

# Cotton 303 Industrial

## **Project Narrative NEC Olive & 173rd Avenues Minor General Plan Amendment (MGPA)**

1<sup>st</sup> Submittal Date: April 29, 2022  
Resubmittal Date: September 1, 2022

City of Glendale: SR#22-0240, AN-240, GPA22-03 and ZON22-12

**Applicant/Representative:**



**TIFFANY  
& BOSCO  
P.A.**

2525 E. Camelback Road  
Phoenix, AZ 85016

September 1, 2022

George V. Gehlert, Senior Planning Project Manager  
City of Glendale, Development Services Division  
5850 West Glendale Avenue, Suite 212  
Glendale, Arizona 85301

Re: Minor General Plan Amendment (GPA) Project Narrative for Olive 303 Industrial PAD

## **INTRODUCTION**

The development team includes Tiffany & Bosco, P.A., Hunter Engineering, Ware Malcolm and Southwest Traffic. The proposed project will consist of developing approximately 64.09 ± acres with one or two buildings which could be combined would equal approximately 1,100,000 square feet. The building(s) would be planned for uses such as warehouse, industrial distribution, manufacturing, and e-commerce. These uses would include associated truck parking, auto parking and other on-site and off-site infrastructure improvements. Please see the draft conceptual site plan attached to the PAD/MGPA application.

## **REQUESTED CHANGES**

The site is located within Maricopa County and will seek to be annexed into the City of Glendale. The annexation is proposed to include the net area of the site without the right of ways that will remain in the County. The existing Maricopa County zoning designation is RU-43 and is proposed to be transferred to align with the closest similar zoning designation in the City of Glendale during the annexation, which is RR-45. The current General Plan Land Use designation is LDR 2.5, which allows Low Density Residential from 1 to 2.5 du/ac. This project will seek a minor General Plan Amendment to modify the general plan to RMU (Regional Mixed Use) to Planned Commercial (PC).

The developer will seek a Minor General Plan Amendment (MGPA) concurrently with a rezone with the related PAD application that will provide the unique development characteristics needed to meet the current demand for industrial warehouse and manufacturing space in the area, most specifically taller building heights to allow for state-of-the-art warehouse and manufacturing equipment.

## **SITE LOCATION & CHARACTERISTICS**

The Site is currently open farm land with active crop cultivation. The site is a half mile west of State Route Loop 303, and is bounded by Cotton Lane to the east, Olive Avenue to the south, 173rd Avenue to the west, and Mountain View Road to the north. Many of the properties in the vicinity have recently been annexed into Glendale and rezoned to a Light Industrial (M-1) PAD Overlay and have projects in various stages of development, including the site directly to the east of Cotton Lane. There is an industrial rail served site directly adjacent to the east, known as Fertizona. Other properties in the vicinity are large lot residential with a future subdivision located across 173<sup>rd</sup> Ave. to the west.

## **PROJECT SCOPE**

The general plan designation allows for light industrial/manufacturing uses, so the requested PAD zoning with M-1 (light industrial) like land uses and would be consistent with the proposed general plan designation and would be the preferred zoning designation after the general plan is amended and the land is annexed into Glendale. The owner would like to run the Annexation, PAD and minor General Plan Amendment as close to concurrently as possible within the framework of the City submittal process. Upon successful approval of the Annexation, General Plan Amendment and Rezoning at the Planning Commission, the development team would like to submit at risk for Design Review and seek approval to submit construction documents.

The buildings will be comprised of either one single building or two mid-sized warehouse or manufacturing spaces with associated office on the corners of the building. Loading docks will most likely face east and west due to the shape of the site, with the buildings covering a large portion (60%±) of the site. There will be screening, landscaping, parking areas, and internal drives to buffer these docking areas from nearby residential properties. The design intent of the architecture is to create an attractive, first class, high quality facility, incorporating a simple, clean, warehouse architectural style. The project materials include painted tilt-up panels with store front glass office spaces on the corners.

Landscape design shall be developed to have a consistent look. The perimeter of the site shall incorporate the use of flowering desert shrubs, drought tolerant trees and groundcovers that will provide a sense of identity and be compatible with the environmental conditions of the area. Areas adjacent to the public right of way will be blended into the existing landscape edge treatment. Adequate site buffering between the adjacent residential uses and the proposed light industrial are provided in the site plan.

These buffers meet the requirements for separation as per the City of Glendale Zoning Ordinance and development standards.

