Complete la siguiente información y envíe el formulario por correo electrónico a [Planning@garlandtx.gov](mailto:Planning@garlandtx.gov); entregar al Departamento de Planificación en 800 Main Street Garland, TX; o envíelo por correo a City of Garland, Planning Department, P.O. Box 469002 Garland, TX 75406-9002. / Vui lòng điền đầy đủ thông tin sau và gửi biểu mẫu qua email tới [Planning@garlandtx.gov](mailto:Planning@garlandtx.gov); giao cho Phòng Kế hoạch tại 800 Main Street Garland, TX; hoặc gửi thư đến Thành phố Garland, Sở Kế hoạch, P.O. Hộp 469002 Garland, TX 75406-9002.

Sylvia Elaine Jones (Mrs. Richard Jones)

Printed Name & Title / Nombre Impreso y Título / Tên in và Tiêu đề

(Property Owner, Business Owner, Tenant, etc.) / (Dueño de la propiedad, Dueño de la empresa, Inquilino, etc.) / (Chủ sở hữu bất động sản, Chủ doanh nghiệp, Người thuê, v.v.)

1229 DELDRES DR

Your Property Address / La dirección de su propiedad / địa chỉ tài sản

GARLAND, TX

City, State / Estado de la Ciudad / Thành bang

75040

Zip Code / Código postal / Mã B u Chính

Sylvia Elaine L. Jones

Signature / Firma / Chữ ký

6/4/24

Date / Fecha / Ngày

(Providing email address and phone number is optional. / La dirección de correo electrónico y el número de teléfono son opcionales. / Địa chỉ email và số điện thoại là tùy chọn.)

## Comment Form Continued – Case Z 22-28

The statements below reflect my (our) opinion regarding the proposed request(s).

Las declaraciones a continuación reflejan mi (nuestra) opinión con respecto a las solicitudes propuestas.

Các tuyên bố dưới đây phản ánh quan điểm của tôi (chúng tôi) về (các) yêu cầu được đề xuất

1. This gas station would increase and add to traffic issues at the intersection of Buckingham & Pleasant Valley. Traffic has increased significantly over the last year as Pleasant Valley is a feeder to Geo H.W. Bush Tollway. Buckingham which becomes Country Club at that intersection carries lots of traffic to and from Rowlett. Cars turning left off Buckingham onto Pleasant Valley north toward Geo Bush block one through lane of Buckingham going east toward Rowlett.
2. There will be increased noise, trash, and lights at night that will be detrimental to my neighborhood.
3. There is already a gas station and convenience on the SE corner of Pleasant Valley & Country Club (Buckingham). There is already a laundry mat at the same area.
4. Pollution will increase from gasoline fumes and car exhausts.



# Zoning Response Case Comments

Case Number	PC Hearing Date	CC Hearing Date	Planner Name
<b>Z 22-28</b>	June 10, 2024	July 2, 2024	Nabiha Ahmed

IBC Construction, LLC. The applicant proposes gas station, convenience store, laundromat and retail use on the subject property. The site is located at 1270 Pleasant Valley Road (District 1)

**Clyde Gregory**

**Against**

6/4/2024  
10:33:28 PM

1310 Misty Way

crusgreg@msn.com

Garland

2149524464

Texas

United States

75040

We have a gas station/convenience store, as well as a laundromat, right across the street from this site. We do not need another one.

**Richard  
Covington**

**Against**

6/4/2024  
5:39:33 PM

1238 Delores Drive

eyeshop2000@yahoo.com

Garland

9725307532

Texas

United States

75040

I am against this zoning change. This area does not need another gas station, laundry or retail. There is too much traffic and street noise already.



## GARLAND

### Plan Commission

3. b.

Meeting Date: 06/10/2024

Item Title: Z 22-67 CCM Engineering (District 3)

---

#### Summary:

Consideration of the application of **CCM Engineering**, requesting approval of 1) a Change in Zoning from Planned Development (PD) District 14-11 for Single-Family-10 (SF-10) Uses and Planned Development (PD) District 85-24 for Community Retail (CR) Uses to a Planned Development (PD) District for Single-Family Attached (SFA) Uses and 2) a Detail Plan for townhouse development. This property is located at 2000 and 2050 East Miller Road. (District 3) (File Z 22-67)

---

#### Attachments

Z 22-67 CCM Engineering Report & Attachments

Z 22-67 CCM Engineering Responses

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# ***Planning Report***

**File No: Z 22-67/District 3**

**Agenda Item:**

**Meeting: Plan Commission**

**Date: June 10, 2024**



**GARLAND**

TEXAS MADE HERE

## **REQUESTS**

Approval of 1) a Change in Zoning from Planned Development (PD) District 14-11 for Single-Family-10 (SF-10) Uses and Planned Development (PD) District 85-24 for Community Retail (CR) Uses to a Planned Development (PD) District for Single-Family Attached (SFA) Uses and 2) a Detail Plan for townhouse development.

## **APPLICANT**

CCM Engineering

## **OWNER**

Sha Miller LLC Separate Series LLC

## **LOCATION**

2000 and 2050 East Miller Road

## **BACKGROUND**

The subject property is currently undeveloped. The applicant proposes ninety (90) townhouse lots and three (3) HOA lots.

## **SITE DATA**

The subject property consists of approximately 11.19 acres. The site has approximately 906 linear feet of frontage along East Miller Road and 178 lineal feet of frontage along East Centerville Road. The site can be accessed from East Centerville Road.

## **USE OF PROPERTY UNDER CURRENT ZONING**

The subject property is zoned Planned Development (PD) District 14-11 for Single-Family-10 (SF-10) Uses and Planned Development (PD) District 85-24 for Community Retail (CR) Uses.

Planned Development (PD) District 14-11 was approved for a single-family subdivision on one tract and a riding academy/stables, day camp and barns on the other tract. The single-family subdivision was never developed.

Planned Development (PD) District 85-24 was intended to be non-residential uses such as bank, health clinic, movie theater, retail, and restaurant.

## **CONSIDERATIONS**

### **1. Site Plan**

The site plan (Exhibit C) reflects ninety (90) townhouse lots and three (3) HOA lots with amenities, including a tennis court, pickleball court, gazebo, playground equipment, and barbeque/picnic area.

## 2. Development Standards Flexibilities:

GDC Standards	Required	Proposed
Lot Size	2000 SF	1500 SF
Lot Depth	90 feet	65 feet
Lot Coverage	75% (maximum)	77%
Dwelling Unit Size	1300 SF	1,100 SF

The applicant is requesting some flexibilities on the above-mentioned development standards to allow the number of homes and maintain the affordability for homeownership. Per the applicant's narrative, "the development will give young prospective homeowners the opportunity to find a more affordable home, or experienced home owners a chance to downsize."

3. Parking

This development meets the parking requirement. Each dwelling will have a two-car garage and 42 guest spaces are provided.

4. Screening and Landscaping

The GDC requires perimeter screening along residential thoroughfare. The landscape plan (Exhibit D) reflects a six (6)-foot masonry wall along East Miller Road and East Centerville Road.

Additionally, the applicant proposes a six (6) foot cedar wood fence along the southwestern perimeter abutting the single-family homes.

The site meets the applicable screening and landscaping standards per the GDC along with a fifty (50)-foot buffer between the proposed development and existing residential development.

Additionally, a five (5)-foot pedestrian pathway is proposed throughout the property.

5. Building Design:

The proposed building elevations meets the building design standards per the GDC.

**COMPREHENSIVE PLAN**

The Envision Garland Plan designates the subject property as Neighborhood Center and Traditional Neighborhood.

Traditional neighborhoods are currently found throughout Garland and provide areas for low to moderate density single-family detached residential housing. Traditional neighborhoods also accommodate convenience retail (goods and services), office space, and public services.

Neighborhood centers provide a mix of retail, services and community gathering places. This center should be appropriately scaled to adjacent residential areas.

The proposed use will offer additional housing to the neighborhood.

**ECONOMIC DEVELOPMENT STRATEGIC PLAN**

The proposed use is considered to be "SF Housing" per the Economic Development Strategic Plan; this category represents a property tax revenue per acre at \$6,446.

**COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES**

The properties to the north, across East Miller Road, are zoned Community Retail (CR) District and Planned Development (PD) District 21-45; these properties are currently unimproved, however a single-family for rent development is currently in the permitting process. The property to the east is zoned Planned Development (PD) District 14-11; it is developed with a riding academy and stable. The properties to the south are zoned Single-Family-7 (SF-7) District and are developed with single-family detached homes. The property to the west, across East Centerville Road, is zoned Planned Development (PD) District 91-4; it is developed with a gas station and convenience store.

**STAFF RECOMMENDATION**

Approval of 1) a Change in Zoning from Planned Development (PD) District 14-11 for Single-Family-10 (SF-10) Uses and Planned Development (PD) District 85-24 for Community Retail (CR) Uses to a Planned Development (PD) District for Single-Family Attached (SFA) Uses and 2) 2) a Detail Plan for townhouse development.

**ADDITIONAL INFORMATION**

Location Map  
Exhibits  
SUP Conditions  
Photos

**CITY COUNCIL DATE:** July 2, 2024

**PREPARED BY:**

Nabiha Ahmed  
Lead Development Planner  
Planning & Development  
(972) 205-2453  
[nahmed@garlandtx.gov](mailto:nahmed@garlandtx.gov)

**REVIEWED BY:**

Angela Self, FAICP  
Interim Director of Planning





0 200 400 Feet  
1 inch = 307 feet

## ZONING MAP Z 22-67

 INDICATES AREA OF REQUEST

2000 & 2050 East Miller Road



**PLANNED DEVELOPMENT CONDITIONS**

**ZONING FILE Z 22-67**

**2000 and 2050 East Miller Road**

- I. Statement of Purpose:** The purpose of this Planned Development is to approve single-family attached (townhouse) development.
- II. Statement of Effect:** This Planned Development shall not affect any regulation found in the Garland Development Code, Ordinance No. 6773, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. General Regulations:** All regulations of the Single-Family Attached (SFA) District as set forth in Chapter 2 of the Garland Development Code are included by reference and shall apply, except as otherwise specified by this ordinance.
- IV. Development Plans:**
- Detail Plan: Development shall be in general conformance with the Detail Plan labeled Exhibit C through Exhibit E. In the event there is conflict between the approved Detail Plan and the Specific Regulations below, the Specific Regulations shall apply.
- V. Specific Conditions:**
- A. Permitted Use: The only permitted land use on the subject property is Single-Family Attached.
- B. Site Plan: The site layout, building placement, parking, walking paths, and other development proposed shall be in general conformance with the approved Site Plan labeled Exhibit C.
- C. Dwelling Units: A total of ninety (90) single-family attached lots and three (3) HOA lots shall be permitted.
- D. Minimum Dwelling Size: The minimum dwelling size shall be 1,100 square feet.

- E. Lot Size: The minimum lot size shall be 1,500 square feet.
- F. Lot Depth: The minimum lot depth shall be sixty-five (65) feet.
- G. Lot Coverage: The maximum lot coverage shall be seventy-seven (77%) percent.
- H. Amenities: Amenities shall be provided as shown on the Exhibits C and D.
- I. Landscape Plan: Screening and landscaping shall be in general conformance with the landscape plan labeled Exhibit D.
- J. Landscaping must be regularly maintained in a healthy, growing condition and in compliance with this PD Ordinance, the Garland Development Code, the Code of Ordinances of the City of Garland, and the landscaping plan attached hereto at all times. The property owner is responsible for regular weeding, mowing of grass, irrigation, fertilizing, pruning, or other maintenance of all plantings as needed. All exposed ground surfaces on or within the premises shall be properly improved, covered with screening or other approved solid material, or protected with a vegetative growth that prevents soil erosion and ameliorates objectionable dust conditions.
  - 1. Any plant or vegetation that dies must be replaced with another approved plant variety that complies with the approved landscape plan within sixty (60) days after receipt of written notification from the City. In the event the property owner fails to remedy a violation of any landscaping maintenance regulation within sixty (60) days after receipt of written notification from the City, the City may, in addition to any other remedy available by law, withhold future city permits, licenses and/or certificates requested by the property owner for the premises to which such violation applies.

2. Screening and paving must be regularly maintained in compliance with this PD Ordinance, the Garland Development Code, and the Code of Ordinances of the City of Garland at all times. The property owner is responsible for regular maintenance of all screening and paving as needed. In the event the property owner fails to remedy a violation of any screening or paving maintenance regulation within sixty (60) days after receipt of written notification from the City, the City may, in addition to any other remedy available by law, withhold future city permits, licenses and/or certificates requested by the property owner for the premises to which such violation applies.

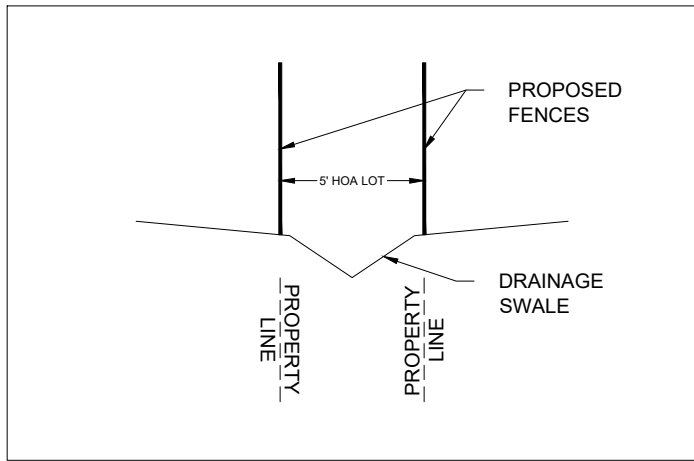
K. Elevations: Building Elevations shall be in general conformance with the elevations labeled Exhibit E.



EXHIBIT C

NOTES:

1. SIDEWALKS TO BE BUILT AT DEVELOPERS EXPENSE ON ALL NON-BUILDABLE LOTS.
2. EXISTING POWER POLES TO BE RELOCATED AS NECESSARY AT DEVELOPERS EXPENSE.
3. AN ALLEY WAIVER IS BEING REQUESTED.
4. EXISTING DRIVEWAY ON E. MILLER RD. TO BE CLOSED AND REMOVED.
5. PARKING PAVING WITHIN THE RIGHT OF WAY SHALL BE MAINTAINED BY THE HOA AND A LICENSE AGREEMENT WILL BE REQUIRED FROM ENGINEERING AT THE TIME OF CONSTRUCTION
6. OFFSITE DRAINAGE EASEMENT(S) TO BE OBTAINED BY DEVELOPER
7. DEVELOPER SHALL OBTAIN DRAINAGE EASEMENT FROM CITY OF DALLAS PRIOR TO PERMITTING AND PLATTING
8. GARAGES ARE NOT TO BE CONSTRUCTED WITHIN 20' OF ROW PER CITY OF GARLAND CODE
9. EACH TOWNHOME UNIT WILL FEATURE A TWO CAR GARAGE
10. PROPOSED DEVELOPMENT SHALL MEET CITY OF GARLAND LIGHTING STANDARDS PER ARTICLE 7, CHAPTER 4 OF THE GDC.



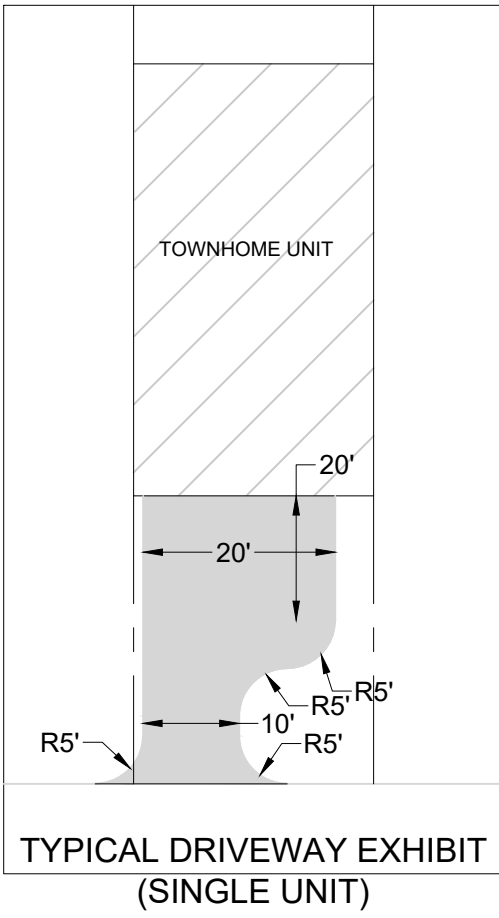
TYPICAL HOA DRAINAGE LOT

Curve Table				
Curve #	Length	Radius	Delta	Chord Direction
C1	65.24	125.17	29.86	S23° 14' 01"W
C3	182.86	350.00	29.93	S24° 22' 05"W
C4	138.56	497.46	15.96	S14° 16' 55"E



- LEGEND
- PRELIMINARY RETAINING WALL LOCATIONS
- x-x-x-x-

PRELIMINARY SCREENING WALL LOCATIONS  
6" MASONRY SCREENING FENCE



TYPICAL DRIVEWAY EXHIBIT (SINGLE UNIT)

Garland, Texas - 90 TH Lots, 3 HOA LOTS PRE-SUBMITTAL CASE #: 220517-2 EXISTING ZONING: PD 85-24 PROPOSED ZONING: PD-20-44 (SFA)			PROVIDED	GDC REQUIREMENT
BUILDING TYPE	ATTACHED TOWNHOMES			
TOTAL AREA OF SITE:	11.19 ACRE (487,436 SF)			
FLOOR AREA RATIO:	0.50			
IMPERVIOUS SURFACE COVERAGE:	374,847 SF (77%)			
TOTAL BUILDING COVERAGE:	VARIES			
SITE IMPERVIOUS COVERAGE:	77%			75%
OFF-STREET PARKING SPACES:	25			22.5, 23 REQ.
NET RESIDENTIAL DENSITIES:	10.09 LOTS/ACRE			
MIN LOT SIZE:	1,500 SF			2,000 SF
MAX LOT SIZE:	4,100 SF			
MIN DWELLING UNIT SIZE:	1,100 SF			1,400 SF
MIN LOT DEPTH:	65'			90'
MAX LOT DEPTH:	135'			
MIN LOT WIDTH:	22'			20' (30' END)
MAX LOT WIDTH:	90'			90'
MAX BUILDING LENGTH	180'			180'
OPEN SPACE PROVIDED:	98,832 SF			
BUILDING HEIGHT:	40' (MAX); 30' (TYP.)			40'
MINIMUM YARD SETBACKS				
FRONT:	10'			10'
SIDE:	0' (INTERNAL); 5' (END)			10' & 5'
REAR:	5'			10'
HOA COMMON SPACE PROVIDED	114,738 SF			48,744 SF
PERCENTAGE OF COMMON SPACE	23.53%			10%
TREE REQUIREMENT:	1 TREE (MIN 50% >3" CALIPER) PER EVERY 250 SF			
FINISHED FLOOR ELEVATION TO BUILT 1 FT ABOVE TOP OF CURB				
PROPOSED ROADWAY TO BE CONSTRUCTED PER CITY REQUIREMENTS				
NO EXISTING DRAINAGE WAYS OR NATURAL FEATURES				

**CCM Engineering**  
2570 FM 407, Suite 209  
Highland Village, Texas 75077  
Ph: 972. 691.6633  
Fax: 972.691.6628  
TBPE FIRM #605

**Miller Estates**  
**City of Garland, Tx**

**SITE PLAN EXHIBIT**

**FOR PRELIMINARY REVIEW ONLY**

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF JEFF D. CRANNELL, PE#50800 ON 04/22/24  
**IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.**

