



Vision 2 PAD

ZON22-02

Planning Commission Hearing – MAY 26, 2022





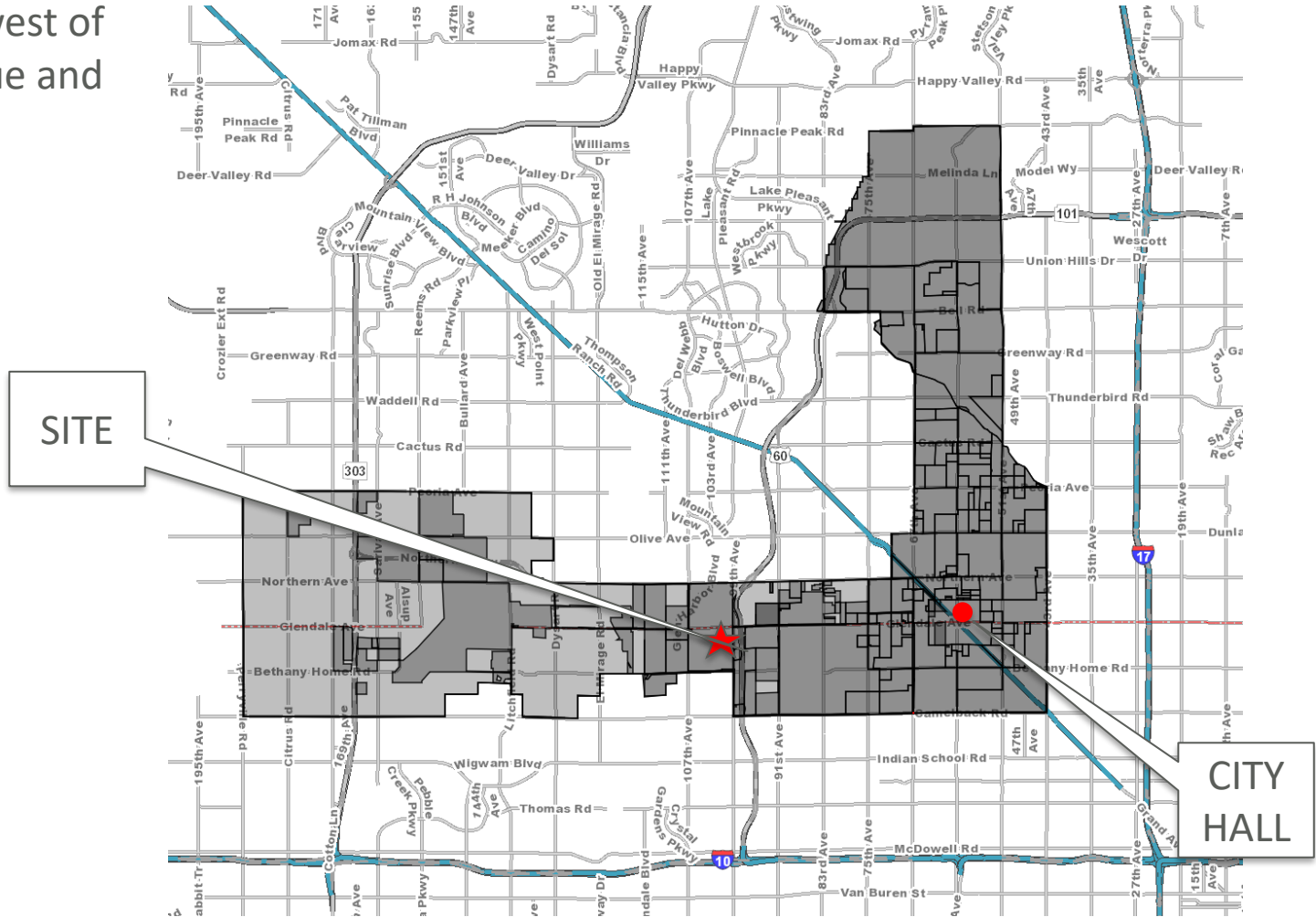
Request

A request to rezone approximately 161 acres from A-1 (Agricultural), BP (Business Park), PAD (Planned Area Development) to PAD.

Applicant: City of Glendale representing Emrland LLP and Ferrantino Enterprises AZ LLC.

Vicinity Map



Located southwest of
Glendale Avenue and
Loop 101.



