

SITE INFORMATION

ADDRESS: 4346 W GLENDALE AVE, GLENDALE, AZ 85301  
 COUNTY: MARICOPA COUNTY  
 SITE SQUARE FOOTAGE: APPROX. 41,789  
 ZONING: C3 - HEAVY COMMERCIAL

MINIMUM SETBACK REQUIREMENTS:  
 FRONT: 25'  
 SIDE: 60' TO RESIDENTIAL, 15' TO NONRESIDENTIAL  
 REAR: 60' TO RESIDENTIAL, 15' TO NONRESIDENTIAL  
 FLOOR AREA RATIO: 0.3  
 MAXIMUM HEIGHT: 30' MAIN BUILDING  
 BUILDING GROSS SQUARE FOOTAGE: 2,096 SQUARE FEET OR 5% OF THE SITE

EXISTING PARKING: 67, INCLUDING 2 ADA  
 REQUIRED PARKING: RESTAURANT-FREESTANDING: 21 (1 PER 100 SF)  
 PROPOSED PARKING: 27, INCLUDING 2 ADA  
 PARKING DIMENSIONS: 90 DEGREES PARKING - 20'x10' (MINIMUM)  
 60 DEGREES PARKING - 9' WIDE (MINIMUM)

KEYNOTES

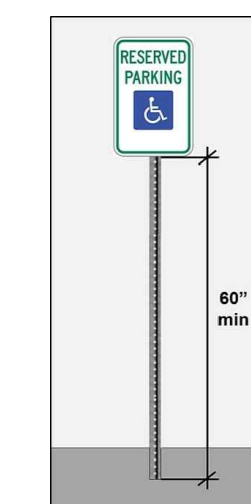
- 1 PROVIDE CROSS ACCESS EASEMENT.
- 2 REMOVE EXISTING WHEELSTOPS. PROVIDE NEW ASPHALT PARKING LOT. STRIPE PARKING LOT TO MATCH PROPOSED LAYOUT. PROVIDE NEW WHEELSTOPS.
- 3 STRIPE PEDESTRIAN WALK ACROSS DRIVE THRU LANE.
- 4 EXISTING DUMPSTER ENCLOSURE FOR ADJACENT KFC. ACCESS IS FROM TACO BELL SITE. CROSS ACCESS EASEMENT FOR DUMPSTER ENCLOSURE SHALL BE MAINTAINED.
- 5 PROVIDE NEW CLEARANCE BAR AND BOLLARDS.
- 6 PROVIDE NEW CANOPY, SPEAKER POST, AND LOOP DETECTOR.
- 7 PROVIDE NEW DIGITAL MENUBOARD, CANOPY, SPEAKER POST, AND LOOP DETECTOR.
- 8 PROVIDE NEW 6 INCH CONCRETE CURB.
- 9 REMOVE FULL DEPTH OF 'POT HOLE' PLUS ONE FOOT AROUND THE AFFECTED AREA. INSTALL NEW BASE AND ASPHALT TO MATCH EXISTING GRADE.
- 10 NO SIDE YARD SETBACK REQUIRED.
- 11 EXISTING KFC CANOPY. PROVIDE NEW BOLLARDS FOR PROTECTION.
- 12 PROVIDE TWO (2) NEW GO MOBILE SIGNS AND PAVEMENT MARKINGS.
- 13 REMOVE EXISTING CURB.
- 14 EXISTING SITE LIGHT AT KFC.
- 15 PROPOSED PYLON SIGN.
- 16 EXISTING DIRECTIONAL SIGN AT KFC.
- 17 ACCESSIBLE PUBLIC SIDEWALK SHALL BE REPAIRED AND REPLACED AS NEEDED.
- 18 NO EXISTING SITE LIGHTS. PROVIDE NEW LED SITE LIGHTING. COORDINATE WITH LIGHTING VENDOR.
- 19 VERIFY LOCATION OF WHITE POST. VERIFY IT CAN BE REMOVED.
- 20 REMOVE EXISTING PALM TREE.
- 21 VERIFY LOCATION OF WATER METER. METER CANNOT BE LOCATED IN NEW DRIVEWAY. IT WILL NEED TO BE LOCATED IN THE LANDSCAPE AREA. NEW BENDS TO THE EXISTING WATER METER SERVICE LINE CANNOT BE USED TO LOCATE THE METER IN THE LANDSCAPE AREA. THE OLD SERVICE LINE MAY NEED TO BE ABANDONED AND A NEW SERVICE LINE INSTALLED SO THERE ARE NO BENDS IN THE SERVICE LINE.
- 22 PROPOSED 4' HIGH DECORATIVE SCREEN WALL, SEE LANDSCAPE PLAN.
- 23 EXISTING STREET LIGHT.
- 24 CONSTRUCT 5' WIDE SIDEWALK.
- 25 PROVIDE NEW ACCESS TO PUBLIC SIDEWALK.
- 26 PROVIDE NEW LANDSCAPING WITH IRRIGATION AS REQUIRED.
- 27 DRIVE THRU APPEARS TO BE IN 10' SIDEWALK AND UTILITY EASEMENT. VERIFY THIS IS APPROVED.
- 28 EXISTING POLE MOUNTED TRANSFORMER.
- 29 EXISTING TREE SHALL REMAIN.
- 30 PROVIDE NEW DOUBLE BIN CMU DUMPSTER ENCLOSURE, PER COG DETAIL G-934, (PROVIDED ON SHEET 2)
- 31 PROPOSED 8' HIGH SCREEN WALL.