REVISIONS

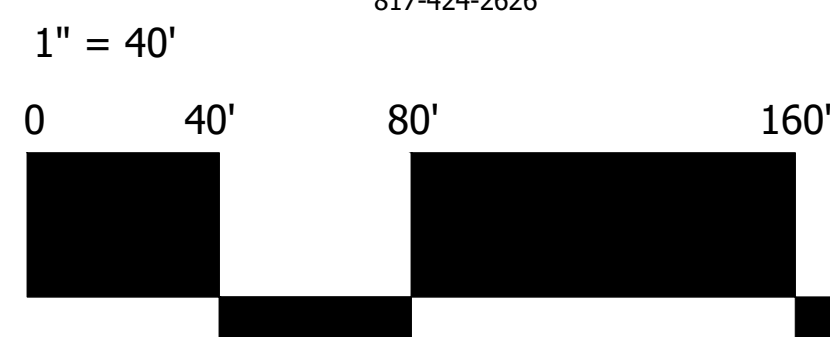
DESIGN: CCM  
DRAWN: CCM  
DATE: 04/22/24  
SCALE:  
NOTES:  
FILE:





SITE AREA	-	11.19 AC	
LANDSCAPED AREA -		4.98 AC	43.81%
TREES	<u>REQUIRED</u>	<u>PROVIDED</u>	
TOTAL TREES	159	159	
SHRUBS	<u>REQUIRED</u>	<u>PROVIDED</u>	
5 GAL.	172	172	

No landscaping such as trees, hedges, above and underground structures shall be located within existing or proposed utility easements and right of way without approved City's Real Property Improvement Authorization form or City's License Agreement.

$$1'' = 40'$$


NOTE: REFER TO FENCE DIAGRAM  
FOR FENCE AND WALL DETAIL



Case No. 220517-2

# Miller Estates

Garland, Dallas County, Texas



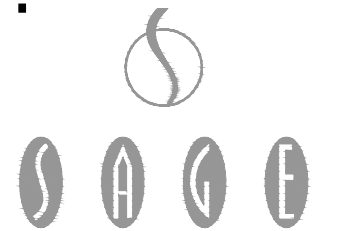
EXHIBIT D

**Owner:**  
Shahed Altaf  
4740 14th Avenue, Suite 320  
Plano, Texas 75074  
Tel: 214-918-2533

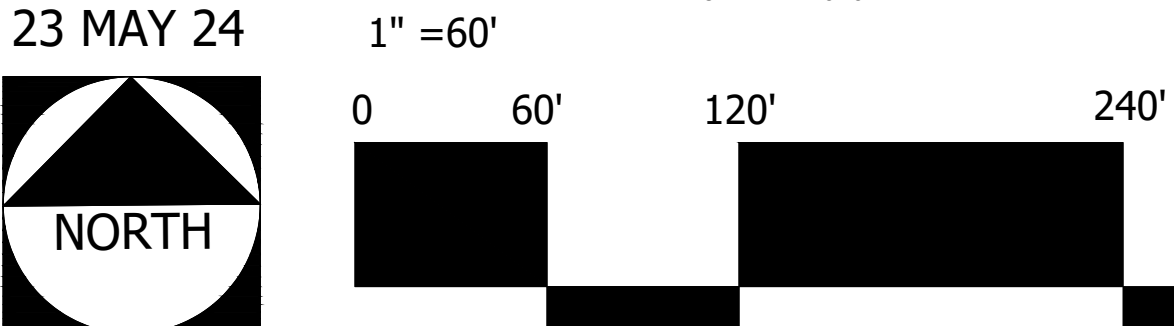
**Engineer:**  
CCM Engineering  
2570 Justin Road, Suite 209  
Highland Village, TX 75077  
Tel: 972-691-6633  
Contact: Cody Crannell

**Applicant:**  
Lone Star Green Homes  
4740 14th Avenue, Suite T320  
Plano, Texas 75074  
Tel: 214-631-9286

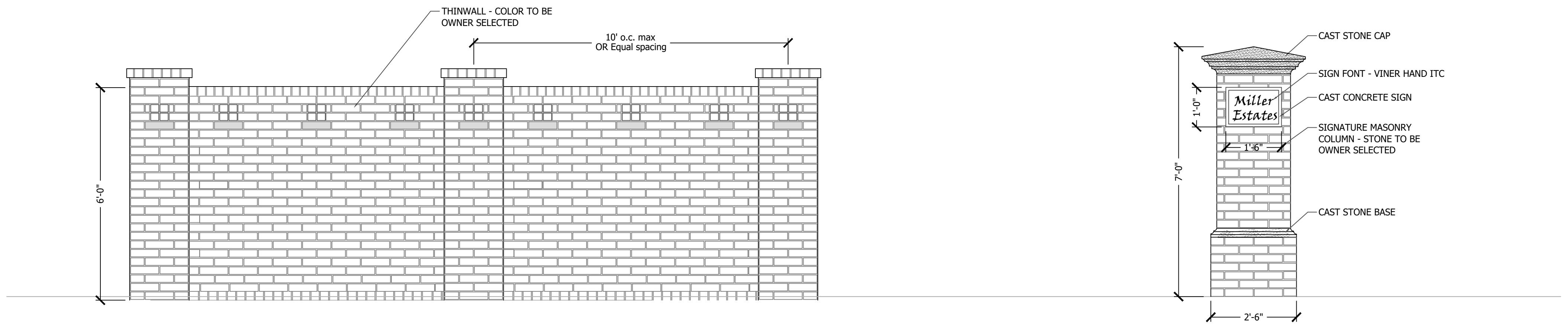
**Planner:**



**SAGE GROUP, INC.**  
Master Planning  
Urban Design  
Architecture  
Landscape Architecture  
1130 N. Carroll Ave., Ste. 200  
Southlake, Texas 76092  
817-424-2626

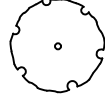
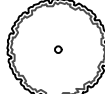




# Fence & Wall Diagram








Plant List and Schedule

CANOPY TREES				
SYMBOL	PLANT NAME	QUANTITY	SIZE / CAL. / HT. / SPREAD	CONDITION / REMARKS
	Live Oak <i>Quercus virginiana</i>	68	3" CAL. / 14'-16' HT. / 10'-12' SPREAD	single trunk clear to 6'; box grown; matching growth (MT = MULTITRUNK)
	Red Oak <i>Quercus shumardii</i>	40	3" CAL. / 14'-16' HT. / 10'-12' SPREAD	single trunk clear to 6'; box grown; matching growth (MT = MULTITRUNK)
	Cedar Elm <i>Ulmus crassifolia</i>	45	3" CAL. / 14'-16' HT. / 10'-12' SPREAD	single trunk clear to 6'; box grown; matching growth (MT = MULTITRUNK)
	Chinquapin Oak <i>Quercus muehlenbergii</i>	13	3" CAL. / 14'-16' HT. / 10'-12' SPREAD	single trunk clear to 6'; box grown; matching growth (MT = MULTITRUNK)


NOTE: ALL TREES TO HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.



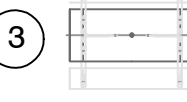




ACCENT / UNDERSTORY TREES				
SYMBOL	PLANT NAME	QUANTITY	SIZE / CAL. / HT. / SPREAD	CONDITION / REMARKS
	Crape Myrtle <i>lagerstroemia indica</i>	9	30 Gal. / 8' HT. / 4' SPREAD	container grown; matching growth (MT = MULTITRUNK)

NOTE: ALL TREES TO HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES

SHRUBS				
SYMBOL	PLANT NAME	QUANTITY	SIZE / CAL. / HT. / SPREAD	CONDITION / REMARKS
	'Little Gem' Magnolia <i>Magnlia grandiflor</i> 'Little Gem'	93	15 GAL. / 5'-6' HT. / 10" SPREAD	container grown; full growth; 48" o.c.;
	Rose Glow Japanese Barberry <i>Berberis thunbergii</i> 'Rose Glow'	80	5 GAL. / 30" HT. / 36" SPREAD	container grown; full growth; 36" o.c.;

NOTE: ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED

TURF				
SYMBOL	PLANT NAME	QUANTITY	SIZE / CAL. / HT. / SPREAD	CONDITION / REMARKS
	Bermudagrass <i>Cynodon dactilon</i>	210,566 S.F.	SOLID SOD	contractor to field verify quantity of sod / hydromulch required

SITE FIXTURES		
SYMBOL	QTY.	SPECIFICATIONS
 1	3	TRASH RECEPTACLES: MANUF. - VICTOR STANLEY MODEL: RB-36 36 GAL. SURFACE MOUNT COLOR: BLACK
 2	3	BACKED BENCHES: STEELSITE RB COLLECTION MANUF. - VICTOR STANLEY MODEL: RB-28 6' SURFACE MOUNT COLOR: BLACK
 3	1	PICNIC TABLE: STEELSITE RB COLLECTION MANUF. - VICTOR STANLEY MODEL: FRST-6 6' TABLE COLOR: BLACK
 4	1	GRILL: MANUF. - CSF COMMERCIAL SITE FURNISHINGS MODEL: STD IN GROUND GRILL COLOR: BLACK
 5	1	BIKE RACK: VICTOR STANLEY MODEL: BRCS-103 - CYCLE SENTRY COLLECTION -5 BIKE - SURFACE MOUNT COLOR: BLACK
 6	1	SHELTER: MANUF. - POLIGON MODEL: SQR-12 COLOR: TO BE OWNER SELECTED
 7	10	BOLLARDS: ACCESS FIXTURES MODEL: BOLO SOLAR LED BOLLARD LIGHT - ROUND FLAT TOP COLOR: BLACK

VICTOR STANLEY ®  
P.O. Drawer 330  
DUNKIRK, MD 20754  
P: 1-800-2368-2573

POLIGON  
HOLLAND, MI  
616-399-1963

ACCESS FIXTURES  
40 JACKSON STREET  
WORCESTER, MA 01608  
800-468-9925

CSF COMMERCIAL SITE FURNISHINGS  
3521 WETUMPKA HIGHWAY  
MONTGOMERY, AL 36110-2717  
P: 1-800-278-4480

NOTE:

1. ALL SITE FURNISHINGS CAN BE OBTAINED THROUGH (OR EQ.):

VICTOR STANLEY ®  
P.O. Drawer 330  
DUNKIRK, MD 20754  
P: 1-800-2368-2573

2. COLOR FOR ALL: BLACK

3. BACKED BENCHES ARE TO BE (OR EQ.):

STEELSITES RB COLLECTION  
MODEL NO. RB-28  
SURFACE MOUNT 6' BENCHES

4. TRASH RECEPTACLES ARE TO BE (OR EQ.):

STEELSITES RB COLLECTION  
MODEL NO. RB-36 36 GAL. SURFACE MOUNT

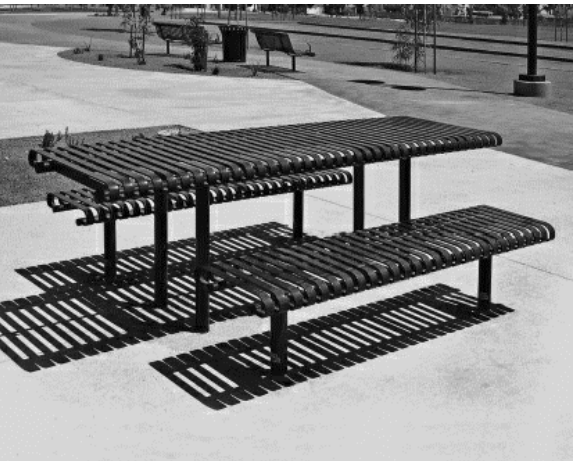
5. PICNIC TABLE:

STEELSITE RB COLLECTION  
MODEL NO. FRST-6 - 6'

6. GRILL:

CSF COMMERCIAL SITE FURNISHINGS  
3521 WETUMPKA HIGHWAY  
MONTGOMERY, AL 36110-2717  
P: 1-800-278-4480

MODEL NO. STANDARD IN GROUND GRILL - IN GROUND  
SPEC SHEET: LC120-STD-IG



BIKE RACK: VICTOR STANLEY  
MODEL: BRCS-103 - CYCLE SENTRY  
COLLECTION -5 BIKE - SURFACE MOUNT  
COLOR: BLACK



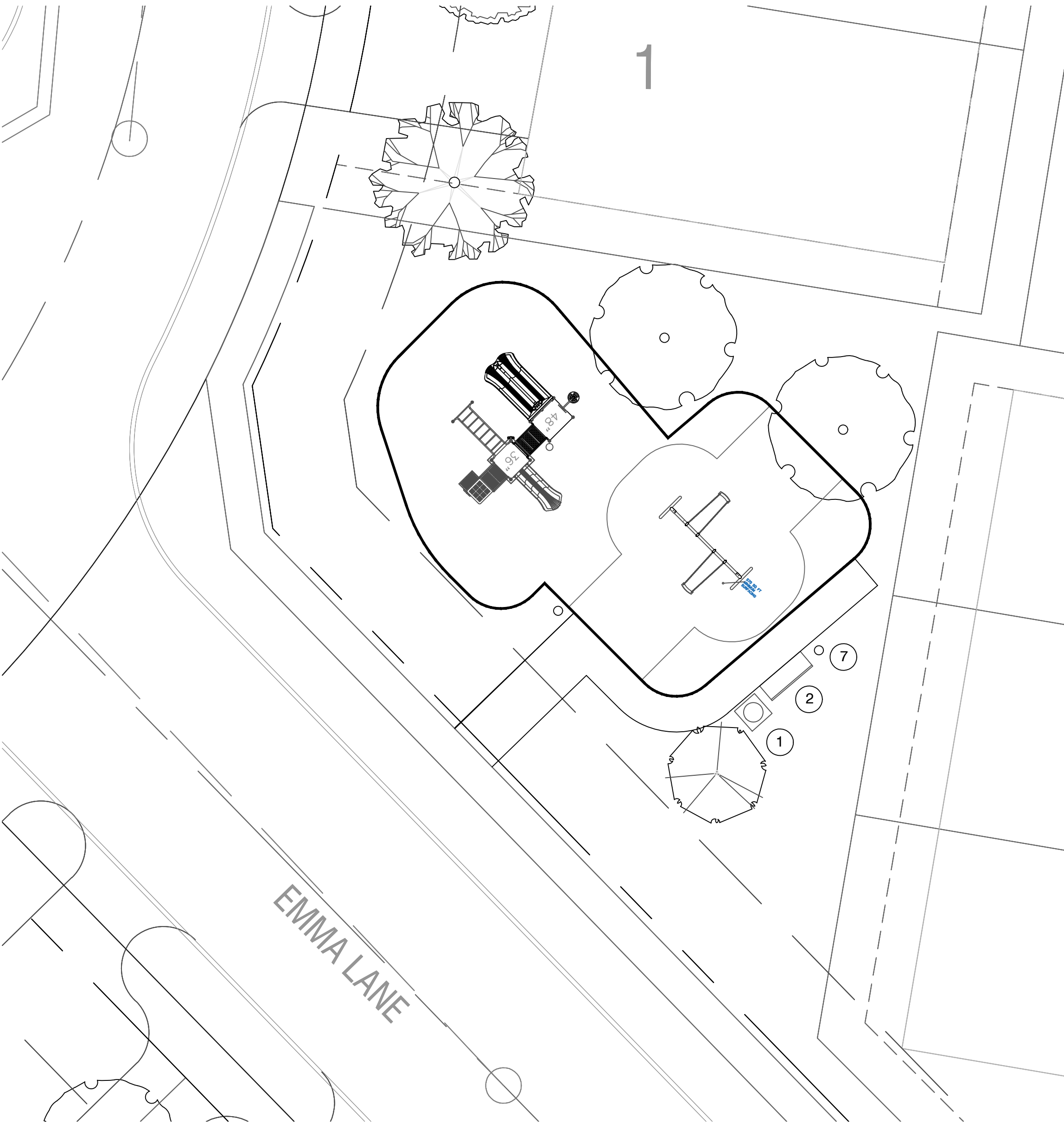
All Aluminum Construction



All Aluminum Construction

NOTE:

7 CLUSTER BOX UNITS PER MAIL CENTER  
(6- 16 A SIZE, TYPE III) = 6 X 16 = 96 A SIZE  
(1-13 A SIZE, TYPE V) = 1 X 13 =13 A SIZE  
TOTAL MAILBOXES = 109 A SIZE PLUS87 PARCEL LOCKERS



PLAYGROUND EQUIPMENT SHOWN IS FROM  
WILLYGOAT TOYS & PLAYGROUNDS  
[www.willygoat.com](http://www.willygoat.com)



23 MAY 24

EXHIBIT D

Owner:

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Tel: 214-918-2533

Engineer:

CCM Engineering  
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Planner:

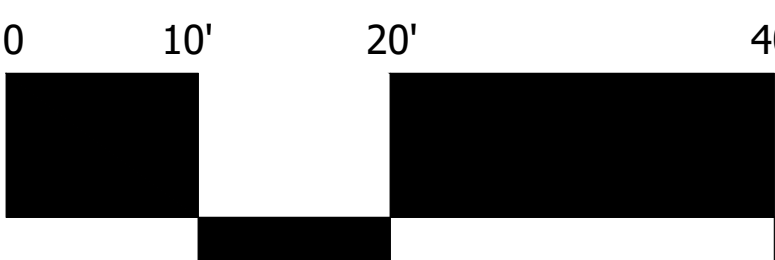
SAGE GROUP, INC.