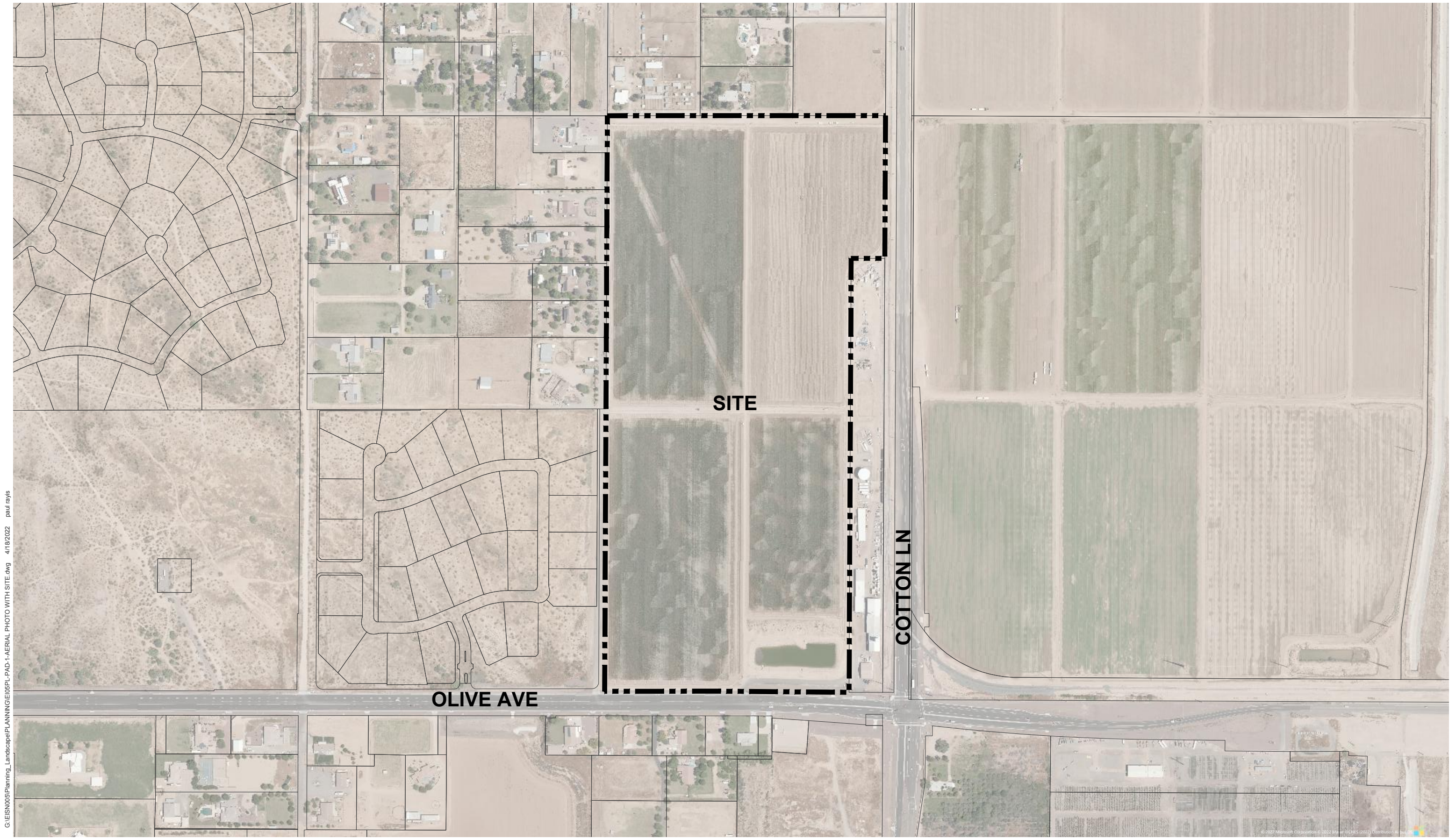
## **DRAINAGE & SITE ACCESS**

The drainage for the site flows primarily from the northwest to the southeast. Surface drainage will be used for retention of the 100-year, 2-hour event. Building down spouts will be directed/piped to retention basins and underground storage tanks. Primary access to the site will be from the Loop 303 at either the Northern or Peoria Avenue interchange. Segments of interior drive aisles and roadways will be most likely developed as private streets that will connect from both Olive and 173rd Avenues, to the site. This site is unique in that it can provide for mostly all Right Turns for access and egress, which is favored by truck drivers. However, limitations to truck traffic going north on 173<sup>rd</sup> Avenue including signage and driveway design are being proposed to alleviate issues with truck traffic to neighborhoods north of the subject site.

Our team has provided updates to the MGPA narrative and related PAD documents based on review comments by the City of Glendale and other updates to the project since the first review. The developer is sincerely excited about this this property and looks forward to continuing working with City staff for the duration of the project.

Thank you,

Ray Banker  
Planner  
Tiffany & Bosco, P.A.



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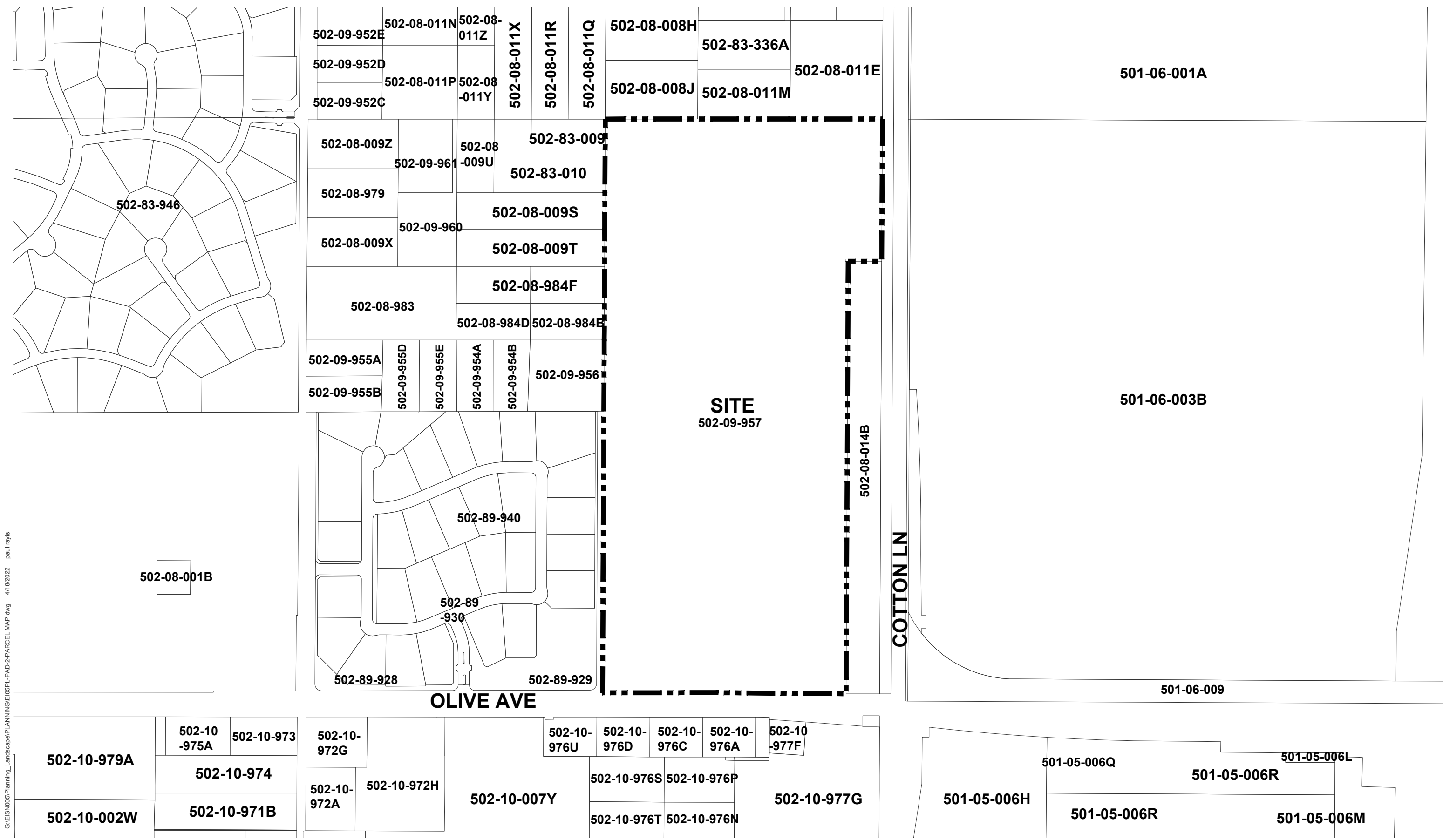
# COTTON 303 INDUSTRIAL

EXHIBIT 1: AERIAL PHOTO WITH SITE

SR21-0240

0 200 400 Feet  
This plan is for conceptual purposes only  
Not to be used for construction  
4/18/2022  
EISN005

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**ENGINEERING**  
10459 N 74th St • Ste 200 • Scottsdale, AZ 85258  
Office: 480.991.3985 • www.hunterengineeringpc.com