Aerial Map

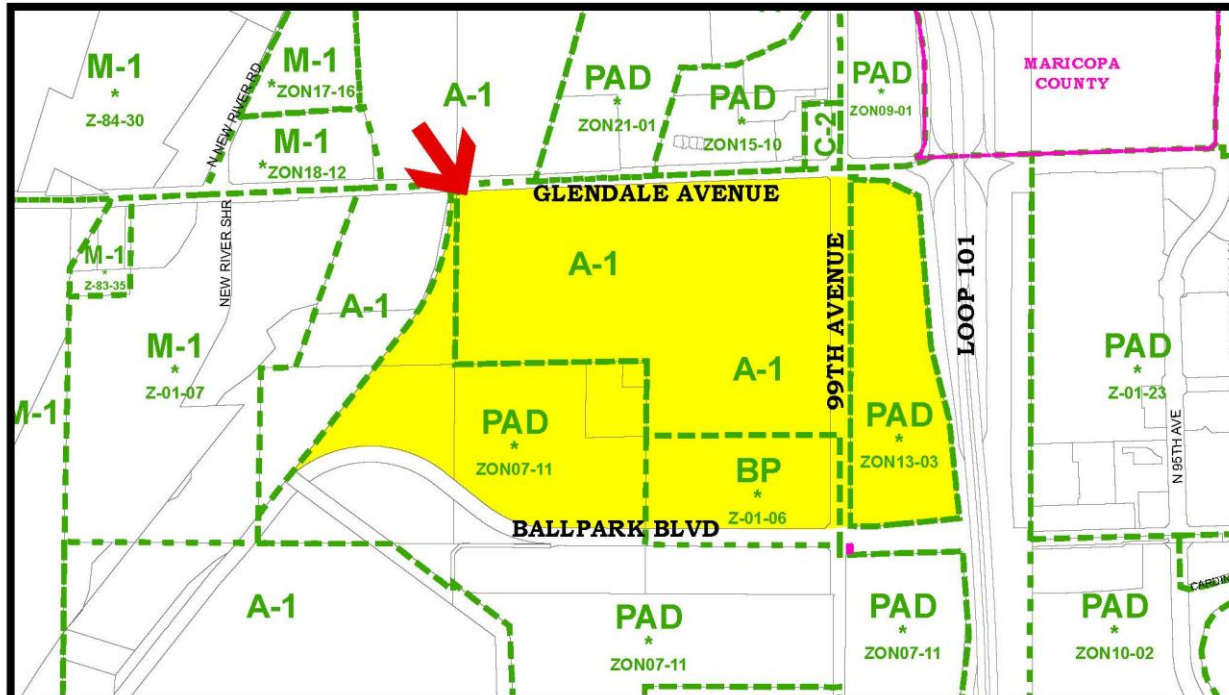


Aerial Date: October 2020

 **VISION 2 PAD
REZONING
(ZON22-02)** 



Zoning Map



**VISION 2 PAD
REZONING
(ZON22-02)**



LOCATION

SOUTH OF GLENDALE AVE & WEST OF LOOP 101

REQUEST

REZONE FROM A-1 (AGRICULTURAL), BP (BUSINESS PARK) AND PAD (PLANNED AREA DEVELOPMENT) TO THE PAD ZONING DISTRICT FOR A MIXED-USE DEVELOPMENT TITLED "VISION 2."



Project Details

- Create a PAD consisting of commercial and high-density residential land uses.
- Flexible land uses, appropriate development standards, design and landscaping regulations appropriate for a cohesive future master plan development.
- Appropriate Open Space requirements throughout.



PAD Development Standards

Parcel	Preferred Uses	Allowable Uses	Minimum Building Stories/Height	Minimum OS/Rec Plaza
A	Very High Density Residential	MDR, HDR, Office, Employment	4/55'	15%
B	Mixed Use	HDR, Commercial, Office, Employment	Non-Residential- 2 Story HDR-4 Story	10%
C	Mixed Use	HDR, Commercial, Office, Employment	4/55'	10%
D	Mixed Use	Commercial, Office, Employment	3 Story	10%
E	Mixed Use	Commercial, Office, Employment	3 Story	10%
F	Mixed Use	Commercial, Office, Employment	3 Story	10%
G	Mixed Use	HDR, Commercial, Office, Employment	5 Story	10%
H	Mixed Use	HDR, Commercial, Office, Employment	5 Story	10%
I	Mixed Use	HDR, Commercial, Office, Employment	4 Story	10%
J	Mixed Use	HDR, Commercial, Office, Employment	5 Story	10%
K	Mixed Use	HDR, Commercial, Office, Employment	5 Story	10%
L	Mixed Use	HDR, Commercial, Office, Employment	5 Story	10%
M	Mixed Use	HDR, Commercial, Office, Employment	5 Story	10%
N	Very High Density Residential	MDR, HDR, Office, Employment	4/55'	15%
O	High Density Residential	MDR, HDR	4/55'	15%