SITE PLAN NOTES

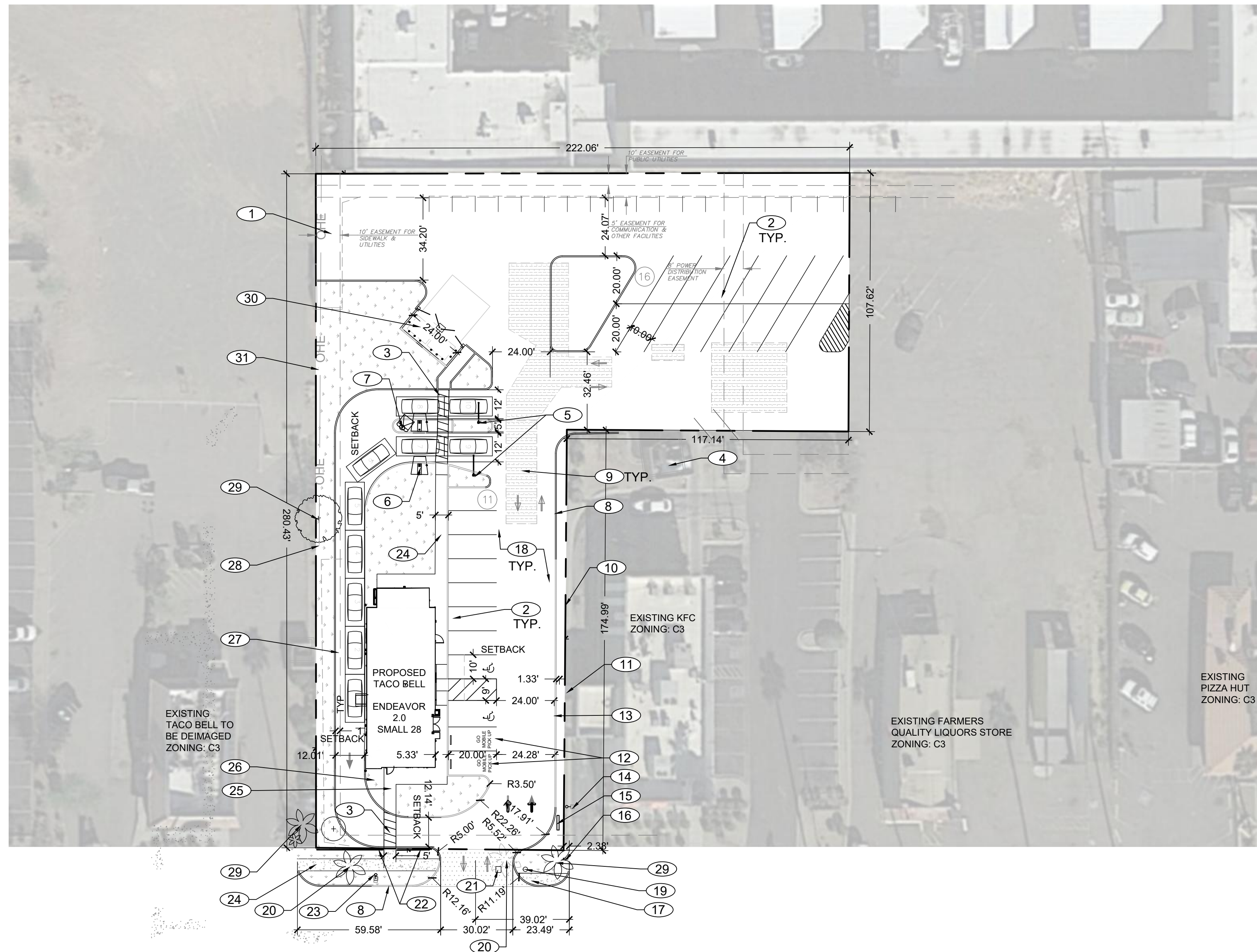
1. PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
3. CONTRACTOR SHALL CONTACT DIG SAFE PRIOR TO ANY EXCAVATION/DIGGING.
4. NO SURVEY INFORMATION HAS BEEN PROVIDED. EXISTING CONDITIONS HAVE BEEN COMPILED BY FIELD OBSERVATIONS AND AERIAL PHOTOGRAPHY. ALL EXISTING CONDITIONS, DIMENSIONS, AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER IF ANY DISCREPANCIES EXIST, PRIOR TO CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
5. REPAIR ALL LANDSCAPING DISTURBED BY CONSTRUCTION ACTIVITIES.
6. MODIFY EXISTING IRRIGATION SYSTEM TO PROPERLY WATER ANY REVISED OR ADDED LANDSCAPE AREAS.
7. LANDSCAPE NOTES:  
 7.1. NO SUBSTITUTIONS SHALL BE ALLOWED WITHOUT OWNER'S APPROVAL. QUANTITIES IN THE PLANT LIST ARE FOR INFORMATION ONLY. CONTRACTOR SHALL VERIFY.  
 7.2. ALL PLANT LOCATIONS ARE APPROXIMATE, ADJUST AS NECESSARY TO AVOID CONFLICTS.  
 7.1. CONTRACTOR SHALL INSTALL WEED BARRIER FABRIC IN ALL SHRUB PLANTING BEDS TO RECEIVE MULCH.  
 7.2. ANY PLANTING BEDS (NEW OR EXISTING) ADJACENT TO WALKS OR CURBING SHALL HAVE THE GRADE LOWERED TO A SUFFICIENT DEPTH (3") TO ALLOW FOR THE TOP OF THE MULCH TO MATCH THE TOP OF WALK OR CURBING.  