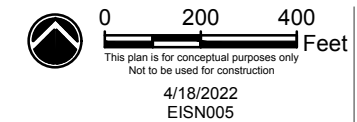


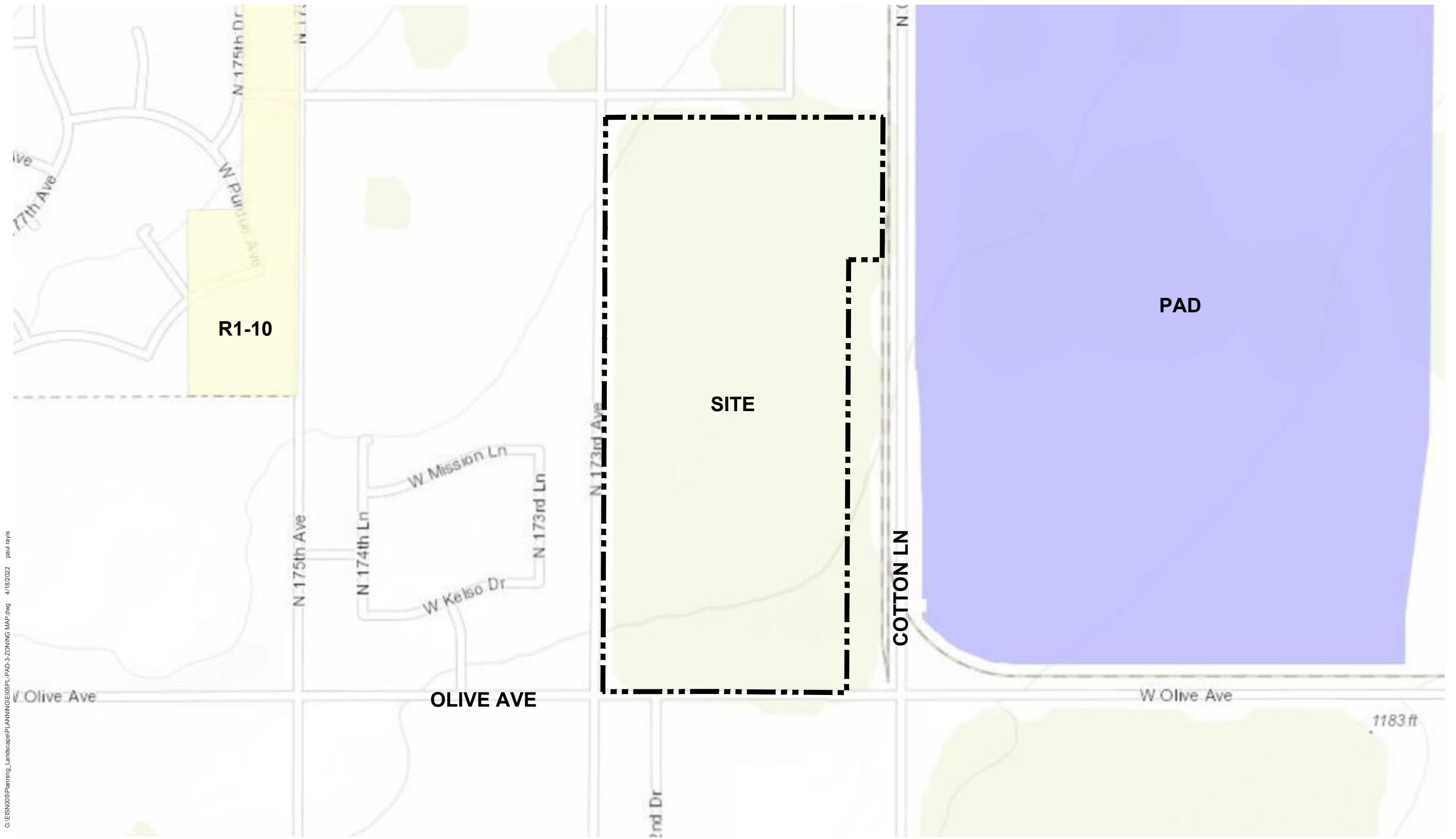
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# COTTON 303 INDUSTRIAL

## EXHIBIT 2: PARCEL MAP

SR21-0240



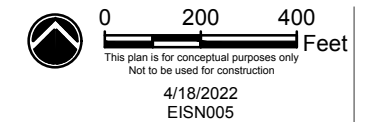


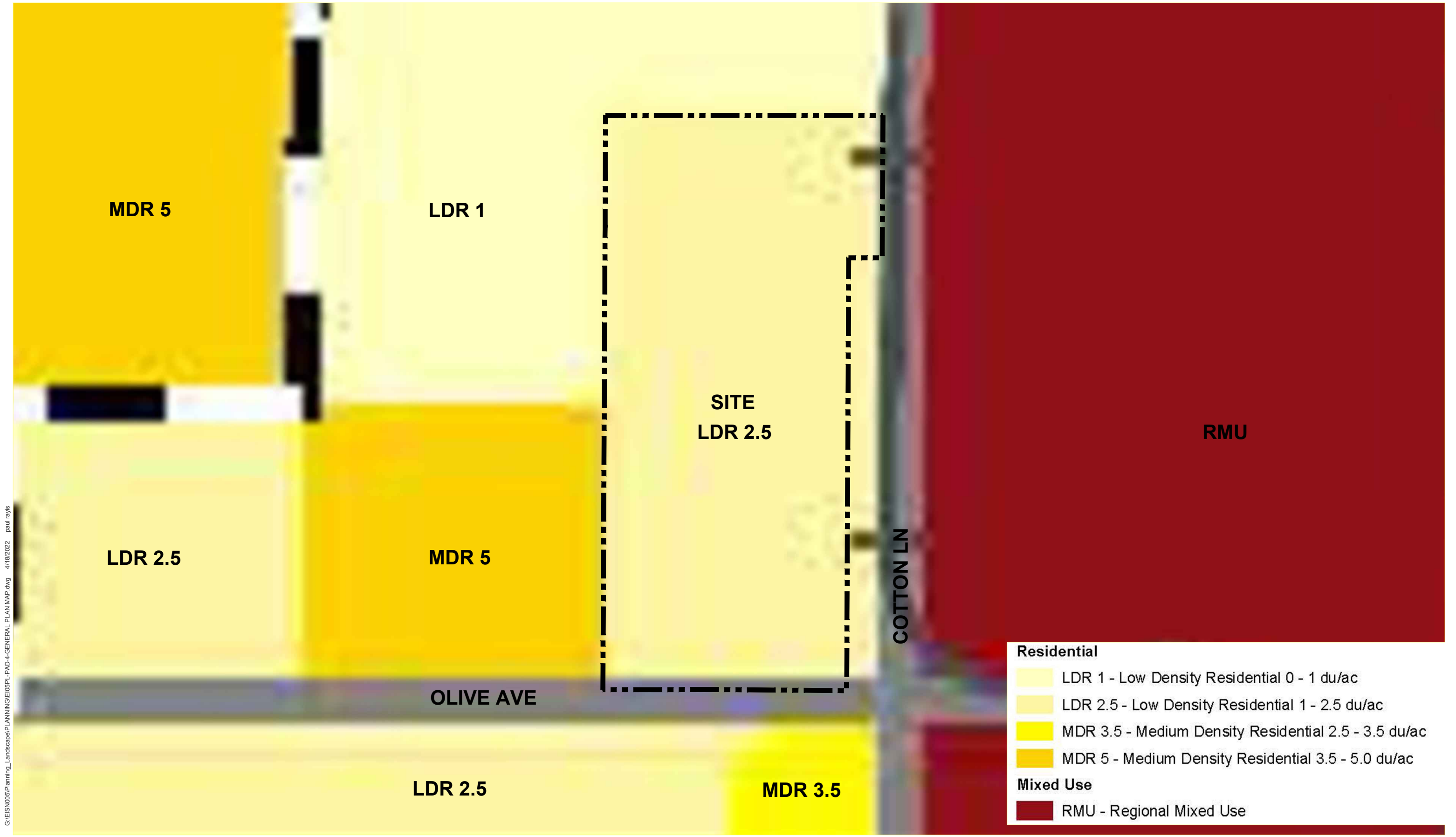
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# COTTON 303 INDUSTRIAL

