



# CONDITIONAL USE PERMIT & DESIGN REVIEW NARRATIVE

QT #1444 – SEC 83<sup>rd</sup> Ave & Glendale Ave  
Glendale, AZ



**APPLICANT:**  
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January 23, 2022

## **I. OVERVIEW**

QuikTrip Corporation (“QT”) is developing approximately 1.74 acres of real property located at the southeast corner of 83<sup>rd</sup> Avenue and Glendale Avenue in Glendale, Arizona (“Site”). QT requests Conditional Use Permit (“CUP”) and Design Review approval to allow the development of a new QT Convenience Store and Gas Station (“QT Store”) on this vacant, underutilized Site. QT’s new Gen 3S Concept Store will serve a variety of freshly made foods and drinks from a “full-service counter.” Customers can choose from an array of food items including pizzas, flatbread sandwiches, soft pretzels, and more. Specialty coffee drinks, espressos, shakes, smoothies, ice cream cones, and more will be offered as well.

QT has four existing developments within the City of Glendale and looks forward to expanding its business within the City and continuing to increase its presence as a business member in the community and sales tax revenue for the City.

## **II. DESCRIPTION OF SITE AND SCOPE OF DEVELOPMENT**

The QT Site is currently vacant and undeveloped within an area of the General Plan Land Use Map designated: Corporate Commerce Center. The Site is zoned Planned Area Development (“PAD”) with commercial zoning allowing a gas station and convenience store with a CUP. Thus, a gas station and convenience store use (such as QT) was specifically contemplated in the approved zoning on the Site.



The scope of QT’s development will include two structures: an approximate 4,993 square foot QT Convenience Store building and an accompanying approximate 7,287 square foot fuel station canopy. Additionally, QT will be preparing the remainder of the Site for future development by installing driveways; half-street improvements including curb, gutter, and sidewalk; frontage landscaping; and street lighting. QT will also be coordinating water and sewer tie ins that adjacent future developments will tie into.

## **III. BUILDING AND SITE DESIGN**

QT’s new “Gen 3S” Store provides architectural articulation on all four sides of the building, adding character to the building and Site. Building Elevations and Fuel Station Canopy Elevations are enclosed in this submittal. The QT Site has been thoughtfully designed. The

proposed QT Store and Fuel Station Canopy is consistent with the G83 Plaza PAD Development Standards and is consistent with the architectural themes of the PAD. The color of the building includes variety to create diversity and appeal. A range of material types were chosen to provide visual and textural contrast. The windows are shaded with awnings to reduce heat gain and increase energy efficiency. The fuel station canopy is designed to match the architecture of the QT Store. The solid face of the canopy facade will be broken up by offsets, providing horizontal articulation, and enhanced architectural styling.

The proposed QT Convenience Store is approximately 4,993 square feet. The building will be predominantly brick construction in “Bronzestone”—a traditional red color—with accent bands and columns of contrasting “Midnight” color scheme. Pedestrian shading is provided by metal building awnings with complimentary “red” colors. The store will also feature large windows with steel framing, creating a sleek juxtaposition to the brick elements.

Outside the QT Store, the fuel station canopy has been designed to complement the architecture of the store and contains the same metal elements in the facade for architectural cohesiveness. Beneath the fuel station canopy, there will be 8 fuel stations that can serve up to 16 automobiles at a time. The customer parking experience is also very important to QT. The QT Store provides multiple “front doors” on the north, west and east sides of the building to provide up-front parking for all customers.

The entire Site has been designed to be attractive and fitting to the area. Great care was also used in planning ingress and egress to the Site and as mentioned, QT will prepare the Site for future development.

#### **IV. LANDSCAPING**

The landscape theme incorporates various types of desert-themed trees, shrubs, and groundcovers. A Conceptual Landscape Plan is enclosed with this submittal. The trees include Acacias, Red Push, and Live Oak. The bushes and ground cover includes a variety of desert succulents and other low water usage plants.

#### **V. SIGNAGE**

One freestanding monument sign will be located along Glendale Avenue and one freestanding monument sign will be located along 83<sup>rd</sup> Avenue. The freestanding monument sign locations and designs are shown on the Site Plan. Further, there is a “QuikTrip” sign and two “QT” button signs on the north (front) side of the building, a “QuikTrip” sign on the south (rear) side of the building, and two “QT” button signs are located on the Fuel Station Canopy.

#### **VI. OPERATION HOURS**

QuikTrip’s Store will be open 24 hours a day, 7 days a week. This store will employ dozens of individuals, and the number of employees present will vary depending on demand. However, QT expects anywhere from 2-6 employees on-site at any given time.

## **VII. CONFORMANCE WITH THE GENERAL PLAN**

The proposed QT Store and this CUP request are supported by the General Plan. The Site is designated Corporate Commerce Center in the General Plan. The Corporate Commerce Center designation promotes mixed-use developments and is suitable for the proposed QT Store development. Further, below is a summary of QT's conformance to the City's General Plan Land Use Goals and Policies:

**Policy GA-1.3** *"The City shall assign higher priorities to projects that foster City employment and revenue objectives."*

**Policy ED-1.1** *"The City should attract and retain a variety of industries that will provide employment opportunities for residents with a wide range of skill and educational levels."*

The proposed QT will be the fifth QT in Glendale. The new QT Store represents a significant investment in the City and will increase sales tax revenue. Further, QT is an economically stable corporation that provides valuable employment opportunities for community residents.

**Policy CRR-3.2** *"The City shall promote reuse and intensification of industrial and / or vacant commercial properties."*

The Site is currently vacant and underutilized. The QuikTrip store makes good sense on this Site and will be a valuable asset to the area.