Master Planning  
Urban Design  
Architecture  
Landscape Architecture  
1130 N. Carroll Ave., Ste. 200  
Southlake, Texas 76092  
817-424-2626

23 MAY 24



1" = 10'



Common Areas

Case No. 220517-2

Miller Estates

Garland, Dallas County, Texas




**Owner:**  
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4740 14th Avenue, Suite 320  
Plano, Texas 75074  
Tel: 214-918-2533

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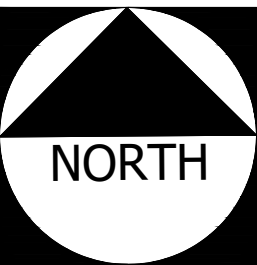
**Applicant:**  
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4740 14th Avenue, Suite T320  
Plano, Texas 75074  
Tel: 214-631-9286

**Planner:**



**SAGE GROUP, INC.**  
Master Planning  
Urban Design  
Architecture  
Landscape Architecture  
1130 N. Carroll Ave., Ste. 200  
Southlake, Texas 76092  
817-424-2626

23 MAY 24



NORTH

1" = 10'

0

10'

20'

40'

# HOA Lot

SITE FIXTURES		
SYMBOL	QTY.	SPECIFICATIONS
①	3	TRASH RECEPTACLES: MANUF. - VICTOR STANLEY MODEL: RB-36 36 GAL. SURFACE MOUNT COLOR: BLACK
②	3	BACKED BENCHES: STEELSITE RB COLLECTION MANUF. - VICTOR STANLEY MODEL: RB-28 6' SURFACE MOUNT COLOR: BLACK
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ACCESS FIXTURES  
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P: 1-800-278-4480

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VICTOR STANLEY ®  
P.O. Drawer 330  
DUNKIRK, MD 20754  
P: 1-800-2368-2573

2. COLOR FOR ALL: BLACK

3. BACKED BENCHES ARE TO BE (OR EQ.):

STEELSITES RB COLLECTION  
MODEL NO. RB-28  
SURFACE MOUNT 6' BENCHES

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MODEL NO. RB-36 36 GAL. SURFACE MOUNT

5. PICNIC TABLE:

STEELSITE RB COLLECTION  
MODEL NO. FRST-6 - 6'

6. GRILL:

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MODEL NO. STANDARD IN GROUND GRILL - IN GROUND  
SPEC SHEET: LC120-STD-IG

BIKE RACK: VICTOR STANLEY  
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COLLECTION -5 BIKE - SURFACE MOUNT  
COLOR: BLACK

All Aluminum Construction

All Aluminum Construction

NOTE:

7 CLUSTER BOX UNITS PER MAIL CENTER  
(6- 16 A SIZE, TYPE III) = 6 X 16 = 96 A SIZE  
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TOTAL MAILBOXES = 109 A SIZE PLUS87 PARCEL LOCKERS

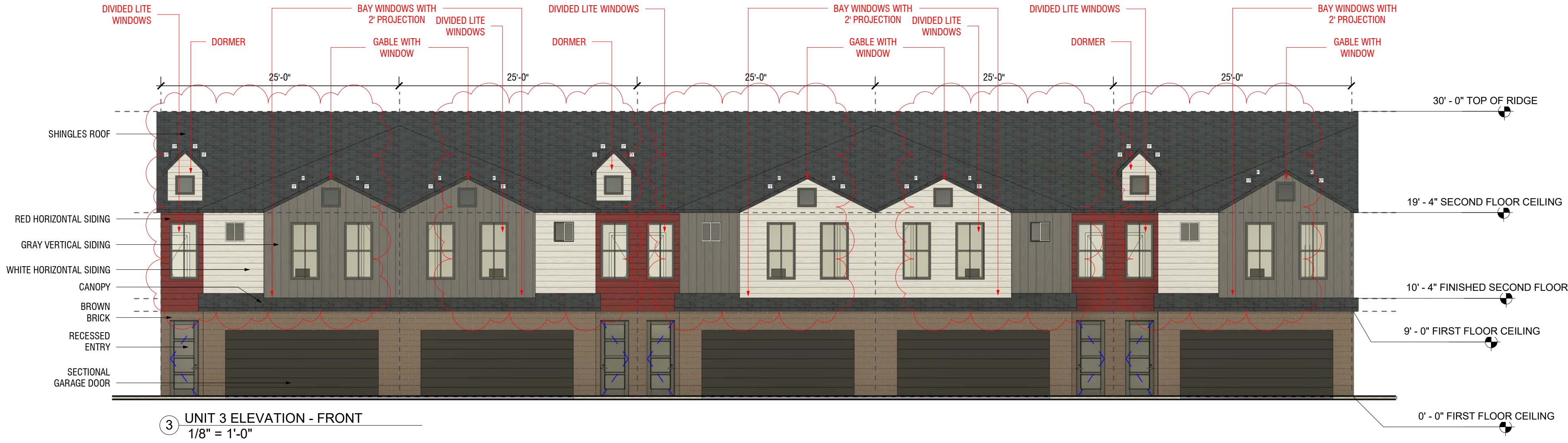
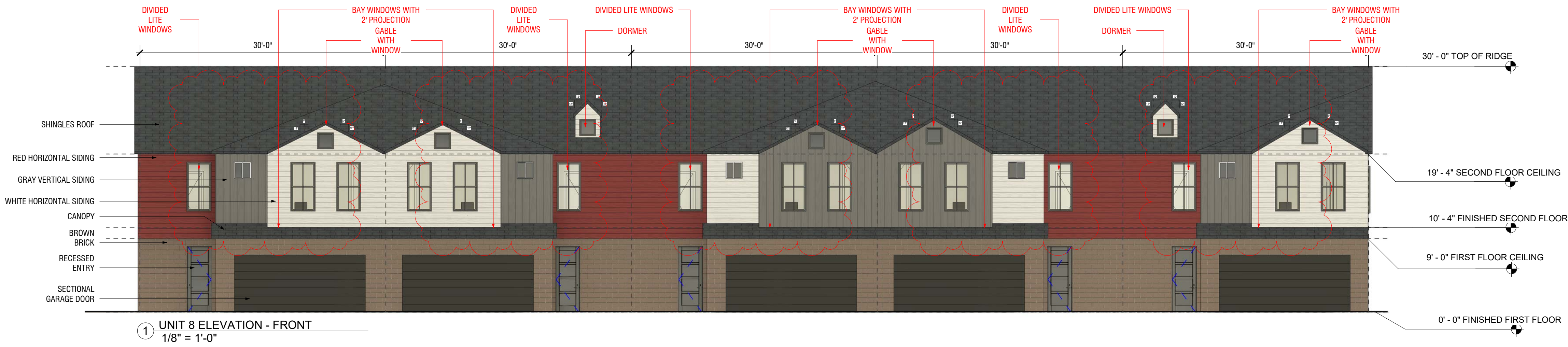
23 MAY 24

Case No. 220517-2

# Miller Estates

Garland, Dallas County, Texas





BUILDER

LONE STAR GREEN HOMES

DESIGNER

LONE STAR PLANS

CONSTRUCTION PLANS FOR :

2000 - 2050 MILLER ROAD

GARLAND TX

OWNERS STATEMENT

THE OWNER HAS REVIMED AND APPROVED  
THIS PLAN FOR CONSTRUCTION.

(SIGNATURE ON FILE)

DATE OF ISSUE: 22-May-2024 5:25:34 PM

REVISION NUMBER: 10

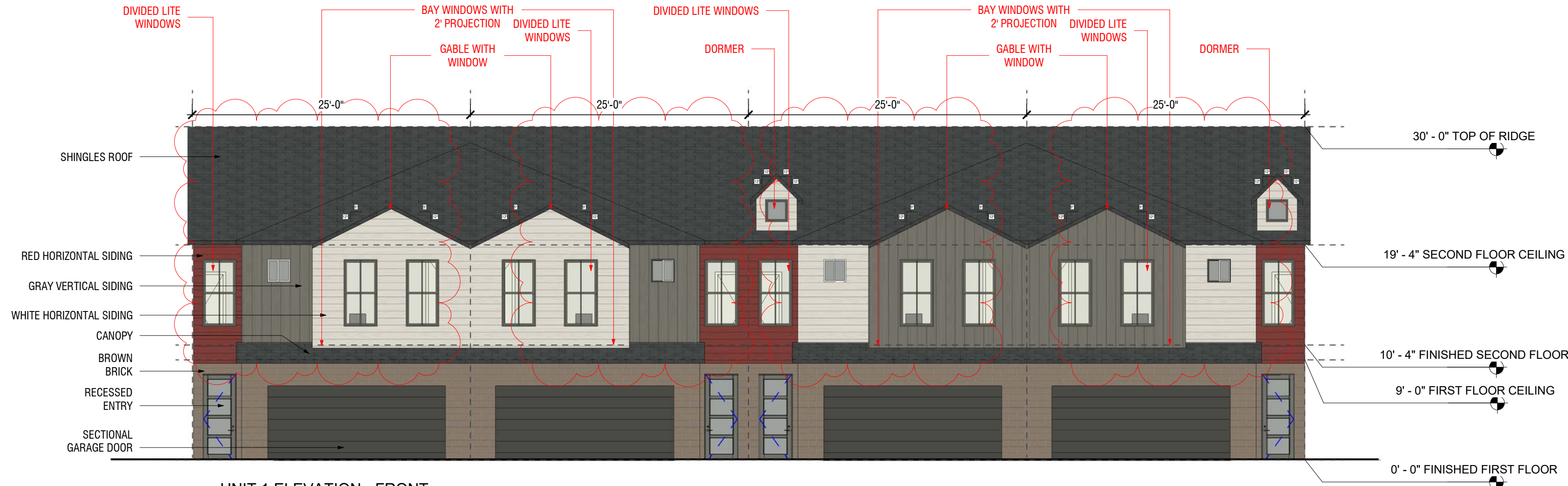
DRAWING TITLE:

ELEVATIONS

A-02.1

SHEET

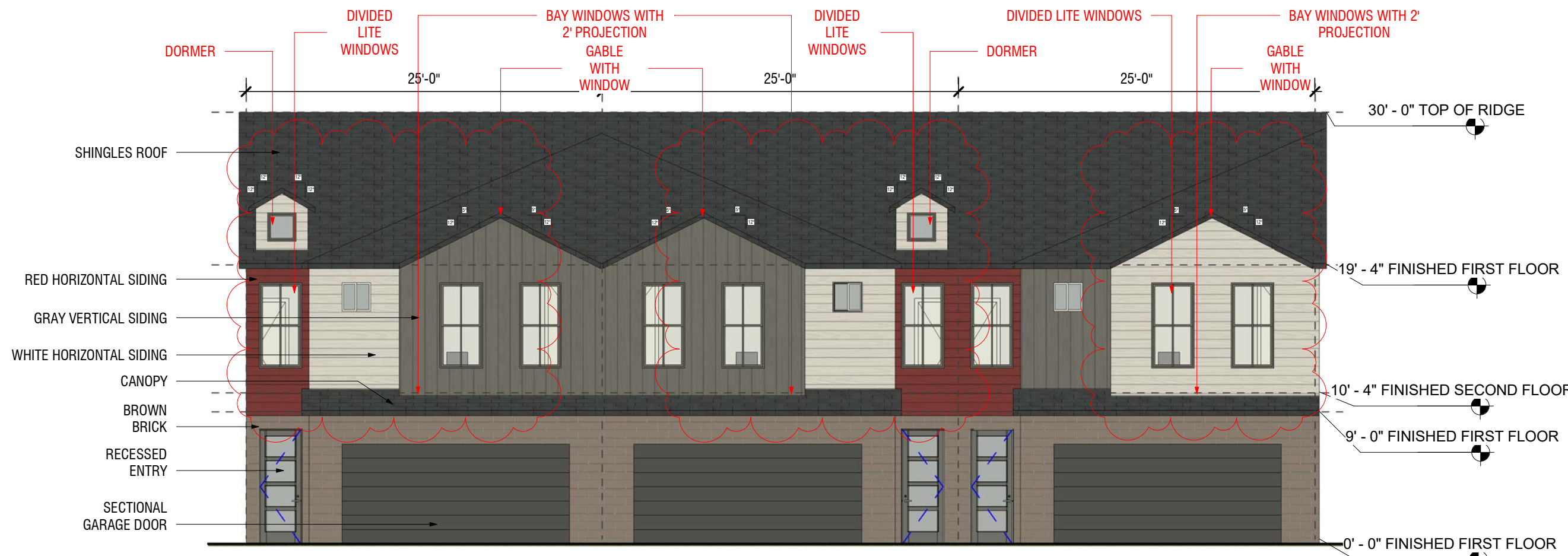




① UNIT 1 ELEVATION - FRONT  
1/8" = 1'-0"



② UNIT 1 ELEVATION - BACK  
1/8" = 1'-0"



③ UNIT 5 ELEVATION - FRONT  
1/8" = 1'-0"



④ UNIT 5 ELEVATION - BACK  
1/8" = 1'-0"

BUILDER

LONE STAR GREEN HOMES

DESIGNER

LONE STAR PLANS

CONSTRUCTION PLANS FOR :

2000 - 2050 MILLER ROAD  
GARLAND TX

OWNERS STATEMENT

THE OWNER HAS REVIMED AND APPROVED  
THIS PLAN FOR CONSTRUCTION.

(SIGNATURE ON FILE)

DATE OF ISSUE: 22-May-2024 5:25:39 PM

REVISION NUMBER: 10

DRAWING TITLE:

ELEVATIONS

A-02.2

SHEET



**Z 22-67**



View of the subject property



East of the subject property

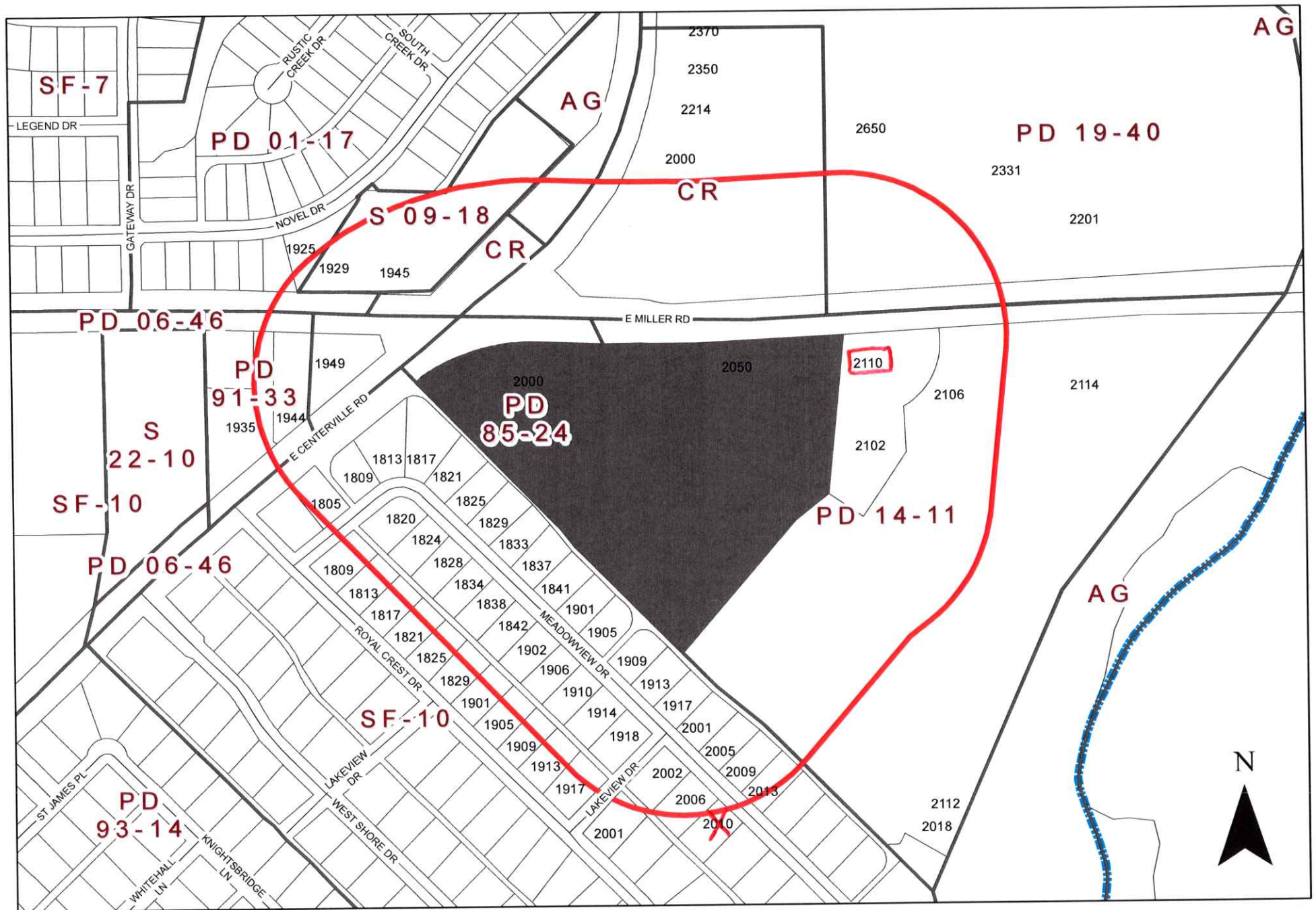


West of the subject property



South of the subject property





0 200 400 Feet  
1 inch = 307 feet

## ZONING MAP Z 22-67

INDICATES AREA OF REQUEST  
INDICATES NOTIFICATION AREA

2000 & 2050 East Miller Road



# Comment Form

## Case Z 22-67

Z 22-67 CCM Engineering . The applicant proposes ninety (90) townhouses and open space. The site is located at 2000 and 2050 East Miller Road (District 3)

Z 22-67 CCM Engineering. El solicitante propone noventa (90) casas adosadas y espacios abiertos. El sitio está ubicado en 2000 and 2050 East Miller Road (Distrito 3)

Z 22-67 CCM Engineering. Người nộp đơn đề xuất chín mươi (90) căn nhà phố và không gian mở. Địa điểm tọa lạc tại số 2000 and 2050 East Miller Road (Quận 3)

Please Check One Below / Marque uno a continuación / Vui lòng kiểm tra một bên dưới



For / A Favor / Đúng



Against / En Contra / Không

Please complete the following information and email the form to [Planning@garlandtx.gov](mailto:Planning@garlandtx.gov); deliver to the Planning Department at 800 Main Street Garland, TX; or mail to City of Garland, Planning Department, P.O. Box 469002 Garland, TX 75406-9002./ Por favor Complete la siguiente información y envíe el formulario por correo electrónico a [Planning@garlandtx.gov](mailto:Planning@garlandtx.gov); entregar al Departamento de Planificación en 800 Main Street Garland, TX; o envíelo por correo a City of Garland, Planning Department, P.O. Box 469002 Garland, TX 75406-9002./ Vui lòng điền đầy đủ thông tin sau và gửi biểu mẫu qua email tới [Planning@garlandtx.gov](mailto:Planning@garlandtx.gov); giao cho Phòng Kế hoạch tại 800 Main Street Garland, TX; hoặc gửi thư đến Thành phố Garland, Sở Kế hoạch, P.O. Hộp 469002 Garland, TX 75406-9002.

RONALD T EVANS - Sooner Ranch Properties

Printed Name & Title / Nombre Impreso y Título / Tên in và Tiêu đề

(Property Owner, Business Owner, Tenant, etc.) / (Dueño de la propiedad, Dueño de la empresa, Inquilino, etc.) / (Chủ sở hữu bất động sản, Chủ doanh nghiệp, Người thuê, v.v.)

2110 E Miller Rd & 2018 E. Miller Rd

Your Property Address / La dirección de su propiedad / địa chỉ tài sản

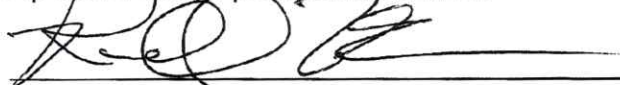
GARLAND

TX

City, State / Estado de la Ciudad / Thành bang

75044

Zip Code / Código postal / Mã Bưu Chính



6/4/24

Signature / Firma / Chữ ký

Date / Fecha / Ngày

(Providing email address and phone number is optional. / La dirección de correo electrónico y el número de teléfono son opcionales. / Địa chỉ email và số điện thoại là tùy chọn.)

Comment Form Continued –

## Case Z 22-67

The statements below reflect my (our) opinion regarding the proposed request(s).

Las declaraciones a continuación reflejan mi (nuestra) opinión con respecto a las solicitudes propuestas.

Các tuyên bố dưới đây phản ánh quan điểm của tôi (chúng tôi) về (các) yêu cầu được đề xuất

The proposed zoning is an appropriate use and consistent with the surrounding neighborhood and planned development directly across the street from the property.



From:  
To:  
Subject:  
Date:

staci  
Planning Group  
90 townhouses  
Wednesday, June 5, 2024 7:12:51 PM

Some people who received this message don't often get email from staci.hubbard@gmail.com. [Learn why this is important](#)

## Comment Form Case Z 22-67

Z 22-67 CCM Engineering . The applicant proposes ninety (90) townhouses and open space. The site is located at 2000 and 2050 East Miller Road (District 3)

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Please Check One Below / Marque uno a continuación / Vui lòng kiểm tra một bên dưới

☐

For / A Favor / Đúng

☒

Against / En Contra / Không

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Carole Holmes

Printed Name & Title / Nombre Impreso y Título / Tên in và Tiêu đề

(Property Owner, Business Owner, Tenant, etc.) / (Dueño de la propiedad. Dueño de la empresa, inquilino, etc.) / (Chủ sở hữu bất động sản, Chủ doanh nghiệp, Người thuê, v.v.)

2010 Meadowview Dr

Your Property Address / La dirección de su propiedad / địa chỉ tài sản

Garland TX

City, State / Estado de la Ciudad / Thành bang

75043

Zip Code / Código postal / Mã B u Chính

Carole Holmes

Signature / Firma / Chữ ký

6/5/2024

Date / Fecha / Ngày

(Providing email address and phone number is optional. / La dirección de correo electrónico y el número de teléfono son opcionales. / Địa chỉ email và số điện thoại là tùy chọn.)