## EXHIBIT 3: ZONING MAP

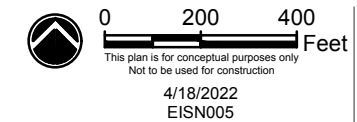
SR21-0240



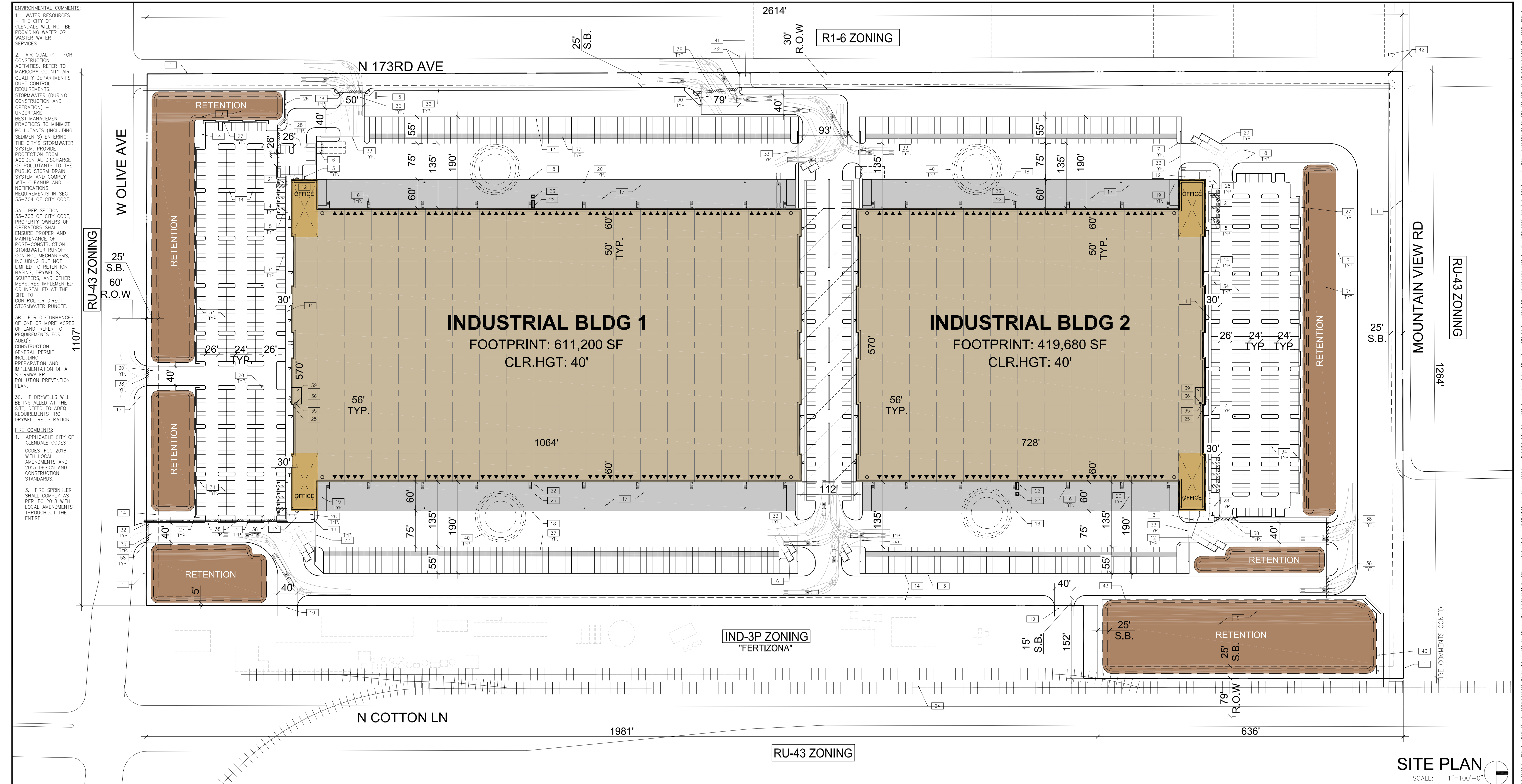


**COTTON 303 INDUSTRIAL**  
 EXHIBIT 4: GENERAL PLAN MAP

SR21-0240



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**ENVIRONMENTAL COMMENTS:**  
 1. WATER RESOURCES - THE CITY OF GLENDALE WILL NOT BE PROVIDING WATER OR WASTEWATER SERVICES.  
 2. AIR QUALITY - FOR CONSTRUCTION ACTIVITIES, REFER TO MARICOPA COUNTY AIR QUALITY DEPARTMENT'S DUST CONTROL REQUIREMENTS. STORMWATER DURING CONSTRUCTION AND OPERATION - UNDERTAKE BEST MANAGEMENT PRACTICES TO MINIMIZE POLLUTANTS (INCLUDING SEDIMENTS) ENTERING THE CITY'S STORMWATER SYSTEM. PROVIDE PROTECTION FROM ACCIDENTAL DISCHARGE OF POLLUTANTS TO THE PUBLIC STORM DRAIN SYSTEM AND COMPLY WITH CLEANUP AND NOTIFICATION REQUIREMENTS IN SEC. 33-304 OF CITY CODE.  
 3A. PER SECTION 33-303 OF CITY CODE, PROPERTY OWNERS OF OPERATORS SHALL ENSURE PROPER AND MAINTENANCE OF POST-CONSTRUCTION STORMWATER RUNOFF CONTROL MECHANISMS, INCLUDING BUT NOT LIMITED TO RETENTION BASINS, DRYWELLS, SCOURERS, AND OTHER MEASURES IMPLEMENTED OR INSTALLED AT THE SITE TO CONTROL OR DIRECT STORMWATER RUNOFF.  
 3B. FOR DISTURBANCES OF ONE OR MORE ACRES OF LAND, REFER TO REQUIREMENTS FOR ADEQ'S CONSTRUCTION GENERAL PERMIT INCLUDING PREPARATION AND IMPLEMENTATION OF A STORMWATER POLLUTION PREVENTION PLAN.  
 3C. IF DRYWELLS WILL BE INSTALLED AT THE SITE, REFER TO ADEQ REQUIREMENTS FOR DRYWELL REGISTRATION.  
**FIRE COMMENTS:**  
 1. APPLICABLE CITY OF GLENDALE CODES IFCC 2018 WITH LOCAL AMENDMENTS AND 2015 DESIGN AND CONSTRUCTION STANDARDS.  
 2. FIRE SPRINKLER SHALL COMPLY AS PER IFC 2018 WITH LOCAL AMENDMENTS THROUGHOUT THE ENTIRE.