## **VIII. CONDITIONAL USE PERMIT REQUEST**

Per the G83 Plaza PAD, a Conditional Use Permit is requested for QT's "Gasoline Sales/Convenience Store" use. A Citizen Participation Plan has been prepared and will be implemented concurrently with the CUP process to ensure communication with neighboring property owners.

## **IX. MEETS AND EXCEEDS OBJECTIVE CRITERIA FOR USE PERMIT APPROVALS**

The QT development meets and exceeds the required findings for a Conditional Use Permit under the City's Zoning Ordinance.

1. *That the proposed use is consistent with the policies, objectives, and land use map of the Glendale General Plan and the purpose of the zone district in which the site is located;*

As stated, the QT Site is located in the Corporate Commerce Center, which provides for the development of mixed-uses. QT will use a portion of the Site for the gas station and convenience store use and the existing owner of the property is preparing the remainder of the Site for complimentary uses. The Site is part of the G83 Plaza PAD, which allows for commercial uses. Further, as described above, the QT development is consistent with the goals and policies of the general plan.

2. *That the proposed use will not be materially detrimental to the health, safety or general welfare of persons residing or working within the neighborhood of the proposed use, or have*

*an adverse effect on the property, adjacent properties, the surrounding neighborhood or the city when consideration is given to the character and size of the use and hours of operation;*

The use is compatible and will be an asset to the surrounding commercial and residential uses. The intent of the G83 Plaza PAD is to create a mix of uses that responds to market conditions and is complimentary to the nearby Glendale Sports & Entertainment District. The proposed QT Store serves the purposes of the PAD. The QT will be a quality development and not detrimental to persons residing in the area. Rather, the proposed development will benefit the area by providing goods, services, and jobs to the area to both nearby residents and visitors.

*3. That the proposed site is adequate in size and shape to accommodate the intended use and that all requirements for the zone district, including but not limited to: setbacks, walls, landscaping and buffer yards are met;*

The vacant, underutilized Site is more than adequate in size and shape to accommodate the proposed use, as demonstrated on the Site Plan. There is safe on-site circulation demonstrated on the Site Plan and the plan meets and exceeds all required development standards under the applicable PAD.

*4. That the proposed site has adequate access to public streets and highways to carry the type and quantity of traffic which may be generated by the subject use, and that on-site circulation is adequate to permit driveways, parking, and loading requirements in a manner which is safe and efficient.*

QT customers will have safe and convenient access to enter and exit the Site to/from 83<sup>rd</sup> Avenue and Glendale Avenue. Also, as stated above, QT will be preparing the Site for future development by installing driveways; half-street improvements including curb, gutter, and sidewalk; frontage landscaping; and street lighting. Additionally, a traffic impact analysis has been conducted and included with this submittal in order to ensure a proper transportation plan.

*5. That adequate conditions or stipulations have been incorporated into the approval of the conditional use permit to ensure that any anticipated detrimental effects can be mitigated.*

There are no adverse effects created by this QT development. On the contrary, the QT Store will be a quality development that will be an asset to the area. We will work with City Staff to ensure any adequate conditions are incorporated into the approval of this CUP.

## **X. RESPONSES TO STAFF'S PRE-APPLICATION COMMENTS**

Planning / George Gehlert (623)930-2597 - ggehlert@glendaleaz.com

- a. **Access points:** Traffic impact statement required (per O20-55, 8-11-20). At the time of the zoning approval, access points had not yet been finalized so must be considered as part of this review. Dedications were also required along Glendale and 83<sup>rd</sup>. In addition, power lines along 83<sup>rd</sup> Avenue were also required to be placed underground.

- **Response:** Acknowledged. Applicant has been in discussions with SRP regarding the underground conversion.
- b. **Architectural / Materials:** Demonstrate photos of adjacent development and architecture. Avoid highly reflective materials. Use colors and materials which complement southwestern environment.
- **Response:** Photos of adjacent developments have been provided. The neutral colors and materials have been provided to complement and enhance the adjacent development.
- c. **Drainage / Retention:** Should look natural.
- **Response:** Acknowledged.
- d. **Drainage / Roof:** No external downspouts are permitted.
- **Response:** Roof drains have been internalized.
- e. **Landscaping:** Provide certification from licensed LA that landscape plan meets with the requirements of the PAD, all other related city codes (including low water species); and will be installed per stamped plan set.
- **Response:** Stamped landscape plan has been provided.
- f. **Landscape/ROW:** Applicant will also be responsible for installation of streetside landscaping within ROW.
- **Response:** Acknowledged. ROW landscaping has been provided.
- g. **Lighting:** Full shielding is required. Not to exceed 0.1 foot-candle at property boundary.
- **Response:** Acknowledged.
- h. **Lighting / Parking and Walkways:** Pole height 15' maximum within 100 feet of residential. Include walkway lighting.
- **Response:** Acknowledged. Site is +200' from residential to the south.
- i. **Mechanicals:** Completely screen all mechanical equipment. Metal flashing, vents, pipes, electrical panels and other exposed metal must be painted to match the color of the roof or house.
- **Response:** Equipment has been screened with Polypro Mesh.