 7.3. THE PLANTING BEDS RECEIVING MULCH SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT. APPLY IN ACCORDANCE WITH STANDARD TRADE PRACTICE.  
 7.4. EDGING SHALL BE STEEL PER SPEC, OR OWNER APPROVED EQUAL. INSTALL STAKES IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION.  
 7.5. WHEN CLAY SOIL IS ENCOUNTERED IN THE ESTABLISHMENT OF THE LAWN OR THE INSTALLATION OF PLANT MATERIAL, SOIL SHALL BE IMPROVED IN ACCORDANCE WITH STANDARD TRADE PRACTICE. I.E. ADDITION OF LIME, GYPSUM, ETC.  
 7.6. ROCK MULCH SHALL BE LOCAL RIVER ROCK AND SHALL BE 2-3 INCH DIAMETER. CONTRACTOR SHALL SUBMIT SAMPLE TO OWNER FOR APPROVAL.
8. ALL DOWNSPOUTS SHALL BE INTERNAL.
9. ANY EXISTING WATER SERVICES NOT USED SHALL BE ABANDONED AT THE MAIN BY REMOVING THE CORPORATION STOP FROM THE BRASS SADDLE AND INSTALLING A BRASS PLUG. IF THE EXISTING SADDLE IS A STEEL STRAP SADDLE IT WILL NEED TO BE REMOVED AND A FULL CIRCLE LEAK CLAMP SHALL BE INSTALLED.
10. SIGNAGE IS NOT APPROVED DURING DESIGN REVIEW. A SEPARATE SIGN PERMIT WILL BE REQUIRED MEETING ALL REQUIREMENTS OF GZO SEC.7.104.