Comment Form Continued -

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## GARLAND

### Plan Commission

3. c.

**Meeting Date:** 06/10/2024

**Item Title:** Z 24-15 2916 National, LP (District 5)

---

#### Summary:

Consideration of the application of **2916 National, LP.**, requesting approval of 1) a Change in Zoning from Industrial (IN) District to a Planned Development (PD) District for Industrial Uses and 2) a Detail Plan for Equipment Leasing/Rental, Outdoor Use. This property is located at 2916 and 3002 National Drive. (District 5) (File Z 24-15)

---

#### Attachments

Z 24-15 2916 National, LP Report & Attachments

Z 24-15 2916 National, LP Responses

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# ***Planning Report***

**File No: Z 24-15/District 5**

**Agenda Item:**

**Meeting: Plan Commission**

**Date: June 10, 2024**



**GARLAND**

TEXAS MADE HERE

## **REQUESTS**

Approval of 1) a Change in Zoning from Industrial (IN) District to a Planned Development (PD) District for Industrial Uses and 2) a Detail Plan for Equipment Leasing/Rental, Outdoor Use.

## **APPLICANT**

2916 National, LP.

## **OWNER**

2916 National, LP.

## **LOCATION**

2916 and 3002 National Drive

## **BACKGROUND**

The subject property consists of two lots. Lot 1 is developed with a 13,413 square-foot building that is used for Equipment Leasing/Rental, Indoor only. Lot 2 currently provides outside storage for equipment to support Lot 1.

The applicant requests to update the land use to Equipment Leasing/Rental, Outdoor for Lot 1 and Lot 2. In addition, outside storage that is more than fifty (50%) percent of the size of the primary building for an Equipment Leasing/Rental, Outdoor Use requires approval of a Specific Use Provisions through the Public Hearing process. The applicant requests to allow the use by right.

## **SITE DATA**

The overall subject property consists of approximately 2.97 acres. The site has approximately 330 linear feet of frontage along National Drive. The site can be accessed from National Drive.

## **USE OF PROPERTY UNDER CURRENT ZONING**

The subject property is currently zoned Industrial (IN) District. The Industrial (IN) district is intended to provide for a wide range of industrial uses that are generally not compatible adjacent to residential neighborhoods, and may or may not be compatible with some nonresidential uses. Such uses include manufacturing, processing, assembling, research and development, and warehousing and distribution. The Industrial district also accommodates support services for industrial development such as office, commercial, personal and professional services, and limited retail activities. The Industrial district regulations are designed to ensure compatibility among the various uses allowed in the district, and to protect adjacent non-industrial development from potentially incompatible uses and conditions.

The current land use on the property is Equipment Leasing/Rental, Indoor only, which is allowed in the Industrial (IN) District. The GDC defines this use as "An indoor facility that rents (usually on a short-term basis) tools, small household or gardening-related machines

(other than heavy machinery), party furnishings, and other equipment with no outside storage or display.”

## **CONSIDERATIONS**

### **1. Site Plan**

The site plan (Exhibit C) reflects a 13,413 square-foot building that is currently used for Equipment Leasing/Rental, Indoor only on Lot 1. Lot 2 is used for outside storage. The GDC allows the outside storage as an accessory use to the primary building. Lot 1 is the primary use in this instance. However, the GDC does not allow the outside storage to be located in front of the building. Additionally, the applicant is requesting to change the land use to Equipment Leasing/Rental, Outdoor to allow the outside storage component to be located in front of the building line.

The GDC defines an Equipment Leasing/Rental, Outdoor Use as “A facility that rents (usually on a short-term basis) tools, small household or gardening-related machines (other than heavy machinery), party furnishings, and other equipment. The term includes the outside display and storage of usable materials normally associated with the rental business (but not items such as unrelated scrap, junk, or trash.”

The applicant is also requesting to allow the outside storage as a “primary use” on Lot 2 to avoid combining the lots.

### **2. Parking**

This subject property meets the parking requirements for Equipment Leasing/Rental, Outdoor Use.

### **3. Screening and Landscaping**

The GDC requires a ten (10)-foot wide landscape buffer along National Drive and eleven (11) large canopy trees are required to be within the landscape buffer.

There are three (3) large canopy trees on Lot 1. The applicant is not proposing any new large canopy trees. However, the landscape plan (Exhibit D) reflects thirty-four (34) high-level screening shrubs along National Drive on Lot 2.

The outside storage component is currently screened with a chain-link fence around the perimeter of Lot 2. The applicant is enhancing the screening by proposing an eight (8)-foot ornamental fence with mesh fabric along National Drive. The remaining perimeter of Lot 2 will be chain-link fence with mesh fabric.

### **4. Building Design:**

The applicant is not proposing to expand the building. Therefore, this request does not trigger any building design standards.

### **5. Flexibilities:**

The applicant is requesting to allow the outside storage in front of the main building and on its own lot. The landscape plan (Exhibit D) reflects enhanced screening from a standard chain-link fence to an eight (8)- foot ornamental fence with mesh fabric along National Drive. Although large canopy trees are required within the landscape buffer, the



applicant proposes high-level screening shrubs on Lot 2 to screen and minimize the visibility of the equipment from National Drive.

**COMPREHENSIVE PLAN**

The Envision Garland Plan designates the subject property as Industry Center. Industry centers provide a cluster of trade and industry that cumulatively employ large numbers of people. Operations within this development type may require substantial infrastructure and may result in more significant negative impacts (sound, air, traffic, outdoor lighting, storage, etc.). Operations may include such elements as semi-truck traffic, loading docks, and visible outdoor storage. Overall, the architecture, character, scale, and intensity should be compatible with adjacent development types.

**ECONOMIC DEVELOPMENT STRATEGIC PLAN**

The proposed use is considered to be "Light Industrial" per the Economic Development Strategic Plan; this category represents a property tax revenue per acre at \$7,445.

**COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES**

The surrounding properties are zoned Industrial (IN) District. These properties are developed with warehouses, distribution centers, equipment leasing indoor/outdoor use and automobile repair use.

**STAFF RECOMMENDATION**

Approval of 1) a Change in Zoning from Industrial (IN) District to a Planned Development (PD) District for Industrial Uses and 2) a Detail Plan for Equipment Leasing/Rental, Outdoor Use.

**ADDITIONAL INFORMATION**

Location Map  
Exhibits  
PD Conditions  
Photos

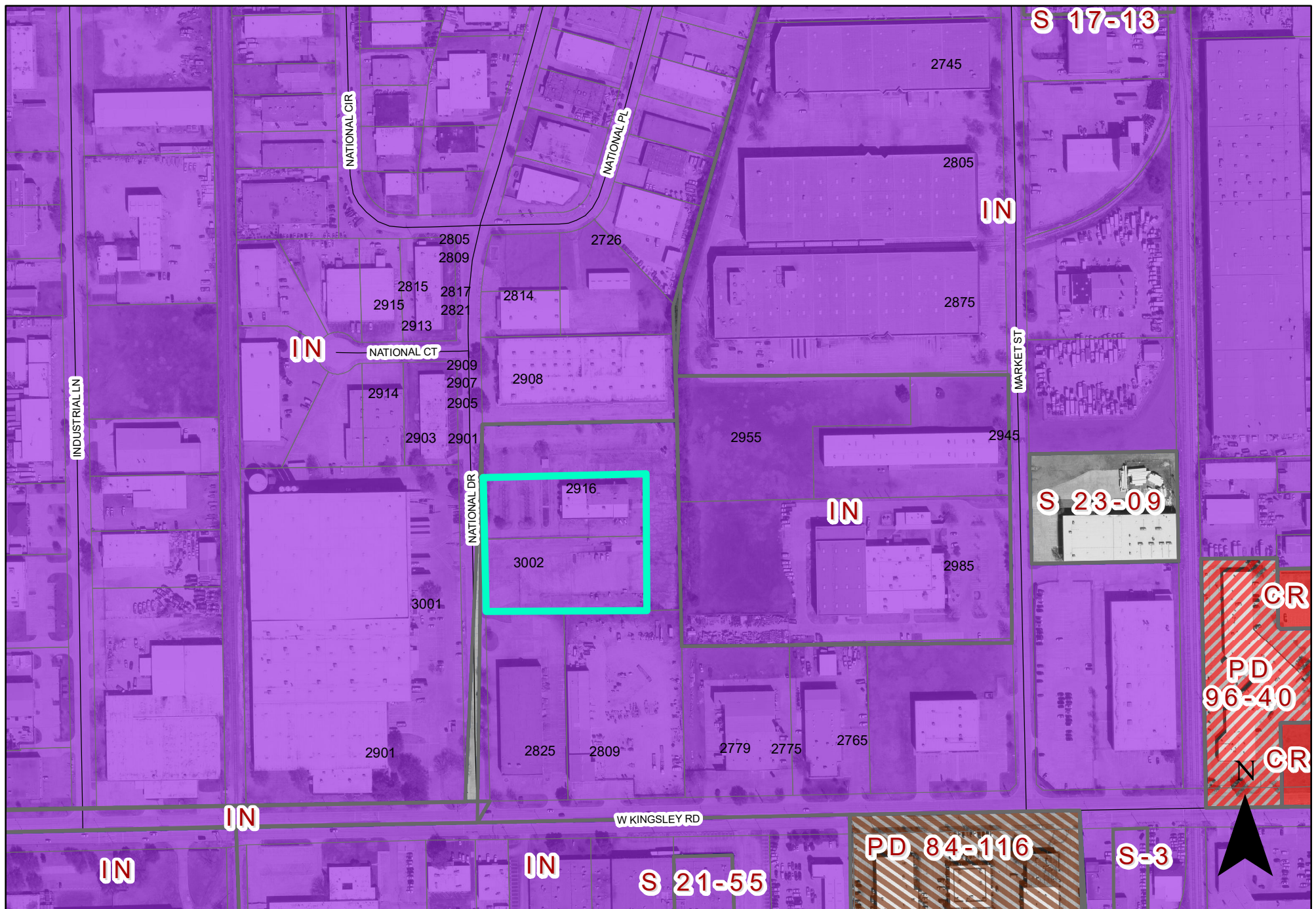
**CITY COUNCIL DATE:** July 2, 2024

**PREPARED BY:**

Nabiha Ahmed  
Lead Development Planner  
Planning & Development  
(972) 205-2453  
[nahmed@garlandtx.gov](mailto:nahmed@garlandtx.gov)

**REVIEWED BY:**

Angela Self, FAICP  
Interim Director of Planning



0 200 400 Feet  
1 inch = 306 feet

## ZONING MAP Z 24-15

 INDICATES AREA OF REQUEST

2916 and 3002 National Drive



**PLANNED DEVELOPMENT CONDITIONS**

**ZONING FILE Z 24-15**

**2916 and 3002 National Drive**

**I. Statement of Purpose:** The purpose of this Planned Development is to approve an Equipment Leasing/Rental, Outdoor Use.

**II. Statement of Effect:** This Planned Development shall not affect any regulation found in the Garland Development Code, Ordinance No. 6773, as amended prior to adoption of this ordinance, except as specifically provided herein.

**III. General Regulations:** All regulations of the Industrial (IN) District as set forth in Chapter 2 of the Garland Development Code are included by reference and shall apply, except as otherwise specified by this ordinance.

**IV. Development Plans:**

Detail Plan: Development shall be in general conformance with the Detail Plan labeled Exhibit C through Exhibit E. In the event there is conflict between the approved Detail Plan and the Specific Regulations below, the Specific Regulations shall apply.

**V. Specific Conditions:**

A. Permitted Use: All land uses permitted in the Industrial (IN) District. Additionally, the Equipment Leasing/Rental, Outdoor Use shall be permitted by right.

The Outside Storage shall be the primary use on Lot 2.

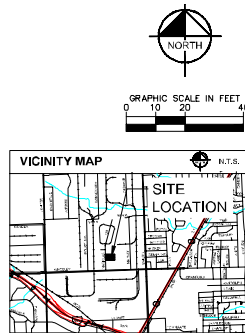
B. Site Plan: The site layout, building placement, parking, walking paths, and other development proposed shall be in general conformance with the approved Site Plan labeled Exhibit C.

C. Height: Materials stored outside shall not be stacked higher than eight (8) feet.

- D. Landscape Plan: Screening and landscaping shall be in general conformance with the landscape plan labeled Exhibit D. An eight (8)-foot ornamental fence shall be proposed along National Drive. The existing chain-link fence shall remain on the remaining perimeters of the property as reflected in Exhibit D. Opaque fabric shall be installed on all side fences enclosing the outside storage.
- E. Landscaping must be regularly maintained in a healthy, growing condition and in compliance with this PD Ordinance, the Garland Development Code, the Code of Ordinances of the City of Garland, and the landscaping plan attached hereto at all times. The property owner is responsible for regular weeding, mowing of grass, irrigation, fertilizing, pruning, or other maintenance of all plantings as needed. All exposed ground surfaces  
on or within the premises shall be properly improved, covered with screening or other approved solid material, or protected with a vegetative growth that prevents soil erosion and ameliorates objectionable dust conditions.
1. Any plant or vegetation that dies must be replaced with another approved plant variety that complies with the approved landscape plan within sixty (60) days after receipt of written notification from the City. In the event the property owner fails to remedy a violation of any landscaping maintenance regulation within sixty (60) days after receipt of written notification from the City, the City may, in addition to any other remedy available by law, withhold future city permits, licenses and/or certificates requested by the property owner for the premises to which such violation applies.
  2. Screening and paving must be regularly maintained in compliance with this PD Ordinance, the Garland Development Code, and the Code of Ordinances of the City of Garland at all times. The property



owner is responsible for regular maintenance of all screening and paving as needed. In the event the property owner fails to remedy a violation of any screening or paving maintenance regulation within sixty (60) days after receipt of written notification from the City, the City may, in addition to any other remedy available by law, withhold future city permits, licenses and/or certificates requested by the property owner for the premises to which such violation applies.



### LEGEND

	PROPERTY LINE
	EX. FIRE LINE
	EX. OVERHEAD ELECTRIC LINE
	EX. ME/AL FENCE
	PROP. ORNAMENTAL METAL FENCE
	PARKING STALL COUNT
	EX. FIRE HYDRANT
	EX. LIGHT POLE
	EX. LANDSCAPING AREA
	PROP. LANDSCAPING AREA (REF. LANDSCAPE PLAN)

## NOTES

1. EXISTING ZONING IS "M" INDUSTRIAL DISTRICT,  
PROPOSED ZONING IS "PD" PLANNED DEVELOPMENT
2. ALL EXISTING PAVEMENT TO REMAIN. NO PROPOSED  
PAVEMENT.

SITE TABLE (LOT 1)		
TOTAL SITE AREA	1.344 58,557.7	AC SF
TOTAL FLOOR AREA RATIO	0.23	
TOTAL IMPERVIOUS AREA	55,190	SF
PERC. OF IMPERVIOUS COVER	94%	
TOTAL LANDSCAPE AREA	3,368	SF
PERC. OF LANDSCAPE AREA	6%	
BUILDING COVERAGE	23%	

TOTAL SITE AREA	1.6247 70,771.9	AC SF
TOTAL FLOOR AREA RATIO	-	
TOTAL IMPERVIOUS AREA	68.295	SF
PERC. OF IMPERVIOUS COVER	96.5%	
TOTAL LANDSCAPE AREA	2.507	SF
PERC. OF LANDSCAPE AREA	3.5%	
BUILDING COVERAGE	-	

PARKING REQUIREMENT TABLE		
PARKING REQUIRED		
REQUIRED RATIO	SF	REQUIRED PARKING
1/600 GFA	13,413	23
PARKING PROVIDED		
REGULAR SPACES		3
HANDICAPPED SPACES		
TOTAL		3

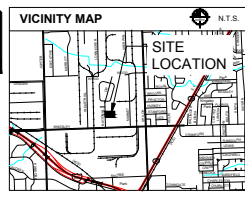
BUILDING SETBACKS	
FRONT YARD SETBACK	30'
INTERIOR SIDE AND REAR YARD SETBACK	N/A

BUILDING TABLE					
BUILDING	GROSS SQUARE FOOTAGE (SF)	MAX HEIGHT	HEIGHT OF BUILDING	FFE	NUMBER OF STORES
1	13,413	N/A	16.2	584.35	1

**OWNER:**  
2916 NATIONAL PARTNERS, LLC.  
720 Fayette Ave., Suite 700  
Conshohocken, PA 19428  
Tel. No. 215-967-8830  
Contact: Liam Sullivan

**CIVIL ENGINEER:**  
KIMLEY-HORN AND ASSOCIATES, INC.  
801 Cherry St., Suite 1300, Unit 1  
Fort Worth, Texas 76102  
Tel. No. 817-770-1342  
Contact: Jennifer G. Garrett, P.E.





PLANT SCHEDULE					
<u>CUL</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>REMARKS</u>
UC	2		ULMUS CRASSIFOLIA / CEDAR ELM	3" CAL, 14' HT, 6" SPR	FULL, STRAIGHT, SINGLE LEADER
DOH	34		ILEX X 'NELLIE R. STEVENS' / NELLIE R. STEVENS HOLLY	36" HT, 24" SPR, 48" OC	FULL AND MATCHING, 36" HT MIN. AT PLANTING (6-8 MATURE HT)
MUH	62		MULLENBERGIA CAPILLARIS / PINK MUHLY	24" HT, 36" OC	FULL AND MATCHING
<b>SOIL AND COVERS</b>					
SD	5,097 SF		CYNODON DACTYLON / COMMON BERMAUDA GRASS	N/A	SODS TO HAVE TIGHT, SAND FILLED JOINTS AND BE FREE OF WEEDS.