- j. **Open Space:** The G83 PAD requires 20% open space. Demonstrate what areas are being counted as open space (shade them on site plan) and provide calc representing those areas.
- **Response:** Open space is shown on landscape plan and denoted with dot hatching.
- k. **Parking:** Site is over parked. Maximum is 1:200 SF (25 spaces). Site includes 50 spaces.
- **Response:** Based on operational information for our stores, additional parking will be required. Please advise applicant on process to exceed maximum parking. Other QT Stores in Glendale have similar proposed parking numbers.
- l. **Peds/bikes:** Demonstrate interior pedestrian connectivity and crossings which provide physical surface delineation (pavers, etc.) compatible with building materials. Why not bring ADA access from 83<sup>rd</sup>? The route from Glendale seems hazardous. Can we add a sidewalk along the east side of the property which provides a safer corridor from Glendale?
- **Response:** Striped ADA paths have been shown to be striped with the construction of our store. ADA access to the east cannot be currently coordinated until development plans to the east are finalized.
- m. **Screening / Mechanicals:** Completely screen all mechanical equipment. Metal flashing, vents, pipes, electrical panels and other exposed metal must be painted to match the color of the building.
- **Response:** Acknowledged.
- n. **Screening / Parking Areas:** All on-site parking areas shall be screened from street view by a landscaped berm or decorative wall not less than four (4) feet in height (MC19-44). Submit elevations.
- **Response:** Screen walls have been provided
- o. **Screening / Refuse:** Provide elevations for gated trash enclosures.
- **Response:** Elevations have been provided with the canopy elevations.
- p. **Sidewalks:** Why not bring the sidewalk along 83<sup>rd</sup> closer to the property line? Shade trees could be planted in between street and SW to provide better shade during the hottest time of the day. more shade.

- **Response:** Sidewalks have been located within 10' of property line and shade trees have been added along both sides.
- q **Signage:** Demonstrate any monument signage. Signage not approved as part of Design Review. Separate administrative permits are required.
- **Response:** Acknowledged. Monument signs have been shown on plans for reference only.
- r. **Traffic Visibility:** Please observe traffic visibility at entry points in placement of all landscaping, signs, etc.
- **Response:** Noted. Done.

Glendale Airport – Carl Newman (623-930-4744) – cnewman@glendaleaz.com

1. The project is just outside the area of influence for the Airport. I have no comment.

- **Response:** Acknowledged.

Transportation / Alan Heathcoat (623)930-2041 - aheathcoat@glendaleaz.com

1. Right of Way (R/W) requirements and roadway sections will be in accordance with City of Glendale Standard Detail G-300:

- **Response:** Noted.

2. Right of Way (R/W) – All sidewalks on public roadways shall be placed within public R/W. If additional R/W is required to accommodate sidewalk within turn lanes, it will need to be dedicated as public R/W.

- **Response:** Noted.

3. Based on the size and type of the development, the following will be required:  Current traffic study needs to be re-evaluated and/or updated.

Traffic Study requirements: The developer shall follow the Traffic Study process/requirements outlined in the latest edition of the Maricopa County Traffic Impact Study Manual as the City of Glendale follows the requirements listed in that manual.

Prior to commencing work on the study, the developer's consultant will be required to submit to the City of Glendale the following information for review and approval

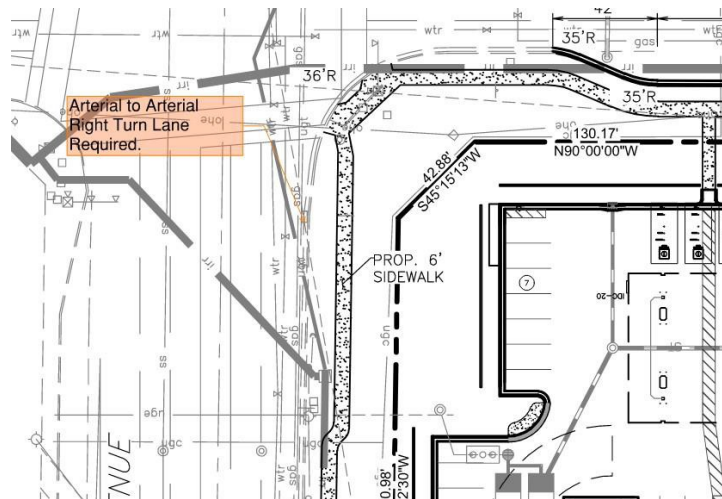
- Study area
- Trip Generation

- Trip distribution
  - Any trip reduction rates that will be used in the report (if applicable)
    - Date of when the counts were taken. Counts older than 2 years will not be accepted
  - Growth rate.
- **Response:** Provided TIA accounts for convenience and fuel use of proposed size.

4. Turn Lanes:

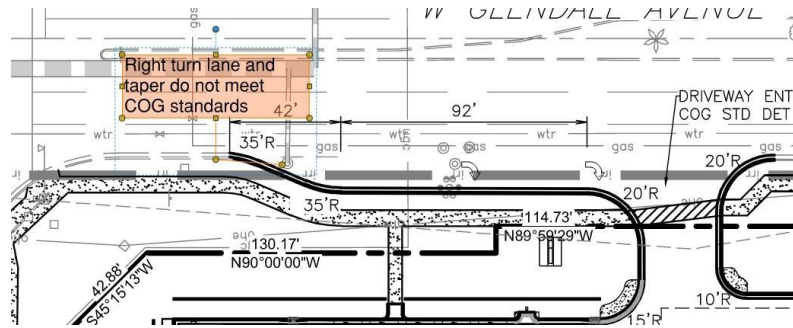
- ☒ Right turn deceleration lanes may be required in advance of the proposed driveway to the proposed site. The T.S. or the T.I.S. will confirm the need for the deceleration right lane based on volume of traffic that will be utilizing the driveway. The traffic study will also provide recommendation(s) on the required turn bay length. The City of Glendale's minimum turn bay length is 150'.

The City of Glendale requires right turn deceleration lanes on arterial roadways (83<sup>rd</sup> Ave) in advance of intersections with another arterial roadway (Glendale Ave).