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**"FOR REFERENCE ONLY"**

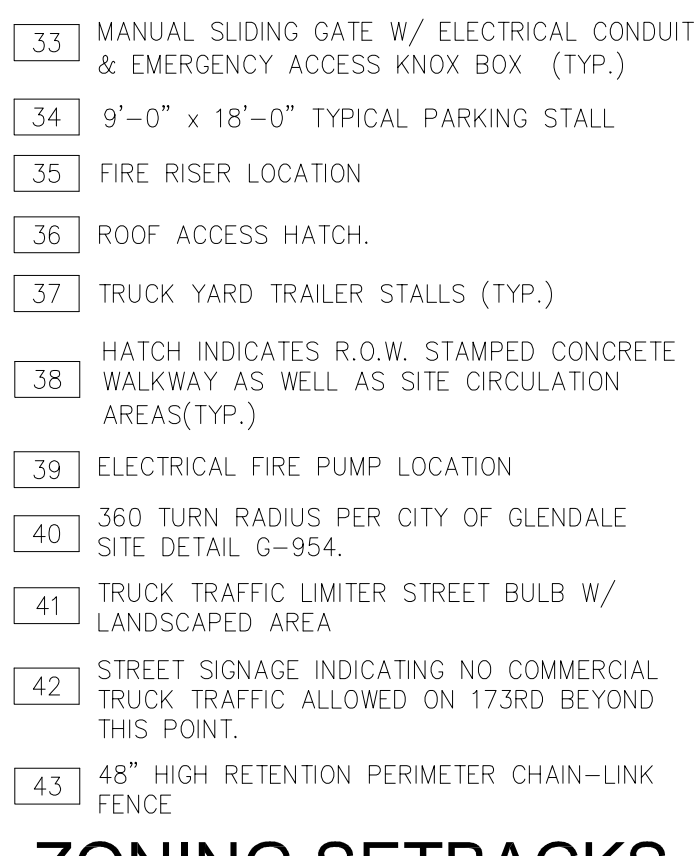
**PURSUIT-OLIVE 303 INDUSTRIAL**  
 W OLIVE AVENUE  
 WADDELL, ARIZONA

**SITE PLAN**  
 SCALE: 1"=100'-0"

**SITE PLAN KEYNOTES**

- |   |  |
|---|--|
| 1 PROPERTY LINE, (---)  | 16 DOCK-HIGH STEEL STAIRS & PLATFORM (TYP.)                              |
| 2 LANDSCAPE SET BACK LINE, (-----)  | 17 PAVED TRUCK COURT   |
| 3 BIKE RACK W/ CONC. SLAB. 1 RACK HOLDS UP TO 5 BIKES (TYP.)  | 18 EDGE OF CONCRETE TRUCK APRON  |
| 4 ADA SIDEWALK ACCESS RAMP (TYP.)   | 19 TRUCK YARD SERVICE RAMP (TYP.)  |
| 5 ADA PARKING STALL W/ CROSS-HATCH LOADING ZONE (TYP.)  | 20 FIRE HYDRANT. REFERENCE CIVIL DRAWINGS FOR MORE INFO. (TYP.)          |
| 6 CMU TRASH ENCLOSURE PER CITY OF GLENDALE STANDARDS.   | 21 11' WIDE ADA VAN PARKING STALL PER CITY OF GLENDALE ZONING STANDARDS. |
| 7 NEW 6" CURB. REFER TO CIVIL DRAWINGS FOR MORE INFO. (TYP.)  | 22 EXTERIOR GRADE S.E.S. ON CONC. PAD WITH BOLLARD PROTECTION            |
| 8 FIRE LANE, HATCHED (20' WIDE; 35' INSIDE RADIUS, 55' OUTSIDE RADIUS, TYP.)  | 23 ELECTRICAL TRANSFORMER ON CONC. PAD WITH BOLLARD PROTECTION           |
| 9 RETENTION BASIN, REFER TO CIVIL DRAWINGS FOR MORE INFO.   | 24 EXISTING RAILROAD TRACK   |
| 10 DRIVEWAY ACCESS TO ADJACENT FERTIZONA SITE.  | 25 F.D.C. LOCATION   |
| 11 5'-0" WIDE SIDEWALK  | 26 PATH OF TRAVEL TO R.O.W.  |
| 12 BASE FOUNDATION AND COMMON OPEN SPACE AT ENTRY   | 27 STAGGERED & OFFSET 4'-0" HIGH CMU PARKING SCREEN WALL (TYP.)          |
| 13 8' CMU SCREEN WALL (TYP. ENCLASURE REQMT. AT ALL TRUCK COURTS.   | 28 AREA OF PUBLIC AMENITIES (TYP.)                                       |
| 14 LANDSCAPE AREA (TYP.)  | 29 LANDSCAPE SETBACK LINE (-----)  |
| 15 MONUMENT SIGN LOCATION. SIGNAGE NOT APPROVED AS PART OF DESIGN REVIEW. SEPARATE ADMINISTRATIVE PERMITS ARE REQUIRED. | 30 NEW DRIVEWAY ENTRY PER CITY OF GLENDALE STANDARDS (TYP.)              |

**VICINITY MAP**



**ZONING SETBACKS**

LANDSCAPE SETBACK: 25' WHERE ANY LOADING DOCKS AND SERVICE DRIVES ABUT RESIDENTIAL DISTRICTS.

BUILDING SETBACKS:  
 FRONT = 25'  
 REAR = 60'  
 SIDE = 60'  
 SIDE STREET = 25'

**PROJECT DESCRIPTION**

THIS PROJECT INVOLVES THE CONSTRUCTION OF TWO COLD, DARK SHELL INDUSTRIAL WAREHOUSE BUILDINGS, INCLUDING NECESSARY STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING SCOPE, AND ASSOCIATED SITE IMPROVEMENTS, INCLUDING GRADING, DRAINAGE, UTILITIES, AND OFF SITE AS REQUIRED.

**SITE LEGEND**

- ▲ DOCK HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR
- ▨ BUILDING INFILL AREA OPTION
- ▨ PROPOSED STAMPED CONCRETE CROSSING. REFERENCE MATERIAL BOARD FOR MORE INFO.

**PROPERTY DATA**

ADDRESS: 179 (W OLIVE AVE)  
 APN: 502-09-957  
 GROSS SITE AREA: 2,906,122 SF (66.72 ACRES)  
 NET SITE AREA: 2,638,354 SF (60.57 ACRES)  
 ZONING: M-1  
 MAXIMUM HEIGHT: 57'-0"

BUILDING AREA:  
 BUILDING 1: 611,200 SF  
 BUILDING 2: 419,680 SF  
 TOTAL COMBINED: 1,030,880 SF  
 (OPTIONAL) COMBINED INTO 1 BLDG.: 1,096,720 SF

BLDG. 1 OFFICE S.F.=13,440 / WAREHOUSE S.F.= 597,760  
 BLDG. 2 OFFICE S.F.=13,440 / WAREHOUSE S.F.= 406,240

LOT COVERAGE:  
 PROPOSED: GROSS: 50% - NET 56%  
 IMPERVIOUS LOT COVERAGE: 78%

▲ DOCK-HIGH DOORS: 194  
 ○ GRADE-LEVEL DOORS: 8

PARKING REQUIRED:  
 BUILDING 1: WAREHOUSE (1:600) 996 SPACES  
 OFFICE (1:300) 45 SPACES  
 BUILDING 2: WAREHOUSE (1:600) 677 SPACES  
 OFFICE (1:300) 45 SPACES  
 TOTAL: 1,763 SPACES

REQUIRED ADA STALLS: 27 STALLS + 5 VAN STALLS

PARKING PROVIDED:  
 BUILDING 1: 514 SPACES  
 BUILDING 2: 459 SPACES  
 TOTAL: 973 SPACES (INC. 24 ACCESSIBLE)

PARKING RATIO @ 1.06 SPACES / 1,000SF  
 TRAILER PARKING PROVIDED: 265 SPACES  
 BIKE PARKING REQUIRED: 220 SPACES  
 BIKE PARKING PROVIDED: 50 SPACES  
 (1 RACK EQUALS 5 BIKES)