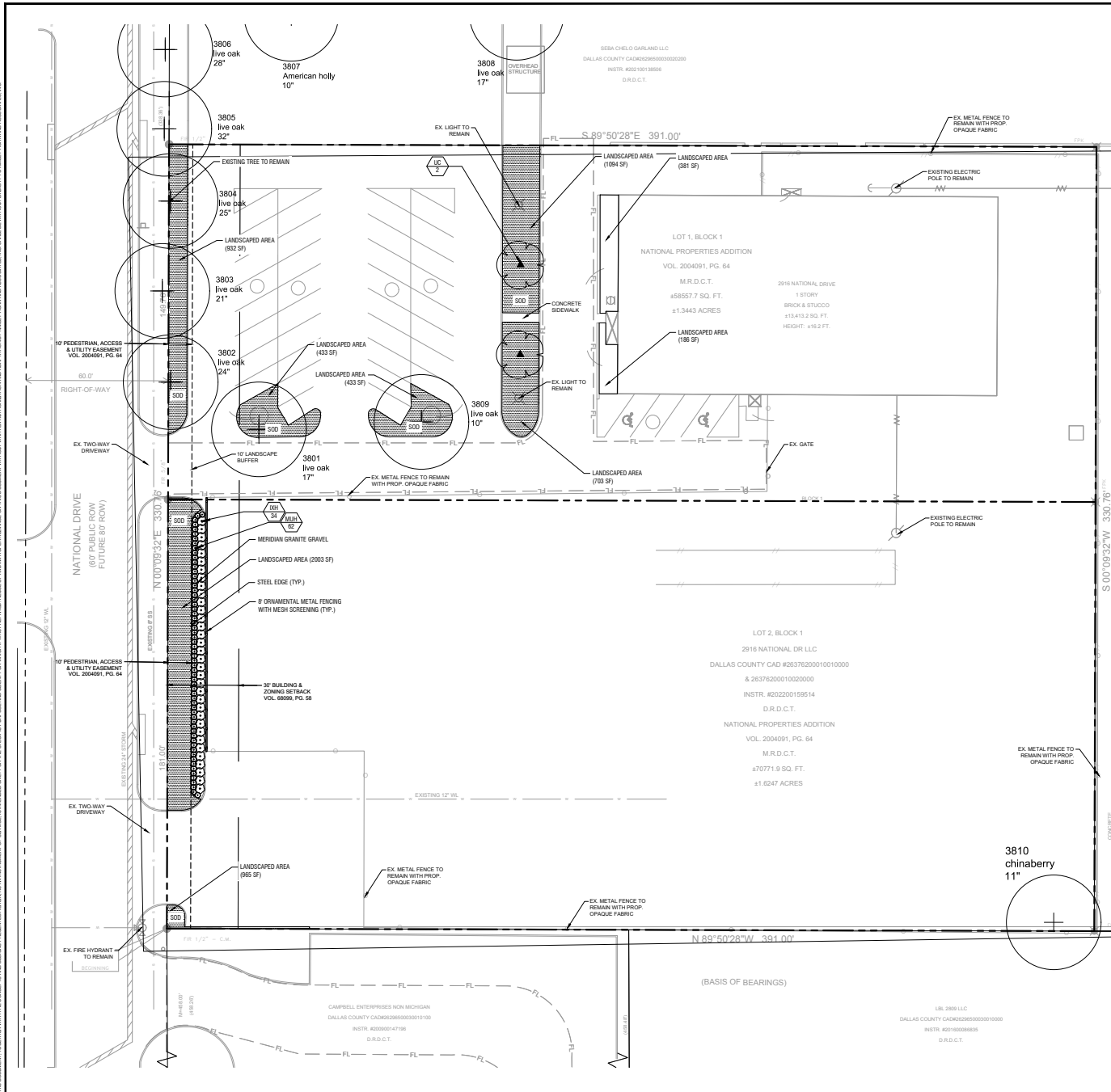
Alterra Garland - Tree Inventory Garland, Dallas County, Texas					
TAG #	DBH	COMMON NAME	SCIENTIFIC NAME	CONDITION	MULTIPLE-STEMMED
3801	16.6	live oak	<i>Quercus virginiana</i>	Healthy	Multi
3802	23.9	live oak	<i>Quercus virginiana</i>	Healthy	Multi
3803	21.2	live oak	<i>Quercus virginiana</i>	Healthy	Multi
3804	24.6	live oak	<i>Quercus virginiana</i>	Healthy	Multi
3805	32.1	live oak	<i>Quercus virginiana</i>	Healthy	Multi
3806	28.2	live oak	<i>Quercus virginiana</i>	Healthy	Multi
3807	9.6	American holly	<i>Ilex opaco</i>	Healthy	Multi
3808	16.7	live oak	<i>Quercus virginiana</i>	Healthy	Single
3809	10.5	live oak	<i>Quercus virginiana</i>	Healthy	Single
3810	11.1	chinkapin	<i>Melia azedarach</i>	Healthy	Multi

Kinney Horn red tag series: Trees measuring 6 inches and larger DBH were tagged in accordance with the City of Garland Ordinance.

<b>OWNER:</b> 2916 NATIONAL PARTNERS, LLC 720 Fayette Ave., Suite 700 Chicago, IL 60611 Tel. No. 215-667-6830 Contact: Liam Sullivan	<b>CIVIL ENGINEER:</b> KIMLEY-HORN AND ASSOCIATES, INC. 801 Cherry St., Suite 1300, Unit 11 Fort Worth, Texas 76102 Tel. No. 972-770-1343 Contact: Jennifer G. Gansert, P.E.	<b>LANDSCAPE ARCHITECT:</b> KIMLEY-HORN AND ASSOCIATES, INC. 801 Cherry St., Suite 1300, Unit 11 Fort Worth, Texas 76102 Tel. No. 817-339-2277 Contact: John A. Fielder, P/LA
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# EXHIBIT D

NAMES  
 ORIGIN  
 COMMENTS  
 XREF source - XREF serial - XREF offset - XREF s2s6 LAIP - XREF sTree - XREF sPhat\_Update  
 SHEET ALL DONE 5/2024 5:50 PM  
 PRINTED BY



**Z 24-15**



Looking north of the subject site from National Drive



Looking at the northern lot of the subject property



Southern lot of the subject property



West of the subject property





To date we have not received any responses for this case.





## GARLAND

### Plan Commission

3. d.

Meeting Date: 06/10/2024

Item Title: Z 24-22 OSI 1602 Kings Rd., LLC (District 6)

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#### Summary:

Consideration of the application of **OSI 1602 Kings Rd, LLC.**, requesting approval of 1) a Specific Use Provision (SUP) for a Truck/Bus Storage Use 2) a Concept Plan for a Truck/Bus Storage Use and 3) a Development Variance for a complete waiver of a landscaping provision preventing fencing from being in the landscape buffer. This property is located at 1602 Kings Road. (District 6) (File Z 24-22)

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#### Attachments

Z 24-22 OSI 1602 Kings Rd., LLC Report & Attachments

Z 24-22 OSI 1602 Kings Rd., LLC Responses

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# ***Planning Report***

**File No: Z 24-22/District 6**

**Agenda Item:**

**Meeting: Plan Commission**

**Date: June 10, 2024**



**GARLAND**

TEXAS MADE HERE

## **REQUESTS**

Approval of 1) a Specific Use Provision (SUP) for a Truck/Bus Storage Use 2) a Concept Plan for a Truck/Bus Storage Use and 3) a Development Variance for a complete waiver of a landscaping provision preventing fencing from being in the landscape buffer.

## **APPLICANT**

OSI 1602 Kings Rd, LLC

## **OWNER**

OSI 1602 Kings Rd, LLC

## **LOCATION**

1602 Kings Road (Southern Parcel)

## **BACKGROUND**

The subject property is a 8.255-acre site that is currently used for truck and trailer storage as an accessory use to the distribution center directly to the east. The site is half paved and half gravel.

The applicant requests a Specific Use Provision (SUP) for Truck/Bus Storage use to make it the primary use for the site, in turn allowing other trucking companies to use it for a fee. The gravel will be replaced with pavement and an office will also be provided per GDC standards.

## **SITE DATA**

The overall subject property consists of approximately 8.255 acres. The site has approximately 900 linear feet of frontage along Kings. The site also has approximately 286 linear feet of frontage along Miller Road, where a proposed detention pond will be. The site can be accessed from one (1) point along Kings Road.

## **USE OF PROPERTY UNDER CURRENT ZONING**

The subject property is currently zoned Industrial (IN) District. The Industrial (IN) district is intended to provide for a wide range of industrial uses that are generally not compatible adjacent to residential neighborhoods, and may or may not be compatible with some nonresidential uses. Such uses include manufacturing, processing, assembling, research and development, and warehousing and distribution. The Industrial district also accommodates support services for industrial development such as office, commercial, personal and professional services, and limited retail activities. The Industrial district regulations are designed to ensure compatibility among the various uses allowed in the district, and to protect adjacent non-industrial development from potentially incompatible uses and conditions.

The current land use on the property is as an accessory use Truck Storage to the distribution center to the East.



## **CONSIDERATIONS:**

### **Development Variance**

1. The GDC does not allow fencing within the landscape buffer. However, the applicant proposes to keep the existing chain link fence in the landscape buffer.
2. In exchange the applicant proposes increased landscaping that will exceed GDC standards, to increase perimeter landscape buffers for improved screening of parking areas and within the site to improve aesthetics, as conveyed through the Concept Plan.

### **Specific Use Provision**

1. The applicant proposes to construct a truck storage site and an office building in the Southern parcel, meeting the GDC requirement.
2. Landscaping will exceed the applicable screening and landscaping standards per the GDC to increase perimeter landscape buffers for improved screening of parking areas and within the site to improve aesthetics, as conveyed through the Concept Plan.
3. The Building Elevations will comply with the Building Design standards per the GDC.
4. The applicant requests the Specific Use Provision for a period of thirty-five (35) years, which aligns with the SUP Time Period Guide.
5. The hours of operation will be all day each day of the week.

## **COMPREHENSIVE PLAN**

Industry centers provide a cluster of trade and industry that cumulatively employ large numbers of people. Operations within this development type may require substantial infrastructure and may result in more significant negative impacts (sound, air, traffic, outdoor lighting, storage, etc.). Operations may include such elements as semi-truck traffic, loading docks, and visible outdoor storage. Overall, the architecture, character, scale, and intensity should be compatible with adjacent development types. Industry centers are generally located along major arterial streets, and highways and at significant transit areas (bus/ rail). Site design addresses function and visual aesthetics that provide appropriate buffering at gateway corridors, between adjacent developments, and for residential neighborhoods.

## **ECONOMIC DEVELOPMENT STRATEGIC PLAN**

The Economic Development Strategic Plan highlights Stand Alone Commercial as bringing in \$5,380 revenue per acre. The Plan notes the number of auto-related uses in Garland as well.

## **COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES**

The surrounding properties are entirely zoned Industrial (IN) District and contain uses such as warehousing, distribution centers, manufacturing, and other various industrial uses that are allowed by right within the district.

## **STAFF RECOMMENDATION**

Denial of 1) a Specific Use Provision (SUP) for a Truck/Bus Storage Use 2) a Concept Plan for a Truck/Bus Storage Use and 3) a Development Variance for a complete waiver of a landscaping provision preventing fencing from being in the landscape buffer.

Staff finds that this use on this parcel of land will not bring in adequate revenue per acre per the Economic Development Strategic Plan.

The proposed development variance leaves a chain link fence with barbed wire in the middle of a landscape buffer with little room for proposed landscaping, especially on the street side. In addition, the trees will be at risk of growing into the barbed wire and chain link as well as being too close to maintain properly and safely.

**ADDITIONAL INFORMATION**

Location Map  
Exhibit  
SUP Conditions  
Photos

**CITY COUNCIL DATE:** July 2, 2024

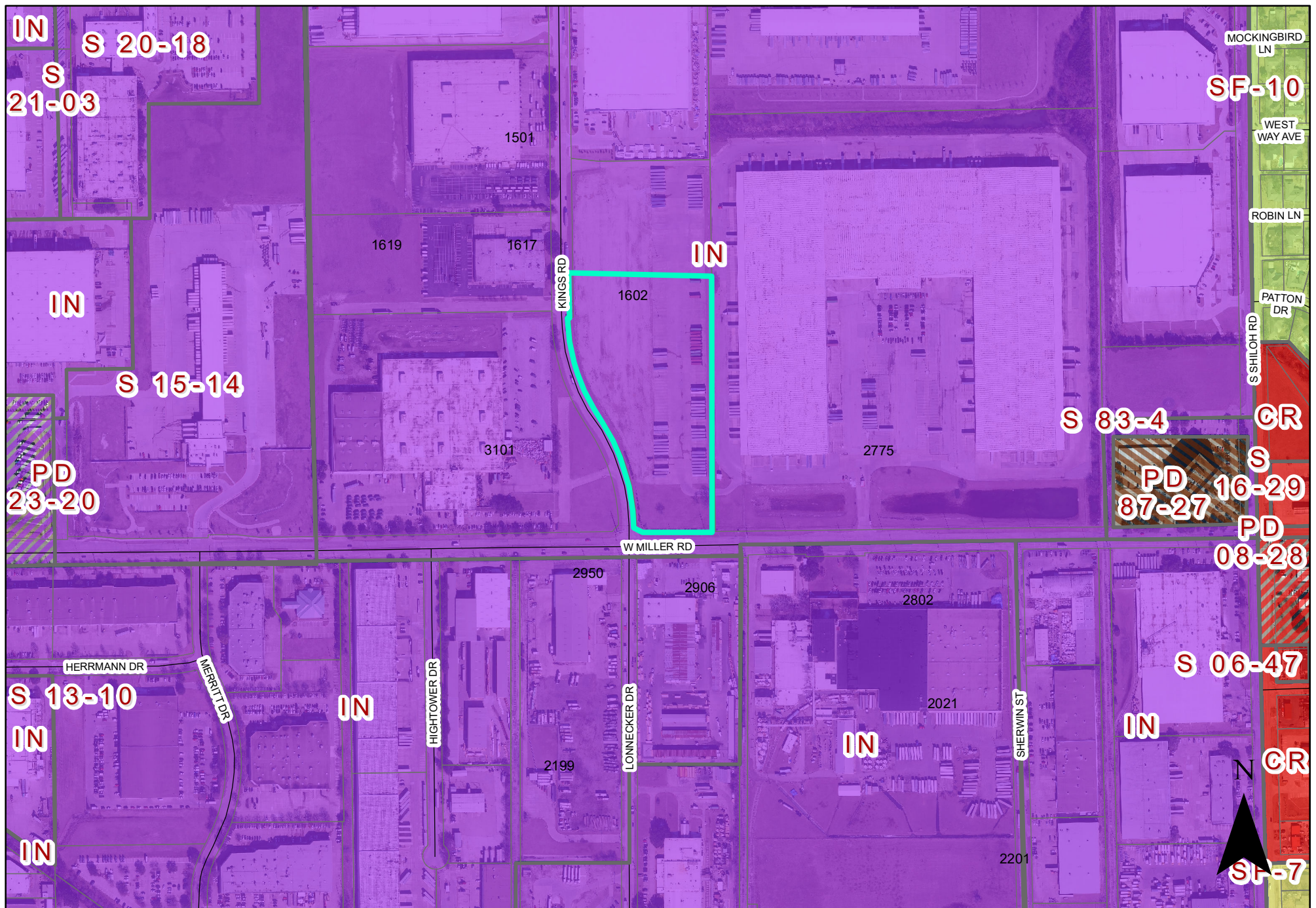
**PREPARED BY:**

Matthew Wolverton  
Development Planner  
Planning & Development  
(972) 205-2454  
[mwolverton@garlandtx.gov](mailto:mwolverton@garlandtx.gov)

**REVIEWED BY:**

Angela Self, FAICP  
Interim Director of Planning





0 310 620 Feet  
1 inch = 477 feet

## ZONING MAP Z 24-23

INDICATES AREA OF REQUEST

**1602 Kings Road (southern parcel)**

## **SPECIFIC USE PROVISION CONDITIONS**

### **ZONING FILE 24-22**

#### **1602 Kings Road (Southern Parcel)**

- I. Statement of Purpose:** The purpose of this Specific Use Provision is to allow a Truck/Bus Storage Use subject to conditions.
- II. Statement of Effect:** This Specific Use Provision shall not affect any regulation found in the Garland Development Code, Ordinance No. 6773, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. General Regulations:** All regulations of the Industrial (IN) District as set forth in Chapter 2 of the Garland Development Code are included by reference and shall apply, except as otherwise specified by this ordinance.
- III. Abandonment:** In the event the land use for which this Specific Use Provision was granted ("Land Use") is abandoned, the SUP and all rights to the Land Use are automatically terminated, and the premises must be used in conformance with the PD, GDC, federal, and state law.

For the purposes of this Specific Use Provision, Abandonment is any of the following acts:

- A. A failure to apply for a site or building permit on the premises, where applicable, within 180 days of the effective date of this SUP;
- B. A failure to obtain a certificate of occupancy for the Land use within 730 days of the effective date of this SUP;
- C. A failure to commence operating the Land Use on the premises within 90 days of receiving a final certificate of occupancy for the Land Use;
- D. Discontinuance of the Land Use for a period of 180 days;
- E. Applying for, and receiving, a new Certificate of Occupancy for a use other than the Land Use; or
- F. Operating a use on the premises, whether as a primary or secondary use, that is not allowed within



the PD District, by the GDC, or by state or federal law.

The termination of utilities on the premises for a period of 180 calendar days is prima facie evidence of abandonment and the owner shall have the burden to prove that the Land Use has not been abandoned.

**IV. General Regulations:** All regulations of the Industrial (IN) District as set forth in Chapter 2 of the Garland Development Code, Ordinance 6773, are included by reference and shall apply, except as otherwise specified by this ordinance.

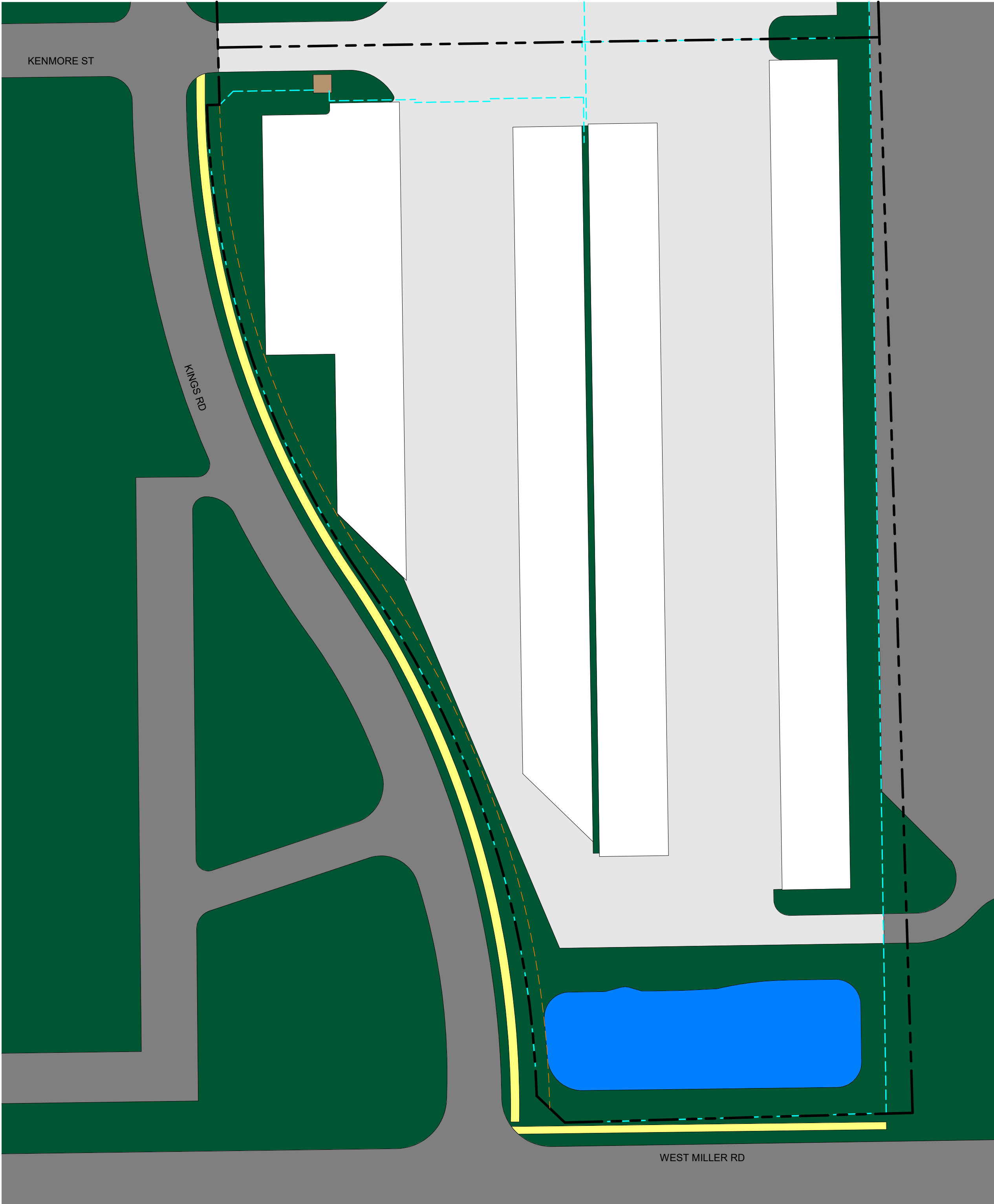
**V. Development Plans:**

Site Layout: The site shall be in general conformance with the approved Concept Plan labeled Exhibit C. In the event of conflict between the conditions and the site plan, the written conditions listed below are to apply.