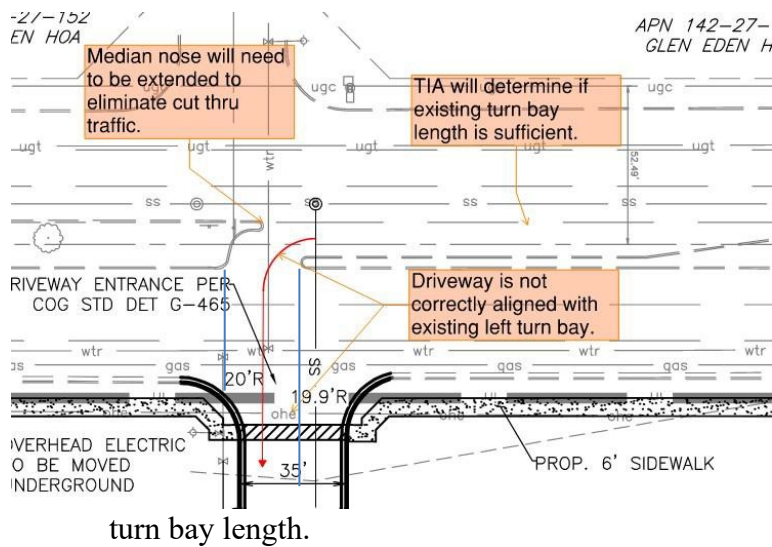
- **Response:** Right turn lane has been added from 83<sup>rd</sup> Ave to Glendale Ave. Additional RTL's have been added to 83<sup>rd</sup> Ave and Glendale Ave driveways.

The taper distances shown for the proposed deceleration lanes into the development do not meet the City of Glendale's required lengths (150' for straight taper. 150' radius reverse curve taper may be used for less distance.)



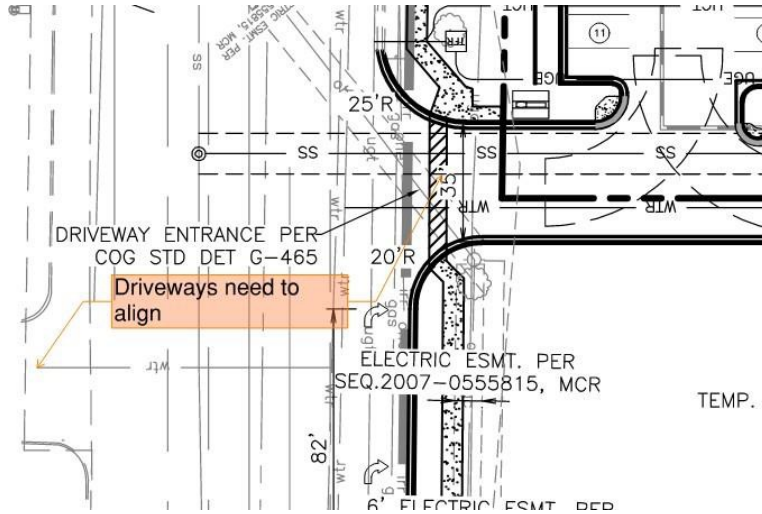
Bus stop may be included in right turn decel lane.

- **Response:** RTL for Glendale Ave has been extended to intersection to allow space for bus stop.
  - ☒ A left turn lane may be required. The traffic study will also provide recommendation(s) on the required



Include a turning radius drawing for left turning traffic to driveway.

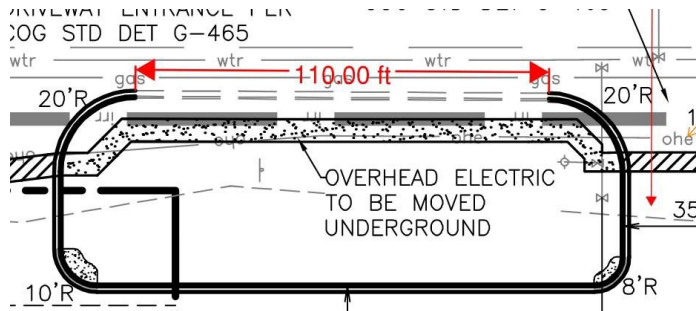
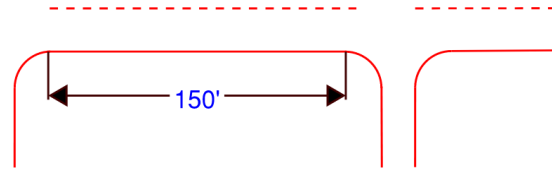
- **Response:** Median nose will be extended and LTL opening expanded to line up with driveway location.
5. All effort shall be taken to align the proposed project full access intersection/driveways with existing intersections/driveways on the opposite side of the roadway thus avoiding creating offset intersection/driveways.



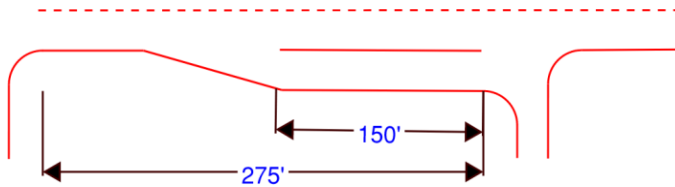
- **Response:** Per Master Developer, driveway location cannot move and RIRO access will be sufficient in this location.
6. Landscaping, walls, signage shall not impede sight visibility triangles (see drawings G-321, G-447, & G-448)
- Sight Triangles shall be included on landscape plans.
- **Response:** Sight visibility triangles are shown on landscape plan.
7. Access/driveway width (See City of Glendale Std. Drawing G-454): Commercial:  30' min for two-way  40' max for two-way  Other:
- **Response:** Driveway callouts have been updated. Max number of commercial driveways:
    - Commercial:  Two (2) per street for a single business Multi-business
      - One (1) per 225' of Frontage  Two (2) per 600' of Frontage
      - Three (3) per 1200' of Frontage
      - Four (4) per 2600' of Frontage

8. Min distance required between driveways:

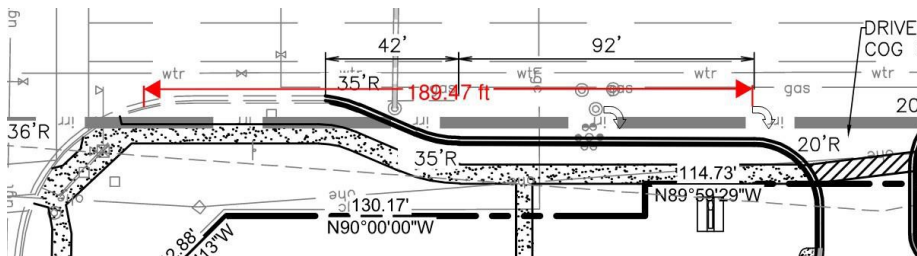
- ☒ 150' - When no turn lanes are required.