ADA NOTES:

1. ANY AND ALL NEW SITE FEATURES SHOWN ON PLANS AND NOTED AS "ADA" SHALL BE BUILT IN COMPLIANCE TO CURRENT FEDERAL, STATE AND LOCAL ACCESSIBILITY RULES AND REGULATIONS. THE C.C. SHALL BE RESPONSIBLE TO KNOW AND UNDERSTAND ALL CURRENT ACCESSIBILITY REGULATIONS AS THEY PERTAIN TO THE CONSTRUCTION OF ACCESSIBLE SITE FEATURES.
2. ALL NEW CONCRETE SIDEWALK PAVEMENT SHALL BE INSTALLED WITH A MAX. 5% RUNNING SLOPE AND A MAX. 2% CROSS SLOPE. ALL NEW CONCRETE STOOPS INSTALLED AT EXISTING DOORWAYS WILL BE INSTALLED FLUSH WITH THE BUILDING F.F.E. AND WITH A 1.5% SLOPE AWAY FROM DOORWAYS. A MIN. 5'x5' STOOP WITH 1.5% SLOPES SHALL BE INSTALLED AT DOORS.
3. SURFACES OF ALL NEW ACCESSIBLE PAVED PATHWAYS SHALL BE SMOOTH AND EVEN WITH NO ABRUPT CHANGES IN ELEVATION OF 1/4" OR GREATER AS REQUIRED BY THE ACCESSIBILITY DESIGN REGULATIONS.
4. ADA SIGNS SHALL COMPLY WITH THE LAYOUT SHOWN BELOW AND SHALL BE INSTALLED A MINIMUM OF 5' FROM THE GROUND TO THE BOTTOM OF THE SIGN BUT NO MORE THAN 6' (TO BE IN COMPLIANCE WITH STATE LAW - ARS 28-882 AND THE REQUIREMENTS OF THE US ACCESS BOARD).