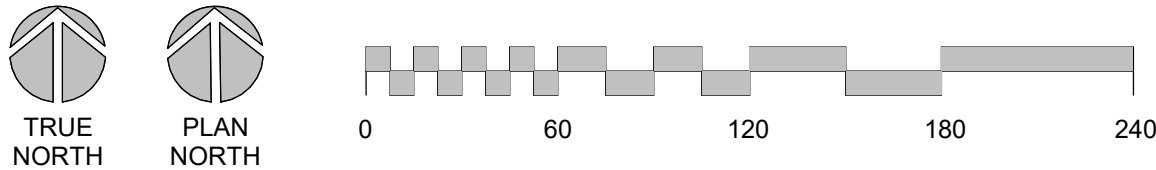
**VI. Specific Regulations:**

A. Time Period: The Specific Use Provision shall be in effect for period of thirty-five (35) years.

B. Concept Plan: Development shall be in general conformance with the concept plan labeled Exhibit C.



1 Preliminary Site Plan  
1" = 60'-0"



CONSTRUCTION • ARCHITECTURE

PARKWAY

1000 Civic Circle Lewisville, TX 75067  
parkwayconstruction.com (972) 221-1979



Concept Plan - South

Outour Storage Investments  
1602 Kings Road  
Garland, Texas 75041

A1-2

Project Information

Land Use: Industrial (IN)  
Site Area for the South Lot: 8.255 Acres

Owner / Client:  
OSI Group LLC  
800 Brickell Ave.  
Suite 904  
Miami, FL 33131  
Contact: Andrew T. Smith  
eMail: asmith@outourstorage.com  
Tel: 618.713.3391

Architect:  
Parkway C&A  
1000 Civic Circle  
Lewisville, TX 75067  
Contact: Chris A. Rutledge, AIA  
eMail: crutledge@pkwycon.com  
Tel: 469.704.3459

Engineer:  
Halff  
1201 N Bowser Rd.  
Richardson, TX 75081  
Contact: Jose I. Garcia, Jr.  
eMail: jgarcia@halff.com  
Tel: 214.346.6200

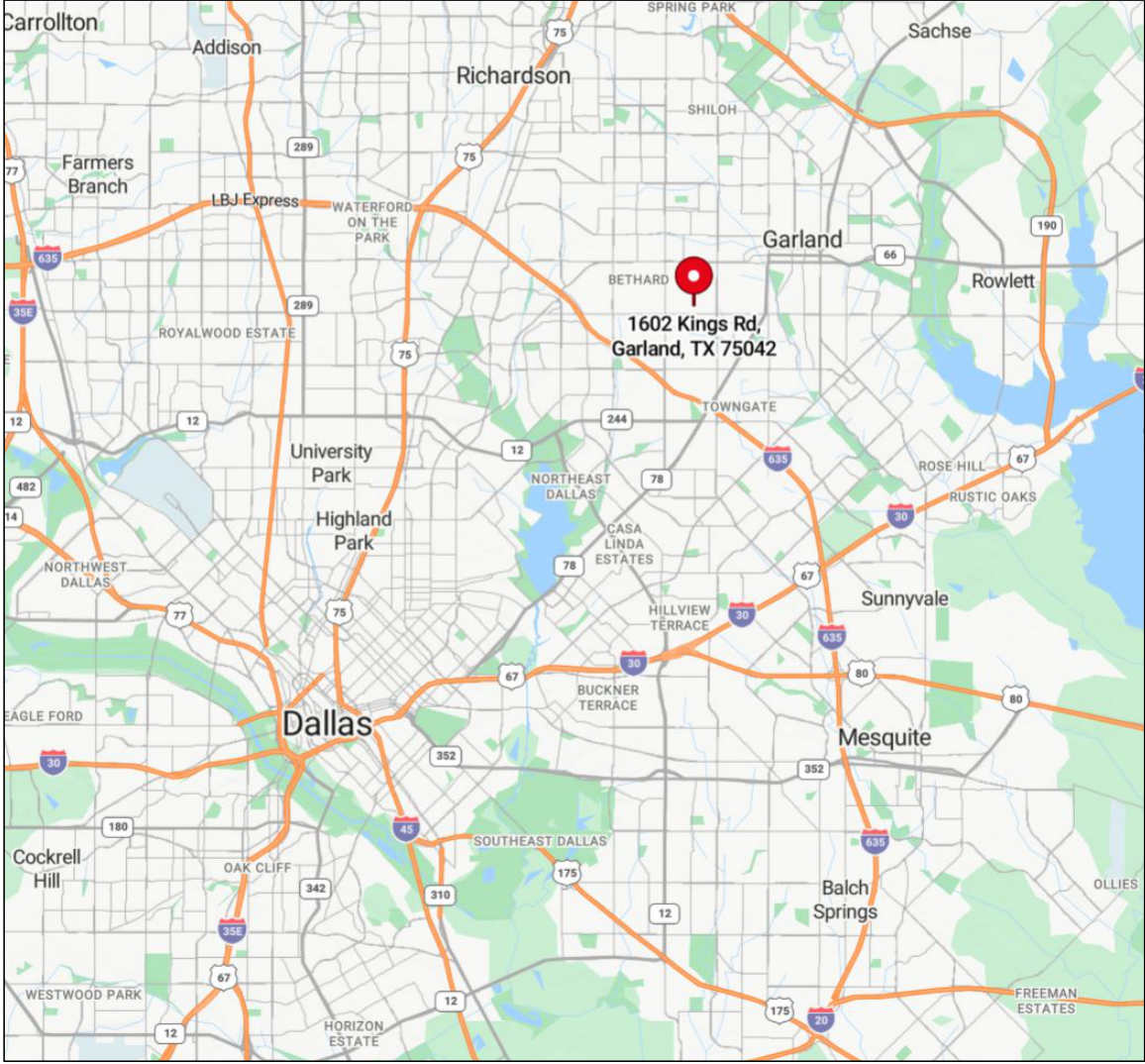
FIT Case Number: 24013-1  
Case: Z24-23

Site design and construction plans shall conform to all requirements of the Garland Development Code (GDC), Technical Standard Manual (TSM), and City codes unless an approved PD narrative condition expressly provides otherwise. The concept plan shall be used to represent the general idea of the proposed land use and site elements. The concept plan shall not supersede, and shall be subordinate to, the standards, requirements, and conditions of the GDC, TSM, City code, or the approved PD.

South Site Plan Legend

- Site Pavement
- Existing Road / Adjacent Lot
- Proposed Building
- Landscape
- Proposed Detention Pond
- Proposed Parking
- Proposed Sidewalk
- Property Separation Line
- Proposed Fence Line
- Pedestrian & Utility Easement Line

Vicinity Plan





## **Z 24-22**



Looking East toward the subject property



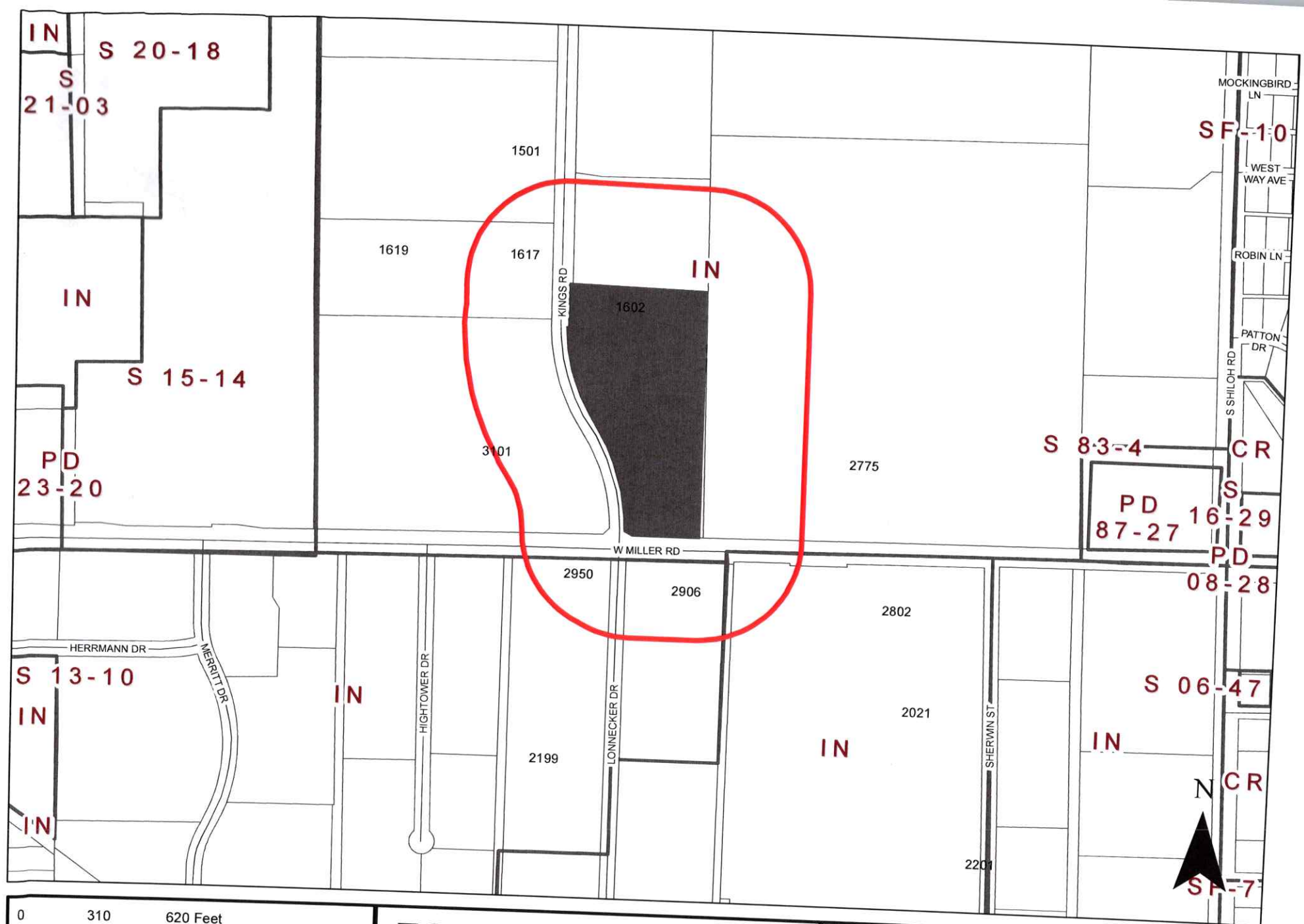
Looking West across Kings Road



Looking North up Kings Road



Looking South down Kings Road toward Miller Road





# Zoning Response Case Comments

Case Number	PC Hearing Date	CC Hearing Date	Planner Name
Z 24-22	June 10, 2024	July 2, 2024	Matthew Wolverton

OSI 1602 Kings Rd, LLC. The applicant proposes a Truck Storage Use on the subject property. The site is located at 1602 Kings Road. (District 6)

**Bill Warburton**

**Against**

6/4/2024  
5:04:02 PM

1017 Carriagehouse Ln

Garland

Texas

United States

75040

**Outside the Notification Area**

This property is one of the few larger areas in the industrial area left. It shouldn't be used to park trucks. There are better options available. Truck storage does not seem to generate jobs or taxable value to the community. And, just like other "storage" uses it will likely never change once it is allowed unless it gets zoned out somehow because overhead costs on storage businesses are incredibly low and parking fees are almost purely profit. For someone to change it, they would basically have to purchase the property for the price of the cashflow because almost no other city within the nearby area would allow something similar. So, there would likely be nowhere for the business to relocate. There is also no guarantee that the trucks stored at this facility will be working or in good shape. Since this is also paired with truck repair, I would be highly concerned that there would be non-operating trucks sitting on the lot for months at a time.



## GARLAND

### Plan Commission

3. e.

Meeting Date: 06/10/2024

Item Title: Z 24-23 OSI 1602 Kings Rd., LLC (District 6)

---

#### Summary:

Consideration of the application of **OSI 1602 Kings Rd, LLC.**, requesting approval of 1) a Specific Use Provision (SUP) for a Truck/Bus Repair Use & Truck/Bus Storage Use on a property zoned Industrial (IN) District and 2) a Concept Plan for a Truck/Bus Repair Use & Truck/Bus Storage Use and 3) a Development Variance for a complete waiver of a landscaping provision preventing fencing from being in the landscape buffer. This property is located at 1602 Kings Road. (District 6) (File Z 24-23)

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#### Attachments

Z 24-23 OSI 1602 Kings Rd., LLC Report & Attachments

Z 24-23 OSI 1602 Kings Rd., LLC Responses

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# ***Planning Report***

**File No: Z 24-23/District 6**

**Agenda Item:**

**Meeting: Plan Commission**

**Date: June 10, 2024**



**GARLAND**

TEXAS MADE HERE

## **REQUESTS**

Approval of 1) a Specific Use Provision for a Truck/Bus Repair Use & Truck/Bus Storage Use on a property zoned Industrial (IN) District and 2) a Concept Plan for a Truck/Bus Repair Use & Truck/Bus Storage Use and 3) a Development Variance for a complete waiver of a landscaping provision preventing fencing from being in the landscape buffer.

## **APPLICANT**

OSI 1602 Kings Rd, LLC

## **OWNER**

OSI 1602 Kings Rd, LLC

## **LOCATION**

1602 Kings Road (Northern Parcel)

## **BACKGROUND**

The subject property is a 6.644-acre site that is currently used for truck and trailer storage as an accessory use to the distribution center directly to the east. The site is half paved and half gravel.

The applicant requests a Specific Use Provision (SUP) for Truck/Bus Storage use to make it the primary use for the site, in turn allowing other trucking companies to use it for a fee.

The applicant is also requesting a Specific Use Provision (SUP) for Truck/Bus Repair Use to construct a truck repair center.

The gravel will be replaced with pavement. An office will be incorporated with the repair use, per GDC standards.

## **SITE DATA**

The overall subject property consists of approximately 6.644 acres. The site has approximately 550 linear feet of frontage along Kings. The site can be accessed from two (2) points along Kings Road.

## **USE OF PROPERTY UNDER CURRENT ZONING**

The subject property is currently zoned Industrial (IN) District. The Industrial (IN) district is intended to provide for a wide range of industrial uses that are generally not compatible adjacent to residential neighborhoods, and may or may not be compatible with some nonresidential uses. Such uses include manufacturing, processing, assembling, research and development, and warehousing and distribution. The Industrial district also accommodates support services for industrial development such as office, commercial, personal and professional services, and limited retail activities. The Industrial district regulations are designed to ensure compatibility among the various uses allowed in the district, and to protect adjacent non-industrial development from potentially incompatible uses and conditions.

The current land use on the property is as an accessory use Truck Storage to the distribution center to the East.

**CONSIDERATIONS:**

**Development Variance**

1. The GDC does not allow fencing within the landscape buffer. However, the applicant proposes to keep the existing chain link fence in the landscape buffer.
2. In exchange the applicant proposes increased landscaping that will exceed GDC standards, to increase perimeter landscape buffers for improved screening of parking areas and within the site to improve aesthetics, as conveyed through the Concept Plan.

**Specific Use Provision**

1. The applicant proposes to construct a truck storage site and truck repair building with an office in the Northern parcel, meeting the GDC requirements.
2. Landscaping will exceed the applicable screening and landscaping standards per the GDC to increase perimeter landscape buffers for improved screening of parking areas and within the site to improve aesthetics, as conveyed through the Concept Plan.
3. The Building Elevations will comply with the Building Design standards per the GDC.
4. The repair bays will not be facing the street, thus complying with the GDC standards.
5. The applicant requests the Specific Use Provision for a period of thirty-five (35) years, which aligns with the SUP Time Period Guide.
6. The hours of operation will be all day each day of the week.

**COMPREHENSIVE PLAN**

Industry centers provide a cluster of trade and industry that cumulatively employ large numbers of people. Operations within this development type may require substantial infrastructure and may result in more significant negative impacts (sound, air, traffic, outdoor lighting, storage, etc.). Operations may include such elements as semi-truck traffic, loading docks, and visible outdoor storage. Overall, the architecture, character, scale, and intensity should be compatible with adjacent development types. Industry centers are generally located along major arterial streets, and highways and at significant transit areas (bus/ rail). Site design addresses function and visual aesthetics that provide appropriate buffering at gateway corridors, between adjacent developments, and for residential neighborhoods.

**ECONOMIC DEVELOPMENT STRATEGIC PLAN**

The Economic Development Strategic Plan highlights Stand Alone Commercial as bringing in \$5,380 revenue per acre. This development will contain two businesses, increasing the revenue per acre. The Plan notes the number of auto-related uses in Garland as well. However, this project provides upgrades to the existing site and leaves room for future expansion.



**COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES**

The surrounding properties are entirely zoned Industrial (IN) District and contain uses such as warehousing, distribution centers, manufacturing, and other various industrial uses that are allowed by right within the district.

**STAFF RECOMMENDATION**

Approval of 1) a Specific Use Provision for a Truck/Bus Repair Use & Truck/Bus Storage Use on a property zoned Industrial (IN) District and 2) a Concept Plan for a Truck/Bus Repair Use & Truck/Bus Storage Use

and Denial of 3) a Development Variance for a complete waiver of a landscaping provision preventing fencing from being in the landscape buffer.

The proposed development variance leaves a chain link fence with barbed wire in the middle of a landscape buffer with little room for proposed landscaping, especially on the street side. In addition, the trees will be at risk of growing into the barbed wire and chain link as well as being too close to maintain properly and safely.

However, staff also recommends that a shorter SUP time period be given than the requested 35 years. A time period of twenty (20) to twenty-five (25) years is suggested, which follows the SUP Time Period Guide. In addition, it is recommended that the hours of operation be shortened to more standard business hours for each SUP.