- ☒ 275' - When turn lanes are required.



- **Response:** Discussions during Pre-App, discussions with staff indicated turn lane would have to be compromised with the RTL to the west and the median opening to the east.

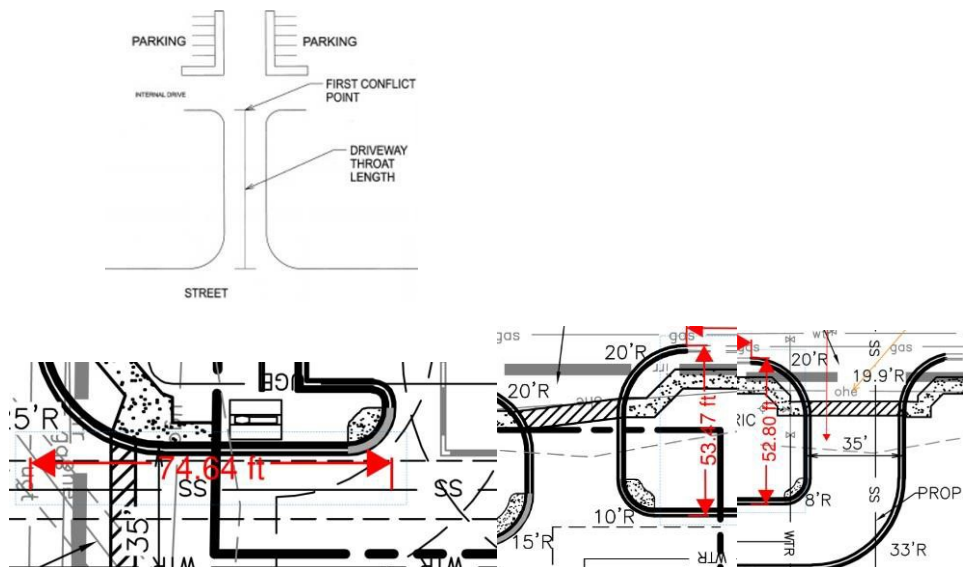


9. Minimum distance required between driveway and street/roadway intersection: 150' (per City of Glendale Std.)

Drawing G-454).

a. **Response:** Noted.

10.A 55' driveway "throat"/stacking distance free of drive aisles and parking spaces measured from the face of curb.



Please dimension stacking distances on DR/CD for verification.  
Scaled values shown may be slightly off.

• **Response:** Noted. Distances will be shown on CD's.

11. A minimum two-way 23' drive aisle or one-way 12' drive aisle width will be required (See City of Glendale Std. Drawing G-450). (if fire hydrant is along route then 26' minimum width will be required). On one-way aisle(s), if used by the Fire Department for access, then a minimum width of 20' will be required.

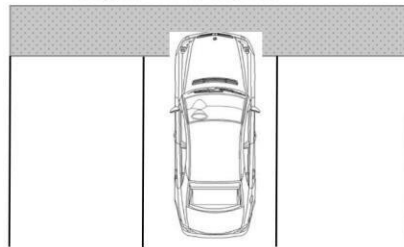
• **Response:** Noted.

12. City of Glendale's standard parking stall size is 10' x 20' with allowable 1.5' (max) overhang (See City of Glendale Std. Drawing G-450). The vehicle overhang will not be allowed if it is immediately adjacent to a sidewalk (especially if the vehicle is to overhang on a 4' sidewalk).

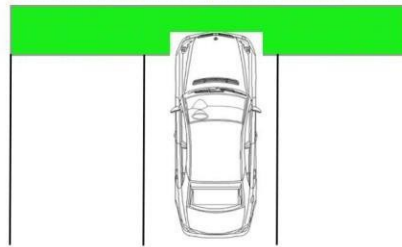
• **Response:** Noted.

13. Parking stall requirements – see below

The 1.5' overhang allowed only when the sidewalk is 6' or more in width  
When sidewalk is less than 6', parking bumpers will be required



The 1.5' overhang allowed into landscaped areas - No parking bumpers required



- **Response:** Noted.

14. See Table 9.3 for Commercial/industrial handicap parking space requirements

**Minimum Number of Accessible Parking Spaces**

2010 Standards (208.2)

Total Number of Parking Spaces Provided in Parking Facility (per facility)	(Column A) Minimum Number of Accessible Parking Spaces (car and van)	Minimum Number of Van-Accessible Parking Spaces (1 of six accessible spaces)
1 to 25	1	1
26 to 50	2	1
51 to 75	3	1
76 to 100	4	1
101 to 150	5	1
151 to 200	6	1
201 to 300	7	2
301 to 400	8	2
401 to 500	9	2
500 to 1000	2% of total parking provided in each lot or structure	1/6 of Column A*
1001 and over	20 plus 1 for each 100 over 1000	1/6 of Column A*

\*one out of every 6 accessible spaces

- **Response:** Noted.