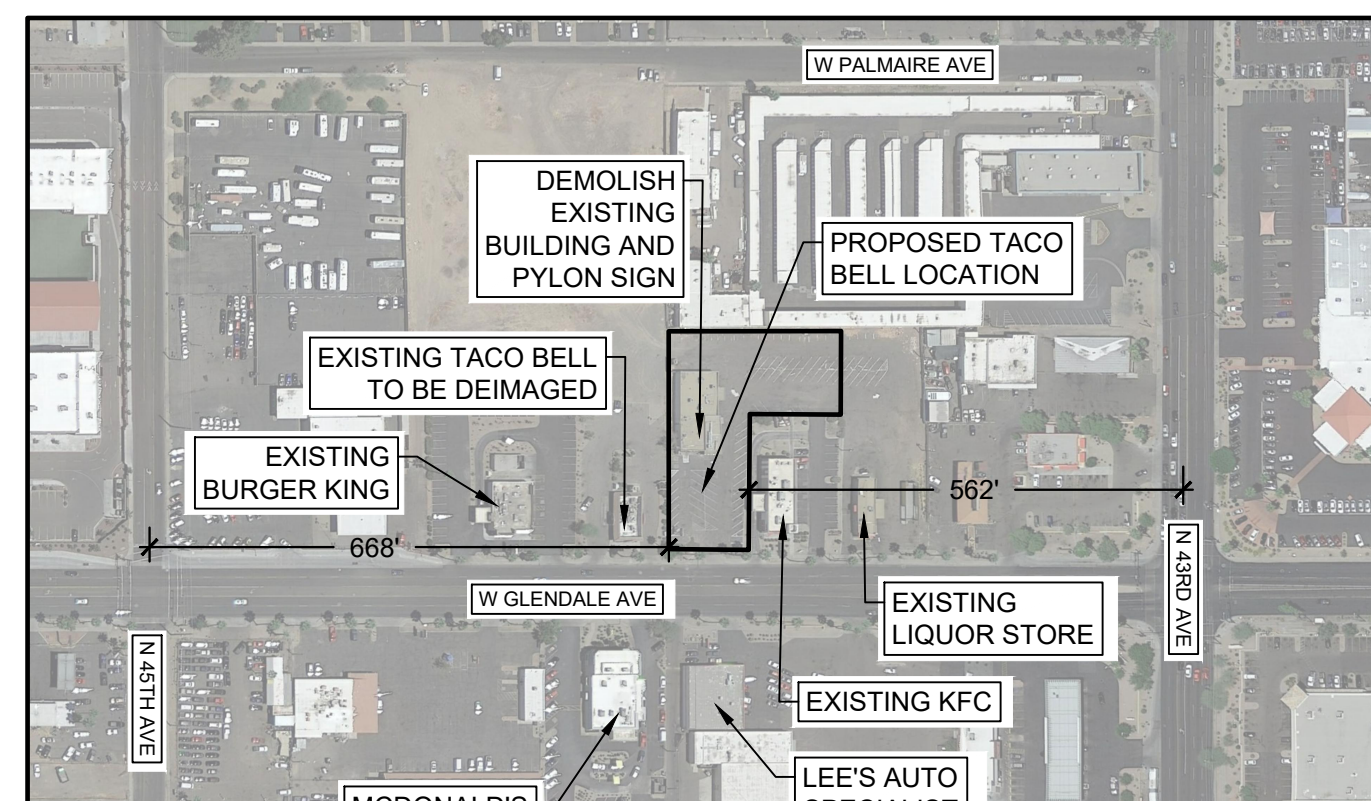


5. ADA PAVEMENT MARKINGS SHALL COMPLY WITH THE LAYOUT SHOWN BELOW,



A SITE PLAN

1" = 30'-0"

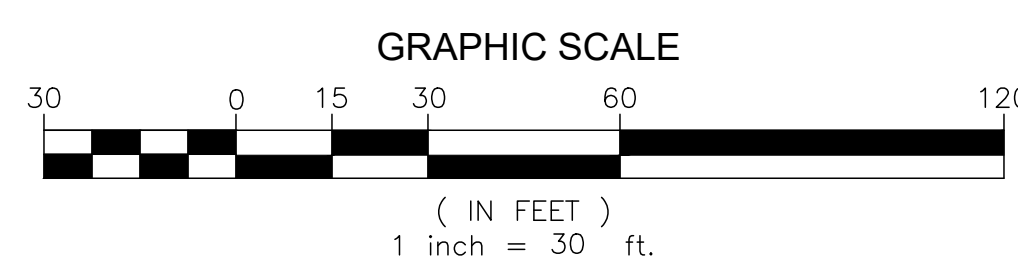


2 VICINITY MAP

N.T.S.

LEGEND

- PROPOSED LANDSCAPING
- PROPOSED 4 INCH CONCRETE
- PROPOSED 6 INCH CONCRETE
- APPROXIMATE LIMITS OF 'POT HOLES' TO BE REPAIRED. RE: 9/SP101.



**Stantec**  
 3133 WEST FRYE ROAD, SUITE 300  
 CHANDLER, AZ. 85226  
 stantec.com

**MARK PETERSON**  
 DEVELOPMENT COORDINATOR  
 DDO - UTAH, LLC  
 PO BOX 4179  
 KINGMAN, AZ 86402

CITY OF GLENDALE

SITE PLAN  
 FOR  
 TACO BELL

4346 W. GLENDALE AVE. GLENDALE, AZ

DATE:  
5/16/22

SHEET 1  
 OF 2

JOB NO. 2042622800  
 CUP 21-13