**SITE PLAN**

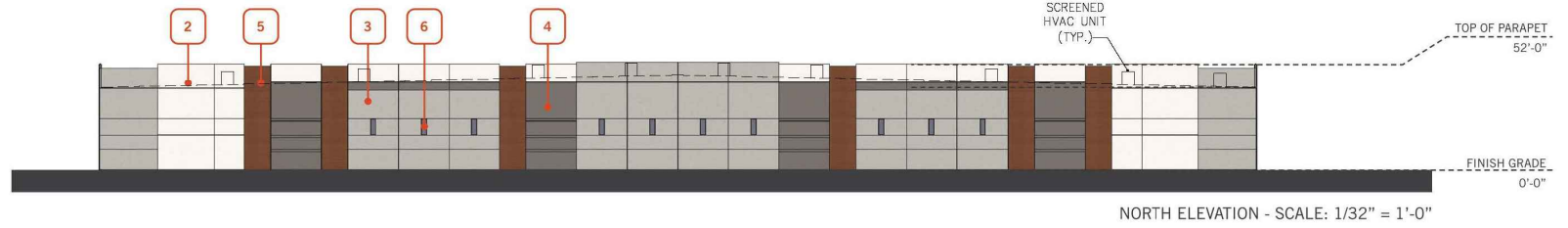
DATE	REMARKS
04/07/2022	PRESUBMITTAL

PA / PM: BRADEN BLAKE  
 DRAWN BY:  
 JOB NO.: PHX21-0133-00

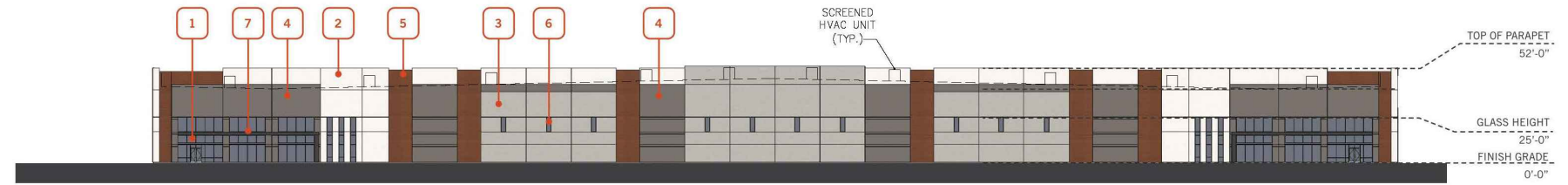
SHEET  
**A1.1**



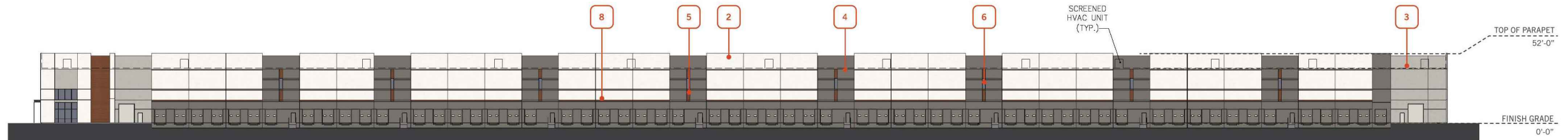
NOTE:  
ALL ROOF DRAINAGE WILL BE INTERNALIZED WITHIN THE BUILDING  
FACADES AND DAYLIGHT NEAR THE FINISHED FLOOR / GROUND LEVEL.



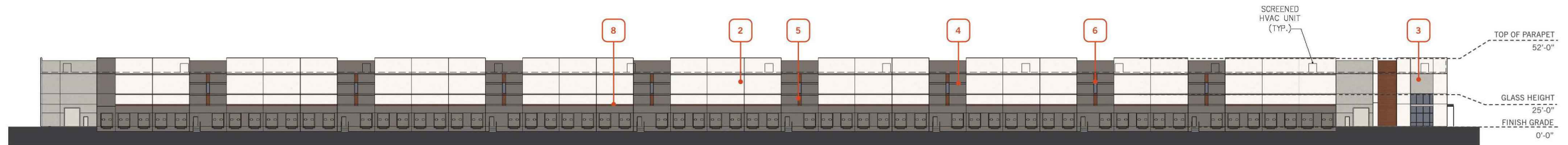
NORTH ELEVATION - SCALE: 1/32" = 1'-0"



SOUTH ELEVATION - SCALE: 1/32" = 1'-0"



EAST ELEVATION - SCALE: 1/32" = 1'-0"



WEST ELEVATION - SCALE: 1/32" = 1'-0"

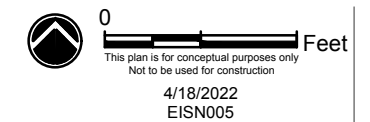
KEYNOTES

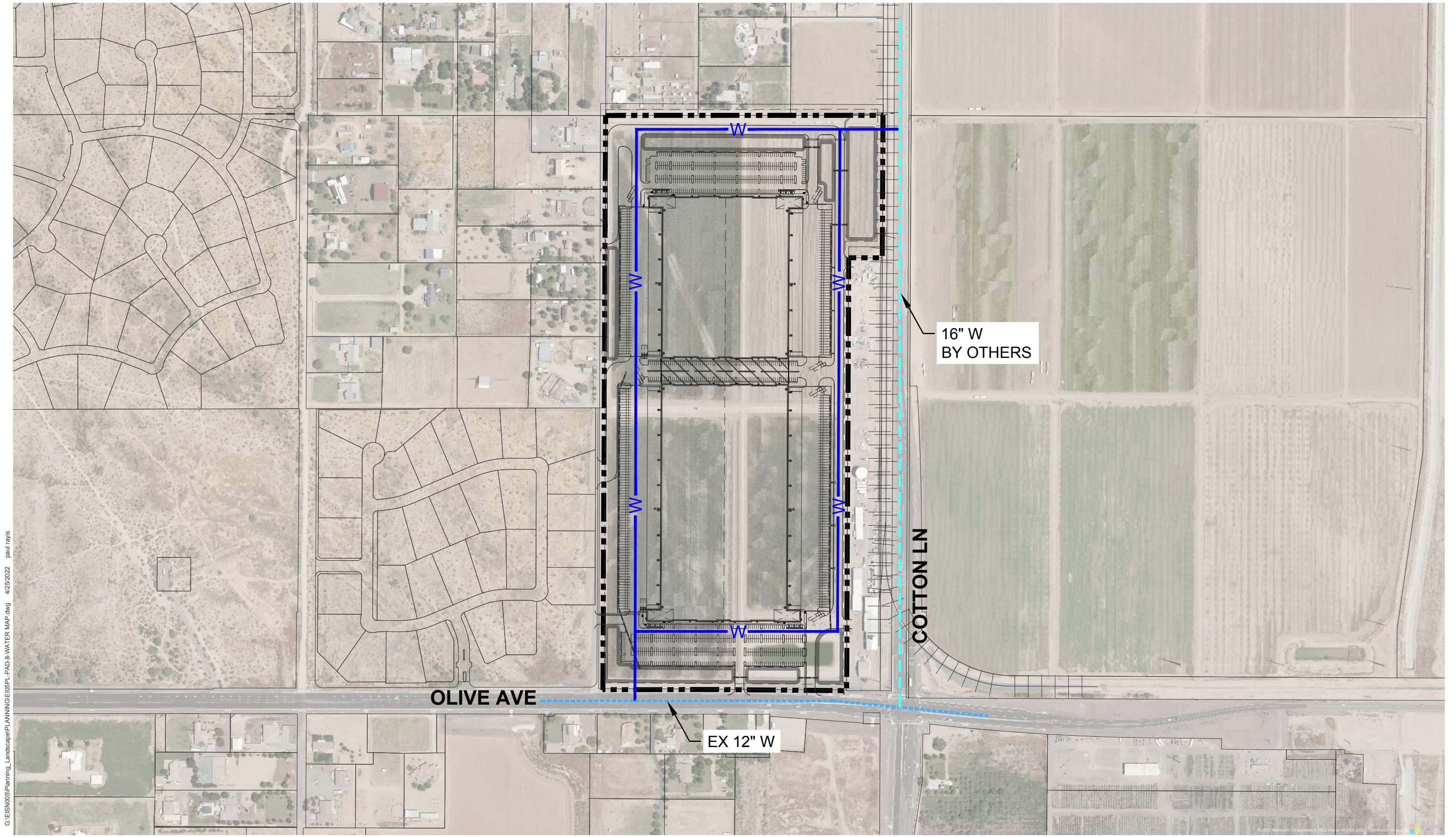
- |   |  |  |
|---|--|--|
| <p>1 CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM W/ HIGH PERFORMANCE INSULATED GLAZING</p> <p>2 CONCRETE TILT - UP PANEL WITH REVEALS AS SHOWN, PAINTED: SHERWIN WILLIAMS: PURE WHITE - SW 7005</p> <p>3 CONCRETE TILT - UP PANEL WITH REVEALS AS SHOWN, PAINTED: SHERWIN WILLIAMS: ARGOS - SW 7065</p> | <p>4 CONCRETE TILT - UP PANEL WITH REVEALS AS SHOWN, PAINTED: SHERWIN WILLIAMS: GAUNTLET GRAY - SW 7019</p> <p>5 CONCRETE FORMLINER WITH REVEALS AS SHOWN, PAINTED: SHERWIN WILLIAMS: SIERRA REDWOOD - SW 7598</p> <p>6 CLERESTORY</p> | <p>7 CHANNEL BEAM CANOPY</p> <p>8 ACCENT COLOR: SHERWIN WILLIAMS: SIERRA REDWOOD - SW 7598</p> |
|---|--|--|