15. At least 1 out of every 6 accessible spaces or fraction of 6 shall be van accessible. Van accessible spaces include the designation “van accessible”. If the accessible route is located in front of the parking space, install wheel stops to keep vehicles from reducing the clear width of the accessible route below 36 inches.

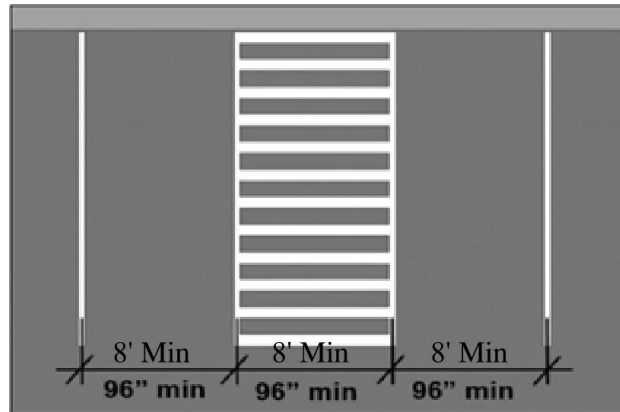
Number of parking spaces provided: 52

Number of ADA  
accessible parking  
required: 3

Number of ADA accessible parking  
spaces being proposed: 3

Number of van accessible spaces  
required: 1

The design of the Van accessible space shall follow the following:



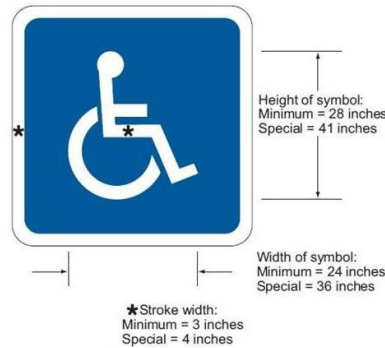
- **Response:** Noted.

Please add the following note to your plans:

ADA Signs shall comply with the layout shown below and shall be installed a minimum of 5' from the ground to the bottom of the sign but no more than 6' (to be in compliance with state law – ARS 28-882 and the requirements of the US Access Board).



ADA pavement markings shall comply with the layout shown below



**Response:** ADA detail is shown to meet Glendale requirements.

16. Covered/uncovered parking spaces are considered separate entities and need to account for ADA parking requirements.
  - **Response:** Noted.
17. All existing ADA ramps shall be reviewed for compliance with current ADA standards. All new ramps shall be ADA compliant.
  - **Response:** Noted.
18. There shall be a five (5') minimum ADA compliant access from the proposed development to the public R/W.
  - **Response:** Noted

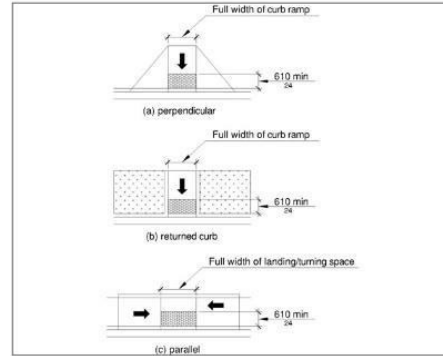
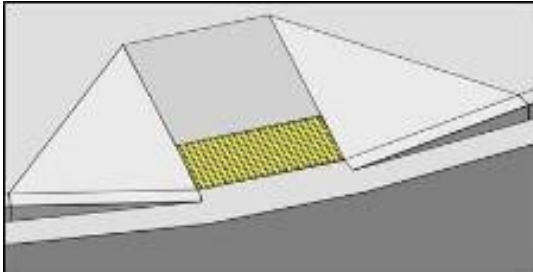
The Proposed ADA path passing through the fill up area is not ideal. Why not have a path to 83<sup>rd</sup> Ave instead?

19. All ADA ramps shall include detachable markings that follow the requirements of the United States Access Board. The detectable warnings on curb ramps must extend the full width of the curb ramp (exclusive of flared sides) and extend either the full depth of the curb ramp or 24 inches deep minimum measured from the back of the curb on the ramp surface. NO grooved ramps will be allowed.

Detectable warning surfaces shall consist of truncated domes aligned in a square or radial grid pattern

The detectable warning shall be required at the following areas:

- curb ramps and blended transitions at street crossings
  - cut-through pedestrian refuge islands (excluding those less than six feet width.)
- **Response:** Noted.



20. Sidewalks:

- ☒ A min 6' detached sidewalk will be required, along the property frontage. Sidewalks shall be detached a minimum of 7 feet from the back of curb.
- ☒ A min 5' sidewalk will be required sidewalk paths within the proposed development.

• **Response:** Noted.

21. Street lighting may be required along the property frontage (typically 200'). Please contact Mike Sills-Trausch at (623) 930-2019 for specific requirements and/or questions regarding the City's lighting requirements.

• **Response:** Noted.

22. The following lighting requirements and/or notes need to be incorporated into the lighting design/plans:

- ☒ A streetlight pole is to be installed every 200 feet generally on one side of a street. Specifications are provided on the city's street lighting webpage. Private/HOA streets also need streetlights installed but the type of pole and luminaire is developer-determined. Plans must show general notes, pole locations (stationing), and type of foundation (concrete or embedded), pole, arm, luminaire, and photocell per city standards and include cut sheets as provided through the street lighting webpage. An electrical junction box must be installed near the base of each pole. Approved plans are provided to the utility company to develop electrical designs by the utility company.
- ☒ Trees with branches which may grow at maturity to block the light coming from a streetlight fixture

shall not be planted near a streetlight pole.

Such trees

shall be removed from the plans or placed a minimum of 25 feet from the pole. Show streetlight locations on landscape plans with 25-foot clear zone (parallel to the right of way primarily).