Public Notice

- Public Notice mailing-May 6th
- *The Arizona Republic-May 11th*
- Site Posting-May 5th



Analysis

- Vision 2 PAD provides for an urban style mixed use development
- Combines residential and non-residential land uses
- The overall all development will incorporate a circulation system that supports the proposed development style



Analysis

- The PAD promotes a unified architectural theme.
- The zoning request is consistent with the General Plan and is compatible with surrounding land uses.
- The PAD proposal is flexible and provides for the level of intensity desired in the area.



Analysis

- Appropriate development standards are proposed to meet market demands.
- The PAD is unique as it requires artwork as part of the overall development.
- Stipulations are recommended to ensure necessary regulations for development.



Recommendation

Staff recommends approval of ZON22-02, subject to the following stipulations:

1. Development will be in substantial conformance with the development booklet dated May 16, 2022.
2. Unless otherwise expressly modified within the Vision 2 PAD, all city standards apply to the Rezoning Application. City standards will be analyzed and applied during the Design Review application submittal, review and approval process.



Continued:

3. Unless otherwise approved in writing by the City, all developments located west of 99th Avenue, South of Glendale Avenue and North of Ballpark Boulevard are required to connect to the designated lift station and enter into a cost sharing agreement to pay for and utilize a proportionate share of the capacity of the lift station. Such agreement must be executed prior to the City issuance of any permits.



Continued:

4. Prior to issuance of any building permit, the applicant shall submit a Form 7460 to the Federal Aviation Administration (FAA), and any comparable form to any applicable state agency, and shall submit to the City the determination, findings, rulings, responses, or the like of these agencies. Applicant will furnish to the City a copy of Applicant's Form 7460 as well as any comparable forms submitted to any other agency. Applicant will install any obstruction marking or lighting required by the agencies. Applicant must also modify the development design in order to avoid the impact of the development on airport operations.



Continued:

5. The following Transportation related requirements should be completed/constructed by the master developer:
 1. A Master TIA for the entire site based on the land use assumptions within the Planned Area Development.
 2. A landscaped median on Glendale Avenue along the property frontage. Median openings will be determined by the City's Transportation Department.



Continued:

3. Completion of Glendale Avenue, 99th Avenue, and Ballpark Boulevard to include curb, gutter, sidewalk, streetlights and landscaping. Five-foot bike lanes will be required as part of the roadway improvements on site and off site.
4. Turn lanes will be required in advance of all intersections and driveways along Glendale Avenue and 99th Avenue. Turn lanes will be a minimum of 150 feet in length plus the taper.



Continued:

5. Design, installation and modifications to all traffic signals required for the project. Please note the following related to traffic signals:
 1. There will be only one signal allowed on Glendale Avenue and on 99th Avenue along the property frontage (west and south of the 99th Avenue and Glendale Intersection).
 2. There will be no signal within 1/4 mile of any existing arterial intersections/existing signalized intersection.



Continued:

6. In the event that there is no master developer for the Vision 2 site, the above listed requirements will be evaluated by the Transportation Department, in conjunction with the appropriate Traffic Impact Analysis, to determine how the improvements will be implemented over various phases of development.



Continued:

7. A 65-foot right-of-way dedication will be required on Glendale Avenue, with a 75-foot dedication being required within 250 feet of the intersection of 99th Avenue and Glendale Avenue. A 40-foot by 40-foot right-of-way triangle will also be required at this intersection. The right-of-way for 99th Avenue and Ballpark Boulevard is existing; however, additional right-of-way may be required to accommodate turn lanes, bike lanes and sidewalks. A 30-foot by 30-foot right-of-way triangle will also be required at the 99th Avenue and Ballpark Boulevard intersection and any other major intersections along Ballpark Boulevard.



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