# COTTON 303 INDUSTRIAL

## EXHIBIT 7: ARCHITECTURAL ELEVATION EXHIBIT

SR21-0240



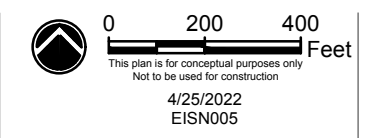


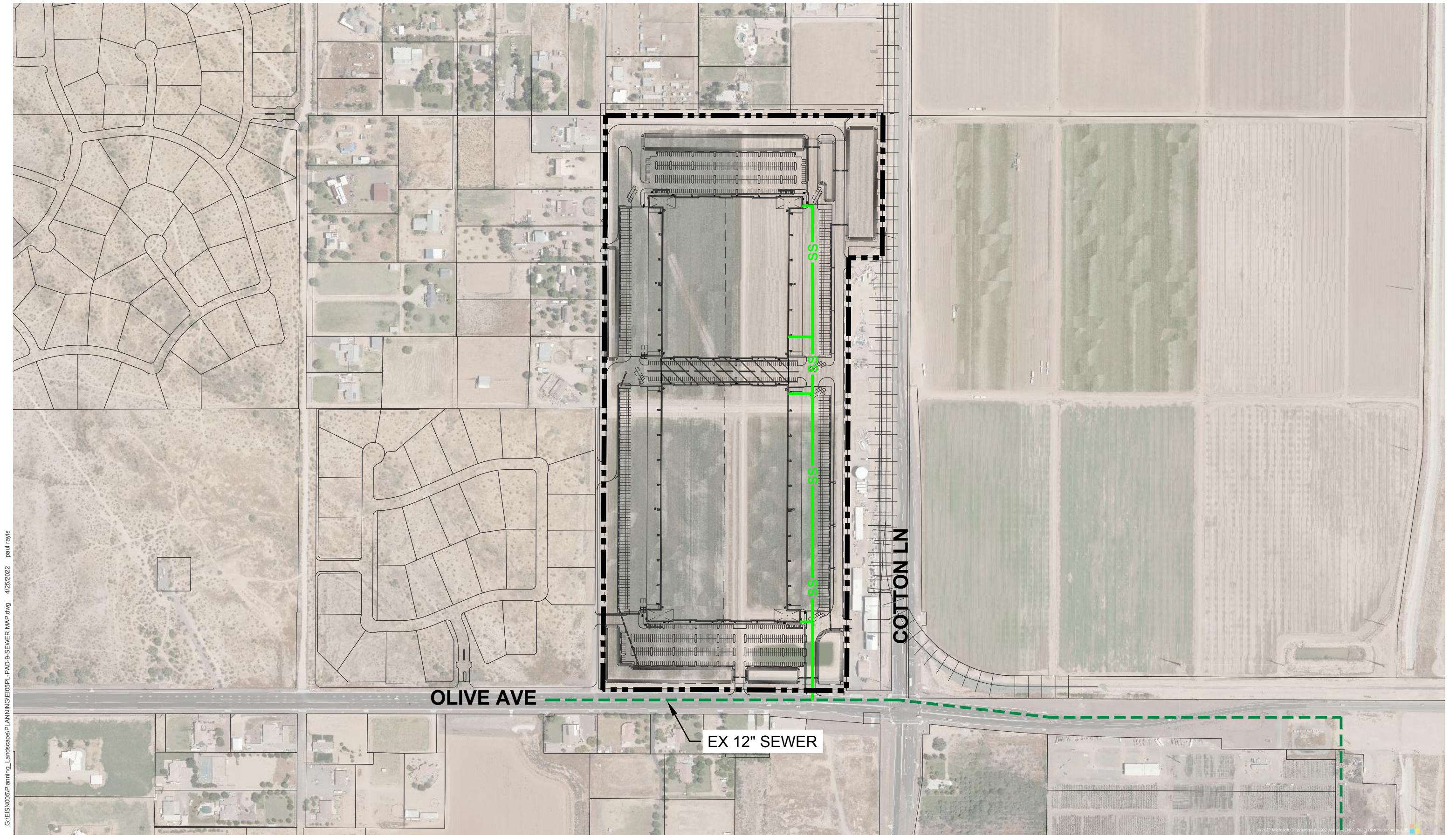
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# COTTON 303 INDUSTRIAL

## EXHIBIT 8: WATER MAP - (EPCOR)

SR21-0240






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# COTTON 303 INDUSTRIAL

## EXHIBIT 9: SEWER MAP - (EPCOR)

SR21-0240


 0 200 400 Feet  
 This plan is for conceptual purposes only  
 Not to be used for construction  
 4/25/2022  
 EISN005

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**ENGINEERING**  
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 Office: 480.991.3985 • www.hunterengineeringpc.com

# ANNEXATION LEGAL DESCRIPTION

THAT PORTION OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 26,  
TOWNSHIP 3 NORTH, RANGE 2 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN,  
MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A BRASS CAP IN A HANDHOLE STAMPED M.C.D.O.T. MARKING THE EAST  
QUARTER CORNER OF SAID SECTION 26, FROM WHICH A BRASS CAP IN A HANDHOLE  
STAMPED M.C.D.O.T. MARKING THE SOUTHEAST CORNER OF SAID SECTION 26 BEARS SOUTH  
00°16'39" WEST, A DISTANCE OF 2636.69 FEET;