☒ Glendale dark skies ordinance (Chapter 26.5 – Outdoor Light Controls):

City of Glendale Code requires exterior LED lights of 1,100 lumens and/or 15 watts or more to use full cutoff luminaires. Please provide authoritative information showing such luminaires are full cutoff or exempt from this requirement. To demonstrate the selected luminaire is full cutoff, a manufacturer's cut/detail sheet shall be provided as part of the plan review sheets showing the fixture is "full cutoff" and/or International Dark Skies Association approved, certified as "Nighttime Friendly", or has a BUG rating showing zero uplight. This cut/detail sheet information must be provided in the plans for review and approval.

- **Response:** Noted.

23. The 2010 ADA and 2015 Engineering Standards shall be followed when developing the construction drawings for the project.

- **Response:** Noted.

24. Any temporary traffic control on public R.O.W. shall be subject to a fee per barricade ordinance in addition to review fees.

- **Response:** Noted.

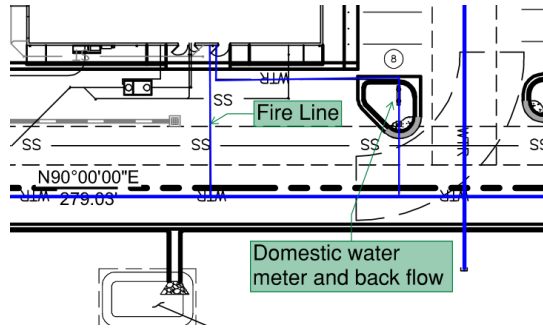
25. Traffic signal interconnect conduit is required. See Traffic Signal/ITS Details T2-1 thru 4 and 7 thru 13. You may contact Allan Galicia at (623) 688-8579 for specific questions regarding ITS/conduit requirements.

- **Response:** Noted.

Land Development / Kelly Hargadin (623)930-3691 – khargadin@glendaleaz.com

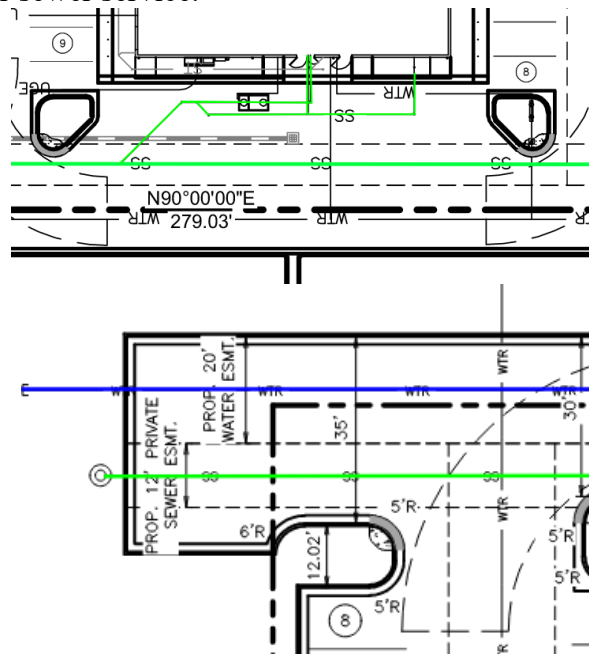
1. The QuikTrip development is proposing to tap into the proposed, on-site public 8- in main for domestic water and a fire line services. Will this development propose an additional tap and meter for the landscape irrigation? If not, landscape irrigation shall be taken off the domestic

line after the meter and incur additional sewer charges associated with the domestic water use.



- **Response:** A dedicated landscape meter & bfp will be installed adjacent to the domestic meter.

2. The QuikTrip development is proposing to tap into the proposed, on-site private 6- in main for sewer service.



- **Response:** Noted.

3. To obtain a copy of utility as-built information, use the Mapping & Records Request Form:  
[www.glendaleaz.com/your\\_government/connect/departments/engineering/maps\\_records](http://www.glendaleaz.com/your_government/connect/departments/engineering/maps_records).

- **Response:** Noted.

4. Project sites > 0.5 ac will provide onsite retention for the 100-year, 2-

hr storm event and the adjacent roadways in conformance to the 2015 Engineering Design and Construction Standards. It is noted that this development is proposing underground retention.

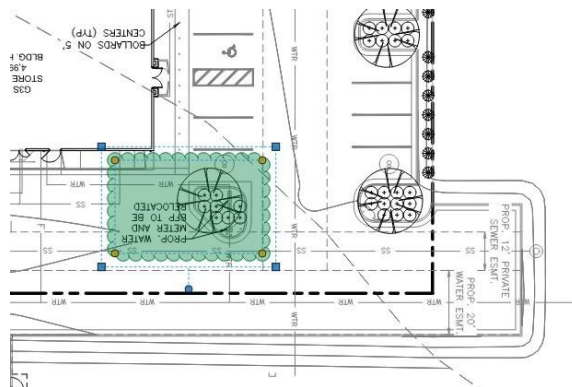
- **Response:** Noted.

5. Development design must conform to the 2015 Engineering Design and Construction Standards which can be found at

- **Response:** Noted.

6. Other

a. Sheet L-100 has included a note to relocate the water meter and back flow preventor. It is suggested that the landscape be relocated as this is the meter for the domestic service and must be located in



a landscaped area.

b. Will the area be re-platted, or will a lot line adjustment be completed to create the proposed limits of this parcel? Will the easements on this parcel be dedicated by separate instrument or dedicated on a re-plat?

- **Response:** Noted. Site will be re-platted by Fortis and submitted with the DR application.

Solid Waste / Amanda Press (623)930-2636 – [apress@glendaleaz.com](mailto:apress@glendaleaz.com)

1. Site shall comply with Site Development and Construction Chapter 9, Detail G954 (turning radius) & Detail G934 (dumpster enclosure requirements)

- **Response:** Noted.