**ADDITIONAL INFORMATION**

Location Map  
Exhibit  
SUP Conditions  
Photos

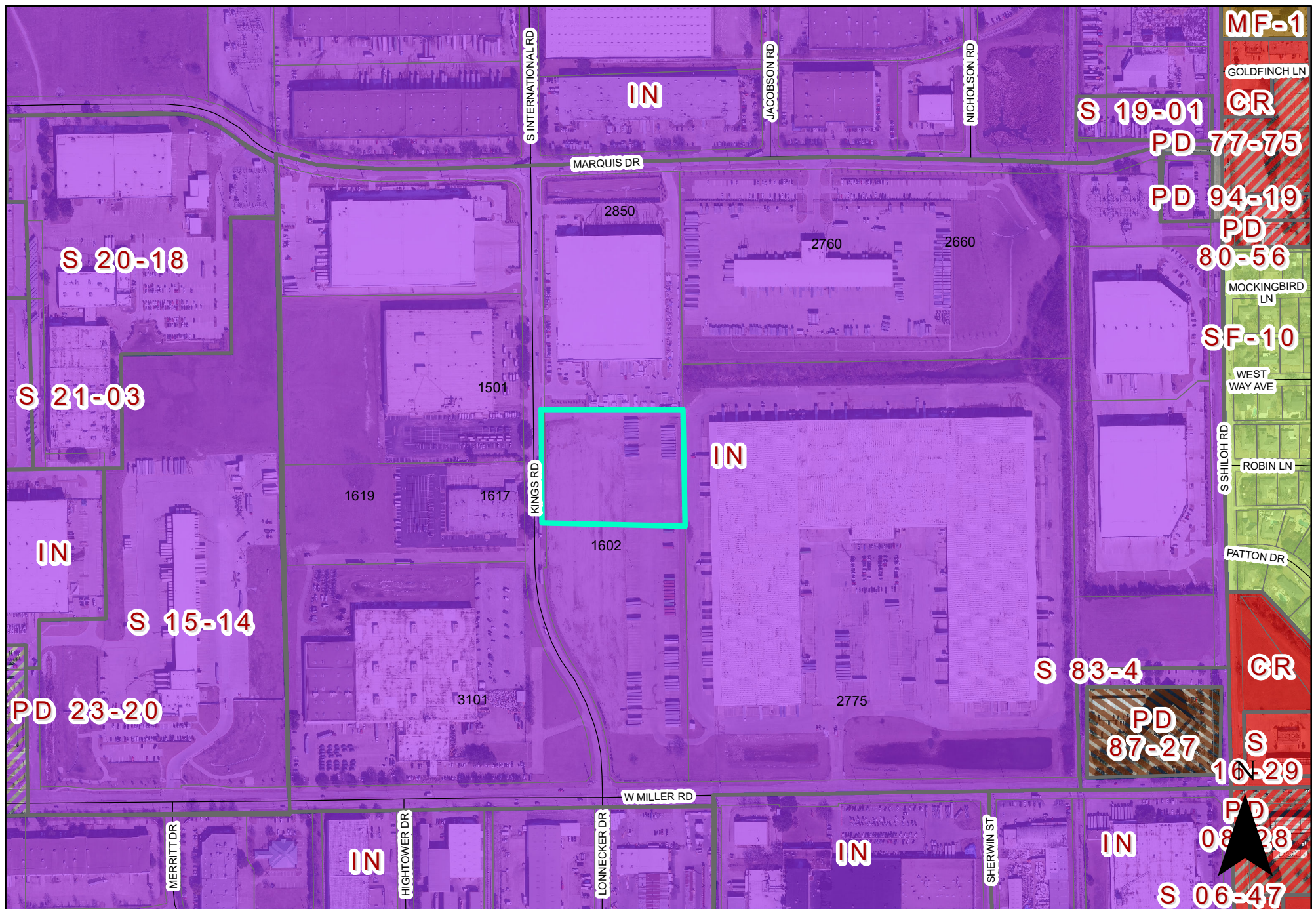
**CITY COUNCIL DATE:** July 2, 2024

**PREPARED BY:**

Matthew Wolverton  
Development Planner  
Planning & Development  
(972) 205-2454  
[mwolverton@garlandtx.gov](mailto:mwolverton@garlandtx.gov)

**REVIEWED BY:**

Angela Self, FAICP  
Interim Director of Planning



0 310 620 Feet  
1 inch = 476 feet

## ZONING MAP Z 24-22

 INDICATES AREA OF REQUEST

1602 Kings Road (northern parcel)



**SPECIFIC USE PROVISION CONDITIONS**

**ZONING FILE Z 24-23**

**1602 Kings Road (Northern Parcel)**

- I. Statement of Purpose:** The purpose of this Specific Use Provision is to allow a truck repair facility and truck storage use.
- II. Statement of Effect:** This Specific Use Provision shall not affect any regulation found in the Garland Development Code, Ordinance No. 6773, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. General Regulations:** All regulations of the Industrial (IN) District and Site Development Standards as set forth in Chapter 2 and 4 of the Garland Development Code, Ordinance 6773, are included by reference and shall apply, except as otherwise specified by this ordinance.

**IV. Development Plans:**

Site Layout: The site shall be in general conformance with the approved Concept Plan, labeled Exhibit C. In the event of conflict between the conditions and the site plan, the written conditions listed below are to apply.

- V. Abandonment:** In the event the land use for which this Specific Use Provision was granted ("Land Use") is abandoned, the SUP and all rights to the Land Use are automatically terminated, and the premises must be used in conformance with the PD, GDC, federal, and state law.

For the purposes of this Specific Use Provision, Abandonment is any of the following acts:

- A. A failure to apply for a site or building permit on the premises, where applicable, within 180 days of the effective date of this SUP;
- B. A failure to obtain a certificate of occupancy for the Land use within 730 days of the effective date of this SUP;

- C. A failure to commence operating the Land Use on the premises within 90 days of receiving a final certificate of occupancy for the Land Use;
- D. Discontinuance of the Land Use for a period of 180 days;
- E. Applying for, and receiving, a new Certificate of Occupancy for a use other than the Land Use; or
- F. Operating a use on the premises, whether as a primary or secondary use, that is not allowed within the PD District, by the GDC, or by state or federal law.

The termination of utilities on the premises for a period of 180 calendar days is prima facie evidence of abandonment and the owner shall have the burden to prove that the Land Use has not been abandoned.

#### **VI. Specific Regulations:**

- A. Time Period: The Specific Use Provision shall have a thirty-five (35) year time period.
- B. Concept Plan: Development shall be in general conformance with the concept plan labeled Exhibit C.
- C. Maintenance requirements:

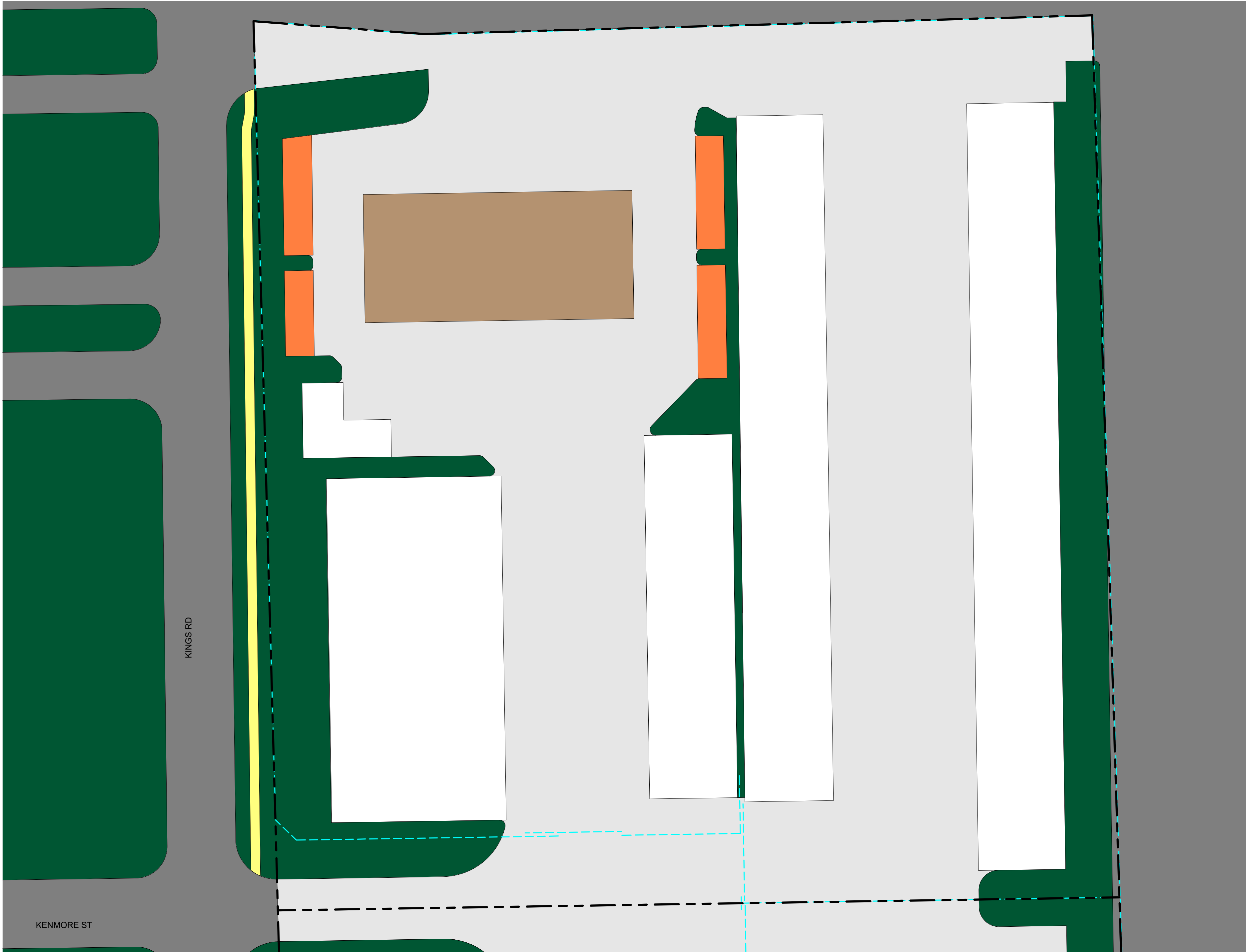
(1) Landscaping must be continuously maintained in a healthy, growing condition and in compliance with this ordinance, the Garland Development Code, the Code of Ordinances of the City of Garland, and the landscaping plan attached hereto at all times. The property owner is responsible for regular weeding, mowing of grass, irrigation, fertilizing, pruning, or other maintenance of all landscaping as promptly as needed to comply with the requirements of this subsection. All exposed ground surfaces shall be properly improved, covered with screening or other approved solid material, or protected with a vegetative growth that prevents soil erosion and ameliorates objectionable dust conditions.

(2) Any dead or dying plant or vegetation, whether or not a component of required landscaping, must be promptly replaced with another approved plant or vegetation variety that complies with the approved landscape plan and in no event later than sixty days after notification by the City. In the event the property owner fails to remedy a violation of any landscaping maintenance regulation within sixty days of the City sending notice, the City may, in addition to any other remedy available by law, suspend,

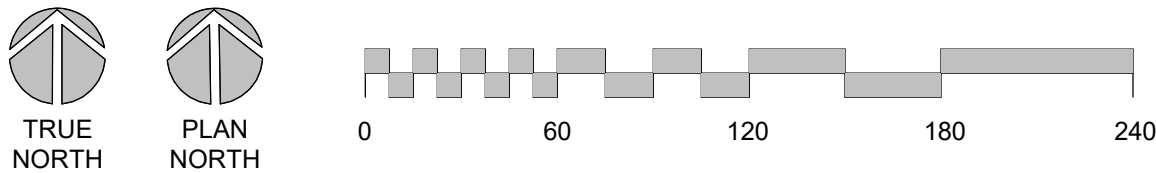


withhold, or revoke city permits, approvals, consents and the certificate of occupancy for the retail fuel pumps and convenience store. See Section 4 of the granting ordinance.

(3) Screening and paving must be installed and continuously maintained in compliance with this ordinance, the Garland Development Code, and the Code of Ordinances of the City of Garland at all times. The property owner is responsible for regular maintenance of all screening and paving as needed. In the event the property owner fails to remedy a violation of any screening or paving maintenance regulation within sixty days of the City sending notice, the City may, in addition to any other remedy available by law, suspend, withhold, or revoke city permits, approval, consents and the certificate of occupancy for the Car Truck/Bus Repair use.



1 Preliminary Site Plan  
1" = 40'-0"



CONSTRUCTION • ARCHITECTURE

PARKWAY

1000 Civic Circle Lewisville, TX 75067  
parkwayconstruction.com (972) 221-1979



Concept Plan - North

Outour Storage Investments  
1602 Kings Road  
Garland, Texas 75041

A1-1 v1

Project Information

Land Use: Industrial (IN)  
Site Area for the North Lot: 6.644 Acres

Owner / Client:  
OSI Group LLC  
800 Brickell Ave.  
Suite 904  
Miami, FL 33131  
Contact: Andrew T. Smith  
eMail: asmith@outourstorage.com  
Tel: 618.713.3391

Architect:  
Parkway C&A  
1000 Civic Circle  
Lewisville, TX 75067  
Contact: Chris A. Rutledge, AIA  
eMail: crutledge@pkwycon.com  
Tel: 469.704.3459

Engineer:  
Halff  
1201 N Bowser Rd.  
Richardson, TX 75081  
Contact: Jose I. Garcia, Jr.  
eMail: jgarcia@halff.com  
Tel: 214.346.6200

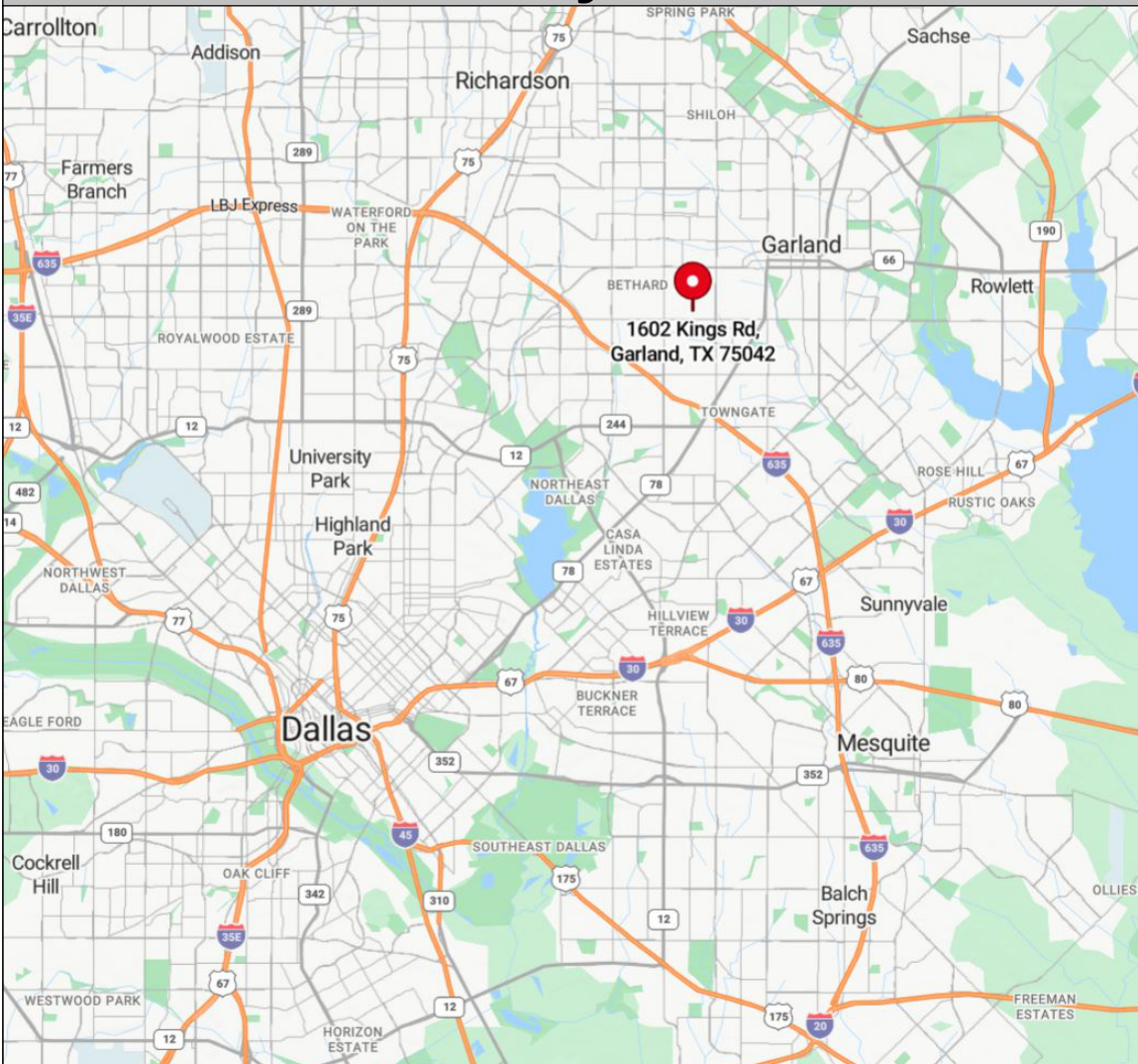
FIT Case Number: 24013-1  
Case: Z24-23

Site design and construction plans shall conform to all requirements of the Garland Development Code (GDC), Technical Standard Manual (TSM), and City codes unless an approved PD narrative condition expressly provides otherwise. The concept plan shall be used to represent the general idea of the proposed land use and site elements. The concept plan shall not supersede, and shall be subordinate to, the standards, requirements, and conditions of the GDC, TSM, City code, or the approved PD.

North Site Plan Legend

- Site Pavement
- Existing Road / Adjacent Lot
- Proposed Building
- Landscape
- Proposed Truck Parking
- Proposed Car Parking
- Proposed Sidewalk
- Property Separation Line
- Proposed Fence Line

Vicinity Plan





## **Z 24-23**



Looking East from Kings Road toward the subject site



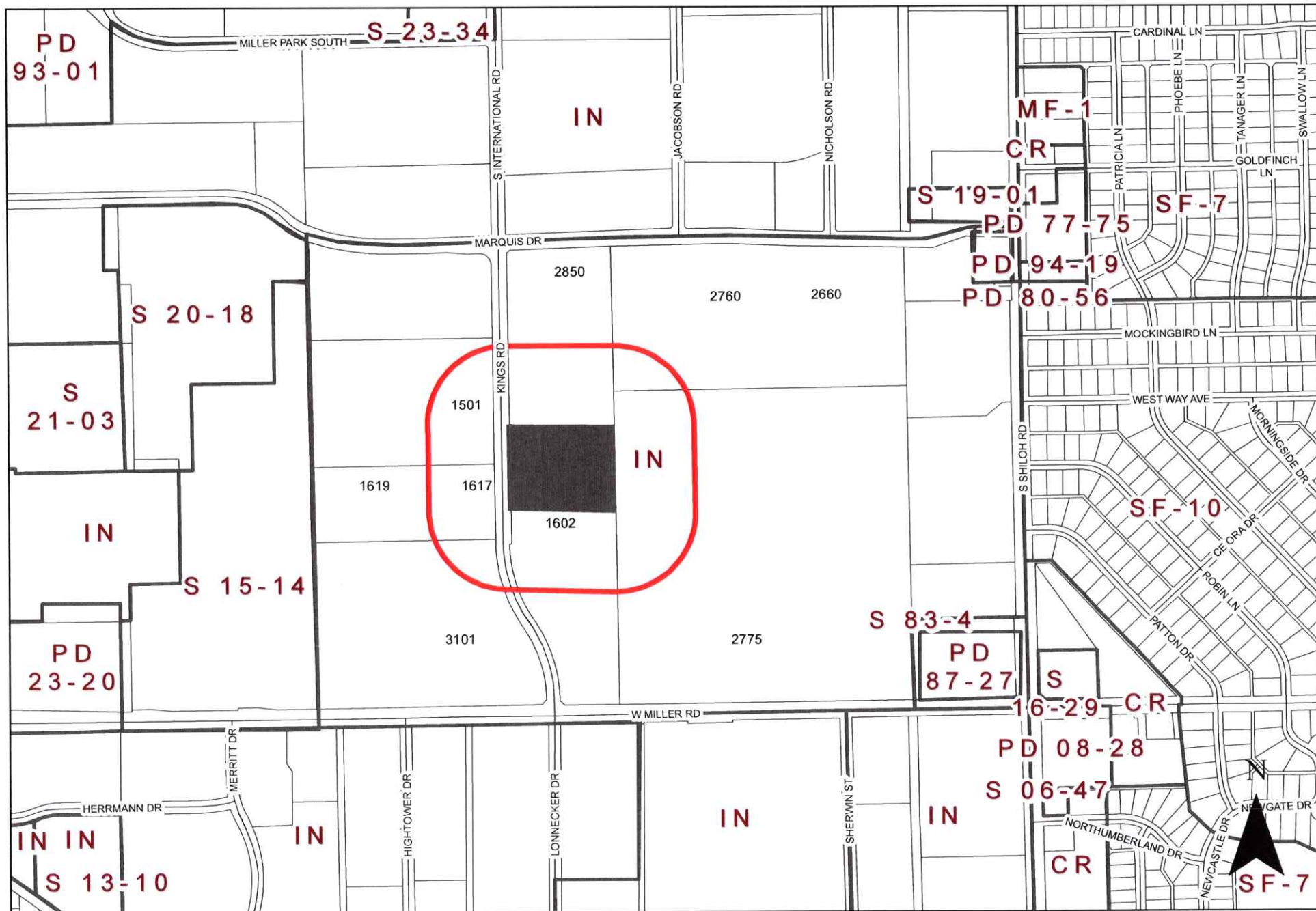
Looking West across Kings Road



Looking South down Kings Road



Looking North up Kings Road



## ZONING MAP Z 24-23

INDICATES AREA OF REQUEST  
INDICATES NOTIFICATION AREA

1602 Kings Road (northern parcel)



# Zoning Response Case Comments

Case Number	PC Hearing Date	CC Hearing Date	Planner Name
<b>Z 24-23</b>	June 10, 2024	July 2, 2024	Matthew Wolverton

OSI 1602 Kings Rd, LLC. The applicant proposes Truck Repair and Truck Storage Uses on the subject property. The site is located at 1602 Kings Road (District 6)

**Bill Warburton**

**Against**

6/4/2024  
5:05:15 PM

1017 Carriagehouse Ln

Garland

Texas

United States

75040

**Outside the Notification Area**

This property is one of the few larger areas in the industrial area left. It shouldn't be used to park trucks. There are better options available. Truck storage does not seem to generate jobs or taxable value to the community. And, just like other "storage" uses it will likely never change once it is allowed unless it gets zoned out somehow because overhead costs on storage businesses are incredibly low and parking fees are almost purely profit. For someone to change it, they would basically have to purchase the property for the price of the cashflow because almost no other city within the nearby area would allow something similar. So, there would likely be nowhere for the business to relocate. There is also no guarantee that the trucks stored at this facility will be working or in good shape. Since this is also paired with truck repair, I would be highly concerned that there would be non-operating trucks sitting on the lots for months at a time. (Copied from other case)



## GARLAND

### Plan Commission

3. f.