THENCE SOUTH 89°59'59" WEST, ALONG THE NORTH LINE OF THE SOUTHEAST QUARTER OF  
SAID SECTION 26, A DISTANCE OF 83.00 FEET;

THENCE SOUTH 00°16'39" WEST, A DISTANCE OF 30.00 FEET TO THE POINT OF BEGINNING;

THENCE SOUTH 00°16'39" WEST, ALONG A LINE PARALLEL WITH AND 83.00 FEET WEST OF  
THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 26, A DISTANCE OF 606.61  
FEET;

THENCE NORTH 89°57'37" WEST, A DISTANCE OF 150.00 FEET;

THENCE SOUTH 00°16'39" WEST, ALONG A LINE PARALLEL WITH AND 233.00 FEET WEST OF  
THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 26, A DISTANCE OF  
1930.02 FEET;

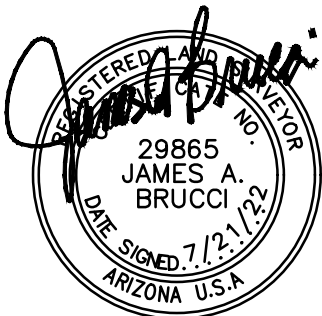
THENCE NORTH 89°57'37" WEST, ALONG A LINE PARALLEL WITH AND 70.00 FEET NORTH  
OF THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 26, BEING THE  
MONUMENT LINE OF OLIVE AVENUE, A DISTANCE OF 1036.60 FEET TO A POINT OF  
CURVATURE CONCAVE NORTHEASTERLY WHOSE RADIUS IS 30.00 FEET;

THENCE NORTHWESTERLY ALONG SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE  
OF 90°18'55" AN ARC LENGTH OF 47.29 FEET TO A POINT ON A LINE PARALLEL WITH AND  
30.00 FEET EAST OF THE THE WEST LINE OF THE EAST HALF OF THE SOUTHEAST  
QUARTER OF SAID SECTION 26;

THENCE NORTH 00°21'18" EAST, ALONG SAID PARALLEL LINE, A DISTANCE OF 2505.64  
FEET;

THENCE NORTH 89°59'59" EAST, ALONG A LINE PARALLEL WITH AND 30.00 FEET SOUTH  
OF THE NORTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 26, A DISTANCE OF  
1213.34 FEET TO THE POINT OF BEGINNING.

SAID DESCRIPTION CONTAINING 64.09 ACRES±.



PAGE 1 OF 2

TITLE: **XB01**  
DATE: 7/21/22  
DESC: ANNEXATION

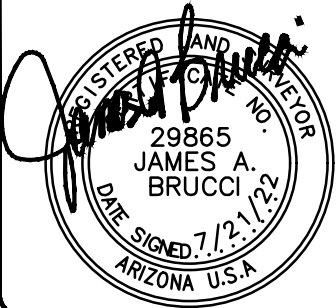
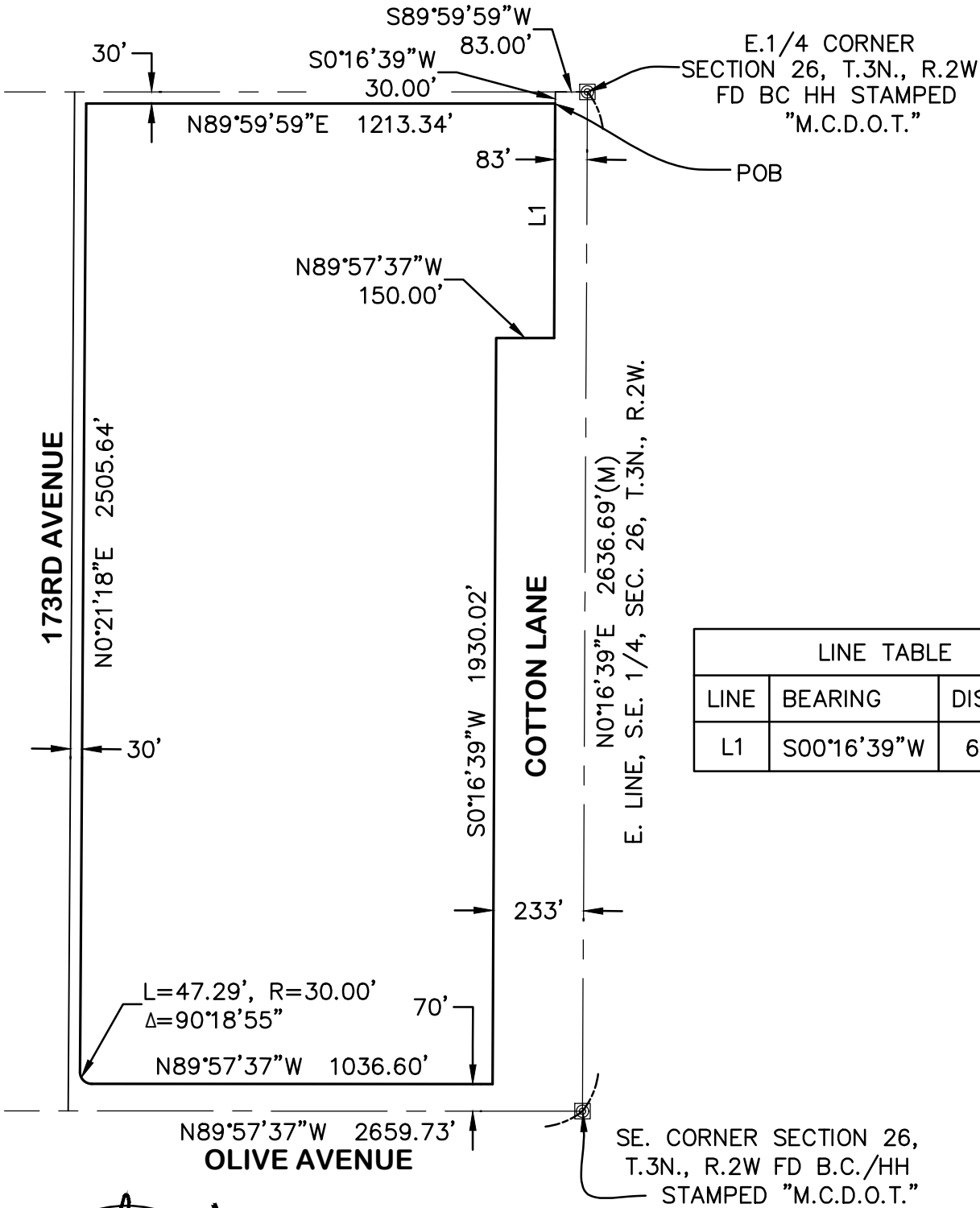
**HUNTER**  
ENGINEERING

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SCOTTSDALE, AZ 85258  
T 480 991 3985  
F 480 991 3986

CIVIL AND SURVEY

DWG. NO. XB01  
PROJ. NO. EISN005

# ANNEXATION EXHIBIT



PAGE 2 OF 2

TITLE: **XB01**  
 SCALE: 1"=400'  
 DATE: 7/21/22  
 DESC: ANNEXATION

<p><b>HUNTER</b>                  ENGINEERING</p> <p>10450 N. 74TH ST., SUITE 200                  SCOTTSDALE, AZ 85258                  T 480 991 3985                  F 480 991 3986</p>	<p>CIVIL AND SURVEY</p> <p>DWG. NO. XB01                  PROJ.NO.EISN005</p>
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