2. Multiple trash enclosures shall be place on the right side of the drive so the collection truck can be routed through the site in one direction only

- **Response:** Noted.
3. Staggered enclosures are not allowed
    - **Response:** Noted.
  4. Minimum vertical clearance over access area shall be at least 25'
    - **Response:** Noted.
  5. 54' of unobstructed backing is required
    - **Response:** Noted.
  6. The trash enclosure shall not be placed at a dead end unless a turning radius of 52.5' is provided (Detail G934 .2)
    - **Response:** Noted.
  7. Detail G934, & G954 shall be shown on all site plans (Not shown on site plan submitted)

Chapter 9 can be found on  
page 100 of the document

Detail G934 pg. 211

Detail G954 pg. 213

<https://www.glendaleaz.com/common/pages/DisplayFile.aspx?itemId=15700143>

- **Response:** Noted.

Env Services – Silvana Burgos (623)930-4119 sburgosmorales@glendaleaz.com

1. **Air quality** – For disturbances of 0.1 acre or more, refer to Maricopa County dust control requirements.
  - **Response:** Noted.
2. **Stormwater** – Undertake best management practices to minimize pollutants (including sediments) entering the City's stormwater system. Provide protection from accidental discharge of pollutants to the public storm drain system and comply with cleanup and notification requirements in Sec 33-304 of City Code.
  - o Per Section 33-303 of City Code, property owners or operators shall ensure proper operation and maintenance of post-construction stormwater runoff control mechanisms, including but not limited to retention basins, drywells, scuppers, and other measures implemented or installed at the site to control or direct stormwater runoff.

- o If drywells will be installed at the site, refer to ADEQ requirements for drywell registration. Drywells that drain areas where hazardous substances or petroleum products are used, stored, loaded or treated may require an Aquifer Protection Permit from ADEQ.

- **Response:** Noted.

3. **Property** – If there is an easement/dedication to the City, a valid Phase I Environmental Site Assessment (ESA) report is required. The Phase I ESA must be conducted in accordance with ASTM E1527-13 and be submitted to the City within 90 days of completion (report shall be current within 180 days of going to City Council). The Phase I ESA must list the City of Glendale as a User of the report, and a User Questionnaire must be submitted to Environmental Resources at [sburgosmorales@glendaleaz.com](mailto:sburgosmorales@glendaleaz.com). For questions regarding Phase I ESAs, please contact Environmental Resources at 623-930- 4119.

- **Response:** Noted.

**Pre-Treatment / David Nigh (623-930-4779) – dnigh@glendaleaz.com**

1. As noted on the plans a properly sized grease interceptor will be required.

- **Response:** Noted.

**Fire Department / Robert Perez (623)-930-3127 – rperez@glendaleaz.com**

1. Applicable City of Glendale codes IFC 2018 with local amendments and 2015 design and construction standards.

- **Response:** Noted.

2. Fire Hydrants shall comply as per IFC 2018 and 2015 design and construction standards.

- **Response:** Noted.

3. Fire Sprinkler shall comply as per IFC 2018 with local amendments throughout the entire building and plans shall be submitted with building submittal.

- **Response:** Noted.

4. Identify any deferrals on cover sheet to include Access Control.

- **Response:** Noted.

5. Fire Sprinkler riser shall comply as per IFC 2018 sec 903.3.8
  - **Response:** Noted.
6. Fire Access shall comply as per IFC 2018 and 2015 design and construction standards detail G-954
  - **Response:** Noted.
7. Water Supply shall comply as per IFC 2018 with local amendments and NFPA 13 2016
  - **Response:** Noted.
8. Unknown occupancies shall comply as per IFC 2018 with local amendments sec 903.2.13
  - **Response:** Noted.
9. Gates shall comply as per IFC 2018 with local amendments to include keypad.
  - **Response:** Noted.

Building Safety / Robert Juris (623-930-3172) – rjuris@glendaleaz.com

1. Construction documents shall include, but not limited to, the Site Development plans, complete with dimension Site Map of the location to the nearest major cross-road. Project Data that will include, construction type, occupancy group, calculation of occupant, the type of sprinkler system proposed and the I-codes where the design was based.
  - **Response:** Noted.
2. Construction Plans Design shall be based from the 2018 edition of the IRC, IBC, IMC, IPC, IECC, IEBC the 2018 edition of IFC, the 2017 NEC, 2010 ADA Standards for Accessibility Design, Chapter 11 of the 2018 IBC and City of Glendale Amendments.
  - **Response:** Noted.
3. The aggregate quantity of nonflammable solid and nonflammable or non-combustible liquid hazardous materials stored or displayed in a single control area of a Group M occupancy shall not exceed the quantities in Table 414.2.5(1).
  - **Response:** Noted.
4. Electric vehicle charging stations, if installed, shall be in accordance with NFPA 70. Electric vehicle charging system equipment shall be listed and labeled in accordance with UL 2202. Electric vehicle supply equipment shall be listed and labeled in accordance with UL 2594. Accessibility

electric vehicle charging stations shall be provided in accordance with Chapter 11.

- **Response:** Noted.

5. The vehicle shall be fueled on noncoated concrete or other approved paving material having a resistance not exceeding 1 megohm as determined by the methodology in EN 1081.

- **Response:** Noted.

6. Canopies under which fuels are dispensed shall have a clear, unobstructed height of not less than 13 feet 6 inches to the lowest projecting element in the vehicle drive through area. Canopies and their supports over pumps shall be non-combustible materials.

- **Response:** Noted.

7. Deferred submittals are due within 30 days of the date the permit is issued; if required submittals have not been received by Building Safety by the deadline, inspections will be suspended for the project until submittals are received.

- **Response:** Noted.