**Meeting Date:** 06/10/2024

**Item Title:** Z 24-24 Kimley-Horn (District 3)

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#### Summary:

Consideration of the application of **Kimley-Horn**, requesting approval of 1) a Change in Zoning from Community Retail (CR) District to a Planned Development (PD) District for Community Retail Uses and 2) a Concept Plan for a Hotel/Motel Full Service . This property is located at 3305 Zion Road. (District 3) (File Z 24-24)

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#### Attachments

Z 24-24 Kimley-Horn Report & Attachments

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# ***Planning Report***

**File No: Z 24-24/District 3**

**Agenda Item:**

**Meeting: Plan Commission**

**Date: June 10, 2024**



**GARLAND**

TEXAS MADE HERE

## **REQUESTS**

Approval of 1) a Change in Zoning from Community Retail (CR) District to a Planned Development (PD) District for Community Retail Uses and 2) a Concept Plan for a Hotel/Motel Full Service.

## **APPLICANT**

Kimley-Horn

## **OWNER**

GTG Ventures, LLC

## **LOCATION**

3305 Zion Road

## **BACKGROUND**

The subject property is a 4.12-acre site that contains a Single-Family Detached home.

The applicant requests to demolish the home and rezone the property to a Planned Development (PD) District for Community Retail (CR) District Uses in order to construct a Full-Service Boutique Hotel. The site will contain one (1) main structure, fourteen (14) villas, open amenity areas, trail connections, an underground parking garage, and angled parking along Zion Road.

The main structure will be a 58-foot tall, 114,450 square foot building featuring 112 rooms, 6 integrated villas, restaurant, office, and conference space. The fourteen (14) individual villa structures will be single or double villas and include a bedroom, bathroom, living area, and small kitchen.

Walking paths will connect all structures and amenities on the site. The amenities will include several pools, lounge areas, and social gathering areas.

Finally, Zion Road will be expanded with right of way dedication, as well as trails being built to connect into the Garland park system.

## **SITE DATA**

The overall subject property consists of approximately 4.12 acres. The site has approximately 1,000 linear feet of frontage along Zion Road. The site can be accessed from two (2) points on Zion Road. One of these being directly from Bass Pro Drive.

## **USE OF PROPERTY UNDER CURRENT ZONING**

The subject property is currently zoned Community Retail (CR) District. The Community Retail (CR) district is intended to accommodate a variety of retail, service, and business establishments that may or may not be designed in a shopping center configuration. The district may be used as a transition district between lower intensity retail or office uses and more intense uses. A CR district is generally appropriate along major transportation corridors but is generally not appropriate in proximity to low-density residential districts.

without significant buffering and screening features. An example of allowed use in a CR district is a retail shopping area that may be large in scale with very limited or no outside storage. Traffic generated by uses in a CR district must be focused onto the major thoroughfare network. Development in a CR district may not be designed in a manner that increases traffic through residential areas.

The current land use on the property is a Single-Family home, which is not allowed in the Community Retail (CR) District. The current structure is abandoned and legal non-conforming.

## **CONSIDERATIONS**

### **1. Parking**

The Hotel/Motel, Full Service requires a parking ratio of 1/room + 1/200sf restaurant, retail, conference and office area. The applicant proposes the subject property use a parking ratio of 0.66/room + 1/200sf of restaurant, retail, conference, and office area. This would reduce the required number of parking by 45 spaces.

A parking study was provided in which twelve (12) full-service hotels in Dallas and Las Colinas were examined. The parking study concluded that an average of .67 spaces per room was needed on both weekdays and weekends. With the location of these hotels being more central to the metroplex, the parking study argued that these hotels would have more parking demand for their restaurants, office, and parking space than the proposed Full-Service Boutique Hotel. Also cited was the increasing use of ride hailing options (Uber, Lyft, etc.), especially from out-of-town guests, for hotels in the area.

### **2. Building Height**

The GDC allows a thirty-five (35) foot maximum building height in the Community Retail (CR) District. The applicant proposes a variance to allow for a fifty-eight (58) foot maximum building height.

It should be noted that in the Community Office (CO) District, a Full-Service Hotel is allowed by right and may be any legal height due to the lack of a maximum building height.

### **3. Guest Room Access:**

The GDC only allows guest rooms to be accessed from interior hallways, which are accessible from a central lobby area within the building, except for first floor units, which are accessible from an interior courtyard or swimming pool area. The applicant requests guest rooms may be accessed from exterior hallways, to make the villa concept possible.

### **4. Off-Site Improvements:**

The applicant is requesting to include off-site improvements to Zion Road and the Public Hike and Bike Trail system with this project. The request will see Zion Road rebuilt in order to allow angled and parallel parking spaces along the North frontage of Zion Road. The improvements will take place beyond the property line as well and reconstruct the whole width of the adjacent property. The design will mimic the design of the previous Zion Road Extension project with a 60 foot right of way with 12.5-foot-wide drive lanes.

In addition to the roadway improvements, a 10-foot-wide hike and bike trail is proposed outside the property boundaries and shown on the concept plan.



**COMPREHENSIVE PLAN**

The Envision Garland Plan designates the subject property as Regional Centers. Regional centers are areas with a higher concentration of activity that serve as a destination for residents and visitors. Uses within this development type provide a mix of retail, services, entertainment, and employment and may include residential uses. Regional centers may be found along major highways and turnpikes, and at significant bus or rail stations.

**ECONOMIC DEVELOPMENT STRATEGIC PLAN**

The Economic Development Strategic Plan lists creating destinations as an important part of increasing Garland's nonlocal sales tax revenue. Examples of this include all Lakefront areas, due to the unique location within the Metroplex. Destinations specifically mentioned under the expansion of lodging options are encouraging "more high-quality hotels along highway corridors" and boutique hotels.

**COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES**

The surrounding properties are zoned Community Retail (CR) District, Agricultural (AG) District, and Multi-Family-1 (MF-1) District. These sites include the lakefront park and boat dock, apartments, condos, and low-scale retail. All of these properties outside the lakefront park are included in the "Regional Centers" category for future land use as well.

**STAFF RECOMMENDATION**

Approval of 1) a Change in Zoning from Community Retail (CR) District to a Planned Development (PD) District for Community Retail Uses and 2) a Concept Plan for a Hotel/Motel Full Service.

**ADDITIONAL INFORMATION**

Location Map  
Exhibit  
PD Conditions  
Photos

**CITY COUNCIL DATE:** July 2, 2024

**PREPARED BY:**

Matthew Wolverton  
Development Planner  
Planning & Development  
(972) 205-2454  
[mwolverton@garlandtx.gov](mailto:mwolverton@garlandtx.gov)

**REVIEWED BY:**

Angela Self, FAICP  
Interim Director of Planning



0 350 700 Feet

1 inch = 700 feet

## ZONING MAP Z 24-24

 INDICATES AREA OF REQUEST

3305 Zion Road



**PLANNED DEVELOPMENT CONDITIONS**

**ZONING FILE Z 24-24**

**3305 Zion Road**

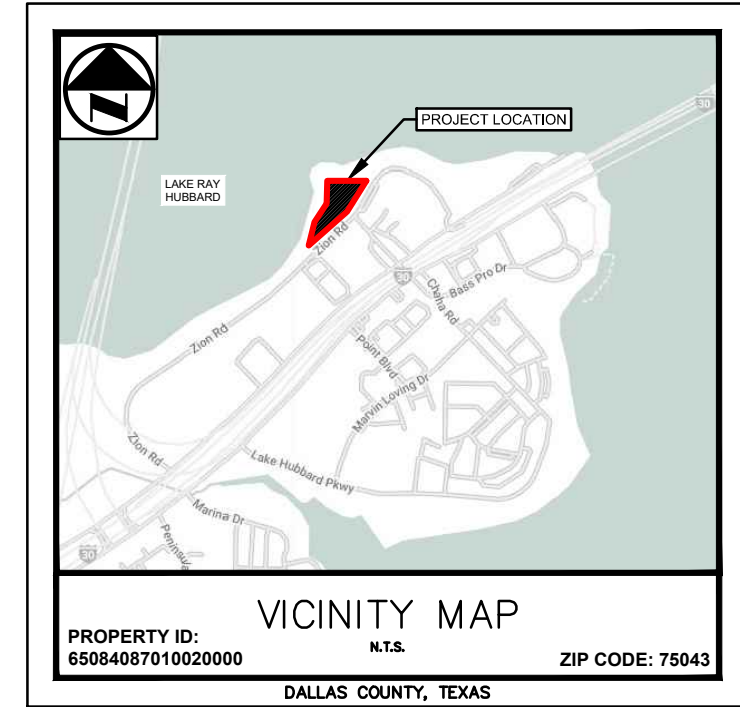
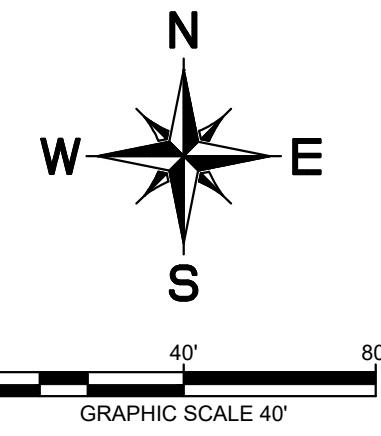
- I. Statement of Purpose:** The purpose of this Planned Development is to approve a Hotel/Motel Full Service Use.
- II. Statement of Effect:** This Planned Development shall not affect any regulation found in the Garland Development Code, Ordinance No. 6773, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. General Regulations:** All regulations of the Community Retail (CR) District as set forth in Chapter 2 of the Garland Development Code are included by reference and shall apply, except as otherwise specified by this ordinance.
- IV. Development Plans:**
- Concept Plan: Development shall be in general conformance with the Concept Plan labeled Exhibit C. In the event there is conflict between the approved Concept Plan and the Specific Regulations below, the Specific Regulations shall apply.
- V. Specific Conditions:**
- A. Permitted Use: Only Hotel/Motel Full Service Use is allowed on the subject property.
- B. Concept Plan: The site layout, building placement, parking, walking paths, and other development proposed shall be in general conformance with the approved Concept Plan labeled Exhibit C.
- C. Building Height: The building height may not exceed fifty-eight (58) feet.

- D. Parking: The parking ratio will be .66/room + 1/200sf of restaurant, retail, conference, and office area.
- E. Guest Room Access: Guest rooms may be accessed from exterior hallways in the fourteen (14) individual villa structures.
- F. Landscaping must be regularly maintained in a healthy, growing condition and in compliance with this PD Ordinance, the Garland Development Code, the Code of Ordinances of the City of Garland, and the landscaping plan attached hereto at all times. The property owner is responsible for regular weeding, mowing of grass, irrigation, fertilizing, pruning, or other maintenance of all plantings as needed. All exposed ground surfaces on or within the premises shall be properly improved, covered with screening or other approved solid material, or protected with a vegetative growth that prevents soil erosion and ameliorates objectionable dust conditions.
  - 1. Any plant or vegetation that dies must be replaced with another approved plant variety that complies with the approved landscape plan within sixty (60) days after receipt of written notification from the City. In the event the property owner fails to remedy a violation of any landscaping maintenance regulation within sixty (60) days after receipt of written notification from the City, the City may, in addition to any other remedy available by law, withhold future city permits, licenses and/or certificates requested by the property owner for the premises to which such violation applies.
  - 2. Screening and paving must be regularly maintained in compliance with this PD Ordinance, the Garland Development Code, and the Code of Ordinances of the City of Garland at all times. The property owner is responsible for regular maintenance of all screening and paving as needed. In the event the property owner fails to remedy a violation of any screening or paving maintenance regulation within sixty (60) days after receipt of written notification from the City, the City may, in addition to any other remedy available by law,





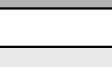
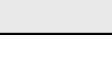

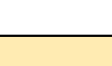
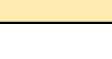


withhold future city permits, licenses and/or certificates requested by the property owner for the premises to which such violation applies.





## LEGEND

- |   |                                     |
|---|-------------------------------------|
|  | PROJECT PROPERTY LINE               |
|  | ADJACENT PROPERTY LINE              |
|  | PROPOSED HOTEL BUILDING & VILLAS    |
|  | PROPOSED ZION ROAD IMPROVEMENTS     |
|  | PROPOSED PAVEMENT                   |
|  | PROPOSED PUBLIC HIKE & BIKE TRAIL   |
|  | PROPOSED PATIO & SIDEWALK           |
|  | PROPOSED LANDSCAPE & AMENITIES      |
|  | PROPOSED UNDERGROUND PARKING GARAGE |

SITE DATA TABLE	
LAND AREA	4.87 ACRES (212,312 SQ. FT.)
EXISTING ZONING	CR (COMMERCIAL RETAIL)
PROPOSED ZONING	PD (PLANNED DEVELOPMENT)
EXISTING LAND USE	SINGLE-FAMILY
PROPOSED LAND USE	BOUQUETTE HOTEL

SITE DESIGN AND CONSTRUCTION PLANS SHALL CONFORM TO ALL REQUIREMENTS OF THE GARLAND DEVELOPMENT CODE (GDC), TECHNICAL STANDARD MANUAL (TSM), AND CITY CODES UNLESS AN APPROVED PD NARRATIVE CONDITION EXPRESSLY PROVIDES OTHERWISE. THE CONCEPT PLAN SHALL BE USED TO REPRESENT THE GENERAL IDEA OF THE PROPOSED LAND USE AND SITE ELEMENTS. THE CONCEPT PLAN SHALL NOT SUPERSEDE, AND SHALL BE SUBORDINATE TO, THE STANDARDS, REQUIREMENTS, AND CONDITIONS OF THE GDC, TSM, CITY CODE, OR THE APPROVED PD.



**GTG**

# **GTG BOUTIQUE HOTEL**

Garland, TX

**Concept Design**

May 6, 2024

**Moya Architecture Workshop**

1327 Dragon St., Dallas, TX 75248

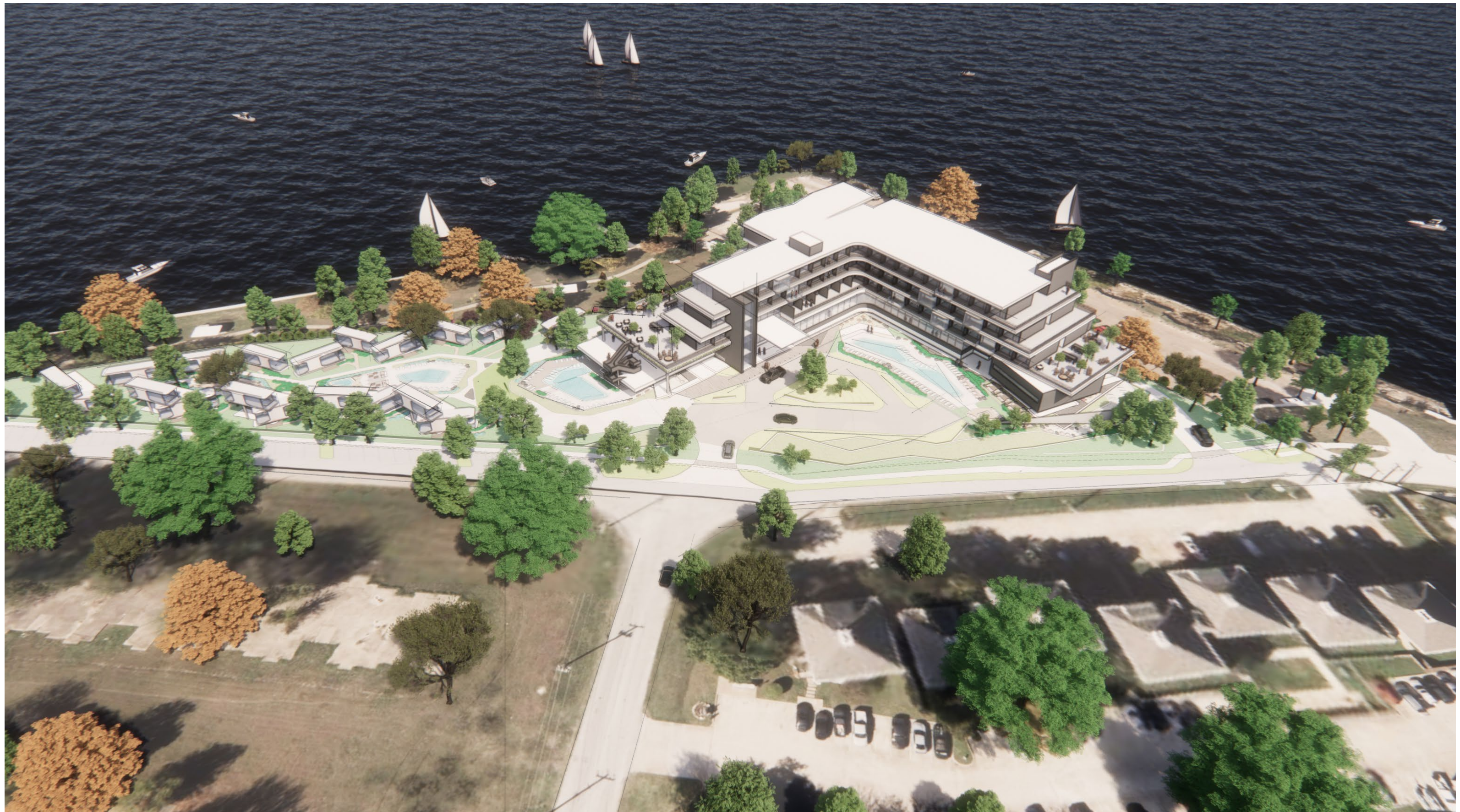
maworkshop.com





NORTH-EAST AERIAL





WEST AERIAL





BOAT RAMP VIEW





NORTH PERSPECTIVE





PARK / TRAIL VIEW



## **Z 24-24**



Looking West toward the subject property from the intersection of Zion and Bass Pro



Looking North down Zion toward the lake



Looking East down Bass Pro Drive



Looking South down Zion Road